



# Michigan City Areas Schools

## District Master Plan - Condition Assessment



February 25, 2025  
Board of Education Update



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# Condition Assessment Summary



## Executive Summary

Fanning Howey and The Skillman Corporation are pleased to present our findings for the Building Condition Assessments for the Michigan City Area School District Master Plan. Michigan City Area Schools is embarking on the next generational improvement to districtwide facilities. The Building Condition Assessments provide the foundation and starting point for this endeavor. The provided documentation will be refined and tooled to throughout the development of the district masterplan efforts being utilized to understand the effects of districtwide decisions and directions. The provided documentation is crucial to understanding the needs and potential costs associated to operating the existing buildings in their current configurations into the future. Consideration will be given throughout this process to understanding the magnitude of renovations versus additions or new construction.

Michigan City Area Schools and the assessed buildings have faithfully served the community with examples such as Coolspring Elementary School dating back to 1937. Edgewood, Joy, Knapp, and Marsh Elementary Schools and Barker and Krueger Middle Schools and Michigan City High School were constructed in the 1950's and 1960's. Springfield Elementary School was constructed in the early 1990's and Lake Hills and Pine Elementary School represent the newest facilities constructed in the 2000's. Respective to age, buildings have received renovations and additions throughout their lifespans. It is crucial to understand that the assessments and recommendations represent needs due to age, use/wear, and typical lifespans of materials and equipment. Buildings have remained safe and have been appropriately adapted to each generational need within education.

### PURPOSE

A Building Condition Assessment is a systematic evaluation of a building's physical condition to identify potential issues, assess its overall health, and inform decision-making related to maintenance, repairs, and future planning. The condition assessments are part of the early stage that will feed information gathered into the district's future planning. The ability to understand where one is heading in the future, it is crucial to first understand where one is currently.

### PROCESS

Fanning Howey and The Skillman Corporation began meeting with Michigan City Area Schools, specifically with Dr. Wendel McCollum and Kevin McGuire, mid-year 2024 to envision the district masterplan process. In July of 2024, architects and engineers from Fanning Howey walked through six elementary schools, the two middle schools, the high school, and administration building with a follow-up in December of 2024 visiting two additional elementary schools. Our team, assisted throughout by Dave Williamson, preliminarily recorded the existing conditions of the buildings through the provided Building Condition Assessment documentation. Our team continued to develop the preliminary documentation to add further clarity and detail. This includes the further breakdown of categories such as Building Interiors Environment Walls into detailed scores for space specific areas throughout the buildings. Fanning Howey's team then began the process of creating Discipline Recommendations and Scope of Work descriptions focused on what work would need to be done to sustain the existing buildings in their current organization to continue to serve Michigan City Area Schools into the future. This information allows Fanning Howey and The Skillman Corporation to effectively coordinate and communicate rough order of magnitude of efforts needed within the buildings. This has allowed The Skillman Corporation to provide preliminary cost estimates for each building.

### UNDERSTANDING CONDITION ASSESSMENTS

The Building Condition Assessments are divided into five main sections of evaluation with each section broken into appropriate categories. Each category is further delineated into components that are individually assessed and either combined or averaged to assemble the category scores.

# Condition Assessment Summaries

## Elementary Schools

**A Site Circulation and Amenities**

- A.1 Separation/Drop-off/Stacking
- A.2 Drives/Lots and Walks
- A.3 Site Improvements

**B Safety and Security**

- B.1 Secure Building Access
- B.2 Surveillance/Cameras

**C Building Envelope**

- C.1 Building Roof
- C.2 Exterior Building Walls
- C.3 Exterior Doors/Windows

**D Building Interiors Environment**

- D.1 ADA/Accessibility
- D.2 Floors
- D.3 Walls
- D.4 Ceilings
- D.5 Doors/Borrowed Lites
- D.6 Fixed Equipment

**E Building Systems.**

- E.1 Building Plumbing System
- E.2 Building HVAC System
- E.3 Building Temperature Controls
- E.4 Building Electrical System
- E.5 Building Lighting
- E.6 Building Technology

The twenty categories receive a score between 1 and 5, described below, equating to a building score out of a possible 100. The Condition Assessment Legend provides insight into the scoring matrix as well as color coding the Condition Assessment Summaries for clarity of information presented.

Condition Assessment Legend	
Building Scoring Matrix	Category Scoring Matrix
100: Excellent	5: No Work Needed
99 - 80: Good	4: Minor Work Needed
79 - 60: Average	3: Moderate Work Needed
59 - 40: Fair	2: Major Work Needed
Below 40: Poor	1: None/Replacement Needed

A category score of 5 indicates that no work is needed meaning that the components assembling the category are functionally and conditionally in excellent order. A category score of 4, 3, or 2 indicates that work is needed meaning that the components assembling the category are functionally and conditionally in need of the applicable determined amount of work to restore or increase their functional and conditional order. A category score of 1 indicates that either the components assembling the category are not existent in the building or are functionally and conditionally in poor order resulting in the need for replacement.

Michigan City Area Schools	
Function of Buildings:	Elementary Schools
Total Building Area:	545,767
Total Site Acreage:	156.88
District Enrollment Capacity:	
District Current Enrollment:	2,875

Condition Assessment Legend	
Building Scoring Matrix	Category Scoring Matrix
100: Excellent	5: No Work Needed
99 - 80: Good	4: Minor Work Needed
79 - 60: Average	3: Moderate Work Needed
59 - 40: Fair	2: Major Work Needed
Below 40: Poor	1: None/Replacement Needed

	Coolspring Elementary School	Edgewood Elementary School	Joy Elementary School	Knapp Elementary School	Lake Hills STEM Magnet Elementary School	Marsh Elementary School	Pine Fine Arts Magnet Elementary School	Springfield Elementary School
Condition Assessment	Score	Score	Score	Score	Score	Score	Score	Score
<b>A SITE CIRCULATION AND AMENITIES</b>								
A.1 Separation/Drop-off/Stacking	4.00	3.06	3.25	2.94	4.05	3.00	4.63	4.19
A.2 Drives/Lots and Walks	3.23	2.00	2.25	3.25	3.81	3.67	4.13	3.25
A.3 Site Improvements	2.90	3.15	3.30	3.15	4.13	3.68	4.40	3.30
<b>B SAFETY AND SECURITY</b>								
B.1 Secure Building Access	2.50	2.63	2.50	2.75	3.88	2.63	4.00	2.00
B.2 Surveillance/Cameras	2.00	4.00	4.00	4.00	4.25	4.00	4.50	4.00
<b>C BUILDING ENVELOPE</b>								
C.1 Building Roof	2.43	3.02	4.89	2.26	3.44	5.00	3.00	5.00
C.2 Exterior Building Walls	3.50	3.63	3.50	3.49	3.56	3.94	4.00	3.00
C.3 Exterior Doors/Windows	2.98	3.90	4.00	3.55	4.22	3.95	4.45	3.90
<b>D BUILDING INTERIOR ENVIRONMENT</b>								
D.1 ADA/Accessibility	1.69	2.67	1.82	1.82	4.84	2.17	4.92	4.28
D.2 Floors	3.89	3.71	3.06	2.95	3.88	3.34	4.09	3.31
D.3 Walls	3.52	3.44	3.16	2.53	3.77	3.09	4.05	3.23
D.4 Ceilings	3.79	3.36	3.02	2.19	4.30	3.37	4.33	3.47
D.5 Doors/Borrowed Lites	2.86	3.83	3.00	2.79	4.50	3.82	4.50	4.00
D.6 Fixed Equipment	3.22	3.48	2.82	2.92	4.36	3.11	4.49	2.90
<b>E BUILDING SYSTEMS</b>								
E.1 Building Plumbing System	2.75	2.40	2.42	2.42	3.44	2.38	3.52	2.68
E.2 Building HVAC System	3.52	2.54	2.06	1.94	3.04	3.06	3.08	2.92
E.3 Building Temperature Controls	3.50	2.00	4.00	4.00	2.00	4.00	2.00	2.00
E.4 Building Electrical System	2.92	3.38	3.42	3.00	3.92	3.25	4.25	4.25
E.5 Building Lighting	3.67	3.04	3.54	2.46	3.54	3.50	4.64	2.75
E.6 Building Technology	4.06	3.78	3.78	4.06	3.56	3.33	4.06	3.94
<b>CONDITION ASSESSMENT AVERAGE SCORE</b>	<b>3.14</b>	<b>3.15</b>	<b>3.19</b>	<b>2.92</b>	<b>3.82</b>	<b>3.41</b>	<b>4.05</b>	<b>3.42</b>
<b>CONDITION ASSESSMENT GRADE</b>	<b>62.90</b>	<b>62.99</b>	<b>63.78</b>	<b>58.45</b>	<b>76.47</b>	<b>68.29</b>	<b>81.04</b>	<b>68.36</b>



# Condition Assessment Summaries

## Middle Schools

Michigan City Area Schools	
Function of Buildings:	Middle Schools
Total Building Area:	220,707
Total Site Acreage:	68.55
District Enrollment Capacity:	
District Current Enrollment:	763

Condition Assessment Legend	
Building Scoring Matrix	Category Scoring Matrix
100: Excellent	5: No Work Needed
99 - 80: Good	4: Minor Work Needed
79 - 60: Average	3: Moderate Work Needed
59 - 40: Fair	2: Major Work Needed
Below 40: Poor	1: None/Replacement Needed

	Barker Middle School	Krueger Middle School
Condition Assessment	Score	Score
<b>A SITE CIRCULATION AND AMENITIES</b>		
A.1 Separation/Drop-off/Stacking	4.31	4.38
A.2 Drives/Lots and Walks	3.25	3.25
A.3 Site Improvements	2.95	2.82
<b>B SAFETY AND SECURITY</b>		
B.1 Secure Building Access	4.50	4.50
B.2 Surveillance/Cameras	4.50	4.50
<b>C BUILDING ENVELOPE</b>		
C.1 Building Roof	2.03	2.00
C.2 Exterior Building Walls	3.80	3.90
C.3 Exterior Doors/Windows	3.90	3.90
<b>D BUILDING INTERIOR ENVIRONMENT</b>		
D.1 ADA/Accessibility	4.08	4.00
D.2 Floors	3.73	3.73
D.3 Walls	3.25	2.98
D.4 Ceilings	3.79	3.71
D.5 Doors/Borrowed Lites	4.00	4.00
D.6 Fixed Equipment	3.45	3.55
<b>E BUILDING SYSTEMS</b>		
E.1 Building Plumbing System	3.09	3.09
E.2 Building HVAC System	2.79	2.79
E.3 Building Temperature Controls	2.00	3.00
E.4 Building Electrical System	3.83	3.83
E.5 Building Lighting	3.63	3.46
E.6 Building Technology	4.11	3.61
<b>CONDITION ASSESSMENT AVERAGE SCORE</b>	<b>3.55</b>	<b>3.55</b>
<b>CONDITION ASSESSMENT GRADE</b>	<b>70.97</b>	<b>71.00</b>

# Condition Assessment Summaries

## High School

Michigan City Area Schools	
Function of Buildings:	High Schools
Total Building Area:	387,084
Total Site Acreage:	78.85
District Enrollment Capacity:	
District Current Enrollment:	1,555

Condition Assessment Legend	
Building Scoring Matrix	Category Scoring Matrix
100: Excellent	5: No Work Needed
99 - 80: Good	4: Minor Work Needed
79 - 60: Average	3: Moderate Work Needed
59 - 40: Fair	2: Major Work Needed
Below 40: Poor	1: None/Replacement Needed

	Michigan City High School
Condition Assessment	Score
<b>A SITE CIRCULATION AND AMENITIES</b>	
A.1 Separation/Drop-off/Stacking	4.29
A.2 Drives/Lots and Walks	1.75
A.3 Site Improvements	3.00
<b>B SAFETY AND SECURITY</b>	
B.1 Secure Building Access	4.50
B.2 Surveillance/Cameras	2.00
<b>C BUILDING ENVELOPE</b>	
C.1 Building Roof	3.01
C.2 Exterior Building Walls	3.30
C.3 Exterior Doors/Windows	2.88
<b>D BUILDING INTERIOR ENVIRONMENT</b>	
D.1 ADA/Accessibility	1.84
D.2 Floors	3.27
D.3 Walls	3.67
D.4 Ceilings	3.38
D.5 Doors/Borrowed Lites	3.23
D.6 Fixed Equipment	3.20
<b>E BUILDING SYSTEMS</b>	
E.1 Building Plumbing System	2.51
E.2 Building HVAC System	2.49
E.3 Building Temperature Controls	2.00
E.4 Building Electrical System	3.67
E.5 Building Lighting	4.13
E.6 Building Technology	4.36
<b>CONDITION ASSESSMENT AVERAGE SCORE</b>	<b>3.12</b>
<b>CONDITION ASSESSMENT GRADE</b>	<b>62.47</b>

# Condition Assessment Summaries

## Support Buildings

Michigan City Area Schools	
Function of Buildings:	Support Buildings/Facilities
Total Building Area:	28,714
Total Site Acreage:	8.00
District Enrollment Capacity:	
District Current Enrollment:	0

