



ALUM ROCK UNION SCHOOL DISTRICT

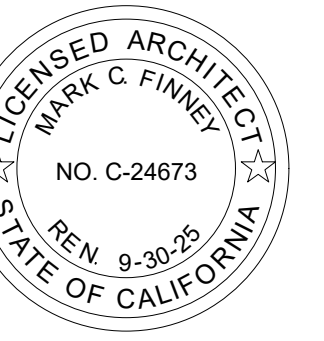
PROJECT 18 - BID NUMBER 2425-BONDS07

BID PACKAGE 6

EXTERIOR PAINTING:

RENAISSANCE ACADEMY AT MATHSON

(DSA STAMP AREA)



BID PACKAGE 6

EXTERIOR PAINTING AT
RENAISSANCE ACADEMY AT MATHSON
2050 KAMMERER AVENUE, SAN JOSE, CA 95116
ALUM ROCK UNION SCHOOL DISTRICT

| REVISIONS | | |
|-----------|---------|------------|
| NO. | ITEM | DATE |
| | BID SET | 05/16/2025 |

DRAWN BY: AB
 CHECKED BY: NJ
 PROJECT NO: 25031 DATE: 05/05/2025

TO



EXTERIOR PAINTING AT RENAISSANCE ACADEMY AT MATHSON

2050 KAMMERER AVENUE, SAN JOSE CA 95116

ALUM ROCK UNION SCHOOL DISTRICT

GENERAL NOTES

PRE-BID SITE VISIT
CONTRACTOR SHALL VISIT THE PROJECT AREA IN ORDER TO BECOME FAMILIAR WITH EXISTING CONDITIONS AND THE REQUIREMENTS OF THE PROJECT. THE CONTRACTOR MAY CONTACT THE ARCHITECT DURING THE BIDDING PHASE REGARDING CLARIFICATIONS AND PROJECT REQUIREMENTS.

SAFETY
IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

DAMAGE TO STRUCTURE OR SYSTEMS TO REMAIN
CONTRACTOR SHALL REIMBURSE THE OWNER FOR REPAIR AND REPLACEMENT, INCLUDING ARCHITECT'S FEES, FOR ANY DAMAGE CAUSED TO STRUCTURES, LANDSCAPE, SITE WORK, OR EXISTING SYSTEMS TO REMAIN, AS THE RESULT OF CONSTRUCTION OPERATIONS.

EXISTING CONDITIONS
ALL EXISTING CONDITIONS ARE SHOWN BASED ON THE BEST INFORMATION AVAILABLE AT THE TIME, BUT WITHOUT GUARANTEE OF ACCURACY. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND BUILDING DATA AT THE JOB SITE. ANY DISCREPANCIES REQUIRING MODIFICATION TO THE CONSTRUCTION DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. NO MODIFICATIONS SHALL BE MADE BY THE CONTRACTOR WITHOUT PRIOR APPROVAL FROM THE ARCHITECT.

CONTRACTOR'S EQUIPMENT
COORDINATE WITH OWNER'S REPRESENTATIVE FOR APPROVED LOCATION OF JOB SITE ACCESS, PARKING, AND LOCATION OF CONTRACTOR'S EQUIPMENT AND MATERIAL STORAGE AREA. SEE SITE PLAN FOR ADDITIONAL NOTES.

UTILITY SHUT-DOWNS AND CONNECTIONS
ALL REQUIRED UTILITY SHUT DOWNS SHALL HAVE PRIOR APPROVAL FROM THE OWNER'S REPRESENTATIVE. REQUEST SHALL BE SUBMITTED WITH ADEQUATE ADVANCE NOTICE PER PROJECT REQUIREMENTS.

ASBESTOS AND ASBESTOS PRODUCTS
THE OWNER/OPERATOR AND CONTRACTOR SHALL BE AWARE THAT BUILDINGS CONSTRUCTED PRIOR TO 1978 (OR THERE ABOUT) POSSIBILITY CONTAIN ASBESTOS IN SOME EXISTING CONSTRUCTION MATERIALS, AND WILL LIKELY BE ENCOUNTERED DURING ALTERATIONS OR REMODELING.

UNDER CALIFORNIA TITLE 8, THE OWNER AND CONTRACTOR BOTH HAVE RESPONSIBILITIES TO DETERMINE THE EXISTENCE OF ASBESTOS CONTAINING MATERIALS IN AREAS TO BE ALTERED OR REMODELED PRIOR TO COMMENCEMENT OF WORK AND TO TAKE APPROPRIATE MEASURES TO PROTECT PERSONNEL. CAL-OSHA HAS JURISDICTION OVER ASBESTOS RELATED WORK. ASBESTOS RELATED WORK SHALL BE DONE IN ACCORDANCE WITH CALIFORNIA GENERAL INDUSTRIAL SAFETY ORDERS, TITLE 8, SECTION 341.6 THROUGH 341.14. ASBESTOS IN THE WORK ENVIRONMENT IS REGULATED BY TITLE 8, SECTION 5209.

THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT AND DISTRICT REGULATION 11-2-401.3 REQUIRES EVERY RENOVATION INVOLVING THE REMOVAL OF 100 SQ. FT., LN.FT. OR GREATER OF REGULATED ASBESTOS CONTAINING MATERIAL, AND FOR EVERY DEMOLITION (EVEN WHEN NO ASBESTOS IS PRESENT), A NOTIFICATION MUST BE SENT TO THE BAAQMD AT LEAST 10 WORKING DAYS PRIOR TO COMMENCEMENT OF DEMOLITION/RENOVATION.

ALL BUILDING MATERIALS MUST BE ASBESTOS FREE.
THESE DOCUMENTS DO NOT ADDRESS CONTAMINATION FOR EXISTING AREAS OF ASBESTOS WHICH MAY BE DISCOVERED DURING CONSTRUCTION. THE OWNER'S ABATEMENT SUBCONTRACTOR IS SOLELY RESPONSIBLE FOR THE DETECTION, REMOVAL, AND THE DISPOSAL OF ANY EXISTING ASBESTOS MATERIAL. ARCHITECTURAL AND ENGINEERING FEES FOR ADDITIONAL DESIGN EFFORT TO OBTAIN STATE APPROVALS, AS WELL AS THE COST OF ANY REPAIRS, FOR DAMAGE CAUSED OR REPLACEMENT OF EXISTING SYSTEMS TO REMAIN, DUO TO WORK PERFORMED BY THE ASBESTOS ABATEMENT SUBCONTRACTOR, SHALL BE THE RESPONSIBILITY OF SAID SUBCONTRACTOR.

CONSTRUCTION SCHEDULING
CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION OPERATIONS WITH OWNER'S REPRESENTATIVE PRIOR TO SCHEDULING AND START OF THE WORK. CONTRACTOR SHALL PROVIDE PROTECTION TO ALL EXISTING SPACES AND SYSTEMS WHICH ARE IN USE, ADJOINING THE PROJECT, AND NOT PART OF THE PROJECT.

INTERIOR FINISHES
INTERIOR FINISHES AND ALL WALL COVERING MATERIAL SHALL CONFORM TO CCR TITLE 24, PART 2, CHAPTER 8.

DRILLED-IN EXPANSION ANCHORS
WHEN INSTALLING DRILLED-IN ANCHORS AND/OR POWDER DRIVEN PINS IN EXISTING NON-PRESTRESSED REINFORCED CONCRETE, USE CARE AND CAUTION TO AVOID CUTTING OR DAMAGING THE EXISTING REINFORCING BARS. WHEN INSTALLING THEM INTO EXISTING PRESTRESSED CONCRETE (PRE- OR POST-TENSIONED), LOCATE THE PRESTRESSED TENDONS BY USING A NON-DESTRUCTIVE METHOD PRIOR TO INSTALLATION. EXERCISE EXTREME CARE AND CAUTION TO AVOID CUTTING OR DAMAGING THE TENDONS DURING INSTALLATION. MAINTAIN A MINIMUM CLEARANCE OF ONE INCH BETWEEN THE REINFORCEMENT AND THE DRILLED-IN ANCHOR AND/OR PIN.

TITLE 24 COMPLIANCE
THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE ALTERATION, REHABILITATION OR RECONSTRUCTION IS TO BE IN ACCORDANCE WITH TITLE 24, C.C.R. SHOULD ANY EXISTING CONDITIONS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, C.C.R. A CONSTRUCTION CHANGE DOCUMENT (CCD), OR A SEPARATE SET OF PLANS AND SPECIFICATIONS, DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY DSA BEFORE PROCEEDING WITH THE WORK. (SECTION 4-317(C), PART 1, TITLE 24, C.C.R.)

ADMINISTRATIVE REQUIREMENTS FROM PART 1, TITLE 24, C.C.R.
- CHANGES TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY AN ADDENDUM OR A CONSTRUCTION CHANGE DOCUMENT, AND APPROVED BY DSA, AS PER SECTION 4-338.
- A DSA CERTIFIED PROJECT INSPECTOR EMPLOYED BY THE DISTRICT AND APPROVED BY DSA SHALL PROVIDE CONTINUOUS INSPECTION OF WORK, PER SECTION 4-342.
- A DSA ACCEPTED TESTING LABORATORY DIRECTLY EMPLOYED BY THE DISTRICT SHALL CONDUCT ALL REQUIRED TEST AND INSPECTIONS FOR THE PROJECT.
- SPECIAL INSPECTION PER SECTION 4-333 (C)
- CONTRACTOR SHALL SUBMIT VERIFIED REPORT OR SECTION 4-336 & 4-343 (C)
- ADMINISTRATION OR CONSTRUCTION PER PART 1, TITLE 24, C.C.R.
- DUTIES OF ARCHITECT, STRUCTURAL ENGINEER, OR PROFESSIONAL ENGINEER PER SECTION 4-333 (A) AND 4-341
- DUTIES OF CONTRACTOR PER SECTION 4-343
- VERIFIED REPORTS PER SECTION 4-343 AND 4-338
- A COPY OF ALL APPLICABLE PARTS REFERRED TO BY THE PLANS AND SPECIFICATIONS OF TITLE 24 SHALL BE KEPT AND AVAILABLE IN THE FIELD DURING CONSTRUCTION
- DSA SHALL BE NOTIFIED AT START OF CONSTRUCTION AND PRIOR TO PLACEMENT OF CONCRETE PER SECTION 4-331
- SUPERVISION BY DSA PER SECTION 4-334
- DSA IS NOT SUBJECT TO ARBITRATION

ADMINISTRATIVE REQUIREMENTS
- ADDENDA MUST BE SIGNED BY ARCHITECT AND APPROVED BY DSA
- NO CHANGES OR REVISIONS SHALL BE MADE FOLLOWING WRITTEN APPROVAL WHICH AFFECTS ACCESS COMPLIANCE ITEM UNLESS SUCH CHANGES TO REVISIONS ARE SUBMITTED TO DSA FOR APPROVAL
- SUBSTITUTIONS AFFECTING DSA REGULATED ITEMS SHALL BE SUBMITTED AS A CONSTRUCTION CHANGE DOCUMENT OR ADDENDA, AND SHALL BE APPROVED BY DSA PRIOR TO FABRICATION AND INSTALLATION
- CONSTRUCTION CHANGE DOCUMENTS MUST BE SIGNED BY THE FOLLOWING:
-- ARCHITECT OR ENGINEER OF RECORD
-- STRUCTURAL ENGINEER (WHEN APPLICABLE)
-- DELEGATED PROFESSIONAL ENGINEER
-- DSA
- MATERIALS AND THEIR INSTALLATIONS SHALL COMPLY WITH APPLICABLE CODES.
- PER CBC 11B-106.1 ALL DIMENSIONS ARE SUBJECT TO CONVENTIONAL INDUSTRY TOLERANCES EXCEPT WHERE THE REQUIREMENT IS STATED AS A RANGE WITH SPECIFIC MINIMUM AND MAXIMUM END POINTS.

GENERAL NOTES, cont.

CALIFORNIA ENERGY CODE
THE CALIFORNIA ENERGY CODE SECTION 10-103 REQUIRES ACCEPTANCE TESTING ON ALL NEWLY INSTALLED LIGHTING CONTROLS, MECHANICAL SYSTEMS, ENVELOPES, AND PROCESS EQUIPMENT AFTER INSTALLATION AND BEFORE PROJECT COMPLETION. AN ACCEPTANCE TEST IS A FUNCTIONAL PERFORMANCE TEST TO HELP ENSURE THAT NEWLY INSTALLED EQUIPMENT IS OPERATING AND IN COMPLIANCE WITH THE ENERGY CODE.

LIGHTING CONTROLS ACCEPTANCE TEST MUST BE PERFORMED BY A CERTIFIED LIGHTING CONTROLS SYSTEM TEST TECHNICIAN (ATT).

MECHANICAL SYSTEM ACCEPTANCE TESTS MUST BE PERFORMED BY A CERTIFIED MECHANICAL ATT.

A LISTING OF CERTIFIED ATTS CAN BE FOUND AT <https://www.energy.ca.gov/programs-and-topics/programs/acceptance-test-technician-certification-provider-program/acceptance>

THE ACCEPTANCE TESTING PROCEDURES MUST BE REPEATED, AND DEFICIENCIES MUST BE CORRECTED BY THE BUILDER OR INSTALLING CONTRACTOR UNTIL THE CONSTRUCTION/INSTALLATION OF THE SPECIFIED SYSTEMS CONFORM AND PASS THE REQUIRED ACCEPTANCE CRITERIA.

PROJECT INSPECTORS WILL BE COLLECTING THE FORMS TO CONFIRM THAT THE REQUIRED ACCEPTANCE TESTS HAVE BEEN COMPLETED.

DSA APPROVAL OF THESE PLANS SHALL NOT BE CONSTRUED AS THE CERTIFICATION OF COMPLIANCE FOR THE PROJECT BUILDINGS AS REQUIRED BY THE FIELD ACT, EDUCATION CODE SECTIONS 17280-17316 AND SECTIONS 81130-81147

COMPLIANCE WITH LOCAL ORDINANCES
GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES.

