



ALUM ROCK UNION SCHOOL DISTRICT

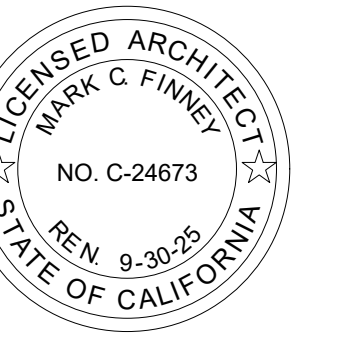
PROJECT 18 - BID NUMBER 2425-BONDS07

BID PACKAGE 2

EXTERIOR PAINTING:

MILLARD MCCOLLAM ELEMENTARY SCHOOL
LINDA VISTA ELEMENTARY SCHOOL

(DSA STAMP AREA)



BID PACKAGE 2

EXTERIOR PAINTING AT
MILLARD MCCOLLAM ELEMENTARY SCHOOL & LINDA VISTA
ELEMENTARY SCHOOL
ALUM ROCK UNION SCHOOL DISTRICT

REVISIONS NO.	ITEM	DATE
	BID SET	05/16/2025

DRAWN BY: AB
 CHECKED BY: NJ
 DATE: 05/12/2025

TO

★MES★ EXTERIOR PAINTING AT MILLARD MCCOLLAM ELEMENTARY SCHOOL 3311 LUCIAN AVENUE, SAN JOSE CA 95127 ALUM ROCK UNION SCHOOL DISTRICT

GENERAL NOTES

PRE-BID SITE VISIT
CONTRACTOR SHALL VISIT THE PROJECT AREA IN ORDER TO BECOME FAMILIAR WITH EXISTING CONDITIONS AND THE REQUIREMENTS OF THE PROJECT. THE CONTRACTOR MAY CONTACT THE ARCHITECT DURING THE BIDDING PHASE REGARDING CLARIFICATIONS AND PROJECT REQUIREMENTS.

SAFETY
IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

DAMAGE TO STRUCTURE OR SYSTEMS TO REMAIN
CONTRACTOR SHALL REIMBURSE THE OWNER FOR REPAIR AND REPLACEMENT, INCLUDING ARCHITECT'S FEES, FOR ANY DAMAGE CAUSED TO STRUCTURES, LANDSCAPE, SITE WORK, OR EXISTING SYSTEMS TO REMAIN, AS THE RESULT OF CONSTRUCTION OPERATIONS.

EXISTING CONDITIONS
ALL EXISTING CONDITIONS ARE SHOWN BASED ON THE BEST INFORMATION AVAILABLE AT THE TIME, BUT WITHOUT GUARANTEE OF ACCURACY. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND BUILDING DATA AT THE JOB SITE. ANY DISCREPANCIES REQUIRING MODIFICATION TO THE CONSTRUCTION DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. NO MODIFICATIONS SHALL BE MADE BY THE CONTRACTOR WITHOUT PRIOR APPROVAL FROM THE ARCHITECT.

CONTRACTOR'S EQUIPMENT
COORDINATE WITH OWNER'S REPRESENTATIVE FOR APPROVED LOCATION OF JOB SITE ACCESS, PARKING, AND LOCATION OF CONTRACTOR'S EQUIPMENT AND MATERIAL STORAGE AREA. SEE SITE PLAN FOR ADDITIONAL NOTES.

UTILITY SHUT-DOWNS AND CONNECTIONS
ALL REQUIRED UTILITY SHUT DOWNS SHALL HAVE PRIOR APPROVAL FROM THE OWNER'S REPRESENTATIVE. REQUEST SHALL BE SUBMITTED WITH ADEQUATE ADVANCE NOTICE PER PROJECT REQUIREMENTS.

ASBESTOS AND ASBESTOS PRODUCTS
THE OWNER/OPERATOR AND CONTRACTOR SHALL BE AWARE THAT BUILDINGS CONSTRUCTED PRIOR TO 1978 (OR THERE ABOUT) POSSIBILITY CONTAIN ASBESTOS IN SOME EXISTING CONSTRUCTION MATERIALS, AND WILL LIKELY BE ENCOUNTERED DURING ALTERATIONS OR REMODELING.

UNDER CALIFORNIA TITLE 8, THE OWNER AND CONTRACTOR BOTH HAVE RESPONSIBILITIES TO DETERMINE THE EXISTENCE OF ASBESTOS CONTAINING MATERIALS IN AREAS TO BE ALTERED OR REMODELED PRIOR TO COMMENCEMENT OF WORK AND TO TAKE APPROPRIATE MEASURES TO PROTECT PERSONNEL. CALIFORNIA HAS JURISDICTION OVER ASBESTOS RELATED WORK. ASBESTOS RELATED WORK SHALL BE DONE IN ACCORDANCE WITH CALIFORNIA GENERAL INDUSTRIAL SAFETY ORDERS, TITLE 8, SECTION 341.6 THROUGH 341.14. ASBESTOS IN THE WORK ENVIRONMENT IS REGULATED BY TITLE 8, SECTION 5208.

THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT AND DISTRICT REGULATION 11-2-401.3 REQUIRES EVERY RENOVATION INVOLVING THE REMOVAL OF 100 SQ. FT., LN.FT. OR GREATER OF REGULATED ASBESTOS CONTAINING MATERIAL, AND FOR EVERY DEMOLITION (EVEN WHEN NO ASBESTOS IS PRESENT), A NOTIFICATION MUST BE SENT TO THE BAAQMD AT LEAST 10 WORKING DAYS PRIOR TO COMMENCEMENT OF DEMOLITION/RENOVATION.

ALL BUILDING MATERIALS MUST BE ASBESTOS FREE.
THESE DOCUMENTS DO NOT ADDRESS CONTAMINATION FOR EXISTING AREAS OF ASBESTOS WHICH MAY BE DISCOVERED DURING CONSTRUCTION. THE OWNER'S ABATEMENT SUBCONTRACTOR IS SOLELY RESPONSIBLE FOR THE DETECTION, REMOVAL, AND THE DISPOSAL OF ANY EXISTING ASBESTOS MATERIAL. ARCHITECTURAL AND ENGINEERING FEES FOR ADDITIONAL DESIGN EFFORT TO OBTAIN STATE APPROVALS, AS WELL AS THE COST OF ANY REPAIRS, FOR DAMAGE CAUSED OR REPLACEMENT OF EXISTING SYSTEMS TO REMAIN, DUE TO WORK PERFORMED BY THE ASBESTOS ABATEMENT SUBCONTRACTOR, SHALL BE THE RESPONSIBILITY OF SAID SUBCONTRACTOR.

CONSTRUCTION SCHEDULING
CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION OPERATIONS WITH OWNER'S REPRESENTATIVE PRIOR TO SCHEDULING AND START OF THE WORK. CONTRACTOR SHALL PROVIDE PROTECTION TO ALL EXISTING SPACES AND SYSTEMS WHICH ARE IN USE, ADJOINING THE PROJECT, AND NOT PART OF THE PROJECT.

INTERIOR FINISHES
INTERIOR FINISHES AND ALL WALL COVERING MATERIAL SHALL CONFORM TO CCR TITLE 24, PART 2, CHAPTER 8.

DRILLED-IN EXPANSION ANCHORS
WHEN INSTALLING DRILLED-IN ANCHORS AND/OR POWDER DRIVEN PINS IN EXISTING NON-PRESTRESSED REINFORCED CONCRETE, USE CARE AND CAUTION TO AVOID CUTTING OR DAMAGING THE EXISTING REINFORCING BARS. WHEN INSTALLING THEM INTO EXISTING PRESTRESSED CONCRETE (PRE- OR POST-TENSIONED), LOCATE THE PRESTRESSED TENDONS BY USING A NON-DESTRUCTIVE METHOD PRIOR TO INSTALLATION. EXERCISE EXTREME CARE AND CAUTION TO AVOID CUTTING OR DAMAGING THE TENDONS DURING INSTALLATION. MAINTAIN A MINIMUM CLEARANCE OF ONE INCH BETWEEN THE REINFORCEMENT AND THE DRILLED-IN ANCHOR AND/OR PIN.

TITLE 24 COMPLIANCE
THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE ALTERATION, REHABILITATION OR RECONSTRUCTION IS TO BE IN ACCORDANCE WITH TITLE 24, C.C.R. SHOULD ANY EXISTING CONDITIONS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, C.C.R. A CONSTRUCTION CHANGE DOCUMENT (CCD), OR A SEPARATE SET OF PLANS AND SPECIFICATIONS, DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY DSA BEFORE PROCEEDING WITH THE WORK. (SECTION 4-317(C), PART 1, TITLE 24, C.C.R.)

ADMINISTRATIVE REQUIREMENTS FROM PART 1, TITLE 24, C.C.R.
- CHANGES TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY AN ADDENDUM OR A CONSTRUCTION CHANGE DOCUMENT, AND APPROVED BY DSA, AS PER SECTION 4-338.
- A DSA CERTIFIED PROJECT INSPECTOR EMPLOYED BY THE DISTRICT AND APPROVED BY DSA SHALL PROVIDE CONTINUOUS INSPECTION OF WORK, PER SECTION 4-342.
- A DSA ACCEPTED TESTING LABORATORY DIRECTLY EMPLOYED BY THE DISTRICT SHALL CONDUCT ALL REQUIRED TESTING AND INSPECTIONS FOR THE PROJECT.
- SPECIAL INSPECTION PER SECTION 4-333 (C)
- CONTRACTOR SHALL SUBMIT VERIFIED REPORT OR SECTION 4-336 & 4-343 (C)
- ADMINISTRATION OR CONSTRUCTION PER PART 1, TITLE 24, C.C.R.
- DUTIES OF ARCHITECT, STRUCTURAL ENGINEER, OR PROFESSIONAL ENGINEER PER SECTION 4-333 (A) AND 4-341
- DUTIES OF CONTRACTOR PER SECTION 4-343
- VERIFIED REPORTS PER SECTION 4-343 AND 4-338
- A COPY OF ALL APPLICABLE PARTS REFERRED TO BY THE PLANS AND SPECIFICATIONS OF TITLE 24 SHALL BE KEPT AND AVAILABLE IN THE FIELD DURING CONSTRUCTION
- DSA SHALL BE NOTIFIED AT START OF CONSTRUCTION AND PRIOR TO PLACEMENT OF CONCRETE PER SECTION 4-331
- SUPERVISION BY DSA PER SECTION 4-334
- DSA IS NOT SUBJECT TO ARBITRATION

ADMINISTRATIVE REQUIREMENTS
- ADDENDA MUST BE SIGNED BY ARCHITECT AND APPROVED BY DSA
- NO CHANGES OR REVISIONS SHALL BE MADE FOLLOWING WRITTEN APPROVAL WHICH AFFECTS ACCESS COMPLIANCE ITEM UNLESS SUCH CHANGES TO REVISIONS ARE SUBMITTED TO DSA FOR APPROVAL
- SUBSTITUTIONS AFFECTING DSA REGULATED ITEMS SHALL BE SUBMITTED AS A CONSTRUCTION CHANGE DOCUMENT OR ADDENDA, AND SHALL BE APPROVED BY DSA PRIOR TO FABRICATION AND INSTALLATION
- CONSTRUCTION CHANGE DOCUMENTS MUST BE SIGNED BY THE FOLLOWING:
-- ARCHITECT OR ENGINEER OF RECORD
-- STRUCTURAL ENGINEER (WHEN APPLICABLE)
-- DELEGATED PROFESSIONAL ENGINEER
- DSA
- MATERIALS AND THEIR INSTALLATIONS SHALL COMPLY WITH APPLICABLE CODES.
- PER CBC 11B-104.1 ALL DIMENSIONS ARE SUBJECT TO CONVENTIONAL INDUSTRY TOLERANCES EXCEPT WHERE THE REQUIREMENT IS STATED AS A RANGE WITH SPECIFIC MINIMUM AND MAXIMUM END POINTS.

GENERAL NOTES, cont.

CALIFORNIA ENERGY CODE
THE CALIFORNIA ENERGY CODE SECTION 10-103 REQUIRES ACCEPTANCE TESTING ON ALL NEWLY INSTALLED LIGHTING CONTROLS, MECHANICAL SYSTEMS, ENVELOPES, AND PROCESS EQUIPMENT AFTER INSTALLATION AND BEFORE PROJECT COMPLETION. AN ACCEPTANCE TEST IS A FUNCTIONAL PERFORMANCE TEST TO HELP ENSURE THAT NEWLY INSTALLED EQUIPMENT IS OPERATING AND IN COMPLIANCE WITH THE ENERGY CODE.

LIGHTING CONTROLS ACCEPTANCE TEST MUST BE PERFORMED BY A CERTIFIED LIGHTING CONTROLS ACCEPTANCE TEST TECHNICIAN (ATT).

MECHANICAL SYSTEM ACCEPTANCE TESTS MUST BE PERFORMED BY A CERTIFIED MECHANICAL ATT.

A LISTING OF CERTIFIED ATTS CAN BE FOUND AT <https://www.energy.ca.gov/programs-and-topics/programs/acceptance-test-technician-certification-provider-program/acceptance>

THE ACCEPTANCE TESTING PROCEDURES MUST BE REPEATED, AND DEFICIENCIES MUST BE CORRECTED BY THE BUILDER OR INSTALLING CONTRACTOR UNTIL THE CONSTRUCTION/INSTALLATION OF THE SPECIFIED SYSTEMS CONFORM AND PASS THE REQUIRED ACCEPTANCE CRITERIA.

PROJECT INSPECTORS WILL BE COLLECTING THE FORMS TO CONFIRM THAT THE REQUIRED ACCEPTANCE TESTS HAVE BEEN COMPLETED.

DSA APPROVAL OF THESE PLANS SHALL NOT BE CONSTRUED AS THE CERTIFICATION OF COMPLIANCE FOR THE PROJECT BUILDINGS AS REQUIRED BY THE FIELD ACT, EDUCATION CODE SECTIONS 17280-17316 AND SECTIONS 81130-81147

COMPLIANCE WITH LOCAL ORDINANCES
GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES.

ABBREVIATIONS

(REFER TO CONSULTANT DRAWINGS FOR ADDITIONAL ABBREVIATIONS)

A.F.F.	ABOVE FINISHED FLOOR	LAM.	LAMINATE
A.P.	ACCESS PANEL	LAV.	LAVATORY
ACT	ACOUSTIC TILE	M.B.	MACHINE BOLT
ADJ.	ADJUSTABLE	M.S.	MACHINE SCREW
ALUM.	ALUMINUM	M.H.	MANHOLE
A.B.	ANCHOR BOLT	MFG.	MANUFACTURER
APPROX.	APPROXIMATE	M.B.	MARKER BOARD
ARCHT.	ARCHITECT	MATL.	MATERIAL
AC	ASPHALTIC CONCRETE	MAX.	MAXIMUM
AT	AT	MECH.	MECHANICAL
B.M.	BENCH MARK	MTL.	METAL
BLCKNG	BLOCKING	MIN.	MINIMUM
BD.	BOARD	MISC.	MISCELLANEOUS
B.W.	BOTH WAYS	MTD.	MOUNTED
BO.T	BOTTOM	(N)	NEW
BLDG.	BUILDING	NOM.	NOMINAL
B.U.R.	BUILT-UP ROOFING	N.I.C.	NOT IN CONTRACT
C.B.	CATCH BASIN	N.T.S.	NOT TO SCALE
CL.G.	CEILING	NO. or #	NUMBER
CEM.	CEMENT	OCC.	OCCUPANT(CY)
C.C. or O.C.	CENTER TO CENTER	ON CTR.	ON CENTER
CER. TILE	CERAMIC TILE	OPNG.	OPENING
C.O.	CLEANOUT	OPP.	OPPOSITE
C.O.T.G.	CLEANOUT TO GRADE	O.H.	OPPOSITE HAND
CL.R.	CLEAR	O.F.O.S.	OUTSIDE FACE OF STUD
C.A.H.R.	CLEAR ALL HEART	O.H.W.S.	OVAL HEAD WOOD SCREW
REDWOOD	COLD WATER	O.D.	OVERFLOW DRAIN and/or OUTSIDE DIAMETER
C.W.	COLUMN	O.F.C.I.	OWNER FURNISHED and CONTRACTOR INSTALLED
COM.	COMMON	PAR.	PARTITION
CONC.	CONCRETE	PL.	PLATE
CONST.	CONSTRUCTION	PENNY (NAILS)	PENNY (NAILS)
C.H.	CONSTRUCTION HEART	PLAS.	PLASTER
CONSTR.	CONSTRUCTION JOINT	PLYWD.	PLYWOOD
CONT.	CONTINUOUS	P.V.C.	POLY VINYL CHLORIDE
CONTR.	CONTRACTOR	P.T.	PRESSURE TREATED
CTR.	COUNTER	P.L.	PROPERTY LINE
CTS.K.	COUNTER SUNK	R. or RAD.	RADIUS
DET.	DETAIL	R.W.D./R.W.	RAIN WATER LEADER
DIA. or Ø	DIAMETER	REIN.	REINFORCING
DIM.	DIMENSION	REINQ.	REQUIRED
D.A.	DISABLED ACCESS	R.A.G.	RETURN AIR GRILLE
DR.	DOOR	R.E.	ROOM ELEVATION
D.S.	DOWNSPOUT	R.D.	ROOF DRAIN
DWG.	DRAWING	RM.	ROOM
D.F.	DRINKING FOUNTAIN and/or DOUGLAS FIR	R.O.	ROUGH OPENING
EA.	EACH	RND.	ROUND
E.W.	EACH WAY	R.H.W.S.	ROUND HEAD METAL SCREW
ELEC.	ELECTRIC or ELECTRICAL	R.H.W.S.	ROUND HEAD WOOD SCREW
ELEV.	ELEVATION	SSD.	SEE STRUCTURAL DRAWINGS
ENCL.	ENCLOSURE and/or ENCLOSURE	S.T.S.M.S.	SELF TAPPING SHEET
EQ.	EQUAL	METAL SCREW	METAL SCREW
EQUIP.	EQUIPMENT	SHEATH.	SHEATHING
(E)	EXISTING	S.M.	SHEET METAL
EX.	EXPANSION	S.M.S.	SHEET METAL SCREW
E.J.	EXPANSION JOINT	S.O.V.	SHUT OFF VALVE
EXP.	EXPOSED	SIM.	SIMILAR
EXT.	EXTERIOR	S.C.	SOLID CORE
F.O.C.	FACE OF CONCRETE	SPEC.	SPECIFICATION
F.M.S.	FACE OF MASONRY	SQ.	SQUARE
F.O.F.	FACE OF STUD	S.F.	SQUARE FEET
F.O.F.	FACE OF FINISH	STAG.	STAGGERED
FIN.	FINISH	STD.	STANDARD
F.F.	FINISHED FLOOR	S.S.	STAINLESS STEEL
F.S.	FINISH SLAB	STL.	STEEL
F.E.L.	FIRE EXTINGUISHER	STOR.	STORAGE
F.E.C.	FIRE EXTINGUISHER CABINET	STRUCT.	STRUCTURAL
F.H.	FIRE HYDRANT	S.A.G.	SUPPLY AIR GRILLE
F.H.M.S.	FLAT HEAD METAL SCREW	THRES.	THRESHOLD
F.H.W.S.	FLAT HEAD WOOD SCREW	T&G.	TONGUE & GROOVE
FL. or FLR.	FLOOR	T.J.	TOOLED JOINT
F.D.	FLOOR DRAIN	T.O.B.	TOP OF BEAM
FTG.	FOOTING	T.O.C.	TOP OF CURB or CONCRETE
FND.	FOUNDATION	T.O.S.	TOP OF STEEL or SHEATHING
GALV.	GALVANIZED	T.O.W.	TOP OF WALK
G.I.	GALVANIZED IRON	TYP.	TYPICAL
GA.	GALVE	UNLESS OTHERWISE NOTED	UNLESS OTHERWISE NOTED
GL.	GLASS	U.O.N.	UNLESS OTHERWISE SHOWN
GLU-LAM	GLUE-LAMINATED	U.O.S.	UNLESS OTHERWISE SHOWN
GRD.	GRADE	V.T.R.	VENT THROUGH ROOF
GYP. BD.	GYP. BOARD	VERT.	VERTICAL
HDW.	HARDWARE	V.G.	VERTICAL GRAIN
HT.	HEIGHT	V.I.F.	VERIFY IN FIELD
H.C.	HOLLOW CORE	V.C.T.	VINYL COMPOSITION TILE
H.M.	HOLLOW METAL	V.W.C.	VINYL WALL COVERING
HOR.	HORIZONTAL	V.O.I.P.	VOICE OVER INTERNET PROTOCOL
H.B.	HOSE BIBB	W.C.	WATER CLOSET
I.D.	INSIDE DIAMETER	W.H.	WATER HEATER
INSUL.	INSULATION	WP.	WATERPROOF
INT.	INTERIOR	W.R.	WATER RESISTANT
INV.	INVERT	W.W.M.	WELDED WIRE MESH
JT.	JOINT	W.D.	WINDOW DIMENSION
J.H.	JOIST HANGER	W.	WITH
K.D.	KILN DRIED	WO	WITHOUT
		WD.	WOOD

BLDG. CODES & STANDARDS:

2022	CALIFORNIA ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R.	
2022	CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24, C.C.R. (2021 INTERNATIONAL BUILDING CODE, VOLUMES 1 AND 2, WITH 2022 CALIFORNIA AMENDMENTS.)	
2022	CALIFORNIA ELECTRIC CODE (CEC), PART 3, TITLE 24, C.C.R. (2020 NATIONAL ELECTRIC CODE WITH 2022 CALIFORNIA AMENDMENTS).	
2022	CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24, C.C.R. (2021 UNIFORM MECHANICAL CODE WITH 2022 CALIFORNIA AMENDMENTS).	
2022	CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24, C.C.R. (2021 UNIFORM PLUMBING CODE WITH 2022 CALIFORNIA AMENDMENTS).	
2022	CALIFORNIA ENERGY CODE (CEC), PART 6, TITLE 24, C.C.R. (2021 UNIFORM MECHANICAL CODE WITH 2022 CALIFORNIA AMENDMENTS).	
2022	CALIFORNIA FIRE CODE (CFC), PART 9, TITLE 24, C.C.R. (2021 INTERNATIONAL FIRE CODE WITH 2022 CALIFORNIA AMENDMENTS).	
2022	CALIFORNIA GREEN BUILDING STANDARDS CODE, PART 11, TITLE 24, C.C.R. (2021 INTERNATIONAL FIRE CODE WITH 2022 CALIFORNIA AMENDMENTS).	
2022	CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24, C.C.R.	
2019	ASME A17.1/CSA B44 SAFETY CODE FOR ELEVATORS AND ESCALATORS	
2010	ADA STANDARDS FOR ACCESSIBLE DESIGN (28 CFR PART 35 FOR TITLE II ENTITIES)	

CCR TITLE-19, PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS.		
NFPA 13	INSTALLATION OF SPRINKLER SYSTEMS	2022 EDITION
NFPA 14	INSTALLATION OF STANDPIPE & HOSE SYSTEMS (CA AMENDED)	2019 EDITION
NFPA 17	DRY CHEMICAL EXTINGUISHING SYSTEMS	2021 EDITION
NFPA 17A	WET CHEMICAL EXTINGUISHING SYSTEM	2021 EDITION
NFPA 20	STATIONARY FIRE PUMPS TO FIRE PROTECTION	2019 EDITION
NFPA 22	WATER TANKS FOR PRIVATE FIRE PROTECTION	2013 EDITION
NFPA 24	PRIVATE FIRE SERVICE MAINS (CA AMENDED)	2019 EDITION
NFPA 25	INSPECTION, TESTING AND MAINTENANCE OF WATER BASED FIRE PROTECTION SYSTEMS	2013 CALIFORNIA EDITION
NFPA 72	NATIONAL FIRE ALARM CODE (CA AMENDED)	2022 EDITION
NFPA 80	FIRE DOORS AND OTHER OPENING PROTECTIVES	2019 EDITION
NFPA 92	STANDARD FOR SMOKE CONTROL SYSTEMS	2018 EDITION
NFPA 110	EMERGENCY AND STANDBY POWER SYSTEMS	2019 EDITION
NFPA 170	STANDARD FOR FIRE SAFETY AND EMERGENCY SYMBOLS	2018 EDITION
NFPA 253	CRITICAL RADIANT FLUX OF FLOOR COVERING SYSTEMS	2019 EDITION
NFPA 2001	CLEAN AGENT FIRE EXTINGUISHING SYSTEMS	2018 EDITION
ICC 300	STANDARDS FOR BLEACHERS, FOLDING AND TELESCOPIC SEATING, AND GRANDSTANDS	2017 EDITION
SFM 12-10-1	POWER OPERATED EXIT DOORS	
SFM 12-10-2	SINGLE POINT LATCHING OR LOCKING DEVICES	
SFM 12-10-3	EMERGENCY EXIT & PANIC HARDWARE	

UL 38 MANUAL OPERATING SIGNAL BOXES 1999/2005 EDITION

UL 268 SMOKE DETECTORS FOR FIRE PROTECTIVE SIGNALING SYSTEMS 2016 EDITION

UL 268A SMOKE DETECTORS DUCT APPLICATIONS 1998/2003 EDITION

UL 300 FIRE TESTING OF FIRE EXTINGUISHING SYSTEMS 2005 (R2010)

UL 305 PANIC HARDWARE 2012 EDITION

UL 464 AUDIBLE SIGNALING DEVICES FOR FIRE ALARM AND SIGNALING SYSTEMS 2003 EDITION

UL 521 HEAT DETECTORS FOR FIRE PROTECTIVE SIGNALING SYSTEMS 1999 EDITION

UL 864 CONTROL UNITS FOR FIRE PROTECTIVE SIGNALING SYSTEMS (W/ REVISIONS THROUGH DEC. 2014) 2014 EDITION

UL 1971 SIGNALING DEVICES FOR THE HEARING IMPAIRED 2002 EDITION

COMPLIANCE WITH CBC CHAPTER 33, FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION AND CFC CHAPTER 33, SAFETY DURING CONSTRUCTION WILL BE ENFORCED.

