



STATE OF CONNECTICUT – COUNTY OF TOLLAND
INCORPORATED 1786

TOWN OF ELLINGTON

55 MAIN STREET – PO BOX 187
ELLINGTON, CONNECTICUT 06029-0187
www.ellington-ct.gov

TEL. (860) 870-3120 TOWN PLANNER'S OFFICE FAX (860) 870-3122

INLAND WETLANDS AGENCY REGULAR MEETING AGENDA MONDAY, APRIL 21, 2025, 7:00 P.M.

IN-PERSON ATTENDANCE: TOWN HALL ANNEX, 57 MAIN STREET, ELLINGTON, CT
REMOTE ATTENDANCE: VIA ZOOM MEETING, INSTRUCTIONS PROVIDED BELOW

I. CALL TO ORDER

II. PUBLIC COMMENTS (on non-agenda items):

III. PUBLIC HEARING(S): None

IV. OLD BUSINESS: None

V. NEW BUSINESS:

1. IW202419 – Abdulsalam Alsaleh and Zak Smith, owner/ Calito Development Group, LLC, applicant, request for modification to a permit to conduct regulated activity to construct a driveway crossing, parking lot, wetlands mitigation area, stormwater basin, and associated site improvements for a retail store on property to be subdivided on the west side of West Road across the street from 175 West Road. Property identified as Assessor Parcel Number 046-003-0002.
2. Request for positive referral to the Planning & Zoning Commission on a resubdivision to create one new 2.37+/- acre lot (S202502) pursuant to Conn. Gen. Stat. 8-26(e) at 20 Punkin Drive, APN 120-026-0004.
3. IW202503 – Town of Ellington, owner/applicant, notification of permitted and nonregulated uses to repair the roadway accessing the State Forest and install a gravel parking area at 79 Kibbe Road, APN 142-002-0000.
4. Request to delegate authority to the Wetlands Agent – Permit to conduct regulated activity for excavation and grading associated with an earth excavation operation at 90 Sadds Mill Road, APN 079-002-0000.

VI. ADMINISTRATIVE BUSINESS:

1. Approval of March 17, 2025, Regular Meeting Minutes.
2. Election of Officers.
3. Correspondence/Discussion:

VII. ADJOURNMENT:

Next Regular Meeting is scheduled for May 12, 2025.

Instructions to attend remotely via Zoom Meeting listed below. The agenda is posted on the Town of Ellington webpage (www.ellington-ct.gov) under Agenda & Minutes, Inland Wetlands Agency.

Join Zoom Meeting via link

Link: <https://us06web.zoom.us/j/82749024375>
Meeting ID: 827 4902 4375
Passcode: 495735

Join Zoom Meeting by phone:

+1 646 558 8656 US (New York)
Meeting ID: 827 4902 4375
Passcode: 495735

**RE: Property ID: 046 003 0002, West Road
Requested Modification to IW202419
Calito Development Group, Applicant**

Summary of Changes

The applicant is seeking a modification to the previously approved wetlands permit to address comments from the State of Connecticut that resulted from their review of the site plan for an Encroachment Permit.

The applicant previously obtained a wetlands permit because the proposed driveway has to cross an existing drainage ditch in order to conform to the Town of Ellington's Access Concept Plan for Route 83. To cross the drainage ditch, two 36" RCP culverts were proposed to be installed that would drain to a newly created wetlands mitigation area on the upstream side of the culverts, just to the west of West Road (CT Route #83). These activities (site grading, construction of the proposed parking lot/drive aisles, and construction of the stormwater basin/stormwater swale) would result in impacts to the upland review area and wetlands.

However, the State of Connecticut objected to the location of the wetlands mitigation area and is requiring that the applicant extend the two existing drainage pipes so that they cross both the drainage ditch and the new driveway. The extended culvert would drain into a riprap scour hole, allowing the water to pool in the vicinity of a wetlands mitigation area proposed to be created on the downstream side within the upland review area, southwest of the proposed building. The increased activity within the upland review area is due to the relocation of the mitigation area, as well as its construction. The existing drainage ditch along the westerly edge of West Road would be filled in to match the grade of the proposed driveway.

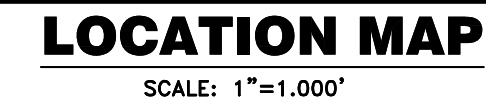
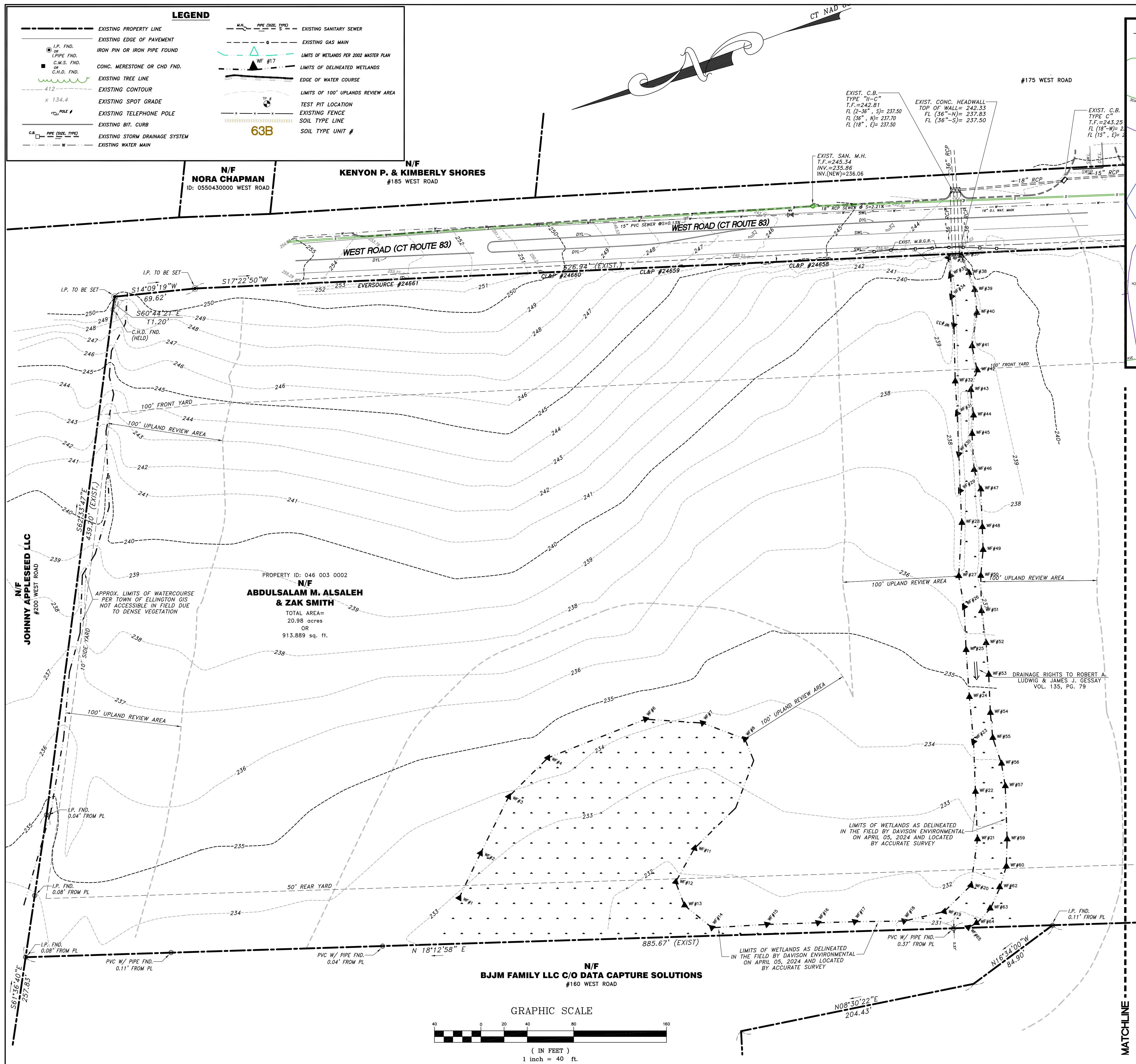
These changes will result in the following impacts:

Upland Review Area Activity: increase from 34,303 sq. ft. to 40,891 sq. ft. (an increase of 6,588 sq. ft.)

The permanent upland review area activity would be 13,913 sq. ft. This includes the proposed impervious area of the parking lot and drive aisles. The remaining area of 26,978 sq. ft. would be temporarily impacted as it will be lawn space or wetlands mitigation area post construction.

Wetlands Activity: remains at 2,148 sq. ft. (no change)

6	03/16/25	PER CT DOT COMMENT	JMP
5	03/12/25	PER WPCA COMMENT	JMP
4	01/23/25	PER ENGINEER COMMENT	JMP
3	01/10/25	PER P&Z COMMENT	JMP
2	12/17/24	PER TOWN COMMENT	JMP
1	11/06/24	PER ENGINEERING COMMENT	JMP
NO	DATE	DESCRIPTION	BY




1. SURVEY NOTES:
 - This survey has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300B-1 Through 20-300B-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
 - Type Of Survey is PROPERTY/TOPOGRAPHIC
 - Boundary Determination Category is DEPENDENT RESURVEY
 - Class of Accuracy is: HOR. - "A-2", TOPO. -"T-2", VERT. -"V-2".
2. PROPERTY IS ZONED: PC
3. PROPERTY LIES IN FLOOD ZONE 'X' (AREA OF MINIMAL FLOOD HAZARD) PER F.I.R.M. COMMUNITY MAP NO. 0901580015C DATED: FEBRUARY 05, 1997.
4. MAP REFERENCES:
 - A.) "LOT RECONFIGURATION LAND OF KUPFERSCHMID FAMILY TRUST, WEST ROAD, ELLINGTON, CONNECTICUT." SCALE: "1"=100'. DATED: SEP. 12, 2014. PREPARED BY: LANDMARK SURVEYS, LLC.
 - B.) "PROPERTY SURVEY LAND OF ERNEST S. KUPFERSCHMID, JR. ELLINGTON, CONNECTICUT." SCALE: "1"=100'. DATED: FEB. 02, 1998. PREPARED BY: SCHINDLER SURVEYS.
5. TOTAL PARCEL AREA= 913,900 SQ. FT. OR 20.98 ACRES.
6. HORIZONTAL DATUM BASED ON N.A.D. OF 1983.
7. VERTICAL DATUM BASED ON NAVD 88. CONTOUR INTERVAL=1 FOOT
8. PROPERTY MAY BE BENEFITED AND/OR BURDENED BY RECORDED AND/OR UNRECORDED EASEMENTS
9. UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES. PART TESTIMONY WAS OBTAINED FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO HALLISEY, PEARSON AND CASSIDY ENGINEERING ASSOCIATES. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD VERIFIED AND DETERMINED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG "811".

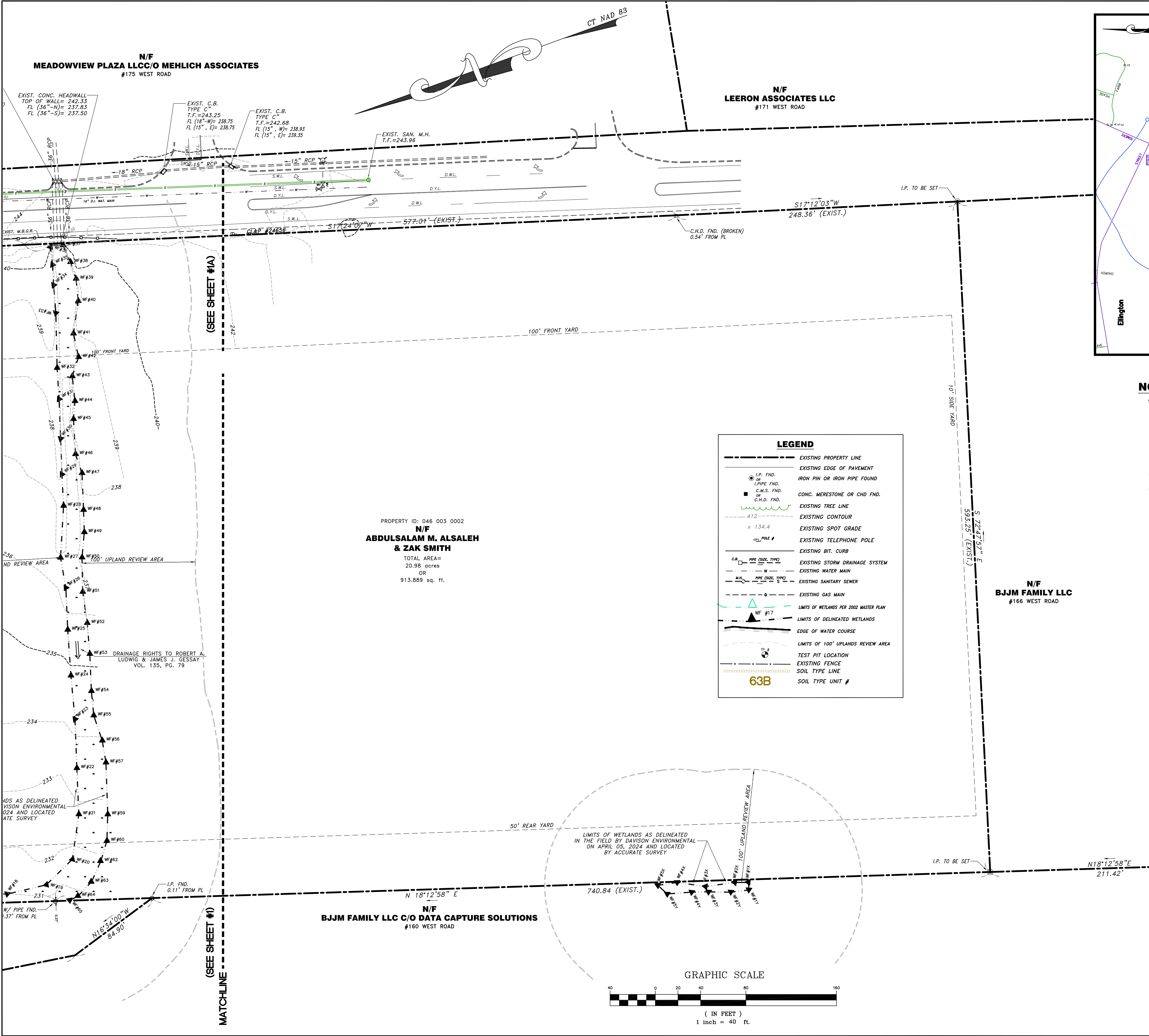
ZONING BULK TABLE				
LOCATION: WEST ROAD (CT ROUTE 83), ELLINGTON, CONNECTICUT				
ZONES: PC				
USE: VACANT LAND				
ITEM #	SEC. #	ITEM	REQUIREMENTS	EXISTING
1	4.21	MIN. LOT AREA	3 ACRES	20.08 ACRES
2	4.21	MIN. WIDTH	300'	1,521.93'
3	4.21	MIN. FRONT SETBACK	100'	NA
4	4.21	MIN. SIDE SETBACK	10'	NA
5	4.21	MIN. REAR SETBACK	50'	NA
6	4.21	Maximum Building Coverage	60%	NA
7	4.21	MAX. BUILDING HEIGHT	38'	NA

Matthew Davison
Matthew Davison
Professional Soil Scientist
Professional Wetland Scientist

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON:


PAUL A. HALLISEY, LSJ LIC. NO. 7761 SEP. 19, 2024

THIS DOCUMENT AND COPIES THEREOF ARE VALID ONLY IF THEY BEAR THE SIGNATURE AND EMBOSSED SEAL OF THE DESIGNATED LICENSED PROFESSIONAL. UNAUTHORIZED ALTERATIONS TO THIS PLAN RENDER THE DECLARATION HEREON NULL AND VOID. VALID ONLY ON MAPS BEARING EMBOSSED SURVEYOR'S SEAL.



HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROWELL, CONNECTICUT 06416
PHONE: (860)-529-6812, FAX: (860)-721-7709

PROPERTY/TOPOGRAPHIC SURVEY
SHOWING EXISTING CONDITIONS
PREPARED FOR
CALITO DEVELOPMENT GROUP
PROPERTY LOCATED AT
WEST ROAD (RT. #83)
ELLINGTON, CONNECTICUT

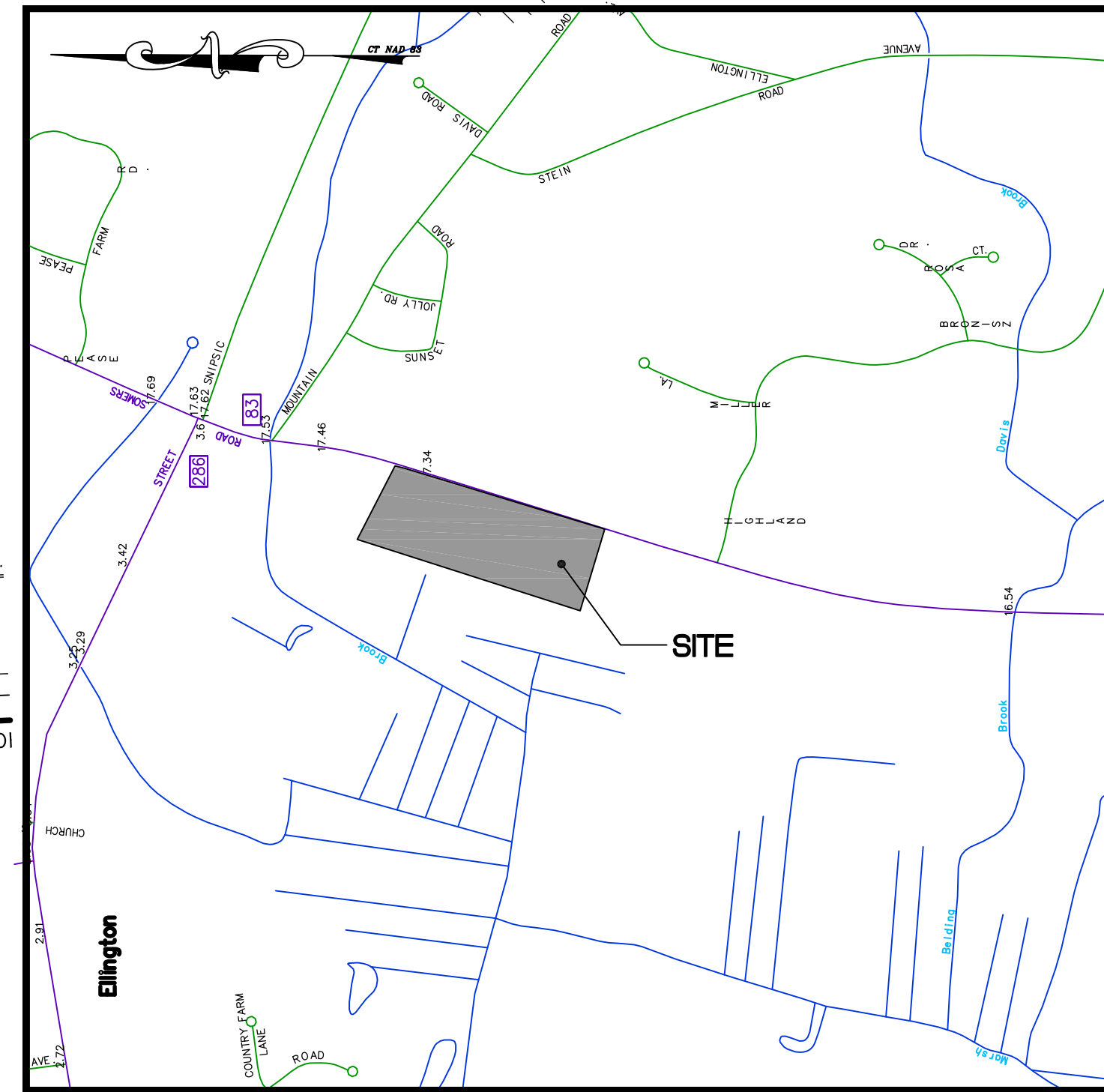
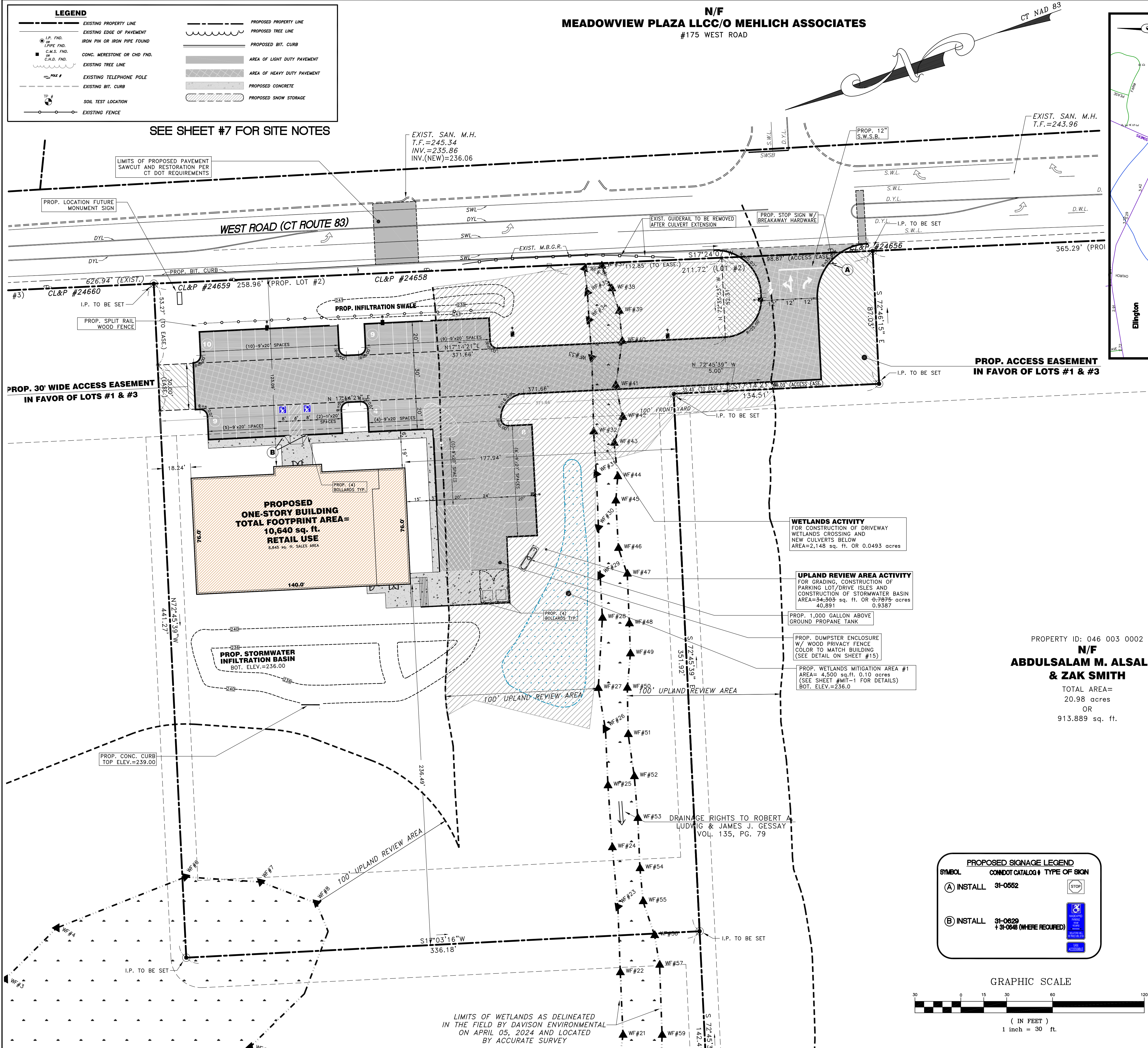
CHECKED BY: JPC
DATE: NOV. 20, 2024
JOB NO.: 3486
ACAD FILE: 3486-EX
SHEET: **1B** OF: **18**
REVISONS:
DEC. 17, 2024 PER TOWN COMMENT
JAN. 23, 2025 PER TOWN COMMENT
JAN. 23, 2025 PER ENGINEER COMMENT
MAR. 12, 2025 PER WCA COMMENT
MAR. 16, 2025 PER CT DOT COMMENT

LEGEND

EXISTING PROPERTY LINE
EXISTING EDGE OF PAVEMENT
IRON PIN OR IRON PIPE FOUND
CONC. MERESTONE OR CHD FND.
EXISTING TREE LINE
EXISTING TELEPHONE POLE
EXISTING BIT. CURB
SOIL TEST LOCATION
EXISTING FENCE

PROPOSED PROPERTY LINE
PROPOSED TREE LINE
PROPOSED BIT. CURB
AREA OF LIGHT DUTY PAVEMENT
AREA OF HEAVY DUTY PAVEMENT
PROPOSED CONCRETE
PROPOSED SNOW STORAGE

SEE SHEET #7 FOR SITE NOTES



NOTES:

- SURVEY NOTES:
 - This survey has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-1 Through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
 - Type of Survey is ZONING IMPROVEMENT LOCATION SURVEY-PROPOSED
 - Boundary Determination Category is DEPENDENT RESURVEY
 - Class of Accuracy is: HOR.- 'A-2', TOPO.- 'T-2', VERT.- 'V-2'.
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- HORIZONTAL DATUM BASED ON N.A.D. OF 1983.
- VERTICAL DATUM BASED ON NAVD 88. CONTOUR INTERVAL=1 FOOT
- PROPERTY MAY BE BENEFITED AND/OR BURDENED BY RECORDED AND/OR UNRECORDED EASEMENTS.
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ZONING BULK TABLE

LOCATION: WEST ROAD (CT ROUTE 83), ELLINGTON, CONNECTICUT				
ZONE: PC				
USE: VACANT LAND				
ITEM #	SEC. #	ITEM	REQUIREMENTS	EXISTING
1	4.2.1	MIN. LOT AREA	3 ACRES	3.667 ACRES
2	4.2.1	MIN. WIDTH	300'	345.50'
3	4.2.1	MIN. FRONT SETBACK	100'	123.09'
4	4.2.1	MIN. SIDE SETBACK	10'	18.24'/177.94'
5	4.2.1	MIN. REAR SETBACK	50'	236.49'
6	4.2.1	Maximum Building Coverage	60%	8.1%
7	4.2.1	MAX. BUILDING HEIGHT	38'	<35'
8	6-1	Parking requirement (RETAIL)	1 SPACES / 200 sq. ft.	8,845 SF x (1/200) =45 REQUIRED 45 SPACES PROVIDED INCL. 2 H.C.

I hereby confirm that the wetland boundaries depicted are substantially correct:

Matthew Davison
Matthew Davison
Professional Soil Scientist
Professional Wetland Scientist

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON:

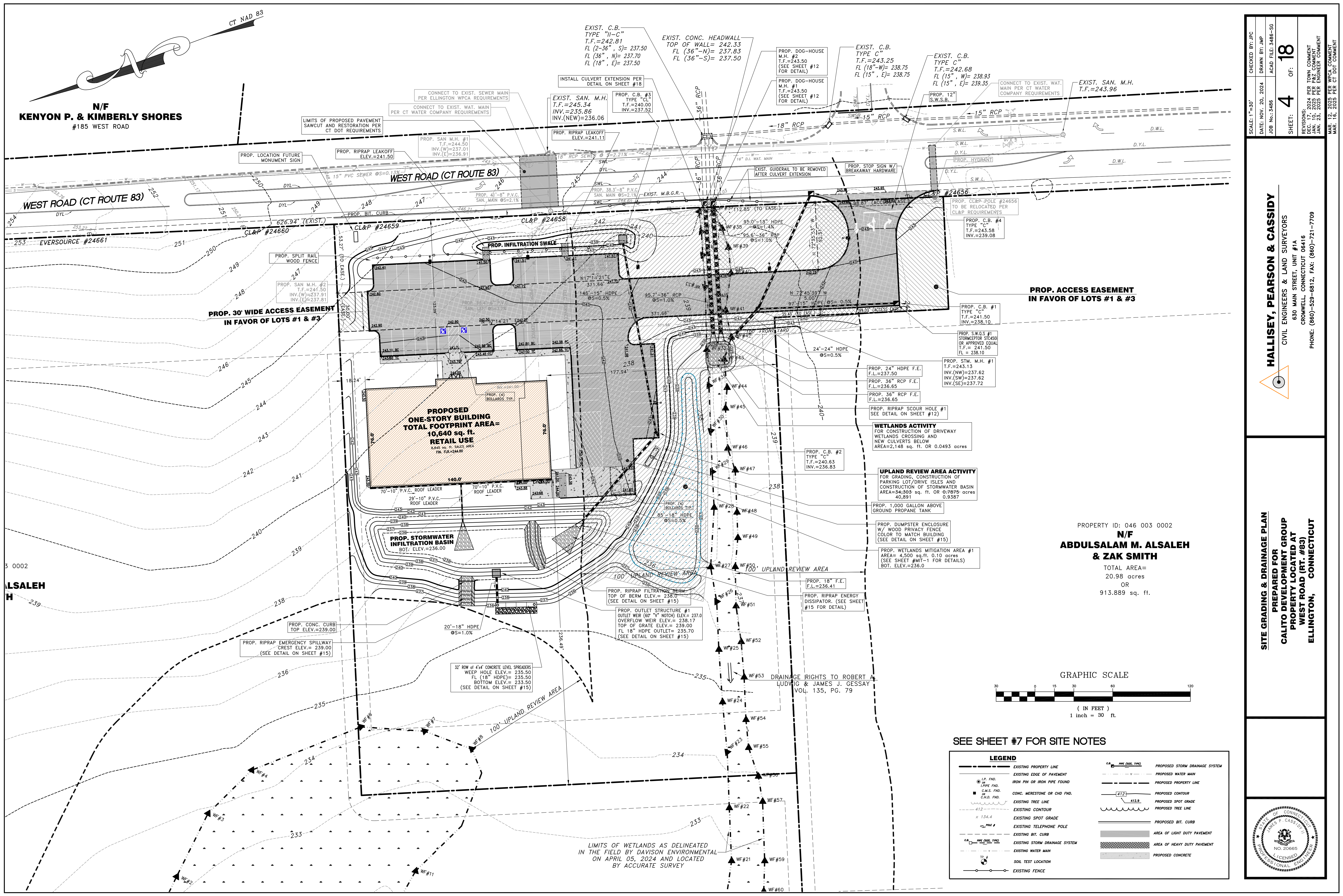
Paul A. Hallisey
PAUL A. HALLISEY, L.S. LIC. NO. 7761 DATE MAY 17, 2024

THIS DOCUMENT AND COPIES THEREOF ARE VALID ONLY IF THEY BEAR THE SIGNATURE AND EMBOSSED SEAL OF THE DESIGNATED LICENSED PROFESSIONAL. UNAUTHORIZED ALTERATIONS TO THIS PLAN RENDER THE DECLARATION HEREON NULL AND VOID. VALID ONLY ON MAPS BEARING EMBOSSED SURVEYOR'S SEAL.

ZONING IMPROVEMENT LOCATION SURVEY-PROPOSED & SITE LAYOUT PLAN PREPARED FOR CALITO DEVELOPMENT GROUP PROPERTY LOCATED AT WEST ROAD (RT. #83) ELLINGTON, CONNECTICUT

HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROWELL, CONNECTICUT 06416
PHONE: (860)-529-6812, FAX: (860)-721-7709

SCALE: 1"=30'
DATE: NOV. 20, 2024
JOB NO.: 3486
SHEET: 3 OF: 18
REVISIONS:
DEC. 17, 2024 PER TOWN COMMENT
JAN. 13, 2025 PER ENGINEER COMMENT
JAN. 23, 2025 PER ENGINEER COMMENT
MAR. 12, 2025 PER WPCA COMMENT
MAR. 15, 2025 PER CT DOT COMMENT

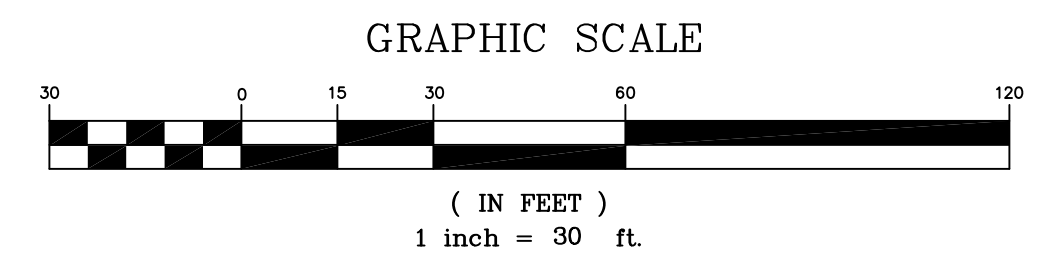


N/F
KENYON P. & KIMBERLY SHORES
#185 WEST ROAD

ALSALEH
H

PROP. ACCESS EASEMENT
IN FAVOR OF LOTS #1 & #3

PROPERTY ID: 046 003 0002
**N/F
ABDULSALAM M. ALSALEH
& ZAK SMITH**
TOTAL AREA=
20.98 acres
OR
913.889 sq. ft.



SEE SHEET #7 FOR SITE NOTES

LEGEND	
	EXISTING PROPERTY LINE
	EXISTING EDGE OF PAVEMENT
	IRON PIN OR IRON PIPE FOUND
	CONC. MERESTONE OR CHD FND.
	EXISTING TREE LINE
	EXISTING CONTOUR
	EXISTING SPOT GRADE
	EXISTING TELEPHONE POLE
	EXISTING BIT. CURB
	EXISTING STORM DRAINAGE SYSTEM
	EXISTING WATER MAIN
	SOIL TEST LOCATION
	EXISTING FENCE
	PROPOSED STORM DRAINAGE SYSTEM
	PROPOSED WATER MAIN
	PROPOSED PROPERTY LINE
	PROPOSED CONTOUR
	PROPOSED SPOT GRADE
	PROPOSED TREE LINE
	PROPOSED BIT. CURB
	AREA OF LIGHT DUTY PAVEMENT
	AREA OF HEAVY DUTY PAVEMENT
	PROPOSED CONCRETE

SCALE: 1"=30'

CHECKED BY: JPC

DRAWN BY: JPC

DATE: NOV. 20, 2024

JOB NO.: 3486

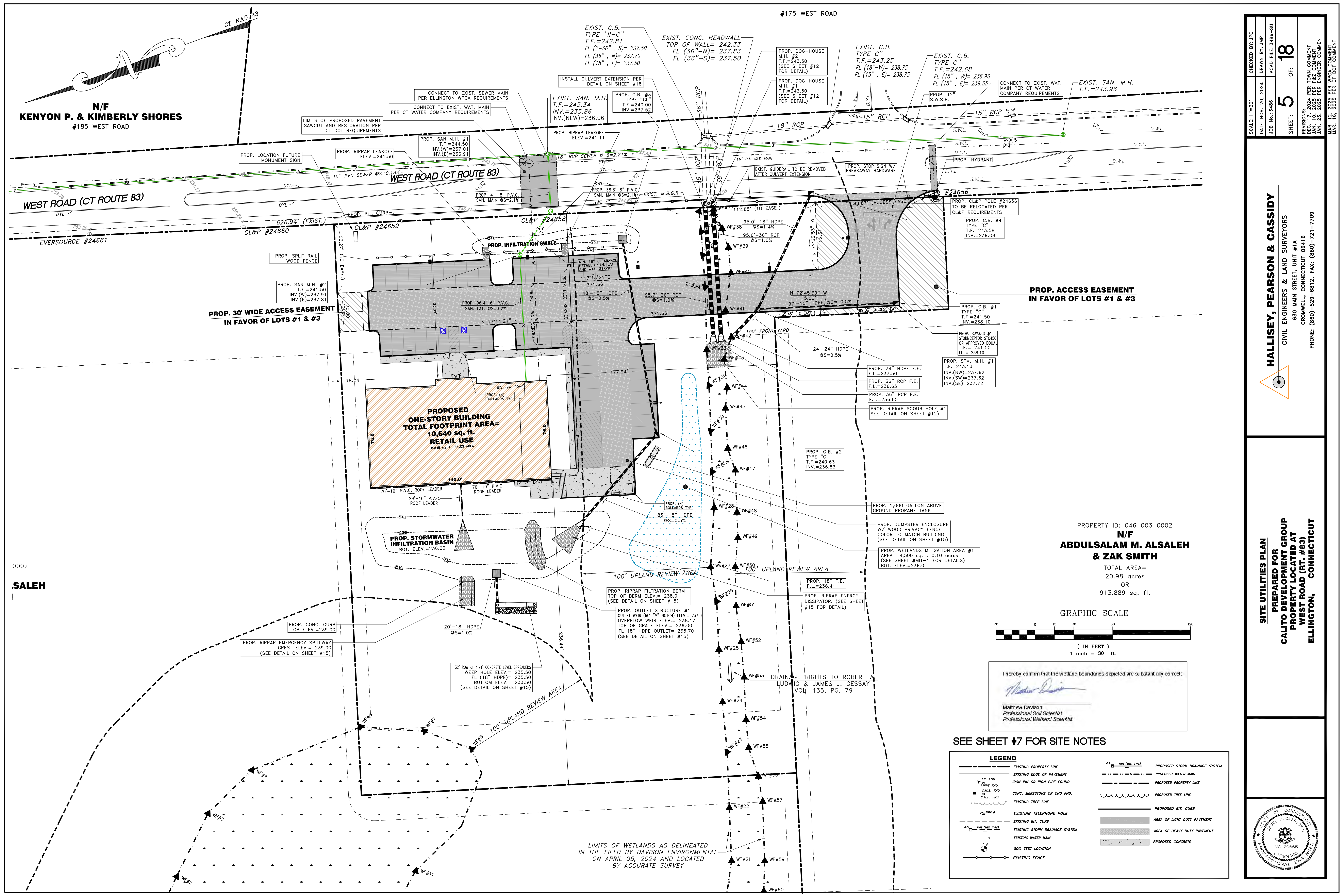
ACAD FILE: 3486-SG

SHEET: 4 OF 18

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CROWELL, CONNECTICUT 06416
PHONE: (860)-529-6812, FAX: (860)-721-7709

SITE GRADING & DRAINAGE PLAN
PREPARED FOR
CALITO DEVELOPMENT GROUP
PROPERTY LOCATED AT
WEST ROAD (RT. #83)
ELLINGTON, CONNECTICUT



N/F
KENYON P. & KIMBERLY SHORES
#185 WEST ROAD

WEST ROAD (CT ROUTE 83)
EVERSOURCE #24661

0002
SALEH

PROP. 30' WIDE ACCESS EASEMENT
IN FAVOR OF LOTS #1 & #3

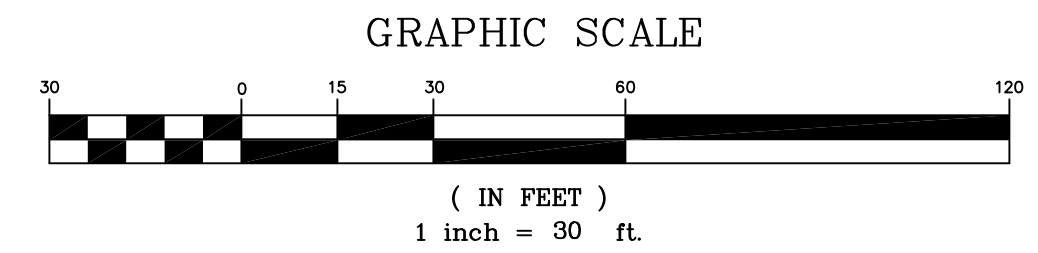
PROPOSED
ONE-STORY BUILDING
TOTAL FOOTPRINT AREA=
10,640 sq. ft.
RETAIL USE
(6,045 sq. ft. SALES AREA)

PROP. STORMWATER
INFILTRATION BASIN
BOT. ELEV.=236.00

LIMITS OF WETLANDS AS DELINEATED
IN THE FIELD BY DAVISON ENVIRONMENTAL
ON APRIL 05, 2024 AND LOCATED
BY ACCURATE SURVEY

PROP. ACCESS EASEMENT
IN FAVOR OF LOTS #1 & #3

PROPERTY ID: 046 003 0002
N/F
ABDULSALAM M. ALSALEH
& ZAK SMITH
TOTAL AREA=
20.98 acres
OR
913.889 sq. ft.



I hereby confirm that the wetland boundaries depicted are substantially correct:

Matthew Davison
Professional Soil Scientist
Professional Wetland Scientist

SEE SHEET #7 FOR SITE NOTES

LEGEND		PROPOSED STORM DRAINAGE SYSTEM	
---	EXISTING PROPERTY LINE	---	PROPOSED WATER MAIN
---	EXISTING EDGE OF PAVEMENT	---	PROPOSED PROPERTY LINE
---	IRON PIN OR IRON PIPE FOUND	---	PROPOSED TREE LINE
---	CONC. MERTSTONE OR CHD FND.	---	PROPOSED BIT. CURB
---	EXISTING TREE LINE	---	AREA OF LIGHT DUTY PAVEMENT
---	EXISTING TELEPHONE POLE	---	AREA OF HEAVY DUTY PAVEMENT
---	EXISTING BIT. CURB	---	PROPOSED CONCRETE
---	EXISTING STORM DRAINAGE SYSTEM		
---	EXISTING WATER MAIN		
---	SOIL TEST LOCATION		
---	EXISTING FENCE		

SCALE: 1"=30'

CHECKED BY: JPC

DRAWN BY: JPC

DATE: NOV. 20, 2024

JOB NO.: 3486

ACAD FILE: 3486-SU

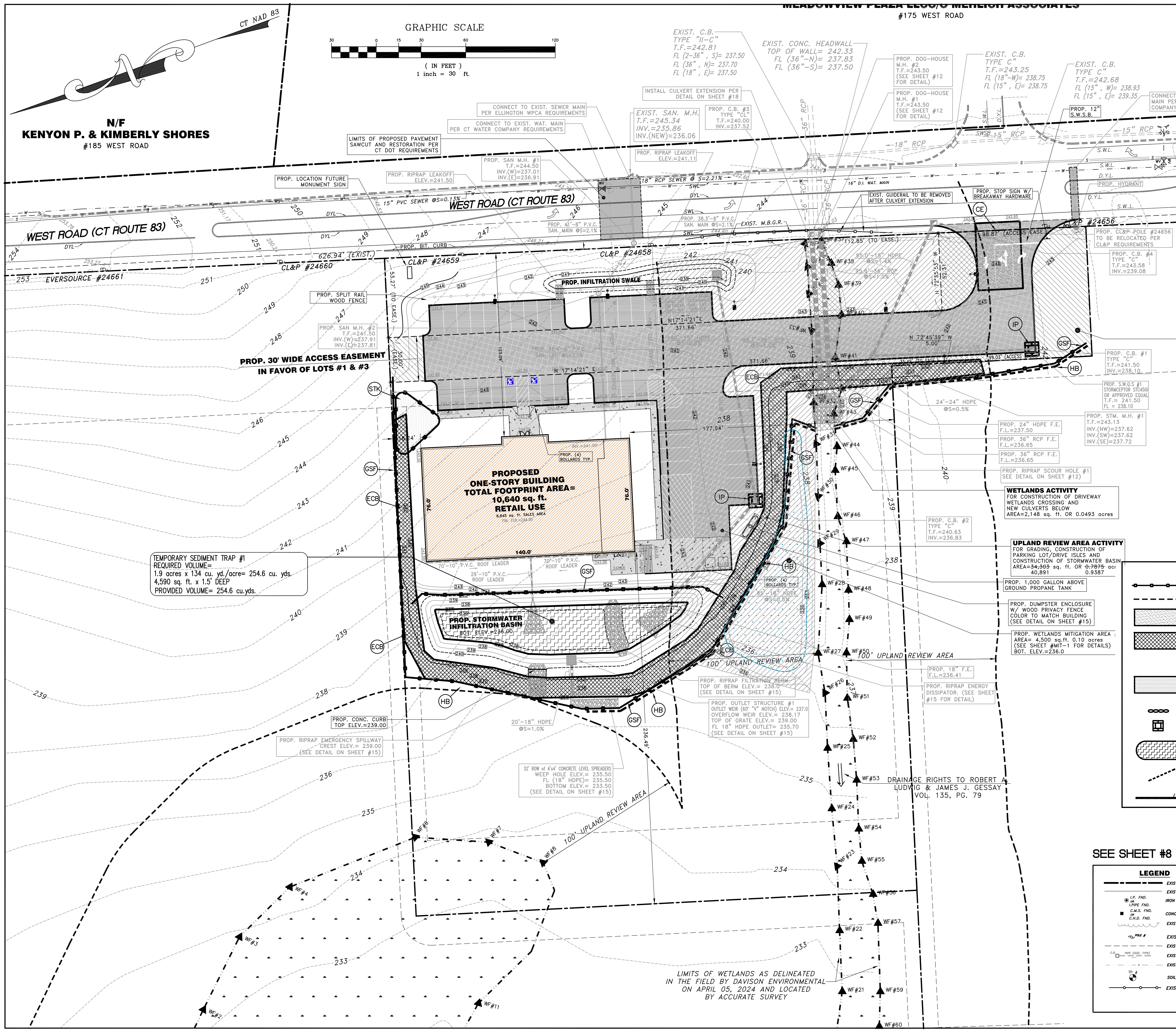
SHEET: 5 OF 18

REVISIONS:
DEC. 17, 2024 PER TOWN COMMENT
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JAN. 23, 2025 PER ENGINEER COMMENT
MAR. 12, 2025 PER WPCA COMMENT
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HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROWELL, CONNECTICUT 06416
PHONE: (860)-529-6812, FAX: (860)-721-7709

SITE UTILITIES PLAN
PREPARED FOR
CALITO DEVELOPMENT GROUP
PROPERTY LOCATED AT
WEST ROAD (RT. #83)
ELLINGTON, CONNECTICUT

STATE OF CONNECTICUT
JAMES P. CASSIDY, II
NO. 20665
REGISTERED PROFESSIONAL ENGINEER
CIVIL ENGINEERING



EROSION CONTROL MEASURE	CONTROL OBJECTIVE	INSPECTION/MAINTENANCE	FAILURE INDICATORS	REMOVAL
TEMPORARY SEDIMENT TRAP (TST)	REDUCE WASH LOSS DURING CONSTRUCTION. PREVENT SEDIMENT FROM ENTERING STORM DRAINAGE SYSTEM.	INSPECT AT END OF EACH WORK DAY. REMOVE SEDIMENT ACCUMULATED IN TRAP. MAINTAIN FLOW PATHS. REPAIR DAMAGE TO TRAP.	-TRAP FULL OF SEDIMENT -SEDIMENT ACCUMULATED IN TRAP -TRAP FULL OF SEDIMENT	TRAP MAY BE REMOVED AFTER THE CONSTRUCTION PERIOD. TRAP SHALL BE REMOVED AND SITE RESTORED TO ORIGINAL CONDITION.
TEMPORARY SEDIMENT BASIN (OTB/STB)	REDUCE WASH LOSS DURING CONSTRUCTION. PREVENT SEDIMENT FROM ENTERING STORM DRAINAGE SYSTEM.	INSPECT AT END OF EACH WORK DAY. REMOVE SEDIMENT ACCUMULATED IN BASIN. MAINTAIN FLOW PATHS. REPAIR DAMAGE TO BASIN.	-BASIN FULL OF SEDIMENT -SEDIMENT ACCUMULATED IN BASIN -BASIN FULL OF SEDIMENT	BASIN MAY BE REMOVED AFTER THE CONSTRUCTION PERIOD. BASIN SHALL BE REMOVED AND SITE RESTORED TO ORIGINAL CONDITION.
SILT FENCE (SFT)	REDUCE WASH LOSS DURING CONSTRUCTION. PREVENT SEDIMENT FROM ENTERING STORM DRAINAGE SYSTEM.	INSPECT AT END OF EACH WORK DAY. REMOVE SEDIMENT ACCUMULATED IN FENCE. MAINTAIN FLOW PATHS. REPAIR DAMAGE TO FENCE.	-FENCE FULL OF SEDIMENT -SEDIMENT ACCUMULATED IN FENCE -FENCE FULL OF SEDIMENT	FENCE MAY BE REMOVED AFTER THE CONSTRUCTION PERIOD. FENCE SHALL BE REMOVED AND SITE RESTORED TO ORIGINAL CONDITION.
HAY BALES (HB)	REDUCE WASH LOSS DURING CONSTRUCTION. PREVENT SEDIMENT FROM ENTERING STORM DRAINAGE SYSTEM.	INSPECT AT END OF EACH WORK DAY. REMOVE SEDIMENT ACCUMULATED IN BALE. MAINTAIN FLOW PATHS. REPAIR DAMAGE TO BALE.	-BALE FULL OF SEDIMENT -SEDIMENT ACCUMULATED IN BALE -BALE FULL OF SEDIMENT	BALE MAY BE REMOVED AFTER THE CONSTRUCTION PERIOD. BALE SHALL BE REMOVED AND SITE RESTORED TO ORIGINAL CONDITION.
TEMPORARY DIVERSION BERM (TDB)	REDUCE WASH LOSS DURING CONSTRUCTION. PREVENT SEDIMENT FROM ENTERING STORM DRAINAGE SYSTEM.	INSPECT AT END OF EACH WORK DAY. REMOVE SEDIMENT ACCUMULATED IN BERM. MAINTAIN FLOW PATHS. REPAIR DAMAGE TO BERM.	-BERM FULL OF SEDIMENT -SEDIMENT ACCUMULATED IN BERM -BERM FULL OF SEDIMENT	BERM MAY BE REMOVED AFTER THE CONSTRUCTION PERIOD. BERM SHALL BE REMOVED AND SITE RESTORED TO ORIGINAL CONDITION.
CONSTRUCTION ENTRANCE (CE)	REDUCE WASH LOSS DURING CONSTRUCTION. PREVENT SEDIMENT FROM ENTERING STORM DRAINAGE SYSTEM.	INSPECT AT END OF EACH WORK DAY. REMOVE SEDIMENT ACCUMULATED IN ENTRANCE. MAINTAIN FLOW PATHS. REPAIR DAMAGE TO ENTRANCE.	-ENTRANCE FULL OF SEDIMENT -SEDIMENT ACCUMULATED IN ENTRANCE -ENTRANCE FULL OF SEDIMENT	ENTRANCE MAY BE REMOVED AFTER THE CONSTRUCTION PERIOD. ENTRANCE SHALL BE REMOVED AND SITE RESTORED TO ORIGINAL CONDITION.
CATCH BASIN INLET PROTECTION (IP)	REDUCE WASH LOSS DURING CONSTRUCTION. PREVENT SEDIMENT FROM ENTERING STORM DRAINAGE SYSTEM.	INSPECT AT END OF EACH WORK DAY. REMOVE SEDIMENT ACCUMULATED IN INLET. MAINTAIN FLOW PATHS. REPAIR DAMAGE TO INLET.	-INLET FULL OF SEDIMENT -SEDIMENT ACCUMULATED IN INLET -INLET FULL OF SEDIMENT	INLET MAY BE REMOVED AFTER THE CONSTRUCTION PERIOD. INLET SHALL BE REMOVED AND SITE RESTORED TO ORIGINAL CONDITION.
STOCKPILE PROTECTION (STP)	REDUCE WASH LOSS DURING CONSTRUCTION. PREVENT SEDIMENT FROM ENTERING STORM DRAINAGE SYSTEM.	INSPECT AT END OF EACH WORK DAY. REMOVE SEDIMENT ACCUMULATED IN PROTECTION. MAINTAIN FLOW PATHS. REPAIR DAMAGE TO PROTECTION.	-PROTECTION FULL OF SEDIMENT -SEDIMENT ACCUMULATED IN PROTECTION -PROTECTION FULL OF SEDIMENT	PROTECTION MAY BE REMOVED AFTER THE CONSTRUCTION PERIOD. PROTECTION SHALL BE REMOVED AND SITE RESTORED TO ORIGINAL CONDITION.
DUST PROTECTION (DP)	REDUCE WASH LOSS DURING CONSTRUCTION. PREVENT SEDIMENT FROM ENTERING STORM DRAINAGE SYSTEM.	INSPECT AT END OF EACH WORK DAY. REMOVE SEDIMENT ACCUMULATED IN PROTECTION. MAINTAIN FLOW PATHS. REPAIR DAMAGE TO PROTECTION.	-PROTECTION FULL OF SEDIMENT -SEDIMENT ACCUMULATED IN PROTECTION -PROTECTION FULL OF SEDIMENT	PROTECTION MAY BE REMOVED AFTER THE CONSTRUCTION PERIOD. PROTECTION SHALL BE REMOVED AND SITE RESTORED TO ORIGINAL CONDITION.