ABBREVIATIONS

(REFER TO CONSULTANT DRAWINGS FOR ADDITIONAL ABBREVIATIONS)

| | | | |
|--------------|--------------------------------------|---------------|--|
| A.F.F. | ABOVE FINISHED FLOOR | LAM. | LAMINATE |
| A.P. | ACCESS PANEL | LAV. | LAVATORY |
| ACT. | ACOUSTIC TILE | M.B. | MACHINE BOLT |
| ADJ. | ADJUSTABLE | M.S. | MACHINE SCREW |
| ALUM. | ALUMINUM | M.H. | MANHOLE |
| A.B. | ANCHOR BOLT | MFG. | MANUFACTURER |
| APPROX. | APPROXIMATELY | M.B. | MARKER BOARD |
| ARCH. | ARCHITECT | MATL. | MATERIAL |
| AT. | ASPHALTIC CONCRETE | MAX. | MAXIMUM |
| B.M. | BENCH MARK | MECH. | MECHANICAL |
| BLKG. | BLOCKING | MIN. | MINIMUM |
| BD. | BOARD | MISC. | MISCELLANEOUS |
| B.W. | BOTH WAYS | MTD. | MOUNTED |
| BOT. | BOTTOM | N. | NEW |
| BLDG. | BUILDING | NOM. | NOMINAL |
| B.U.R. | BUILT-UP ROOFING | N.I.C. | NOT IN CONTRACT |
| C.B. | CATCH BASIN | N.T.S. | NOT TO SCALE |
| CLG. | CEILING | No. or # | NUMBER |
| CEM. | CEMENT | OCC. | OCCUPANT(CY) |
| C.C. or O.C. | CENTER TO CENTER | O.C. | ON CENTER |
| CER. TILE | CERAMIC TILE | OPNG. | OPENING |
| C.O. | CLEANOUT | OPP. | OPPOSITE |
| C.O.T.G. | CLEANOUT TO GRADE | O.H. | OPPOSITE HAND |
| CL.R. | CLEAR | O.F.O.S. | OUTSIDE FACE OF STUD |
| C.A.H.R. | CLEAR ALL HEART | O.H.W.S. | OVER HEAD WOOD SCREW |
| REDWOOD | COLD WATER | O.D. | OVERFLOW DRAIN and/or OUTSIDE DIAMETER |
| COL. | COLUMN | O.F.C.I. | OWNER FURNISHED and CONTRACTOR INSTALLED |
| COM. | COMMON | PAIR | PARTITION |
| CONC. | CONCRETE | PL. | PLATE |
| CONST. | CONSTRUCTION | PL. | PLATE |
| C.H. | CONSTRUCTION HEART | PENNY (NAILS) | PENNY (NAILS) |
| C.J. | CONSTRUCTION JOINT | PLAS. | PLASTER |
| CONT. | CONTINUOUS | PLYWD. | PLYWOOD |
| CONTR. | CONTRACTOR | P.V.C. | POLY VINYL CHLORIDE |
| CTR. | COUNTER | P.T. | PRESSURE TREATED |
| CTS.K. | COUNTER SUNK | P.L. | PROPERTY LINE |
| DET. | DETAIL | R. or RAD. | RADIUS |
| DIA. or Ø | DIAMETER | R.W.L. | RAIN WATER LEADER |
| DIM. | DIMENSION | R.W.D. | REDWOOD |
| D.A. | DISABLED ACCESS | REINF. | REINFORCING |
| DR. | DOOR | REQU. | REQUIRED |
| D.S. | DOWNSPOUT | R.A.G. | RETURN AIR GRILLE |
| DWG. | DRAWING | R.E. | RISE ELEVATION |
| D.F. | DRINKING FOUNTAIN and/or DOUGLAS FIR | R.D. | ROOF DRAIN |
| EA. | EACH | RM. | ROOM |
| E.W. | EACH WAY | R.O. | ROUGH OPENING |
| ELEC. | ELECTRIC or ELECTRICAL | RND. | ROUND |
| EL. or ELEV. | ELEVATION | R.H.M.S. | ROUND HEAD METAL SCREW |
| ENCL. | ENCLOSURE and/or ENCLOSURE | R.H.W.S. | ROUND HEAD WOOD SCREW |
| EQ. | EQUAL | SSD. | SEE STRUCTURAL DRAWINGS |
| EQUIP. | EQUIPMENT | S.T.S.M.S. | SELF TAPPING SHEET METAL SCREW |
| (E) | EXISTING | SHEATH. | SHEATHING |
| EX. | EXPANSION | S.M. | SHEET METAL |
| E.J. | EXPANSION JOINT | S.M.S. | SHEET METAL SCREW |
| EXP. | EXPOSED | S.O.V. | SHUT OFF VALVE |
| EXT. | EXTERIOR | SIM. | SIMILAR |
| F.O.C. | FACE OF CONCRETE | S.C. | SOLID CORE |
| F.O.M. | FACE OF MASONRY | SPEC. | SPECIFICATION |
| F.O.S. | FACE OF STUD | SQ. | SQUARE |
| F.O.F. | FACE OF FINISH | S.F. | SQUARE FEET |
| FIN. | FINISH | STAG. | STAGGERED |
| F.F. | FINISHED FLOOR | STD. | STANDARD |
| F.S. | FINISH SLAB | S. | STAINLESS STEEL |
| F.E. | FIRE EXTINGUISHER | STL. | STEEL |
| F.E.C. | FIRE EXTINGUISHER CABINET | STOR. | STORAGE |
| F.H. | FIRE HYDRANT | STRUCT. | STRUCTURAL |
| F.H.M.S. | FLAT HEAD METAL SCREW | S.A.G. | SUPPLY AIR GRILLE |
| F.H.W.S. | FLAT HEAD WOOD SCREW | THRES. | THRESHOLD |
| FL. or FLR. | FLOOR | T&G | TONGUE & GROOVE |
| F.D. | FLOOR DRAIN | T.J. | TOOLED JOINT |
| FTG. | FOOTING | T.O.B. | TOP OF BEAM |
| FOUND. | FOUNDATION | T.O.C. | TOP OF CURB or CONCRETE |
| GALV. | GALVANIZED | T.O.S. | TOP OF STEEL or SHEATHING |
| G.I. | GALVANIZED IRON | T.O.W. | TOP OF WALK |
| GA. | GALVANIZING | TYP. | TYPICAL |
| GL. | GLASS | U.O.N. | UNLESS OTHERWISE NOTED |
| GLU-LAM | GLUE-LAMINATED | U.O.S. | UNLESS OTHERWISE SHOWN |
| GRD. | GRADE | V.T.R. | VENT THROUGH ROOF |
| GYP. BD. | GYPSUM BOARD | VERT. | VERTICAL |
| HDW. | HARDWARE | V.G. | VERTICAL GRAIN |
| HT. | HEIGHT | V.I.F. | VERIFY IN FIELD |
| H.C. | HOLLOW CORE | V.C.T. | VINYL COMPOSITION TILE |
| H.M. | HOLLOW METAL | V.V.C. | VINYL WALL COVERING |
| HORIZ. | HORIZONTAL | V.O.I.P. | VOICE OVER INTERNET PROTOCOL |
| H.B. | HOSE BIBB | W.C. | WATER CLOSET |
| I.D. | INSIDE DIAMETER | W.H. | WATER HEATER |
| INSUL. | INSULATION | WP. | WATERPROOF |
| INT. | INTERIOR | W.R. | WATER RESISTANT |
| INV. | INVERT | W.W.M. | WELDED WIRE MESH |
| JT. | JOINT | W.D. | WINDOW DIMENSION |
| J.H. | JOIST HANGER | W. | WITH |
| K.D. | KILN DRIED | WO | WITHOUT |
| | | WD. | WOOD |

BLDG. CODES & STANDARDS:

| | | |
|-------------|--|-------------------------|
| 2022 | CALIFORNIA ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R. (CA AMENDED) | |
| 2022 | CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24, C.C.R. (2021 INTERNATIONAL BUILDING CODE, VOLUMES 1 AND 2, WITH 2022 CALIFORNIA AMENDMENTS.) | |
| 2022 | CALIFORNIA ELECTRIC CODE (CEC), PART 3, TITLE 24, C.C.R. (2020 NATIONAL ELECTRIC CODE WITH 2022 CALIFORNIA AMENDMENTS). | |
| 2022 | CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24, C.C.R. (2021 UNIFORM MECHANICAL CODE WITH 2022 CALIFORNIA AMENDMENTS). | |
| 2022 | CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24, C.C.R. (2021 UNIFORM PLUMBING CODE WITH 2022 CALIFORNIA AMENDMENTS). | |
| 2022 | CALIFORNIA ENERGY CODE (CENC), PART 6, TITLE 24, C.C.R. (2021 INTERNATIONAL FIRE CODE WITH 2022 CALIFORNIA AMENDMENTS). | |
| 2022 | CALIFORNIA FIRE CODE (CFC), PART 9, TITLE 24, C.C.R. (2021 INTERNATIONAL FIRE CODE WITH 2022 CALIFORNIA AMENDMENTS). | |
| 2022 | CALIFORNIA GREEN BUILDING STANDARDS CODE, PART 11, TITLE 24, C.C.R. (2021 INTERNATIONAL FIRE CODE WITH 2022 CALIFORNIA AMENDMENTS). | |
| 2022 | CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24, C.C.R. ASME A17.1/CSA B44 SAFETY CODE FOR ELEVATORS AND ESCALATORS | |
| 2019 | ADA STANDARDS FOR ACCESSIBLE DESIGN (28 CFR PART 35 FOR TITLE II ENTITIES) | |
| 2010 | CCR TITLE-19, PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS. | |
| NFPA 13 | INSTALLATION OF SPRINKLER SYSTEMS | 2022 EDITION |
| NFPA 14 | INSTALLATION OF STANDPIPE & HOSE SYSTEMS (CA AMENDED) | 2019 EDITION |
| NFPA 17 | DRY CHEMICAL EXTINGUISHING SYSTEMS | 2021 EDITION |
| NFPA 17A | WET CHEMICAL EXTINGUISHING SYSTEM | 2021 EDITION |
| NFPA 20 | STATIONARY FIRE PUMPS TO FIRE PROTECTION | 2019 EDITION |
| NFPA 22 | WATER TANKS FOR PRIVATE FIRE PROTECTION | 2013 EDITION |
| NFPA 24 | PRIVATE FIRE SERVICE MAINS (CA AMENDED) | 2019 EDITION |
| NFPA 25 | INSPECTION, TESTING AND MAINTENANCE OF WATER BASED FIRE PROTECTION SYSTEMS | 2013 CALIFORNIA EDITION |
| NFPA 72 | NATIONAL FIRE ALARM CODE (CA AMENDED) | 2022 EDITION |
| NFPA 80 | FIRE DOORS AND OTHER OPENING PROTECTIVES | 2019 EDITION |
| NFPA 92 | STANDARD FOR SMOKE CONTROL SYSTEMS | 2018 EDITION |
| NFPA 110 | EMERGENCY AND STANDBY POWER SYSTEMS | 2019 EDITION |
| NFPA 170 | STANDARD FOR FIRE SAFETY AND EMERGENCY SYMBOLS | 2018 EDITION |
| NFPA 253 | CRITICAL RADIANT FLUX OF FLOOR COVERING SYSTEMS | 2019 EDITION |
| NFPA 2001 | CLEAN AGENT FIRE EXTINGUISHING SYSTEMS | 2018 EDITION |
| ICC 300 | STANDARDS FOR BLEACHERS, FOLDING AND TELESCOPIC SEATING, AND GRANDSTANDS | 2017 EDITION |
| SFM 12-10-1 | POWER OPERATED EXIT DOORS | |
| SFM 12-10-2 | SINGLE POINT LATCHING OR LOCKING DEVICES | |
| SFM 12-10-3 | EMERGENCY EXIT & PANIC HARDWARE | |
| UL 38 | MANUAL OPERATING SIGNAL BOXES | 1999/2005 EDITION |
| UL 288 | SMOKE DETECTORS FOR FIRE PROTECTIVE SIGNALING SYSTEMS | 2016 EDITION |
| UL 268A | SMOKE DETECTORS DUCT APPLICATIONS | 1998/2003 EDITION |
| UL 300 | FIRE TESTING OF FIRE EXTINGUISHING SYSTEMS FOR PROTECTION OF COMMERCIAL COOKING EQUIPMENT | 2005 (R2010) |
| UL 305 | PANIC HARDWARE | 2012 EDITION |
| UL 464 | AUDIBLE SIGNALING DEVICES FOR FIRE ALARM AND SIGNALING SYSTEMS | 2003 EDITION |
| UL 521 | HEAT DETECTORS FOR FIRE PROTECTIVE SIGNALING SYSTEMS | 1999 EDITION |
| UL 864 | CONTROL UNITS FOR FIRE PROTECTIVE SIGNALING SYSTEMS (W/ REVISIONS THROUGH DEC. 2014) | 2014 EDITION |
| UL 1971 | SIGNALING DEVICES FOR THE HEARING IMPAIRED | 2002 EDITION |

| | | |
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COMPLIANCE WITH CBC CHAPTER 33, FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION AND CBC CHAPTER 33, SAFETY DURING CONSTRUCTION WILL BE ENFORCED.

SYMBOLS LEGEND

| | | |
|--|--------------------------------|------------------------------|
| | SECTION IDENTIFICATION | SECTION / EXTERIOR ELEVATION |
| | SHEET WHERE SECTION IS DRAWN | |
| | DETAIL IDENTIFICATION | DETAIL |
| | SHEET WHERE DETAIL IS DRAWN | |
| | INTERIOR ELEVATION | INTERIOR ELEVATION |
| | INDICATES ELEVATION SHOWN | |
| | SHEET WHERE ELEVATION IS DRAWN | |
| | CLASSROOM | ROOM IDENTIFICATION |
| | 102 | ROOM NAME |
| | | ROOM NUMBER |
| | SPECIFIC NOTE | |
| | DOOR DESIGNATION | |
| | WINDOW DESIGNATION | |
| | AROUND REVISION | CCD REVISION |
| | CLOUD AROUND REVISION | |
| | FINISH NUMBER | SEE SPECS AND I.E. DWGS. |
| | EQUIPMENT LETTER | SEE EQUIPMENT SCHEDULE |
| | CEILING HEIGHT | |
| | WALL TYPE | |
| | MATCH LINE | |
| | ELEV. HEIGHT | |
| | CENTER OF | |
| | FACE OF | |



PROJECT SUMMARY

EXTERIOR PAINTING INCLUDING ALL EXISTING BUILDINGS, COVERED WALKWAYS, METAL DECORATIVE FENCING, AND RAMP/RAILING SYSTEMS.