SYMBOLS LEGEND

	SECTION / EXTERIOR ELEVATION
	SECTION IDENTIFICATION
	SHEET WHERE SECTION IS DRAWN
	DETAIL
	DETAIL IDENTIFICATION
	SHEET WHERE DETAIL IS DRAWN
	INTERIOR ELEVATION
	INDICATES ELEVATION SHOWN
	SHEET WHERE ELEVATION IS DRAWN
	ROOM IDENTIFICATION
	ROOM NAME
	ROOM NUMBER
	SPECIFIC NOTE
	DOOR DESIGNATION
	WINDOW DESIGNATION
	ADDENDUM REVISION
	CLOUD AROUND REVISION
	CCD REVISION
	CLOUD AROUND REVISION
	FINISH NUMBER
	SEE SPECS AND I.E. DWGS.
	EQUIPMENT LETTER
	SEE EQUIPMENT SCHEDULE
	CEILING HEIGHT
	WALL TYPE
	MATCH LINE
	ELEV. HEIGHT
	CENTER OF
	FACE OF



PROJECT SUMMARY

EXTERIOR PAINTING INCLUDING ALL EXISTING BUILDINGS, PORTABLES, COVERED WALKWAYS, AND RAMP/RAILING SYSTEMS.

DRAWING INDEX

T1 TITLE SHEET

ARCHITECTURAL

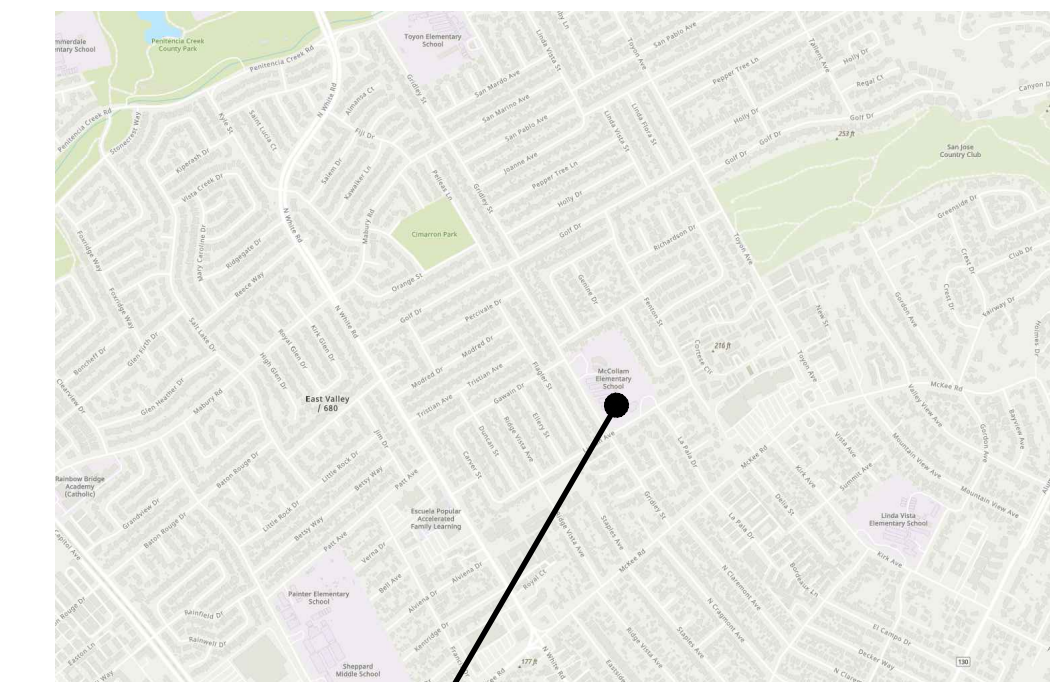
- A0.1 SITE PLAN
- A7.1 TYPICAL PORTABLES & COVERED WALKWAY
- A7.2 EXTERIOR ELEVATIONS - EXTERIOR PAINTING BUILDING A & B
- A7.3 EXTERIOR ELEVATIONS - EXTERIOR PAINTING BUILDING C & D

SHEET TOTAL = 5

DESIGN TEAM

ARCHITECT
FINNEY ARCHITECTS
2155 SOUTH BASCOM AVENUE SUITE 250
CAMPBELL, CALIFORNIA 95008
(408) 398-1450
ATTN: MARK FINNEY MARK@FINNEYARCHITECTS.COM

VICINITY MAP



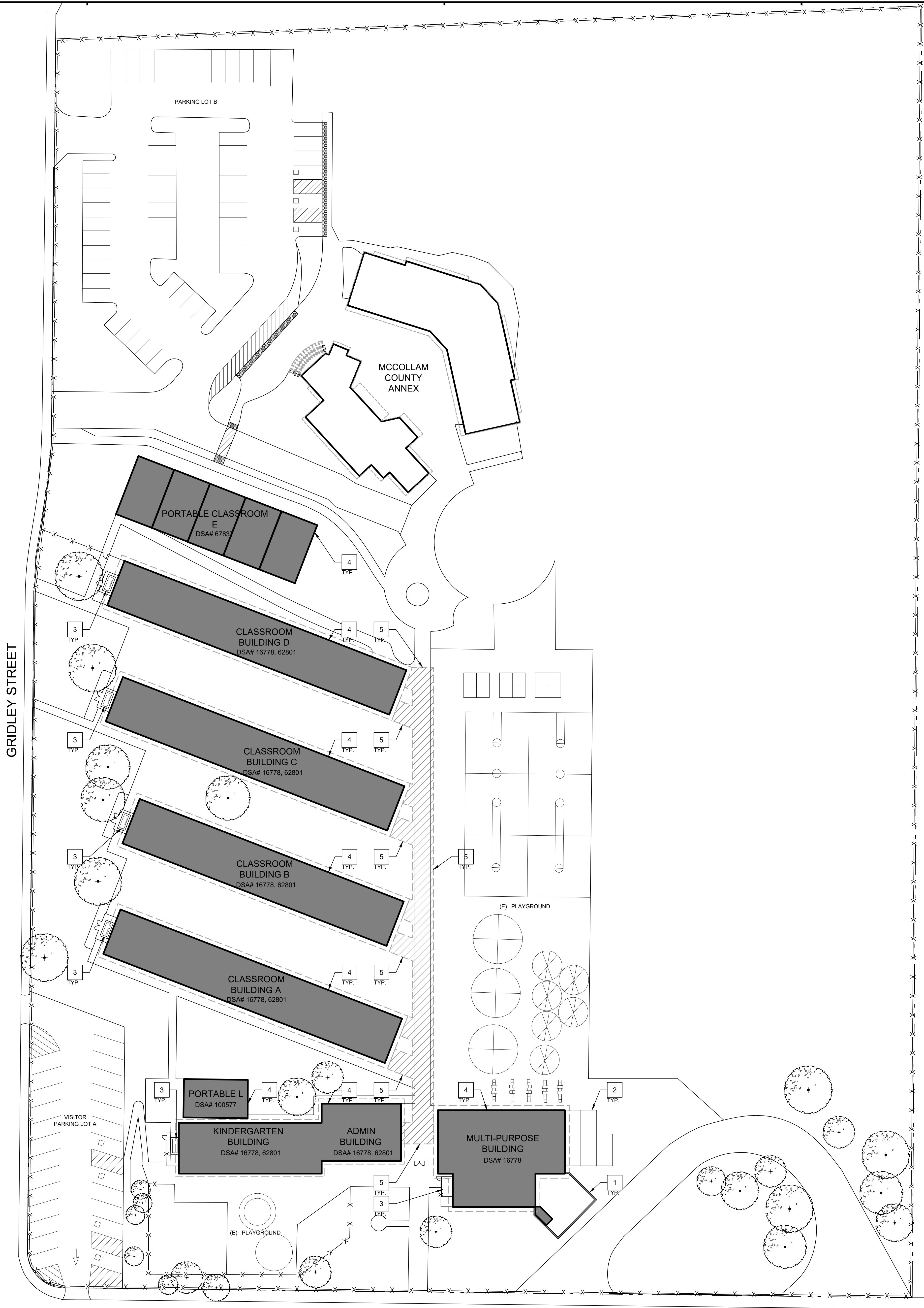
PROJECT LOCATION

TITLE SHEET

REVISIONS NO.	ITEM	DATE
	BID SET	05/16/2025

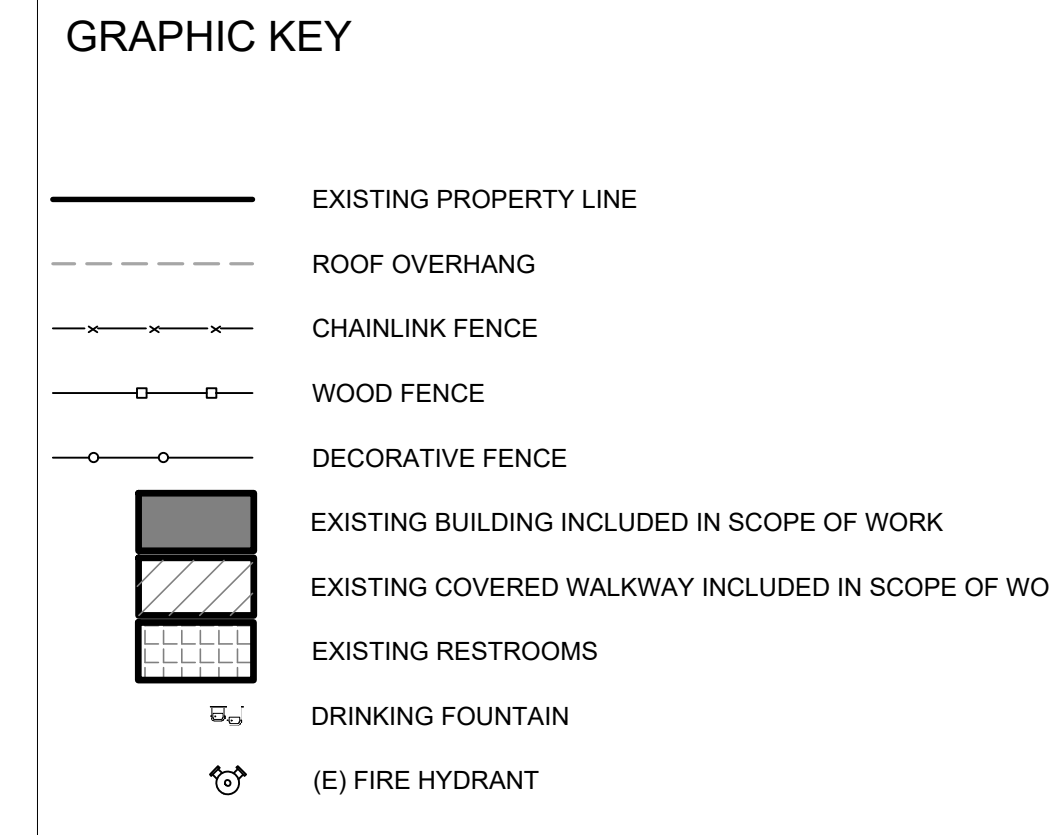
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CHECKED BY: NJ
PROJECT NO: 25025
DATE: 04/16/2025

T1



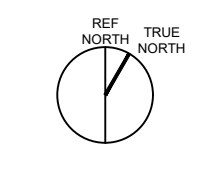
- GENERAL NOTES**
- A. ALL EXTERIOR WALLS, DOORS/FRAMES, TRIM, SOFFITS, PARAPETS, COLUMNS, BEAMS, CONC. CURBS, FLAGPOLE, ETC. ARE TO BE PROPERLY PREP'D AND PRIMED FOR COMPLETE BUILDING PAINTING.
 - B. ALL COVERED WALKWAYS, INCLUDING COLUMNS, BEAMS, FASCIA, ETC. ARE TO BE PROPERLY PREP'D AND PRIMED FOR PAINTING.
 - C. PAINT ALL MTL. FLASHING, DOWNSPOUTS, GUTTERS, TYP.
 - D. PAINT ALL WALL LOUVERS, TYP. VERIFY QUANTITIES AND LOCATION IN FIELD.
 - E. PAINT ALL EXPOSED CONDUIT AND PIPE, TYP.
 - F. (E) SCHOOL WALL MURALS TO REMAIN, PROTECT IN PLACE.
 - G. REMOVE (E) WALL MOUNTED AND SUSPENDED SCHOOL BUILDING IDENTIFICATION SIGNS, STORE FOR REINSTALLATION TYP. VERIFY LOCATIONS IN FIELD.
 - H. CONTRACTOR MUST VERIFY (E) BUILDINGS AND COVERED WALKWAYS DIMENSIONS AND CONDITIONS IN FIELD.
 - I. ALL COVERED WALKWAYS SIMILAR, V.I.F.
 - J. CONTRACTOR RESPONSIBLE FOR PROTECTION OF (E) DRINKING FOUNTAINS.
 - K. PAINT ALL (E) FIXED BENCHES, TYP. VERIFY QUANTITIES IN FIELD.
 - L. PAINT ALL WALL MOUNTED HOOK RACK, TYP.

- SITE PLAN NOTES**
- 1. (E) CEMENT PLASTER TRASH ENCLOSURE WALLS PAINTED.
 - 2. (E) STORAGE CONTAINER TO BE TEMPORARILY RELOCATED FOR PAINTING.
 - 3. (E) AC UNIT ON CONCRETE PAD WITH FENCING ENCLOSURE TO REMAIN, TYP. PROTECT IN PLACE.
 - 4. (E) BUILDING EXTERIOR PAINTED, TYP.
 - 5. (E) COVERED WALKWAY PAINTED, TYP.



1 SITE PLAN

1" = 30'-0"



(DSA STAMP AREA)

FINNEY ARCHITECTS
 2155 SOUTH BASCOM AVE.
 SUITE 250
 CAMPBELL, CA 95008
 PHONE: 408-398-1450



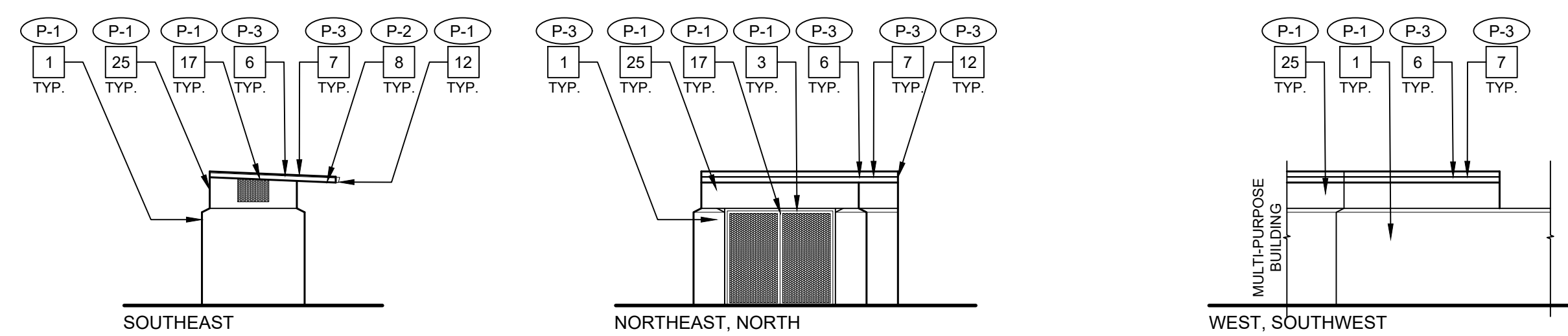
SITE PLAN

EXTERIOR PAINTING AT
 MILLARD MCCOLLAM ELEMENTARY SCHOOL
 3311 LUCIAN AVENUE, SAN JOSE CA 95127
 ALUM ROCK UNION SCHOOL DISTRICT

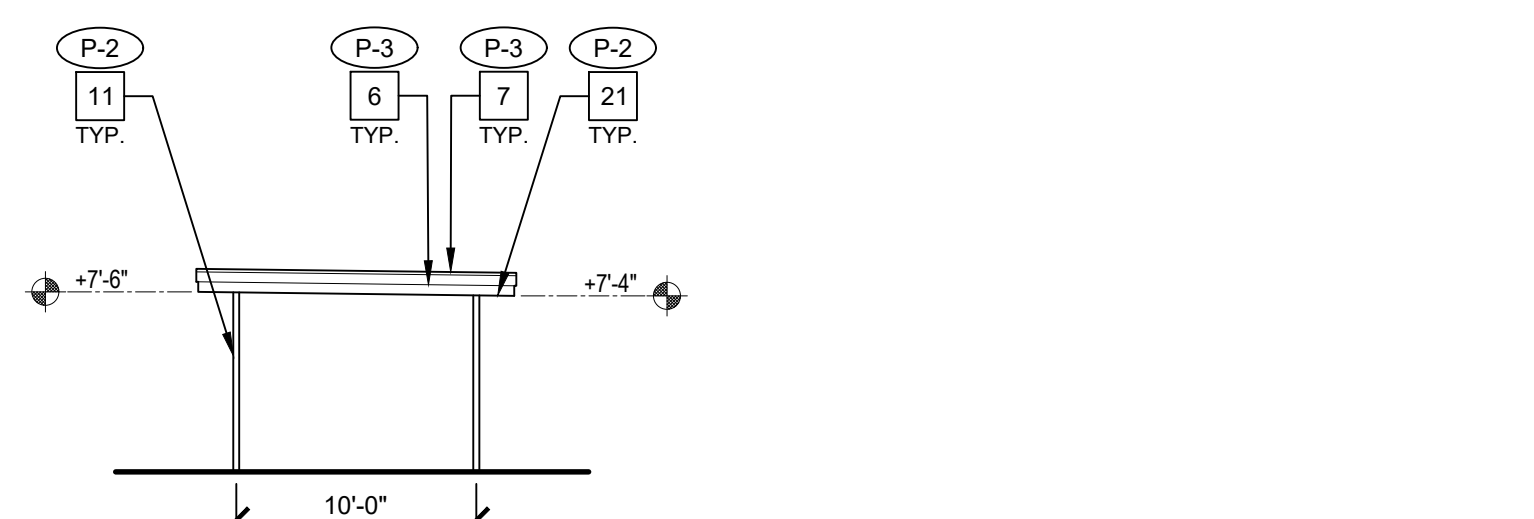
REVISIONS NO.	ITEM	DATE
	BID SET	05/16/2025

DRAWN BY: AB
 CHECKED BY: NJ
 PROJECT NO: 25025
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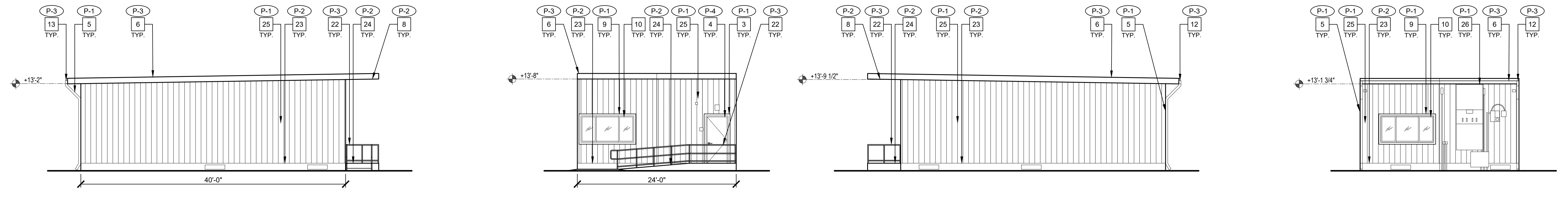
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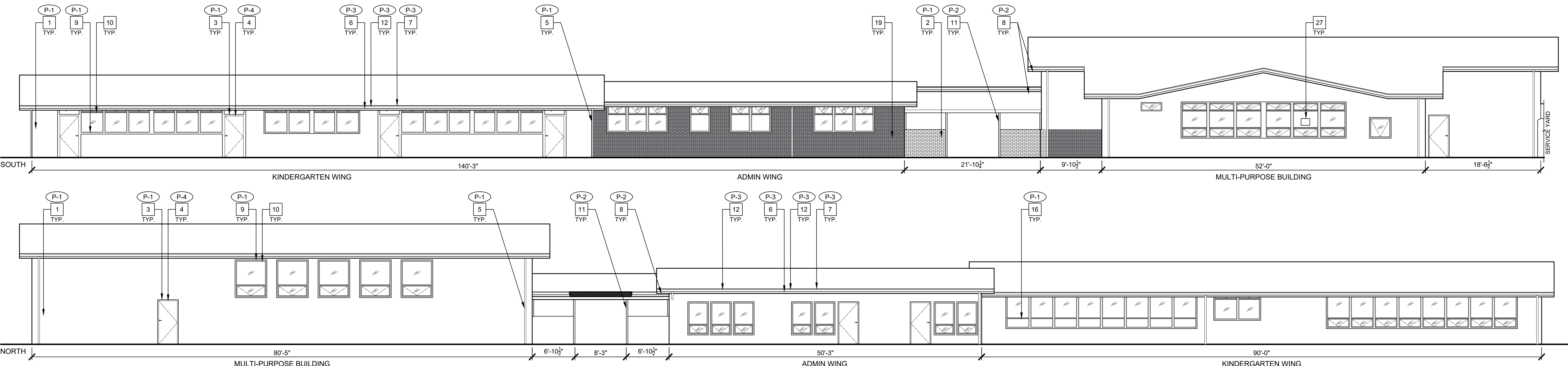
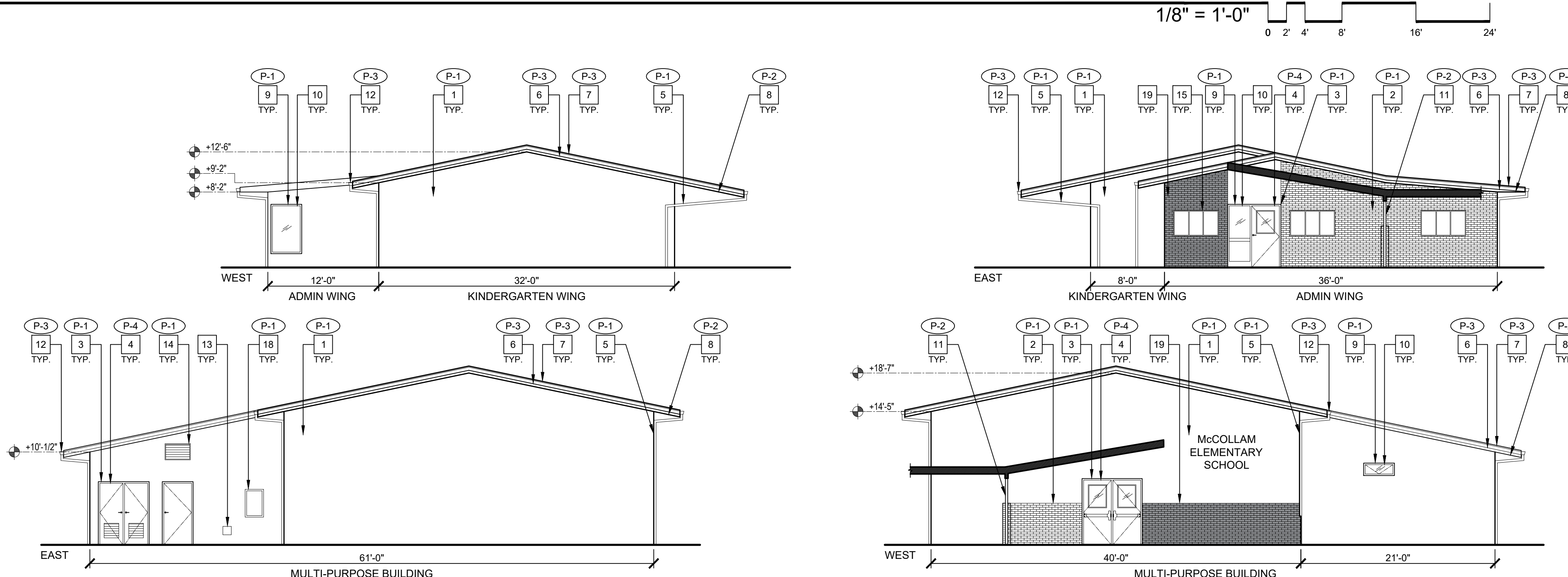
4 CAN WASH @ MULTI-PURPOSE ROOM SERVICE YARD
1/8" = 1'-0"



3 TYPICAL EXTERIOR ELEVATION - COVERED WALKWAY
1/8" = 1'-0"



2 TYPICAL EXTERIOR ELEVATIONS - PORTABLE CLASSROOMS E & L (DOUBLE-WIDE V.I.F.)
1/8" = 1'-0"

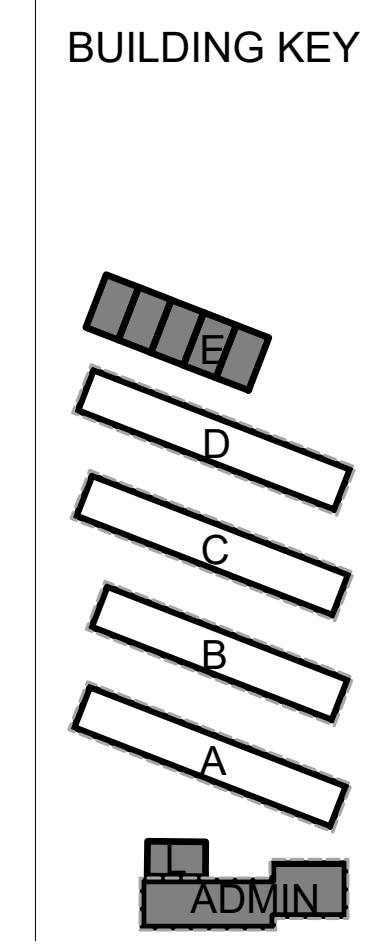


1 EXTERIOR ELEVATIONS - MULTI-PURPOSE, KINDERGARTEN & ADMIN BUILDINGS
1/8" = 1'-0"

- GENERAL NOTES**
- A. ALL EXTERIOR WALLS, DOORS/FRAMES, TRIM, SOFFITS, PARAPETS, COLUMNS, BEAMS, CONC. CURBS, FLAGPOLE, ETC. ARE TO BE PROPERLY PREP'D AND PRIMED FOR COMPLETE BUILDING PAINTING.
 - B. ALL COVERED WALKWAYS, INCLUDING COLUMNS, BEAMS, FASCIA, ETC. ARE TO BE PROPERLY PREP'D AND PRIMED FOR PAINTING.
 - C. PAINT ALL MTL. FLASHING, DOWNSPOUTS, GUTTERS, TYP.
 - D. PAINT ALL WALL LOUVERS, TYP. VERIFY QUANTITIES AND LOCATION IN FIELD.
 - E. PAINT ALL EXPOSED CONDUIT AND PIPE, TYP.
 - F. (E) SCHOOL WALL MURALS TO REMAIN, PROTECT IN PLACE.
 - G. REMOVE (E) WALL MOUNTED AND SUSPENDED SCHOOL BUILDING IDENTIFICATION SIGNS, STORE FOR REINSTALLATION TYP. VERIFY LOCATIONS IN FIELD.
 - H. CONTRACTOR MUST VERIFY (E) BUILDINGS AND COVERED WALKWAYS DIMENSIONS AND CONDITIONS IN FIELD.
 - I. ALL COVERED WALKWAYS SIMILAR, V.I.F.
 - J. CONTRACTOR RESPONSIBLE FOR PROTECTION OF (E) DRINKING FOUNTAINS.
 - K. PAINT ALL (E) FIXED BENCHES, TYP. VERIFY QUANTITIES IN FIELD.
 - L. PAINT ALL WALL MOUNTED HOOK RACK, TYP.