EROSION LEGEND	
GSF	SEDIMENT FILTER FENCE
HB	STAKED HAY BALE
CE	CONSTRUCTION ENTRANCE
ECB	EROSION CONTROL BLANKET NORTH AMERICAN GREEN S0150 ALONG SIDE AND REAR SLOPES
STK	TEMPORARY SOIL STOCKPILE - SURROUNDED BY SEDIMENT FILTER FENCE
SCD	STONE CHECK DAM
IP	INLET PROTECTION (ALL CATCH BASINS AND YARD DRAINS)
TST	TEMPORARY SEDIMENT TRAP TO BE CONSTRUCTED PRIOR TO MASS EXCAVATION, CLEAN WHEN SEDIMENT DEPTH EQUALS 12"
WB	WATER BAR
DB	TEMPORARY DIVERSION BERM

SEE SHEET #8 FOR EROSION + SEDIMENT CONTROL NOTES

LEGEND	
---	EXISTING PROPERTY LINE
---	EXISTING EDGE OF PAVEMENT
---	IRON PIN OR IRON PIPE FOUND
---	CONC. MORTSTONE OR CHD FND.
---	EXISTING TREE LINE
---	EXISTING TELEPHONE POLE
---	EXISTING BIT. CURB
---	EXISTING STORM DRAINAGE SYSTEM
---	EXISTING WATER MAIN
---	SOIL TEST LOCATION
---	EXISTING FENCE
---	PROPOSED STORM DRAINAGE SYSTEM
---	PROPOSED WATER MAIN
---	PROPOSED PROPERTY LINE
---	PROPOSED TREE LINE
---	PROPOSED BIT. CURB
---	AREA OF LIGHT DUTY PAVEMENT
---	AREA OF HEAVY DUTY PAVEMENT
---	PROPOSED CONCRETE

DATE: NOV. 20, 2024

JOB NO.: 3486

SHEET: 6 OF 18

REVISIONS:
DEC. 17, 2024 PER TOWN COMMENT
JAN. 10, 2025 PER ENGINEER COMMENT
MAR. 12, 2025 PER WPCA COMMENT
MAR. 15, 2025 PER CT DOT COMMENT

CHECKED BY: JPC

DRAWN BY: JMP

ACAD FILE: 3486-ES

HALLISEY, PEARSON & CASSIDY

CIVIL ENGINEERS & LAND SURVEYORS

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SITE EROSION & SEDIMENT CONTROL PLAN

PREPARED FOR
CALITO DEVELOPMENT GROUP
PROPERTY LOCATED AT
WEST ROAD (RT. #83)
ELLINGTON, CONNECTICUT

STATE OF CONNECTICUT
JAMES P. CASSIDY, III
NO. 20665
REGISTERED PROFESSIONAL ENGINEER

SITE PLAN NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH TOWN OF ELLINGTON, STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS IN THE ABOVE REFERENCED HIERARCHY. IF SPECIFICATIONS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
2. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL TOWN CONSTRUCTION PERMITS, INCLUDING DOT PERMITS AND SEWER AND WATER CONNECTION PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
3. REFER TO OTHER PLANS, DETAILS AND NOTES FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE SITE ENGINEER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFORMED WITH THE LOCAL CONSTRUCTION MANAGER PRIOR TO BIDDING.
4. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS AND PLAN SPECIFICATIONS TO THE OWNER AND SITE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
5. THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE EROSION CONTROL PLAN.
6. THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDINGS AND THE RAISED CONCRETE SIDEWALKS AND RAMPS.
7. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
8. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
9. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OR PAVING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
10. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, TRAFFIC CONTROLLERS AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE LOCAL GOVERNING AUTHORITIES.
11. REFER TO DETAIL SHEETS FOR PAVEMENT, CURBING, AND SIDEWALK INFORMATION.
12. TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2" OFF THE FACE OF THE CURB, AND WITH 7" VERTICAL CLEARANCE UNLESS OTHERWISE DETAILED OR NOTED.
13. THE CONTRACTOR SHALL ABIDE BY ALL OSHA FEDERAL STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
14. THE CONTRACTOR SHALL SUBMIT A SHOP DRAWING OF THE PAINT MIXTURE PRIOR TO STRIPING.
15. PAVEMENT MARKING KEY:
4" SYDL 4" SOLID YELLOW DOUBLE LINE
4" SYL 4" SOLID YELLOW LINE
4" SWL 4" SOLID WHITE LINE
12" SWB 12" SOLID WHITE STOP BAR
4" BWL 4" BROKEN WHITE LINE 10" STRIPE 30" SPACE
16. PARKING SPACES SHALL BE STRIPED WITH 4" SWL. HATCHED AREA SHALL BE STRIPED WITH 4" SWL AT A 45° ANGLE, 2" ON CENTER. HATCHING SYMBOLS, AND STRIPING FOR HANDICAPPED SPACES SHALL BE PAINTED BLUE. OTHER MARKINGS SHALL BE PAINTED WHITE OR AS NOTED.
17. THE CONTRACTOR SHALL RESTORE ANY DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS OR SIGNAGE DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE ENGINEER.
18. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
19. THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
20. THE CONTRACTOR SHALL COMPLY WITH CFR 29 PART 1926 FOR EXCAVATION TRENCHING AND TRENCH PROTECTION REQUIREMENTS.
21. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, SITE ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION DURING THE BIDDING PROCESS.
22. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AT "1(800)922-4455" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
23. PAVEMENT MARKINGS SHALL BE HOT APPLIED TYPE IN ACCORDANCE WITH CT DOT SPECIFICATIONS, UNLESS WHERE EPOXY RESIN PAVEMENT MARKINGS ARE INDICATED.
24. AN EROSION CONTROL BOND IS REQUIRED TO BE POSTED BY THE CONTRACTOR BEFORE THE START OF ANY ACTIVITY ON OR OFF SITE.
25. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
26. THESE PLANS ARE FOR PERMITTING.
27. THE SITE IS PROPOSED TO BE SERVICED BY PUBLIC WATER AND SEWER.
28. PROPERTY SHOWN ON F.I.R.M. NO. 09007C01296, DATED: AUG. 28, 2008. THIS PROPERTY IS IN FLOOD ZONE "X", NOT A FLOOD ZONE.
29. 12" SWSB (STOP BAR) AND 4" SYDL AND SWL PAVEMENT MARKINGS LOCATED IN DRIVEWAYS AND IN STATE HIGHWAY SHALL BE EPOXY RESIN TYPE ACCORDING TO CT DOT SPECIFICATIONS.
30. FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN FIRE MARSHAL.
31. THE APPLICANT WILL PROVIDE AND MAINTAIN ADEQUATE SIGHT DISTANCES AT ALL DRIVEWAY INTERSECTIONS. CURRENT STATE OF CONNECTICUT HIGHWAY DESIGN STANDARDS WILL APPLY TO REQUIRED SIGHT DISTANCES.
32. THE APPLICANT WILL REGISTER BUILDING ALARMS PER TOWN ORDINANCE.
33. THE APPLICANT WILL CONTROL DUST AND DEBRIS ON THE SURROUNDING ROADWAYS DURING CONSTRUCTION. PROPER SAFETY PRECAUTIONS AND EQUIPMENT ARE TO BE UTILIZED WHEN WORKING ON PUBLIC ROADWAYS AND ARE THE APPLICANT'S RESPONSIBILITY TO PROVIDE.
34. THE APPLICANT WILL OBTAIN A CONNECTICUT DEPARTMENT OF TRANSPORTATION ENCROACHMENT PERMIT FOR ANY WORK DONE IN THE STATE RIGHT OF WAY.
35. THE APPLICANT MUST COMPLY WITH CONNECTICUT DEPARTMENT OF TRANSPORTATION STIPULATIONS/REGULATIONS WHEN APPLICABLE.
36. ALL DISTURBED PAVEMENT MARKINGS MUST BE REPLACED WITH EPOXY PAINT.
37. A BUILDING PERMIT FROM THE TOWN OF ELLINGTON IS REQUIRED FOR RETAINING WALLS IN EXCESS OF 30" IN HEIGHT. CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE BUILDING PERMIT.

GRADING AND DRAINAGE NOTES

- GRADING GENERAL NOTES:
1. SEE THIS PLAN SHEET FOR ADDITIONAL SITE PLAN AND GENERAL NOTES.
 2. THE GRADING AND DRAINAGE PLAN IS INTENDED TO DESCRIBE GRADING AND DRAINAGE ONLY. REFER TO SITE PLAN FOR GENERAL INFORMATION, AND DETAIL SHEETS FOR DETAILS. SEE MEP DRAWINGS FOR BUILDING CONNECTION LOCATIONS AND DETAILS.
 3. THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND NOTES.
 4. TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING.
 5. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED BY GOVERNMENT AND LOCAL AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE LOCAL MUNICIPALITIES REQUIRED TO PERFORM ALL REQUIRED WORK, INCLUDING FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
 6. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS FENCES AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE STATE AND LOCAL GOVERNING AUTHORITIES.
 7. THE CONTRACTOR SHALL COMPACT FILL IN 12" MAXIMUM LIFTS UNDER ALL PARKING, BUILDING, AND DRIVE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
 8. UNDERDRAINS SHALL BE ADDED, IF DETERMINED NECESSARY IN THE FIELD BY THE DESIGN OR TOWN ENGINEER AFTER SUBGRADE IS ROUGH GRADED, AS APPROVED BY THE ELLINGTON TOWN STAFF.
 9. VERTICAL DATUM IS NVGD 1988.
 10. CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE TOWN OF ELLINGTON AGENT PRIOR TO THE START OF WORK ON THE SITE.
 11. PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL SO AS TO PREVENT THE SILING OF ANY WATERCOURSE OR WETLANDS IN ACCORDANCE WITH THE REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION GUIDELINES FOR SOIL EROSION AND SEDIMENT POLLUTION CONTROL. IN ADDITION, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE "EROSION CONTROL PLAN" CONTAINED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE TO POST ALL BONDS AS REQUIRED BY THE LOCAL MUNICIPALITIES, OR SOIL CONSERVATION SERVICE WHICH WOULD GUARANTEE THE PROPER IMPLEMENTATION OF THE PLAN.
 12. ALL SITE WORK, MATERIALS OR CONSTRUCTION, AND CONSTRUCTION METHODS FOR EARTHWORK STORM DRAINAGE AND UTILITY WORK SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS AND APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION UNLESS OTHERWISE STATED IN THE PROJECT MANUAL SPECIFICATIONS. ALL FILL MATERIALS UNDER STRUCTURES AND PAVED AREAS SHALL BE PER THE SPECIFICATIONS, AND/OR PROJECT GEOTECHNICAL REPORT, AND SHALL BE PLACED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE DOT, UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. MATERIAL SHALL BE COMPACTED IN 12" LIFTS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 1557 AT 3 +/- PERCENT OF OPTIMUM MOISTURE CONTENT.
 13. ALL DISTURBANCE INCURRED TO TOWN OR STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE TOWN OF ELLINGTON AUTHORITY AND STATE OF CONNECTICUT.
 14. ALL CONSTRUCTION SHALL COMPLY WITH THE LOCAL MUNICIPALITY'S STANDARDS AND STATE OF CONNECTICUT'S DOT SPECIFICATIONS. ALL CONSTRUCTION WITHIN A DOT RIGHT OF WAY SHALL COMPLY WITH ALL DEPARTMENT OF TRANSPORTATION STANDARDS. WHERE SPECIFICATIONS OR STANDARDS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION OR STANDARD SHALL BE SUPERIOR.
- PRODUCT NOTES:
1. SHOP DRAWINGS: THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF MATERIALS AND STRUCTURES FOR REVIEW AND APPROVAL PRIOR TO DELIVERY TO THE SITE. ALLOW 14 WORKING DAYS FOR REVIEW.
 2. POLY VINYL CHLORIDE PIPE (PVC) FOR STORM AND SANITARY PIPING SHALL HAVE BUILT-IN RUBBER GASKET JOINTS. PVC SHALL CONFORM TO ASTM D-3034 (SDR35) WITH COMPRESSION JOINTS AND MOLDED FITTINGS. PVC SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS; ASTM-D2321 AND MANUFACTURERS RECOMMENDED PROCEDURE.
 3. ALL RCP SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-76; ALL RCP SHALL BE CLASS IV UNLESS OTHERWISE SHOWN. JOINTS SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-443.
 4. MANHOLE SECTIONS AND CONSTRUCTION SHALL CONFORM TO ASTM C-478.
 5. HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER 12" OR GREATER IN DIAMETER SHALL BE HI-Q, SURE-LOK 10-B PIPE AS MANUFACTURED BY HANCOR INC. OR APPROVED EQUAL. HDPE PIPE SHALL HAVE SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND SHALL MEET THE REQUIREMENTS OF AASHTO M234, TYPE PIPE SECTIONS SHALL BE JOINED WITH BELL-AND-SPIGOT JOINT MEETING THE REQUIREMENTS OF AASHTOS. M234. THE BELL SHALL BE AN INTEGRAL PART OF THE PIPE AND PROVIDE A MINIMUM PULL-APART STRENGTH OF 400 POUNDS. THE JOINT SHALL BE WATERIGHT ACCORDING TO THE REQUIREMENTS OF ASTM D3212. GASKETS SHALL BE MADE OF POLYISOPRENE MEETING THE REQUIREMENTS OF ASTM F477. ALTERNATIVE HDPE PIPE MAY BE USED IF APPROVED BY THE ENGINEER AND CONSTRUCTION MANAGER PRIOR TO ORDERING.
 6. HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER LESS THAN 12" IN DIAMETER SHALL BE HI-Q PIPE AS MANUFACTURED BY HANCOR INC. OR APPROVED EQUAL. HDPE PIPE SHALL HAVE SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND SHALL MEET THE REQUIREMENTS OF AASHTO 252, TYPE S. PIPE SECTIONS SHALL BE JOINED WITH COUPLING BANDS OR EXTERNAL SNAP COUPLERS COVERING AT LEAST 2 FULL CORRUGATIONS ON EACH END OF THE PIPE. BILT-TIGHT (GASKET) CONNECTIONS SHALL INCORPORATE A CLOSED SYNTHETIC EXPANDED RUBBER GASKET. MEETING THE REQUIREMENTS OF AASHTO D1056 GRADE 242. GASKETS SHALL BE INSTALLED ON THE CONNECTION BY THE PIPE MANUFACTURER. ALTERNATIVE HDPE PIPE MAY BE USED IF APPROVED BY THE ENGINEER AND CONSTRUCTION MANAGER PRIOR TO ORDERING.
- GENERAL NOTES
1. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE SITE ENGINEER AND ARCHITECT IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS.
 2. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
 3. THE CONTRACTOR SHALL ABIDE BY ALL OSHA FEDERAL STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
 4. THE CONTRACTOR SHALL PROVIDE RECORD DRAWINGS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
 5. THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
 6. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY, AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AT "811" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
 7. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN OVER SCALED DIMENSIONS.
 8. IF PLANS AND OR SPECIFICATIONS ARE IN CONFLICT, THE MOST EFFECTIVE SHALL APPLY AS DETERMINED BY A LICENSED PROFESSIONAL AND APPROVED BY TOWN STAFF.
 9. ALL CONTRACTORS AND SUBCONTRACTORS SHALL OBTAIN COMPLETE DRAWING PLAN SETS FOR BIDDING AND CONSTRUCTION. PLAN SETS SHALL NOT BE DISASSEMBLED INTO PARTIAL PLAN SETS FOR USE BY CONTRACTORS AND SUBCONTRACTORS OF INDIVIDUAL TRADES. IT SHALL BE THE CONTRACTOR'S AND SUBCONTRACTOR'S RESPONSIBILITY TO OBTAIN COMPLETE PLAN SETS FOR USE IN BIDDING AND CONSTRUCTION.
 10. ALL NOTES AND DIMENSIONS DESIGNATED "TYPICAL" APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE PROJECT.
 11. CONTRACTOR'S TO TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK AND BE RESPONSIBLE FOR COORDINATION OF SAME. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.
 12. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.

UTILITIES NOTES

- UTILITY CONSTRUCTION NOTES:
1. CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE LOCAL MUNICIPALITIES TO SECURE PERMITS AND FOR PAYMENT OF FEES FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES.
 2. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS FENCES AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE LOCAL GOVERNING AUTHORITIES.
 3. THIS PLAN DETAILS SITE INSTALLED PIPES UP TO 5' FROM THE BUILDING FACE. REFER TO DRAWINGS BY OTHERS FOR BUILDING CONNECTION POINT OR AT EXISTING UTILITY OR PIPE CONNECTION POINT.
 4. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL LOCATIONS WHERE SEWERS CROSS UTILITIES, AND THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES SHALL BE DETERMINED. THE CONTRACTOR SHALL CONTACT THE SITE ENGINEER IN THE EVENT OF ANY DISCOVERED OR UNFORESEEN CONFLICTS BETWEEN EXISTING AND PROPOSED UTILITIES SO THAT AN APPROPRIATE MODIFICATION MAY BE MADE.
 5. UTILITY CONNECTION DESIGN AS REFLECTED ON THE PLAN MAY CHANGE SUBJECT TO UTILITY CO. AND TOWN STAFF REVIEW.
 6. THE CONTRACTOR SHALL ENSURE THAT ALL UTILITY COMPANIES AND TOWN STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET. THE CONTRACTOR SHALL PERFORM PROPER COORDINATION WITH THE RESPECTIVE UTILITY PROVIDER, TOWN OF ELLINGTON PUBLIC WORKS DEPARTMENT AND TOWN OF ELLINGTON WATER & SEWER DEPARTMENT.
 7. THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES FOR SERVICE INSTALLATIONS AND CONNECTIONS. THE CONTRACTOR SHALL COORDINATE WORK TO BE PERFORMED BY THE VARIOUS UTILITY COMPANIES AND SHALL PAY ALL FEES FOR CONNECTIONS, DISCONNECTION, REALLOCATIONS, INSPECTIONS, AND DEMOLITION.
 8. ALL EXISTING PAVEMENT WHERE UTILITY PIPING IS TO BE INSTALLED SHALL BE SAW CUT. AFTER UTILITY INSTALLATION IS COMPLETED THE SITE CONTRACTOR SHALL INSTALL TEMPORARY OR PERMANENT PAVEMENT REPAIR AS DETAILED ON THE PLANS OR AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
 9. ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
 10. SANITARY LATERAL SHALL MAINTAIN (10' MIN. HORIZONTAL 1.5' VERTICAL MIN.) SEPARATION DISTANCE FROM WATER LINES, OR ADDITIONAL PROTECTION MEASURES WILL BE REQUIRED WHERE PERMITTED.
 11. RELOCATION OF UTILITY COMPANY FACILITIES SUCH AS POLES, TO BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE FACILITY OWNERS.
 12. THE CONTRACTOR SHALL COMPACT THE PIPE BACKFILL IN 12" LIFTS ACCORDING TO THE PIPE BEDDING DETAILS. TRENCH BOTTOM SHALL BE STABLE IN HIGH GROUNDWATER AREAS. A PIPE FOUNDATION SHALL BE USED IN AREAS OF ROCK EXCAVATION. STORM SEWERS MAY BE PLACED PRIOR TO PLACING FILL.
 13. CONTRACTOR TO PROVIDE SLEEVES UNDER FOOTINGS FOR UTILITY CONNECTIONS.
 14. UTILITY PENETRATIONS AND LOCATIONS ARE SHOWN FOR THE CONTRACTOR'S INFORMATION AND SHALL BE VERIFIED WITH THE MEP DRAWINGS AND CONSTRUCTION MANAGER.
 15. ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION FOR APPROVAL PRIOR TO BACKFILLING, IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY AND/OR THE LOCAL MUNICIPALITIES' REQUIREMENTS.
 16. A ONE-FOOT MINIMUM CLEARANCE BETWEEN WATER, GAS, ELECTRICAL, AND TELEPHONE LINES AND STORM SEWERS SHALL BE PROVIDED. A ONE-FOOT MINIMUM CLEARANCE SHALL BE MAINTAINED BETWEEN STORM AND SANITARY SEWER WITH A CONCRETE ENCASEMENT.
 17. CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC., AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING STUB OUTS, INCLUDING ROOF/FOOTING DRAIN CONNECTIONS TO ROOF LEADERS AND TO STORM DRAINAGE SYSTEM.
 18. MANHOLE RIMS SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE FRAMES AND VALVE COVERS TO BE RAISED OR LOWERED FLUSH WITH FINAL GRADE AS NECESSARY.
 19. SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF CONDUIT AND CABLES FOR SITE LIGHTING WITH THE BUILDING ELECTRICIAN/ELECTRICAL CONTRACTOR.
 20. CONTRACTOR SHALL COORDINATE INSTALLATION FOR ELECTRICAL SERVICES TO PYLON SIGNS AND SITE LIGHTING WITH THE BUILDING ELECTRICAL/ELECTRICAL CONTRACTOR.
 21. THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, OR LANDSCAPED AREAS DISTURBED DURING CONSTRUCTION, TO THEIR ORIGINAL CONDITION OR BETTER.
 22. INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES INCLUDING SERVICES. CONTACT "CALL BEFORE YOU DIG" AT 1-(800)-922-4455 72 HOURS PRIOR TO CONSTRUCTION AND VERIFY ALL UNDERGROUND AN OVERHEAD UTILITY LOCATIONS.
 23. THE CONTRACTOR SHALL ARRANGE AND COORDINATE WITH UTILITY COMPANIES AND THE TOWN OF ELLINGTON FOR WORK TO BE PERFORMED BY UTILITY COMPANIES OR BY THE TOWN OF ELLINGTON. THE CONTRACTOR SHALL PAY ALL UTILITY FEES AND REPAIR PAVEMENTS AS NECESSARY.
 24. ELECTRIC, AND TELEPHONE SERVICES SHALL BE INSTALLED UNDERGROUND FROM SERVICE POLE CL&P #1543. THE CONTRACTOR SHALL INSTALL AND BACKFILL TWO 4" PVC CONDUITS FOR TELEPHONE SERVICE, FOUR 4" PVC CONDUITS FOR ELECTRIC SERVICE PRIMARY, PVC CONDUITS FOR ELECTRICAL SECONDARY PER BUILDING ELECTRICAL PLANS (SCHEDULE 80N UNDER PAVEMENT, SCHEDULE 40 IN NON PAVEMENT AREAS). SERVICES MAY BE INSTALLED IN A COMMON TRENCH WITH 1" CLEAR SPACE BETWEEN. MINIMUM COVER IS 36" ON ELECTRIC CONDUITS, AND 24" ON TELEPHONE CONDUITS. SERVICES SHALL BE MARKED WITH MAGNETIC LOCATOR TAPE AND SHALL BE BEDDED, INSTALLED, AND BACKFILLED IN ACCORDANCE WITH ELECTRIC COMPANY, AND PHONE COMPANY STANDARDS. GALVANIZED STEEL ELECTRICAL CONDUIT SHALL BE USED AT POLE AND TRANSFORMER LOCATIONS. INSTALL HANDHOLES AS REQUIRED. INSTALL CONCRETE ENCASEMENT ON PRIMARY ELECTRIC CONDUITS IF REQUIRED BY ELECTRIC COMPANY.
 25. ALL WATER LINES TO HAVE A MINIMUM COVER OF 54-INCHES. ALL LINES SHALL BE BEDDED IN 6" SAND AND BACKFILLED WITH 12" SAND.
 26. ALL WATER MAINS, WATER SERVICES AND SANITARY SEWER LATERAL SHALL CONFORM TO THE DEPARTMENT OF ENVIRONMENTAL HEALTH, APPLICABLE TOWN OF ELLINGTON WATER & SEWER DEPARTMENT SPECIFICATIONS, AS WELL AS TO OTHER APPLICABLE CODES AND SPECIFICATIONS FOR POTABLE WATER SYSTEMS.
 27. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, ENGINEER, UTILITY PROVIDER AND APPROPRIATE REGULATORY AGENCIES PRIOR TO INSTALLATION.
 28. THE CONTRACTOR SHALL MAINTAIN ALL UTILITY CONNECTIONS TO EXISTING ADJUTING HOUSES & COMMERCIAL BUILDINGS WITHOUT INTERRUPTION UNLESS/UNTIL AUTHORIZED TO DISCONNECT BY THE OWNERS, THE PROJECT ENGINEER, UTILITY PROVIDER AND GOVERNING AUTHORITIES.
 29. ANY EXISTING POTABLE WATER WELLS AND SEPTIC TANKS/ABSORPTION AREAS SHALL BE ABANDONED AND REMOVED PER THE DEPARTMENT OR ENVIRONMENTAL PROTECTION AND HEALTH CODE REQUIREMENTS.
 30. THE CONTRACTOR MAY SUBSTITUTE MASONRY STRUCTURES FOR PRECAST STRUCTURES IF APPROVED BY THE SITE ENGINEER AND ALLOWED BY THE TOWN ENGINEER OR BY GOVERNING AUTHORITY.
 31. THE APPROVED SEWER CAPACITY FOR THE SUBJECT RETAIL BUILDING IS 1,064 GALLONS PER DAY.

POST CONSTRUCTION STORM WATER POLLUTION PLAN

- RESPONSIBLE PARTIES AND STORMWATER MANAGEMENT SYSTEM OWNER:
CALITO DEVELOPMENT GROUP
ATTN: MATT EUCLAITO
59 FIELD STREET, TORRINGTON, CT 06790
PHONE: 860-290-5825
- THE FOLLOWING PROCEDURES WILL BE IMPLEMENTED CONTINUALLY BY THE OWNER:
1. PAVEMENT SWEEPING: PARKING LOTS AND DRIVES SHALL BE SWEEPED A MINIMUM OF TWICE A YEAR (SPRING AND FALL)
 2. CATCH BASINS: CATCH BASINS SHALL BE INSPECTED ON A REGULAR BASIS (AT LEAST TWICE PER YEAR) AND ANY SEDIMENT, OILS & FLOATABLES WILL BE REMOVED AS NECESSARY (A MINIMUM OF ONCE A YEAR TO ENSURE FUNCTIONING OF THE SYSTEM, UTILIZING A VACUUM TRUCK)
 3. THE COLLECTION SYSTEM PIPES SHALL BE AT SIX-MONTH INTERVALS. REGULAR MAINTENANCE INCLUDES THE FOLLOWING ITEMS:
-INSPECTION OF THE OUTLET TO ENSURE THEY ARE NOT BLOCKED.
-CHECKING THE OUTLETS FROM THE DRAINAGE SYSTEM IS CLEAR AND NOT ERODING.
-REMOVING PAPER AND DEBRIS FROM INSIDE THE BASIN.
 4. THE SEDIMENT FOREBAY SHALL BE INSPECTED A MINIMUM OF EVERY SIX MONTHS IN THE MONTHS OF APRIL AND OCTOBER. IF TRASH, DEBRIS, SEDIMENT DEPOSITS, ECT. SHALL BE NOTED AND ANY DEPOSITS FOUND TO BE 4 INCHES OR MORE. AS MEASURED FROM THE BOTTOM OF THE FOREBAY SHALL BE CLEANED AND REMOVED, ANY DEBRIS OR TRASH, ECT. SHALL BE REMOVED DURING NORMAL LANDSCAPE MAINTENANCE OPERATIONS. BARE AREAS SHALL BE SEEDED.
 5. STORMWATER QUALITY BASIN SLOPES SHALL BE MOWED ONCE A YEAR. MORE FREQUENT MOWING WILL ELIMINATE NATIVE FORBS SEEDS FROM THE MEADOW COVER.
 6. LANDSCAPING: LANDSCAPED AREAS WILL BE MAINTAINED. NORMAL LANDSCAPING MAINTENANCE WILL CONSIST OF PRUNING, MULCHING, PLANTING MOWING LAWNS, RAKING LEAVES, ECT.. USE OF FERTILIZERS AND PESTICIDE WILL BE CONTROLLED AND LIMITED TO MINIMAL AMOUNTS NECESSARY FOR HEALTHY LANDSCAPE MAINTENANCE. THE LAWN AREAS, ONCE ESTABLISHED, WILL BE MAINTAINED AT A TYPICAL HEIGHT OF 3 1/2", THIS WILL ALLOW THE GRASS TO BE MAINTAINED WITH A MINIMAL IMPACT FROM WEEDS AND/OR PEST. THE REAR (EASTERLY) SLOPE AREAS WILL BE MAINTAINED AS A MEADOW OR ALLOWED TO REVERT BACK TO WOODLANDS. PESTICIDE WILL ONLY BE USED AS A CONTROL METHOD WHEN A PROBLEM HAS BEEN IDENTIFIED AND OTHER NATURAL CONTROL METHODS ARE NOT SUCCESSFUL. ALL PESTICIDE APPLICATION SHALL BE BY LICENSED APPLICATORS, WHERE NECESSARY. TOPSOIL, BRUSH, LEAVES, CHIPPINGS, MULCH, EQUIPMENT, AND OTHER MATERIALS SHALL BE STORED OFF SITE.
 7. MAINTAIN EXISTING NATIVE VEGETATION: EXISTING VEGETATION ALONG THE EASTERLY EDGE OF THE DEVELOPMENT, ADJACENT TO THE WETLANDS SHALL REMAIN IN ITS NATIVE CONDITIONS NO CLEARING, GRAOING, STOOKPLING, STORAGE, OR DEVELOPMENT WILL OCCUR IN THESE AREAS WITHOUT PRIOR APPROVAL FROM THE APPROPRIATE AGENCIES.
 8. TRASH COLLECTION: ALL TRASH WILL BE CONTAINED IN DUMPSTERS. ALL DUMPSTERS WILL BE EQUIPPED WITH COVERS. ALL TRASH WILL BE COLLECTED ON A REGULAR BASIS AND DISPOSED OF LEGALLY OFF-SITE.
 9. OUTDOOR STORAGE: THERE WILL BE NO OUTDOOR OF HAZARDOUS CHEMICALS, FERTILIZER, PESTICIDES, OR HERBICIDE'S ANYWHERE AT THE FACILITY.
 10. THE OWNER SHALL BE KEEP AN ON-SITE LOG OF STORMWATER MAINTENANCE MEASURES PERFORMED AND DATES THEY WERE IMPLEMENTED. THIS LOG BOOK SHALL BE AVAILABLE FOR THE TOWN OF ELLINGTON INSPECTION. CHECKLIST ENTITLED "STORMWATER PONDS AND WETLANDS" IN APPENDIX E OF THE 2004 STORMWATER QUALITY MANUAL SHALL BE USED TO LOG THE INSPECTION. CHECKLIST CAN BE FOUND ON SHEET #13 OF THE PLAN SET.

State of Connecticut Department of Transportation - 817 CONSTRUCTION NOTES

817 CONSTRUCTION NOTES

Removal of pavement markings along state roadways shall be completed by a non-destructive method in compliance with the State of Connecticut Department of Transportation Standard Specifications for Roads, Bridges, and Incidental Construction Form 817 Section 12.11 as revised.

New pavement markings shall be painted with epoxy resin paint in compliance with the State of Connecticut Department of Transportation Standard Specifications for Roads, Bridges, and Incidental Construction Form 817 Section 12.10 as revised.

New sign material and sheeting shall be made of reflective material in compliance with State of Connecticut Department of Transportation Standard Specifications for Roads, Bridges, and Incidental Construction Form 817 Section 12.08 as revised. Type 1 Reflective Sheeting shall be used for signs with white background, Type 3 Reflective Sheeting shall be used for signs with colored background except for signs with red background that shall be Type 8 or 9 Reflective Sheeting.

All signs and pavement markings installed along the state road must conform to the "Manual on Uniform Traffic Control Devices," the latest State of Connecticut Catalog of Signs and standard as revised.

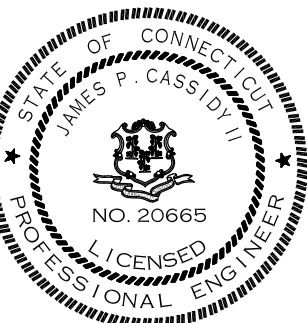
Any damage to the existing curb, sidewalk or any other highway appurtenances during the development of the permitted site will be replaced by the contractor as directed by the District 3 Permit Section at no cost to the state.

All work within the state right of way will comply with the State of Connecticut Department of Transportation Standard Specifications for Roads, Bridges and Incidental Construction Form 817 with the latest Special Provisions and Typical State Standard Details.

GENERAL SITE NOTES
PREPARED FOR
CALITO DEVELOPMENT GROUP
PROPERTY LOCATED AT
WEST ROAD (RT. #83)
ELLINGTON, CONNECTICUT

HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROWELL, CONNECTICUT 06416
PHONE: (860)-529-6812, FAX: (860)-721-7709

SCALE: 1"=40'	CHECKED BY: JPC
DATE: NOV. 20, 2024	DRAWN BY: JMP
JOB No.: 3486	ACAD FILE: 3486-GEN-0107
SHEET: 7	OF: 18
REVISIONS: DEC. 17, 2024 PER TOWN COMMENT JAN. 23, 2025 PER ENGINEER COMMENT MAR. 12, 2025 PER WPCA COMMENT MAR. 18, 2025 PER CT DOT COMMENT	



EROSION CONTROL NOTES

SEDIMENT & EROSION CONTROL NARRATIVE

THE SEDIMENT AND EROSION CONTROL PLAN WAS DEVELOPED TO PROTECT THE EXISTING ROADWAY AND STORM DRAINAGE SYSTEMS, ADJACENT PROPERTIES, AND THE WETLAND AREA FROM SURFACE RUNOFF AND EROSION. A CONSTRUCTION SEQUENCE IS PROVIDED TO PROVIDE SURFACE RUNOFF CONTROLS PRIOR TO THE PROJECT CONSTRUCTION BEGINNING.

CONSTRUCTION SCHEDULE

THE ANTICIPATED STARTING DATE FOR CONSTRUCTION IS WINTER 2024. WITH COMPLETION ANTICIPATED FALL 2025. APPROPRIATE EROSION CONTROL MEASURES AS DESCRIBED HEREIN, SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF ALL CONSTRUCTION ACTIVITY.

CONTINGENCY EROSION PLAN

THE CONTRACTOR SHALL INSTALL ALL SPECIFIED EROSION CONTROL MEASURES AND WILL BE REQUIRED TO MAINTAIN THEM IN THEIR INTENDED FUNCTIONING CONDITION. THE AGENTS OF THE DIRECTOR OF PLANNING & DEVELOPMENT, INLAND WETLANDS AGENCY AND/OR SITE ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SUPPLEMENTAL MAINTENANCE OR ADDITIONAL MEASURES IF FIELD CONDITIONS ARE ENCOUNTERED BEYOND WHAT WOULD NORMALLY BE ANTICIPATED.

CONSTRUCTION SEQUENCE

THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:

- CONTACT TOWN OF ELLINGTON AGENT AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO COMMENCEMENT OF ANY DEMOLITION, CONSTRUCTION OR REGULATED ACTIVITY ON THE PROJECT. A PRE-CONSTRUCTION MEETING WITH LOCAL AND/OR STATE OFFICIALS NEEDS TO BE HELD PRIOR TO THE START OF CONSTRUCTION.
- CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE TOWN OF ELLINGTON AGENT PRIOR TO THE START OF WORK ON THE SITE. INSTALL TREE PROTECTION AND PERIMETER SILT FENCE & HAY BALE SEDIMENT BARRIERS.
- CONSTRUCT TRACKING PADS AT ENTRANCES AND WRAP FILTER FABRIC AROUND GRATE OF CATCH BASINS OR INSTALL SILT SACKS ON CATCH BASIN INLETS ON OFF SITE ROADS. INSTALL SILT FENCE AT PERIMETER OF PROPOSED SITE DISTURBANCE AND INSTALL ALL EROSION CONTROL MEASURES AND TREE PROTECTION INDICATED ON THESE PLANS. INSTALL SEDIMENT TRAPS AND INSTALL SEDIMENT BASINS IN REQUIRED AT LOW AREAS OF SITE OR AS ORDERED BY THE ENGINEER OR AS SHOWN ON THESE PLANS.
- CLEAR AND GRUB SITE. STOCK PILE CHIPS. STRIP AND STOCKPILE TOPSOIL.
- INSTALL ADDITIONAL SILT FENCE AS REQUIRED, CONSTRUCT TEMPORARY DIVERSION BERMS AND AND SEDIMENT TRAPS.
- CONTINUE EARTHWORK. CONSTRUCT FILL SLOPE. INSTALL ADDITIONAL EROSION CONTROL AS REQUIRED. TOPSOIL AND SEED SLOPES WHICH HAVE ACHIEVED FINAL SITE GRADING.
- CONSTRUCTION STAKING OF ALL BUILDING CORNERS, UTILITIES, ACCESS DRIVES, AND PARKING AREAS.
- ROUGH GRADING.
- CONSTRUCT STORM WATER QUALITY BASIN AND FINAL OUTLET.
- INSTALLATION OF STORM DRAINAGE.
- FOUNDATION CONSTRUCTION. BEGIN SUPERSTRUCTURE.
- REMOVE SEDIMENT FROM BEHIND SILT FENCES, AND FROM SEDIMENTATION BASINS AS REQUIRED. REMOVAL SHALL BE ON A PERIODIC BASIS (EVERY SIGNIFICANT RAINFALL). INSPECTION OF EROSION CONTROL MEASURES SHALL BE ON A WEEKLY BASIS. SEDIMENT COLLECTED SHALL BE DEPOSITED AND SPREAD EVENLY UPLAND ON SLOPES DURING CONSTRUCTION.
- INSTALL SEPTIC, WELL AND ALL OTHER UTILITIES. COMPLETE STORM SEWERS.
- INSTALL SITE LIGHTING, LOADING AREA AND TRASH ENCLOSURE.
- FINISH GRADING AND CONSTRUCT PARKING AREA SUBGRADE.
- CONSTRUCT SIDEWALKS.
- PAVING OF PARKING AREAS AND DRIVEWAYS
- FINAL GRADING OF SLOPE AREAS.
- PLACE 4" TOPSOIL ON SLOPES AFTER FINAL GRADING IS COMPLETED. FERTILIZE SEED AND MULCH. SEED MIXTURE TO BE INSTALLED APRIL 11 TO JUNE 1 OR AUGUST 15 TO OCTOBER 1 USE EROSION CONTROL BLANKETS AS REQUIRED OR ORDERED FOR SLOPES GREATER THAN 3:1. FOR TEMPORARY STABILIZATION BEYOND SEEDING DATES USE ANNUAL RYE AT 4.0 LBS/1,000 S.F. FERTILIZE WITH 10-10-10 AT 1.0 LBS. OF NITROGEN PER 1,000 S.F. AND LIME AT 100 LBS/1,000 S.F. (MAX.).
- LANDSCAPE ISLANDS AND PERIMETER AREAS. INSTALL SIGNING AND PAVEMENT MARKINGS.
- UPON DIRECTION OF THE TOWN OF ELLINGTON AGENT, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED FOLLOWING STABILIZATION OF THE SITE.

SEQUENCE OF OPERATIONS

OPERATION I – CLEARING AND GRUBBING

- ALL SEDIMENTATION AND EROSION CONTROL MEASURES, INCLUDING THE CONSTRUCTION OF THE TEMPORARY SEDIMENT TRAPS AND ANTI-TRACKING PADS, WILL BE INSTALLED PRIOR TO THE START OF CLEARING AND GRUBBING AND DEMOLITION OPERATIONS.
- FOLLOWING INSTALLATION OF ALL SEDIMENTATION AND EROSION CONTROL MEASURES, THE CONTRACTOR SHALL NOT PROCEED WITH OPERATION II UNTIL THE ENGINEER HAS INSPECTED AND APPROVED ALL INSTALLATIONS.
- THE CONTRACTOR SHALL TAKE EXTREME CARE DURING OPERATION I, SO AS NOT TO DISTURB UNPROTECTED WETLAND AREAS OR SEDIMENTATION AND EROSION CONTROL STRUCTURES.

OPERATION II – ROUGH GRADING

- DURING THE REMOVAL AND/OR PLACEMENT OF EARTH AS INDICATED ON THE SITE PLAN, TOPSOIL SHALL BE STRIPPED AND APPROPRIATELY STOCKPILED FOR REUSE.
- ALL STOCKPILED TOPSOIL SHALL BE SEEDED, MULCHED WITH HAY, AND ENCLOSED BY A SILTATION FENCE.

OPERATION III – FILLING

- PRIOR TO FILLING, ALL SEDIMENTATION AND EROSION CONTROL STRUCTURES SHALL BE PROPERLY IMPLEMENTED, MAINTAINED AND FULLY INSTALLED, AS DIRECTED BY THE ENGINEER AND AS SHOWN ON THE PLAN.
- ALL FILL MATERIAL ADJACENT TO ANY WETLAND AREAS SHALL BE GOOD QUALITY, WITH LESS THAN 5% FINES PASSING THROUGH A #200 SIEVE (BANK RUN), SHALL BE PLACED IN MAXIMUM ONE FOOT LIFTS, AND SHALL BE COMPACTED TO 95% MAX. DRY DENSITY MODIFIED PROCTOR OR AS SPECIFIED IN CONTRACT SPECIFICATIONS.
- AS GENERAL GRADING OPERATIONS PROGRESS, THE TEMPORARY DIVERSION DITCHES SHALL BE RAISED OR LOWERED, AS NECESSARY, TO DIVERT SURFACE RUNOFF TO THE BASINS.

OPERATION IV – PLACEMENT OF DRAINAGE STRUCTURES, UTILITIES, AND BUILDING CONSTRUCTION.

- STAKED SILT FENCES SHALL BE INSTALLED AT THE DOWNHILL SIDES OF BUILDING EXCAVATIONS, DEWATERING PUMP DISCHARGES, AND UTILITY TRENCH MATERIAL STOCKPILES.

OPERATION V – FINAL GRADING AND PAVING

- ALL INLET AND OUTLET PROTECTION SHALL BE PLACED AND MAINTAINED AS DISCUSSED IN OPERATION IV.
- NO CUT OR FILL SLOPES SHALL EXCEED 2:1 EXCEPT WHERE STABILIZED BY ROCK FACED EMBANKMENTS OR EROSION CONTROL BLANKETS, JUTE MESH AND VEGETATION. ALL SLOPES SHALL BE SEEDED, AND THE ROAD SHOULDER AND BANKS WILL BE STABILIZED IMMEDIATELY UPON COMPLETION OF FINAL GRADING UNTIL TURF IS ESTABLISHED.
- PAVEMENT BASE COURSES SHALL BE INSTALLED OVER AREAS TO BE PAVED AS SOON AS FINAL SUB-GRADES ARE ESTABLISHED AND UNDERGROUND UTILITIES HAVE BEEN INSTALLED.
- CONSTRUCT PAVEMENT, PLACE TOPSOIL, FINAL SEED, MULCH AND LANDSCAPING.
- REMOVE ALL TEMPORARY EROSION CONTROL DEVICES ONLY AFTER ALL AREAS HAVE BEEN PAVED AND/OR GRASS HAS BEEN WELL ESTABLISHED AND THE SITE HAS BEEN INSPECTED AND APPROVED BY THE TOWN OR GOVERNING WETLAND AGENCY.

SEQUENCE FOR INSTALLATION OF SOIL EROSION

& SEDIMENTATION CONTROL MEASURES

- ERECT SILTATION FENCES, SEDIMENT TRAPS, DIVERSION DITCHES, AND ANTI-TRACKING PAD.
- STRIP TOPSOIL AND STOCKPILE.
- PERFORM CLEARING AND GRUBBING ACTIVITIES, AND DEMOLITION.
- STABILIZE STOCK PILE.
- INSPECT AND MAINTAIN SEDIMENTATION AND EROSION CONTROL STRUCTURES.
- ROUGH GRADING.
- INSPECT AND MAINTAIN SEDIMENTATION AND EROSION CONTROL STRUCTURES.
- PERFORM FILLING ACTIVITIES.
- INSPECT AND MAINTAIN SEDIMENTATION AND EROSION CONTROL STRUCTURES.
- CONSTRUCT DRAINAGE STRUCTURES. CONSTRUCT DIVERSION BERMS, RIP RAPPED LINED DITCHES AND SEDIMENTATION BASINS.
- INSPECT AND MAINTAIN SEDIMENTATION AND EROSION CONTROL STRUCTURES.
- PERFORM FINAL GRADING AND PAVING.
- INSPECT AND MAINTAIN SEDIMENTATION AND EROSION CONTROL STRUCTURES.
- RESPREAD TOPSOIL.
- LIME, FERTILIZE, AND SEED.
- MULCH.
- FINAL COVER.
- MAINTAIN SILTATION FENCES UNTIL COVER IS COMPLETELY STABILIZED.
- PERFORM FINAL INSPECTION.
- REMOVE SILTATION FENCES, CLEAN, AND RESTORE ALL AREAS.

INSTALLATION OF SEDIMENTATION AND

EROSION CONTROL MEASURES

- SILTATION FENCE
 - DIG A SIX INCH TRENCH ON THE UPHILL SIDE OF THE DESIGNATED FENCE LINE LOCATION.
 - POSITION THE POST AT THE BACK OF THE TRENCH (DOWNHILL SIDE), AND HAMMER THE POST AT LEAST 1.5 FEET INTO THE GROUND.
 - LAY THE BOTTOM SIX INCHES OF THE FABRIC IN THE TRENCH TO PREVENT UNDERMINING BY STORM WATER RUN-OFF.
- BACKFILL THE TRENCH AND COMPACT.

OPERATION AND MAINTENANCE OF SEDIMENTATION AND EROSION CONTROL MEASURES

- SILTATION FENCE
 - ALL SILTATION FENCES SHALL BE INSPECTED AS A MINIMUM WEEKLY OR AFTER EACH RAINFALL. ALL DETERIORATED FABRIC AND DAMAGED POSTS SHALL BE REPLACED AND PROPERLY REPOSITIONED IN ACCORDANCE WITH THE PLAN.
- SEDIMENT DEPOSITS SHALL BE REMOVED FROM BEHIND THE FENCE WHEN THEY EXCEED A HEIGHT OF ONE FOOT.
- SEDIMENT TRAPS/BASINS
 - CONTRACTOR TO KEEP WEEKLY CHECKLIST LOGS FOR INSPECTIONS OF ALL SEDIMENT AND EROSION CONTROL DEVICES AND HAVE THEM READILY AVAILABLE ON-SITE AT ALL TIMES FOR INSPECTION BY DEEP, LOCAL AUTHORITIES OR ENGINEER.
 - ALL PONDS SHALL BE INSPECTED FOLLOWING EACH RAINFALL. REPAIR OF SLOPES SHALL BE PROMPTLY MADE AS NEEDED.
 - SEDIMENT DEPOSITS SHALL BE REMOVED FROM PONDS WHEN THEY EXCEED A HEIGHT OF ONE FOOT.
 - SEDIMENT SHALL BE DISPOSED OF ON-SITE OR AS DIRECTED BY THE ENGINEER AND LOCAL GOVERNING OFFICIALS.

EROSION AND SEDIMENT CONTROL PLAN

- SILTATION FENCE WILL BE INSTALLED AT ALL CULVERT OUTLETS AND ALONG THE TOE OF ALL CRITICAL CUT AND FILL SLOPES.
- CATCH BASINS WILL BE PROTECTED WITH SILT SACKS OR HAY BALES THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
- ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
- EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO CONSTRUCTION WHENEVER POSSIBLE.
- ALL CONTROL MEASURES WILL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
- ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PERIOD, IF NECESSARY OR REQUIRED.
- SEDIMENT REMOVED FROM CONTROL STRUCTURES WILL BE DISPOSED IN A MANNER WHICH IS CONSISTENT WITH THE INTENT OF THE PLAN.
- CALITO DEVELOPMENT GROUP IS THE PERMITEE RESPONSIBLE FOR IMPLEMENTING THE EROSION AND SEDIMENT CONTROL PLAN. THE RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, NOTIFICATION OF THE ELLINGTON WETLANDS ENFORCEMENT OFFICER OR GOVERNING AUTHORITY OF THE TRANSFER OF THE RESPONSIBILITY AND FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.

EROSION AND SEDIMENT CONTROL PLAN SEDIMENT AND EROSION CONTROL NOTES

- THE DRAWING IS ONLY INTENDED TO DESCRIBE THE SEDIMENT AND EROSION CONTROL TREATMENT FOR THE SITE. SEE SEDIMENT AND EROSION CONTROL DETAILS AND CONSTRUCTION SEQUENCE. REFER TO SITE PLAN FOR GENERAL INFORMATION AND OTHER PLANS FOR APPROPRIATE INFORMATION.
- CALITO DEVELOPMENT GROUP IS THE PERMITEE RESPONSIBLE FOR IMPLEMENTING THE SEDIMENT AND EROSION CONTROL PLAN. THE RESPONSIBILITY INCLUDES THE PROPER INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED WITH CONSTRUCTION ON THE SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, INFORMING THE GOVERNING AUTHORITY OR INLAND WETLANDS AGENCY OF ANY TRANSFER OF THE RESPONSIBILITY, AND FOR CONVEYING A COPY OF THE SEDIMENT & EROSION CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.
- THE CONTRACTOR SHALL CONSTRUCT ALL SEDIMENT AND EROSION CONTROLS IN ACCORDANCE WITH THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, LATEST EDITION IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, AND AS DIRECTED BY THE TOWN OF ELLINGTON. THE CONTRACTOR SHALL KEEP A COPY OF THE GUIDELINES ON-SITE FOR REFERENCE DURING CONSTRUCTION.
- ADDITIONAL AND/OR ALTERNATIVE SEDIMENT AND EROSION CONTROL MEASURES MAY BE INSTALLED DURING THE CONSTRUCTION PERIOD IF FOUND NECESSARY BY THE CONTRACTOR, OWNER, SITE ENGINEER, TOWN OFFICIALS, OR ANY GOVERNING AGENCY. THE CONTRACTOR SHALL CONTACT THE OWNER AND APPROPRIATE GOVERNING AGENCIES FOR APPROVAL IF ALTERNATIVE CONTROLS OTHER THAN THOSE SHOWN ON THE PLANS ARE PROPOSED.
- THE CONTRACTOR SHALL KEEP A SUPPLY OF EROSION CONTROL MATERIAL (SILT FENCE, JUTE MESH, ETC.) ON-SITE FOR MAINTENANCE AND EMERGENCY REPAIRS.
- PROTECT EXISTING TREES THAT ARE TO BE SAVED BY FENCING AT THE DRIP LINE OR AS SHOWN WITH SNOW FENCE. GRADGE SAFETY FENCE, OR EQUIVALENT FENCING. ANY LIMB TRIMMING SHOULD BE DONE BEFORE CONSTRUCTION BEGINS IN THAT AREA; FENCING SHALL BE MAINTAINED AND REPAIRED DURING CONSTRUCTION.
- INSTALL PERIMETER SEDIMENT CONTROLS PRIOR TO CLEARING OR CONSTRUCTION. ALL CONSTRUCTION SHALL BE CONTAINED WITHIN THE LIMIT OF DISTURBANCE, WHICH SHALL BE MARKED WITH SILT FENCE, SAFETY FENCE, RIBBONS, OR OTHER MEANS PRIOR TO CLEARING. CONSTRUCTION ACTIVITY SHALL REMAIN ON THE UPHILL SIDE OF THE SILT FENCE UNLESS WORK IS SPECIFICALLY CALLED FOR ON THE DOWNHILL SIDE OF THE FENCE.
- ANTI-TRACKING PADS SHALL BE INSTALLED AT START OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION. THE LOCATION OF THE TRACKING PADS MAY CHANGE AS VARIOUS PHASES OF CONSTRUCTION ARE COMPLETED.
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING. ALL EARTH STOCKPILES SHALL HAVE SILT FENCE AROUND THE LIMIT OF PILE. PILES SHALL BE TEMPORARILY SEEDED IF PILE IS TO REMAIN IN PLACE FOR MORE THAN 2 MONTHS.
- SEDIMENTATION BASINS SHALL PROVIDE 134 CUBIC YARDS OF SEDIMENT STORAGE PER DISTURBED ACRE CONTRIBUTING TO THE BASIN. PROVIDE BASIN VOLUMES FOR ALL DISTURBANCE ON SITE.
- COMPLY WITH REQUIREMENTS OF CGS SECTION 22A, 430B FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES AND WITH DEEP RECORD KEEPING AND INSPECTION REQUIREMENTS.
- MINIMIZE LAND DISTURBANCES. SEED AND MULCH DISTURBED AREAS WITH TEMPORARY MIX AS SOON AS PRACTICABLE (2 WEEK MAXIMUM UNSTABILIZED PERIOD) USING PERENNIAL RYEGRASS AT 40 LBS PER ACRE. MULCH ALL CUT AND FILL SLOPES AND SWALES WITH LOOSE HAY AT A RATE OF 2 TONS PER ACRE. IF NECESSARY, REPLACE LOOSE HAY ON SLOPES WITH EROSION CONTROL BLANKETS OR JUTE CLOTH. MODERATELY GRADED AREAS, ISLANDS, AND TEMPORARY CONSTRUCTION STAGING AREAS MAY BE HYDROSEEDED WITH TACKIFIER.
- SILT FENCE AND OTHER SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH DRAWINGS AND MANUFACTURER'S RECOMMENDATIONS PRIOR TO WORK IN ANY UPLAND AREAS.
- EXCAVATED MATERIAL FROM TEMPORARY SEDIMENT TRAPS MUST BE STOCKPILED ON UPHILL SIDE OF SILT FENCE.
- INSTALL SILT FENCE ACCORDING TO MANUFACTURER'S INSTRUCTION, PARTICULARLY, BURY LOWER EDGE OF FABRIC INTO GROUND. SILT FENCE SHALL BE MIRAFI ENVIROFENCE, AMOCO SILT STOP OR EQUIVALENT APPROVED BY SITE ENGINEER. FILTER FABRIC USED SHALL BE MIRAFI TOXO OR EQUIVALENT.
- INSTALL TEMPORARY DIVERSION DITCHES, PLUNGE POOLS, SEDIMENT BASINS, SEDIMENT TRAPS AND DEWATERING PITS AS SHOWN AND AS NECESSARY DURING VARIOUS PHASES OF CONSTRUCTION TO CONTROL RUNOFF UNTIL UPHILL AREAS ARE STABILIZED. LOCATION OF TEMPORARY SEDIMENT BASINS WILL REQUIRE REVIEW AND APPROVAL BY THE ENGINEER AND GOVERNING OFFICIAL.
- DIRECT ALL DEWATERING PUMP DISCHARGE TO A SEDIMENT CONTROL DEVICE SUCH AS TEMPORARY PITS, SEDIMENT BASINS OR GRASS FILTERS WITHIN THE APPROVED LIMIT OF DISTURBANCE. DISCHARGE TO STORM SEWERS OR SURFACE WATERS FROM SEDIMENT CONTROLS SHALL BE CLEAR.
- BLOCK THE OPEN UPSTREAM ENDS OF DETENTION PIPE SYSTEM OUTLET ORIFICE UNTIL SITE IS STABILIZED AND BLOCK END OF STORM SEWERS IN EXPOSED TRENCHES WITH BOARDS AND SANDBAGS AT THE END OF EACH WORKING DAY WHEN RAIN IS EXPECTED.
- SWEEP AFFECTED PORTIONS OF OFF SITE ROADS ONE OR MORE TIMES A DAY (OR LESS FREQUENTLY IF TRACKING IS NOT A PROBLEM) DURING CONSTRUCTION. OTHER DUST CONTROL MEASURES TO BE USED AS NECESSARY INCLUDES WATERING DOWN DISTURBED AREAS, USING CALCIUM CHLORIDE, AND COVERING LOADS ON DUMP TRUCKS.
- PERIODICALLY CHECK ACCUMULATED SEDIMENT LEVELS IN THE SEDIMENT TRAPS DURING CONSTRUCTION AND CLEAN ACCUMULATED SILT WHEN NECESSARY OR WHEN ONE FOOT OF SEDIMENT HAS ACCUMULATED. CLEAN ACCUMULATED SEDIMENT FROM CATCH BASIN SUMPS AS NECESSARY. REMOVE ACCUMULATED SEDIMENT FROM BEHIND SILT FENCE WHEN LEVEL REACHES HALF THE HEIGHT OF THE FENCE. DISPOSE OF SEDIMENT LEGALLY EITHER ON SITE IN NON-WETLANDS AREAS.
- MAINTAIN ALL PERMANENT AND TEMPORARY SEDIMENT CONTROL DEVICES IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. UPON COMPLETION OF WORK SWEEP PARKING LOT AND REMOVE ALL TEMPORARY SEDIMENT CONTROLS WHEN AUTHORIZED BY LOCAL GOVERNING AUTHORITY.
- THE PARTY RESPONSIBLE FOR THE EROSION AND SEDIMENT CONTROL MEASURES IS:
CALITO DEVELOPMENT GROUP
ATTN: MATT EUCALITTO
59 FIELD STREET, TORRINGTON, CT 06790
PHONE: 860-280-5825
- IF WIND EROSION OCCURS, THEN GROUND SHALL BE COVERED WITH CALCIUM CHLORIDE OR WATER TRACK APPLICATIONS AS REQUIRED TO CORRECT THE PROBLEM.