DRAWING INDEX

T1 TITLE SHEET

ARCHITECTURAL

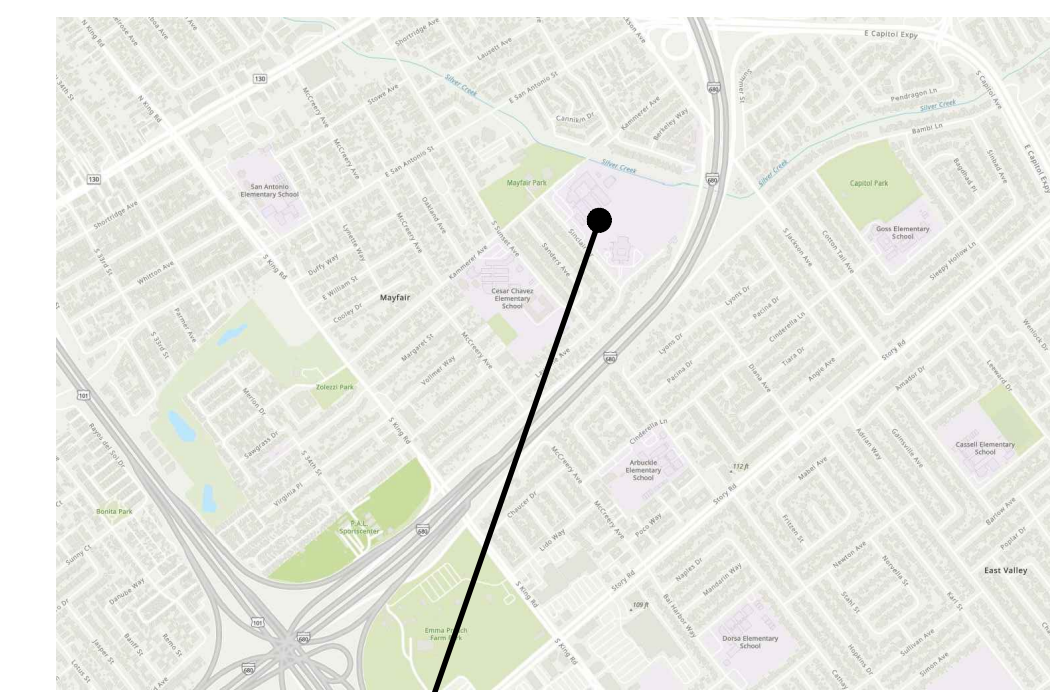
| | |
|------|--|
| A0.1 | SITE PLAN |
| A7.1 | EXTERIOR ELEVATIONS - EXTERIOR PAINTING BUILDINGS A, B & C |
| A7.2 | EXTERIOR ELEVATIONS - EXTERIOR PAINTING BUILDINGS D & E |
| A7.3 | EXTERIOR ELEVATIONS - EXTERIOR PAINTING BUILDINGS F & G |
| A7.4 | EXTERIOR ELEVATIONS - EXTERIOR PAINTING BUILDING H & TYPICAL COVERED WALKWAY |

SHEET TOTAL = 6

DESIGN TEAM

ARCHITECT
FINNEY ARCHITECTS
2155 SOUTH BASCOM AVENUE SUITE 250
CAMPBELL, CALIFORNIA 95008
(408) 398-1450
ATTN: MARK FINNEY MARK@FINNEYARCHITECTS.COM

VICINITY MAP



PROJECT LOCATION

(DSA STAMP AREA)

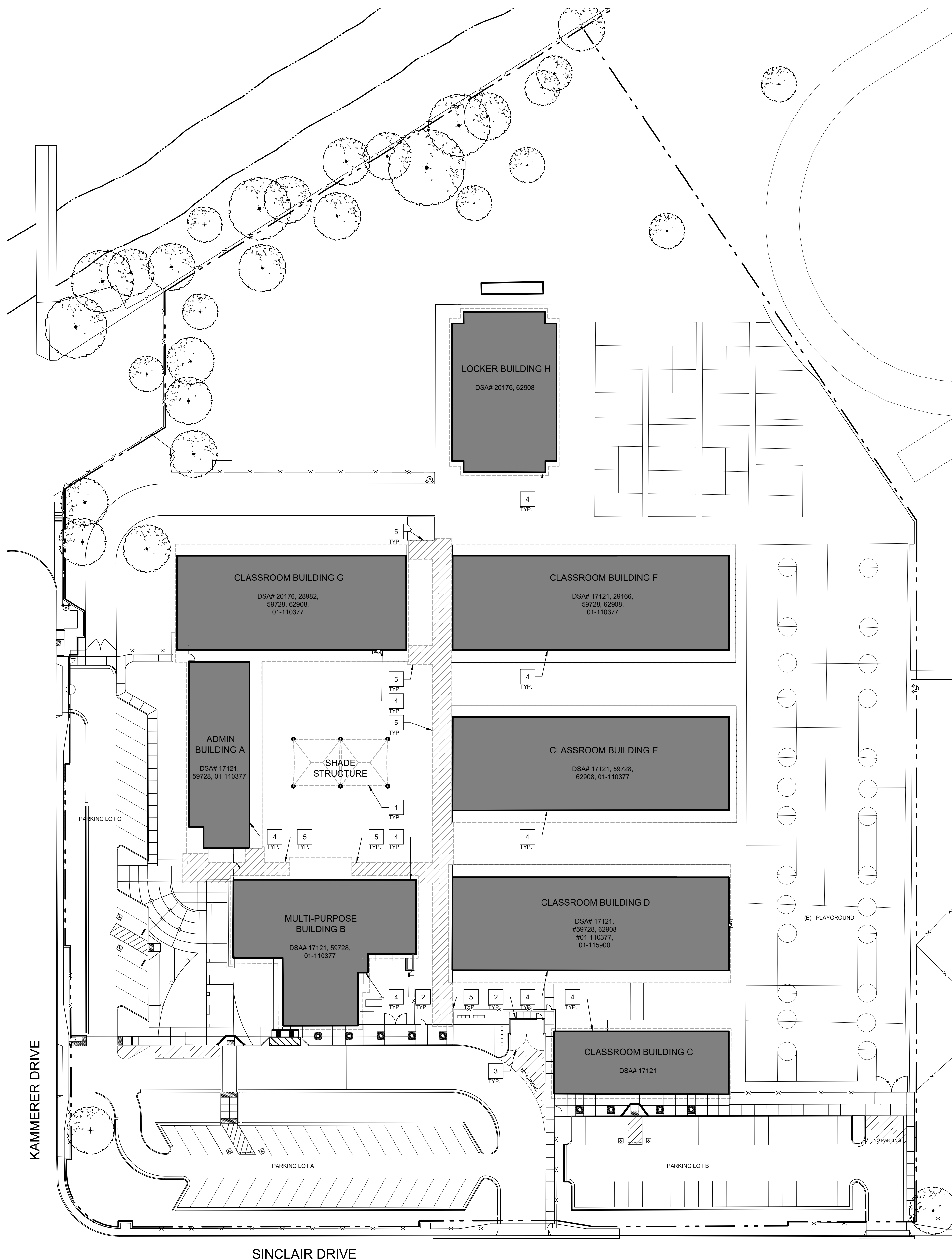


TITLE SHEET

| REVISIONS NO. | ITEM | DATE |
|---------------|---------|------------|
| | BID SET | 05/16/2025 |

| | |
|-------------|------------|
| DRAWN BY: | AB |
| CHECKED BY: | NJ |
| PROJECT NO: | DATE: |
| 25031 | 05/05/2025 |

T1



GENERAL NOTES

- A. ALL WALLS, DOORS, TRIM, SOFFITS, COLUMNS, BEAMS, PARAPETS, CONC. CURBS, ETC. ARE TO BE PROPERLY PREPD AND PRIMED FOR COMPLETE BUILDING PAINTING.
- B. ALL COVERED WALKWAYS, INCLUDING COLUMNS, BEAMS, FASCIA, ETC. ARE TO BE PROPERLY PREPD AND PRIMED FOR PAINTING.
- C. PAINT ALL MTL. FLASHING, DOWNSPOUTS, GUTTERS, TYP.
- D. PAINT ALL WALL LOUVERS, TYP. VERIFY QUANTITIES AND LOCATION IN FIELD.
- E. PAINT ALL EXPOSED CONDUIT AND PIPE, TYP.
- F. PAINT ALL WALL MOUNTED HOOK RACK, TYP.
- G. REMOVE (E) WALL MOUNTED AND SUSPENDED SCHOOL BUILDING IDENTIFICATION SIGNS, STORE FOR REINSTALLATION TYP. VERIFY LOCATIONS IN FIELD.
- H. CONTRACTOR MUST VERIFY EXISTING BUILDINGS AND COVERED WALKWAYS DIMENSIONS AND CONDITIONS IN FIELD.
- I. ALL EXTERIOR SCHOOL METAL DECORATIVE FENCE TO BE PRIMED AND PAINTED, VERIFY CONDITION, LOCATION, AND QUANTITIES IN FIELD. COLOR TO BE BLACK, TYP.
- J. ALL (E) WALL MURALS TO REMAIN, PROTECT IN PLACE.
- K. ALL COVERED WALKWAYS SIMILAR, V.I.F.
- L. CONTRACTOR RESPONSIBLE FOR PROTECTION OF (E) DRINKING FOUNTAINS AND CERAMIC BACK TILE WALL.
- M. PAINT ALL (E) FIXED BENCHES, TYP. VERIFY QUANTITIES IN FIELD.

SITE PLAN NOTES

- 1. (E) SHADE STRUCTURE TO REMAIN, PROTECT IN PLACE.
- 2. (E) CONC. BLOCK TRASH ENCLOSURE WALLS PAINTED, TYP.
- 3. (E) METAL TRASH ENCLOSURE GATES PAINTED, TYP.
- 4. (E) BUILDING EXTERIOR PAINTED, TYP.
- 5. (E) COVERED WALKWAY PAINTED, TYP.

GRAPHIC KEY

- EXISTING PROPERTY LINE
- - - ROOF OVERHANG
- - - CHAINLINK FENCE
- - - WOOD FENCE
- - - DECORATIVE FENCE
- EXISTING BUILDING INCLUDED IN SCOPE OF WORK
- ▨ EXISTING COVERED WALKWAY INCLUDED IN SCOPE OF WORK
- EXISTING RESTROOMS
- DRINKING FOUNTAIN
- ⊕ (E) FIRE HYDRANT
- M (E) MENS TOILET ROOM
- W (E) WOMENS TOILET ROOM
- G (E) GIRLS TOILET ROOM
- B (E) BOYS TOILET ROOM
- U (E) UNISEX TOILET ROOM
- K (E) KINDERGARTEN TOILET ROOM

(DSA STAMP AREA)

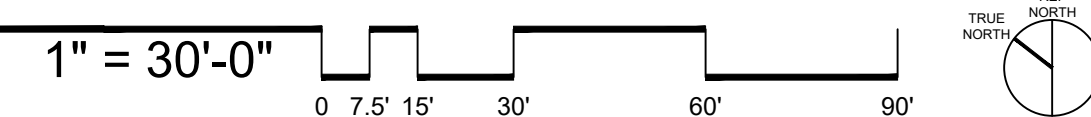
FINNEY ARCHITECTS
 2155 SOUTH BASCOM AVE.
 SUITE 250
 CAMPBELL, CA 95008
 PHONE: 408-398-1450

SITE PLAN
 EXTERIOR PAINTING AT
 RENAISSANCE ACADEMY AT MATHSON
 2050 KAMMERER AVENUE, SAN JOSE, CA 95116
 ALUM ROCK UNION SCHOOL DISTRICT

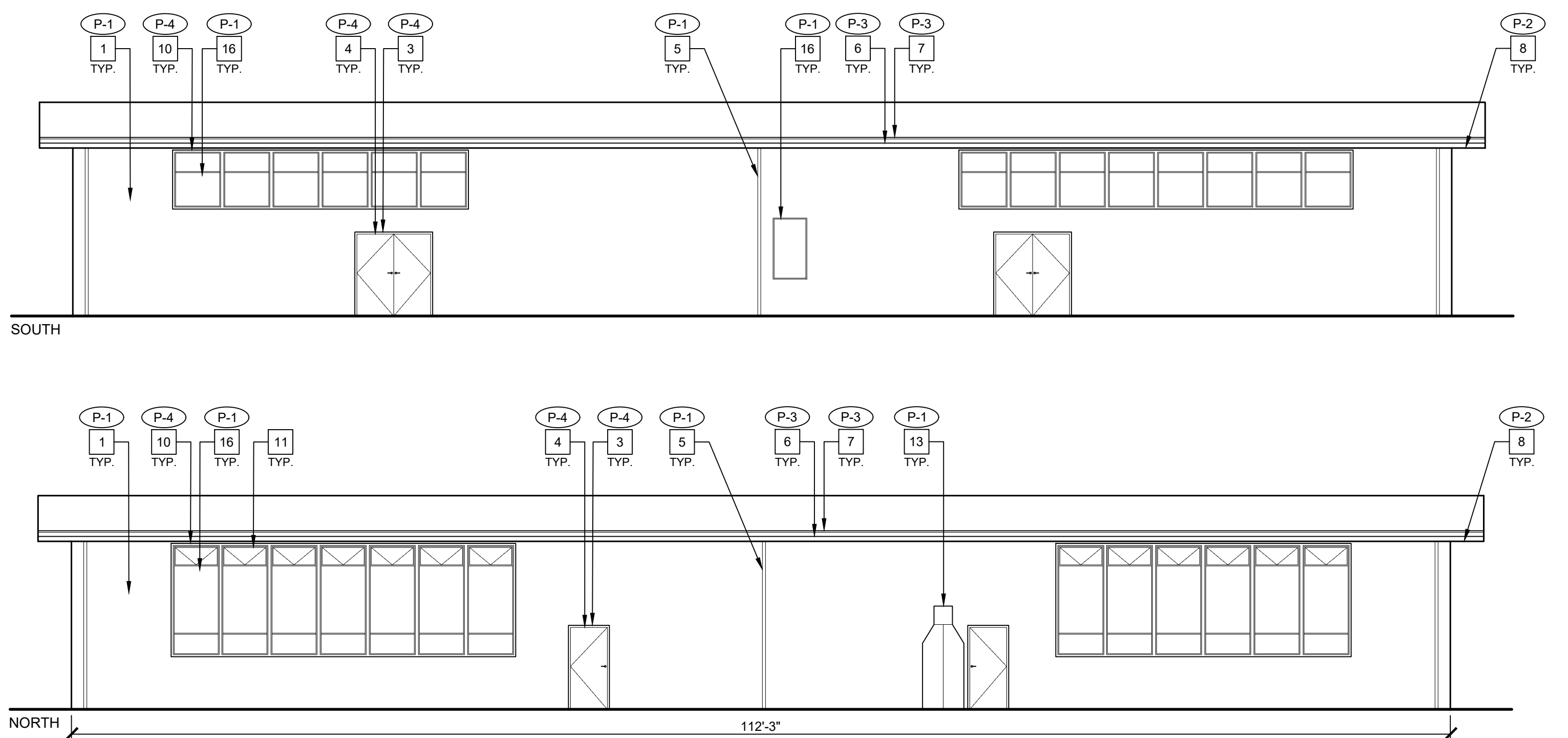
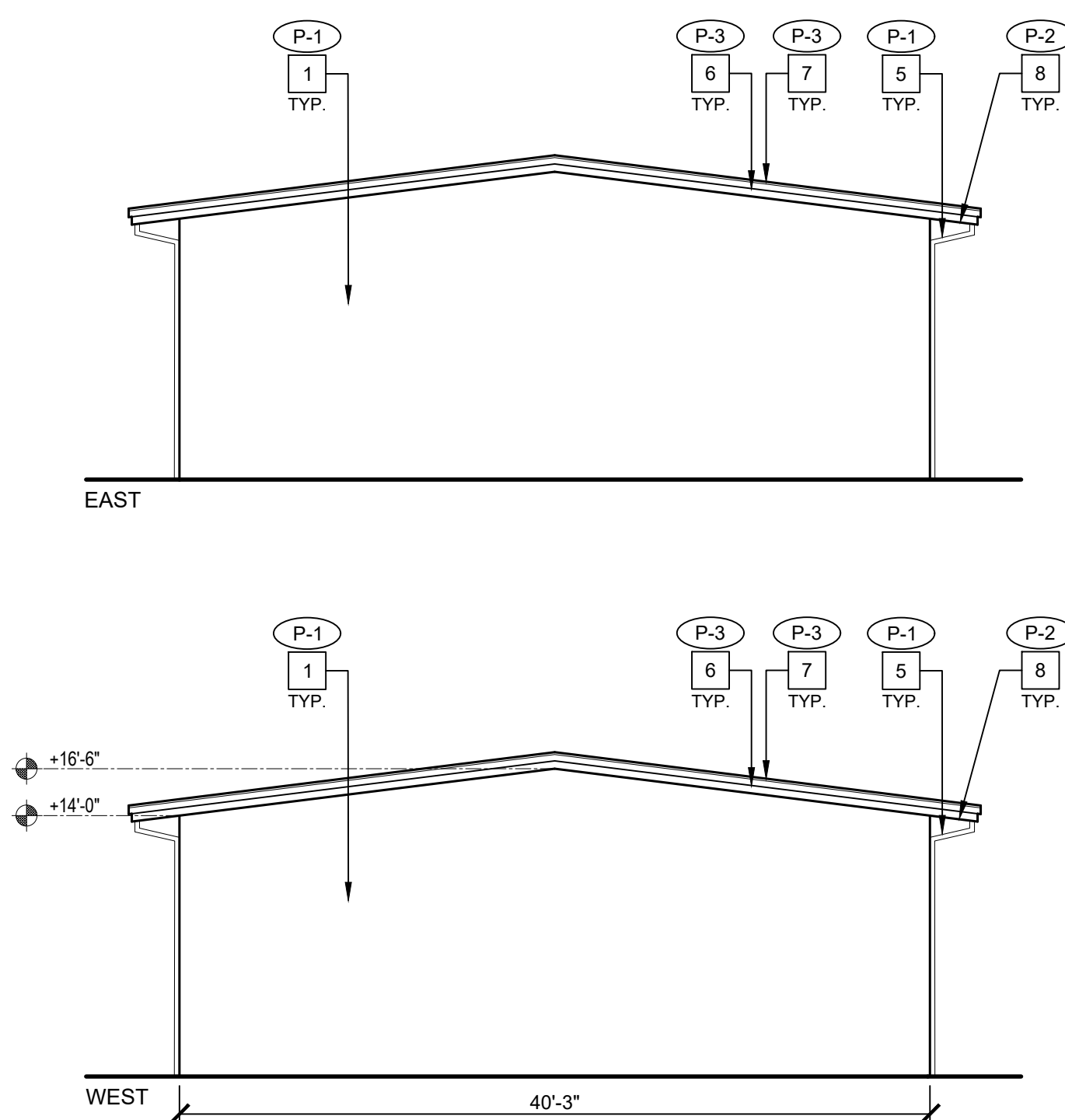
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DRAWN BY: AB
 CHECKED BY: NJ
 PROJECT NO: 25031 DATE: 05/05/2025

