

STATE OF CONNECTICUT – COUNTY OF TOLLAND
INCORPORATED 1786

TOWN OF ELLINGTON

55 MAIN STREET – PO BOX 187
ELLINGTON, CONNECTICUT 06029-0187
www.ellington-ct.gov

TEL. (860) 870-3120 TOWN PLANNER'S OFFICE FAX (860) 870-3122

PLANNING AND ZONING COMMISSION REGULAR MEETING AGENDA MONDAY, JUNE 30, 2025, 7:00 PM

IN-PERSON ATTENDANCE: TOWN HALL ANNEX, 57 MAIN STREET, ELLINGTON, CT
REMOTE ATTENDANCE: ZOOM MEETING, INSTRUCTIONS PROVIDED BELOW

I. CALL TO ORDER:

II. PUBLIC COMMENTS (on non-agenda items):

III. PUBLIC HEARING: (Notice requirements met and hearings may commence, unless otherwise noted.)

1. Z202511 – Village Properties Associates, LLC, applicant / Daniel Boone and Barbara Frassinelli, owner, request for Site Plan Approval to construct a 11,808 sf warehouse/storage and manufacturing/assembly building and Special Permit for a storage yard for new lumber, building materials, and related items at 79 Windermere Avenue, APN 018-004-0001, and 14 Village Street, APN 017-012-0000, in Industrial Park (IP) zone.
2. Z202512 – Connecticut Water Company, owner / applicant, request for Site Plan and Special Permit to upgrade existing water treatment facility, including demolition of existing well-house and construction of a 4,230 sf water treatment facility, storm drainage, bituminous/gravel pavement, and associated site improvements at Egypt Road, APN 161-069-0000, in a Rural Agricultural Residential (RAR) zone.

IV. NEW BUSINESS:

V. OLD BUSINESS:

1. Z2020503 - Town of Ellington, owner/ Ellington Planning & Zoning Commission, applicant, for proposed Zoning Regulation Amendments to reflect the updated Connecticut Guidelines for Soil Erosion and Sediment Control and include Low Impact Development Standards. (Continue from March 31, 2025.)

VI. ADMINISTRATIVE BUSINESS:

1. Approval of May 19, 2025, Regular Meeting Minutes.
2. Correspondence/Discussion:

VII. ADJOURNMENT:

Next Regular Meeting is scheduled for July 28, 2025.

Instructions to attend meeting remotely listed below. The agenda is posted on the Town of Ellington webpage (www.ellington-ct.gov) under Agenda & Minutes, Planning & Zoning Commission.

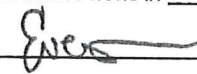
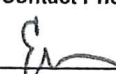
Join Zoom Meeting via link:
<https://us06web.zoom.us/j/85601993501>
Meeting ID: 856 0199 3501
Passcode: 613854

Join Zoom Meeting by phone:
1-646-558-8656
Meeting ID: 856 0199 3501
Passcode: 613854

Town of Ellington

Planning & Zoning Commission Application

Type of Application: <input type="checkbox"/> Zone Change <input type="checkbox"/> Amendment to Regulation <input checked="" type="checkbox"/> Site Plan Approval <input checked="" type="checkbox"/> Special Permit <input type="checkbox"/> Modification <input type="checkbox"/> CGS 8-24	Application # Z 202511 Date Received 5/15/2025
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Notices associated with this application will be sent to the applicant, if different than the owner, unless otherwise requested. Owner's Information (See attached) Name: <u>Village Properties Associates, LLC</u> Mailing Address: <u>9 Village Street</u> <u>Ellington, CT 06029</u> Email: <u>everett@barnyard.com</u> WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? <input type="checkbox"/> Yes <input type="checkbox"/> No Primary Contact Phone #: <u>860-454-9103 x114</u> Secondary Contact Phone #: _____ Signature: <u></u> Date: <u>5.15.25</u> By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Commission have been submitted. Moreover, by signing above I/we expressly provide written consent to the filing of the application and access to the site by the Commission or its staff.	Notices associated with this application will be sent to the applicant, if different than the owner, unless otherwise requested. Applicant's Information (if different than owner) Name: <u>Village Properties Associates, LLC</u> Mailing Address: <u>9 Village Street</u> <u>Ellington, CT 06029</u> Email: <u>everett@barnyard.com</u> WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Primary Contact Phone #: <u>860-454-9103 x114</u> Secondary Contact Phone #: _____ Signature: <u></u> Date: <u>5.15.25</u> By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Commission have been submitted.
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Street Address: <u>79 Windermere Avenue and 14 Village Street</u>		TOWN OF ELLINGTON PLANNING DEPARTMENT
Assessor's Parcel Number (APN): <u>018 004 0001</u> (If unaware of APN, please ask staff for assistance)	Existing Zone: <u>IP</u> Proposed Zone: <u>N/A</u> (If none, insert "N/A")	Public Water: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Public Sewer: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <i>If not served by public water and sewer, applicant/owner shall make application to North Central District Health Department (Enfield Office).</i>
Is parcel within 500' to any municipal boundary? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Are there any wetlands/watercourses within 100' of construction activity or within 250' of wetlands/watercourses when located in the Shenipsit Lake Drainage Basin? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <i>If yes, pursuant to state law application must be made to the Inland Wetlands Agency prior to or simultaneously with application to the Planning and Zoning Commission.</i>		
Is the project in a public water supply watershed area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <i>If yes, applicant shall notify Connecticut Water Company and Commissioner of Public Health about the proposed project by certified mail return receipt within 7 days of application (§8-3i(b)). Copy of application, plans, and supporting documents must accompany notice. Proof of notice and copies of return receipts must be provided to the Planning Department.</i>		

Description of Request (If more space is needed, please attach additional sheets)

Site plan approval for construction of a 11,808 SF building for warehouse/storage and manufacturing/assembly use.
 Construction of gravel storage yard with paved access drives to Windermere Avenue and Village Street.
 Special Permit request for Storage Yard for New Lumber, Building Materials and related items. Items will include prefabricated storage buildings, sheds and similar structures.

79 Windermere Ave and 14 Village St



MAP FOR REFERENCE ONLY NOT A LEGAL DOCUMENT

Town of Ellington, CT makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 11/11/2021
Data updated daily

Print map scale is approximate.
Critical layout or measurement
activities should not be done using
this resource.

STORM WATER MANAGEMENT REPORT

**Proposed Storage Building and Outside Storage Area
14 Village Street and 79 Windermere Avenue
Ellington, CT**

RECEIVED

MAY 15 2025

**TOWN OF ELLINGTON
PLANNING DEPARTMENT**

Prepared For:

Village Properties Associates, LLC

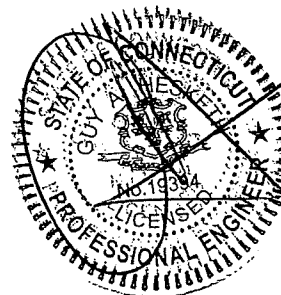
Prepared By:

**F. A. Hesketh & Associates, Inc.
6 Creamery Brook
East Granby, CT 06026**



**F. A. Hesketh
& Associates, Inc.**

May 15, 2025



1. Introduction

This storm water management report has been prepared to demonstrate that the storm water management practices for the proposed industrial development meet the requirements of Town of Ellington Zoning Regulations, follow sound engineering practices, and protect adjacent landowners from adverse storm water impacts.

This report presents hydrologic analysis of both pre- and post-developed conditions to demonstrate that the development of the parcels will not result in a net increase in peak rate of discharge of runoff from the development.

2. Project Description

The proposed development site is comprised of two parcels, 14 Village Street and 79 Windermere Avenue. The 79 Windermere parcel is located on the southwest corner of the intersection of Windermere Avenue and Village Street. The 14 Village Street parcel abuts the west boundary of the 79 Windermere Avenue parcel. In the aggregate, these parcels total approximately 9.62 acres. The 79 Windermere parcel is currently occupied by two prefabricated buildings and a gravel surface area with a gravel drive to Village Street, all of which encompass approximately one acre. The balance of the site consists of approximately 2.3 acres of woodland along the western and southern perimeters, and formerly plowed fields (approximately 5.5 acres). In recent years, it has been in agricultural use where corn was planted and harvested over approximately 6.5 acres. The 14 Village Street parcel contains a house and other outbuildings and is currently used for both residential and commercial activities. Industrial uses are located to the east, west and north of the parcels. A multi-family use, Windermere Village, abuts the southern boundary of the parcels.

The proposal includes demolition of existing structures on the 14 Village Street parcel and removal of the prefabricated buildings on the 79 Windermere lot, then constructing an 11,832 SF warehouse/storage building in the northwest corner of the lot and a gravel surface storage yard. A concrete apron is proposed around the north, east and south sides of the building. The gravel yard will be used for outside storage of prefabricated sheds, other small, prefabricated building structures and building materials. Paved access drives are proposed to Both Village Street and Windermere Avenue.

Two linear water quality basins are proposed to manage stormwater runoff and will be located around the perimeter of the gravel storage area. Perimeter Swale N&E (PS N&E) will be located along the north and east perimeter of the parcel between the gravel storage area and the roadways. Perimeter Swale S (PS S) will be located at the southern edge of the gravel storage area. These basins will both receive runoff from the gravel storage area, via sheet flow. The roof from the proposed building will also drain into the basins, via storm drain leaders, one into each basin. The basins will be interconnected via double 24-inch diameter concrete culverts. Runoff is proposed to be discharged from PS S via concrete rectangular weir into a low-lying area just upgradient of the inlet of a culvert that crosses Windermere Avenue in the southeast corner of the parcel. These two water quality basins collect runoff from the site, provide for a level of infiltration and treat

stormwater runoff prior to its discharge. The southern water quality basin, PS S, will provide storage of the minimum-CT DEEP-recommended water quality volume for the entire site.

3. Hydrologic Analysis

The design of the stormwater management systems for the proposed development is aimed at mitigating peak rate of runoff and in treating stormwater runoff for the minimum-recommended CT DEEP water quality volume.

Hydrologic analysis was conducted for both the existing condition and the proposed developed condition to determine peak flow of runoff and total volume of runoff, under both conditions. The analysis included runoff generated by the 9.62-acre parcels together with runoff generated by adjacent off-site areas the currently drain onto, and through the parcels and ultimately to the inlet of the Windermere Avenue cross culvert. Hydraflow Hydrographs 2007 computer software was utilized in the analysis. The TR-55 Method was used to determine peak flows and total volume of runoff for both the pre- and post-redeveloped conditions. Times of concentration were calculated using the TR55 travel times methods provided in the Hydraflow software (i.e., Sheet flow, Shallow Concentrated Flow, and Open Channel Flow, where applicable).

Surficial Soil mapping indicates the site is characterized by Ellington silt loam and Hartford sandy loam, both well drained soils. As such, both of these soils were modeled assuming they are characteristically under Hydrologic Soil Group A (See [Attachment 1](#)).

SCS Curve Numbers for the various land-use types were based on the following values (per Table 2-2a, b and c of USDA Urban Hydrology for Small Watersheds TR-55):

- CN=36 Woods, fair condition, Group A;
- CN=64 Row crops, good condition, Group A;
- CN=51 Residential District, 1 Acre, Group A;
- CN=98 Impervious Areas, Group A;
- CN=39 Open Space, lawns, good condition, Group A;
- CN=100 Water body;

To be conservative, gravel surfaces were modeled as though they were impervious (CN=98), even though Table 2-2a lists gravel surfaces in Group A soils having a CN=76. A Type D Storm Distribution (24-hour storm) with a shape factor of 484 and a six-minute time interval was used in the model. Analysis was performed for the 2-, 5-, 10-, 25-, 50-, and 100-year-return period storm events, using the PDS-based point precipitation frequency estimates for the 6-hour and 24-hour duration storm event for the site, following the NOAA Atlas 14 published rates. (See [Attachment 2](#))

Existing and proposed conditions were analyzed to a single point of discharge, the southeast corner of the site, just upgradient of the inlet to the Windermere Avenue cross culvert. This point of analysis is depicted graphically on [Figure DA-1](#) and [Figure DA-2](#) as Design Point

'X'. All of the runoff from the parcel and adjacent areas along the perimeters of the parcel ultimately drain to Design Point 'X'.

Existing Conditions Analysis

For purposes of the existing-conditions hydrologic analysis, a single watershed was analyzed, EWS (EXISTING). The limit of this Watershed is depicted on Figure DA-1.

Existing-condition flow to Design Point 'X' includes runoff from the entire parcel and additional runoff from adjacent parcels located to the west, as well as runoff from the east half of Windermere Avenue and the south half of Village Street and adjacent rights of way. These areas flow onto and through the subject parcel and ultimately to Design Point 'X'.

Travel times for the existing-conditions watershed to Design Point 'X' were calculated using the TR-55 methodologies provided in the Hydraflow program, including sheet flow and shallow concentrated flow. A time of concentration of 26 minutes was calculated by the program. The Tc calculation was computed for runoff to enter the low point at the southern edge of the parcel. It is assumed that this low point is hydrologically connected to the ponded area extending westward from the culvert inlet of the Windermere Avenue cross culvert located at the southeast corner of the parcel.

Weighted curve numbers were calculated for the watershed by utilizing areas determined by AutoCAD polyline delineations and the CN values presented in Table 2-2a, b, and c (from TR-55) included in Attachment 3 for the various land-use types.

The existing-conditions drainage area map, Figure DA-1, shows the existing condition watersheds, flow paths, the parameters used for the time of concentration determination and areas of various land-use types and corresponding CN values. The Hydraflow model calculates the total volume and peak rate of discharge for the existing development conditions for the existing-conditions watershed. Results of peak rates of flow are summarized on Table 1.

Proposed Conditions Analysis

For purposes of the proposed-conditions hydrologic analysis, two watersheds were analyzed, Watershed PWS – N&E, and Watershed PWS - S. The limits of these watersheds are depicted on Figure DA-2.

Watershed PWS - N&E includes approximately the north 40% of the parcels and adjacent off-site areas. This catchment area is proposed to drain to Perimeter Swale N&E. Proposed-conditions flow to Watershed PWS-S includes approximately the south 60% of the parcel and adjacent off-site areas. This catchment area is proposed to drain to Perimeter Swale S. Outflow from Perimeter Swale PWS-N&E is proposed to discharge to Perimeter Swale S via twin 24" concrete culverts. These culverts will be partially submerged and will provide an interconnect between the basins so they hydrologically act as one large detention basin. Outflow from Perimeter Swale S is proposed to discharge via a rectangular concrete

weir structure to an area adjacent to the inlet of the cross culvert of Windermere Avenue, in the southeast corner of the parcel.

Travel times for runoff entering each of the perimeter swales were calculated using the TR-55 methodologies provided in the Hydraflow program. A time of concentration of 12.0 minutes was calculated by the program for stormwater entering Perimeter Swale N&E, and a time of concentration of 12.6 minutes was calculated for stormwater entering Perimeter Swale S.

Weighted curve numbers were calculated for the watersheds by utilizing areas determined by AutoCAD polyline delineations and the CN values Table 2-2a, b, and c (TR-55) included in Attachment 3 for the various land-use types.

The proposed-conditions drainage area map, Figure DA-2, shows the existing condition watersheds, flow paths, the parameters used for the time of concentration determination and areas of various land-use types and corresponding CN values.

The basins were modeled as a single detention basin as the twin 24-inch interconnecting pipes offers no measurable impedance of flow between the basins. Inflow runoff from the two proposed-condition watersheds was combined and routed through a single composite water quality basin that included the aggregate volumetric capacity and aggregate stage/storage characteristics of the combined basins through the concrete weir outfall. The stage-storage relationships for the water quality basin were calculated by the model using the conical method by inputting the elevation and area of contours for the basins, in the aggregate. Contour areas were determined by polyline delineations in the AutoCAD drawings.

The stage-discharge relationships for the concrete weir outlet was computed by the program, following input of the outlet geometry for the weir. The outlet will consist of rectangular concrete weir with a 1.5-foot wide crest at elevation 225.00. A weir coefficient of 3.33 was modeled for this outfall.

The program calculates a stage-discharge relationship for the outfall and routes the inflow through the combined basins. Stage-Storage and Stage-Discharge relationships for the combined basins and the outlet structure are presented in the model input/output, which is included as Attachment 4.

For the proposed site conditions, total peak rates of flow from the site were modeled for the 2-, 5-, 10-, 25-, 50- and 100- year storm events by the program. The data shows that there is no increase in the peak rate of runoff to Design Point 'X', as a result of the proposed development. Results of analysis are presented in Attachment 4 and total peak flows of on-site runoff generated are summarized in Table 1.

TABLE 1

**Peak Rates of Runoff from the Site
Existing vs. Proposed Conditions**

	EXISTING CONDITIONS	PROPOSED CONDITIONS
Return Period (years)	Peak Rate of Flow (CFS)	Peak Rate of Flow (CFS)
	Total Off-site Flow	Total Off-site Flow
2-Yr	1.7	1.2
5-Yr	5.0	2.3
10-Yr	8.6	3.5
25-Yr	14	5.4
50-Yr	19	6.8
100-Yr	24	8.5

The analysis indicates that there is no increase in peak rate of flow from the proposed site development for all storm events modeled. The proposed water quality basins adequately mitigate any increase in runoff due to development.

Town Regulations require the detention facilities to be designed to handle storm frequencies from the 2 to 50-year frequency. The detention facilities proposed handle up to and including the 100-year event with more than one foot of freeboard in the basins.

5. Water Quality Computations

In accordance with Chapter 4 of the 2024 Connecticut Stormwater Quality Manual (CSQM), the water quality basins have been designed to capture and treat the minimum water quality volume.

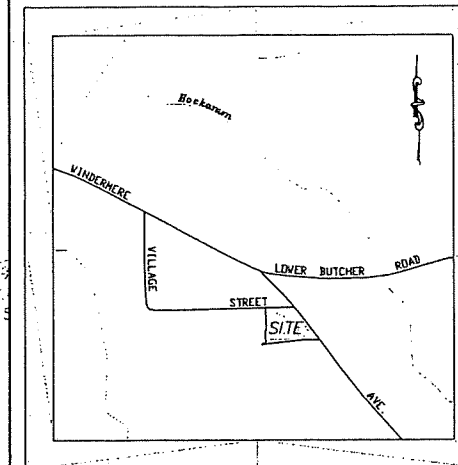
The water quality basins are proposed as part of the stormwater management of the site runoff. The basins are designed to capture and treat more than the minimum required Water Quality Volume (WQV) recommended by the CSQM. (see Page 46, Chapter 4 of the CSQM). WQV calculations for the proposed Water Quality Basin are provided below, using the DEEP formula:

Water Quality Volume:

Water Quality Volume recommended: $WQV = (1.3'')(R)(A)/12$

WQV = Water Quality Volume
R = Vol. runoff coefficient = $0.05 + 0.009(I)$
I = percent impervious cover
A = site area in acres

Water Quality Basin #2 has been sized to provide for 100% of the WQV for the receiving watersheds that drain to the basin. Water Quality Volume calculations are provided in Attachment 5. Area and coverage data was taken from watershed data provided on Figure DA-2. Polyline delineations in AutoCAD were used for areas of contour elevations used in the average end area method of computing the total storage volume.



AREA TYPE LEGEND

Symbol Type

	Impervious Surface	CN=98
	17,210 S.F.	(0.395 Ac.)
	Crop Land	CN=64
	283,980 S.F.	(6.520 Ac.)
	Wooded	CN=36
	87,480 S.F.	(2.008 Ac.)
	Gravel	CN=98
	26,590 S.F.	(0.610 Ac.)
	Mixed	CN=51
	69,040 S.F.	(1.585 Ac.)

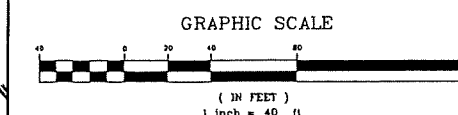
20A = SOIL CLASSIFICATION AND DELINEATION

SOIL CLASSIFICATIONS*

20A	- ELLINGTON SILT LOAM (0-5%); HYDROLOGIC SOIL GROUP A/D
33A	- HARTFORD SANDY LOAM (0-3%); A RATING HYDROLOGIC SOIL GROUP A

* From Soil Web Survey.

Wetlands Delineations depicted are field delineated
by REMA Ecological Services in March 2023



Revisions:		Description	
No.	Date		

DRAINAGE ANALYSIS - EXISTING CONDITIONS
PREPARED FOR
VILLAGE PROPERTIES ASSOCIATES, LLC
14 VILLAGE STREET & 79 WINDERMERE AVE
ELLINGTON, CONNECTICUT
Date: 05-15-2023 Drawn by: CAD Job no: 24103
Scale: 1" = 40' Checked by: GAH Sheet no: 1 OF 1

DA-1

F. A. Hesketh & Associates, Inc.
6 Creamery Brook, East Granby, CT 06026
Phone (860) 653-8000 Fax (860) 844-8600
www.fahsketh.com mail@fahsketh.com



ELLINGTON PLANNING DEPARTMENT
STAFF REVIEW SHEET

PLANNING & ZONING COMMISSION

Z202511 – Village Properties Associates, LLC, applicant / Daniel Boone and Barbara Frassinelli, owner, request for Site Plan Approval to construct a 11,808 sf warehouse/storage and manufacturing/assembly building and Special Permit for a storage yard for new lumber, building materials, and related items at 79 Windermere Avenue, APN 018-004-0001, and 14 Village Street, APN 017-012-0000, in Industrial Park (IP) zone.

PUBLIC HEARING DATE: June 30, 2025

STAFF REVIEW RETURN DATE: June 23, 2025

DEPARTMENT	COMMENTS AND/OR REQUIREMENTS
Town Engineer	
Building Official	
North Central District Health Dept	
Fire Marshal	
Public Works Director/WPCA	DPW- Proposed drainage outfall to the cross culvert needs to be reviewed by the Town Engineer to ensure it does not impact the adjacent development. WPCA- Plans will be reviewed by the WPCA engineer. A formal flow request and application must be submitted for board review and comment.
Assessor	
Traffic Authority	

Barbra Galovich

To: Lisa Houlihan
Subject: RE: Staff Review - Z202511 79 Windermere Avenue and 14 Village Street

From: Westford Lirot <wlirot@ncdhd.org>
Sent: Thursday, June 12, 2025 1:43 PM
To: Barbra Galovich <bgalovich@ELLINGTON-CT.GOV>
Subject: RE: Staff Review - Z202511 79 Windermere Avenue and 14 Village Street

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Barbra,
It is noted on the site plan notes but I just wanted to reiterate that the existing septic system and water supply well for 14 Village Street will have to be properly abandoned and documented. The well abandonment will require a permit and must be completed by a licensed well contractor.

Thank you,
Wes

Westford Lirot, B.S. R.S.
Registered Sanitarian
North Central District Health Department
Stafford Field Office
(O) 860-684-5609
(Fax) 860-684-1768
Enfield Office
860-745-0383
www.ncdhd.org



Please be advised, effective 9/4/23 our new Enfield Office business hours are as follows...

M-W 8:00am - 5:30 pm
Th 8:00 am - 7:00 pm
F 8:30 am - 12:30 pm



It is recommended you call in advance to schedule meetings with our staff by contacting 860-745-0383.

From: Barbra Galovich <bgalovich@ELLINGTON-CT.GOV>
Sent: Wednesday, June 11, 2025 12:25 PM
To: James York <JYork@ELLINGTON-CT.GOV>; John Rainaldi <jrainaldi@ellington-ct.gov>; Matthew Reed <mreed@ellington-ct.gov>; Patrice Sulik <psulik@ncdhd.org>; Peter Hany Sr. <Peter.hany@ellingtonambulance.org>; Raymond Martin <Rmartin@ELLINGTON-CT.GOV>; Sydney Kern <skern@ELLINGTON-CT.GOV>; Tom Modzelewski <thmodzelewski@ELLINGTON-CT.GOV>; Westford Lirot <wlirot@ncdhd.org>

Barbra Galovich

Subject: 79 Windermere Ave & 14 Village St

From: Dana Steele <dsteale@jrrusso.com>

Sent: Sunday, June 15, 2025 5:09 PM

To: Lisa Houlihan <LHoulihan@ELLINGTON-CT.GOV>; Everett Skinner IV <everett@barnyard.com>

Cc: Barbra Galovich <bgalovich@ELLINGTON-CT.GOV>; John Colonese <jcolonese@ELLINGTON-CT.GOV>

Subject: RE: Ellington PZC App Z202511 Windermere & Village

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Lisa,

I have reviewed the plans for 79 Windermere Ave & 14 Village St including site plan set (16 sheets) and Stormwater Management Report by F.A. Hesketh & Associates, inc., dated 5/15/25 . My comments are as follows:

1. The calculations demonstrate a decrease in peak runoff for all design storms and a 30% reduction for the 2-year storm without taking credit for any infiltration of the receiving soils. The proposed stormwater basin also retains 142% of the Water Quality Volume (WQV) for the site providing additional treatment volume. Filter berms are provided to contain sediment before discharge. I am satisfied that the proposed stormwater system meets Ellington's stormwater regulations.
2. The plans should include an Operation & Maintenance (O&M) Plan describing owner's responsibilities for maintaining the stormwater system.

Item 2 should be a condition of approval. Let me know if you have any questions.

Dana P. Steele, P.E.
Ellington Town Engineer



J.R. RUSSO & ASSOCIATES, LLC
P.O. Box 938, 1 Shoham Road
East Windsor, CT 06088
(CT) 860.623.0569 (MA) 413.785.1158
dsteale@jrrusso.com | www.jrrusso.com

Lisa Houlihan

Subject: FW: DRB Review for Windermere & Village

From: Everett Skinner IV <everett@barnyard.com>
Sent: Wednesday, June 11, 2025 9:10 AM
To: Lisa Houlihan <LHoulihan@ELLINGTON-CT.GOV>
Cc: Barbra Galovich <bgalovich@ELLINGTON-CT.GOV>
Subject: RE: DRB Review for Windermere & Village

Lisa,

Sounds great, it is on my calendar. Yes, the materials will match our existing 9 village facility.



Everett W. Skinner IV; P.E. President
9 Village Street, Ellington, CT 06029
Office: 860-454-9103 x114 barnyard.com

From: Lisa Houlihan <LHoulihan@ELLINGTON-CT.GOV>
Sent: Tuesday, June 10, 2025 3:59 PM
To: Everett Skinner IV <everett@barnyard.com>
Cc: Barbra Galovich <bgalovich@ELLINGTON-CT.GOV>
Subject: DRB Review for Windermere & Village
Hi Everett,

The Design Review Board meeting is scheduled for 6/23/25, 7pm, Town Hall Annex; an agenda will be sent approximately 5 days prior. Will the building materials be similar to what is present at 9 Village?

Thanks much!

Lisa

Lisa M. Houlihan, AICP, CZEO
Ellington Town Planner
PO Box 187 / 55 Main Street / Ellington, CT 06029
Phone: 860-870-3120 / Fax: 860-870-3122
Website: www.ellington-ct.gov Email: lhoulahan@ellington-ct.gov
Office Hours: Monday 8AM - 6:30PM, Tuesday - Thursday 8AM - 4:30PM, Friday Closed

From: Everett Skinner IV
To: Lisa Houlihan
Cc: Barbra Galovich; Dana Steele; John Colonese; Guy Hesketh; Chris Skinner
Subject: RE: Ellington PZC App Z202511 Windermere & Village
Date: Wednesday, June 18, 2025 3:35:37 PM
Attachments: image003.png

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Lisa,

We don't want to enclose the parking area with a fence. We plan to delineate it with paint markings and signage.

Thanks,
Everett



Everett W. Skinner IV; P.E. President
9 Village Street, Ellington, CT 06029
Office: 860-454-9103 x114 barnyard.com

From: Lisa Houlihan <LHoulihan@ELLINGTON-CT.GOV>
Sent: Wednesday, June 18, 2025 10:37 AM
To: Everett Skinner IV <everett@barnyard.com>
Cc: Barbra Galovich <bgalovich@ELLINGTON-CT.GOV>; Dana Steele <dsteeler@jrrusso.com>; John Colonese <jcolonese@ELLINGTON-CT.GOV>; Guy Hesketh <ghesketh@fahesketh.com>; Chris Skinner <chris@barnyard.com>
Subject: RE: Ellington PZC App Z202511 Windermere & Village

Dear Everett,
Thank you for replying to the second and third comment from my email dated 6/10/25 (copied below). Do you have a response to the first comment?
Thanks again!

Lisa

Lisa M. Houlihan, AICP, CZEO
Ellington Town Planner
PO Box 187 / 55 Main Street / Ellington, CT 06029
Phone: 860-870-3120 / Fax: 860-870-3122
Website: www.ellington-ct.gov Email: lhoulahan@ellington-ct.gov
Office Hours: Monday 8AM - 6:30PM, Tuesday - Thursday 8AM - 4:30PM, Friday Closed

From: Everett Skinner IV <everett@barnyard.com>
Sent: Friday, June 13, 2025 9:55 AM
To: Lisa Houlihan <LHoulihan@ELLINGTON-CT.GOV>
Cc: Barbra Galovich <bgalovich@ELLINGTON-CT.GOV>; Dana Steele <dsteeler@jrrusso.com>; John Colonese <jcolonese@ELLINGTON-CT.GOV>; Guy Hesketh <ghesketh@fahesketh.com>; Chris

Skinner <chris@barnyard.com>

Subject: RE: Ellington PZC App Z202511 Windermere & Village

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Lisa,

Attached is the photometric plan to add to the application. Regarding the dumpsters, we will rely on the building and perimeter vegetation to screen them.

Regards,
Everett



Everett W. Skinner IV; P.E. President
9 Village Street, Ellington, CT 06029
Office: 860-454-9103 x114 barnyard.com

From: Lisa Houlihan <LHoulihan@ELLINGTON-CT.GOV>

Sent: Tuesday, June 10, 2025 2:12 PM

To: Everett Skinner IV <everett@barnyard.com>

Cc: Barbra Galovich <bgalovich@ELLINGTON-CT.GOV>; Dana Steele <dsteele@jrrusso.com>; John Colonese <jcolonese@ELLINGTON-CT.GOV>

Subject: Ellington PZC App Z202511 Windermere & Village

Hi Everett,

I conducted a cursory review of the PZC application for 79 Windermere & 14 Village and am emailing to share the following:

- The site plan shows 42 parking spaces within the proposed processed stone storage yard. Section 6.2.2C mentions that overall parking areas and individual parking spaces shall be delineated. One possible way to contain the parking area and help manage individual spaces is to enclose the proposed parking with split rail fence like what you installed along Village and Windermere. Is that a feasible option for the new parking area or do you have an alternative proposal?
- The building rendition shows attached wall lights, but there are no light specs or a photometric plan. Can they be provided?
- The plan shows dumpsters to the south of the building. Do you plan to enclose the dumpsters or rely on the building and perimeter vegetation to screen them?

Plans and the drainage report were shared with the Town Engineer and a report is expected from him prior to the upcoming IWA meeting on 6/16/2025; he may have additional comments prior to the PZC on 6/30/2025. Other staff received the IWA application materials and the comments we received were previously shared with you. The PZC application materials will be circulated to other staff for review by end of day tomorrow. If we receive any

comments back, Barbra will forward them to you upon receipt.

Please let me know if you have any questions or would like to discuss my comments.
Very best regards,

Lisa

Lisa M. Houlihan, AICP, CZEO

Ellington Town Planner

PO Box 187 / 55 Main Street / Ellington, CT 06029

Phone: 860-870-3120 / Fax: 860-870-3122

Website: www.ellington-ct.gov Email: lhoulahan@ellington-ct.gov

Office Hours: Monday 8AM - 6:30PM, Tuesday - Thursday 8AM - 4:30PM, Friday Closed

Town of Ellington Planning Department



MEMO

DATE: June 24, 2025

TO: Planning & Zoning Commission
PZC File #Z202511

FROM: Barbra Galovich, CZET, Land Use Assistant

SUBJECT: Village Properties Associates LLC & Daniel Boone (Owners)
79 Windermere Avenue, APN 018-004-0001 & 14 Village Street, APN 017-012-0000.

The Inland Wetland Agency made a determination for proposed development as referred below at their June 16, 2025, regular meeting. The following motion was made in reference to PZC application #Z202511:

MOVE (HEMINWAY) SECONDED (BARLOW) AND PASSED UNANIMOUSLY TO APPROVE WITH CONDITIONS FOR IW202406 – Village Properties Associates LLC & Daniel Boone, owners/ Village Properties Associates LLC, applicant, request for a permit to conduct regulated activity for the construction of a gravel yard for outside storage of prefabricated buildings and building materials, a water quality basin, and associated improvements at 79 Windermere Avenue, APN 018-004-0001 & 14 Village Street, APN 017-012-0000.

Conditions:

1. Shall comply with comment #2 in the Town Engineer email dated June 15, 2025.
2. Erosion control measures shall be installed then inspected by the wetland agent prior to construction of the site and remain operational until the site is stabilized.

Town of Ellington Planning Department



MEMO

DATE: June 24, 2025

TO: Planning and Zoning Commission

FROM: Barbra Galovich, Land Use Assistant

RE: Review of design elements for Village Properties Associates, LLC, applicant / Village Properties Associates, LLC, Daniel Boone and Barbara Frassinelli, owners, to construct a 11,808 sf warehouse/storage and manufacturing/assembly building and Special Permit for a storage yard for new lumber, building materials, and related items at 79 Windermere Avenue, APN 018-004-0001, and 14 Village Street, APN 017-012-0000, in Industrial Park (IP) zone.

At a regular meeting on June 23, 2025, the Design Review Board reviewed the design elements for the above application and made the following motion:

MOVED (HEMINWAY), SECONDED (CHAPLIN) AND PASSED UNANIMOUSLY TO GRANT A POSITIVE REFERRAL WITH RECOMMENDATION TO THE PLANNING & ZONING COMMISSION to construct a 11,808 sf warehouse/storage and manufacturing/assembly building and Special Permit for a storage yard for new lumber, building materials, and related items at 79 Windermere Avenue, APN 018-004-0001, and 14 Village Street, APN 017-012-0000, in Industrial Park (IP) zone.

RECOMMENDATION:

1. The exterior building finishes should be consistent with the main facility.
2. An adequate buffer is recommended along the southern portion of the parcel.

Enclosed is a copy of the Design Review Board meeting minutes for reference.



STATE OF CONNECTICUT – COUNTY OF TOLLAND
INCORPORATED 1786

TOWN OF ELLINGTON

55 MAIN STREET – PO BOX 187
ELLINGTON, CONNECTICUT 06029-0187
www.ellington-ct.gov

TEL. (860) 870-3120

TOWN PLANNER'S OFFICE

FAX (860) 870-3122

DESIGN REVIEW BOARD REGULAR MEETING MINUTES MONDAY, JUNE 23, 2025, 7:00 P.M.

MEMBERS PRESENT: Chairman Michele Beaulieu, Vice Chairman Gary Chaplin, Regular Members Ronald Stomberg, Katherine Heminway, and Landon Barlow

MEMBER(S) ABSENT: None

STAFF PRESENT: Lisa Houlihan, Town Planner and Barbra Galovich, Recording Clerk

I. CALL TO ORDER: Chairman Michele Beaulieu called the meeting to order at 7:00 P.M.

II. NEW BUSINESS:

1. Review of design elements for Village Properties Associates, LLC, applicant / Village Properties Associates, LLC, Daniel Boone and Barbara Frassinelli, owners, to construct a 11,808 sf warehouse/storage and manufacturing/assembly building and Special Permit for a storage yard for new lumber, building materials, and related items at 79 Windermere Avenue, APN 018-004-0001, and 14 Village Street, APN 017-012-0000, in Industrial Park (IP) zone.

Everett and Chris Skinner, Village Properties, LLC (Barn Yard), 9 Village Street were present to represent the application.

Everett Skinner showed the existing conditions of the parcel and explained 79 Windermere Avenue was purchased in 2023 and 14 Village Street is currently under contract. He said the parcels will be merged. They propose to construct an 11,000-sf building. The existing house at 14 Village Street will be demolished and the proposed new building will be located directly across from Barn Yard's main facility. Everett reviewed the colored renderings for the proposed building. It will be tan metal, with a chocolate-colored metal roof, with five bay doors, timber framed accents, barn style doors and windows, and an attached lean-to for additional storage.

The split rail fencing recently installed along Windermere Avenue will remain and no trees will be removed from the property. The plan is to add more trees abutting Windermere Village. Everett explained there is also an existing berm on the property owned by Windermere Village. Vice Chairman Chaplin asked for more detail about the buffer area between the two parcels. Everett explained Windermere Village will be blocked from the site with the berm and additional trees. There will be 42 gravel parking spaces, and the driveway will be a bituminous pavement with a truck maneuvering area. The open area will continue to be agricultural and over time will be converted to a gravel storage area for sheds like the display area at their site on West Road.

Commissioner Barlow inquired about the existing house foundation; Chris Skinner stated the foundation will be removed with the house. Everett stated the mechanicals will be in the back of the building and the refuse area will be shielded by the building and the perimeter plantings.

MOVED (HEMINWAY), SECONDED (CHAPLIN) AND PASSED UNANIMOUSLY TO GRANT A POSITIVE REFERRAL TO THE PLANNING & ZONING COMMISSION FOR Z202511 – Village Properties Associates, LLC, applicant / Daniel Boone and Barbara Frassinelli, owner, request for Site Plan Approval to construct a 11,808 sf warehouse/storage and manufacturing/assembly building and Special Permit for a storage yard for new lumber, building materials, and related items at 79 Windermere Avenue, APN 018-004-0001, and 14 Village Street, APN 017-012-0000, in Industrial Park (IP) zone.

RECOMMENDATION(S):

1. The exterior building finishes should be consistent with the main facility.
2. An adequate buffer is recommended along the southern portion of the parcel.

Everett Skinner thanked the Design Review Board for their service and noted the important role they have in the town. Everett also complimented the Board for the great job of maintaining the feel of Ellington.

III. ADMINISTRATIVE BUSINESS:

1. Approval of April 14, 2025, Special Meeting Minutes.

MOVED (HEMINWAY), SECONDED (CHAPLIN) AND PASSED UNANIMOUSLY TO APPROVE APRIL 14, 2025, SPECIAL MINUTES AS WRITTEN.

2. Review of draft amendments to the Design Review Guide dated 5/11/2025 to align with statutory language and to incorporate design elements consistent with recently approved site development plans.

Lisa Houlihan, Town Planner, noted additional revisions have been added to the draft amendment since the first version in March. No changes are proposed to the landscaping section. Lisa suggested the group review this section together. Lisa mentioned that Barry from Mountain Tree Service offered to help develop a list of recommended plantings. The commission discussed a few of the changes in detail. Lisa explained the Guide is a set of suggestions rather than a strict regulatory document. Chairman Beaulieu noted some of the changes were to remove the word, "character, to which Lisa confirmed it was due to case law and amended statutes. Lisa noted the difference between the meaning of appearance and character.

MOVED (BARLOW), SECONDED (HEMINWAY) AND PASSED UNANIMOUSLY TO APPROVE DRAFT AMENDMENTS TO THE DESIGN REVIEW GUIDE DATED 5/11/2025 TO ALIGN WITH STATUTORY LANGUAGE AND TO INCORPORATE DESIGN ELEMENTS CONSISTENT WITH RECENTLY APPROVED SITE DEVELOPMENT PLANS.

3. Correspondence/Discussion: **None**

IV. ADJOURNMENT:

MOVED (BARLOW), SECONDED (BEAULIEU) AND PASSED UNANIMOUSLY TO ADJOURN THE DESIGN REVIEW BOARD MEETING AT 7:37P.M.

Respectfully submitted,

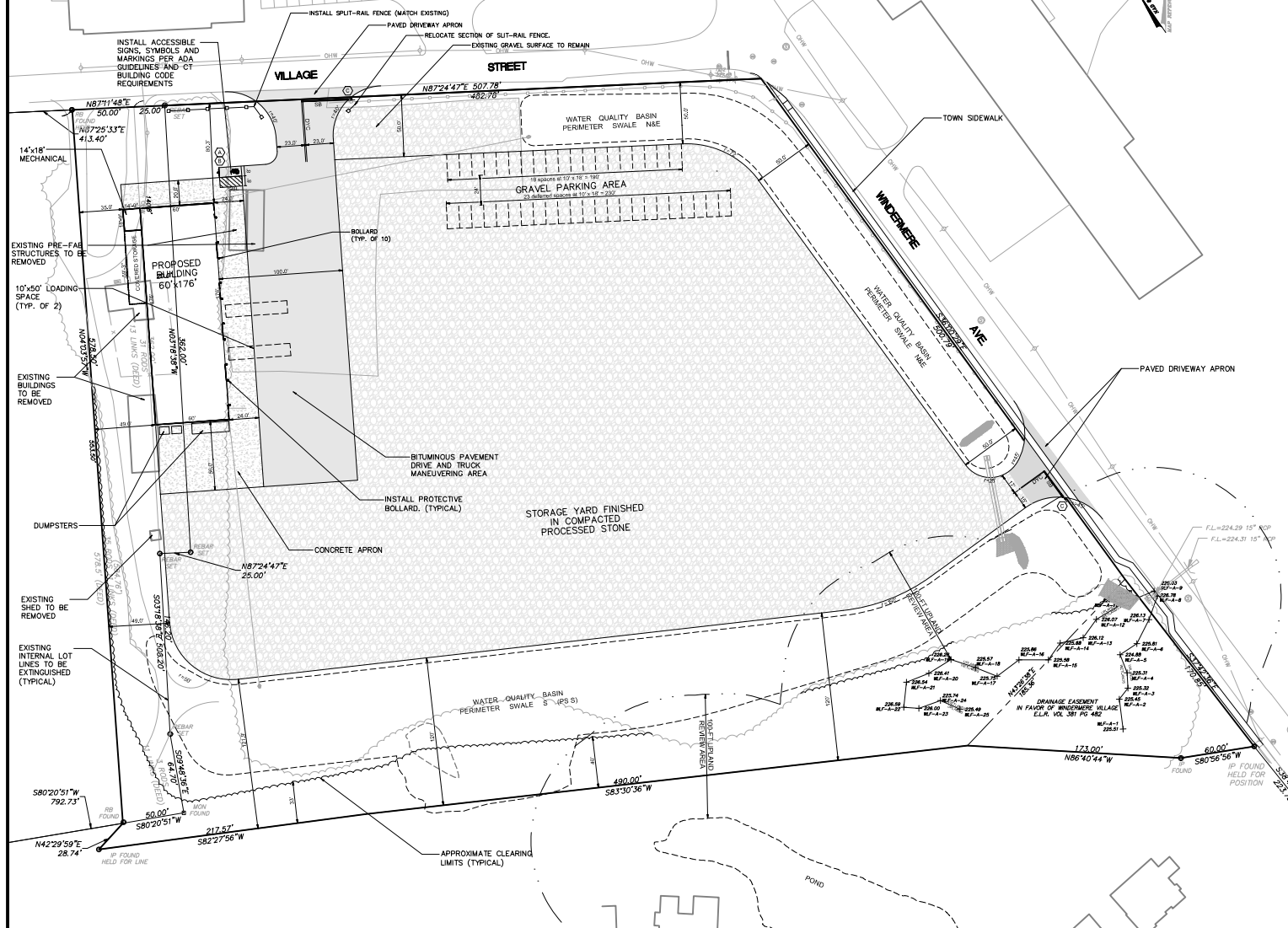
Barbra Galovich, Recording Clerk

SIGNAGE LEGEND

Symbol	Graphic	Catalog Number	Quantity
	New Reserved Sign (CT Building Code)		1
	31-0548	31-0548	1
	31-0552	31-0552	2

SIGNAGE AND PAVEMENT MARKING NOTES

- Stop bars shall be painted with white traffic paint (12 inches wide)
- Standard parking spaces shown are on a gravel surface. No delineation of these spaces is required.
- All accessible parking stalls, aisles and symbols of accessibility shall be painted with blue traffic paint (4 inches wide).
- Centerlines shall be painted with yellow traffic paint and shall consist of double lines (4 inches wide).
- Fire lanes and other areas of parking prohibition shall be painted with yellow traffic paint (4 inches wide). Fire Lane markings are NOT depicted on this plan, but may be required, at the discretion of the Ellington Fire Marshall/Fire Department. Install fire lane markings and signage as required by Ellington Fire Department.
- All on-site traffic signs shall conform to CT DOT Form 618A/07.20
- All pavement markings and signs shall conform to "Manual On Uniform Traffic Control Devices", "Standard Alphabets For Highway Signs And Pavement Markings", CT DOT 819, State Building Code and ADA Requirements and as shown on the details.
- Sign catalog numbers obtained from "Connecticut Department of Transportation, Bureau of Engineering and Highway Operations, Catalog of Signs", October 12, 2021. Contractor to confirm sign types prior to installation.



ZONING DATA TABLE

Zone: IP - Industrial Park

Zoning Data Analysis

Regulation	Section	Required	Proposed
Minimum Lot Area	Section 4.2.1	4 Acres	9.62 Acres *
Minimum Width	Section 4.2.1	200 Feet	500.79 Feet
Minimum Front Yard	Section 4.2.1	100 Feet (*)	80.3 Feet
Minimum Side Yard	Section 4.2.1	10 Feet (*)	35.0 Feet
Minimum Rear Yard	Section 4.2.1	50 Feet (*)	N/A
Maximum Building Height	Section 4.2.3	36 Feet	37.25 Feet
Maximum Floor Area	Section 4.2.3	N/A	N/A
Maximum Lot Coverage	Section 4.2.3	60 Percent	58.8 Percent
Minimum Parking	Section 6.2.3.A	20 Spaces	20 Spaces ****

* Combined Lots (APN 017-012-0000 & APN 018-004-0001)

** May be reduced to 50 feet along any roadway not designed as a collector road, arterial road or state highway.

*** 50 feet side and rear yard required where abutting residential property or zone, except if home occupation only.

**** An additional 23 deferred spaces are also provided.

DEVELOPMENT DATA

Building Area	11,641.5 Sq. Ft.	Warehouse and Manufacturing/Assembly Building
Permitted Uses Proposed:	(Listed in Sec. 4.1) - Manufacture & Assembly from Prepared Materials Including Repairs, Warehousing, Storage	
Special Permit Uses Proposed:	(Listed in Sec. 4.1) - Storage Yard for New Lumber, Building Materials and related items.	

PARKING TABULATION

Required Parking per Section 6.2.3

Manufacturing Uses:	1 Parking Space for each employee on largest shift
Warehouse Uses:	1 parking space for each 2,000 square feet of building floor area used for storage purposes or 1 parking space for each employee, whichever is greater.
Required Parking Calculation	
Manufacturing Uses:	20 Employees x 1 space/employee = 20 Spaces
Warehouse Uses:	11,641.5 Sq. Ft. x 1 space/2,000 Sq. Ft. = 6 Spaces 20 Employees x 1 space/employee = 20 Spaces
Total Required Spaces =	20 Spaces

Proposed Parking

Standard Parking Spaces	19 Spaces
8 foot x 10 foot Spaces	
Accessible Parking Space	1 Space
8 foot x 16 foot space	
Reserve Parking Spaces	23 Spaces
8 foot x 10 foot Spaces	
Total Proposed Spaces =	43 Spaces

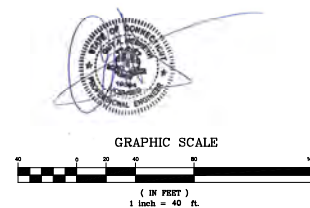
PAVEMENT MARKING LEGEND

Symbol	Type
DYC	Painted Double Yellow Line
SBL	Single Blue Line
SB	Painted White Stop Bar

LOADING SPACE TABULATION

Required Loading per Section 6.2.11

one (1) 10'x50' Loading Space per 10,000 Sq. Ft. of floor area
Required Loading Calculation
11,808 Sq. Ft. / 10,000 Sq. Ft. = 2 Loading Spaces Required
2 Loading Spaces Provided



F. A. Hesketh & Associates, Inc.
6 Creamery Road, East Granby, CT 06026
Tel: 860.339.8800 Fax: 860.339.8801
www.fah.com email: fah@fah.com

Old & Trade Engineers • Surveyors • Planners • Landscape Architects

FAH

Revisions:

Date

Description

No.

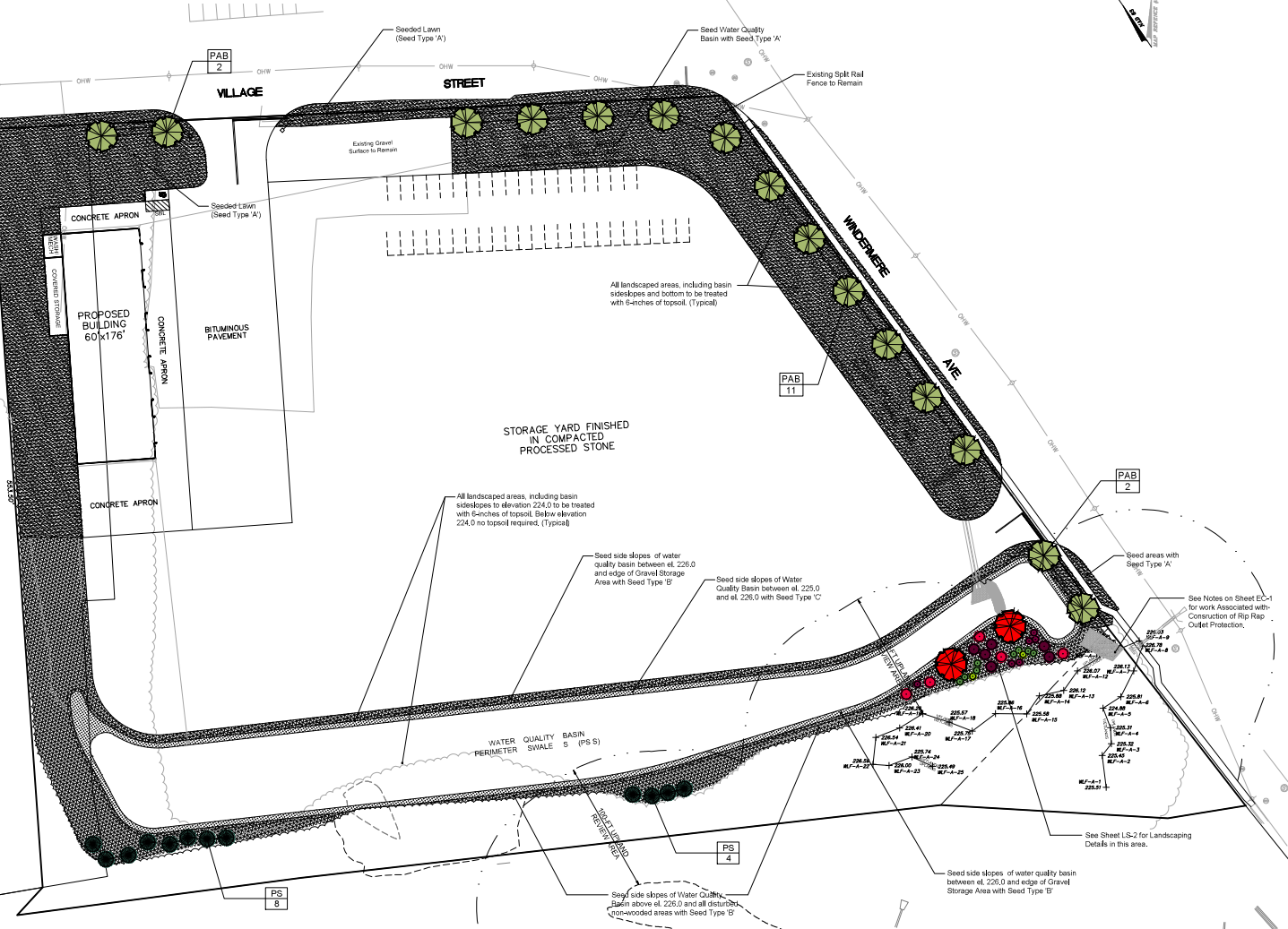
LAYOUT PLAN

VILLAGE PROPERTIES ASSOCIATES, LLC
14 VILLAGE STREET & 719 WINDERMERE AVE
ELLINGTON, CONNECTICUT
Date: 05-15-2025 Drawn by: JAH Job no: 24103
Scale: 1" = 40' Checked by: GWH Sheet no: 1 OF 1
C:\2025\24103 - 719 Windermere, Ellington\2025-05-15 - Summary LA-1 - 2025-05-15.dwg LA-1, May 16, 2025 - 4:38:39 AM

LA-1

LANDSCAPE SCHEDULE

Shade Trees						
Symbol	Botanical Name	Common Name	Quantity	Size	Root	Mature Height
PAB	Plantanus x acerfolia 'Bloodgood'	Bloodgood Planetree	15	3 to 3 1/2 inch caliper	Balled and Burlapped	45 to 50 Feet
ARR	Acer rubrum 'Red sunset'	Red Sunset Red Maple	2	3 to 3 1/2 inch caliper	Balled and Burlapped	50 Feet
Evergreen Trees						
Symbol	Botanical Name	Common Name	Quantity	Size	Root	Mature Height
PS	Pinus strobus	Eastern White Pine	12	5 to 6 foot height	Balled and Burlapped	60 to 70 Feet
Deciduous Shrubs						
Symbol	Botanical Name	Common Name	Quantity	Size	Root	Mature Height
CSB	Cornus sericea 'Bailey'	Red Twig Dogwood	5	24 to 30 inch height	#3 Container	20 Feet
VCR	Vaccinium corymbosum 'Bluejay'	Bluejay Highbush Blueberry	6	24 to 30 inch height	#3 Container	5 Feet
VL	Viburnum lentago	Nannyberry Viburnum	6	24 to 30 inch height	#3 Container	6 to 12 Feet
IVJ	Ilex verticillata 'Jim Dandy'	Jim Dandy Winterberry (male)	2	18 to 24 inch height	#3 Container	5 to 7 Feet
IVR	Ilex verticillata 'Red Sprite'	Red Sprite Winterberry (female)	8	8 to 24 inch height	#3 Container	3 to 4 Feet

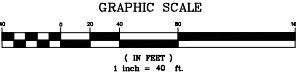


SEED TYPE LEGEND

Symbol Type	
Type 'A' - Sun & Shade	
Type 'B' - Erosion Control/Restoration Mix Dry Sites	
Type 'C' - Erosion Control/Restoration Mix Moist Sites	

LANDSCAPE NOTES

- All plants shall meet or exceed the specifications of Federal, State and County laws requiring inspection for plant disease and insect control.
- Plant material shall conform with the "American Standard for Nursery Stock" by the American Association of Nurserymen, Inc. (ANSI Z60.1-2004), as amended.
- All plants shall be certified true to name by the nursery source. Plant names shall be in accordance with "Hortis Third" (1976) by the staff of the Liberty Hyde Bailey Hortorium, Cornell University. One plant from each species shall be tagged with name and size of the plant in accordance with the standards of practice of the American Association of Nurserymen. Botanical names shall take precedence over common names.
- Plant material shall be typical of their species and/or variety, with a normal habit of growth, sound, healthy and vigorous. They shall be well branched and densely foliated when in leaf, free of disease, insect pest, eggs or larvae. They shall have healthy well-developed root systems. All trees shall have straight single trunks with their main leader intact unless otherwise noted or approved.
- All landscaped areas to have 2" shredded bark mulch (color: black) over weed control fabric. No weed control fabric in areas of groundcover or perennial plantings.
- Provide protective covering of plant material during delivery and storage. Root balls shall not be cracked or broken. Do not prune plants prior to delivery. Remove unacceptable plant material immediately from the job site.
- Plant locations on the Drawings are approximate and are to be used only as a guide. Contractor shall provide all field engineering services to accurately stake out locations for all plants prior to installation. Do not begin excavation until Project Landscape Architect has approved specific layout.
- If requested by Project Landscape Architect, stake and guy each tree as shown on the applicable Drawings immediately after planting. Keep trees plumb and taut.
- If requested by Project Landscape Architect, wrap the trunks of all trees spirally from the ground line to above the lowest main branch.
- Perform all cultural care necessary to properly maintain plant viability and keep planted areas in a neat and orderly condition, including but not limited to:
 - Watering
 - Weed removal
 - Apply lime or sulphur to adjust soil pH to specific plant requirements
 - Restore or reshape earth saucers
 - Pruning
 - Adjust and tighten tree supports to maintain plants at their proper grades and vertical position
 - Replace mulch to maintain proper depth
- A minimum of 4 inches of topsoil shall be placed on all areas of disturbance to be reseeded.