EROSION & SEDIMENT CONTROL NOTES

PREPARED FOR
CALITO DEVELOPMENT GROUP
PROPERTY LOCATED AT
WEST ROAD (RT. #83)
ELLINGTON, CONNECTICUT



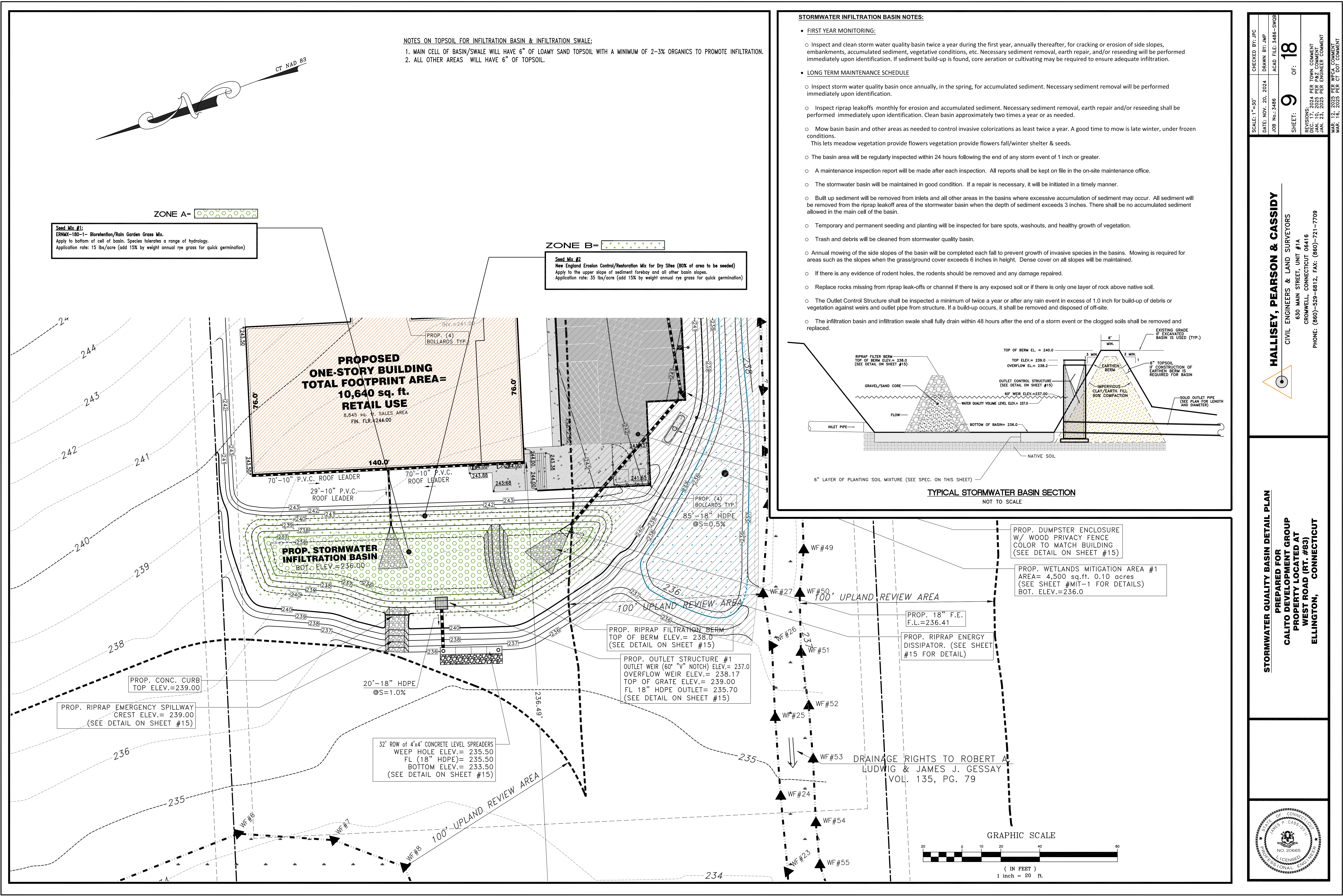
HALLISEY, PEARSON & CASSIDY

CIVIL ENGINEERS & LAND SURVEYORS

630 MAIN STREET, UNIT #1A
CROWELL, CONNECTICUT 06416

PHONE: (860)-529-6812, FAX: (860)-721-7709

SCALE: 1"=40'	CHECKED BY: JPC
DATE: NOV. 20, 2024	DRAWN BY: JMP
JOB No.: 3486	ACAD FILE: 3486-ES-1
SHEET: 8	OF: 18
REVISIONS: DEC. 17, 2024 PER TOWN COMMENT JAN. 13, 2025 PER ENGINEER COMMENT JAN. 23, 2025 PER ENGINEER COMMENT	
MAR. 12, 2025 PER WPCA COMMENT MAR. 18, 2025 PER CT DOT COMMENT	



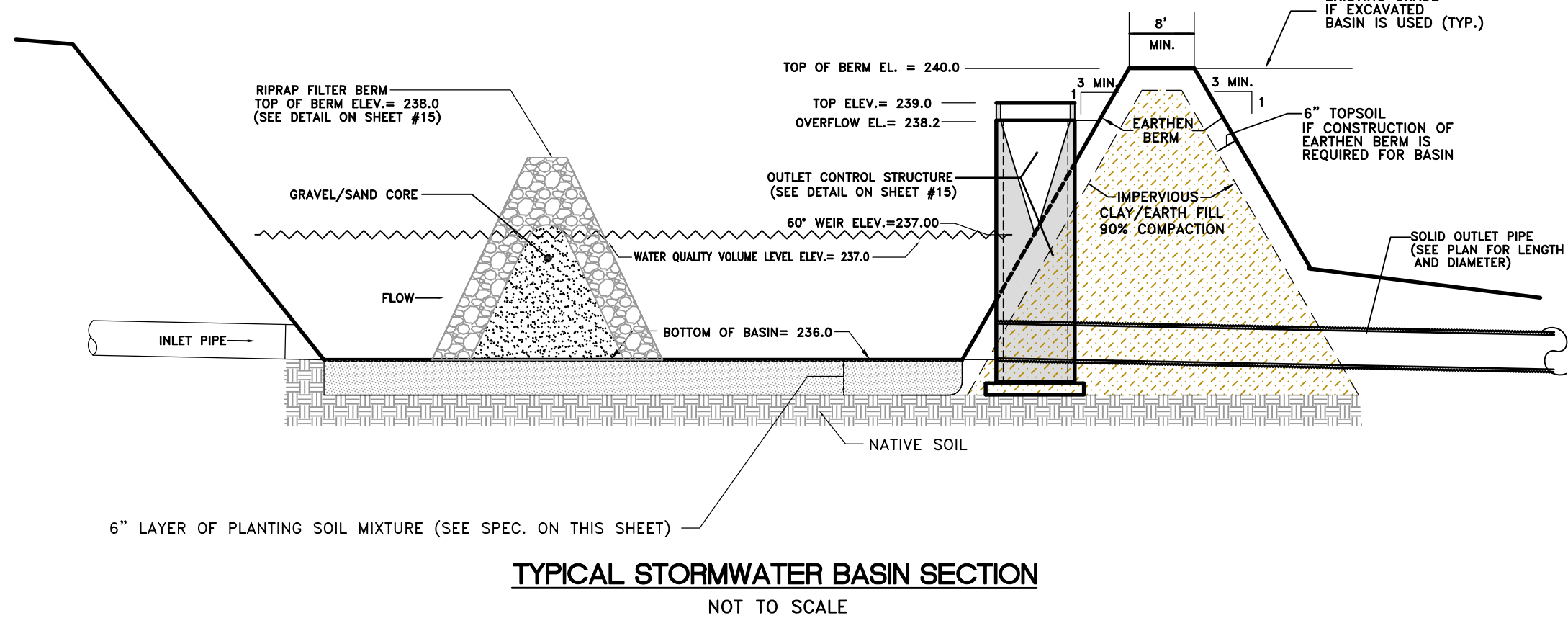
NOTES ON TOPSOIL FOR INFILTRATION BASIN & INFILTRATION SWALE:
1. MAIN CELL OF BASIN/SWALE WILL HAVE 6" OF LOAMY SAND TOPSOIL WITH A MINIMUM OF 2-3% ORGANICS TO PROMOTE INFILTRATION.
2. ALL OTHER AREAS WILL HAVE 6" OF TOPSOIL.

Seed Mix #1:
ERNMX-180-1- Bioretention/Rain Garden Grass Mix.
Apply to bottom of cell of basin. Species tolerates a range of hydrology.
Application rate: 15 lbs/acre (add 15% by weight annual rye grass for quick germination)

Seed Mix #2:
New England Erosion Control/Restoration Mix for Dry Sites (80% of area to be seeded)
Apply to the upper slope of sediment forebay and all other basin slopes.
Application rate: 35 lbs/acre (add 15% by weight annual rye grass for quick germination)

STORMWATER INFILTRATION BASIN NOTES:

- FIRST YEAR MONITORING:
 - Inspect and clean storm water quality basin twice a year during the first year, annually thereafter, for cracking or erosion of side slopes, embankments, accumulated sediment, vegetative conditions, etc. Necessary sediment removal, earth repair, and/or reseedling will be performed immediately upon identification. If sediment build-up is found, core aeration or cultivating may be required to ensure adequate infiltration.
- LONG TERM MAINTENANCE SCHEDULE
 - Inspect storm water quality basin once annually, in the spring, for accumulated sediment. Necessary sediment removal will be performed immediately upon identification.
 - Inspect riprap leakoffs monthly for erosion and accumulated sediment. Necessary sediment removal, earth repair and/or reseedling shall be performed immediately upon identification. Clean basin approximately two times a year or as needed.
 - Mow basin and other areas as needed to control invasive colorizations as least twice a year. A good time to mow is late winter, under frozen conditions.
This lets meadow vegetation provide flowers vegetation provide flowers fall/winter shelter & seeds.
 - The basin area will be regularly inspected within 24 hours following the end of any storm event of 1 inch or greater.
 - A maintenance inspection report will be made after each inspection. All reports shall be kept on file in the on-site maintenance office.
 - The stormwater basin will be maintained in good condition. If a repair is necessary, it will be initiated in a timely manner.
 - Built up sediment will be removed from inlets and all other areas in the basins where excessive accumulation of sediment may occur. All sediment will be removed from the riprap leakoff area of the stormwater basin when the depth of sediment exceeds 3 inches. There shall be no accumulated sediment allowed in the main cell of the basin.
 - Temporary and permanent seeding and planting will be inspected for bare spots, washouts, and healthy growth of vegetation.
 - Trash and debris will be cleaned from stormwater quality basin.
 - Annual mowing of the side slopes of the basin will be completed each fall to prevent growth of invasive species in the basins. Mowing is required for areas such as the slopes when the grass/ground cover exceeds 6 inches in height. Dense cover on all slopes will be maintained.
 - If there is any evidence of rodent holes, the rodents should be removed and any damage repaired.
 - Replace rocks missing from riprap leak-offs or channel if there is any exposed soil or if there is only one layer of rock above native soil.
 - The Outlet Control Structure shall be inspected a minimum of twice a year or after any rain event in excess of 1.0 inch for build-up of debris or vegetation against weirs and outlet pipe from structure. If a build-up occurs, it shall be removed and disposed of off-site.
 - The infiltration basin and infiltration swale shall fully drain within 48 hours after the end of a storm event or the clogged soils shall be removed and replaced.



PROP. DUMPSTER ENCLOSURE
W/ WOOD PRIVACY FENCE
COLOR TO MATCH BUILDING
(SEE DETAIL ON SHEET #15)

PROP. WETLANDS MITIGATION AREA #1
AREA= 4,500 sq.ft. 0.10 acres
(SEE SHEET #MIT-1 FOR DETAILS)
BOT. ELEV.=236.0

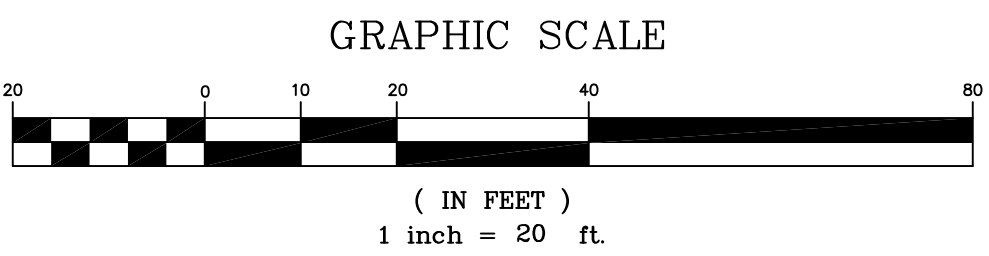
PROP. 18" F.E.
F.L.=236.41

PROP. RIPRAP ENERGY
DISSIPATOR. (SEE SHEET
#15 FOR DETAIL)

PROP. RIPRAP FILTRATION BERM
TOP OF BERM ELEV.= 238.0
(SEE DETAIL ON SHEET #15)

PROP. OUTLET STRUCTURE #1
OUTLET WEIR (60" "V" NOTCH) ELEV.= 237.0
OVERFLOW WEIR ELEV.= 238.17
TOP OF GRATE ELEV.= 239.00
FL 18" HDPE OUTLET= 235.70
(SEE DETAIL ON SHEET #15)

DRAINAGE RIGHTS TO ROBERT A.
LUDWIG & JAMES J. GESSAY
VOL. 135, PG. 79



SCALE: 1"=50'

CHECKED BY: JPC

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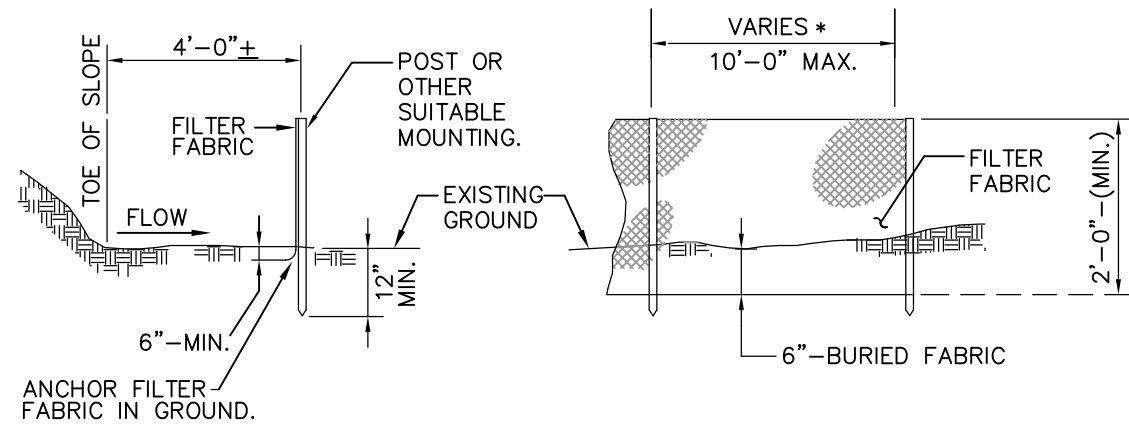
DATE: NOV. 20, 2024

ACAD FILE: 3486-SWOB

JOB No.: 3486

SHEET: 9 OF: 18

REVISIONS:
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SECTION

ELEVATION

NOTE:
* POST SPACING AND EMBEDMENT VARIES BASED ON THE MANUFACTURERS REQUIREMENTS.

SILT FENCE
NO SCALE

MAINTENANCE OF SILT FENCE

INSPECT THE SILT FENCE AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.5 INCH OR GREATER TO DETERMINE MAINTENANCE NEEDS. WHEN USED FOR DEWATERING OPERATIONS, INSPECT FREQUENTLY BEFORE, DURING AND AFTER PUMPING OPERATIONS.

REMOVE THE SEDIMENT DEPOSITS OR, IF ROOM ALLOWS, INSTALL A SECONDARY SEDIMENT FENCE UP SLOPE OF THE EXISTING FENCE WHEN SEDIMENT DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE EXISTING FENCE.

REPLACE OR REPAIR THE FENCE WITHIN 24 HOURS OF OBSERVED FAILURE. FAILURE OF THE FENCE HAS OCCURRED WHEN SEDIMENT FAILS TO BE RETAINED BY THE FENCE BECAUSE"

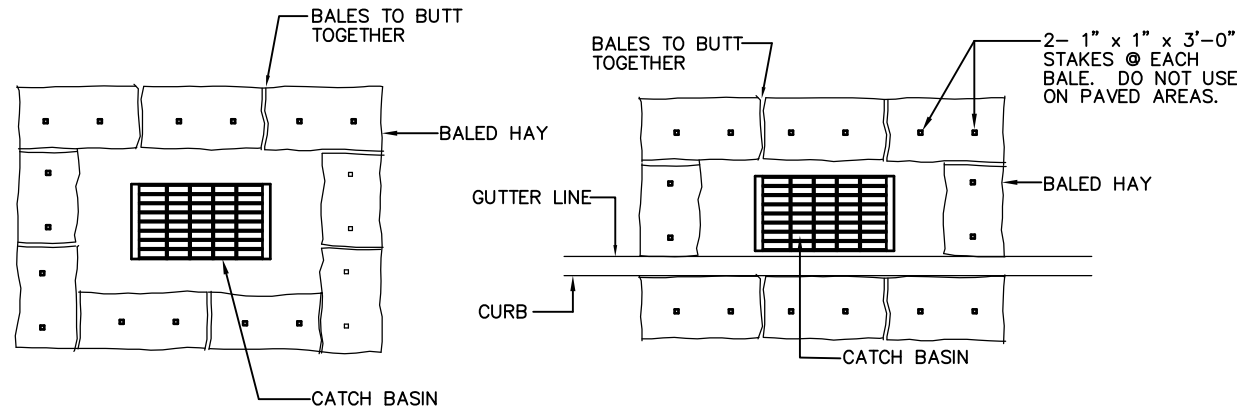
- THE FENCE HAS BEEN OVER TOPPED, UNDERCUT OR BYPASSED BY RUNOFF WATER,
- THE FENCE HAS BEEN MOVED OUT OF POSITION (KNOCKED OVER), OR
- THE GEOTEXTILE HAS DECOMPOSED OF BEEN DAMAGED.

WHEN REPETITIVE FAILURES OCCUR AT THE SAME LOCATION, REVIEW CONDITIONS AND LIMITATION FOR USE AND DETERMINE IF ADDITIONAL CONTROLS (e.g. TEMPORARY STABILIZATION OF CONTRIBUTING AREA, DIVERSIONS, STONE BARRIERS) ARE NEEDED TO REDUCE FAILURE RATE OR REPLACE FENCE.

MAINTAIN THE FENCE UNTIL THE CONTRIBUTING AREA IS STABILIZED.

AFTER THE CONTRIBUTING AREA IS STABILIZED DETERMINE IF SEDIMENT CONTAINED BY THE SILT FENCE REQUIRES REMOVAL OR REGRADING AND STABILIZATION. IF THE DEPTH IS GREATER THAN OR EQUAL TO 6 INCHES, REGRADING OR REMOVAL OF THE ACCUMULATED SEDIMENT IS REQUIRED. NO REMOVAL OR REGRADING IS REQUIRED IF SEDIMENT DEPTH IS LESS THAN 6 INCHES.

REMOVE THE FENCE BY PULLING UP THE SUPPORT POSTS AND CUTTING THE GEOTEXTILE AT GROUND LEVEL. REGRADE OR REMOVE SEDIMENT AS NEEDED, AND STABILIZE DISTURBED SOILS.



CATCH BASIN WITHOUT CURB

CATCH BASIN WITH CURB

SEDIMENTATION CONTROL BALES
NO SCALE

MAINTENANCE OF HAY BALE CHECK DAM

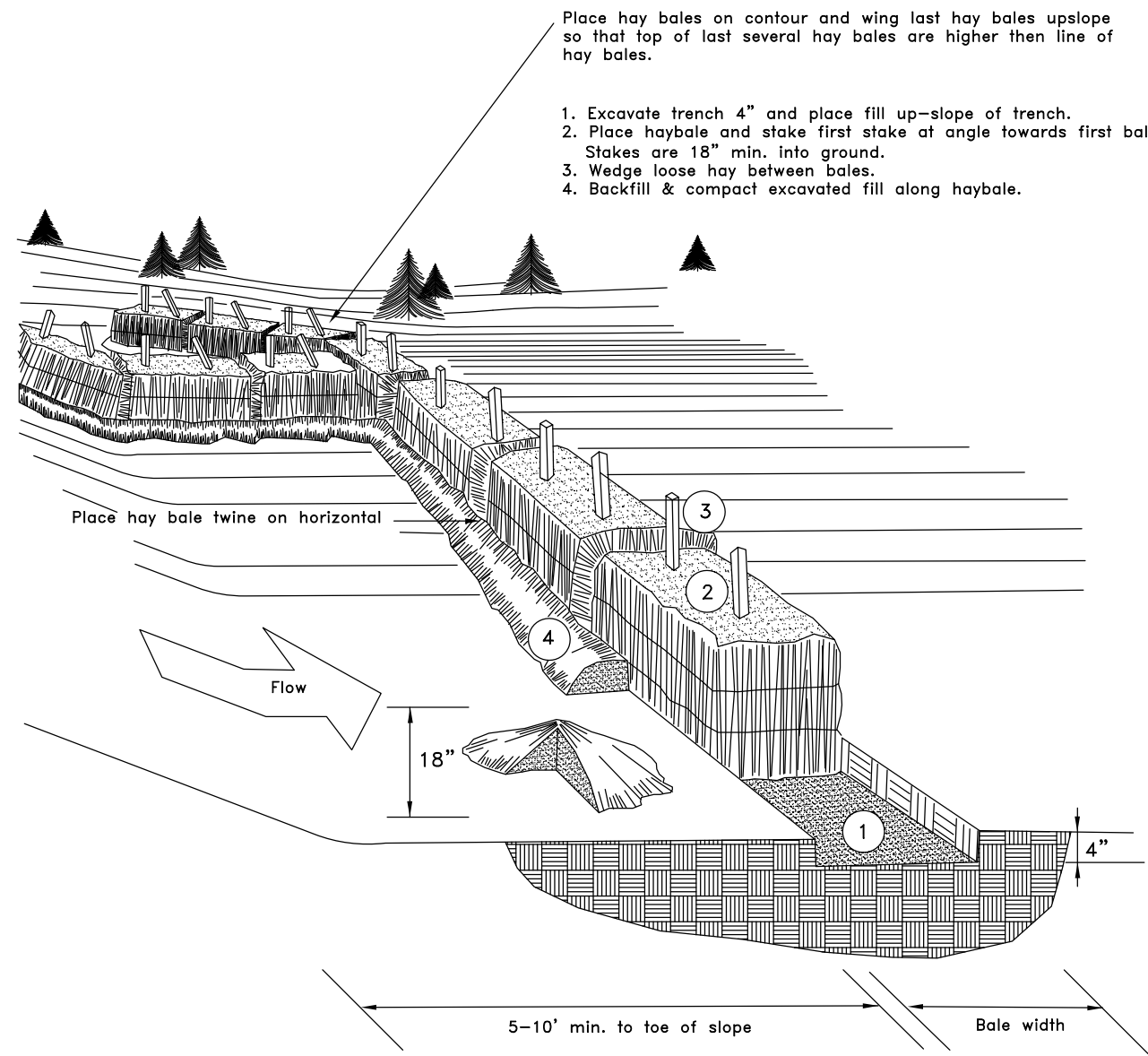
INSPECT THE HAY BALE CHECK DAM AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.5 INCHES OR GREATER TO DETERMINE MAINTENANCE NEEDS. FOR DE WATERING OPERATIONS AND, INSPECT FREQUENTLY BEFORE, DURING AND AFTER PUMPING OPERATIONS.

REMOVE THE SEDIMENT DEPOSITS OR INSTALL A SECONDARY BARRIER WHEN SEDIMENT DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. REPLACE OR REPAIR THE BARRIER WITHIN 24 HOURS OF OBSERVED FAILURE. FAILURE OF THE BARRIER HAS OCCURRED WHEN SEDIMENT FAILS TO BE RETAINED BY THE THE BARRIER BECAUSE:

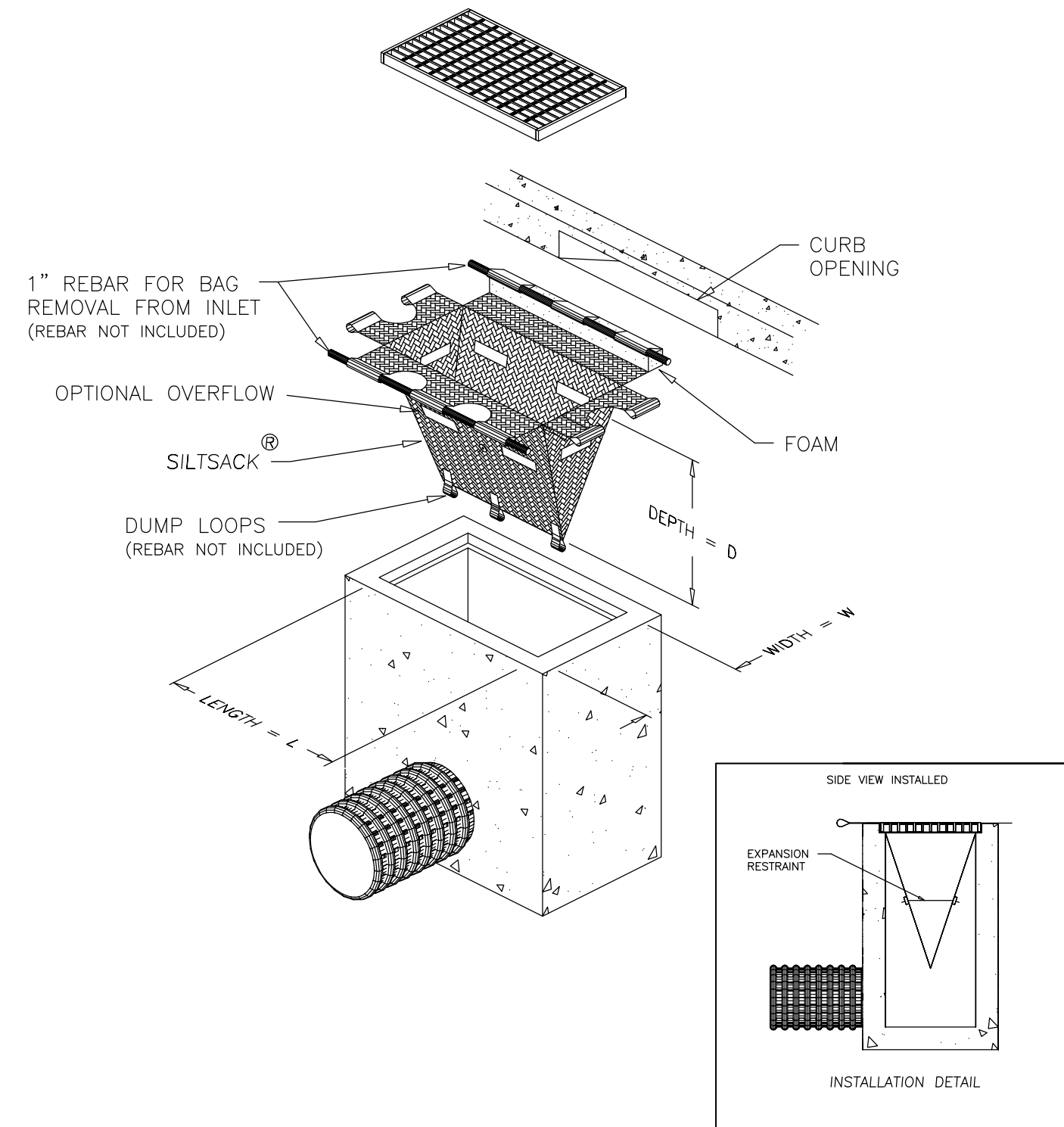
- THE BARRIER HAS BEEN OVERTOPPED, UNDERCUT, OR BYPASSED BY RUNOFF WATER
- THE BARREIR HAS BEEN MOVED OUT OF POSITION.
- THE HAY BALES HAVE DETERIORATED.

WHEN REPETITIVE FAILURE OCCURE AT THE SAME LOCATION REVIEW CONDITIONS AND LIMITATIONS FOR USE AND DETERMINE IF ADDITIONAL CONTROLS ARE NEEDED TO REDUCE FAILURE RATEOR REPLACE HAY BALE BARRIER.

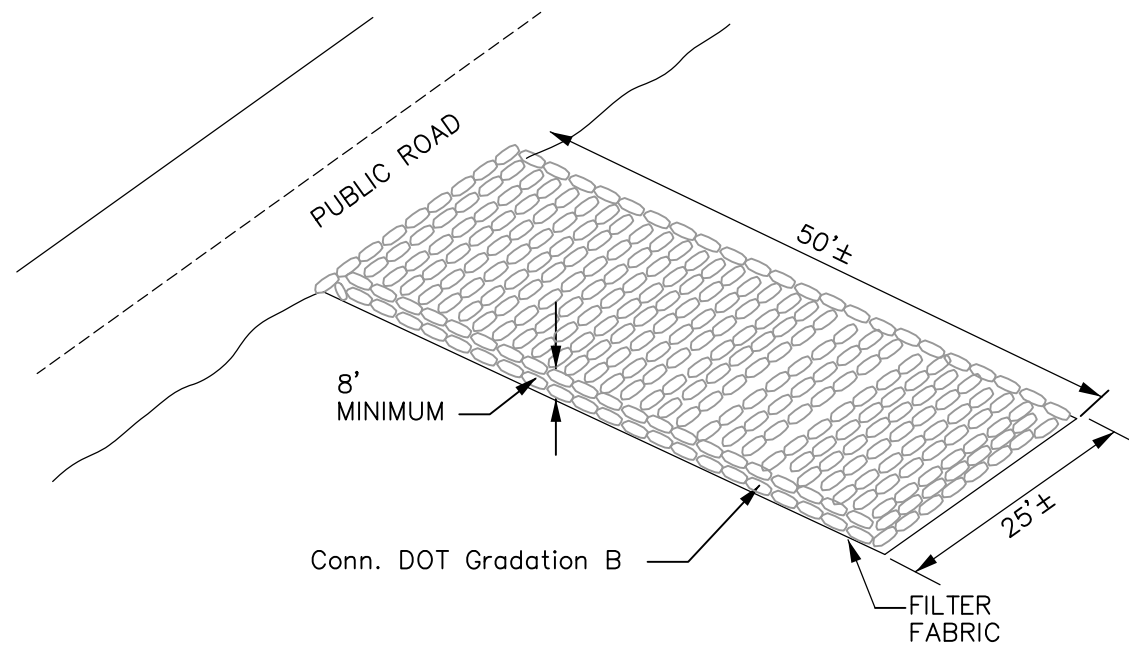
MAINTAIN HAY BALE BARRIER UNTIL CONTRIBUTING AREA IS STABILIZED. AFTER UPSLOPE AREAS HAVE BEEN STABILIZED PULL THE STAKES OUT OF THE HAYBALES. UNLESS OTHERWISE REQUIRED NO REMOVAL OF OR REGRADING OF ACCUMULATED SEDIMENT IS NECESSARY. THE HAY BALES MAY THEN BE LEFT IN PLACE OR BROKEN UP FOR GROUND COVER.



TOE OF SLOPE HAY BALE BARRIER
NO SCALE



DETAIL OF INLET SEDIMENT CONTROL DEVICE WITH CURB DEFLECTOR

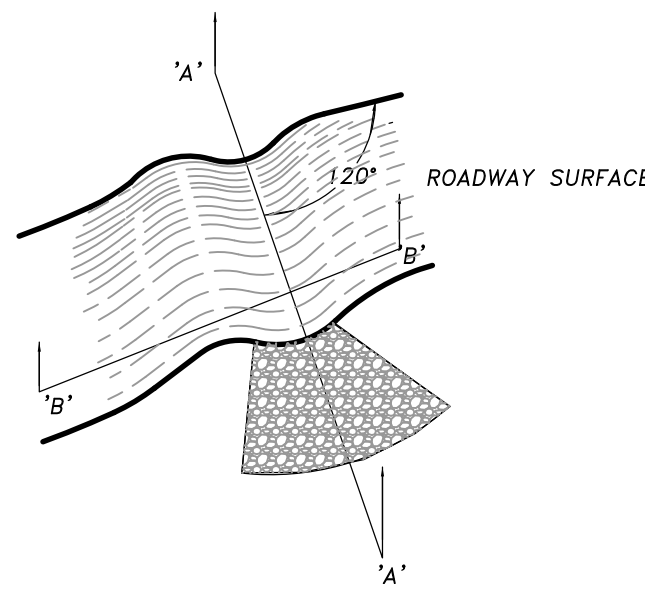


CONSTRUCTION ENTRANCE
NO SCALE

MAINTENANCE OF CONSTRUCTION ENTRANCE

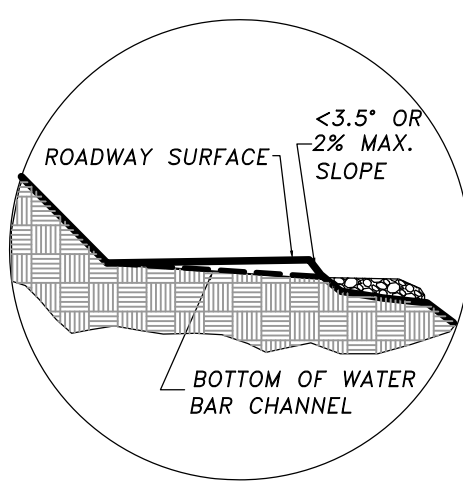
MAINTAIN THE ENTRANCE IN A CONDITION WHICH WILL PREVENT TRACKING AND WASHING OF SEDIMENT ONTO PAVED SURFACES. PROVIDE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND. REPAIR ANY MEASURES USED TO TRAP SEDIMENT AS NEEDED. IMMEDIATELY REMOVE ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PAVED SURFACES. ROADS ADJACENT TO A CONSTRUCTION SITE SHALL BE LEFT CLEAN AT THE END OF EACH DAY.

IF THE CONSTRUCTION ENTRANCE IS BEING PROPERLY MAINTAINED AND THE ACTION OF VEHICLE TRAVELING OVER THE STONE PAD IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF THE SEDIMENT, THEN EITHER (1) INCREASE THE LENGTH OF THE CONSTRUCTION ENTRANCE, (2) MODIFY THE CONSTRUCTION ACCESS ROAD SURFACE, OR (3) INSTALL WASHING RACKS AND ASSOCIATED SETTLING AREA OR SIMILAR DEVICES BEFORE THE VEHICLE ENTERS A PAVED AREA.

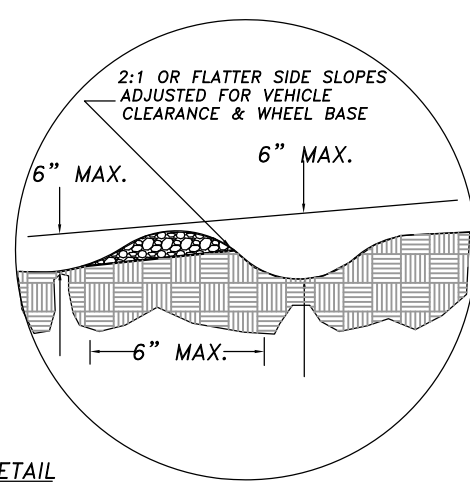


SECTION "A"

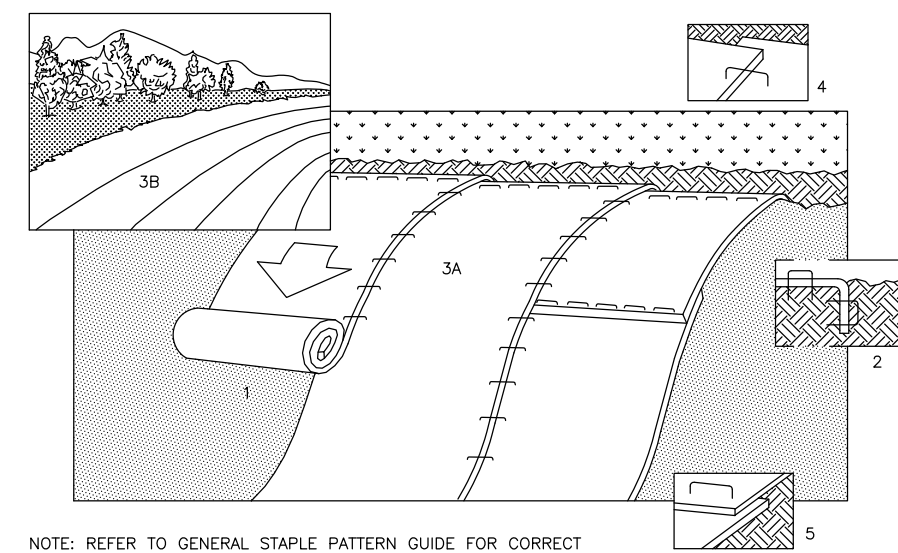
SECTION "B"



WATER BAR DETAIL
(N.T.S.)



SLOPE INSTALLATION

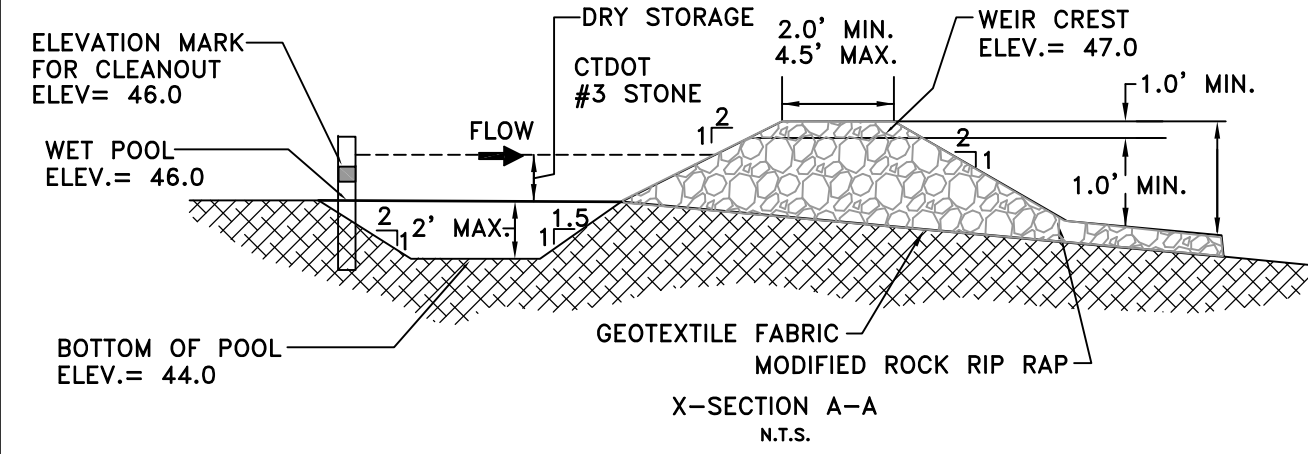


NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

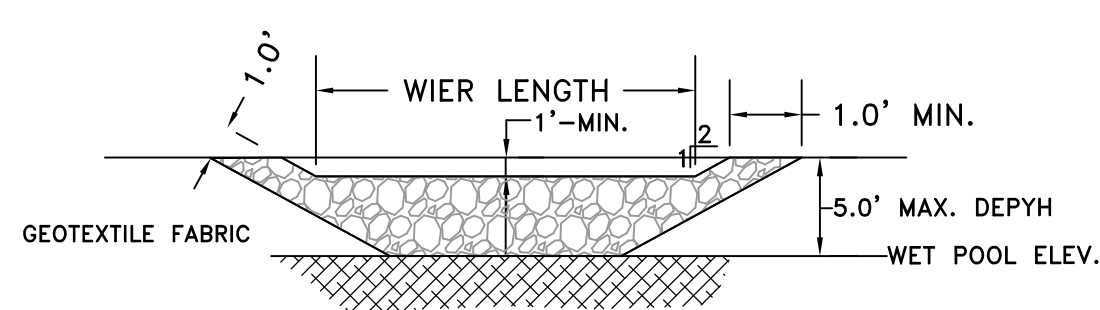
- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE.
- THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
- WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.



14649 HIGHWAY 41 NORTH, EVANSVILLE, INDIANA 47711
USA 1-800-772-2040 CANADA 1-800-448-2040



X-SECTION A-A
N.T.S.



X-SECTION B-B
N.T.S.

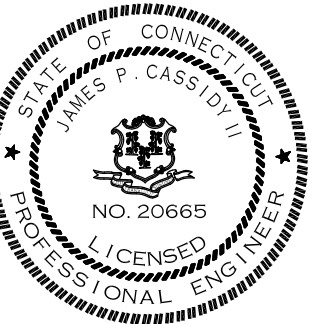
HALLISEY, PEARSON & CASSIDY

CIVIL ENGINEERS & LAND SURVEYORS

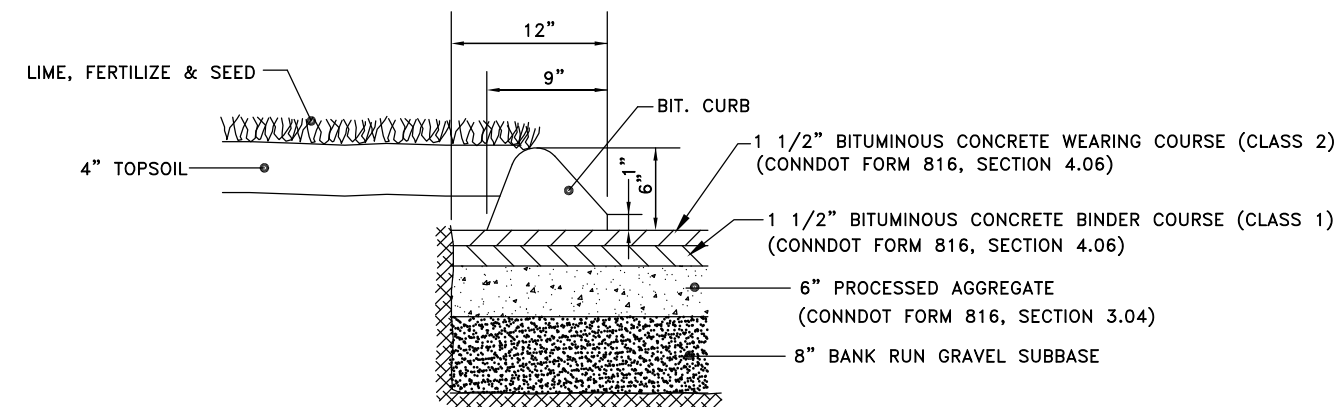
630 MAIN STREET, UNIT #1A
CROWELL, CONNECTICUT 06416

PHONE: (860)-529-6812, FAX: (860)-721-7709

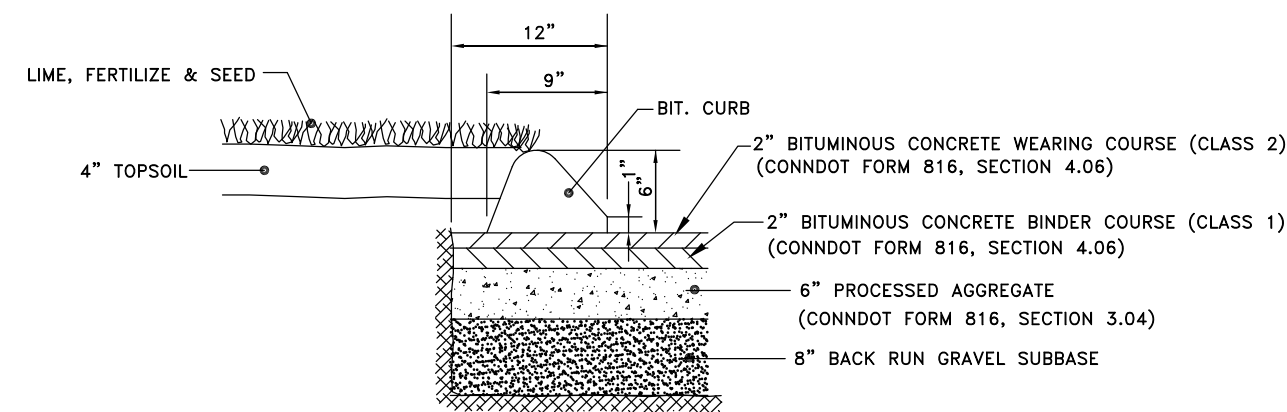
**SITE DETAILS
PREPARED FOR
CALITO DEVELOPMENT GROUP
PROPERTY LOCATED AT
WEST ROAD (RT. #83)
ELLINGTON, CONNECTICUT**



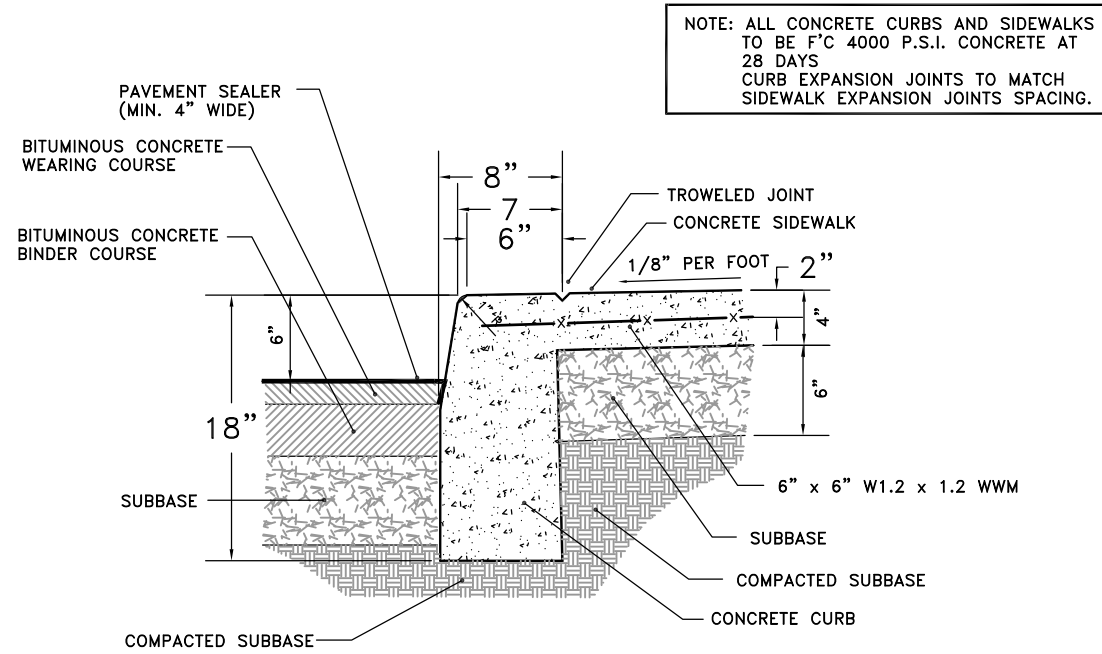
SCALE: 1"=40'	CHECKED BY: JPC
DATE: NOV. 20, 2024	DRAWN BY: JMP
JOB No.: 3486	ACAD FILE: 3486-DET
SHEET: 10	OF: 18
REV(SIONS: DEC. 17, 2024 PER TOWN COMMENT JAN. 23, 2025 PER ENGINEER COMMENT JAN. 23, 2025 PER ENGINEER COMMENT MAR. 16, 2025 PER CT DOT COMMENT	



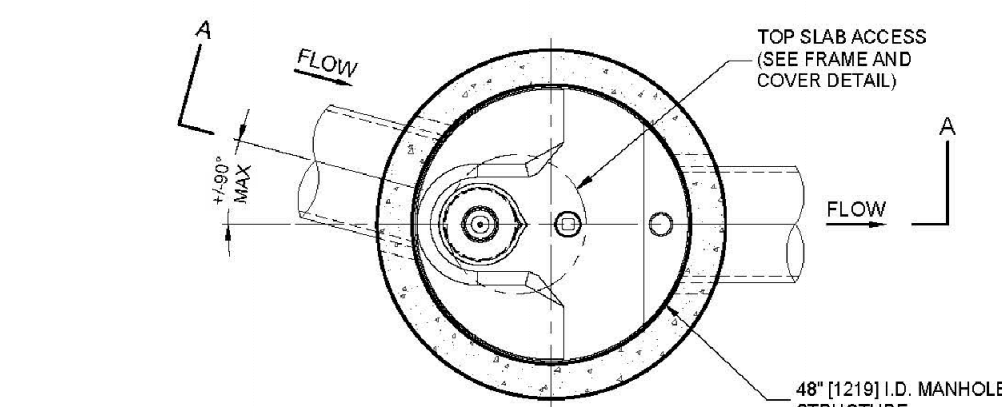
**BITUMINOUS CONCRETE PAVEMENT
PARKING AREA SPACES
(STANDARD DUTY)**
N.T.S.



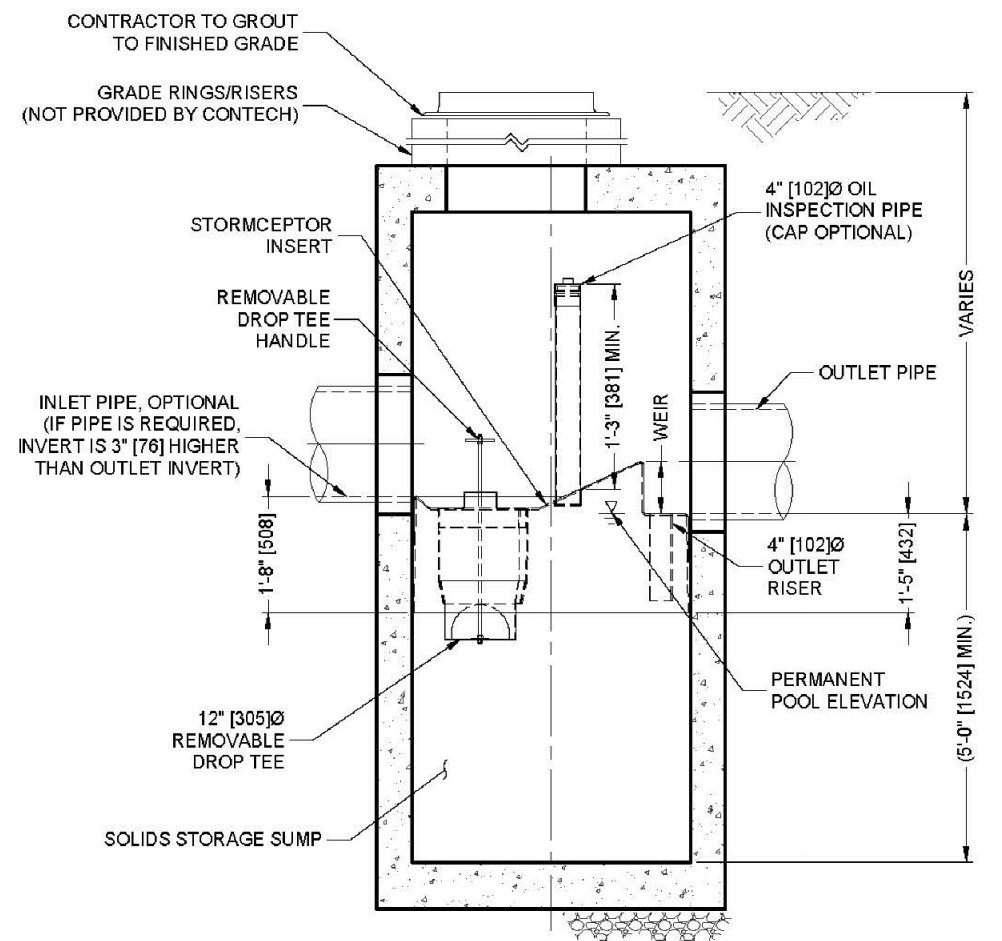
**BITUMINOUS CONCRETE PAVEMENT
DRIVEWAYS AND ACCESS LANES
(HEAVY DUTY)**
N.T.S.



