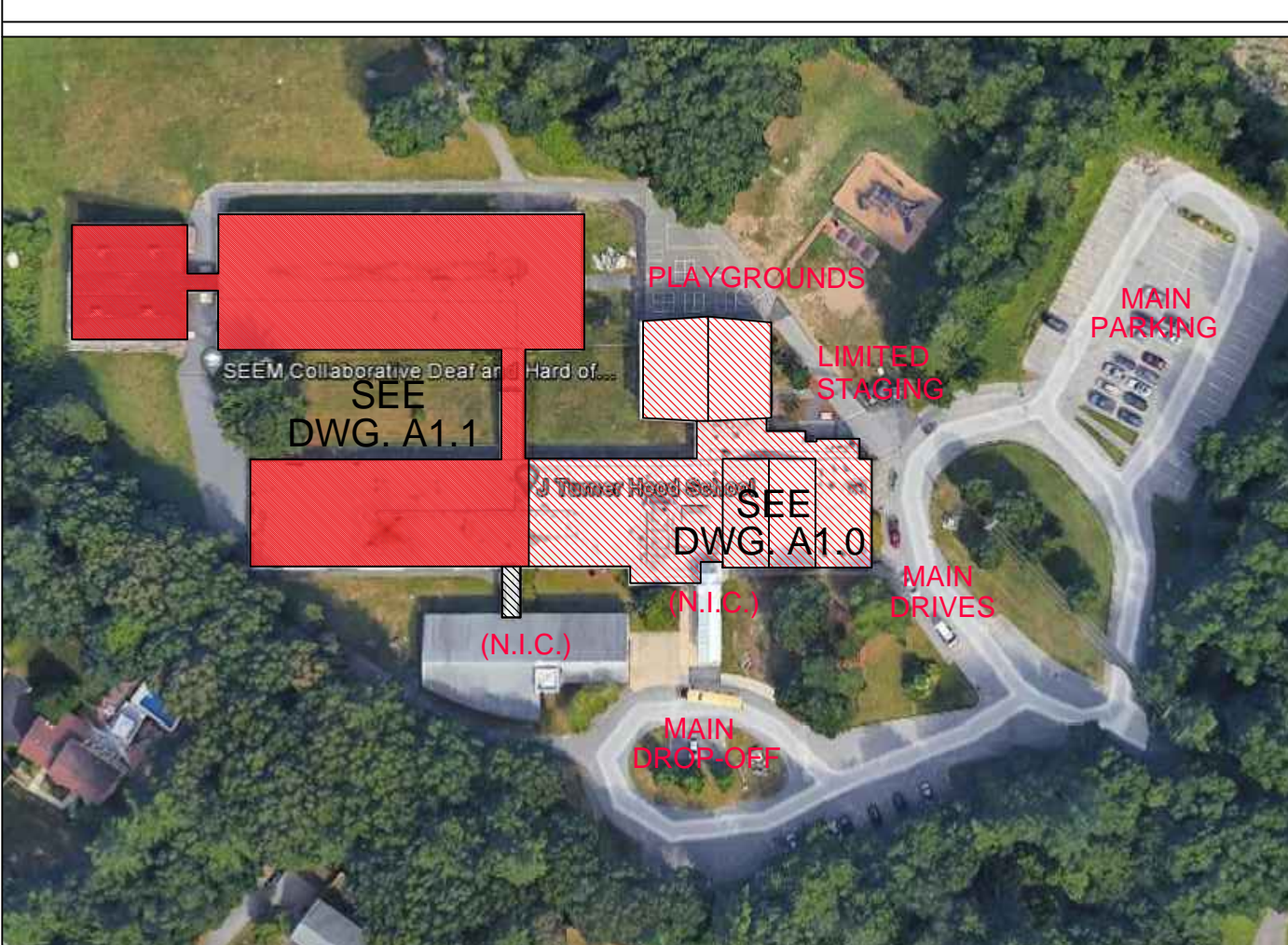


1 ROOF WORK PLAN
A1.0 SCALE: 3/32" = 1'-0"

MOISTURE SURVEY LEGEND
 WET INSUL. SEE 10/31/2023 SURVEY
 WET INSUL. SEE 8/9/2018 SURVEY
 REMOVE ALL WET / DAMAGED INSULATION

SITE LOCUS PLAN

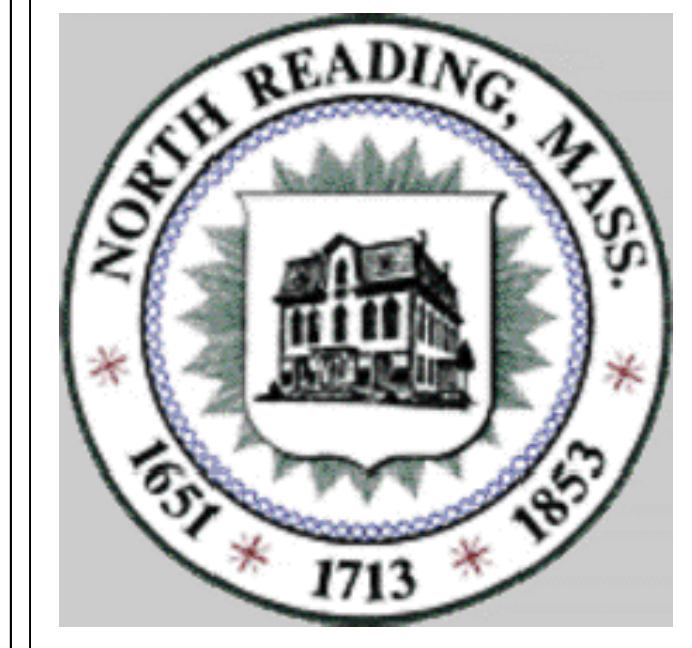


EXISTING ROOF CONSTRUCTION

- CORE "A"**
 - DECKING: TECTUM DECK
 - VAPOR BARRIER/BUR: MULTI-PLY COAL TAR BUR W/ AGGREGATE SURFACING
 - INSULATION: POLYISOCYANURATE - 3" +/- (TAPERED)
 - SINGLE-PLY ROOF: PVC MEMBRANE (MECH. ATTACHED)
- CORE "B"**
 - DECKING: TECTUM DECK
 - VAPOR BARRIER/BUR: MULTI-PLY COAL TAR BUR W/ AGGREGATE SURFACING
 - INSULATION: POLYISOCYANURATE - 5" +/- (TAPERED)
 - SINGLE-PLY ROOF: PVC MEMBRANE (MECH. ATTACHED)
- CORE "C"**
 - DECKING: STEEL DECK
 - VAPOR BARRIER/BUR: MULTI-PLY SMOOTH BUR
 - INSULATION: POLYISOCYANURATE - 3" +/-
 - SINGLE-PLY ROOF: PVC MEMBRANE (MECH. ATTACHED)
- CORE "D"**
 - DECKING: STEEL DECK
 - VAPOR BARRIER/BUR: MULTI-PLY SMOOTH BUR
 - INSULATION: POLYISOCYANURATE - 3" +/-
 - SINGLE-PLY ROOF: PVC MEMBRANE (MECH. ATTACHED)
- CORE "E"**
 - DECKING: STEEL DECK
 - VAPOR BARRIER/BUR: MULTI-PLY SMOOTH BUR
 - INSULATION: POLYISOCYANURATE - 3" +/-
 - SINGLE-PLY ROOF: PVC MEMBRANE (MECH. ATTACHED)

- DEMOLITION GENERAL WORK NOTES:**
- xxx NOTES WITHOUT ARROW INDICATE ENTIRE SPACE/AREA
 - xxx NOTES WITH ARROWS INDICATE SPECIFIC AREAS &/OR ITEMS
 - D1 ROOFING/FLASHING
 - D1.1 EXISTING MECHANICALLY ATTACHED PVC ROOFING SYSTEM INCLUDING ALL RELATED FLASHING IN ITS ENTIRETY AND ALL LAYERS OF INSULATION TO EXISTING BUR/VAPOR RETARDER TO REMAIN UNLESS NOTED OTHERWISE. REFER TO DRAWING A1.0 FOR EXISTING ROOF CONSTRUCTION CORE DATA AND MOISTURE SURVEY DATED 10/31/2023 FOR ADDITIONAL INFORMATION.
 - D1.2 REMOVE EXISTING MECHANICALLY ATTACHED PVC ROOFING SYSTEM AND ALL LAYERS OF WET/DAMAGED INSULATION TO EXISTING BUR/VAPOR RETARDER TO REMAIN UNLESS NOTED OTHERWISE. INFILL WITH NEW POLYISOCYANURATE INSULATION AND PVC MEMBRANE T.M.E. PER TYPICAL PVC ROOF REPAIR & RESTORATION ASSEMBLY ON DRAWING A2.1. REFER TO DRAWING A1.0 FOR EXISTING ROOF CONSTRUCTION CORE DATA AND MOISTURE SURVEY DATED 10/31/2023 FOR ADDITIONAL INFORMATION.
 - D1.3 EXISTING PERIMETER FASCIA, CLEAT AND ALL RELATED PERIMETER PVC FLASHING TO REMAIN - REPAIR AS REQUIRED PRIOR TO PREPPING AND PRIMING FOR NEW POLYURETHANE FLASHING PER DETAILS 1,2&3/A2.1
 - D1.4 EXISTING DUCT WORK, GAS PIPING AND RELATED NON-PENETRATING SUPPORTS TO REMAIN - TEMP. SUPPORT PIPE TO ALLOW FOR INSTALLATION OF NEW POLYURETHANE ROOF MAINTENANCE COATING PER DETAIL 10/A2.1
 - D1.5 ALL EXISTING FULLY-ADHERED PVC ROOF WALKWAY PADS TO BE CAREFULLY REMOVED TO EXISTING POLYISOCYANURATE TO REMAIN - INFILL WITH NEW PVC FLEECE BACK MEMBRANE ADHERED IN APPROVED LOW RISE FOAM ADHESIVE TO EXISTING POLYISOCYANURATE INSULATION TO REMAIN - STRIP NEW PVC MEMBRANE INTO EXISTING PVC ROOF SYSTEM TO REMAIN PRIOR TO INSTALLING MAINTENANCE COATING SYSTEM PER TYPICAL PVC ROOF REPAIR & RESTORATION ASSEMBLY ON DRAWING A2.1
 - D1.6 NEW WEATHERTIGHT HATCH & CURB CONSTRUCTION TO BE INSTALLED INTO EXISTING ROOF SYSTEM WITH NEW ROOF ACCESS LADDER & PERIMETER OSHA SAFETY RAIL BE INSTALLED PER DETAIL 4/A2.1 (FIBERGLASS DYNAROUND RAILING AND HATCHGUARD W/ SELF CLOSING GATE OR EQUAL) - VERIFY LOCATION WITH OWNER AND MODIFY EXISTING PENETRATION OPENING TO ACCEPT NEW HATCH OPENING IN STEEL DECK.