LANDSCAPE PLAN

VILLAGE PROPERTIES ASSOCIATES, LLC

14 VILLAGE STREET & 719 WINDERMERE AVE

ELINGTON, CONNECTICUT

Date: 05-15-2025 Drawn by: JAH Job no: 24103

Scale: 1" = 40' Checked by: GAH Sheet no: 1 OF 2

05/15/2025 14:03 - 719 Windermere, Elington (Submitted 05-15-2025) (LS-1, May 16, 2025) - 36 14 49 AM

Revisions:

No.	Date	Description

LS-1

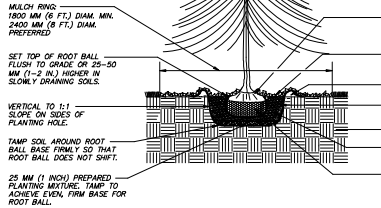
F. A. Hesketh & Associates, Inc.

9 Creamery Brook, East Granby, CT 06036

Phone: (860) 652-1000 Fax: (860) 652-1001

Cell & Text: (860) 652-1002 Email: info@fah.com

STAKE TREES ONLY UPON THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT. SEE STAKING DETAIL(S) IF REQUIRED.



EVERGREEN B&B TREE PLANTING DETAIL
N.T.S.

DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY BROKEN OR DEAD BRANCHES.

FACE TREE TO GIVE ITS BEST APPEARANCE AS ACCEPTED BY THE PROJECT LANDSCAPE ARCHITECT.

EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.

50 MM (2 IN.) MULCH. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK. MAINTAIN THE MULCH WEED-FREE.

100 MM (4 IN.) HIGH EARTH SAUCER BEYOND EDGE OF ROOT BALL.

BACK FILL WITH PREPARED PLANTING MIXTURE.

EXISTING UNDISTURBED SUBGRADE.

DIAMETER OF TREE PIT TO BE THREE TIMES THE DIAMETER OF ROOT BALL.

REMOVE ALL TWINE, ROPE, AND BURLAP FROM TOP THIRD OF ROOT BALL. IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CAREFULLY REMOVE ENTIRE WIRE BASKET WITHOUT DISTURBING ROOT BALL.

DO NOT HEAVILY PRUNE THE SHRUB AT PLANTING. PRUNE ONLY BROKEN OR DEAD BRANCHES.

FACE SHRUB TO GIVE ITS BEST APPEARANCE AS ACCEPTED BY THE PROJECT LANDSCAPE ARCHITECT.

SET TOP OF ROOT BALL FLUSH TO GRADE OR 25-50 MM (1-2 IN.) HIGHER IN SLOPE DRAINING SOILS.

VERTICAL TO 1:1 SLOPE ON SIDES OF PLANTING HOLE.

TAMP SOIL AROUND ROOT BALL BASE FIRMLY SO THAT ROOT BALL DOES NOT SHIFT.

25 MM (1 INCH) PREPARED PLANTING MIXTURE. TAMP TO ACHIEVE EVEN, FIRM BASE FOR ROOT BALL.

SHRUB PLANTING DETAIL
N.T.S.

EACH SHRUB MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.

50 MM (2 IN.) MULCH. DO NOT PLACE MULCH IN CONTACT WITH TRUNK. MAINTAIN THE MULCH WEED-FREE.

100 MM (4 IN.) HIGH EARTH SAUCER BEYOND EDGE OF ROOT BALL.

BACK FILL WITH PREPARED PLANTING MIXTURE.

EXISTING UNDISTURBED SUBGRADE.

DIAMETER OF SHRUB PIT TO BE THREE TIMES THE DIAMETER OF ROOT BALL.

REMOVE ALL TWINE, ROPE, AND BURLAP FROM TOP THIRD OF ROOT BALL. IF SHRUB IS SHIPPED IN A CONTAINER, REMOVE CONTAINER AND CAREFULLY LOOSEN ROOT MASS.

SEED TYPES

Seed Type A

Sun & Shade Mixture

By: Jonathan Green or approved equal

Seed rate: 25 pounds per 9,375 square feet

20% Dactylis B Perennial Ryegrass
20% Cramon Cheviot Ryegrass
15% Dorel-Kentucky Bluegrass
15% Eugene Cheviot Ryegrass
15% Yorkshire Dales Perennial Ryegrass
15% Tallgrass Ryegrass Fescue

Seed Type B

New England Erosion Control / Restoration Mix for Dry Sites

Seed rate: 35 pounds per Acre

NEW ENGLAND WETLAND PLANTS, INC.
147 Essex Street, Suite 100, Boston, MA 02114
Tel: 617.552.1234 Fax: 617.552.1235
www.newenglandplants.com

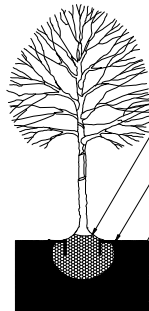
Species	Quantity	Notes
...

Seed Type "C"

New England Erosion Control/Restoration Mix for Detention Basins and Moist Sites

NEW ENGLAND WETLAND PLANTS, INC.
147 Essex Street, Suite 100, Boston, MA 02114
Tel: 617.552.1234 Fax: 617.552.1235
www.newenglandplants.com

Species	Quantity	Notes
...



TREE STAKING DETAIL
N.T.S.

AT INITIAL INSTALLATION, LEAVE BURLAP AND ANY TWINE INTACT. AFTER INSTALLATION, CUT BACK BURLAP, LEAVING MATERIAL UNDER CROSSBARS.

RECESS TREE STAPLE DEVICE 1" TO 2" INTO ROOT BALL

"TREE STAPLE" BELOW-GRADE STABILIZING SYSTEM (BY "TREE STAPLE" OR EQUAL):

- 1" TO 2" CALIPER TREES - MODEL #TS24
2 STAPLES WITH UP TO A 16" ROOT BALL
- 2" TO 4" CALIPER TREES - MODEL #TS36
2 STAPLES WITH A 24" ROOT BALL
- 4" TO 6" CALIPER TREES - MODEL #TS42
2-3 STAPLES WITH A 30"+ ROOT BALL
- 6" TO 8" CALIPER TREES - MODEL #TS48
2-3 STAPLES WITH A 36"+ ROOT BALL

FACE TREE TO GIVE ITS BEST APPEARANCE AS ACCEPTED BY THE PROJECT LANDSCAPE ARCHITECT.

STAKE TREES ONLY UPON THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT. SEE STAKING DETAIL(S) IF REQUIRED.

WRAP TREE TRUNKS ONLY UPON THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT.

SET TOP OF ROOT BALL FLUSH TO GRADE OR 25-50 MM (1-2 IN.) HIGHER IN SLOPE DRAINING SOILS.

VERTICAL TO 1:1 SLOPE ON SIDES OF PLANTING HOLE.

TAMP SOIL AROUND ROOT BALL BASE FIRMLY SO THAT ROOT BALL DOES NOT SHIFT.

25 MM (1 INCH) PREPARED PLANTING MIXTURE. TAMP TO ACHIEVE EVEN, FIRM BASE FOR ROOT BALL.

B&B TREE PLANTING DETAIL
N.T.S.

DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSCUTS, LEADS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.

50 MM (2 IN.) MULCH. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK. MAINTAIN THE MULCH WEED-FREE.

100 MM (4 IN.) HIGH EARTH SAUCER BEYOND EDGE OF ROOT BALL.

BACK FILL WITH PREPARED PLANTING MIXTURE.

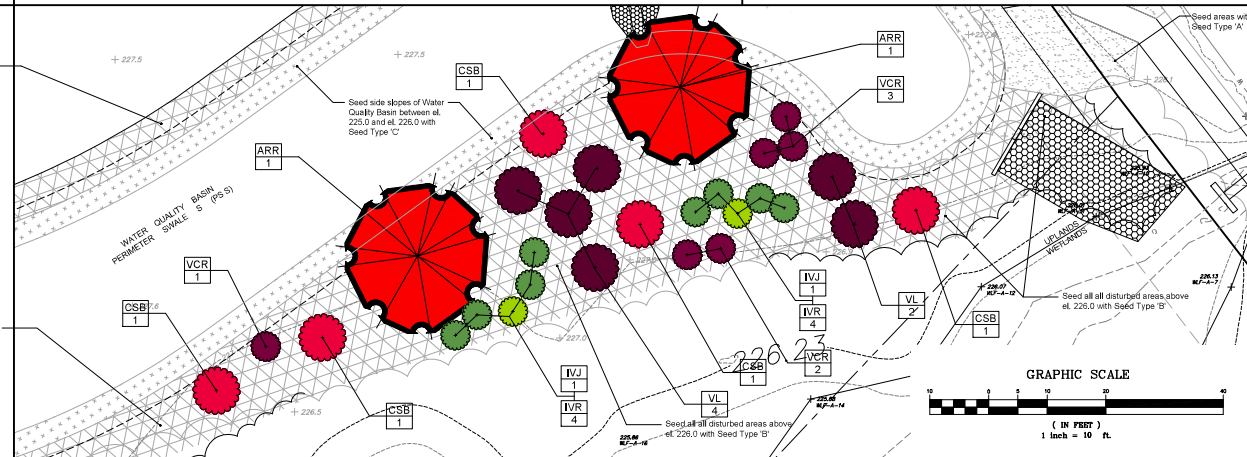
EXISTING UNDISTURBED SUBGRADE.

DIAMETER OF TREE PIT TO BE THREE TIMES THE DIAMETER OF ROOT BALL.

REMOVE ALL TWINE, ROPE, AND BURLAP FROM TOP THIRD OF ROOT BALL. IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CAREFULLY REMOVE ENTIRE WIRE BASKET WITHOUT DISTURBING ROOT BALL.

Seed side slopes of water quality basin between el. 226.0 and edge of Gravel Storage Area with Seed Type "B"

Seed side slopes of Water Quality Basin above el. 226.0 and all disturbed non-wooded areas with Seed Type "B"



LANDSCAPE PLAN - DETAILS AND NOTES

VILLAGE PROPERTIES ASSOCIATES, LLC
14 VILLAGE STREET & 719 WINDERMERE AVE
ELINGTON, CONNECTICUT

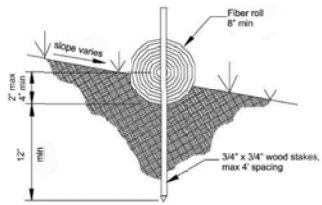
Date: 05-15-2025
Drawn by: JAH
Job no.: 24103
Checked by: GAH
Sheet no.: 2 OF 2
Scale: N.T.S.

LS-2

F. A. Hesketh & Associates, Inc.
6 Creamery Road, East Granby, CT 06026
Tel: 860.359.1234 Fax: 860.359.1235
www.fah.com

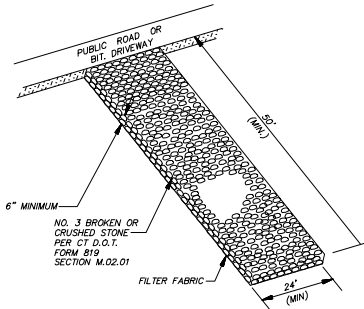
FAH

01022124103 - 719 Windermere, Elington (Submitted 05-15-2025) (LS-2, May 16, 2025) - 8:47:17 AM

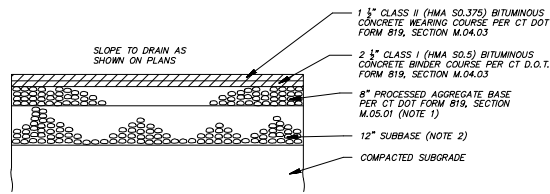


- NOTES:**
- USE SEDIMENT LOG BY AMERICAN EXCELSIOR, OR APPROVED EQUAL.
 - MUST BE CERTIFIED WEED FREE.

SEDIMENT LOG SECTION (SL)
N.T.S.

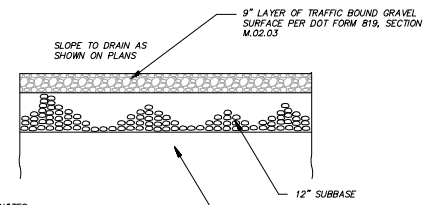


CONSTRUCTION EXIT (CE)
N.T.S.



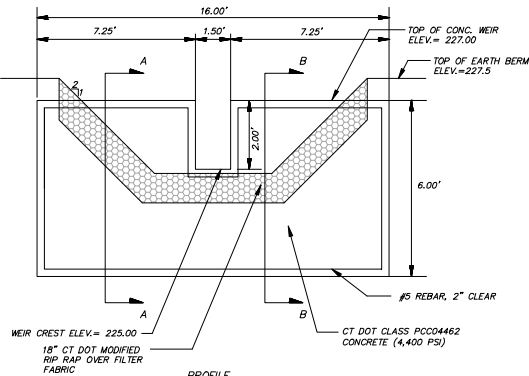
- NOTES:**
- COARSE AGGREGATE FOR AGGREGATE BASE MATERIAL MAY INCLUDE RECLAIMED MISC. AGGREGATE PER CT DOT FORM 819, SECTION M.05.01.
 - SUBBASE PER CT DOT FORM 819, SECTION M.02.02. MAY INCLUDE SUITABLE ON-SITE MATERIALS IF ACCEPTABLE TO PROJECT GEOTECHNICAL ENGINEER.

PAVEMENT SECTION
N.T.S.

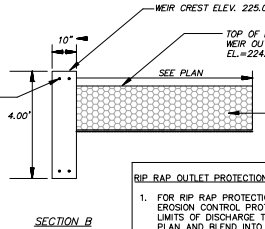
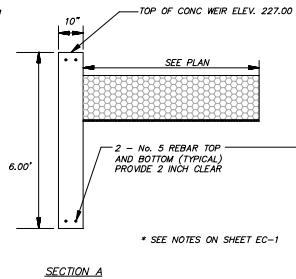


- NOTES:**
- SUBBASE PER CT DOT FORM 819, SECTION M.02.02. MAY INCLUDE SUITABLE ON-SITE MATERIALS IF ACCEPTABLE TO PROJECT GEOTECHNICAL ENGINEER.

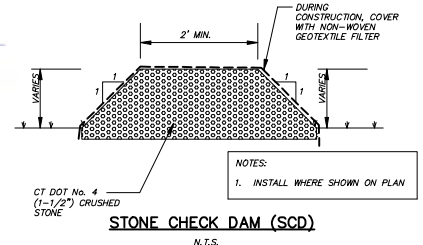
GRAVEL YARD SECTION
N.T.S.



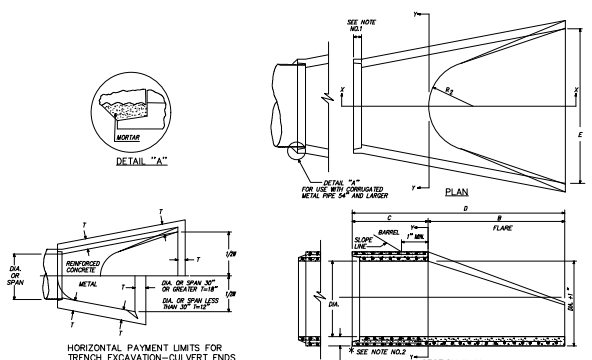
CONCRETE WEIR DETAIL
N.T.S.



- RIP RAP OUTLET PROTECTION NOTES:**
- FOR RIP RAP PROTECTION AT CONCRETE OVERFLOW WEIR, PROVIDE EROSION CONTROL PROTECTION IN THE FORM OF AN APRON FROM THE LIMITS OF DISCHARGE TO THE APPROXIMATE LIMITS DEPICTED ON THE PLAN AND BLEND INTO UNDISTURBED TERRAIN. SHAPE TO SPREAD FLOW EVENLY.
 - CONTRACTOR TO COORDINATE THE LIMITS WITH THE DESIGN ENGINEER AND TOWN STAFF DURING CONSTRUCTION.

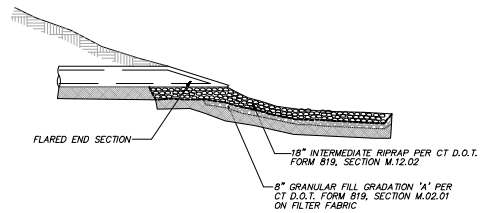


STONE CHECK DAM (SCD)
N.T.S.



DIMENSIONS FOR REINFORCED CONCRETE CULVERT END									
INCH	FEET	INCH	FEET	INCH	FEET	INCH	FEET	INCH	FEET
16"	1.33'	12"	1.00'	12"	1.00'	12"	1.00'	12"	1.00'

REINFORCED CONCRETE CULVERT END (FLARED END SECTION) [RCFES]
N.T.S.



- RIP RAP OUTLET PROTECTION NOTES:**
- LIMITS OF RIP RAP OUTLET PROTECTION SHOWN ON THE PLAN ARE APPROXIMATE. LIMITS OF RIP RAP PROTECTION TO BE FIELD DETERMINED WITH DESIGN ENGINEER AND TOWN STAFF AT THE TIME OF CONSTRUCTION, TO MINIMIZE IMPACTS AND TO PRESERVE EXISTING TREES AND WOODY VEGETATION.
 - FOR RIP RAP OUTLET PROTECTION AT PERIMETER WATER QUALITY BASIN #2 OUTFALL, CONSTRUCT INTERMEDIATE RIP RAP APRON AT OUTFALL FOR APPROXIMATE LIMITS SHOWN ON PLAN IN THE FORM OF AN APRON FROM THE OUTFALL TO THE EDGE OF STANDING WATER UP-GRADE OF THE INLET OF THE TOWN ROAD CROSS CULVERT. SHAPE TO SPREAD FLOW EVENLY.
 - FOR RIP RAP PROTECTION AT PERIMETER WATER QUALITY BASIN #1 OUTFALL INTO BASIN #2, CONSTRUCT INTERMEDIATE RIP RAP APRON AT OUTFALL FOR APPROXIMATE LIMITS SHOWN IN THE FORM OF AN APRON FROM THE LIMITS OF DISCHARGE EXTENDING INTO THE BOTTOM OF THE BASIN. SHAPE TO SPREAD FLOW EVENLY.

RIPRAP OUTLET PROTECTION (RROP) SECTION
N.T.S.

ANTI-WASH/GEOTEUTE

Wayway Installation

- Always lay jute in the direction of water flow.
- Extra staples are needed in waterways. Staples must be driven flush with soil surface.
- Check date may be needed on steep slopes to prevent subsurface movement of soil during prolonged or heavy rains.
- Check date may be needed on steep slopes to prevent subsurface movement of soil during prolonged or heavy rains.

Helpful Hints

- Keep dry in storage.
- Staples may be installed in a "V" shape, do not stretch.
- Check date may be needed on steep slopes to prevent subsurface movement of soil during prolonged or heavy rains.
- Check date may be needed on steep slopes to prevent subsurface movement of soil during prolonged or heavy rains.

Specifications

Property	Results	Staples	Type	Weight per Carton	Staples per Carton
Material	100% recycled and processed	11 gauge 6"	13 lbs.	1,500	
Material	100% recycled and processed	11 gauge 6"	13 lbs.	1,500	
Material	100% recycled and processed	11 gauge 6"	13 lbs.	1,500	

Roll Packaging

Width x length	Type	Sq. Yards	Weight
48" x 225"	Regular	10	15 lbs.
48" x 225"	Staple-resistant	10	15 lbs.
48" x 147"	Staple-resistant	65	80 lbs.

Ask About DeKor

Distributed By:

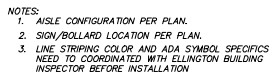
VILLAGE PROPERTIES ASSOCIATES, LLC

14 VILLAGE STREET & 79 WINDERMERE AVE
ELINGTON, CONNECTICUT 06033
Date: 05-15-2025 Drawn by: JAH Job no: 24103
Scale: N.T.S. Checked by: GAW Sheet no: 1 OF 3

SITE DETAILS

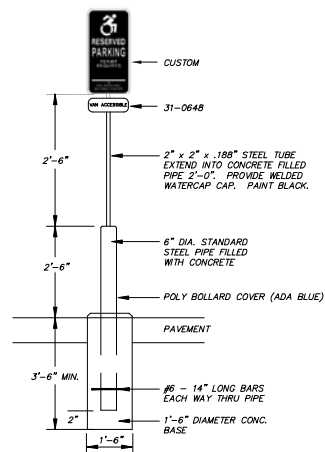
Revision	Description	Date
1	Initial	05/15/2025

SD-1

[illegible]

A cross-sectional diagram of a trench installation. At the top, a horizontal line is labeled "FINISHED GRADE". Below it, a layer of "APPROVED BACKFILL MATERIAL PLACED AND COMPACTED IN 6 TO 9 INCH LOOSE LIFTS" is shown. A "WARNING TAPE" is indicated below the backfill. The trench walls are lined with "BACKFILL WITH BEDDING MATERIAL TO 1/4 O.D.". The pipe itself is labeled "O.D." and is surrounded by "PRESHARE BEDDING MATERIAL TO 1 1/2 O.D. PRIOR TO INSTALLING PIPE". The bedding material is shown in two layers, each labeled "1/4 O.D.". The bottom of the trench is labeled "APPROVED BEDDING MATERIAL IN CONFORMANCE WITH CT D.O.T. FORM 819, SECTION M.O.R.0.3 4" IN EARTH AND 12" MIN. IN ROCK". The trench width is indicated as "12\" IN" on both sides of the pipe, totaling "24\" IN" inside diameter.

STANDARD FRAME & COVER
N.T.S.



STANDARD FRAME & COVER UNLESS OTHERWISE SPECIFIED
COVER TO BE LABELED "SANITARY SEWER"

3'-0"

BRICK VARIES 0" TO 18"

STANDARD STEP

5"

14"x10" FORGED ALUMINUM SAFETY RING MANHOLE STEPS 12" O.C.

4"

5"

0-RING" GASKET

FLOW

REINFORCED CONCRETE MANHOLE SECTIONS CONFORMING TO A.S.T.M. C478 WITH "O-RING" JOINTS

THE EXISTING TABLE SHALL BE SHELVED WITH RED SEWER BRICK TO DIRECT FLOW TOWARD THE EXISTING INVERT.

4'-0"

BITUMINASTIC COATING

INTERFACE FLEXIBLE SLEEVE WITH WEDGE II OR APPROVED EQUAL

FLOW

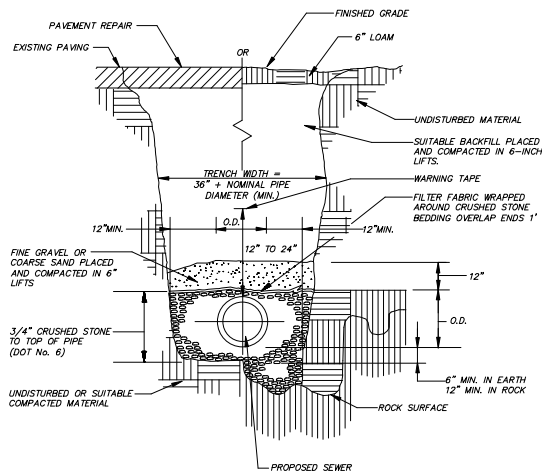
FORM CHANNEL WITH BRICKWORK

6" OF 3/4" CRUSHED STONE (OT D.O.T. NO.6) FOUNDATION COMPACTED ON AN APPROVED AND COMPACTED SUBGRADE

PRECAST M.H. BASE

SANITARY SEWER MANHOLE

M.T.S.

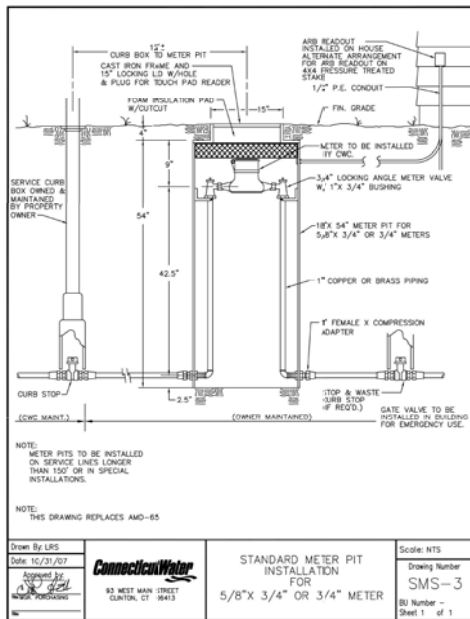
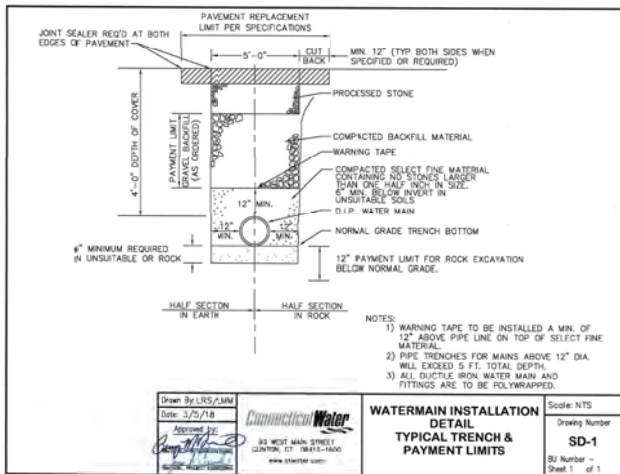


GRAVITY SEWER TRENCH DETAIL
N.T.S.



SITE DETAILS		Revision	
PREPARED FOR		No.	Description
VILLAGE PROPERTIES ASSOCIATES, LLC			
14 VILLAGE STREET & 79 WINDERMERE AVE			
ELINGTON, CONNECTICUT			
Date: 05-15-2025		Drawn by: JAF	Job no.: 24103

SD-2



PROJECT DESCRIPTION:

The project is proposed on two parcels of land: 14 Village Street and 79 Windermere Avenue. Following approvals, the two lots will be merged into a single parcel.

The project consists of construction of a 60' x 176' warehouse/assembly building with a 59'-5" x 14' covered storage and a 14' x 18' mechanica addition on its west side. The building structure will be constructed with a concrete apron around its north, east and south side. A paved access drive to Village Street is proposed to provide access to the site. A paved truck maneuvering area is also proposed to extend to 100 feet east of the warehouse building. A secondary, paved driveway is also proposed to Windermere Avenue.

An gravel-treated outside storage area is proposed throughout much of the site, between the two access drives. The gravel treatment will consist of a compacted crushed stone/processed aggregate surface. Linear water quality swales are proposed along the northeast, east and southern perimeter of the gravel storage area. The water quality basins are proposed to discharge to the area just up-gradient of the town's cross culvert located at the southeast corner of the parcel.

The project also includes the installation of an 6" sanitary lateral with connection to the existing sanitary sewer main in Windermere Avenue. Gas, electric, communications and water service are proposed to be connected to the building from existing infrastructure located in Village Street.

CONSTRUCTION SEQUENCE:

- In general, the overall project will follow the sequence below:
1. Contact "Call Before You Dig" at 1-800-922-4455 (or 811) at least 48 hours prior to the start of construction to have existing utilities marked. Attend a pre-construction meeting with the Town of Ellington staff, including the Wetlands Agent, and the Utility Companies.
 2. Coordinate with the North Central District Health Department on demolition of structures and improvements on 14 Village Street parcel, including well and septic system. Coordinate with utility companies for demolition of utility services to 14 Village Street.
 3. Construct construction exit to Village Street.
 4. Place Silt Fence Erosion Control at inlet of Windermere Ave cross culvert.
 5. Remove accumulated sediment and organic debris at inlet of cross culvert extending approximately 25 feet west of culvert inlet. Crest on inlet pool and restore rip rap lining at culvert inlet and in channel west of inlet, as necessary.
 6. Rough grade for perimeter Water Quality Basin Perimeter Swale S (PS S). Install concrete outlet weir. Rough grade for transition from weir to cross culvert inlet and construct rip rap outlet protection/rip rap lined swale between weir outfall and cross culvert inlet.
 7. Install Stone Check Dam in PS S and cover in filter fabric.
 8. Install landscape material along south side of Perimeter Swale S, including topsoil, seed and landscape plantings.
 9. Topsoil, seed and install Erosion Control Blankets on side slopes of Perimeter Swale S. (Do not install topsoil on bottom of PS S as it will be used as a temporary sediment basin during construction.)
 10. Install sediment logs up-gradient of PS S.
 11. Rough Grade for Water Quality Basin Perimeter Swale N&E (PS N&E) and install outlet piping and rip rap outlet protection for PS N&E.
 12. Install Stone Check Dam in PS N&E and cover in filter fabric.
 13. Install topsoil, seed and install Erosion Control Blankets on side slopes of PS N&E. (Do not install topsoil on bottom of PS N&E as it will be used as a temporary sediment basin during construction.)
 14. Install landscape plantings along east and north side of PS N&E.
 15. Install sediment logs up-gradient of PS N&E and other locations of the site, as shown.
 16. Demolish buildings and improvement on 14 Village Street parcel. Remove prefabricated buildings from 79 Windermere Avenue parcel.
 17. Rough grade for balance of the site.
 18. Finish grade, topsoil and seed cut slopes along west parcel boundary. Install Erosion Control fabric.
 19. Construct gravel section in gravel storage yard. Construct base course for concrete and paved areas adjacent to building.
 20. Construct building foundation and construct the building.
 21. Install sanitary sewer, water, gas and electric services.
 22. Once gravel storage yard is constructed, remove accumulated sediments from bottom of PS S and PS N&E, install topsoil and seed bottom of PS N&E. De-water as necessary.
 23. Construct concrete apron around building.
 24. Freshen up and re-compact processed aggregate base course in areas to receive pavement, and construct pavement base and wearing courses.
 25. Place topsoil and landscape materials along Village Street and Windermere Avenue and all other disturbed areas.
 26. Seed and establish lawn in all impacted areas not yet seeded.
 27. Install pavement markings and signs.
 28. Remove erosion controls after disturbed areas are landscaped and mulched or new lawn areas are stabilized.
 29. The approximate date for start of construction is Summer 2025. The estimated completion date is Summer 2026.

GENERAL NOTES:

1. BEARINGS, COORDINATES, AND ELEVATIONS (IF ANY) DEPICTED IN THE PLAN SET DRAWINGS ARE BASED UPON A MAP ENTITLED "PROPERTY/TOPOGRAPHIC SURVEY" PREPARED FOR VILLAGE PROPERTIES ASSOCIATES, LLC, 79 WINDERMERE AVENUE, ELLINGTON, CT 06029 DATED 01/23/2025 (REVISED 04-15-2025) SCALE 1"=40' SHEET PS-1, PREPARED BY F. A. HESKETH & ASSOCIATES, INC. 6 CREAMERY BROOK, EAST GRANBY, CT 06026, AND A MAP ENTITLED "PROPERTY/TOPOGRAPHIC SURVEY" PREPARED FOR VILLAGE PROPERTIES ASSOCIATES, LLC, 14 VILLAGE STREET ELLINGTON, CT 06029 DATED 01/23/2025 (REVISED 04-15-2025) SCALE 1"=40' SHEET PS-2, PREPARED BY F. A. HESKETH & ASSOCIATES, INC. 6 CREAMERY BROOK, EAST GRANBY, CT 06026 AND REFER TO NAD83/NAVD88.
2. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THE PLANS ARE BASED ON RECORD PLANS AND EXISTING SURFACE FEATURES, AND ARE THEREFORE APPROXIMATE. ALL UTILITIES MAY NOT BE SHOWN. THE CONTRACTOR SHALL NOTIFY "CALL-BEFORE-YOU-DIG" AT 1-800-922-4455 AT LEAST 48 HOURS PRIOR TO THE START OF WORK TO HAVE UNDERGROUND UTILITIES MARKED IN THE FIELD.
3. THE CONTRACTOR SHALL PERFORM TEST PITS WHERE SPECIFIED ON THE PLANS OR AS ORDERED BY THE ENGINEER OR OTHER WORK REQUIRED BY THE UTILITY COMPANIES. THE TOWN OR THE STATE TO LOCATE UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ALL UNEXPECTED CONDITIONS OR UNKNOWN UTILITIES DISCOVERED IN THE FIELD.
4. THE CONTRACTOR SHALL INITIATE AND COORDINATE ALL WORK INVOLVING UTILITIES WITH THE CUSTODIAL UTILITY COMPANY. RELOCATION, ADJUSTMENT, REPAIR, REPLACEMENT OR OTHER WORK INVOLVING EXISTING UTILITIES SHALL BE PERFORMED BY OR AS SPECIFIED BY THE CUSTODIAL UTILITY COMPANY, PER WORK ORDER OR OTHER CONTRACT BETWEEN THE CONTRACTOR AND THE CUSTODIAL UTILITY COMPANY. SUPPLEMENTAL UTILITY WORK MAY BE REQUIRED BASED ON THE DISCOVERY OF UNEXPECTED CONDITIONS OR UNKNOWN UTILITIES FOUND IN THE FIELD.
5. ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE STATE OF CONNECTICUT DOT FORM 819, AS AMENDED TO DATE, AND CT DOT STANDARD DETAILS.
6. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY STATE AND LOCAL PERMITS PRIOR TO THE START OF CONSTRUCTION.
7. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND MATERIAL SPECIFICATIONS AND CERTIFICATIONS FOR ALL APPLICABLE ITEMS TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO THE START OF WORK.

EROSION CONTROL DEVICES:

Refer to the "Connecticut Guidelines For Soil Erosion And Sediment Control - 2024" (see Erosion and Sediment Control Note 3) when constructing erosion control devices shown on this plan.

CE - CONSTRUCTION EXIT: a broken stone pad providing a hard surface points where vehicles will leave the site. The construction exits reduce tracking of sediment into adjacent pavement. Excess sediment should be periodically removed from the stone surface.

ECB - EROSION CONTROL BLANKET: A manufactured blanket composed of biodegradable/photodegradable natural or polymer fibers and/or filaments that have been mechanically, structurally or chemically bound together to form a continuous matrix.

RCES - FLARED END SECTION: a precast concrete culvert end structure designed to spread runoff to greater width of flow.

RRAP - RIP RAP OUTLET PROTECTION: a riprap lined apron installed at the outfall of stormwater discharges to absorb the initial impact of stormwater discharge from the storm drainage system and further reduce flow velocities to prevent erosion downstream. RRAP is designed per the "Guidelines, CT DOT Drainage Manual, and as depicted on the details.

SOD - STONE CHECK DAM: A check dam is a small dam constructed of stone across a ditch, drainage swale, or channel or used to separate chambers in a settling basin to create a forebay. The check dam lowers the velocity of flow and encourage settling of particulates up-gradient of the dam.

SFEC - SEDIMENT FENCE EROSION CHECK: a synthetic textile barrier designed to filter sediment from surface water runoff. Placement shall be made parallel to elevation contours and installation requires anchoring the fence bottom to prevent bypass. All sediment shall be removed if deposits reach one (1) foot in depth. Additional support (such as snow fence or wire fence) on the downhill face may be required to strengthen sediment fence in high flow locations.

SL - SEDIMENT LOGS: A sediment control device consisting of an outside, open weave containment fabric filled with fibers. It is designed to provide a flexible, lightweight, porous, sediment control device with the ability to conform to the terrain upon which it is installed. It is designed to dissipate velocity of flow and filter and trap sediments upgradient and within the device.

TSB - TEMPORARY SEDIMENT BASIN: traps sediment from eroding areas before it can reach downstream waterways, drainage systems, developed areas or any other land to be protected. Sediment basins can be created with dams or barriers or excavation along waterways or any runoff path. They must be designed to provide adequate detention time and sediment accumulation. Accumulated sediment must be removed periodically.

TSS - TEMPORARY SOIL STOCKPILE: A temporary stockpile for topsoil or other soils excavated from a site and intended for short-term storage or re-use on the site. The slopesides of any erodible material shall be no steeper than 2:1. Stockpile shall be ringed with SFEC. If Runoff is a potential, the diversion measures shall be implemented to keep run from entering the stockpile area.

EROSION AND SEDIMENT CONTROL NOTES

1. Disturbance of soil surfaces is regulated by State Law. All work shall comply with an approved "Erosion and Sediment Control Plan" to prevent or minimize soil erosion.
2. The installation and maintenance of erosion control devices is the responsibility of the Developer, and the excavation contractor. Town officials shall be notified in writing of the name, address and telephone number of the individual responsible for this work (including any changes) at the required pre-construction conference.
3. The Contractor shall use the "Connecticut Guidelines for Soil Erosion and Sediment Control" (2024), as amended as a guide in constructing the erosion and sediment controls indicated on these plans. The guidelines may be obtained on line or from the Connecticut Department of Environmental Protection store, 79 Elm Street, Hartford, CT 06106-5127.
4. The Contractor shall schedule operations to limit disturbance to the smallest practical area for the shortest possible time. Overall site disturbance shall be confined to those limits delineated on the plans. Special attention shall be given to the construction sequence outlined on these plans.
5. The Contractor is responsible for the timely installation, inspection, repair or replacement of erosion control devices to insure proper operation.
6. The Contractor shall notify the design engineer of unsatisfactory erosion conditions not controlled by the erosion and sediment control plan and shall install additional measures as required.
7. All disturbed areas not covered by buildings, pavement, mulch, permanent rip rap erosion control, or ground cover plantings shall be planted with grass per the landscape plan.
8. Accumulated sediment removed from erosion control devices is to be spread and stabilized in level, erosion resistant locations as general fill.
9. The Contractor shall be responsible for cleaning any construction debris or sediment from existing roads as ordered by the Town and/or State, if any debris or sediment from construction activities enter onto these roadways.
10. Limit work within wetland regulated areas to the least disturbance necessary for construction. Restore disturbed areas as closely as possible to their original natural state.
11. Additional dust control measures as specified in D.O.T. 819 Section 9.39, Section 9.42 and Section 9.43 shall be furnished by the Contractor as site conditions warrant or as directed by Town or State officials.
12. The Contractor is responsible for cleaning and removal of sediment and/or debris from the storm drainage system throughout the duration of the project (i.e. sumps, plunge pools, level spreaders, etc.)
13. The erosion and sedimentation control measures shown on the plans are the minimum requirements for the work. Specific erosion control plans shall be developed by the Contractor for each phase of the work and shall be modified as construction conditions warrant. These phased plans shall be submitted to the Engineer and to Town staff for review and approval.
14. Any additional sediment/erosion control measures deemed necessary by the Town or State staff during construction shall be implemented by the Contractor. In addition, the Contractor shall be responsible for the maintenance, repair and/or replacement of all required control measures until all disturbed areas have been stabilized to the satisfaction of the Town or State.

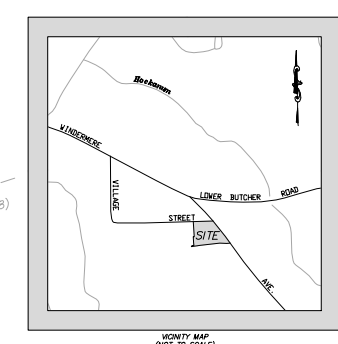
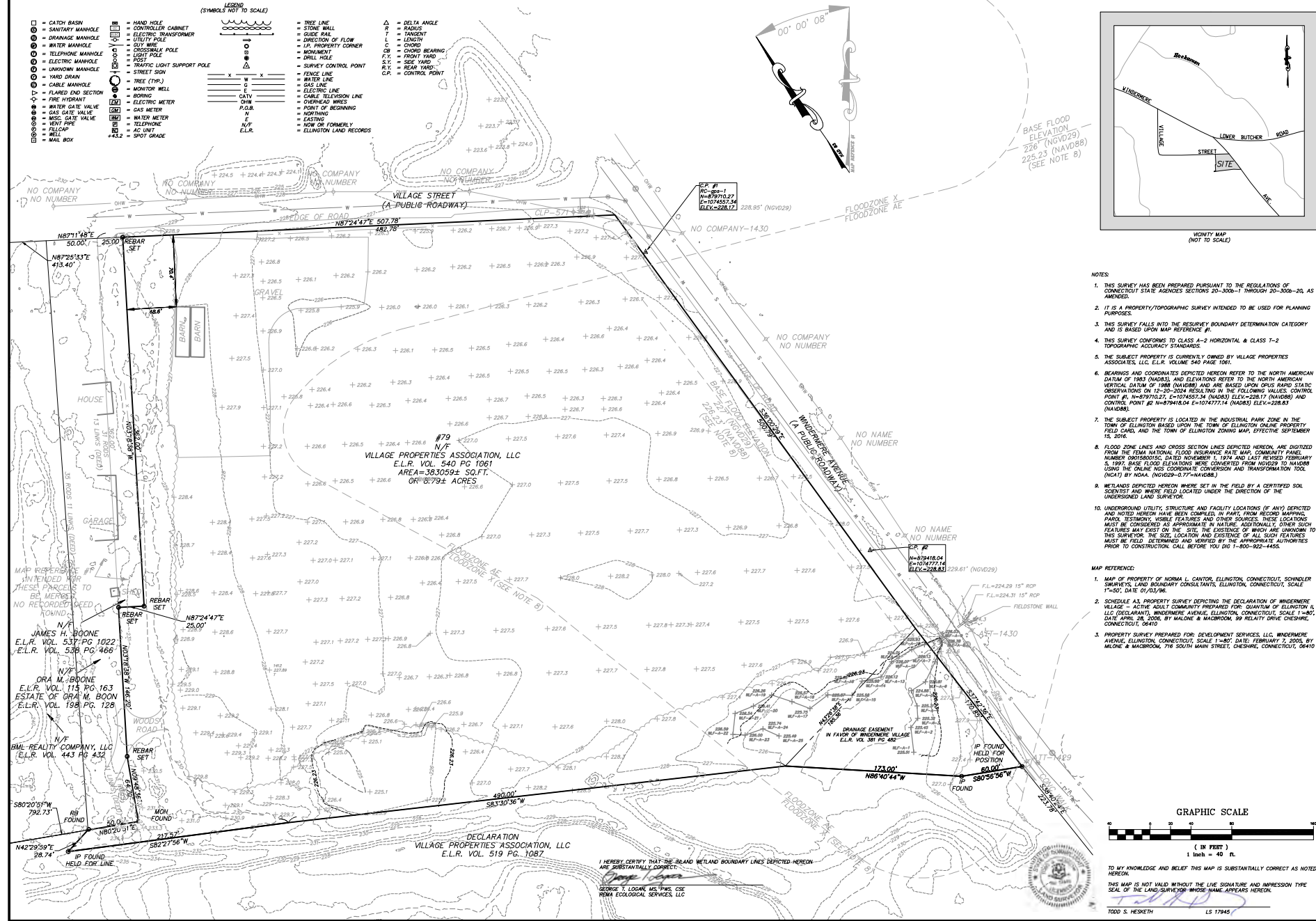


NOTES		Revisions:	
VILLAGE PROPERTIES ASSOCIATES, LLC		No.	Description
14 VILLAGE STREET & 79 WINDERMERE AVE			
ELLINGTON, CONNECTICUT			
Date: 05-15-2025			
Drawn by: JAH			
Job no: 24103			
Checked by: GAH			
Sheet no: 1 OF 1			
Scale: N.T.S.			
05/22/2025 - 79 Windermere, Ellington (Submitting 05/22-25-25 - Submitting 05/22-25-25, 05/11, May 16, 2025 - 10:03:46 AM)			

NT-1

F. A. Hesketh & Associates, Inc.
6 Creamery Brook, East Granby, CT 06026
(860) 359-0000
www.fah-engineers.com
Cell & Text: 860-359-0000
Fax: 860-359-0001
Email: fah@fah-engineers.com

- (SYMBOLS NOT TO SCALE)
- CATCH BASIN
 - SANITARY MANHOLE
 - DRAINAGE MANHOLE
 - WATER MANHOLE
 - TELEPHONE MANHOLE
 - ELECTRIC MANHOLE
 - UNKNOWN MANHOLE
 - YARD DRAIN
 - CABLE MANHOLE
 - FLARED END SECTION
 - FIRE HYDRANT
 - WATER GATE VALVE
 - GAS GATE VALVE
 - MISC. GATE VALVE
 - VENT PIPE
 - FLOOR
 - WELL
 - MAIL BOX
 - HAND HOLE
 - CONTROLLER CABINET
 - ELECTRIC TRANSFORMER
 - UTILITY POLE
 - CROSSWALK POLE
 - POST
 - TRAFFIC LIGHT SUPPORT POLE
 - STREET SIGN
 - TREE (TYP.)
 - MONITOR WELL
 - BORING
 - ELECTRIC METER
 - GAS METER
 - WATER METER
 - TELEPHONE
 - AC UNIT
 - SPOT GRADE
 - TRAIL LINE
 - STONE WALL
 - GUARD RAIL
 - DIRECTION OF FLOW
 - I.P. PROPERTY CORNER
 - MONUMENT
 - DRILL HOLE
 - SURVEY CONTROL POINT
 - FENCE LINE
 - WATER LINE
 - GAS LINE
 - ELECTRIC LINE
 - CABLE TELEVISION LINE
 - OVERHEAD WIRE
 - POINT OF BEGINNING
 - NORTHING
 - EASTING
 - NEW OR FORMERLY
 - ELLINGTON LAND RECORDS
 - DELTA ANGLE
 - RADIUS
 - TANGENT
 - LENGTH
 - CHORD
 - CHORD BEARING
 - FRONT YARD
 - REAR YARD
 - REAR YARD
 - CONTROL POINT



- NOTES:
- THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300-1 THROUGH 20-300-20, AS AMENDED.
 - IT IS A PROPERTY/TOPOGRAPHIC SURVEY INTENDED TO BE USED FOR PLANNING PURPOSES.
 - THIS SURVEY FALLS INTO THE RESURVEY BOUNDARY DETERMINATION CATEGORY AND IS BASED UPON MAP REFERENCE #1.
 - THIS SURVEY CONFORMS TO CLASS A-2 HORIZONTAL & CLASS T-2 TOPOGRAPHIC ACCURACY STANDARDS.
 - THE SUBJECT PROPERTY IS CURRENTLY OWNED BY VILLAGE PROPERTIES ASSOCIATES, LLC, E.L.R. VOLUME 540 PAGE 1001.
 - BEARINGS AND COORDINATES DEPICTED HEREON REFER TO THE NORTH AMERICAN DATUM OF 1983 (NAD83), AND ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND ARE BASED UPON CHIPS RAIND STATION OBSERVATIONS ON 12-20-2024 RESULTING IN THE FOLLOWING VALUES: CONTROL POINT #1: N=497703.27, E=1074557.34 (NAD83) ELEV=228.17 (NAVD88) AND CONTROL POINT #2: N=879418.04, E=1074777.14 (NAD83) ELEV=228.83 (NAVD88).
 - THE SUBJECT PROPERTY IS LOCATED IN THE INDUSTRIAL PARK ZONE IN THE TOWN OF ELLINGTON BASED UPON THE TOWN OF ELLINGTON ONLINE PROPERTY FIELD CARD, AND THE TOWN OF ELLINGTON ZONING MAP, EFFECTIVE SEPTEMBER 15, 2016.
 - FLOOD ZONE LINES AND CROSS SECTION LINES DEPICTED HEREON, ARE DIGITIZED FROM THE FEMA NATIONAL FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 060150010C, DATED NOVEMBER 1, 1974 AND LAST REVISED FEBRUARY 5, 1992. BASE FLOOD ELEVATIONS WERE CONVERTED FROM NAVD83 TO NAVD88 USING THE ONLINE NGS COORDINATE CONVERSION AND TRANSFORMATION TOOL (NCAT) BY NGA. (NAD83=3.77+NAVD88).
 - WETLANDS DEPICTED HEREON WERE SET IN THE FIELD BY A CERTIFIED SOIL SCIENTIST AND WERE FIELD LOCATED UNDER THE DIRECTION OF THE UNDERSIGNED LAND SURVEYOR.
 - UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS (IF ANY) DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING, PARCELS, ESTATE, MOBILE FEATURES AND OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THIS SURVEYOR. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.

- MAP REFERENCE:
- MAP OF PROPERTY OF NORMA L. CANTOR, ELLINGTON, CONNECTICUT, SCHNOLLER SURVEYS, LAND BOUNDARY CONSULTANTS, ELLINGTON, CONNECTICUT, SCALE 1"=50', DATE 01/03/96.
 - SCHNOLLER & ASSOCIATES PROPERTY SURVEY DEPICTING THE DECLARATION OF WINDERMERE VILLAGE - ACTIVE ADULT COMMUNITY PREPARED FOR: QUANTUM OF ELLINGTON II, LLC (DECLARANT), WINDERMERE AVENUE, ELLINGTON, CONNECTICUT, SCALE 1"=80', DATE APRIL 28, 2006, BY MALONE & MACBROOM, 39 RELIANT DRIVE, CHESHIRE, CONNECTICUT, 06010.
 - PROPERTY SURVEY PREPARED FOR DEVELOPMENT SERVICES, LLC, WINDERMERE AVENUE, ELLINGTON, CONNECTICUT, SCALE 1"=80', DATE FEBRUARY 2, 2005, BY MALONE & MACBROOM, 716 SOUTH MAIN STREET, CHESHIRE, CONNECTICUT, 06010.

Revisions:		Description		Date	
No.	Date	Description	No.	Date	Description
1.	05-15-2025	TOWN APPLICATIONS/SUBMITTAL			

F. A. Hesketh & Associates, Inc.
 9 Chestnut Brook, East Granby, CT 06039
 Phone: (860) 659-0000
 Fax: (860) 659-0001
 Email: fah@fahinc.com
 Website: www.fahinc.com

FAH

Call & Truth Engineers - Surveyors & Professional Engineers - fah@fahinc.com

PROPERTY/TOPOGRAPHIC SURVEY
VILLAGE PROPERTIES ASSOCIATES, LLC
 719 WINDERMERE AVE
 ELLINGTON, CONNECTICUT
 Date 01-23-2025 Drawn by: MJP Job no: 24103
 Scale: 1" = 40' Checked by: TSH Sheet no: 1 OF 1

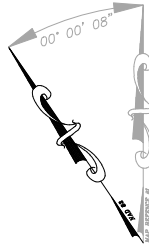
PS-1

- (SYMBOLS NOT TO SCALE)
- CATCH BASIN
 - SANITARY MANHOLE
 - DRAINAGE MANHOLE
 - WATER MANHOLE
 - TELEPHONE MANHOLE
 - ELECTRIC MANHOLE
 - UNKNOWN MANHOLE
 - YARD DRAIN
 - CABLE MANHOLE
 - FLARED END SECTION
 - FIRE HYDRANT
 - WATER GATE VALVE
 - GAS GATE VALVE
 - MISC. GATE VALVE
 - VENT PIPE
 - FULCRUM
 - WELL
 - MAIL BOX
 - HAND HOLE
 - CONTROLLER CABINET
 - ELECTRIC TRANSFORMER
 - UTILITY POLE
 - CROSSWALK POLE
 - POST POLE
 - TRAFFIC LIGHT SUPPORT POLE
 - STREET SIGN
 - TREE (TYP.)
 - MONITOR WELL
 - BORING
 - ELECTRIC METER
 - GAS METER
 - WATER METER
 - AC UNIT
 - TELEPHONE
 - SPOT GRADE

(SYMBOLS NOT TO SCALE)

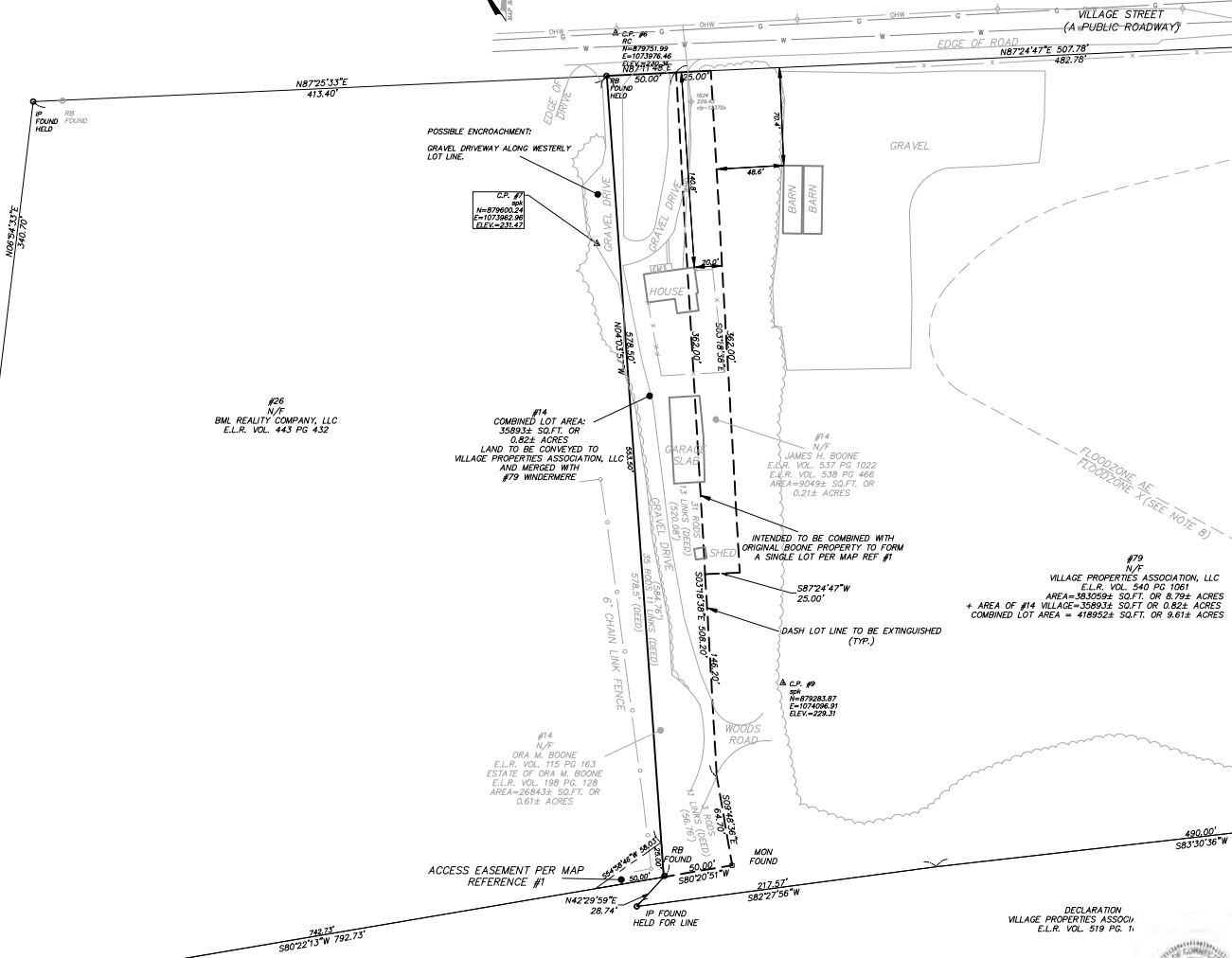
- TREE LINE
- STONE WALL
- GUIDE RAIL
- DIRECTION OF FLOW
- I.P. PROPERTY CORNER
- MONUMENT
- DRILL HOLE
- SURVEY CONTROL POINT
- FENCE LINE
- WATER LINE
- GAS LINE
- ELECTRIC LINE
- CABLE TELEVISION LINE
- OVERHEAD WIRE
- POINT OF BEGINNING
- NORTHING
- EASTING
- NOW OR FORMERLY
- ELLINGTON LAND RECORDS

- △ DELTA ANGLE
- R RADIUS
- T TANGENT
- L LENGTH
- C CHORD
- CB CHORD BEARING
- F.Y. FRONT YARD
- S.Y. SIDE YARD
- R.Y. REAR YARD
- C.P. CONTROL POINT
- DEED MEASURED



CONVERSION ON RODS AND LINKS
TO SURVEY FEET

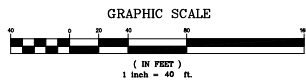
1 ROD = 16.5'
1 LINK = 0.66'



- NOTES:
1. THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300B-1 THROUGH 20-300B-20, AS AMENDED.
 2. IT IS A PROPERTY SURVEY INTENDED TO BE USED FOR LAND CONVEYANCE.
 3. THIS SURVEY FALLS INTO THE RESURVEY BOUNDARY DETERMINATION CATEGORY AND IS BASED UPON MAP REFERENCE #1.
 4. THIS SURVEY CONFORMS TO CLASS A-2 HORIZONTAL ACCURACY STANDARDS.
 5. THE SUBJECT PROPERTY IS CURRENTLY OWNED BY JAMES H. BOONE, E.L.R. VOL. 538 PG. 466, AND ESTATE OF ORA M. BOONE VOL. 198 PG. 128. A TITLE SEARCH MAY BE REQUIRED.
 6. BEARINGS AND COORDINATES DEPICTED HEREON REFER TO THE NORTH AMERICAN DATUM OF 1983 (NAD83), AND ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND ARE BASED UPON OPUS RAPID STATIC OBSERVATIONS ON 12-20-2024 RESULTING IN THE FOLLOWING VALUES: CONTROL POINT #1: N=879710.27, E=1074567.34 (NAD83) ELEV=228.17 (NAVD88) AND CONTROL POINT #2: N=879458.04, E=1074777.14 (NAD83) ELEV=228.83 (NAVD88).
 7. THE SUBJECT PROPERTY IS LOCATED IN THE INDUSTRIAL PARK ZONE IN THE TOWN OF ELLINGTON BASED UPON THE TOWN OF ELLINGTON ZONING MAP, EFFECTIVE SEPTEMBER 15, 2014.
 8. INTENTIONALLY OMITTED.
 9. INTENTIONALLY OMITTED.
 10. UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS (IF ANY) DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPS, PARCEL TESTIMONY, VISIBLE FEATURES AND OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THE SURVEYOR. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-352-4455.