Condition Assessment Legend	
Building Scoring Matrix	Category Scoring Matrix
100: Excellent	5: No Work Needed
99 - 80: Good	4: Minor Work Needed
79 - 60: Average	3: Moderate Work Needed
59 - 40: Fair	2: Major Work Needed
Below 40: Poor	1: None/Replacement Needed

	Administration Building	Ames Field	Transportation Center
Condition Assessment	Score	Score	Score
<b>A SITE CIRCULATION AND AMENITIES</b>			
A.1 Separation/Drop-off/Stacking	4.22	0.00	0.00
A.2 Drives/Lots and Walks	3.00	0.00	0.00
A.3 Site Improvements	3.50	0.00	0.00
<b>B SAFETY AND SECURITY</b>			
B.1 Secure Building Access	3.67	0.00	0.00
B.2 Surveillance/Cameras	4.50	0.00	0.00
<b>C BUILDING ENVELOPE</b>			
C.1 Building Roof	3.00	0.00	0.00
C.2 Exterior Building Walls	3.50	0.00	0.00
C.3 Exterior Doors/Windows	2.74	0.00	0.00
<b>D BUILDING INTERIOR ENVIRONMENT</b>			
D.1 ADA/Accessibility	2.23	0.00	0.00
D.2 Floors	2.62	0.00	0.00
D.3 Walls	3.18	0.00	0.00
D.4 Ceilings	2.07	0.00	0.00
D.5 Doors/Borrowed Lites	4.00	0.00	0.00
D.6 Fixed Equipment	2.22	0.00	0.00
<b>E BUILDING SYSTEMS</b>			
E.1 Building Plumbing System	2.75	0.00	0.00
E.2 Building HVAC System	3.00	0.00	0.00
E.3 Building Temperature Controls	2.00	0.00	0.00
E.4 Building Electrical System	4.13	0.00	0.00
E.5 Building Lighting	4.50	0.00	0.00
E.6 Building Technology	5.00	0.00	0.00
<b>CONDITION ASSESSMENT AVERAGE SCORE</b>	<b>3.29</b>	NOT ASSESSED	NOT ASSESSED
<b>CONDITION ASSESSMENT GRADE</b>	<b>65.81</b>		

# Condition Assessments

## Coolspring Elementary School

Condition Assessments

Coolspring Elementary School Summary

Michigan City Area Schools	
Building:	Coolspring Elementary School
Building Area:	50,510
Site Acreage:	6.00
Enrollment Capacity:	
Current Enrollment:	238
Construction	Construction Type
1937	Original Construction
See Bldg. Area Plan	Additions and Renovations

Condition Assessment Legend	
Building Scoring Matrix	Category Scoring Matrix
100: Excellent	5: No Work Needed
99 - 80: Good	4: Minor Work Needed
79 - 60: Average	3: Moderate Work Needed
59 - 40: Fair	2: Major Work Needed
Below 40: Poor	1: None/Replacement Needed

Condition Assessment	Score
<b>A SITE CIRCULATION AND AMENITIES</b>	
A.1 Separation/Drop-off/Stacking	4.00
A.2 Drives/Lots and Walks	3.23
A.3 Site Improvements	2.90
<b>B SAFETY AND SECURITY</b>	
B.1 Secure Building Access	2.50
B.2 Surveillance/Cameras	2.00
<b>C BUILDING ENVELOPE</b>	
C.1 Building Roof	2.43
C.2 Exterior Building Walls	3.50
C.3 Exterior Doors/Windows	2.98
<b>D BUILDING INTERIOR ENVIRONMENT</b>	
D.1 ADA/Accessibility	1.69
D.2 Floors	3.89
D.3 Walls	3.52
D.4 Ceilings	3.79
D.5 Doors/Borrowed Lites	2.86
D.6 Fixed Equipment	3.22
<b>E BUILDING SYSTEMS</b>	
E.1 Building Plumbing System	2.75
E.2 Building HVAC System	3.52
E.3 Building Temperature Controls	3.50
E.4 Building Electrical System	2.92
E.5 Building Lighting	3.67
E.6 Building Technology	4.06
<b>CONDITION ASSESSMENT AVERAGE SCORE</b>	<b>3.14</b>
<b>CONDITION ASSESSMENT GRADE</b>	<b>62.90</b>

Condition Assessments

Coolspring Elementary School Expanded Summary

Michigan City Area Schools	
Building:	Coolspring Elementary School
Building Area:	50,510
Site Acreage:	6.00
Enrollment Capacity:	
Current Enrollment:	238
Construction	Construction Type
1937	Original Construction
See Bldg. Area Plan	Additions and Renovations

Condition Assessment Legend	
Building Scoring Matrix	Category Scoring Matrix
100: Excellent	5: No Work Needed
99 - 80: Good	4: Minor Work Needed
79 - 60: Average	3: Moderate Work Needed
59 - 40: Fair	2: Major Work Needed
Below 40: Poor	1: None/Replacement Needed

Condition Assessment	Score
<b>A SITE CIRCULATION AND AMENITIES</b>	
A.1 Separation/Drop-off/Stacking	4.00
A.2 Drives/Lots and Walks	3.23
A.3 Site Improvements	2.90
<b>B SAFETY AND SECURITY</b>	
B.1 Secure Building Access	2.50
B.2 Surveillance/Cameras	2.00
<b>C BUILDING ENVELOPE</b>	
C.1 Building Roof	2.43
C.2 Exterior Building Walls	3.50
C.3 Exterior Doors/Windows	2.98
<b>D BUILDING INTERIOR ENVIRONMENT</b>	
D.1 ADA/Accessibility	1.69
Administration	1.63
Corridors/Common	2.58
Classrooms/Science	1.44
Art/Music/Auditorium	2.00
Gymnasium/Natorium	1.50
Cafeteria/Kitchen	1.67
Restrooms/Locker Rooms	1.00
D.2 Floors	3.89
Administration	3.28
Corridors/Common	4.00
Classrooms/Science	3.60
Art/Music/Auditorium	4.50
Gymnasium/Natorium	3.25
Cafeteria/Kitchen	5.00
Restrooms/Locker Rooms	3.59
D.3 Walls	3.52
Administration	3.50
Corridors/Common	3.13
Classrooms/Science	3.63
Art/Music/Auditorium	4.00
Gymnasium/Natorium	3.75
Cafeteria/Kitchen	4.00
Restrooms/Locker Rooms	2.63
D.4 Ceilings	3.79
Administration	4.00
Corridors/Common	4.00
Classrooms/Science	4.00
Art/Music/Auditorium	4.50
Gymnasium/Natorium	2.75
Cafeteria/Kitchen	4.50
Restrooms/Locker Rooms	2.75
D.5 Doors/Borrowed Lites	2.86
Administration	2.75
Corridors/Common	2.00
Classrooms/Science	2.75
Art/Music/Auditorium	3.50
Gymnasium/Natorium	2.75
Cafeteria/Kitchen	3.50
Restrooms/Locker Rooms	2.75
D.6 Fixed Equipment	3.22
Administration	3.29
Corridors/Common	3.25
Classrooms/Science	3.75
Art/Music/Auditorium	3.25
Gymnasium/Natorium	3.75
Cafeteria/Kitchen	3.61
Restrooms/Locker Rooms	1.64
<b>E BUILDING SYSTEMS</b>	
E.1 Building Plumbing System	2.75
E.2 Building HVAC System	3.52
E.3 Building Temperature Controls	3.50
E.4 Building Electrical System	2.92
E.5 Building Lighting	3.67
E.6 Building Technology	4.06
<b>CONDITION ASSESSMENT AVERAGE SCORE</b>	<b>3.14</b>
<b>CONDITION ASSESSMENT GRADE</b>	<b>62.90</b>



# Condition Assessments

## Coolspring Elementary School Code Analysis

**Code Analysis:**

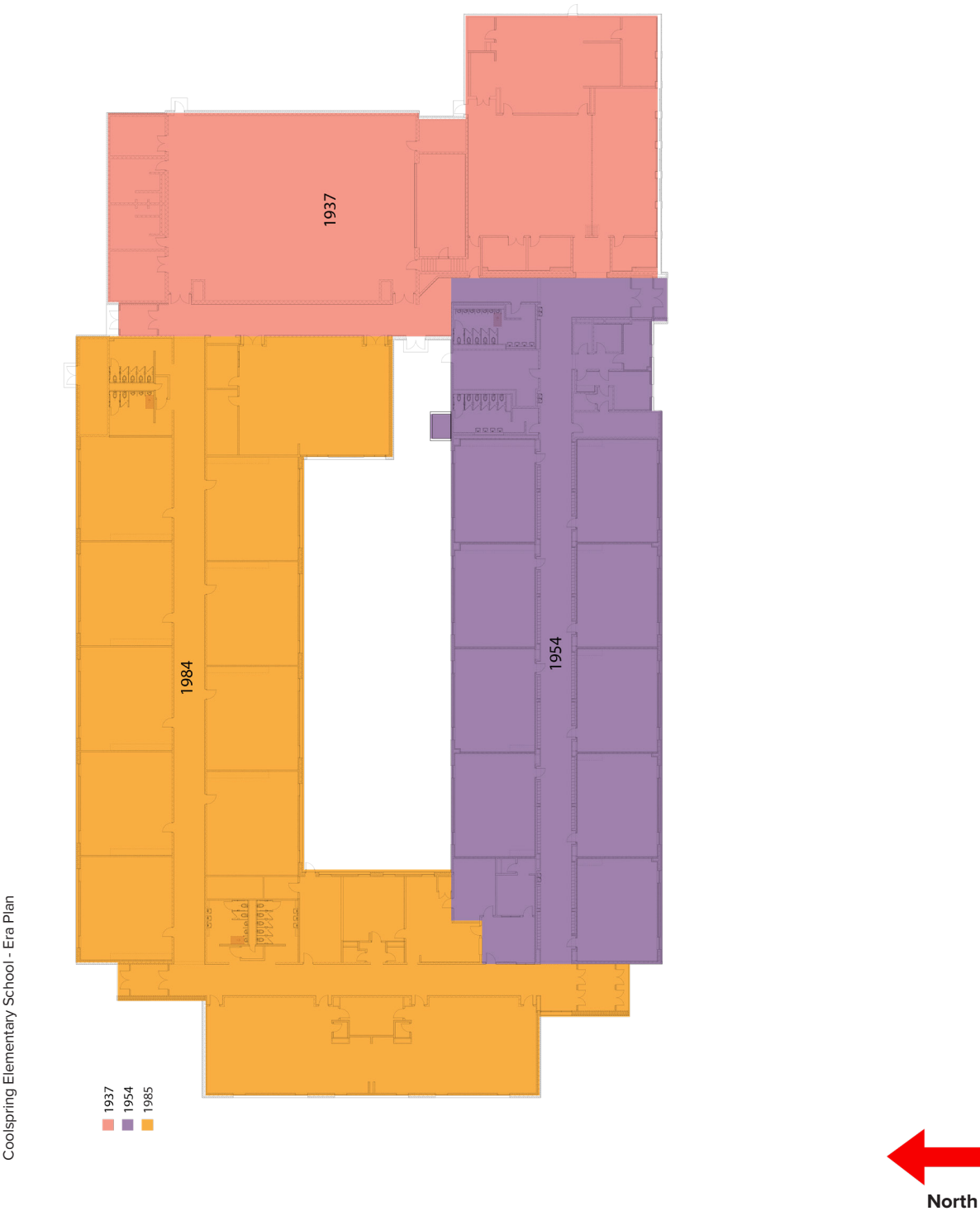
- The Building Occupancy is Group E – Educational.
  - o Allowable area per code is 14,500 SF. No sprinkler increase. Frontage increase possible dependent on public way or open space at perimeter of building.
  - o The overall square footage is 50,510 SF. No area separation walls are assumed to be present.
- The Building Type of Construction is assumed to be Type II-B Unprotected Non-Combustible.
  - o Original construction in 1937.
  - o Addition construction in 1954.
  - o Addition construction in 1984.
  - o Mechanical renovations in 2002.
  - o Partial site improvements in 2007.
- The existing Building is NOT equipped with a fire suppression system throughout.

**Priority Items:**

a. NOTE: All non-compliant building code items are grandfathered, however, if any item or area is renovated, new work is required to meet current building code.