- D15 PLUMBING AND HVAC PENETRATIONS
- D15.1 EXISTING CURB MOUNTED HVAC UNITS / FAN / VENT UNIT TO REMAIN. - PREP & PRIME FOR NEW FLUID APPLIED FLASHING - REFER TO DETAIL 4/A2.1 FOR CURB FLASHING DETAIL.
- D15.2 ALL ROOF MOUNTED ANCHORED EQUIPMENT/HVAC/CONDENSER UNITS ARE TO BE DISCONNECTED, AND RE-CONNECTED BY THE OWNER'S DESIGNATED CONTRACTOR. ROOFER SHALL PROVIDE ALL ASSOCIATED HOISTING AND MODIFICATIONS REQUIRED TO PROVIDE 8" MIN. CLEARANCE TO NEW ROOF SURFACE - REFER TO DETAILS 9&10/A2.1 FOR NON-PENETRATING EQUIPMENT SUPPORT AND PITCH POCKET/WORK BOX DETAILS
- D15.3 EXISTING VENT PIPES CYLINDRICAL PENETRATIONS TO REMAIN UNLESS NOTED OTHERWISE - CAREFULLY REPAIR, PREP & PRIME EXIST VENT/SLEEVE FOR NEW FLUID APPLIED FLASHING - REFER TO DRAWING 6/A2.1 FOR VENT FLASHING DETAIL
- D15.4 EXISTING HOT FLUE / VENT PIPES / CYLINDRICAL DUCT PENETRATIONS TO REMAIN - CAREFULLY REPAIR, PREP & PRIME EXIST FLUE/VENT/DUCT SLEEVE FOR NEW FLUID APPLIED FLASHING - REFER TO DRAWING 7/A2.1 FOR HOT FLUE / CYLINDRICAL DUCT FLASHING DETAIL
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- D16 ELECTRICAL, LIGHTNING PROTECTION AND COMMUNICATIONS SYSTEMS
- D16.1 UNLESS NOTED OTHERWISE ALL EXISTING ROOF MOUNTED ELECTRICAL AND COMMUNICATIONS & LIGHTNING PROTECTION CONDUIT AND RELATED WORK BOXES, CONTROL PANELS, SECURITY CAMERAS, ETC. IS TO BE REMOVED AND/OR RE-WORKED TO ALLOW FOR INSTALLATION OF NEW ROOFING AND FLASHING SYSTEMS BY THE OWNER'S DESIGNATED ELECTRICAL / L.P. SYSTEM CONTRACTOR. THE ROOFING CONTRACTOR SHALL CAREFULLY COORDINATE & FACILITATE WORK BETWEEN THE TRADES.



TOWN OF NORTH READING
 Project Owner:
J. Turner Hood Elementary School
 Roof Repairs and Restorations
 PROJECT:
 LOCATION:
 298 Haverhill Street, North Reading, MA 01864

DATE	No.	REVISIONS

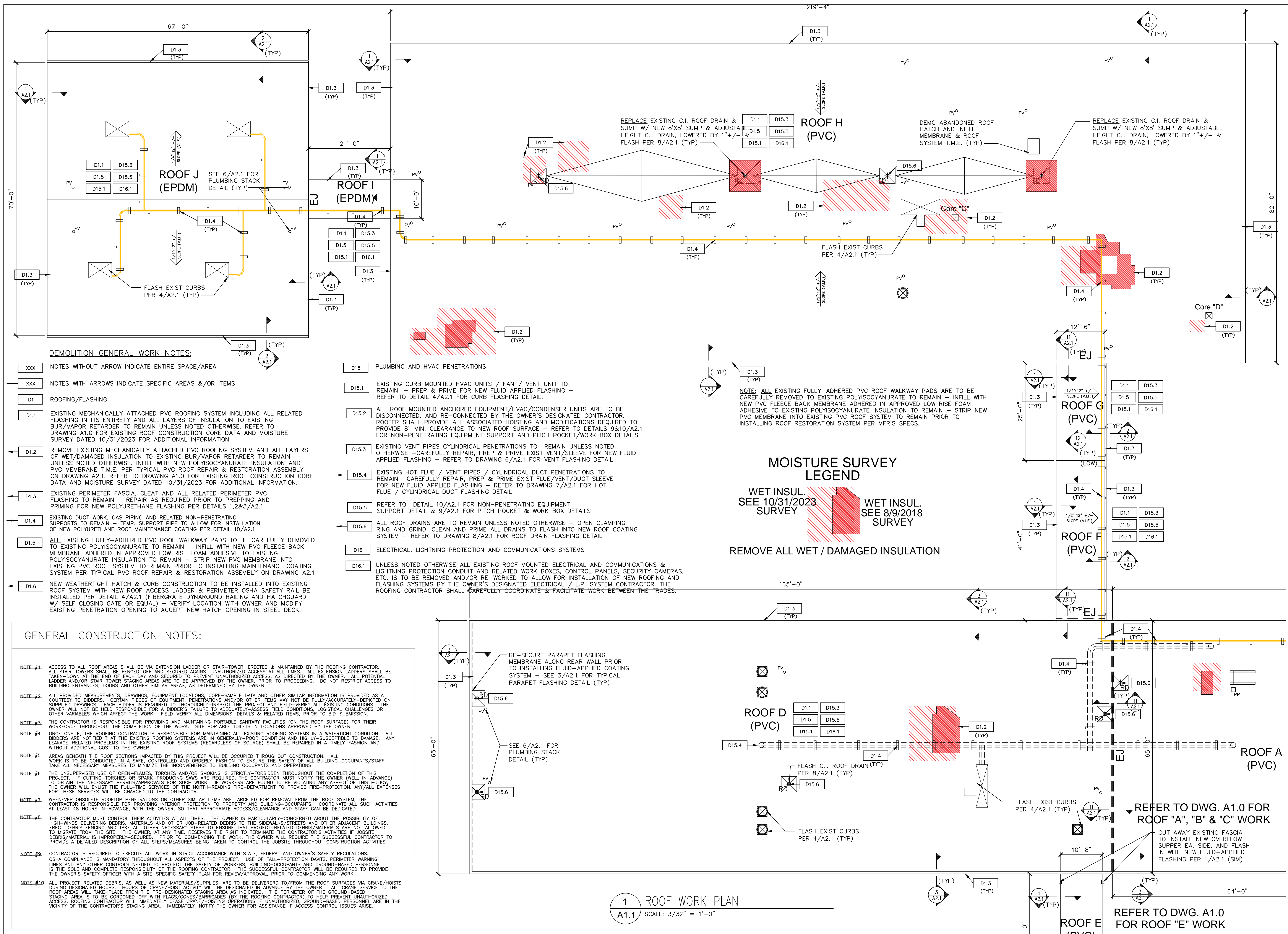
DRAWN BY: SLH APPROVED: M Nolan DATE: 26 June 2024