- EXTERIOR ELEVATION NOTES**
1. (E) CEMENT PLASTER WALL FINISH PAINTED, TYP.
 2. (E) BRICK VENEER WALL FINISH PAINTED, TYP.
 3. (E) DOOR TRIM PAINTED, TYP.
 4. (E) DOOR PAINTED, TYP.
 5. (E) RAINWATER LEADER PAINTED, TYP.
 6. (E) FASCIA PAINTED, TYP.
 7. (E) METAL FLASHING PAINTED, TYP.
 8. (E) UNDERSIDE OF EAWE PAINTED, TYP.
 9. (E) WINDOW TRIM PAINTED, TYP.
 10. (E) WINDOWS TO REMAIN, TYP. PROTECT IN PLACE.
 11. (E) COLUMN PAINTED, TYP.
 12. (E) GUTTER PAINTED, TYP.
 13. (E) VENT TO REMAIN, PROTECT IN PLACE.
 14. (E) LOUVER PAINTED, TYP.
 15. REMOVE (E) BULLETIN BOARD, STORE FOR REINSTALLATION.
 16. (E) OPAQUE WINDOW PANEL PAINTED, TYP.
 17. (E) METAL GRATE PAINTED, TYP.
 18. (E) ELECTRICAL PANEL PAINTED, TYP.
 19. (E) BRICK WALL VENEER TO REMAIN, TYP. PROTECT IN PLACE.
 20. (E) WALL BASE PAINTED, TYP.
 21. (E) UNDERSIDE OF COVERED WALKWAY PAINTED, TYP.
 22. (E) HANDRAIL PAINTED, TYP.
 23. (E) PORTABLE SKIRT PAINTED, TYP.
 24. (E) PORTABLE RAMP PAINTED, TYP.
 25. (E) WOOD SIDING PAINTED, TYP.
 26. (E) HVAC UNIT PAINTED, TYP.
 27. (E) AC UNIT TO REMAIN, TYP. PROTECT IN PLACE.

- GRAPHIC KEY**
- (P-1) PAINT TAG:
 - (P-2) PAINT TAG:
 - (P-3) PAINT TAG:
 - (P-4) PAINT TAG:



(DSA STAMP AREA)

FINNEY ARCHITECTS
2155 SOUTH BASCOM AVE.
SUITE 250
CAMPBELL, CA 95008
PHONE: 408-398-1450

EXTERIOR PAINTING - EXTERIOR PAINTING, KINDERGARTEN & MULTI-PURPOSE BUILDINGS, TYPICAL PORTABLES & COVERED WALKWAY
EXTERIOR PAINTING AT MILLARD MCCOLLAM ELEMENTARY SCHOOL
 3311 LUCIAN AVENUE, SAN JOSE CA 95127
 ALUM ROCK UNION SCHOOL DISTRICT

REVISIONS NO.	ITEM	DATE
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A7.1

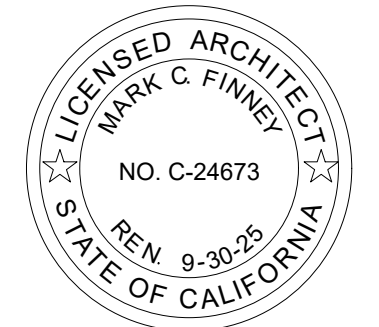
GENERAL NOTES

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(DSA STAMP AREA)

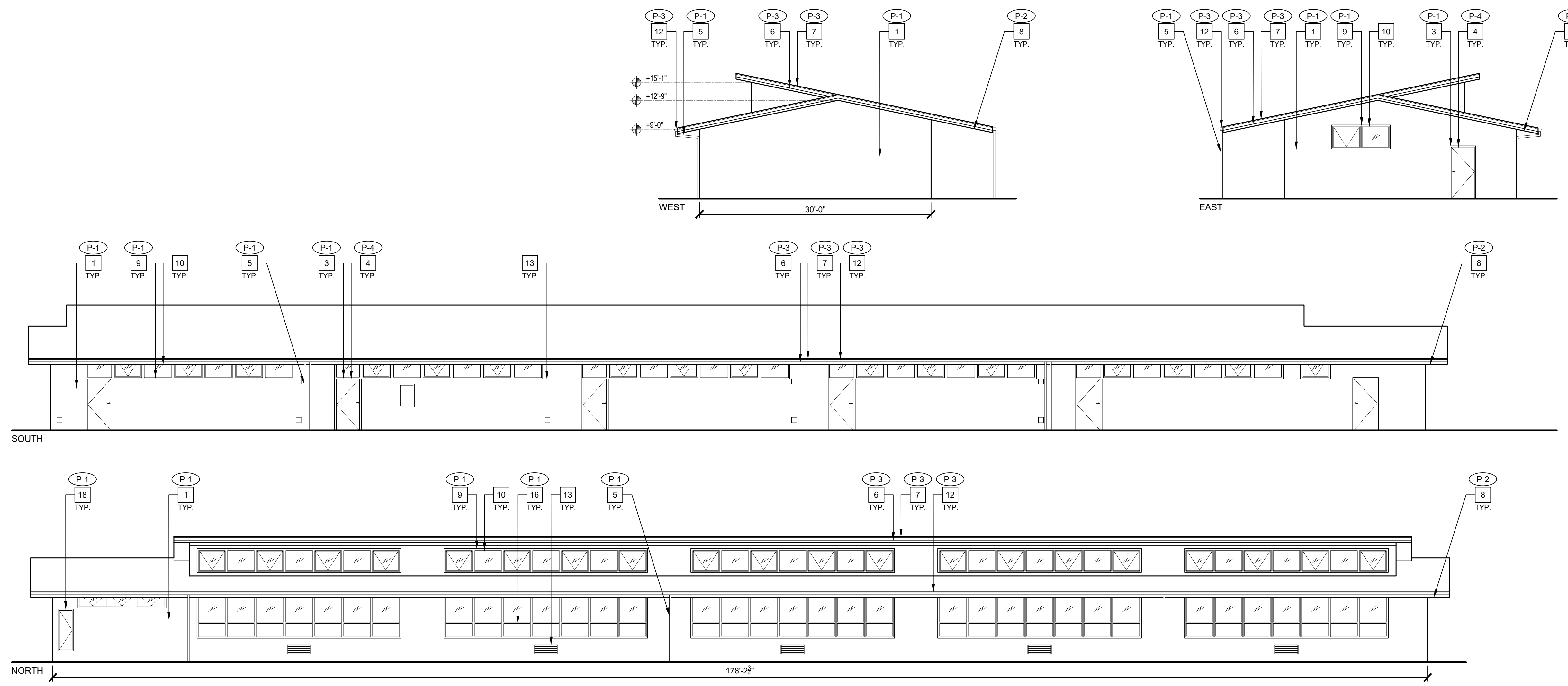


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SUITE 250
CAMPBELL, CA 95008
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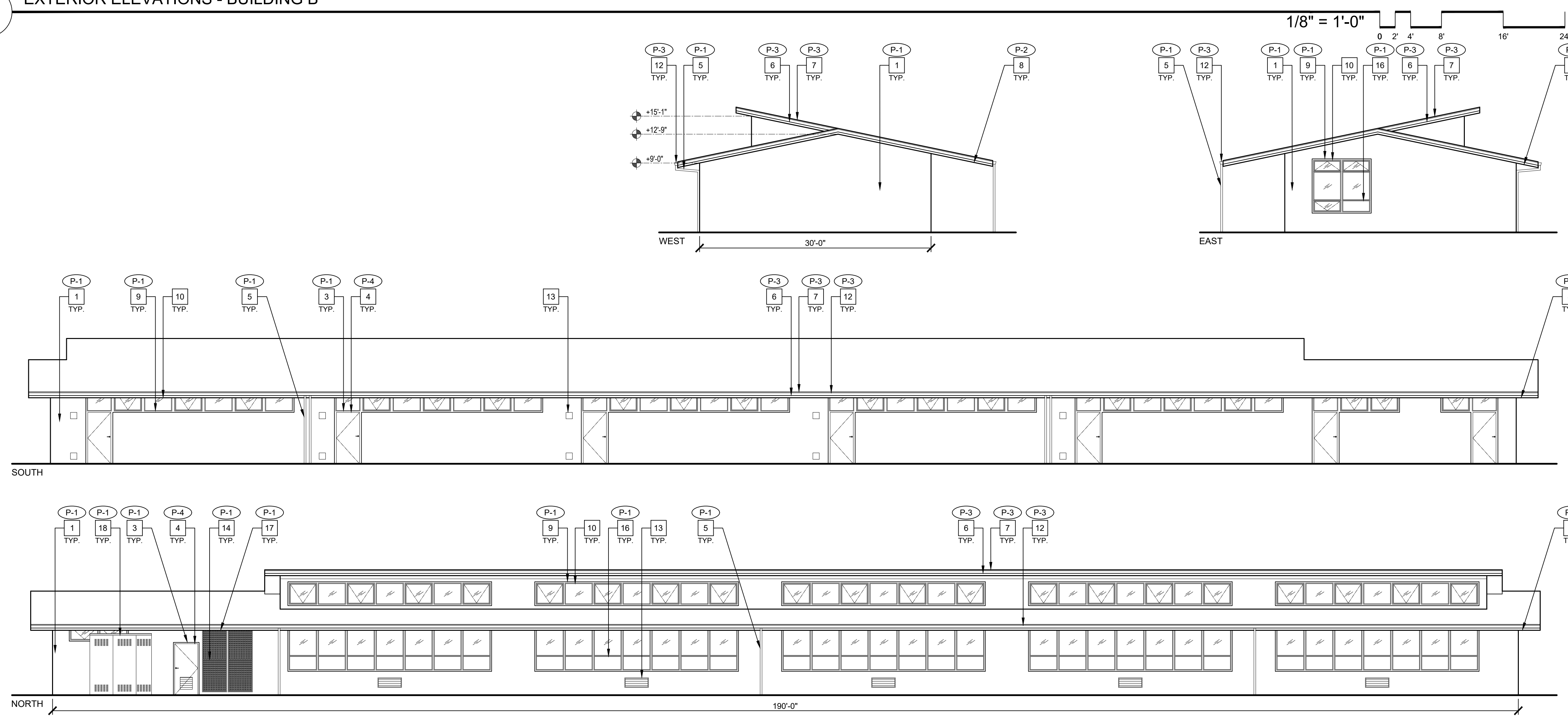


EXTERIOR ELEVATION NOTES

- 1. (E) CEMENT PLASTER WALL FINISH PAINTED, TYP.
- 2. (E) BRICK VENEER WALL FINISH PAINTED, TYP.
- 3. (E) DOOR TRIM PAINTED, TYP.
- 4. (E) DOOR PAINTED, TYP.
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- 6. (E) FASCIA PAINTED, TYP.
- 7. (E) METAL FLASHING PAINTED, TYP.
- 8. (E) UNDERSIDE OF EAVE PAINTED, TYP.
- 9. (E) WINDOW TRIM PAINTED, TYP.
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- 15. REMOVE (E) BULLETIN BOARD, STORE FOR REINSTALLATION.
- 16. (E) OPAQUE WINDOW PANEL PAINTED, TYP.
- 17. (E) METAL GRATE PAINTED, TYP.
- 18. (E) ELECTRICAL PANEL PAINTED, TYP.
- 19. (E) BRICK VENEER WALL FINISH TO REMAIN, TYP. PROTECT IN PLACE.



2 EXTERIOR ELEVATIONS - BUILDING B

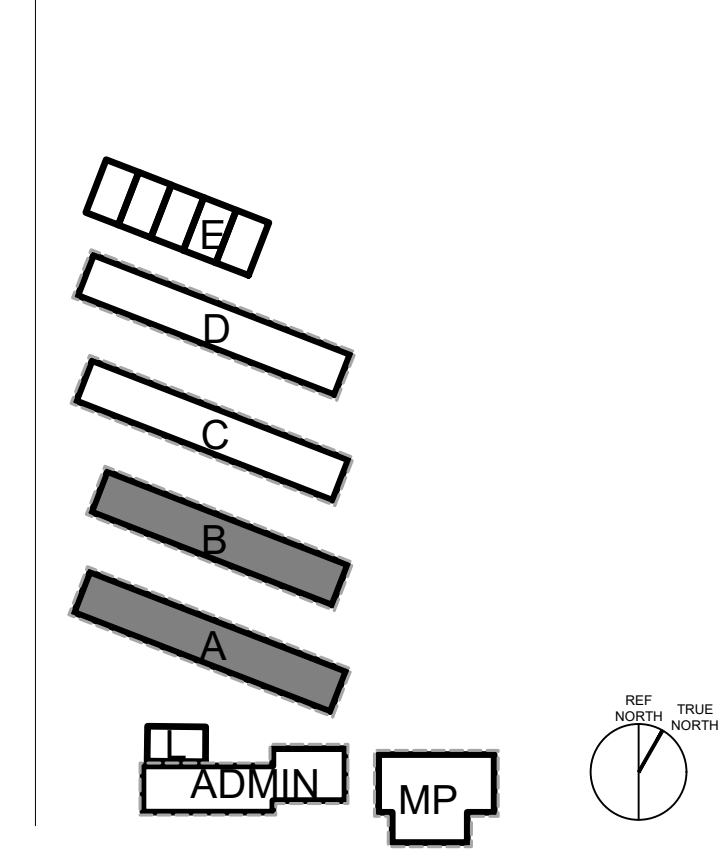


1 EXTERIOR ELEVATIONS - BUILDING A

GRAPHIC KEY

- (P-1) PAINT TAG:
- (P-2) PAINT TAG:
- (P-3) PAINT TAG:
- (P-4) PAINT TAG:

BUILDING KEY



EXTERIOR ELEVATIONS - EXTERIOR PAINTING
BUILDINGS A & B

EXTERIOR PAINTING AT
MILLARD MCCOLLAM ELEMENTARY SCHOOL
3311 LUCIAN AVENUE, SAN JOSE CA 95127
ALUM ROCK UNION SCHOOL DISTRICT

REVISIONS NO.	ITEM	DATE
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CHECKED BY: NJ
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A7.2

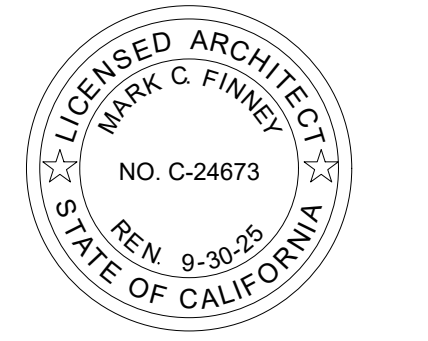
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- L. PAINT ALL WALL MOUNTED HOOK RACK, TYP.

(DSA STAMP AREA)

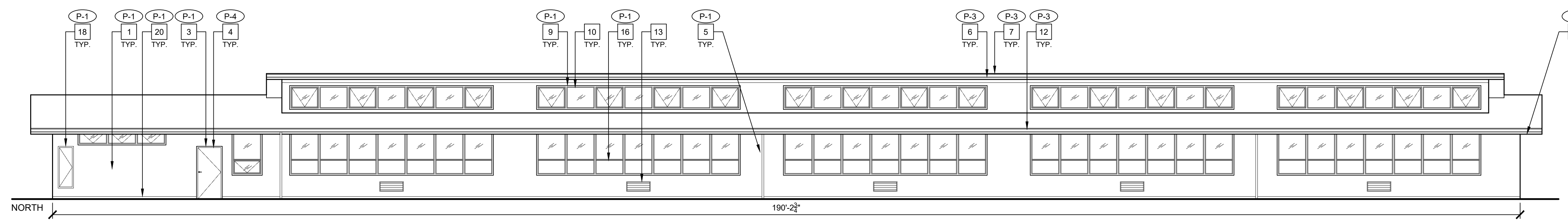
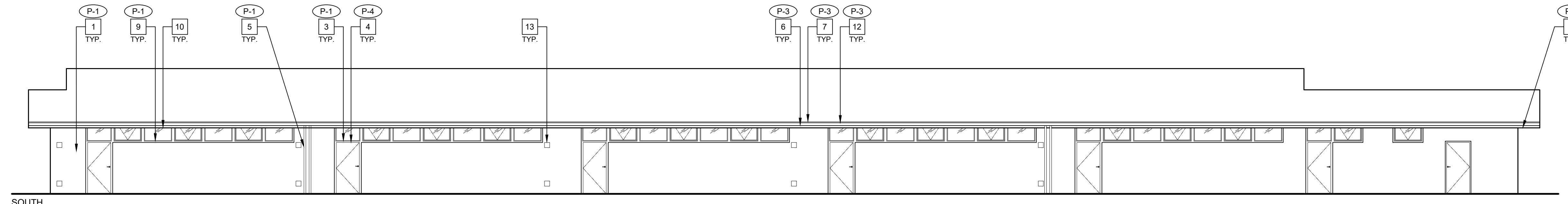
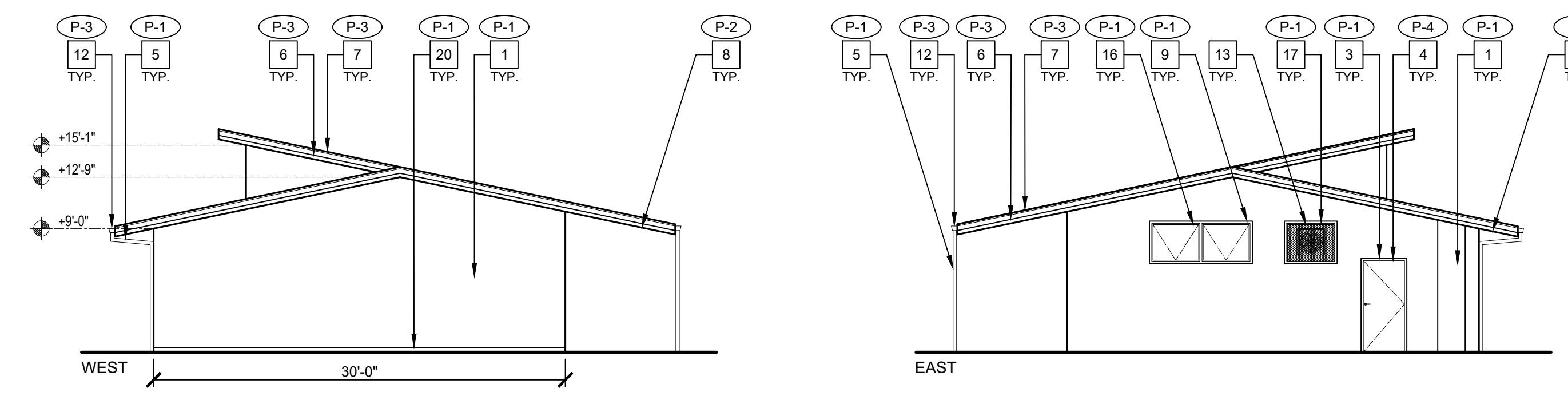


2155 SOUTH BASCOM AVE.
SUITE 250
CAMPBELL, CA 95008
PHONE: 408-398-1450

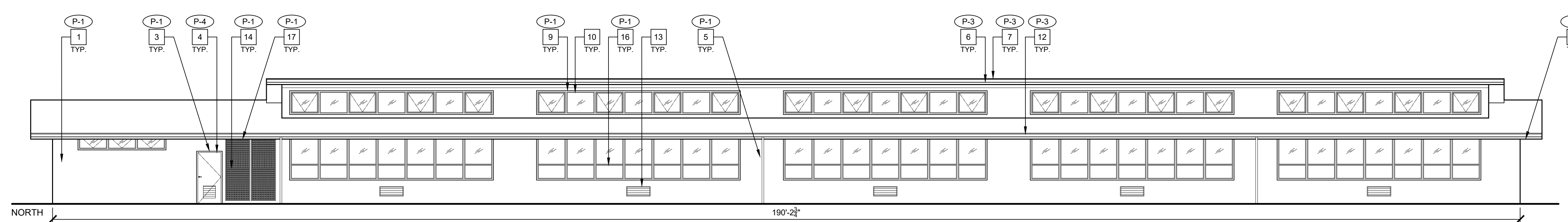
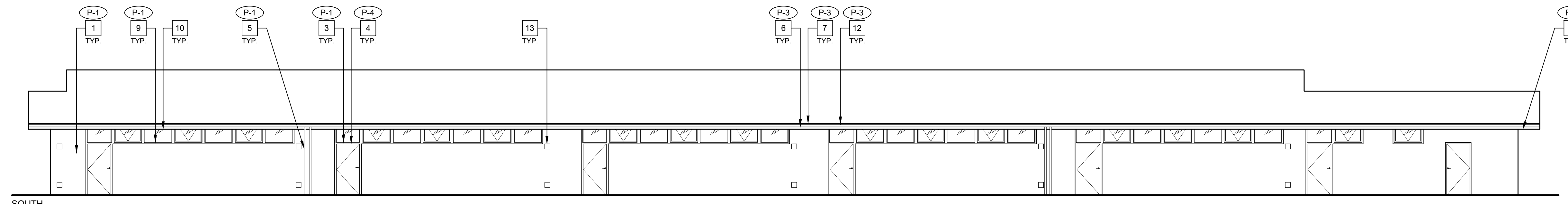
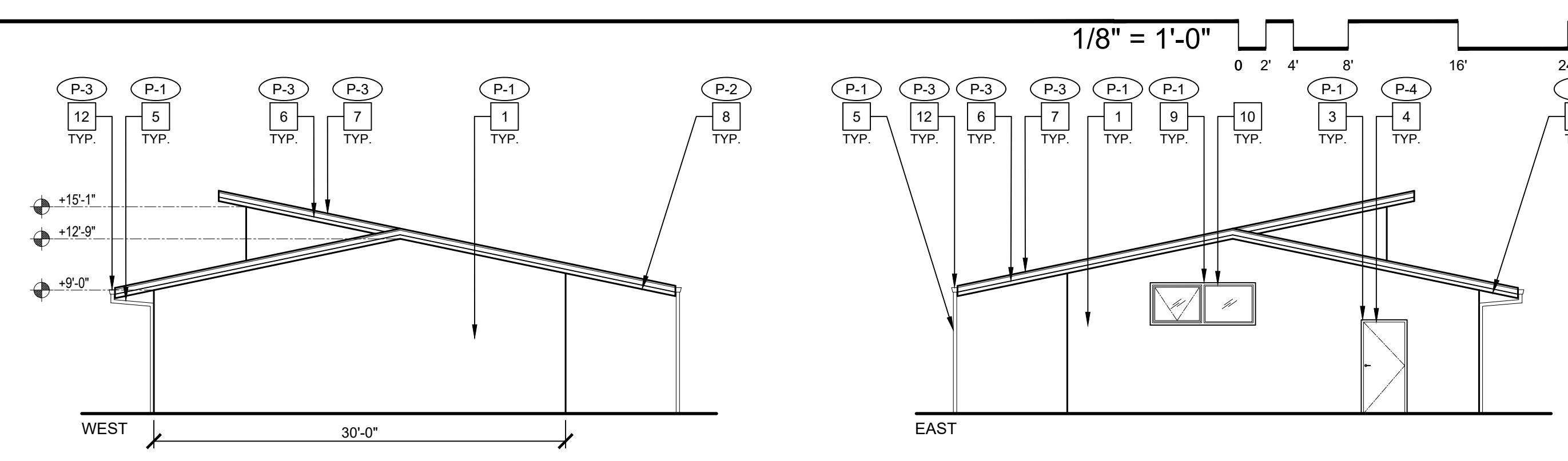


EXTERIOR ELEVATION NOTES

- 1. (E) CEMENT PLASTER WALL FINISH PAINTED, TYP.
- 2. (E) BRICK VENEER WALL FINISH PAINTED, TYP.
- 3. (E) DOOR TRIM PAINTED, TYP.
- 4. (E) DOOR PAINTED, TYP.
- 5. (E) RAINWATER LEADER PAINTED, TYP.
- 6. (E) FASCIA PAINTED, TYP.
- 7. (E) METAL FLASHING PAINTED, TYP.
- 8. (E) UNDERSIDE OF EAVE PAINTED, TYP.
- 9. (E) WINDOW TRIM PAINTED, TYP.
- 10. (E) WINDOWS TO REMAIN, TYP. PROTECT IN PLACE.
- 11. (E) COLUMN PAINTED, TYP.
- 12. (E) GUTTER PAINTED, TYP.
- 13. (E) VENT TO REMAIN, PROTECT IN PLACE.
- 14. (E) LOUVER PAINTED, TYP.
- 15. REMOVE (E) BULLETIN BOARD, STORE FOR REINSTALLATION.
- 16. (E) OPAQUE WINDOW PANEL PAINTED, TYP.
- 17. (E) METAL GRATE PAINTED, TYP.
- 18. (E) ELECTRICAL PANEL PAINTED, TYP.
- 19. (E) BRICK VENEER WALL FINISH TO REMAIN, TYP. PROTECT IN PLACE.
- 20. (E) WALL BASE PAINTED, TYP.