# Condition Assessments

## Coolspring Elementary School Era Floorplan



# Condition Assessments

## Coolspring Elementary School Site

SUMMARY OF ENTIRE SITE					
Category		Subscore	Regions	Score	General Comments
A.1 Separation/Drop-off/Stacking		4.00	1	4.00	
A.2 Drives/Lots and Walks		3.23	1	3.23	
A.3 Site Improvements		2.90	1	2.90	

SITE					
A.1 Separation/Drop-off/Stacking					
A.1 Identifiable Main Entry				Score	Comments/Remarks
A.1_Identifiable Main Entry				3.00	Entrance is evident from parking lot, but not as identifiable from road.
A.1 ADA Accessibility		Type	Compliant	Score	Comments/Remarks
A.1_ADA Accessibility		Route	TRUE	4.00	A few minor condition issues of pavement and concrete. Route is clear.
A.1_ADA Accessibility		Door	TRUE	3.00	Door hardware and threshold appear compliant. Inner vestibule is clear.
A.1 Parking Space Allocation		Type	Compliant	Quantity	Score
A.1_Parking Space Allocation		Visitor		26.00	5.00
A.1_Parking Space Allocation		Staff		48.00	5.00
A.1_Parking Space Allocation		Accessible	TRUE	4.00	5.00
A.1 Site Circulation		Type			Score
A.1_Emergency/Fire Service Access					5.00
A.1_Bus/Vehicular		Separation			3.00
A.1_Bus/Vehicular		Signage			4.00
A.1_Bus Drop-off/Pick-up		Route Clarity/Safety			3.00
A.1_Bus Drop-off/Pick-up		Adequate Stacking			3.00
A.1_Car Drop-off/Pick-up		Pedestrian Safety			4.00
A.1_Car Drop-off/Pick-up		Adequate Stacking			5.00
A.1_Car Drop-off/Pick-up		Traffic Pattern			5.00
A.1_Delivery Routing		Separation			4.00
A.1_Delivery Routing		Loading Dock			3.00
SITE A.1 Separation/Drop-off/Stacking			Total	4.00	
A.2 Drives/Lots and Walks		Type	%	Subscore	Score
A.2_Sidewalks		Concrete	100	4.00	4.00
A.2_Sidewalks					
A.2_Sidewalks					
			Sidewalks	Subtotal	4.00
A.2_Drives		Asphalt	90	3.00	2.70
A.2_Drives		Concrete	10	2.00	0.20
A.2_Drives					
			Drives	Subtotal	2.90
A.2_Parking_Lots		Asphalt	100	2.00	2.00
A.2_Parking_Lots					
A.2_Parking_Lots					
			Parking Lots	Subtotal	2.00
A.2_Drives/Parking Lots		Traffic Markings/Striping			4.00
SITE A.2 Drives/Lots and Walks			Total	3.23	
A.3 Site Improvements		Type			Score
A.3_Playground(s)		Accessibility			1.00
A.3_Playground(s)		Equipment			1.00
A.3_Playground(s)		Surface			1.00
A.3_Playground(s)		Size			3.00
			Playground(s)	Subtotal	1.50
A.3_Landscaping		Trees			5.00
A.3_Landscaping		Landscaping			4.00
			Landscaping	Subtotal	4.50
A.3_Site Drainage		Flood Points			4.00
A.3 Athletic Fields		Support Buildings			N/A
A.3 Athletic Fields		Bleachers/Stadium Seating			N/A
A.3 Athletic Fields		Athletic/Stadium Lighting			N/A
A.3 Athletic Fields		Athletic/Stadium Paving			N/A
A.3 Athletic Fields		Fencing/Gates			N/A
A.3 Athletic Fields		Field Conditions			N/A
A.3 Athletic Fields		Scoreboards			N/A
			Athletic Fields	Subtotal	
A.3_Site Security		Site Lines			4.00
A.3_Site Security		Gated/Not Gated			2.00
			Site Security	Subtotal	3.00
A.3_Fencing		Site			2.00
A.3_Fencing		Playground(s)			1.00
			Fencing	Subtotal	1.50
SITE A.3 Site Improvements			Total	2.90	

# Condition Assessments

## Coolspring Elementary School Site Summary

### ADA Building Access:

• Accessible parking spots are provided with four in the west parking lot, nearest the main entrance. A singular ADA curb cut is located at the west parking lot near the main entry doors and the lot has clear access to the main entrance. Accessible parking spots appear to meet required minimums for quantity, size, and clearances.

• ADA compliant hardware appears to be present on exterior doors. No door is equipped with automatic door operators.

### Priority Items:

a. An evident path does exist between the west lot and the main entry. However, some of the concrete walk has settled, creating uneven segments. These elevated segment edges should be ground to an appropriate ADA slope.

b. Additionally, mild unevenness in the west parking lot may cause difficulty for those requiring accessible routes from the ADA parking to the main entry. These cracks in the asphalt should be filled, although the parking surface overall is in good condition.

c. All interior vestibule doors should receive new fully ADA compliant door hardware. Consideration should be given to adding automatic door operators at main entrance A and staff entry/class reentry doors B, C, and H.

### Drives, Parking, and Sidewalks:

• The site contains two parking lots, a west lot and an east lot. The west lot contains parking for staff and visitors, and designated bus drop-off/pick-up locations. This lot is accessed from the main road running along the south side of the school. The quantity of spaces in the west lot exceeds the required minimums for the facility. Further west of the primary lot is a one-way drive that takes you from the main road along the north side of the building and connects to the east lot. This drive serves as parent drop-off/pickup. However, this drive lies between the north entryways of the school and the playgrounds creating safety concerns. Additionally, this drive is in rough condition and needs replacement/resurfacing, particularly on the north and east sides of the drive. The building is surrounded

by paved public ways on the north, east, south, and west sides to allow for appropriate emergency service access.

• The east lot contains a small number of spaces assumed to be for building or district staff only. Additionally, the east lot provides delivery and maintenance and is separated from the main roadway by a fence with sliding gate and a short drive.

• Building is surrounded by paved public ways on the north, east, south, and west sides to allow for appropriate emergency service access.

### Priority Items:

a. Alternatives should be explored to eliminate the need for students and staff to cross the parent drop-off/pickup drive in order to access the playgrounds. This issue poses immediate safety concerns.

b. Consideration should be given to separating visitor and bus entrances to aid in safety.

c. Replace/resurface north and east sides of parent drop-off/pickup drive.

d. West parking lot should be seal coated. East parking lot is in poor condition and needs to be replaced. While striping and markings are newer, these repairs will require new striping and markings.

e. While signage does exist indicating the parent drop-off/pickup entry, bus drop-off/pickup entry, and visitor lot, larger signage is recommended to more clearly indicate these areas.

f. Signage should be installed near the gate at the east lot entrance to more clearly indicate delivery drop-off.

### Landscaping/Site Elements:

• Site is surrounded on the perimeter by healthy old growth. Two trees in good condition are located near the main entrance. The landscaping near the entrance is well maintained. The south side of the building is protected from vehicular traffic by partial walls spaced across this side. These walls also serve to protect pedestrian using the south sidewalk.

# Condition Assessments

## Coolspring Elementary School Safety and Security

• East parking lot has a fence and sliding gate. Both are in poor condition and can be easily circumvented by using the drive on the west side.

• Surface and site drainage is directed to a fenced wetland on the north side of the site.

• Overall, the site has clear site lines, permitting above-average passive surveillance. However, there is no site surveillance system employed at this location.

• Lighting at the entrances is utilizes newer LED lights, providing sufficient lighting for safety and security at these locations. Lighting in the parking lots, however, utilizes old lighting technology producing dim lighting while also being inefficient.

**Priority Items:**

a. Install partial walls or bollards along the north side of the building that will protect pedestrians exiting or entering the rear of the school. Additional partial walls or bollards should be considered for the east parking lot/delivery area.

b. Modify parking lighting to LEDs.

c. Remove dilapidated fence and gate at east parking lot. Consideration should be given to replacing fence and gate and adding new fence and gate at west drive entry.

d. Consider the addition of a site surveillance system for increased security and safety.

**Playground:**

• There are two playgrounds located on the site, both on the north side of the property. Both playgrounds share in the same deficiencies that should be addressed in order to provide a safe

and accessible environment. No fencing was observed around either playground.

**Priority Items:**

a. Replace playground equipment. Existing equipment is clearly aged. New equipment should include accessible elements. New equipment should also be designed to maximize the allotted size of the play area(s).

b. Existing surfaces are old mulch, and the play areas are full of weeds. The playground surfaces should be replaced. These surfaces can be replaced with new loose-fill material such as rubber mulch or engineered wood fiber which is cost-effective. Alternatively, the new surface could use unitary materials such as rubber mats or artificial turf. However, unitary materials are more costly, but require less maintenance than the loose-fill material.

c. Consideration should be given to adding fencing and gates around each playground.

SUMMARY OF ALL SAFETY AND SECURITY					
Category		Subscore	Areas	Score	General Comments
B.1 Secure Building Access		2.50	1	2.50	
B.2 Surveillance/Cameras		2.00	1	2.00	

SAFETY AND SECURITY					
B.1 Secure Building Access	Type			Score	Comments/Remarks
B.1_Card/Code/FOBS				5.00	
B.1_Secure_Vestibule	No Admin Connection			1.00	Exists but separated.
B.1_Secure_Technology	AI Voice/Door Release			3.00	AI voice only
B.1_Security Officer Station(s)				1.00	
SAFETY AND SECURITY B.1 Secure Building Access			Total	2.50	
B.2 Surveillance/Cameras				Score	Comments/Remarks
B.2_Video Surveillance				3.00	
B.2_Intrusion Detection				1.00	Office only with Keypad
SAFETY AND SECURITY B.2 Surveillance/Cameras			Total	2.00	

**Secure Visitor Access:**

• The building is accessed by school employees or district personnel by use of a key, keypad, or fob, depending on the door. Visitors enter the main entry by alerting the front office they are present via a voice only Airphone intercom. The front office can then buzz the visitor into the vestibule. The secure vestibule is remotely located from the administration area. Once a visitor is through the vestibule, they have direct access to the main corridors of the school. However, there is a handwritten sign in addition to hanging wayfinding signs that point visitors to and instruct them to check-in at the office.

• No security glazing or security film is understood to be present. Security glazing techniques range greatly, all with the goal of increasing time to seek safety and allow proper response.

**Priority Items:**

a. Secure Entrance Improvement project recommended. The scope of work would be determined based on budget and Owner direction but could vary from a relocation of necessary administrative functions to location adjacent and east of existing main entrance to a new administration addition to the south of the existing main entrance.

b. Security glazing/security film at existing or new main entrance is recommended. Inclusion at all building entrances and windows would increase security.

c. Upgrade to intercom/door release system to include video is recommended.

d. Expansion of the fob/door release system with surveillance monitoring at all necessary entrances is recommended.



# Condition Assessments

## Coolspring Elementary School Roof

SUMMARY OF ALL ROOFS							
Category		Total Sq.Ft.	Subscore	Areas	Score		General Comments
C.1 Building Roof		58,000	2.43	1	2.43		

ROOF							
C.1 Building Roof	Type	Install Year	Square Feet	Subscore	Score	Warranty Exp.	Comments/Remarks
C.1_Membrane	EPDM	2007	36,000	3.00	1.86	2022	
	Manufacturer/Installer	Firestone					
C.1_Shingles	Asphalt	2013	11,000	2.00	0.38		5,300 SF Vert, 5,700 SF Horiz
	Manufacturer/Installer						
C.1_Membrane	EPDM	Unknown	11,000	1.00	0.19	Unknown	Ballasted Membrane?
	Manufacturer/Installer						
<select or leave blank>							
	Manufacturer/Installer						
ROOF C.1 Building Roof		Total Sq.Ft.	58,000	Total Score	2.43		

Roofs:

- The existing roof is comprised of three types of roofing. EPDM roof membrane manufactured by Firestone installed in 2007 comprises approximately 36,000 SF with a warranty that expired in 2022. Ballasted roof membrane system comprises approximately 11,000 SF with an unknown installation date. Asphalt shingles installed in 2013 comprise approximately 11,000 SF.

Priority Items:

- a. Ballasted roof membrane system should be replaced with new membrane. Consideration should also be given to the EPDM roof membrane system to ensure proper maintenance and patching. Expectation is that full replacement should start to be considered in 5-10 years, but the roof could last longer dependent on several factors.
- b. Asphalt shingle areas have not held up well particularly on the almost vertical slopes. Consideration should be given to replacement of these surfaces with an alternative material.

# Condition Assessments

## Coolspring Elementary School Building Envelope

SUMMARY OF ENTIRE BUILDING ENVELOPE					
Category		Subscore	Areas/Regions	Score	General Comments
C.2 Exterior Building Walls		3.50	1	3.50	
C.3 Exterior Doors/Windows		2.98	1	2.98	

BUILDING ENVELOPE					
C.2 Exterior Building Walls	Type	%	Subscore	Score	Comments/Remarks
C.2_Masonry	Brick	60	4.00	2.40	Brick is generally in good condition, some cleaning and minor t
C.2_Finish_System	Exterior Insulation (EIFS)	30	2.50	0.75	In need of clean and paint. Soffit on E is missing or never install
C.2_Metal	Formed Panel	10	3.50	0.35	Mtl Pnl in good condition, faded and in need of refresh.
<select or leave blank>					
BUILDING ENVELOPE C.2 Exterior Building Walls			Total	3.50	
C.3 Exterior Doors/Windows	Type	% or Qty.	Subscore	Score	Comments/Remarks
C.3_Wood	Solid Wood	12	1.00	0.26	Older windows along S need replacement.
C.3_Metal	Steel	8	1.00	0.17	Older windows along S need replacement.
C.3_Aluminum	Window	22	3.50	1.67	Aluminum with thermal windows in good condition. New seala
C.3_Aluminum	Storefront	4	4.00	0.35	Thermal.
	Exterior Windows		Subtotal	2.46	
C.3_Swinging	Aluminum	12	4.00	3.00	With thermal sidelites/glazing.
C.3_Swinging	Hollow Metal	4	2.00	0.50	Frame and door are rusting, replacement needed.
<select or leave blank>					
<select or leave blank>					
		Exterior Doors	Subtotal	3.50	
BUILDING ENVELOPE C.3 Exterior Doors/Windows			Total	2.98	

# Condition Assessments

## Coolspring Elementary School Building Envelope Summary

### Exterior Facades:

- The exterior walls, including within the central courtyard, are constructed of various materials consistently around the building. The majority of the exterior walls are constructed of framing with masonry veneer. The masonry is generally in good condition, although some cleaning and minor tuckpointing is recommended. Across the façade, there are infills of an Exterior Insulation and Finish System (EIFS). All of the EIFS is in need of maintenance or repair, particularly on the southeast façade and the soffit on the east is missing or was never installed. The upper most portion of the exterior walls is made of framing with metal siding. Overall, the metal panel is in good condition, though it is faded and in need of a refresh.
- The exterior of the building has numerous windows. The window materials vary, including, wood, steel, aluminum, and aluminum storefront. The wood and steel windows are older and indicate clear signs of aging, particularly along the south side. The aluminum windows are thermal windows and are in good condition overall. Although, these windows could use new sealant. Finally, the storefront systems are older, but in above-average condition.
- There are also several doors around the exterior of the building. The doors are either hollow metal or aluminum. The hollow metal doors and frames are showing signs of rust and deterioration. The aluminum doors and frames have thermal sidelites/glazing and are in above-average condition.