DRAWING STATUS: Issued for Bid: 26 June 2024

DRAWING NAME:
Roof Work Plan
General Notes &
Roof Types

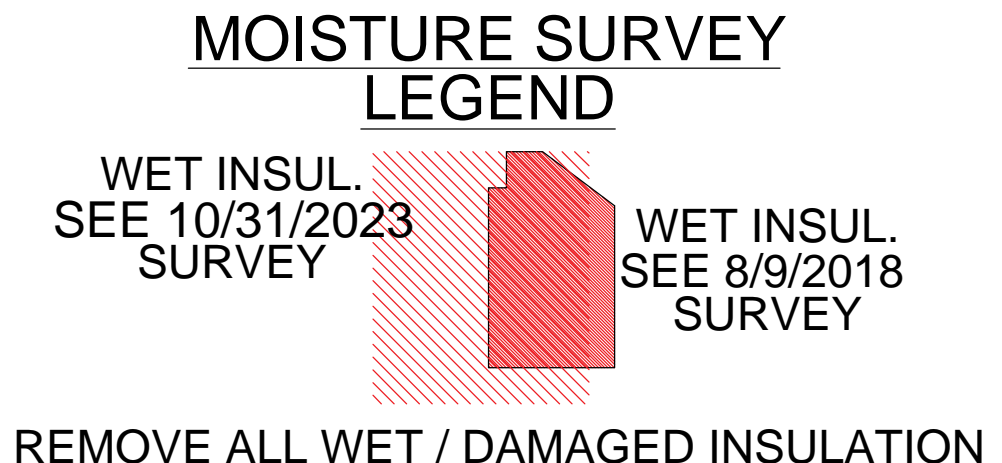
DRAWING NUMBER:

A1.0



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- GENERAL CONSTRUCTION NOTES:**
- NOTE #1 ACCESS TO ALL ROOF AREAS SHALL BE VIA EXTENSION LADDER OR STAIR-TOWER, ERECTED & MAINTAINED BY THE ROOFING CONTRACTOR. ALL STAIR-TOWERS SHALL BE FENCED-OFF AND SECURED AGAINST UNAUTHORIZED ACCESS AT ALL TIMES. ALL EXTENSION LADDERS SHALL BE TAKEN-DOWN AT THE END OF EACH DAY AND SECURED TO PREVENT UNAUTHORIZED ACCESS, AS DIRECTED BY THE OWNER. ALL POTENTIAL LADDER AND/OR STAIR-TOWER STAGING AREAS ARE TO BE APPROVED BY THE OWNER PRIOR TO PROCEEDING. DO NOT RESTRICT ACCESS TO BUILDING ENTRANCES, DOORS AND OTHER SIMILAR AREAS, AS DETERMINED BY THE OWNER.
 - NOTE #2 ALL PROVIDED MEASUREMENTS, DRAWINGS, EQUIPMENT LOCATIONS, CORE-SAMPLE DATA AND OTHER SIMILAR INFORMATION IS PROVIDED AS A COURTESY TO BIDDERS. CERTAIN PIECES OF EQUIPMENT, PENETRATIONS AND/OR OTHER ITEMS MAY NOT BE FULLY/ACCURATELY-DEPICTED ON SUPPLIED DRAWINGS. EACH BIDDER IS REQUIRED TO THOROUGHLY-INSPECT THE PROJECT AND FIELD-VERIFY ALL EXISTING CONDITIONS. THE OWNER WILL NOT BE HELD RESPONSIBLE FOR A BIDDER'S FAILURE TO ADEQUATELY-ASSESS FIELD CONDITIONS, LOGISTICAL CHALLENGES OR OTHER VARIABLES WHICH AFFECT THE WORK. FIELD-VERIFY ALL DIMENSIONS, DETAILS & RELATED ITEMS, PRIOR TO BID-SUBMISSION.
 - NOTE #3 THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING PORTABLE SANITARY FACILITIES (ON THE ROOF SURFACE) FOR THEIR WORKFORCE THROUGHOUT THE COMPLETION OF THE WORK. SITE PORTABLE TOILETS IN LOCATIONS APPROVED BY THE OWNER.
 - NOTE #4 ONCE ON-SITE, THE ROOFING CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL EXISTING ROOFING SYSTEMS IN A WATERTIGHT CONDITION. ALL BIDDERS ARE NOTIFIED THAT THE EXISTING ROOFING SYSTEMS ARE IN GENERALLY-POOR CONDITION AND HIGHLY-SUSCEPTIBLE TO DAMAGE. ANY LEAKAGE/SERVICE ISSUES IN THE EXISTING ROOF SYSTEMS (REGARDLESS OF SOURCE) SHALL BE REPAIRED IN A TIMELY-FASHION AND WITHOUT ADDITIONAL COST TO THE OWNER.
 - NOTE #5 AREAS BENEATH THE ROOF SECTIONS IMPACTED BY THIS PROJECT WILL BE OCCUPIED THROUGHOUT CONSTRUCTION. ALL WORK IS TO BE CONDUCTED IN A SAFE, CONTROLLED MANNER TO ENSURE THE SAFETY OF ALL BUILDING-OCCUPANTS/STAFF. TAKE ALL NECESSARY MEASURES TO MINIMIZE THE INCONVENIENCE TO BUILDING OCCUPANTS AND OPERATIONS.
 - NOTE #6 THE UNSUPERVISED USE OF OPEN-FLAMES, TORCHES AND/OR SMOKING IS STRICTLY-FORBIDDEN THROUGHOUT THE COMPLETION OF THIS PROJECT. IF CUTTING-TORCHES OR SPARK-PRODUCING SAWS ARE REQUIRED, THE CONTRACTOR MUST NOTIFY THE OWNER (WELL IN-ADVANCE) TO OBTAIN THE NECESSARY PERMITS/APPROVALS FOR SUCH WORK. IF WORKERS ARE FOUND TO BE VIOLATING ANY ASPECT OF THIS POLICY, THE OWNER WILL ENLIST THE FULL-TIME SERVICES OF THE NORTH-READING FIRE-DEPARTMENT TO PROVIDE FIRE-PROTECTION. ANY/FULL EXPENSES FOR THESE SERVICES WILL BE CHARGED TO THE CONTRACTOR.
 - NOTE #7 WHENEVER OBSOLETE ROOFTOP PENETRATIONS OR OTHER SIMILAR ITEMS ARE TARGETED FOR REMOVAL FROM THE ROOF SYSTEM, THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING INTERIOR PROTECTION TO PROPERTY AND BUILDING-OCCUPANTS. COORDINATE ALL SUCH ACTIVITIES AT LEAST 48 HOURS IN-ADVANCE, WITH THE OWNER, SO THAT APPROPRIATE ACCESS/CLEARANCE AND STAFF CAN BE DEDICATED.
 - NOTE #8 THE CONTRACTOR MUST CONTROL THEIR ACTIVITIES AT ALL TIMES. THE OWNER IS PARTICULARLY-CONCERNED ABOUT THE POSSIBILITY OF HIGH-RISING DEBRIS, MATERIALS AND OTHER JOB-RELATED DEBRIS TO THE SIDEWALKS/STREETS AND OTHER ADJACENT BUILDINGS. ERECT DEBRIS FENCING AND TAKE ALL OTHER NECESSARY STEPS TO ENSURE THAT PROJECT-RELATED DEBRIS/MATERIALS ARE NOT ALLOWED TO MIGRATE FROM THE SITE. THE OWNER, AT ANY TIME, RESERVES THE RIGHT TO TERMINATE THE CONTRACTOR'S ACTIVITIES IF JOBSITE DEBRIS/MATERIAL IS IMPROPERLY-SECURED. PRIOR TO COMMENCING THE WORK, THE OWNER WILL REQUIRE THE SUCCESSFUL CONTRACTOR TO PROVIDE A DETAILED DESCRIPTION OF ALL STEPS/MEASURES BEING TAKEN TO CONTROL THE JOBSITE THROUGHOUT CONSTRUCTION ACTIVITIES.
 - NOTE #9 CONTRACTOR IS REQUIRED TO EXECUTE ALL WORK IN STRICT ACCORDANCE WITH STATE, FEDERAL AND OWNER'S SAFETY REGULATIONS. OSHA COMPLIANCE IS MANDATORY THROUGHOUT ALL ASPECTS OF THE PROJECT. USE OF FALL-PROTECTION DAVITS, PERIMETER WARNING LINES AND ANY OTHER CONTROLS NEEDED TO PROTECT THE SAFETY OF WORKERS, BUILDING-OCCUPANTS AND GROUND-BASED PERSONNEL IS THE SOLE AND COMPLETE RESPONSIBILITY OF THE ROOFING CONTRACTOR. THE SUCCESSFUL CONTRACTOR WILL BE REQUIRED TO PROVIDE THE OWNER'S SAFETY OFFICER WITH A SITE-SPECIFIC SAFETY-PLAN FOR REVIEW/APPROVAL, PRIOR TO COMMENCING ANY WORK.
 - NOTE #10 ALL PROJECT-RELATED DEBRIS, AS WELL AS NEW MATERIALS/SUPPLIES, ARE TO BE DELIVERED TO/FROM THE ROOF SURFACES VIA CRANE/HOISTS DURING DESIGNATED HOURS. HOURS OF CRANE/HOIST ACTIVITY WILL BE DESIGNATED IN ADVANCE BY THE OWNER. ALL CRANE SERVICE TO THE ROOF AREAS WILL TAKE PLACE IN PRE-DESIGNATED STAGING AREA AS INDICATED ON THE PERIMETER OF THE GROUND-BASED STAGING-AREA IS TO BE CORDED-OFF WITH FLAGS/CONES/BARRICADES (BY THE ROOFING CONTRACTOR) TO HELP PREVENT UNAUTHORIZED ACCESS. ROOFING CONTRACTOR WILL IMMEDIATELY CEASE CRANE/HOISTING OPERATIONS IF UNAUTHORIZED, GROUND-BASED PERSONNEL ARE IN THE VICINITY OF THE CONTRACTOR'S STAGING-AREA. IMMEDIATELY-NOTIFY THE OWNER FOR ASSISTANCE IF ACCESS-CONTROL ISSUES ARISE.