MAP REFERENCE:

1. MAP OF PROPERTY OF NORMA L. CANTOR, ELLINGTON, CONNECTICUT, SCHINDLER SURVEYS, LAND BOUNDARY CONSULTANTS, ELLINGTON, CONNECTICUT, SCALE 1"=50', DATE 01/01/96
2. SCHEDULE A3, PROPERTY SURVEY DEPICTING THE DECLARATION OF WINDERMERE VILLAGE - ACTIVE ADULT COMMUNITY PREPARED FOR: QUANTUM OF ELLINGTON N, LLC (DECLARANT), WINDERMERE AVENUE, ELLINGTON, CONNECTICUT, SCALE 1"=80', DATE APRIL 28, 2006, BY MALONE & MACBROOM, 99 RELIANT DRIVE, CHESTER, CONNECTICUT, 06410
3. PROPERTY SURVEY PREPARED FOR: DEVELOPMENT SERVICES, LLC, WINDERMERE AVENUE, ELLINGTON, CONNECTICUT, SCALE 1"=80', DATE: FEBRUARY 7, 2005, BY MALONE & MACBROOM, 716 SOUTH MAIN STREET, CHESTER, CONNECTICUT, 06410
4. PROPERTY/TOPOGRAPHIC SURVEY, PREPARED FOR VILLAGE PROPERTIES ASSOCIATES, LLC, 79 WINDERMERE AVENUE, ELLINGTON, CT, DATE 01-23-2025, LAST REVISED 05-15-2025, SCALE 1"=40', BY F.A. HESKETH AND ASSOCIATES, INC., 8 CREAMERY BROOK, EAST GRANBY, CT 06026.



MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED REON.
IS MAP IS NOT VALID WITHOUT THE LINE SIGNATURE AND IMPRESSION TYPE AL OF THE LAND SURVEYOR WHOSE NAME APPEARS HEREON.

DO S. HESKETH LS 17945

F. A. Hesketh & Associates, Inc.

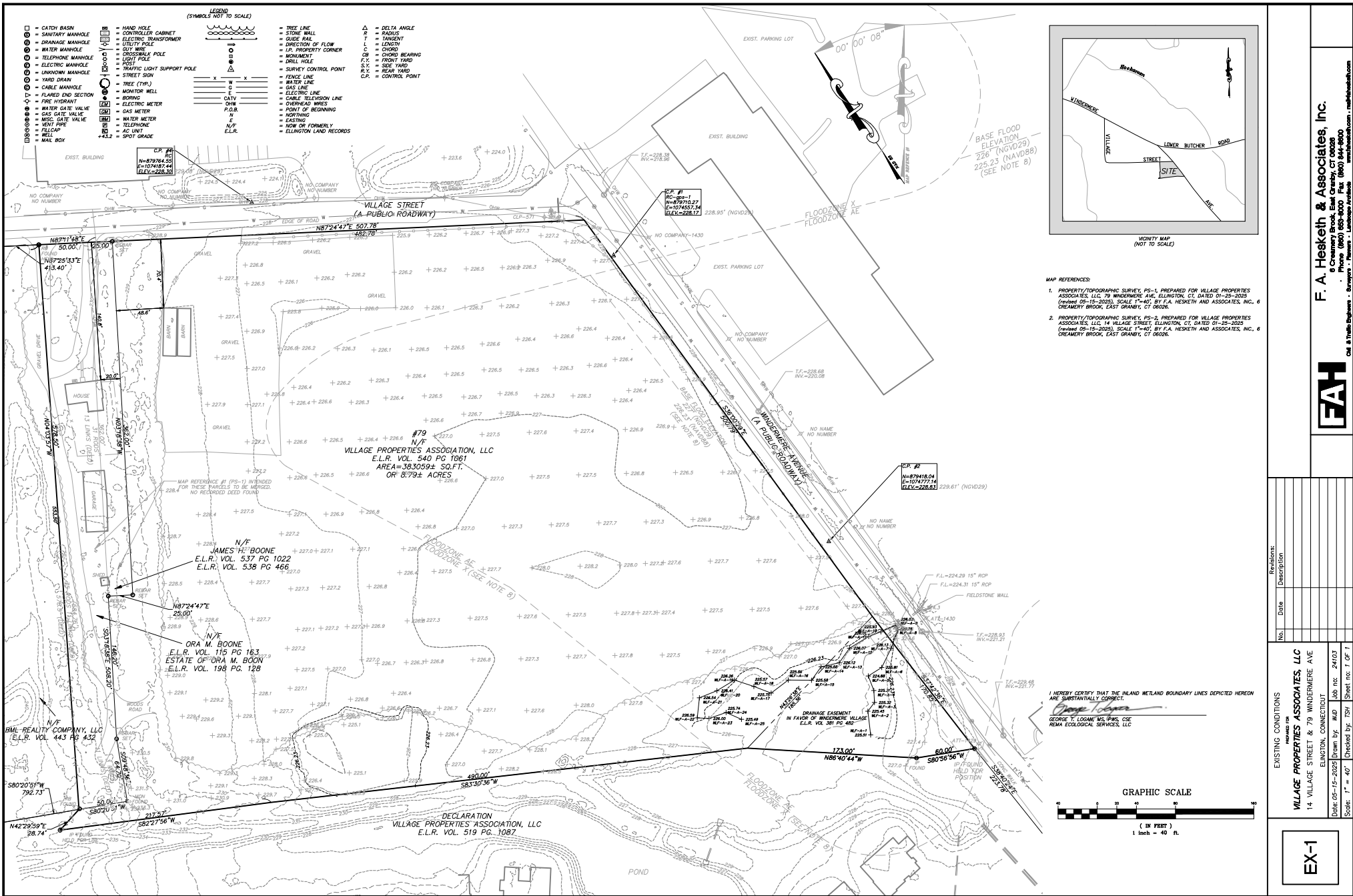


No.	Date	Description	Revisions
1.	05-15-2025	TOWN APPLICATIONS/SUBMITTAL	

PROPERTY SURVEY	DATE	DESCRIPTION
VILLAGE PROPERTIES ASSOCIATES, LLC	01-23-2025	14 VILLAGE STREET
ELLINGTON, CONNECTICUT		
Drawn by: MAP	Job no: 24102.1	
Scale: 1" = 40'	Checked by: TSH	Sheet no: 1 OF 1

PS-2

01252414303 - 79 Windermere, Ellington Survey (Current) (MAY) PS-2 14 VILLAGE, 2025-05-15, Map, PS-2, Map, 10-15-25, 10-15-25

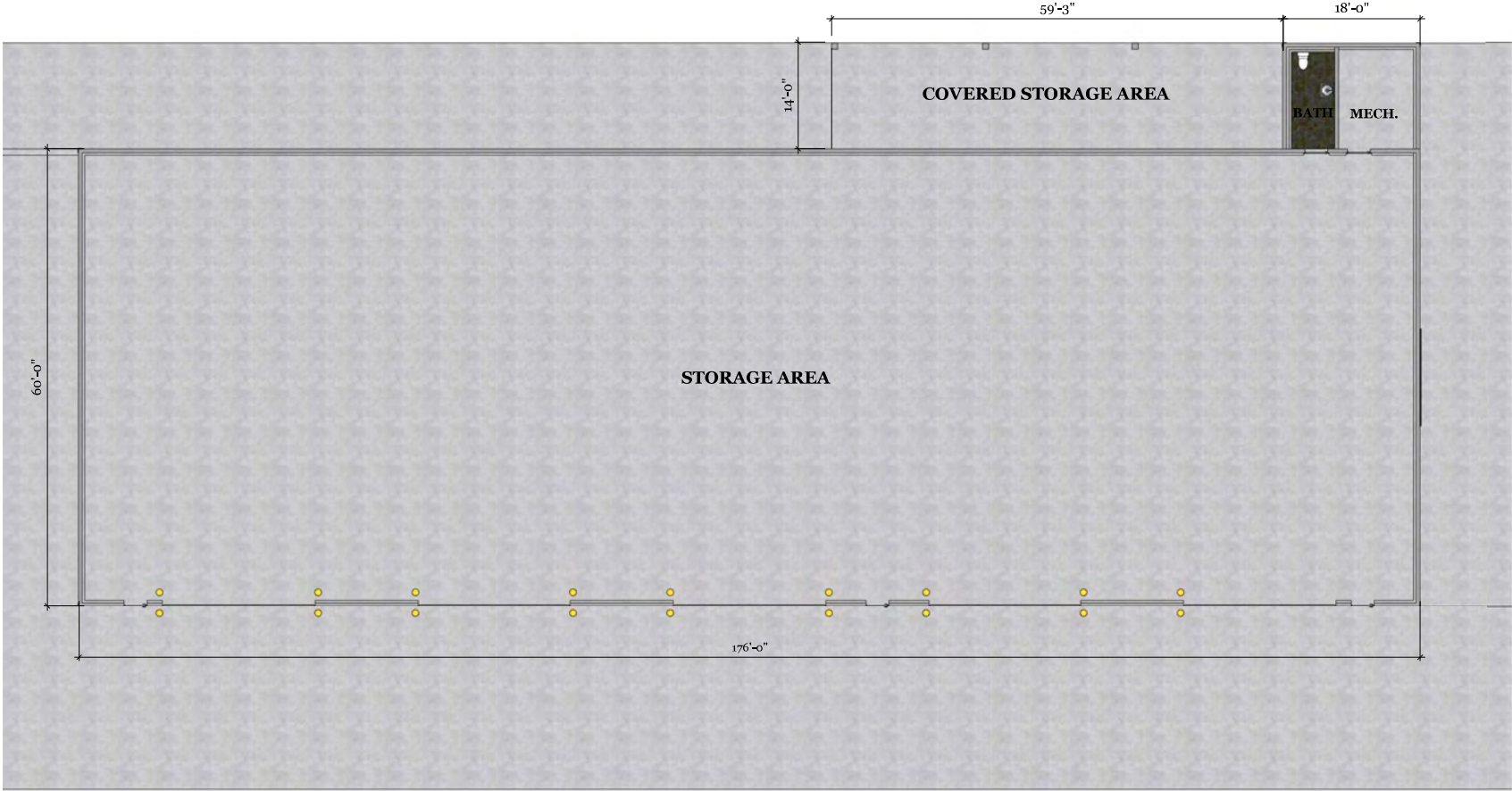


EXISTING CONDITIONS	
VILLAGE PROPERTIES ASSOCIATES, LLC	
14 VILLAGE STREET & 79 WINDERMERE AVE	
ELLINGTON, CONNECTICUT	
Date: 05-15-2025	Drawn by: MAP
Scale: 1" = 40'	Checked by: TSH
Sheet no. 1 of 1	

Revisions	
No.	Description

F. A. Hesketh & Associates, Inc.
6 Creamery Brook, East Granby, CT 06026
(860) 253-1111
www.fahes.com
Cell & Text: 860-253-1111
Fax: 860-253-1112

FAH

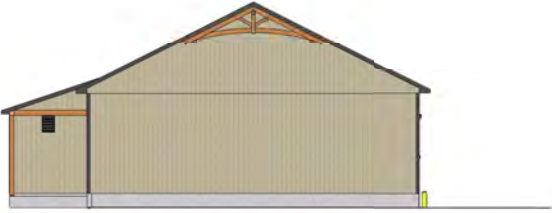


Floor Plan



Barn Yard Storage Building

REVISIONS	
NO./DATE	REMARKS
1	...
2	...
3	...
4	...
5	...



Building Elevations



Barn Yard Storage Building

REVISIONS	
NO./DATE	REMARKS
1	
2	
3	
4	
5	

Town of Ellington Planning & Zoning Commission Application

Type of Application: ☐ Zone Change ☐ Amendment to Regulation

☒ Site Plan Approval ☒ Special Permit ☐ Modification ☐ CGS 8-24

Application #

2202512

Date Received

5/15/2025

Notices associated with this application will be sent to the applicant, if different than the owner, unless otherwise requested.

Owner's Information

Name: Connecticut Water Company

Mailing Address: 93 West Main Street

Clinton, CT 06413

Email: Justin.Parlapiano@ctwater.com

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? ☐ Yes ☒ No

Primary Contact Phone #: (860) 622-9554

Secondary Contact Phone #: (800) 286-5700

Signature: Justin Parlapiano Date: 05/14/2025

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Commission have been submitted. Moreover, by signing above I/we expressly provide written consent to the filing of the application and access to the site by the Commission or its staff.

Notices associated with this application will be sent to the applicant, if different than the owner, unless otherwise requested.

Applicant's Information (if different than owner)

Name:

Mailing Address:

Email:

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? ☐ Yes ☒ No

Primary Contact Phone #:

Secondary Contact Phone #:

Signature: Date:

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Commission have been submitted.

Street Address: X Egypt Road

Assessor's Parcel Number (APN): 161 - 069 - 0000 Existing Zone: RAR Proposed Zone: N/A

(If unaware of APN, please ask staff for assistance)

(If none, insert "N/A")

Public Water: ☒ Yes ☐ No Public Sewer: ☐ Yes ☒ No If not served by public water and sewer, applicant/owner shall make application to North Central District Health Department (Enfield Office).

Is parcel within 500' to any municipal boundary? ☐ Yes ☒ No

Are there any wetlands/watercourses within 100' of construction activity or within 250' of wetlands/watercourses when located in the Shenipsit Lake Drainage Basin? ☒ Yes ☐ No If yes, pursuant to state law application must be made to the Inland Wetlands Agency prior to or simultaneously with application to the Planning and Zoning Commission.

Is the project in a public water supply watershed area? ☒ Yes ☐ No If yes, applicant shall notify Connecticut Water Company and Commissioner of Public Health about the proposed project by certified mail return receipt within 7 days of application (§8-3i(b)). Copy of application, plans, and supporting documents must accompany notice. Proof of notice and copies of return receipts must be provided to the Planning Department.

Description of Request (If more space is needed, please attach additional sheets)

The Connecticut Water Company is upgrading their existing water treatment plant at 15 Egypt Road. In general, the project involves replacing the existing water treatment building and centralized treatment facilities to effectively handle pH adjustments; disinfections; corrosion control; and iron, manganese and PFAS. The project also involves installing new underground utilities, storm drainage, bituminous/gravel pavement, fencing, propane tanks, emergency generator, and other associated improvements.

May 15, 2025

Town of Ellington
Planning & Zoning Commission
57 Main Street
P.O. Box 187
Ellington, CT 06029

RECEIVED

MAY 15 2025

Re: Planning & Zoning Commission Application – Site Plan Approval and Special Permit
Connecticut Water Company – Egypt Road Water Treatment Facility Design
15 Egypt Road, Ellington, CTTOWN OF ELLINGTON
PLANNING DEPARTMENT

To Whom it May Concern:

On behalf of the Connecticut Water Company (CWC), Weston & Sampson Engineers, Inc. (Weston & Sampson) is submitting the attached Planning & Zoning Commission Application for Site Plan Approval and Special Permit. CWC proposes construction of a new water treatment facility at its existing wellfield located at 15 Egypt Road. This letter provides a brief overview of the project and the design. Also included with this cover letter/narrative are permit plans and stormwater management report.

Project Background

CWC contracted Weston & Sampson to develop design documents for the proposed treatment facility. The proposed water treatment facility design includes a new single-level treatment building, three (3) GSF vessels, two (2) GACF vessels, a subgrade backwash and recirculation tank, a backwash lagoon, a tight tank (for building floor drains), a propane standby generator with two (2) above-grade propane tanks, and 8-foot-high security fencing around the new building. The proposed treatment process will include greensand filtration (GSF) for removing Iron and Manganese (Fe/Mn), and granular activated carbon filtration (GACF) for PFAS removal. There will be no outside storage of chemicals used at this facility.

The new building and centralized treatment facilities will be constructed northwest of the existing well-house building. The existing building will be demolished as part of this project. The three existing wells #1, 2, and 3 were replaced in April/May 2021. The new well locations are noted on the plans and are located immediately adjacent to the older ones. New 4" water lines shall be installed to convey raw water "RW" from the new wells to the new treatment building. Alongside the raw water lines, a new electrical conduit shall also be installed to provide power to the well pumps. A new 8" main shall be installed to convey treated water "TW" from the treatment building to the existing main on Egypt Road. Existing overhead power will be replaced with new underground electrical conduit and a new transformer located just northwest of the new building. New hydrant assemblies are also installed for routine water testing.

Existing Site & Environmental Factors

The site is located on a ~16.7 acres parcel owned by Connecticut Water Company and is zoned RAR (Rural Agricultural Residential). The site is mostly wooded with one large wetland area located on the southeast/southern end of the property with two smaller pocket wetland areas in what are presumed to be man-made. On the southwest side of the property there is a narrow wetland area which extends up from the larger wetlands and receives runoff from Egypt Road. Wetlands were delineated by Soil Science and Environmental Services, Inc. The site was evaluated for other environmental factors and found to not encroach within any CT DEEP Natural Diversity Database (NDDDB) Area for state/federal listed species or critical habitat. There is a FEMA flood boundary (Abbey Brook) located to the northeast and beyond the subject property and project area. The existing conditions are based on an A-2/T-2 survey prepared by Gesick & Associates, P.C. The project does not directly impact any wetland area, however there will be a temporary disturbance within the 100-foot upland review area. As a result,

a separate application has been submitted to the Inland Wetland and Watercourses Agency for "Notification of Permitted Use as of Right (Section 4.1)".

Stormwater

The majority of the site runoff from the project area flows to an existing man-made wetland depression at the southeast end of the project area. Under proposed conditions, the added impervious areas from the building will be directed overland through an existing vegetated buffer toward the wetland depression. The majority of the driveway runoff will be controlled with a bituminous curb and directed through sediment forebay for velocity reduction, settling of sediment, and filtration/treatment through a stone filter berm. A pre-and post-development analysis was conducted and determined that despite the increase in impervious surfaces, the existing wetland depression is able to fully detain the volume of runoff associated with the 100-year design storm. As a result, there will be no downgradient increase in peak runoff. This analysis was discussed with the Town Engineer and a stormwater management report has been included with this submission for review and comment.

The proposed project includes an erosion and sedimentation control plan (C300) with measures designed in accordance with the latest *Connecticut Guidelines for Soil Erosion and Sediment Control*. These measures are discussed in more detail in the stormwater management report (Section 5.0).

Proposed Building & Site

The new single-level treatment building will have a footprint of 4,230 square feet and a maximum height of approximately 30 feet (at ridge). The building will be constructed of CMU walls and have pitched metal roof. The new building is located more than 150 feet from the abutting residential properties to the west, and the existing trees and vegetation will be maintained as much as possible, around all sides, to provide natural screening. In addition, the building, standby generator, and above-ground propane tanks will be surrounded by an 8-foot-high black vinyl security fence with privacy slats. As a result, the installation of new landscaping will be minimal. The new standby generator will also be located on the east side of the building to provide a sound barrier. The new building will not affect the surrounding properties or value of homes in the area.

The site entrance and driveway will be widened and paved with bituminous concrete to allow for adequate delivery vehicle access and maneuverability. The general alignment and location of the new driveway matches that of the existing. A new 24-foot-wide barrier swing gate will be installed closer to Egypt Road for added site security. Permanent gravel pavement will be installed within the existing grass path limits from the treatment building to the three on-site wells for vehicle access and periodic maintenance. Overall, the proposed building and site features are in accordance with Section 3.2 of the Town of Ellington zoning regulations, for the RAR zone. Refer to the bulk zoning table provided on the cover sheet (T100) of the permit plans.

Sincerely,

WESTON & SAMPSON ENGINEERS, INC.



Joseph Perugini, P.E.
Senior Project Manager

Cc: Justin Parlapiano (Connecticut Water Company)
Patrick Bateman (Weston & Sampson)



westonandsampson.com

WESTON & SAMPSON ENGINEERS, INC.
712 Brook Street, Suite 103
Rocky Hill, CT 06067
tel: 860.513.1473

REPORT

May 2025

Stormwater Management Report

Project:

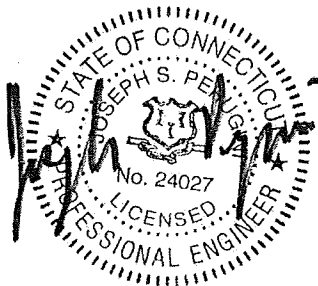
Egypt Road Treatment Facility

Prepared for:

Connecticut Water Company

Site Location:

15 Egypt Road (Parcel 161-069-0000)
Ellington, Connecticut



1.0 INTRODUCTION

Weston & Sampson Engineers (WSE) is pleased to submit this Stormwater Management Report on behalf of the Connecticut Water Company (CWC). A new water treatment building and centralized treatment facilities are proposed for the existing wellfield site located at 15 Egypt Road (Parcel 161-069-0000), Ellington, CT. The ~16.7-acre property is abutted by residential properties around all sides with the exception of one (1) undeveloped lot to the northeast, and is located in the Rural Agricultural Residential (RAR) zone. The property is accessed by a driveway entrance from Egypt Road, located between 13 and 17 Egypt Road. Refer to the Location Map in Appendix A.

WSE conducted a virtual meeting with the CWC and Town of Ellington Engineer on April 3, 2025 and May 1, 2025, to discuss the stormwater management approach for this project. It was presented that surface runoff drains to an existing made-made wetland depression under both pre- and post-development conditions, and that the existing depression has sufficient capacity to handle all stormwater runoff for up to and including the 100-year storm event without overflowing to the larger downstream wetlands. During the discussion, it was recommended that some additional upland areas would be directed to the existing wetland depression by curbing and regrading the new driveway. As a result this approach would minimize tree clearing and site disturbances near the abutting residential properties. It was further stated that WSE would prepare a hydrologic analysis and stormwater management report to quantitatively document the above statements and would be submitted for the Town of Ellington Engineer to review.

2.0 DESIGN METHODOLOGIES

All storm drainage has been designed in accordance with the *State of Connecticut, Department of Transportation, Drainage Manual*, and the *Connecticut Stormwater Quality Manual*. The Soil Conservation Service (SCS) TR-55 method was used to calculate the pre- and post-development peak flows and volumes. Hydrographs were created using the Hydraflow Hydrographs Extension for AutoCAD Civil 3D, by Autodesk. Curve Number (CN) values were determined based upon land uses and soil types, in accordance with TR-55 standards. Soil types were identified using mapping and subsurface information obtained from the Natural Resources Conservation Service (NRCS) Web Soil Survey. The time of concentration (T_c) for each drainage area was calculated using TR-55 methodology by summing all travel times through the drainage area as sheet flow, shallow concentrated flow, and channel flow, as applicable. The current, site-specific precipitation depths for the design storm events were taken from the NOAA Atlas 14 database.

Two (2) analysis points were created (AP-1 and AP-2). Analysis Point 1 represents stormwater runoff draining to the existing wetland depression (located east of the existing well house), and corresponds to the termination point for the time of concentration path. Analysis Point 2 represents stormwater runoff overflowing from the existing wetland depression and draining to the downstream wetlands. The storage volume of the wetland depression was modeled using the Hydraflow Hydrographs program. The program uses the bottom and top elevations of the depression, and the average end area of intermediate elevations (contours) to calculate the storage volume. A bottom elevation of 229.9 was used for the analysis, which represents the elevation of standing water observed and field located in the depression. A top elevation of 234.5 was used for the analysis, which represents the crest elevation of the depression based on contours and surrounding spot elevations. The

hydrograph flows and volumes were routed through the wetland depression to model that it has sufficient capacity to retain all stormwater runoff from each design storm event without overflowing to the larger downstream wetlands. The Pre- and Post-Development Analysis can be found in Appendix B.

3.0 PRE-DEVELOPMENT SITE CONDITIONS

The existing property is mostly vegetated (grass/woods) with some small impervious areas associated with the building and access driveway (pavement/gravel). The drainage area contributing to the existing wetland depression was used for this analysis. This area is approximately 1.82 acres in size and includes a majority of the project area. The Pre-Development Drainage Area can be seen in Figure 1 in Appendix A. Runoff from this area generally flows in a southeasterly direction towards the existing wetland depression (AP-1), where it is retained and infiltrates laterally to the surrounding soils. Under pre-development conditions, the entire runoff volume associated with each design storm event up to and including the 100-year frequency is retained by the existing wetland depression, with freeboard. Based on the pre-development analysis, the maximum water elevation in the depression for the 100-year storm event is approximately 231.4 (3.1 feet of freeboard). There is no runoff overflowing and contributing to the larger downstream wetlands (AP-2). A summary of the pre-development peak runoff rates and volumes can be seen in Table 1.

4.0 POST-DEVELOPMENT SITE CONDITIONS

The "Post-Development Drainage Area" is approximately 2.64 acres in size and can be seen in Figure 2 (Appendix A). Under proposed conditions, a new treatment building and a bituminous driveway will be constructed. Permanent gravel pavement, a gravel apron around the new building, and other miscellaneous impervious features (concrete utility pads, curbing, etc.) will also be installed. The post-development drainage area is larger than the pre-development drainage area because the high point in the driveway will be eliminated, and curbing will be installed along the south side of the new driveway. As such, upland runoff flows will be collected and diverted down the driveway, eventually contributing to the existing wetland depression.

Roof runoff from the proposed building will be dissipated by the gravel apron. Runoff from the site will generally follow existing drainage patterns (with the exception of the added upland flows – referenced above) towards the existing wetland depression (AP-1) for retention/infiltration. Under post-development conditions, the entire runoff volume associated with each design storm event up to and including the 100-year frequency is retained by the existing wetland depression, with freeboard. Based on the post-development analysis, the maximum water elevation in the depression for the 100-year storm event is approximately 233.9 (0.6 feet of freeboard). There is no runoff overflowing and contributing to the larger downstream wetlands (AP-2). A summary of the post-development peak runoff rates and volumes can also be seen in Table 1.

Water quality for the site will be provided by vegetated (grass) filter strips, which will treat overland sheet flow from adjacent impervious surfaces and evenly distribute runoff to the downgradient wetland depression. The filter strips will also provide some infiltration benefits. The minimum length of the filter strips will be in accordance with the *Connecticut Stormwater Quality Manual*, and

downgradient vegetation (grass) will deliver further water quality benefits. The majority of the driveway runoff will be controlled with a bituminous curb and directed through sediment forebay for velocity reduction, settling of sediment, and filtration/treatment through a stone filter berm.

5.0 EROSION & SEDIMENTATION CONTROL MEASURES

In order to protect the adjacent properties and resource areas from construction related activities, a Soil Erosion and Sediment Control Plan has been developed in accordance with the latest Connecticut Guidelines for Soil Erosion & Sediment Control. This plan will be implemented prior to the start of any site disturbance and will involve the combined use of perimeter silt fencing, compost filter tubes, an anti-tracking pad, and vegetative stabilization. Refer to the design plans for soil erosion and sediment control notes, construction sequencing, and details.

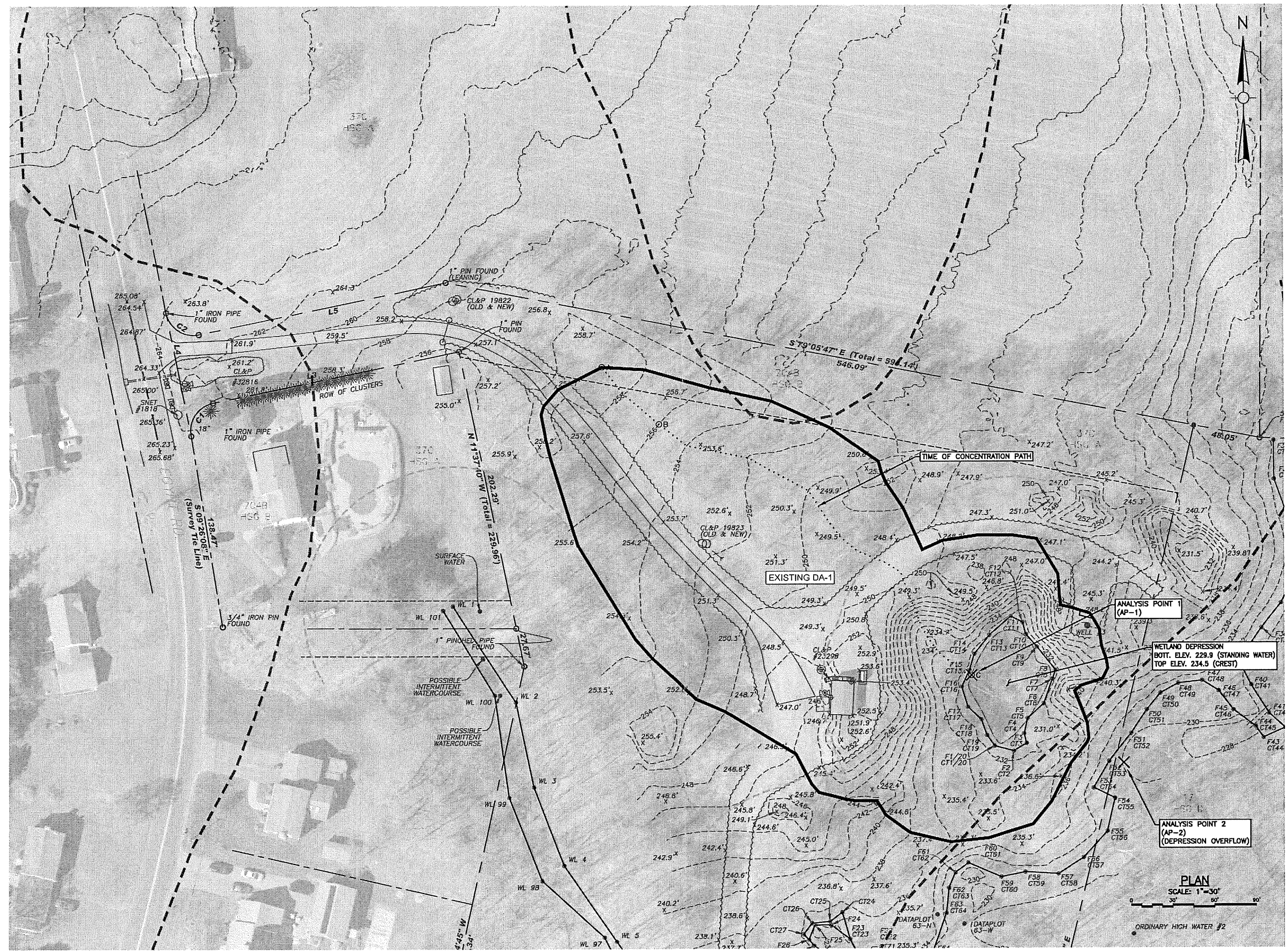
Once a contractor has been selected and a construction schedule has been established, a person shall be named and will be responsible for implementation of sediment and erosion control measures. This responsibility includes the acquisition of materials, installation, and maintenance of soil erosion and sediment control structures; and communication and detailed explanation to all people involved in the site work of the requirements and objectives of the erosion and sediment control measures.

Weston & Sampson (860) 513-1473 located at 712 Brook Street, Suite 103, Rocky Hill, CT 06067 shall be notified of any proposed alteration to the soil erosion and sediment control plan, prior to altering, in order to ensure the feasibility of the addition, subtraction, or change in the plan.

6.0 SUMMARY

A Pre- and Post-Development Analysis (Appendix B) has been performed to show that the peak flow rates and discharge volumes for the 2- through 100-year design storms are entirely handled by the existing wetland depression (AP-1), without overflowing to the larger downstream wetlands (AP-2). A summary of the total pre- and post-development peak flow rates and discharge volumes are shown below in Table 1:

(See Next Page)



WESTON & SAMPSON COPYRIGHT 2023

Project:
ConnecticutWater
CONNECTICUT WATER
COMPANY
93 WEST MAIN STREET
CLINTON, CT 06413
EGYPT ROAD
TREATMENT FACILITY DESIGN
15 EGYPT ROAD
ELLINGTON, CT 06029

Weston & Sampson
Weston & Sampson Engineers, Inc.
713 Brook Street, Suite 103
Rocky Hill, CT 06067
(860) 513-1473 (800) SAMPSON
www.westonandsampson.com

Consultants:

Seal:

Revisions:

Rev	Date	Description

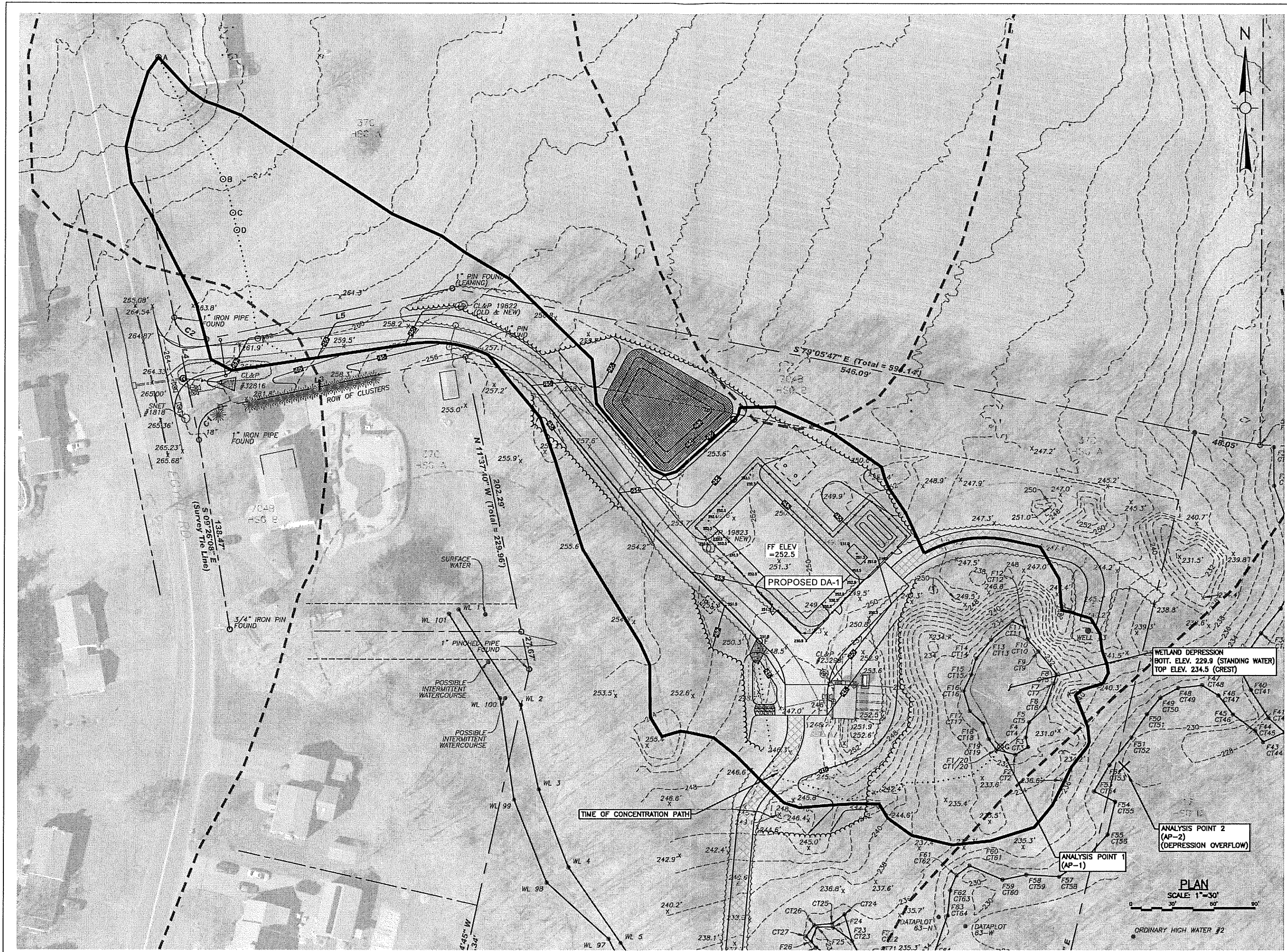
Issued For: FOR PERMITTING



Date: MAY 5, 2025
Drawn By: NWE
Reviewed By: JSP
Approved By: JSP
W&S Project No: ENG24-1704

Drawing Title:
**PRE-
DEVELOPMENT
DRAINAGE AREA**

Sheet Number:
FIG-1



Project

ConnecticutWater

CONNECTICUT WATER COMPANY
93 WEST MAIN STREET
CLINTON, CT 06413

EGYPT ROAD
TREATMENT FACILITY DESIGN

15 EGYPT ROAD
ELLINGTON, CT 06029

Weston & Sampson

Weston & Sampson Engineers, Inc.
712 Brook Street, Suite 103
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Consultants:

Seal:

Revisions:

Rev	Date	Description

Issued For: FOR PERMITTING

NORTH

Date: MAY 5, 2025

Drawn By: NWE

Reviewed By: JSP

Approved By: JSP

W&S Project No: ENG24-1704

Drawing Title:

POST-DEVELOPMENT DRAINAGE AREA

Sheet Number:

FIG-2

Egypt Road, APN 161-069-0000, CWC

**Property Information**

Property ID 161.069.0000
 Location EGYPT RD
 Owner CONNECTICUT WATER COMPANY



**MAP FOR REFERENCE ONLY
 NOT A LEGAL DOCUMENT**

Town of Ellington, CT makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 11/11/2021
 Data updated daily

Print map scale is approximate.
 Critical layout or measurement
 activities should not be done using
 this resource.

The Assessor's office is responsible for the maintenance of records on the ownership of properties.

Assessments are computed at 70% of the estimated market value of real property at the time of the last revaluation which was 2020.



Government

Information on the Property Records for the Municipality of Ellington was last updated on 3/25/2025.



Parcel Information

Location:	EGYPT RD	Property Use:	Vacant Land	Primary Use:	Residential Vacant Land
Unique ID:	00439800	Map Block Lot:	161 069 0000	Acres:	19.0500
490 Acres:	14.05	Zone:	RAR	Volume / Page:	0403/1099
Developers Map / Lot:		Census:	5351		

Value Information

	Appraised Value	Assessed Value
Land	88,430	32,920
Buildings	0	0
Detached Outbuildings	0	0
Total	88,430	32,920

Owner's Information

Owner's Data

CONNECTICUT WATER COMPANY
93 WEST MAIN ST
CLINTON, CT 06413

Owner History - Sales

Owner Name	Volume	Page	Sale Date	Deed Type	Sale Price
CONNECTICUT WATER COMPANY	0403	1099	06/05/2009	Quit Claim	\$0
ELLINGTON ACRES COMPANY	0279	0998	11/13/2001	Quit Claim	\$0
ELLINGTON ACRES COMPANY	0250	0494	03/16/1999	Quit Claim	\$15,000
ELLINGTON ACRES COMPANY	0075	0093	04/04/1968		\$0

ELLINGTON PLANNING DEPARTMENT
STAFF REVIEW SHEET

PLANNING & ZONING COMMISSION

Z202512 – Connecticut Water Company, owner / applicant, request for Site Plan and Special Permit to upgrade existing water treatment facility, including demolition of existing well-house and construction of a 4,230 sf water treatment facility, storm drainage, bituminous/gravel pavement, and associated site improvements at Egypt Road, APN 161-069-0000, in a Rural Agricultural Residential (RAR) zone.

PUBLIC HEARING DATE: June 30, 2025

STAFF REVIEW RETURN DATE: June 23, 2025

DEPARTMENT	COMMENTS AND/OR REQUIREMENTS
Town Engineer	
Building Official	
North Central District Health Dept	
Fire Marshal	
Public Works Director/WPCA	DPW- The drainage improvements need to be reviewed by the Town Engineer. A ROW permit must be pulled for all work within the Town ROW. WPCA- No comment.
Assessor	
Traffic Authority	
Ambulance	

From: Dana Steele
To: Perugini, Joe; Lisa Houlihan; Justin Parlapiano
Cc: Barbra Galovich; John Colonese; Ericson, Nash
Subject: RE: CT Water Co, 15 Egypt, Ellington PZC Application Z202512
Date: Tuesday, June 24, 2025 9:02:03 AM
Attachments: [image004.png](#)
[image007.png](#)
[image009.png](#)
[image010.png](#)
[image011.png](#)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Joe,

I like your solution to #3. It avoids the developed area and also minimizes concentrated runoff. Hopefully the depression also allows for some infiltration. I would like you to add a maintenance schedule for the swale and level spreader outlining CT Water's responsibility for ongoing maintenance of this area as the Town's responsibility ends at the drainage easement.

Dana P. Steele, P.E.
Ellington Town Engineer



J.R. RUSSO & ASSOCIATES, LLC
P.O. Box 938, 1 Shoham Road
East Windsor, CT 06088
(CT) 860.623.0569 (MA) 413.785.1158
dsteale@jrrusso.com | www.jrrusso.com

From: Perugini, Joe <peruginj@wseinc.com>
Sent: Tuesday, June 24, 2025 7:34 AM
To: Dana Steele <dsteale@jrrusso.com>; Lisa Houlihan <LHoulihan@ELLINGTON-CT.GOV>; Justin Parlapiano <justin.parlapiano@ctwater.com>
Cc: Barbra Galovich <bgalovich@ELLINGTON-CT.GOV>; John Colonese <jcolonese@ELLINGTON-CT.GOV>; Ericson, Nash <Ericson.Nash@wseinc.com>
Subject: RE: CT Water Co, 15 Egypt, Ellington PZC Application Z202512

Hi Dana,

Thank you for the review and comments. We plan to address each of them as follows:

1. We will include the actual survey with the plan set. The "Existing Conditions Plan" will be modified to remove the surveyor's notes. There is other relevant information on the "Existing Conditions Plan" that was added so it will be kept with the set.
2. We will add a note on the "Grading & Drainage Plan" C500 to indicate "A DRAINAGE EASEMENT MAP SHALL BE SUBMITTED TO THE TOWN ATTORNEY FOR REVIEW PRIOR TO MODIFICATIONS TO THE TOWN'S STORMWATER PIPE."
3. The swale was added out of consideration to the property owner, specifically to direct runoff away from their developed area and tree screening along their northern property line. See screenshot below. The Town GIS shows a broad swale on the east side of the pool deck ~3% to ~4% which should help move runoff offsite toward the wetlands at the SE property corner. We agree with your concern about concentrating the runoff, so I have included the markup below to create flat area (Elev 257) at the end of the swale to act as a vegetated level spreader to "de-concentrate" the runoff in the swale. We'd be happy to discuss if you have questions or think a virtual call is needed. If so, let me know your availability and I'll be happy to send an invite.

pg 1 of 5

1. The plans include survey certifications of accuracy but do not contain an LS stamp. Notes indicate the survey was prepared by Gesick & Associates, P.C. in 2020. The final plans should include a surveyor's seal.
2. The plans include a proposed drainage easement in favor of the Town of Ellington. An easement map and instrument for this easement should be submitted to the Town Attorney for approval prior to modifications to the Town's stormwater pipe.
3. The plans include a proposed swale downstream from the Town's stormwater outlet. It may be preferable to allow the runoff to sheet flow over the property line rather than concentrating it in a swale. The property owner should coordinate this work with the abutter to minimize impacts. In either case, the installation of the curbed driveway will reduce the amount of water discharging across the abutter's property.

Items 1-2 above should be conditions of approval. Let me know if you have any questions.

Dana P. Steele, P.E.
Ellington Town Engineer



J.R. RUSSO & ASSOCIATES, LLC
P.O. Box 938, 1 Shoham Road
East Windsor, CT 06088
(CT) 860.623.0569 (MA) 413.785.1158
dsteeler@jrrusso.com | www.jrrusso.com

From: Lisa Houlihan <LHoulihan@ELLINGTON-CT.GOV>
Sent: Tuesday, June 10, 2025 4:29 PM
To: Justin Parlapiano <justin.parlapiano@ctwater.com>
Cc: Barbra Galovich <bgalovich@ELLINGTON-CT.GOV>; John Colonese <jcolonese@ELLINGTON-CT.GOV>; Dana Steele <dsteeler@jrrusso.com>; Joseph Perugini (peruginj@wseinc.com) <peruginj@wseinc.com>
Subject: RE: CT Water Co, 15 Egypt, Ellington PZC Application Z202512

Hi Justin,
Thank you for the quick reply. You've provided adequate responses and no additional information is needed at this time.
Kindest regards,

Lisa
Lisa M. Houlihan, AICP, CZEO
Ellington Town Planner
PO Box 187 / 55 Main Street / Ellington, CT 06029
Phone: 860-870-3120 / Fax: 860-870-3122
Website: www.ellington-ct.gov Email: lhoulahan@ellington-ct.gov
Office Hours: Monday 8AM - 6:30PM, Tuesday - Thursday 8AM - 4:30PM, Friday Closed

From: Justin Parlapiano <justin.parlapiano@ctwater.com>
Sent: Tuesday, June 10, 2025 4:16 PM
To: Lisa Houlihan <LHoulihan@ELLINGTON-CT.GOV>
Cc: Barbra Galovich <bgalovich@ELLINGTON-CT.GOV>; John Colonese <jcolonese@ELLINGTON-CT.GOV>; Dana Steele <dsteeler@jrrusso.com>; Joseph Perugini (peruginj@wseinc.com) <peruginj@wseinc.com>
Subject: RE: CT Water Co, 15 Egypt, Ellington PZC Application Z202512

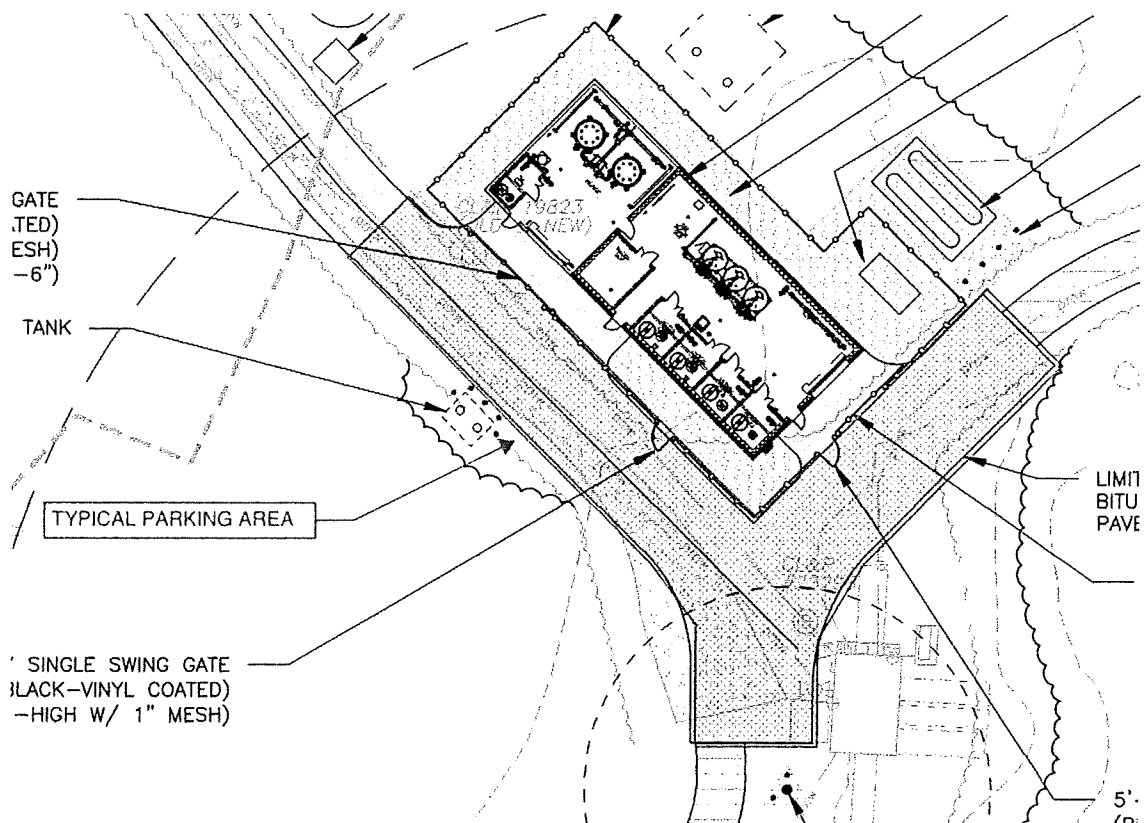
CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Lisa,

Thank you for your email. Please find response as follows.

- There are no designated parking spaces. Staff would typically park on the paved driveway next to the building perimeter fencing.

Pg 3 of 5



- Average vehicles on site would be 1 to 2 midsize trucks (Ford F-150 for reference), once or twice a week, for an hour or two. I can't speculate on what the maximum number at any one given time would be. There are some infrequent maintenance items on the filters that will require more people than average. There is no overnight or long-term parking here.
- There are two exterior flood lights on the existing building. They are located over the entry doors.
- The redevelopment plan does include exterior lights on the proposed new building. There will be three exterior lights, one for each entry door, and they will be dark sky compliant, full cut-off, downlight only, activated by motion only.

I hope this answers your questions. I am happy to provide more information if needed.

Thank you.

Justin Parlapiano
860-622-9554

From: Lisa Houlihan <LHoulihan@ELLINGTON-CT.GOV>

Sent: Tuesday, June 10, 2025 3:53 PM

To: Justin Parlapiano <justin.parlapiano@ctwater.com>

Cc: Barbra Galovich <bgalovich@ELLINGTON-CT.GOV>; John Colonese <jcolonese@ELLINGTON-CT.GOV>; Dana Steele <dsteeler@jrrusso.com>

Subject: CT Water Co, 15 Egypt, Ellington PZC Application Z202512

⚠ WARNING: This email originated from outside the organization. Be extra cautious with attachments and links in this email. ⚠

Dear Justin,

I reviewed the Ellington Planning and Zoning Commission application materials submitted on May 15, 2025, and the plans dated May 8, 2025, for Egypt Road, and am emailing to share the following:

- Where does staff park when visiting the site?
- What is the expected maximum number of vehicles on site at any one given time?
- Are there exterior lights at the existing facility or on the existing building? If so, please describe the number of exterior lights, types, and locations.

Pg 4 of 5

- Will the redevelopment plan include exterior lights? If so, please describe the number of exterior lights, types, and locations.

Plans and the drainage report were shared with the Town Engineer and a report is expected from him prior to the upcoming IWA meeting on 6/16/2025; he may have additional comments prior to the PZC on 6/30/2025. Other staff received the IWA application materials and the comments we received were previously shared with you. The PZC application materials will be circulated to other staff for review by end of day tomorrow. If we receive any comments, Barbra will forward them to you upon receipt.

Please let me know if you have any questions or would like to discuss my comments.
Very best regards,

Lisa

Lisa M. Houlihan, AICP, CZEO

Ellington Town Planner

PO Box 187 / 55 Main Street / Ellington, CT 06029

Phone: 860-870-3120 / Fax: 860-870-3122

Website: www.ellington-ct.gov Email: lhoulihan@ellington-ct.gov

Office Hours: Monday 8AM - 6:30PM, Tuesday - Thursday 8AM - 4:30PM, Friday Closed

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Pg 5 of 5

Town of Ellington Planning Department



MEMO

DATE: June 24, 2025

TO: Planning & Zoning Commission
PZC File #Z202512

FROM: Barbra Galovich, CZET, Land Use Assistant

SUBJECT: Connecticut Water Company (Owners)
Egypt Road, APN 161-069-0000

The Inland Wetland Agency made a determination for proposed new water treatment facility and associated improvements at their June 16, 2025, regular meeting. The following motion was made in reference to PZC application #Z202512:

MOVE (BARLOW) SECONDED (KACZMAREK) AND PASSED UNANIMOUSLY TO ACCEPT IW202505 – Connecticut Water Company, owner/applicant, request to accept notification for uses permitted as of right to demolish and construct a new water treatment facility and associated improvements at 15 Egypt Road, APN 161-069-0000.