### Priority Items:

- a. Clean and repair exterior wall systems. Masonry needs cleaning. Minor tuckpointing will be necessary in select areas. EIFS should be cleaned and painted. The system should be patched as needed prior to painting. Metal panel should be cleaned and painted.
- b. Remove old wood and steel windows. Replace with a consistent material. Consideration should be given to operational needs for each window. Remove old sealant and reseal around aluminum windows.
- c. Remove and replace all exterior hollow metal doors and frames with hollow metal. New hardware will be required.

### Roofs:

- The existing roof is comprised of three types of roofing. EPDM roof membrane manufactured by Firestone installed in 2007 comprises approximately 36,000 SF with a warranty that expired in 2022. Ballasted roof membrane system comprises approximately 11,000 SF with an unknown installation date. Asphalt shingles installed in 2013 comprise approximately 11,000 SF.

### Priority Items:

- a. Ballasted roof membrane system should be replaced with new membrane. Consideration should also be given to the EPDM roof membrane system to ensure proper maintenance and patching. Expectation is that full replacement should start to be considered in 5-10 years, but the roof could last longer dependent on several factors.
- b. Asphalt shingle areas have not held up well particularly on the almost vertical slopes. Consideration should be given to replacement of these surfaces with an alternative material.

# Condition Assessments

## Coolspring Elementary School Exterior Floorplan



Condition Assessments

Coolspring Elementary School Corridors/Commons

SUMMARY OF ALL CORRIDORS/COMMONS					
Category		Subscore	Areas	Score	General Comments
D.1 ADA/Accessibility		2.58	1	2.58	
D.2 Floor Finish		4.00	1	4.00	
D.3 Wall Finish		3.13	1	3.13	
D.4 Ceiling Finish		4.00	1	4.00	
D.5 Doors/Borrowed Lites		2.00	1	2.00	
D.6 Fixed Equipment		3.25	1	3.25	

CORRIDOR/COMMONS					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware/Clearances		FALSE		1.75	Knob hardware should be replaced with lever hardware.
D.1_Routing/Ramps		TRUE		4.00	One-story building.
D.1_Wayfinding Signage		FALSE		2.00	Directional signage is minimal to none. Directional signage would be helpful.
D.1_Elevator/Lift		FALSE			N/A.
CORRIDOR/COMMONS D.1 ADA/Accessibility			Total	2.58	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Terrazzo		100	4.00	4.00	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
CORRIDOR/COMMONS D.2 Floor Finish			Total	4.00	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Wallcovering	50	3.50	1.75	Good condition throughout. Minor issues at select locations.
D.3_Tile	Mosaic	50	2.75	1.38	Many stained areas, damage, and issues. Due for a repair and replacement.
<select or leave blank>					
<select or leave blank>					
CORRIDOR/COMMONS D.3 Wall Finish			Total	3.13	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	90	4.00	3.60	Good condition. Appear to be newer.
D.4_Gypsum	Painted	10	4.00	0.40	Primarily bulkheads.
<select or leave blank>					
<select or leave blank>					
CORRIDOR/COMMONS D.4 Ceiling Finish			Total	4.00	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Metal	Hollow	2	2.00	2.00	Doors to courtyard in need of replacement.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
CORRIDOR/COMMONS D.5 Doors/Borrowed Lites			Total	2.00	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Tackboard		100	3.00	3.00	Additional boards needed. Tackstrips are generally in decent condition.
<select or leave blank>					
<select or leave blank>					
			Visual Display Boards	Subtotal	3.00
<select or leave blank>					N/A.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
			Casework/Countertops	Subtotal	
D.6_Lockers	Metal			3.50	Recessed metal lockers in good condition overall.
CORRIDOR/COMMONS D.6 Fixed Equipment			Total	3.25	

Condition Assessments

Coolspring Elementary School Classrooms

SUMMARY OF ALL CLASSROOMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		1.44	1	1.44	
D.2 Floor Finish		3.60	1	3.60	
D.3 Wall Finish		3.63	1	3.63	
D.4 Ceiling Finish		4.00	1	4.00	
D.5 Doors/Borrowed Lites		2.75	1	2.75	
D.6 Fixed Equipment		3.75	1	3.75	

CLASSROOM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		FALSE		1.00	Knob hardware should be replaced with lever hardware.
D.1_Door Clearances		FALSE		1.75	S Wing is not compliant, N Wing is compliant.
D.1_Room Signage		FALSE		1.00	Not compliant where present.
D.1_Casework Clearances/Hts.		FALSE		2.00	
CLASSROOM D.1 ADA/Accessibility			Total	1.44	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Carpet	Broadloom	80	3.75	3.00	Appears most of the carpet was recently replaced. A few exceptions.
D.2_Vinyl	VCT	15	2.75	0.41	Aged but generally in decent to good condition. A few exceptions.
D.2_Terrazzo		5	3.75	0.19	Good condition, some staining.
<select or leave blank>					
CLASSROOM D.2 Floor Finish			Total	3.60	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Painted	25	4.00	1.00	Renovation locations.
D.3_Gypsum	Wallcovering	75	3.50	2.63	Good condition throughout. Minor issues at select locations.
<select or leave blank>					
<select or leave blank>					
CLASSROOM D.3 Wall Finish			Total	3.63	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	4.00	4.00	Appear to be mostly new ceilings.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
CLASSROOM D.4 Ceiling Finish			Total	4.00	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_PLAM		30	2.75	2.75	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
CLASSROOM D.5 Doors/Borrowed Lites			Total	2.75	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Chalkboard		35	4.00	1.40	
D.6_Markerboard		35	4.00	1.40	
D.6_Tackboard		30	4.00	1.20	
			Visual Display Boards	Subtotal	4.00
D.6_Casework	PLAM	35	3.75	1.31	Most casework is aged and has wear. Most is fully functional, just needs cleaning.
D.6_Casework	Metal	35	3.25	1.14	Most casework is aged and has wear. Most is fully functional, just needs cleaning.
D.6_Countertops	PLAM	30	3.50	1.05	Same as casework.
<select or leave blank>					
			Casework/Countertops	Subtotal	3.50
D.6_Lockers					N/A.
CLASSROOM D.6 Fixed Equipment			Total	3.75	



# Condition Assessments

Coolspring Elementary School Art Room

SUMMARY OF ALL ART ROOMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		2.00	1	2.00	
D.2 Floor Finish		5.00	1	5.00	
D.3 Wall Finish		4.00	1	4.00	
D.4 Ceiling Finish		4.50	1	4.50	
D.5 Doors/Borrowed Lites		3.50	1	3.50	
D.6 Fixed Equipment		4.00	1	4.00	

ART ROOM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		FALSE		1.00	Knob hardware should be replaced with lever hardware.
D.1_Door Clearances		TRUE		4.00	
D.1_Room Signage		FALSE		1.00	Not compliant where present.
D.1_Casework Clearances/Hts.		FALSE		2.00	Sink locations are not ADA compliant.
ART ROOM D.1 ADA/Accessibility			Total	2.00	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Terrazzo		100	5.00	5.00	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ART ROOM D.2 Floor Finish			Total	5.00	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Wallcovering	100	4.00	4.00	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ART ROOM D.3 Wall Finish			Total	4.00	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	4.50	4.50	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ART ROOM D.4 Ceiling Finish			Total	4.50	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_PLAM		2	3.50	3.50	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ART ROOM D.5 Doors/Borrowed Lites			Total	3.50	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Chalkboard		66	4.00	2.64	
D.6_Tackboard		34	4.00	1.36	
<select or leave blank>					
			Visual Display Boards	Subtotal	4.00
D.6_Casework	Wood		2.00		Non-professionally painted old wood casework.
D.6_Countertops	PLAM		2.00		
<select or leave blank>					
<select or leave blank>					
			Casework/Countertops	Subtotal	
D.6_Lockers					N/A.
D.6_Sinks/Plaster Traps				3.50	
D.6_Work Tables				5.00	
D.6_Kiln and Exhaust				4.00	
D.6_General Storage				3.50	Minimal casework, separate storage room.
ART ROOM D.6 Fixed Equipment			Total	4.00	

# Condition Assessments

Coolspring Elementary School Adminstration

SUMMARY OF ALL ADMINISTRATION					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		1.63	1	1.63	
D.2 Floor Finish		3.28	1	3.28	
D.3 Wall Finish		3.50	1	3.50	
D.4 Ceiling Finish		4.00	1	4.00	
D.5 Doors/Borrowed Lites		2.75	1	2.75	
D.6 Fixed Equipment		3.29	1	3.29	

ADMINISTRATION					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		FALSE		1.00	Knob hardware should be replaced with lever hardware.
D.1_Door Clearances		FALSE		2.50	Some doors have clearances that are not compliant.
D.1_Room Signage		FALSE		1.00	Not compliant where present.
D.1_Casework Clearances/Hts.		FALSE		2.00	Sink locations are not ADA compliant.
ADMINISTRATION D.1 ADA/Accessibility			Total	1.63	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Carpet	Broadloom	70	3.50	2.45	
D.2_Vinyl	VCT	30	2.75	0.83	
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.2 Floor Finish			Total	3.28	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Wallcovering	100	3.50	3.50	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.3 Wall Finish			Total	3.50	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	4.00	4.00	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.4 Ceiling Finish			Total	4.00	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_PLAM		15	2.75	2.75	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.5 Doors/Borrowed Lites			Total	2.75	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Chalkboard	Lined	25	4.00	1.00	
D.6_Tackboard		75	3.50	2.63	
			Visual Display Boards	Subtotal	3.63
D.6_Casework	PLAM	75	3.25	2.44	
D.6_Countertops	PLAM	25	3.25	0.81	
<select or leave blank>					
<select or leave blank>					
			Casework/Countertops	Subtotal	3.25
D.6_Appliances				3.00	
ADMINISTRATION D.6 Fixed Equipment			Total	3.29	

Condition Assessments

Coolspring Elementary School Music Room

SUMMARY OF ALL MUSIC ROOMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		2.00	1	2.00	
D.2 Floor Finish		4.00	1	4.00	
D.3 Wall Finish		4.00	1	4.00	
D.4 Ceiling Finish		4.50	1	4.50	
D.5 Doors/Borrowed Lites		3.50	1	3.50	
D.6 Fixed Equipment		2.50	1	2.50	

MUSIC ROOM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		FALSE		1.00	Knob hardware should be replaced with lever hardware.
D.1_Door Clearances		TRUE		4.00	
D.1_Room Signage		FALSE		1.00	Not compliant where present.
D.1_Casework Clearances/Hts.		FALSE		N/A.	
MUSIC ROOM D.1 ADA/Accessibility			Total	2.00	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Carpet	Tile	100	4.00	4.00	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
MUSIC ROOM D.2 Floor Finish			Total	4.00	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Painted	100	4.00	4.00	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
MUSIC ROOM D.3 Wall Finish			Total	4.00	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	4.50	4.50	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
MUSIC ROOM D.4 Ceiling Finish			Total	4.50	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_PLAM		1	3.50	3.50	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
MUSIC ROOM D.5 Doors/Borrowed Lites			Total	3.50	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Chalkboard	Lined	20	4.00	0.80	
D.6_Tackboard		60	4.00	2.40	
D.6_Markerboard	Unlined	20	4.00	0.80	
	Visual Display Boards		Subtotal	4.00	
D.6_Casework					N/A.
D.6_Countertops					N/A.
	Casework/Countertops		Subtotal		
D.6_Lockers					N/A.
D.6_Tiers/Bleachers					N/A.
D.6_General Storage				1.00	Open shelfe in room only.
MUSIC ROOM D.6 Fixed Equipment			Total	2.50	

Condition Assessments

Coolspring Elementary School Gymnasium

SUMMARY OF ALL GYMNASIUMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		1.50	1	1.50	
D.2 Floor Finish		3.25	1	3.25	
D.3 Wall Finish		3.75	1	3.75	
D.4 Ceiling Finish		2.75	1	2.75	
D.5 Doors/Borrowed Lites		2.75	1	2.75	
D.6 Fixed Equipment		3.75	1	3.75	