**CONCRETE CURB DETAIL
WITH MONOLITHIC SIDEWALK ONSITE**
N.T.S.



PLAN VIEW
TOP SLAB NOT SHOWN



SECTION A-A

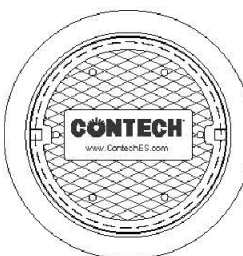
Stormceptor®
FOR FURTHER INFORMATION, GO TO WWW.CONTECHES.COM

STORMCEPTOR DESIGN NOTES

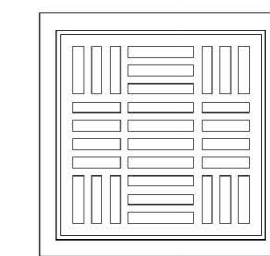
THE STANDARD STC450i CONFIGURATION WITH ROUND, SOLID FRAME AND COVER, AND INLET PIPE IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

CONFIGURATION DESCRIPTION

GRATED INLET ONLY (NO INLET PIPE)
GRATED INLET WITH INLET PIPE OR PIPES
CURB INLET ONLY (NO INLET PIPE)
CURB INLET WITH INLET PIPE OR PIPES



FRAME AND COVER
(MAY VARY)
NOT TO SCALE



FRAME AND GRATE
(MAY VARY)
NOT TO SCALE

GENERAL NOTES

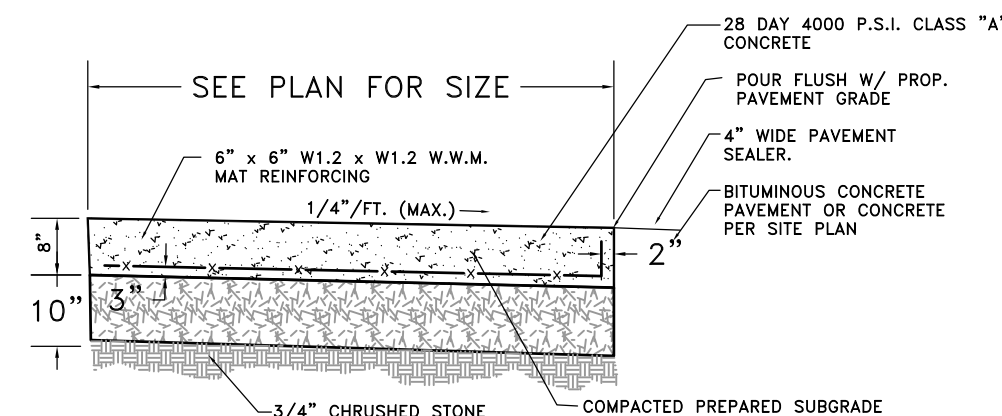
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. WWW.CONTECHES.COM
- STORMCEPTOR WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
- STORMCEPTOR STRUCTURE SHALL MEET AASHTO HS20 LOAD RATING, ASSUMING EARTH COVER OF 0'-2" (610 mm) AND GROUNDWATER ELEVATION AT OR BELOW THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M318 AND BE CAST WITH THE CONTECH LOGO.
- STORMCEPTOR STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C478 AND AASHTO LOAD FACTOR DESIGN METHOD.
- ALTERNATE UNITS ARE SHOWN IN MILLIMETERS (mm).

INSTALLATION NOTES

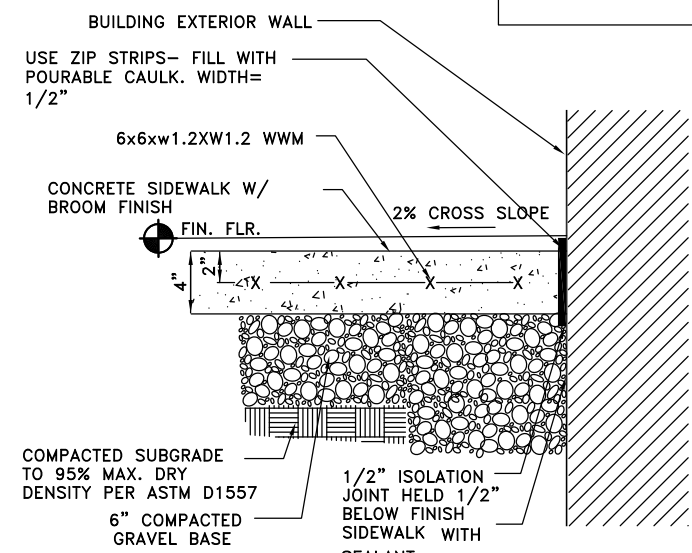
- ANY SUB-BASE, BACKFILL, DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMCEPTOR MANHOLE STRUCTURE.
- CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

CONTECH®
ENGINEERED SOLUTIONS LLC
www.conteches.com
8005 Centre Pointe Dr., Suite 400, West Chester, OH 45089
800-538-1122 513-945-7000 513-945-7500 FAX

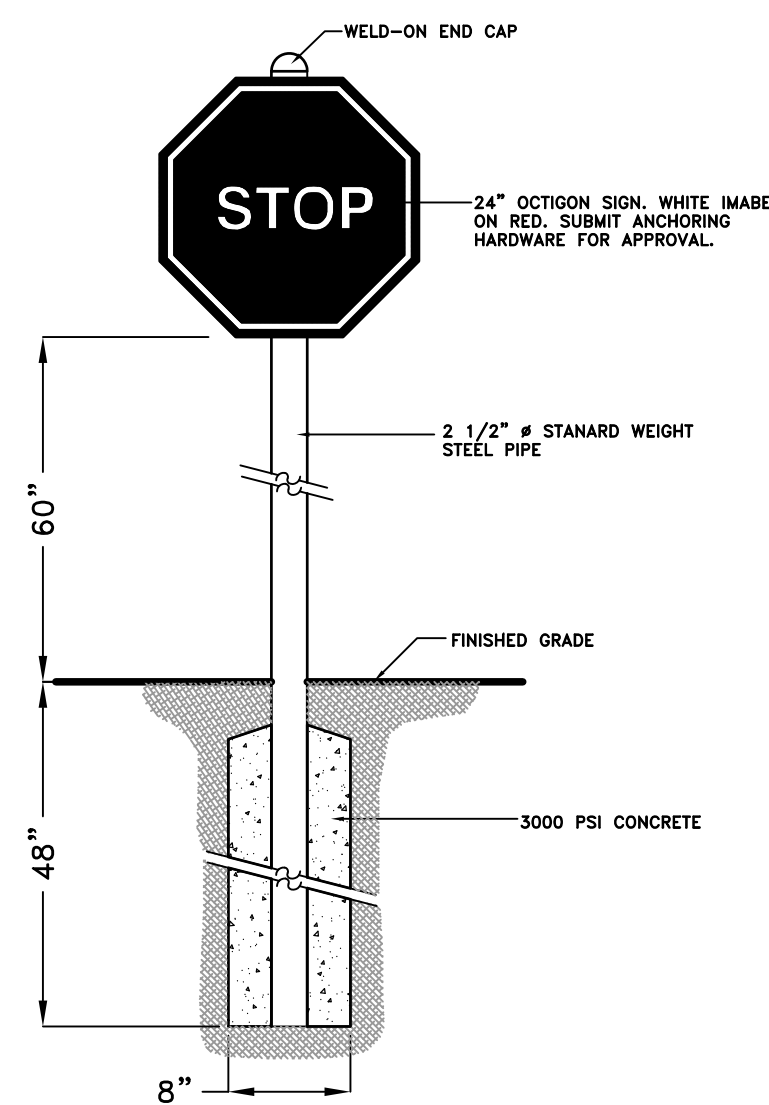
STC450i
STORMCEPTOR
STANDARD DETAIL



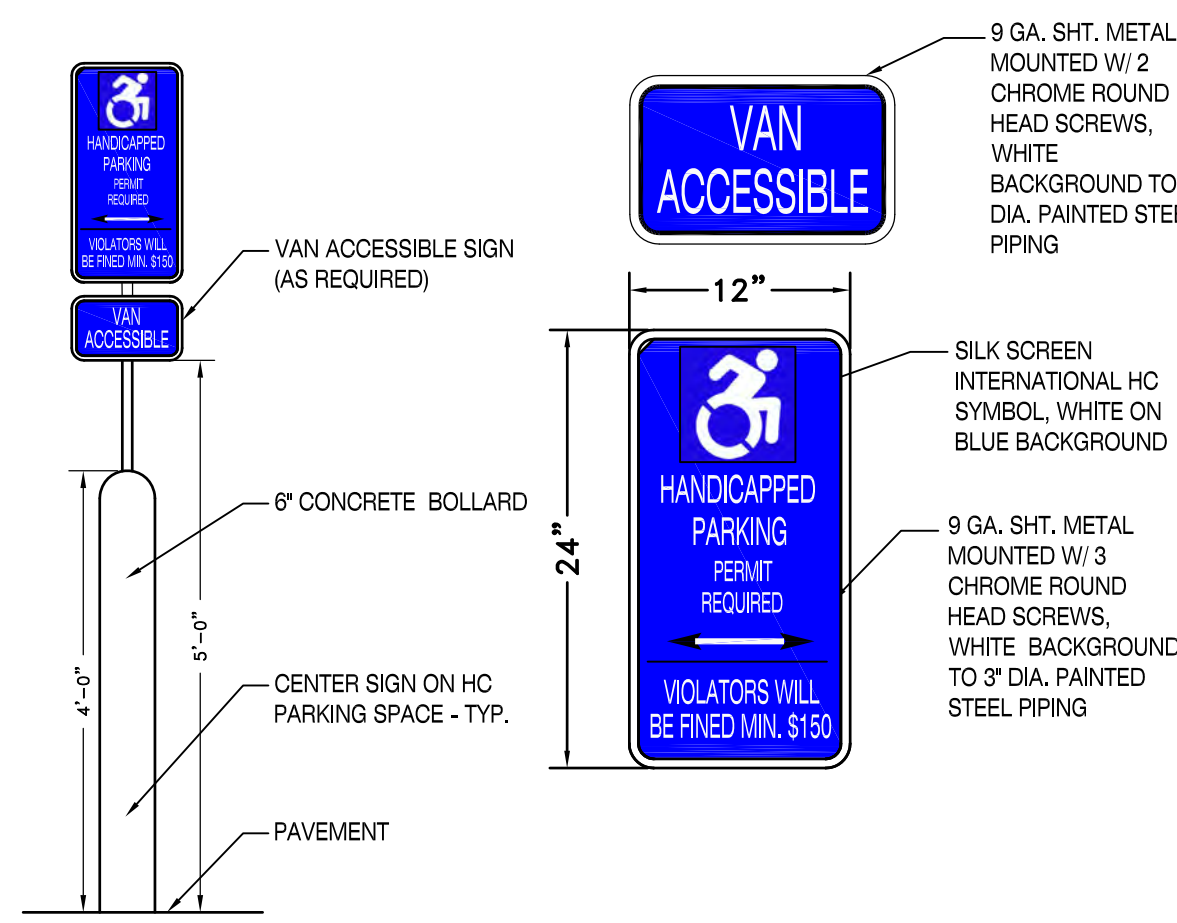
SITE CONCRETE PAVEMENT
N.T.S.



SIDEWALK DETAIL
N.T.S.

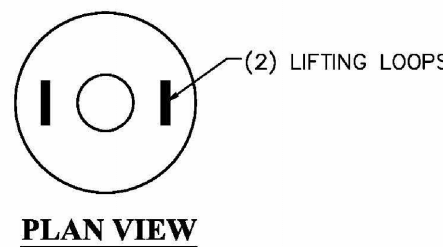


STOP SIGNAGE DETAIL
N.T.S.

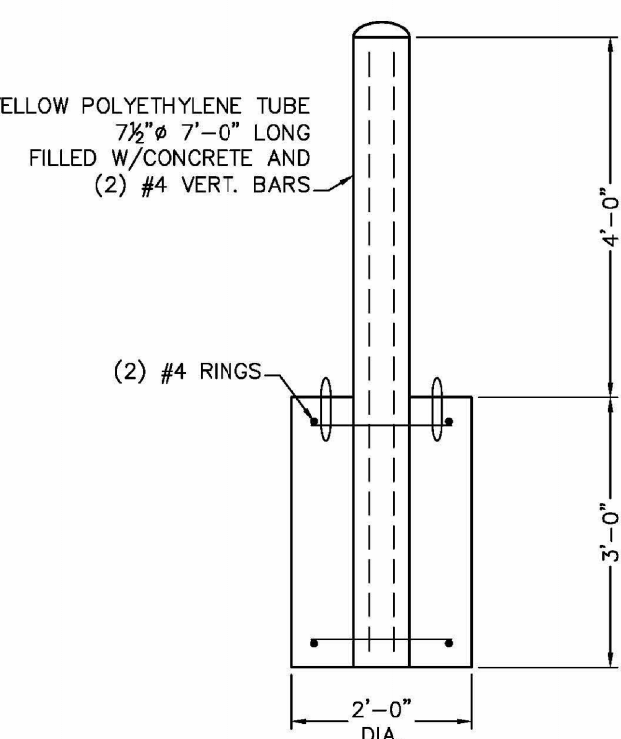


HANDICAPPED PARKING SIGN DETAIL
NO SCALE

- NOTES:
- REINFORCING STEEL DEFORMED BARS CONFORM TO LATEST ASTM SPECIFICATION A615, GRADE 60
 - MIN. COVER
 - CONCRETE COMPRESSIVE STRENGTH= 4,000 PSI AT 28 DAYS
 - SELF COMPACTING CONCRETE MIX
 - METHOD OF MANUFACTURE: WET CAST.



PLAN VIEW



ELEV. VIEW

**(6)- 7" BOLLARDS • 4' SPACING
FOR PROPANE TANK PROTECTION
(SEE SITE PLAN FOR LOCATIONS)**

UNITED CONCRETE
PRODUCTS, Inc.
173 CHURCH STREET
YALESVILLE, CT 06492
TEL: (203)-269-3119
FAX: (203)-265-4941

24" DIA. x 3'-3" BASE WITH 7 1/2" DIA. x 7'-0" LG. BOLLARD

CUSTOMER	DATE	SCALE	NONE
JOB	6/22/09	SHEET	B-1
LOCATION	DRW	CHK	JLT

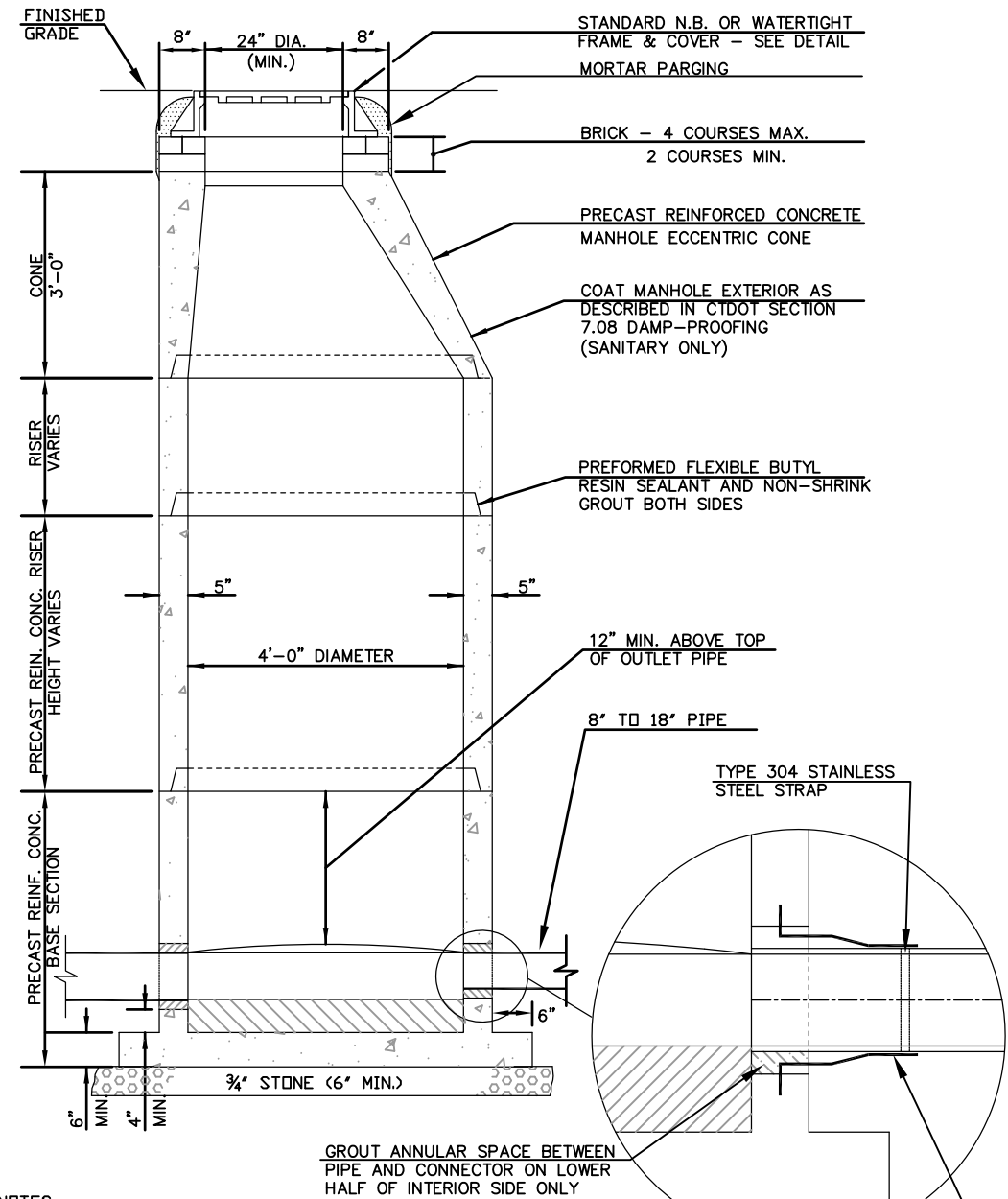
WEIGHT CHART	
PRODUCT	APPROX. WEIGHT
BASE	1,600 LBS.

**SITE DETAILS
PREPARED FOR
CALITO DEVELOPMENT GROUP
PROPERTY LOCATED AT
WEST ROAD (RT. #83)
ELLINGTON, CONNECTICUT**

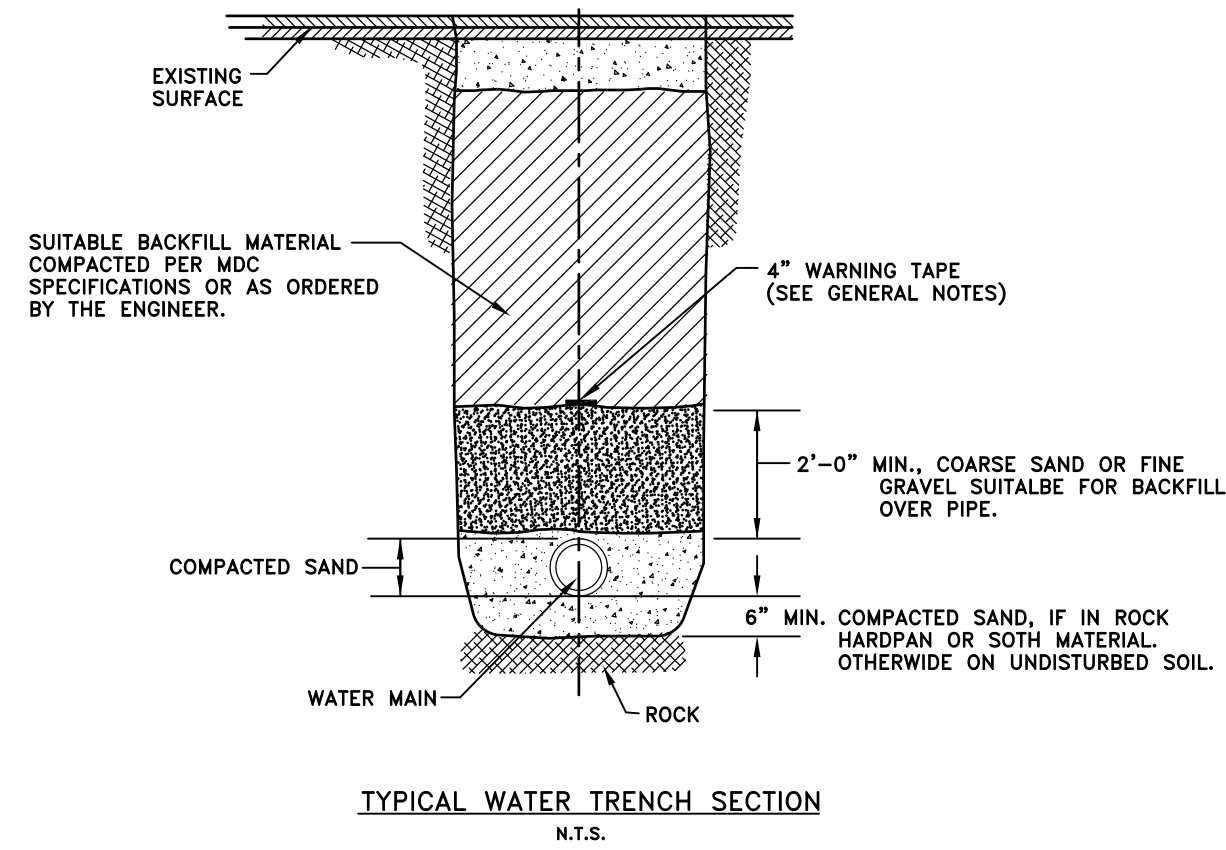


HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROWELL, CONNECTICUT 06416
PHONE: (860)-529-6812, FAX: (860)-721-7709

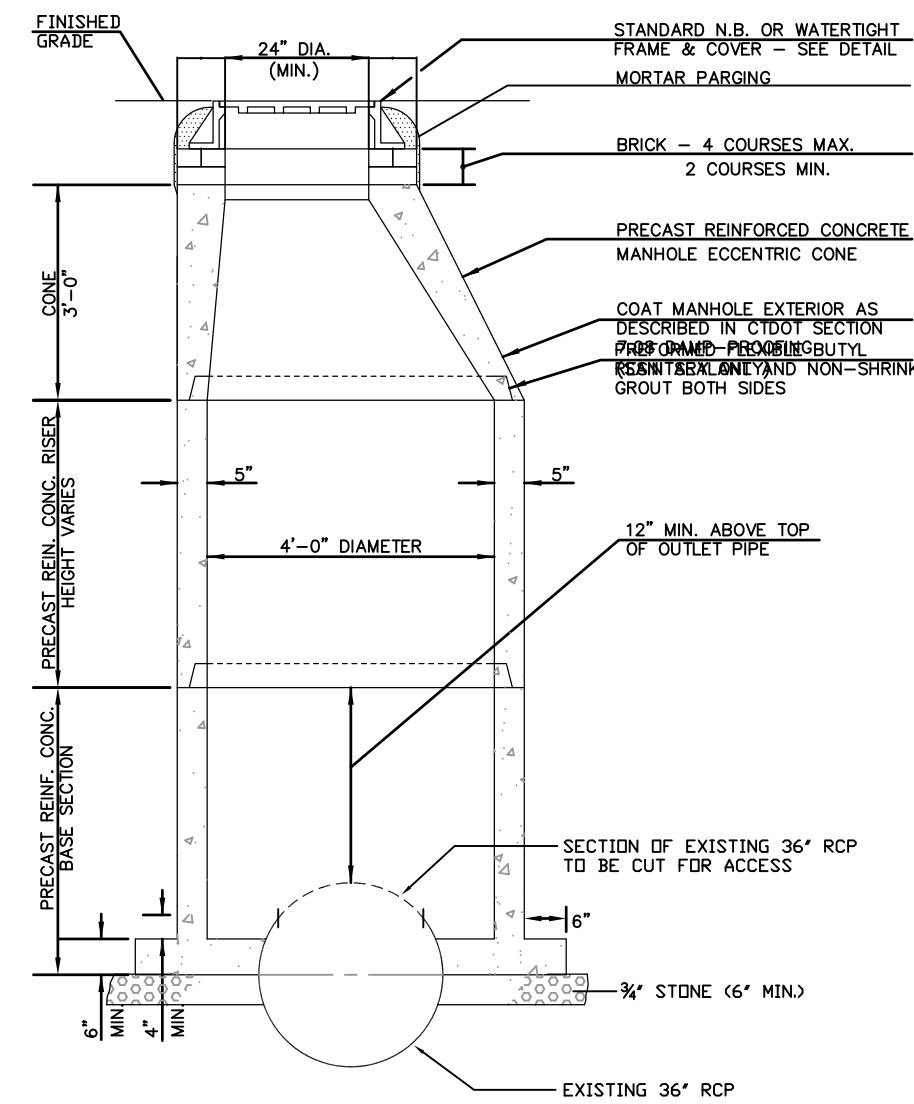
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DATE: NOV. 20, 2024
JOB No.: 3486
ACAD FILE: 3486-DET
SHEET: 11 OF: 18
REV(S):
DEC. 17, 2024 PER TOWN COMMENT
JAN. 23, 2025 PER ENGINEER COMMENT
JAN. 23, 2025 PER ENGINEER COMMENT
MAR. 16, 2025 PER CT DOT COMMENT



NOTES:
1) THIS MANHOLE TO BE USED WHEN TOTAL DEPTH IS 12' OR LESS AND LARGEST PIPE SIZE IS 18" OR SMALLER.
2) ALL NEW SANITARY AND STORM SEWER (PRECAST WITHOUT STEPS) INSTALLATIONS SHALL BE TELEVIEWED.
TYPE 1 MANHOLE
NOT TO SCALE
RESILIENT MANHOLE CONNECTOR
CONFORMING TO ASTM C-923



TYPICAL WATER TRENCH SECTION
N.T.S.



DOG-HOUSE MANHOLE DETAIL
NOT TO SCALE

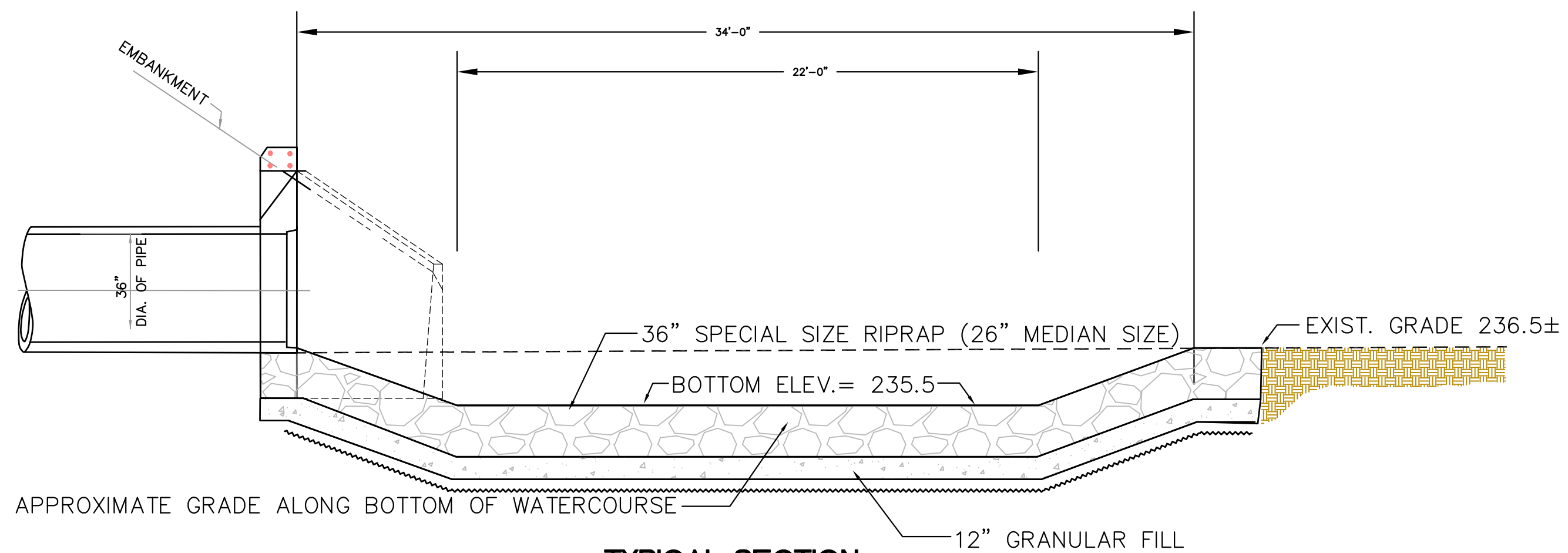
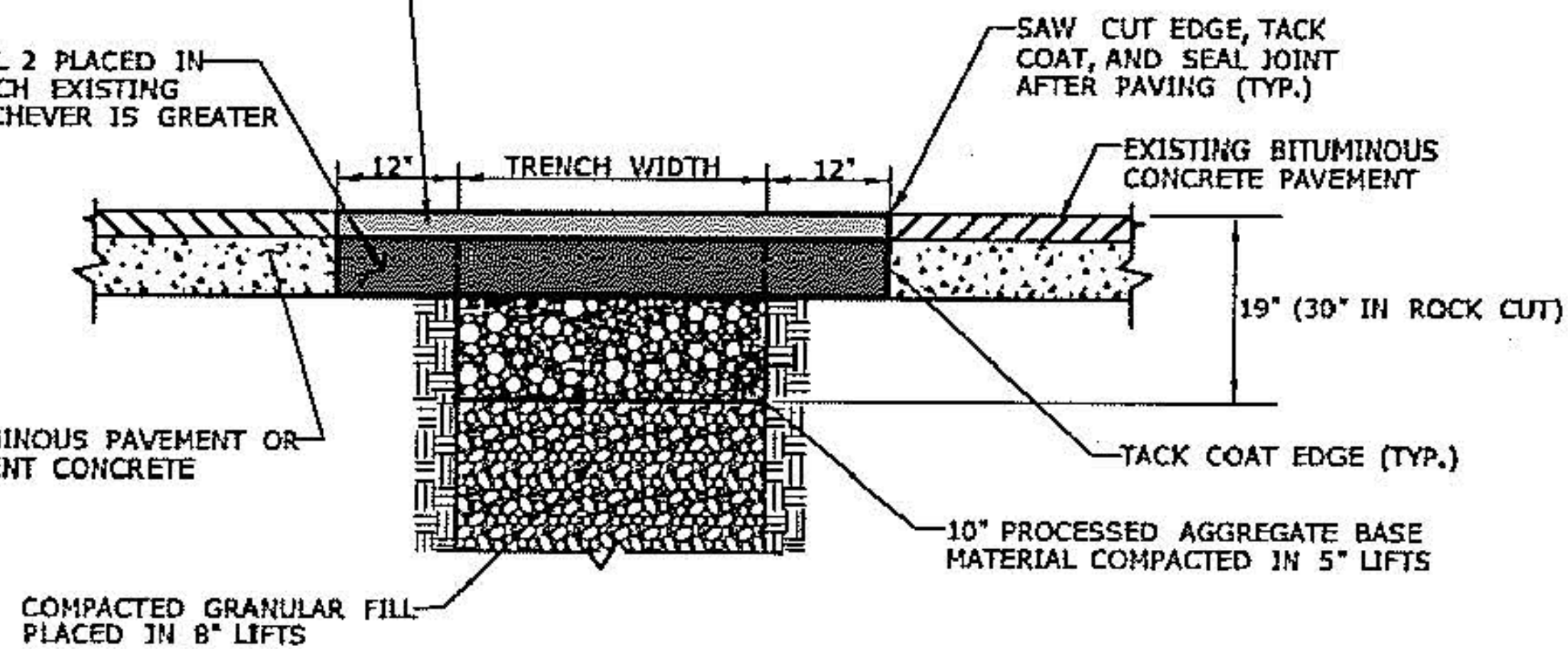
3" HMA S0.375 OR 3" HMA S0.5 TRAFFIC LEVEL 2 PLACED IN TWO EQUAL LIFTS OR AS DIRECTED BY THE DISTRICT
ANY AREA 1500 S.F. OR LESS
USE S0.375 FOR THE TOP COURSE

6" HMA S1.0 TRAFFIC LEVEL 2 PLACED IN TWO EQUAL LIFTS OR MATCH EXISTING PAVEMENT THICKNESS WHICHEVER IS GREATER

EXISTING BITUMINOUS PAVEMENT OR PORTLAND CEMENT CONCRETE

COMPACTED GRANULAR FILL PLACED IN 8" LIFTS

PERMANENT PAVEMENT REPAIR WITHOUT MILLING
- THROUGH PORTLAND CEMENT CONCRETE
OR BITUMINOUS CONCRETE PAVEMENT



TYPICAL SECTION
NOT TO SCALE
RIPRAP SCOUR HOLE #1 DETAIL

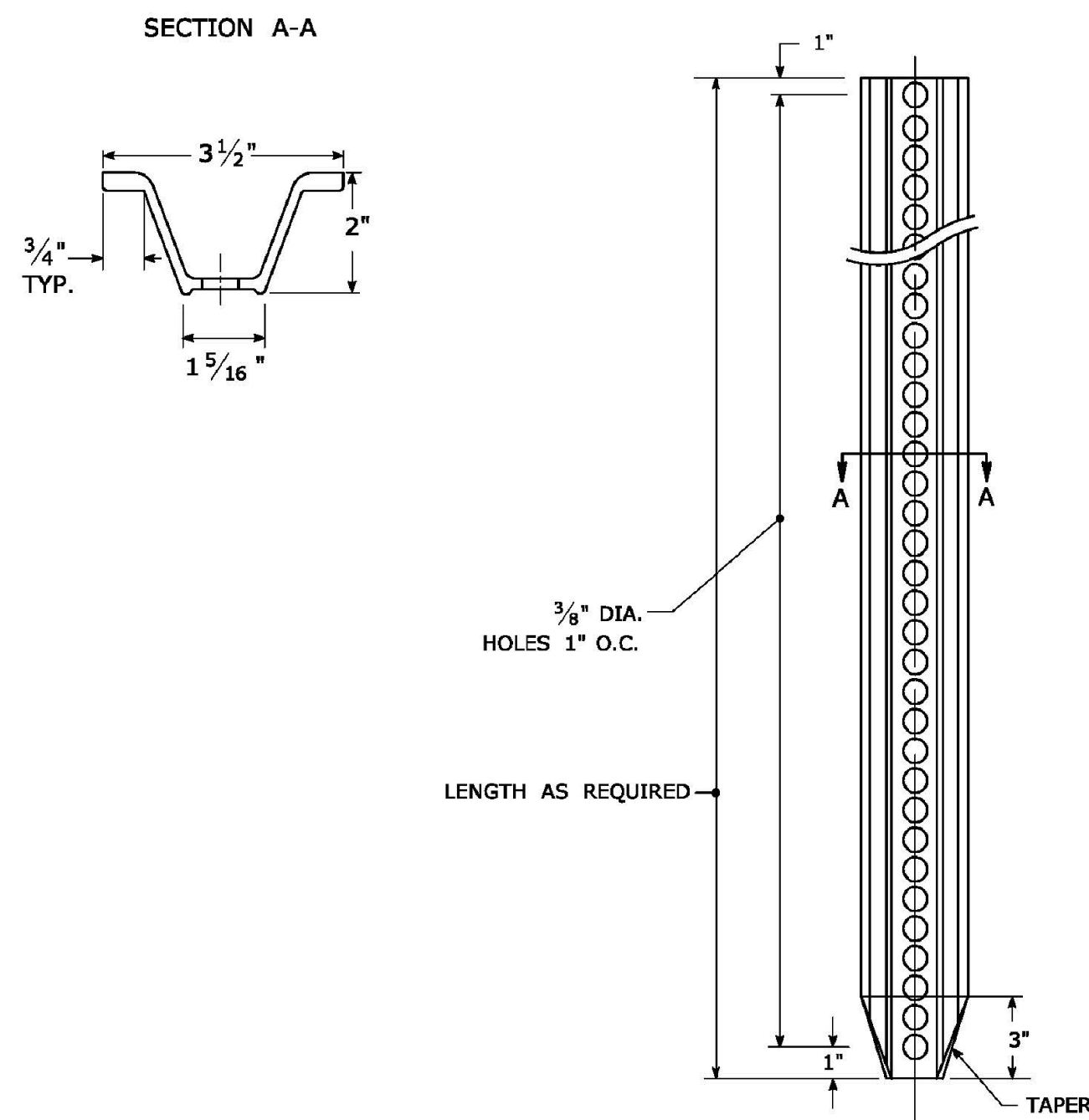
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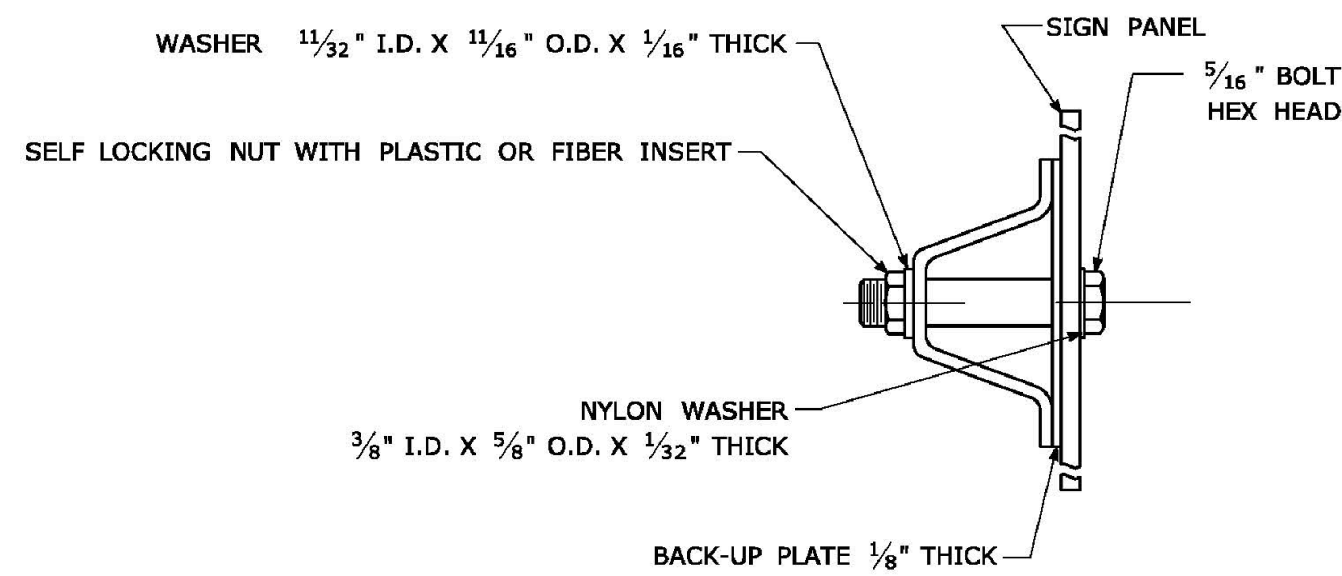


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SHEET: 12 OF 18
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DRAWN BY: JMP
ACAD FILE: 3486-DET
REVISIONS:
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JAN. 23, 2025 PER ENGINEER COMMENT
MAR. 16, 2025 PER CT DOT COMMENT

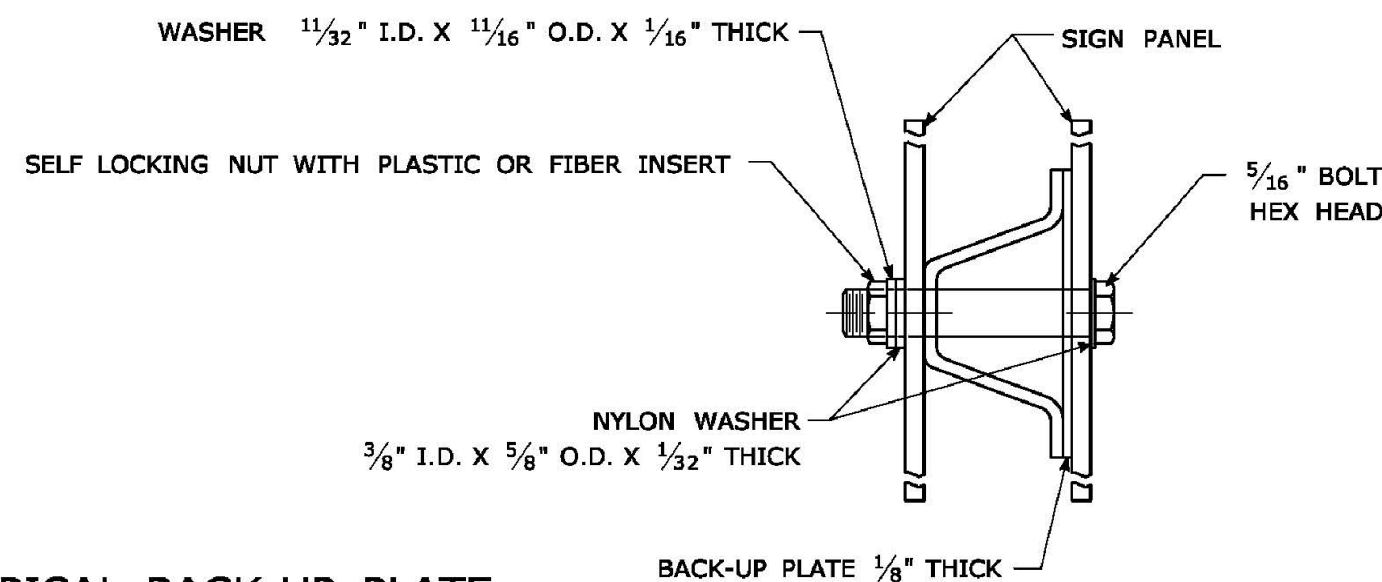
TYPICAL METAL SIGN POSTS



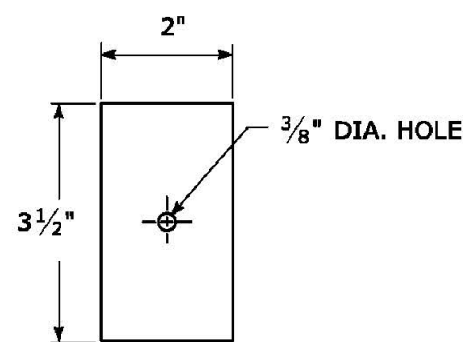
TYPICAL SIGN PANEL ATTACHMENT



TYPICAL BACK TO BACK SIGN PANEL ATTACHMENT



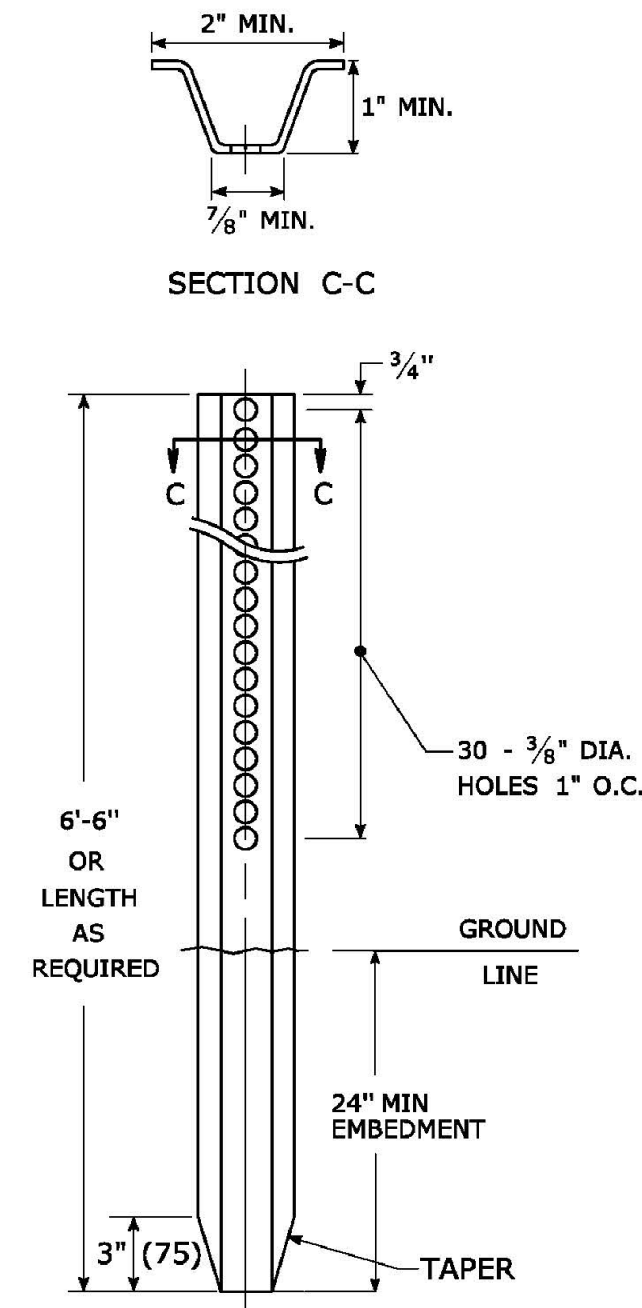
TYPICAL BACK-UP PLATE



BOLTS - STAINLESS STEEL CONFORMING TO ASTM F593, ALLOY GROUP 1 OR 2 (ALLOY TYPES 304 OR 316).
SELF LOCKING NUTS - STAINLESS STEEL CONFORMING TO ASTM F594, ALLOY GROUP 1 OR 2 (ALLOY TYPES 304 OR 316).
WASHERS - STAINLESS STEEL CONFORMING TO ASTM A240, (ALLOY TYPES 304 OR 316).

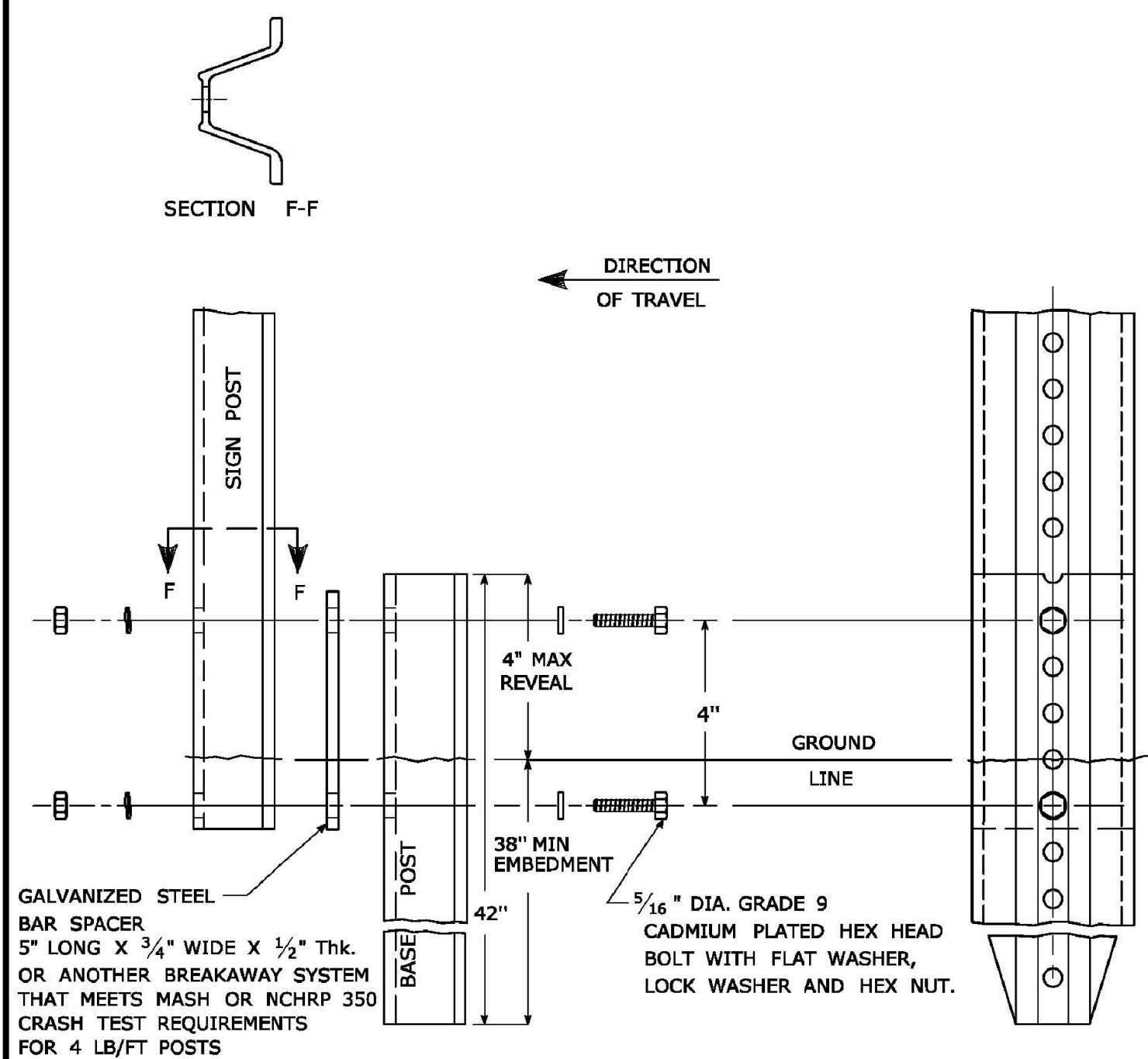
METAL DELINEATOR POST

WT./FT. = 1.12 LBS./FT. MIN.