2 EXTERIOR ELEVATIONS - BUILDING D

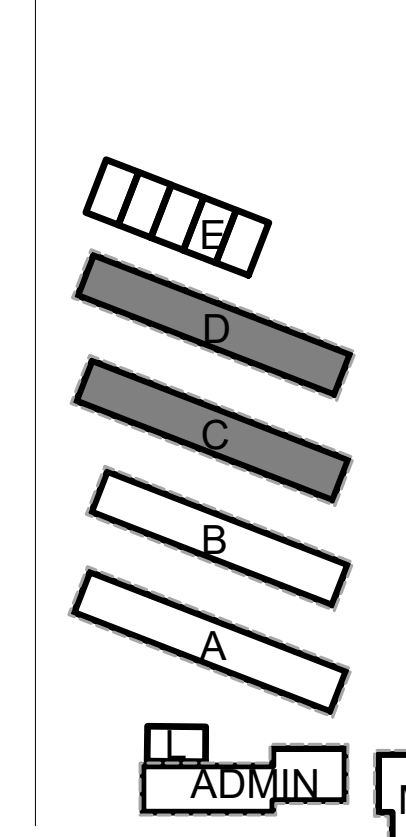


1 EXTERIOR ELEVATIONS - BUILDING C

GRAPHIC KEY

- (P-1) PAINT TAG:
- (P-2) PAINT TAG:
- (P-3) PAINT TAG:
- (P-4) PAINT TAG:

BUILDING KEY



EXTERIOR ELEVATIONS - EXTERIOR PAINTING
BUILDINGS C & D

EXTERIOR PAINTING AT
MILLARD MCCOLLAM ELEMENTARY SCHOOL
3311 LUCIAN AVENUE, SAN JOSE CA 95127
ALUM ROCK UNION SCHOOL DISTRICT

REVISIONS NO.	ITEM	DATE
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A7.3



EXTERIOR PAINTING AT LINDA VISTA ELEMENTARY

100 KIRK AVENUE, SAN JOSE CA 95127
ALUM ROCK UNION SCHOOL DISTRICT

GENERAL NOTES

PRE-BID SITE VISIT
CONTRACTOR SHALL VISIT THE PROJECT AREA IN ORDER TO BECOME FAMILIAR WITH EXISTING CONDITIONS AND THE REQUIREMENTS OF THE PROJECT. THE CONTRACTOR MAY CONTACT THE ARCHITECT DURING THE BIDDING PHASE REGARDING CLARIFICATIONS AND PROJECT REQUIREMENTS.

SAFETY
IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

DAMAGE TO STRUCTURE OR SYSTEMS TO REMAIN
CONTRACTOR SHALL REIMBURSE THE OWNER FOR REPAIR AND REPLACEMENT, INCLUDING ARCHITECT'S FEES, FOR ANY DAMAGE CAUSED TO STRUCTURES, LANDSCAPE, SITE WORK, OR EXISTING SYSTEMS TO REMAIN, AS THE RESULT OF CONSTRUCTION OPERATIONS.

EXISTING CONDITIONS
ALL EXISTING CONDITIONS ARE SHOWN BASED ON THE BEST INFORMATION AVAILABLE AT THE TIME, BUT WITHOUT GUARANTEE OF ACCURACY. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND BUILDING DATA AT THE JOB SITE. ANY DISCREPANCIES REQUIRING MODIFICATION TO THE CONSTRUCTION DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. NO MODIFICATIONS SHALL BE MADE BY THE CONTRACTOR WITHOUT PRIOR APPROVAL FROM THE ARCHITECT.

CONTRACTOR'S EQUIPMENT
COORDINATE WITH OWNER'S REPRESENTATIVE FOR APPROVED LOCATION OF JOB SITE ACCESS, PARKING, AND LOCATION OF CONTRACTOR'S EQUIPMENT AND MATERIAL STORAGE AREA. SEE SITE PLAN FOR ADDITIONAL NOTES.

UTILITY SHUT-DOWNS AND CONNECTIONS
ALL REQUIRED UTILITY SHUT DOWNS SHALL HAVE PRIOR APPROVAL FROM THE OWNER'S REPRESENTATIVE. REQUEST SHALL BE SUBMITTED WITH ADEQUATE ADVANCE NOTICE PER PROJECT REQUIREMENTS.

ASBESTOS AND ASBESTOS PRODUCTS
THE OWNER/OPERATOR AND CONTRACTOR SHALL BE AWARE THAT BUILDINGS CONSTRUCTED PRIOR TO 1978 (OR THERE ABOUT) POSSIBILITY CONTAIN ASBESTOS IN SOME EXISTING CONSTRUCTION MATERIALS, AND WILL LIKELY BE ENCOUNTERED DURING ALTERATIONS OR REMODELING.

UNDER CALIFORNIA TITLE 8, THE OWNER AND CONTRACTOR BOTH HAVE RESPONSIBILITIES TO DETERMINE THE EXISTENCE OF ASBESTOS CONTAINING MATERIALS IN AREAS TO BE ALTERED OR REMODELED PRIOR TO COMMENCEMENT OF WORK AND TO TAKE APPROPRIATE MEASURES TO PROTECT PERSONNEL. CALIFORNIA HAS JURISDICTION OVER ASBESTOS RELATED WORK. ASBESTOS RELATED WORK SHALL BE DONE IN ACCORDANCE WITH CALIFORNIA GENERAL INDUSTRIAL SAFETY ORDERS, TITLE 8, SECTION 341.6 THROUGH 341.14. ASBESTOS IN THE WORK ENVIRONMENT IS REGULATED BY TITLE 8, SECTION 5209.

THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT AND DISTRICT REGULATION 11-2-401.3 REQUIRES EVERY RENOVATION INVOLVING THE REMOVAL OF 100 SQ. FT., LN. FT. OR GREATER OF REGULATED ASBESTOS CONTAINING MATERIAL, AND FOR EVERY DEMOLITION (EVEN WHEN NO ASBESTOS IS PRESENT), A NOTIFICATION MUST BE SENT TO THE BAAQMD AT LEAST 10 WORKING DAYS PRIOR TO COMMENCEMENT OF DEMOLITION / RENOVATION.

ALL BUILDING MATERIALS MUST BE ASBESTOS FREE.
THESE DOCUMENTS DO NOT ADDRESS CONTAMINATION FOR EXISTING AREAS OF ASBESTOS WHICH MAY BE DISCOVERED DURING CONSTRUCTION. THE OWNER'S ABATEMENT SUBCONTRACTOR IS SOLELY RESPONSIBLE FOR THE DETECTION, REMOVAL, AND THE DISPOSAL OF ANY EXISTING ASBESTOS MATERIAL. ARCHITECTURAL AND ENGINEERING FEES FOR ADDITIONAL DESIGN EFFORT TO OBTAIN STATE APPROVALS, AS WELL AS THE COST OF ANY REPAIRS, FOR DAMAGE CAUSED OR REPLACEMENT OF EXISTING SYSTEMS TO REMAIN, DUE TO WORK PERFORMED BY THE ASBESTOS ABATEMENT SUBCONTRACTOR, SHALL BE THE RESPONSIBILITY OF SAID SUBCONTRACTOR.

CONSTRUCTION SCHEDULING
CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION OPERATIONS WITH OWNER'S REPRESENTATIVE PRIOR TO SCHEDULING AND START OF THE WORK. CONTRACTOR SHALL PROVIDE PROTECTION TO ALL EXISTING SPACES AND SYSTEMS WHICH ARE IN USE, ADJOINING THE PROJECT, AND NOT PART OF THE PROJECT.

INTERIOR FINISHES
INTERIOR FINISHES AND ALL WALL COVERING MATERIAL SHALL CONFORM TO CCR TITLE 24, PART 2, CHAPTER 8.

DRILLED-IN EXPANSION ANCHORS
WHEN INSTALLING DRILLED-IN ANCHORS AND/OR POWDER DRIVEN PINS IN EXISTING NON-PRESTRESSED REINFORCED CONCRETE, USE CARE AND CAUTION TO AVOID CUTTING OR DAMAGING THE EXISTING REINFORCING BARS. WHEN INSTALLING THEM INTO EXISTING PRESTRESSED CONCRETE (PRE- OR POST-TENSIONED), LOCATE THE PRESTRESSED TENDONS BY USING A NON-DESTRUCTIVE METHOD PRIOR TO INSTALLATION. EXERCISE EXTREME CARE AND CAUTION TO AVOID CUTTING OR DAMAGING THE TENDONS DURING INSTALLATION. MAINTAIN A MINIMUM CLEARANCE OF ONE INCH BETWEEN THE REINFORCEMENT AND THE DRILLED-IN ANCHOR AND/OR PIN.

TITLE 24 COMPLIANCE
THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE ALTERATION, REHABILITATION OR RECONSTRUCTION IS TO BE IN ACCORDANCE WITH TITLE 24, C.C.R. SHOULD ANY EXISTING CONDITIONS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, C.C.R. A CONSTRUCTION CHANGE DOCUMENT (CCD), OR A SEPARATE SET OF PLANS AND SPECIFICATIONS, DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY DSA BEFORE PROCEEDING WITH THE WORK. (SECTION 4-317(C), PART 1, TITLE 24, C.C.R.)

ADMINISTRATIVE REQUIREMENTS FROM PART 1, TITLE 24, C.C.R.
- CHANGES TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY AN ADDENDUM OR A CONSTRUCTION CHANGE DOCUMENT, AND APPROVED BY DSA, AS PER SECTION 4-338.
- A DSA CERTIFIED PROJECT INSPECTOR EMPLOYED BY THE DISTRICT AND APPROVED BY DSA SHALL PROVIDE CONTINUOUS INSPECTION OF WORK, PER SECTION 4-342.
- A DSA ACCEPTED TESTING LABORATORY DIRECTLY EMPLOYED BY THE DISTRICT SHALL CONDUCT ALL REQUIRED TEST AND INSPECTIONS FOR THE PROJECT.
- SPECIAL INSPECTION PER SECTION 4-333 (C)
- CONTRACTOR SHALL SUBMIT VERIFIED REPORT OR SECTION 4-336 & 4-343 (C)
- ADMINISTRATION OR CONSTRUCTION PER PART 1, TITLE 24, C.C.R.
- DUTIES OF ARCHITECT, STRUCTURAL ENGINEER, OR PROFESSIONAL ENGINEER PER SECTION 4-333 (A) AND 4-341
- DUTIES OF CONTRACTOR PER SECTION 4-343
- VERIFIED REPORTS PER SECTION 4-343 AND 4-338
- A COPY OF ALL APPLICABLE PARTS REFERRED TO BY THE PLANS AND SPECIFICATIONS OF TITLE 24 SHALL BE KEPT AND AVAILABLE IN THE FIELD DURING CONSTRUCTION
- DSA SHALL BE NOTIFIED AT START OF CONSTRUCTION AND PRIOR TO PLACEMENT OF CONCRETE PER SECTION 4-331
- SUPERVISION BY DSA PER SECTION 4-334
- DSA IS NOT SUBJECT TO ARBITRATION

ADMINISTRATIVE REQUIREMENTS
- ADDENDA MUST BE SIGNED BY ARCHITECT AND APPROVED BY DSA
- NO CHANGES OR REVISIONS SHALL BE MADE FOLLOWING WRITTEN APPROVAL WHICH AFFECTS ACCESS COMPLIANCE ITEM UNLESS SUCH CHANGES TO REVISIONS ARE SUBMITTED TO DSA FOR APPROVAL
- SUBSTITUTIONS AFFECTING DSA REGULATED ITEMS SHALL BE SUBMITTED AS A CONSTRUCTION CHANGE DOCUMENT OR ADDENDA, AND SHALL BE APPROVED BY DSA PRIOR TO FABRICATION AND INSTALLATION
- CONSTRUCTION CHANGE DOCUMENTS MUST BE SIGNED BY THE FOLLOWING:
-- ARCHITECT OR ENGINEER OF RECORD
-- STRUCTURAL ENGINEER (WHEN APPLICABLE)
-- DELEGATED PROFESSIONAL ENGINEER
-- DSA
- MATERIALS AND THEIR INSTALLATIONS SHALL COMPLY WITH APPLICABLE CODES.
- PER CBC 11B-106.1 ALL DIMENSIONS ARE SUBJECT TO CONVENTIONAL INDUSTRY TOLERANCES EXCEPT WHERE THE REQUIREMENT IS STATED AS A RANGE WITH SPECIFIC MINIMUM AND MAXIMUM END POINTS.

GENERAL NOTES, cont.

CALIFORNIA ENERGY CODE
THE CALIFORNIA ENERGY CODE SECTION 10-103 REQUIRES ACCEPTANCE TESTING ON ALL NEWLY INSTALLED LIGHTING CONTROLS, MECHANICAL SYSTEMS, ENVELOPES, AND PROCESS EQUIPMENT AFTER INSTALLATION AND BEFORE PROJECT COMPLETION. AN ACCEPTANCE TEST IS A FUNCTIONAL PERFORMANCE TEST TO HELP ENSURE THAT NEWLY INSTALLED EQUIPMENT IS OPERATING AND IN COMPLIANCE WITH THE ENERGY CODE.

LIGHTING CONTROLS ACCEPTANCE TEST MUST BE PERFORMED BY A CERTIFIED LIGHTING CONTROLS ACCEPTANCE TEST TECHNICIAN (ATT).

MECHANICAL SYSTEM ACCEPTANCE TESTS MUST BE PERFORMED BY A CERTIFIED MECHANICAL ATT.

A LISTING OF CERTIFIED ATTS CAN BE FOUND AT <https://www.energy.ca.gov/programs-and-topics/programs/acceptance-test-technician-certification-provider-program/acceptance>

THE ACCEPTANCE TESTING PROCEDURES MUST BE REPEATED, AND DEFICIENCIES MUST BE CORRECTED BY THE BUILDER OR INSTALLING CONTRACTOR UNTIL THE CONSTRUCTION/INSTALLATION OF THE SPECIFIED SYSTEMS CONFORM AND PASS THE REQUIRED ACCEPTANCE CRITERIA.

PROJECT INSPECTORS WILL BE COLLECTING THE FORMS TO CONFIRM THAT THE REQUIRED ACCEPTANCE TESTS HAVE BEEN COMPLETED.

DSA APPROVAL OF THESE PLANS SHALL NOT BE CONSTRUED AS THE CERTIFICATION OF COMPLIANCE FOR THE PROJECT BUILDINGS AS REQUIRED BY THE FIELD ACT, EDUCATION CODE SECTIONS 17280-17316 AND SECTIONS 81130-81147

COMPLIANCE WITH LOCAL ORDINANCES
GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES.

ABBREVIATIONS

(REFER TO CONSULTANT DRAWINGS FOR ADDITIONAL ABBREVIATIONS)

A.F.F.	ABOVE FINISHED FLOOR	LAM.	LAMINATE
A.P.	ACCESS PANEL	LAV.	LAVATORY
ACT	ACOUSTIC TILE	M.B.	MACHINE BOLT
ADJ.	ADJUSTABLE	M.S.	MACHINE SCREW
ALUM.	ALUMINUM	M.H.	MANHOLE
A.B.	ANCHOR BOLT	MFG.	MANUFACTURER
APPROX.	APPROXIMATELY	M.B.	MARKER BOARD
ARCH.	ARCHITECT	MATL.	MATERIAL
AC	ASPHALTIC CONCRETE	MAX.	MAXIMUM
AT	AT	MECH.	MECHANICAL
B.M.	BENCH MARK	MIN.	MINIMUM
BLKG.	BLOCKING	MTL.	METAL
BO.	BOARD	MISC.	MISCELLANEOUS
B.W.	BOTH WAYS	MTD.	MOUNTED
BOT.	BOTTOM	N.	NEW
BUILD.	BUILDING	NO.	NOMINAL
B.U.R.	BUILT-UP ROOFING	N.I.C.	NOT IN CONTRACT
C.B.	CATCH BASIN	N.T.S.	NOT TO SCALE
CLG.	CEILING	No. or #	NUMBER
CEM.	CEMENT	OCC.	OCCUPANT(CY)
C.C. or O.C.	CENTER TO CENTER	OPNG.	OPENING
CER. TILE	CENTERLINE	OPP.	OPPOSITE
C.O.	CERAMIC TILE	O.H.	OPPOSITE HAND
C.O.T.G.	CLEANOUT TO GRADE	O.F.O.S.	OUTSIDE FACE OF STUD
CL.R.	CLEAR	O.H.W.S.	OVER HEAD WOOD SCREW
C.A.H.R.	CLEAR ALL HEART	O.D.	OVERFLOW DRAIN and/or OUTSIDE DIAMETER
REDWOOD	COLD WATER	O.F.C.I.	OWNER FURNISHED and CONTRACTOR INSTALLED
C.W.	COLUMN	PR.	PARTITION
COL.	COMMON	PL.	PLATE
COM.	CONCRETE	PL.	PLATE
CONC.	CONCRETE	PENNY (NAILS)	PENNY (NAILS)
CONST.	CONSTRUCTION	PLAS.	PLASTER
C.H.	CONSTRUCTION HEART	PLYWD.	PLYWOOD
C.J.	CONSTRUCTION JOINT	P.V.C.	POLY VINYL CHLORIDE
CONT.	CONTINUOUS	P.T.	PRESSURE TREATED
CONTR.	CONTRACTOR	P.L.	PROPERTY LINE
CTR.	COUNTER	R. or RAD.	RADIUS
CTS.K.	COUNTER SUNK	R.W.L.	RAIN WATER LEADER
DET.	DETAIL	R.W.D.	REDWOOD
DIA. or Ø	DIAMETER	REIN.	REINFORCING
DIM.	DIMENSION	REQU.	REQUIRED
D.A.	DISABLED ACCESS	R.A.G.	RETURN AIR GRILLE
DR.	DOOR	R.E.	ROOM ELEVATION
D.S.	DOWNSPOUT	R.D.	ROOM DRAIN
DWG.	DRAWING	RM.	ROOM
D.F.	DRINKING FOUNTAIN and/or DOUGLAS FIR	R.O.	ROUGH OPENING
EA.	EACH	RND.	ROUND
E.W.	EACH WAY	R.H.M.S.	ROUND HEAD METAL SCREW
ELEC.	ELECTRIC or ELECTRICAL	R.H.W.S.	ROUND HEAD WOOD SCREW
ELEV.	ELEVATION	SSD.	SEE STRUCTURAL DRAWINGS
ENCL.	ENCLOSURE and/or ENCLOSURE	S.T.S.M.S.	SELF TAPPING SHEET METAL SCREW
EQ.	EQUAL	SHEATH.	SHEATHING
EQUIP.	EQUIPMENT	S.M.	SHEET METAL
(E)	EXISTING	S.M.S.	SHEET METAL SCREW
EX.	EXPANSION	S.O.V.	SHUT OFF VALVE
E.J.	EXPANSION JOINT	SIM.	SIMILAR
EXP.	EXPOSED	S.C.	SOLID CORE
EXT.	EXTERIOR	SPEC.	SPECIFICATION
F.O.C.	FACE OF CONCRETE	SQ.	SQUARE
F.O.M.	FACE OF MASONRY	S.F.	SQUARE FEET
F.O.S.	FACE OF STUD	STAG.	STAGGERED
F.O.F.	FACE OF FINISH	STD.	STANDARD
FIN.	FINISH	S.	STAINLESS STEEL
F.F.	FINISHED FLOOR	STL.	STEEL
F.S.	FINISH SLAB	STOR.	STORAGE
F.F.	FIRE EXTINGUISHER	STRUC.	STRUCTURAL
F.E.C.	FIRE EXTINGUISHER CABINET	S.A.G.	SUPPLY AIR GRILLE
F.H.	FIRE HYDRANT	THRES.	THRESHOLD
F.H.M.S.	FLAT HEAD METAL SCREW	T&G	TONGUE & GROOVE
F.H.W.S.	FLAT HEAD WOOD SCREW	T.J.	TOOLED JOINT
FL. or FLR.	FLOOR	T.O.B.	TOP OF BEAM
F.D.	FLOOR DRAIN	T.O.C.	TOP OF CURB or CONCRETE
FTG.	FOOTING	T.O.S.	TOP OF STEEL or SHEATHING
FN.D.	FOUNDATION	T.O.W.	TOP OF WALK
GALV.	GALVANIZED	TYP.	TYPICAL
G.I.	GALVANIZED IRON	U.O.N.	UNLESS OTHERWISE NOTED
GA.	GALVANIZING	U.O.S.	UNLESS OTHERWISE SHOWN
GL.	GLASS	V.T.R.	VENT THROUGH ROOF
GLU-LAM	GLUE-LAMINATED	VERT.	VERTICAL
GRD.	GRADE	V.G.	VERTICAL GRAIN
GYP. BD.	GYPSUM BOARD	V.F.	VERIFY IN FIELD
HDW.	HARDWARE	V.C.T.	VINYL COMPOSITION TILE
HT.	HEIGHT	V.V.C.	VINYL WALL COVERING
H.C.	HOLLOW CORE	V.O.I.P.	VOICE OVER INTERNET PROTOCOL
H.M.	HOLLOW METAL	W.C.	WATER CLOSET
HORIZ.	HORIZONTAL	W.H.	WATER HEATER
H.B.	HOSE BIB	WP.	WATERPROOF
I.D.	INSIDE DIAMETER	W.R.	WATER RESISTANT
INSUL.	INSULATION	W.W.M.	WELDED WIRE MESH
INT.	INTERIOR	W.D.	WINDOW DIMENSION
INV.	INVERT	W.	WITH
JT.	JOINT	WO	WITHOUT
J.H.	JOIST HANGER	WD.	WOOD
K.D.	KILN DRIED		

BLDG. CODES & STANDARDS:

2022	CALIFORNIA ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R.	
2022	CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24, C.C.R. (2021 INTERNATIONAL BUILDING CODE, VOLUMES 1 AND 2, WITH 2022 CALIFORNIA AMENDMENTS.)	
2022	CALIFORNIA ELECTRIC CODE (CEC), PART 3, TITLE 24, C.C.R. (2020 NATIONAL ELECTRIC CODE WITH 2022 CALIFORNIA AMENDMENTS).	
2022	CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24, C.C.R. (2021 UNIFORM MECHANICAL CODE WITH 2022 CALIFORNIA AMENDMENTS).	
2022	CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24, C.C.R. (2021 UNIFORM PLUMBING CODE WITH 2022 CALIFORNIA AMENDMENTS).	
2022	CALIFORNIA ENERGY CODE (CENC), PART 6, TITLE 24, C.C.R. (2021 INTERNATIONAL FIRE CODE WITH 2022 CALIFORNIA AMENDMENTS).	
2022	CALIFORNIA FIRE CODE (CFC), PART 9, TITLE 24, C.C.R. (2021 INTERNATIONAL FIRE CODE WITH 2022 CALIFORNIA AMENDMENTS).	
2022	CALIFORNIA GREEN BUILDING STANDARDS CODE, PART 11, TITLE 24, C.C.R.	
2022	CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24, C.C.R.	
2019	ASME A17.1/CSA B44 SAFETY CODE FOR ELEVATORS AND ESCALATORS	
2010	ADA STANDARDS FOR ACCESSIBLE DESIGN	
	(28 CFR PART 35 FOR TITLE II ENTITIES)	
	CCR TITLE-19, PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS.	
NFPA 13	INSTALLATION OF SPRINKLER SYSTEMS	2022 EDITION
NFPA 14	INSTALLATION OF STANDPIPE & HOSE SYSTEMS (CA AMENDED)	2019 EDITION
NFPA 17	DRY CHEMICAL EXTINGUISHING SYSTEMS	2021 EDITION
NFPA 17A	WET CHEMICAL EXTINGUISHING SYSTEM	2021 EDITION
NFPA 20	STATIONARY FIRE PUMPS TO FIRE PROTECTION	2019 EDITION
NFPA 22	WATER TANKS FOR PRIVATE FIRE PROTECTION	2013 EDITION
NFPA 24	PRIVATE FIRE SERVICE MAINS (CA AMENDED)	2019 EDITION
NFPA 25	INSPECTION, TESTING AND MAINTENANCE OF WATER BASED FIRE PROTECTION SYSTEMS	2013 CALIFORNIA EDITION
NFPA 72	NATIONAL FIRE ALARM CODE (CA AMENDED)	2022 EDITION
NFPA 80	FIRE DOORS AND OTHER OPENING PROTECTIVES	2019 EDITION
NFPA 92	STANDARD FOR SMOKE CONTROL SYSTEMS	2018 EDITION
NFPA 110	EMERGENCY AND STANDBY POWER SYSTEMS	2019 EDITION
NFPA 170	STANDARD FOR FIRE SAFETY AND EMERGENCY SYMBOLS	2018 EDITION
NFPA 253	CRITICAL RADIANT FLUX OF FLOOR COVERING SYSTEMS	2019 EDITION
NFPA 2001	CLEAN AGENT FIRE EXTINGUISHING SYSTEMS	2018 EDITION
ICC 300	STANDARDS FOR BLEACHERS, FOLDING AND TELESCOPIC SEATING, AND GRANDSTANDS	2017 EDITION
SFM 12-10-1	POWER OPERATED EXIT DOORS	
SFM 12-10-2	SINGLE POINT LATCHING OR LOCKING DEVICES	
SFM 12-10-3	EMERGENCY EXIT & PANIC HARDWARE	
UL 38	MANUAL OPERATING SIGNAL BOXES	1999/2005 EDITION
UL 268	SMOKE DETECTORS FOR FIRE PROTECTIVE SIGNALING SYSTEMS	2016 EDITION
UL 300	FIRE TESTING OF FIRE EXTINGUISHING SYSTEMS FOR PROTECTION OF COMMERCIAL COOKING EQUIPMENT	1998/2003 EDITION
UL 305	PANIC HARDWARE	2012 EDITION
UL 464	AUDIBLE SIGNALING DEVICES FOR FIRE ALARM AND SIGNALING SYSTEMS	2003 EDITION
UL 521	HEAT DETECTORS FOR FIRE PROTECTIVE SIGNALING SYSTEMS	1999 EDITION
UL 864	CONTROL UNITS FOR FIRE PROTECTIVE SIGNALING SYSTEMS (W/REVISIONS THROUGH DEC. 2014)	2014 EDITION
UL 1971	SIGNALING DEVICES FOR THE HEARING IMPAIRED	2002 EDITION

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UL 1971	SIGNALING DEVICES FOR THE HEARING IMPAIRED	2002 EDITION

COMPLIANCE WITH CBC CHAPTER 33, FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION AND CBC CHAPTER 33, SAFETY DURING CONSTRUCTION WILL BE ENFORCED.

