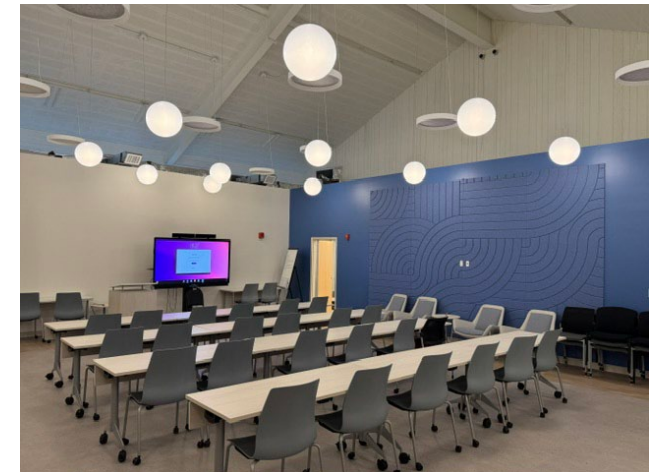


Superintendent's Report

Syosset Central School District
September 2026

Welcome Back!!

- Construction Update
 - SHS Wellness/Guidance Suite
 - SHS Bus Loop
 - HBT New Track and Turf Field
 - **Ribbon Cutting 9/18/26**
 - Gymnasium Air Conditioning (SWMS, HBT, Village, Willits)
- Real Property Tax Exemptions
- Woodbury School (Syosset Public Library Potential Partnership)



Real Property Tax Exemptions

An overview of new laws permitting the expansion of the real property tax exemptions for disabled veterans, fallen first responder spouses, and seniors.

Full Discretion

Mandate Reversed by State

3 Key Groups

Veterans, Responders, Seniors

January 2, 2027

Statutory Adoption Deadline

Statutory Exemption Policy Options

Exemption Category	Statutory Change	Permissible Relief Ceiling	Current District Data
100% Disabled Veterans	Initial state mandate (Ch. 77) was reversed in budget bill; local choice restored.	Up to 100% full exemption of assessed valuation for permanent and total service-connected disability.	62 residents currently receive disability exemption. Nassau County reports 49 rated at 100%; VA permanency verification in progress via mailing.
Fallen First Responder Spouses	Newly authorized optional relief under Taxation & Finance criteria.	Up to 50% exemption on primary residence for surviving spouses of police, volunteer firefighters, and EMS personnel.	Survivor counts currently unquantified by County. 60 residents currently receive active volunteer firefighter/EMS tax exemptions.
Expanded Senior Citizen Relief	RPTL §467 amendment expands sliding scales beyond prior 50% cap.	Up to 65% maximum exemption for lower income brackets; eligibility income limits between \$3,000 and \$50,000.	121 households currently participate under Board's Dec 2022 policy (\$58,399 limit, 50% cap). County income breakdown requested.

Board Deliberation & Next Steps

Policy & Fiscal Considerations

- **Tax Shift Mechanics:** Tax exemptions do not reduce the district's voter-approved tax levy; they reallocate fractional tax liability to non-exempt residential and commercial property owners.
- **Data Verification in Progress:** Awaiting Nassau County's direct outreach verifying veteran permanent disability ratings and household senior income tier distributions.

Timeline & Action Roadmap

- **Fall 2026 — Data & Fiscal Modeling:** Receive verified county data and project more accurate shift scenarios under various exemption percentages.
- **Nov / Dec 2026 — Public Hearing:** Notice and convene a mandatory formal public hearing to solicit community input before voting on resolutions.
- **January 2, 2027 — Statutory Cutoff:** Final deadline to adopt Board resolutions for Nassau County to apply exemptions to the 2027–2028 tax roll.

Woodbury School Feasibility Study

Potential Partnership with
Syosset Public Library (SPL)



Woodbury School Background



Constructed 1925



Ribbon Cutting Jan.
1926
(100-year anniversary)



Operating school for
30+ years



Converted to offices,
print shop,
maintenance, clerk



Vacant since 2007



Woodbury School Recent Developments

- **Fall/Winter 2014** – Potential sale and cancellation.
 - **Summer/Fall 2023** – BOE discussions about renovation as part of Bond Proposal
 - **August 28, 2023** – Explored converting to rental space, but ADA accessibility poor
 - **October 18, 2023**
Additional Board discussion
 - **November 6, 2023**
Superintendent recommended that the Woodbury School rehabilitation be postponed, “not cost effective.”
 - **November 20, 2023** – Superintendent informed the Board he was approached by the Syosset Library interested in renovating the Woodbury School as a satellite location.
-
- **2024-2025** – School focuses on construction bond
 - **January 12, 2026** – Superintendent’s report stated the library remains interested in repurposing the Woodbury School as a potential annex and toured the site with H2M.
 - **February 9, 2026** – Discussion and authorization of Woodbury School Feasibility Study
 - **September 14, 2026** – Report on the results of the Feasibility Study



Potential SPL Satellite Library

- Community meeting room
- Large collections floor
- Early childhood zone
- Historic reading room
- Study rooms
- Outdoor spaces
 - Patio
 - Small theater

Woodbury School



Potential SPL Satellite Library

- Re-use historic elements (wood doors)
- Maintain historic exterior character



Woodbury School – Two Paths

Convert to Library

<u>Description</u>	<u>Cost</u>
Hard Construction Related Costs	
01 General Construction	\$ 8,350,000
02 Fire Protection Plumbing	\$ 1,100,000
04 Mechanical	\$ 1,200,000
05 Electrical	\$ 1,500,000
Total Hard Costs	\$ 12,150,000
Allowances	
06 Furniture Allowance	\$ 750,000
07 A/V and Technology Allowance	\$ 650,000
08 Design Contingency	\$ 1,822,500
Total Hard Costs including Allowances	\$ 15,372,500
Architecture/Engineering, and Construction Management	
10 A/E fees, Permitting, Survey, Testing, Attorney	\$ 3,074,500
11 Construction Manager	\$ TBD
Total Soft Costs	\$ 3,074,500
Total Incl. Hard Costs, Soft Costs and Allowances	\$ 18,447,000

Demolition and Site Restoration

<u>Description</u>	<u>Cost</u>
Building Demolition	\$ 1,650,000
Environmental Remediation	\$ 600,000
Site Restoration	\$ 1,200,000
Total	\$ 3,450,000

Woodbury School / SPL – Next Steps