CONNECTICUT WATER COMPANY
EGYPT ROAD TREATMENT FACILITY
15 EGYPT ROAD
ELLINGTON, CONNECTICUT, 06029

Project:

Connecticut Water

CONNECTICUT WATER
COMPANY
93 WEST MAIN STREET
CLINTON, CT 06413

EGYPT ROAD
TREATMENT FACILITY DESIGN

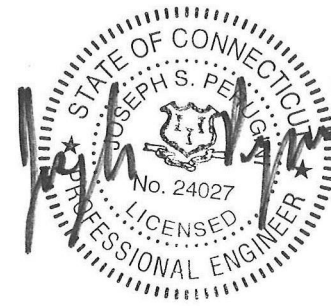
15 EGYPT ROAD
ELLINGTON, CT 06029

Weston & Sampson

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(860) 513-1473 (800) SAMPSON
www.westonandsampson.com

Consultants:

Seal:




Revisions:

Rev	Date	Description

NOT FOR CONSTRUCTION

Issued For: FOR PERMITTING


NORTH

Date: MAY 8, 2025

Drawn By: BMH/INWE

Reviewed By: JSP

Approved By: RGT

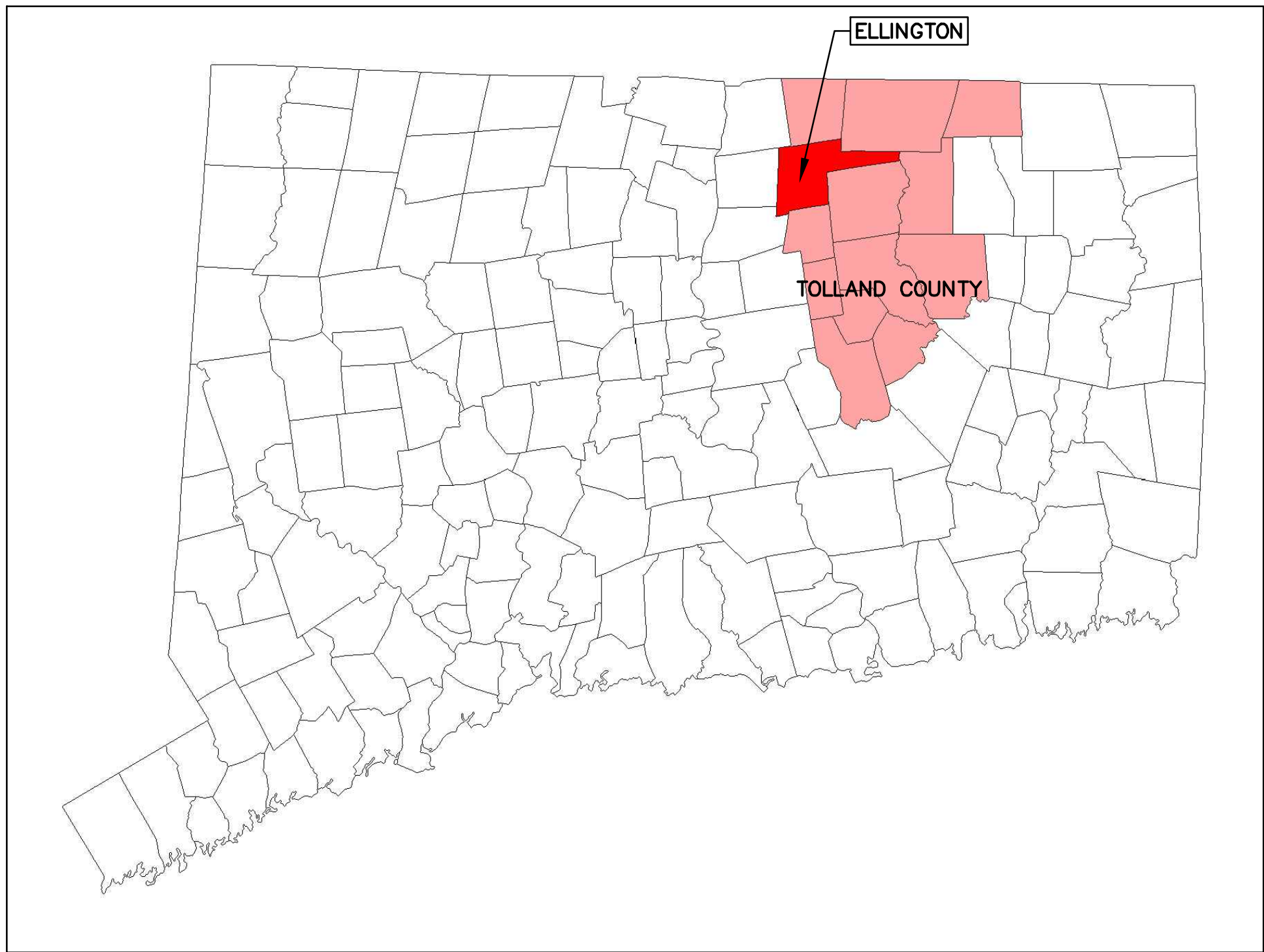
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Drawing Title:

COVER
SHEET

Sheet Number:

T100



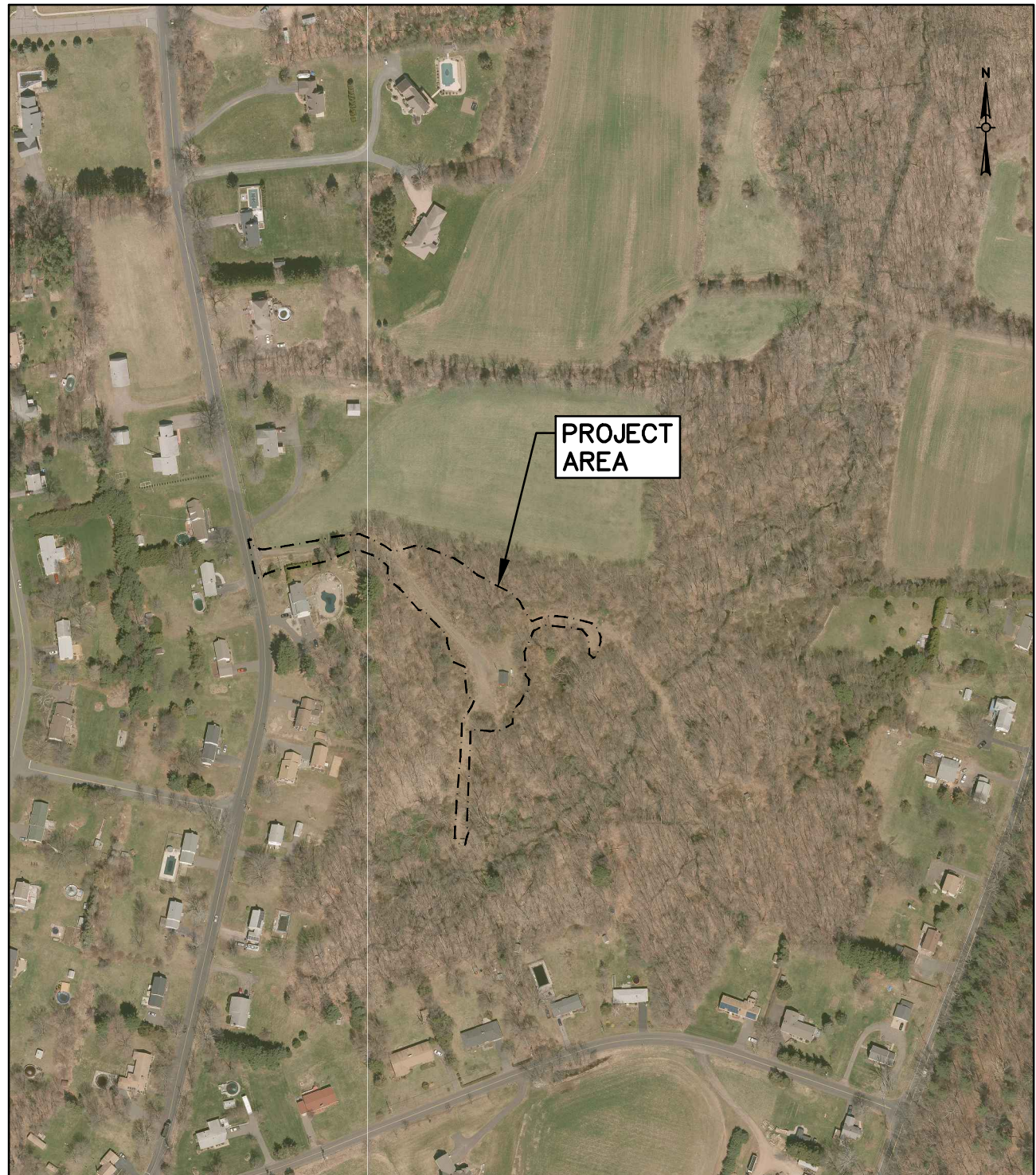
CONNECTICUT MUNICIPAL MAP
SCALE: N.T.S.

SITE INFORMATION TABLE	
LOCATION:	15 EGYPT RD
MAP BLOCK LOT:	161 / 069 / 0000
LAND OWNER:	CONNECTICUT WATER COMPANY
OWNER ADDRESS:	93 WEST MAIN STREET
OWNER CITY:	CLINTON
OWNER STATE:	CT
OWNER ZIP:	06413
ZONE:	RAR
PARCEL AREA:	16.74 ACRES

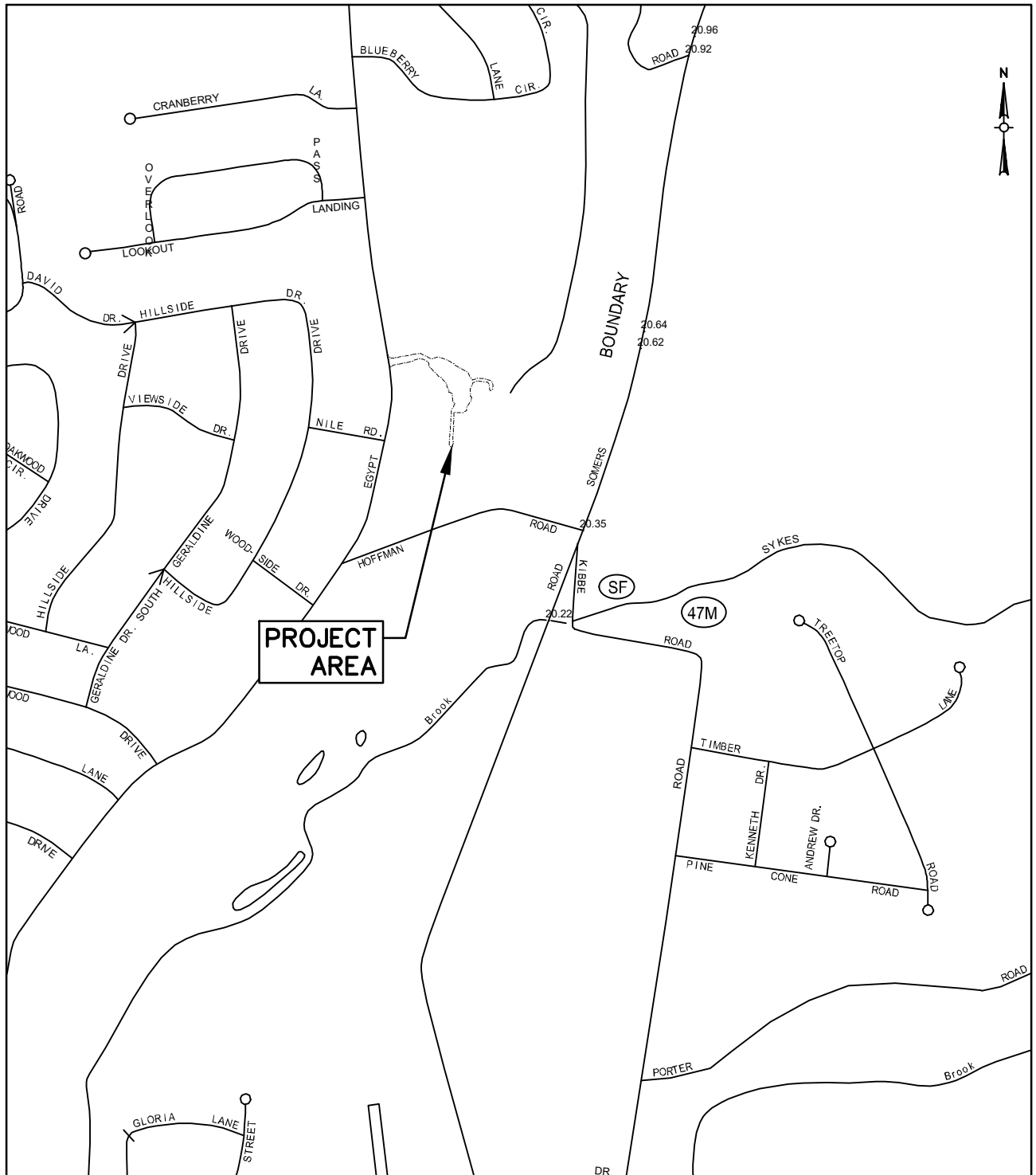
BULK ZONING TABLE (SEE NOTE)			
REGULATION REQUIREMENTS:	ZONE RAR	EXISTING	PROPOSED
MIN. LOT SIZE (S.F.):	40,000	729,235	729,235
MIN. FRONT YARD SETBACK (FT.):	35	229	151
MIN. SIDE YARD SETBACK (FT.):	10	225	77
MIN. REAR YARD SETBACK (FT.):	25	539	555
MAX. BUILDING HEIGHT (FT.):	38	-	30
MAX. LOT COVERAGE (%):	25	0.9	4.3

NOTE:
ZONING REQUIREMENTS FROM ARTICLE 3 OF TOWN OF ELLINGTON ZONING REGULATIONS.

DRAWING INDEX - WESTON & SAMPSON	
SHEET	SHEET TITLE
T100	COVER SHEET
C100	ABBREVIATIONS, NOTES, AND LEGEND
C200	EXISTING CONDITIONS PLAN
C300	DEMOLITION, EROSION, AND SEDIMENTATION CONTROL PLAN
C400	SITE LAYOUT PLAN
C401	TURNING MOVEMENTS PLAN
C500	GRADING AND DRAINAGE PLAN
C600	UTILITY PLAN
C901	CIVIL AND SITE DETAILS
C902	CIVIL AND SITE DETAILS
C903	CIVIL AND SITE DETAILS
C904	CIVIL AND SITE DETAILS
C905	CIVIL AND SITE DETAILS
A101	BUILDING PLANS
A201	EXTERIOR & INTERIOR ELEVATIONS
A231	3D VIEWS

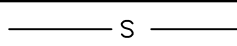
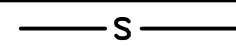

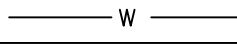
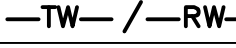
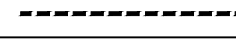
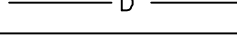
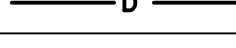
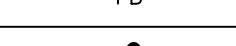
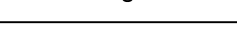
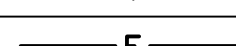
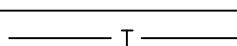
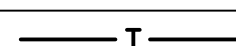
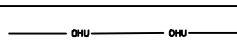
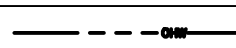




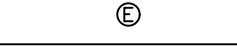

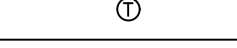

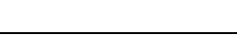



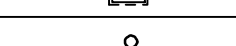
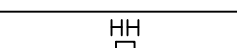
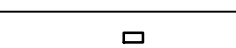

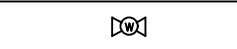
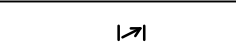
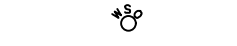

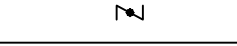
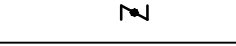


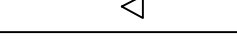

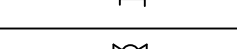
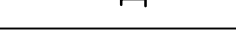
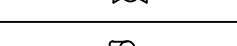
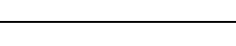
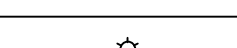
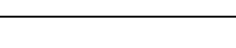
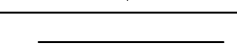
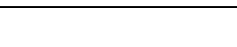
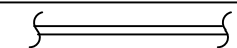
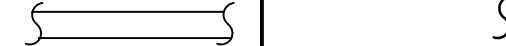




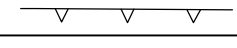

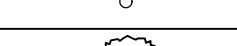

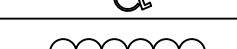
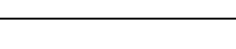

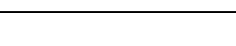
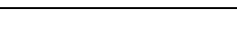
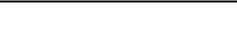
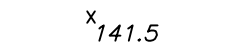
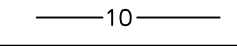
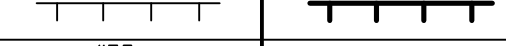

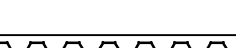

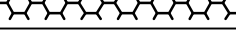
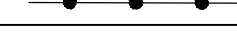
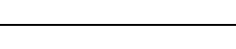



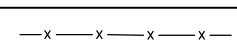
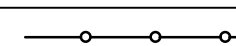


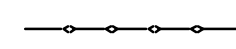


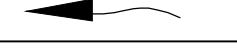

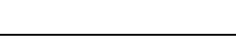
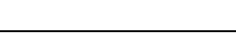
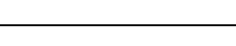
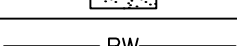
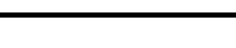







SITE LOCUS MAP (AERIAL VIEW)
SCALE: 1"= 300'



SITE LOCATION MAP
SCALE: 1"=1000'

LEGEND

DESCRIPTION	EXISTING	PROPOSED
SANITARY SEWER		
BACKWASH LINE		
WATER MAIN		
ROOF LEADER		
STORM DRAIN		
FOOTING DRAIN		
GAS		
VENT LINE		
ELECTRIC		
TELEPHONE		
OVERHEAD UTILITIES		
SANITARY SEWER MANHOLE		
STORM DRAIN MANHOLE		
ELECTRICAL MANHOLE		
TELEPHONE MANHOLE		
AIR RELEASE VALVE MANHOLE		
FORCE MAIN CLEANOUT MANHOLE		
CLEANOUT		
CATCH BASIN		
HYDRANT		
HAND HOLE		
GATE VALVE		
CHECK VALVE		
CURB STOP		
BUTTERFLY VALVE		
BALL VALVE		
REDUCER		
CAP OR PLUG		
GAS GATE VALVE		
UTILITY POLE		
LIGHT POST		
EDGE OF PAVEMENT		
SAWCUT		
CURB		
SIDEWALK		
PROPERTY LINE ALONG STONE WALL		
REMAINS OTHER STONE WALL		
RETAINING WALL		
BOLLARD		
SHRUB/BUSH		
HANDICAP SPACE		
TREE LINE		
SURVEY MARKER		
LIMIT OF WORK		
150' UPLAND WETLANDS REVIEW		
SPOT ELEVATIONS		
CONTOUR LINES		
DEPRESSION CONTOUR LINES		
HOUSE NUMBER		
RIP RAP		
GUARD RAIL		
SIGN		
TEST PIT		
BORING		
CHAIN LINK FENCE		
SILTATION FENCE		
COMPOST FILTER TUBE		
ROCK OUTCROP		
SWALE AND FLOW DIRECTION		
GUY WIRE		
MONITORING WELL		
WETLAND FLAG		
GRAVEL AREA		
BACKWASH LINE		

NOTE: ITEMS SHOWN IN THE LEGEND AND ABBREVIATIONS MAY NOT BE PRESENT IN THESE PLANS.

ABBREVIATIONS

AC	ASBESTOS CEMENT PIPE
ACCOMP	ASPHALT COATED CORRUGATED METAL PIPE
ARV	AIR RELEASE VALVE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
BC	BITUMINOUS CONCRETE
BCLC	BITUMINOUS CONCRETE LIP CURB
BIT	BITUMINOUS
BLDG	BUILDING
BM	BENCH MARK
BMP	BEST MANAGEMENT PRACTICE
BO	BLOW OFF
BV	BUTTERFLY VALVE
CATV	CABLE TELEVISION
CB	CATCH BASIN
CC	CONCRETE CURB
CI	CAST IRON
C	CENTERLINE
CL	CEMENT LINED
OMP	CORRUGATED METAL PIPE
CONC	CONCRETE
CT	CONNECTICUT
CTDOT	CONNECTICUT DEPARTMENT OF TRANSPORTATION
CU FT	CUBIC FEET
CY	CUBIC YARD
D	STORM DRAIN, DEPTH FROM RIM TO INVERT
DI	DROP INLET, DUCTILE IRON
DIA	DIAMETER
DMH	DRAIN MANHOLE
DWG	DRAWING
E	EAST, ELECTRIC
EA	EACH
EF	EACH FACE
EL/ELEV	ELEVATION
EOP	EDGE OF PAVEMENT
EW	EACH WAY
EXIST	EXISTING
FE	FLARED END
FF	FINISHED FLOOR
FL	FLOW LINE
FLG	FLANGE
FT	FEET, FOOT
G	NATURAL GAS
GALV	GALVANIZED
GC	GRANITE CURB
GR	GRANITE
HDPE	HIGH DENSITY POLYETHYLENE
HORIZ	HORIZONTAL
HP	HIGH PRESSURE
HYD	FIRE HYDRANT
INV	INVERT
IWC	INTERMITTENT WATER COURSE
ID	INSIDE DIAMETER
IP	IRON PIPE
LB	POUND
LF	LINEAR FEET
LS	LUMP SUM
MAX	MAXIMUM
MB	MAIL BOX
MECH	MECHANICAL
MH	MANHOLE
MIN	MINIMUM
MISC	MISCELLANEOUS
MJ	MECHANICAL JOINT
N	NORTH
N/A	NOT APPLICABLE
NE	NORTH EAST
NW	NORTH WEST
NF	NOT FOUND
N/F	NOW OR FORMERLY
NO OR #	NUMBER
N.T.S.	NOT TO SCALE
PCB	PROPOSED CATCH BASIN
PCCP	PRESTRESSED CONCRETE CYLINDER PIPE
PDMH	PROPOSED DRAINAGE MANHOLE
PE	PLAIN END, POLYETHYLENE
PED	PEDESTRIAN
P	PROPERTY LINE
PL	PLATE
PSMH	PROPOSED SANITARY MANHOLE
PVC	POLYVINYL CHLORIDE
PVMT	PAVEMENT
RCP	REINFORCED CONCRETE PIPE
RL	ROOF LEADER
ROW	RIGHT-OF-WAY
RQD	ROCK QUALITY
RW	RAW WATER
S	SEWER, SOUTH
SC	SITE CONTRACTOR
SE	SOUTH EAST
SECT	SECTION
SF	SQUARE FEET
SHT	SHEET
SMH	SANITARY SEWER MANHOLE
SPEC	SPECIFICATIONS
SQ FT	SQUARE FEET
SS	SEWER SERVICE, STAINLESS STEEL
STA	STATION
STL	STEEL
SW	SIDEWALK,SOUTH WEST
T	TELEPHONE
TBM	TEMPORARY BENCH MARK
TF	TOP OF FRAME
THK	THICK (NESS)
TW	TREATED WATER
TYP	TYPICAL
UP	UTILITY POLE
VC	VITRIFIED CLAY
VERT	VERTICAL
W	WATER, WEST
W/	WITH
W/O	WITHOUT

CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL CALL "CALL BEFORE YOU DIG" (CBYD) AT 1-800-922-4455 OR 811 AT LEAST 72 HOURS, SATURDAYS, SUNDAYS, AND HOLIDAYS EXCLUDED, PRIOR TO EXCAVATING AT ANY LOCATION. A COPY OF THE (CBYD) PROJECT REFERENCE NUMBER(S) SHALL BE GIVEN TO THE OWNER PRIOR TO EXCAVATION.
2. LOCATIONS OF EXISTING PIPES, CONDUITS, UTILITIES, FOUNDATIONS AND OTHER UNDERGROUND OBJECTS ARE NOT WARRANTED TO BE CORRECT AND THE CONTRACTOR SHALL HAVE NO CLAIM ON THAT ACCOUNT SHOULD THEY BE OTHER THAN SHOWN. CONTRACTOR SHALL DIG TEST PITS AS NEEDED TO LOCATE THESE ITEMS. DIGGING OF TEST PITS SHALL BE INCIDENTAL TO THE PROJECT AND AT NO COST TO THE OWNER.
3. STONE WALLS, FENCES, MAIL BOXES, SIGNS, CURBS, LIGHT POLES, ETC.. SHALL BE REMOVED AND REPLACED AS NECESSARY TO PERFORM THE WORK. UNLESS OTHERWISE INDICATED, ALL SUCH WORK SHALL BE AT NO COST TO THE OWNER.
4. ALL PAVEMENT AND AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS BEYOND THE LIMITS OF CONSTRUCTION SHALL BE RESTORED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
5. CONCRETE CRADLES OR ARCHES SHALL BE CONSTRUCTED WHERE SHOWN ON THE DRAWINGS OR WHERE REQUIRED BY THE ENGINEER. UNLESS OTHERWISE INDICATED, CONCRETE USED FOR PIPE ANCHOR BLOCKS, BACKING, PIPE CRADLES, ARCHES, AND FILL SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
6. CONCRETE THRUST BLOCKS, ANCHOR BLOCKS, OR APPROVED JOINT RESTRAINT METHODS SHALL BE PROVIDED FOR FORCE MAINS AND WATER MAINS WHERE ANY BENDS, TEES, PLUGS, OR WYES ARE INSTALLED. FOR THRUST BLOCK DETAILS AND MINIMUM BLOCK BEARING AREAS, SEE DETAILS.
7. THE CONTRACTOR SHALL NOT STORE ANY APPARATUS, MATERIALS, SUPPLIES, OR EQUIPMENT ON DRAINAGE STRUCTURES OR WITHIN 100 FEET OF WETLANDS OR WATERCOURSE.
8. BELOW THE 'LINE OF NARROW TRENCH LIMIT' THE TRENCH SHOULD NOT BE EXCAVATED BEYOND THE TRENCH WIDTH 'W'. IF MATERIAL IS LOOSEENED OR REMOVED BEYOND THE ABOVE MENTIONED LIMITS, THE CONTRACTOR WILL BE REQUIRED TO PROVIDE CRUSHED STONE FOR THE FULL WIDTH OF THE TRENCH AT NO ADDITIONAL COST TO THE OWNER.
9. ALL DUCTILE IRON PIPE JOINTS SHALL BE RESTRAINED IN ACCORDANCE WITH CT WATER CO. STANDARDS.
10. OPENINGS FOR PIPE IN PRECAST STRUCTURES SHALL BE CAST IN THE REQUIRED LOCATIONS DURING MANUFACTURE. FIELD CUT OPENINGS WILL NOT BE PERMITTED UNLESS APPROVED BY THE ENGINEER.
11. PROTECTION OF WATER SUPPLIES – WHENEVER A BACKWASH LINE MUST CROSS UNDER A WATER MAIN, THE BACKWASH SHALL BE LAID AT SUCH AN ELEVATION THAT THE TOP OF THE BACKWASH IS AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. WHEN THE ELEVATION OF THE BACKWASH CANNOT BE VARIED TO MEET THE ABOVE REQUIREMENT, THE WATER MAIN SHALL BE RELOCATED BY THE CONTRACTOR AS REQUIRED BY THE ENGINEER TO PROVIDE THIS SEPARATION.
12. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL REVIEW THE CONTRACT DOCUMENTS AND COORDINATE ALL EQUIPMENT BETWEEN THE DIFFERENT CONSTRUCTION DISCIPLINES FOR LOCATION, SIZE, SERVICEABILITY, SUPPORT SYSTEMS, CONNECTIONS (PIPING, ELECTRICAL, INSTRUMENTATION, ETC.), INCIDENTALS AND ANY AND ALL OTHER COMPONENTS REQUIRED FOR A COMPLETE AND FUNCTIONAL SYSTEM MEETING THE APPROVAL OF THE ENGINEER.
13. CONTRACTOR SHALL VISIT AND EXAMINE THE SITE TO FULLY UNDERSTAND ALL THE CONDITIONS PERTAINING TO THE WORK, UNDERSTAND DIFFICULTIES TO BE ENCOUNTERED, UNDERSTAND THE SCOPE OF THE DEMOLITION WORK FOR ALL SYSTEMS WHETHER SHOWN OR DESCRIBED AT NO ADDITIONAL COST TO THE OWNER. THE EXACT LOCATION OF EXISTING PIPE, BUILDINGS, SERVICES, ETC. ARE TO BE FIELD VERIFIED.

14. CONTRACTOR TO VERIFY ALL DIMENSIONS, CLEARANCES, ELEVATIONS, AND SIZES OF EXISTING PIPES AND BUILDINGS.
15. ALL WORK UNDER THIS CONTRACT SHALL BE LIMITED TO THE "LIMIT OF WORK" BOUNDARY SHOWN ON THE DRAWING.
16. DEMOLITION DEBRIS MATERIAL SHALL IMMEDIATELY BECOME THE PROPERTY OF THE CONTRACTOR AND BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS UNLESS OTHERWISE REQUIRED BY THE OWNER.
17. IF UNSUITABLE MATERIAL IS ENCOUNTERED IN STRUCTURAL AREAS OR AREAS OF PROPOSED PAVEMENT, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.
18. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION AND SEDIMENT CONTROLS FOR THE DURATION OF THE PROJECT. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE FURNISHED, INSTALLED, MAINTAINED, AND REPLACED BY THE CONTRACTOR AS NEEDED TO ENSURE THAT SEDIMENT-LADEN WATER DOES NOT LEAVE THE LIMIT OF WORK.
19. ALL UTILITY WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE RULES AND REGULATIONS AND STANDARDS OF THE APPLICABLE LOCAL UTILITY COMPANY.
20. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITTING AS SPECIFIED IN SECTION 00 31 43 PERMITS.
21. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE STANDARDS AND SPECIFICATIONS OF CONNECTICUT WATER, AND THE TOWN OF ELLINGTON. SITE WORK SHALL CONFORM TO THE CONNECTICUT DEPARTMENT OF TRANSPORTATION (FORM 819), AS AMENDED.
22. INLAND WETLANDS AND WATERCOURSES WERE DELINEATED BY SOIL SCIENCE AND ENVIRONMENTAL SERVICES IN FEBRUARY 2020.

Project:



CONNECTICUT WATER
COMPANY
93 WEST MAIN STREET
CLINTON, CT 06413

EGYPT ROAD
TREATMENT FACILITY DESIGN

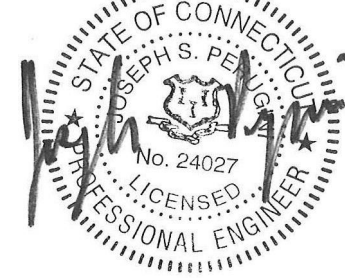
15 EGYPT ROAD
ELLINGTON, CT 06029

Weston & Sampson

Weston & Sampson Engineers, Inc.
712 Brook Street, Suite 103
Rocky Hill, CT 06067
(860) 513-1473 (800) SAMPSON
www.westonandsampson.com

Consultants:

Seal:




Revisions:

Rev	Date	Description

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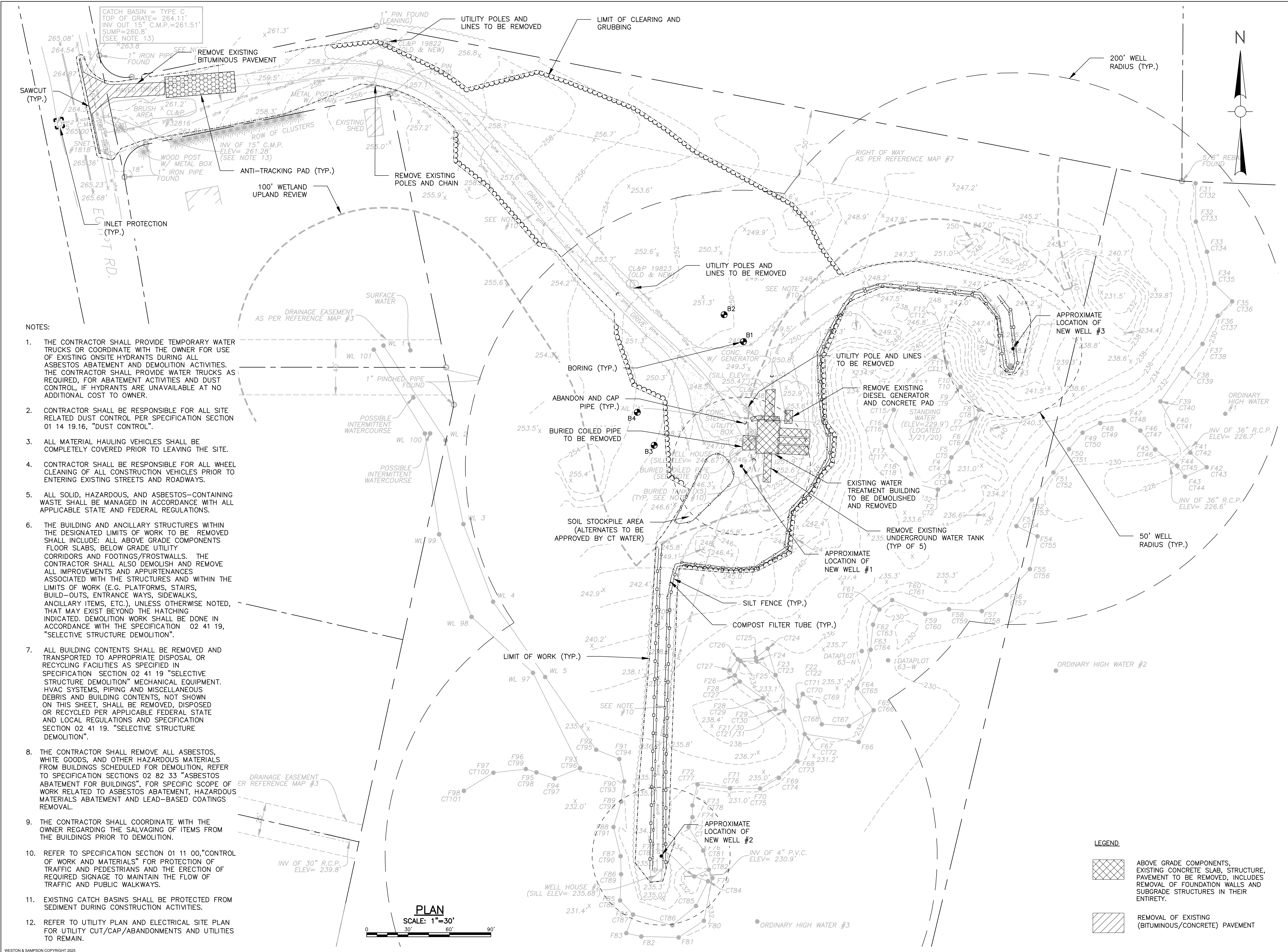
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Drawing Title:

ABBREVIATIONS,
NOTES, AND
LEGEND

Sheet Number:

C100



Project:

Connecticut Water

CONNECTICUT WATER
COMPANY
93 WEST MAIN STREET
CLINTON, CT 06413

EGYPT ROAD
TREATMENT FACILITY DESIGN

15 EGYPT ROAD
ELLINGTON, CT 06029

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Revisions:

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NORTH

Date: MAY 8, 2025

Drawn By: BMH/NWE

Reviewed By: JSP

Approved By: RGT

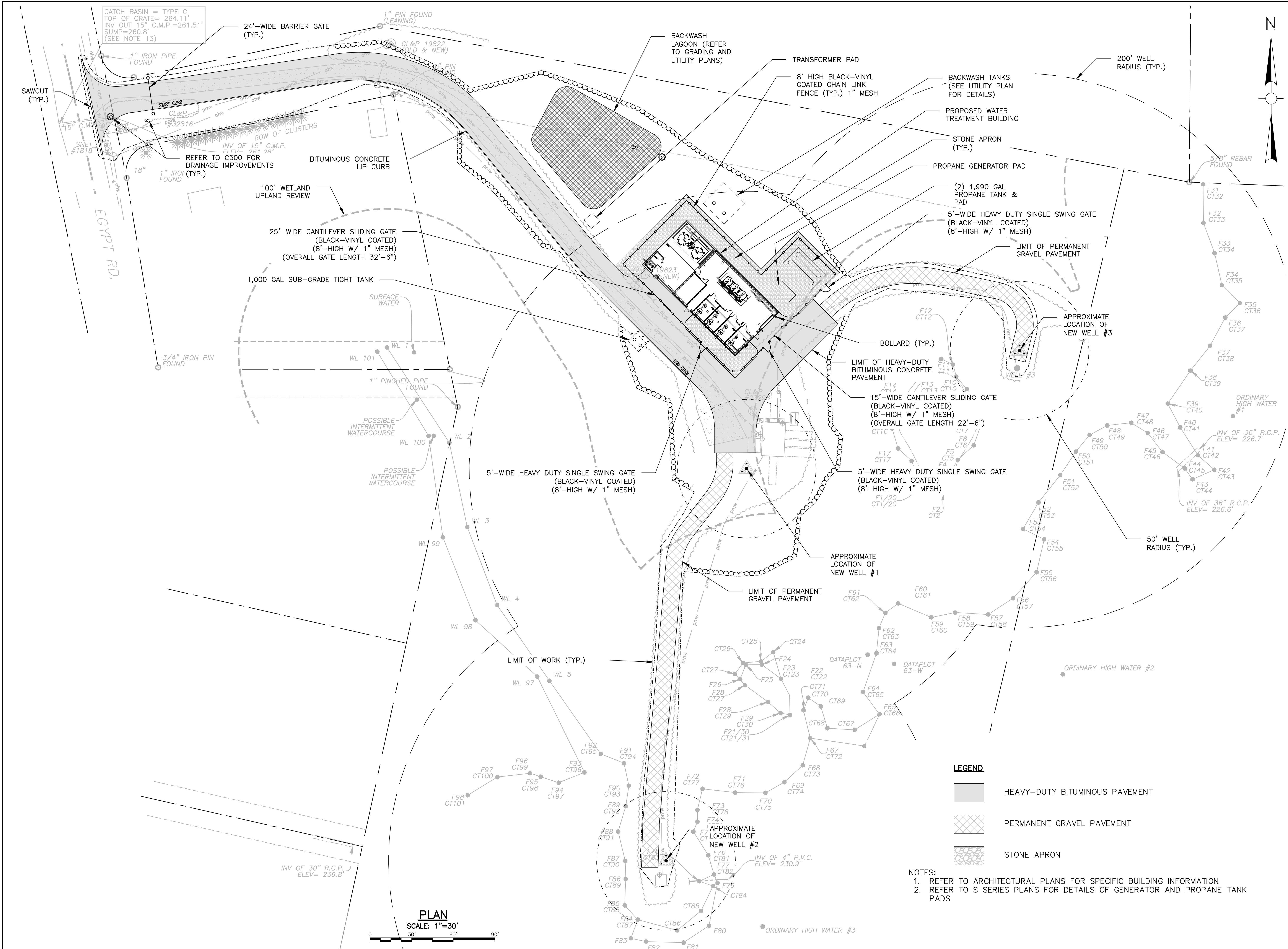
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**DEMOLITION,
EROSION, AND
SEDIMENTATION
CONTROL
PLAN**

Sheet Number:

C300



Project:

Connecticut Water

CONNECTICUT WATER COMPANY
93 WEST MAIN STREET
CLINTON, CT 06413

EGYPT ROAD
TREATMENT FACILITY DESIGN

15 EGYPT ROAD
ELLINGTON, CT 06029

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Seal:

Revisions:

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Drawn By: BMH/NWE

Reviewed By: JSP

Approved By: RGT

W&S Project No: ENG24-1704

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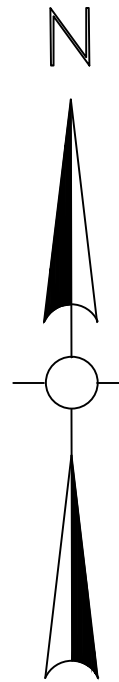
SITE LAYOUT PLAN

Sheet Number:

C400



NOTE:
DESIGN VEHICLE USED FOR TURNING MOVEMENTS BASED ON
LARGEST EMERGENCY VEHICLE DIMENSIONS PROVIDED BY THE
TOWN OF ELLINGTON FIRE MARSHAL.

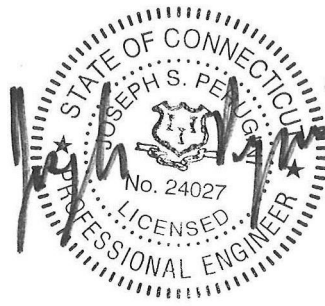


Project:
Connecticut Water
CONNECTICUT WATER
COMPANY
93 WEST MAIN STREET
CLINTON, CT 06413
EGYPT ROAD
TREATMENT FACILITY DESIGN
15 EGYPT ROAD
ELLINGTON, CT 06029

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Revisions:

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Approved By: RGT

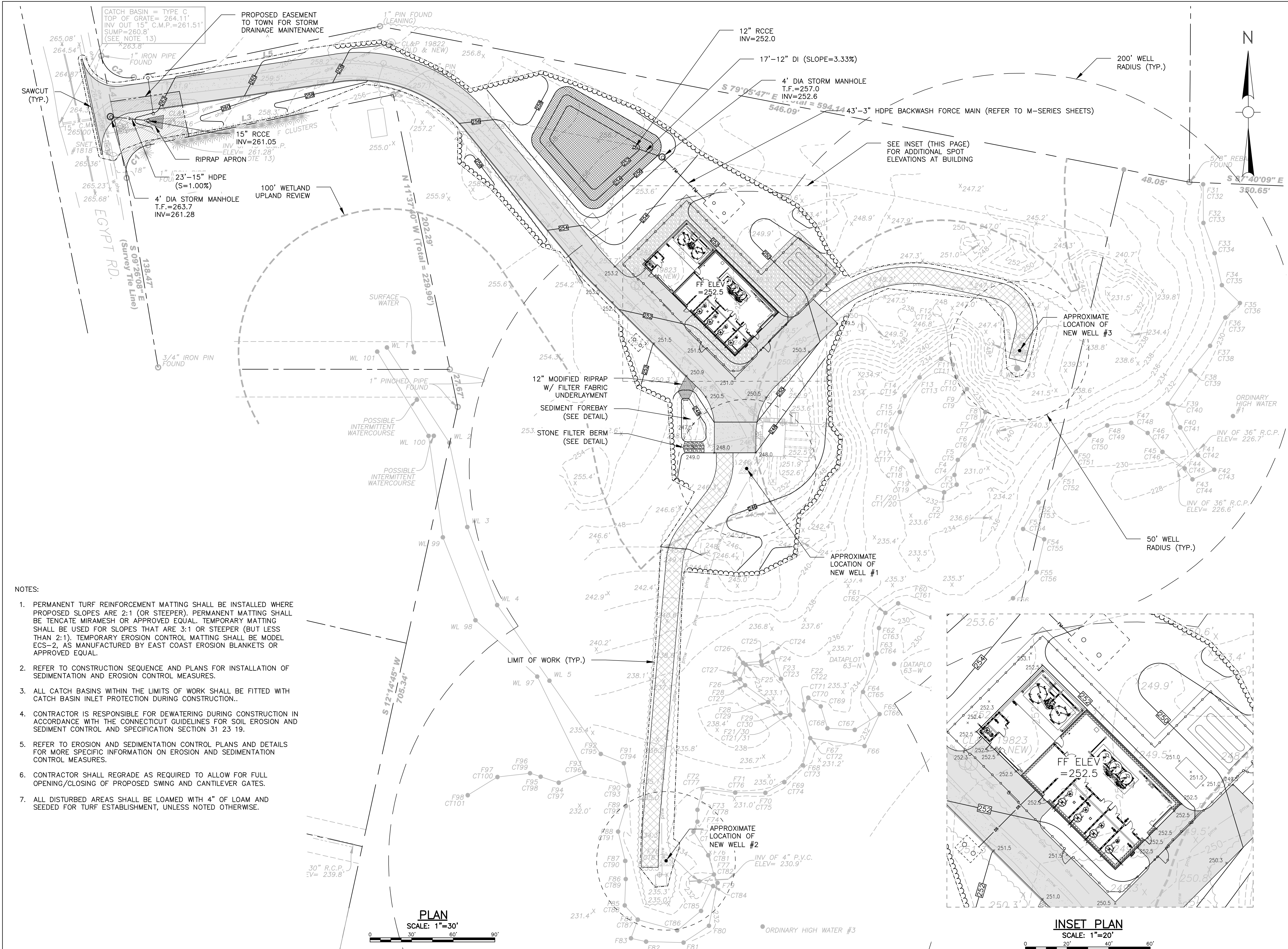
W&S Project No: ENG24-1704

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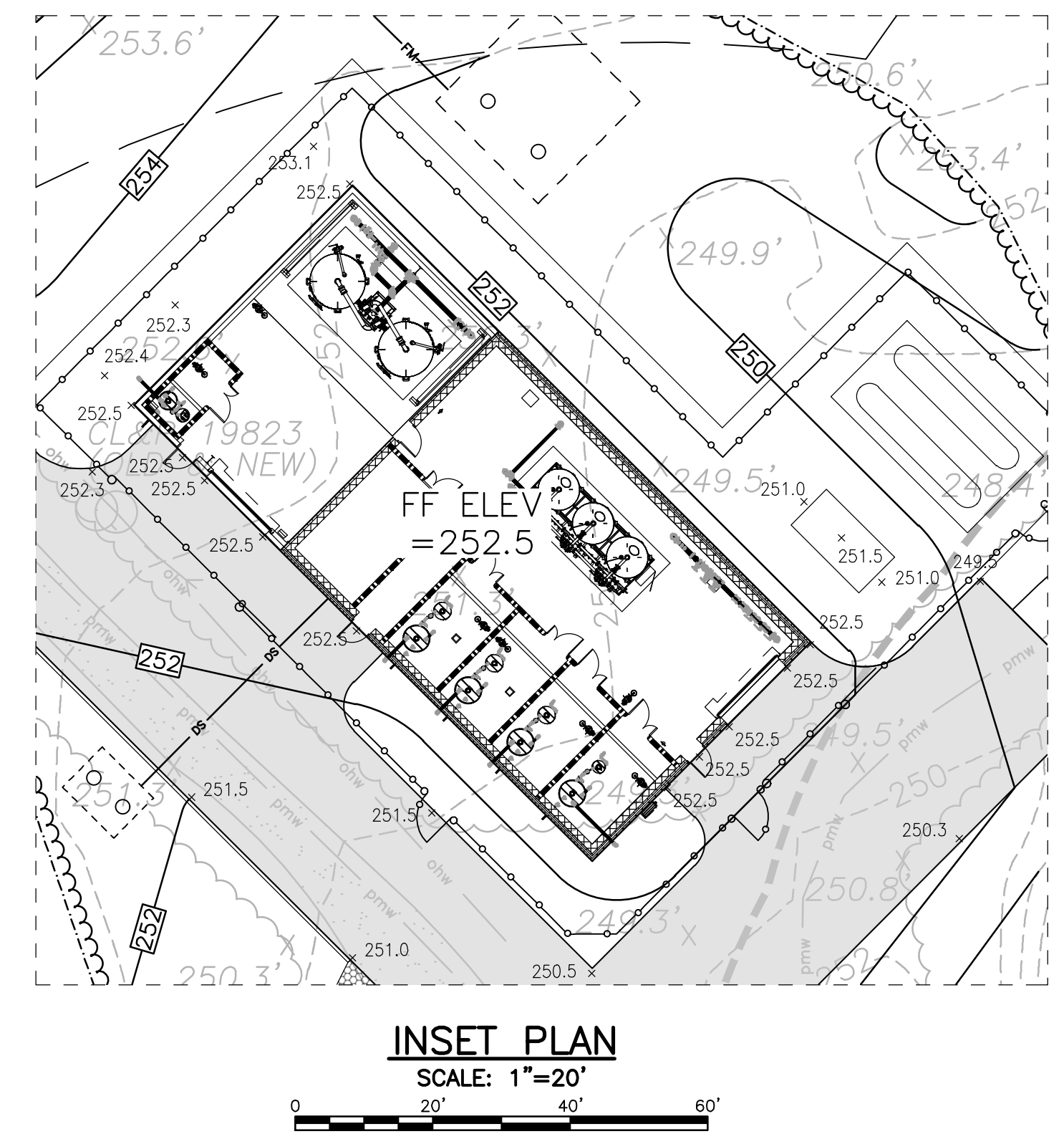
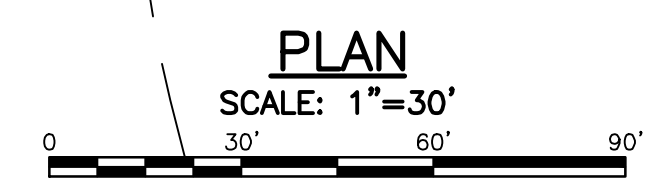
TURNING
MOVEMENT
PLAN

Sheet Number:

C401



- NOTES:
- PERMANENT TURF REINFORCEMENT MATTING SHALL BE INSTALLED WHERE PROPOSED SLOPES ARE 2:1 (OR STEEPER). PERMANENT MATTING SHALL BE TENCATE MIRAMESH OR APPROVED EQUAL. TEMPORARY MATTING SHALL BE USED FOR SLOPES THAT ARE 3:1 OR STEEPER (BUT LESS THAN 2:1). TEMPORARY EROSION CONTROL MATTING SHALL BE MODEL ECS-2, AS MANUFACTURED BY EAST COAST EROSION BLANKETS OR APPROVED EQUAL.
 - REFER TO CONSTRUCTION SEQUENCE AND PLANS FOR INSTALLATION OF SEDIMENTATION AND EROSION CONTROL MEASURES.
 - ALL CATCH BASINS WITHIN THE LIMITS OF WORK SHALL BE FITTED WITH CATCH BASIN INLET PROTECTION DURING CONSTRUCTION..
 - CONTRACTOR IS RESPONSIBLE FOR DEWATERING DURING CONSTRUCTION IN ACCORDANCE WITH THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL AND SPECIFICATION SECTION 31 23 19.
 - REFER TO EROSION AND SEDIMENTATION CONTROL PLANS AND DETAILS FOR MORE SPECIFIC INFORMATION ON EROSION AND SEDIMENTATION CONTROL MEASURES.
 - CONTRACTOR SHALL REGRADE AS REQUIRED TO ALLOW FOR FULL OPENING/CLOSING OF PROPOSED SWING AND CANTILEVER GATES.
 - ALL DISTURBED AREAS SHALL BE LOAMED WITH 4" OF LOAM AND SEEDED FOR TURF ESTABLISHMENT, UNLESS NOTED OTHERWISE.



Project:

Connecticut Water

CONNECTICUT WATER COMPANY
93 WEST MAIN STREET
CLINTON, CT 06413

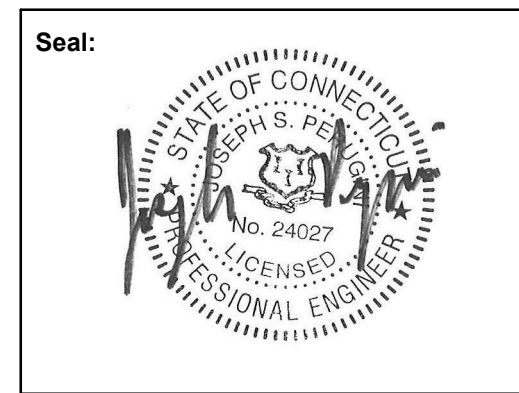
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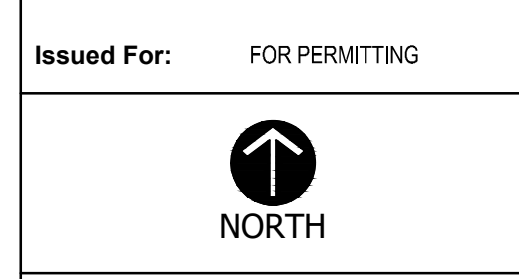
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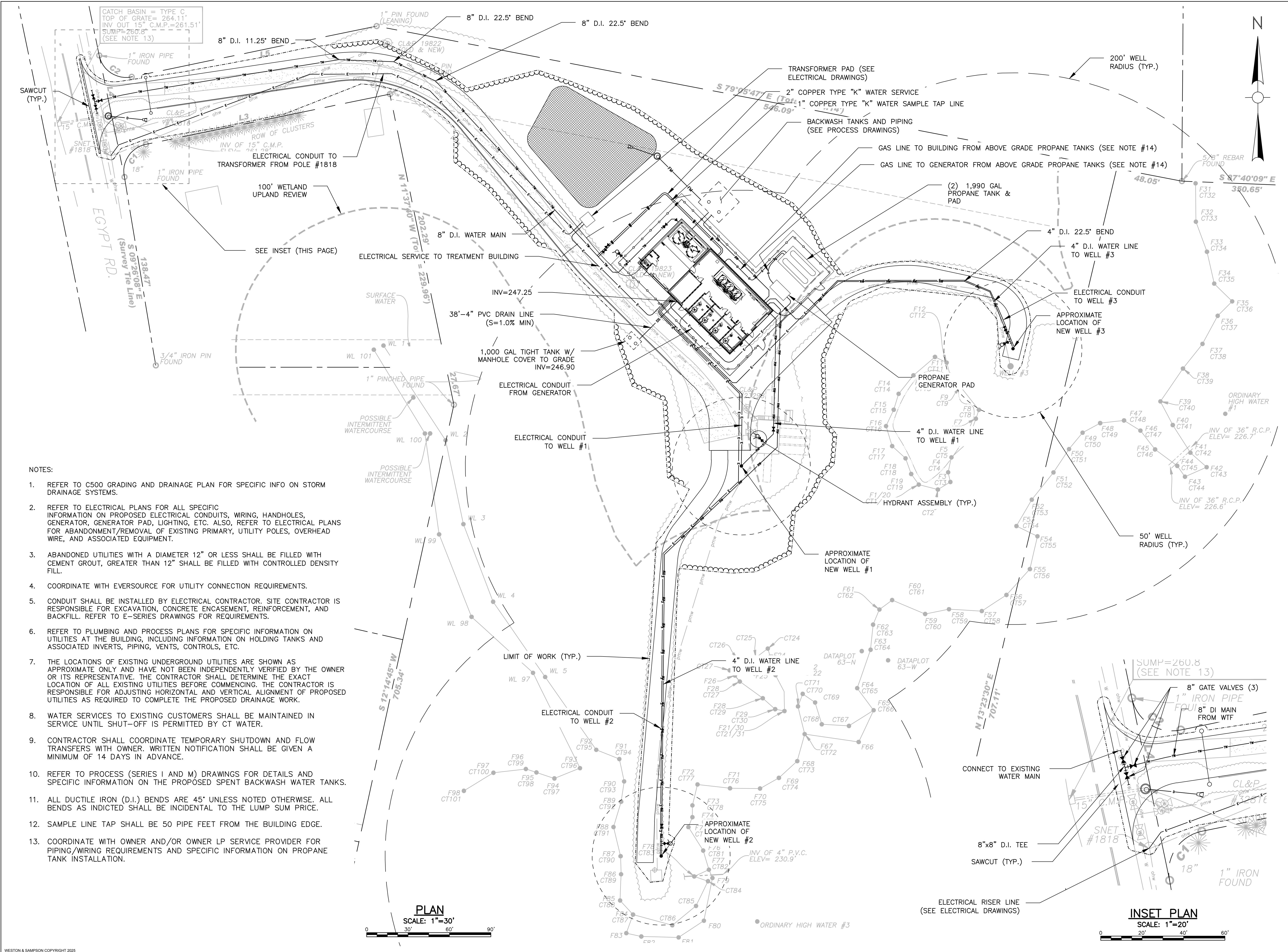
W&S Project No: ENG24-1704

Drawing Title:

GRADING AND DRAINAGE PLAN

Sheet Number:

C500



Project:

Connecticut Water

CONNECTICUT WATER
COMPANY
93 WEST MAIN STREET
CLINTON, CT 06413

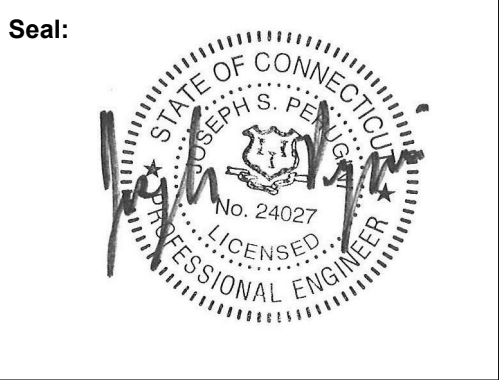
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Reviewed By: JSP

Approved By: RGT

W&S Project No: ENG24-1704

Drawing Title:

UTILITY PLAN

Sheet Number:

C600

EROSION CONTROL NOTES

PROJECT DESCRIPTION

THE PROJECT INVOLVES THE CONSTRUCTION OF A NEW WATER TREATMENT FACILITY, AND ALL RELATED PAVING, UTILITIES, CURBING, DRAINAGE, FENCING, AND VEGETATIVE RESTORATION. THE PROJECT IS LOCATED AT THE EGYPT ROAD WELL FIELD OF CT WATER COMPANY AT 15 EGYPT RD, ELLINGTON, CONNECTICUT.