GYMNASIUM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		FALSE		1.00	Knob hardware should be replaced with lever hardware.
D.1_Door Clearances		FALSE		3.00	Stage and storage doors not compliant.
D.1_Room Signage		FALSE		1.00	Not compliant where present.
D.1_General ADA (routing/seats/etc)		FALSE		1.00	Stage access not compliant. Bleachers not compliant.
GYMNASIUM D.1 ADA/Accessibility			Total	1.50	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Athletic	Hardwood	100	3.25	3.25	Good condition, a few areas with issues.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
GYMNASIUM D.2 Floor Finish			Total	3.25	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Masonry	CMU	100	3.75	3.75	Good condition, minor repaint.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
GYMNASIUM D.3 Wall Finish			Total	3.75	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	2.75	2.75	Aged grid with a few issues. Tiles have some staining and misal
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
GYMNASIUM D.4 Ceiling Finish			Total	2.75	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_PLAM		12	2.75	2.75	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
GYMNASIUM D.5 Doors/Borrowed Lites			Total	2.75	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Tackboard		100	4.00		
<select or leave blank>					
	Visual Display Boards		Subtotal		
D.6_Equipment	Basketball Main			3.75	
D.6_Equipment	Basketball Cross Court				N/A.
D.6_Equipment	Divider Curtain/Partition			4.00	Stage curtain and folded partition wall in good condition.
D.6_Equipment	Bleachers			3.25	Decent condition, not compliant.
D.6_Equipment	General Storage			4.00	Renovate locker rooms for additional storage/usable space.
GYMNASIUM D.6 Fixed Equipment			Total	3.75	

Condition Assessments

Coolspring Elementary School Cafeteria/Kitchen

SUMMARY OF ENTIRE CAFETERIA/KITCHEN					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		1.67	1	1.67	
D.2 Floor Finish		5.00	1	5.00	
D.3 Wall Finish		4.00	1	4.00	
D.4 Ceiling Finish		4.50	1	4.50	
D.5 Doors/Borrowed Lites		3.50	1	3.50	
D.6 Fixed Equipment		3.61	1	3.61	

CAFETERIA/KITCHEN					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		FALSE		1.00	Knob hardware should be replaced with lever hardware.
D.1_Door Clearances		FALSE		3.00	Secondary exit door not compliant.
D.1_Room Signage		FALSE		1.00	Not compliant where present.
D.1_Casework Clearances/Hts.		FALSE			N/A.
CAFETERIA/KITCHEN D.1 ADA/Accessibility			Total	1.67	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Terrazzo		100	5.00	5.00	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
CAFETERIA/KITCHEN D.2 Floor Finish			Total	5.00	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Painted	100	4.00	4.00	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
CAFETERIA/KITCHEN D.3 Wall Finish			Total	4.00	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	4.50	4.50	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
CAFETERIA/KITCHEN D.4 Ceiling Finish			Total	4.50	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_PLAM		6	3.50	3.50	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
CAFETERIA/KITCHEN D.5 Doors/Borrowed Lites			Total	3.50	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Tackboard		50	4.00	2.00	
D.6_Chalkboard	Unlined	50	4.00	2.00	
<select or leave blank>					
		Visual Display Boards	Subtotal	4.00	
<select or leave blank>					N/A.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
		Casework/Countertops	Subtotal		
D.6_Freezers/Coolers				4.00	
D.6_Cooking Battery				4.00	
D.6_Serving				4.00	
D.6_Dishwashing				4.00	
D.6_Overall Function				3.25	Renovation was done to enlarge music room. Kitchen is small b...
D.6_General Storage				2.00	No separate kitchen storage.
CAFETERIA/KITCHEN D.6 Fixed Equipment			Total	3.61	

Condition Assessments

Coolspring Elementary School Administration

SUMMARY OF ALL ADMINISTRATION					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		1.63	1	1.63	
D.2 Floor Finish		3.28	1	3.28	
D.3 Wall Finish		3.50	1	3.50	
D.4 Ceiling Finish		4.00	1	4.00	
D.5 Doors/Borrowed Lites		2.75	1	2.75	
D.6 Fixed Equipment		3.29	1	3.29	

ADMINISTRATION					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		FALSE		1.00	Knob hardware should be replaced with lever hardware.
D.1_Door Clearances		FALSE		2.50	Some doors have clearances that are not compliant.
D.1_Room Signage		FALSE		1.00	Not compliant where present.
D.1_Casework Clearances/Hts.		FALSE		2.00	Sink locations are not ADA compliant.
ADMINISTRATION D.1 ADA/Accessibility			Total	1.63	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Carpet	Broadloom	70	3.50	2.45	
D.2_Vinyl	VCT	30	2.75	0.83	
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.2 Floor Finish			Total	3.28	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Wallcovering	100	3.50	3.50	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.3 Wall Finish			Total	3.50	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	4.00	4.00	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.4 Ceiling Finish			Total	4.00	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_PLAM		15	2.75	2.75	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.5 Doors/Borrowed Lites			Total	2.75	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Chalkboard	Lined	25	4.00	1.00	
D.6_Tackboard		75	3.50	2.63	
		Visual Display Boards	Subtotal	3.63	
D.6_Casework	PLAM	75	3.25	2.44	
D.6_Countertops	PLAM	25	3.25	0.81	
<select or leave blank>					
<select or leave blank>					
		Casework/Countertops	Subtotal	3.25	
D.6_Appliances				3.00	
ADMINISTRATION D.6 Fixed Equipment			Total	3.29	



# Condition Assessments

## Coolspring Elementary School Restrooms

SUMMARY OF ALL RESTROOMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		1.00	1	1.00	
D.2 Floor Finish		3.59	1	3.59	
D.3 Wall Finish		2.63	1	2.63	
D.4 Ceiling Finish		2.75	1	2.75	
D.5 Doors/Borrowed Lites		2.75	1	2.75	
D.6 Fixed Equipment		1.64	1	1.64	

RESTROOM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware/Clearances		FALSE		1.00	
D.1_Room Signage		FALSE		1.00	
D.1_Stall Widths/Clearances		FALSE		1.00	
D.1_General ADA Clearances		FALSE		1.00	
RESTROOM D.1 ADA/Accessibility			Total	1.00	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Terrazzo		85	3.75	3.19	Could use a minor refinish, over good condition.
D.2_Tile	Mosaic	10	3.00	0.30	Stained but good overall condition.
D.2_Vinyl	VCT	5	2.00	0.10	Single-hole in poor condition.
<select or leave blank>					
RESTROOM D.2 Floor Finish			Total	3.59	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Masonry	SGT	5	3.75	0.19	Single-hole in good condition, due for repaint.
D.3_Masonry	CMU	5	3.75	0.19	Single-hole in overall good condition.
D.3_Tile	Square	90	2.50	2.25	Overall good condition, minor staining issues. Significant crackl
<select or leave blank>					
RESTROOM D.3 Wall Finish			Total	2.63	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	2.75	2.75	Some in good condition, minor grid aging and tile issues. Some
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
RESTROOM D.4 Ceiling Finish			Total	2.75	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_PLAM		15	2.75	2.75	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
RESTROOM D.5 Doors/Borrowed Lites			Total	2.75	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
<select or leave blank>					N/A.
<select or leave blank>					
		Visual Display Boards	Subtotal		
D.6_Partitions	Metal/SS	75	1.00	0.75	Decent to poor condition. Repairs have been well done and pre
D.6_Toilet_Accessories	General	10	3.75	0.38	
D.6_Toilet_Accessories	Benches	5	1.00	0.05	
D.6_Toilet_Accessories	Showers	10	1.00	0.10	
		Partitions/Accessories	Subtotal	1.28	
D.6_Countertops					N/A.
D.6_Lockers				2.00	Non-existent, appear to have been removed.
RESTROOM D.6 Fixed Equipment			Total	1.64	

# Condition Assessments

## Coolspring Elementary School Building Interiors Environment

### Stairs:

- Existing building is single-story with no building stairs present.

- Existing stairs are limited to stage stairs or risers with media center and classrooms. See other sections for any needs noted.

### Priority Items:

- a. None currently.

### Corridors:

- Corridors are approximately 10'-0" wide throughout the building with recessed doorways exiting rooms. Floor, wall, and ceiling finishes are mostly original to the construction of the building. While dated, these have been well maintained, however, the building is due for renovation throughout. Along the corridor walls are recessed metal lockers which are in good shape. However, many banks of lockers have rust and deteriorating finish near the base of the lockers. Some locations within the corridors have mounted bag/coat hooks.

- Wayfinding signage throughout the building is minimal to none. Room signage is generally present but not ADA compliant.

- Interior doors throughout the building are typically stained wood door in decent condition relative to age and use. Some doors have chipped veneer. Some indoor metal glazing stops need repainting. Door hardware throughout is not ADA compliant.

- Refer to Priority Item "a" under Code section for existing conditions. Existing corridors/classroom walls will need to be confirmed for appropriate fire resistive construction and continuity, due to lack of sprinkler system throughout building, if significant renovation efforts are undertaken.

### Priority Items:

- a. Existing corridor terrazzo is in above-average condition. May consider refinishing.
- b. Existing corridor wall finishes are typically either small tile or wallcovering. The tile is stained or damaged in many areas, among other issues. Repair and paint-over is recommended.

- c. Lockers appear fully functional with some minor wear. Lockers should be cleaned. Full replacement should be considered, though not required.

- d. Existing corridor ceiling finishes are typically either painted gypsum bulkheads (generally near door recesses) or suspended acoustic ceiling system. Painted gypsum areas are in good condition with only minor touch-ups needed. Suspended acoustic ceiling system appears to be newer and in above-average condition.

- e. Signage Upgrades project recommended to include new ADA compliant directional signage and room signage throughout the building.

- f. Interior doors to be salvaged and minimally refinished/repainted as needed. Existing non-compliant door hardware should be replaced with new compliant door hardware throughout the building.

### Classrooms:

- Classrooms are approximately 825 – 1,365 SF throughout the building with visual display boards on interior classroom divider wall and along corridor wall, open-shelf casework along exterior wall, and closed storage cabinets along opposite interior classroom divider wall. Casework varies between plastic laminate finish and metal. Countertops are plastic laminate. Both casework and countertops are in good condition, showing age and wear. However, most is fully functional with some cosmetic issues only. Flooring finishes vary by classroom and include terrazzo, VCT, carpet tile, and broadloom carpet, or a combination of those. Carpet tile is limited to a few rooms but appears to be newer and is in above-average condition. Terrazzo is in good condition, overall, but some staining is present. VCT is clearly aged, but generally in below-average to good condition with some exceptions in select areas. Broadloom carpet appears to have been recently replaced in most areas, although there are a few older areas that show signs of wear and tear. Wall finishes are primarily wallcovering with some painted gypsum board and painted bulkhead ceilings. Painted walls and ceilings are in good condition. Wallcovering is in good condition with minor issues in select locations. All classrooms contain acoustic tile ceilings. Most of these ceilings appear to be new and are in above-average condition. Refer to Restrooms section for additional notes.

- Refer to Priority Item “a” under Code section for existing conditions. Existing corridors/classroom walls will need to be confirmed for appropriate fire resistive construction and continuity, due to lack of sprinkler system throughout building, if significant renovation efforts are undertaken.

**Priority Items:**

a. Existing classroom flooring including carpeting and VCT flooring could last a few years, if necessary. However, due to wear and age replacement throughout is recommended.

b. Existing classroom wall finishes are due for replacement due to wear and age throughout the building.

c. Existing classroom ceiling finishes can remain, although some tiles should be replaced. Existing painted locations should be repainted.

d. Existing classroom casework is mostly still fully functional, however, due to wear and age replacement throughout the building is recommended.

e. Existing classroom visual display boards need consideration for appropriate functionality. Chalkboards are generally in good condition and salvageable if appropriate for educational needs. Markerboards are less common throughout with non-commercial grade markerboards added throughout the building; consideration for replacement of chalkboards with markerboards should be given. Most tackboards throughout the building are in decent to good condition with replacement needed at tackboards that have been poorly painted. See Technology section for existing integration of educational technology.

**Restrooms:**

- Single-hole and group restrooms throughout the building are not ADA compliant and are in good to below-average physical condition generally with flooring refinishing/replacement needs, ceiling tile and grid replacement needs, and restroom accessory replacement needs.

Priority Items:

a. All restrooms need renovation with ADA upgrades throughout. Priority would be given to group restrooms located in three pairs/groupings throughout the building, followed by classroom/ancillary connected restrooms located at two locations typical single-hole restrooms throughout the building, followed by gymnasium connected restrooms and

administrative restrooms comprising another five locations of typical single-hole restrooms throughout the building.

b. Alternatively, restrooms listed above could receive finish upgrades only but would remain not ADA compliant.