1 SITE PLAN

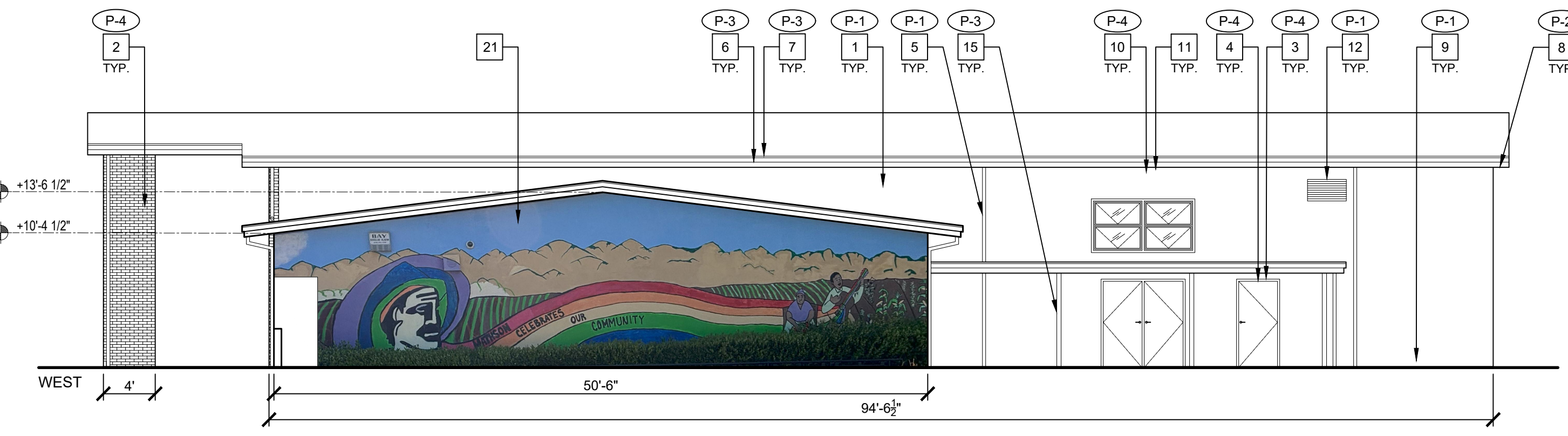
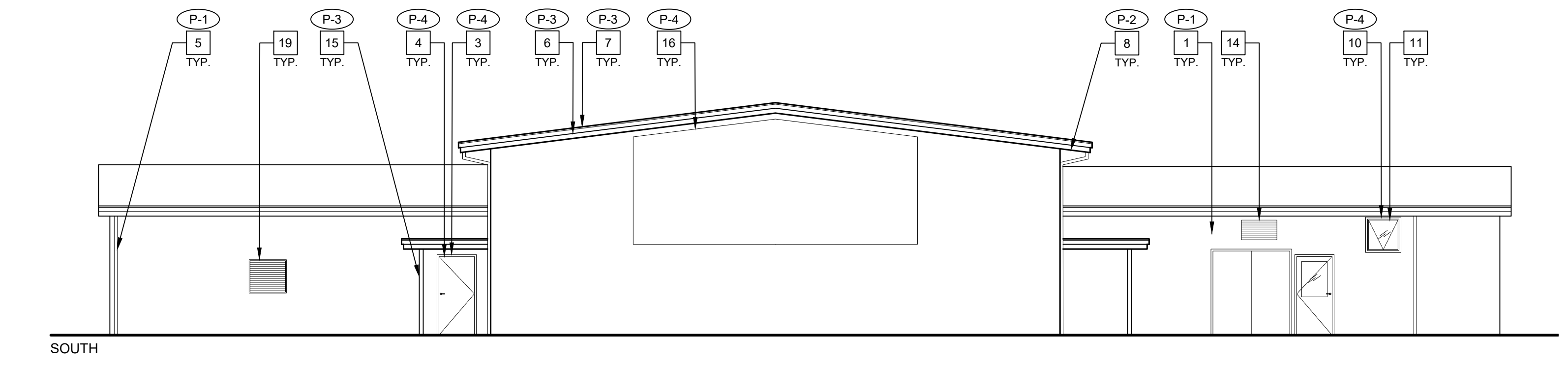
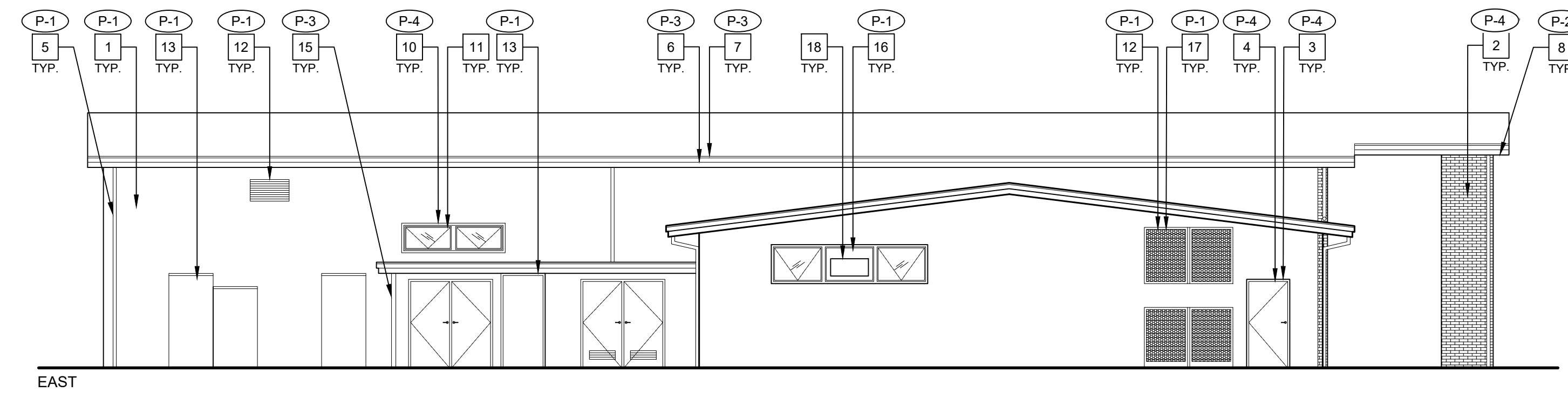


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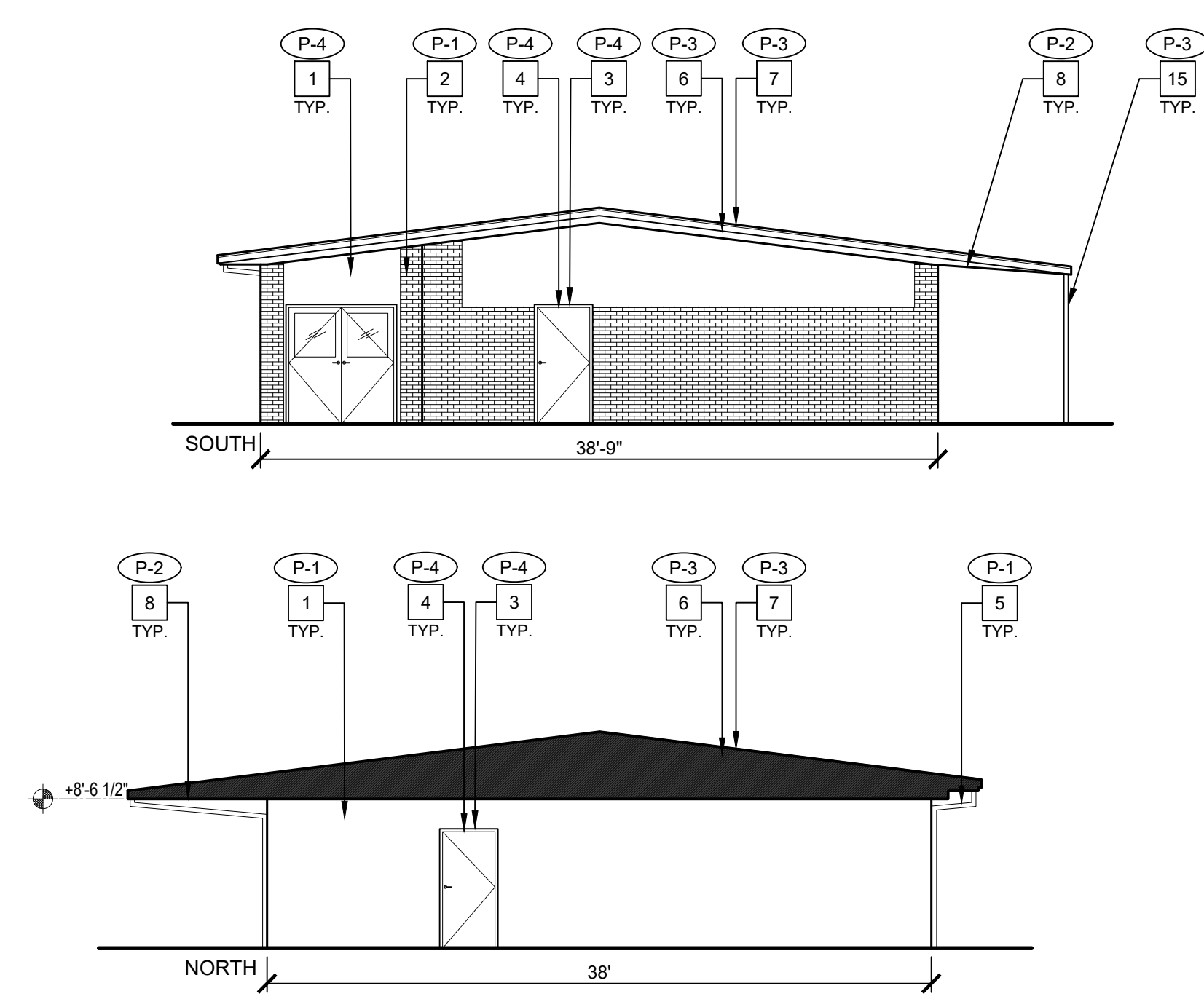
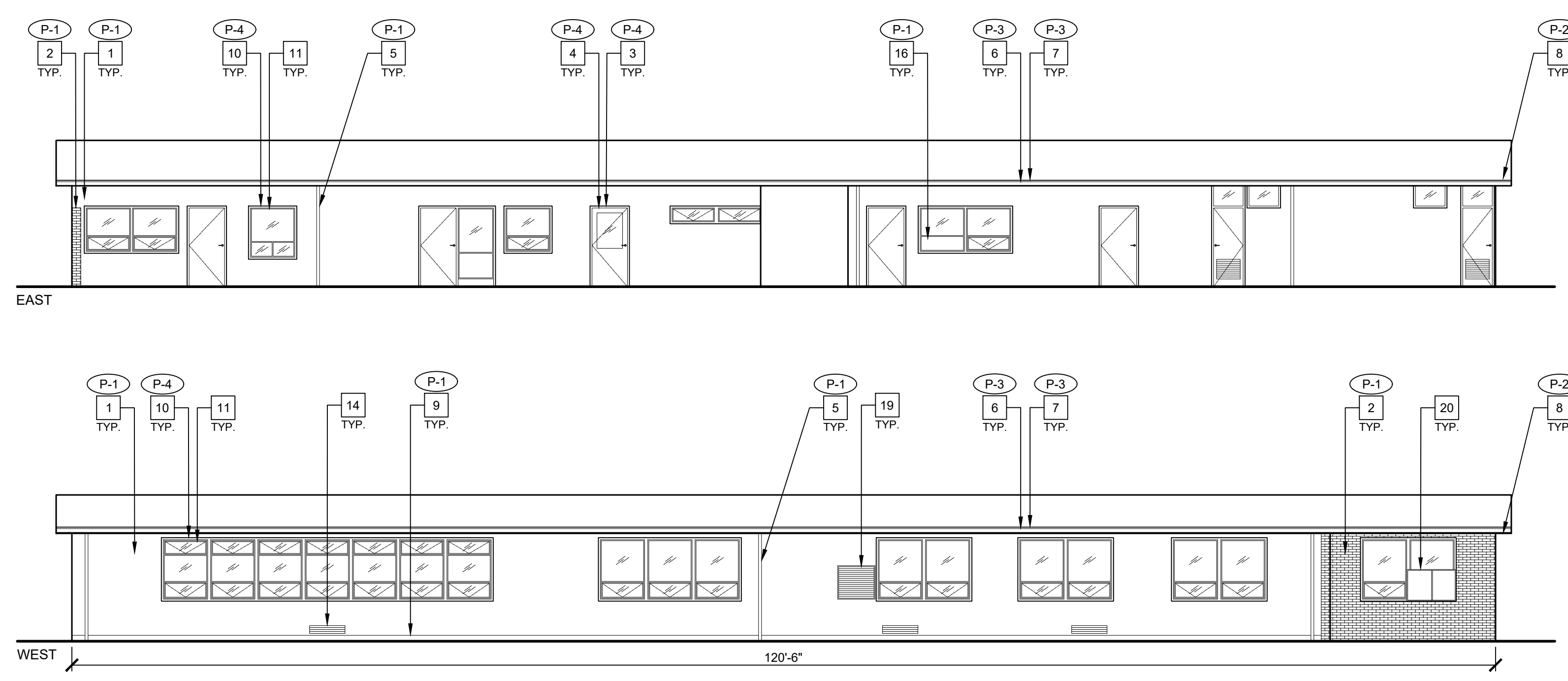
3 EXTERIOR ELEVATIONS - BUILDING C