SYMBOLS LEGEND

	SECTION IDENTIFICATION	SECTION / EXTERIOR ELEVATION
	SHEET WHERE SECTION IS DRAWN	
	DETAIL IDENTIFICATION	DETAIL
	SHEET WHERE DETAIL IS DRAWN	
	INTERIOR ELEVATION	INTERIOR ELEVATION
	INDICATES ELEVATION SHOWN	
	SHEET WHERE ELEVATION IS DRAWN	
	CLASSROOM	ROOM IDENTIFICATION
	102	ROOM NAME
	102	ROOM NUMBER
	SPECIFIC NOTE	
	102A	DOOR DESIGNATION
	A	WINDOW DESIGNATION
	1	AROUND REVISION
	1	CLOUD AROUND REVISION
	1	CCD REVISION
	1	CLOUD AROUND REVISION
	127	FINISH NUMBER
	127	SEE SPECS AND I.E. DWGS.
	A	EQUIPMENT LETTER
	A	SEE EQUIPMENT SCHEDULE
	+8'-0"	CEILING HEIGHT
	▽	WALL TYPE
	●	MATCH LINE
	+8'-0"	ELEV. HEIGHT
	○	CENTER OF
	○	FACE OF



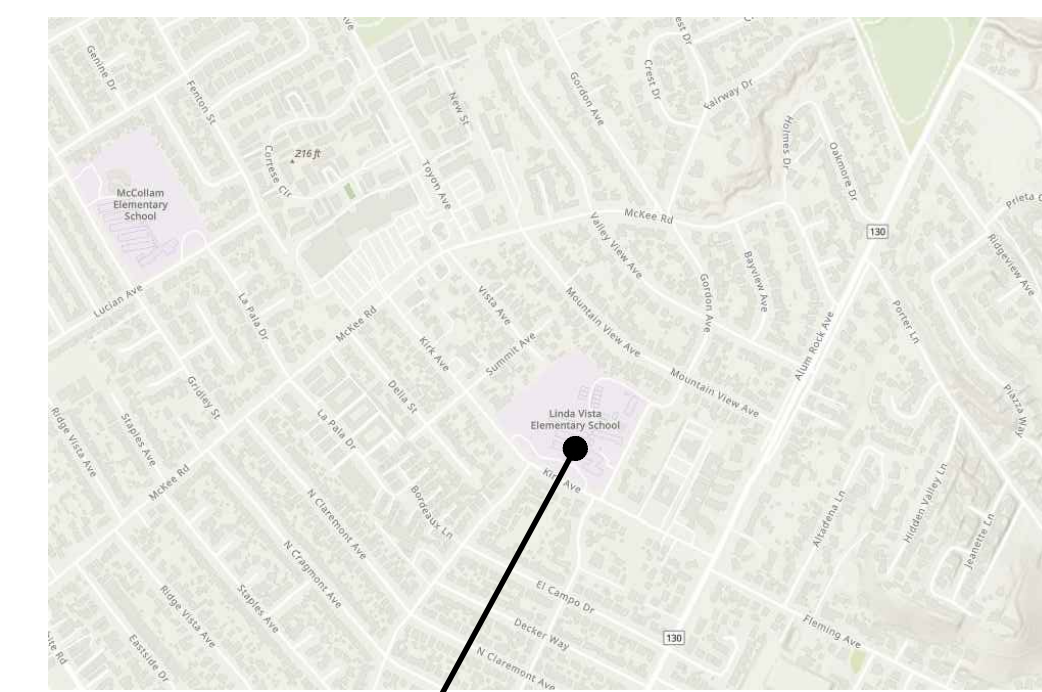
PROJECT SUMMARY

EXTERIOR PAINTING INCLUDING ALL EXISTING BUILDINGS, PORTABLES, COVERED WALKWAYS, METAL DECORATIVE FENCING, AND RAMP/RAILING SYSTEMS.

DRAWING INDEX

T1 TITLE SHEET

VICINITY MAP



THERE ARE NO DEFERRED SUBMITTALS FOR THIS PROJECT.

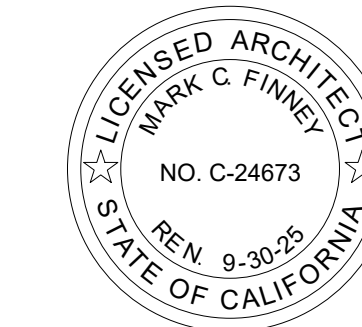
DESIGN TEAM

ARCHITECT
FINNEY ARCHITECTS
2155 SOUTH BASCOM AVENUE SUITE 250
CAMPBELL, CALIFORNIA 95008
(408) 398-1450
ATTN: MARK FINNEY MARK@FINNEYARCHITECTS.COM

(DSA STAMP AREA)



2155 SOUTH BASCOM AVE.
SUITE 250
CAMPBELL, CA 95008
PHONE: 408-398-1450



TITLE SHEET

REVISIONS	NO.	ITEM	DATE
		BID SET	05/16/2025

DRAWN BY: AB
CHECKED BY: NJ
PROJECT NO: 25023
DATE: 04/02/2024

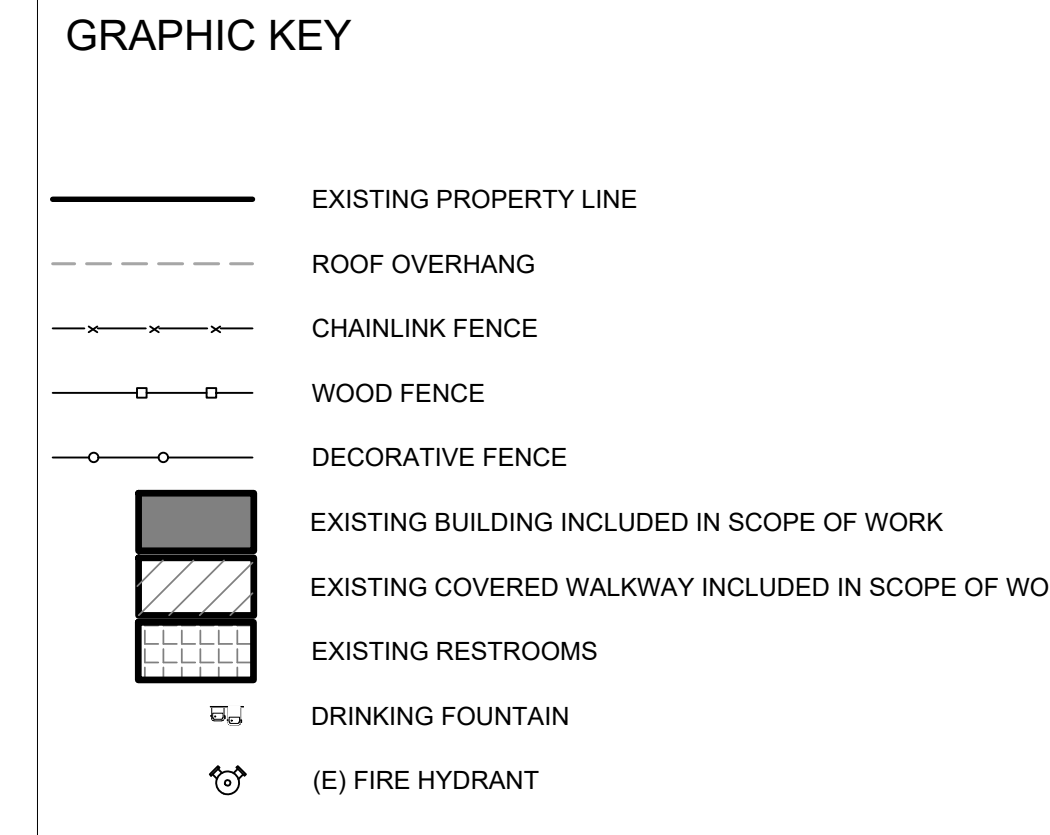
T1

EXTERIOR PAINTING AT
LINDA VISTA ELEMENTARY
100 KIRK AVENUE, SAN JOSE CA 95127
ALUM ROCK UNION SCHOOL DISTRICT



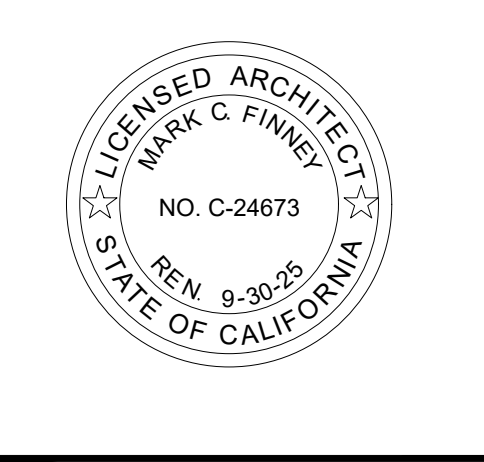
- GENERAL NOTES**
- ALL EXTERIOR WALLS, DOORS/FRAMES, TRIM, SOFFITS, PARAPETS, COLUMNS, BEAMS, CONC. CURBS, FLAGPOLE, ETC. ARE TO BE PROPERLY PREP'D AND PRIMED FOR COMPLETE BUILDING PAINTING.
 - ALL COVERED WALKWAYS, INCLUDING COLUMNS, BEAMS, FASCIA, ETC. ARE TO BE PROPERLY PREP'D AND PRIMED FOR PAINTING.
 - PAINT ALL MTL. FLASHING, DOWNSPOUTS, GUTTERS, TYP.
 - PAINT ALL WALL LOUVERS, TYP. VERIFY QUANTITIES AND LOCATION IN FIELD.
 - PAINT ALL EXPOSED CONDUIT AND PIPE, TYP.
 - (E) SCHOOL WALL MURALS TO REMAIN, PROTECT IN PLACE.
 - REMOVE (E) WALL MOUNTED AND SUSPENDED SCHOOL BUILDING IDENTIFICATION SIGNS, STORE FOR REINSTALLATION TYP. VERIFY LOCATIONS IN FIELD.
 - CONTRACTOR MUST VERIFY (E) BUILDINGS AND COVERED WALKWAYS DIMENSIONS AND CONDITIONS IN FIELD.
 - ALL EXTERIOR SCHOOL MTL. DECORATIVE FENCE TO BE PRIMED AND PAINTED, VERIFY CONDITION, LOCATION, AND QUANTITIES IN FIELD, COLOR TO BE BLACK, TYP.
 - ALL COVERED WALKWAYS SIMILAR, V.I.F.
 - CONTRACTOR RESPONSIBLE FOR PROTECTION OF (E) DRINKING FOUNTAINS.
 - PAINT ALL (E) FIXED BENCHES, TYP. VERIFY QUANTITIES IN FIELD.
 - ALL (E) PLANTER BOXES TO REMAIN, PROTECT IN PLACE.
 - PAINT ALL WALL MOUNTED HOOK RACK, TYP.

- SITE PLAN NOTES**
- (E) BUILDING EXTERIOR PAINTED, TYP.
 - (E) CONC. BLOCK TRASH ENCLOSURE WALLS AND METAL GATE PAINTED.
 - (E) COVERED WALKWAY PAINTED, TYP.
 - (E) MTL. DECORATIVE FENCE PAINTED, TYP.
 - (E) ELECTRICAL PANEL ON CONC. PAD PAINTED, TYP.



(DSA STAMP AREA)

FINNEY ARCHITECTS
 2155 SOUTH BASCOM AVE.
 SUITE 250
 CAMPBELL, CA 95008
 PHONE: 408-398-1450



SITE PLAN

EXTERIOR PAINTING AT
 LINDA VISTA ELEMENTARY
 100 KIRK AVENUE, SAN JOSE CA 95127
 ALUM ROCK UNION SCHOOL DISTRICT

REVISIONS NO.	ITEM	DATE
	BID SET	05/16/2025

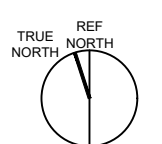
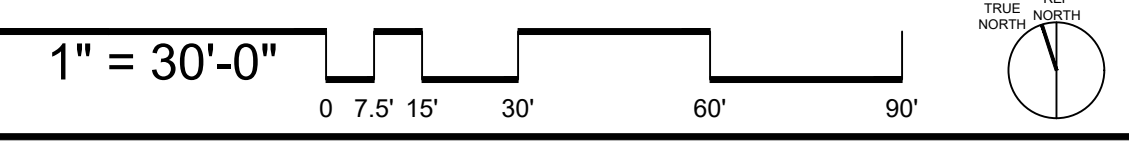
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 DATE: 04/02/2024

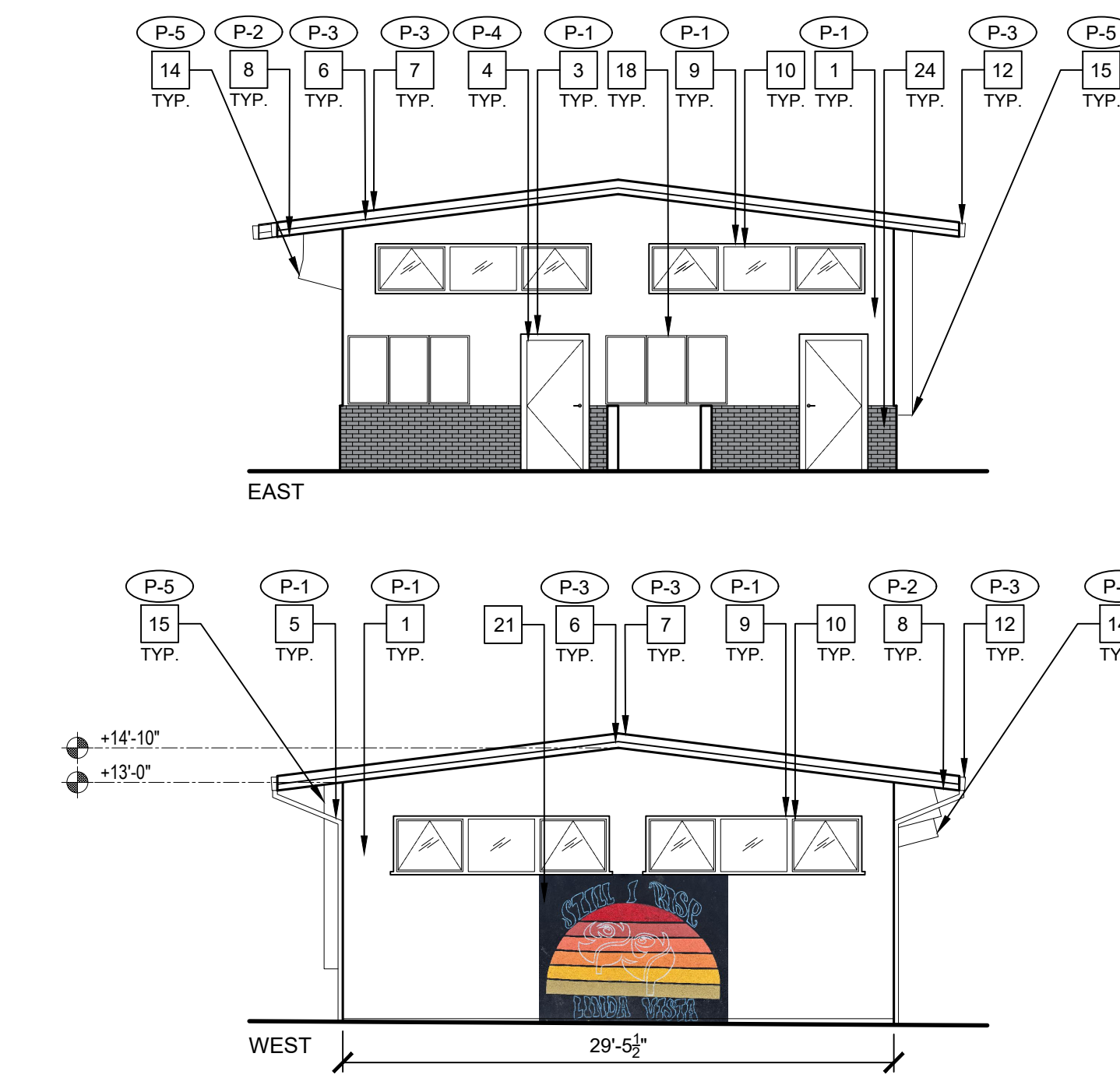
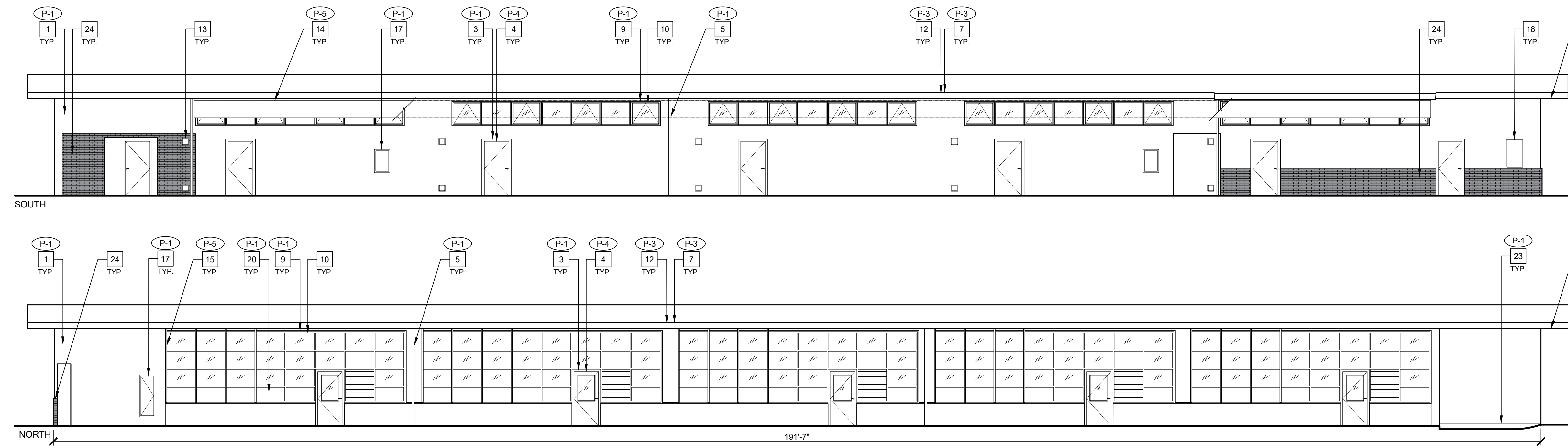
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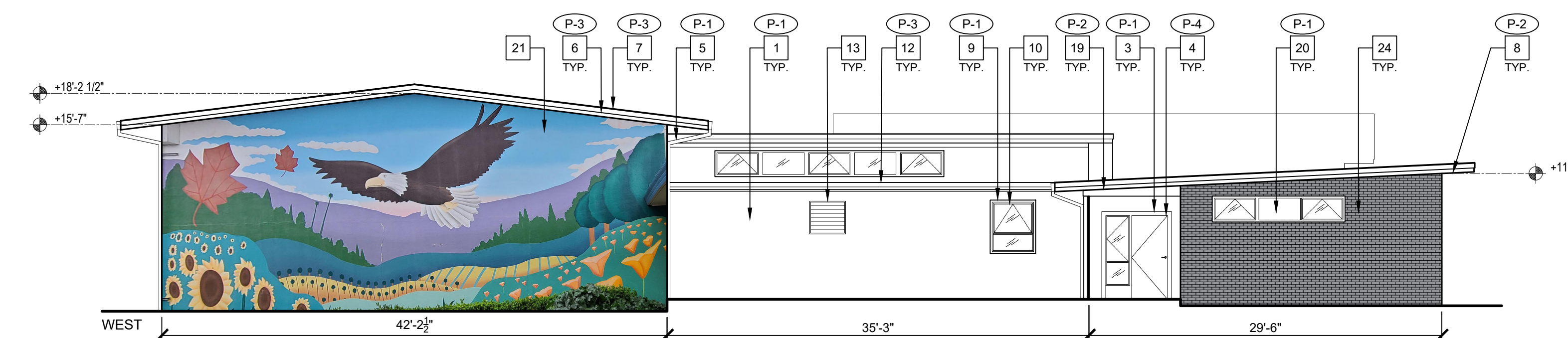
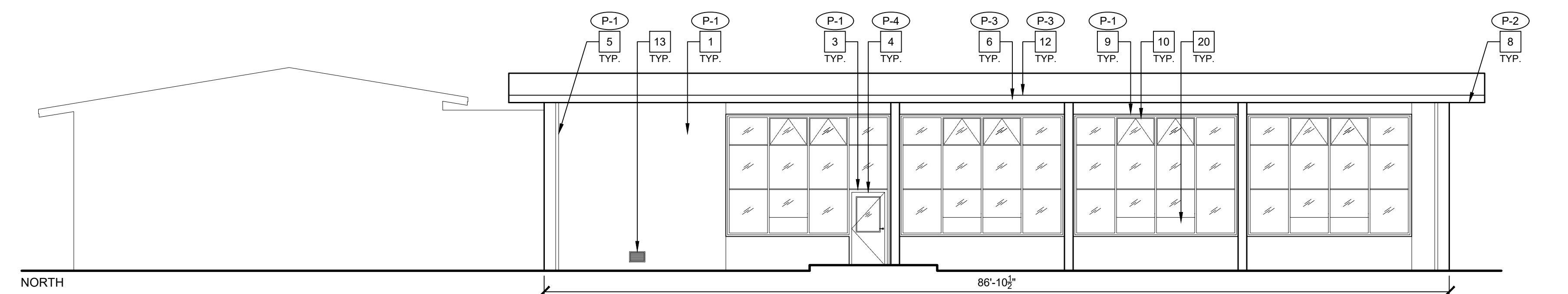
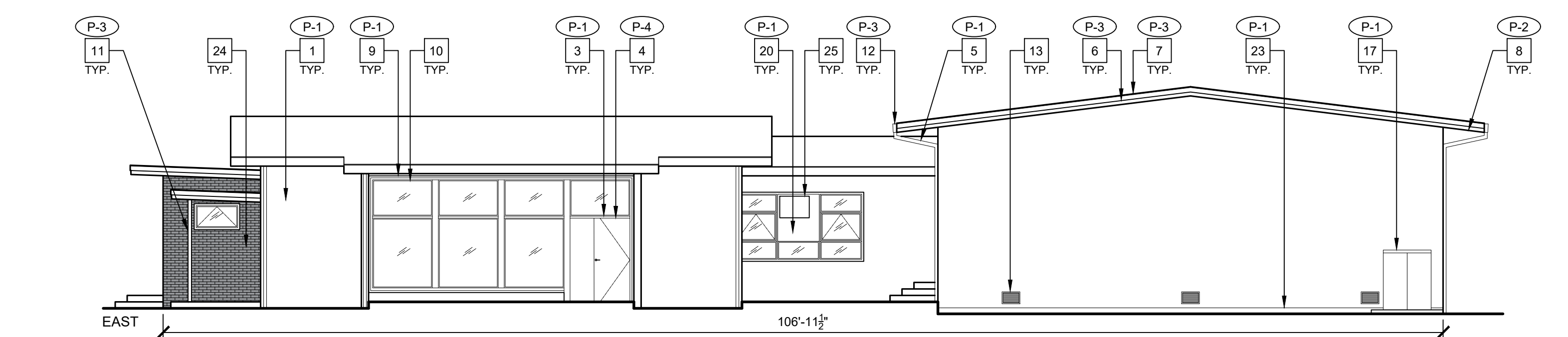
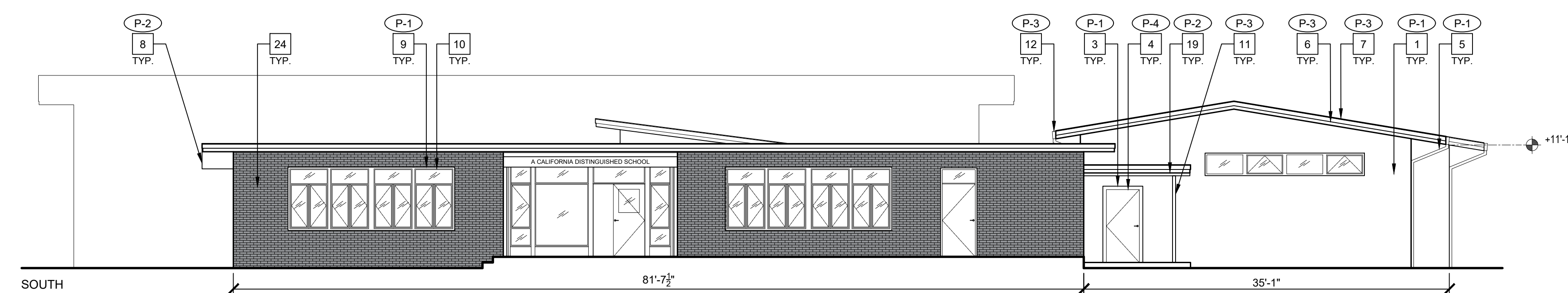
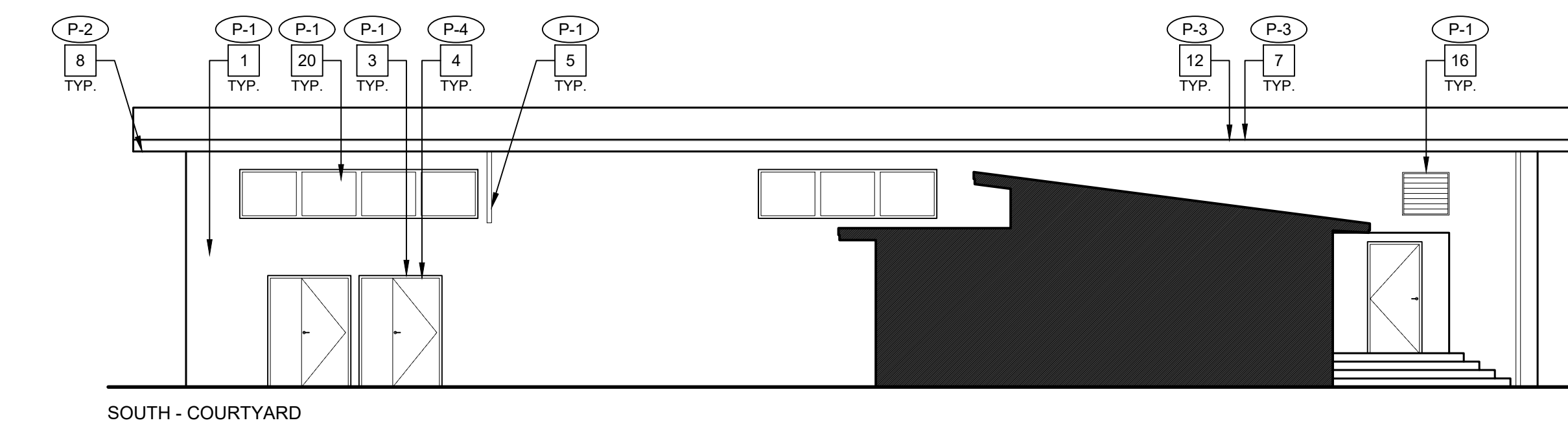
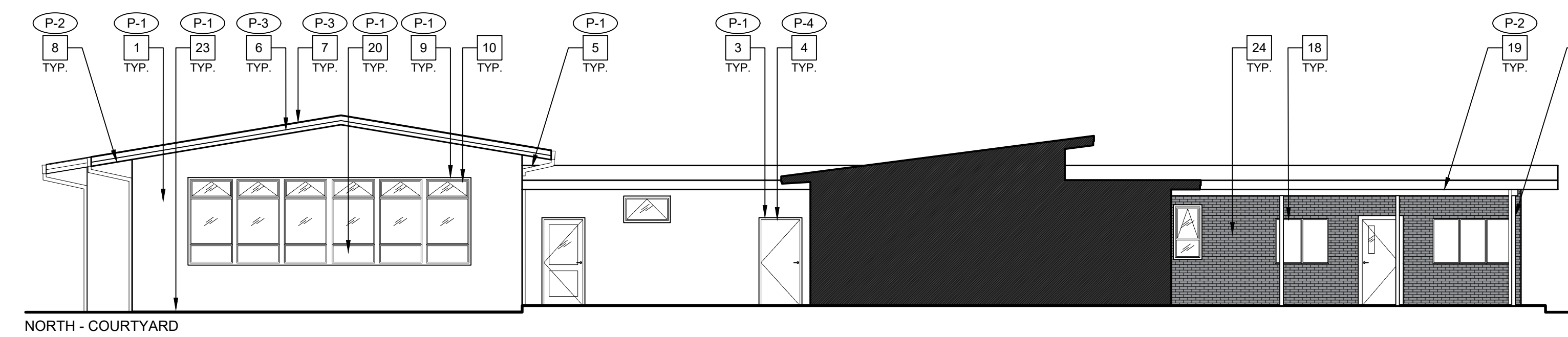
SITE PLAN