**Ancillary Spaces:**

- Existing art room is approximately 985 SF with storage room and kiln. The kiln is located in the storage room and has a dedicated exhaust system. The storage room has freestanding metal shelving with some shelves sagging and an older suspended acoustic tile ceiling with staining. A laminate counter with laminate casework is located at the rear of the classroom and includes one sink. Metal storage casework is also located at the rear of the room. There is one dedicated teaching wall adjacent to the classroom door. Floor, wall, and ceiling finishes are dated, but in good condition. Finishes include VCT flooring in the storage room, wallcovering, painted gypsum wall board, and a newer suspended acoustic ceiling system. One wall of the art room is a movable partition wall shared with the cafeteria. Wall appears to be original to the building and has staining and signs of wear.

- Existing gymnasium is approximately 4,580 SF with bleachers, locker rooms/restrooms, a school newsroom, and storage spaces occupying another approximately 1,000 SF, and a stage of approximately 530 SF. Although, the lockers appear to have been removed from the locker room. Floor and wall finishes are in good condition overall. The suspended acoustic tile ceiling system has numerous areas of staining.

- Existing cafeteria is approximately 1,530 SF with associated kitchen functions occupying another approximately 640 SF. The kitchen is smaller than originally constructed due to a previous renovation that enlarged the music room, which is accessed through the cafeteria. Kitchen equipment appears to be in good condition and functioning appropriately. Kitchen storage is located in the kitchen on open shelving. Storage space is limited. The combination of spaces is small relative to the building size and comparative district elementary schools. Floor, wall, and ceiling finishes are in above-average condition, although some staining of the terrazzo is present. The cafeteria has a designated serving line.

- Existing media center and associated storage and workroom are approximately 2,150 SF. The space is in good condition with minor maintenance needs relative to floor, wall, and ceiling finishes and equipment condition.

- Existing administration area is approximately 1,700 SF. Area includes main office, nurse’s room, principal office, faculty workroom and lounge. Floor, wall, and ceiling finishes are well maintained and in good condition though some finishes are newer than others. The nurse’s room is small in size at approximately 230 SF. Casework and VCT flooring are in particularly poor condition. Refer to Restrooms section for additional notes. The administration area is functionally lacking in current configuration and is also separated from the building’s main entrance, refer to Secure Visitor Access section for additional notes.

- Refer to Priority Item “a” under Code section for existing conditions. Existing corridors/classroom walls will need to be confirmed for appropriate fire resistive construction and continuity, due to lack of sprinkler system throughout building, if significant renovation efforts are undertaken.

**Priority Items:**

a. Art room renovation needs will be heavily dependent on Owner educational needs with a focus on casework needs, storage needs, and whether the kiln is still needed. If additional storage and/or kiln is needed, relocation of the art room function is likely. If deemed not necessary, existing art room renovation would include flooring, wall, and ceiling finishes along with sink dispersed heavy casework inclusion within the existing square footage. If the folding partition wall is no longer needed, it is recommended to remove and add a permanent wall.

b. Gymnasium and associated locker room, storage, and stage renovation needs will be heavily dependent on Owner needs. The gymnasium is due for a floor refinishing, wall painting, suspended acoustical ceiling system replacement, wall padding replacement, and bleacher refinish/replacement. The locker rooms and associated restrooms are not ADA compliant and would qualify for a full renovation and ADA upgrade if utilized within the Owner’s program. Similarly, the stage would qualify for a full renovation and ADA upgrade dependent on Owner needs.

c. Cafeteria and kitchen need an expansion and full renovation based on functional need.

d. Media center renovation needs will be heavily dependent on Owner educational needs. The media center is functionally traditional but could continue to service the building with minimal upgrades. The media center could be fully renovated to functionally serve the building with additional curriculum and educational opportunities.

e. Administration area needs a renovation to allow more functional use and service to the building. Relocation in whole or in part to be adjacent to the building’s main entrance is needed, refer to Secure Visitor Access section for additional notes. The nurse’s room, in particular, needs a full renovation.

Condition Assessments

Coolspring Elementary School Mechanical System

SUMMARY OF ENTIRE MECHANICAL SYSTEM					
Category		Subscore	Areas	Score	General Comments
E.2 Building HVAC System		3.52	1	3.52	
E.3 Building Temperature Controls		3.50	1	3.50	

MECHANICAL SYSTEM					
E.2 Building HVAC System	Type			Score	Comments/Remarks
E.2_Central Heating System	Boilers			2.00	Old boiler. Rooms is constantly flooded. Still using Pneumatics...
E.2_Central Heating System	Heating Pumps			3.00	
E.2_Central Heating System	Air Handling Units			5.00	
	Central Heating System		Subtotal	3.33	
E.2_Cooling System	Chiller			5.00	
E.2_Cooling System	Cooling Tower			4.00	
E.2_Cooling System	Chilled Water Pumps			3.00	
E.2_Cooling System	Condensing Units			3.00	Unit serving kitchen.
	Cooling System		Subtotal	3.75	
E.2_Equipment	Cabinet/Supplemental Heaters			2.50	
E.2_Equipment	Fan Coil Units				
E.2_Equipment	Fans				
E.2_Equipment	PTAC Units				
E.2_Equipment	Unit Ventilators			5.00	
E.2_Equipment	Variable Air Volume Terminals				
	Equipment		Subtotal	3.75	
E.2_General	Ductwork			3.50	
E.2_General	Louvers/Exhaust Vents				
E.2_General	Piping			3.00	
	General		Subtotal	3.25	
MECHANICAL SYSTEM E.2 Building HVAC System			Total	3.52	
E.3 Building Temperature Controls	Type			Score	Comments/Remarks
E.3_Temperature Controls				3.50	Controls replaced recently besides pneumatic devices in supple...
MECHANICAL SYSTEM E.3 Building Temperature Controls			Total	3.50	

Condition Assessments

Coolspring Elementary School Plumbing System

SUMMARY OF ENTIRE PLUMBING SYSTEM					
Category		Subscore	Areas	Score	General Comments
E.1 Building Plumbing System		2.75	1	2.75	

PLUMBING SYSTEM					
E.1 Building Plumbing System	Type			Score	Comments/Remarks
E.1_Plumbing Fixtures	Water Closets			3.00	Few valves turning blue.
E.1_Plumbing Fixtures	Lavatories			3.00	
E.1_Plumbing Fixtures	Drinking Fountains			2.00	1 new other are older.
E.1_Plumbing Fixtures	Showers			2.00	Storage area now.
E.1_Plumbing Fixtures	Dishwashing				
	Plumbing Fixtures		Subtotal	2.50	
E.1_Central Equipment	Hot Water Heating			4.00	
E.1_Central Equipment	Water Softener			3.00	
E.1_Central Equipment	Pumps				
	Central Equipment		Subtotal	3.50	
E.1_Water_Service	Well			4.00	Not seen but told its been replaced around 5 years ago.
E.1_Water Service	Domestic Piping			3.00	
	Water Service		Subtotal	3.50	
E.1_Sewage_System	City			3.00	City sanitation. Pit outside the building that goes 15 ft into grou...
E.1_Sewage System	Piping			3.00	
	Sewage System		Subtotal	3.00	
E.1_Gas Service				3.00	
E.1_Fire Suppression				1.00	None.
PLUMBING SYSTEM E.1 Building Plumbing System			Total	2.75	

Condition Assessments

Coolspring Elementary School Electrical System

SUMMARY OF ENTIRE ELECTRICAL SYSTEM					
Category		Subscore	Areas	Score	General Comments
E.4 Building Electrical System		2.92	1	2.92	
E.5 Building Lighting		3.67	1	3.67	

ELECTRICAL SYSTEM					
E.4 Building Electrical System	Type			Score	Comments/Remarks
E.4_Incoming Service	Size			4.00	1600A 208/120V, 1200A MAIN.
E.4_Incoming Service	Condition			3.00	GEAV Line
E.4_Incoming Service	Generator			1.00	None.
		Incoming Service	Subtotal	2.67	
E.4_Distribution				3.00	Older Panels.
E.4_Smoke Detection				2.00	Limited, Missing Admin Offices & classrooms, H/s in Classes - M
E.4_Fire Alarm System	Annunciator Panel			4.00	
E.4_Fire Alarm System	Fire Alarm Devices			4.00	Simplex 4010Es (naver ) strobes missing in offices.
		Fire Alarm System	Subtotal	4.00	
ELECTRICAL SYSTEM E.4 Building Electrical System			Total	2.92	
E.5 Building Lighting	Type			Score	Comments/Remarks
E.5_Interior Lighting	Administration				
E.5_Interior Lighting	Corridors/Common				
E.5_Interior Lighting	Classrooms/Science			5.00	Flat panel LED, Dimming, Occ.
E.5_Interior Lighting	Art/Music/Auditorium				
E.5_Interior Lighting	Gymnasium/Natatorium			4.00	6 Lamp FL.
E.5_Interior Lighting	Cafeteria/Kitchen			5.00	2x4 Flat panel.
E.5_Interior Lighting	Restrooms				
		Interior Lighting	Subtotal	4.67	
E.5_Exterior Lighting	Building Entries			4.00	
E.5_Exterior Lighting	Parking Lots/Drives			3.00	
E.5_Exterior Lighting	Athletic/Play Fields			1.00	None.
		Exterior Lighting	Subtotal	2.67	
ELECTRICAL SYSTEM E.4 Building Electrical System E.5 Building Lighti			Total	3.67	

Condition Assessments

Coolspring Elementary School Technology

SUMMARY OF ALL TECHNOLOGY					
Category		Subscore	Areas	Score	General Comments
E.6 Building Technology		4.06	1	4.06	

TECHNOLOGY					
E.6 Building Technology	Type			Score	Comments/Remarks
E.6_Data Distribution	Incoming			5.00	SM Fiber from Admin.
E.6_Data Distribution	Cable Type			4.00	CAT 5E.
E.6_Data Distribution	Fiber				
E.6_Data Distribution	Wireless			5.00	Ruckus 1 every 2.
		Data Distribution	Subtotal	4.67	
E.6_Classroom Technology	Teacher				
E.6_Classroom Technology	Monitors			4.00	std monitor 3rd & up.
E.6_Classroom Technology	Smartboards			5.00	Prometheam in KG.
E.6_Classroom Technology	Projection				
		Data Distribution	Subtotal	4.50	
E.6_Communications	Intercom/PA			3.00	Call-in switch & paging spkr. Older head end.
E.6_Sound Systems	Gymnasium/Natatorium			3.00	EV Eon speakers, old in-wall rack.
E.6_Sound Systems	S.R.				Phonak.
		Sound Systems	Subtotal	3.00	
TECHNOLOGY E.6 Building Technology			Total	4.06	



# Condition Assessments

## Coolspring Elementary School Building Systems Summary

### Mechanical:

#### Heating plant

- Building comfort heating is provided by two gas-fired boilers which appear and were reported to be in relatively poor operating condition. There are still operating on pneumatic controls.
- Heating water circulation is provided by 2 end-suction pumps mounted in parallel.
- The boiler room is in the basement. This room has a severe foundation issue which results in the basement flooding constantly. The area has a high iron concentration so when the room floods it creates a reddish-brown slime which covers all equipment in the room. Further studies will need to be had to see if this issue can be mitigated.
- The boilers look to be mounted on +12” housekeeping pads. If the flooding raises higher than the housekeeping pads this could cause issues with the existing equipment

#### Cooling plant:

- Building comfort cooling is provided by an outdoor chiller located on the northeast side of the building. Chiller was manufactured and installed in 2023. Prior to this renovation the building did not run have a chiller or any chilled water piping. All existing classroom units were run off DX. 2 pumps were reported as installed during the 2023 HVAC renovation that added chilled water to the building.

#### Air-Handler Plants and Systems:

- There are two air-handler, inside the building envelope that were recently replaced in a 2023 HVAC renovation project.

#### Classroom HVAC and associated Systems:

- Each classroom in the building is equipped with a vertical unit ventilator unit that provides conditioned air to the space.
  - o All the VUVs were recently replaced (2023) and are in great condition.

- The main office is served by a blower coil unit that was replaced in 2023.

#### Building Temperature Control System:

- The building’s temperature control system is managed by Johnson Control.

#### Priority Items:

- a. The two existing boilers will be removed and replaced. The two existing end-suction heating water pumps will be removed and replaced.
- b. All existing cabinet unit heaters, exhaust fans, etc. that are original to the 1988 renovation shall be removed and replaced.
- a. For budget consideration, include 14 cabinet unit heaters.
- b. For budget consideration, include 13 exhaust fans and 30 ceiling mounted exhaust-air grilles.

### Plumbing:

- The domestic system is served by a gas fired water heater manufactured in 2017. The water heater looked to be in fair condition. There is a water softener.

- Both the water heater and water softener are located in the boiler room in the basement. This room has a sever foundation issue which results in the basement flooding constantly. The area has a high iron concentration so when the room floods it creates a reddish-brown slime which covers all equipment in the room. Further studies will need to be had to see if this issue can be mitigated.

- The building is on city sanitation and the domestic service is feed by a well. There is a pit outside the building that goes 15 ft into ground with two pumps. The pumps were report to have been replaced in the last 5 years and that they are in good condition.

- There is an outside storage room on the north side that holds two existing iron filters and an abandoned pneumatic tank. Well system control panel located in this room.

- The existing domestic, sanitary and vent piping throughout **the**

building look to be in fair condition and were reported to be in relatively good to fair operating condition.