1/8" = 1'-0"
0 2' 4' 8' 16' 24'



2 EXTERIOR ELEVATIONS - BUILDING B

1/8" = 1'-0"
0 2' 4' 8' 16' 24'



1 EXTERIOR ELEVATIONS - BUILDING A

1/8" = 1'-0"
0 2' 4' 8' 16' 24'

GENERAL NOTES

- A. ALL WALLS, DOORS, TRIM, SOFFITS, COLUMNS, BEAMS, PARAPETS, CONC. CURBS, ETC. ARE TO BE PROPERLY PREP'D AND PRIMED FOR COMPLETE BUILDING PAINTING.
- B. ALL COVERED WALKWAYS, INCLUDING COLUMNS, BEAMS, FASCIA, ETC. ARE TO BE PROPERLY PREP'D AND PRIMED FOR PAINTING.
- C. PAINT ALL MTL. FLASHING, DOWNSPOUTS, GUTTERS, TYP.
- D. PAINT ALL WALL LOUVERS, TYP. VERIFY QUANTITIES AND LOCATION IN FIELD.
- E. PAINT ALL EXPOSED CONDUIT AND PIPE, TYP.
- F. PAINT ALL WALL MOUNTED HOOK RACK, TYP.
- G. REMOVE (E) WALL MOUNTED AND SUSPENDED SCHOOL BUILDING IDENTIFICATION SIGNS, STORE FOR REINSTALLATION TYP. VERIFY LOCATIONS IN FIELD.
- H. CONTRACTOR MUST VERIFY EXISTING BUILDINGS AND COVERED WALKWAYS DIMENSIONS AND CONDITIONS IN FIELD.
- I. ALL EXTERIOR SCHOOL METAL DECORATIVE FENCE TO BE PRIMED AND PAINTED, VERIFY CONDITION, LOCATION, AND QUANTITIES IN FIELD. COLOR TO BE BLACK, TYP.
- J. ALL (E) WALL MURALS TO REMAIN, PROTECT IN PLACE.
- K. ALL COVERED WALKWAYS SIMILAR, V.I.F.
- L. CONTRACTOR RESPONSIBLE FOR PROTECTION OF (E) DRINKING FOUNTAINS AND CERAMIC BACK TILE WALL.
- M. PAINT ALL (E) FIXED BENCHES, TYP. VERIFY QUANTITIES IN FIELD.

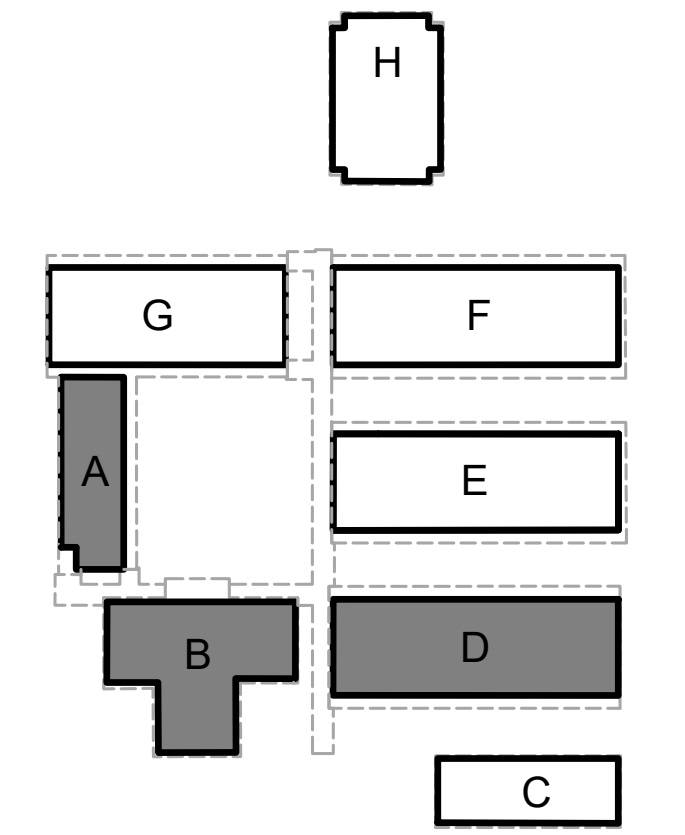
EXTERIOR ELEVATION NOTES

- 1. (E) CEMENT PLASTER WALL FINISH PAINTED, TYP.
- 2. (E) BRICK VENEER WALL FINISH PAINTED, TYP.
- 3. (E) DOOR TRIM PAINTED, TYP.
- 4. (E) DOOR PAINTED, TYP.
- 5. (E) RAINWATER LEADER PAINTED, TYP.
- 6. (E) FASCIA PAINTED, TYP.
- 7. (E) METAL FLASHING PAINTED, TYP.
- 8. (E) UNDERSIDE OF EAVE PAINTED, TYP.
- 9. (E) WALL BASE PAINTED, TYP.
- 10. (E) WINDOW TRIM PAINTED, TYP.
- 11. (E) WINDOWS TO REMAIN, TYP. PROTECT IN PLACE.
- 12. (E) LOUVER PAINTED, TYP.
- 13. (E) ELECTRICAL PANEL PAINTED, TYP.
- 14. (E) VENT TO REMAIN, TYP. PROTECT IN PLACE.
- 15. (E) COLUMN PAINTED, TYP.
- 16. (E) OPAQUE WINDOW PANEL PAINTED, TYP.
- 17. (E) METAL GRATE PAINTED, TYP.
- 18. (E) AC UNIT TO REMAIN, TYP. PROTECT IN PLACE.
- 19. (E) LOUVER TO REMAIN, TYP. PROTECT IN PLACE.
- 20. (E) BULLETIN BOARD TO BE REMOVED, STORE FOR REINSTALLATION.
- 21. (E) SCHOOL MURAL TO REMAIN, PROTECT IN PLACE.

GRAPHIC KEY

- (P-1) PAINT TAG:
- (P-2) PAINT TAG:
- (P-3) PAINT TAG:
- (P-4) PAINT TAG:

BUILDING KEY



(DSA STAMP AREA)

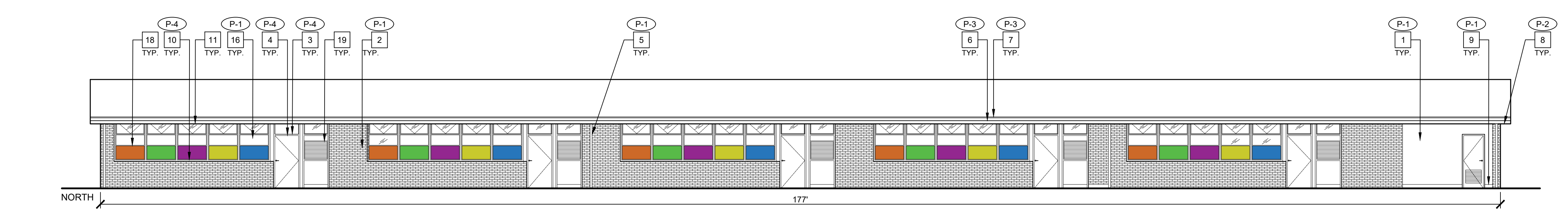
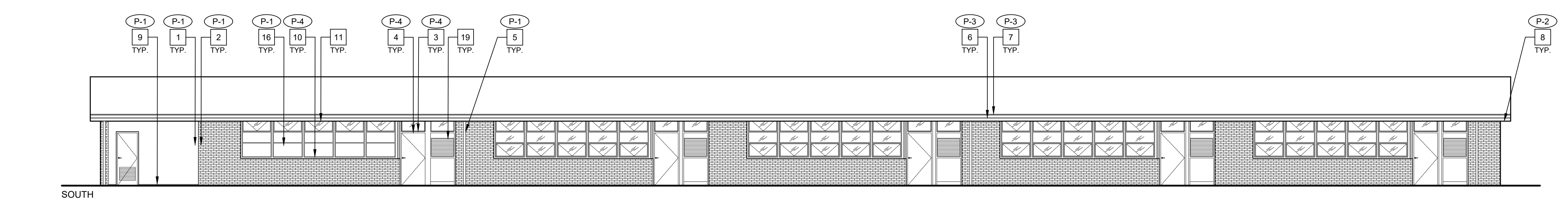
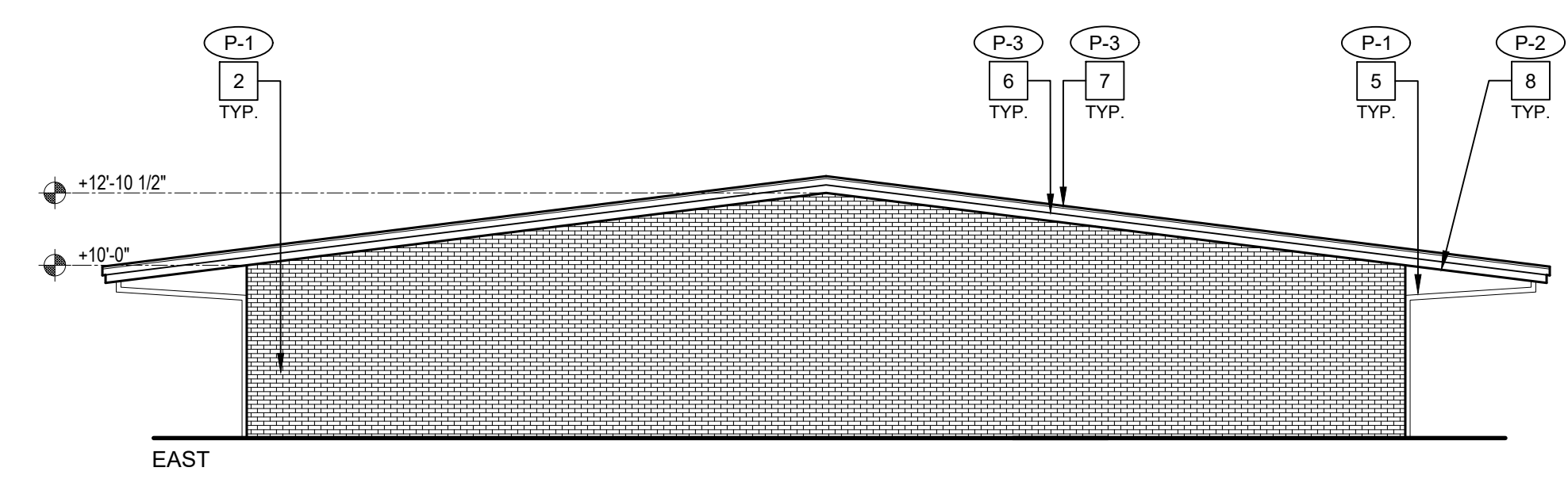
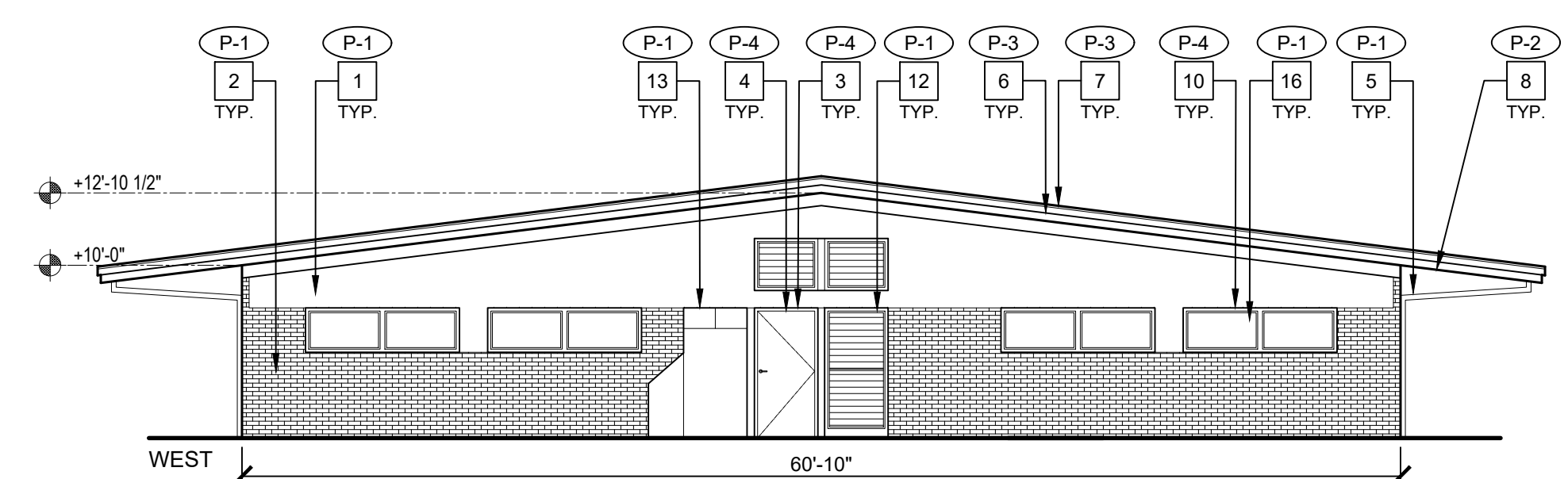
FINNEY ARCHITECTS
2155 SOUTH BASCOM AVE.
SUITE 250
CAMPBELL, CA 95008
PHONE: 408-398-1450

EXTERIOR ELEVATIONS - EXTERIOR PAINTING
BUILDINGS A, B & C
 EXTERIOR PAINTING AT
 RENAISSANCE ACADEMY AT MATHSON
 2050 KAMMERER AVENUE, SAN JOSE, CA 95116
 ALUM ROCK UNION SCHOOL DISTRICT