1 ROOF WORK PLAN
SCALE: 3/32" = 1'-0"



Project Owner: **TOWN OF NORTH READING**

PROJECT: **J. Turner Hood Elementary School Roof Repairs and Restorations**

LOCATION: **298 Haverhill Street, North Reading, MA 01864**

DATE	No.	REVISIONS

DRAWN BY: SLH

APPROVED: M Nolan

DATE: 26 June 2024

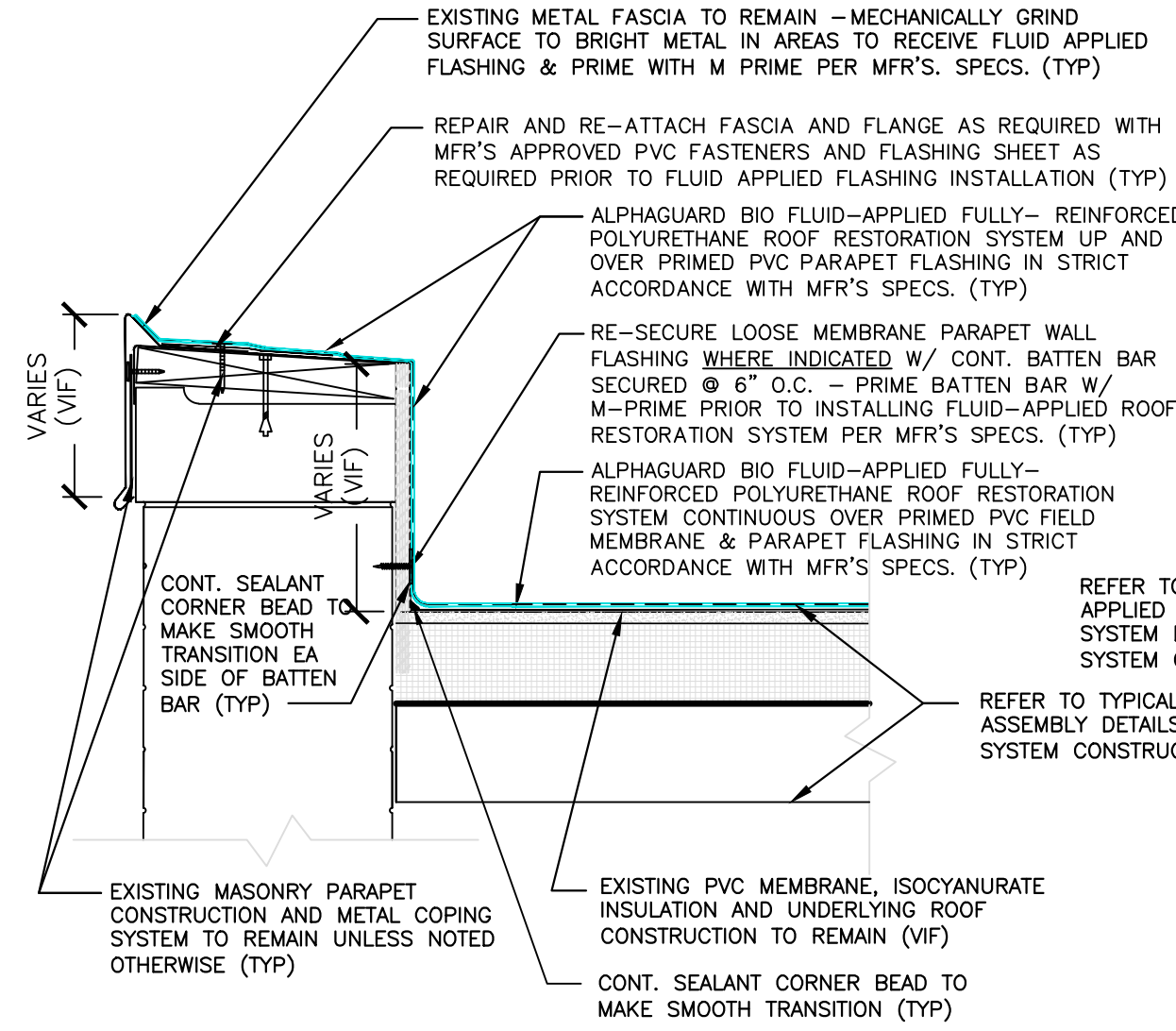
DRAWING STATUS: Issued for Bid: 26 June 2024

DRAWING NAME: **Roof Work Plan & General Notes**

DRAWING NUMBER: **A1.1**

NOTE: THICKNESSES OF INSULATION, WOOD BLOCKING COMPONENTS AND OTHER MATERIALS ARE NOT ACCURATELY-DISPLAYED. ACTUAL WOOD BLOCKING QUANTITIES, INSULATION THICKNESS AND FLASHING HEIGHTS ARE TO BE FIELD-VERIFIED (BY BIDDER) PRIOR TO SUBMISSION OF BID.

NOTE: PROVIDED DETAILS ARE SUPPLIED IN A "CONCEPTUAL CAPACITY". PRIOR TO COMMENCING WORK, THE CONTRACTOR IS RESPONSIBLE FOR FIELD-VERIFYING EXISTING DETAILS/CONSTRUCTIONS AND PROVIDING SHOP DRAWINGS FOR REVIEW/APPROVAL.

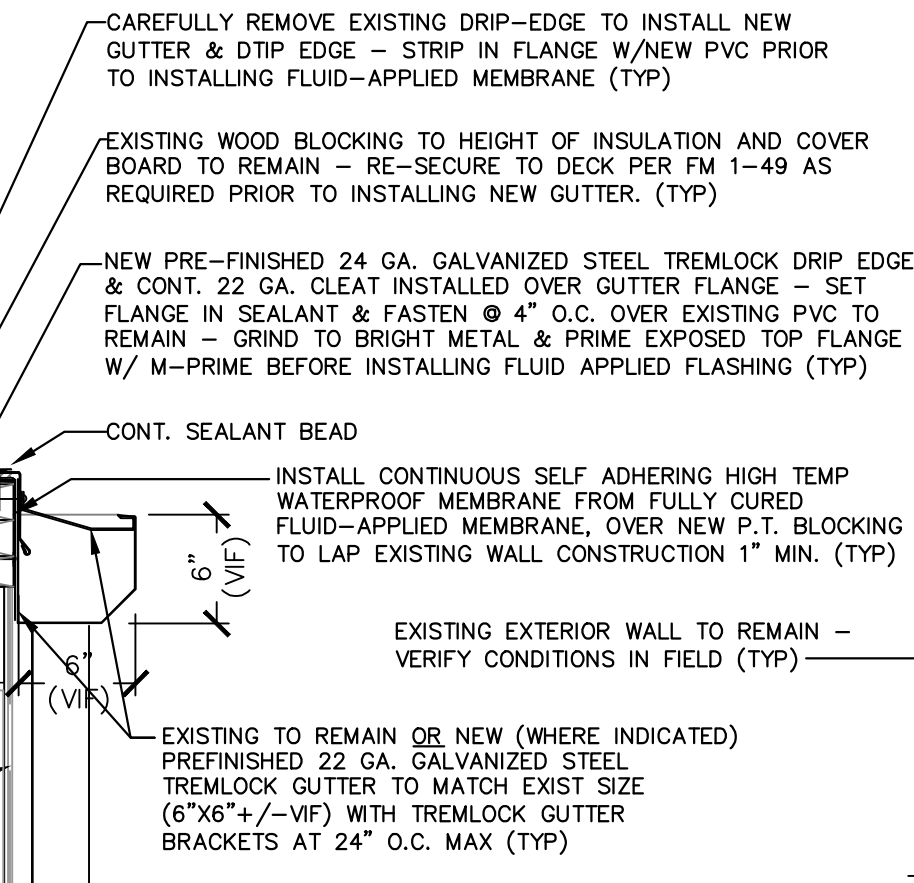


- 1) NAILERS SHALL BE SECURELY ANCHORED TO THE DECK TO RESIST A MINIMUM FORCE OF 300 POUNDS PER LINEAR FOOT. FOLLOW FACTORY MUTUAL LOSS PREVENTION DATA SHEET 1-49 RECOMMENDATIONS.
- 2) PROVIDE 4"x6" WIDE CORR. BOX-DOWNSPOUTS. SLOPE ALL GUTTERS 1/8" TO 1/2" MIN. FOR PROPER DRAINAGE. PROVIDE ALL NECESSARY BRACKETS AND SPLASHBLOCKS.