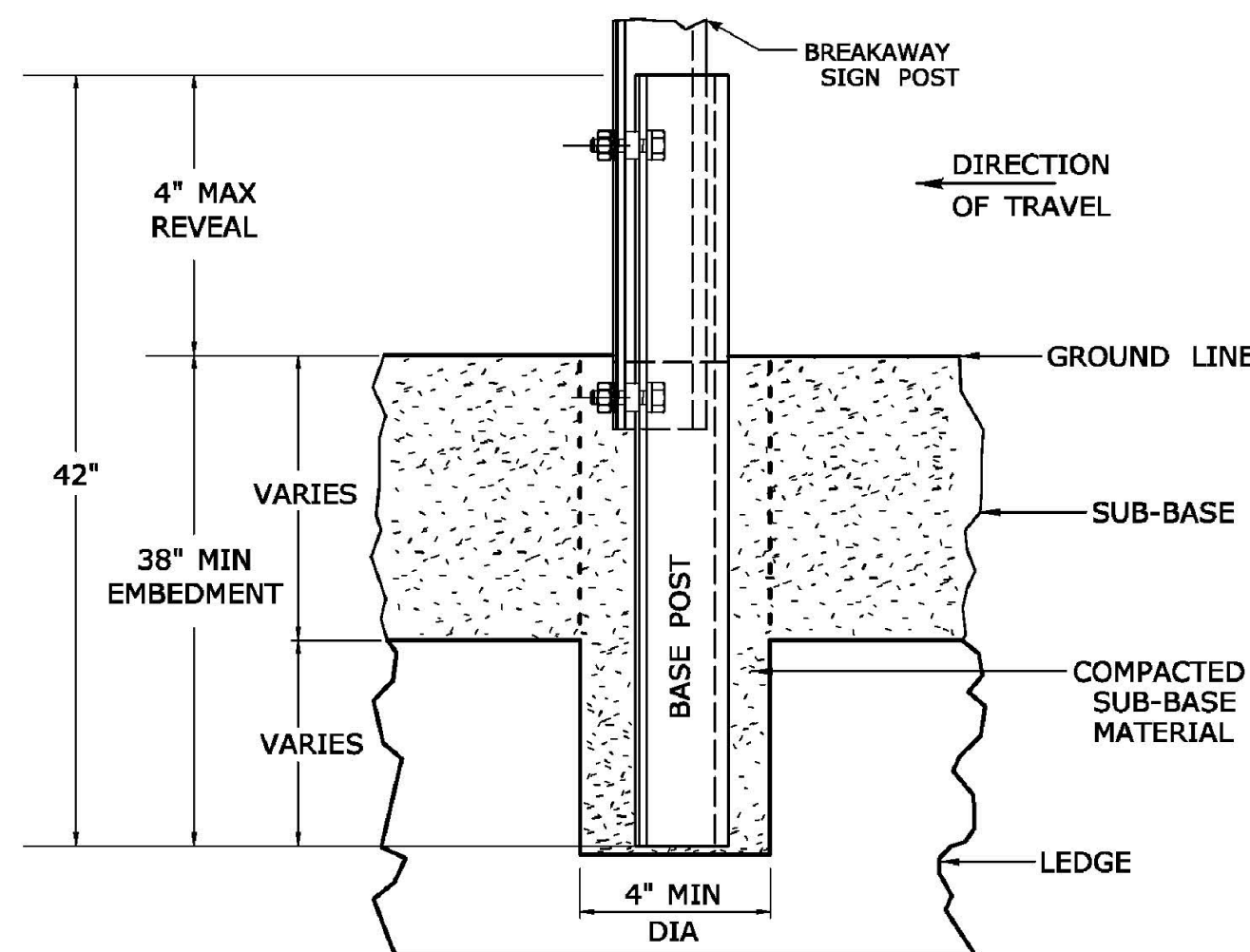
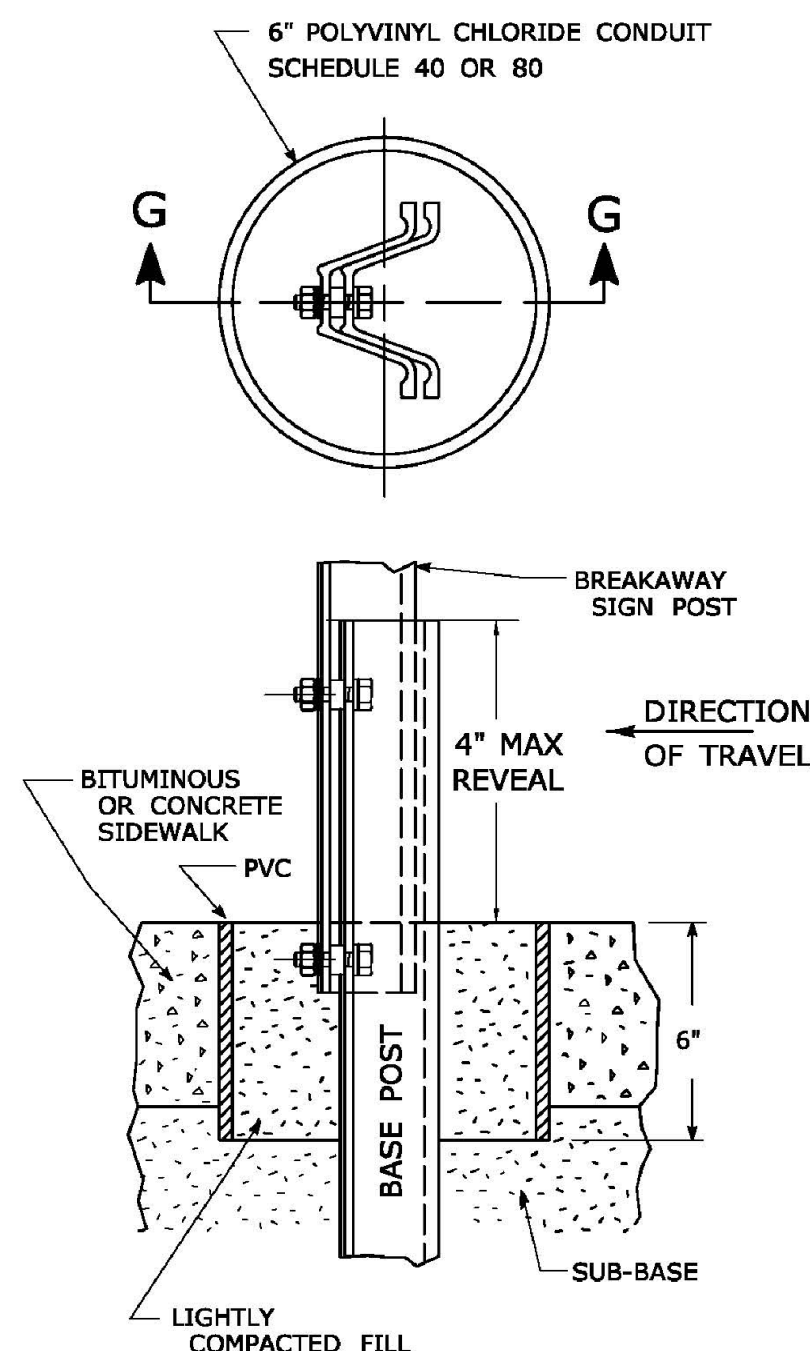
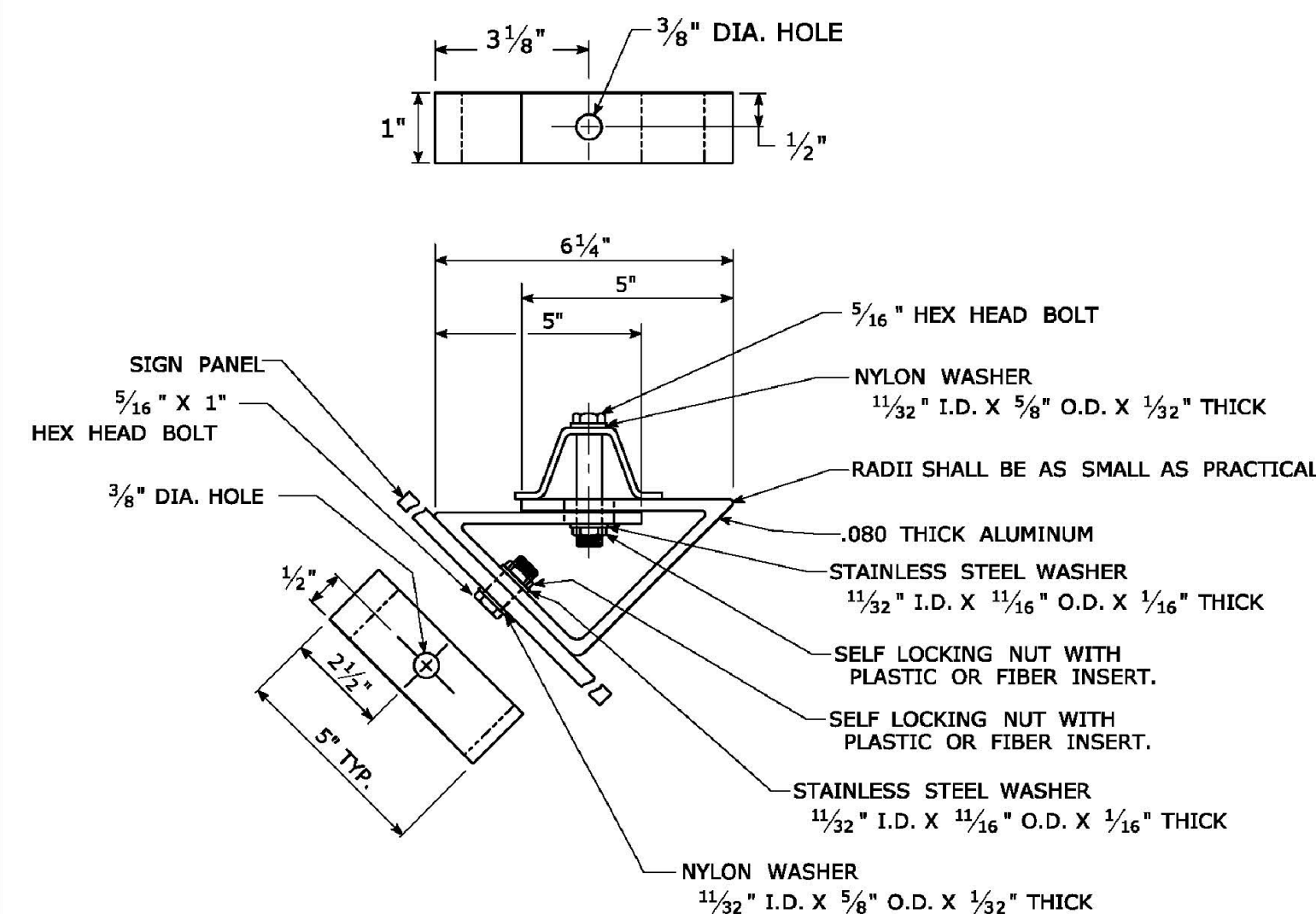
GENERAL NOTES:

- STEEL FOR DELINEATOR POSTS SHALL BE ASTM A36 STEEL. STEEL FOR ALL OTHER POSTS SHALL CONFORM TO THE MECHANICAL REQUIREMENTS OF ASTM A 499 GRADE 80 AND TO THE CHEMICAL REQUIREMENTS OF ASTM A1 CARBON STEEL TEE RAIL HAVING NOMINAL WEIGHT (MASS) OF 91 LBS. OR GREATER PER LINEAR YARD.
- AFTER FABRICATION, ALL STEEL POSTS, STRAPS AND PLATES SHALL BE GALVANIZED TO MEET THE REQUIREMENTS OF ASTM A123.
- WASHERS FOR BREAKAWAY INSTALLATIONS SHALL MEET ASTM F436, TYPE 1.
- SPACER BAR FOR BREAKAWAY INSTALLATION SHALL CONFORM TO THE MECHANICAL REQUIREMENTS OF ASTM A36.
- ALL BOLTS, NUTS, AND WASHERS FOR BREAKAWAY INSTALLATIONS SHALL BE GALVANIZED TO MEET THE REQUIREMENTS OF ASTM A153.
- ALL SIGN POSTS SHALL HAVE BREAKAWAY FEATURES THAT MEET AASHTO REQUIREMENTS CONTAINED IN THE CURRENT "STANDARD SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINAIRES AND TRAFFIC SIGNALS." THE BREAKAWAY FEATURES SHALL BE STRUCTURALLY ADEQUATE TO CARRY THE SIGNS SHOWN IN THE PLANS AT 60 MPH WIND LOADINGS. INSTALLATIONS SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
- SIGN POSTS SHALL BE 4 LBS./FT.

BREAKAWAY INSTALLATION
FOR 4 LBS./FT. POSTS

TYPICAL SIGN POST INSTALLATION IN LEDGE

LEDGE SHALL BE REMOVED TO DRIVE THE BASE POST TO A DEPTH OF 38".
HOLE SHALL BE FILLED WITH SUB-BASE MATERIAL AND COMPACTED WITH A TAMPING BAR, OR TECHNIQUE APPROVED BY THE ENGINEER, PRIOR TO BASE POST INSTALLATION.

TYPICAL SLEEVE
FOR PAVED AREAS45° MOUNTING BRACKET
FOR INSTALLATION OF PARKING SIGNS

REV.	DATE	REVISION DESCRIPTION
2	6-2017	SIGN POST REVISIONS.
1	2-2011	MINOR REVISIONS.

THE INFORMATION, INCLUDING ESTIMATED QUANTITIES OF WORK SHOWN ON THESE SHEETS IS BASED ON LIMITED INVESTIGATIONS BY THE STATE AND IS IN NO WAY WARRANTED TO INDICATE THE CONDITIONS OF ACTUAL QUANTITIES OF WORK WHICH WILL BE REQUIRED.

Plotted Date: 6/6/2017

NOT TO SCALE



Filename: TR-1208_02_May.2017_Revision.dgn Model: TR-1208_02

SUBMITTED BY:	NAME/DATE/TIME:
Mark F. Makuch, P.E.	2017.06.07 07:30:30-04'00'
Mary E. Baker, P.E.	2017.06.15 15:28:14-04'00'
APPROVED BY:	NAME/DATE/TIME:
Gregory M. Dorosh, P.E.	2017.06.15 09:27:29-04'00'

CTDOT
STANDARD SHEET
OFFICE OF ENGINEERING

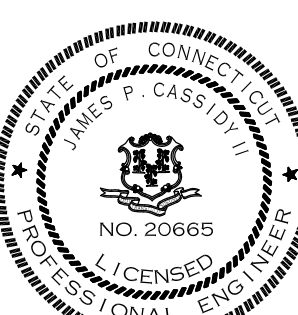
METAL SIGN POSTS
AND SIGN MOUNTING DETAILS

GUIDE SHEET NO.:
TR-1208_02

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PREPARED FOR
CALITO DEVELOPMENT GROUP
PROPERTY LOCATED AT
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SCALE: 1"=40'

CHECKED BY: JPC

DRAWN BY: JMP

DATE: NOV. 20, 2024

JOB No.: 3486

ACAD FILE: 3486-DET

SHEET: 13 OF: 18

REVISIONS:

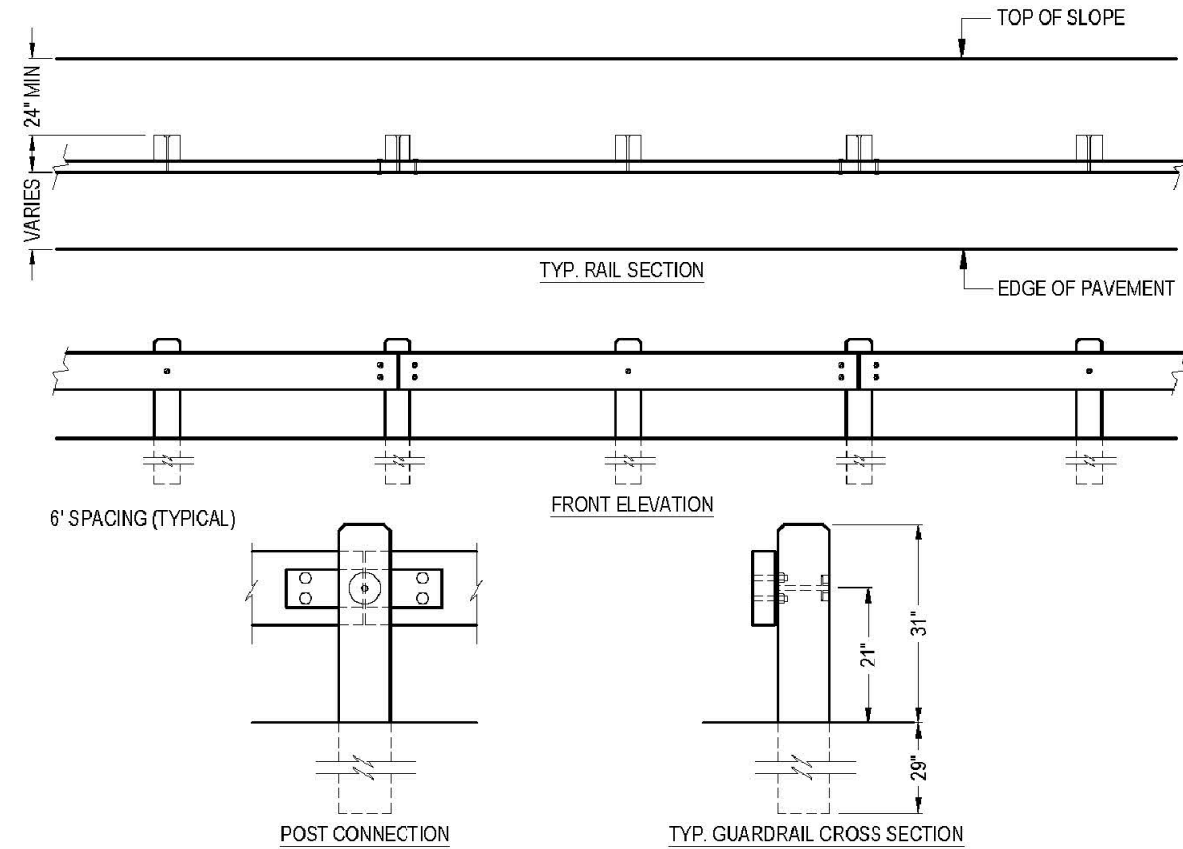
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MAR. 16, 2025 PER CT DOT COMMENT



S.I. STOREY LUMBER CO., INC.
285 SIKI STOREY RD NW, P.O. BOX 99
ARMUCHEE, GA 30105-0099
TOLL FREE: 1-888-934-1605
PHONE: (706) 234-1605
FAX: (706) 235-8132
www.timbarrier.com



MANUFACTURER'S NOTES

1. INCREASE POST LENGTH TO 6' OR 7' IF BACK OF POST IS CLOSER THAN 24" TO TOP OF SLOPE OR WHEN LOCATED IN CLIMATES WHERE FROST HEAVING MAY OCCUR.
2. DRIVE POSTS OR AUGER BACKFILL WITH NATIVE SOIL AND COMPACT EVERY 12".
3. ALL TIMBER #1 S4S SOUTHERN PINE, PRESSURE TREATED: MWPA-C14, WOOD FOR USE IN HWY. CONSTR.
4. TYP. POST: 6" X 6" X 5' - TYP. RAIL: 3" X 12" X 11' 11 1/2"; FOR RADIUS SECTIONS SPECIFY 3" X 12" X 5' 11-1/2"
5. FASTENERS: ASTM A307; A242; F436 TYPE 3, A563 D43.
6. TIMBARRIER™ SPLICE PLATE & PLATE WASHER ASTM A588.
7. UNDER EACH BOLT HEAD ON FACE OF RAIL, INSTALL ONE 7/8" WASHER.

NOTES:

1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWING.
3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADDetails.com/info AND ENTER REFERENCE NUMBER 651-001d.

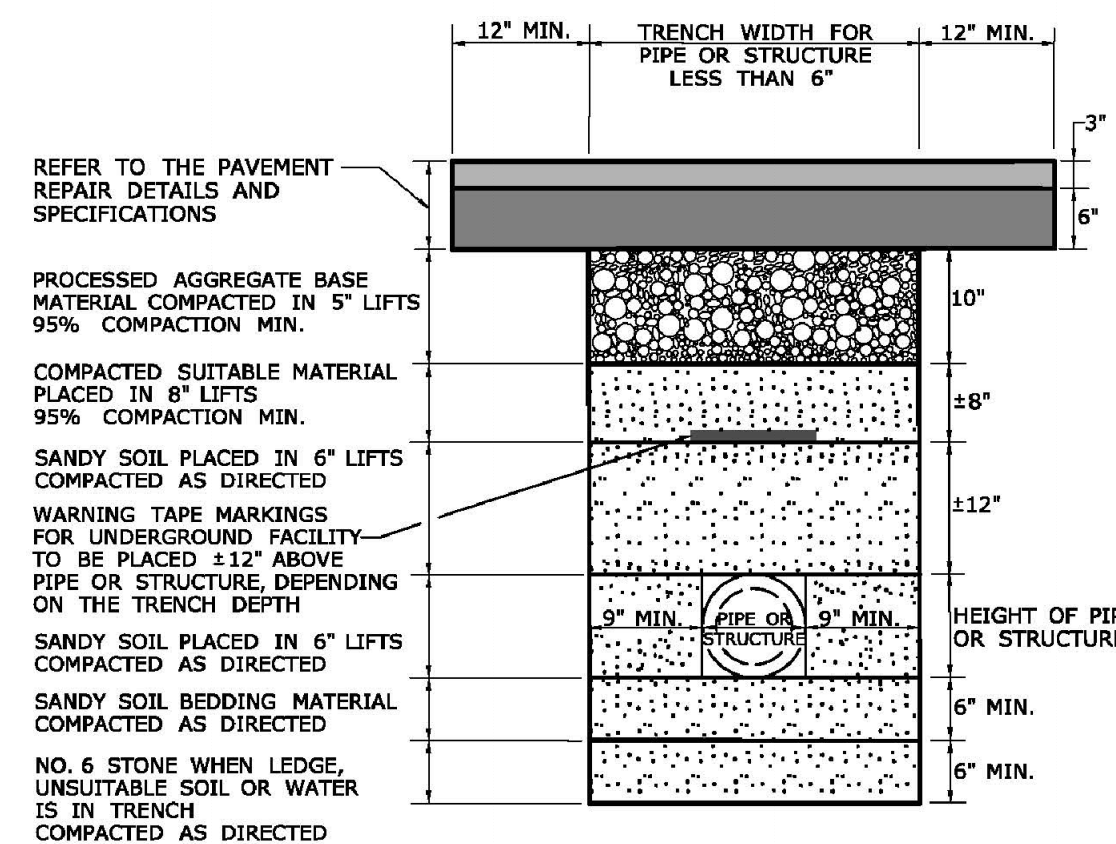


LOTGUARD™ PARKING LOT AND DRIVEWAY APPLICATIONS (10 MPH MAX.)

REVISION DATE 10/12/2023

CADDetails.com

TRENCH FOR PIPES OR STRUCTURES LESS THAN 6"



GENERAL NOTES:

1. THE MINIMUM DEPTH OF THE TRENCH SHALL BE IN ACCORDANCE WITH THE LATEST PURA AND/OR CTDOT UTILITY REGULATIONS.
2. COMPACTED SUITABLE MATERIAL AND SANDY SOIL LAYERS MAY BE ADJUSTED DEPENDING ON THE TRENCH DEPTH AS APPROVED BY CTDOT.
3. COMPACTION REQUIREMENTS MUST BE MET REGARDLESS OF TRENCH CHARACTERISTICS.

COLOR TO BE PER THE AUTHORITY HAVING JURISDICTION.

ACCESSIBLE SHOPPING CART RAMP TO BE CENTERED ABOUT THE FRONT DOOR

SIDEWALK

SLOPE 1:12 MAX RAMP

STANDARD PARKING SPACE STRIPING

1:10 MAX. SLOPE PAINTED YELLOW

BOLLARD WITH ACCESSIBLE PARKING SIGN, AS REQUIRED

STANDARD ACCESSIBLE PARKING SYMBOL PAINTED ON PAVEMENT. PAINT COLOR TO BE PER THE AUTHORITY HAVING JURISDICTION.

4" STRIPES @ 24" O.C. AT 45 DEGREES. PAINT COLOR TO BE PER THE AUTHORITY HAVING JURISDICTION.

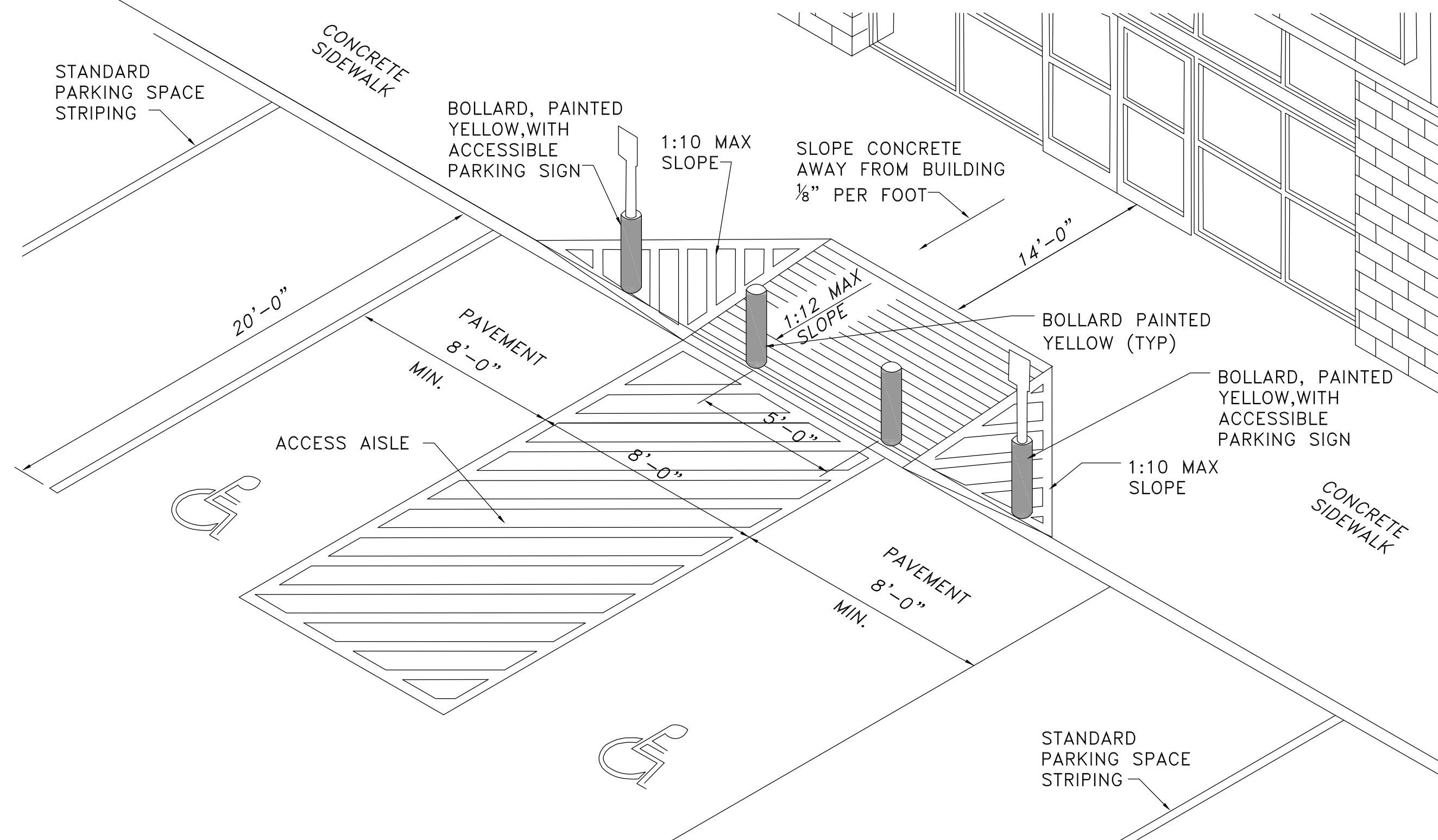
STANDARD ACCESSIBLE PARKING SYMBOL PAINTED ON PAVEMENT. PAINT COLOR TO BE PER THE AUTHORITY HAVING JURISDICTION.

4" PARKING SPACE STRIPE PAINT COLOR TO BE PER THE AUTHORITY HAVING JURISDICTION.

NOTE
ALL ACCESSIBLE RAMPS AND ACCESS AISLES SHALL MEET ALL CODES AND ADAAG REGULATIONS.

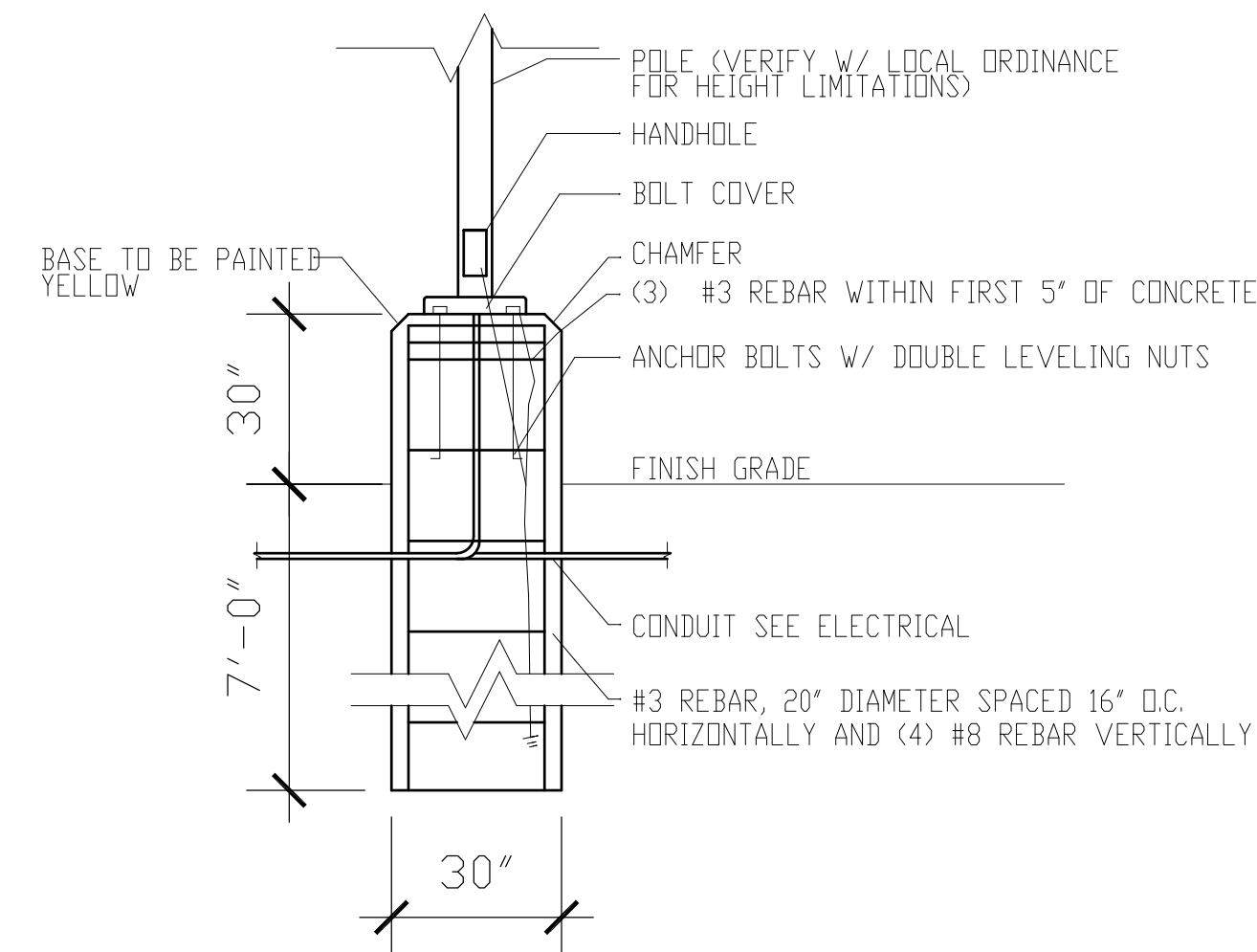
ACCESSIBLE PARKING DETAIL

SCALE: NTS



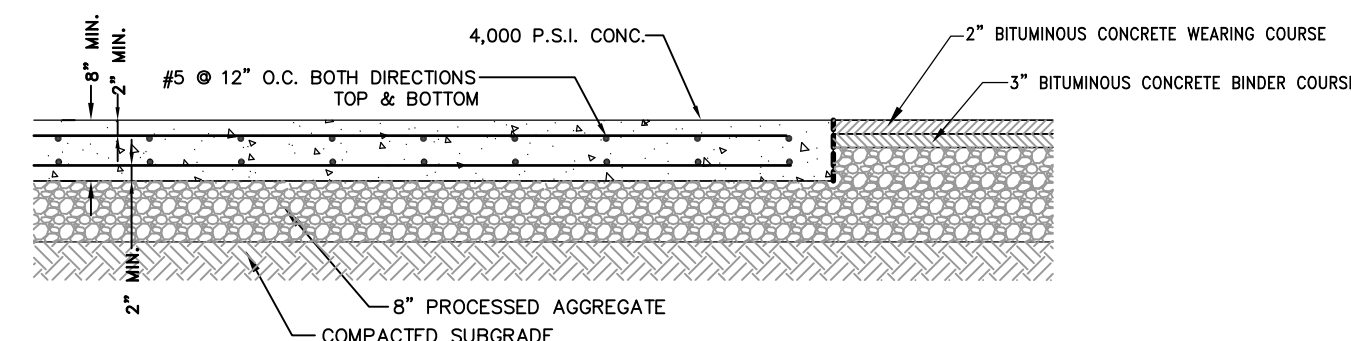
ACCESSIBLE PARKING, ACCESS RAMP & ACCESS AISLE DETAILS

SCALE: NTS



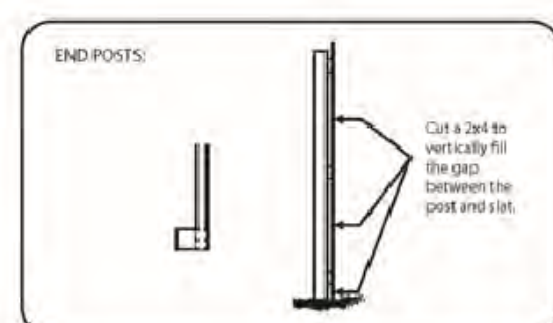
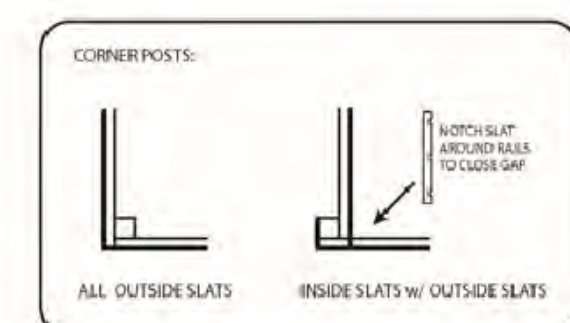
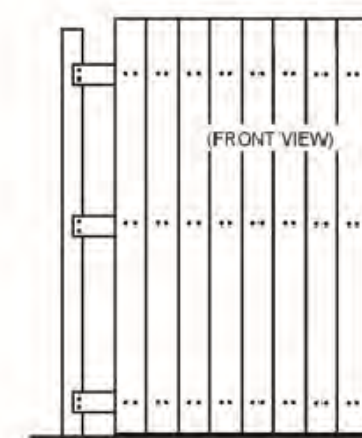
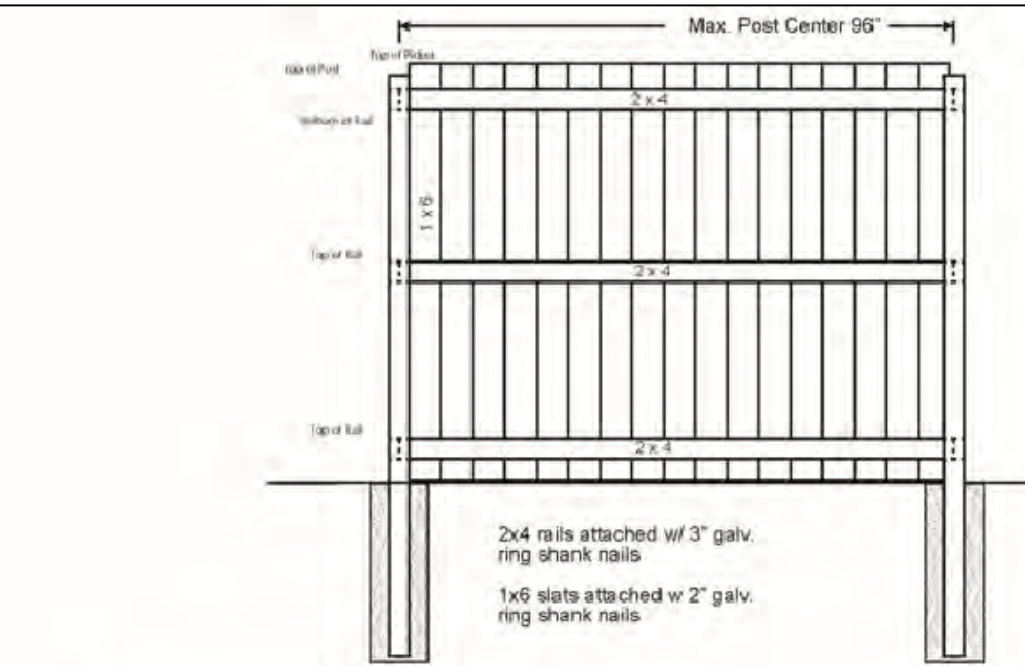
LIGHT POLE BASE DETAIL

N.T.S.



TYPICAL SECTION OF CONCRETE PAD HEAVY DUTY CONCRETE FOR LOADING AREA

NOT TO SCALE



FENCES & DECKS
www.fenceanddeckutah.com

SLC
PROVO

801-990-6888
801-374-6428

HALLISEY, PEARSON & CASSIDY

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SCALE: 1"=40'

CHECKED BY: JPC

DRAWN BY: JMP

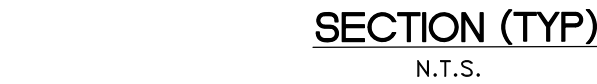
DATE: NOV. 20, 2024

JOB No.: 3486

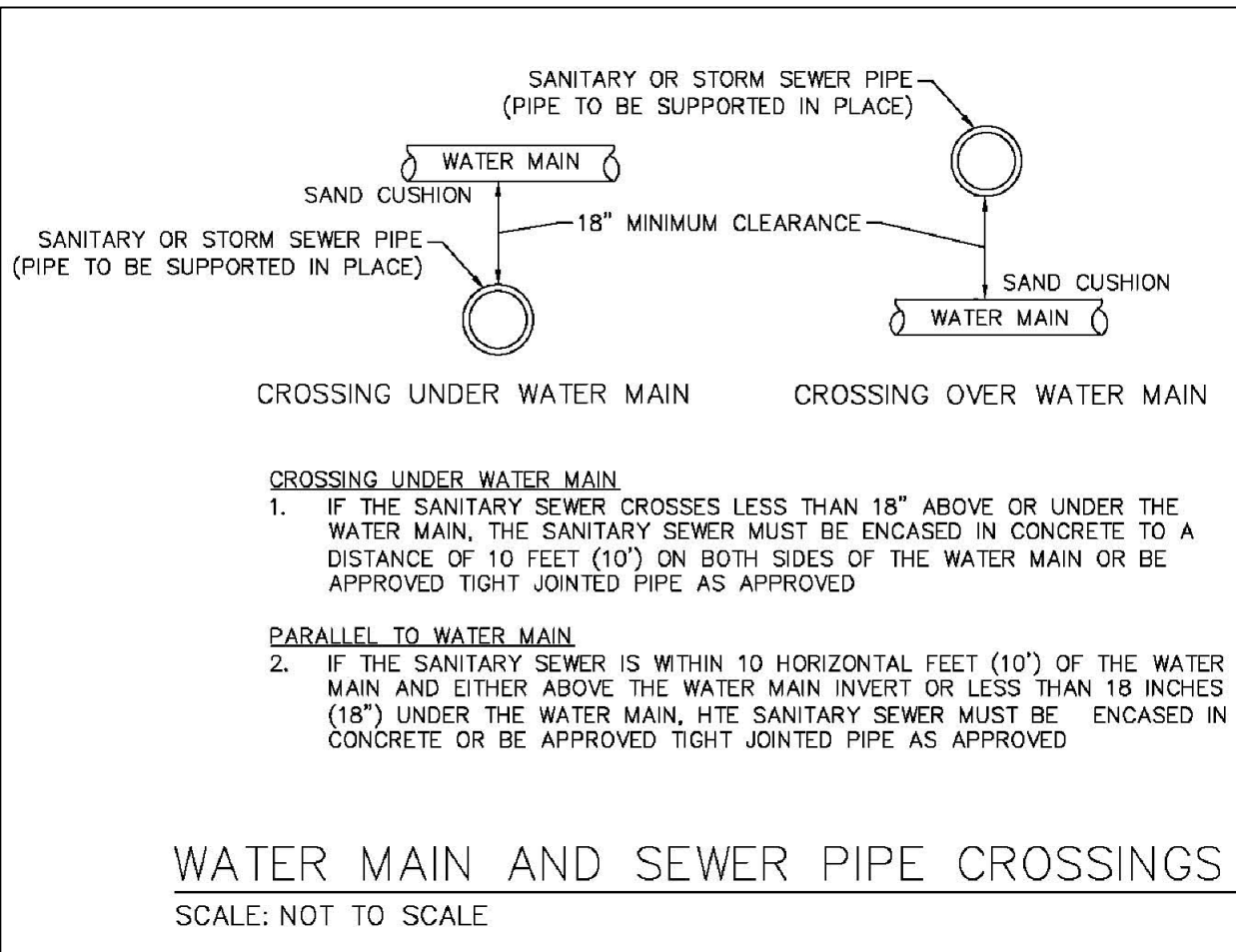
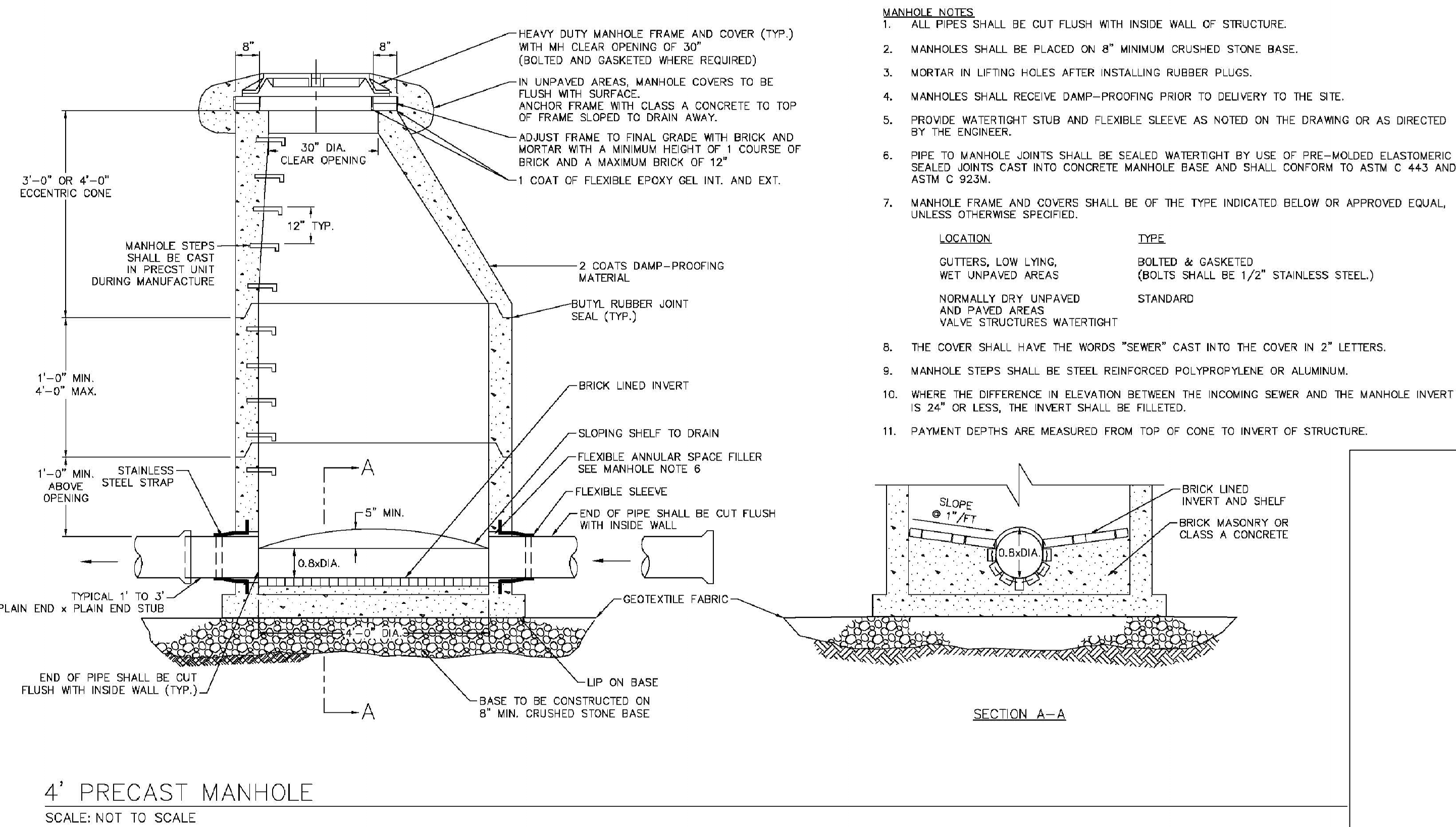
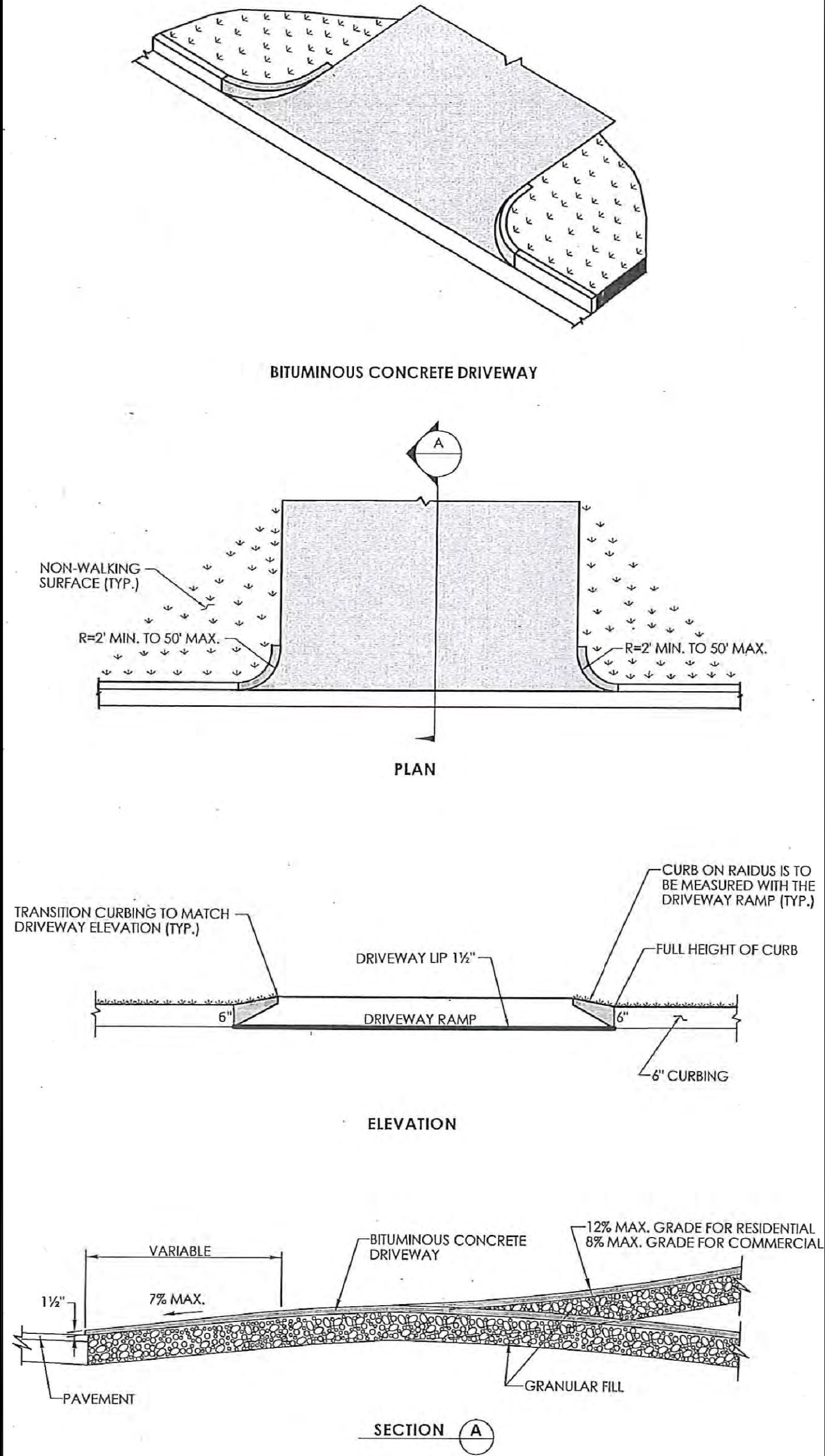
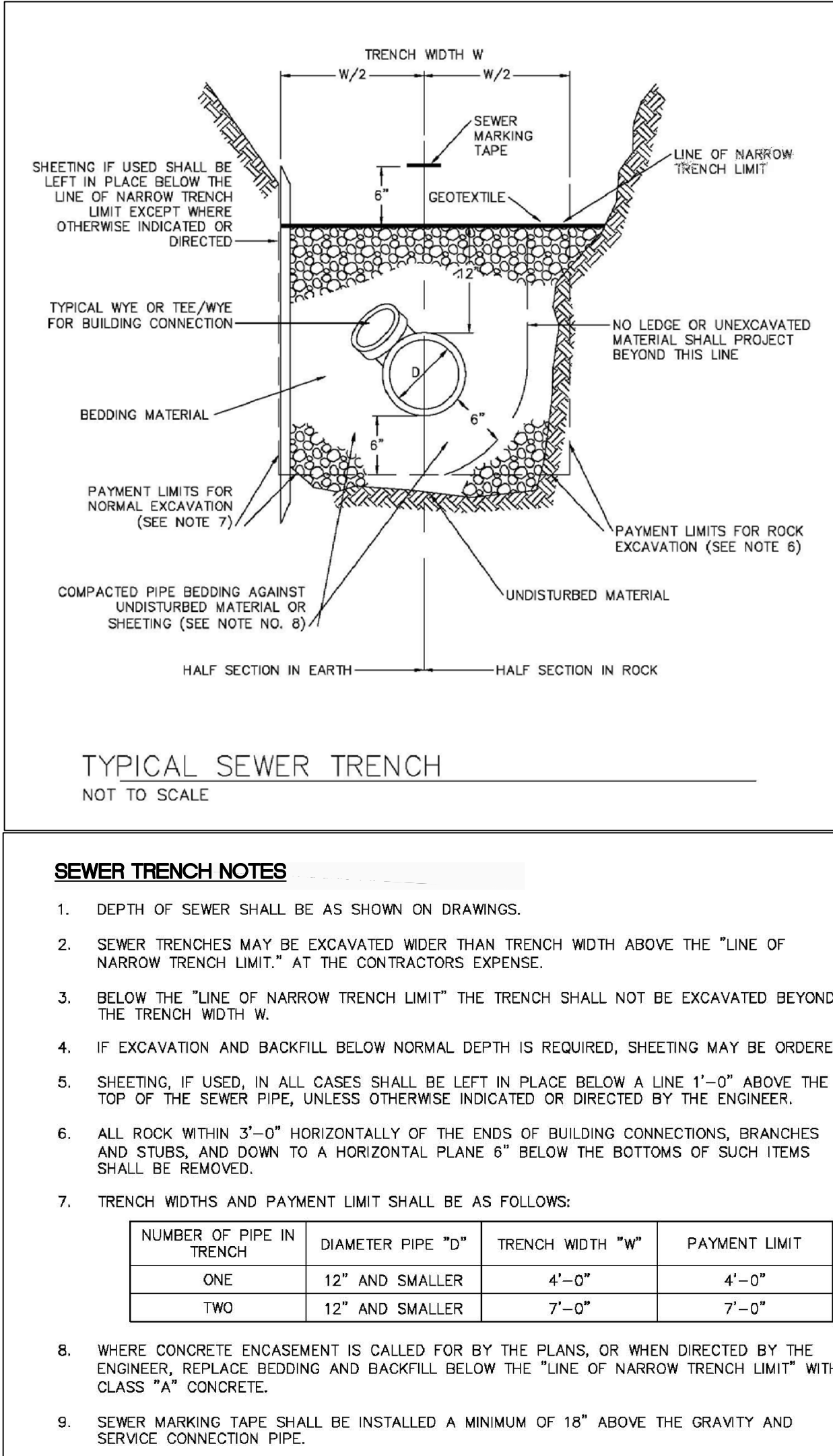
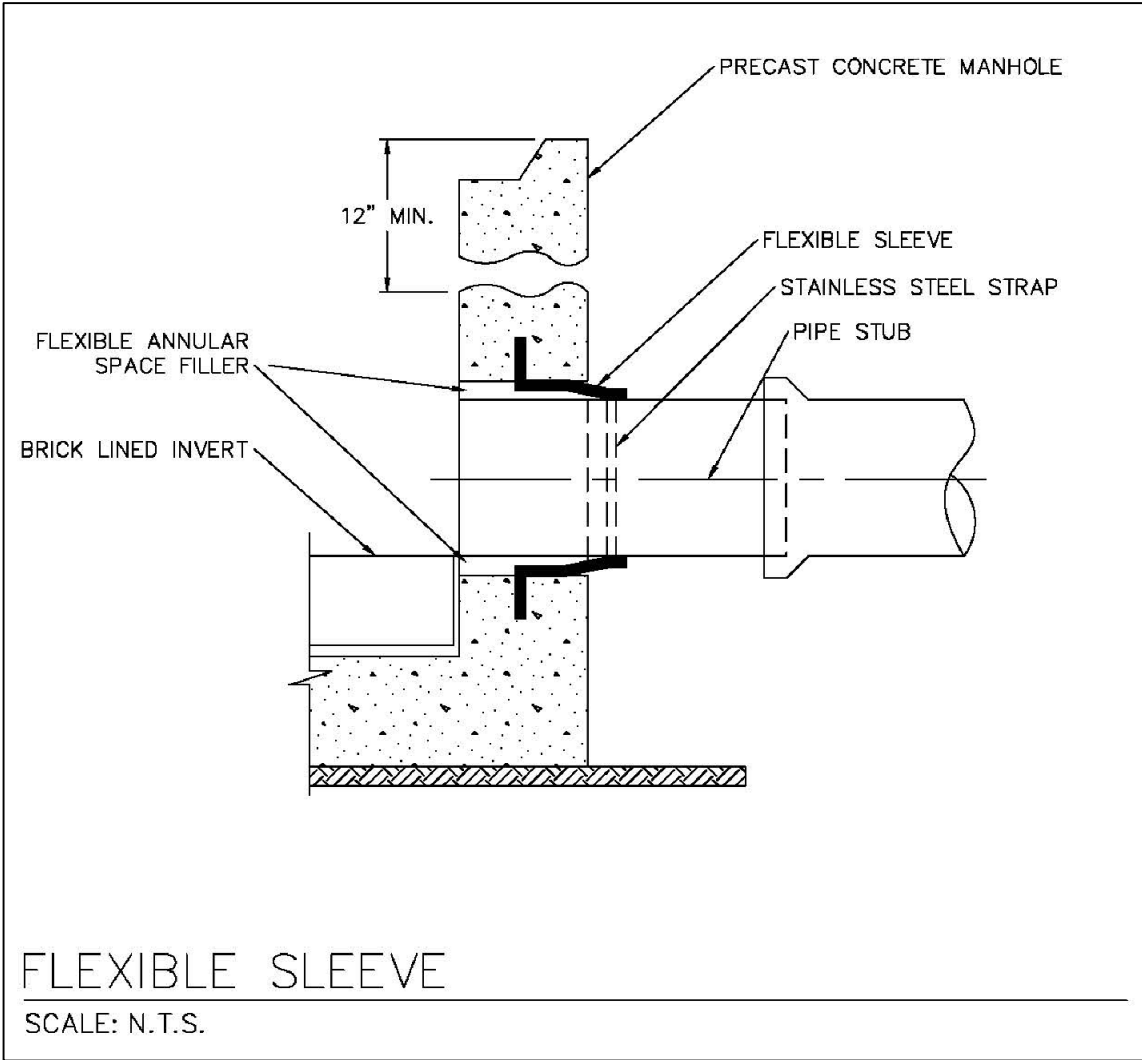
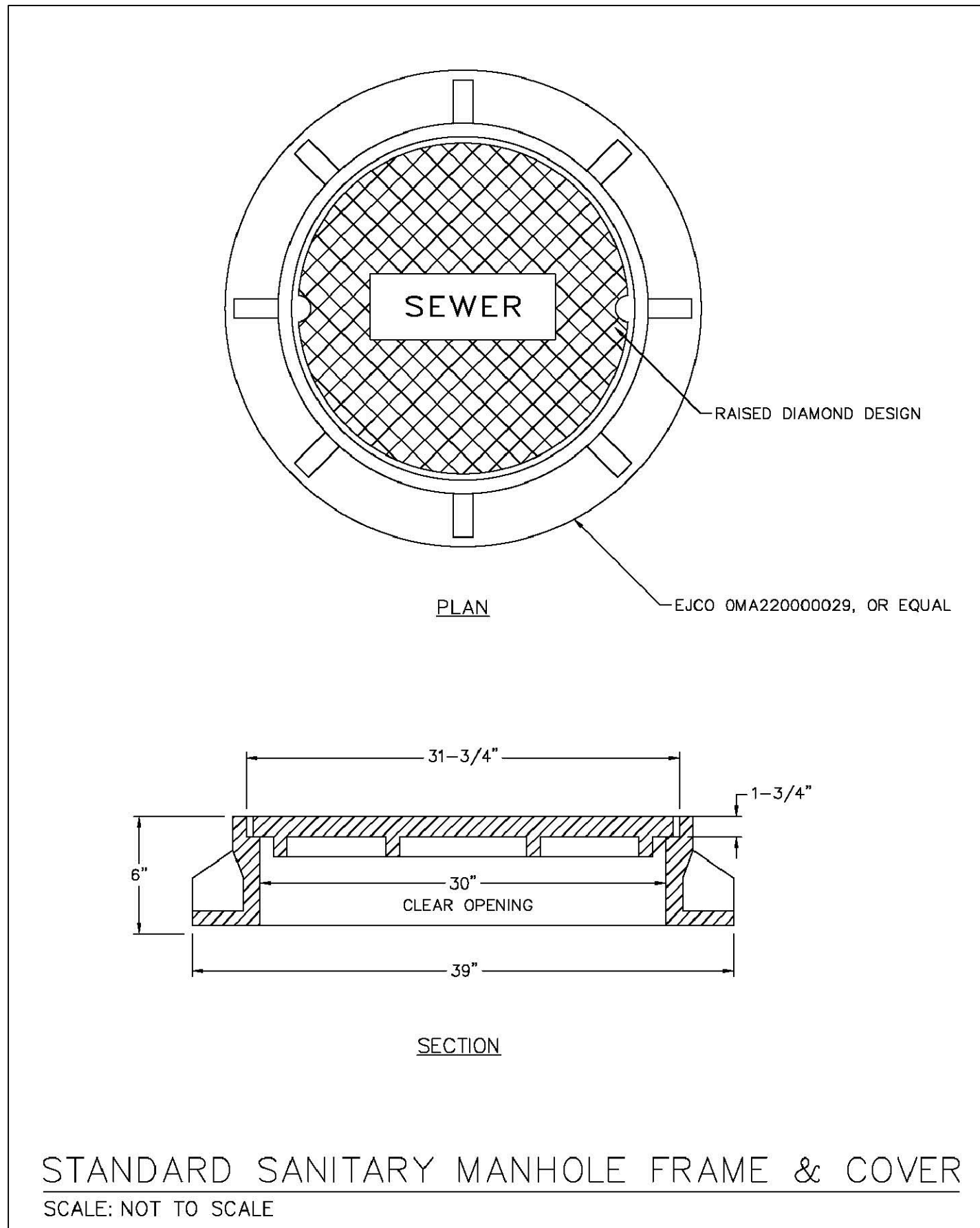
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SHEET: 14 OF: 18