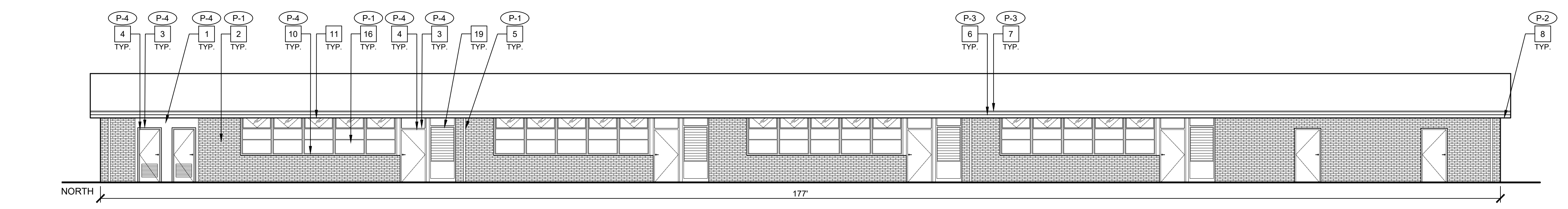
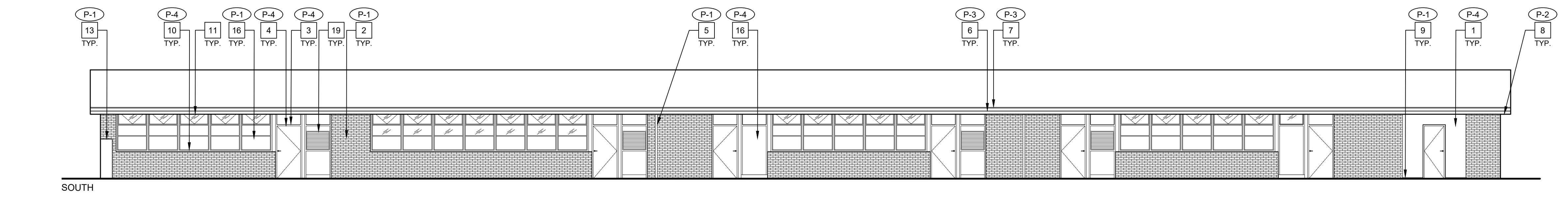
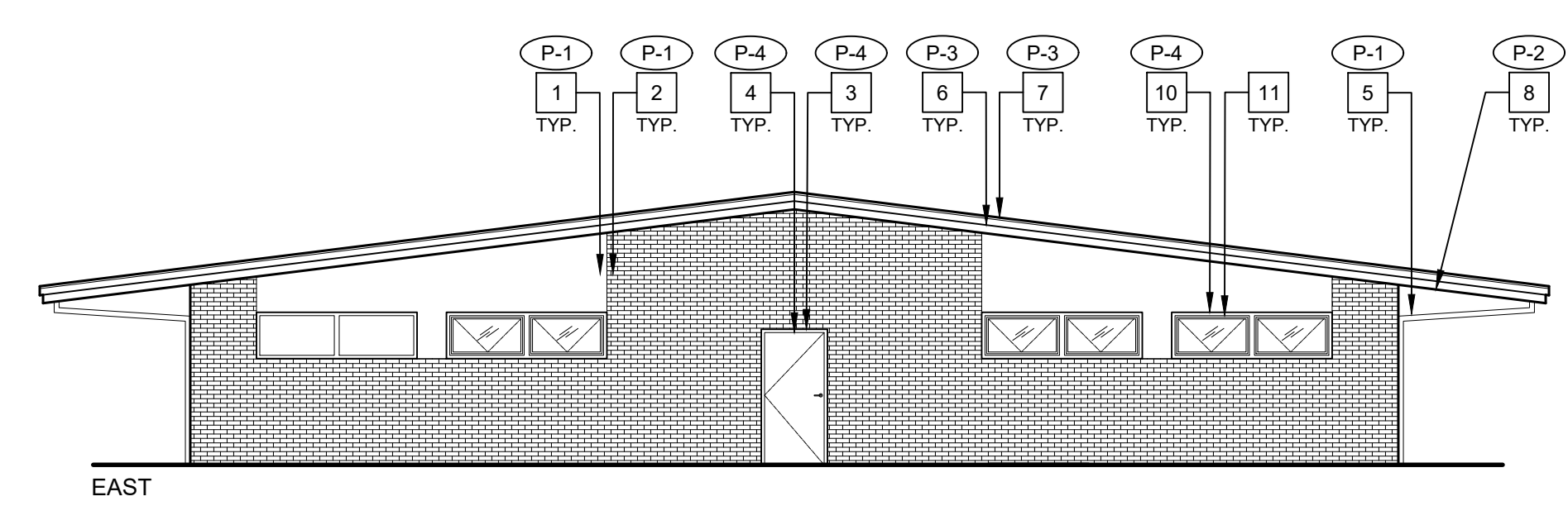
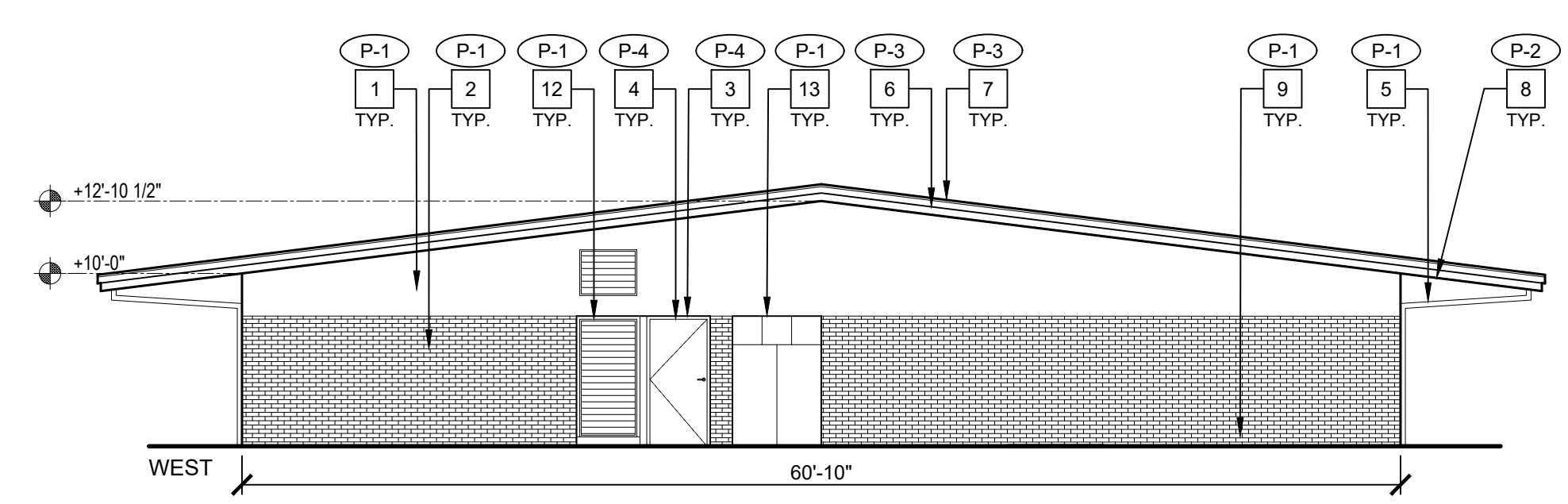
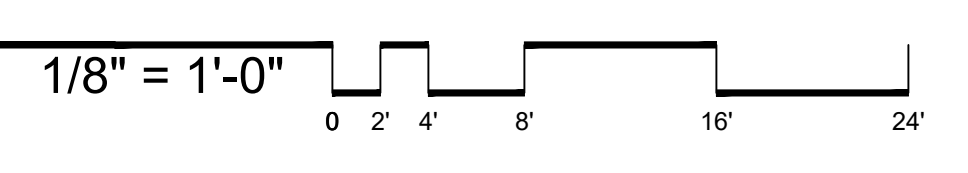
| REVISIONS NO. | ITEM | DATE |
|---------------|---------|------------|
| | BID SET | 05/16/2025 |

DRAWN BY: AB
CHECKED BY: NJ
PROJECT NO: 25031
DATE: 05/05/2025

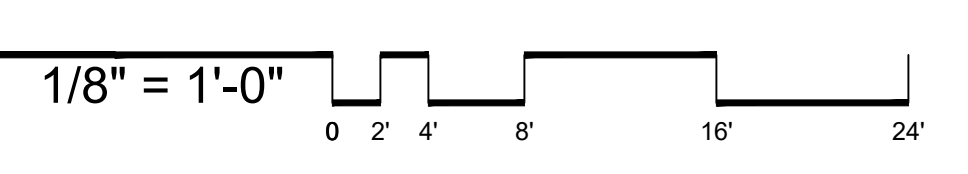
A7.1



2 EXTERIOR ELEVATIONS - BUILDING E



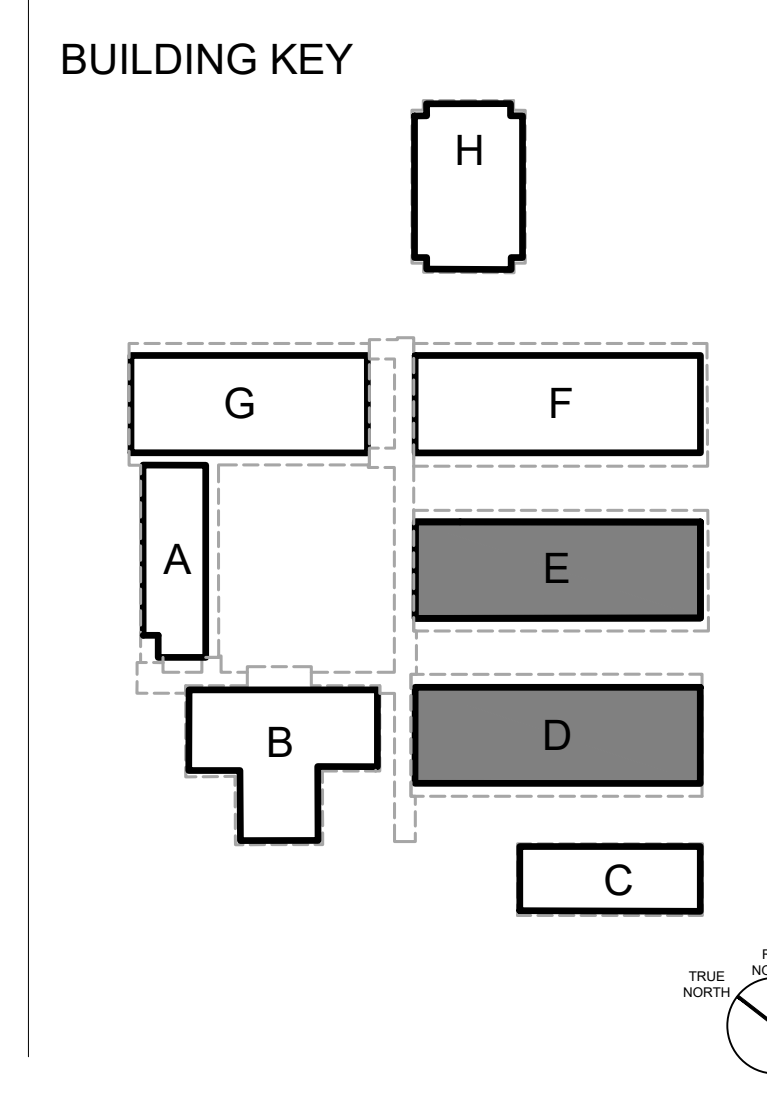
1 EXTERIOR ELEVATIONS - BUILDING D



- GENERAL NOTES**
- A. ALL WALLS, DOORS, TRIM, SOFFITS, COLUMNS, BEAMS, PARAPETS, CONC. CURBS, ETC. ARE TO BE PROPERLY PREPD AND PRIMED FOR COMPLETE BUILDING PAINTING.
 - B. ALL COVERED WALKWAYS, INCLUDING COLUMNS, BEAMS, FASCIA, ETC. ARE TO BE PROPERLY PREPD AND PRIMED FOR PAINTING.
 - C. PAINT ALL MTL. FLASHING, DOWNSPOUTS, GUTTERS, TYP.
 - D. PAINT ALL WALL LOUVERS, TYP. VERIFY QUANTITIES AND LOCATION IN FIELD.
 - E. PAINT ALL EXPOSED CONDUIT AND PIPE, TYP.
 - F. PAINT ALL WALL MOUNTED HOOK RACK, TYP.
 - G. REMOVE (E) WALL MOUNTED AND SUSPENDED SCHOOL BUILDING IDENTIFICATION SIGNS. STORE FOR REINSTALLATION TYP. VERIFY LOCATIONS IN FIELD.
 - H. CONTRACTOR MUST VERIFY EXISTING DIMENSIONS AND CONDITIONS IN FIELD.
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 - J. ALL (E) WALL MURALS TO REMAIN, PROTECT IN PLACE.
 - K. ALL COVERED WALKWAYS SIMILAR, V.I.F.
 - L. CONTRACTOR RESPONSIBLE FOR PROTECTION OF (E) DRINKING FOUNTAINS AND CERAMIC BACK TILE WALL.
 - M. PAINT ALL (E) FIXED BENCHES, TYP. VERIFY QUANTITIES IN FIELD.

- EXTERIOR ELEVATION NOTES**
- 1. (E) CEMENT PLASTER WALL FINISH PAINTED, TYP.
 - 2. (E) BRICK VENEER WALL FINISH PAINTED, TYP.
 - 3. (E) DOOR TRIM PAINTED, TYP.
 - 4. (E) DOOR PAINTED, TYP.
 - 5. (E) RAINWATER LEADER PAINTED, TYP.
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 - 7. (E) METAL FLASHING PAINTED, TYP.
 - 8. (E) UNDERSIDE OF EAVE PAINTED, TYP.
 - 9. (E) WALL BASE PAINTED, TYP.
 - 10. (E) WINDOW TRIM PAINTED, TYP.
 - 11. (E) WINDOWS TO REMAIN, TYP. PROTECT IN PLACE.
 - 12. (E) LOUVER PAINTED, TYP.
 - 13. (E) ELECTRICAL PANEL PAINTED, TYP.
 - 14. (E) VENT TO REMAIN, TYP. PROTECT IN PLACE.
 - 15. (E) CERAMIC WALL FINISH TO REMAIN, PROTECT IN PLACE.
 - 16. (E) OPAQUE WINDOW PANEL PAINTED, TYP.
 - 17. (E) METAL GRATE PAINTED, TYP.
 - 18. (E) PAINTED WINDOW PANEL TO REMAIN, TYP. PROTECT IN PLACE.
 - 19. (E) LOUVER TO REMAIN, TYP. PROTECT IN PLACE.