ALPHAGUARD BIO FLUID-APPLIED FULLY-REINFORCED POLYURETHANE ROOF RESTORATION SYSTEM OVER PRIMED PVC AND PRIMED DRIP EDGE IN STRICT ACCORDANCE WITH MFR'S SPECS. (TYP)

EXISTING PVC MEMBRANE, ISOCYANURATE INSULATION AND UNDERLYING ROOF CONSTRUCTION TO REMAIN (VIF)

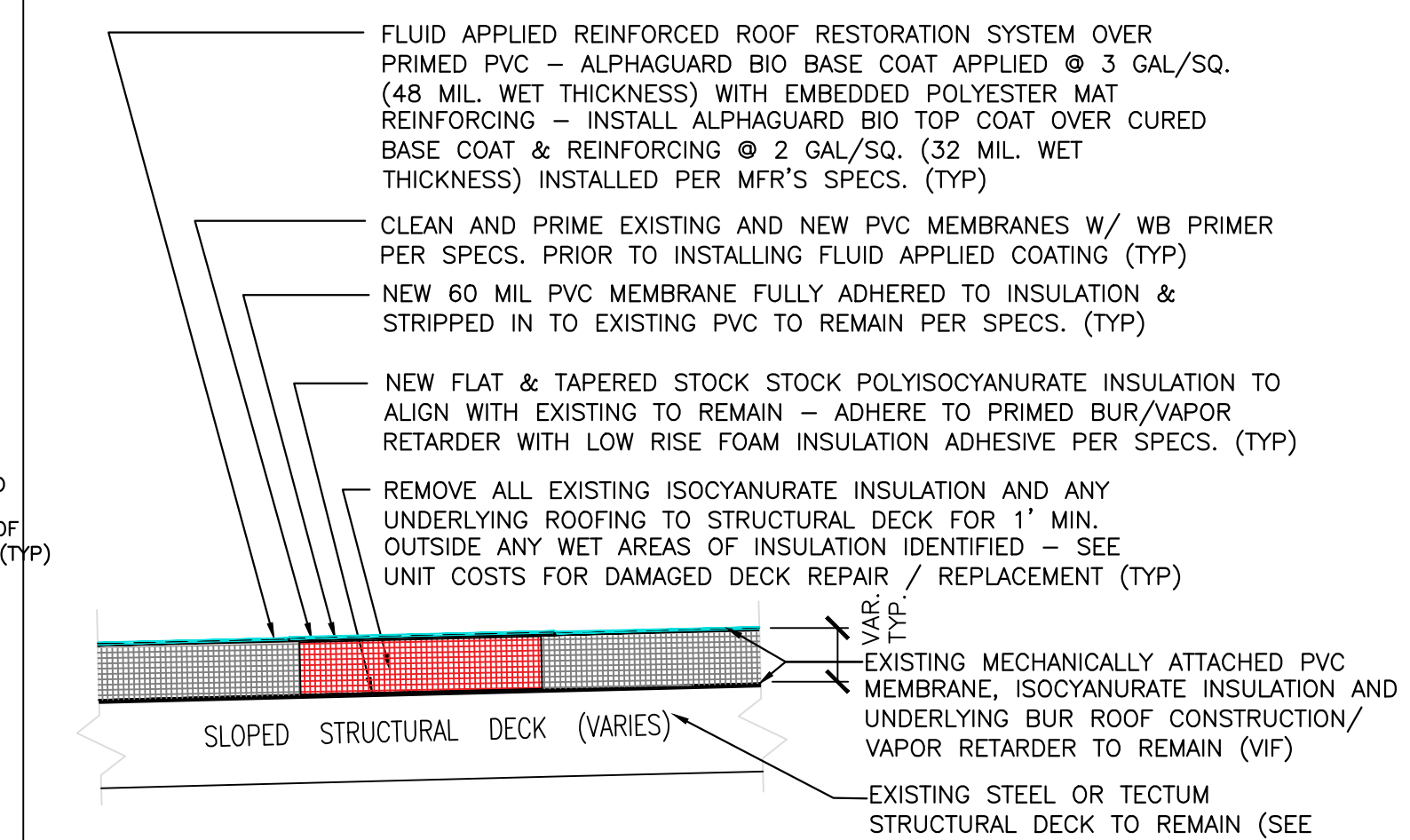
EXISTING EXTERIOR WALL TO REMAIN - VERIFY CONDITIONS IN FIELD (TYP)



EXISTING METAL FASCIA TO REMAIN - MECHANICALLY GRIND SURFACE TO BRIGHT METAL IN AREAS TO RECEIVE FLUID APPLIED FLASHING & PRIME WITH M PRIME PER MFR'S. SPECS. (TYP)

REPAIR AND RE-ATTACH FASCIA AND FLANGE AS REQUIRED WITH MFR'S APPROVED PVC FASTENERS AND FLASHING SHEET AS REQUIRED PRIOR TO FLUID APPLIED FLASHING INSTALLATION (TYP)

EXISTING PVC MEMBRANE, ISOCYANURATE INSULATION AND UNDERLYING ROOF CONSTRUCTION TO REMAIN (VIF)