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U.S. PATENT #6126817		
<div style="text-align: center;"> BMP, INC. 53 MT. ARCHER ROAD, LYME, CT. 06371 (800) 504-8008 FAX: (860) 434-3195 </div>		
DESCRIPTION	DATE	SCALE
SNOUT CATCH BASIN INSTALLATION (TYPICAL)	09/17/99	NONE
	DRAWING NUMBER SN-BAS	



SCALE: 1"=40'

CHECKED BY: JPC

DATE: NOV. 20, 2024

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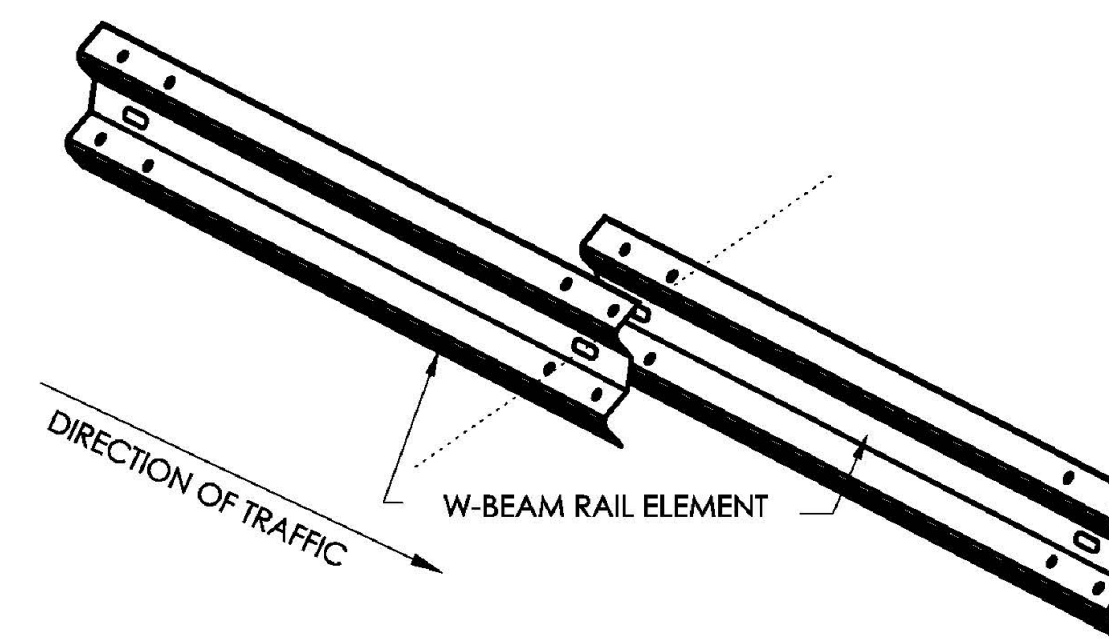
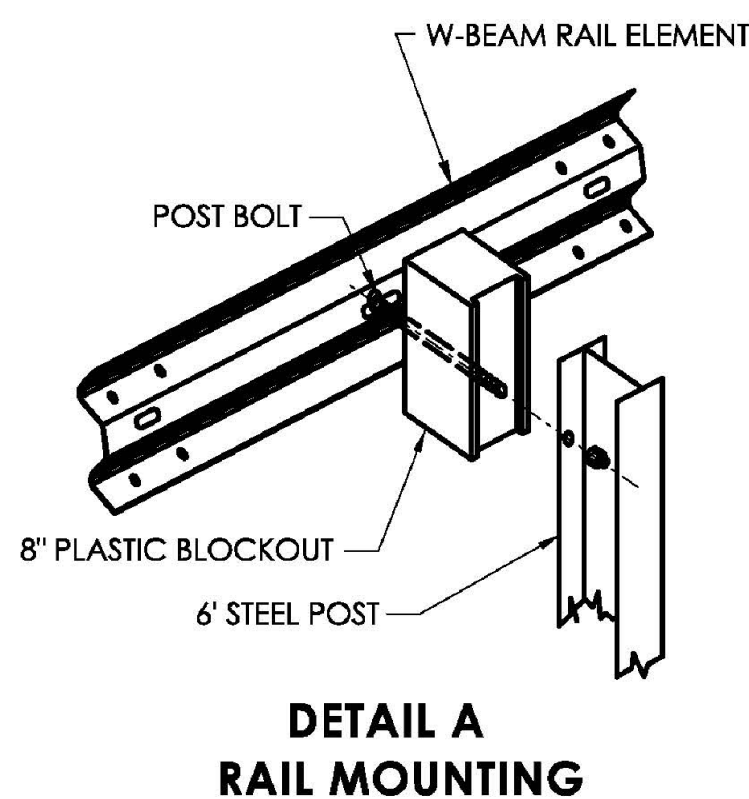
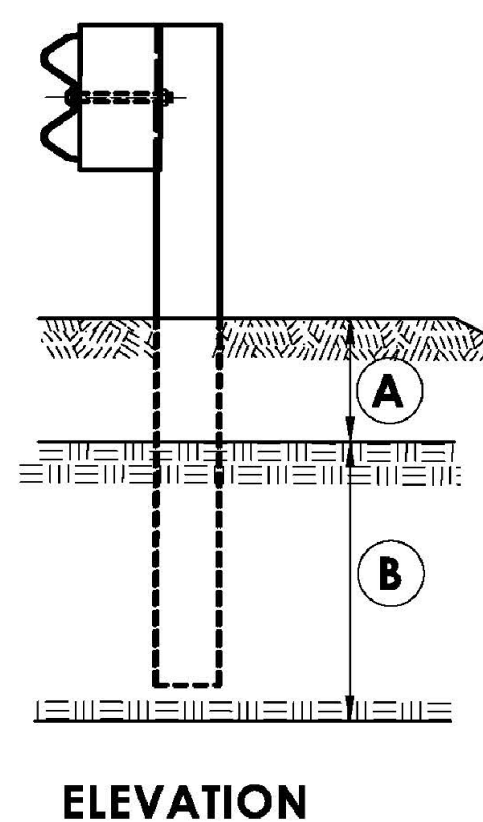
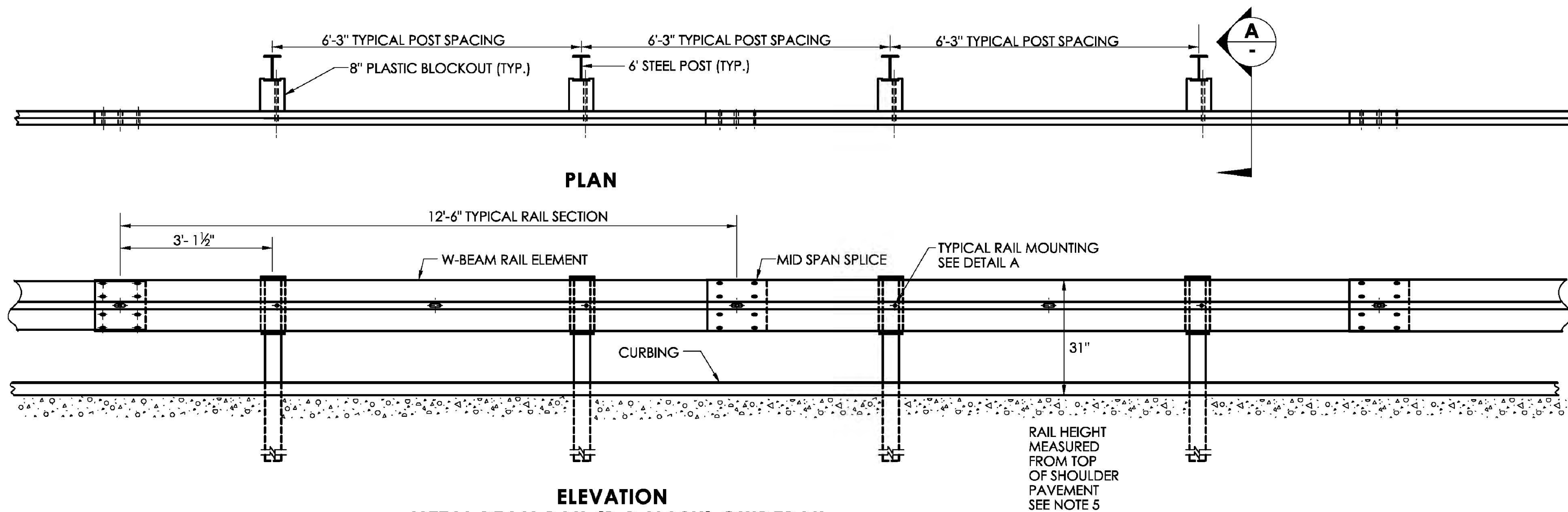
HALLISEY, PEARSON & CASSIDY

CIVIL ENGINEERS & LAND SURVEYORS

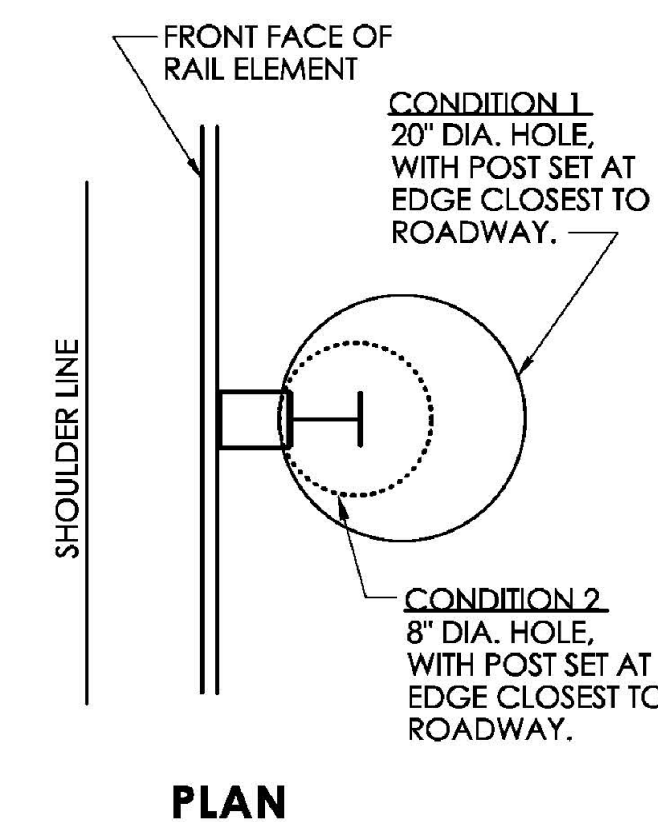
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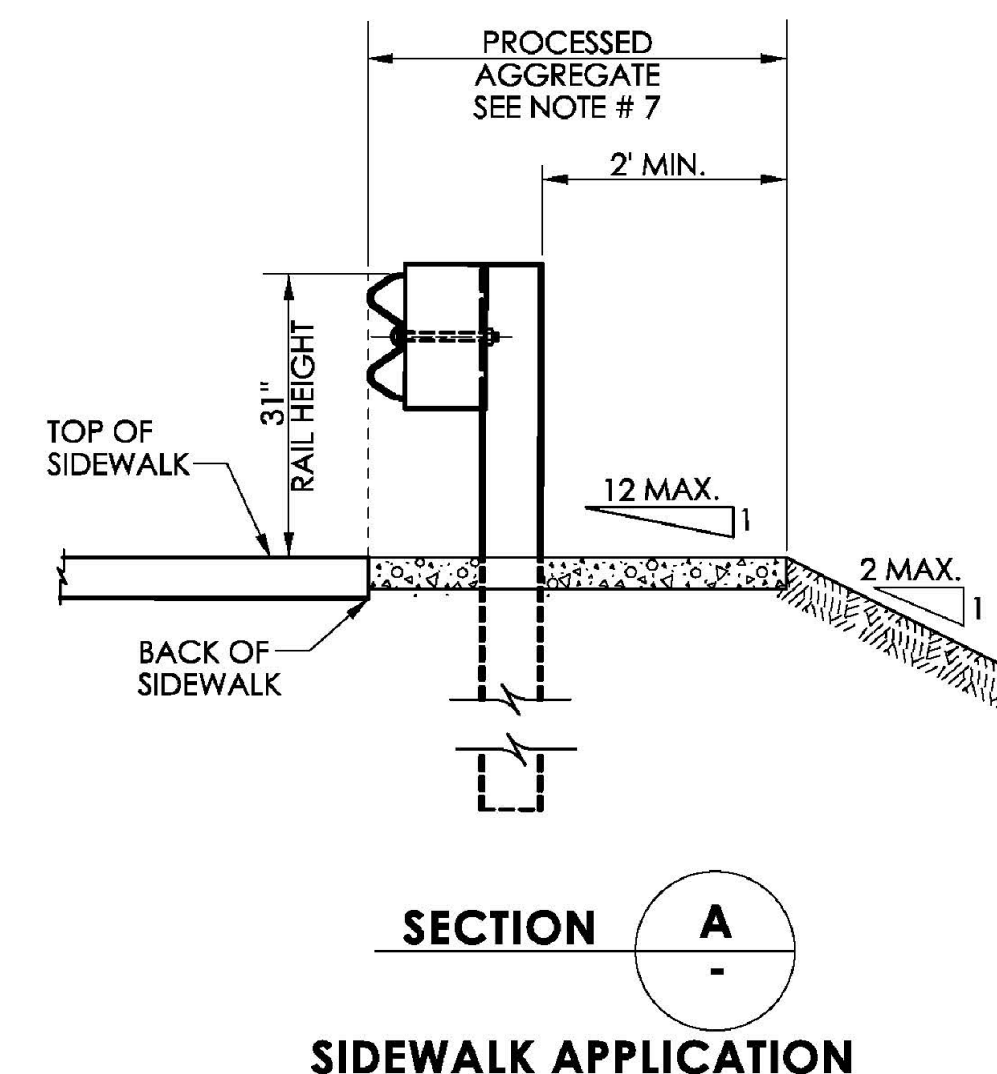
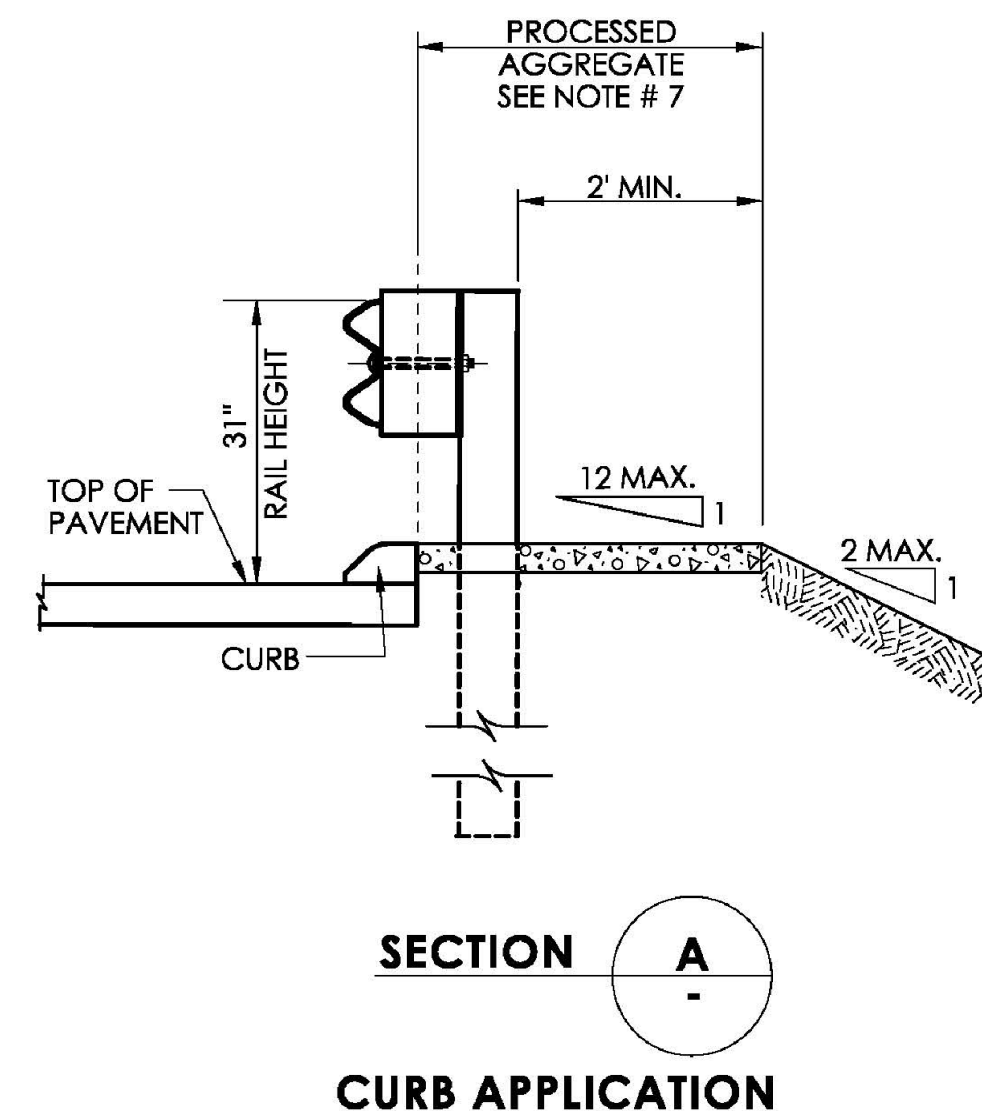
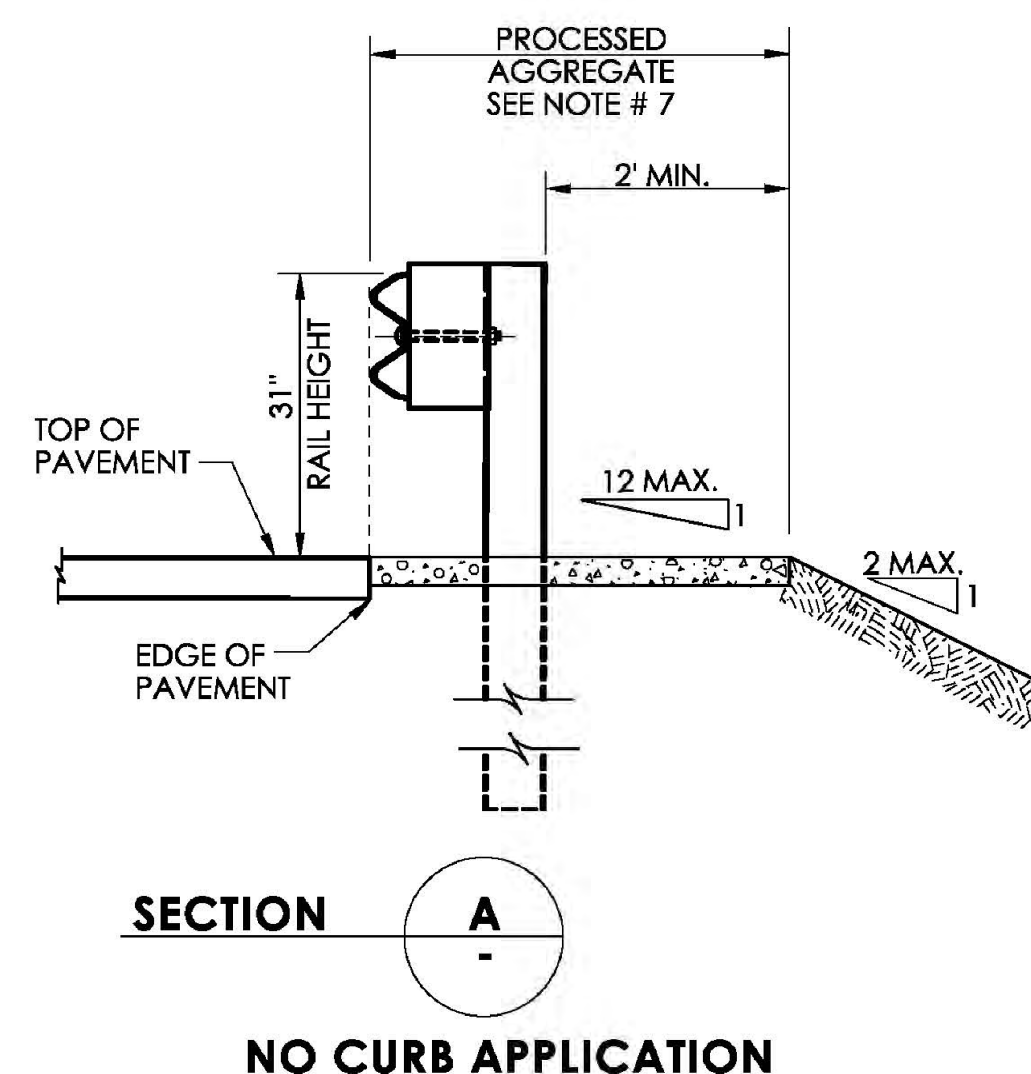
STATE OF CONNECTICUT
JAMES P. CASSIDY, III
NO. 20665
LICENSED PROFESSIONAL ENGINEER



LAP W-BEAM RAIL SECTIONS
NOTE: EIGHT (8) SPLICE BOLTS PER JOINT



GUIDERAIL POSTS IN ROCK



GENERAL NOTES:

1. SEE SHEET HW-910_20 FOR MASH W-BEAM HARDWARE AND W-BEAM DELINEATOR DETAILS.
2. THREE BLOCKOUTS MAY BE USED FOR ONE POST ONLY. TWO BLOCKOUTS MAY BE USED FOR A SERIES OF POSTS. THE COST OF ADDITIONAL BLOCKOUTS AND LONGER BOLTS SHALL BE INCLUDED IN THE PRICE PER FOOT OF GUIDERAIL. EXTRA BLOCKOUTS AT TRANSITIONS TO BRIDGE PARAPETS SHOULD BE AVOIDED. DO NOT USE ADDITIONAL BLOCKS IF IT CAUSES THE POST TO BE DRIVEN BEYOND AN EMBANKMENT HINGE POINT OR CAUSES A FIXED OBJECT TO BE WITHIN THE DEFLECTION DISTANCE OF THE BARRIER.
3. IF BLOCKOUTS DO NOT AVOID POST FROM OBSTRUCTION, ONE POST MAY BE OMITTED IF 50 FEET OF GUIDERAIL EXISTS ON BOTH SIDES OF LOCATION. USE METAL BEAM RAIL SPAN SECTION TYPE II OR III FOR MORE THAN ONE CONSECUTIVE OMITTED POST, SEE SHEET HW-910_24.
4. W-BEAM GUIDERAIL MAY BE PLACED 1' OR MORE FROM THE EDGE OF PAVEMENT ONLY ON SLOPES 10:1 OR FLATTER AND WITHOUT CURBING.
5. IF THE RAIL IS INSTALLED WITHIN 2' OF THE EDGE OF PAVEMENT, THE RAIL HEIGHT IS MEASURED FROM THE SHOULDER SLOPE EXTENDED TO THE RAIL. IF THE RAIL IS INSTALLED BEYOND 2' FROM THE EDGE OF PAVEMENT, THE RAIL HEIGHT IS MEASURED FROM THE GROUND DIRECTLY BELOW THE RAIL.
6. RAIL HEIGHT CONSTRUCTION TOLERANCE IS \pm 1 INCH.
7. FOR NEW CONSTRUCTION, PLACE 6 INCH LAYER OF PROCESSED AGGREGATE. FOR CONSTRUCTION PROJECTS WITH GUIDERAIL UPGRADE, THE CONTRACT PLANS MAY CALL OUT PROCESSED AGGREGATE ONLY TO BE PLACE IN LOCATION(S) OF EXISTING VERTICAL PAVEMENT EDGE DROP OFF AS A LEVELING MATERIAL, FILLING IN DEPRESSED AREAS.

HALLISEY, PEARSON & CASSIDY

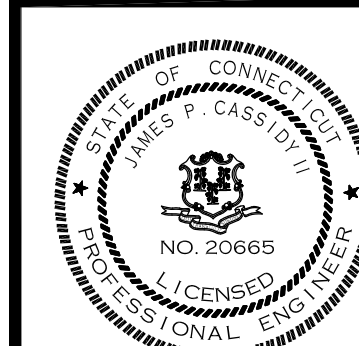
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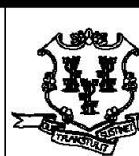
REVISIONS:

DEC. 17, 2024 PER TOWN COMMENT

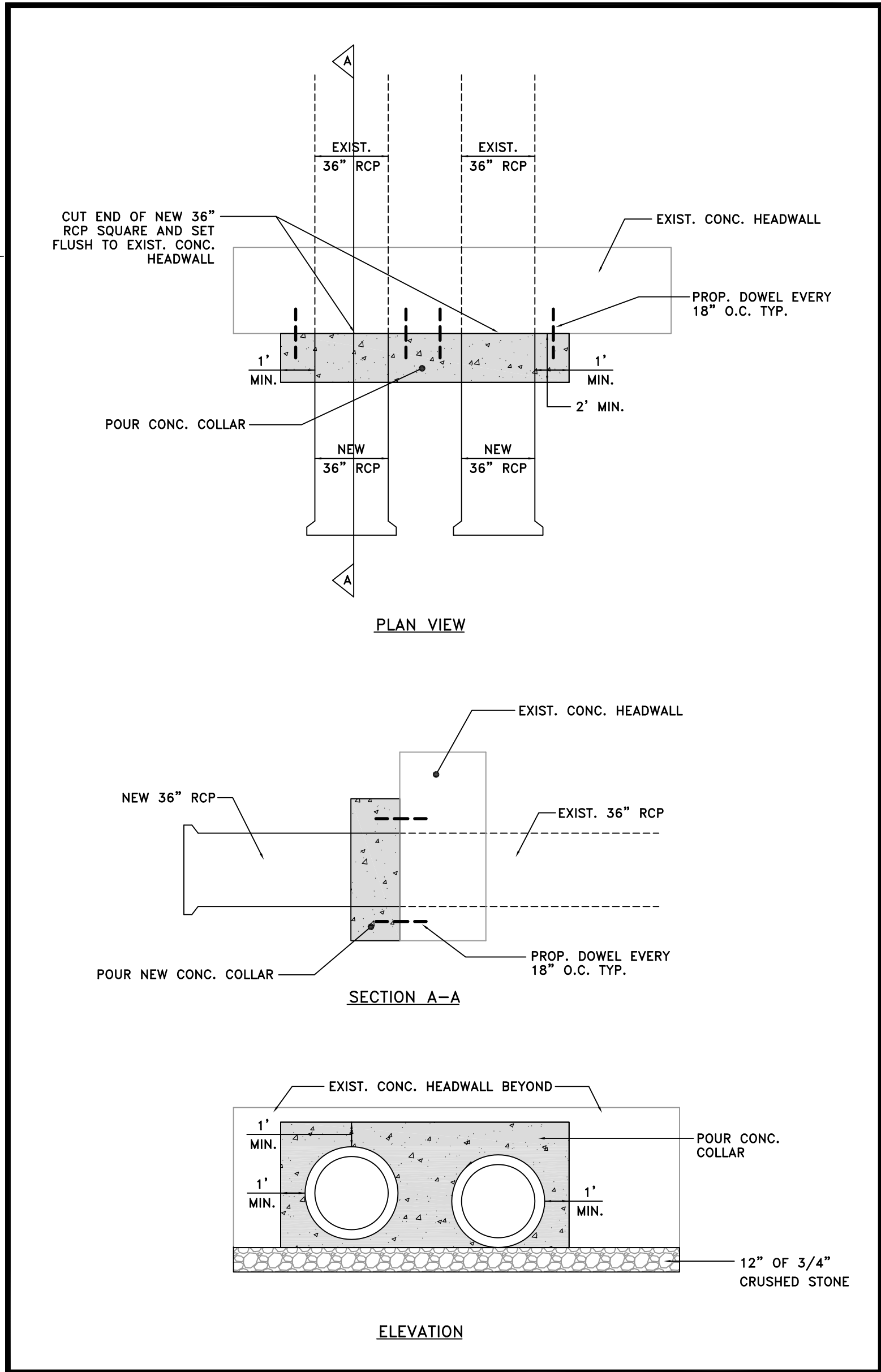
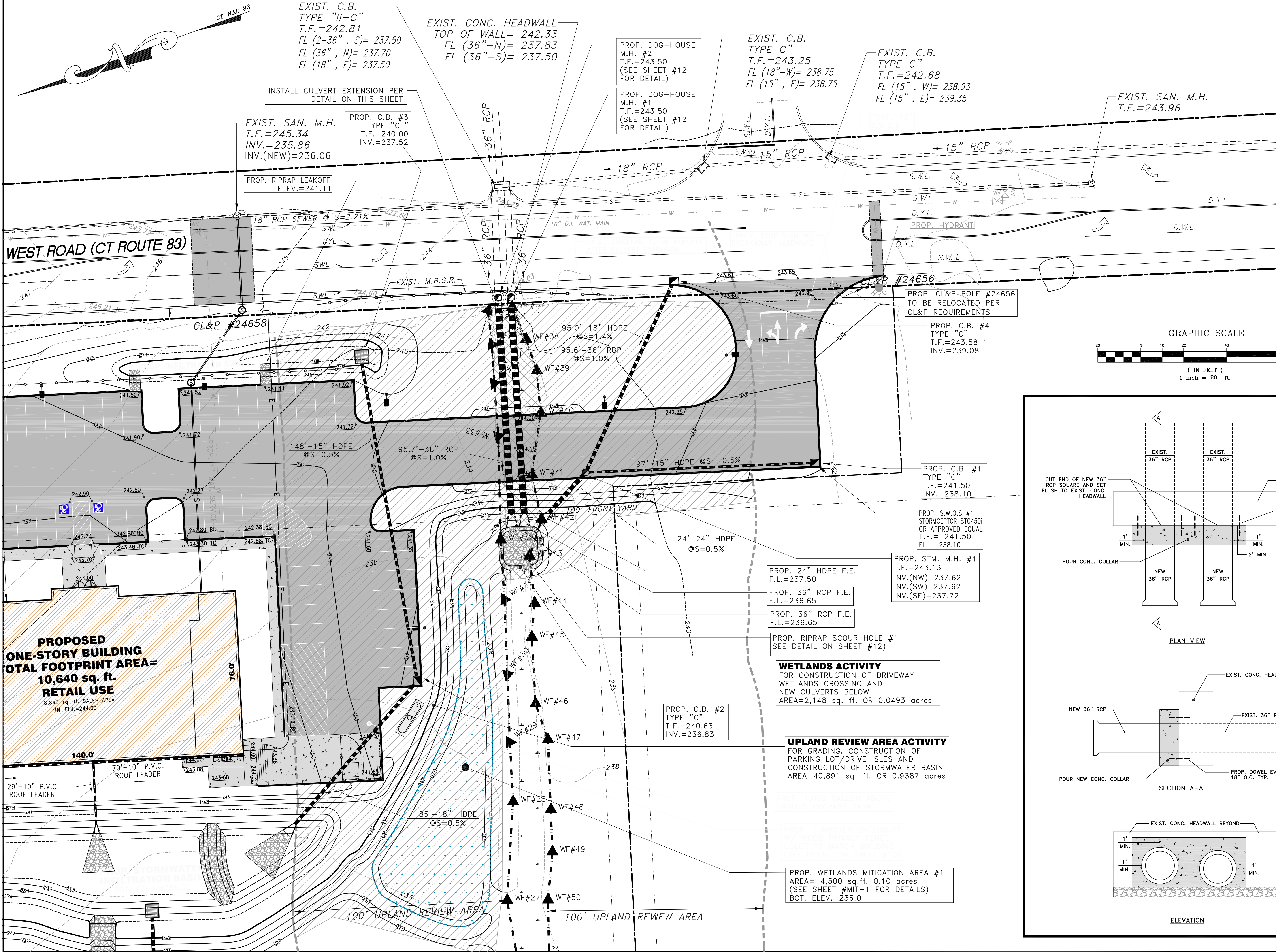
JAN. 23, 2025 PER ENGINEER COMMENT

JAN. 23, 2025 PER ENGINEER COMMENT

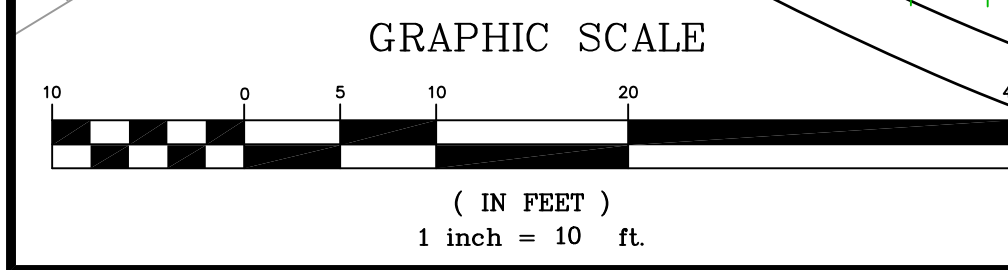
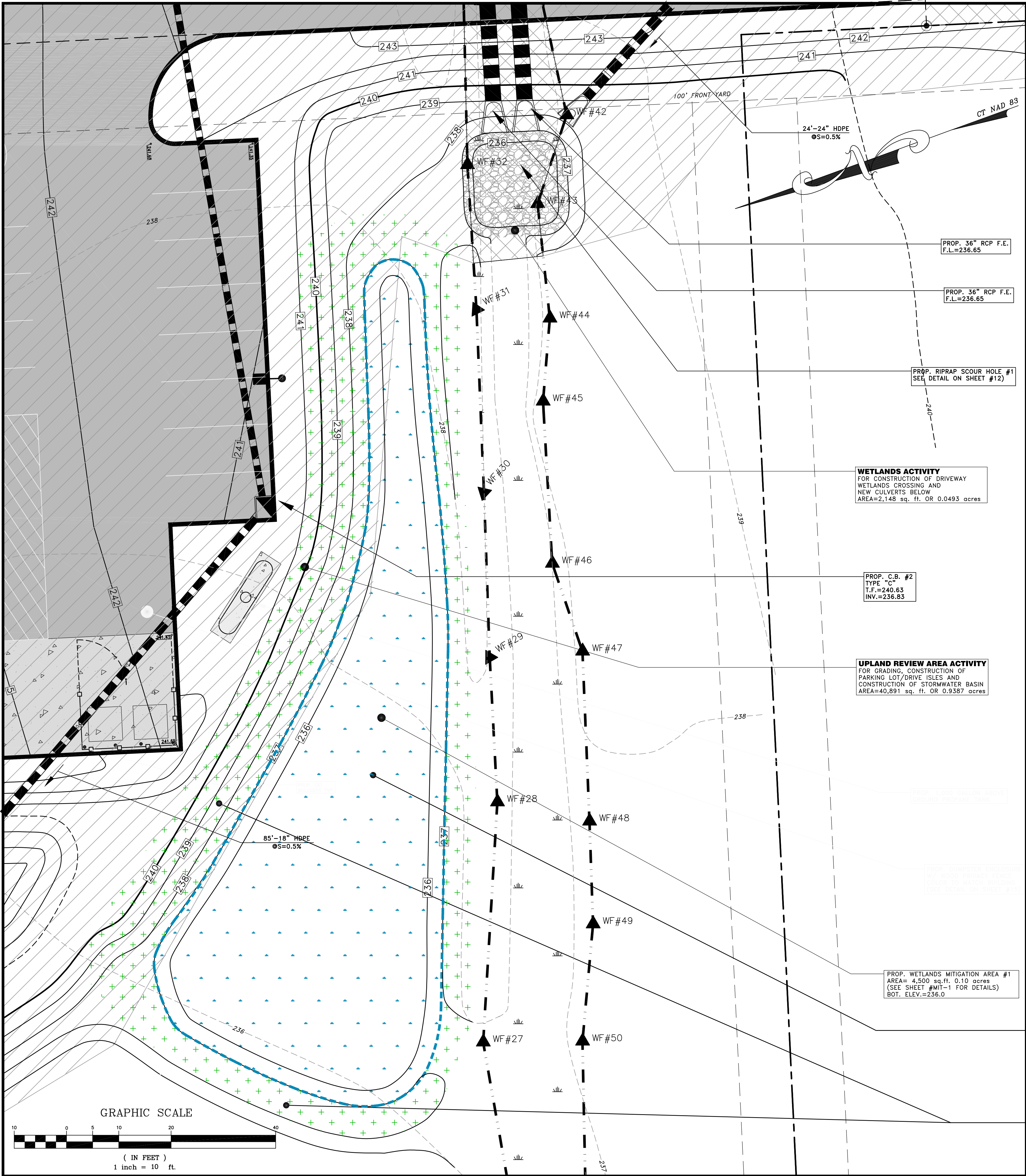
MAR. 16, 2025 PER CT DOT COMMENT



STATE OF CONNECTICUT
DEPARTMENT
OF
TRANSPORTATION



SCALE: 1"=20'	CHECKED BY: JPC	HALLISEY, PEARSON & CASSIDY CIVIL ENGINEERS & LAND SURVEYORS 630 MAIN STREET, UNIT #1A CROMWELL, CONNECTICUT 06416 PHONE: (860)-529-6812, FAX: (860)-721-7709
DATE: NOV. 20, 2024	DRAWN BY: JMP	
JOB NO.: 3486	ACAD FILE: 3486-SWOB	
SHEET: 18 OF: 18		CULVERT EXTENSION PLAN PREPARED FOR CALITO DEVELOPMENT GROUP PROPERTY LOCATED AT WEST ROAD (RT. #83) ELLINGTON, CONNECTICUT
REVISIONS: REV. 01: 2024 PER TOWN COMMENT REV. 02: 2024 PER PAZ COMMENT REV. 03: 2025 PER ENGINEER COMMENT REV. 04: 2025 PER WPCA COMMENT REV. 05: 2025 PER CT DOT COMMENT		



MITIGATION AREA PLANTING SCHEDULE - (4,500 SQFT)				
BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QUANTITY
HERBACEOUS				
<i>Acorus americana</i>	Sweetflag	2" plugs	Min 2FT-O.C.	100
<i>ACORUS AMERICANA</i>	Swamp Milkweed	2" PLUGS	MIN. 2FT-O.C.	100
<i>Caltha palustris</i>	Marsh Marigold	2" PLUGS	MIN. 2FT-O.C.	100
<i>Carex lurida</i>	Lurid Sedge	2" PLUGS	MIN. 2FT-O.C.	100
<i>Carex stricta</i>	Tussock Sedge	2" PLUGS	MIN. 2FT-O.C.	100
<i>Eupatorium perfoliatum</i>	Boneset	2" PLUGS	MIN. 2FT-O.C.	200
<i>Juncus effuses</i>	Soft Rush	2" PLUGS	MIN. 2FT-O.C.	100
<i>Iris versicolor</i>	Blue Flag Iris	2" PLUGS	MIN. 2FT-O.C.	200
<i>Lobelia siphilitica</i>	Great Blue Lobelia	2" PLUGS	MIN. 2FT-O.C.	200
<i>Mimulus ringens</i>	Monkey-flower	2" PLUGS	MIN. 2FT-O.C.	200

Note: Wetland plugs to be provided by New England Wetland Plants, Inc. (413-548-8000), or approved nursery. Substitutions based on availability are acceptable under the direction of a qualified wetland scientist.

PROPOSED WETLANDS MITIGATION AREA
 AREA = 4,500 sq. ft.

AREA TO BE PLANTED WITH NEW ENGLAND WETLAND PLANTS
 WETLAND PLANTS NEWENGLAND CONSERVATION/WILDLIFE
 SEED MIX • RATE OF 1,750 SF/LB

SCALE: 1"=10'

CHECKED BY: JPC

DATE: SEP. 19, 2024

DRAWN BY: JMP

JOB No.: 3486

ACAD FILE: 3486-MIT

SHEET: MIT-1

OF: 1

REVISIONS:

2024 PER TOWN COMMENT

2025 PER P&Z COMMENT

2025 PER ENGINEER COMMENT

MAR. 16, 2025 PER CT DOT COMMENT

HALLISEY, PEARSON & CASSIDY

CIVIL ENGINEERS & LAND SURVEYORS

630 MAIN STREET, UNIT #1A

CROMWELL, CONNECTICUT 06416

PHONE: (860)-529-6812, FAX: (860)-721-7709

WETLANDS MITIGATION PLAN

PREPARED FOR

CALITO DEVELOPMENT GROUP

PROPERTY LOCATED AT

WEST ROAD (RT. #83)

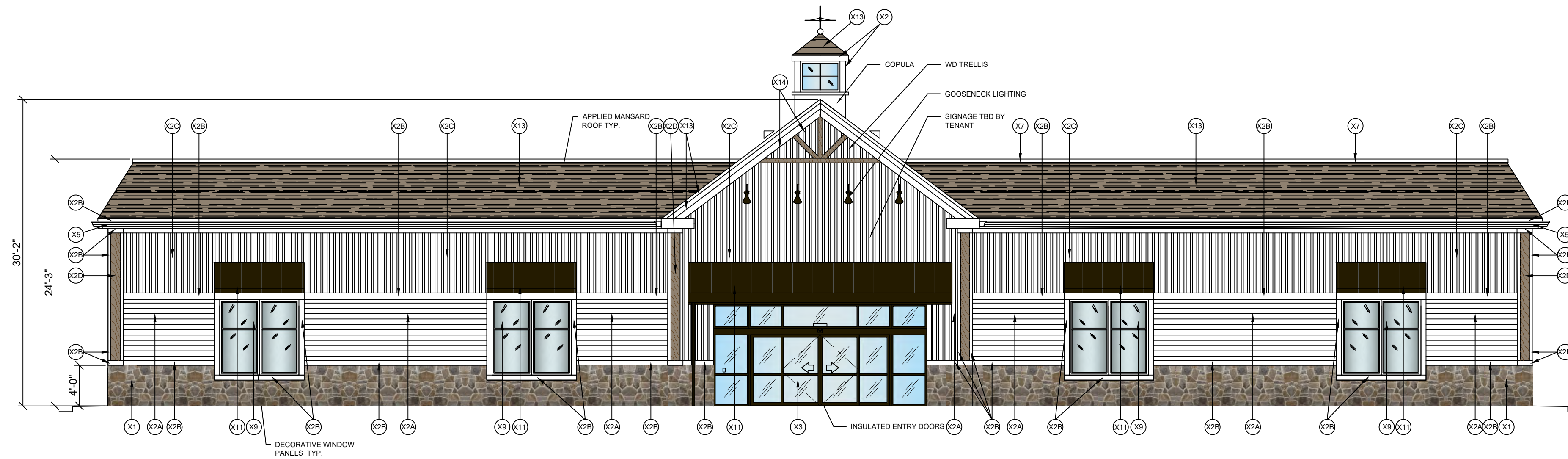
ELLINGTON, CONNECTICUT

STATE OF CONNECTICUT

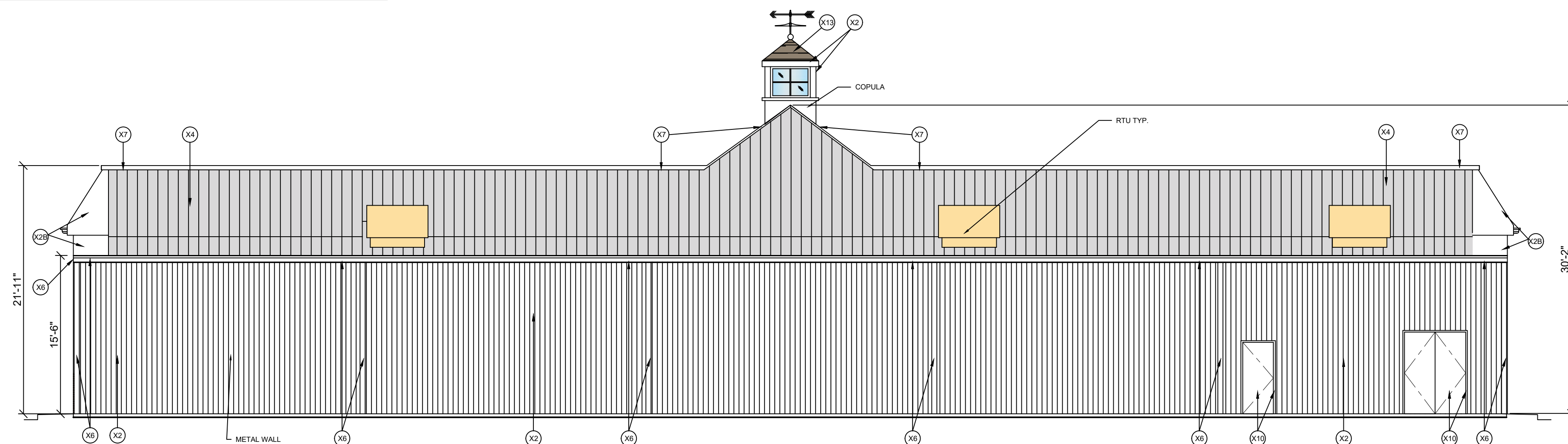
PROFESSIONAL ENGINEER

NO. 20665

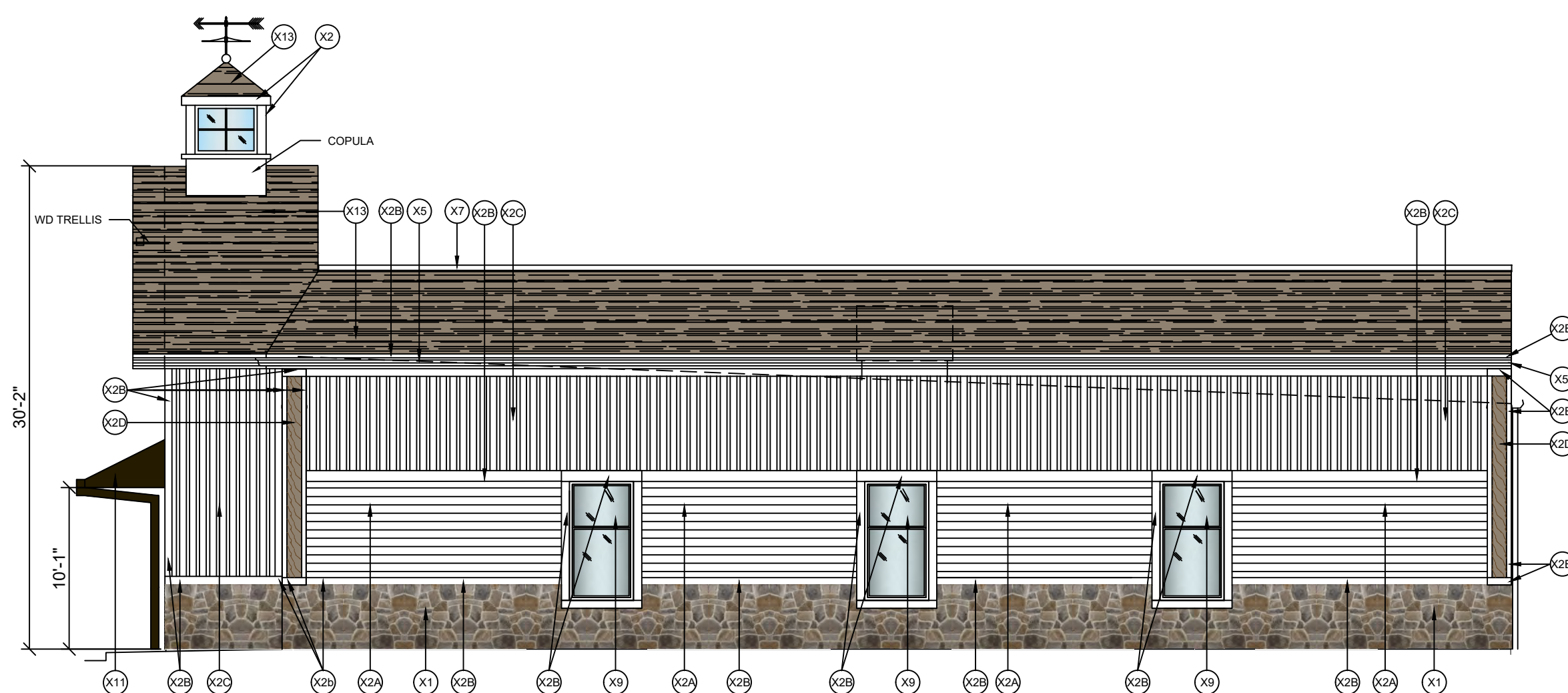
JAMES P. CASSIDY



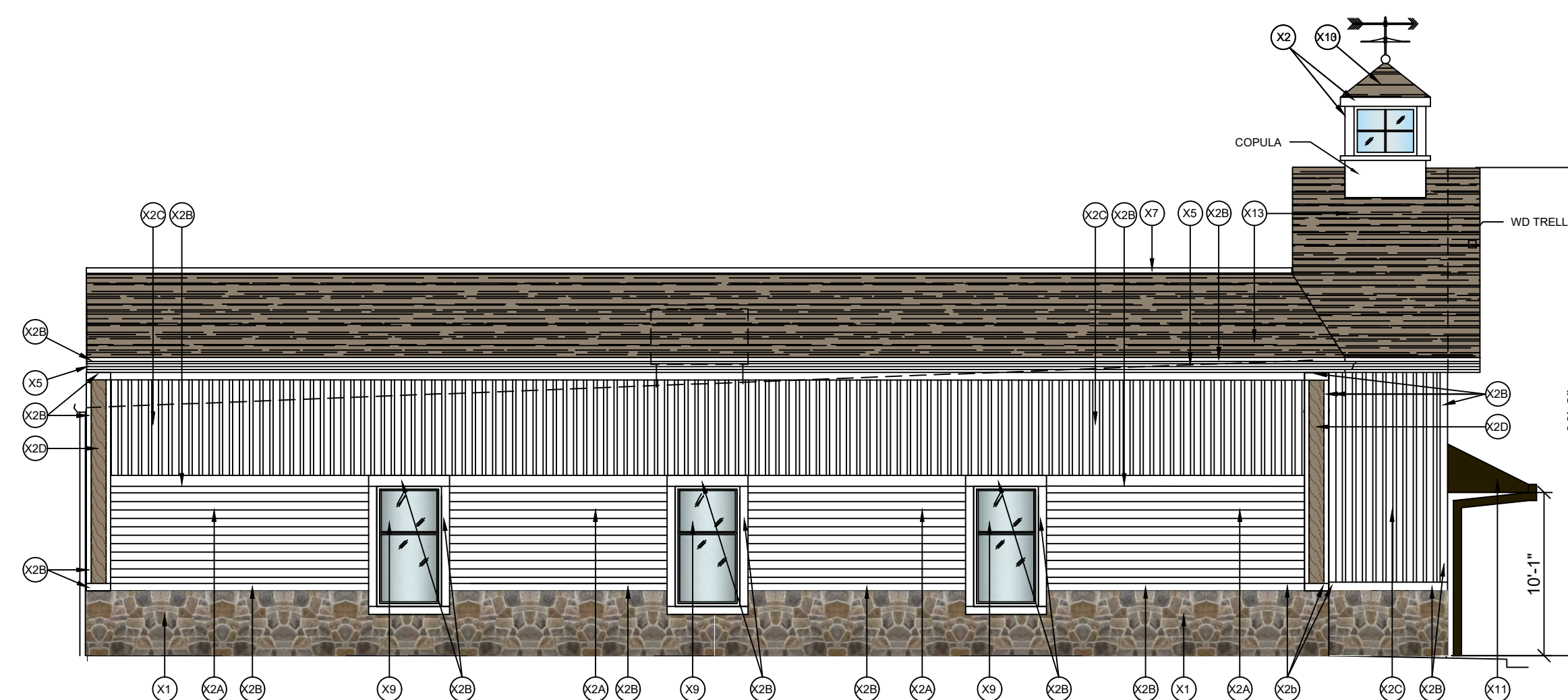
1 PROPOSED FRONT ELEVATION (West Rd)
SCALE: 1/8"=1'-0"