WATER EROSION CONTROL MEASURES

EROSION AND SEDIMENT CONTROL MEASURES SHALL CONSIST OF COMPOST FILTER TUBES, NON-WOVEN FILTER FABRIC MATERIAL WITH A WIRE MESH BACKING, OR A WOVEN FABRIC (SILT FENCE). ALL MATERIAL SHALL BE NEW AND FREE FROM DEFECTS THAT WOULD COMPROMISE THE EFFECTIVENESS OF THE CONTROL MEASURES. AFTER COMPLETION, ALL MATERIAL SHALL BE DISPOSED OF PROPERLY. LOCATION OF EROSION AND SEDIMENT CONTROL STRUCTURES CAN BE SEEN ON THE SITE PLAN (SEE LEGEND FOR CONTROL STRUCTURE SYMBOL). NOTE: ALL WATER CONTROL MEASURES ARE LOCATED DOWN-GRADIENT FROM DISTURBED AREAS. IF TOPSOIL IS TO BE STORED IN AN AREA NOT SHOWN ON THE SITE PLAN, DUE TO UNFORESEEN EVENTS, PRIOR TO STORING, THE DOWN-GRADIENT PERIMETER OF THE STORAGE AREA SHALL BE PROPERLY PROTECTED PER THE SPECIFICATIONS DETAILED ON THIS PLAN.

WIND EROSION CONTROL MEASURES

DURING DRY WEATHER CONDITIONS, DISTURBED AREAS SHALL BE PROTECTED AGAINST WIND EROSION. DUSTY AREAS SHALL BE SPRAYED WITH WATER TO PREVENT WIND-BORNE PARTICLES.

CONSTRUCTION LITTER CONTROL

DURING CONSTRUCTION, ALL WRAPPINGS, BOXES, SCRAPS OF BUILDING MATERIAL, AND OTHER LITTER ITEMS SHALL BE DISPOSED OF PROPERLY BY USE OF A DUMPSTER OR CARTED AWAY. THE SITE SHALL BE INSPECTED AND CLEANED DAILY DURING CONSTRUCTION.

TYPICAL CONSTRUCTION SEQUENCE

PRIOR TO THE DEVELOPMENT OF THE PARCEL, EROSION AND SEDIMENT CONTROL STRUCTURES SHALL BE INSTALLED AS SHOWN ON PLAN. A TYPICAL SEQUENCE OF DEVELOPMENT IS:

1. CLEARLY DEFINE AND FLAG THE PROPERTY LIMITS OF AND LIMITS OF CONSTRUCTION. ALL WORK IS TO BE PERFORMED WITHIN THE LIMIT OF WORK.
2. HOLD PRE-CONSTRUCTION MEETING (REMEMBER TO CALL BEFORE YOU DIG 1-800-922-4455)
3. INSTALL PERIMETER EROSION AND SEDIMENTATION CONTROLS IN ACCORDANCE WITH THE PLANS.
4. STOCKPILES SHALL BE SECURED WITH EROSION AND SEDIMENT CONTROLS.
5. EXCAVATE AND CONSTRUCT FOUNDATION OF BUILDING WITH APPROPRIATE STUBS/OPENINGS FOR UTILITIES. UPON COMPLETION BACKFILL FOUNDATION WALLS.
6. CUT OR FILL REMAINDER OF SITE TO ESTABLISH THE SUB-GRADE.
7. INSTALL SANITARY SYSTEM AND DRAINAGE FACILITIES STARTING AT THE OUTFALL AND PROCEEDING UPGRADE. INSTALL REMAINING UTILITIES. IN AREAS WHERE NEW PAVING IS NOT PROPOSED, REPAIR PAVEMENT OVER UTILITY TRENCHES IN ACCORDANCE WITH "PERMANENT PAVEMENT REPLACEMENT DETAIL".
8. INSTALL WATER SYSTEM PIPING (RAW, TREATED, BYPASS, ETC.) AS INDICATED ON THE PLANS.
9. INSTALL NEW ELECTRICAL UTILITIES.
10. DISCONNECT UTILITIES FROM EXISTING TREATMENT FACILITY AND CAP. CONNECT UTILITY SERVICE LATERALS TO NEW BUILDING.
11. PLACE, GRADE AND COMPACT THE PROCESSED AGGREGATE IN THE PARKING AND DRIVEWAY BASE.
12. APPLY STABILIZATION MEASURES (TOPSOIL, SEEDING, ETC.) TO REMAINING DISTURBED AREAS IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL DETAILS.
13. INSPECT AND CLEAN DRAINAGE SYSTEMS AS NEEDED.
14. TOPSOIL AND GRADE WHERE REQUIRED AND WITHIN 2 FEET OF PROPOSED CURBING.
15. INSTALL FIRST COURSE OF BITUMINOUS CONCRETE PAVEMENT.
16. INSTALL CURBING AS SHOWN ON PLANS.
17. FINE GRADE, RAKE, SEED, AND MULCH.
18. UPON SUBSTANTIAL COMPLETION OF THE BUILDING, COMPLETE THE BALANCE OF SITE WORK AND STABILIZATION OF ALL OTHER DISTURBED AREAS.
19. WHEN ALL OTHER WORK HAS BEEN COMPLETED, REPAIR AND SWEEP ALL PAVED AREAS FOR FINAL COURSE OF PAVING. INSPECT DRAINAGE SYSTEM AND CLEAN AS NEEDED.
20. INSTALL FINAL COURSE OF BITUMINOUS CONCRETE PAVEMENT.
21. AFTER ENTIRE SITE IS STABILIZED IN ACCORDANCE WITH THE APPLICABLE EROSION AND SEDIMENT CONTROL MEASURES, REMOVE TEMPORARY EROSION AND SEDIMENT CONTROLS (E.G. SILT FENCES).

DURING THIS TIME ALL EROSION AND SEDIMENT STRUCTURES SHALL BE MAINTAINED IN PROPER WORKING ORDER. DISTURBED AREAS SHALL BE KEPT TO A MINIMUM AND SHALL ONLY TAKE PLACE WHERE IMMEDIATELY REQUIRED TO FURTHER CONSTRUCTION. IT IS DESIRABLE FROM AN EROSION PREVENTION CONCERN TO MINIMIZE DISTURBED AREAS. FINAL GRADING AND SEEDING SHALL TAKE PLACE AS SOON AS PRACTICAL.

A RAIN GAUGE SHALL BE PLACED AT THE PROJECT IN A WORKABLE LOCATION AND MONITORED DURING RAINFALL PERIODS UNTIL ALL DISTURBED AREAS ARE STABILIZED. IN THE EVENT THERE IS A RAINFALL GREATER THAN 1/2" IN A 12 HOUR PERIOD, ALL EROSION CONTROL MEASURES SHALL BE CHECKED AND REPAIRED AS REQUIRED. IF NO RAIN GAUGE IS USED, ALL EROSION CONTROL MEASURES SHALL BE CHECKED AFTER ALL RAINFALL EVENTS.

A CHECK LIST PROVIDED BY THE OWNER'S REPRESENTATIVE SHALL BE FILLED OUT EVERY WEEK OR AFTER EACH RAINFALL EVENT OF 1/2" OR GREATER.

SEEDING

ALL DISTURBED AREAS SHALL BE RESTORED WITH A VEGETATIVE STABILIZATION MATERIAL (GRASS). THE SOIL SHALL BE ADJUSTED TO A PH OF 5.7 OR HIGHER. THIS CAN BE DONE BY USING THE APPROPRIATE AMOUNT OF GROUND LIMESTONE OR FERTILIZER, AS REQUIRED BY A SOIL TEST. IF A TEST IS NOT PERFORMED, THE AREA SHALL BE FERTILIZED WITH 10-10-10 OR EQUAL AT A RATE OF 300 POUNDS PER ACRE (11 POUNDS PER 1000 SQUARE FEET). THE LIME OR FERTILIZER SHALL BE WORKED INTO THE SOIL A MINIMUM OF 4 INCHES. ALL STONES TWO INCHES OF LARGER IN DIAMETER SHALL BE REMOVED ALONG WITH ALL DELETERIOUS MATERIAL (SUCH AS BUILDING MATERIAL WASTE, STUMPS, ETC.). THE SEED SHALL BE APPLIED BY EITHER HAND, CYCLONE SEEDER, A CULTIPACKER TYPE SEEDER OR HYDROSEEDER (SLURRY INCLUDING BOTH SEED AND FERTILIZER). HYDROSEEDINGS WHICH ARE MULCHED MAY BE LEFT ON SOIL SURFACE. REFER TO SPECIFICATION 32 90 19 FOR THE REQUIRED SEED MIX. RECOMMENDED SEEDING DATES ARE APRIL 1 THROUGH JUNE 1 AND AUGUST 15 THROUGH SEPTEMBER 1. ALL SEEDED AREAS SHALL BE MAINTAINED TO ENSURE PROPER GROWTH AND TO MINIMIZE EROSION.

MULCH

MULCH SHALL CONSIST OF STRAW. IT SHALL BE APPLIED AT A RATE OF 1.5 - 2.0 TONS PER ACRE, OR 70 - 90 POUNDS (1-1/2 - 2) BALES) PER 1000 SQUARE FEET (31.6' X 31.6'). ALL MULCH MATERIAL SHALL BE FREE FROM WEEDS AND COARSE MATTER. ALL REQUIRED GRADING SHALL BE COMPLETE PRIOR TO PLACEMENT OF MULCH. APPLICATION OF MULCH MATERIAL SHALL BE BY HAND OR MACHINE AND UNIFORM IN THICKNESS. MULCH MATERIAL SHALL BE ANCHORED IMMEDIATELY AFTER APPLICATION TO MINIMIZE WINDBLOWN DISTURBANCE. ANCHORING SHALL BE BY MECHANICAL DEVICE OR LIQUID MULCH BINDER DURING MULCH APPLICATION.

GENERAL NOTES

ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PERFORMED IN ACCORDANCE WITH THE 2002 CONNECTICUT GUIDELINES FOR EROSION AND SEDIMENT CONTROL, OR LATEST REVISION.

ALL DISTURBED AREAS SHALL BE KEPT TO A MINIMUM. FINAL GRADING AND RESTORATION SHALL BE ACCOMPLISHED AS SOON AS PRACTICAL.

EROSION AND SEDIMENT CONTROL STRUCTURES SHALL BE INSTALLED PRIOR TO SITE WORK. IF IT IS NOT POSSIBLE TO DO SO, THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED IN ORDER TO MAINTAIN THE INTEGRITY OF DESIGN.

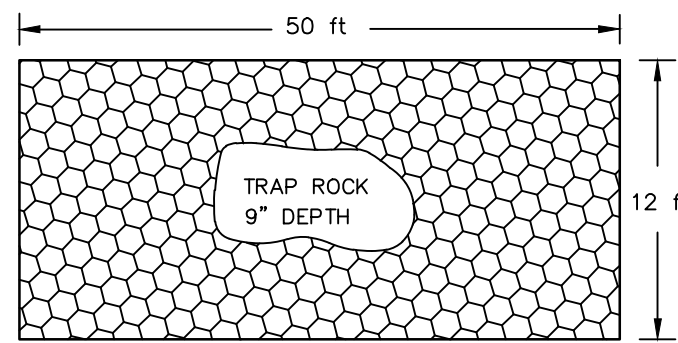
ALL CONTROL STRUCTURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND REMOVED WHEN STABILIZATION HAS BEEN ATTAINED. IF THE PROPOSED CONTROL MEASURES ARE NOT SATISFACTORY, ADDITIONAL CONTROL MEASURES SHALL BE TAKEN.

ALL RUNOFF FROM THE DISTURBED AREA SHALL BE CONTROLLED AND FILTERED. NON-WOVEN SYNTHETIC FIBER FILTER FABRIC, COMPOST FILTER TUBES OR SILTATION FENCE SHALL BE USED IN THE AREAS SHOWN ON THE SITE PLAN AND INSTALLED AS SHOWN ON THIS PLAN.

CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF SEDIMENT AND EROSION CONTROL MEASURES. THIS RESPONSIBILITY INCLUDES THE ACQUISITION OF MATERIALS, INSTALLATION, AND MAINTENANCE OF EROSION AND SEDIMENT STRUCTURES, THE COMMUNICATION AND DETAILED EXPLANATION TO ALL PEOPLE INVOLVED IN THE SITE WORK OF THE REQUIREMENTS AND OBJECTIVE OF THE EROSION AND SEDIMENT CONTROL MEASURES. TWO WEEKS PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL SUBMIT A WORKING PHONE NUMBER OF THE INDIVIDUAL RESPONSIBLE FOR THE IMPLEMENTATION OF THIS PLAN.

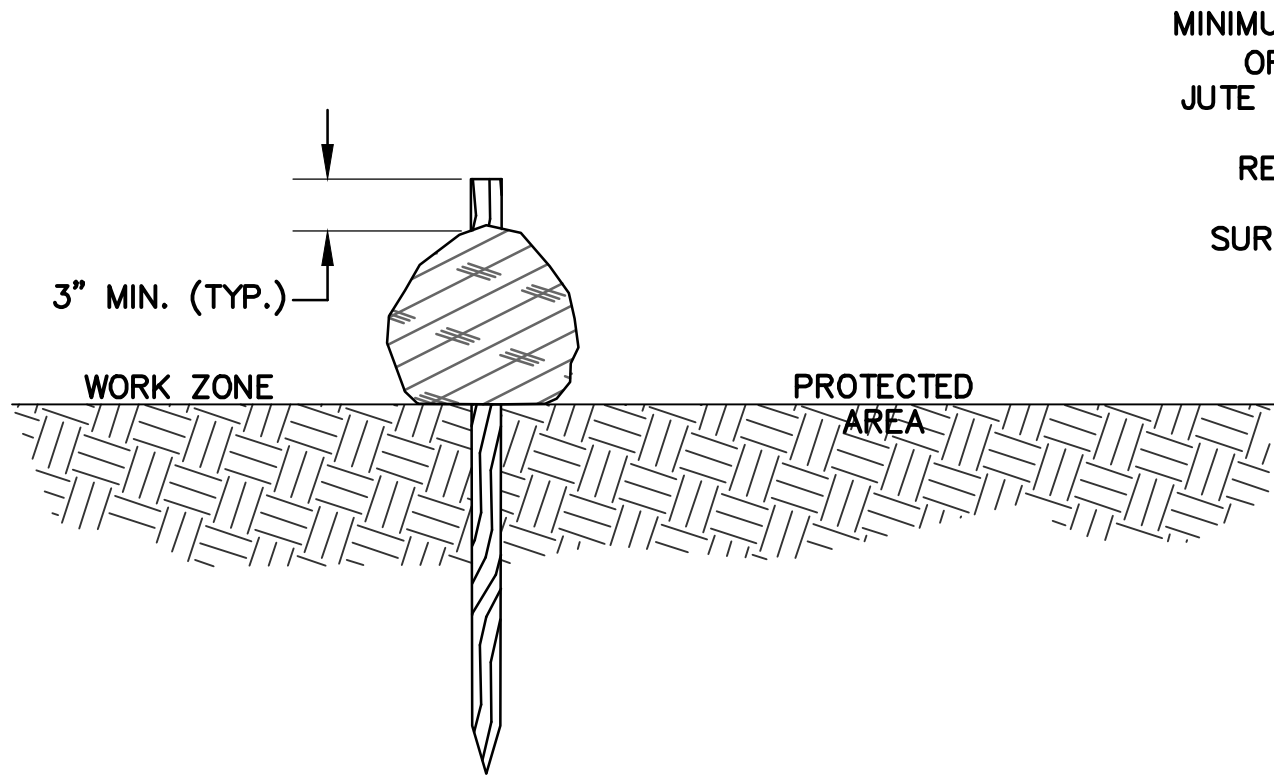
THE OWNER SHALL BE NOTIFIED OF ANY PROPOSED ALTERATION TO THE EROSION AND SEDIMENTATION CONTROL PLAN, PRIOR TO ALTERING, IN ORDER TO ENSURE THE FEASIBILITY OF THE ADDITION, SUBTRACTION, OR CHANGE IN THE PLAN.

CONTRACTOR SHALL INSPECT SEDIMENTATION CONTROL MEASURES FOR SEDIMENT AFTER RAINSTORMS OF 1/2 INCH OR MORE AND CLEAN AS NEEDED. ENSURE THAT ENTIRE SITE IS CLEANED OF DEBRIS AND SEDIMENT UPON COMPLETION OF WORK.

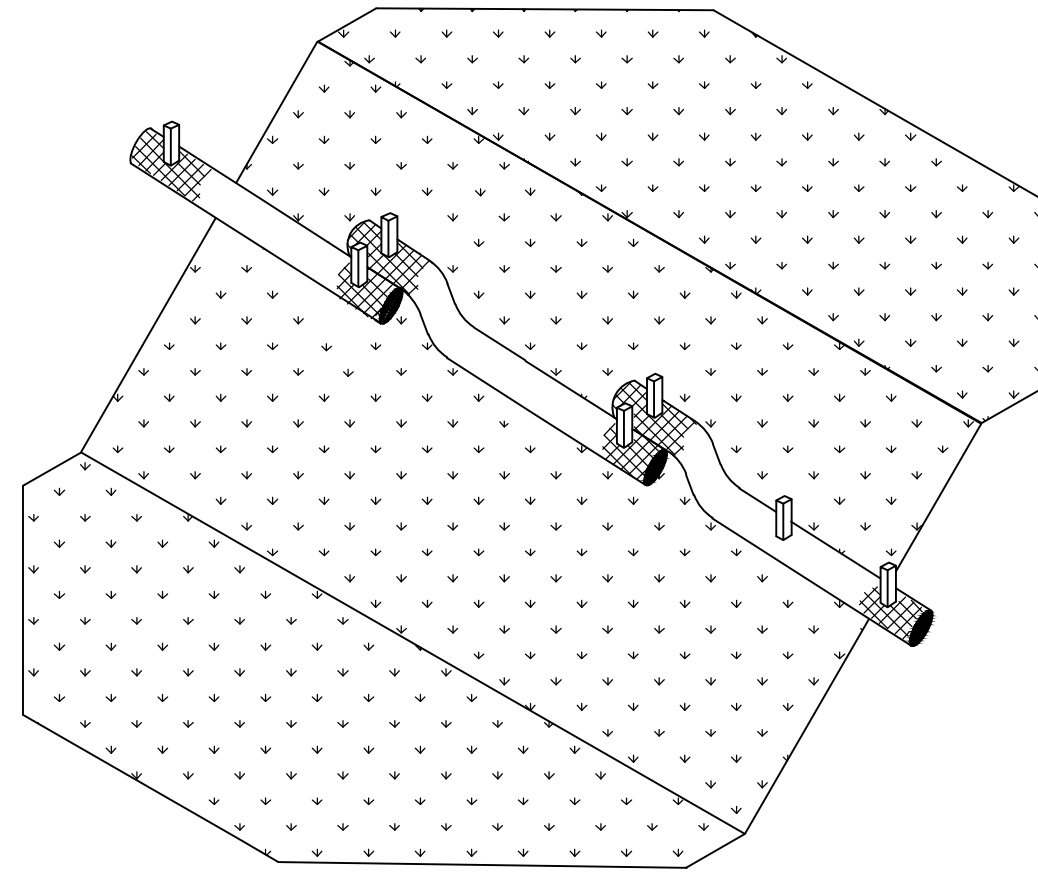


- NOTES:
1. TRAP ROCK SHALL BE CTDOT NO. 3 STONE (M.01.01)
 2. FILTER FABRIC SHALL BE PLACED BELOW STONE FOR EASE OF REMOVAL.

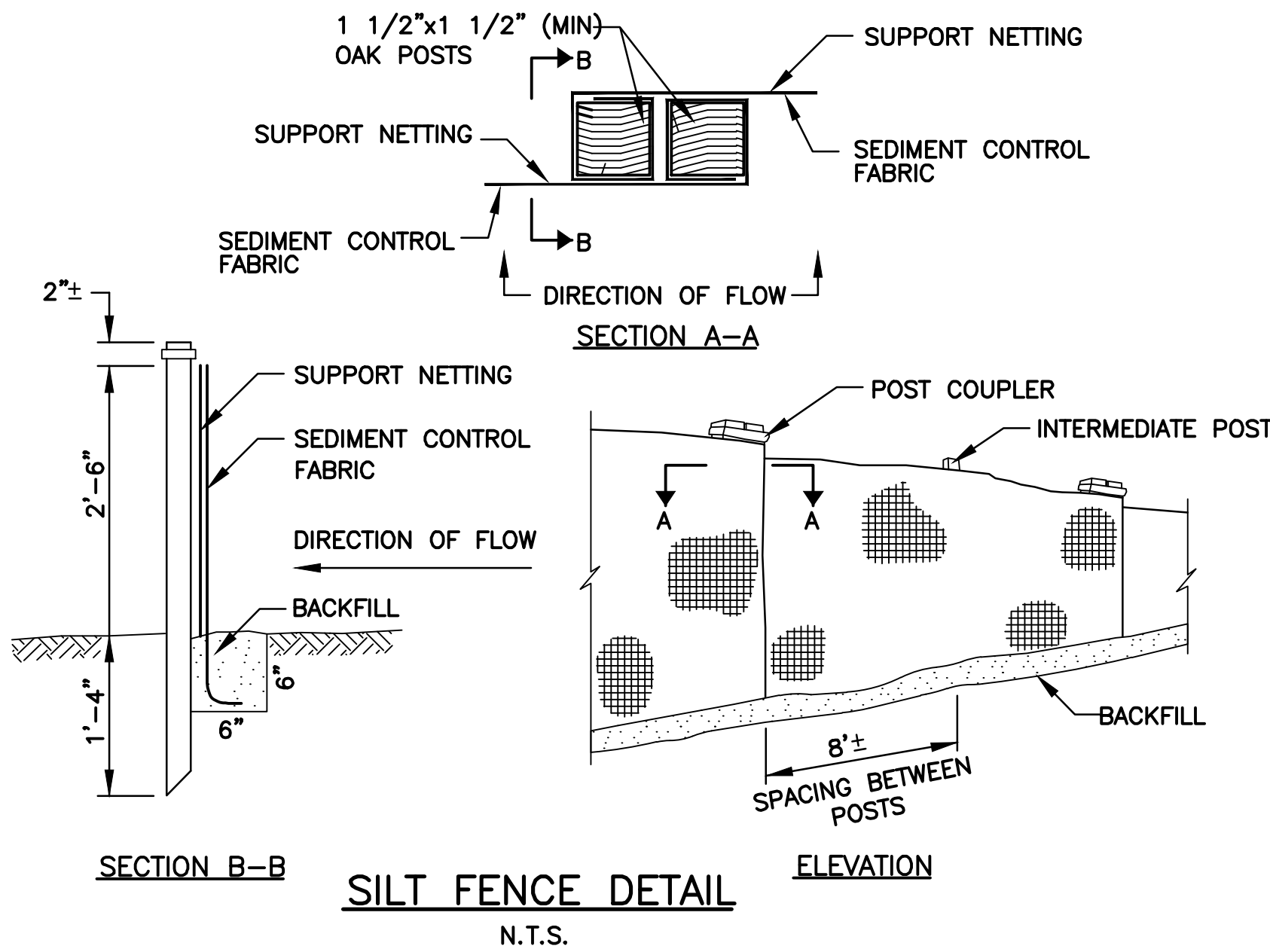
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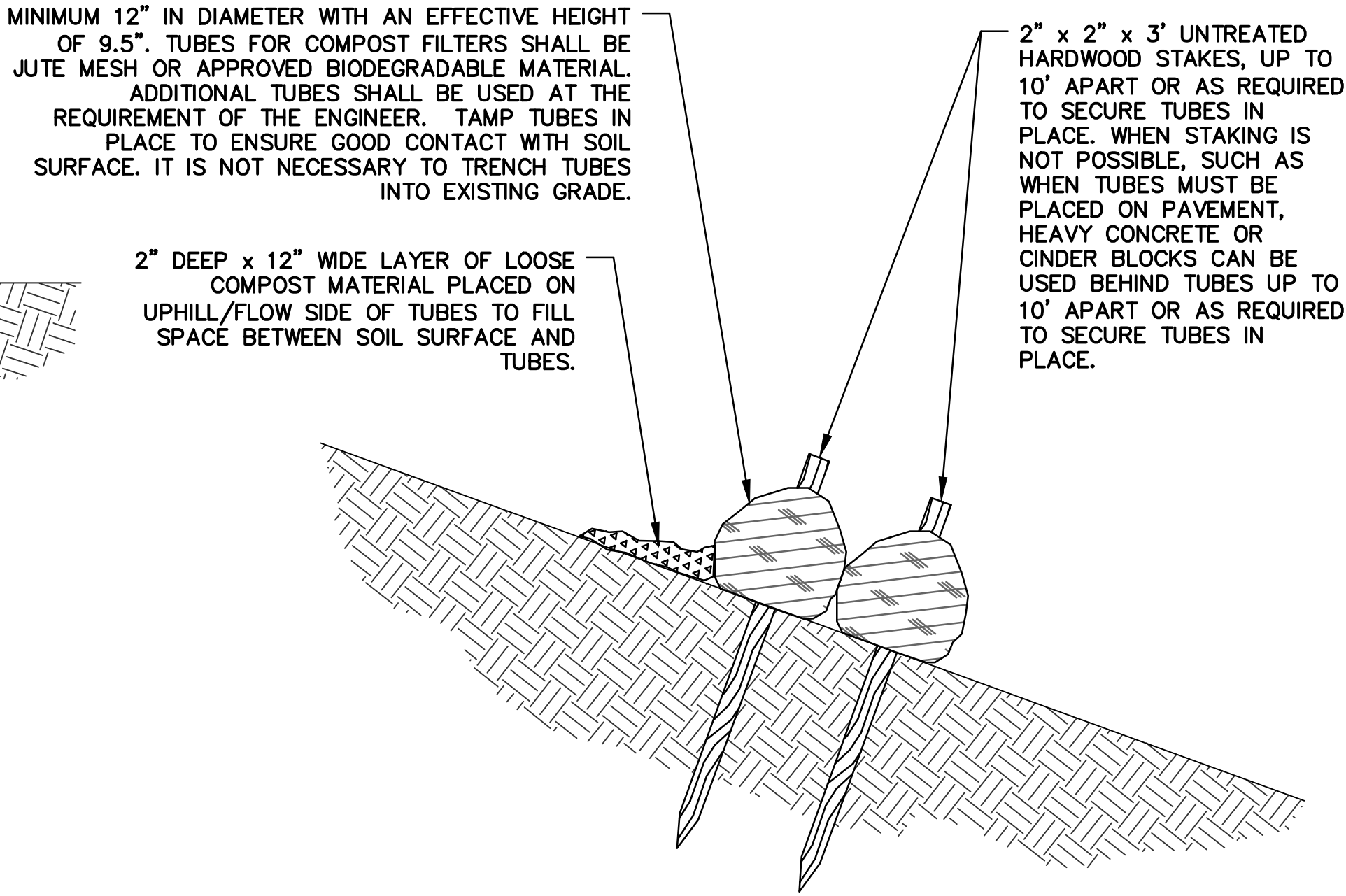
COMPOST FILTER TUBE DETAIL
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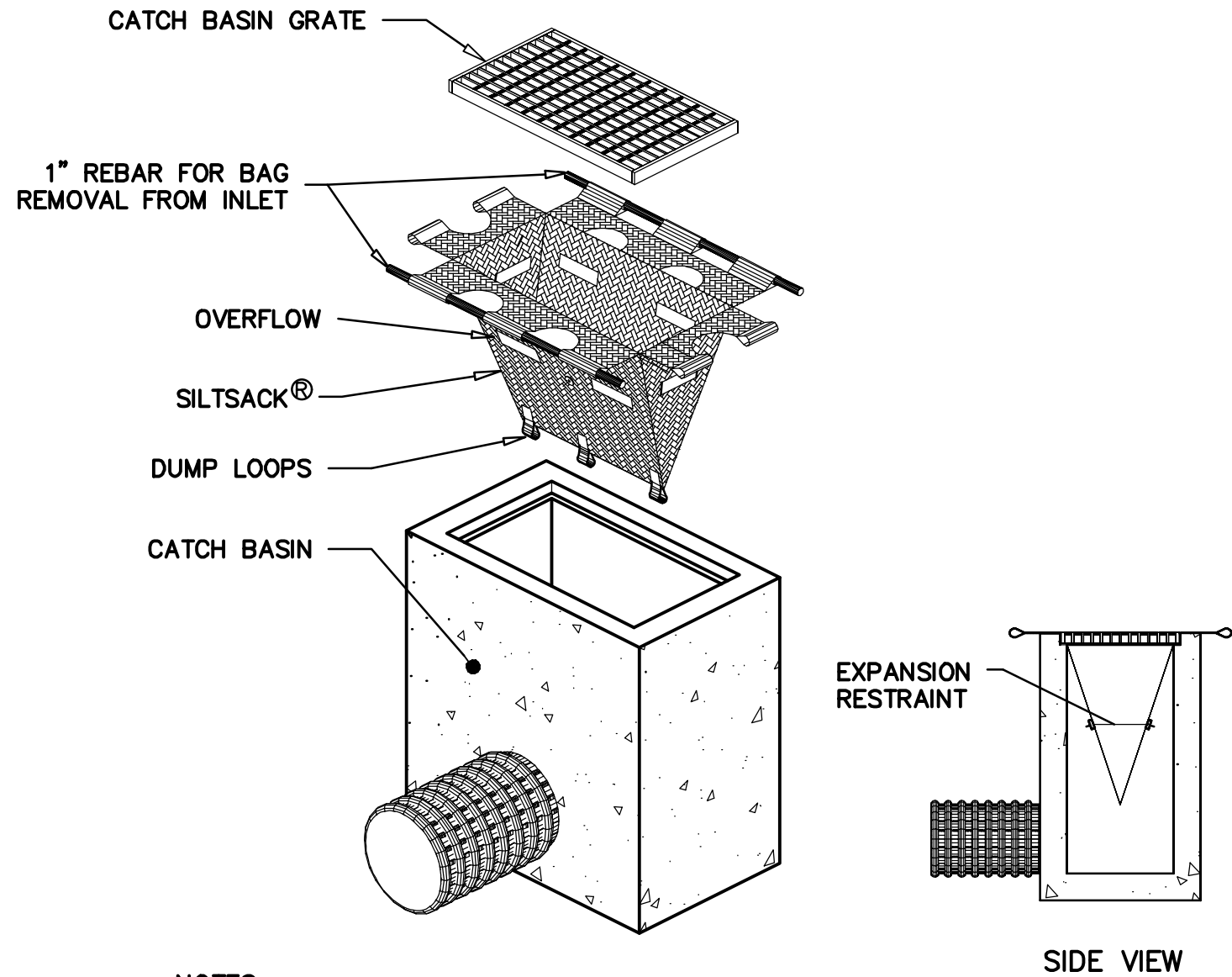
COMPOST FILTER TUBE PLAN DETAIL
N.T.S.



SILT FENCE DETAIL
N.T.S.

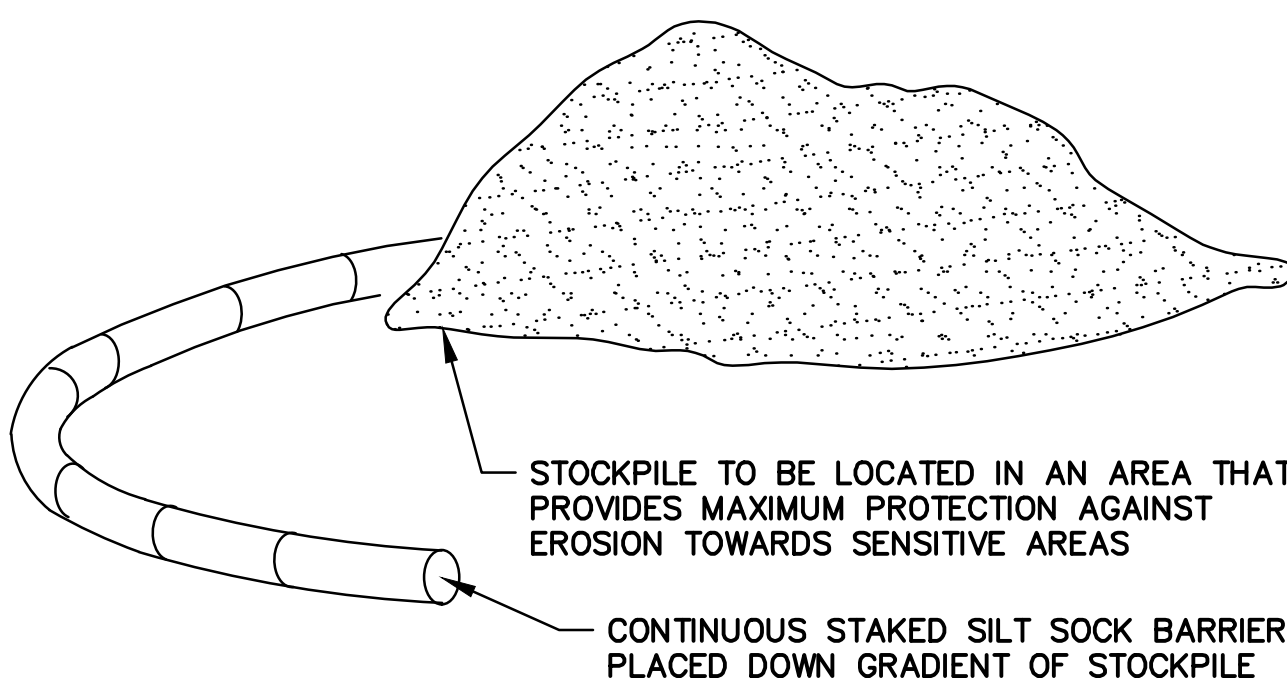


WOODEN STAKE SECTION
N.T.S.



- NOTES:
1. PROVIDE HI-FLOW SILT SACK TYPE A FOR TYPE "C-L" CATCH BASIN TOPS AND TYPE B WITH CURB DEFLECTOR FOR TYPE "C" CATCH BASIN TOPS OR OTHER STRUCTURES WITH CURB INLET.

CATCH BASIN INLET PROTECTION
N.T.S.



TEMPORARY STOCKPILE DETAIL
N.T.S.

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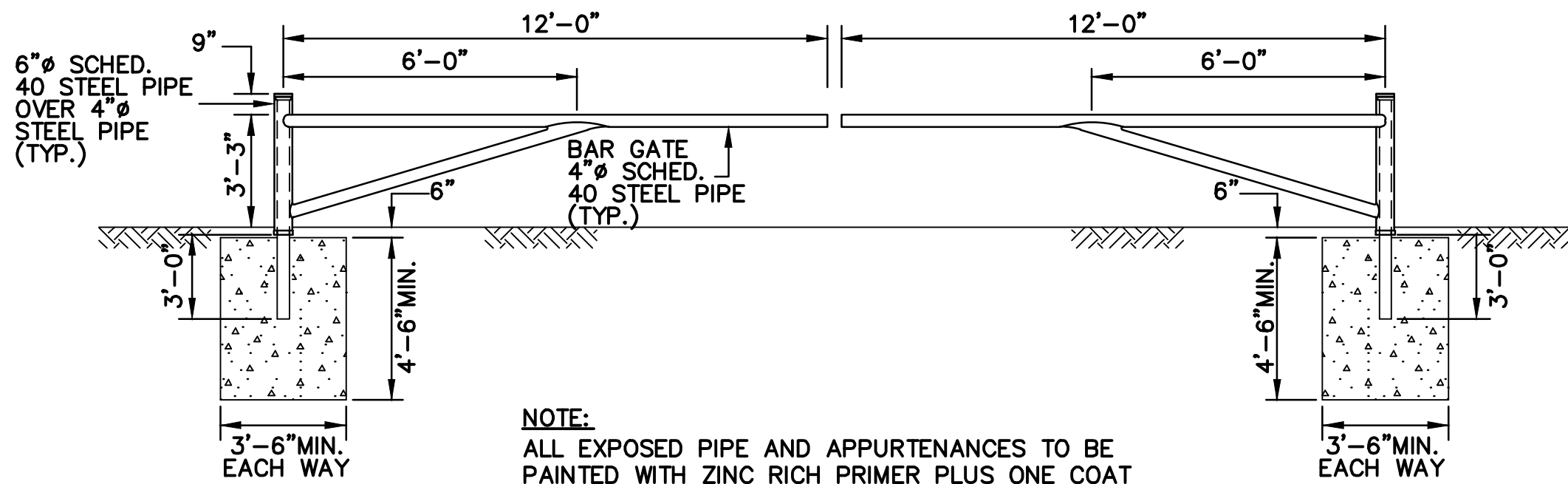
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CIVIL AND SITE
DETAILS

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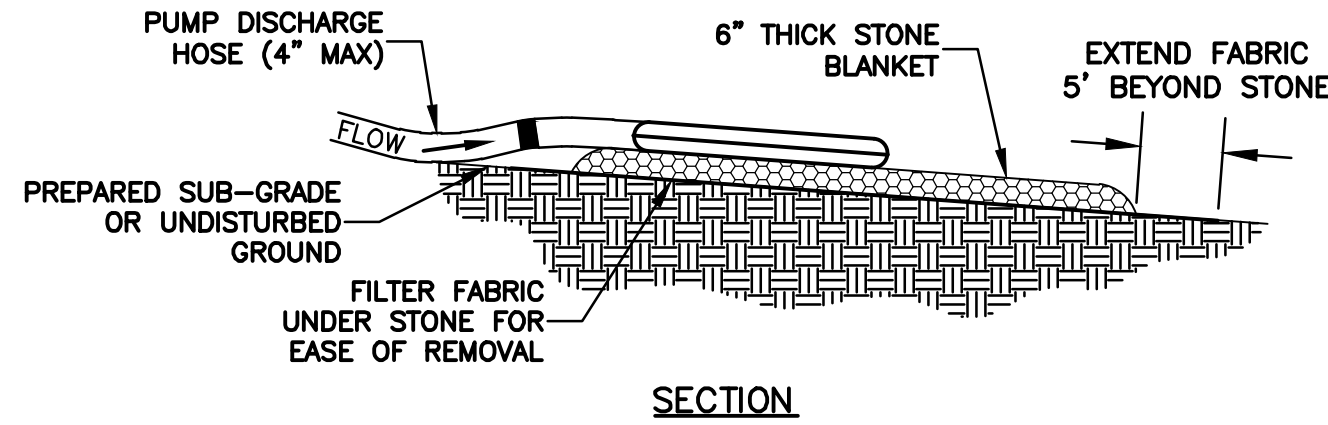
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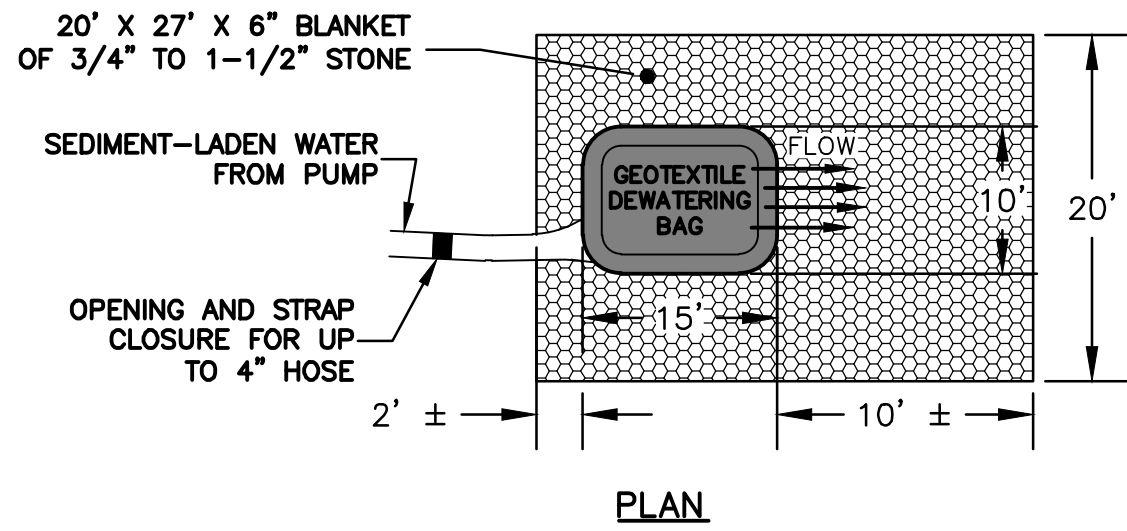
NOTE:
ALL EXPOSED PIPE AND APPURTENANCES TO BE PAINTED WITH ZINC RICH PRIMER PLUS ONE COAT OF CATALYZED EPOXY AND A FINISH COAT OF ACRYLIC POLYURETHANE BY TNEC CO. OR APPROVED EQUAL. ALL INTERSECTING PIPE JOINTS SHALL BE SHOP FILLET WELDED.

TYPICAL BARRIER GATE

N.T.S.



SECTION

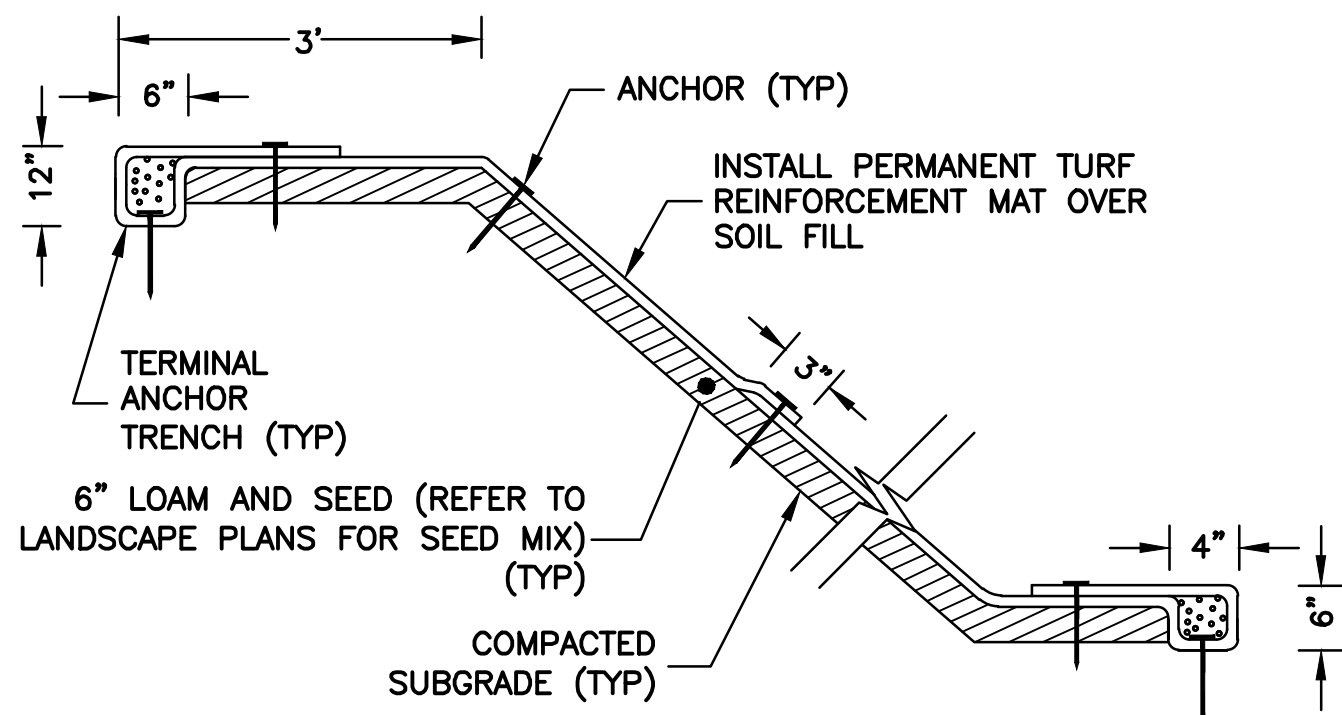


PLAN

- NOTES:
1. GEOTEXTILE BAG MATERIAL SHALL BE A NON-WOVEN MATERIAL.
 2. DO NOT OVER PRESSURIZE BAG OR USE BEYOND CAPACITY.
 3. LOCATE DISCHARGE SITE ON FLAT UPLAND AREAS AS FAR AWAY AS POSSIBLE FROM STREAMS, WETLANDS, AND OTHER RESOURCES AND POINTS OF CONCENTRATED FLOW.
 4. DOWN-GRADIENT FROM RECEIVING AREA MUST BE WELL VEGETATED OR OTHERWISE STABLE FROM EROSION, E.G., FOREST FLOOR OR COARSE GRAVEL/STONE.
 5. LOCATION OF DEWATERING BAG SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR AND APPROVED BY CT WATER PRIOR TO USE.

GEOTEXTILE DEWATERING BAG

N.T.S.

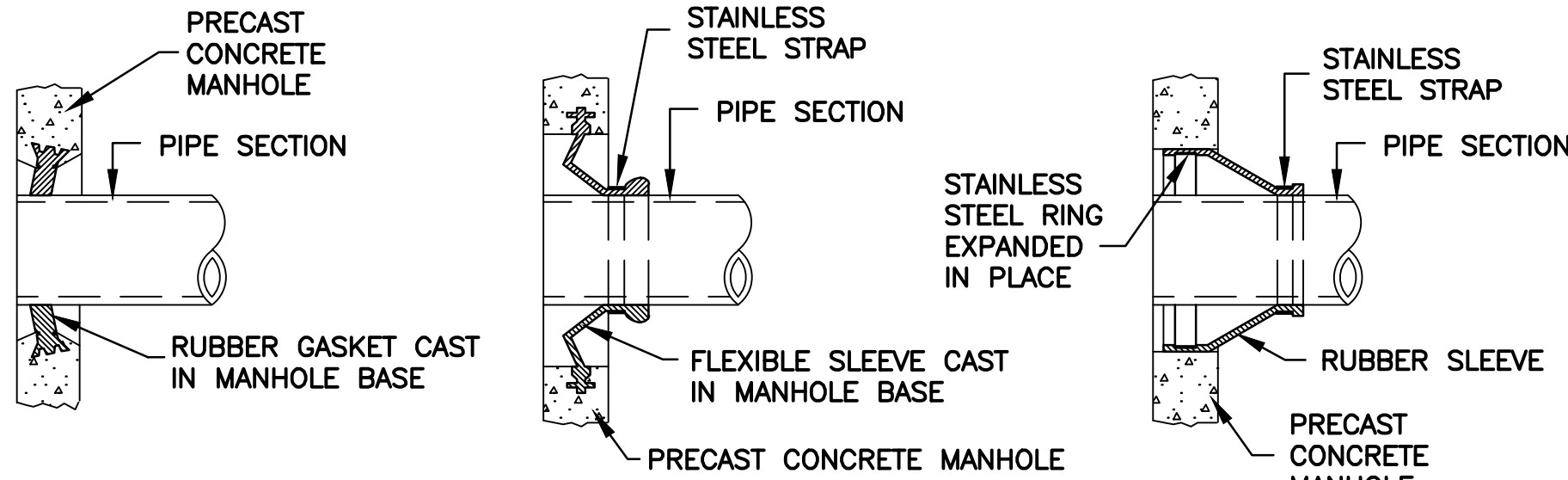


NOTES

1. INSTALL AND ANCHOR PER MANUFACTURER'S SPECIFICATIONS

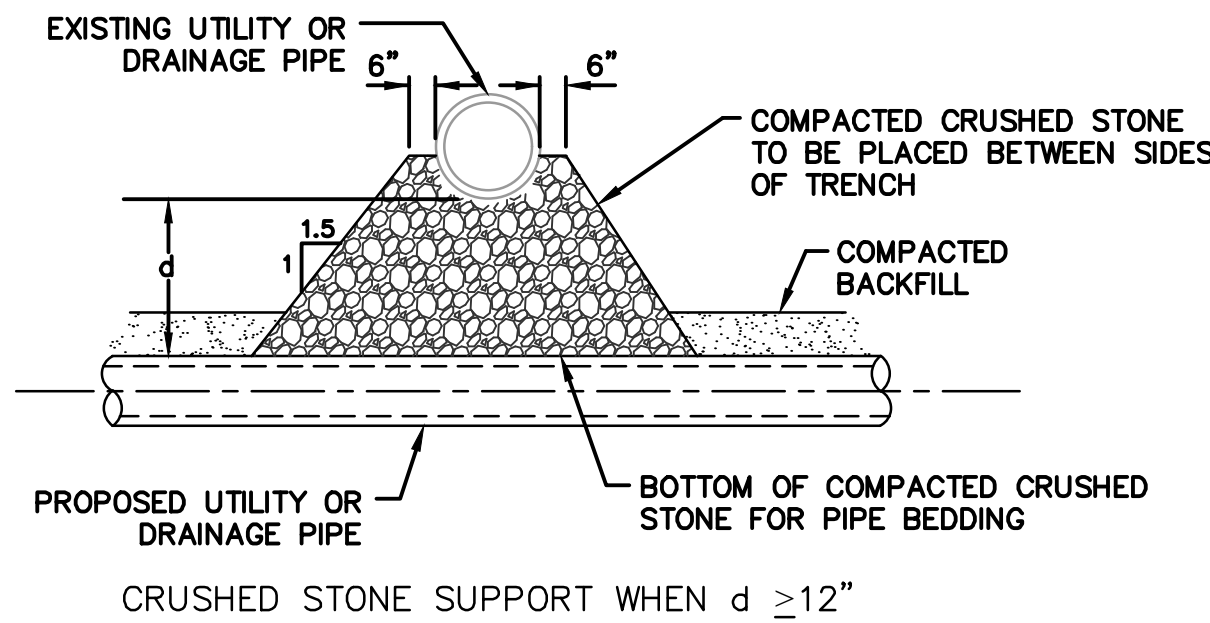
VEGETATIVE SLOPE PROTECTION DETAIL

N.T.S.

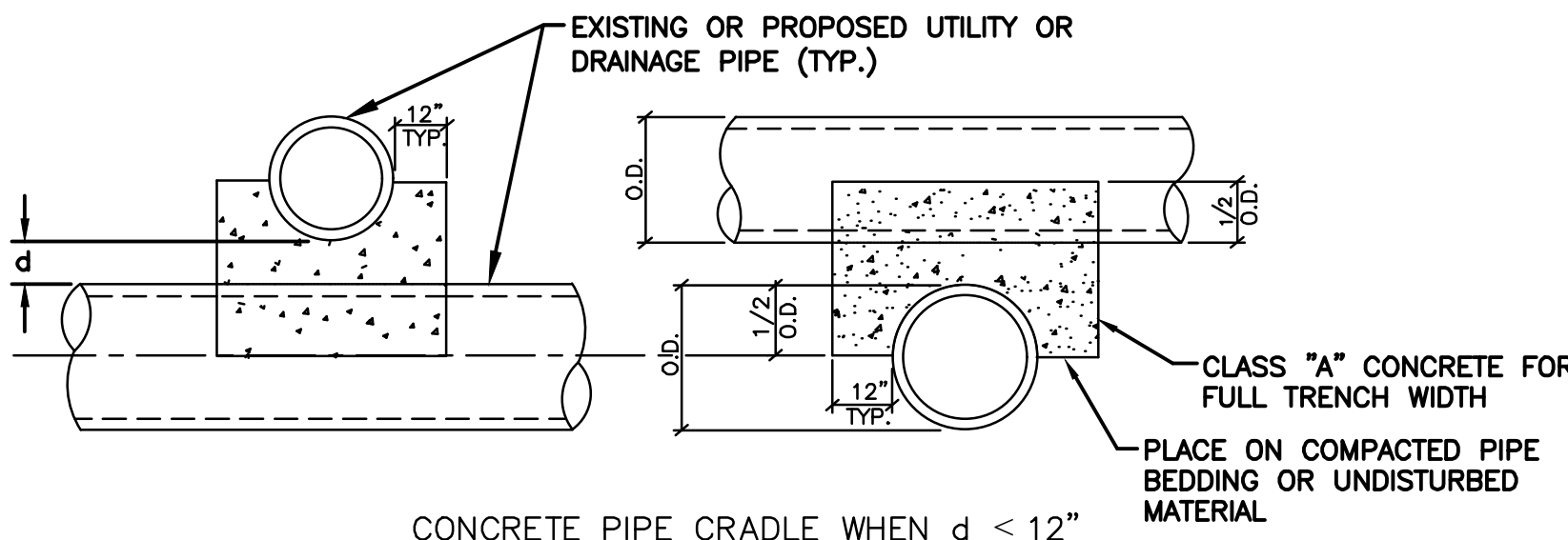


MANHOLE AND TANK SEAL DETAILS

N.T.S.