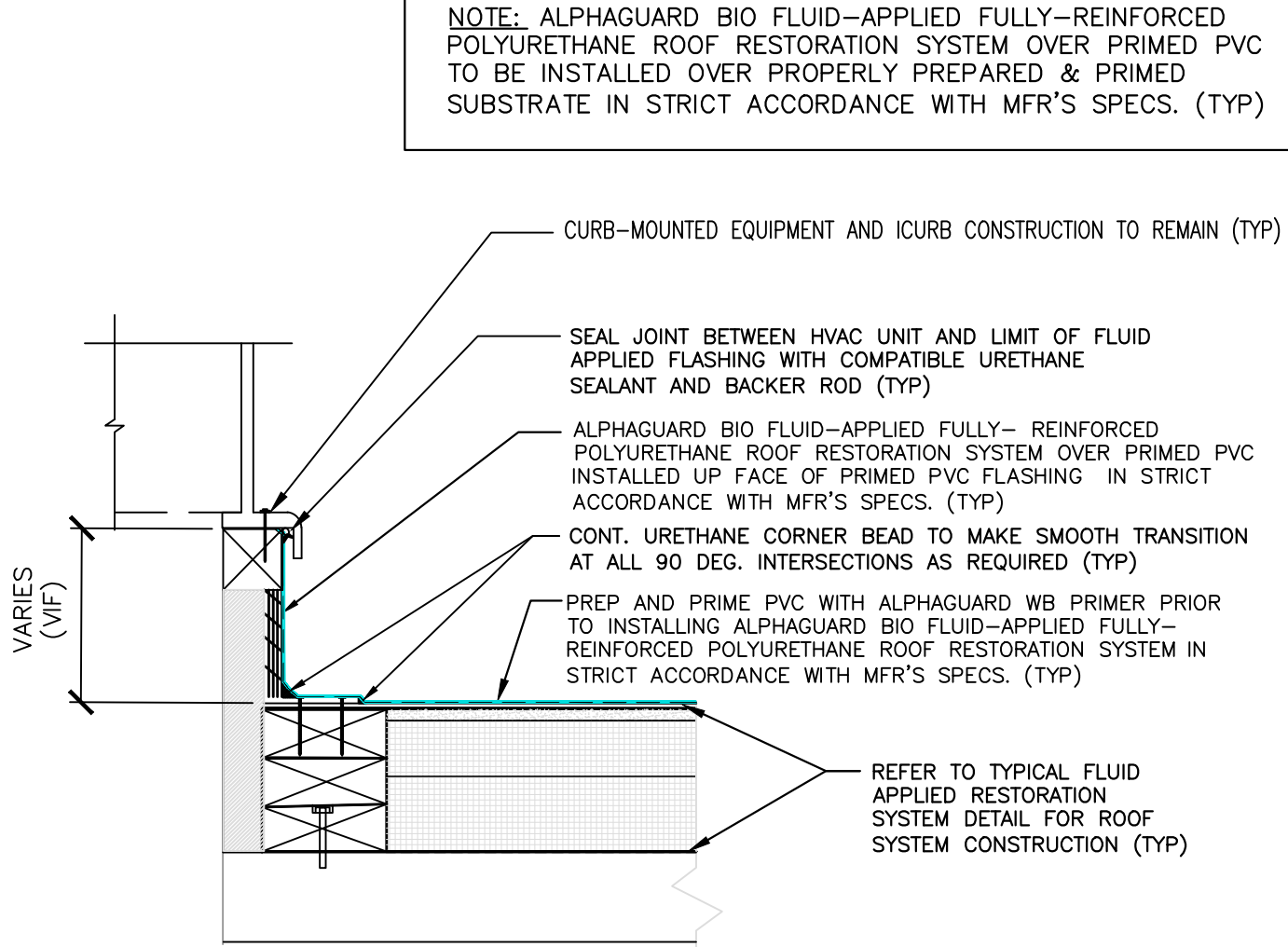
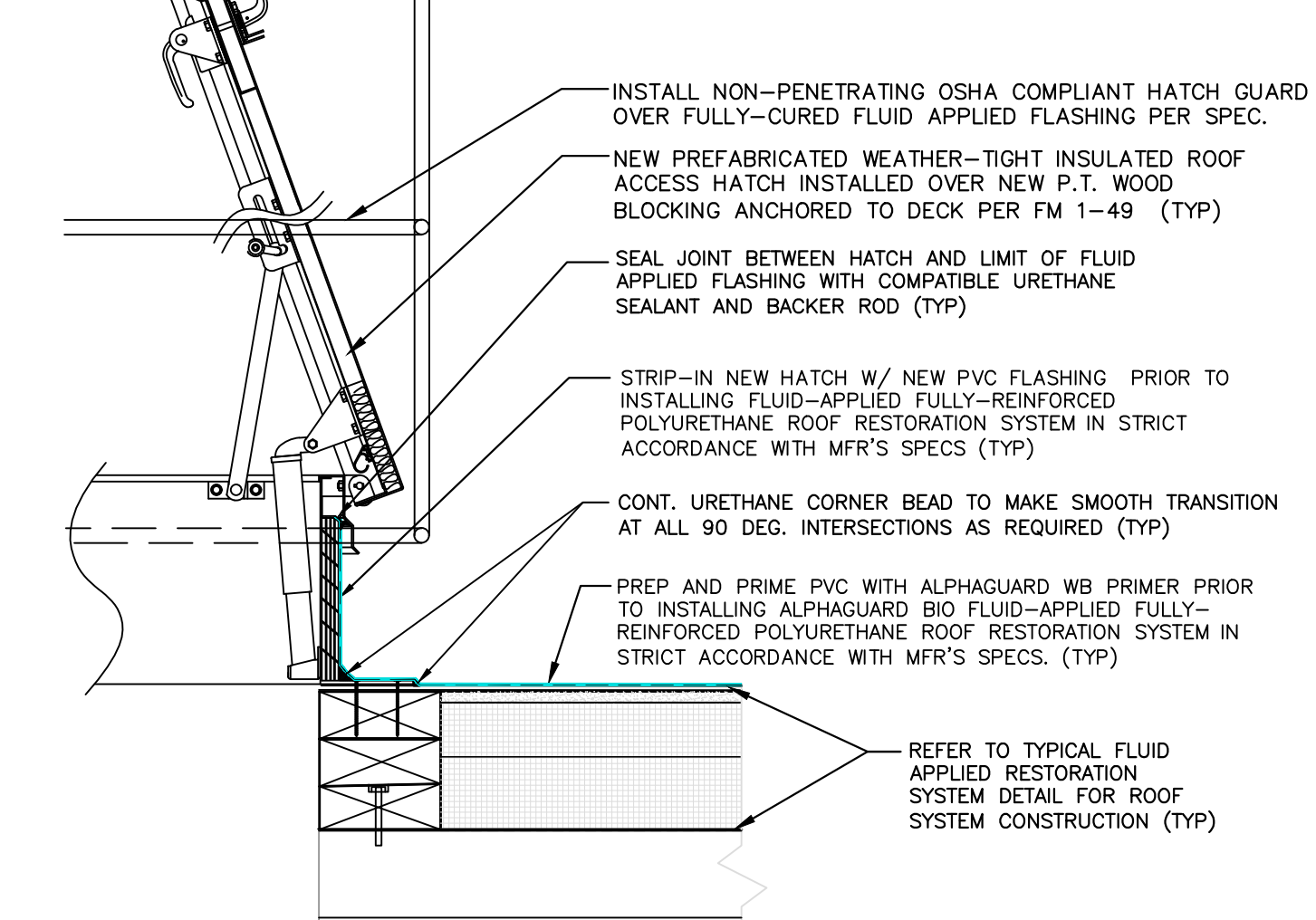
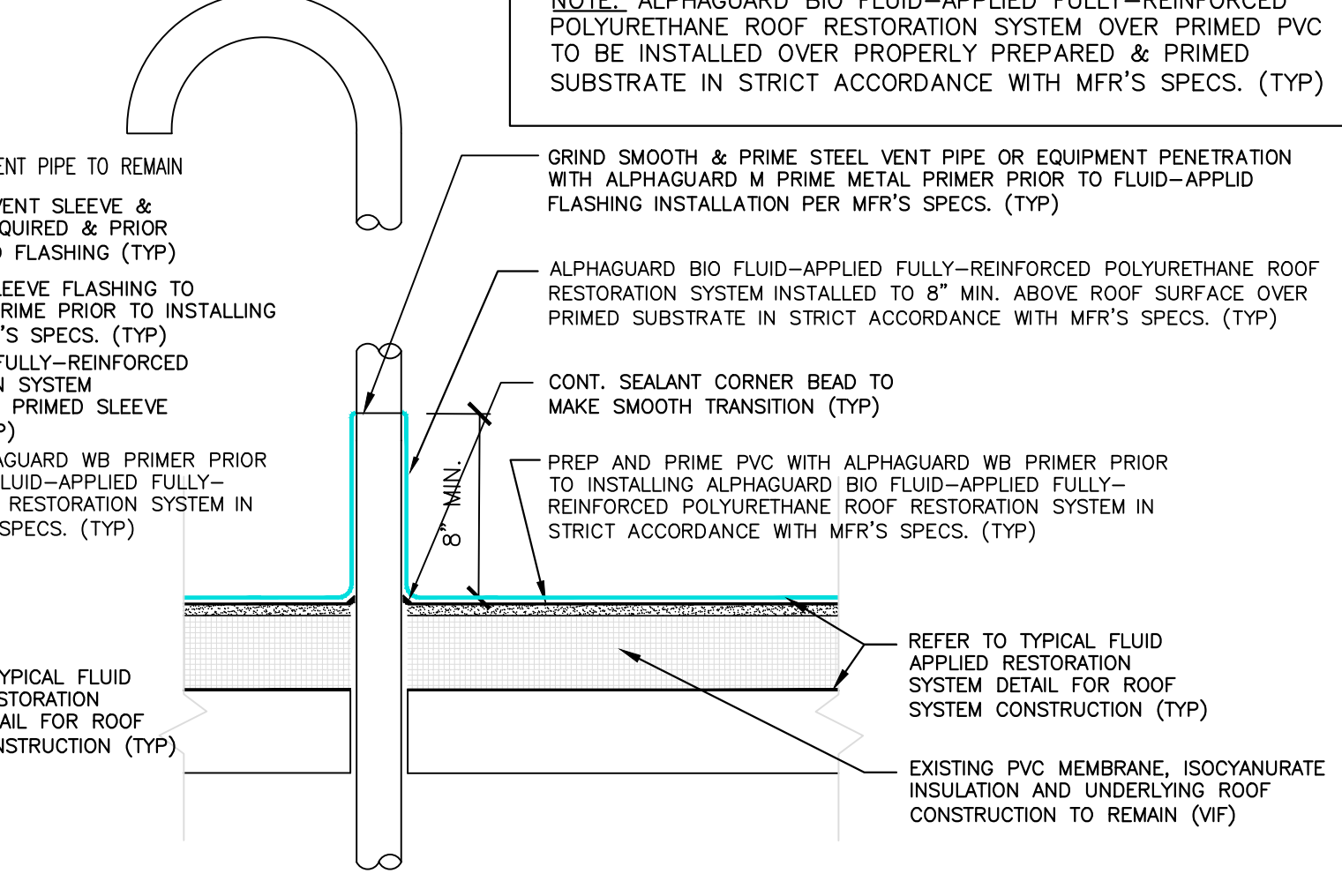
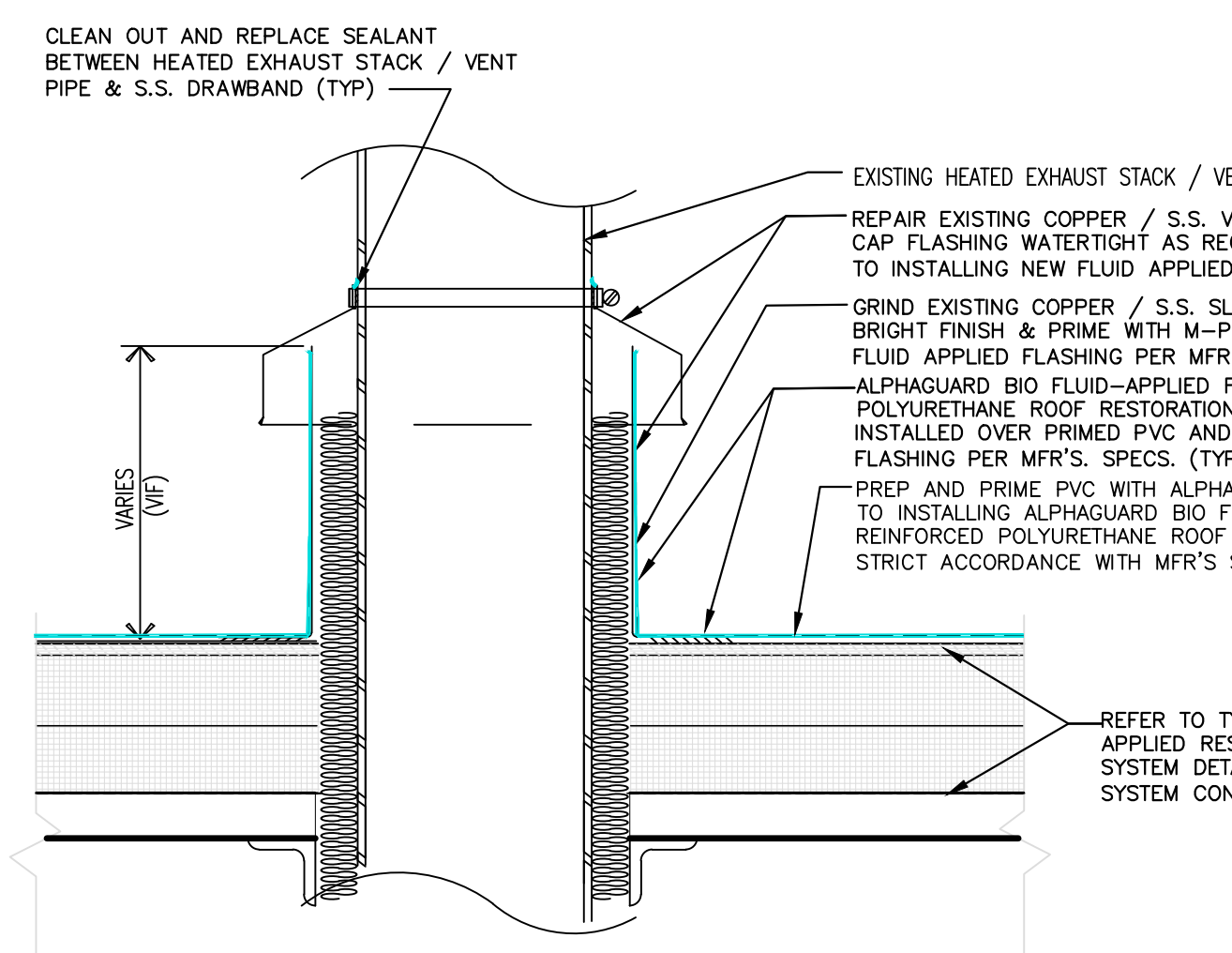