2 PROPOSED REAR ELEVATION
SCALE: 1/8"=1'-0"

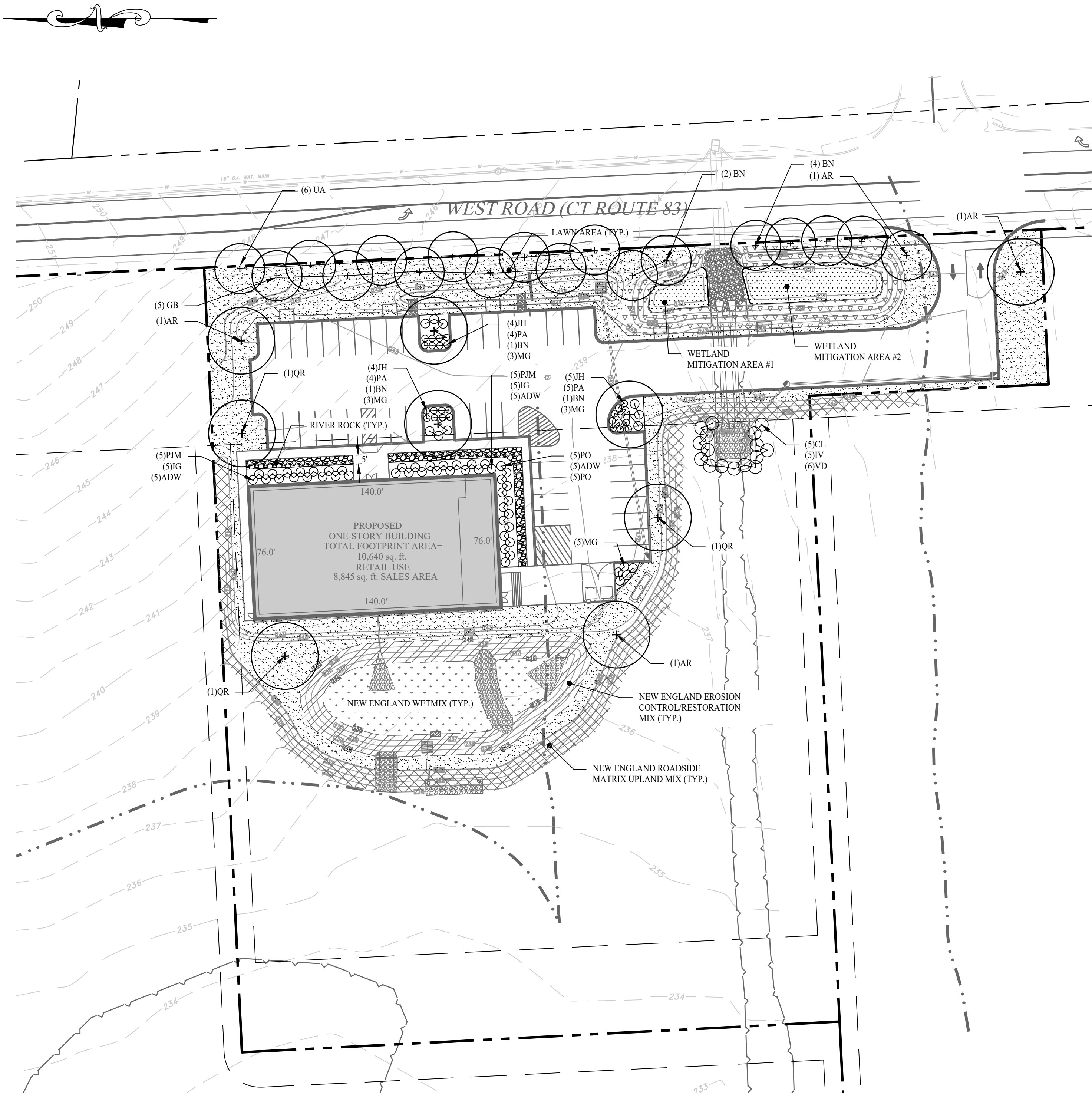


3 PROPOSED RIGHT SIDE ELEVATION
SCALE: 1/8"=1'-0"



4 PROPOSED LEFT SIDE ELEVATION
SCALE: 1/8"=1'-0"

EXTERIOR FINISH SCHEDULE			
TAG	MATERIAL/ MFG.	COLOR/ NO.	NOTES
(X1)	CULTURED STONE WAINSCOT	COLOR: PALISADES	DEL-MAR ANCIENT VILLA LEDGESTONE
(X2)	STANDARD METAL PANEL	COLOR: POLAR WHITE	FINISH BY PEMB
(X2A)	HARDIE BOARD	COLOR: ARCTIC WHITE	PRE-FINISHED
(X2B)	HARDIE TRIM	COLOR: ARCTIC WHITE	PRE-FINISHED
(X2C)	VERTICAL BATTON HARDIE BOARD	COLOR: ARCTIC WHITE	PRE-FINISHED
(X2D)	FINISHED PLWD	COLOR: LT BROWN STAIN	PRE-FINISHED WOOD GRAIN
(X3)	STANDARD ENTRY DOORS	COLOR: DARK BRONZE	PRE-FINISHED
(X4)	STANDARD METAL ROOF PANEL	COLOR: GALVALUME	FINISH BY PEMB
(X5)	MTL GUTTERS, DOWNSPOUTS	COLOR: POLAR WHITE	FINISH BY PEMB
(X6)	MTL GUTTERS, DOWNSPOUTS	COLOR: POLAR WHITE	FINISH BY PEMB
(X7)	MTL COPING	COLOR: WHITE	FINISH BY PEMB
(X8)	NOT USED	COLOR: N/A	N/A
(X9)	SPANDREL STOREFRONT	COLOR: DARK BRONZE	LT GREY FILM
(X10)	INS DOOR & FRAME	COLOR: TO MATCH (X2)	PAINTED
(X11)	MTL AWNING	COLOR: DARK BRONZE	FINISH BY PEMB
(X12)	NOT USED	N/A	N/A
(X13)	ARCH ASPHALT SHINGLES	COLOR: WEATHERED WOOD	GAF TIMBERLINE
(X14)	WOOD TRELLIS	COLOR: STAINED TO MATCH (X2D)	6" X 6" WD POST FEILD FABRICTED



PLANTING NOTES

- BE AWARE OF ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION OR PLANTING OPERATIONS. USE CARE TO PROTECT EXISTING UTILITIES FROM DAMAGE, CONTACT "CALL BEFORE YOU DIG" PRIOR TO EXCAVATION.
- ALL PLANTINGS ARE TO BE INSTALLED BY A QUALIFIED LANDSCAPE CONTRACTOR.
- THE CONTRACTOR SHALL BE REQUIRED TO CARRY WORKMENS COMPENSATION INSURANCE AND COMPREHENSIVE GENERAL LIABILITY INSURANCE. CERTIFICATES WILL BE REQUIRED PRIOR TO SIGNING CONTRACTS.
- CONTRACTOR IS RESPONSIBLE FOR JOBSITE SAFETY. CONTRACTOR SHALL MAINTAIN A SAFE JOBSITE AT ALL TIMES.
- CONTRACTOR SHALL BE FAMILIAR WITH THE SITE TO VERIFY ALL DIMENSIONS, GRADES AND EXISTING CONDITIONS. REPORT ANY DISCREPANCIES TO LANDSCAPE DESIGNER.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND LICENSES REQUIRED FOR COMPLETING WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF ALL EXCAVATED SOIL, BRUSH AND DEBRIS OFF-SITE IN A SAFE AND LEGAL MANNER.
- NOTIFY OWNER OR LANDSCAPE DESIGNER 72 HOURS MINIMUM IN ADVANCE OF STARTING PLANTING OPERATIONS. RECEIVE APPROVAL FOR LAYOUT OF ALL BED LINES AND MATERIAL LOCATIONS PRIOR TO INSTALLATION.
- PROTECT EXISTING VEGETATION TO REMAIN FROM DAMAGE DURING CONSTRUCTION. IT IS THE INTENT OF THIS CONTRACT TO AVOID ANY DISTURBANCE TO EXISTING VEGETATION ON THE SITE OTHER THAN THOSE SPECIFICALLY DESIGNATED FOR REMOVAL. ADJUSTMENTS SHALL BE MADE IN THE FIELD AT THE DIRECTION OF THE LANDSCAPE DESIGNER.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL PLANTING, SEEDING AND TREE WORK WITH OTHER TRADES. RESPECT OTHER TRADES WORK AT ALL TIMES.
- CONTRACTOR IS TO EXERCISE EXTREME CARE DURING THE COURSE OF DEMOLITION AND REMOVALS ANY DAMAGE TO EXISTING FACILITIES, UTILITIES OR TREES TO REMAIN SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPLACE IN KIND.
- CONTRACTOR IS RESPONSIBLE FOR RESTORING ALL AREAS DAMAGED TO PRE-EXISTING CONDITIONS AS A RESULT OF PLANTING OPERATIONS TO OWNERS AND/OR LANDSCAPE DESIGNERS APPROVAL.
- VEGETATION TO BE REMOVED, NOT INDICATED ON PLAN, SHALL BE TAGGED IN FIELD BY LANDSCAPE DESIGNER.
- THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO REJECT INTERIOR PLANT MATERIALS AND SUBSTITUTIONS. THE LANDSCAPE DESIGNER IS WILLING TO MAKE TWO TRIPS TO SUPPLIERS TO TAG, REVIEW AND APPROVE MATERIALS. PREVIOUSLY UNAPPROVED MATERIALS MAY BE REJECTED AT THE SITE. MINIMALLY, ALL MATERIALS WILL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1 - 2004) OF THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN GOOD, HEALTHY AND FLOURISHING CONDITION FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AS SOON AS WEATHER AND SEASONAL CONDITIONS PERMIT, ALL DEAD PLANTS AND ALL PLANTS NOT IN A VIGOROUS, THRIVING CONDITION, AS DETERMINED BY THE LANDSCAPE DESIGNER DURING, AND AT THE END OF THE GUARANTEE PERIOD. WARRANTY REPLACEMENT WILL BE PROVIDED AT NO COST TO THE OWNER AND INCLUDE MATERIALS AND LABOR. CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE INCURRED DURING REPLACEMENT OF WARRANTY MATERIALS.
- WHEN THERE IS A DISCREPANCY BETWEEN PLANT QUANTITIES SHOWN ON THE PLANT LIST & THE PLAN, USE THE QUANTITIES FROM THE PLAN.
- PERENNIALS, GROUNDCOVERS & GRASSES TO BE FIELD LOCATED BY LANDSCAPE DESIGNER. COORDINATE TO NOTIFY LANDSCAPE DESIGNER AT LEAST 72 HOURS IN ADVANCE OF EXPECTED INSTALLATION DATE. ON THAT DATE ALL BEDS SHALL BE PREPARED & ALL PLANT MATERIAL SHALL BE ON SITE.
- PROVIDE A MINIMUM 6" TOPSOIL FOR ALL DISTURBED AREAS. SUBMIT SAMPLE OF TOPSOIL AND SOIL TEST RESULTS FOR LANDSCAPE DESIGNER APPROVAL PRIOR TO DELIVERING TO SITE.
- MULCH ALL BEDS SHOWN AS CONTINUOUS WITH A 3" MINIMUM OF DOUBLE SHREDDED CEDAR BARK MULCH. SAMPLE TO BE SUBMITTED TO LANDSCAPE DESIGNER FOR APPROVAL.
- ALL PLANT MATERIALS TO BE SOURCED FROM LOCALLY GROWN GROWERS.

PLANTING SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	COMMENTS
TREES						
AR	3	ACER RUBRUM 'RED SUNSET'	RED SUNSET RED MAPLE	B&B	2 1/2" - 3" CAL	FULL, EXTRA HEAVY
BN	7	BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	B&B	2 1/2" - 3" CAL	SINGLE STEM
GB	5	GINKO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY MAIDENHAIR TREE	B&B	2 1/2" - 3" CAL	FULL, EXTRA HEAVY
QR	4	QUERCUS RUBRA	RED OAK	B&B	2 1/2" - 3" CAL	FULL, EXTRA HEAVY
UA	6	ULMAS AMERICANA 'PRINCETON'	PRINCETON ELM	B&B	2 1/2" - 3" CAL	FULL, EXTRA HEAVY
UPLAND SHRUBS						
ADW	15	RHODODENDRON 'DELEWARE WHITE'	DELEWARE WHITE AZALEA	CONT	30-36" HT	
IG	10	ILEX GLABRA 'SHAMROCK'	INKBERRY HOLLY 'SHAMROCK'	CONT	30-36" HT	FULL, EXTRA HEAVY
PO	10	PHYSOCARPUS OPULIFOLIUS	COMMON NINEBARK	CONT	30-36" HT	FULL, EXTRA HEAVY
PJM	10	PJM RHODODENDRON 'ELITE STAR'	PJM RHODODENDRON 'ELITE STAR'	CONT	30-36" HT	FULL, EXTRA HEAVY
GRASSES / GROUNDCOVER / PERENNIALS						
JH	13	JUNIPERUS HORIZONTALIS	HETZICOLUMNARIS CHINESE JUNIPER	CONT	3 GAL	FULL, EXTRA HEAVY
MG	14	MISCANTHUS SINENSIS 'GRACILLIMUS'	MAIDEN GRASS	CONT	3 GAL	FULL, EXTRA HEAVY
PA	13	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	FOUNTAIN GRASS	CONT	3 GAL	FULL, EXTRA HEAVY
WETLAND TREES AND SHRUBS						
AM	3	AMELANCHIER CANADENSIS	SHADBLOW SERVICEBERRY	CONT	6' HT	FULL, EXTRA HEAVY
CA	65	CAREX STRICTA	TUSOCK SEDGE	CONT	1 GAL	FULL, EXTRA HEAVY
CL	5	CLETHRA ALNIFOLIA	SWEET PEPPERBUSH	CONT	36" HT	FULL, EXTRA HEAVY
IV	6	ILEX VERTICILLATA	WINTERBERRY	CONT	5 GAL	FULL, EXTRA HEAVY
VD	6	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	CONT	5 GAL	FULL, EXTRA HEAVY
SEED MIXES						
LAWN: PENNINGTON SMART SEED SUN AND SHADE						
APPLICATION RATE NEW LAWNS: 9 LB/1,000 S.F.						
NEW ENGLAND ROADSIDE MATRIX UPLAND MIX (NEW ENGLAND WETLAND PLANTS, INC.)						
APPLICATION RATE: 1 LB/1,250 S.F.						
NEW ENGLAND EROSION CONTROL/RESTORATION MIX (NEW ENGLAND WETLAND PLANTS, INC.)						
APPLICATION RATE NEW LAWNS: 9 LB/1,000 S.F.						
NEW ENGLAND CONSERVATION / WILDLIFE MIX (NEW ENGLAND WETLAND PLANTS, INC.)						
APPLICATION RATE: 1 LB/1,450 S.F.						

WETLAND MITIGATION PLANTING SCHEDULE

WETLAND MITIGATION AREAS #1 & #2 (2,150 S.F.)						
KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SPACING	COMMENTS
	50	ACORUS AMERICANA	SWEETFLAG	2" PLUGS	2' O.C. MINIMUM	WETLAND PLANT
	50	ASCLEPIAS INCARNATA	SWAMP MILKWEED	2" PLUGS	2' O.C. MINIMUM	WETLAND PLANT
	50	CALTHA PALUSTRIS	MARSH MARIGOLD	2" PLUGS	2' O.C. MINIMUM	WETLAND PLANT
	50	CAREX LURIDA	LURID SEDGE	2" PLUGS	2' O.C. MINIMUM	WETLAND PLANT
	50	CAREX STRICTA	TUSOCK SEDGE	2" PLUGS	2' O.C. MINIMUM	WETLAND PLANT
	100	EUPATORIUM PERFOLIATUM	BONESET	2" PLUGS	2' O.C. MINIMUM	WETLAND PLANT
	50	JUNCUS EFFUSES	SOFT RUSH	2" PLUGS	2' O.C. MINIMUM	WETLAND PLANT
	100	IRIS VERSICOLOR	BLUE FLAG IRIS	2" PLUGS	2' O.C. MINIMUM	WETLAND PLANT
	100	LOBELIA SIPHILITICA	GREAT BLUE LOBELIA	2" PLUGS	2' O.C. MINIMUM	WETLAND PLANT
	100	MIMULUS RINGENS	MONKEY-FLOWER	2" PLUGS	2' O.C. MINIMUM	WETLAND PLANT
SEED MIXES						
NEW ENGLAND CONSERVATION / WILDLIFE MIX						
APPLICATION RATE: 1 LB/1,750 S.F.						

PLANTING SOIL NOTES

- ALL PLANTING MIXES SHALL BE PREPARED PRIOR TO DELIVERY TO SITE.
- PLANTING MIX FOR TREES AND SHRUBS SHALL BE AS FOLLOWS:
 - 3 PARTS SCREED TOPSOIL
 - 1 PART CLEAN WASHED COARSE SAND
 - 1 PART PEAT HUMUS
 - 5 LBS. SUPER PHOSPHATE PER CUBIC YARD OF MIX
- MYCORRHIZAL INOCULANT TO BE MYCOR TREE SAVER TRANSPLANT BY PLANT HEALTH CARE, INC. (1-800-421-9051) OR APPROVED EQUAL.
- TERRASORB AVAILABLE FROM PLANT HEALTH CARE, INC. OR APPROVED EQUAL.
- SUBMIT CERTIFICATION OF PLANTING MIX FOR TREES AND SHRUBS FROM SOIL DISTRIBUTOR.
- TOPSOIL MIX SHALL INCLUDE:
 - 3 PARTS SCREENED TOPSOIL
 - 1 PART SAND
 - 1 PART HUMUS
 - 5 LBS. SUPER PHOSPHATE PER CU. YD. OF MIX
- TOPSOIL:
 - PROVIDE A NATURAL, FERTILE, FRIABLE, NATURAL LOAM SURFACE SOIL CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH OF UNIFORM COMPOSITION THROUGHOUT AND WITHOUT ADMIXTURES OF SUBSOIL AND FREE OF STONES, LUMPS, PLANTS, ROOTS, STICKS OR OTHER EXTRANEOUS MATTER.
 - TOPSOIL SHALL CONTAIN NOT LESS THAN 4% NOR MORE THAN 20% ORGANIC MATTER AS DETERMINED BY THE WET COMBUSTION METHOD.
 - MECHANICAL ANALYSIS

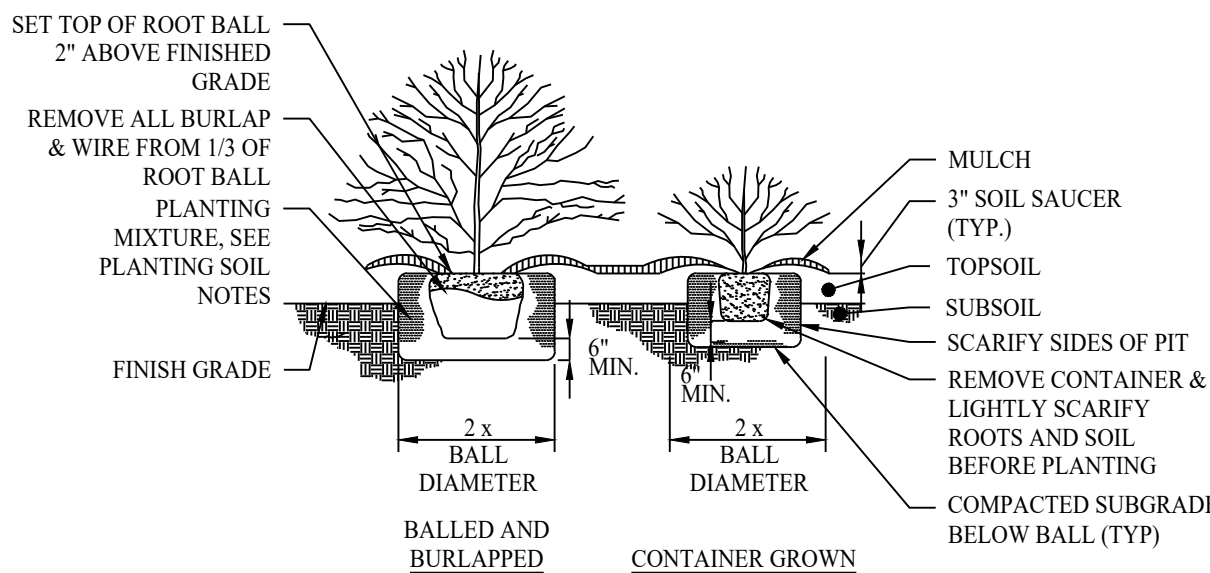
SCREEN SIZE	% BY WEIGHT PASSING
1"	100
1/4"	97 - 100
No. 200	20 - 65
 - CONTRACTORS SHALL BE RESPONSIBLE FOR ALL TESTING AND ANALYSIS OF EXISTING AND IMPORTED SOILS. FURNISH A SOIL ANALYSIS MADE BY A QUALIFIED INDEPENDENT SOIL-TESTING AGENCY STATING PERCENTAGES OF ORGANIC MATTER, INORGANIC MATTER (SILT, CLAY, AND SAND), DELETERIOUS MATERIAL, PH, AND MINERAL AND PLANT-NUTRIENT CONTENT OF TOPSOIL.
 - REPORT SUITABILITY OF TOPSOIL FOR LAWN AND SHRUB PLANTING GROWTH. RECOMMEND QUANTITIES OF NITROGEN, PHOSPHORUS, AND POTASH NUTRIENT AND ANY LIMESTONE, ALUMINUM SULFATE OR OTHER SOIL AMENDMENTS TO BE ADDED TO PRODUCE A SATISFACTORY TOPSOIL.

LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY LINE
	ADJOINING LOT LINE
	LIMIT OF WETLANDS
	100 YEAR FLOOD HAZARD AREA
	OVERSTORY TREE
	SHRUBS & GROUNDCOVER
	LAWN
	NEW ENGLAND ROADSIDE MATRIX
	NEW ENGLAND EROSION CONTROL/RESTORATION NO MOW MIX
	NEW ENGLAND WETMIX
	WETLAND MITIGATION PLANTINGS
	NEW ENGLAND CONSERVATION / WILDLIFE MIX
	RIVER ROCK

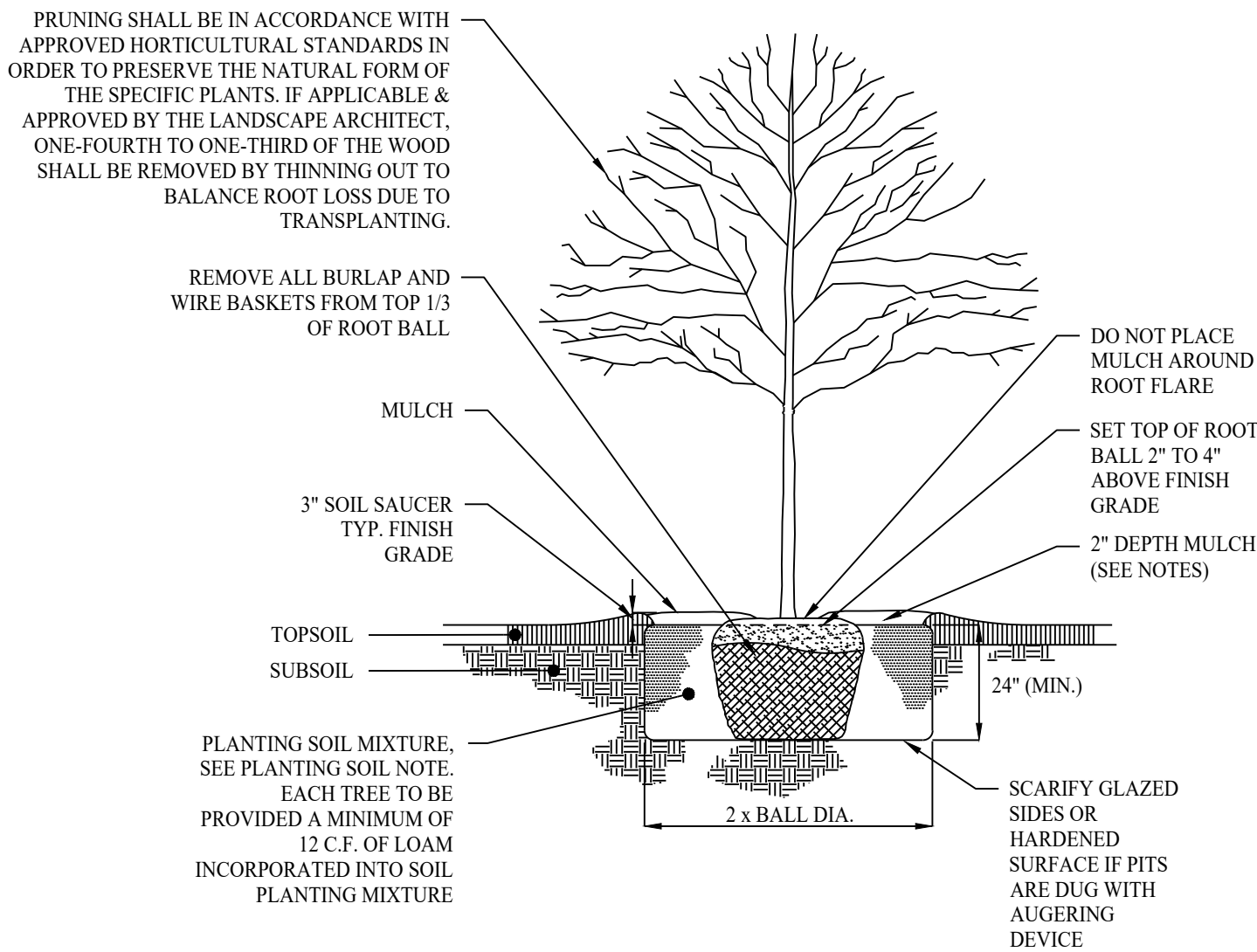
GENERAL NOTES

- ALL SITE WORK TO BE COMPLETED IN ACCORDANCE WITH ALL PERMITS, APPROVALS AND CONDITIONS OF APPROVALS ISSUED BY THE TOWN OF ELLINGTON, CONNECTICUT AND THE STATE OF CONNECTICUT FOR THIS PROJECT.
- EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION TAKEN FROM A PLAN TITLED "ZONING IMPROVEMENT LOCATION SURVEY-PROPOSED 175 WEST ROAD", SCALE 1"=40', PREPARED BY HALLSEY, PEARSON, AND CASSIDY.



SHRUB PLANTING

SCALE: NTS



DECIDUOUS TREE PLANTING

SCALE: NTS

Drawn By: JJS

Checked By: MFB

Approved By: KMS

Project #: 24112401

Plan Date: 09/18/24

Scale: 1" = 40'

Project:

PROPOSED DEVELOPMENT
WEST ROAD
ELLINGTON, CT

Sheet Title:

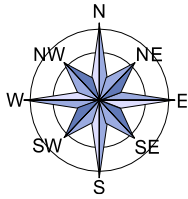
LANDSCAPE PLAN

Sheet #:

2.61



Mary Blackburn, P.L.A.
CT 1499



LANDMARK SURVEYS, LLC

Land Boundary Consultants

62 Lower Butcher Road, Ellington, CT 06029

Phone & Fax: 860-875-8204

Email: rachel@landmarksurveys.com

March 31, 2025

Town of Ellington
Inland Wetlands Agency

Re: Resubdivision 20 Punkin Drive

Dear Agency,

At the request of the applicant, Philip & Michelle Bahler, I hereby request a positive referral from the Inland Wetland Agency to the Planning & Zoning Commission for the proposed Resubdivision Plan for Philip Bahler 20 Punkin Drive dated 3/25/2025.

The resubdivision plans proposed one new building lot and all proposed construction activities are located outside the wetlands and the 100' upland review area.

Sincerely,

Rachel Dearborn L.S.

LONG
175 JOBS HILL ROAD
APN 120-011-0000

DW FISH HOME BUILDERS LLC
217 JOBS HILL ROAD
APN 120-001-0000

DW FISH HOME BUILDERS LLC
217 JOBS HILL ROAD
APN 120-001-0000

HOFFMAN
78 HOFFMAN ROAD
APN 120-026-0001

JENNINGS
76 HOFFMAN ROAD
APN 120-026-0002

LARSON
74 HOFFMAN ROAD
APN 120-026-0003

WOOD
18 PUNKIN DR
APN 120-016-0000

SETTLE
15 PUNKIN DR
APN 120-017-0000

NOTES:

- THIS SURVEY HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT". EXISTING BOUNDARY IS A DATA ACCUMULATION PLAN BASED UPON PREVIOUS A-2 SURVEYS, NEW BOUNDARY LINES ARE AN ORIGINAL SURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2.
- BOUNDARY INFORMATION SHOWN HEREON IS BASED IN PART ON THE FOLLOWING SURVEYS:
 - "RESUBDIVISION PLAN PREPARED FOR CRAIG, GARY, KURT, & DEREK SULLIVAN 74 HOFFMAN ROAD, ELLINGTON, CONNECTICUT BY GARDNER & PETERSON ASSOCIATES, LLC
 - "SEPTIC SYSTEM DESIGN - LOT#2 PREPARED FOR PHILIP & MICHELLE BAHLER PUNKIN LANE ELLINGTON, CONNECTICUT TARBELL, HEINTZ & ASSOC., INC. DATE 9-28-12 SCALE: AS SHOWN"
 - "RECORD DRAWING - LOT#2 PREPARED FOR PHILIP & MICHELLE BAHLER ST.#20 PUNKIN LANE ELLINGTON, CONNECTICUT TARBELL, HEINTZ & ASSOC., INC. DATE 7-18-14 SCALE: AS SHOWN"
- PARCEL IS IN ZONE RAR.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

Rachel Dearborn 3/25/25
RACHEL L. DEARBORN, LICENSED LAND SURVEYOR

L.S. 70295
DATE LICENSE NO.

REVISIONS

RESUBDIVISION PLAN PREPARED FOR PHILIP BAHLER 20 PUNKIN DRIVE ELLINGTON, CONNECTICUT

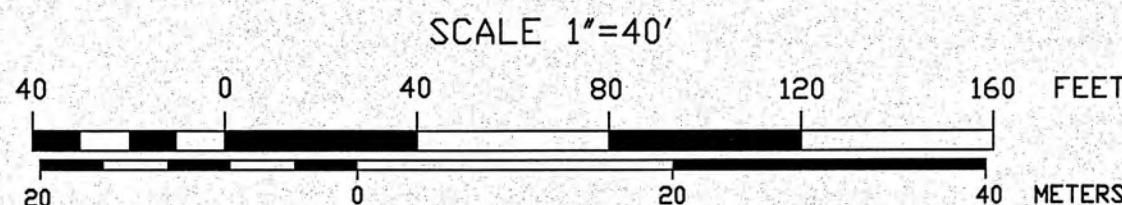
LANDMARK SURVEYS, LLC
62 LOWER BUTCHER RD ~ 860-875-8204
ELLINGTON, CONNECTICUT

DRAWN BY
R.L.D.

SCALE
1"=40'

DATE
3/25/2025

JOB NO.
202503-1



**Town of Ellington
Inland Wetlands and Watercourses Agency
Application**

Application # IW202503
Date Submitted 4/15/2025

Notices associated with this application will be sent to the applicant unless otherwise requested.

Owner's Information

Name: Town of Ellington
Mailing Address: 21 Main Street
Ellington, CT 06029
Email: _____

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? ☐ Yes ☐ No

Primary Contact Phone #: 860-870-3140

Secondary Contact Phone #: 860-870-3100

Owner's Signature: [Signature] Date: 4/15/25

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Agency have been submitted. Moreover, by signing above I/we expressly provide written consent to the filing of the application and access to the site by the Agency or its staff.

Notices associated with this application will be sent to the applicant unless otherwise requested.

Applicant's Information (if different than owner)

Name: (Same)
Mailing Address: _____

Email: _____

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? ☐ Yes ☐ No

Primary Contact Phone #: _____

Secondary Contact Phone #: _____

Applicant's Signature: _____ Date: _____

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Agency have been submitted.

RECEIVED

APR 15 2025

**TOWN OF ELLINGTON
PLANNING DEPARTMENT**

Street Address: 79 Kibbe Road

Assessor's Parcel Number (APN): 142 - 002 - 0000

Proposed upland review area affected in square feet: _____

Proposed wetlands/watercourses affected in square feet and linear feet (as applicable): N/A

Total area of wetlands/watercourses on parcel in square feet or acres: N/A

Public Water: ☐ Yes ☒ No Public Sewer: ☐ Yes ☒ No *If not served by public water and sewer, applicant shall make application to North Central District Health Department (Enfield Office) if required.*

Is the project in a public water supply watershed area? ☐ Yes ☒ No
If YES, applicant is required to notify the Connecticut Water Company and Commissioner of Public Health by certified mail, return receipt within 7 days of this application (Conn. Gen Stat. Sec 22a-42f). Copy of application, plans, and supporting documents must accompany notice. Applicant can email the Commissioner of Public Health using their approved form. Proof of notice (return receipt and sent email) must be provided to the Planning Department.

Describe the nature of proposed regulated activity, request for acceptance of a permitted use as of right or a nonregulated use, map or regulation amendment, or other activity requiring review by the Agency or its Agent:
See attached Application Checklist and Appendix D for guidance when preparing application

See attached narrative and photos .

Applicant shall provide certification in accordance with Wetlands Regulation, Section 7.4e, Application Requirements:

Whether or not any portion of the property on which the regulated activity is proposed is located within 500 feet of an adjoining town. ☐ Yes ☒ No

Whether or not a significant portion of the traffic to the completed project will use streets within an adjoining town to exit or enter the site. ☐ Yes ☒ No

Whether or not a significant portion of the sewer or water drainage from the project will flow through and significantly impact the sewer or water drainage system of an adjoining town. ☐ Yes ☒ No

Whether water run-off from the improved site will impact streets or other municipal/private property within an adjoining town. ☐ Yes ☒ No

FOR OFFICE USE ONLY

If YES to any of the above, the Agency shall, in accordance with CGS 8-7d(f) notify the clerk of any adjoining municipality of the pendency of any application, petition, appeal, request or plan concerning any project on any site. Notice of the pendency of such application shall be made by certified mail, return receipt requested, and shall be mailed within seven (7) days of the date of receipt of the application, petition, appeal, request or plan. **(See Agency requirements Section 8.4)**

Type of Project: (check one)

☐ Commercial/Industrial ☐ Residential ☐ Mixed Use ☐ Timber ☐ Agricultural
☒ Other, explain: Municipal

Type of Application: (check one)

☒ Notification for Non-Regulated Use (Section 4.2)
☐ Notification of Permitted Use as of Right (Section 4.1)
☐ Administrative Permit (Section 6.4)
☐ Agency Permit **(TWELVE COPIES REQUIRED)**
☐ Permit Modification
☐ Permit Extension
☐ Regulation Amendment
☐ Map Amendment
☐ Appeal of Administrative Permit

Application Submittals:

☐ Completed Application Form (Section 7.4a)
☐ Application Fee (Section 7.4b)
☐ Abutters List (Section 7.4c)
☐ Certification as to Adjacent Towns (See above)
☐ Certification as to Connecticut Water Company & Commissioner of Public Health (See above)
☐ Notification Narrative and Supporting Documentation (If applicable, Appendix D)
☐ Project Narrative and Supporting Documentation (Section 7.4g, 1-11 inclusive, as deemed applicable)
☐ Project Site Plan - circle one: Administrative (Section 7.4h1) / Agency (Section 7.4h2)
☐ Supplemental Information (Section 7.5a-j, inclusive, as deemed applicable)



TOWN OF ELLINGTON

Department of Public Works

21 MAIN STREET – PO BOX 187
ELLINGTON, CONNECTICUT 06029-0187
TEL 860-870-3140 FAX 860-870-3147
www.ellington-ct.gov

Memo

To: John Colonese, Asst. Town Planner
From: Tom Modzelewski, Director of Public Works
cc: Lisa Houlihan, Town Planner
Lori Spielman, First Selectman
Matt Reed, Town Administrator
Date: 4-15-2025
Re: Kibbe Rd State Forest Access Road Improvements

Dear John,

The Department of Public Works has been instructed by the First Selectman to improve the accessibility and condition of the abandoned State Forest road at the North end of Kibbe Rd.

The prior owner hired a company to harvest the property for quality logs and in doing so the contractor placed logs all within the abandoned roadway. Additionally, after years of no maintenance, the old roadbed has washed out and become quite rutted.

It is our goal to establish a safe, passable roadway within the area of the previous road. Additionally, we plan to install a gravel parking area for users of the facility to safely park and enjoy what the area has to offer. Please see the attached depictions of said plan and follow up with any questions or concerns.

Respectfully,

Tom Modzelewski



**Town of Ellington
Inland Wetlands and Watercourses Agency
Application**

Application # _____
Date Submitted _____

Notices associated with this application will be sent to the applicant unless otherwise requested.

Owner's Information

Name: Gale Construction Inc
Mailing Address: 90 Sudds Mill Rd
Ellington CT 06029
Email: Greggale1960@gmail.com

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS,
MAY NOTICES BE EMAILED TO YOU? ☐ Yes ☐ No

Primary Contact Phone #: 860-841-5300

Secondary Contact Phone #: _____

Owner's Signature: Gregory J. Gale Date: 4/10/25

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Agency have been submitted. Moreover, by signing above I/we expressly provide written consent to the filing of the application and access to the site by the Agency or its staff.

Notices associated with this application will be sent to the applicant unless otherwise requested.

Applicant's Information (if different than owner)

Name: Gregory J. Gale
Mailing Address: P.O. Box 312
Ellington CT 06029
Email: Greggale1960@gmail.com

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS,
MAY NOTICES BE EMAILED TO YOU? ☐ Yes ☐ No

Primary Contact Phone #: 860-841-5300 - Greg

Secondary Contact Phone #: 860-819-5655 - Jim

Applicant's Signature: _____ Date: _____

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Agency have been submitted.

Street Address: 90 Sudds Mill Rd

Assessor's Parcel Number (APN): 079 - 002 - 0000

Proposed upland review area affected in square feet: 2400 SF +/-

Proposed wetlands/watercourses affected in square feet and linear feet (as applicable): 0

Total area of wetlands/watercourses on parcel in square feet or acres: N/A

Public Water: ☐ Yes ☒ No Public Sewer: ☐ Yes ☒ No *If not served by public water and sewer, applicant shall make application to North Central District Health Department (Enfield Office) if required.*

Is the project in a public water supply watershed area? ☐ Yes ☒ No

If YES, applicant is required to notify the Connecticut Water Company and Commissioner of Public Health by certified mail, return receipt within 7 days of this application (Conn. Gen Stat. Sec 22a-42f). Copy of application, plans, and supporting documents must accompany notice. Applicant can email the Commissioner of Public Health using their approved form. Proof of notice (return receipt and sent email) must be provided to the Planning Department.

Describe the nature of proposed regulated activity, request for acceptance of a permitted use as of right or a nonregulated use, map or regulation amendment, or other activity requiring review by the Agency or its Agent:
See attached Application Checklist and Appendix D for guidance when preparing application

Earth excavation - See attached plans

Applicant shall provide certification in accordance with Wetlands Regulation, Section 7.4e, Application Requirements:

Whether or not any portion of the property on which the regulated activity is proposed is located within 500 feet of an adjoining town. ☐ Yes ☒ No

Whether or not a significant portion of the traffic to the completed project will use streets within an adjoining town to exit or enter the site. ☐ Yes ☒ No

Whether or not a significant portion of the sewer or water drainage from the project will flow through and significantly impact the sewer or water drainage system of an adjoining town. ☐ Yes ☒ No

Whether water run-off from the improved site will impact streets or other municipal/private property within an adjoining town. ☐ Yes ☒ No

FOR OFFICE USE ONLY

If YES to any of the above, the Agency shall, in accordance with CGS 8-7d(f) notify the clerk of any adjoining municipality of the pendency of any application, petition, appeal, request or plan concerning any project on any site. Notice of the pendency of such application shall be made by certified mail, return receipt requested, and shall be mailed within seven (7) days of the date of receipt of the application, petition, appeal, request or plan. (See Agency requirements Section 8.4)

Type of Project: (check one)

☐ Commercial/Industrial ☐ Residential ☐ Mixed Use ☐ Timber ☐ Agricultural
☒ Other, explain: Earth Excavation

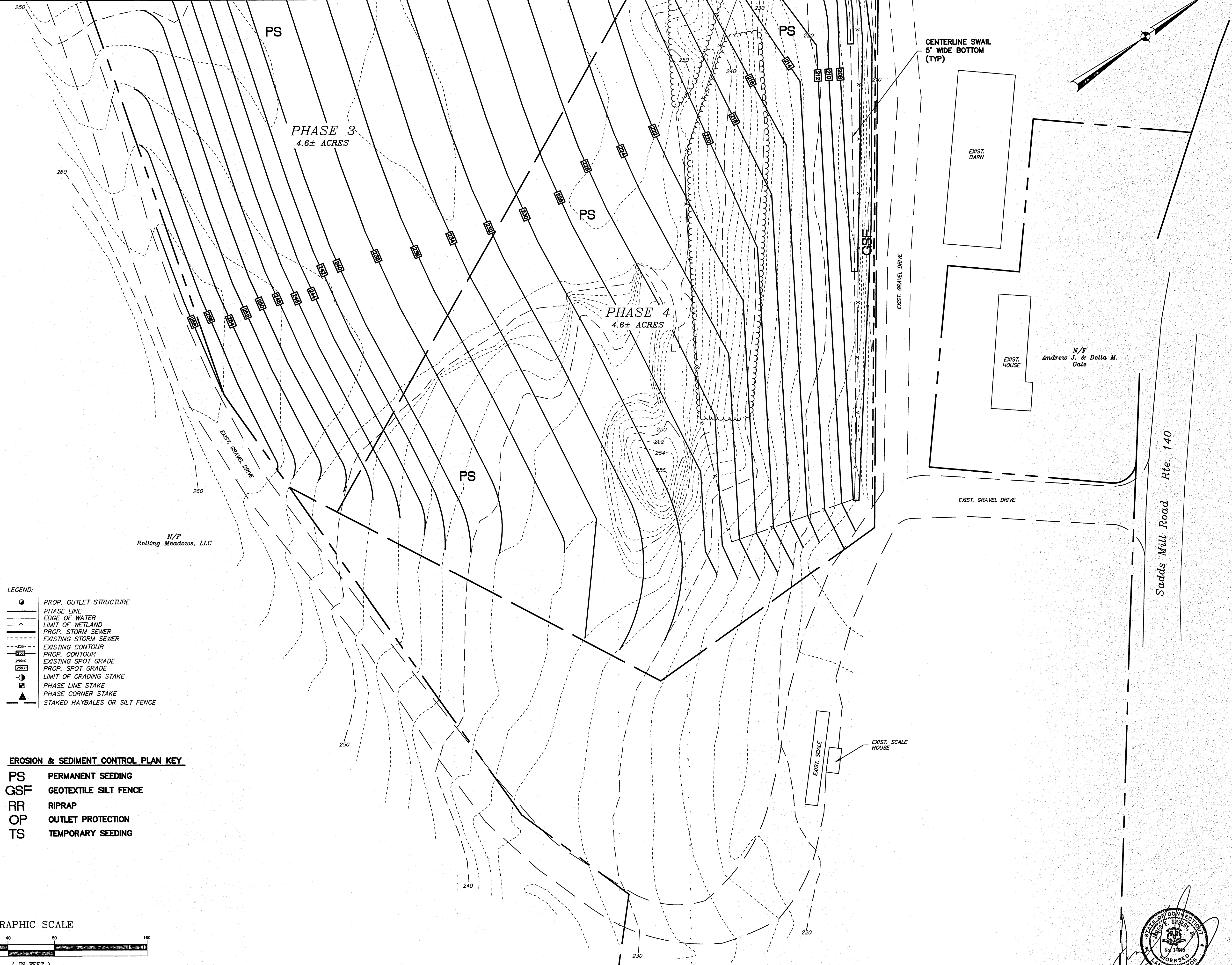
Type of Application: (check one)

☐ Notification for Non-Regulated Use (Section 4.2)
☐ Notification of Permitted Use as of Right (Section 4.1)
☐ Administrative Permit (Section 6.4)
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Application Submittals:

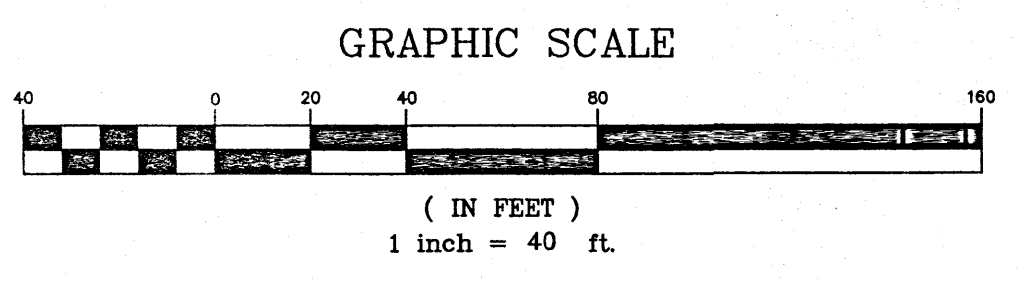
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☐ Notification Narrative and Supporting Documentation (If applicable, Appendix D)
☐ Project Narrative and Supporting Documentation (Section 7.4g, 1-11 inclusive, as deemed applicable)
☐ Project Site Plan - circle one: Administrative (Section 7.4h1) / Agency (Section 7.4h2)
☐ Supplemental Information (Section 7.5a-j, inclusive, as deemed applicable)

MATCH MARK SEE SHEET 7B



- LEGEND:
- PROP. OUTLET STRUCTURE
 - PHASE LINE
 - EDGE OF WATER
 - LIMIT OF WETLAND
 - PROP. STORM SEWER
 - EXISTING STORM SEWER
 - EXISTING CONTOUR
 - PROP. CONTOUR
 - EXISTING SPOT GRADE
 - PROP. SPOT GRADE
 - LIMIT OF GRADING STAKE
 - PHASE LINE STAKE
 - PHASE CORNER STAKE
 - STAKED HAYBALES OR SILT FENCE

- EROSION & SEDIMENT CONTROL PLAN KEY**
- PS PERMANENT SEEDING
 - GSF GEOTEXTILE SILT FENCE
 - RR RIPRAP
 - OP OUTLET PROTECTION
 - TS TEMPORARY SEEDING



RUSSO
SURVEYORS-ENGINEERS
SERVING CT & MA

JR Russo & Associates, LLC
1000 Main St., Suite 100
Shelton, CT 06484
Tel: 203.398.1100
Fax: 203.398.1101
www.jrussos.com
info@jrussos.com

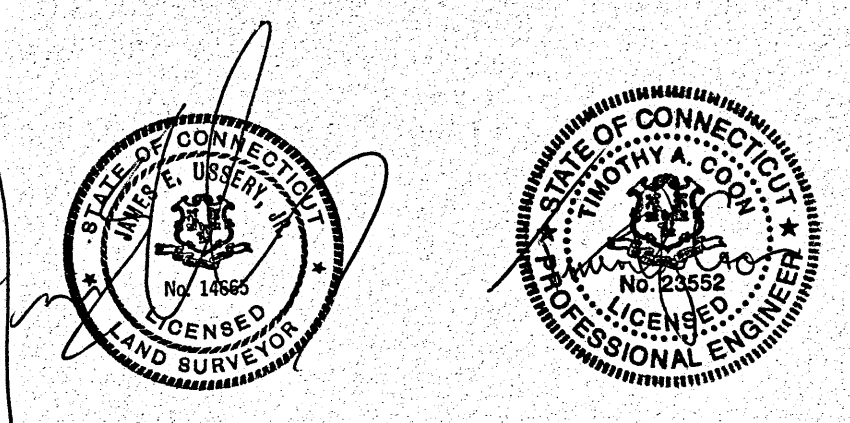
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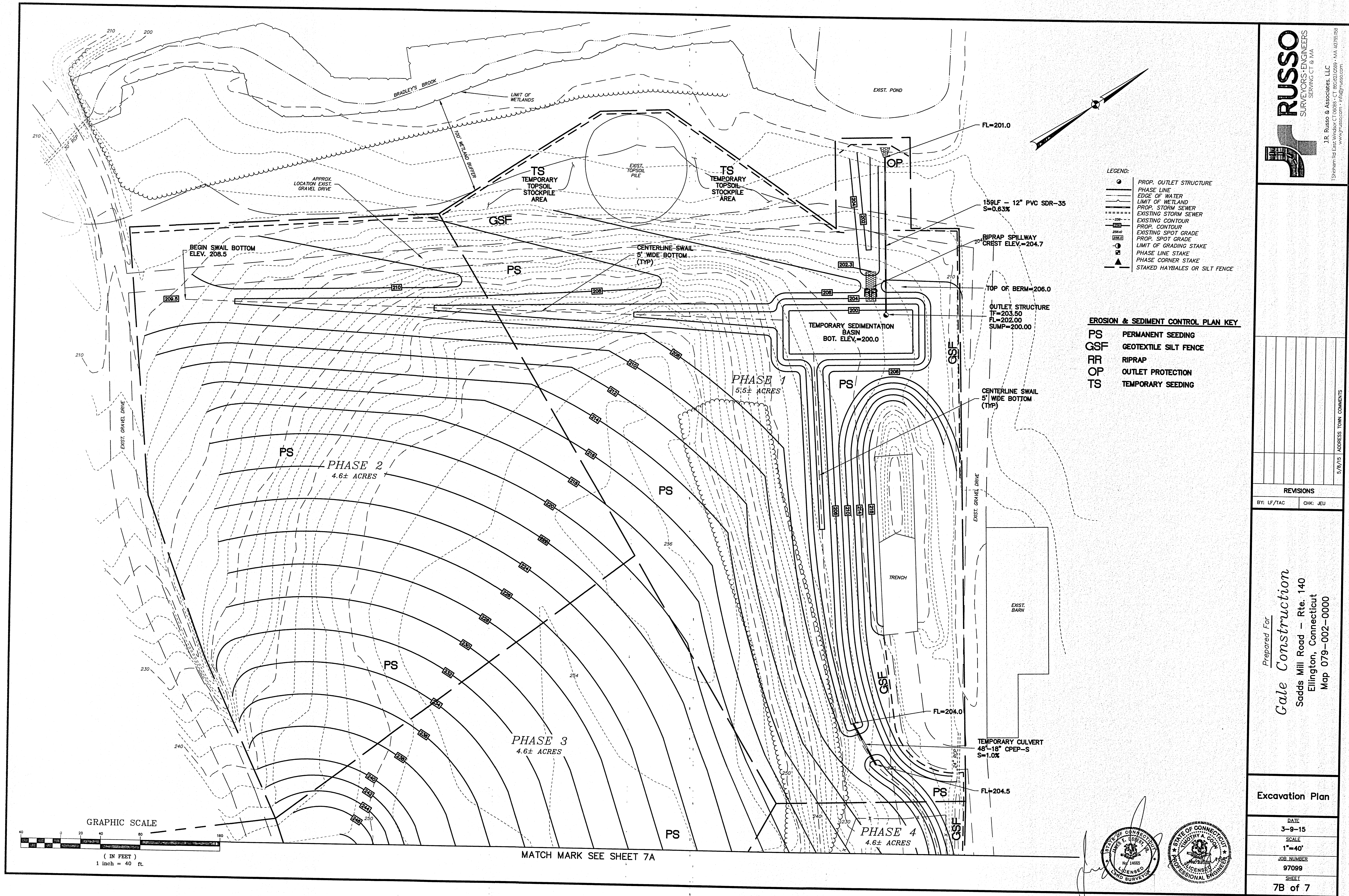
REVISIONS
BY: LF/TAC CHK: JEU

Prepared For
Gale Construction
Sadd's Mill Road - Rte. 140
Ellington, Connecticut
Map 079-002-0000

Excavation Plan

DATE	3-9-15
SCALE	1"=40'
JOB NUMBER	97099
SHEET	7A of 7





- LEGEND:
- PROF. OUTLET STRUCTURE
 - PHASE LINE
 - EDGE OF WATER
 - LIMIT OF WETLAND
 - PROP. STORM SEWER
 - EXISTING STORM SEWER
 - EXISTING CONTOUR
 - PROP. CONTOUR
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REVISIONS	
BY: LF/TAC	CHK: JEU

Prepared For
Gale Construction
Saddis Mill Road - Rte. 140
Ellington, Connecticut
Map 079-002-0000

Excavation Plan

DATE	3-9-15
SCALE	1"=40'
JOB NUMBER	97099
SHEET	7B of 7

GEOTEXTILE SILT FENCE (GSF)

SPECIFICATIONS

Materials

Geotextile fabric: shall be a pervious sheet of polypropylene, nylon, polyester, ethylene or similar filaments and shall be certified by the manufacturer or supplier as conforming to the requirements shown in Figure GSF-1 in the Connecticut Guidelines For Soil Erosion and Sediment Control latest edition. The geotextile shall be non-rotting, acid and alkali resistant and have sufficient strength and permeability operations. Filaments in the geotextile shall be resistant to absorption. The filament network must be dimensionally stable and free of any chemical treatment or coating that will reduce its permeability. The geotextile shall also be free of any flaws or defects which will alter its physical properties. Torn or punctured geotextiles shall not be used.