CRUSHED STONE SUPPORT WHEN $d \geq 12"$

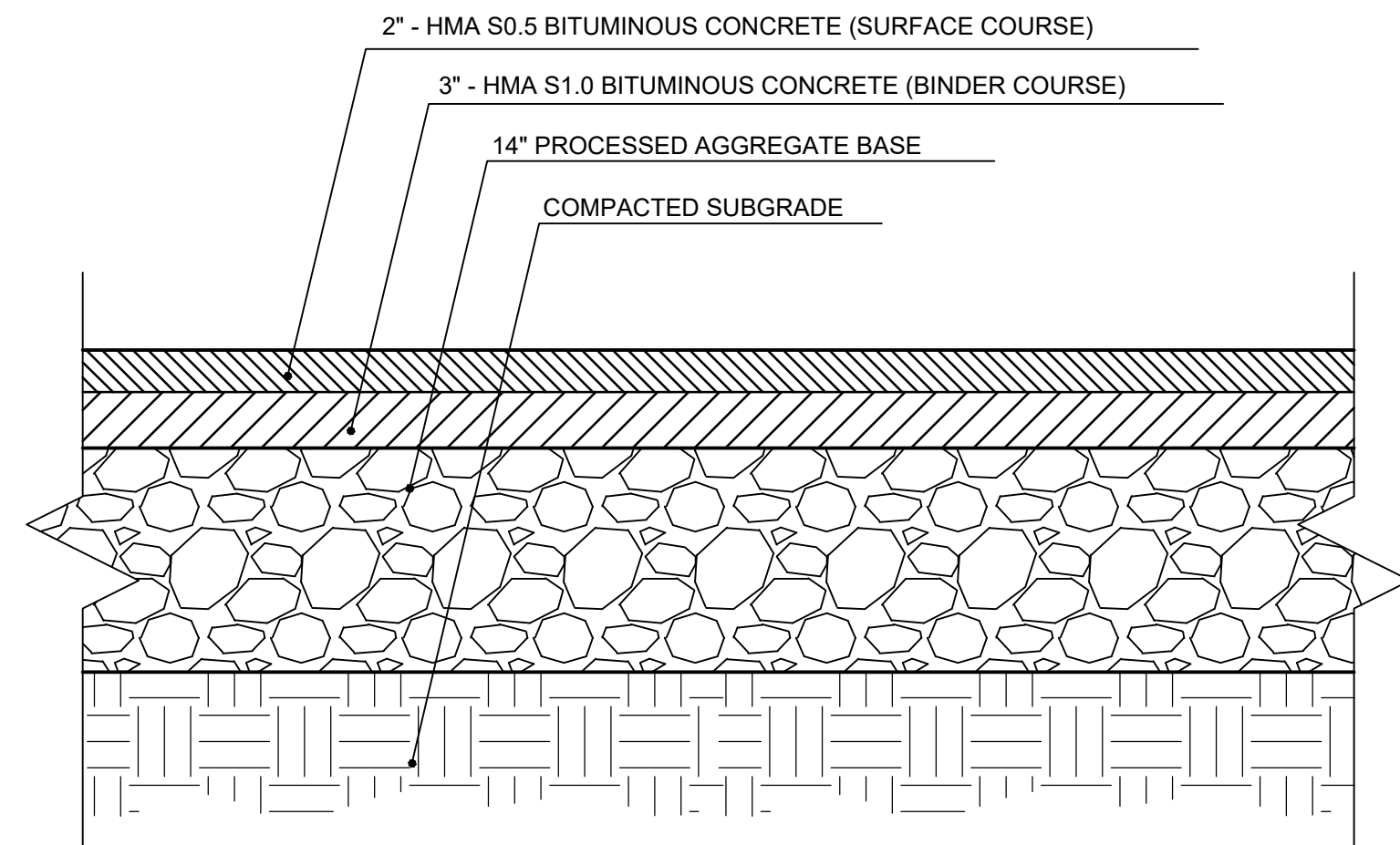


CONCRETE PIPE CRADLE WHEN $d < 12"$

- NOTES:
1. d = DISTANCE BETWEEN UTILITY AND DRAINAGE PIPES.
 2. SUPPORTS SHALL BE INSTALLED WHERE SPECIFIED ON THE PLANS AND WHERE DIRECTED BY THE ENGINEER.
 3. CRUSHED STONE SUPPORTS SHALL BE INCLUDED IN THE COST OF THE PROPOSED UTILITY OR DRAINAGE PIPE AND CONCRETE PIPE CRADLES SHALL BE PAID FOR AS "MISCELLANEOUS CONCRETE".
 4. REFER TO DETAIL SD-22 (SHEET C908) FOR SEPARATION FROM WATER LINES.

TYPICAL UTILITY SUPPORTS

N.T.S.

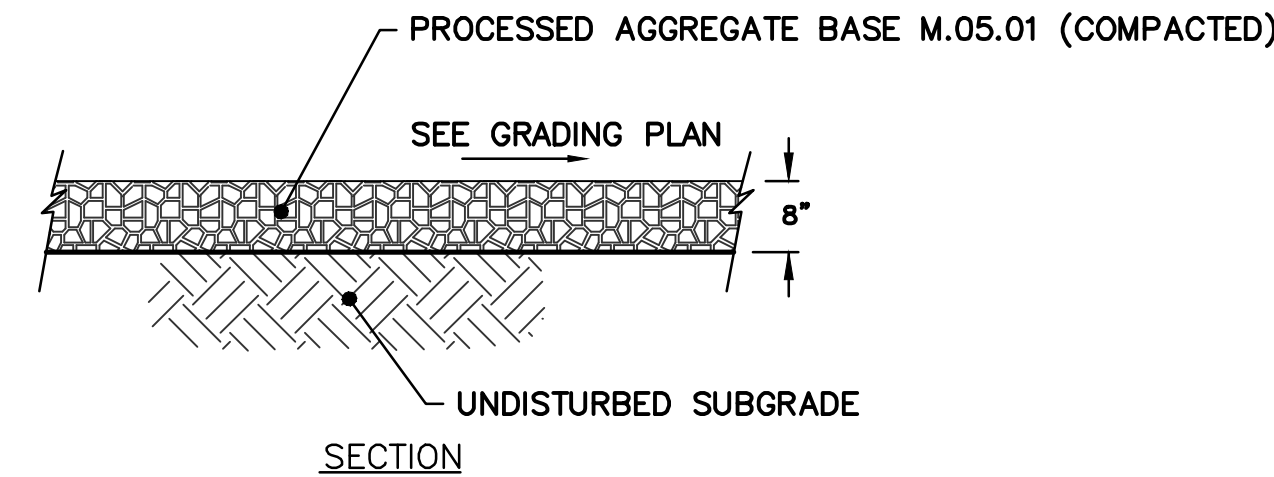


NOTES:

1. CONTRACTOR SHALL MAINTAIN POSITIVE SURFACE DRAINAGE (SEE GRADING PLANS).
2. PAVEMENT CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CONNDOT FORM 819, AND SHALL INCLUDE COMPLIANCE WITH APPLICABLE CONNDOT MATERIAL SPECIFICATIONS AS WELL.

HEAVY DUTY BITUMINOUS CONCRETE PAVEMENT SECTION

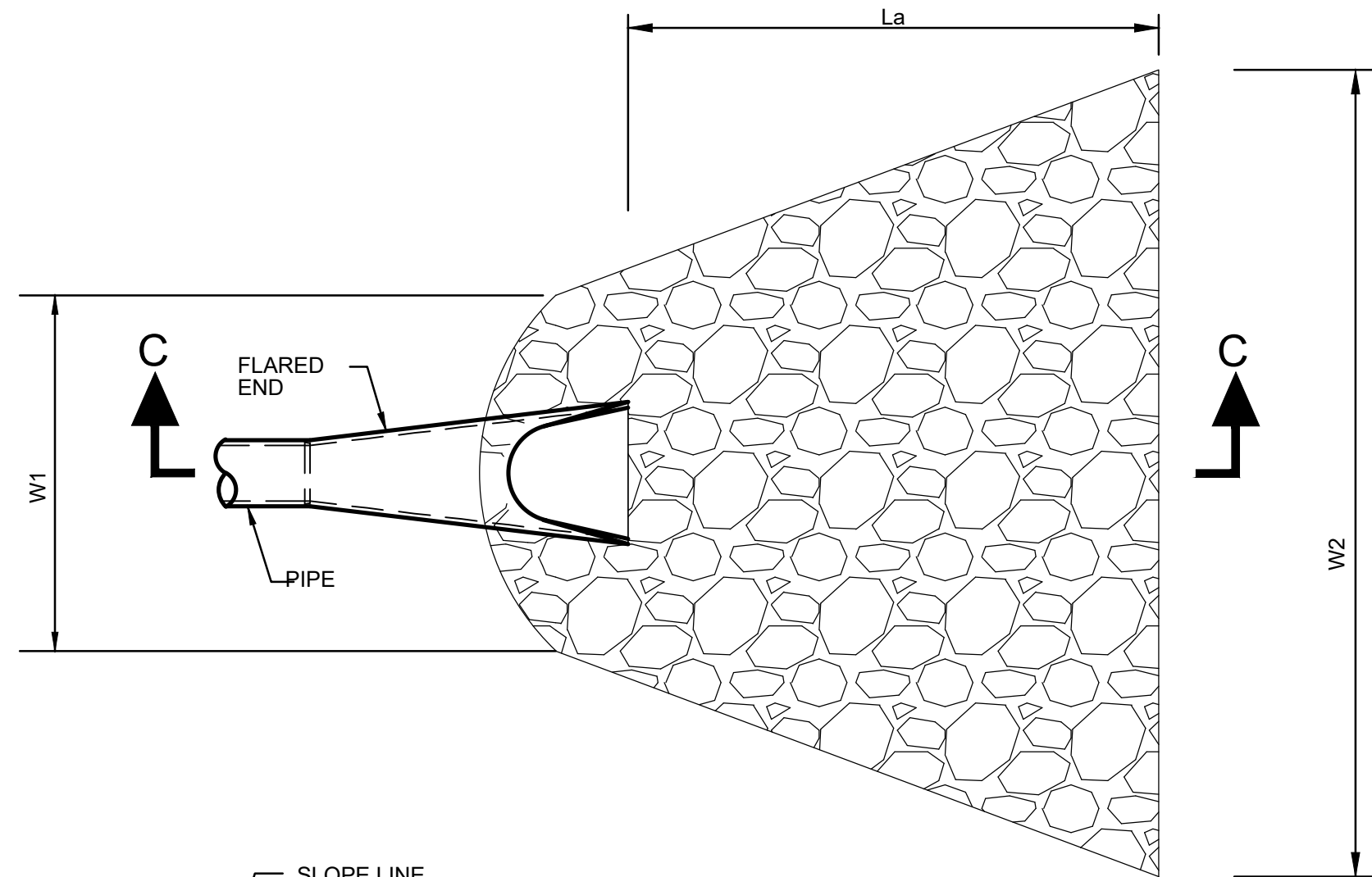
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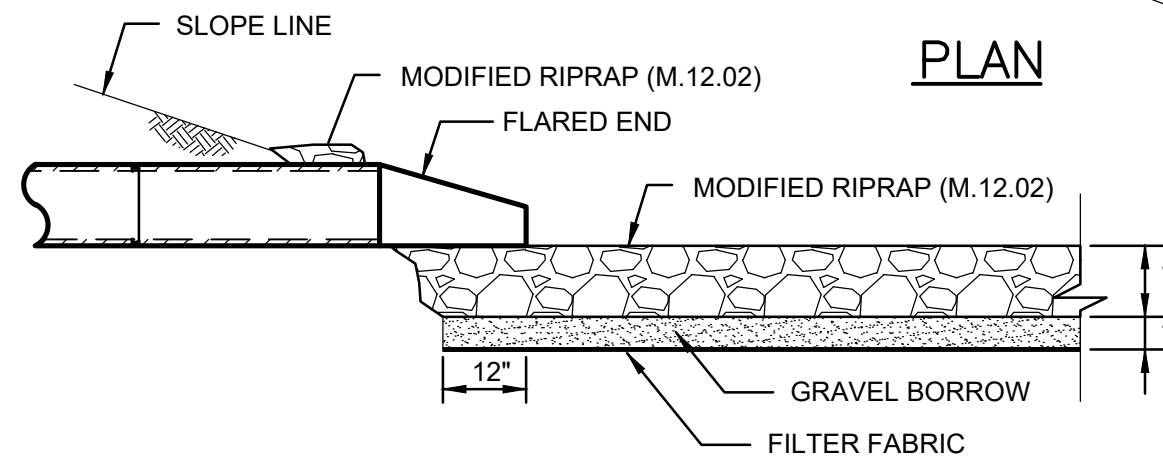
SECTION

TYPICAL GRAVEL PAVEMENT DETAIL

N.T.S.



PLAN



SECTION C-C

RIPRAP TYPE	T ₁ (RIPRAP)	T ₂ (GRAVEL)	W ₁	W ₂	La
MODIFIED RIPRAP	12"	6"	3'	10'	10'

RIPRAP APRON

N.T.S.

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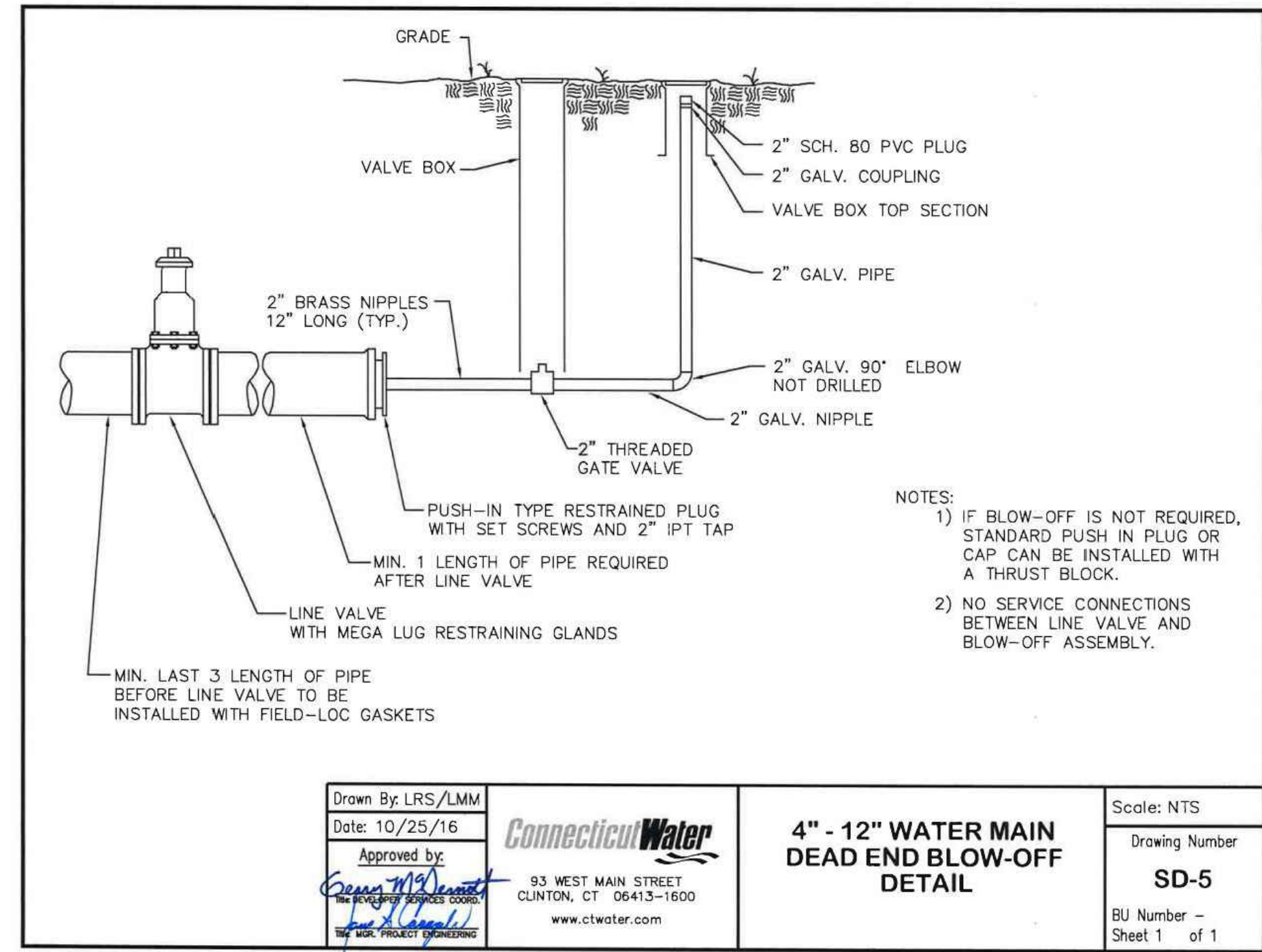
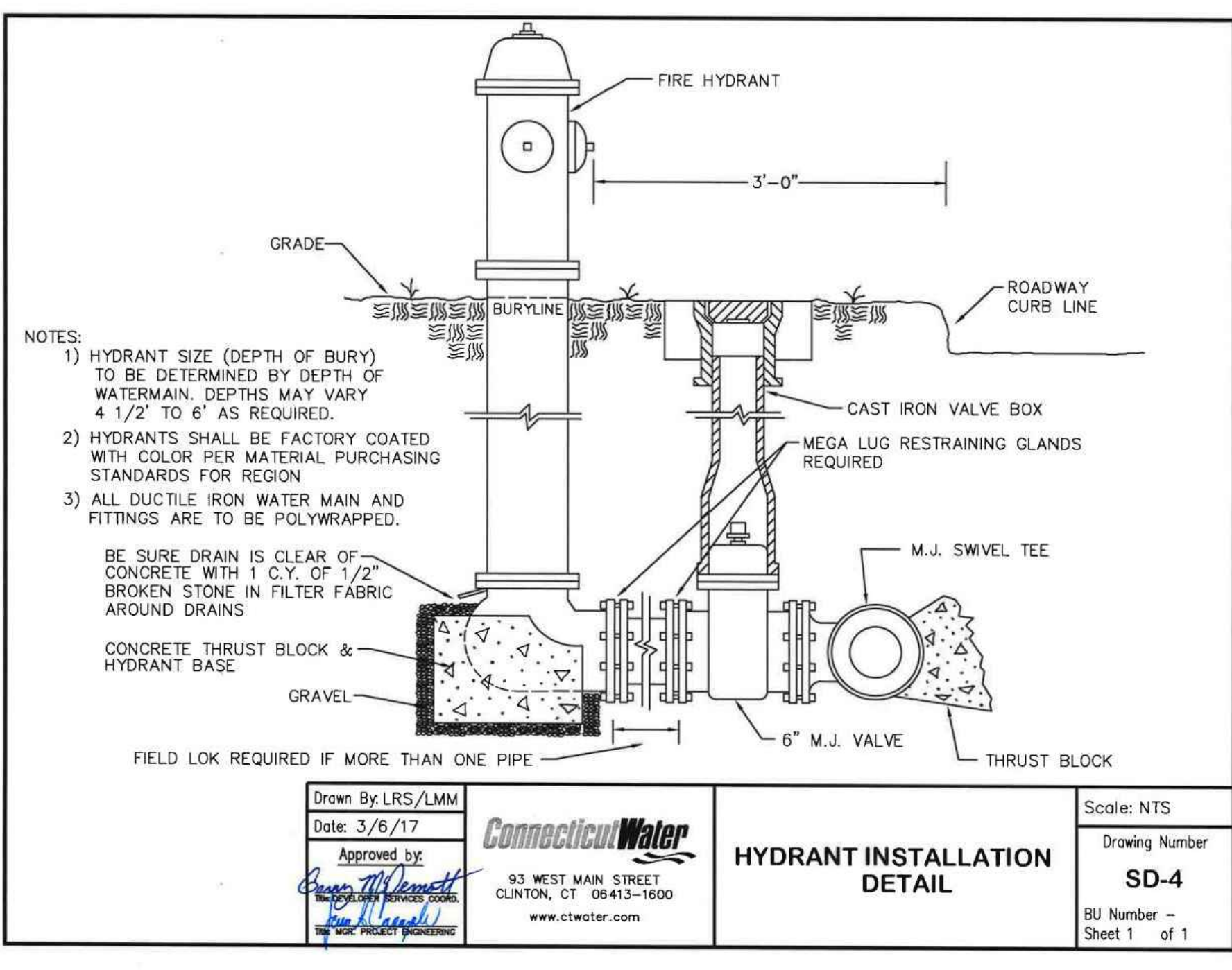
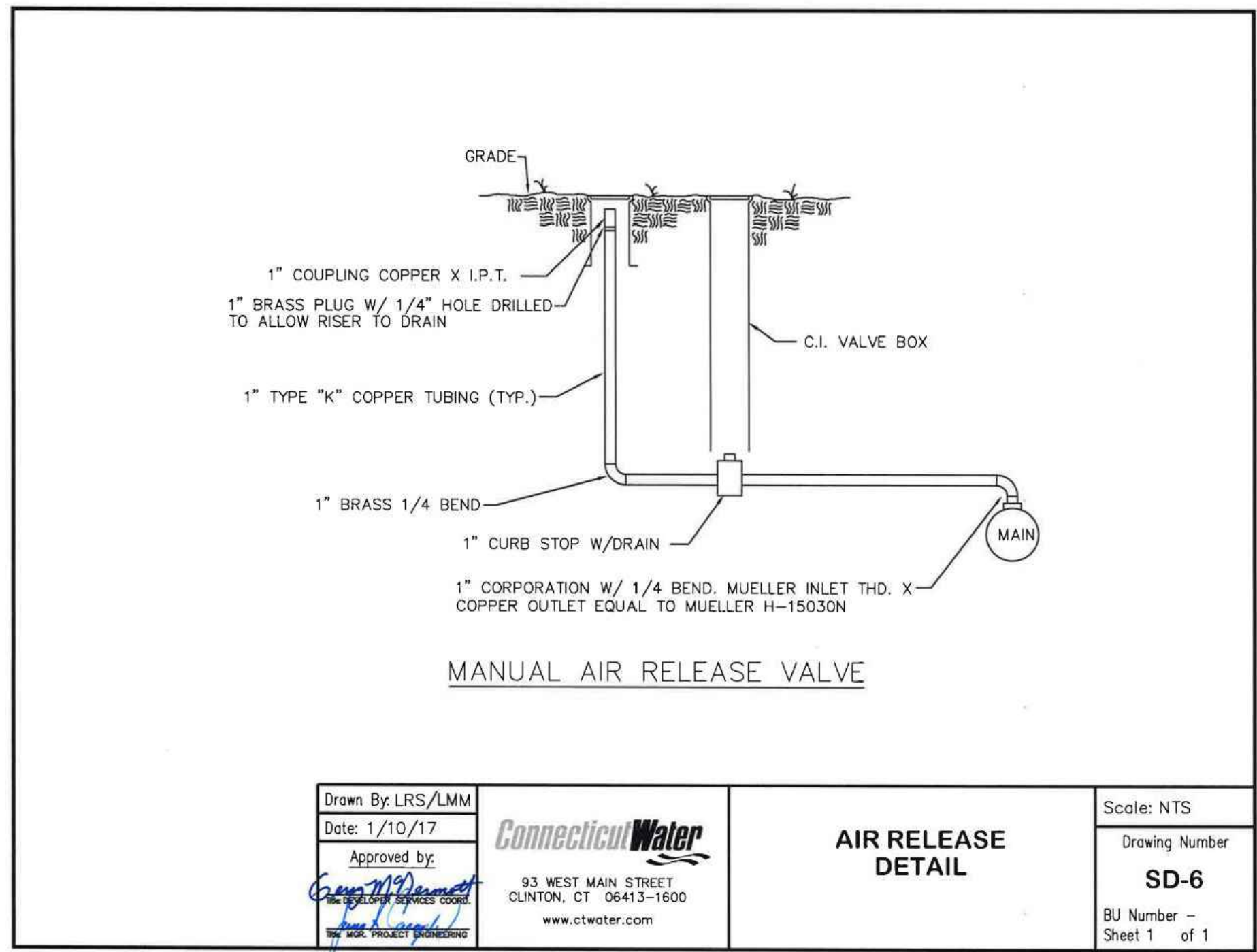
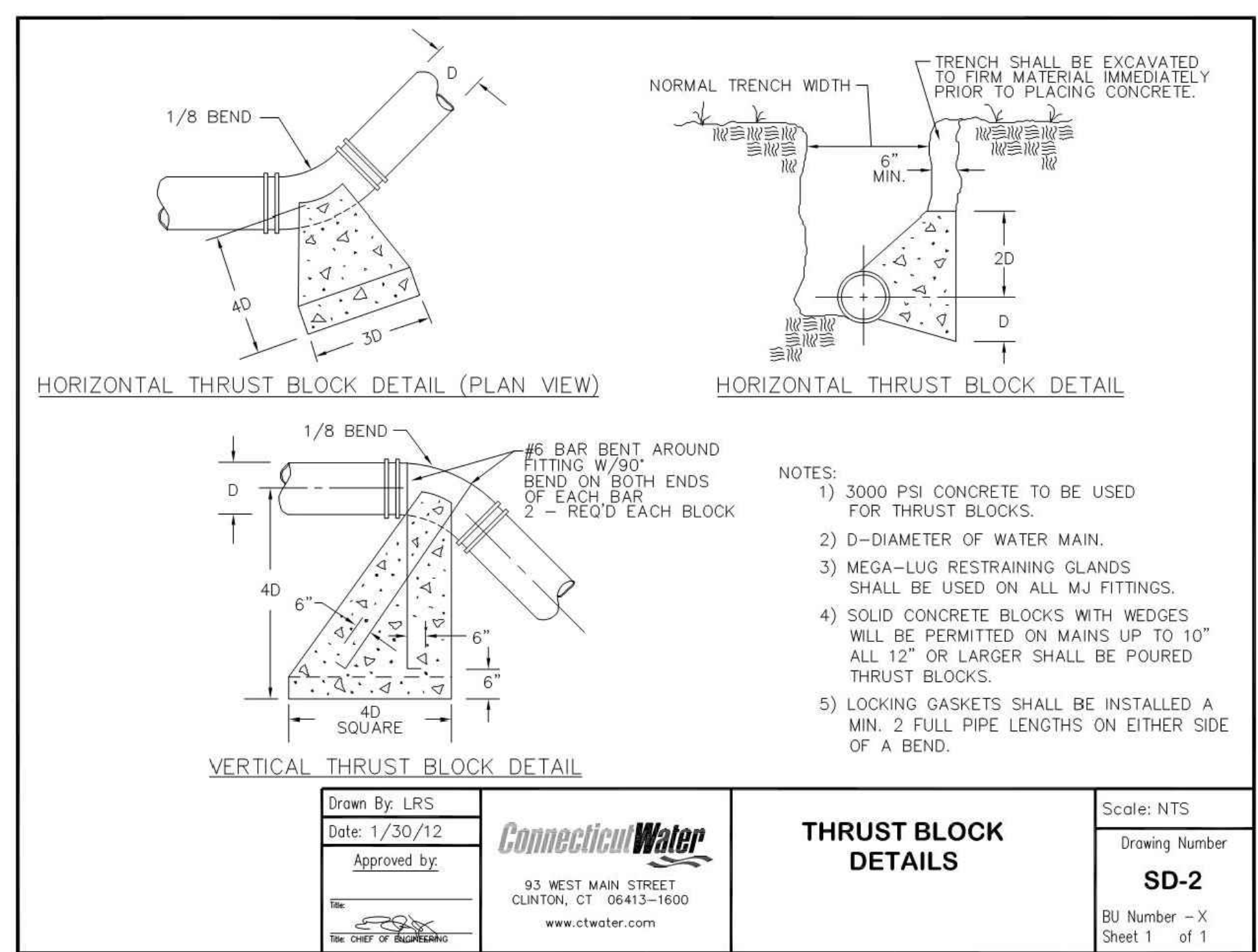
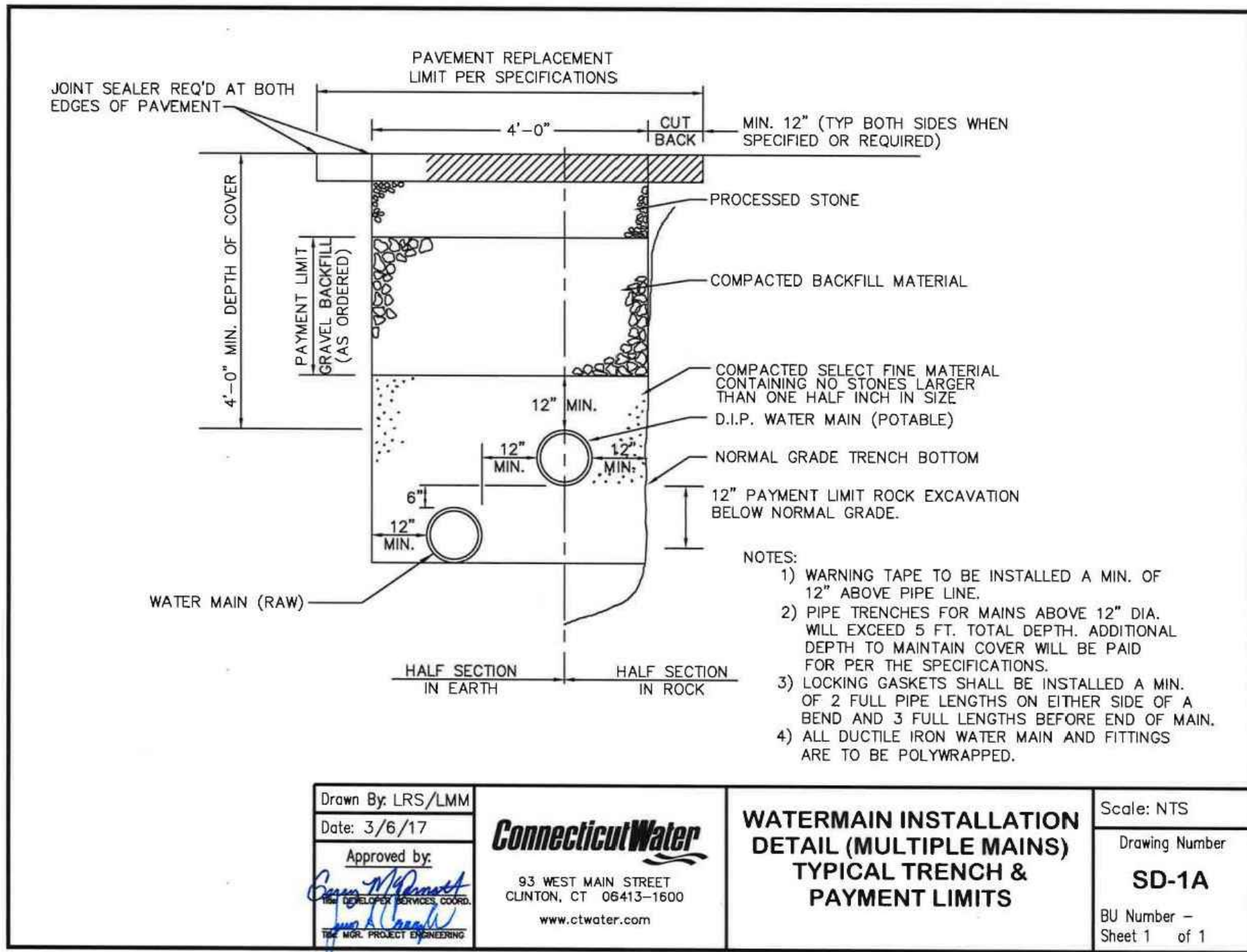
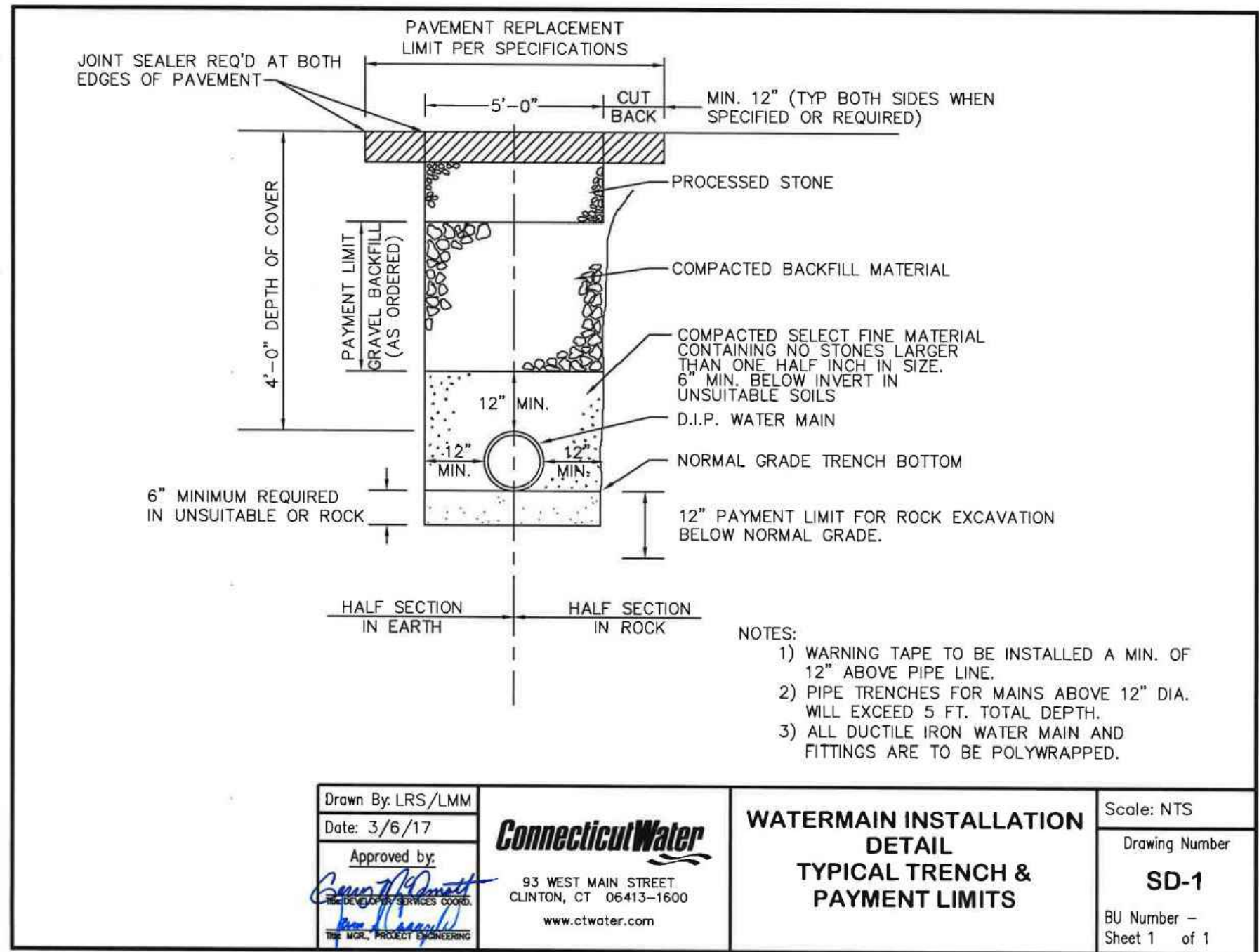
W&S Project No: ENG24-1704

Drawing Title:

CIVIL AND SITE
DETAILS

Sheet Number:

C902



Project:

ConnecticutWater

CONNECTICUT WATER
COMPANY
93 WEST MAIN STREET
CLINTON, CT 06413

EGYPT ROAD
TREATMENT FACILITY DESIGN

15 EGYPT ROAD
ELLINGTON, CT 06029

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Consultants:

Seal:

CERTIFICATION NOT
REQUIRED FOR DETAILS
(PREPARED BY OTHERS)

Revisions:

Rev	Date	Description

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Date: MAY 8, 2025

Drawn By: BMH/NWE

Reviewed By: JSP

Approved By: RGT

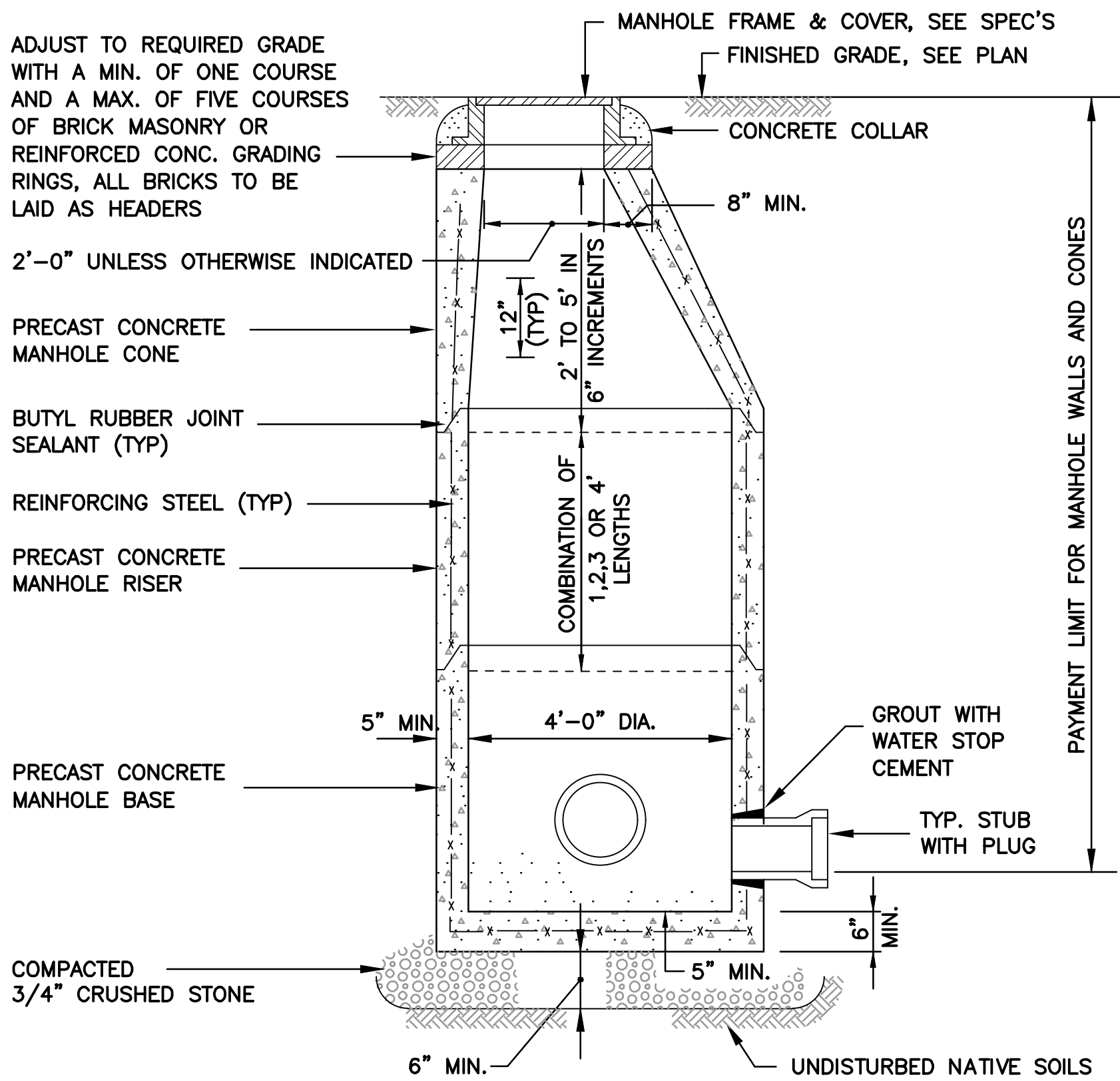
W&S Project No: ENG24-1704

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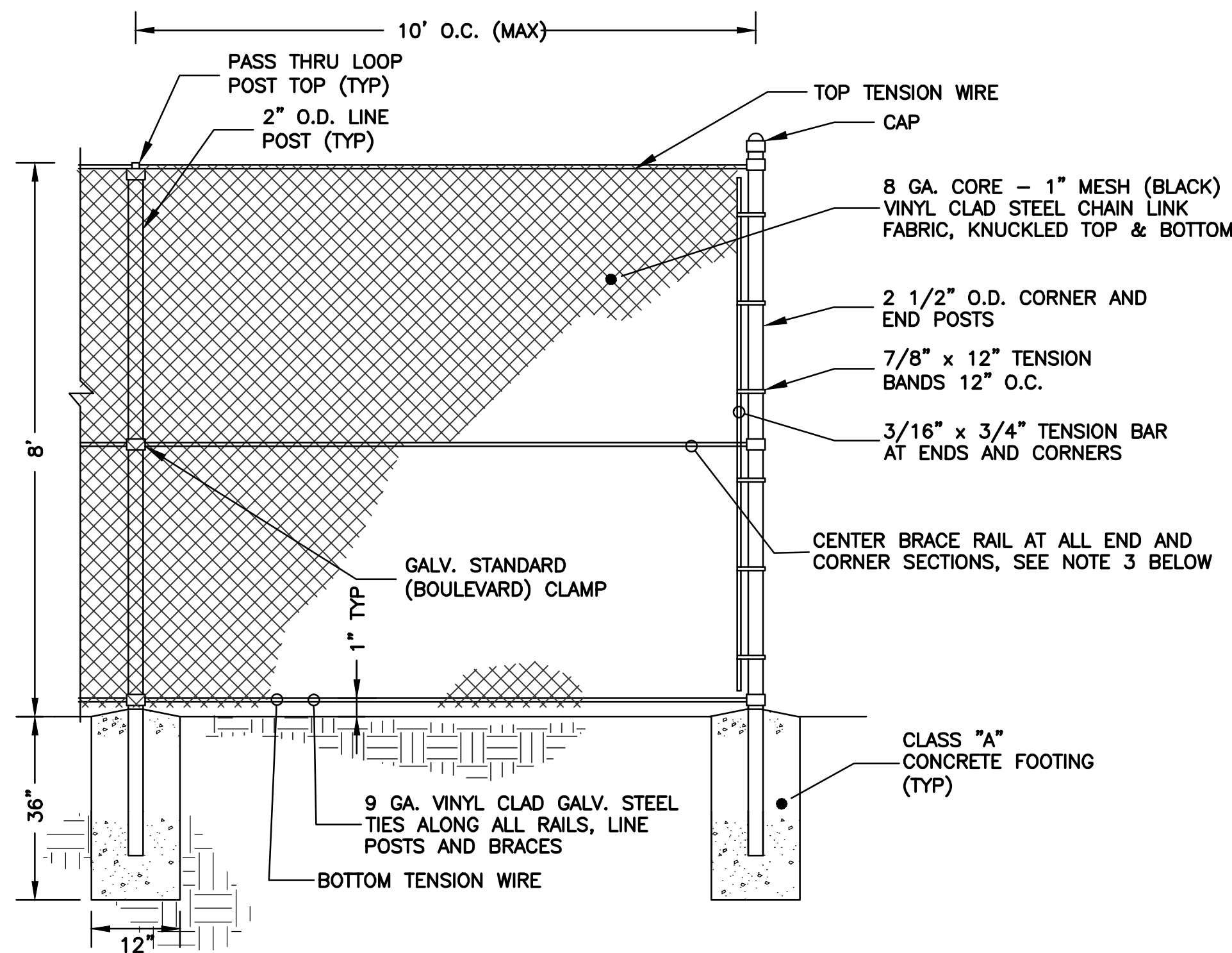
**CIVIL AND SITE
DETAILS**

Sheet Number:

C903

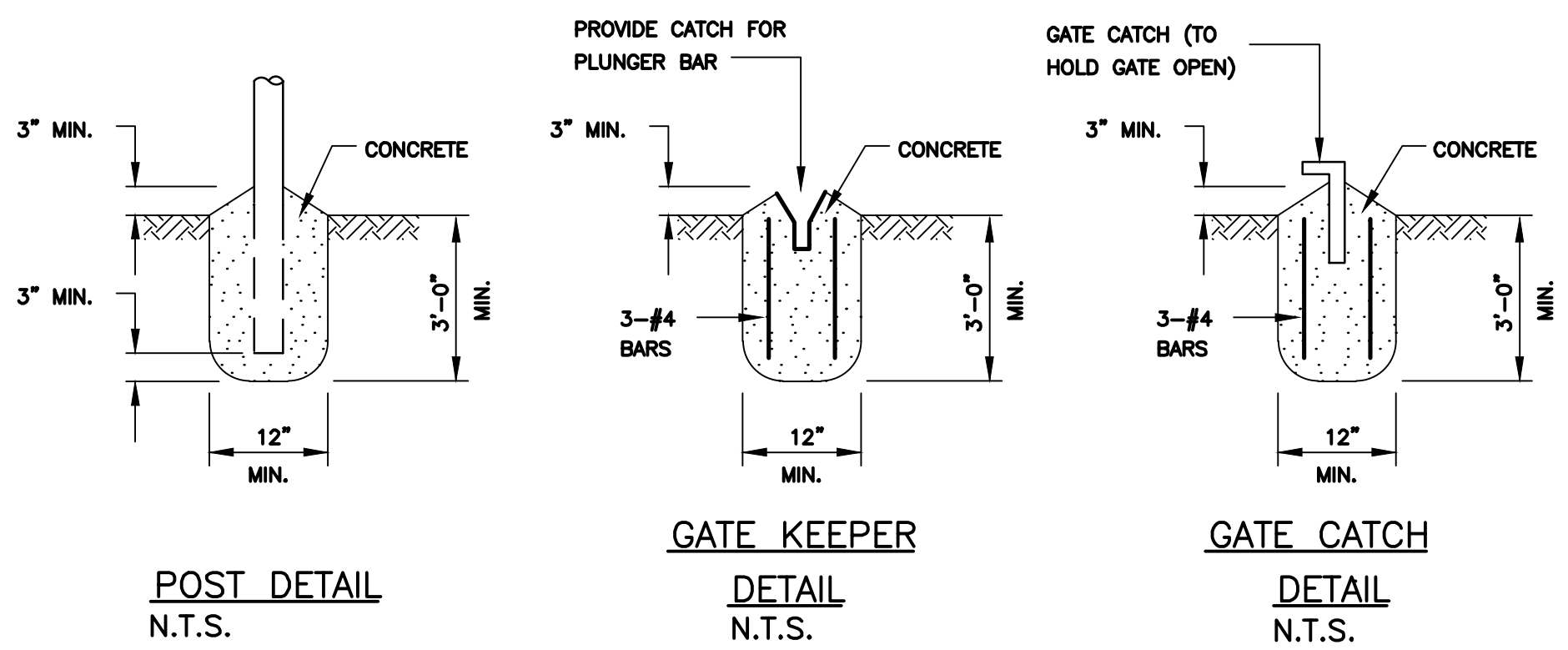


4'-0" DIA. PRECAST CONCRETE STORM DRAIN MANHOLE DETAIL
N.T.S.



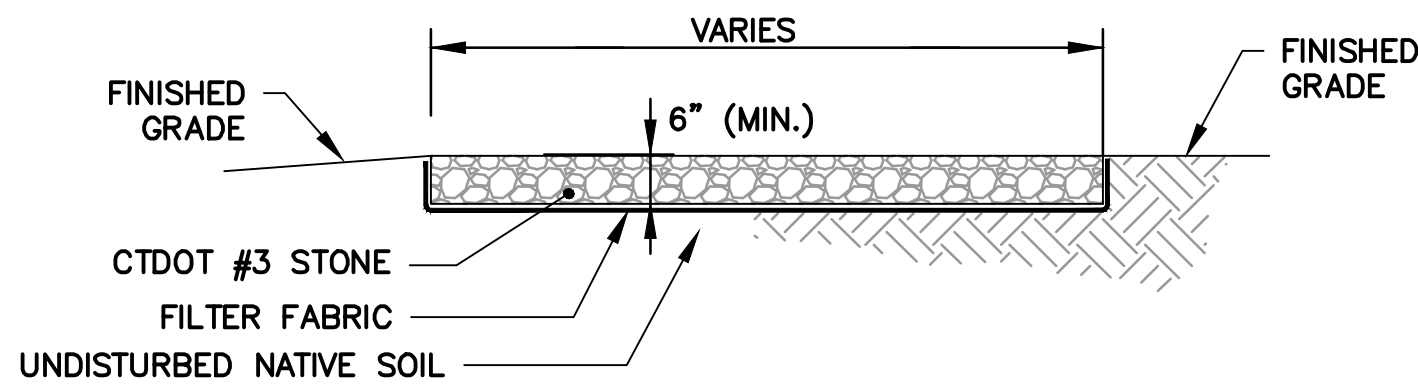
- NOTES:
1. ALL FENCE PIPE SHALL BE SCH. 40, VINYL CLAD HOT DIP GALV. STEEL PIPE. COLOR SHALL BE BLACK. ANY COLOR CHANGE SHALL BE APPROVED BY THE OWNER.
 2. ALL LINE POSTS SHALL BE INSTALLED EQUALLY SPACED BETWEEN END & CORNER POSTS.
 3. ALL CLAMPS, TIES, POST TOPS, BANDS, POSTS, ETC. SHALL BE VINYL CLAD TO MATCH FABRIC.

TYPICAL CHAIN LINK FENCE DETAIL
N.T.S.

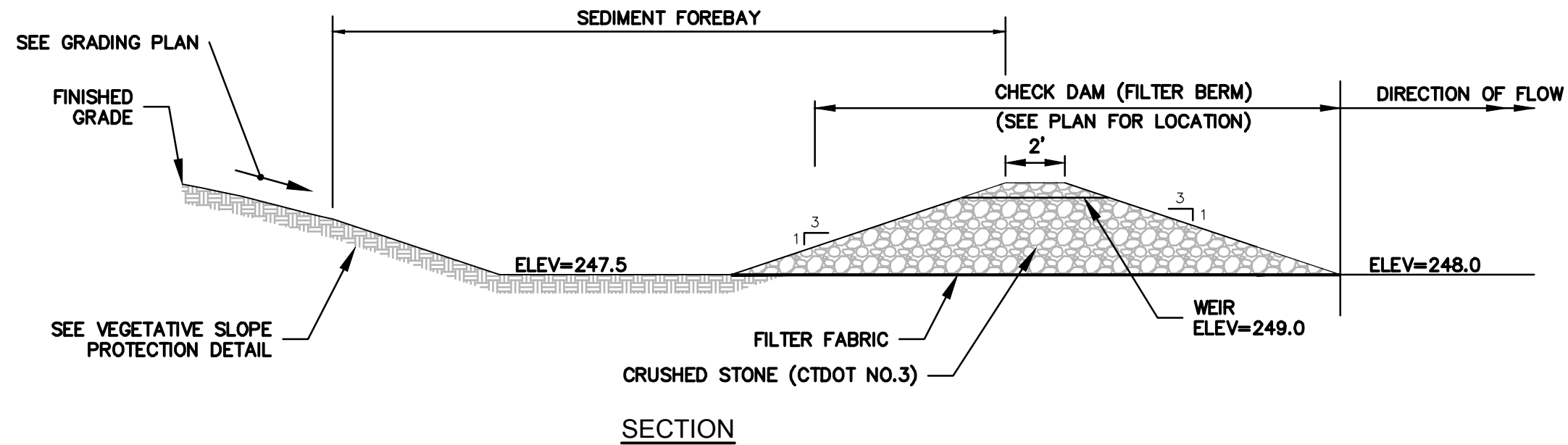
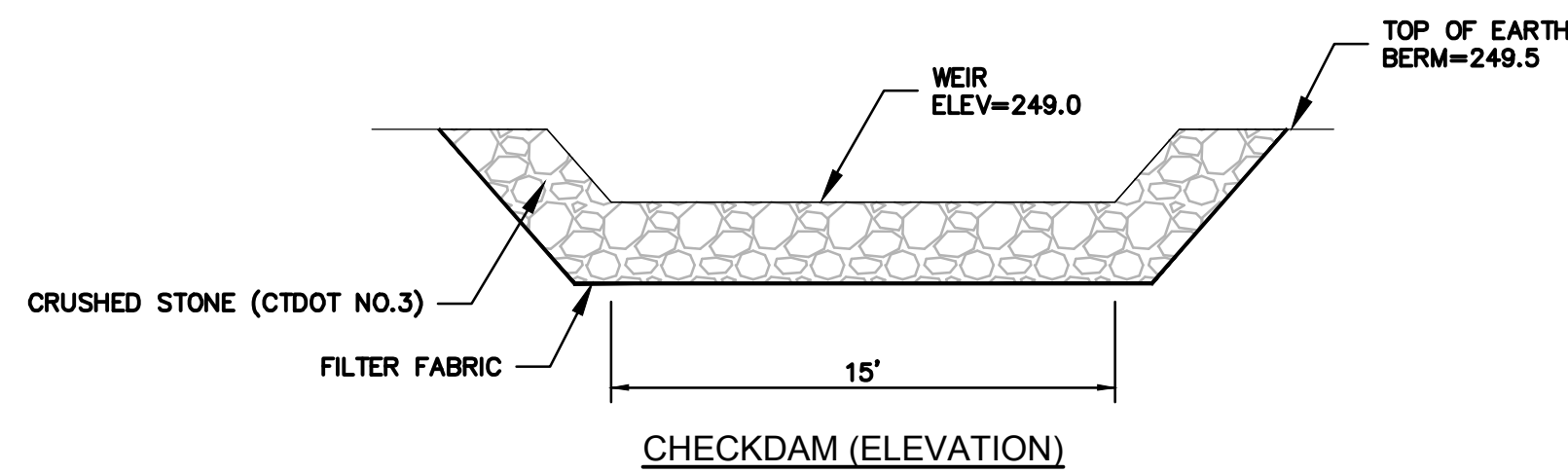


- NOTES:
1. USE CLASS A CONCRETE FOR ALL FOUNDATIONS.

CONCRETE FOUNDATIONS FOR FENCING AND GATES
N.T.S.