PVC ROOF REPAIR & RESTORATION ASSEMBLY
FM APPROVED FLUID APPLIED MAINTENANCE COATING SYSTEM

3 FLUID APPLIED PARAPET WALL FLASHING DETAIL
A2.1 N.T.S.

2 FLUID APPLIED FLASHING DETAIL @ NEW GUTTER
A2.1 N.T.S.

1 FLUID APPLIED FLASHING DETAIL @ EXIST FASCIA
A2.1 N.T.S.

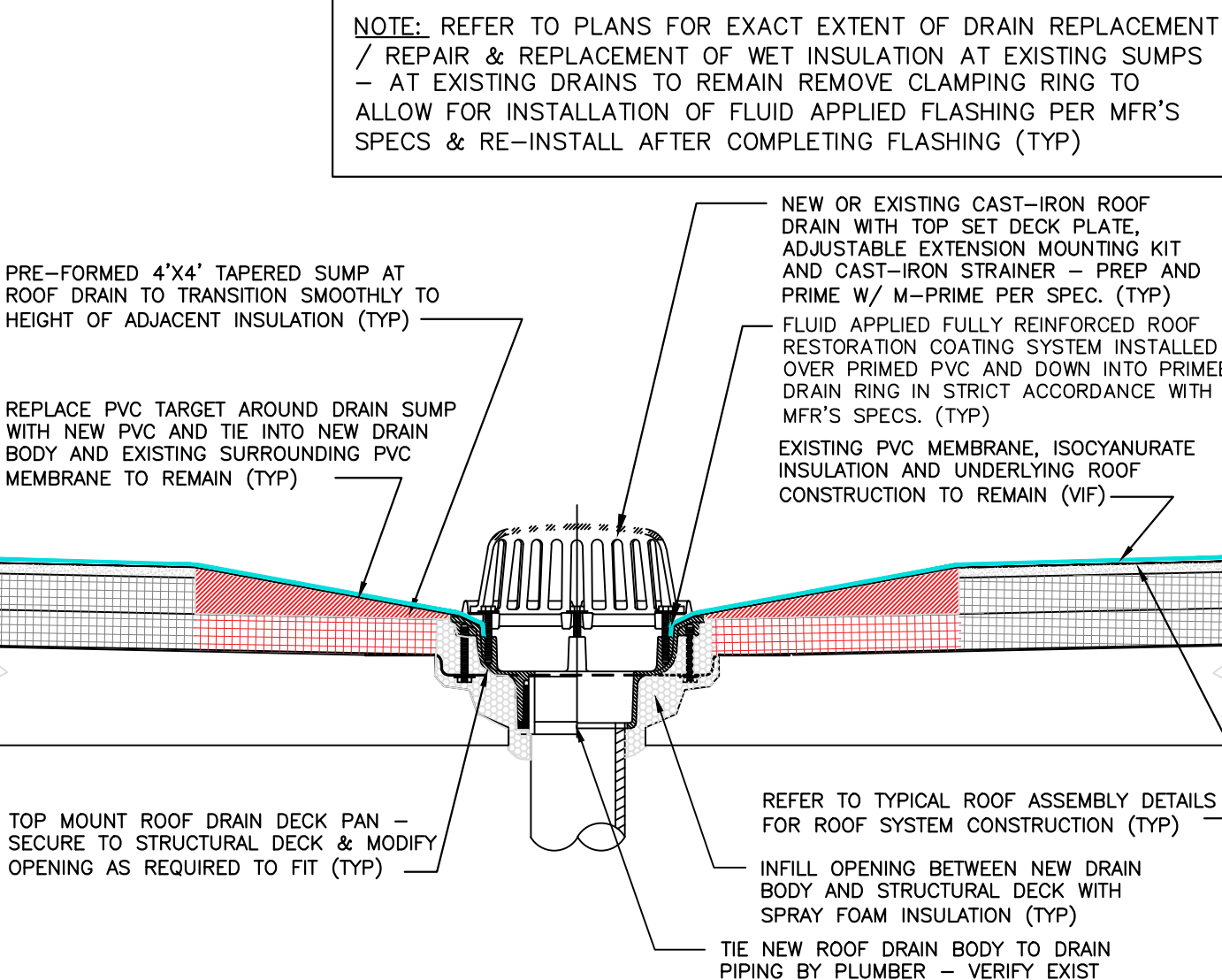
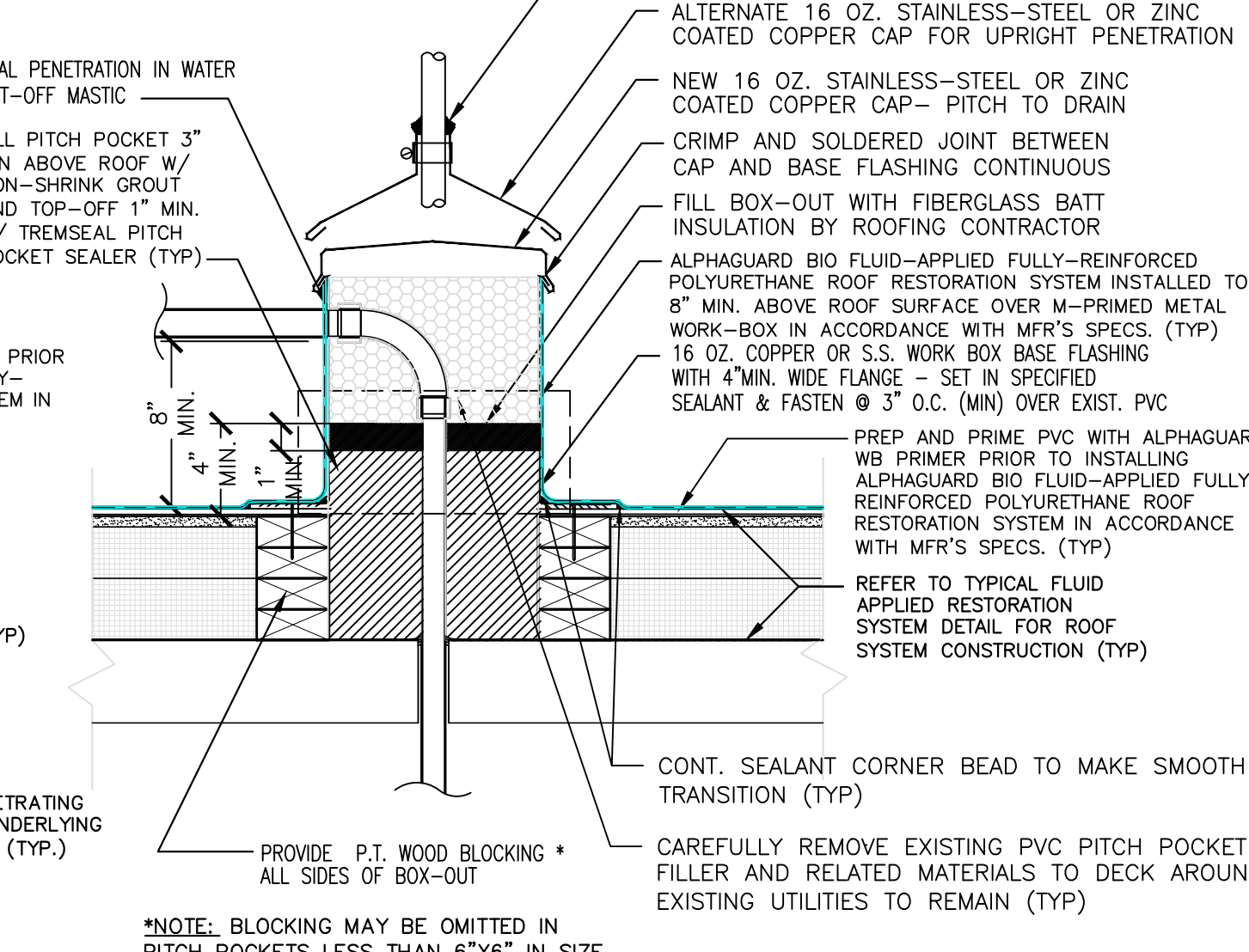
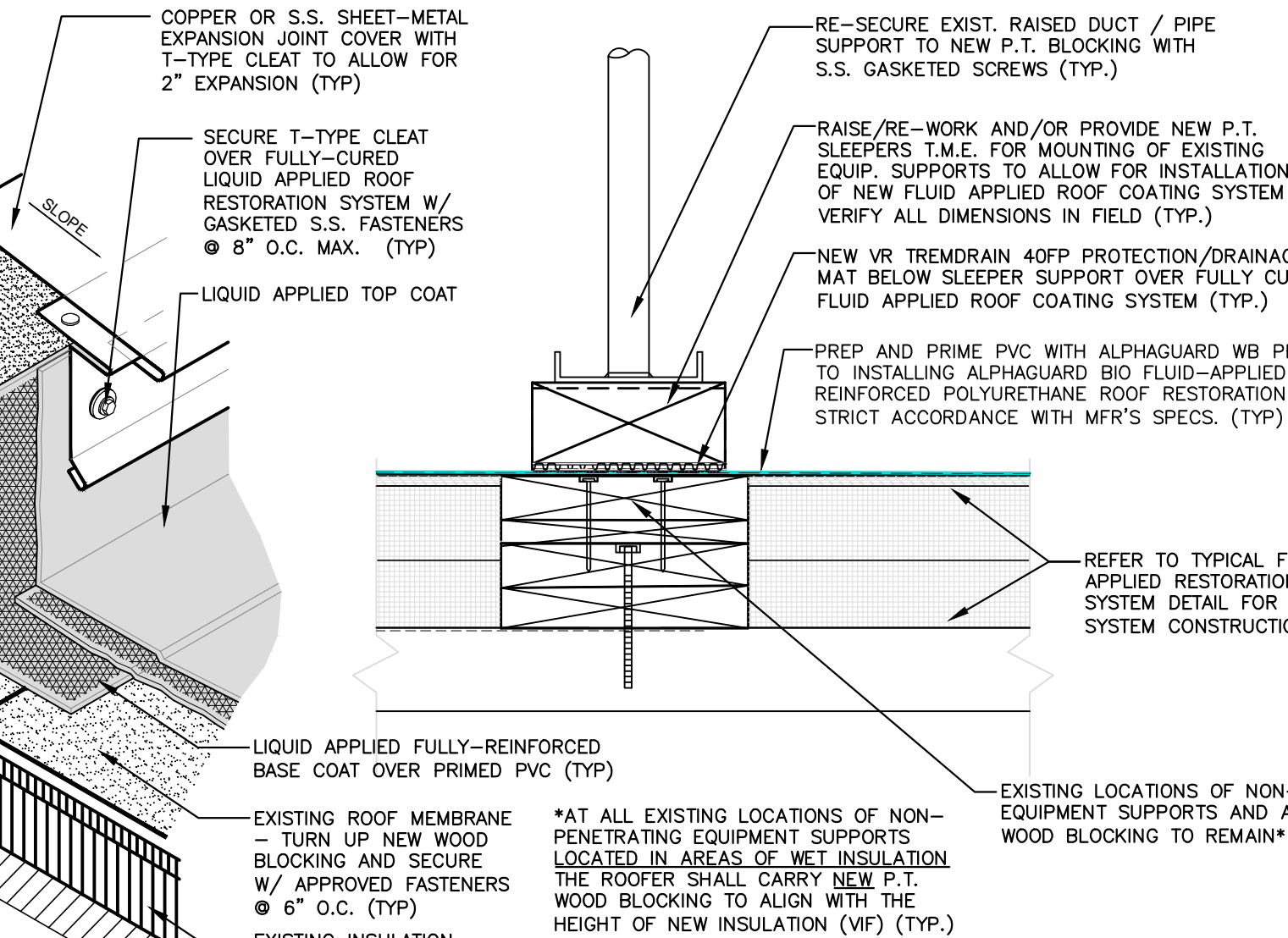
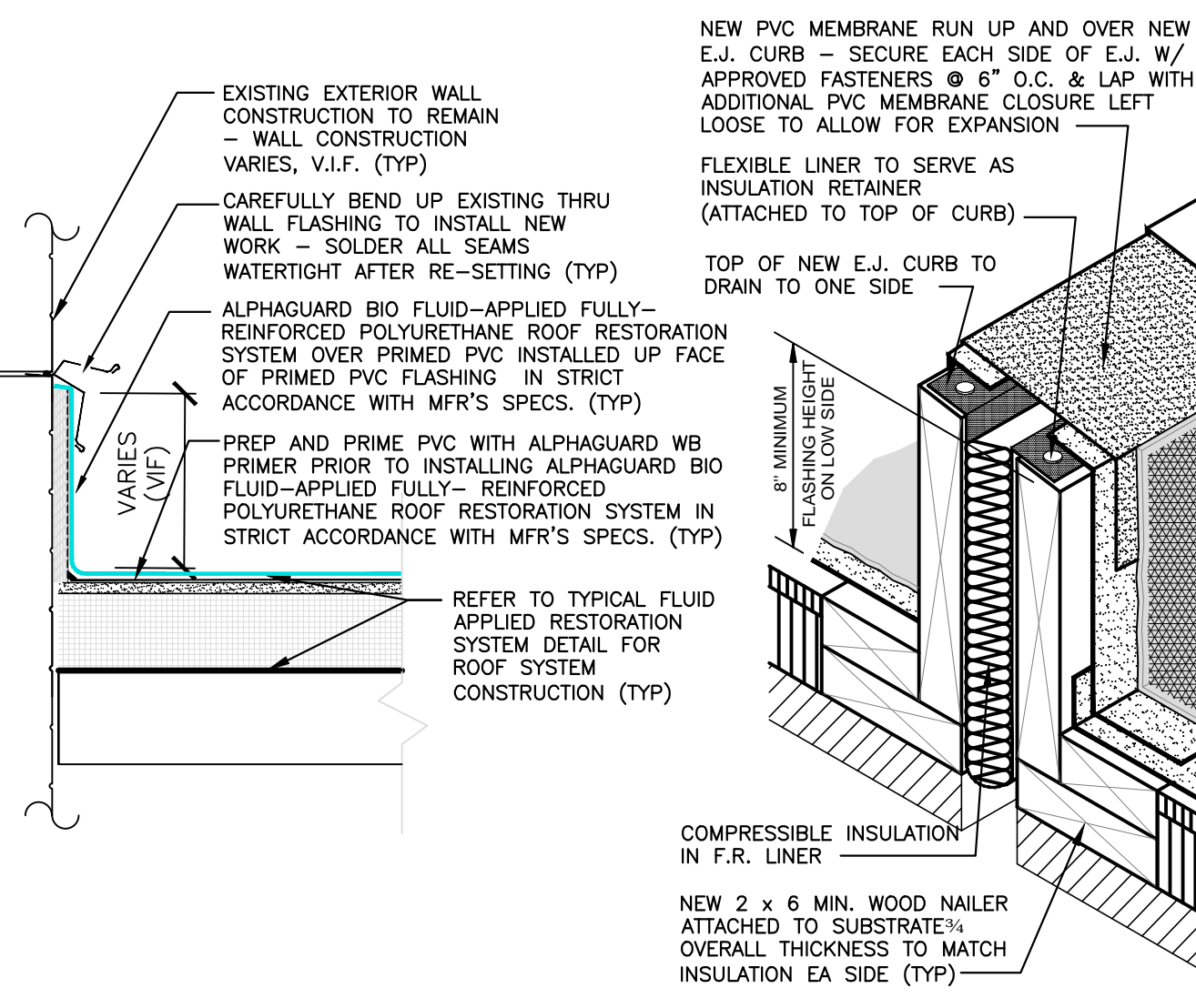


7 HOT FLUE / VENT FLASHING DETAILS
A2.1 N.T.S. (*CYLINDRICAL DUCT FLASHING SIMILAR)

6 FLUID APPLIED FLASHING DETAIL @ VENT PIPE*
A2.1 N.T.S. (*GOOSENECK PIPE FLASHING SIMILAR)

5 FLUID APPLIED FLASHING AT NEW ROOF HATCH
A2.1 N.T.S.

4 FLUID APPLIED FLASHING DETAIL AT HVAC CURB
A2.1 N.T.S. (*SKYLIGHT CURB FLASHING SIMILAR)



12 BASE FLASHING DETAIL
A2.1 N.T.S.

11 EXPANSION JOINT DETAIL
A2.1 N.T.S.

10 NON-PENETRATING EQUIPMENT SUPPORT
A2.1 N.T.S.

9 PITCH POCKET / WORK BOX FLASHING DETAIL
A2.1 N.T.S.

8 CAST IRON ROOF DRAIN FLUID APPLIED FLASHING DETAIL
A2.1 N.T.S.



TOWN OF NORTH READING

PROJECT: J. Turner Hood Elementary School Roof Repairs and Restorations

LOCATION: 298 Haverhill Street, North Reading, MA 01864

DATE	No.	REVISIONS

DRAWN BY	APPROVED	DATE
SLH	M Nolan	26 June 2024

DRAWING STATUS: Issued for Bid: 26 June 2024

DRAWING NAME: Typical Roof Repair & Restoration Details

DRAWING NUMBER:

A2.1