Supporting posts: shall be at least 42 inches long made of either 1.5 inch square hardwood stakes or steel posts with projections for fastening the geotextile possessing a minimum strength of 0.5 pound per linear foot.

Placement

Foot of slope: Locate 5-10 feet down gradient from the toe of slope, generally on the contour with maintenance and sediment removal requirements in mind. When the contour can not be followed install the fence such that perpendicular wings are created to break the velocity of water flowing along the fence. See Figure GSF-2 in the Connecticut Guidelines For Soil Erosion and Sediment Control for spacing requirements.

Swales: Locate "U" shape across swale such that the bottom of both ends of the fence are higher than the top of the lowest section of the fence.

Catch Basin in Swale on Slopes: Locate 2 "U" shapes across swale as above: one immediately up slope from the catch basin and the other immediately down slope from the catch basin.

Catch Basins in Depressions: Encircle catch basin.

Culvert Inlets: Locate in a "U" shape approximately 6 feet from the culvert in the direction of the incoming flow.

Culvert Outlets: Locate across the swale at least 6 feet from the culvert outlet.

Installation

Trench excavation: Excavate a trench a minimum of 6 inches deep and 6 inches wide on the up slope side of the fence location. For slope and swale installations, extend the ends of the trench sufficiently up slope such that bottom end of the fence will be higher than the top of the lowest portion of the fence.

When the fence is not to be installed on the contour, excavate wing trenches spaces at the intervals given on Figure GSF-2 in the Connecticut Guidelines For Soil Erosion and Sediment Control latest edition.

When excavation is obstructed by an occasional stone or tree roots, provide a smooth transition between the trench bottom and the obstruction.

Support Posts: Drive support posts on the down slope side of the trench to a depth of at least 12 inches into original ground.

Never install support posts more than 10 feet apart. Install support posts closer than 10 feet apart when concentrated flows are anticipated or when steep contributing slopes and soil conditions are expected to generate larger volumes of sediment. For catch basins in hollows, drive posts at each corner of the catch basin. Whenever the geotextile filter fabric that is used exceeds the minimum material specifications contained in this measure, the spacing of the stakes shall be per manufacturer's recommendations.

Geotextile Filter Fabric: Staple or secure the geotextile to the support posts per manufacturer's instruction such that at least 6 inches of geotextile lies within the trench, the height of the fence does not exceed 30 inches and the geotextile is taut between the posts. When the trench is obstructed by stones, tree roots, etc. allow the geotextile to lay over the obstruction such that the bottom of the geotextile points up slope.

In the absence of manufacturer's instructions, space wire staples on wooden stakes at a maximum of 4 inches apart and alternate their position from parallel to the axis of the stake to perpendicular.

Do not staple the geotextile to living trees.

Provide reinforcement for the fence when it can be exposed to high winds.

When joints in the geotextile fabric are necessary, splice together only at support posts, and securely seal.

Backfill & Compaction: Backfill the trench with tamped soil or aggregate over the geotextile. When the trench is obstructed by a stone, tree root, etc. make sure the bottom of the geotextile lies horizontal on the ground with the resulting flap on the up slope side of the geotextile and bury the flap with 6 inches of tamped soil, or aggregate.

MAINTENANCE

Inspect the silt fence at least once a week and within 24 hours of the end of a storm with rainfall amount of 0.5 inch or greater to determine maintenance needs. When used for dewatering operations, inspect frequently before, during and after pumping operations.

Remove the sediment deposits or, if room allows, install a secondary silt fence up slope of the existing fence when sediment deposits reach approximately one half the height of the existing fence.

Replace or repair the fence within 24 hours of observed failure. Failure of the fence has occurred when sediment fails to be retained by the fence because:

- the fence has been overtopped, undercut or bypassed by runoff water,
- the fence has been moved out of position (knocked over), or
- the geotextile has decomposed or been damaged.

Maintain the fence until the contributing area is stabilized.

After the contributing area is stabilized determine if sediment contained by the fence requires removal or regrading and stabilization. If the depth is greater than or equal to 6 inches, regrading or removal of the accumulated sediment is required. No removal or regrading is required if sediment depth is less than 6 inches.

Remove the fence by pulling up the support posts and cutting the geotextile at ground level. Regrade or remove sediment as needed, and stabilize disturbed soils.

MULCH FOR SEED (MS)

SPECIFICATIONS

Materials

Types of Mulches within this specification include, but are not limited to:

1. **Hay:** The dried stems and leafy parts of plants cut and harvested, such as alfalfa, clovers, other forage legumes and the finer stemmed, leafy grasses. The average stem length should not be less than 4 inches. Hay that can be windblown should be anchored to hold it in place.

2. **Straw:** Cut and dried stems of herbaceous plants, such as wheat, barley, cereal rye, or broom. The average stem length should not be less than 4 inches. Straw that can be windblown should be anchored to hold it in place.

3. **Cellulose Fiber:** Fiber origin is either virgin wood, post-industrial/pre-consumer wood or post consumer wood complying with materials specification (collectively referred to as "wood fiber"), newspaper, kraft paper, cardboard (collectively referred to as "paper fiber") or a combination of wood and paper fiber. Paper fiber, in particular, shall not contain boron, which inhibits seed germination. The cellulose fiber must be manufactured in such a manner that after the addition to and agitation in slurry tanks with water, the fibers in the slurry become uniformly suspended to form a homogeneous product. Subsequent to hydraulic spraying on the ground, the mulch shall allow for the absorption and percolation of moisture and shall not form a tough crust such that it interferes with seed germination or growth. Generally applied with tackifier and fertilizer. Refer to manufacturer's specifications for application rates needed to attain 80%-95% coverage without interfering with seed germination or plant growth. Not recommended as a mulch for use when seeding occurs outside of the recommended seeding dates.

Tackifiers within this specification include, but are not limited to: Water soluble materials that cause mulch particles to adhere to one another, generally consisting of either a natural vegetable gum blended with gelling and hardening agents or a blend of hydrophilic polymers, resins, viscosifiers, sticking aids and gums. Good for areas intended to be mowed. Cellulose fiber mulch may be applied as a tackifier to other mulches, provided the application is sufficient to cause the other mulches to adhere to one another. Emulsified asphalt is specifically prohibited for use as tackifiers due to their potential for causing water pollution following its application.

Nettings within this specification include, but are not limited to: Prefabricated openwork fabrics made of cellulose cords, ropes, threads, or biodegradable synthetic material that is woven, knotted or molded in such a manner that it holds mulch in place until vegetation growth is sufficient to stabilize the soil. Generally used in areas where no mowing is planned.

Site Preparation

Grade according to plans and allow for the use of appropriate equipment for seedbed preparation, seeding, mulch application and mulch anchoring.

Application

Timing: Applied immediately following seeding. Some cellulose fiber may be applied with seed to assist in marking where seed has been sprayed, but expect to apply a second application of cellulose fiber to meet the requirements of Mulch For Seed in the Connecticut Guidelines For Soil Erosion and Sediment Control latest edition.

Spreading: Mulch material shall be spread uniformly by hand or machine resulting in 80%-95% coverage of the disturbed soil when seeding within the recommended seeding dates. Applications that are uneven can result in excessive mulch smothering the germinating seeds. For hay or straw anticipate an application rate of 2 tons per acre. For cellulose fiber follow manufacturer's recommended application rates to provided 80%-95% coverage.

When seeding outside the recommended seeding dates, increase mulch application rate to provide between 95%-100% coverage of the disturbed soil. For hay or straw anticipate an application rate to 2.5 to 3 tons per acre.

When spreading hay mulch by hand, divide the area to be mulched into approximately 1,000 square feet and place 1.5-2 bales of hay in each section to facilitate uniform distribution.

For cellulose fiber mulch, expect several spray passes to attain adequate coverage, to eliminate shadowing, and to avoid slippage.

Anchoring: Expect the need for mulch anchoring along the shoulders of actively traveled roads, hill tops and long open slopes not protected by wind breaks.

When using netting, the most critical aspect is to ensure that the netting maintains substantial contact with the underlying mulch and the mulch, in turn, maintains continuous contact with the soil surface. Without such contact, the material is useless and erosion can be expected to occur.

MAINTENANCE

Inspect mulch for seed area at least once a week and within 24 hours of the end of a storm with rainfall amount of 0.5 inch or greater until the grass has germinated to determine maintenance needs.

Where mulch has been moved or where soil erosion has occurred, determine the cause of the failure and repair as needed.

PERMANENT SEEDING (PS)

SPECIFICATIONS

Time Of Year

Seeding dates in Connecticut are normally April 1 through June 15 and August 15 through October 1. Spring seedings give the best results and spring seedings of all mixes with legumes is recommended. There are two exceptions to the above dates. The first exception is when seedings will be made in the areas of Connecticut known as the Coastal Slope and the Connecticut River Valley. The Coastal Slope includes the coastal towns of New London, Middlesex, New Haven, and Fairfield counties. In these areas, with the exception of crown vetch (when crown vetch is seeded in late summer, at least 35% of the seed should be hard seed (unscarified)), the final fall seeding dates can be extended and additional 15 days. The second exception is frost crack or dormant seeding, the seed is applied during the time of year when no germination can be expected, normally November through February. Germination will take place when weather conditions improve, mulching is extremely important to protect the seed from wind and surface erosion and to provide erosion protection until the seeding becomes established.

PERMANENT SEEDING (Continued)

Site Preparation

Grade in accordance with the Land Grading measure which is in the Connecticut Guidelines For Soil Erosion and Sediment Control latest edition.

Install all necessary surface water controls.

For areas to be mowed remove all surface stones 2 inches or larger. Remove all other debris such as wire, cable tree roots, pieces of concrete, clods, lumps, or other unsuitable material.

Seed Selection and Quantity

Select a seed mixture appropriate to the intended use and soil conditions from Figure PS-2 and Figure PS-3 in the Connecticut Guidelines For Soil Erosion and Sediment Control latest edition or use mixture recommended by the NRCS.

Seedbed Preparation

Apply topsoil, if necessary, in accordance with the Topping measure which is in the Connecticut Guidelines For Soil Erosion and Sediment Control latest edition.

Apply ground limestone and fertilizer according to soil test recommendations (such as those offered by the University of Connecticut Soil Testing Laboratory or other reliable source).

Where soil testing is not feasible on small or variable sites, or where timing is critical, fertilizer may be applied at the rate of 300 pounds per acre or 7.5 pounds per 1,000 square feet of 10-10-10 or equivalent and limestone at 4 tons per acre or 200 pounds per 1,000 square feet.

Work lime and fertilizer into the soil to a depth of 3 to 4 inches with a disc or other suitable equipment.

Inspect seedbed just before seeding. If the soil is compacted, crusted or hardened, scarify the area prior to seeding.

Seed Application

Apply selected seed at rates provided in Figure PS-3 (in the Connecticut Guidelines For Soil Erosion and Sediment Control latest edition) uniformly by hand, cyclone seeder, drill, cultipacker type seeder or hydroseeder (slurry including seed, fertilizer). Normal seeding depth is from 0.25 to 0.5 inch. Increase seeding rates by 10% when hydroseeding or frost crack seeding. Seed warm season grasses during the spring period only.

Mulching

See guidelines in the Mulch For Seed measures.

MAINTENANCE

Inspect temporary soil protection area at least once a week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch, or greater during the first growing season.

Where seed has been moved or where soil erosion has occurred, determine the cause of the failure and repair as needed.

DUST CONTROL (DC)

SPECIFICATIONS

Mechanical Sweeping

Use mechanical sweeping on paved areas where dust and fine materials accumulate as a result of truck traffic, pavement saw cutting spillage, and wind or water deposition from adjacent disturbed areas. Sweep daily in heavily traveled areas.

Water

Periodically maintain exposed soil surfaces on unpaved travelways to keep the travelway damp.

Non-Asphaltic Soil Tackifier

Non-asphaltic soil tackifier consists of an emulsified liquid soil stabilizer of organic, inorganic or mineral origin, including, but not limited to the following: modified resins, calcium chloride, complex surfactant copolymers or high grade latex acrylics. The solutions shall be non-asphaltic, non toxic to human, animal and plant life, non corrosive and nonflammable. Materials used shall meet local, state and federal guidelines for intended use. All materials are to be applied according to the manufacturer's recommendations and all safety guidelines shall be followed in storing, handling and applying materials.

MAINTENANCE

Repeat application of dust control measures when fugitive dust becomes evident.

TEMPORARY SEEDING (TS)

SPECIFICATIONS

Site Preparation

Install needed erosion control measures such as diversions, grade stabilization structures, sedimentation basins and grassed waterways in accordance with the approved plan.

Grade according to plans and allow for the use of appropriate equipment for seedbed preparation, seeding, mulch application and mulch anchoring.

Seedbed Preparation

Loosen the soil to a depth of 3-4 inches with a slightly roughened surface. If the area has been recently loosened or disturbed, no further roughening is required. Soil preparation can be accomplished by tracking with a bulldozer, discing, harrowing, raking or dragging with a section of chain link fence.

Apply ground limestone and fertilizer according to soil test recommendations (such as those offered by the University of Connecticut Soil Testing Laboratory or other reliable source).

If soil testing is not feasible on small or variable sites, or where timing is critical, fertilizer may be applied at the rate of 300 pounds per acre or 7.5 pounds per 1,000 square feet of 10-10-10 or equivalent.

Seeding

Apply seed uniformly by hand, cyclone seeder, drill, cultipacker type seeder or hydroseeder at a minimum rate for the selected seed identified in Figure TS-2 in the Connecticut Guidelines For Soil Erosion and Sediment Control latest edition. Increase seeding rates by 10% when hydroseeding.

Mulching

See guidelines in the Mulch For Seed measures.

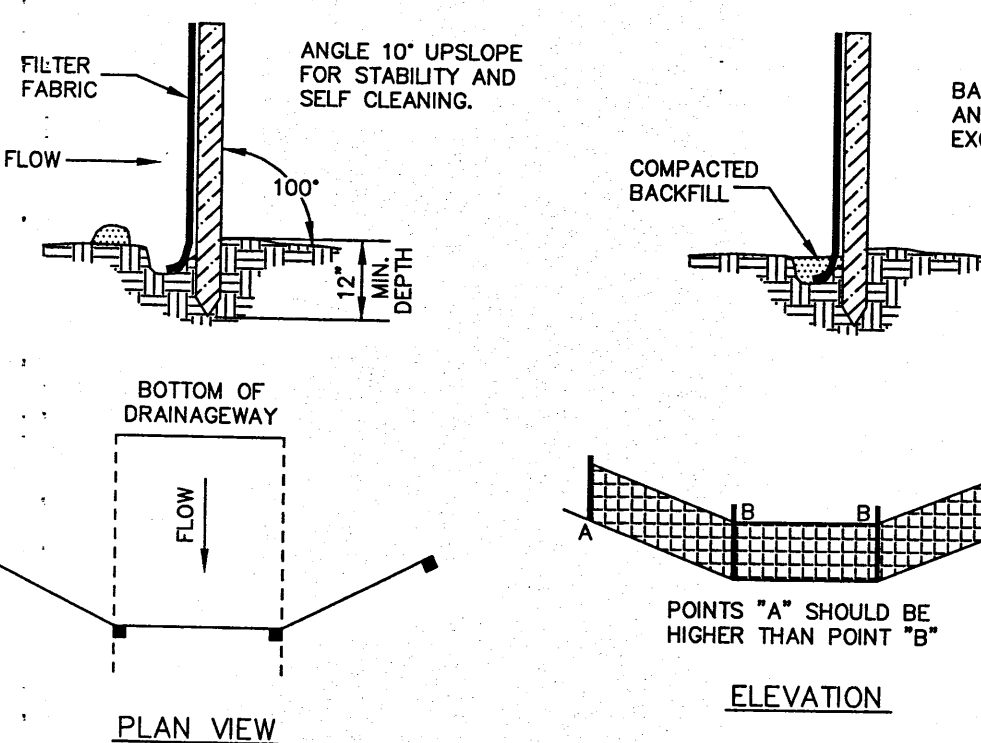
MAINTENANCE

Inspect temporary seeding area at least once a week and within 24 hours of the end of a storm with a rainfall amount of 0.5 inch or greater for seed and mulch movement and fill erosion.

Where seed has been moved or where soil erosion has occurred, determine the cause of the failure and repair as needed.

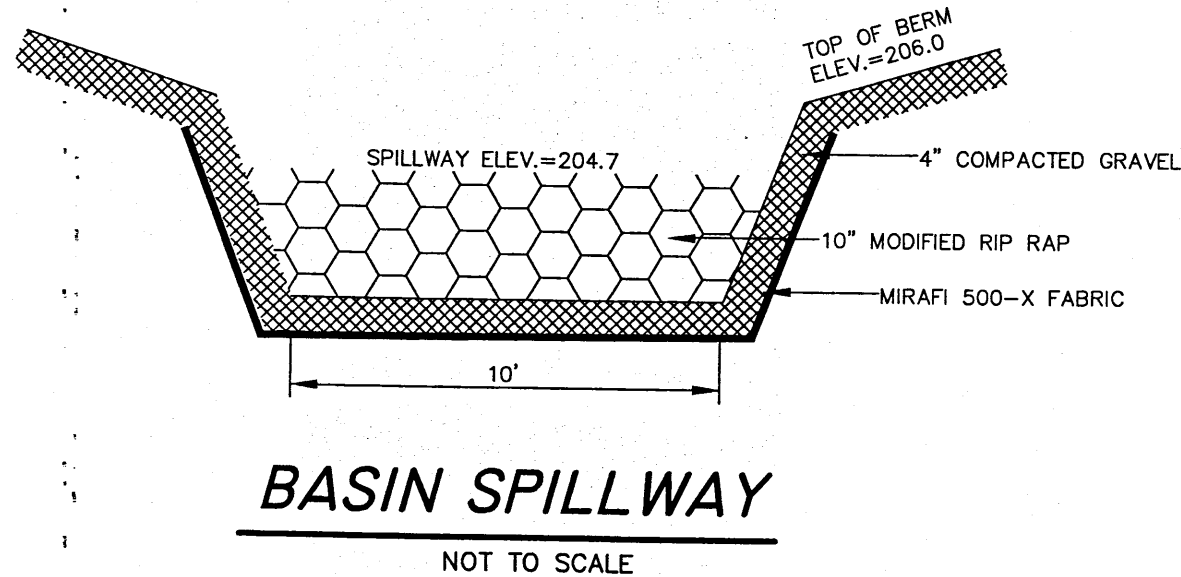
SOIL EROSION & SEDIMENT CONTROL NOTES

- All soil erosion and sediment control work shall be done in strict accordance with the Connecticut Guidelines For Soil Erosion and Sediment Control latest edition.
- Any additional erosion/sediment control deemed necessary by the Engineer during construction, shall be installed by the developer. In addition, the developer shall be responsible for the repair/replacement and/or maintenance of all erosion control measures until all disturbed areas are stabilized to the satisfaction of the town staff.
- All soil erosion and sediment control operations shall be in place prior to any grading operations and installation of proposed structures or utilities and shall be left in place until construction is completed and/or area is stabilized.
- Unless already paved, all entrances to the project site are to be protected by construction entrance (CE) pads, conforming to the Connecticut Guidelines For Erosion and Sediment Control latest edition. Stone shall conform to Ct. D.O.T. Form 614A, latest edition, M.O.I. No. 4 stone. The CE pad is to be maintained at all times during the construction period.
- In all areas, removal of trees, bushes and other vegetation as well as disturbance of the soil is to be kept to an absolute minimum while allowing proper development of the site. During construction, expose as small an area of soil as possible for as short a time as possible.
- Topsoil is to be stripped and stockpiled in amounts necessary to complete the final grading of all exposed areas requiring topsoil. The stockpiled topsoil is to be located as designated on the plans and ringed with hay bale barrier or geotextile silt fence. The stockpiled topsoil shall be temporarily seeded if it is to remain more than 30 days. Topsoil shall not be placed while in a frozen or muddy condition, when the subgrade is excessively wet, or in a condition that may otherwise be detrimental to proper grading or proposed sodding or seeding.
- There is to be no stockpiling of soil within a ten foot limit of adjoining properties. Any and all fill material is to be free of brush, rubbish, timber, logs vegetative matter and stumps in amounts that will be detrimental to constructing stable fills. Maximum side slopes of exposed surfaces of earth to be 3:1 or as otherwise specified by local authorities.



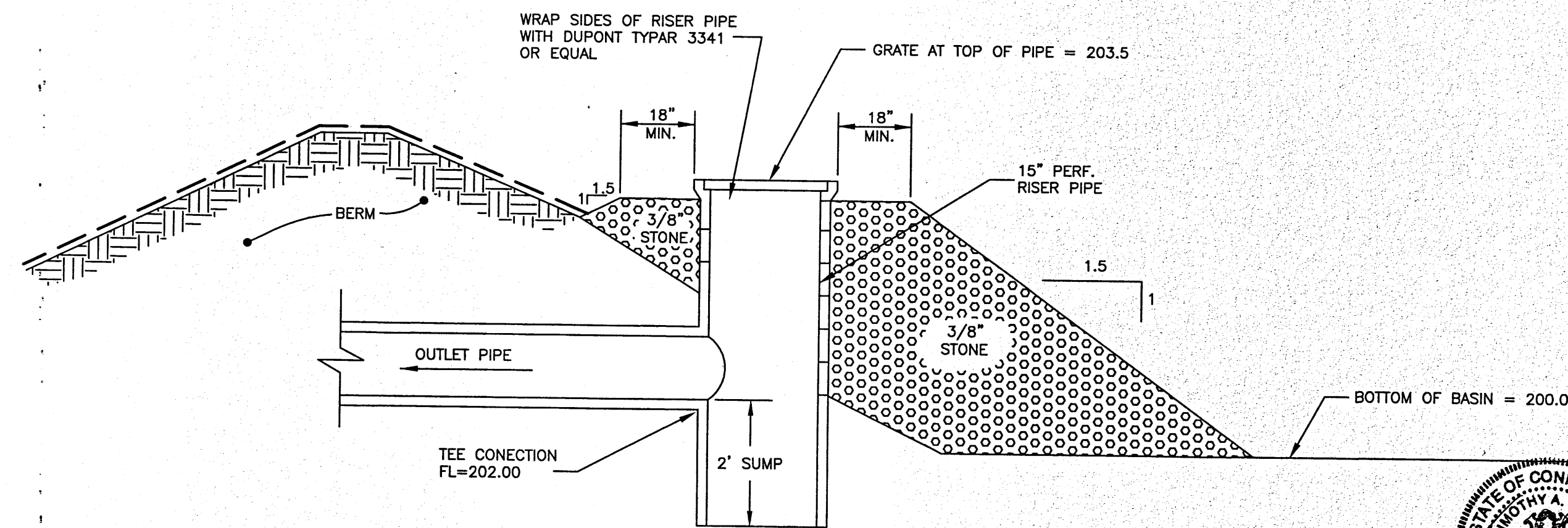
SEDIMENTATION BARRIER (SILT FENCE) DETAIL

NOT TO SCALE



BASIN SPILLWAY

NOT TO SCALE



OUTLET FOR TEMPORARY SEDIMENTATION BASIN

N.T.S.

NARRATIVE

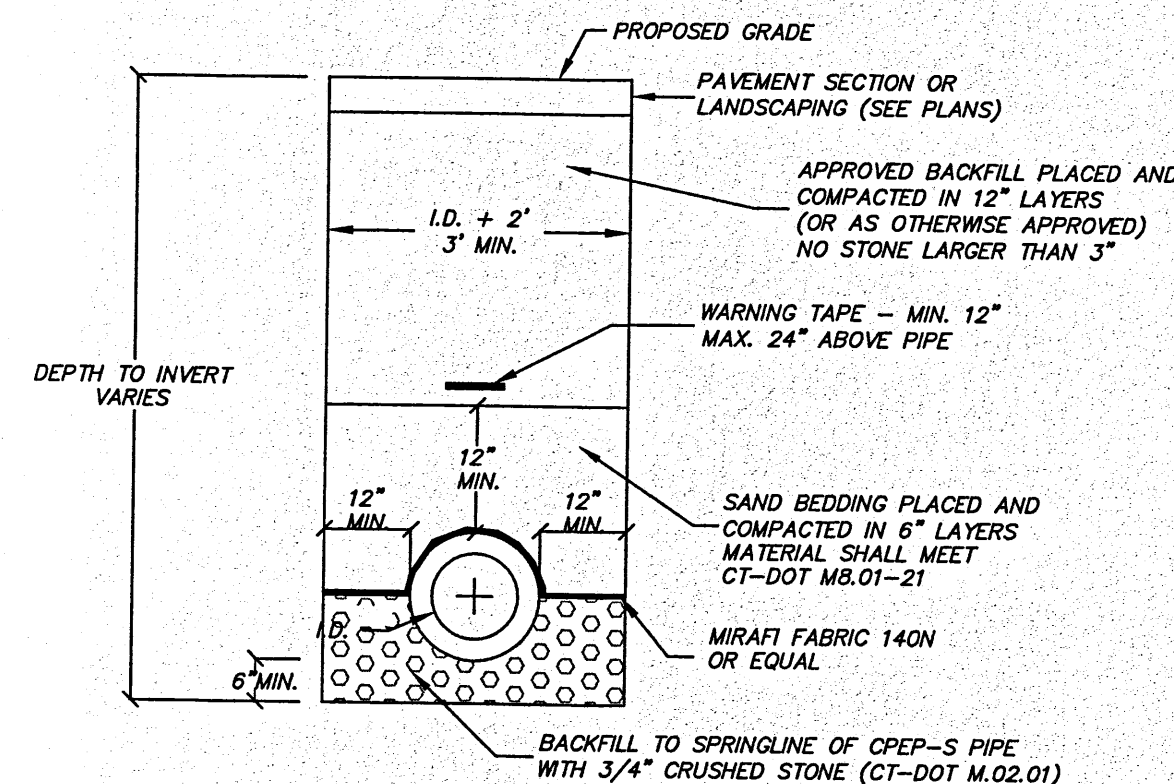
The proposed activity is the removal of gravel for commercial purposes. The gravel removal will be completed in four phases.

The suggested schedule of construction is as follows:

- Install temporary sedimentation basin and the run-off collections swals.
- Clear and grub.
- Install control points & silt fence.
- Strip topsoil and stockpile.
- Remove material.
- Fine grade disturbed areas and establish vegetation in first phase prior to proceeding to second phase.
- Remove silt fence after permanent vegetation has been established.

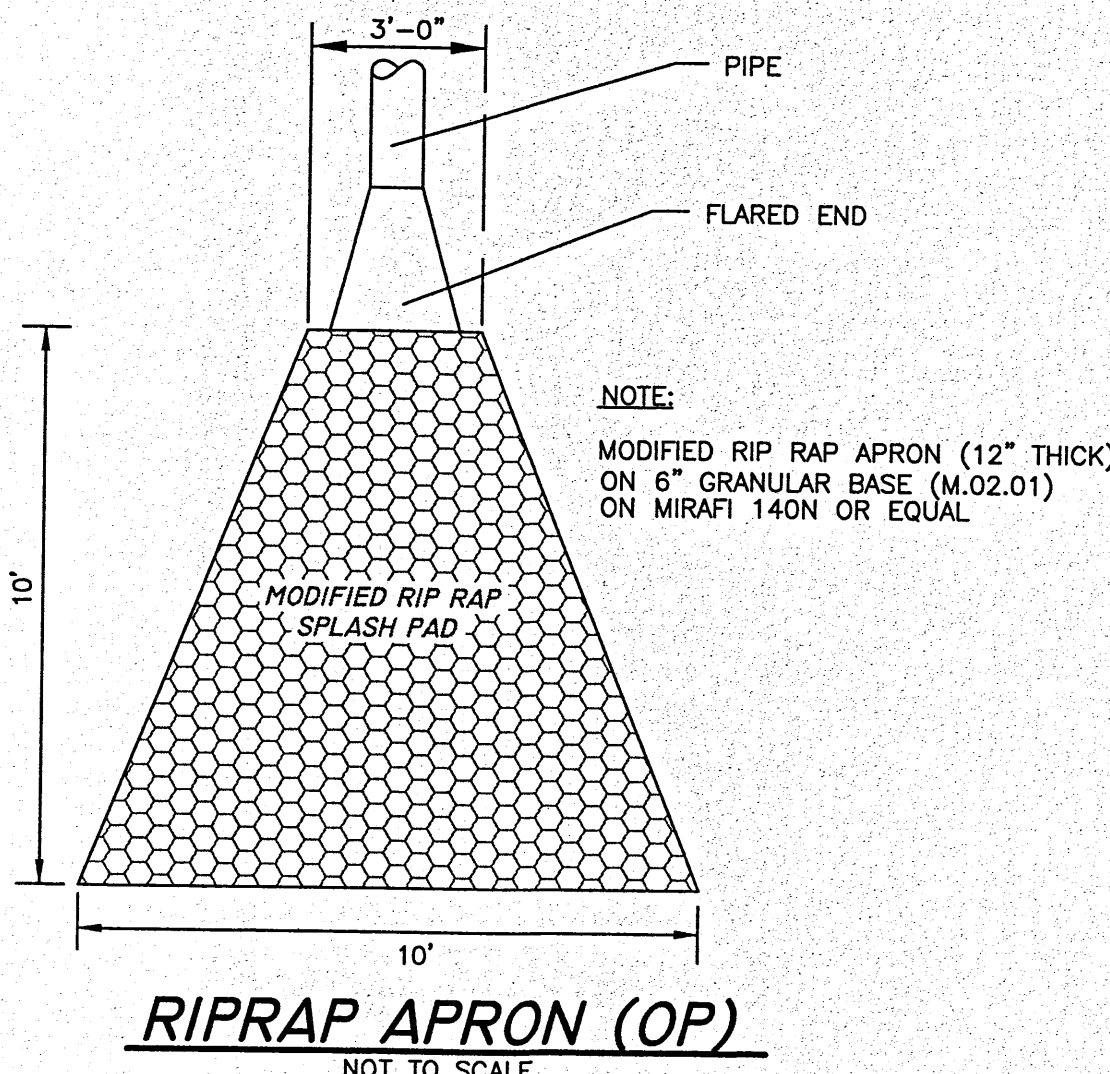
Construction of this site is anticipated to begin after the approval of these plans.

The developer shall be responsible for the repair/replacement/maintenance of all erosion control measures until all disturbed areas are stabilized to the satisfaction of the town staff. Sediment deposits should be periodically removed from the upstream sides of Sediment Barriers. This material is to be spread and stabilized in areas not subject to erosion, or to be used in areas which are not to be paved or built on. Sediment Barriers are to be replaced as necessary to provide proper filtering action. Sediment Barriers are to remain in place and be maintained to insure efficient siltation control until all areas above the erosion checks are stabilized and vegetation has been established.



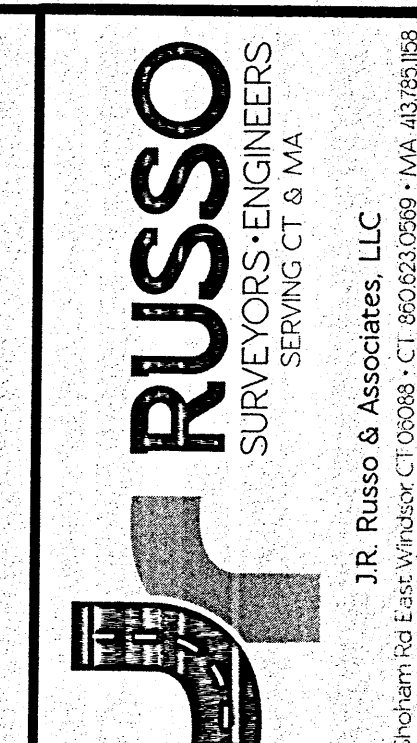
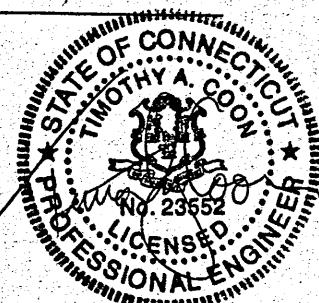
STANDARD STORM DRAIN DETAIL

NOT TO SCALE



RIPRAP APRON (OP)

NOT TO SCALE



1R Russo & Associates, LLC
SURVEYORS-ENGINEERS
SERVING CT & VA
1300 Main Rd East Windsor, CT 06026 • Tel: 860.232.9999 • Fax: 860.232.9999
www.russosurveyors.com • info@russosurveyors.com

NO.	REVISIONS	DATE
1	BY: LF/TAC	CHK: JEU
2		
3		
4		
5		
6		
7		
8		
9		
10		

5/8/15 ADDRESS TOWN COMMENTS

BY: LF/TAC CHK: JEU

DATE: 3-9-15

SCALE: NO SCALE

JOB NUMBER: 97099

SHEET: 7C of 7

EROSION & SEDIMENT CONTROL NOTES & DETAILS

Prepared For: Gale Construction

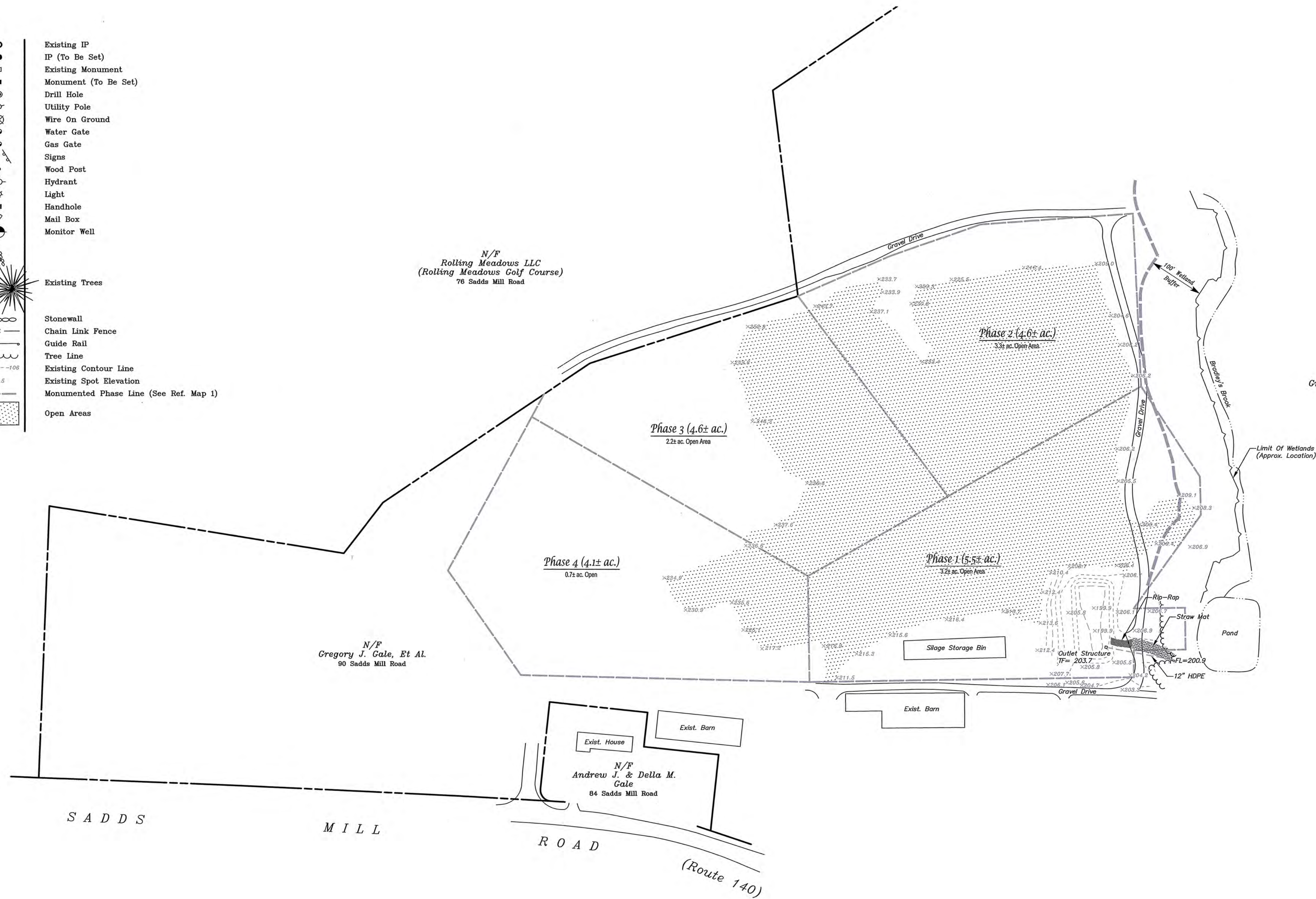
Sodds Mill Road - Rte. 140

Ellington, Connecticut

Map 079-002-0000

Legend:

- Existing IP
- IP (To Be Set)
- Existing Monument
- Monument (To Be Set)
- Drill Hole
- Utility Pole
- Wire On Ground
- Water Gate
- Gas Gate
- Signs
- Wood Post
- Hydrant
- Light
- Handhole
- Mail Box
- Monitor Well
- Existing Trees
- Stonewall
- Chain Link Fence
- Guide Rail
- Tree Line
- Existing Contour Line
- Existing Spot Elevation
- Monumented Phase Line (See Ref. Map 1)
- Open Areas



N/F
Gregory J. Gale, Et Al.
90 Saddle Mill Road

N/F
Gregory J. Gale, Et Al.
90 Saddle Mill Road

Phase 4 (4.1± ac.)
0.7± ac. Open

Phase 3 (4.6± ac.)
2.2± ac. Open Area

Phase 2 (4.6± ac.)
3.3± ac. Open Area

Phase 1 (5.5± ac.)
3.2± ac. Open Area

N/F
Andrew J. & Della M.
Gale
84 Saddle Mill Road

November 2024
Open Area = 9.4± acres
Includes Phases: 1, 2, 3, 4

Map References:

1. "Prepared For Gale Construction Saddles Mill Road - Rte. 140 Ellington, Connecticut Map 079-002-0000 Excavation Plan Scale 1" = 40' Date 3-09-15 Revised 10-27-16 By J.R. Russo & Associates LLC, East Windsor, CT."

General Notes:

1. This map was prepared from record research, other maps, limited field measurements and other sources. It is not to be construed as a Property / Boundary or Limited Property / Boundary Survey and is subject to such facts as said surveys may disclose.
2. Elevations based on reference map #1.
3. Wetlands limit noted hereon are approximate, see reference map #1.
4. Underground utility, structure and facility locations noted hereon have been compiled, in part, from record mapping supplied by the respective utility companies or governmental agencies, from parcel testimony and from other sources. These locations must be considered as approximate in nature. Additionally, other such features may exist on the site, the existence of which are unknown to this surveyor. The size, location and existence of all such features must be field determined and verified by the appropriate authorities prior to construction. Call Before You Dig 1-800-922-4456.
5. This survey and map has been prepared in accordance with Sections 20-300b-1 through 20-300b-20 of the Regulations of Connecticut State Agencies - "Standards for Surveys and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc. This survey is intended to note the field location of the open area of the gravel removal operation. This survey conforms to to Horizontal and Vertical Accuracy Class A-2 & T-2.

Revised: 10-30-24 Site Update 2024
Revised: 10-26-23 Site Update 2023
Revised: 11-04-22 Site Update 2022
Revised: 10-29-21 Site Update 2021
Revised: 11-04-20 Site Update 2020
Revised: 3-27-20 Added Drainage Modifications And Contours To Phase 1
Revised: 10-29-19 Site Update 2019
Revised: 10-25-18 Site Update 2018

Asbuilt Survey

Proposed Gravel Removal Operation
90 Saddles Mill Road (Route 140)

Prepared For

Gale Construction
Saddles Mill Road (Route 140)
Ellington, Connecticut

Assessors Lot: 079-002-0000

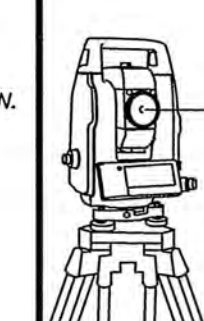
Gary B. LeClair, LLC
Licensed Land Surveyors

57 ACORN DRIVE
WINDSOR LOCKS, CONNECTICUT 06096
(860) 627-8200

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS
MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.



Gary B. LeClair, L.S. #70017



BY	SCALE	DATE	SHEET	CHECKED	NO.
A.B.L.	1" = 100'	11-01-17	1 OF 1	G.B.L.	217050

GRAPHIC SCALE



(IN FEET)
1 inch = 100 ft.

These drawings are the property of the Surveyor and have been prepared specifically for the owner of the Project at this site. They are not to be used for any other purpose, location, or person without the written consent of the Surveyor.

No declaration is expressed or implied unless these plans bear the live signature and embossed seal of the Surveyor whose name appears hereon.



STATE OF CONNECTICUT – COUNTY OF TOLLAND
INCORPORATED 1786

TOWN OF ELLINGTON

55 MAIN STREET – PO BOX 187
ELLINGTON, CONNECTICUT 06029-0187
www.ellington-ct.gov

TEL. (860) 870-3120 **TOWN PLANNER'S OFFICE** FAX (860) 870-3122

INLAND WETLANDS AGENCY REGULAR MEETING MINUTES MONDAY, MARCH 17, 2025, 7:00 P.M.

**IN PERSON ATTENDANCE: TOWN HALL ANNEX, 57 MAIN STREET
REMOTE ATTENDANCE: ZOOM MEETING
(ATTENDEES BELOW WERE IN PERSON UNLESS OTHERWISE NOTED)**

PRESENT: Chairman Jean Burns (via Zoom), Vice Chairman Katherine Heminway, Regular members Ken Braga, Landon Barlow (via Zoom, left meeting at 7:44 pm), and Alternate Subhra Roy

ABSENT: Regular members Steve Hoffman, Hocine Baouche, and Jon Kaczmarek

STAFF

PRESENT: John Colonese, Assistant Town Planner/Wetland Enforcement Officer and Barbra Galovich, Recording Clerk (via Zoom)

I. CALL TO ORDER: Chairman Jean Burns called the Ellington Inland Wetlands Agency meeting to order at 7:00 pm.

Chairman Jean Burns introduced Subhra Roy as a new member of the commission. Subhra mentioned serving on the Zoning Board of Appeals for the past 4 years and is looking forward to serving on the Inland Wetland Agency.

II. PUBLIC COMMENTS (on non-agenda items): **None**

III. PUBLIC HEARINGS:

1. IW202502 – Stephen D. Williams, owner/applicant request for a permit to conduct regulated activity to construct a single-family home and associated improvements at 37 Wendell Road, APN 168-019-0000.

Time: 7:04 pm

Seated: Burns, Heminway, Braga, Barlow and Roy

Stephen Williams, 22 Rudnansky Lane, Tolland, CT, Mark Peterson, Gardner & Peterson Assoc, LLC, 178 Hartford Turnpike, Tolland, CT, George Logan, REMA Ecological Services, LLC, 43 Blue Ridge Drive, Vernon, CT, George and Michael Schober, Schober & Schober, PC, 139 Hazard Ave, Bldg. 2, Suite 7, Enfield, CT were present to represent the application.

Attorney George Schober submitted August 12, 2024, and September 23, 2024, Inland Wetland Agency meeting minutes, the Improvement Location Survey map last revision of 9-13-2024, and the denial letter dated October 1, 2024, for the record. Attorney Schober introduced Mark Peterson who will review the changes to the plan since the denial.

Mark Peterson explained the parcel is located on the corner of Wendell Road and Pine Street in a residential zone. Mark stated a topography and boundary survey has been completed, showing the wetlands delineations provided by George Logan, and existing drainage, which runs north to south on the parcel. Mark showed the proposed location of the house, the driveway, proposed well, sewer, and utilities on the map. The owner received well location approval from the North Central District Health Department (NCDHD) and will work with the Water Pollution Control Authority for the sewer installation. Mark showed the location of the proposed stockpile area, haybales, and silt fence, and the anti-tracking pad during the construction phase and noted the seeding schedule is on page 2 of the plan set. Mark stated there is zero disturbance to the wetlands, and 3,470 sf of disturbance is proposed within the 100' upland review area.

George Logan noted the field delineations were performed in 2024, and the wetland soil types are poorly drained. George showed the flagged wetland area and noted that functions and values are limited. George stated there is a 40-foot in length intermittent watercourse that crosses the southern corner of the site, originating at a culvert under Wendell Road and flowing to a culvert under Pine Street. George stated the silt fence and haybales are to be installed to protect the wetlands during construction for double protection. George stated the hydrology of the wetlands will be maintained and in his professional opinion the proposed activity does not have an adverse impact on the water quality.

Commissioner Braga asked about landscaping between the house and the flagged wetlands, Stephen Williams noted there will be grass seed planted within the area. Commissioner Heminway asked about applying wetlands seed, George Logan noted any exposed dirt would be grass seed. Commissioner Barlow asked if the any mitigation and removal of the Japanese Knotweed was part of this application and George responded that it was not.

David Fredericks, 13 Pine Street, asked if a basement would be part of the dwelling, stating there is ledge on the parcel. David explained there is ledge and blasting that has occurred within the neighborhood, and noted a gravity fed well upstream of the property. Mark Peterson noted there is a proposed well and the dwelling will have a crawl space rather than a basement with minimal excavation. Mark showed the proposed grading of the site. David asked again about the gravity fed well. George Logan stated if there is a gravity fed well upstream it would be offsite and would have no effect on 37 Wendell Road as the water will continue to flow as it does.

Maura Freckleton, 33 Pine Street, mentioned North Central District Health Department's plan approval for the well location approved on March 10, 2025. Maura's concern is the 75' radius from the proposed sewer to her well. Mark Peterson spoke with the North Central District Health Department (NCDHD) and verified the separation distances to the well are sufficient and noted the sewer pump will be in a sealed concrete pit. Chairman Burns stated that NCDHD approval has six conditions noted.

Dave Freckleton, 33 Pine Street asked about the well setback from the road. John Colonese explained that the NCDHD approval was present and questions regarding well setbacks should be directed to the health department. George Logan explained that the hydrology of the well is separate from the wetlands.

Maura Freckleton, 33 Pine Street, noted concerns regarding building setback requirements. John Colonese stated that should the wetlands permit be approved; the Zoning Board of Approvals will need to approve a variance for the proposed building setbacks that do not comply with regulations or prior variance.

Vice Chairman Heminway stated more support for approval of the application now that all activity on the site would be outside of the wetland delineations. John Colonese reviewed the possible conditions of approval with the agency and application. Vice Chairman Heminway requested that

the haybales be extended along the proposed silt fence between the well and the wetlands. Chairman Burns requested the NCDHD approval to be added to the conditions.

MOVED (BRAGA) SECONDED (HEMINWAY) AND PASSED UNANIMOUSLY TO MAKE DETERMINATION OF A NON-SIGNIFICANT ACTIVITY FOR IW202502.

Stephen Williams noted his parents purchased the parcel over 72 years ago and would like to do something with the property besides paying taxes.

MOVED (BRAGA) SECONDED (HEWINWAY) AND PASSED UNANIMOUSLY TO CLOSE THE PUBLIC HEARING FOR IW202502 – Stephen D. Williams, owner/applicant request for a permit to conduct regulated activity to construct a single-family home and associated improvements at 37 Wendell Road, APN 168-019-0000.

MOVE (HEMINWAY) SECONDED (BRAGA) AND PASSED UNANIMOUSLY TO APPROVE WITH CONDITIONS FOR IW202502 – Stephen D. Williams, owner/applicant request for a permit to conduct regulated activity to construct a single-family home and associated improvements at 37 Wendell Road, APN 168-019-0000.

Conditions of approval:

1. Haybales shall be extended to the west behind the proposed silt fence line.
2. Proposed silt fence and haybales shall be staked by a licensed land surveyor prior to activity.
3. Erosion control measures shall be installed then inspected by the wetland agent prior to construction of the site and remain operational until the site is stabilized.
4. A split-rail fence shall be installed prior to the issuance of a Certificate of Occupancy along the proposed haybale line as shown on the plan submitted with the application described as Improvement Location Survey Permit Plan dated 02-23-1996 revised through 02-01-2025 by Gardner & Peterson Associates LLC. Ellington Inland Wetlands placards shall be securely attached to the fence posts in three locations evenly spaced and facing the house.
5. North Central District Health Department well location plan approval dated March 10, 2025.

IV. OLD BUSINESS: None

V. NEW BUSINESS:

1. **MOVED (HEMINWAY) SECONDED (ROY) AND PASSED (BRAGA OPPOSED) TO ADD TO THE AGENDA A REQUEST FOR A MODIFICATION TO PERMIT IW202419** – Abdulsalam Alsaleh and Zak Smith, owner/ Calito Development Group, LLC, applicant, request for a permit to conduct regulated activity to construct a driveway crossing, parking lot, wetlands mitigation area, stormwater basin, and associated site improvements for a retail store on property to be subdivided on the west side of West Road across the street from 175 West Road. Property identified as Assessor Parcel Number 046-003-0002.

Jim Cassidy, PE, Hallisey, Pearson & Cassidy Engineering Associates, Inc., 630 Main Street, Cromwell, CT stated the Inland Wetland Agency granted a Wetlands permit on November 18, 2024. Since the approval, Jim has been working with the Connecticut Department of Transportation (CT DOT) for the last few months to obtain approval for the proposed site improvements. The CT DOT has concerns pertaining to the proposed detention basin along West Road and requested a revised plan to review. Jim shared the revised site plan, and the changes made to accommodate the CT DOT concerns. After a brief roundtable discussion, the Agency advised Jim Cassidy to attend the next meeting under New Business agenda item.

MOVED (HEMINWAY) SECONDED (ROY) AND PASSED UNANIMOUSLY TO ADD UNDER NEW BUSINESS FOR MONDAY, APRIL 21, 2025, 7PM, TOWN HALL ANNEX, 57 MAIN STREET, ELLINGTON, AND ZOOM VIDEO CONFERENCING A REQUEST FOR A MODIFICATION TO PERMIT IW202419 – Abdulsalam Alsaleh and Zak Smith, owner/ Calito Development Group, LLC, applicant, request for a permit to conduct regulated activity to construct a driveway crossing, parking lot, wetlands mitigation area, stormwater basin, and associated site improvements for a retail store on property to be subdivided on the west side of West Road across the street from 175 West Road. Property identified as Assessor Parcel Number 046-003-0002.

VI. ADMINISTRATIVE BUSINESS:

1. Approval of February 10, 2025, Regular Meeting Minutes.

MOVED (BRAGA) SECONDED (HEMINWAY) (ROY - ABSTAINED) AND PASSED TO APPROVE FEBRUARY 10, 2025, REGULAR MEETING MINUTES AS WRITTEN.

2. Election of Officers

BY CONSENSUS, THE AGENCY TABLED ELECTION OF OFFICERS TO THE NEXT INLAND WETLAND AGENCY MEETING TO BE HELD ON MONDAY, APRIL 21, 2025, 7PM, TOWN HALL ANNEX, 57 MAIN STREET, ELLINGTON, AND ZOOM VIDEO CONFERENCING.

3. Correspondence/Discussion:

- a. CT DEEP Municipal Inland Wetlands Agency Comprehensive Training Program.
- b. North Central Conservation District Spring 2025 Plant & Seedling Sale.
- c. Notice of Ellington Public Budget Presentations - Community Voice Channel on March 20, 2025, Senior Center and Virtual Zoom Meeting on May 1, 2025, and Hall Memorial Library and Virtual Zoom Meeting on May 3, 2025.

VII. ADJOURNMENT:

MOVED (BRAGA) SECONDED (HEMINWAY) TO ADJOURN THE MARCH 17, 2025, REGULAR MEETING OF THE INLAND WETLANDS AGENCY AT 8:03 PM.

Respectfully submitted,

Barbra Galovich, Recording Clerk