2 EXTERIOR ELEVATIONS - BUILDING B

1/8" = 1'-0"
0 2' 4' 8' 16' 24'



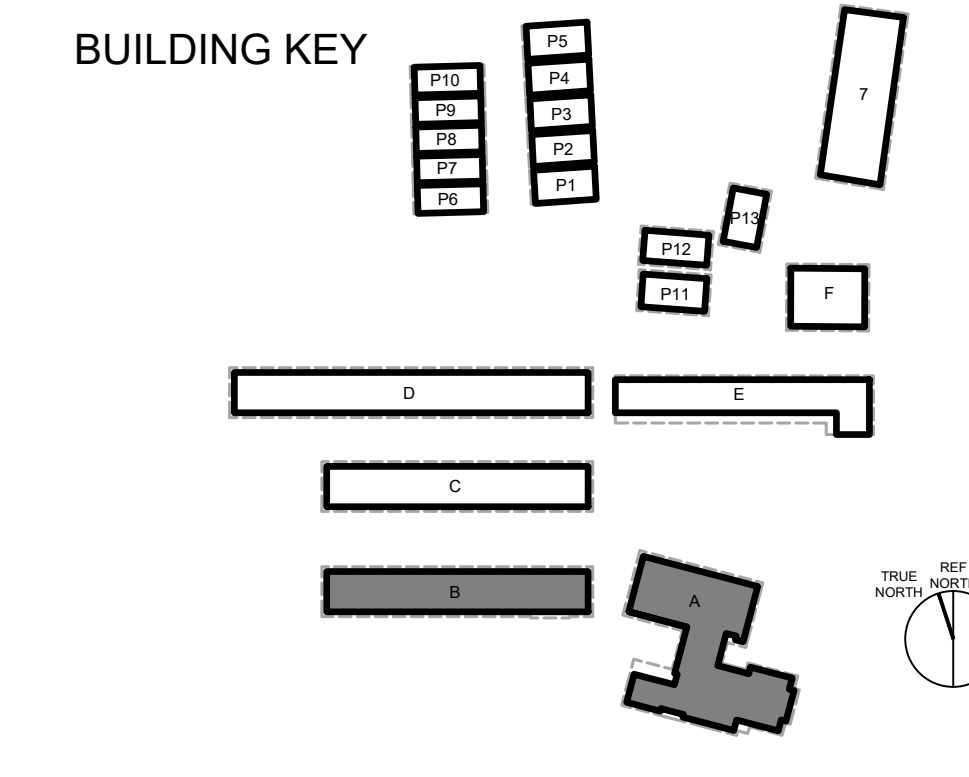
1 EXTERIOR ELEVATIONS - ADMIN/MULTI-PURPOSE BUILDING A

1/8" = 1'-0"
0 2' 4' 8' 16' 24'

- GENERAL NOTES**
- A. ALL EXTERIOR WALLS, DOORS/FRAMES, TRIM, SOFFITS, PARAPETS, COLUMNS, BEAMS, CONC. CURBS, FLAGPOLE, ETC. ARE TO BE PROPERLY PREP'D AND PRIMED FOR COMPLETE BUILDING PAINTING.
 - B. ALL COVERED WALKWAYS, INCLUDING COLUMNS, BEAMS, FASCIA, ETC. ARE TO BE PROPERLY PREP'D AND PRIMED FOR PAINTING.
 - C. PAINT ALL MTL. FLASHING, DOWNSPOUTS, GUTTERS, TYP.
 - D. PAINT ALL WALL LOUVERS, TYP. VERIFY QUANTITIES AND LOCATION IN FIELD.
 - E. PAINT ALL EXPOSED CONDUIT AND PIPE, TYP.
 - F. (E) SCHOOL WALL MURALS TO REMAIN, PROTECT IN PLACE.
 - G. REMOVE (E) WALL MOUNTED AND SUSPENDED SCHOOL BUILDING IDENTIFICATION SIGNS, STORE FOR REINSTALLATION TYP. VERIFY LOCATIONS IN FIELD.
 - H. CONTRACTOR MUST VERIFY (E) BUILDINGS AND COVERED WALKWAYS DIMENSIONS AND CONDITIONS IN FIELD.
 - I. ALL EXTERIOR SCHOOL MTL. DECORATIVE FENCE TO BE PRIMED AND PAINTED, VERIFY CONDITION, LOCATION, AND QUANTITIES IN FIELD, COLOR TO BE BLACK, TYP.
 - J. ALL COVERED WALKWAYS SIMILAR, V.I.F.
 - K. CONTRACTOR RESPONSIBLE FOR PROTECTION OF (E) DRINKING FOUNTAINS.
 - L. PAINT ALL (E) FIXED BENCHES, TYP. VERIFY QUANTITIES IN FIELD.
 - M. ALL (E) PLANTER BOXES TO REMAIN, PROTECT IN PLACE.
 - N. PAINT ALL WALL MOUNTED HOOK RACK, TYP.

- EXTERIOR ELEVATION NOTES**
- 1. (E) CEMENT PLASTER WALL FINISH PAINTED, TYP.
 - 2. (E) BRICK VENEER WALL FINISH PAINTED, TYP.
 - 3. (E) DOOR TRIM PAINTED, TYP.
 - 4. (E) DOOR PAINTED, TYP.
 - 5. (E) RAINWATER LEADER PAINTED, TYP.
 - 6. (E) FASCIA PAINTED, TYP.
 - 7. (E) METAL FLASHING PAINTED, TYP.
 - 8. (E) UNDERSIDE OF EAVE PAINTED, TYP.
 - 9. (E) WINDOW TRIM PAINTED, TYP.
 - 10. (E) WINDOWS TO REMAIN, TYP. PROTECT IN PLACE.
 - 11. (E) COLUMN PAINTED, TYP.
 - 12. (E) GUTTER PAINTED, TYP.
 - 13. (E) VENT TO REMAIN, PROTECT IN PLACE.
 - 14. (E) SUNSHADE PAINTED, TYP.
 - 15. (E) METAL FINS PAINTED, TYP.
 - 16. (E) LOUVER PAINTED, TYP.
 - 17. (E) METAL CABINET PAINTED, TYP.
 - 18. REMOVE (E) BULLETIN BOARD, STORE FOR REINSTALLATION.
 - 19. (E) BEAM PAINTED, TYP.
 - 20. (E) OPAQUE WINDOW PANEL PAINTED, TYP.
 - 21. (E) SCHOOL MURAL TO REMAIN, PROTECT IN PLACE.
 - 22. (E) METAL GRATE PAINTED, TYP.
 - 23. (E) WALL BASE PAINTED, TYP.
 - 24. (E) BRICK VENEER WALL FINISH TO REMAIN, PROTECT IN PLACE.
 - 25. (E) AC UNIT TO REMAIN, TYP. PROTECT IN PLACE.

- GRAPHIC KEY**
- (P-1) PAINT TAG.
 - (P-2) PAINT TAG.
 - (P-3) PAINT TAG.
 - (P-4) PAINT TAG.
 - (P-5) PAINT TAG.



(SEA STAMP AREA)

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PHONE: 408-398-1450

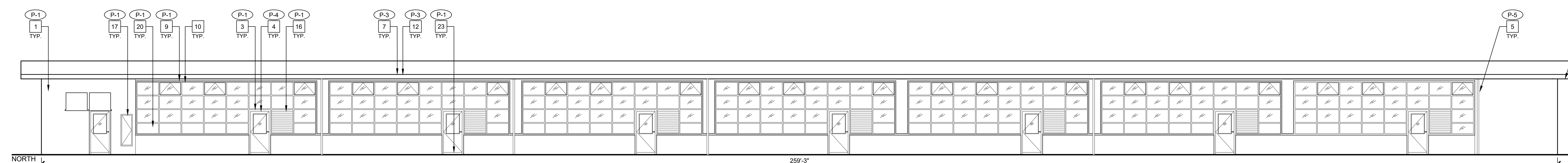
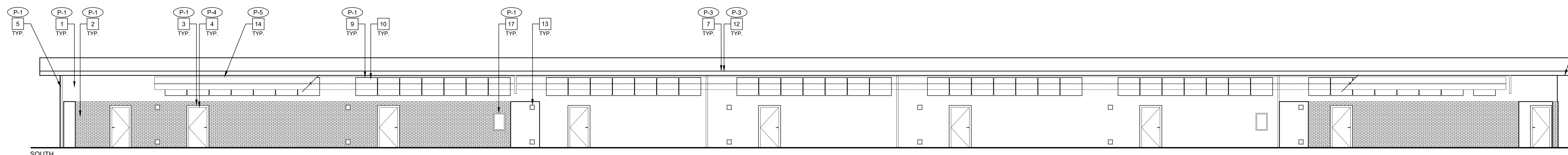
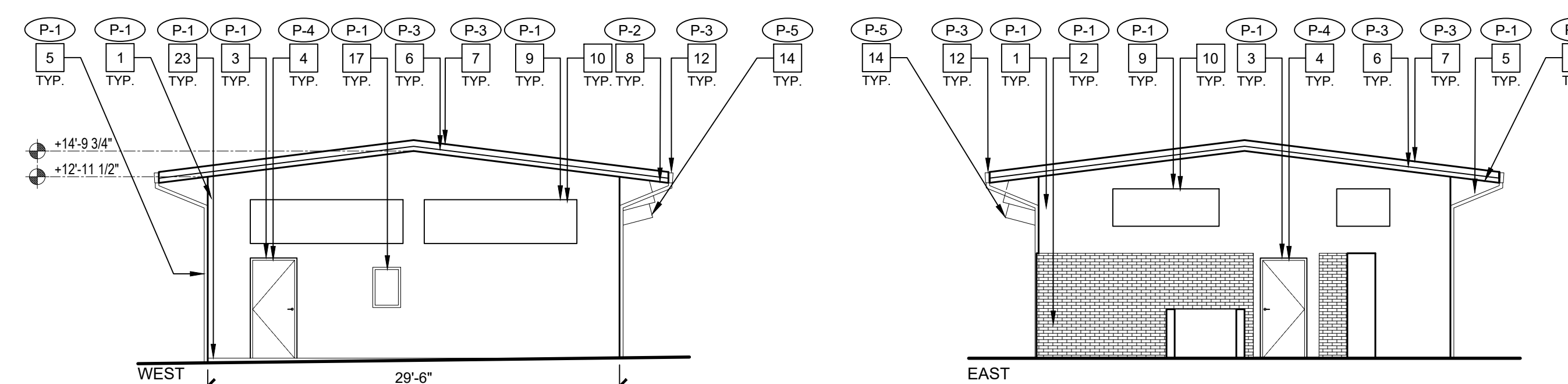
EXTERIOR ELEVATIONS - EXTERIOR PAINTING BUILDINGS A & B

EXTERIOR PAINTING AT
LINDA VISTA ELEMENTARY
100 KIRK AVENUE, SAN JOSE CA 95127
ALUM ROCK UNION SCHOOL DISTRICT

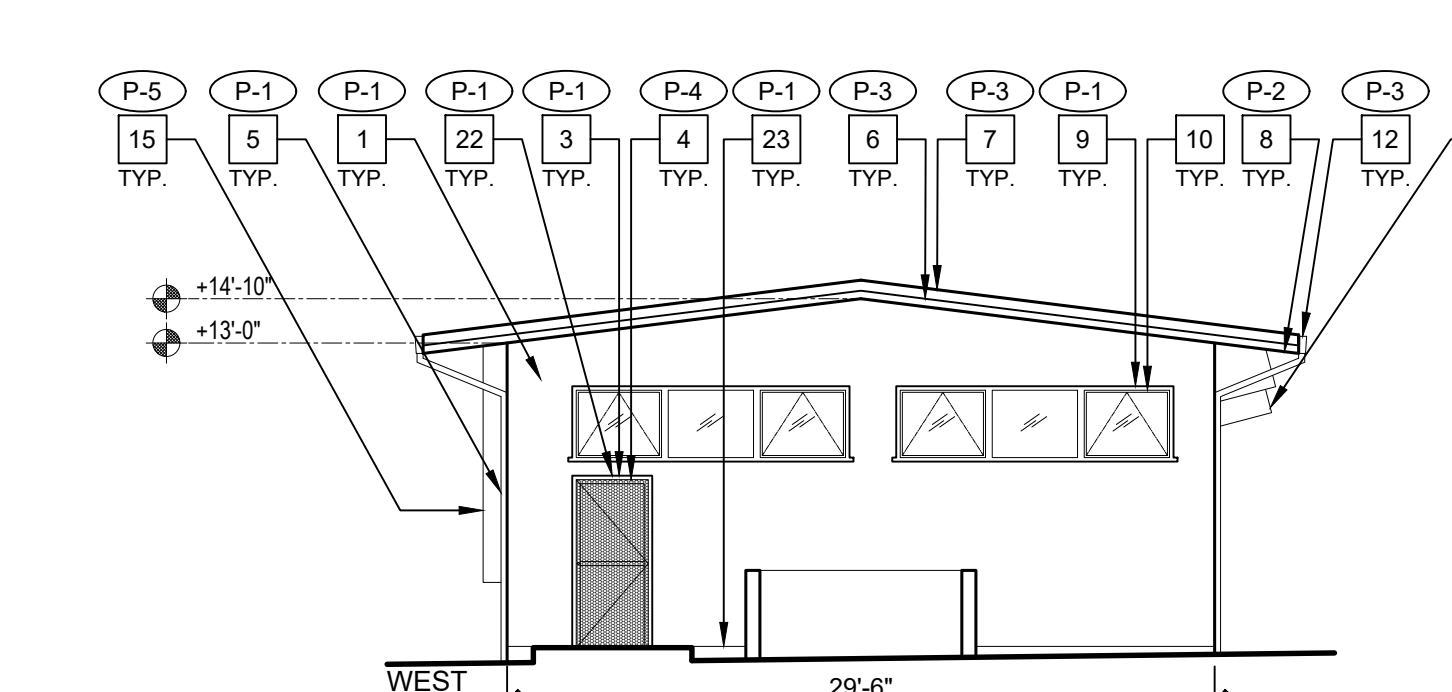
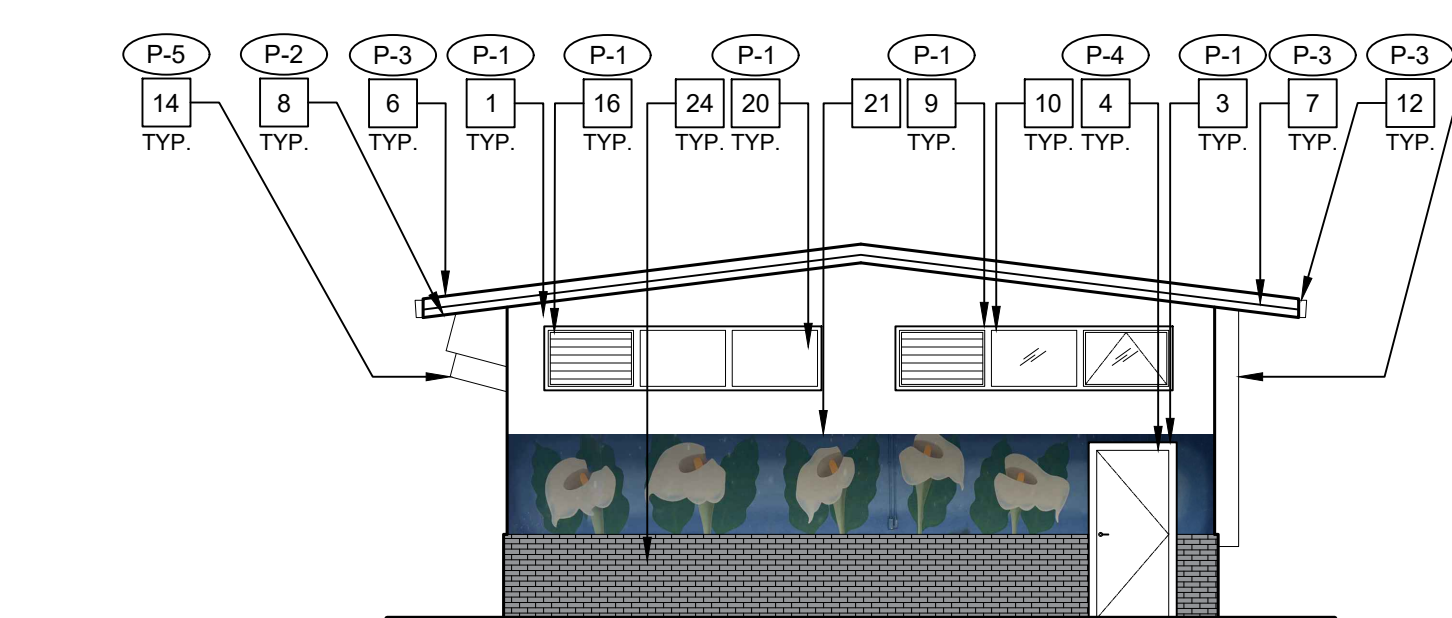
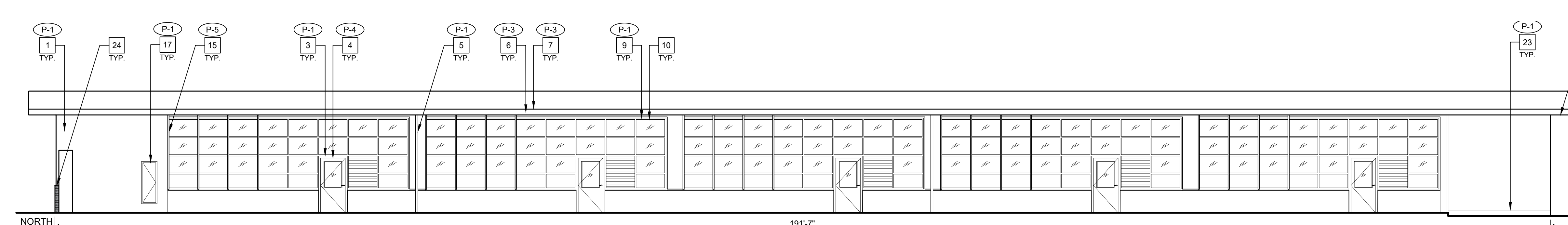
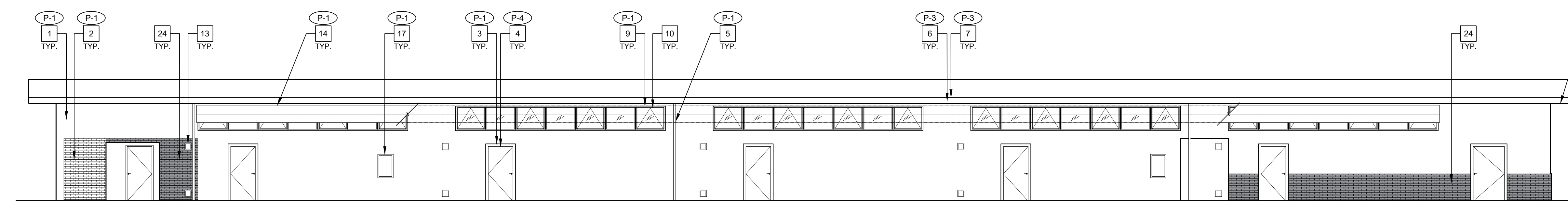
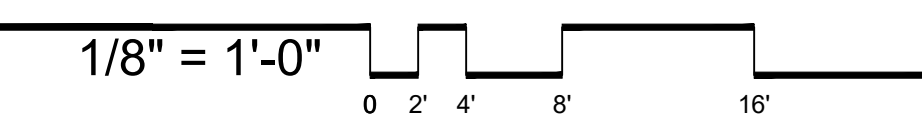
REVISIONS NO.	ITEM	DATE
BID SET		05/16/2025