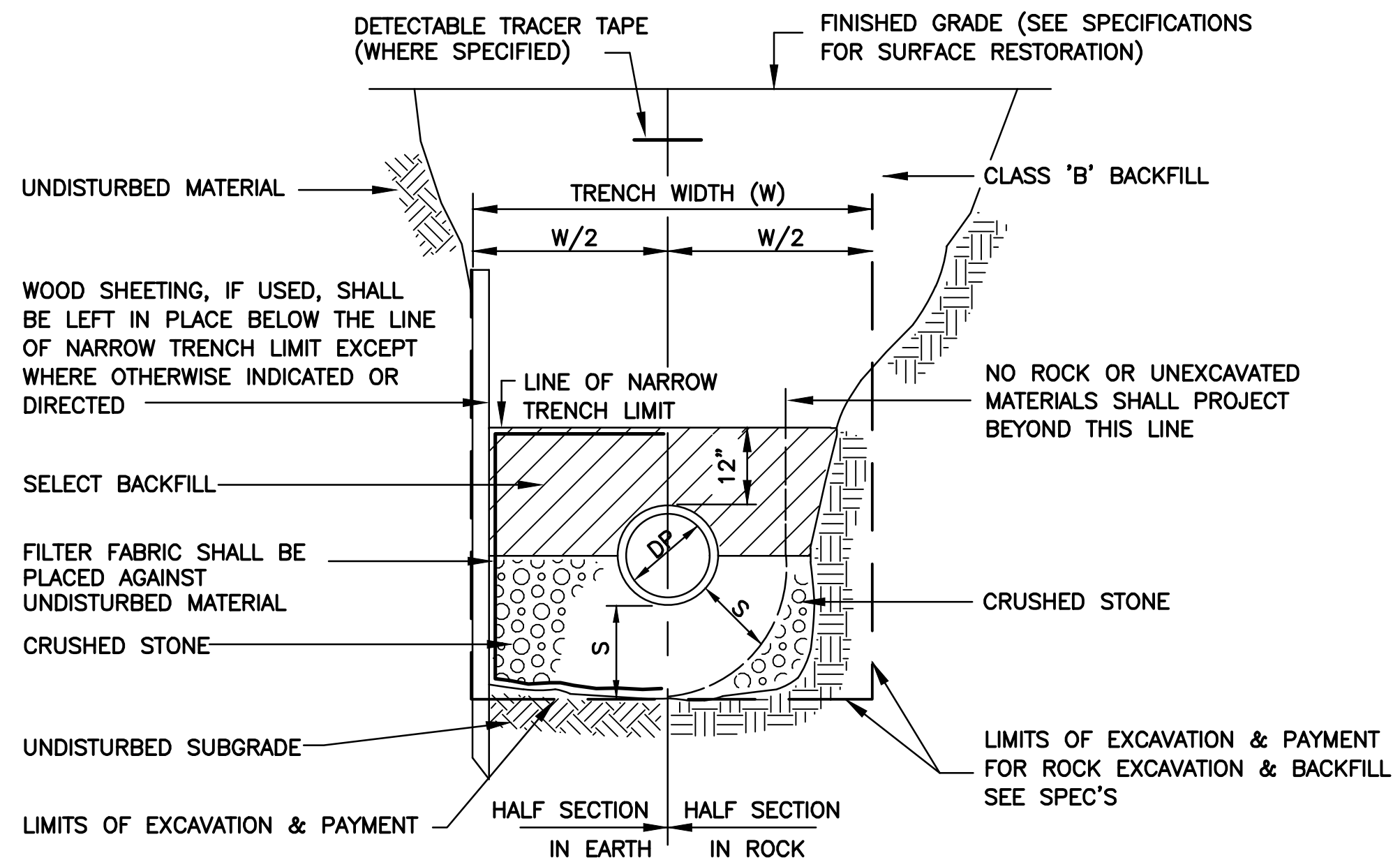


STONE APRON DETAIL
N.T.S.



- NOTES:
1. THE SEDIMENT FOREBAY AND CHECKDAM SHALL BE CONSTRUCTED AFTER SITE IS STABILIZED TO PREVENT CLOGGING WITH SEDIMENT. IF SITE IS NOT STABILIZED, THEN THE FOREBAY AND CHECKDAM SHALL BE LINED WITH FILTER FABRIC UNTIL STABILIZATION HAS BEEN ACHIEVED.

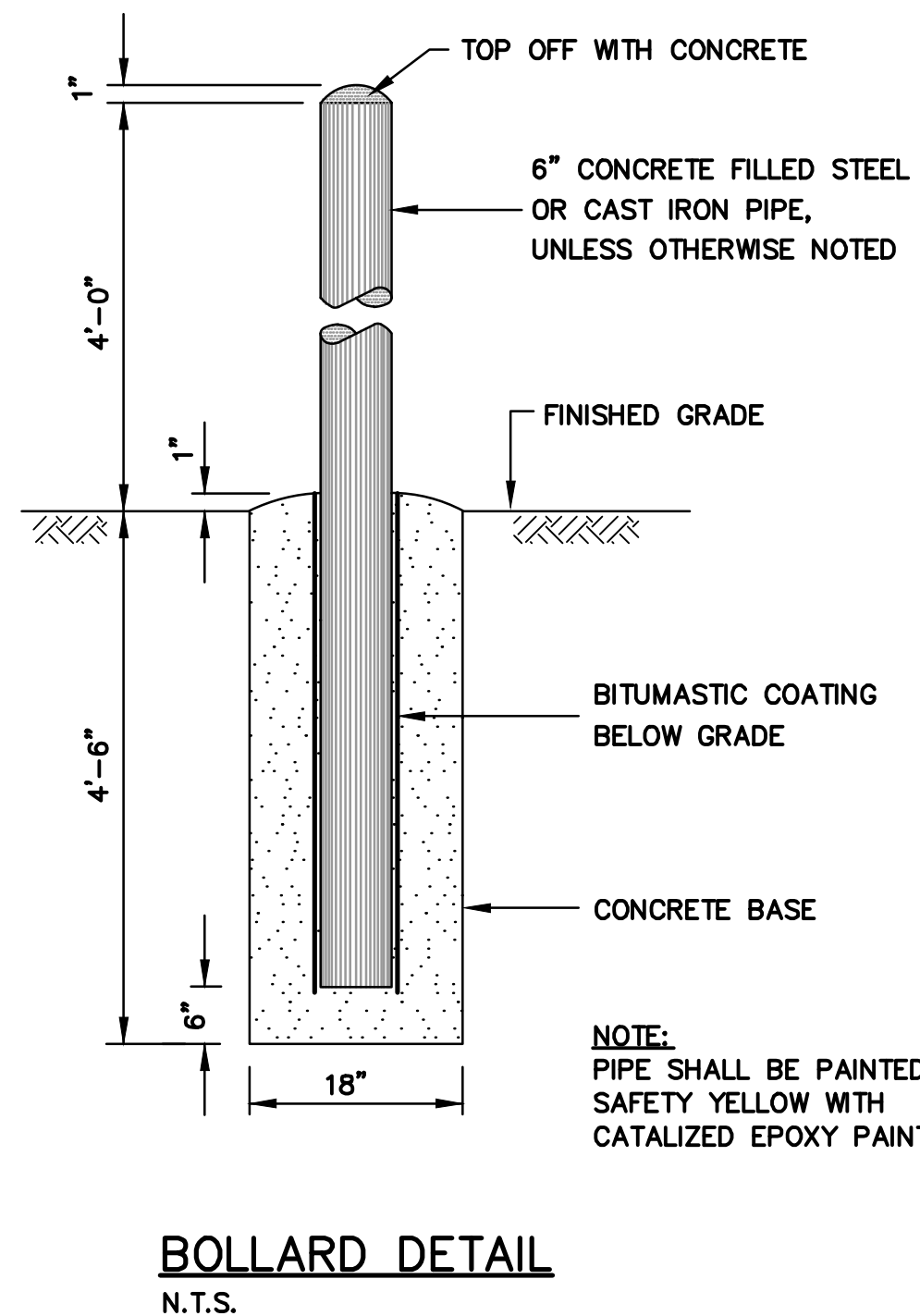
PRE-TREATMENT SEDIMENT FOREBAY DETAIL
N.T.S.



- NOTE:
- FOR W, DP, & S, SEE TABLE A

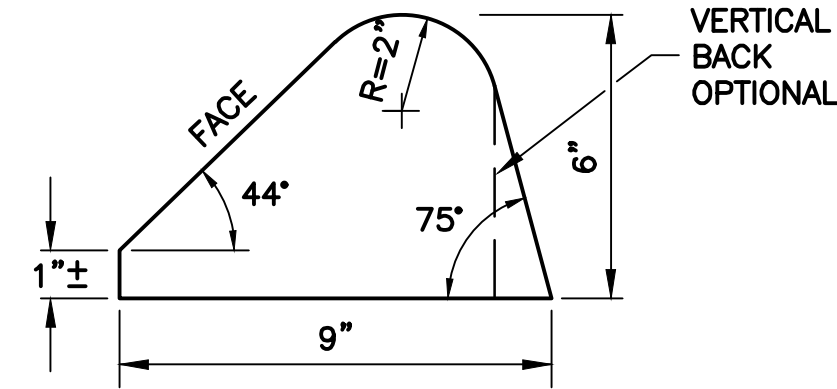
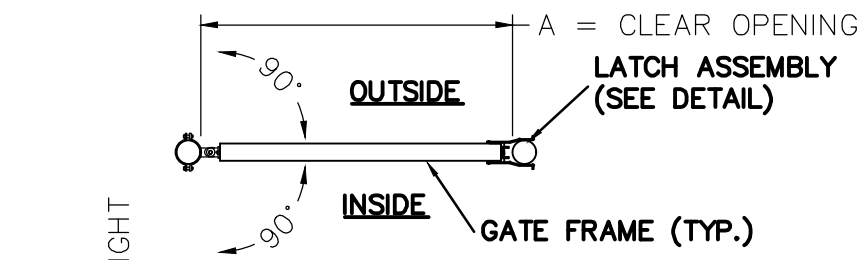
DEPTH TO INVERT	DIAMETER OF PIPE (DP)	MAXIMUM TRENCH WIDTH BELOW LINE OF NARROW TRENCH LIMIT (SHEETED OR UNSHEETED) (W)	MINIMUM CLEARANCE (S)
0-12'	TO 18"	5'	6"
0-12'	21"-24"	5'	7-1/2"
OVER 12'	TO 18"	7'	6"
OVER 12'	21"-24"	7'	7-1/2"

TABLE A

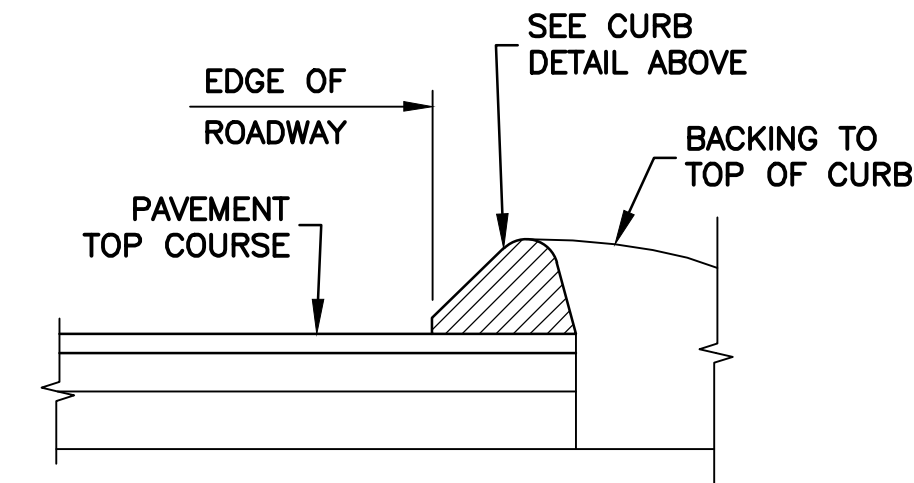
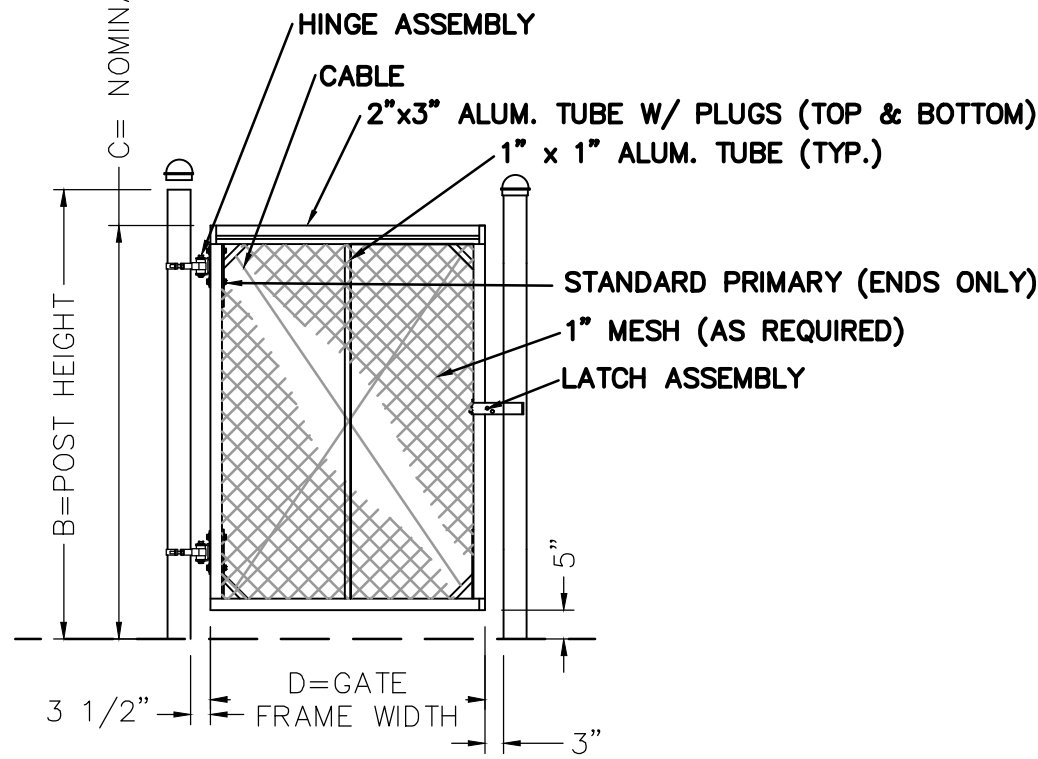


BOLLARD DETAIL
N.T.S.

NOMINAL GATE SIZE		
5' x 8'		
CRITICAL DIMENSION CHART		
A	CLEAR OPENING	5'-0"
B	POST HEIGHT	9'-6"
C	NOMINAL GATE HEIGHT	8'-0"
D	OVERALL GATE LENGTH	4'-5.5"
E	FABRIC HEIGHT	7'-0"



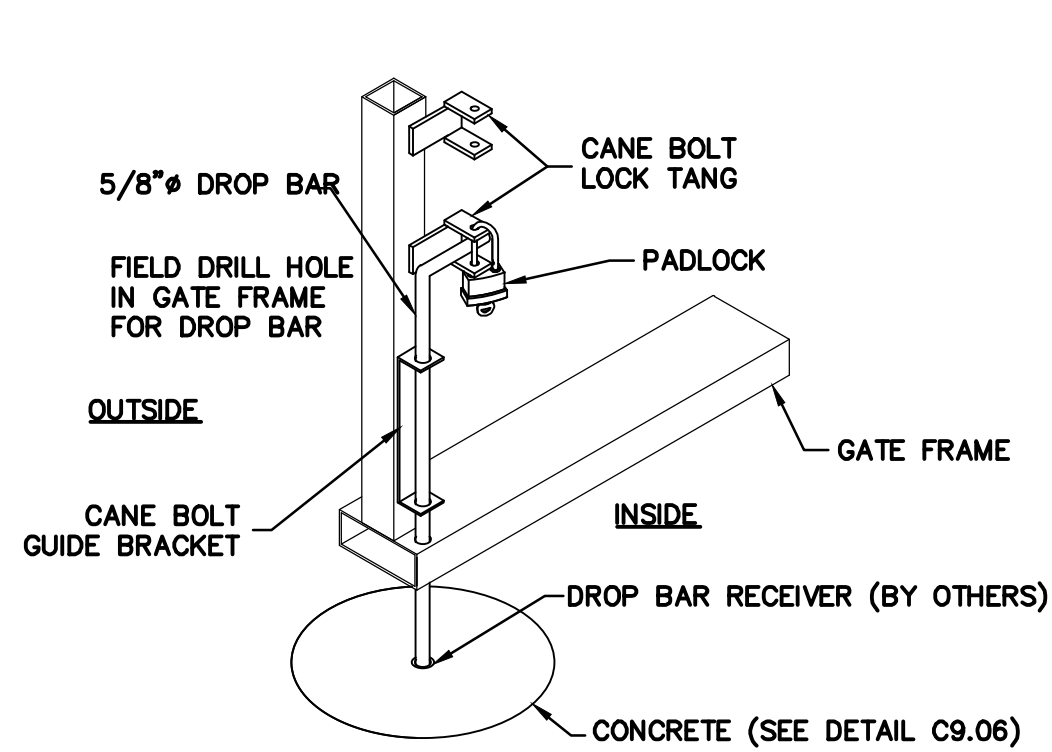
CURB DETAIL
CURB TO MEET CONNDOT STANDARDS



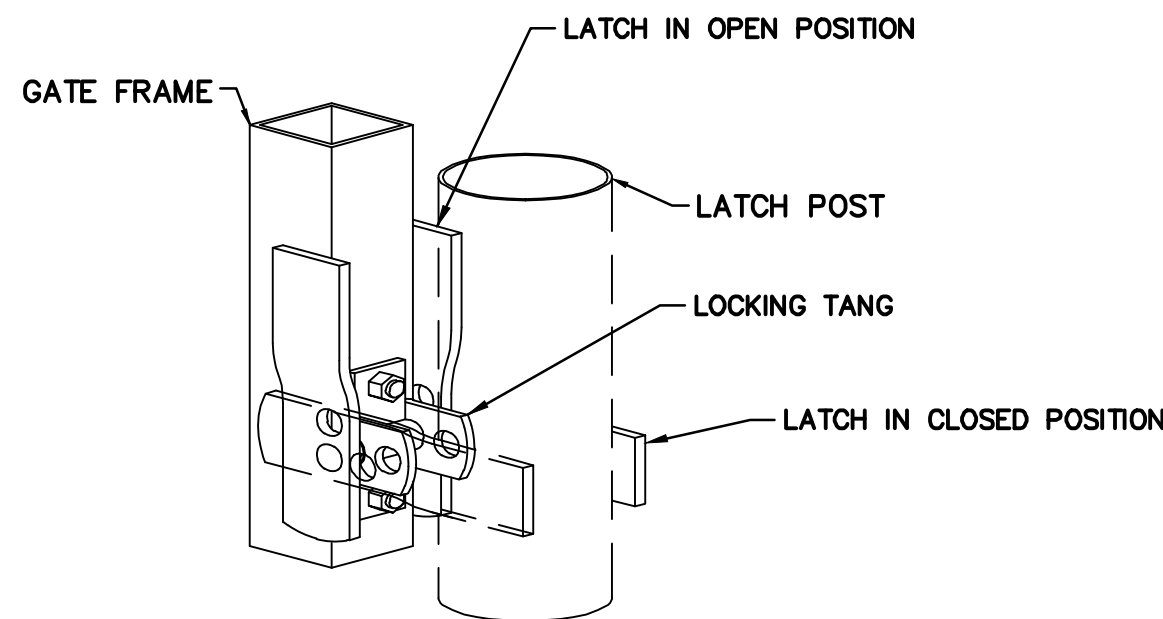
BITUMINOUS CONCRETE LIP CURB
N.T.S.

5' (HEAVY-DUTY) SINGLE SWING GATE DETAIL
N.T.S.

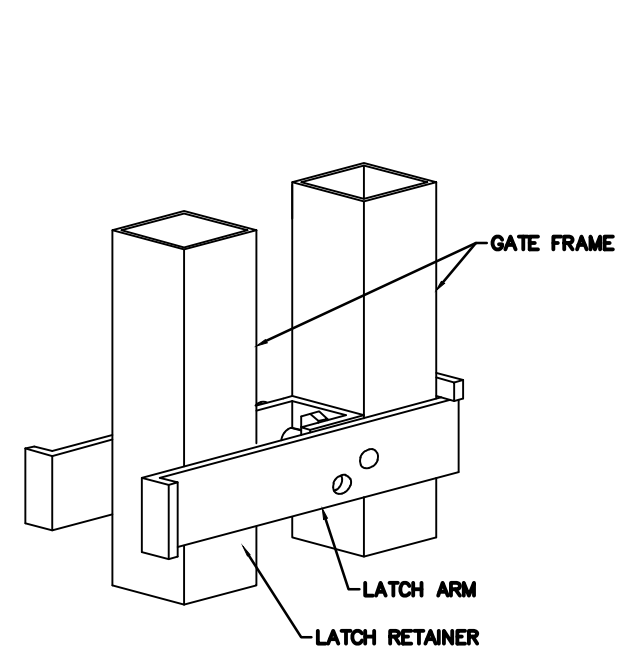
- NOTES:
- HANGER POST SIZE WILL VARY DEPENDING ON THE CLEAR OPENING WIDTH.
 - ALL FITTINGS PROVIDED FOR 4" O.D. POSTS. OTHER SIZES ARE AVAILABLE UPON REQUEST.
 - BARB ARMS AND DROP BAR ASSEMBLY ARE OPTIONAL.
 - GATE ELEVATION IS VIEWED FROM THE INSIDE OF THE SECURE AREA LOOKING OUT. ALL FENCE PIPE SHALL BE SCH. 40, VINYL CLAD HOT DIP GALV. STEEL PIPE. COLOR SHALL BE BLACK. ANY COLOR CHANGE SHALL BE APPROVED BY THE OWNER.
 - ALL CLAMPS, TIES, POST TOPS, BANDS, POSTS, ETC. SHALL BE VINYL CLAD TO MATCH FABRIC.



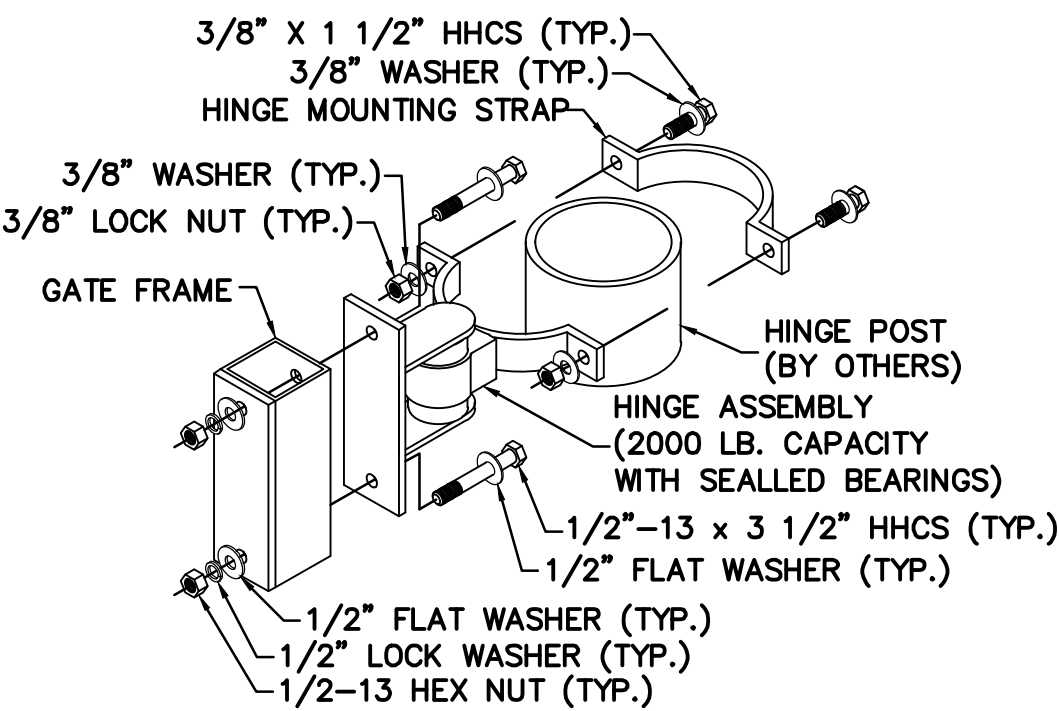
DROP BAR ASSEMBLY (20' CANTILEVER)



LATCH ASSEMBLY (5' SINGLE)

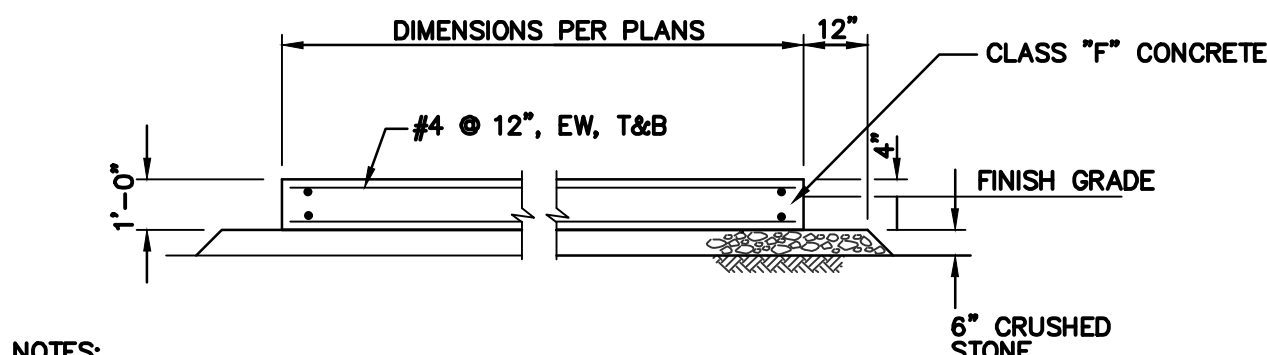


LATCH ASSEMBLY (20' CANTIEVER)



HINGE ASSEMBLY (5' SWING)

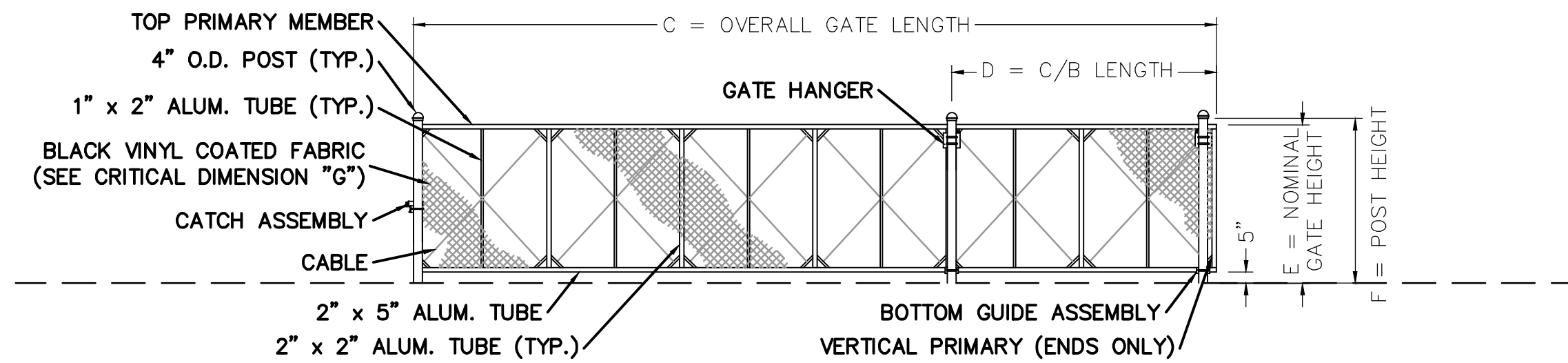
SWING GATE DETAILS
N.T.S.



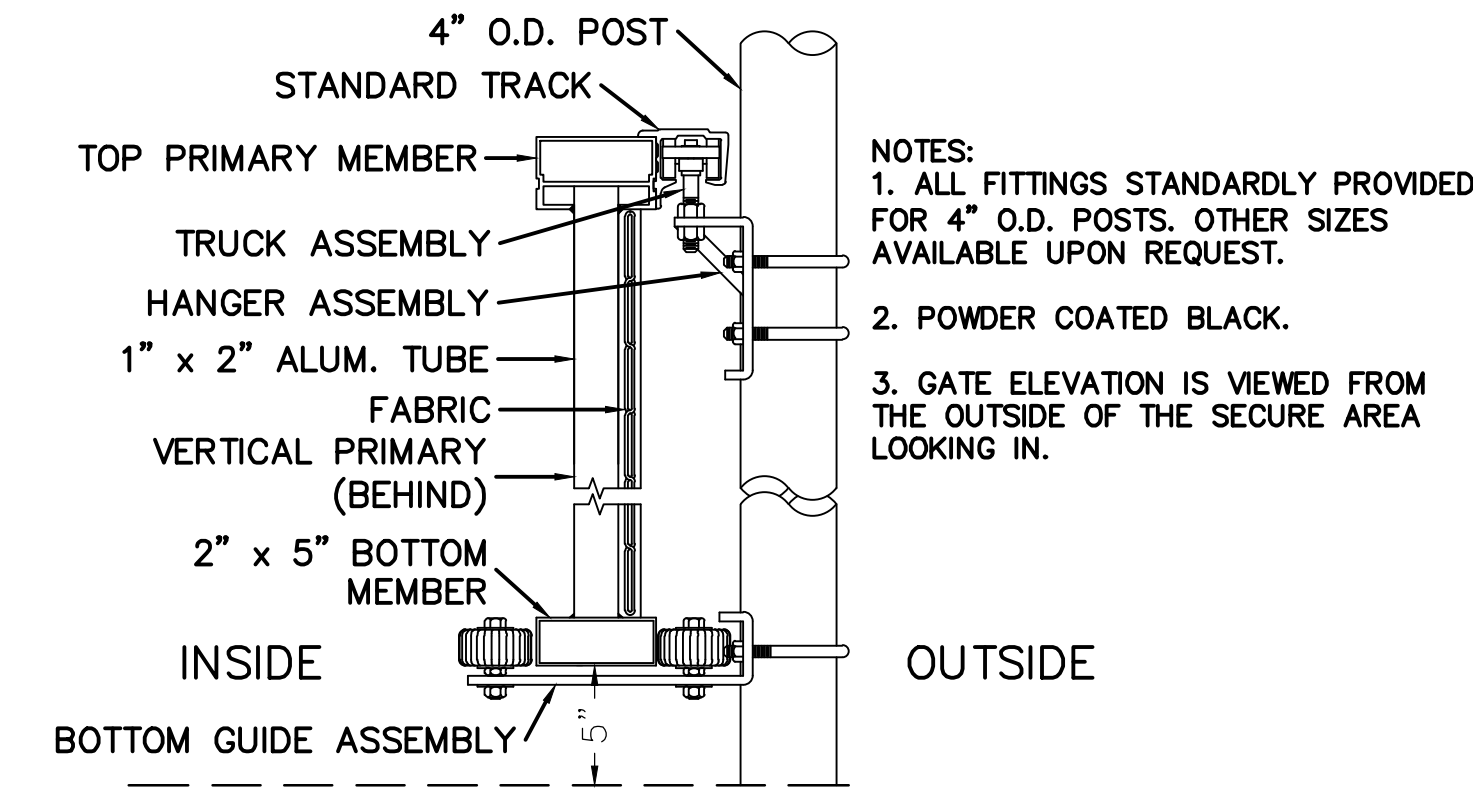
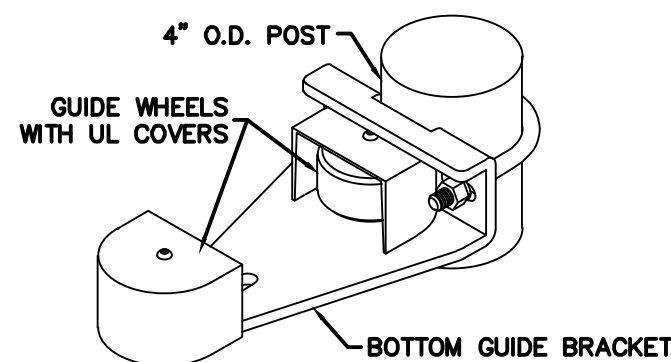
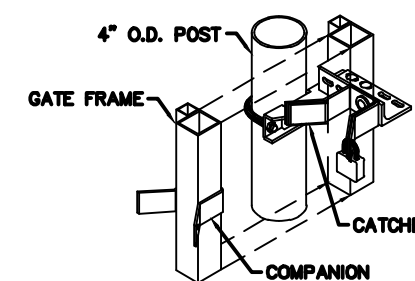
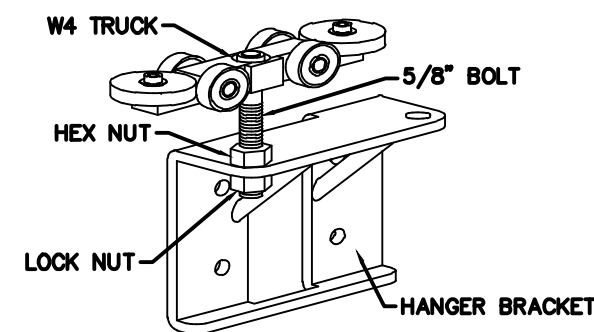
- NOTES:
- SEE ELECTRICAL PLANS AND DETAILS FOR CONDUIT AND WIRING.
 - SEE LAYOUT PLAN FOR LOCATION AND GRADING PLAN FOR FINISH GRADE
 - FIELD VERIFY PAD LOCATION

CONCRETE PAD FOR GENERATOR/PROPANE TANKS
N.T.S.

NOMINAL GATE SIZE		
15'-0" x 8'-0"		
CRITICAL DIMENSION CHART		
A	CLEAR OPENING	15'-0"
B	COUNTERBALANCE POST SPACING C/C	8'-11"
C	OVERALL GATE LENGTH	22'-6"
D	COUNTERBALANCE LENGTH	7'-6"
E	NOMINAL GATE HEIGHT	8'-0"
F	POST HEIGHT	8'-6"
G	FABRIC HEIGHT	7'-0"



CANTILEVER SLIDING GATE DETAIL
N.T.S.



CANTILEVER GATE DETAILS
N.T.S.

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W&S Project No: ENG24-1704

Drawing Title:

CIVIL AND SITE
DETAILS

Sheet Number:

C905

GENERAL ROOF NOTES -
METAL BUILDINGS

1. REFER TO EQUIPMENT, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL ROOF PENETRATIONS AND EQUIPMENT NOT SHOWN. ANY DISCREPANCIES REGARDING LOCATION OF EQUIPMENT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION IN FIELD.
2. ROOF SLOPE = 1" : 1'-0"
3. SEE GENERAL NOTES ON A012
4. ALL GUTTERS TO PITCH TOWARDS DOWNSPOUTS AT A MINIMUM 1/16" PER FOOT AND SUPPORTED AS PER METAL BUILDING MANUFACTURER.
5. ROOF PENETRATIONS TO BE CUT AND FLASHED BY METAL BUILDING MANUFACTURER.
6. PROVIDE ROOF FLASHING AT ALL PENETRATIONS INCLUDING BUT NOT LIMITED TO VENT STACKS, FLUES, AND EXHAUST FANS. REVIEW PLUMBING, EQUIPMENT, MECHANICAL, AND ELECTRICAL DRAWINGS FOR CONSTRUCTION NOT INDICATED ON THIS DRAWING.
7. PROVIDE CRICKETS AT ALL ROOFTOP EQUIPMENT AND PENETRATIONS TO CREATE ADEQUATE ROOF DRAINAGE.
8. SUPPLEMENTAL FRAMING AND CURBS FOR ALL ROOFTOP EQUIPMENT SHALL BE PROVIDED AND INSTALLED BY THE METAL BUILDING MANUFACTURER.

STANDING SEAM METAL
ROOF ASSEMBLY (BY M&M)

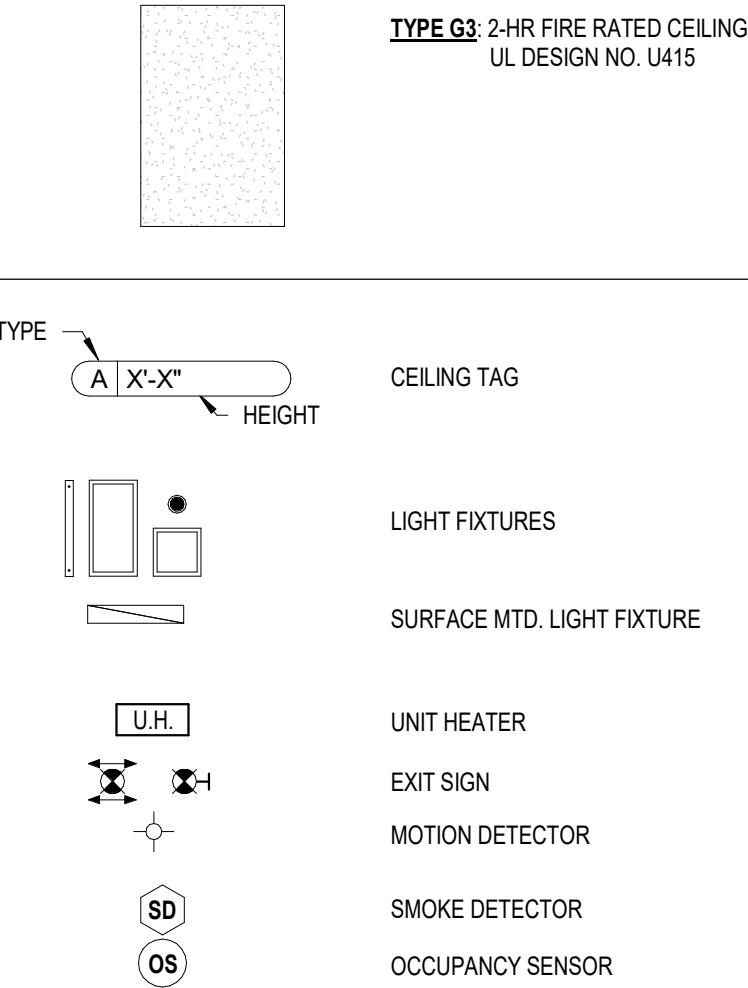
- STANDING SEAM METAL ROOF PANEL
- R-5 THERMAL BLOCKS AT PURLINS W/ UNFACED BATT INSULATION BETWEEN THERMAL BLOCKS (UPPER INSULATION LAYER)
- UNFACED BATT INSULATION LAYER BETWEEN PURLINS (STRUCTURE INSULATION LAYER)
- FABRIC LINER VAPOR RETARDER, TAPE AND SEAL
- ALL PENETRATIONS AND EDGES
- MINIMUM R-VALUE OF 38

GENERAL ROOF NOTES

1. REFER TO EQUIPMENT, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL ROOF PENETRATIONS AND EQUIPMENT NOT SHOWN. ANY DISCREPANCIES REGARDING LOCATION OF EQUIPMENT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION IN FIELD.
2. ROOF SLOPE = 6 / 12
3. SEE GENERAL NOTES ON A021
4. PROVIDE ROOF FLASHING AT ALL PENETRATIONS INCLUDING BUT NOT LIMITED TO VENT STACKS, FLUES, AND EXHAUST FANS. REVIEW PLUMBING, EQUIPMENT, MECHANICAL, AND ELECTRICAL DRAWINGS FOR CONSTRUCTION NOT INDICATED ON THIS DRAWING.
5. PROVIDE CRICKETS AT ALL ROOFTOP EQUIPMENT AND PENETRATIONS TO CREATE ADEQUATE ROOF DRAINAGE.

REFLECTED CEILING PLAN LEGEND

CEILING TYPES:



REFLECTED CEILING PLAN NOTES

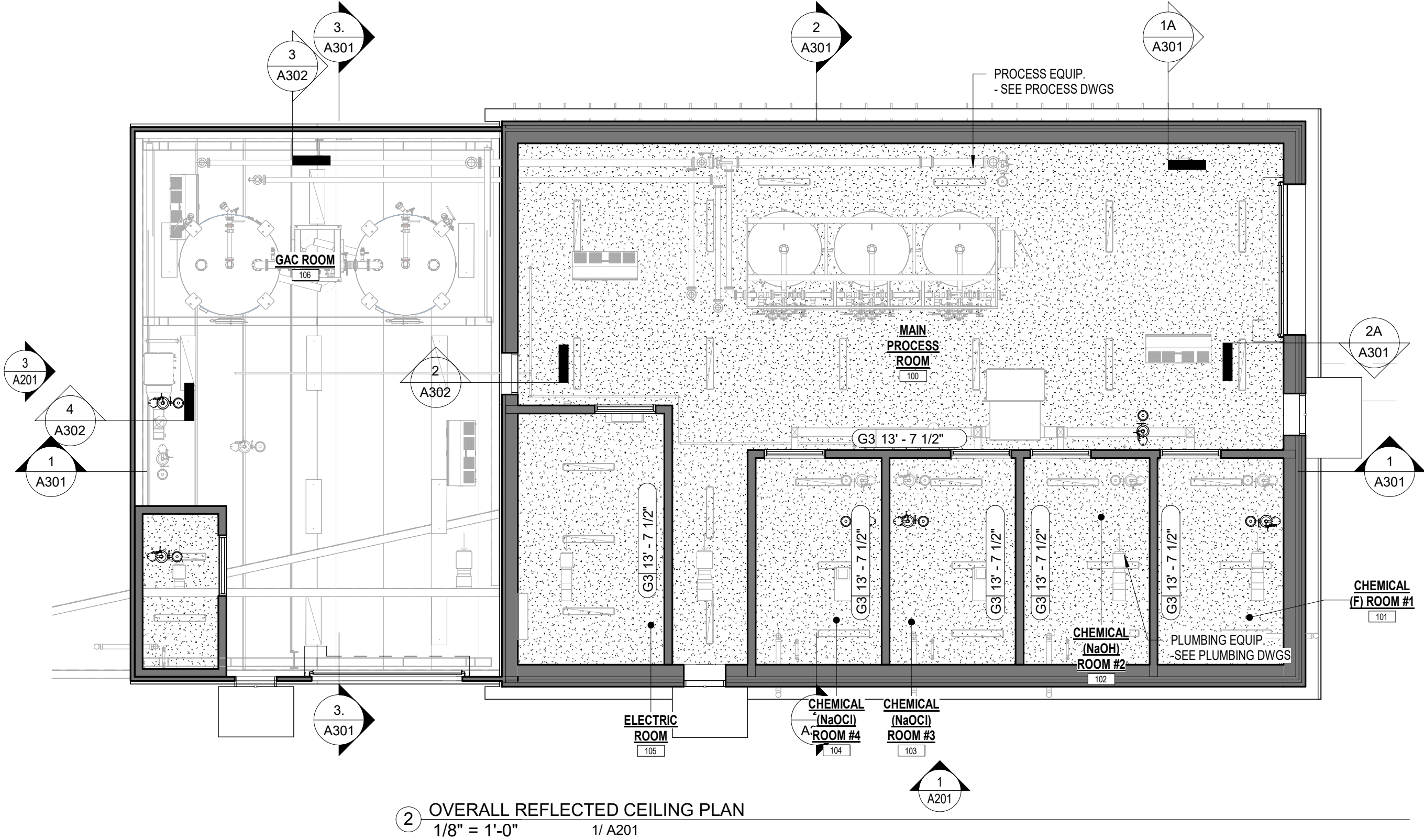
1. REFER TO M.E.P DRAWINGS FOR LOCATION OF LIGHT FIXTURES, SUPPLIES, RETURNS AND ADDITIONAL CEILING INFORMATION.
2. COORDINATE QUANTITY AND LOCATION OF LIGHT FIXTURES WITH ELECTRICAL DRAWINGS.
3. LIGHT FIXTURE SYMBOLS ON REFLECTED CEILING PLANS ARE DIAGRAMMATIC FOR REFERENCE ONLY. REFER TO ELECTRICAL DRAWINGS FOR TYPE OF LIGHT FIXTURES. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR QUANTITY OF LIGHT FIXTURES AS INDICATED ON THE ELECTRICAL DRAWINGS.
4. FOR CEILING HEIGHTS AND TYPES, REFER TO REFLECTED CEILING PLAN DRAWINGS.
5. NO SUSPENDED LOADS SHALL BE SUPPORTED BY THE ROOF DECK. THIS INCLUDES PIPING, DUCTWORK, MECHANICAL EQUIPMENT, STAGE RIGGING, CEILING, ETC. ALL STEEL FRAMING MEMBERS PREFERABLY UTILIZING A SYSTEM OF UNISTRUTS, BEAM CLAMPS, AND THREADED RODS. ALL ATTACHMENT DEVICES SHALL BE SUBMITTED FOR REVIEW AND ARE SUBJECT TO APPROVAL OF THE DESIGNER.
6. COORDINATE QUANTITY AND LOCATION FOR EXIT SIGNS WITH ELECTRICAL DRAWINGS.

FLOOR PLAN GENERAL NOTES:

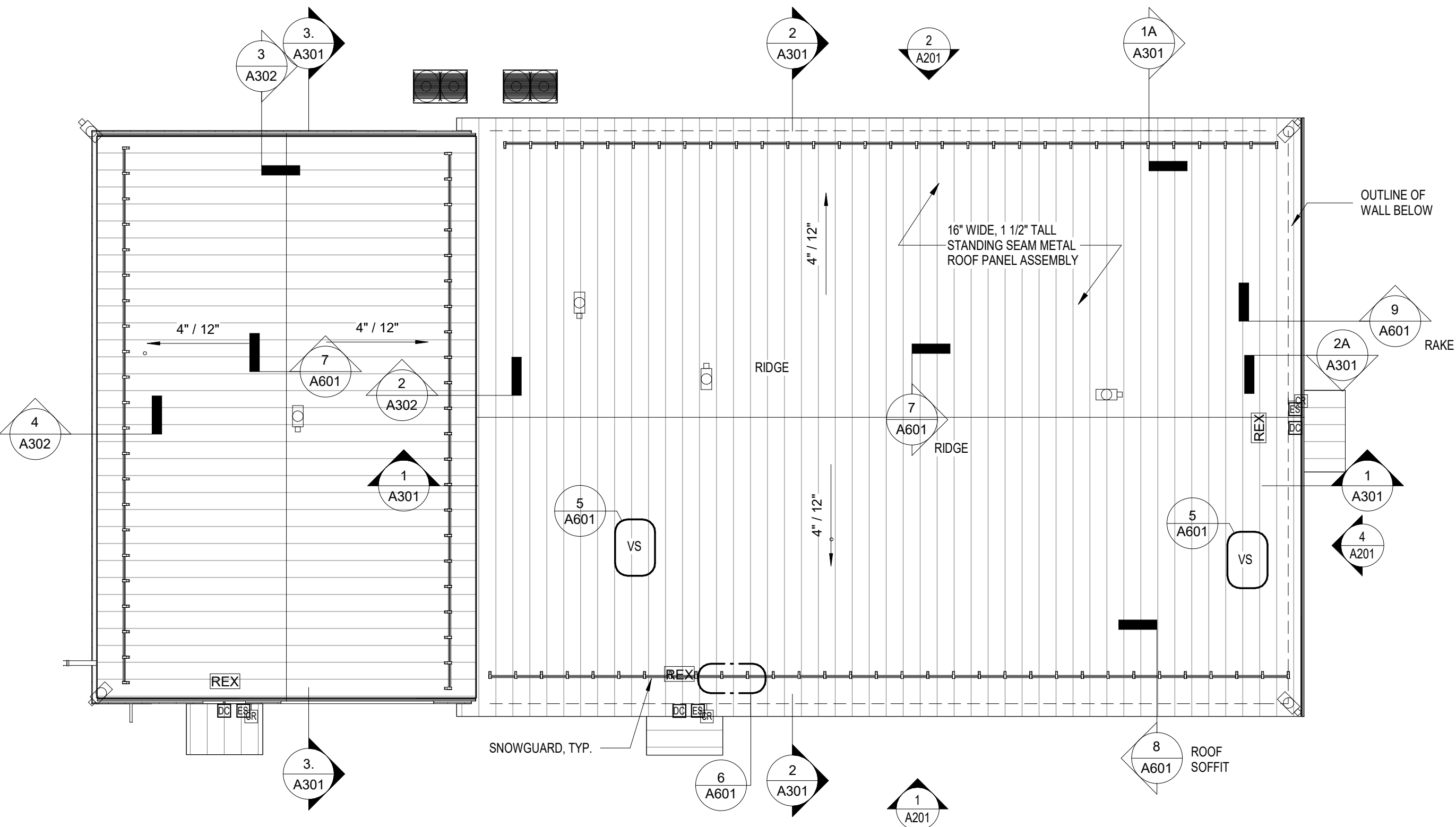
1. PROCESS SHOWN FOR REFERENCE ONLY. SEE MECHANICAL/PROCESS DRAWINGS FOR MORE INFO.
2. F.E. = FIRE EXTINGUISHER.
⇔ BRACKET MOUNTED
3. ALL INTERIOR DIMENSIONS ARE TAKEN FROM FACE OF GYPSUM WALL BOARD TO FACE OF GYPSUM WALL BOARD OR FACE OF CMU UNLESS SPECIFICALLY NOTED OTHERWISE.
4. SEE SHEET A021 FOR PLUMBING FIXTURE SCHEDULE / MOUNTING HEIGHTS.