- GRAPHIC KEY**
- (P-1) PAINT TAG:
 - (P-2) PAINT TAG:
 - (P-3) PAINT TAG:
 - (P-4) PAINT TAG:



(DSA STAMP AREA)

FINNEY ARCHITECTS
 2155 SOUTH BASCOM AVE.
 SUITE 250
 CAMPBELL, CA 95008
 PHONE: 408-398-1450

EXTERIOR ELEVATIONS - EXTERIOR PAINTING
BUILDINGS D & E
 EXTERIOR PAINTING AT
 RENAISSANCE ACADEMY AT MATHSON
 2050 KAMMERER AVENUE, SAN JOSE, CA 95116
 ALUM ROCK UNION SCHOOL DISTRICT

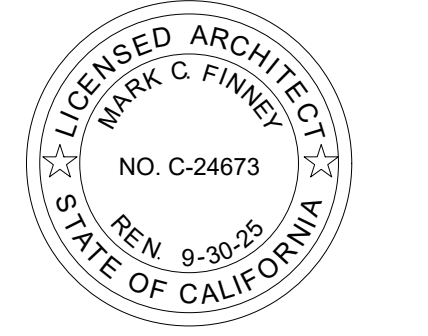
| NO. | REVISIONS | ITEM | DATE |
|-----|-----------|------|------------|
| | BID SET | | 05/16/2025 |

DRAWN BY: AB
 CHECKED BY: NJ
 PROJECT NO: 25031
 DATE: 05/05/2025

A7.2



2155 SOUTH BASCOM AVE.
SUITE 250
CAMPBELL, CA 95008
PHONE: 408-398-1450

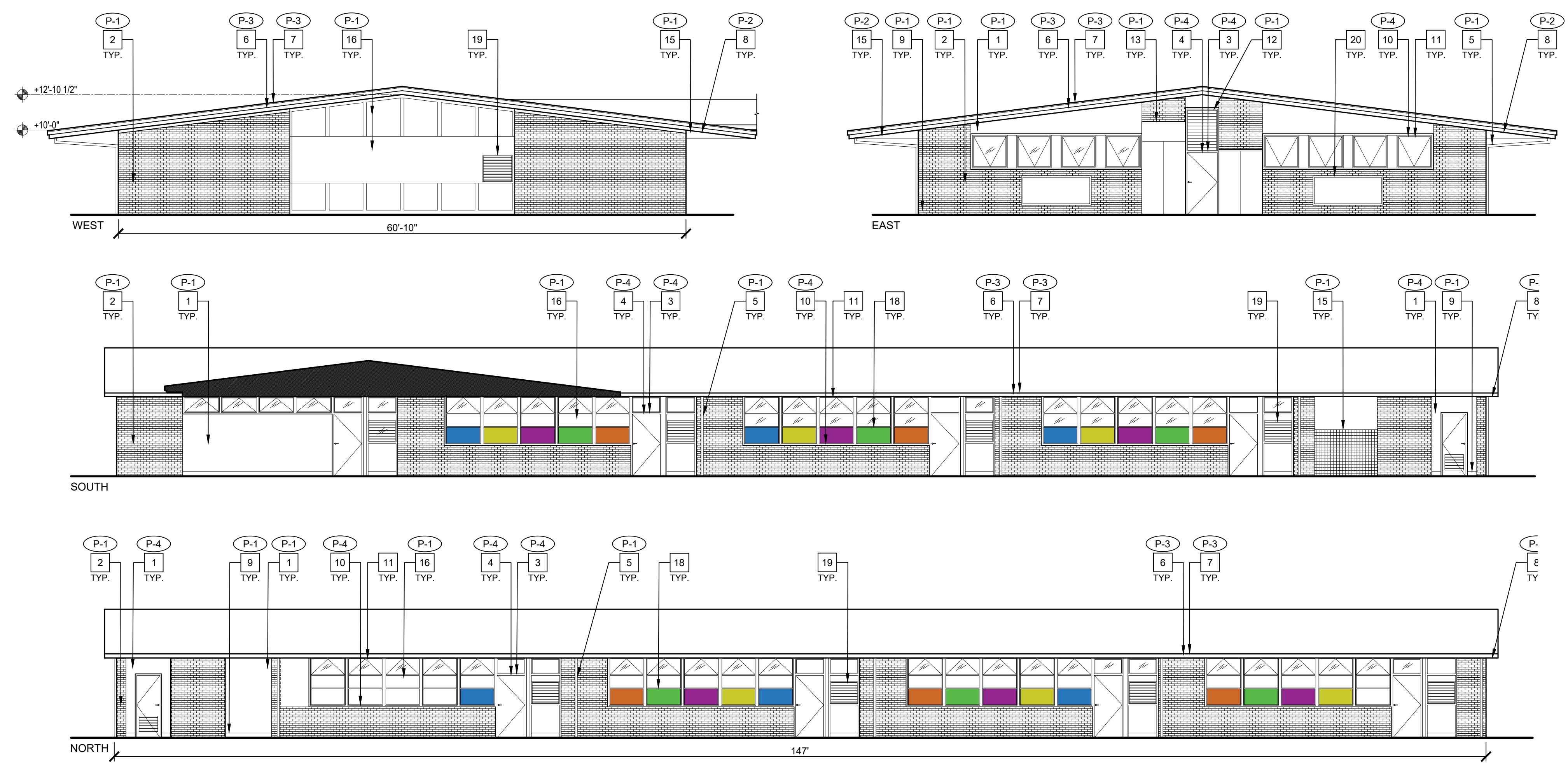


GENERAL NOTES

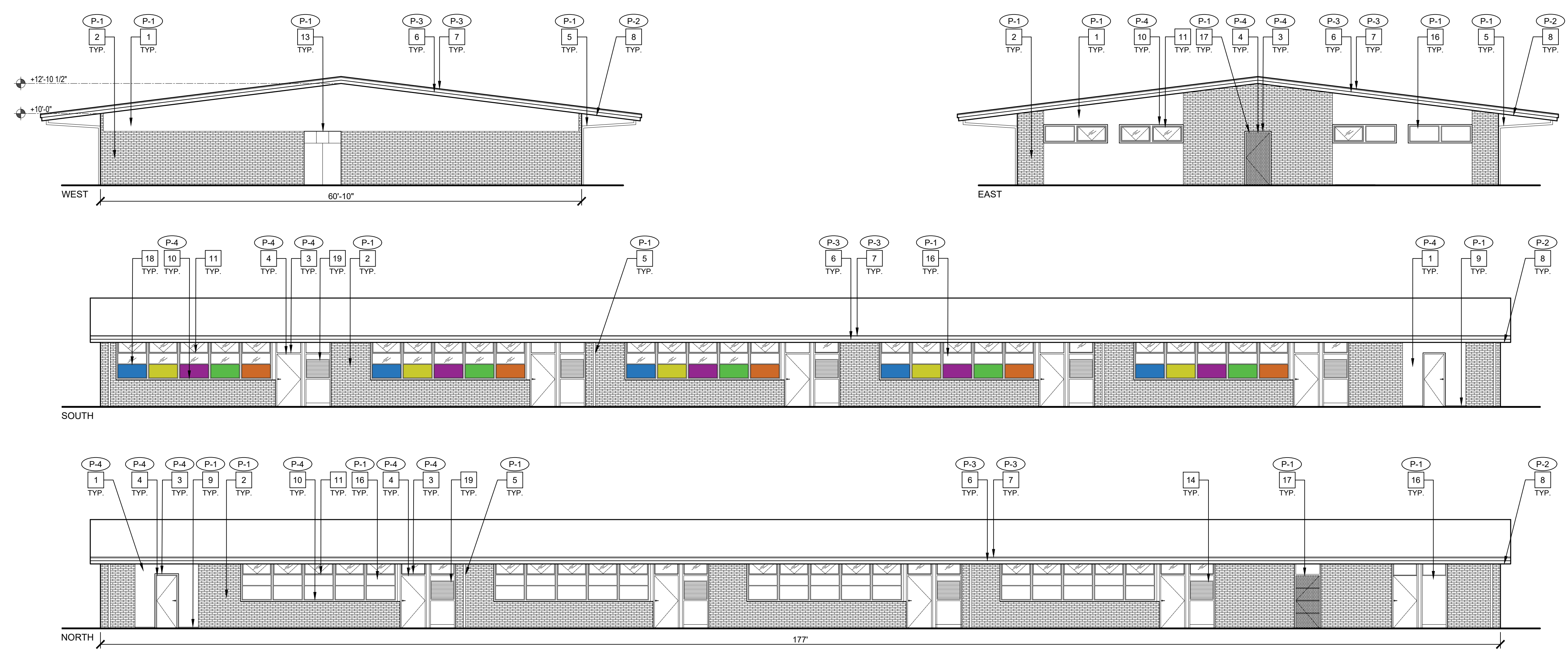
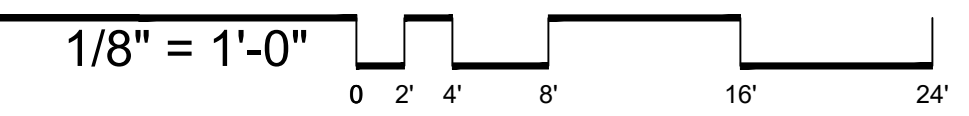
- A. ALL WALLS, DOORS, TRIM, SOFFITS, COLUMNS, BEAMS, PARAPETS, CONC. CURBS, ETC. ARE TO BE PROPERLY PREP'D AND PRIMED FOR COMPLETE BUILDING PAINTING.
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- C. PAINT ALL MTL. FLASHING, DOWNSPOUTS, GUTTERS, TYP.
- D. PAINT ALL WALL LOUVERS, TYP. VERIFY QUANTITIES AND LOCATION IN FIELD.
- E. PAINT ALL EXPOSED CONDUIT AND PIPE, TYP. PAINT ALL WALL MOUNTED HOOK RACK, TYP.
- F. REMOVE (E) WALL MOUNTED AND SUSPENDED SCHOOL BUILDING IDENTIFICATION SIGNS. STORE FOR REINSTALLATION TYP. VERIFY LOCATIONS IN FIELD.
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- K. ALL COVERED WALKWAYS SIMILAR, V.I.F.
- L. CONTRACTOR RESPONSIBLE FOR PROTECTION OF (E) DRINKING FOUNTAINS AND CERAMIC BACK TILE WALL.
- M. PAINT ALL (E) FIXED BENCHES, TYP. VERIFY QUANTITIES IN FIELD.

EXTERIOR ELEVATION NOTES

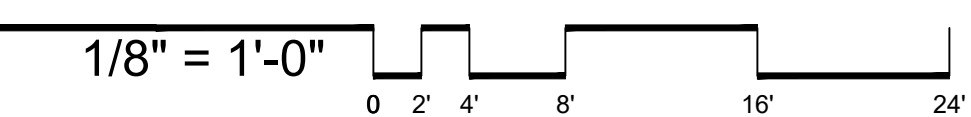
- 1. (E) CEMENT PLASTER WALL FINISH PAINTED, TYP.
- 2. (E) BRICK VENEER WALL FINISH PAINTED, TYP.
- 3. (E) DOOR TRIM PAINTED, TYP.
- 4. (E) DOOR PAINTED, TYP.
- 5. (E) RAINWATER LEADER PAINTED, TYP.
- 6. (E) FASCIA PAINTED, TYP.
- 7. (E) METAL FLASHING PAINTED, TYP.
- 8. (E) UNDERSIDE OF EAVER PAINTED, TYP.
- 9. (E) WALL BASE PAINTED, TYP.
- 10. (E) WINDOW TRIM PAINTED, TYP.
- 11. (E) WINDOWS TO REMAIN, TYP. PROTECT IN PLACE.
- 12. (E) LOUVER PAINTED, TYP.
- 13. (E) ELECTRICAL PANEL PAINTED, TYP.
- 14. (E) VENT TO REMAIN, TYP. PROTECT IN PLACE.
- 15. (E) BEAM PAINTED, TYP.
- 16. (E) OPAQUE WINDOW PANEL PAINTED, TYP.
- 17. (E) METAL GRATE PAINTED, TYP.
- 18. (E) PAINTED WINDOW PANEL TO REMAIN, TYP. PROTECT IN PLACE.
- 19. (E) LOUVER TO REMAIN, TYP. PROTECT IN PLACE.
- 20. (E) BULLETIN BOARD TO BE REMOVED, TYP.



2 EXTERIOR ELEVATIONS - BUILDING G



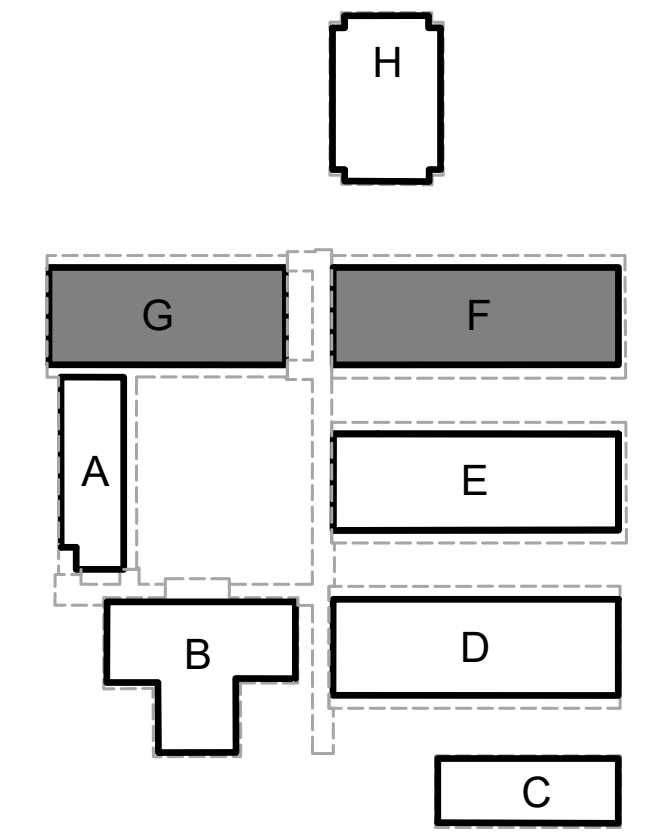
1 EXTERIOR ELEVATIONS - BUILDING F



GRAPHIC KEY

- (P-1) PAINT TAG:
- (P-2) PAINT TAG:
- (P-3) PAINT TAG:
- (P-4) PAINT TAG:

BUILDING KEY



EXTERIOR ELEVATIONS - EXTERIOR PAINTING
BUILDINGS F & G

EXTERIOR PAINTING AT
RENAISSANCE ACADEMY AT MATHSON
2050 KAMMERER AVENUE, SAN JOSE, CA 95116
ALUM ROCK UNION SCHOOL DISTRICT

| REVISIONS NO. | ITEM | DATE |
|---------------|---------|------------|
| | BID SET | 05/16/2025 |

DRAWN BY: AB
 CHECKED BY: NJ
 PROJECT NO: 25031 DATE: 05/05/2025

A7.3

GENERAL NOTES

- A. ALL WALLS, DOORS, TRIM, SOFFITS, COLUMNS, BEAMS, PARAPETS, CONC. CURBS, ETC. ARE TO BE PROPERLY PREP'D AND PRIMED FOR COMPLETE BUILDING PAINTING.
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- D. PAINT ALL WALL LOUVERS, TYP. VERIFY QUANTITIES AND LOCATION IN FIELD.
- E. PAINT ALL EXPOSED CONDUIT AND PIPE, TYP.
- F. PAINT ALL WALL MOUNTED HOOK RACK, TYP.
- G. REMOVE (E) WALL MOUNTED AND SUSPENDED SCHOOL BUILDING IDENTIFICATION SIGNS. STORE FOR REINSTALLATION TYP. VERIFY LOCATIONS IN FIELD.
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- M. PAINT ALL (E) FIXED BENCHES, TYP. VERIFY QUANTITIES IN FIELD.