DRAWN BY: AB
CHECKED BY: NJ
PROJECT NO: 25023
DATE: 04/02/2024

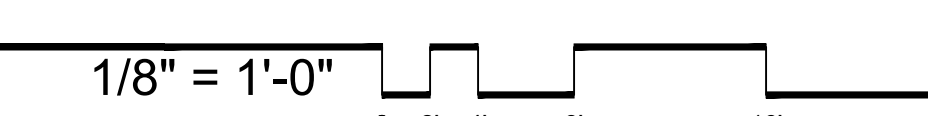
A7.1



2 EXTERIOR ELEVATIONS - BUILDING D

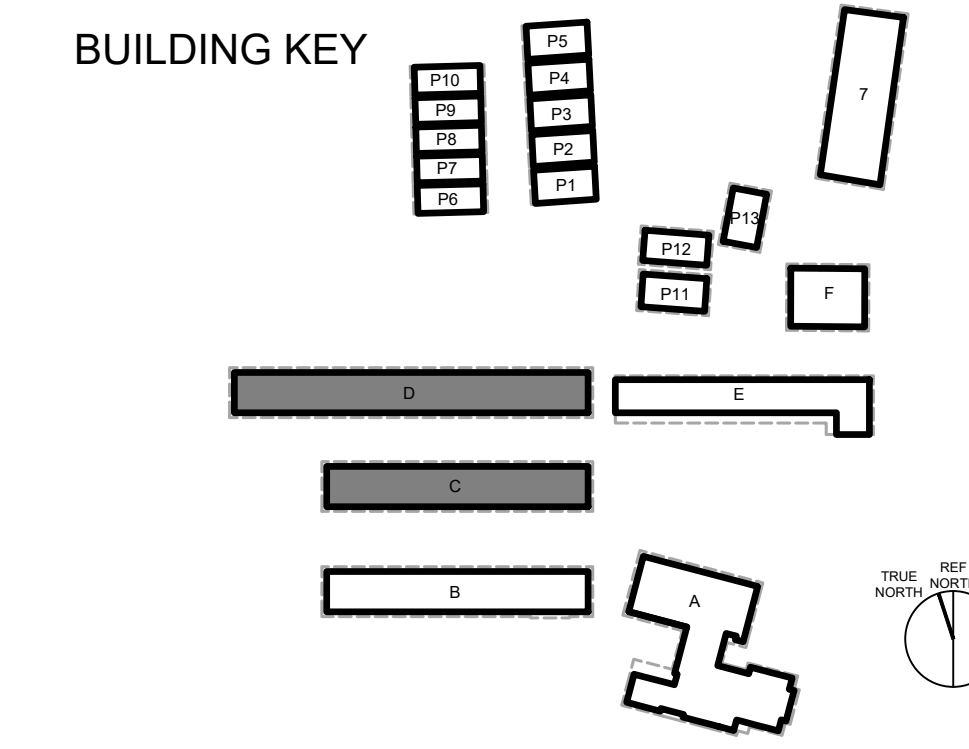
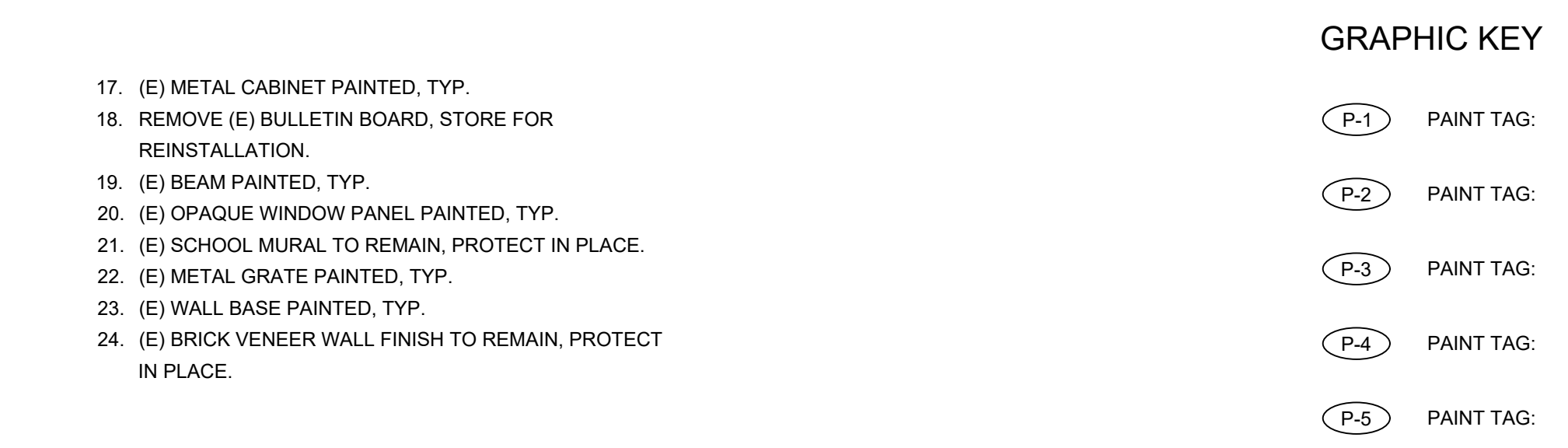


1 EXTERIOR ELEVATIONS - BUILDING C



- GENERAL NOTES**
- A. ALL EXTERIOR WALLS, DOORS/FRAMES, TRIM, SOFFITS, PARAPETS, COLUMNS, BEAMS, CONC. CURBS, FLAGPOLE, ETC. ARE TO BE PROPERLY PREP'D AND PRIMED FOR COMPLETE BUILDING PAINTING.
 - B. ALL COVERED WALKWAYS, INCLUDING COLUMNS, BEAMS, FASCIA, ETC. ARE TO BE PROPERLY PREP'D AND PRIMED FOR PAINTING.
 - C. PAINT ALL MTL. FLASHING, DOWNSPOUTS, GUTTERS, TYP.
 - D. PAINT ALL WALL LOUVERS, TYP. VERIFY QUANTITIES AND LOCATION IN FIELD.
 - E. PAINT ALL EXPOSED CONDUIT AND PIPE, TYP.
 - F. (E) SCHOOL WALL MURALS TO REMAIN, PROTECT IN PLACE.
 - G. REMOVE (E) WALL MOUNTED AND SUSPENDED SCHOOL BUILDING IDENTIFICATION SIGNS, STORE FOR REINSTALLATION TYP. VERIFY LOCATIONS IN FIELD.
 - H. CONTRACTOR MUST VERIFY (E) BUILDINGS AND COVERED WALKWAYS DIMENSIONS AND CONDITIONS IN FIELD.
 - I. ALL EXTERIOR SCHOOL MTL. DECORATIVE FENCE TO BE PRIMED AND PAINTED, VERIFY CONDITION, LOCATION, AND QUANTITIES IN FIELD, COLOR TO BE BLACK, TYP.
 - J. ALL COVERED WALKWAYS SIMILAR, V.I.F.
 - K. CONTRACTOR RESPONSIBLE FOR PROTECTION OF (E) DRINKING FOUNTAINS.
 - L. PAINT ALL (E) FIXED BENCHES, TYP. VERIFY QUANTITIES IN FIELD.
 - M. ALL (E) PLANTER BOXES TO REMAIN, PROTECT IN PLACE.
 - N. PAINT ALL WALL MOUNTED HOOK RACK, TYP.

- EXTERIOR ELEVATION NOTES**
- 1. (E) CEMENT PLASTER WALL FINISH PAINTED, TYP.
 - 2. (E) BRICK VENEER WALL FINISH PAINTED, TYP.
 - 3. (E) DOOR TRIM PAINTED, TYP.
 - 4. (E) DOOR PAINTED, TYP.
 - 5. (E) RAINWATER LEADER PAINTED, TYP.
 - 6. (E) FASCIA PAINTED, TYP.
 - 7. (E) METAL FLASHING PAINTED, TYP.
 - 8. (E) UNDERSIDE OF EAVE PAINTED, TYP.
 - 9. (E) WINDOW TRIM PAINTED, TYP.
 - 11. (E) WINDOW TO REMAIN, TYP. PROTECT IN PLACE.
 - 12. (E) COLUMN PAINTED, TYP.
 - 13. (E) GUTTER PAINTED, TYP.
 - 14. (E) VENT TO REMAIN, TYP. PROTECT IN PLACE.
 - 15. (E) SUNSHADE PAINTED, TYP.
 - 16. (E) LOUVER PAINTED, TYP.
 - 17. (E) METAL CABINET PAINTED, TYP.
 - 18. REMOVE (E) BULLETIN BOARD, STORE FOR REINSTALLATION.
 - 19. (E) BEAM PAINTED, TYP.
 - 20. (E) OPAQUE WINDOW PANEL PAINTED, TYP.
 - 21. (E) SCHOOL MURAL TO REMAIN, PROTECT IN PLACE.
 - 22. (E) METAL GRATE PAINTED, TYP.
 - 23. (E) WALL BASE PAINTED, TYP.
 - 24. (E) BRICK VENEER WALL FINISH TO REMAIN, PROTECT IN PLACE.

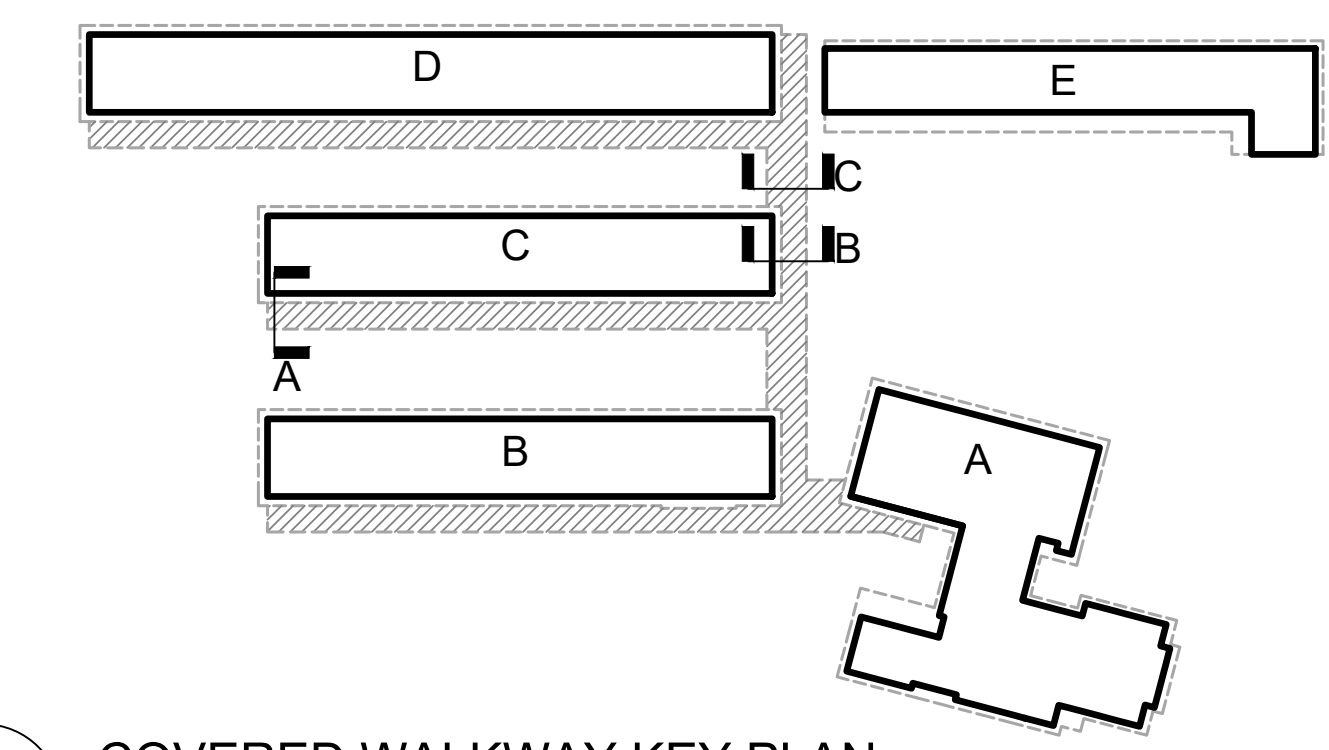
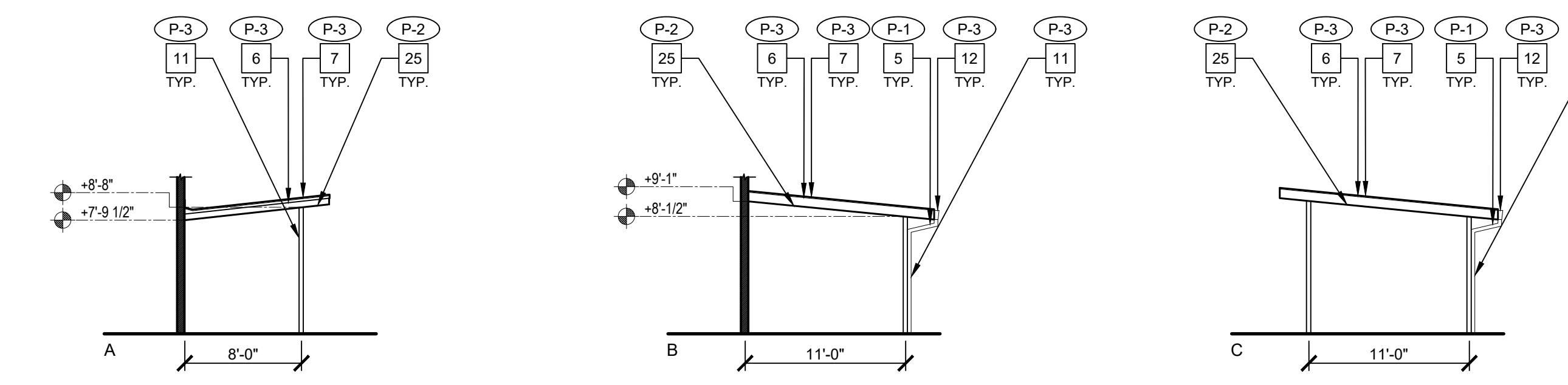
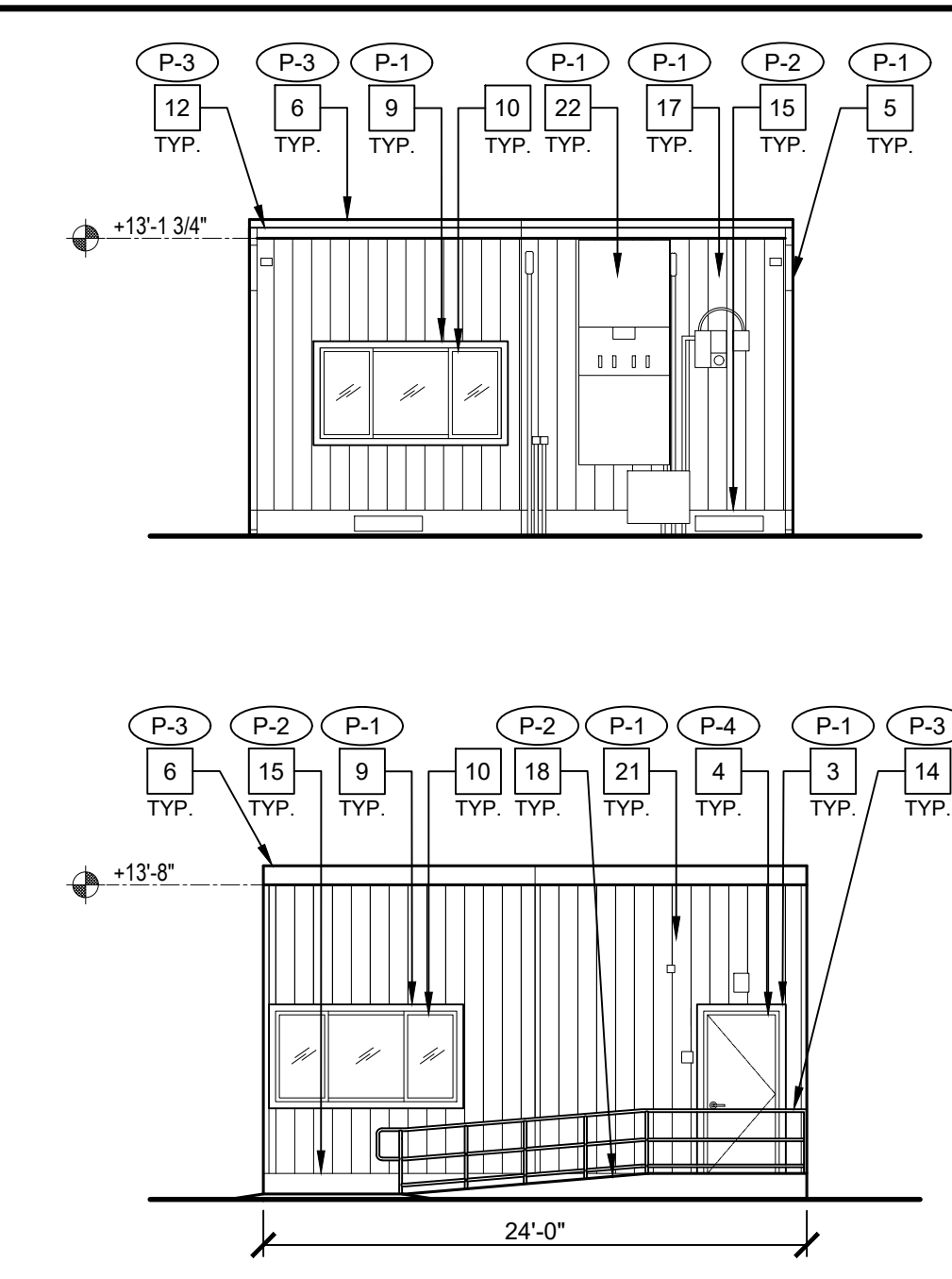
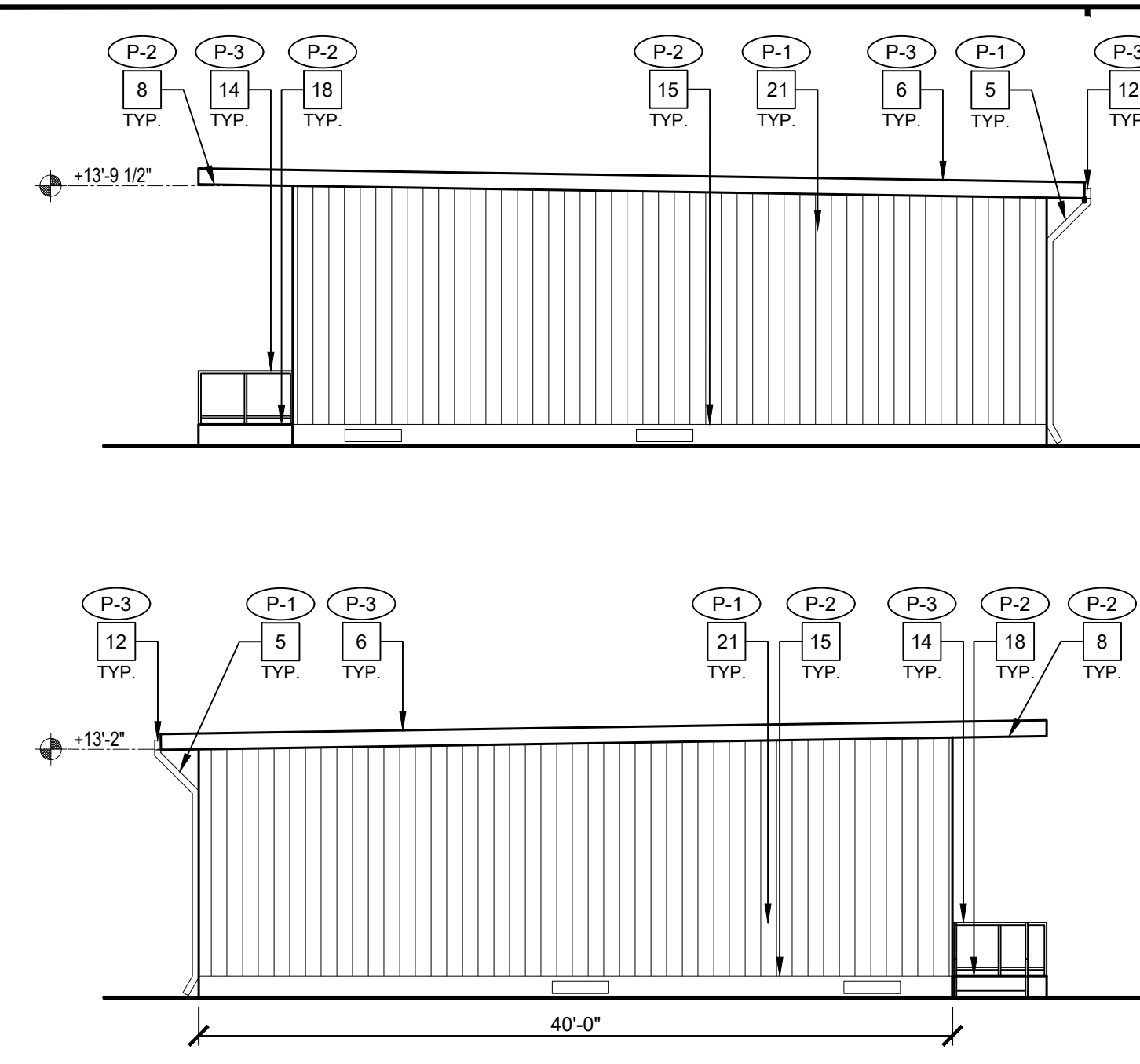