ROOM FINISH SCHEDULE

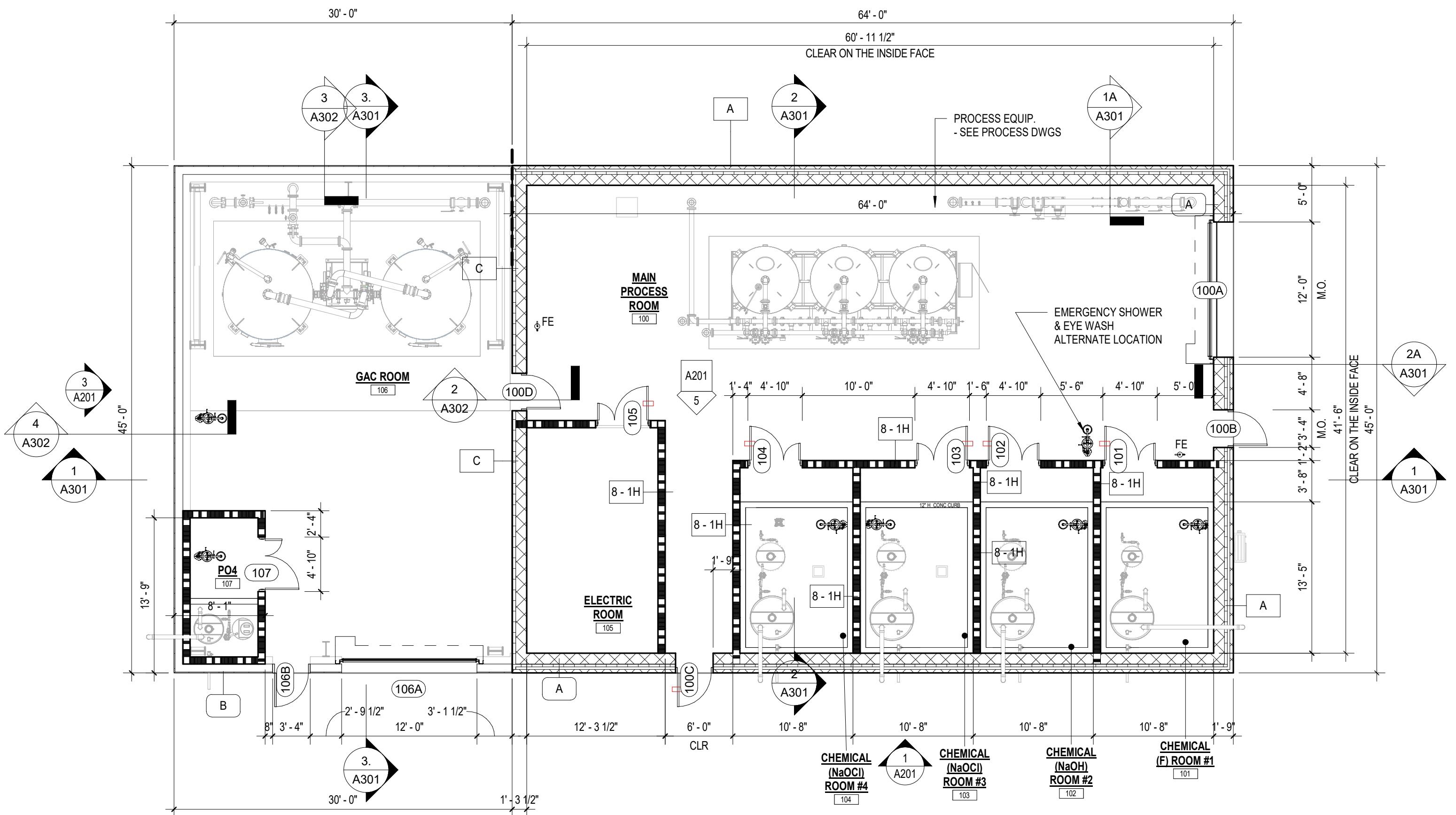
#	ROOM NAME	FLOOR			WALLS		CEILING			REMARKS
		MAT	FINISH	BASE	MAT	FINISH	MAT	FINISH	HEIGHT	
100	MAIN PROCESS ROOM	CONC	SC	CMU	CMU	PNT	GWB	PNT	13'-10 1/2"	G3 PAINT WALLS AND CURBS IN CHEMICAL CONTAINMENT AREAS APPROPRIATELY PER 09 90 00 - 2.01 A & B
101	CHEMICAL (F) ROOM #1	CONC	SC	CMU	CMU	PNT	GWB	PNT	13'-10 1/2"	G3 PAINT WALLS AND CURBS IN CHEMICAL CONTAINMENT AREAS APPROPRIATELY PER 09 90 00 - 2.01 A & B
102	CHEMICAL (NaOH) ROOM #2	CONC	SC	CMU	CMU	PNT	GWB	PNT	13'-10 1/2"	G3 PAINT WALLS AND CURBS IN CHEMICAL CONTAINMENT AREAS APPROPRIATELY PER 09 90 00 - 2.01 A & B
103	CHEMICAL (NaOCl) ROOM #3	CONC	SC	CMU	CMU	PNT	GWB	PNT	13'-10 1/2"	G3 PAINT WALLS AND CURBS IN CHEMICAL CONTAINMENT AREAS APPROPRIATELY PER 09 90 00 - 2.01 A & B
104	CHEMICAL (NaOCl) ROOM #4	CONC	SC	CMU	CMU	PNT	GWB	PNT	13'-10 1/2"	G3 PAINT WALLS AND CURBS IN CHEMICAL CONTAINMENT AREAS APPROPRIATELY PER 09 90 00 - 2.01 A & B
105	ELECTRIC ROOM	CONC	SC	CMU	CMU	PNT	GWB	PNT	13'-10 1/2"	G3 PAINT WALLS AND CURBS IN CHEMICAL CONTAINMENT AREAS APPROPRIATELY PER 09 90 00 - 2.01 A & B
106	GAC ROOM	CONC	SC	CONC	MTL PNL	PREFIN	-	-	-	G3 PAINT WALLS AND CURBS IN CHEMICAL CONTAINMENT AREAS APPROPRIATELY PER 09 90 00 - 2.01 A & B
107	PO4	CONC	SC	CMU	CMU	PNT	GWB	PNT	-	G3 PAINT WALLS AND CURBS IN CHEMICAL CONTAINMENT AREAS APPROPRIATELY PER 09 90 00 - 2.01 A & B



② OVERALL REFLECTED CEILING PLAN
1/8" = 1'-0" 1/ A201



③ OVERALL ROOF PLAN
1/8" = 1'-0" 1/ A201



① OVERALL FLOOR PLAN
1/8" = 1'-0" 1/ A201

0' 4' 8' 16'
SCALE: 1/8" = 1'-0"

Project:
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Key Plan:



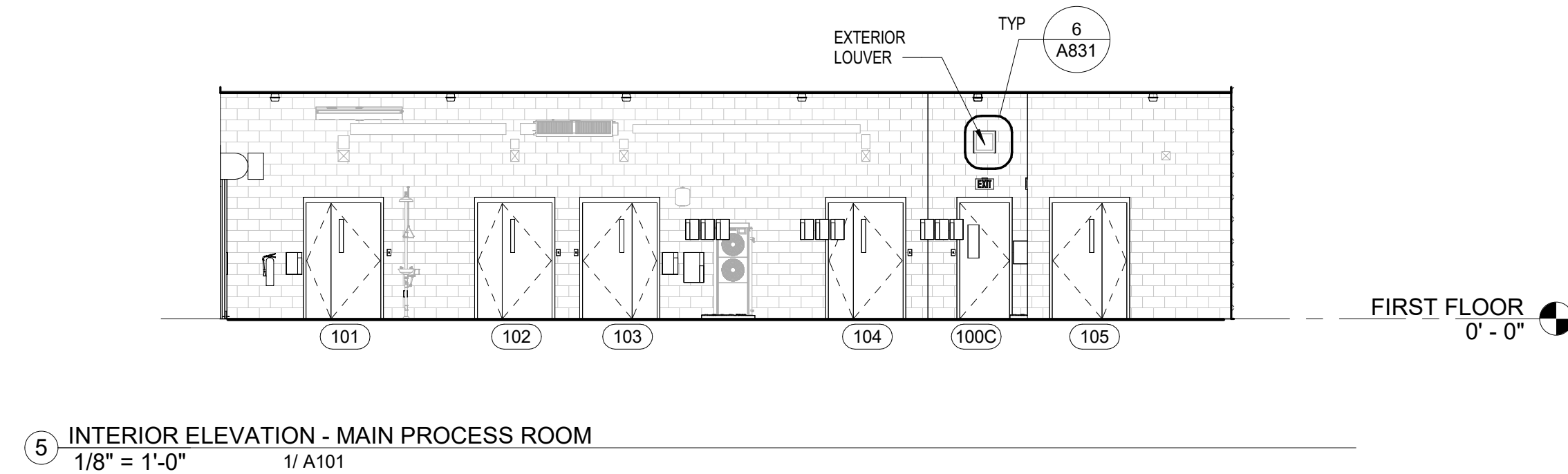
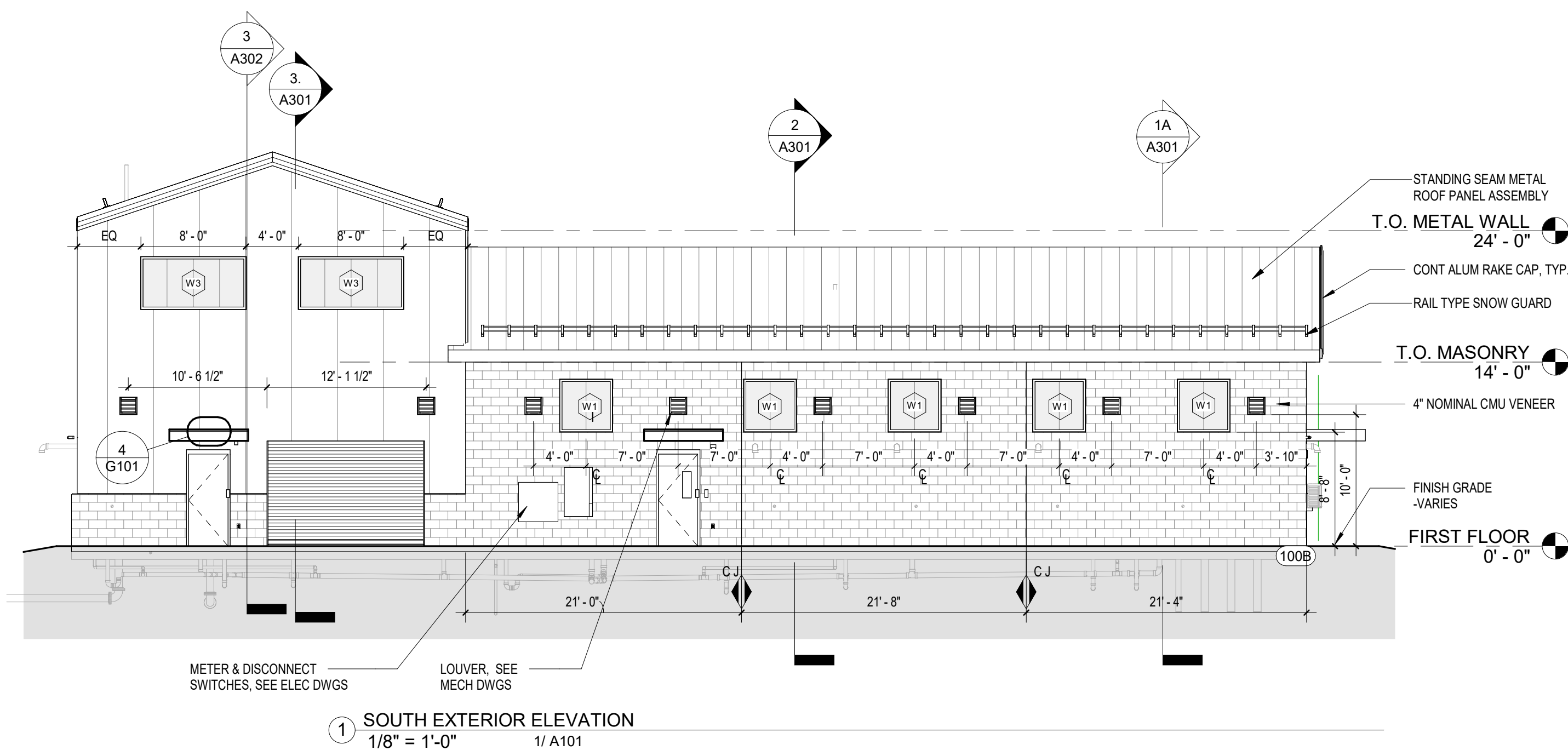
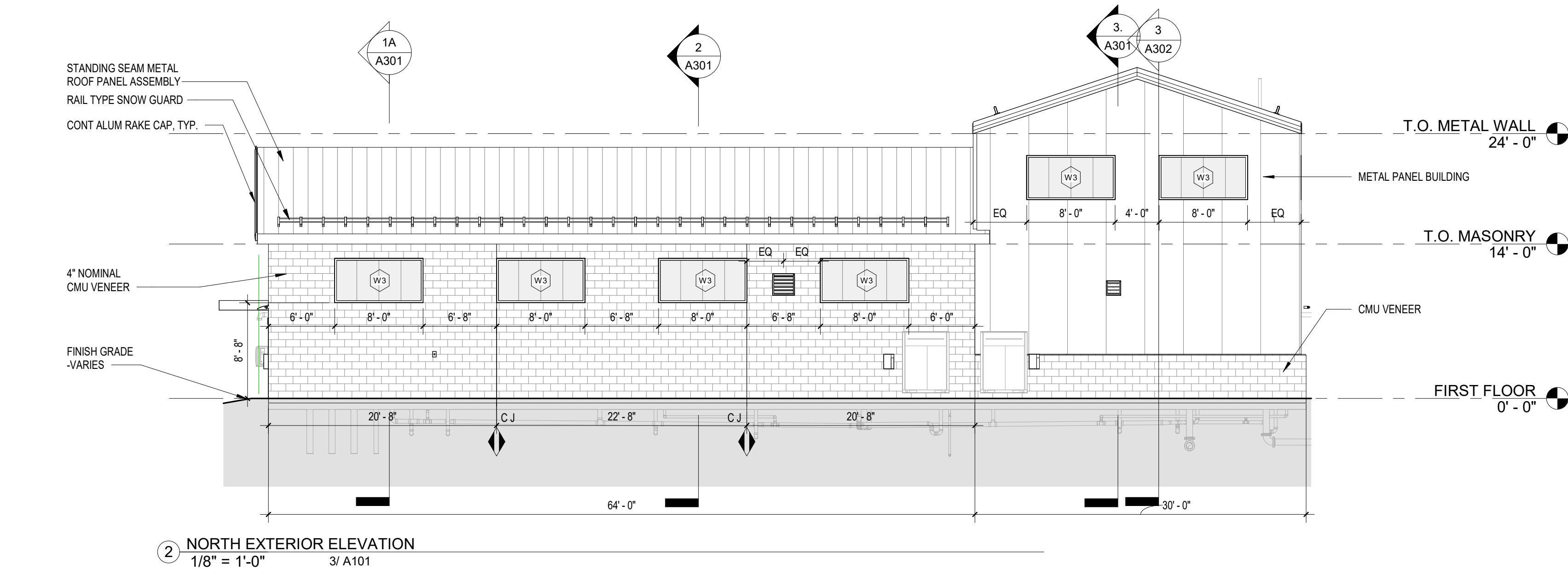
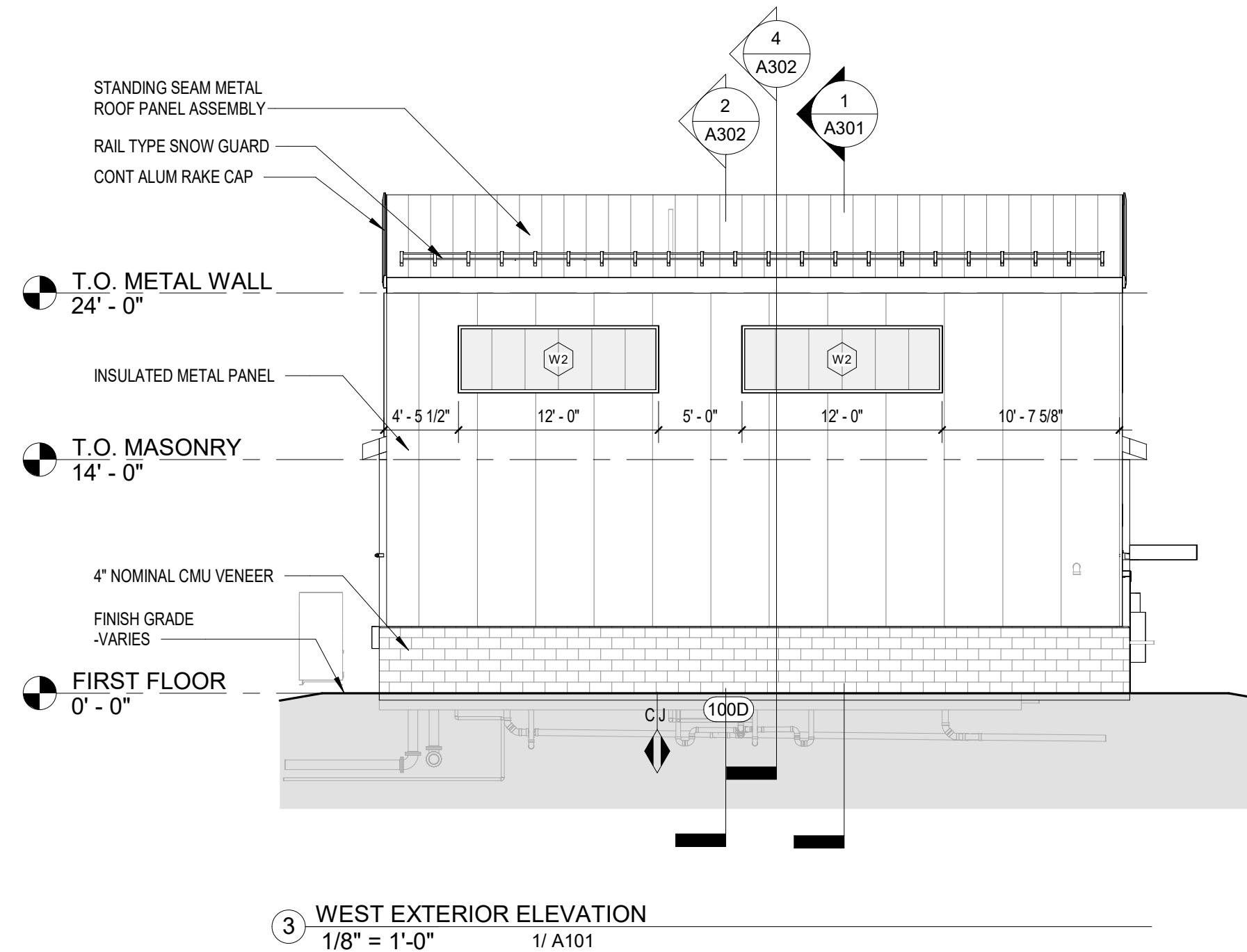
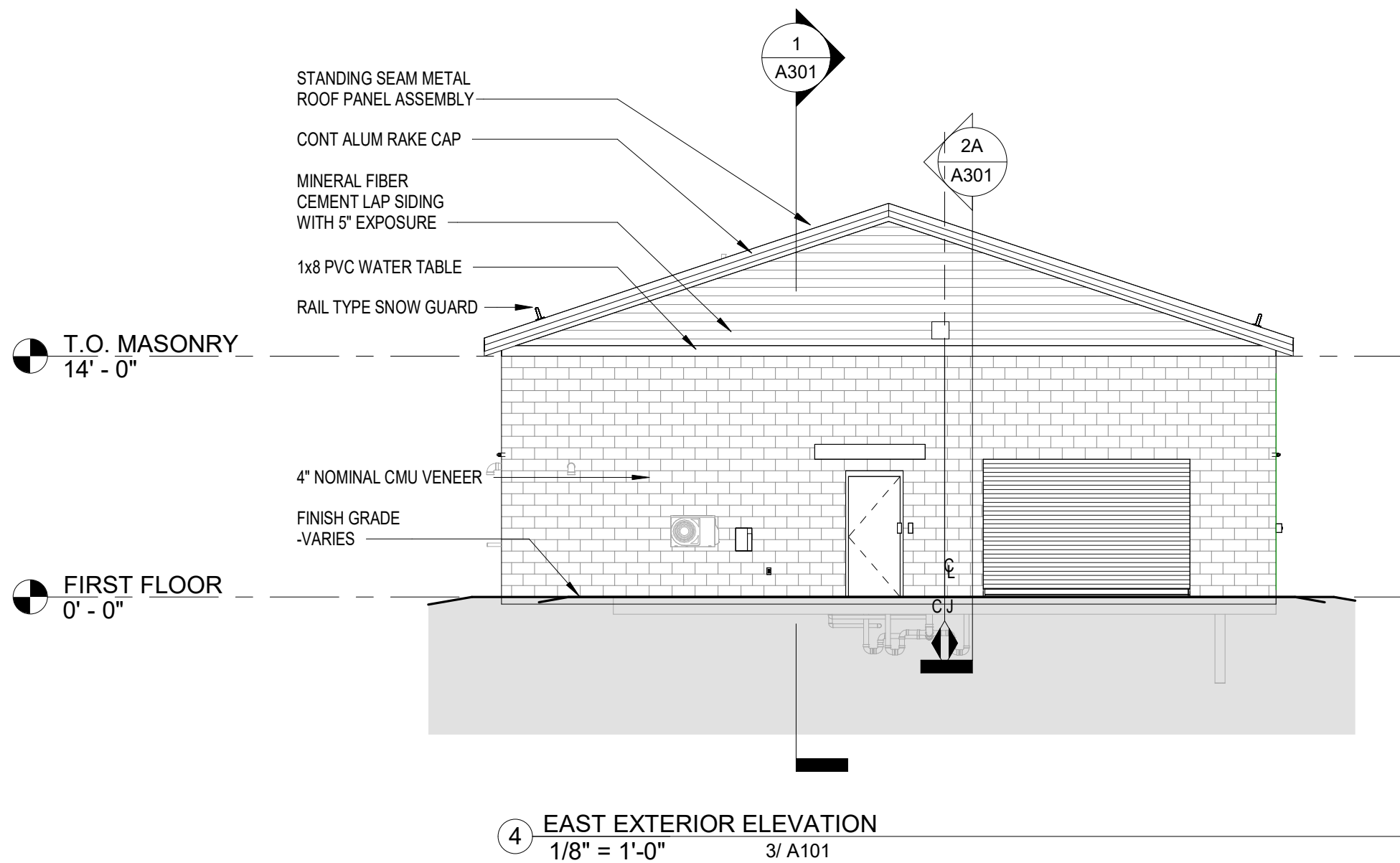
Date: MAY 08, 2025
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Reviewed By: BPM
Approved By: DGT
W&S Project No.: ENG24-1704
W&S File No.: TBD

Drawing Title:

BUILDING PLANS

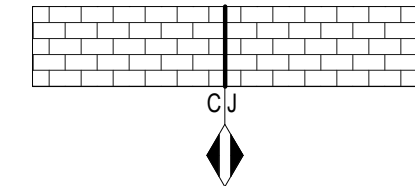
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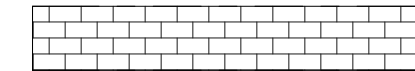


ELEVATION LEGEND:

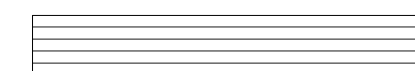
CONTROL JOINT LOCATION
-REFER TO DETAIL 3/A601 FOR ADDITIONAL INFO



4" NOMINAL CMU VENEER



MINERAL FIBER CEMENT LAP SIDING
WITH 5" EXPOSURE



NOTES:

- COORDINATE OPENINGS NOT SHOWN WITH EQUIPMENT AND MEP/FP DRAWINGS.
- FOR MOCK-UP REQUIREMENTS, SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

Project:

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Key Plan:

Date: MAY 08, 2025

Drawn By: MMS

Reviewed By: BPM

Approved By: DGT

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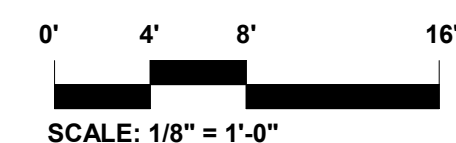
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Drawing Title:

**EXTERIOR &
INTERIOR
ELEVATIONS**

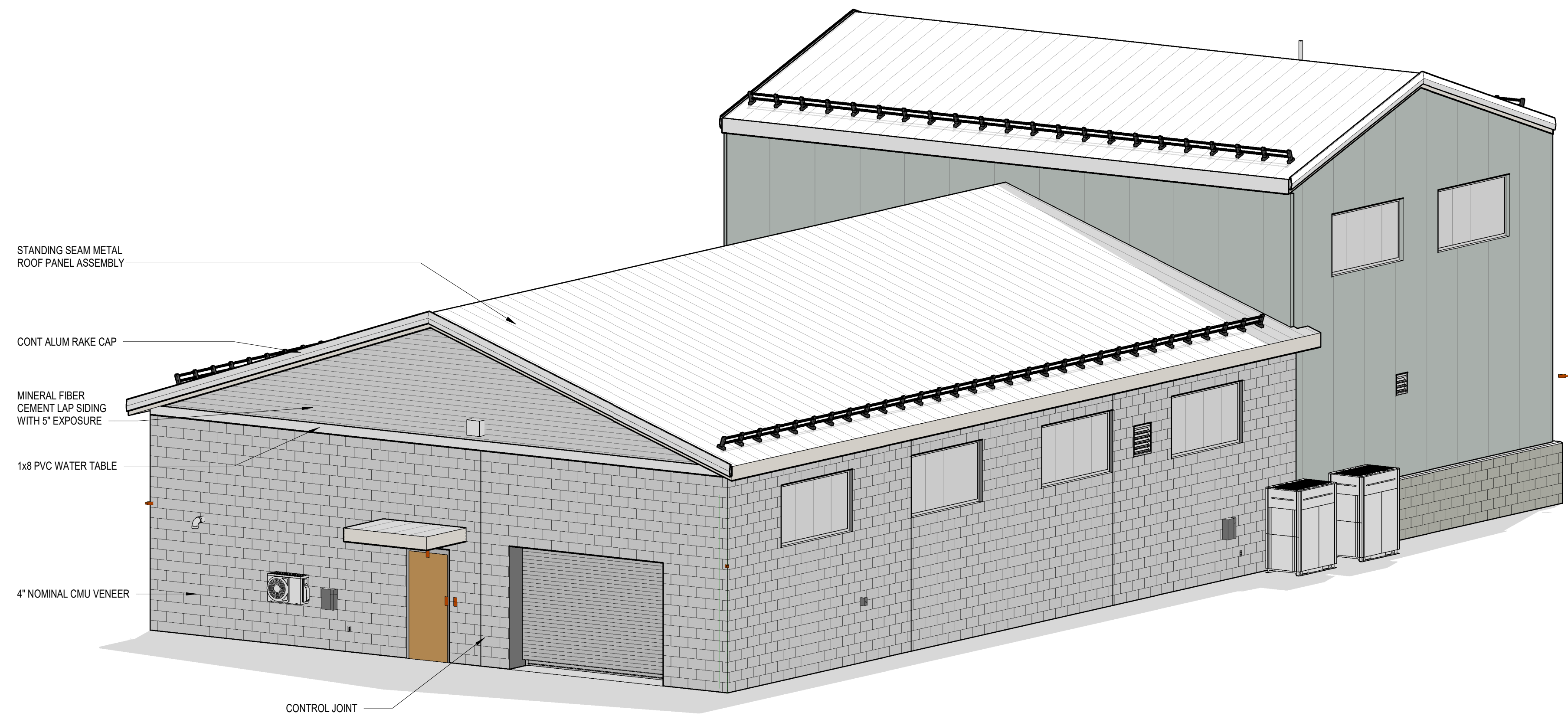
Sheet Number:

A201





② 3D VIEW A



① 3D VIEW B

NOTE: 3D VIEWS ARE PROVIDED FOR REFERENCE ONLY. REFER TO PLANS, ELEVATIONS, SECTIONS, DETAILS AND SCHEDULES FOR BUILDING REQUIREMENTS.

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CONSTRUCTION**

Scale: NTS

Key Plan:

Date: MAY 08, 2025
Drawn By: MMS
Reviewed By: BPM
Approved By: DGT
W&S Project No.: ENG24-1704
W&S File No.: TBD

Drawing Title:

3D VIEWS

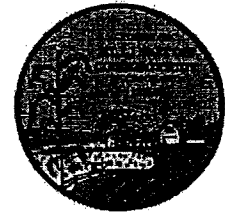
Sheet Number:

A231

Town of Ellington

Planning Department

57 Main ST., PO Box 187, Ellington, CT, 06029/Phone: 860-870-3120/Email: planner@ellington-ct.gov



MEMORANDUM

DATE: June 4, 2025

TO: Planning & Zoning Commission

FROM: Lisa M. Houlihan, AICP, Town Planner

RE: REVISED Proposed Text Amendment to Local Zoning and Subdivision Regulations to Reflect the Current Connecticut Guidelines for Soil Erosion and Sediment Control and Encourage Low Impact Development Techniques.

These regulation amendments are proposed to update reference to the latest Connecticut Guidelines for Soil Erosion and Sediment Control (published September 30, 2023, effective on March 30, 2024) and to encourage Low Impact Development techniques to comply with Ellington's Stormwater Management Plan. After discussion with Dana Steele, Ellington Town Engineer, the prior draft has been revised to include a new section, Section 6.7 Stormwater Management.

*Draft new text is underlined,
draft text to be deleted is ~~strikethrough~~,
otherwise text is as adopted.*

ELLINGTON ZONING REGULATIONS

6.4.2 Definitions

Low Impact Development means a site design strategy that maintains, mimics, or replicates predevelopment hydrology through the use of numerous site design principles and small-scale treatment practices distributed throughout a site to manage runoff volume and water quality at the source.

6.4.5 Erosion & Sediment Control Plan

- A. To be eligible for certification, a soil erosion and sediment control plan shall contain proper provisions to adequately control accelerated erosion and sedimentation and reduce the danger from storm water runoff on the proposed site based on the best available technology. Such principles, methods and practices necessary for certification

are found in the Connecticut Guidelines for Soil Erosion and Sediment Control (~~2002~~ March 30, 2024) as AMENDED. Alternative principles, methods and practices may be used with prior approval of the Commission.

6.4.6 Minimum Acceptable Standards

- A. Plans for soil erosion and sediment control shall be developed in accordance with these regulations using the principles as outlined in Chapters 3 and 4 of the Connecticut Guidelines for Soil Erosion and Sediment Control (~~2002~~ March 30, 2024), as AMENDED. Soil erosion and sediment control plans shall result in a development that: minimizes erosion and sedimentation during construction; is stabilized and protected from erosion when completed; and does not cause off-site erosion and/or sedimentation.
- B. The minimum standards for individual measures are those in the Connecticut Guidelines for Soil Erosion and Sediment Control (~~2002~~ March 30, 2024) as AMENDED. The Commission may grant exceptions when requested by the applicant if technically sound reasons are presented.
- C. The appropriate method from the Connecticut Guidelines for Soil Erosion and Sediment Control (~~2002~~ March 30, 2024) as AMENDED shall be used in determining peak flow rates and volumes of runoff unless an alternative method is approved by the Commission.

10.2 Definitions

Low Impact Development is a site design strategy that maintains, mimics, or replicates predevelopment hydrology through the use of numerous site design principles and small-scale treatment practices distributed throughout a site to manage runoff volume and water quality at the source.

Section 6.7 Stormwater Management

6.7.1 General

- A. Site development shall include a stormwater management system designed in general conformance with the Connecticut Stormwater Quality Manual (Manual) as amended. Refer to the Manual for definitions of terms in this section 6.7.
- B. The Commission may modify the requirements of this section upon recommendation of the Town Engineer.

6.7.2 Standard 1 – Runoff Volume and Pollutant Reduction

- A. The applicant shall demonstrate how the stormwater design conforms to the Manual to the Maximum Extent Achievable (MEA), including the implementation of Low Impact Development (LID) with non-structural and small-scale structural Best Management Practices (BMP), and where site conditions permit, the infiltration and retention of the Water Quality Volume (WQV) from remaining Directly Connected Impervious Areas (DCIA).

- B. Where retention of the WQV is not feasible, the applicant shall demonstrate compliance with the Manual's minimum required pollutant load reduction standards.
- C. The degree of compliance for redevelopments (no increase in DCIA) and small expansions (less than 1,000 s.f. increase in DCIA) shall be proportional to the scale of the development as determined by the Commission.

6.7.3 Standard 2 – Stormwater Runoff Quantity Control

- A. Provide attenuation of post-development peak runoff rates in accordance with the Manual. Generally, this includes 50% reduction of the 2-year, 24-hour post-development peak flow rate, and no increase to the 10-year and 100-year peak flow rates.
- B. Conveyance pipes shall be sized for a 10-year storm.
- C. Emergency spillways shall be sized to convey a 100-year storm with 12" freeboard.

6.7.4 Standard 3 – Construction Soil Erosion and Sediment Control

- A. Provide Soil Erosion and Sediment Controls (SESC) in accordance with section 6.4.

6.7.5 Standard 4 – Post-Construction Operation and Maintenance

- A. Applicant shall develop and implement a long-term Operation and Maintenance (O&M) Plan, which identifies required inspection and maintenance activities for structural stormwater BMPs. The Site Plan shall include the O&M Plan or make reference to a separate document.

6.7.6 Standard 5 – Stormwater Management Plan

- A. The applicant's engineer shall provide a report with applicable calculations to the Town Engineer documenting conformance with this section 6.7.

ELLINGTON SUBDIVISION REGULATIONS

- 4.15 Soil Erosion and Sediment Control Plan - Where the cumulative area of disturbance will exceed 1/2 acre, a plan meeting the standards contained in "Connecticut Guidelines for Soil Erosion and Sediment Control" (~~1965~~ March 30, 2024) shall be submitted and followed in the development of the subdivision, as the same may be amended from time to time. Alternative principles, methods and practices, like Low Impact Development are encouraged



STATE OF CONNECTICUT – COUNTY OF TOLLAND
INCORPORATED 1786

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PLANNING AND ZONING COMMISSION

REGULAR MEETING MINUTES

MONDAY, MAY 19, 2025, 7:00 PM

IN-PERSON ATTENDANCE: TOWN HALL ANNEX, 57 MAIN STREET, ELLINGTON, CT

REMOTE ATTENDANCE: ZOOM VIDEO CONFERENCING

(ATTENDEES BELOW WERE IN PERSON UNLESS OTHERWISE NOTED)

MEMBERS PRESENT: CHAIRMAN ARLO HOFFMAN, VICE CHAIRMAN SEAN KELLY,
REGULAR MEMBERS WILLIAM HOGAN, F. MICHAEL FRANCIS, JON
MOSER, MICHAEL SWANSON, AND ALTERNATE RYAN ORSZULAK

MEMBERS ABSENT: SECRETARY ROBERT SANDBERG, JR, AND ALTERNATE JEREMIAH
WILLIAMS

STAFF PRESENT: LISA HOULIHAN, TOWN PLANNER AND BARBRA GALOVICH,
RECORDING CLERK

I. CALL TO ORDER: Chairman Alro Hoffman called the meeting to order at 7:00 pm.

II. PUBLIC COMMENTS (On non-agenda items): **None**

III. PUBLIC HEARINGS:

1. Z202504 - Town of Ellington, owner/Ellington Little League, applicant, request for modification to Special Permit to extend lighting hours for field M2, Lisa's field and parking lot on Fridays and Saturdays from 9:00 pm to 10:00 pm, 45 Sadds Mill Road, APN 079-004-0000, in a Rural Agricultural Residential (RAR) Zone. (Continued Public Hearing from April 28, 2025 meeting.)

Time: 7:00 pm

Seated: Hoffman, Kelly, Hogan, Francis, Moser, Swanson, and Orszulak

David Sagendorf, President of the Ellington Little League Association, 1 Settlers Way, and Todd Hany, 8 Clydesdale Circle, Vice President of the Little League Association, were present to represent the application.

David Sagendorf stated the lights at Robert Tedford Memorial Park have been spectacular and have received positive feedback from other surrounding towns that have visited the park. The Little League Association (Little League) originally asked for lights to be installed at the M1 field, but after consideration of the field being close to residents on Hatheway Road the lights were installed further away at the M2 field. The Little League is now requesting to change the shut-off time of lights on the M2 field from 9:00 pm to 10:00 pm. to allow scheduling a few games under the lights and to accommodate any playoff games. The restriction of 9:00 pm is not beneficial. The fall league would not have any scheduled games until 10:00 pm, due to daylight savings time with a 9:00 pm restriction.

Corissa Dubord, 104 Tripp Road, Little League member, noted that since the lights were installed at M2 field, funds have been raised to complete associated site improvements to the field area like adding the press box. Chairman Hoffman asked if the loudspeaker would be used until 10:00 pm. Corissa said there are occasions that the music is playing, but folks have told her they can barely hear the announcing from across the park. David Sagendorf noted the PA system is not

used during the week, typically it's used on the weekends. If allowed to host an all-star game the PA system would be used. Todd Hany, Vice President of the Little League, noted at the last meeting the PA system could be turned off at a certain time if requested, but it would limit the Little League from hosting all-star games.

Commissioner Hogan asked if the one-hour extension was granted, when games would start and how many games would be played per day. David Sagendorf replied during the regular season, Saturday is the busiest day with games starting at 9:00 am, 11:00 am, 1:00 pm, and 4:00 pm is the last game. Currently the lights are not used on Saturday nights and not used on Friday nights unless there is a rainout. The Little League works with the Public Works Department to shut off the lights, and they do not ask for the lights to be kept on every night until 9:00 pm. David noted games are typically two hours long, so one game can be scheduled at night starting at 7:00 pm, but if a second game was to be scheduled, the lights would be needed until 10:00 pm to complete the game and get the players off the field safely.

John Streiber, 4 Hatheway Road, thanked everyone for the announcer's booth being built at M2 field which has led to a quieter backyard. John noted there are occasions that the announcer's booth at M1 field is used but the PA system's volume has been turned down. John said the lights at M2 field do not shine past the M1 field onto Hatheway Road. During the fall football season and at night there is a lot of light spillage onto their backyards. John questioned the amount of people coming into town when the lights are left on and seeing the park as a place to hang out. Having the lights on longer will increase the Town's electric bill.

Kenlyn Streiber, 4 Hatheway Road, asked who announces the games, adults over 18 or kids? Corissa Dubord responded volunteers have announced and sometimes kids have done it. Kenlyn stated that when the kids are on the PA system they tend to increase the volume and stretch out words loudly. Kenlyn requested an adult control the PA system and for the league to be mindful of the neighbors.

David Gyure, 10 Hatheway Road, asked why a Little League schedule has not been provided, and suggested providing specific dates for the lights to be on longer to establish a predefined schedule, instead of asking for the lights to be left on until 10:00 pm every Friday and Saturday. David noted hearing that the Public Works Department controls the lights, and a third party has the controls, not the Little League. David said the amplified audio should be limited and only sanctioned games should have access to the lights. David feels that the neighbors may be more acceptable of the extended lights if they knew in advance that the lights and PA system were scheduled for specific dates.

Tom Modzelewski, Director of Public Works, noted the lights have not been active for a year yet. The Planning & Zoning Commission pushed the one-year review of the project out since the lights were not being utilized until August of 2024. The Public Works Department does maintain control over the lights at the park. Tom noted the Recreation Department does the scheduling for the Robert Tedford Memorial Park and Pinney Street fields and the Athletic Director oversees the High School fields. The Little League is good at notifying the department of any rescheduled games, cancellations, or games running late. Tom noted that he and Dustin Huguenin, Recreation Director, have access to the lights through an app on their phones. Dustin noted some of the lights at the park are pushbuttons. Tom explained how the push button lights currently operate with hours of availability to the public at the pickleball, tennis and basketball courts. These lights are not being asked to be extended.

Michael Gerrity, 17 Ellridge Place, asked if a sound study had been done at the M2 field. Vice Chairman Kelly noted that in years past the M1 field announcements could be heard at the M2 field and sound carries across the parking lot. Chairman Hoffman asked about the lights that were left on as mentioned at the last meeting, Michael stated they were the lights over at the pickleball, tennis and basketball courts. He felt those lights were not operating as a push button

but more on a scheduled time until 9:00 pm all winter. Michael noticed that Lisa's field was also left on with no activity.

Kevin Schmidt, 16 Hatheway Road, feels this request is a going to create a snowball effect until the whole park is lit up to 10:00 pm and questions the integrity of the associations using the fields.

Sherry Kraus, 10 Cedarwood Drive, noted it is a minimum amount of time that the Little League is requesting. The newly installed lights are pointing towards the park. The football lights are on every night for practice during the fall and it's highly supported by the community. She thinks it would be nice for Ellington to host other towns for events and give kids the experience of playing under the lights. Sherry said the Town of Ellington does not have a sound ordinance and kids love to hear their name announced.

Maureen Armstrong, 18 Hatheway Road, reiterated the lack of clarity on schedules. She said in the fall football will want the lights on more and every weekend the loudspeaker is being used all day. Maureen stated the visitors side of football field is located right behind and fans will urinate and throw trash onto the property with no regard for boundaries.

David Gyure, 10 Hatheway Road, said allowing the lights on Friday and Saturday nights is taking away from the neighbors trying to relax in peace in their yard. David noted many vehicles use Hatheway Road after leaving the park.

John Armstrong, 18 Hatheway Road, fears what is next. John said there is no privacy and once football season starts the lights will be shining in the yard. As for the new deck hockey, he understands the concept and feels for the family that donated it, but the sport is extremely loud and games start at 8:00 am. He asked for the rink to be moved. John stated no issues during the baseball season, but he does have issues with people urinating next to his yard, dogs being walked on his property, and overall disrespect during the football season. It's getting worse and worse and he may ask for a fence in the future.

Dustin Huguenin, Recreation Director, has not heard about football having plans for any late-night games. The football lights pre-existed, and baseball should not be punished for other activities in the park.

Chairman Hoffman noted the commission will consider all concerns before moving forward with new approvals. Chairman Hoffman acknowledged comments about the existing location of the deck hockey and questioned if it was possible to relocate it. John Armstrong, 18 Hatheway Road, asked if there could be a restriction on the lights along the properties on Hatheway Road.

Jamison Boucher, 319 Somers Road, stated the Little League's request is not an unreasonable ask, the fear the residents have brought up is also very real and it's about being a good neighbor. Jamison suggested looking at the issues and possibly from a restriction standpoint. He encouraged compromise amongst the groups.

Vice Chairman Kelly noted the request of extending the light at M2 and Lisa field is not really going to change anything for the neighbors, but everything else that is going on at the park is an issue and needs to be considered. Vice Chairman Kelly agreed the deck hockey rink issue needs to be addressed.

David Sagendorf, 1 Settler's Way, stated tournament season is coming up and District 8 sets the schedule, which is not available yet. Spring is the primary season for baseball, and the lights would also be used in the fall for the secondary season. The Little League is looking for set days to use the lights until 10:00 pm.

Commissioner Moser suggested allowing coaches to control the lighting so all lights would be shut off in a timely manner, saving tax dollars, rather than automatically staying on until 10:00 pm. Vice Chairman Kelly asked if the concept of allowing coaches access is a possibility? Tom Modzelewski confirmed that others could be given access.

Commissioner Swanson said the PA system noise level does carry throughout the park and the issue ought to be addressed out of consideration for the neighbors. Commissioner Hogan brought up the possibility of changing the request of Friday and Saturday to other nights and asked why the game could not start earlier. Gary Grilli, 11 Ellridge Place, noted it's safer for the kids to start later sometimes, due to the heat of the day.

Vice Chairman Kelly acknowledged that it is a special experience to play baseball under the lights but a solution is needed for all. Commissioner Hogan requested the audio be tested from the ballfield to the neighbors and that the volume settings should be strictly enforced and/or operated by adult only.

Commissioner Francis suggested that a schedule of games be provided for specific dates.

Commissioner Moser suggested having night games on Thursdays and Fridays. He'd like a balance between giving the kids an opportunity to play under the lights and being respectful to the neighbors. Commissioner Moser stated the sound issue needs to be addressed. Alternate Orszulak agreed with allowing Friday nights and maybe another non-weekend night. He doesn't want the kids to lose the opportunity to play under the lights.

David Gyure, 10 Hatheway Road, used the example of Lime Rock Park racetrack is limited to three major events a year due to neighbor noise disturbance. This lighting request is from April to November because it's a noise generating activity.

John Streiber, 4 Hatheway Road, noted there were previously poles within the trees, and the lights were attached lower than the treetops. The new light poles are 80 ft tall, and the football speakers face the neighbors, suggested maybe the football move the speakers towards the fields.

Richard Dubord, 104 Tripp Road, as for the issue with the noise, the PA system for all-star games is used only for announcing the names of the players, line-up and coaches.

Eric Bauch, 8 Hatheway Road, is concerned about the value of his home with the traffic on Hatheway Road, noise at 10:00 pm, and there are no streetlights on Hatheway Road. Eric stated when someone googles the park, they are directed to use the old entrance way off Hatheway Road, this is an issue. Lisa Houlihan, Town Planner, will look into having the directions re-routed to Sadds Mill Road entrance.

Todd Hany, 8 Clydesdale Circle, asked for a two-month trial of having the lights on Friday and Saturday nights for the all-stars to play under the lights. As for requesting another day, the kids are under the age of 12 and have school to attend.

Tom Boscarino, 10 Deerfield Lane, asked for clarification if the request is only for M2 field, it was noted that the discussion includes M1 field, Lisa's field and the parking lot. Lisa Houlihan suggested setting limits if allowing a trial for the requested time and a sound study should be done. Tom Modzelewski noted the parking lot lights are currently on until 10:00 pm.

A gentleman who resides at 6 Ellridge Place stated the baseball season is short and asked the commission to consider accepting the request for the one-hour extension. He feels it is a genuine ask to have the lights on at least two days a week until October.

MOVED (KELLY) SECONDED (SWANSON) AND PASSED UNANIMOUSLY TO CLOSE THE PUBLIC HEARING FOR Z202504 - Town of Ellington, owner/Ellington Little League, applicant, request for modification to Special Permit to extend lighting hours for field M2, Lisa's field and parking lot on Fridays and Saturdays from 9:00 pm to 10:00 pm, 45 Sadds Mill Road, APN 079-004-0000, in a Rural Agricultural Residential (RAR) Zone.

MOVED (HOGAN) SECONDED (SWANSON) AND PASSED UNANIMOUSLY TO APPROVE w/CONDITION(S) FOR Z202504 - Town of Ellington, owner/Ellington Little League, applicant, request for modification to Special Permit to extend lighting hours for field M2, Lisa's field and parking lot on Fridays and Saturdays from 9:00 pm to 10:00 pm, 45 Sadds Mill Road, APN 079-004-0000, in a Rural Agricultural Residential (RAR) Zone.

CONDITION(S):

LIGHTS APPROVED FOR FRIDAY NIGHTS ONLY FROM MAY 20TH TO AUGUST 2, 2025, WITH GAMES ENDING BY 9:30PM AND PARKING LOT LIGHTS OUT BY 10:00PM.

DISCUSSION: In the interim, town officials (Recreation Department and Public Works) and the Ellington Little League need to develop audio controls for audio systems for fields M1 & M2 and Lisa's field to address concerns raised by neighbors.

2. Z202508 – Dawn and Wayne McBairty, owner/applicant, pursuant to Section 3.1.3 of the Ellington Zoning Regulations request for Special Permit to construct a 30'x50' attached garage for more than three cars at 131 Pinnacle Road, APN 075-021-0000, in a Residential (R) Zone.

Time: 8:29 pm

Seated: Hoffman, Kelly, Hogan, Francis, Moser, Swanson, and Orszulak

Wayne McBairty, 131 Pinnacle Road and Darrel Chaloult, 21 Holmes Road, Stafford, CT were present to represent the application.

Lisa Houlihan noted the Zoning Board of Appeals, Wetlands Agency, and North Central District Health Department's approvals have been received. Lisa noted that if there are any changes to the proposal it will require health department review again, which is a suggested condition of approval.

Darrel Chaloult explained the existing garage is not large enough to fit a car and there was a shed next to it. Wayne would like to replace the existing garage for vehicles and personal items and remove the shed off the property. He wanted a detached three-car garage but it was too wide for the parcel so that is the reason for the attached proposal and four garage doors. The neighbor wrote a letter to the Zoning Board of Appeals, stating no issues with the requested variance. Darrel explained there are wetlands on the neighbor's property. There were no public comments regarding the application.

MOVED (KELLY) SECONDED (SWANSON) AND PASSED UNANIMOUSLY TO CLOSE THE PUBLIC HEARING FOR Z202508 – Dawn and Wayne McBairty, owner/applicant, pursuant to Section 3.1.3 of the Ellington Zoning Regulations request for Special Permit to construct a 30'x50' attached garage for more than three cars at 131 Pinnacle Road, APN 075-021-0000, in a Residential (R) Zone.

MOVED (KELLY) SECONDED (FRANCIS) AND PASSED UNANIMOUSLY TO APPROVE W/CONDITION(S) FOR Z202508 – Dawn and Wayne McBairty, owner/applicant, pursuant to Section 3.1.3 of the Ellington Zoning Regulations request for Special Permit to construct a 30'x50' attached garage for more than three cars at 131 Pinnacle Road, APN 075-021-0000, in a Residential (R) Zone.

CONDITIONS:

- **THE DETACHED ACCESSORY STRUCTURE SHALL NOT BE USED AS AN INDEPENDENT DWELLING OR TO OPERATE A BUSINESS WITHOUT FIRST OBTAINING ALL THE NECESSARY APPROVALS.**
- **SUBJECT TO APPROVAL FROM NORTH CENTRAL DISTRICT HEALTH DEPARTMENT.**

3. Z202509 – Town of Ellington, owner/Ellington Trails Committee, applicant, request for modification to Special Permit to allow lighting and unamplified music and Site Plan to construct a roof over an existing amphitheater on town-owned open space at 97 Shenipsit Street (Batz Property), APN 030-005-0000, in a R (Residential) Zone.

Time: 8:34 pm

Seated: Hoffman, Kelly, Hogan, Francis, Moser, Swanson, and Orszulak

Linda Anderson, 9 Tolland Turnpike, Ellington, CT, Chairman of the Trails Committee was present to present the application.

Linda Anderson stated the amphitheater was constructed during Covid by volunteers from Ellington High School. The Trails Committee would like to have a canopy installed over the amphitheater to increase usage, but not at night. They propose to use portable power for a microphone to be used during nature classes, no amplified music will be played. Linda stated light may be added under the canopy. The Trails Committee is completing an application for a \$50,000.00 T-Mobile grant to fund the project. The parking area has around 60 spaces and the amphitheater holds around 100 people. Programs are coordinated with the First Selectman's office and must meet use of town property requirements. The roof is metal and is expected to require staining about once every ten years.

Ryan Bibeau, 92 Shenipsit Street, has lived in Ellington for over ten years directly across the street from the Batz property. Over the years many components have been added like the information kiosk, a sensory garden with water collection, and the amphitheater. Ryan said the parcel is in disarray and lacks mowing. He stated that signs posted on trees have been broken, and there's been an increase in ticks because of the lack of mowing. He said the amphitheater is not used and adding lights and electricity may lead to more vandalism. The open space is being used by high schoolers to have fires and drink. Ryan has called the State Troopers to the site when this happens and they've been responsive. Ryan would like to see the property remain open and in its natural state.

Scott Moore, 87 Shenipsit Street, said the property is an eye soar. The biggest issue is the lack of mowing and an existing stone wall that is in disrepair, which has been previously discussed with the Public Works Department. Tom Modzelewski, Director of Public Works, stated the issue about the stone wall and mowing schedule is not relevant to the application. He has spoken with Scott Moore on several occasions. Tom explained that Public Works coordinates with the Trails Committee to maintain the property.

Linda Anderson noted the sensory area has not been cleaned this year due to the rainy weather. Linda explained the reasons for not mowing some areas is to promote pollinator pathways and increase natural habitats. All events must go through the Town application process and will only be used for educational purposes. The bird houses were installed by the scouts.

Heidi LaPlante, 90B Ellington Avenue, asked where the amphitheater is located and Linda Anderson noted the location is further back off the road. Heidi noted never seeing the amphitheater being used. Linda noted the scouts use the area on many occasions.

Vice Chairman Kelly asked if the Trails Committee expects the amphitheater to become an asset when it is constructed? Linda Anderson said she is consistently being contacted by many organizations and the library interested in holding programs there. The Trails Committee will continue to hold nature classes there. Tom Modzelewski clarified the project will be funded through a grant and does not require Town matching.

Commissioner Francis asked about the hours for lights under the canopy. Linda Anderson stated the lights may be on until 5:00 pm, the bugs and ticks are intense. The lamp lights under the canopy will be battery operated by the portable power supply. Any scheduled activities start around May/June and stop in October. Most of the activities are geared towards children's education with a few adult classes.

Jared Oleksiak, 90 Shenipsit Street, said one concern is the lack of maintenance on the property and the primary concern is vandalism. Jared is concerned with the power supply and people utilizing the outlet for loud music and creating nuisance to surrounding neighbors.

Ryan Bibeau, 92 Shenipsit Street, asked about the previous owner's Will and what they intended the property to be used for. Ryan noted seeing on the website that the property was donated for passive recreation and did not see educational center mentioned. Ryan expressed opposition to installing the canopy and unamplified sound system.

MOVED (HOGAN) SECONDED (SWANSON) AND PASSED UNANIMOUSLY TO CLOSE THE PUBLIC HEARING FOR Z202509 – Town of Ellington, owner/Ellington Trails Committee, applicant, request for modification to Special Permit to allow lighting and unamplified music and Site Plan to construct a roof over an existing amphitheater on town-owned open space at 97 Shenipsit Street (Batz Property), APN 030-005-0000, in a R (Residential) Zone.

MOVED (HOGAN) SECONDED (SWANSON) AND PASSED (KELLY AND FRANCIS – NAY) TO APPROVE Z202509 – Town of Ellington, owner/Ellington Trails Committee, applicant, request for modification to Special Permit to allow lighting and unamplified music and Site Plan to construct a roof over an existing amphitheater on town-owned open space at 97 Shenipsit Street (Batz Property), APN 030-005-0000, in a R (Residential) Zone.

4. Z202510 – Kimberly Schneider, owner/applicant, pursuant to Section 3.1.3 of the Ellington Zoning Regulations request for Special Permit to construct a 28'x40' garage addition to an existing barn for more than three cars at 90A Ellington Avenue, APN 029-049-0001, in a Residential (R) Zone.

Time: 9:03 pm

Seated: Hoffman, Kelly, Hogan, Francis, Moser, Swanson, and Orszulak

David Schneider, 90A Ellington Avenue, was present to present the application. David said the application is to construct a 28'x40' addition to the existing barn. David noted the existing barn already has electric and a water pump within the barn.

Lisa Houlihan noted, in accordance with staff review comments, if the owner wants to add a bathroom in the future Water Pollution Control Authority approval is required.

MOVED (KELLY) SECONDED (SWANSON) AND PASSED UNANIMOUSLY TO CLOSE THE PUBLIC HEARING FOR Z202510 – Kimberly Schneider, owner/applicant, pursuant to Section 3.1.3 of the Ellington Zoning Regulations request for Special Permit to construct a 28'x40' garage addition to an existing barn for more than three cars at 90A Ellington Avenue, APN 029-049-0001, in a Residential (R) Zone.

MOVED (KELLY) SECONDED (SWANSON) AND PASSED UNANIMOUSLY TO APPROVE w/CONDITIONS FOR Z202510 – Kimberly Schneider, owner/applicant, pursuant to Section 3.1.3 of the Ellington Zoning Regulations request for Special Permit to construct a 28'x40' garage addition to an existing barn for more than three cars at 90A Ellington Avenue, APN 029-049-0001, in a Residential (R) Zone.

CONDITIONS:

- **THE DETACHED ACCESSORY STRUCTURE SHALL NOT BE USED AS AN INDEPENDENT DWELLING OR TO OPERATE A BUSINESS WITHOUT FIRST OBTAINING ALL THE NECESSARY APPROVALS.**
- **THE STRUCTURE IS APPROVED AS A DRY BUILDING, THE ADDITION OF PLUMBING IN THE FUTURE IS SUBJECT TO OBTAINING APPROVAL FROM THE WATER POLLUTION CONTROL AUTHORITY.**

IV. NEW BUSINESS:

1. Request for informal discussion for a potential zone change from commercial to residential to create three new residential lots for a portion of 100 Stafford Road, APN 148-019-0000.

Eric Peterson, Gardner & Peterson Associates, LLC, 178 Hartford Turnpike, Tolland, and Mark Palomba, son-in-law of the owner of 100 Stafford Road, were present to discuss the proposed zone change. Eric stated when the owner purchased the property it was zoned residential and awhile back the Planning & Zoning Commission approved the property to be rezoned to commercial. Eric briefly explained there is less wetland soil on the property than what is shown on the town's GIS, noting the wetlands have been field delineated. Eric explained the property is roughly 19 acres and the owner would like to have the opportunity to create three additional buildable lots along the frontage on Burbank Road which is residentially zoned. After a brief discussion, the commission agreed to entertain an application.

2. Request for informal discussion for a potential 50-unit active adult community at 53 Wapping Wood Road, a vacant 29.20+/- acre parcel in the Rural Agricultural Residential (RAR) Zone.

Bradford Wainman of H-M Realty and Robert Urso of UW Realty VII, LLC, were present to discuss the possibility of creating a 50-unit active adult (55+) residential condominium community at 53 Wapping Wood Road. Bradford reviewed the additional proposed amenities of the project. The commission held a roundtable discussion about the proposal and possible changes to the Ellington Zoning Regulations regarding bedroom count and agreed to entertain an application.

3. **BY CONSENSUS, RECEIVED AND SCHEDULED A PUBLIC HEARING FOR JUNE 30, 2025, 7PM, TOWN HALL ANNEX, 57 MAIN STREET, ELLINGTON, AND ZOOM VIDEO CONFERENCING FOR Z202511** – Village Properties Associates, LLC, applicant / Daniel Boone and Barbara Frassinelli, owner, request for Site Plan Approval to construct a 11,808 sf warehouse/storage and manufacturing/assembly building and Special Permit for a storage yard for new lumber, building materials, and related items at 79 Windermere Avenue, APN 018-004-0001, and 14 Village Street, APN 017-012-0000, in Industrial Park (IP) zone.
4. **BY CONSENSUS, RECEIVED AND SCHEDULED A PUBLIC HEARING FOR JUNE 30, 2025, 7PM, TOWN HALL ANNEX, 57 MAIN STREET, ELLINGTON, AND ZOOM VIDEO CONFERENCING FOR Z202512** – Connecticut Water Company, owner / applicant, request for Site Plan and Special Permit to upgrade existing water treatment facility, including demolition of existing well-house and construction of a 4,230 sf water treatment facility, storm drainage, bituminous/gravel pavement, and associated site improvements at Egypt Road, APN 161-069-0000, in a Rural Agricultural Residential (RAR) zone.

V. OLD BUSINESS:

1. Z2020503 - Town of Ellington, owner/ Ellington Planning & Zoning Commission, applicant, for proposed Zoning Regulation Amendments to reflect the updated Connecticut Guidelines for Soil Erosion and Sediment Control and include Low Impact Development Standards. (Continue from March 31, 2025.)

BY CONSENSUS, THE COMMISSION TABLED THE PUBLIC HEARING TO MONDAY, JUNE 30, 2025, 7PM, TOWN HALL ANNEX, 57 MAIN STREET, ELLINGTON, AND ZOOM VIDEO CONFERENCING) FOR Z2020503 - Town of Ellington, owner/ Ellington Planning & Zoning Commission, applicant, for proposed Zoning Regulation Amendments to reflect the updated Connecticut Guidelines for Soil Erosion and Sediment Control and include Low Impact Development Standards.

VI. ADMINISTRATIVE BUSINESS:

1. Approval of April 28, 2025, Regular Meeting Minutes.

MOVED (SWANSON), SECONDED (HOGAN) AND PASSED UNANIMOUSLY TO APPROVE APRIL 28, 2025, REGULAR MEETING MINUTES WITH THE FOLLOWING CHANGES; ON PAGE 1 OF 8 UNDER "CALL TO ORDER", CORRECT SPELLING TO ARLO AND ON PAGE 6 OF 8, PARAGRAPH 6, CHANGE 00 TO 16.

2. Correspondence/Discussion: **None**

VII. ADJOURNMENT:

MOVED (FRANCIS) SECONDED (HOGAN) AND PASSED UNANIMOUSLY TO ADJOURN THE PLANNING AND ZONING COMMISSION MEETING AT 10:00 PM.

Respectfully submitted,

Barbra Galovich, Recording Clerk