- Several restrooms throughout the building are not ADA compliant and are in fair to poor physical condition.
- There are existing showers that have been abandoned near the gymnasium.

#### Priority Items:

- a. The water heater should be replaced.
- b. All drinking fountains in area being renovated shall be replaced and upgraded to current ADA compliant standards. The existing domestic water, sanity and vent connections shall be reused.
- c. In all restrooms fixtures, faucets, flush valves in areas being renovated shall be replaced and upgrade to current ADA compliant standards. The existing domestic water, sanity and vent connections shall be reused.
- d. Remove all existing domestic piping serving the gymnasium showers.

### Fire protection:

- A fire sprinkler system does not exist in this building.

### Electrical:

#### Electrical Distribution system

- The original switchboard installed in 1985 appears to be in good condition. Replacement will be needed at some point due to age and lack of replacement parts.

### Fire Alarm

- The existing Simplex 4010ES panel is in good condition. Due to a lack of sprinklers in the building, the facility should have full smoke detector coverage, but does not. Areas lacking smoke detectors include classrooms, administrative spaces, and cafeteria. There are smoke detectors in the hallways. Ther are horns and strobes in the classrooms as well as hallways. Strobes are missing in group areas such as offices. Either sprinklers should be provided, or the fire alarm system should be upgraded in any future remodeling.

### Lighting

- Lighting in common spaces includes flat panel LED. Classrooms consist of flat panel LED in lay-in ceilings. The classroom lighting includes dimming and occupancy sensors. The gymnasium has 6 lamp fluorescent fixtures, unable to determine whether they have be retrofit to LED lamping.

#### Priority Items:

- a. Fire alarm should be updated if fire sprinklers are not planned to be installed.

### Technology:

#### Data cabling and distribution

- Building has single mode fiber from administration data center. Most cabling is Category 5E. Building has Ruckus wireless access points, one for every two classrooms per district IT standard.

#### Teaching technology equipment

- Classrooms include both Promethean interactive touchscreen monitors for the lower grades as well as 65” Samsung monitors for the upper grade levels (3rd and up). Existing equipment is in good condition.

#### Paging / intercom equipment

- Existing paging / intercom system is a Dukane paging system that is obsolete and should be replaced. Dukane parts are no longer readily available. It is possible that the existing speakers and wiring may be reused depending on existing condition review with Owner.

#### Priority Items:

- a. Replace paging / intercom head-end equipment.

Condition Assessments

Coolspring Elementary School Interior Floorplan



Coolspring Elementary School - Interior Condition Assessment

Condition Assessments

Coolspring Elementary School Preliminary Cost Estimate

Bid Sort 2	System L1	System L2	Description	Takeoff Quantity	Grand Total Price	Grand Total Amount
			Conceptual Estimate			
			Construction Cost			
10			Building			
	B2000		Exterior Enclosure			
		B20 4222	Ext Wall Finish, Brick, Clean & Tuckpoint	20,000 sf	5.78 /sf	115,676
		B20 7242	Ext Wall Finish, EIFS, Paint	6,500 sf	3.01 /sf	19,584
		B20 7422	Ext Wall Finish, Metal Panels, Clean	5,000 sf	2.12 /sf	10,588
		B20 8102	Exterior Doors, Replace HM	13 leaf	2,361.83 /leaf	30,704
		B20 8512	Aluminum Windows, Shades, & Sills, Replace	1,853 sf	217.98 /sf	403,923
			B2000 Exterior Enclosure	50,510 sf	11.49 /sf	580,474
	B3000		Roofing			
		B30 7312	Shingle Roofing, Replace	12,700 sf	12.85 /sf	163,198
		B30 7314	Shingle Roofing, Replace w/ Membrane	5,000 sf	29.70 /sf	148,507
		B30 7532	Membrane Roofing, Replace Ballasted Roof Only	5,100 sf	29.51 /sf	150,510
			B3000 Roofing	50,510 sf	9.15 /sf	462,215
	Z1012		Functional Area Costs			
		xRHCr	Renovation, Heavy, Classroom	1,000 sf	317.63 /sf	317,625
		xRHRR	Renovation, Heavy, Restrooms	3,800 sf	929.79 /sf	3,533,200
		xRHStg	Renovation, Heavy, Stage	800 sf	381.15 /sf	304,920
		xRLCafe	Renovation, Light, Cafeteria	2,100 sf	181.50 /sf	381,150
		xRLCr	Renovation, Light, Classrooms	21,000 sf	105.88 /sf	2,223,375
		xRLKit	Renovation, Light, Kitchen	1,600 sf	133.10 /sf	212,960
		xRLMedC	Renovation, Light, Media Center	2,300 sf	121.00 /sf	278,300
		xRLOff	Renovation, Light, Office	1,200 sf	90.75 /sf	108,900
		xRLStor	Renovation, Light, Storage	500 sf	113.44 /sf	56,719
		xRLVest	Renovation, Light, Vestibule	700 sf	136.13 /sf	95,288
		xRMCorr	Renovation, Medium, Corridors	8,000 sf	181.50 /sf	1,452,000
		xRMCr	Renovation, Medium, Classrooms	3,100 sf	211.75 /sf	656,425
		xRMGym	Renovation, Medium, Gym	5,200 sf	242.00 /sf	1,258,400
		xRMOff	Renovation, Medium, Office	1,100 sf	181.50 /sf	199,650
		xRMStor	Renovation, Medium, Storage	1,100 sf	226.88 /sf	249,563
			Z1012 Functional Area Costs	50,510 sf	224.28 /sf	11,328,474
			10 Building	50,510 sf	244.93 /sf	12,371,163
20			Site			
	G2000		Exterior Improvements			
		D50 6410	Site Lighting, Convert to LED	4 pole	12,100.00 /pole	48,400
		D60 9360	Video Surveillance System, Exterior Cameras	1 allow	60,500.00 /allow	60,500
		G20 1052	Asphalt Mill/Resurface, East Lot	3,890 sy	21.16 /sy	82,322
		G20 1054	Asphalt Mill/Resurface, West Drive	1,230 sy	21.65 /sy	26,634
		G20 1056	Asphalt Mill/Resurface, Parking	4,450 sy	21.13 /sy	94,046
		G20 2102	Concrete Sidewalk Cut/Patch Allowance	2,000 sf	75.49 /sf	150,980
		G20 3112	Chain Link Fence/Gates, New	1,300 lf	152.48 /lf	198,220
		G20 3114	Chain Link Fence/Gates, Replace	400 lf	82.66 /lf	33,065
		G20 3412	Site Furnishings, Directional Signage Allowance	1 allow	18,150.00 /allow	18,150

# Condition Assessments

## Edgewood Elementary School

## Condition Assessments

### Edgewood Elementary School Summary

Michigan City Area Schools	
Building:	Edgewood Elementary School
Building Area:	60,439
Site Acreage:	8.40
Enrollment Capacity:	
Current Enrollment:	345
Construction	Construction Type
1954	Original Construction
See Bldg. Area Plan	Additions and Renovations

Condition Assessment Legend	
Building Scoring Matrix	Category Scoring Matrix
100: Excellent	5: No Work Needed
99 - 80: Good	4: Minor Work Needed
79 - 60: Average	3: Moderate Work Needed
59 - 40: Fair	2: Major Work Needed
Below 40: Poor	1: None/Replacement Needed

Condition Assessment		Score
A SITE CIRCULATION AND AMENITIES		
A.1	Separation/Drop-off/Stacking	3.06
A.2	Drives/Lots and Walks	2.00
A.3	Site Improvements	3.15
B SAFETY AND SECURITY		
B.1	Secure Building Access	2.63
B.2	Surveillance/Cameras	4.00
C BUILDING ENVELOPE		
C.1	Building Roof	3.02
C.2	Exterior Building Walls	3.63
C.3	Exterior Doors/Windows	3.90
D BUILDING INTERIOR ENVIRONMENT		
D.1	ADA/Accessibility	2.67
D.2	Floors	3.71
D.3	Walls	3.44
D.4	Ceilings	3.36
D.5	Doors/Borrowed Lites	3.83
D.6	Fixed Equipment	3.48
E BUILDING SYSTEMS		
E.1	Building Plumbing System	2.40
E.2	Building HVAC System	2.54
E.3	Building Temperature Controls	2.00
E.4	Building Electrical System	3.38
E.5	Building Lighting	3.04
E.6	Building Technology	3.78
CONDITION ASSESSMENT AVERAGE SCORE		3.15
CONDITION ASSESSMENT GRADE		62.99

# Condition Assessments

## Edgewood Elementary School Summary Expanded

Michigan City Area Schools	
Building:	Edgewood Elementary School
Building Area:	60,439
Site Acreage:	8.40
Enrollment Capacity:	
Current Enrollment:	345
Construction	Construction Type
1954	Original Construction
See Bldg. Area Plan	Additions and Renovations

Condition Assessment	Score
<b>A SITE CIRCULATION AND AMENITIES</b>	
A.1 Separation/Drop-off/Stacking	3.06
A.2 Drives/Lots and Walks	2.00
A.3 Site Improvements	3.15
<b>B SAFETY AND SECURITY</b>	
B.1 Secure Building Access	2.63
B.2 Surveillance/Cameras	4.00
<b>C BUILDING ENVELOPE</b>	
C.1 Building Roof	3.02
C.2 Exterior Building Walls	3.63
C.3 Exterior Doors/Windows	3.90
<b>D BUILDING INTERIOR ENVIRONMENT</b>	
D.1 ADA/Accessibility	2.67
Administration	2.88
Corridors/Common	3.50
Classrooms/Science	2.00
Art/Music/Auditorium	2.78
Gymnasium/Natorium	2.75
Cafeteria/Kitchen	3.00
Restrooms/Locker Rooms	1.75
D.2 Floors	3.71
Administration	3.75
Corridors/Common	3.63
Classrooms/Science	3.57
Art/Music/Auditorium	3.83
Gymnasium/Natorium	4.00
Cafeteria/Kitchen	3.64
Restrooms/Locker Rooms	3.56
D.3 Walls	3.44
Administration	4.00
Corridors/Common	3.40
Classrooms/Science	3.40
Art/Music/Auditorium	3.10
Gymnasium/Natorium	3.35
Cafeteria/Kitchen	3.15
Restrooms/Locker Rooms	3.65
D.4 Ceilings	3.36
Administration	3.50
Corridors/Common	3.30
Classrooms/Science	3.10
Art/Music/Auditorium	3.03
Gymnasium/Natorium	4.00
Cafeteria/Kitchen	3.20
Restrooms/Locker Rooms	3.38
D.5 Doors/Borrowed Lites	3.83
Administration	3.75
Corridors/Common	3.75
Classrooms/Science	3.75
Art/Music/Auditorium	3.86
Gymnasium/Natorium	4.00
Cafeteria/Kitchen	3.93
Restrooms/Locker Rooms	3.75
D.6 Fixed Equipment	3.48
Administration	3.55
Corridors/Common	3.50
Classrooms/Science	3.53
Art/Music/Auditorium	3.81
Gymnasium/Natorium	3.00
Cafeteria/Kitchen	4.00
Restrooms/Locker Rooms	2.96
<b>E BUILDING SYSTEMS</b>	
E.1 Building Plumbing System	2.40
E.2 Building HVAC System	2.54
E.3 Building Temperature Controls	2.00
E.4 Building Electrical System	3.38
E.5 Building Lighting	3.04
E.6 Building Technology	3.78
CONDITION ASSESSMENT AVERAGE SCORE	3.15
CONDITION ASSESSMENT GRADE	62.99

# Condition Assessments

## Edgewood Elementary School Code Analysis

### Code Analysis:

- The Building Occupancy is Group E – Educational.
  - o Allowable area per code is 14,500 SF. No sprinkler increase. Frontage increase possible dependent on public way or open space at perimeter of building.
  - o The overall square footage is 60,439 SF. The existing building is divided into three areas by 2-hour separation walls.
- The Building Type of Construction is Type II-B Unprotected Non-Combustible.
  - o Original construction in 1954.
  - o Addition construction in 1956.
  - o Addition construction in 1966.
  - o Addition construction in 1995.
    - Based on the 1991 Edition of the Uniform Building Code – Indiana Edition.
  - o Food service improvements in 1996.
- The existing Building is NOT equipped with a fire suppression system throughout.

### Priority Items:

- a. NOTE: All non-compliant building code items are grandfathered, however, if any item or area is renovated, new work is required to meet current building code.

Condition Assessment Legend	
Building Scoring Matrix	Category Scoring Matrix
100: Excellent	5: No Work Needed
99 - 80: Good	4: Minor Work Needed
79 - 60: Average	3: Moderate Work Needed
59 - 40: Fair	2: Major Work Needed
Below 40: Poor	1: None/Replacement Needed





# Condition Assessments

## Edgewood Elementary School Site Summary

### ADA Building Access:

- Accessible parking spots are provided with two in the southeast parking lot and one in the east parking lot. The southeast parking lot is connected to the main entrance. The main entrance does not have an automatic door operator.