EXTERIOR ELEVATIONS - EXTERIOR PAINTING BUILDINGS C & D

EXTERIOR PAINTING AT
LINDA VISTA ELEMENTARY
100 KIRK AVENUE, SAN JOSE CA 95127
ALUM ROCK UNION SCHOOL DISTRICT

REVISIONS NO.	ITEM	DATE
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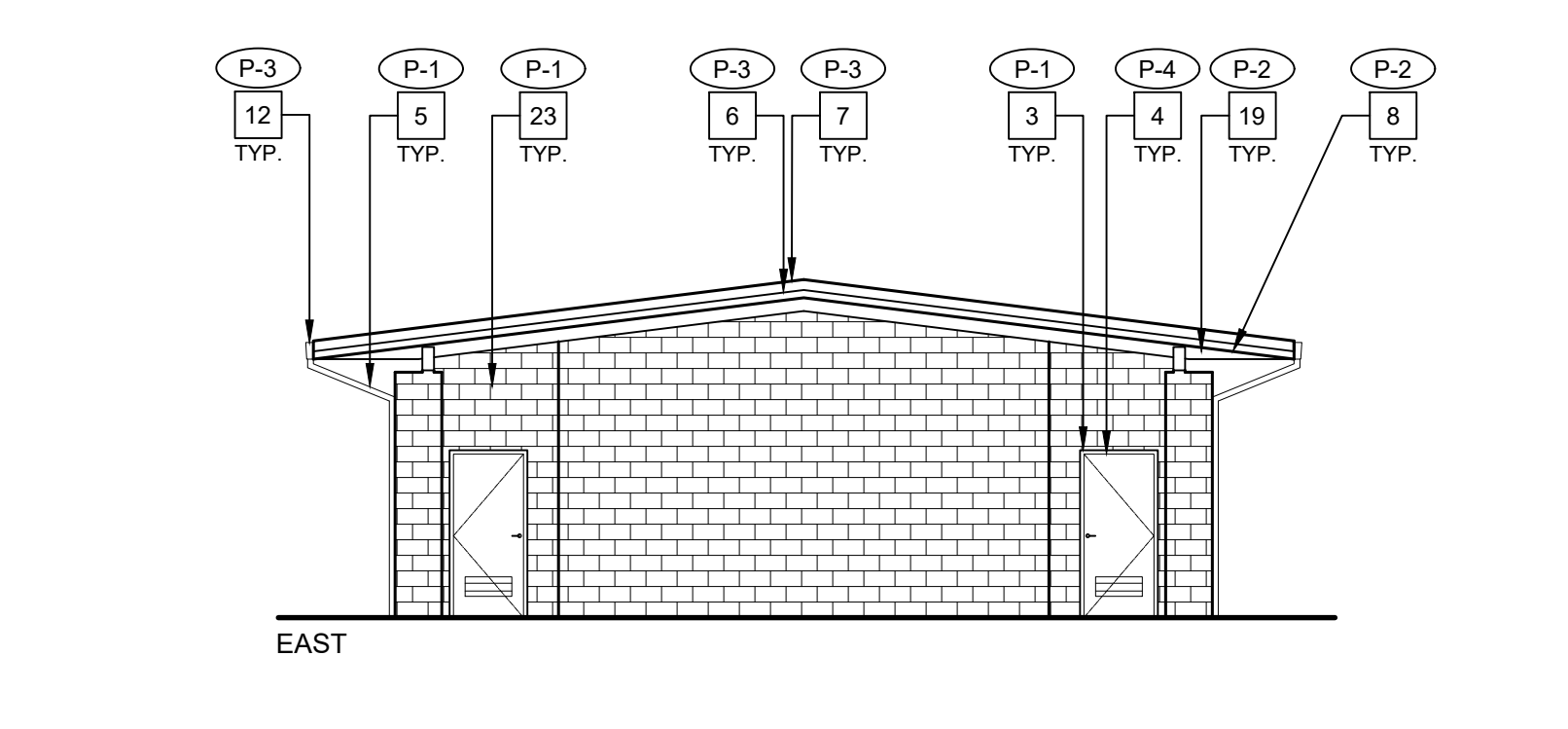
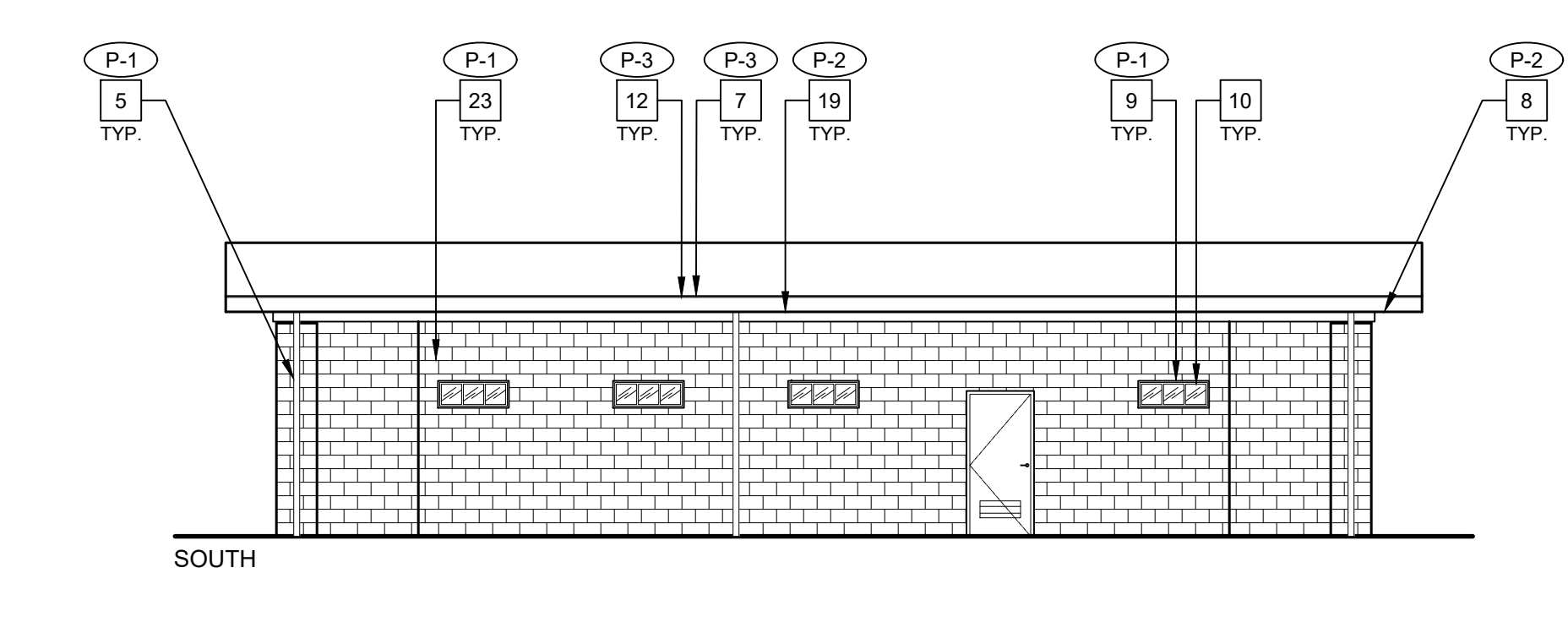
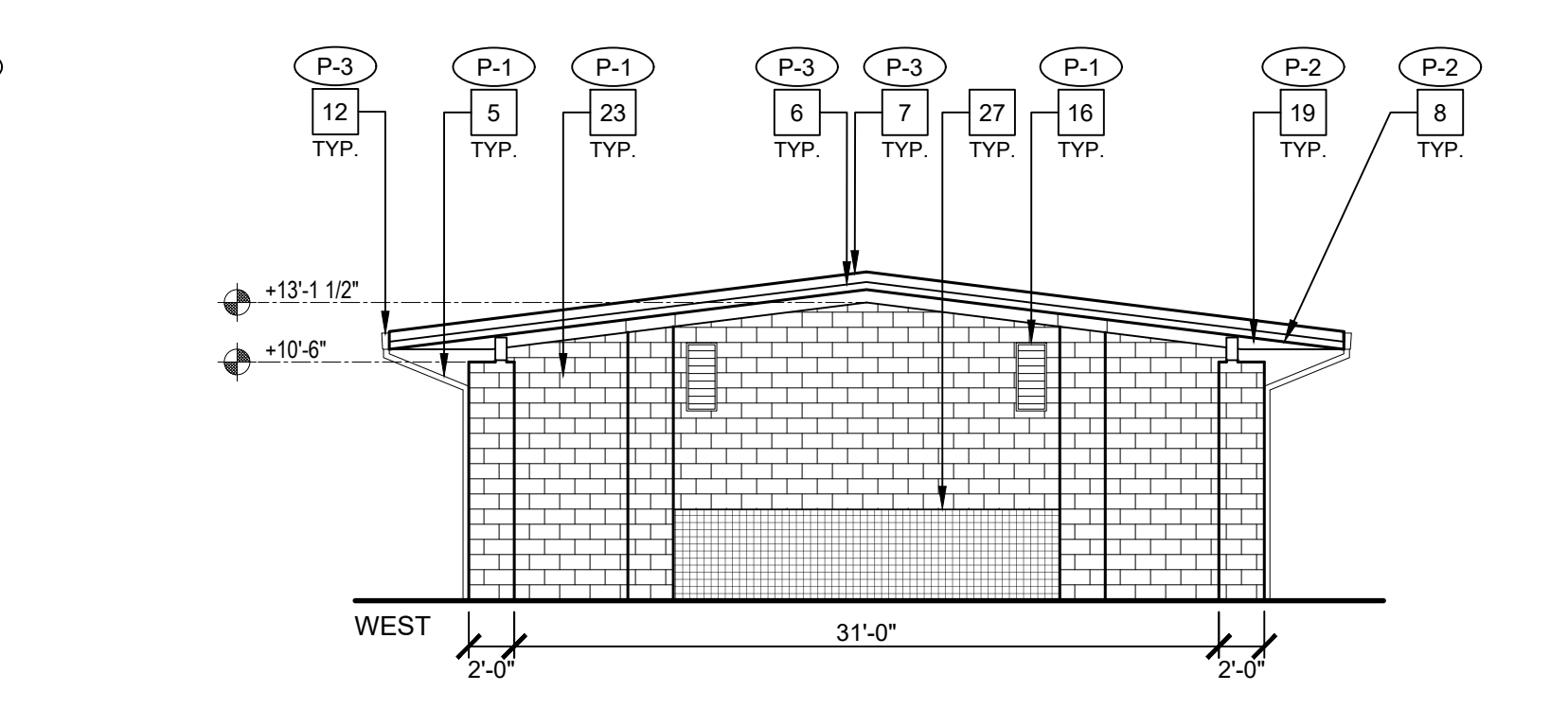
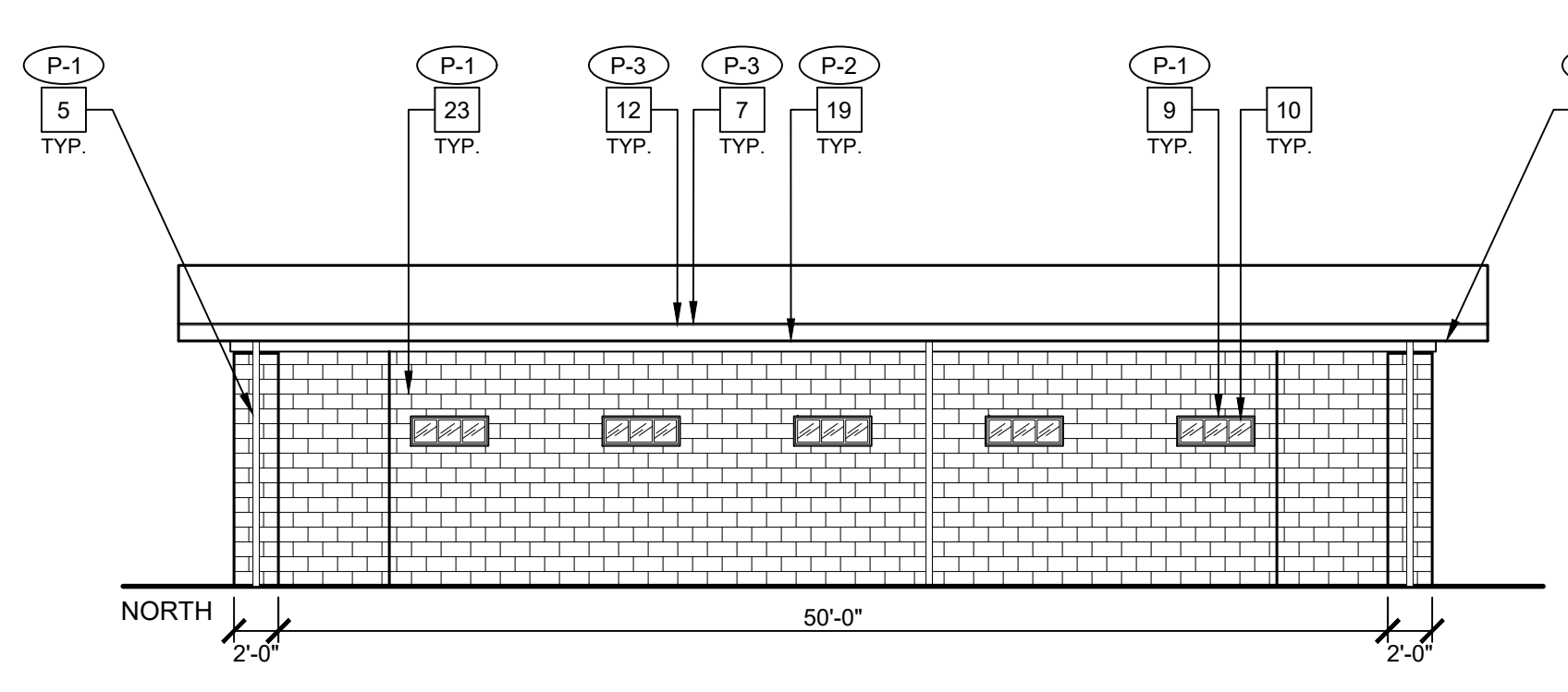
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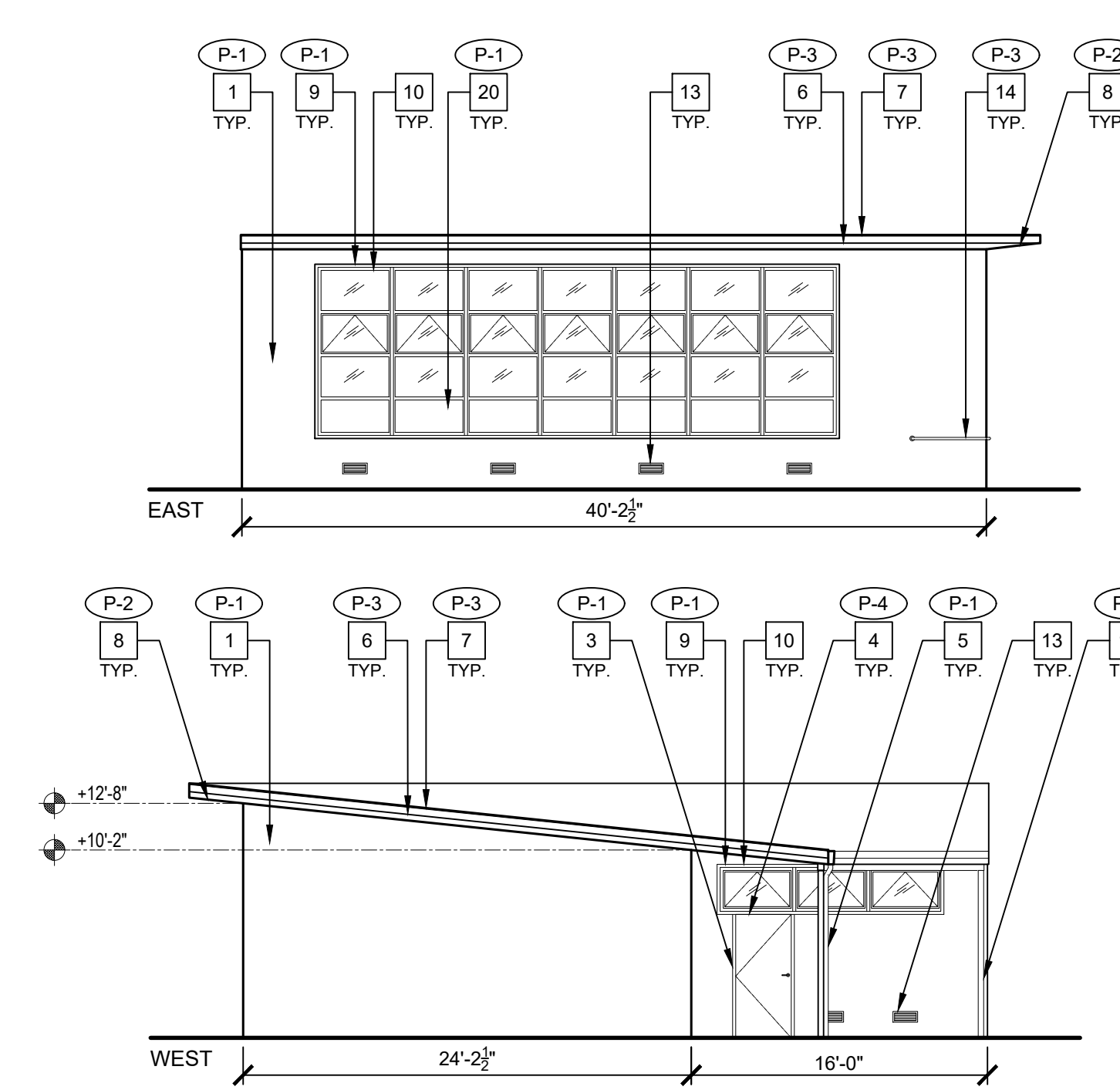
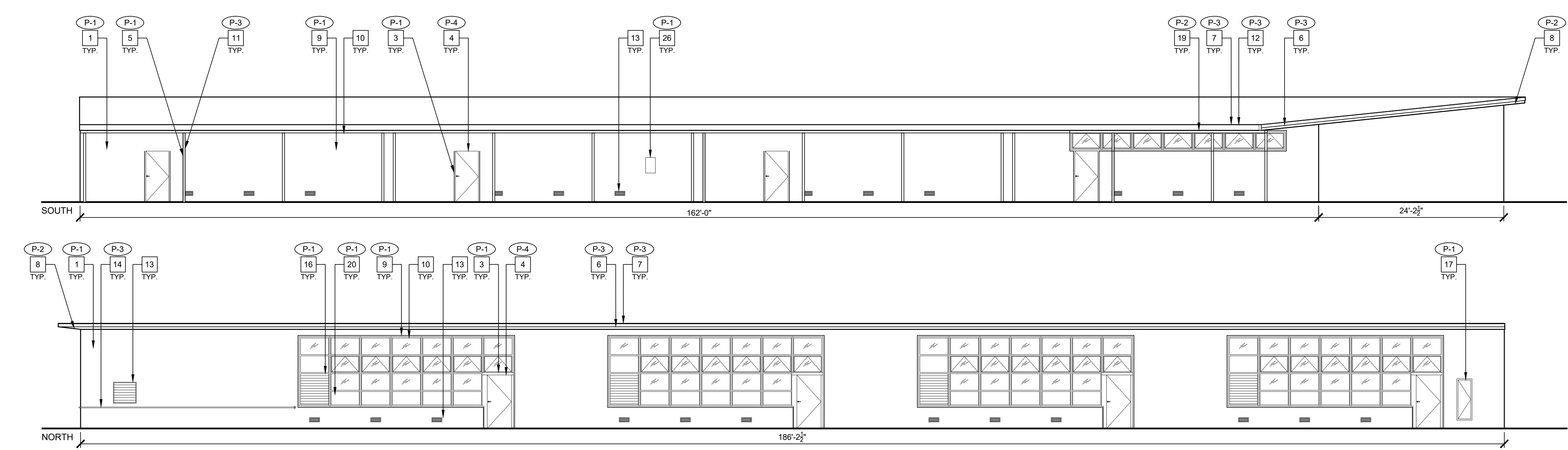
5 TYPICAL EXTERIOR ELEVATIONS - PORTABLES P-1 - P-18 (DOUBLE WIDE, V.I.F)
 1/8" = 1'-0"

4 TYPICAL EXTERIOR ELEVATIONS/SECTIONS - COVERED WALKWAY
 1/8" = 1'-0"

3 COVERED WALKWAY KEY PLAN
 N.T.S.



2 EXTERIOR ELEVATIONS - RESTROOM BUILDING F
 1/8" = 1'-0"



1 EXTERIOR ELEVATIONS - BUILDING E
 1/8" = 1'-0"

GENERAL NOTES

- ALL EXTERIOR WALLS, DOORS/FRAMES, TRIM, SOFFITS, PARAPETS, COLUMNS, BEAMS, CONC. CURBS, FLAGPOLE, ETC. ARE TO BE PROPERLY PREP'D AND PRIMED FOR COMPLETE BUILDING PAINTING.
- ALL COVERED WALKWAYS, INCLUDING COLUMNS, BEAMS, FASCIA, ETC. ARE TO BE PROPERLY PREP'D AND PRIMED FOR PAINTING.
- PAINT ALL MTL. FLASHING, DOWNSPOUTS, GUTTERS, TYP.
- PAINT ALL WALL LOUVERS, TYP. VERIFY QUANTITIES AND LOCATION IN FIELD.
- PAINT ALL EXPOSED CONDUIT AND PIPE, TYP.
- (E) SCHOOL WALL MURALS TO REMAIN, PROTECT IN PLACE.
- REMOVE (E) WALL MOUNTED AND SUSPENDED SCHOOL BUILDING IDENTIFICATION SIGNS, STORE FOR REINSTALLATION TYP. VERIFY LOCATIONS IN FIELD.

EXTERIOR ELEVATION NOTES

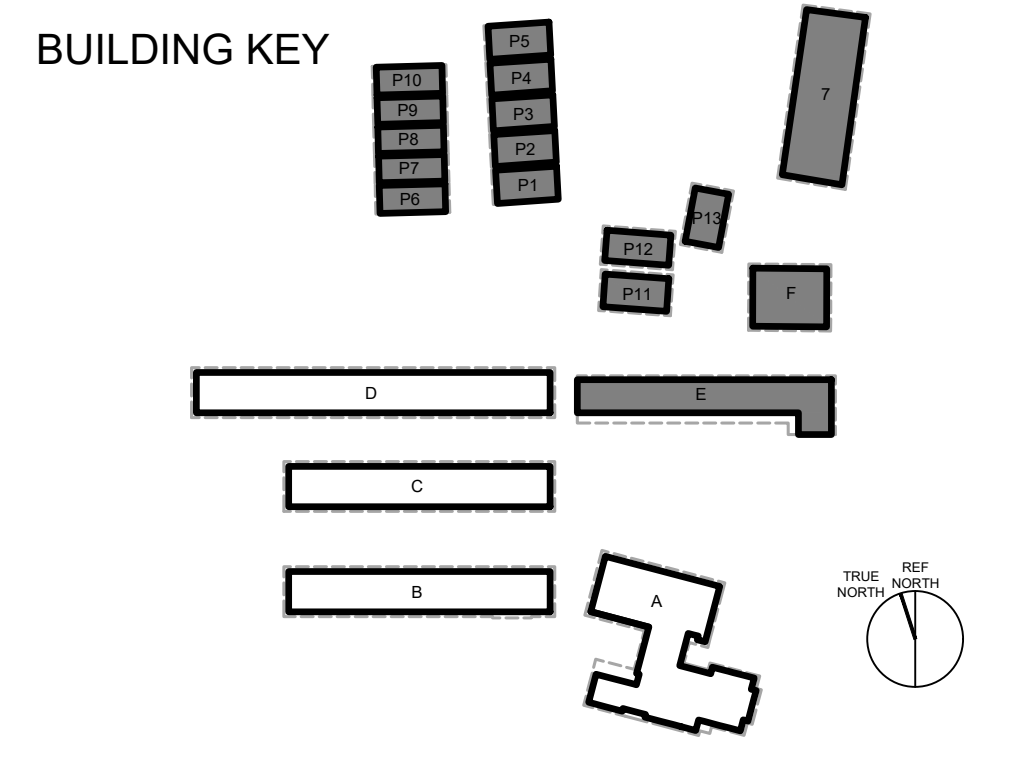
- CONTRACTOR MUST VERIFY (E) BUILDINGS AND COVERED WALKWAYS DIMENSIONS AND CONDITIONS IN FIELD.
- ALL EXTERIOR SCHOOL MTL. DECORATIVE FENCE TO BE PRIMED AND PAINTED, VERIFY CONDITION, LOCATION, AND QUANTITIES IN FIELD, COLOR TO BE BLACK, TYP.
- ALL COVERED WALKWAYS SIMILAR, V.I.F.
- CONTRACTOR RESPONSIBLE FOR PROTECTION OF (E) DRINKING FOUNTAINS.
- PAINT ALL (E) FIXED BENCHES, TYP. VERIFY QUANTITIES IN FIELD.
- ALL (E) PLANTER BOXES TO REMAIN, PROTECT IN PLACE.
- PAINT ALL WALL MOUNTED HOOK RACK, TYP.

- (E) CEMENT PLASTER WALL FINISH PAINTED, TYP.
- (E) BRICK VENEER WALL FINISH PAINTED, TYP.
- (E) DOOR TRIM PAINTED, TYP.
- (E) DOOR PAINTED, TYP.
- (E) RAINWATER LEADER PAINTED, TYP.
- (E) FASCIA PAINTED, TYP.
- (E) METAL FLASHING PAINTED, TYP.
- (E) UNDERSIDE OF EAVE PAINTED, TYP.
- (E) WINDOW TRIM PAINTED, TYP.
- (E) WINDOWS TO REMAIN, TYP. PROTECT IN PLACE.
- (E) COLUMN PAINTED, TYP.
- (E) GUTTER PAINTED, TYP.
- (E) VENT TO REMAIN, PROTECT IN PLACE.
- (E) HANDRAIL PAINTED WHERE OCCURS, TYP.
- (E) PORTABLE SKIRT PAINTED, TYP.
- (E) LOUVER PAINTED, TYP.

- (E) METAL CABINET PAINTED, TYP.
- (E) PORTABLE RAMP PAINTED WHERE OCCURS, TYP.
- (E) BEAM PAINTED, TYP.
- (E) OPAQUE WINDOW PANEL PAINTED, TYP.
- (E) WOOD SIDING PAINTED, TYP.
- (E) HVAC UNIT PAINTED, TYP.
- (E) CONC. BLOCK WALL PAINTED, TYP.
- (E) BRICK VENEER WALL FINISH TO REMAIN, PROTECT IN PLACE.
- (E) UNDERSIDE OF COVERED WALKWAY PAINTED, TYP.
- (E) ELECTRICAL PANEL TO REMAIN, TYP. PROTECT IN PLACE.
- (E) CERAMIC TILE WALL FINISH TO REMAIN, TYP. PROTECT IN PLACE.

GRAPHIC KEY

(P-1) PAINT TAG.
 (P-2) PAINT TAG.
 (P-3) PAINT TAG.
 (P-4) PAINT TAG.
 (P-5) PAINT TAG.



EXTERIOR PAINTING - EXTERIOR PAINTING & COVERED WALKWAY
 BUILDINGS E & F, TYPICAL PORTABLES & COVERED WALKWAY
 EXTERIOR PAINTING AT
 LINDA VISTA ELEMENTARY
 100 KIRK AVENUE, SAN JOSE CA 95127
 ALUM ROCK UNION SCHOOL DISTRICT

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