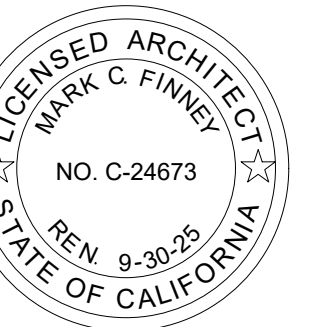
EXTERIOR ELEVATION NOTES

- 1. (E) CEMENT PLASTER WALL FINISH PAINTED, TYP.
- 2. (E) BRICK VENEER WALL FINISH PAINTED, TYP.
- 3. (E) DOOR TRIM PAINTED, TYP.
- 4. (E) DOOR PAINTED, TYP.
- 5. (E) RAINWATER LEADER PAINTED, TYP.
- 6. (E) FASCIA PAINTED, TYP.
- 7. (E) METAL FLASHING PAINTED, TYP.
- 8. (E) UNDERSIDE OF EAVE PAINTED, TYP.
- 9. (E) WALL BASE PAINTED, TYP.
- 10. (E) WINDOW TRIM PAINTED, TYP.
- 11. (E) WINDOWS TO REMAIN, TYP. PROTECT IN PLACE.
- 12. (E) LOUVER PAINTED, TYP.
- 13. (E) ELECTRICAL PANEL PAINTED, TYP.
- 14. (E) UNDERSIDE OF COVERED WALKWAY PAINTED, TYP.
- 15. (E) COLUMN PAINTED, TYP.
- 16. (E) OPAQUE WINDOW PANEL PAINTED, TYP.

(DSA STAMP AREA)



2155 SOUTH BASCOM AVE.
SUITE 250
CAMPBELL, CA 95008
PHONE: 408-398-1450



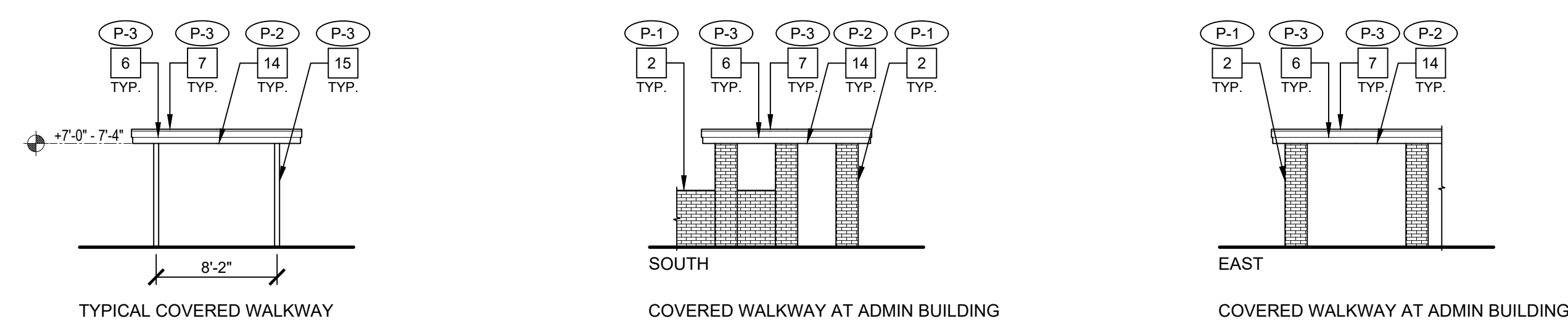
EXTERIOR PAINTING - EXTERIOR COVERED WALKWAY

EXTERIOR PAINTING AT RENAISSANCE ACADEMY AT MATHSON 2050 KAMMERER AVENUE, SAN JOSE, CA 95116 ALUM ROCK UNION SCHOOL DISTRICT

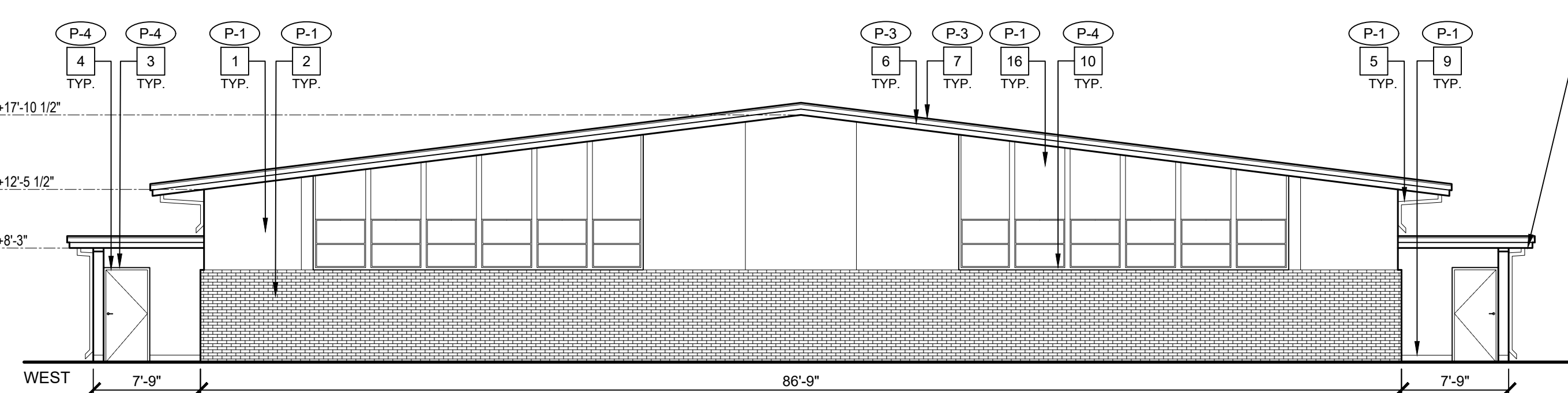
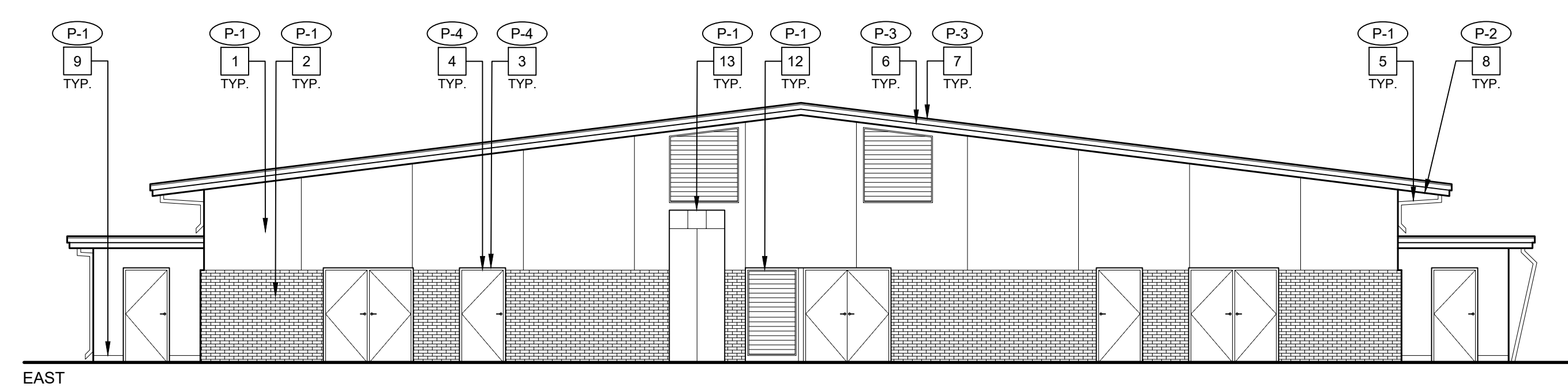
| REVISIONS NO. | ITEM | DATE |
|---------------|---------|------------|
| | BID SET | 05/16/2025 |

DRAWN BY: AB
CHECKED BY: NJ
PROJECT NO: 25031
DATE: 05/05/2025

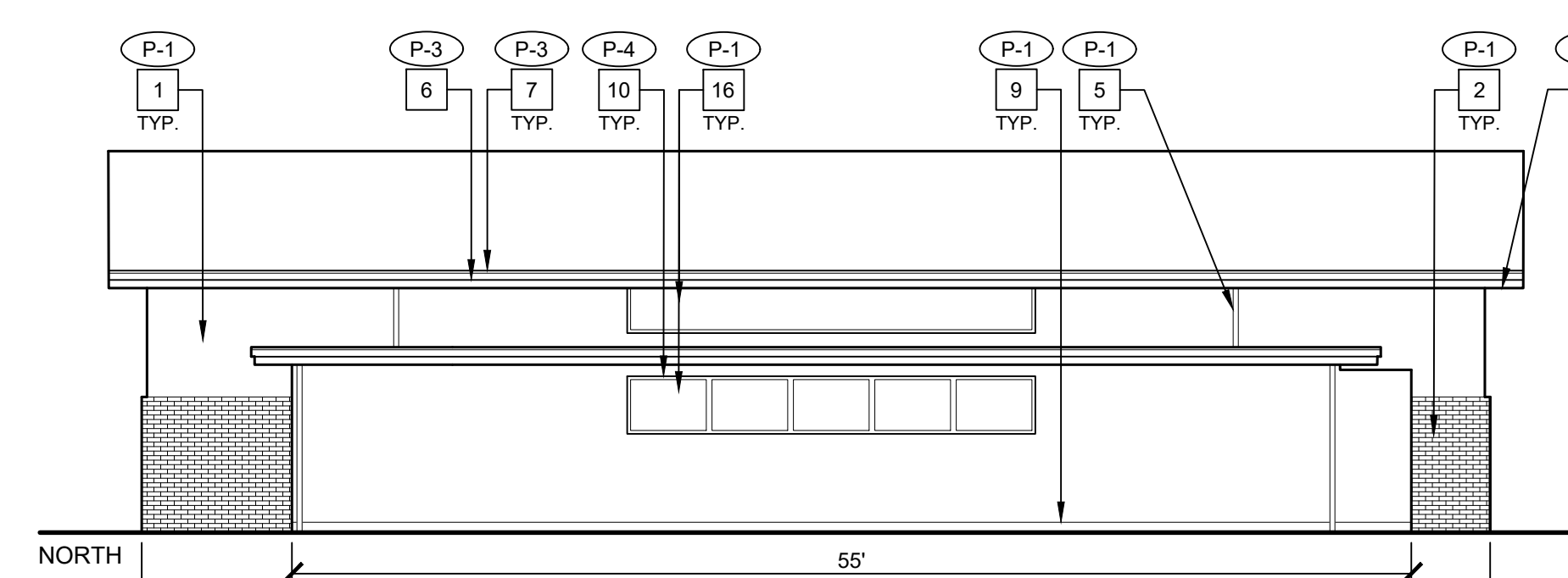
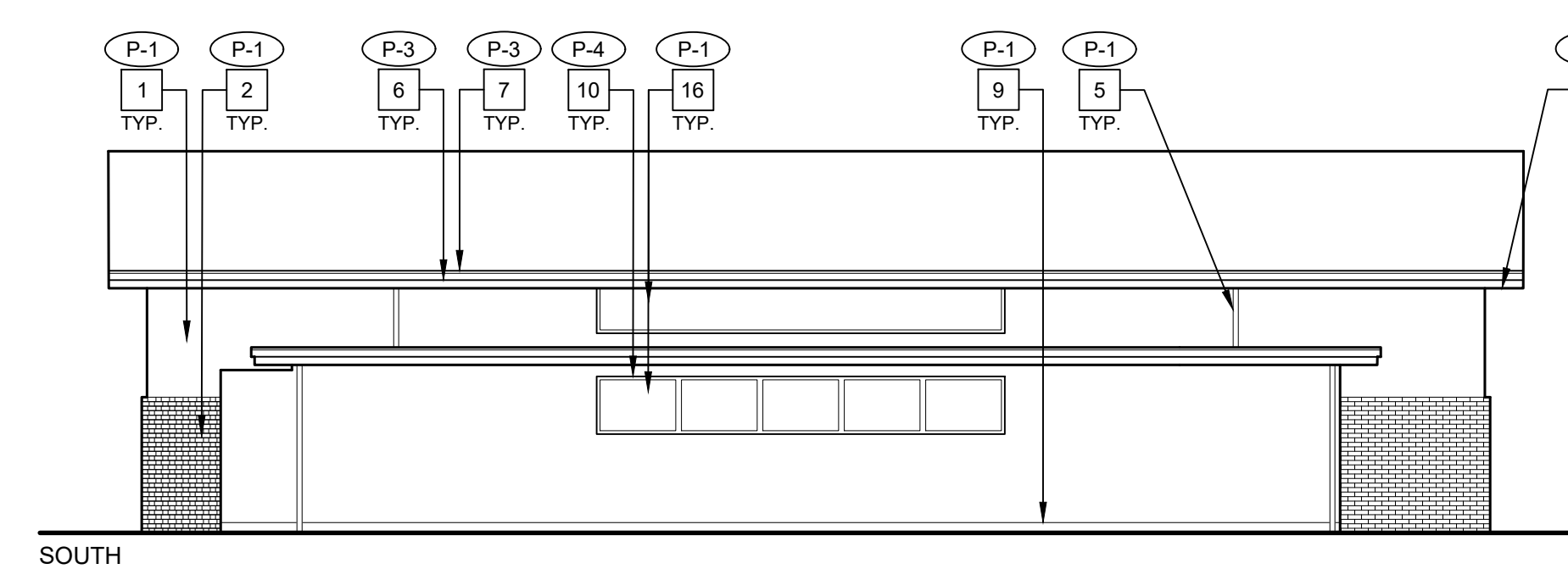
A7.4



2 EXTERIOR ELEVATIONS - COVERED WALKWAY
1/8" = 1'-0"
0 2' 4' 8' 16' 24'



1 EXTERIOR ELEVATIONS - BUILDING H



1/8" = 1'-0"
0 2' 4' 8' 16' 24'

GRAPHIC KEY

- (P-1) PAINT TAG:
- (P-2) PAINT TAG:
- (P-3) PAINT TAG:
- (P-4) PAINT TAG:

BUILDING KEY