### Priority Items:

- a. The accessible parking spot within the east parking lot is not compliant appearing to be added recently due to inadequate quantity of spots. The parking lot will need to be repaired/ replaced, refer to Drives, Parking, and Sidewalks section, then a fully compliant spot(s) provided.
- b. Accessible parking spot signage should be added.
- c. While most entrances appear to have compliant door hardware, consideration should be given to adding automatic door operators at all exterior doors intended for use as accessible entrance points.
- d. Sidewalk repairs/replacements as described in Drives, Parking, and Sidewalks section to ensure compliant accessible paths.

### Drives, Parking, and Sidewalks:

- The site contains three parking lots with associated drives along the east of the building. The southeast parking lot is connected to the main entrance and is assumed to primarily serve visitor parking and bus drop-off/pick-up functions with the buses queuing along Boyd Cir. The east parking lot is just to the north of this combining staff parking and some maintenance and loading dock functions. The northeast parking lot is assumed to be additional staff parking. Each parking lot is separated from each other and connected to the surrounding streets with only the southeast parking lot having separated in and out drives. Garrettson Ave has a widened shoulder directly

south of the building assumed to be utilized for parent drop-off/ pick-up and additional off-street parking to the southwest of the building. Striping in all lots is apparent but worn.

- The maintenance and loading dock functions appear to be divided into two locations, the east parking lot and a dedicated small drive at the southwest corner of the building adjacent to Entrance B.
- Sidewalks connecting to the two northeast parking lots are in poor condition. South and west sidewalks are in fair to good condition. Sidewalks in these conditions are negatively impacting accessibility to the building. An asphalt courtyard is present on the south side of the building with signs of aging and deterioration.

### Priority Items:

- a. Repair/replacement of northeast and southeast parking lots (three total) and drives is necessary. Asphalt is in poor condition. Configurations of the lots should be reviewed to better maximize usage. Additionally, asphalt along the road shoulders is in very poor condition due to bus pick-up/drop-off and should be replaced. Consideration should be given to relocating bus pick-up/drop-off to another location that is off the public way to increase student/driver safety.
- b. Repair southwest maintenance/delivery drive. Cracks should be filled and chipped shoulders should be addressed.
- c. Replace sidewalks along east and northeast of building. Sidewalks immediately adjacent to road along with all other sidewalks on property should have cracked slabs replaced and uneven slabs should be addressed. Consideration for replacing sidewalks along roadway should be given. Sidewalks should have tactile strips installed when terminating into roadway, drives, or parking lots.
- d. Replace asphalt courtyard on south side of building. Consider other material options that may require less maintenance and less heat absorbing.

### Landscaping/Site Elements:

- The site is surrounded on the perimeter by healthy old growth trees. Trees near the building have dead limbs/branches.
- No soft landscaping was observed around the perimeter of the building, only dirt in many spots. Landscaping walls are in good condition.
- A fence runs along the perimeter of most of the property following the property line from the southwest corner of the building around to the northeast corner of the building. The fence provides security for the property, including playgrounds and courts.
- There is decent passive surveillance on the property with few visual obstructions. However, a blind spot is located on the north side of the school.

### Priority Items:

- a. Remove dead limbs/branches from trees near building.
- b. Replace dirt around perimeter of building with mow strips at a minimum, soft landscaping if desired.
- c. Repair or replace portions of fence and support posts, particularly around the delivery drive at the southwest corner of the building. As a whole, though, fence is in good condition.
- d. Add portion of new fence beginning at the northwest corner of the building and run north to connect to existing perimeter fence to eliminate potential blind spot.

### Playground:

- There are two playgrounds and a few pieces of miscellaneous play equipment on the property, west of the building. The

larger of the two play structures appears to be newer. The remainder of the equipment is older. All equipment looks to be in good condition. However, none of the equipment is ADA accessible. Both playgrounds have an old mulch base while the miscellaneous equipment is on a grass base. Additionally, there are three asphalt play surfaces adjacent to the playgrounds. Each surface has deteriorated extensively.

### Priority Items:

- a. ADA accessible playground equipment must be added. There is sufficient space to expand and accommodate additional equipment. Existing equipment may be replaced with new equipment, but full replacement is not necessary.
- b. Existing surfaces are old mulch. The playground surfaces should be replaced. These surfaces can be replaced with new loose-fill material such as rubber mulch or engineered wood fiber which is cost-effective. Alternatively, the new surface could use unitary materials such as rubber mats or artificial turf. However, unitary materials are more costly but require less maintenance than the loose-fill material.
- c. Resurface the three asphalt play surfaces and repaint lines.

# Condition Assessments

## Edgewood Elementary School Safety and Security

SUMMARY OF ALL SAFETY AND SECURITY					
Category		Subscore	Areas	Score	General Comments
B.1 Secure Building Access		2.63	1	2.63	
B.2 Surveillance/Cameras		4.00	1	4.00	

SAFETY AND SECURITY					
B.1 Secure Building Access	Type			Score	Comments/Remarks
B.1_Card/Code/FOBS				5.00	
B.1_Secure_Vestibule	No Admin Connection			1.50	Exists but separated. Proximity to admin area would allow dire...
B.1_Secure_Technology	AI Voice/Door Release			3.00	AI voice only.
B.1_Security Officer Station(s)				1.00	
SAFETY AND SECURITY B.1 Secure Building Access			Total	2.63	
B.2 Surveillance/Cameras				Score	Comments/Remarks
B.2_Video Surveillance				4.00	Exaca. Decent coverage in ex.playground.
B.2_Intrusion Detection				4.00	Motions.
SAFETY AND SECURITY B.2 Surveillance/Cameras			Total	4.00	

### Secure Visitor Access:

- The main entry is located on the southeast portion of the building. Visitor access is obtained by activating a voice-only intercom system to speak with the office prior to the door being unlocked. Once through the main door, the visitor passes through a vestibule into the main corridors and is directed by a sign into the office. There is no direct access to the main office from the vestibule. There are additional doors around the building where access is only provided to staff and district personnel via key fob or code.
- The building is equipped with a motion detecting security alarm system. Video surveillance is located around the building exterior providing decent security coverage overall.

### Priority Items:

a. Secure Entrance Improvement project recommended. The scope of work would be determined based on budget and Owner direction, but the existing proximity of the secure vestibule and the administration area allows for a lighter renovation area compared to other elementary schools. The secure vestibule could be extended into the existing lobby slightly allowing the administration area to be reconfigured to allow direct access. The secure vestibule could also be extended further into the existing lobby to encompass the closest set of gymnasium doors. This would allow even a lighter renovation of the administration area with primary focus being

on creating a new door back into the main corridor.

b. Security glazing/security film at existing or new main entrance is recommended. Inclusion at all building entrances and windows would increase security.

c. Upgrade to intercom/door release system to include video is recommended.

d. Expansion of the fob/door release system with surveillance monitoring at all necessary entrances is recommended.

# Condition Assessments

## Edgewood Elementary School Building Envelope

SUMMARY OF ENTIRE BUILDING ENVELOPE					
Category		Subscore	Areas/Regions	Score	General Comments
C.2 Exterior Building Walls		3.63	1	3.63	
C.3 Exterior Doors/Windows		3.90	1	3.90	

BUILDING ENVELOPE					
C.2 Exterior Building Walls	Type	%	Subscore	Score	Comments/Remarks
C.2_Masonry	Brick	70	4.00	2.80	Brick is generally in good condition, some cleaning and minor t...
C.2_Finish_System	Exterior Insulation (EIFS)	30	2.75	0.83	In need of clean and paint. EIFS at N in worse condition.
<select or leave blank>					Mtl Flashing and Fascia in good condition, faded and in need of...
<select or leave blank>					
BUILDING ENVELOPE C.2 Exterior Building Walls			Total	3.63	
C.3 Exterior Doors/Windows	Type	% or Qty.	Subscore	Score	Comments/Remarks
C.3_Aluminum	Window	47	4.00	2.38	Aluminum with thermal windows in good condition. New seala...
C.3_Aluminum	Storefront	32	4.25	1.72	Thermal.
<select or leave blank>					
<select or leave blank>					
		Exterior Windows	Subtotal	4.10	
C.3_Swinging	Aluminum	16	4.00	2.78	With thermal sidelites/glazing. Some hardware issues and weal...
C.3_Swinging	Hollow Metal	7	3.00	0.91	Some have frame and door rust, replacement needed. All need...
<select or leave blank>					
<select or leave blank>					
		Exterior Doors	Subtotal	3.70	
BUILDING ENVELOPE C.3 Exterior Doors/Windows			Total	3.90	

SUMMARY OF ALL ROOFS							
Category		Total Sq.Ft.	Subscore	Areas	Score		General Comments
C.1 Building Roof		61,000	3.02	1	3.02		

ROOF							
C.1 Building Roof	Type	Install Year	Square Feet	Subscore	Score	Warranty Exp.	Comments/Remarks
C.1_Membrane	EPDM	2007	60,000	3.00	2.95	2022	
	Manufacturer/Installer	Firestone					
C.1_Metal	Standing Seam	Unknown	1,000	4.00	0.07	Unknown	
	Manufacturer/Installer						
<select or leave blank>							
	Manufacturer/Installer						
<select or leave blank>							
	Manufacturer/Installer						
ROOF C.1 Building Roof		Total Sq.Ft.	61,000	Total Score	3.02		

# Condition Assessments

## Edgewood Elementary School Building Envelope Summary

### Exterior Facades:

- The exterior walls, including within the three courtyards, are constructed of various materials consistently around the building. Most of the exterior walls are constructed of framing with masonry veneer. The masonry is generally in good condition. Across the façade, there are infills of an Exterior Insulation and Finish System (EIFS). All the EIFS is in need of maintenance or repair, particularly on the north façade, cleaning, and paint. The upper most portion of the exterior walls is made of framing with metal siding and flashing. The metal panel is in good condition, though it is faded and in need of a refresh and oil-canning of the material occurs consistently.
- The exterior of the building has numerous windows. The window materials consist of aluminum and aluminum storefront. The aluminum windows are thermal windows and are in good condition overall. Although, these windows require new sealant, and several screens are in need of repair. The storefront systems are thermally broken and in above-average condition.
- There are also several doors around the exterior of the building, including in the courtyards. The doors are either hollow metal or aluminum. The hollow metal doors and frames are showing signs of rust and deterioration. The aluminum doors and frames have thermal sidelites/glazing and are showing wear in addition to having hardware issues.

### Priority Items:

- Clean and repair exterior wall systems. Masonry needs cleaning. Minor tuckpointing will be necessary in select areas. EIFS should be cleaned and painted. The system should be patched as needed prior to painting. Metal panel should be cleaned and painted. Consider replacing metal panel with new material.
- Remove old sealant and reseal around aluminum windows and storefront.
- Remove and replace all exterior hollow metal doors and frames with hollow metal. New hardware will be required.
- Replace all exterior aluminum door hardware.

### Roofs:

- The existing roof is primarily EPDM roof membrane manufactured by Firestone installed in 2007 over approximately 60,000 SF with a warranty that expired in 2022. An overhang of approximately 1,000 SF has standing seam metal roofing with an unknown installation date.

### Priority Items:

- Consideration should also be given to the EPDM roof membrane system to ensure proper maintenance and patching. Expectation is that full replacement should start to be considered in 5-10 years, but the roof could last longer dependent on several factors.

# Condition Assessments

## Edgewood Elementary School Exterior Floorplan





Condition Assessments

Edgewood Elementary School Corridors/Commons

SUMMARY OF ALL CORRIDORS/COMMONS					
Category		Subscore	Areas	Score	General Comments
D.1 ADA/Accessibility		3.50	1	3.50	
D.2 Floor Finish		3.63	1	3.63	
D.3 Wall Finish		3.40	1	3.40	
D.4 Ceiling Finish		3.30	1	3.30	
D.5 Doors/Borrowed Lites		3.75	1	3.75	
D.6 Fixed Equipment		3.50	1	3.50	

CORRIDOR/COMMONS					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware/Clearances		FALSE		4.00	Most hardware has been upgraded and is compliant.
D.1_Routing/Ramps		FALSE		4.00	Most door clearances are acceptable.
D.1_Wayfinding Signage		FALSE		2.50	Directional signage is minimal to none. Directional signage would be helpful.
D.1_Elevator/Lift		FALSE		N/A.	
CORRIDOR/COMMONS D.1 ADA/Accessibility			Total	3.50	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Terrazzo		70	3.50	2.45	
D.2_Carpet	Broadloom	20	4.00	0.80	Newer with minimal wear.
D.2_Carpet	Tile	10	3.75	0.38	W corridors are dated but in good shape. SW addition has bubble.
<select or leave blank>					
CORRIDOR/COMMONS D.2 Floor Finish			Total	3.63	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Masonry	CMU	70	3.50	2.45	Due for a repaint.
D.3_Tile	Large-Format	20	3.25	0.65	
D.3_Gypsum	Painted	10	3.00	0.30	Good condition, minor repaint.
<select or leave blank>					
CORRIDOR/COMMONS D.3 Wall Finish			Total	3.40	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	80	3.25	2.60	Good condition. Minor sagging and condition issues throughout.
D.4_Gypsum	Painted	20	3.50	0.70	
<select or leave blank>					
<select or leave blank>					
CORRIDOR/COMMONS D.4 Ceiling Finish			Total	3.30	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Painted	80	3.75	3.00	Good condition, repainting of painted doors.
D.5_Metal	Hollow	10	3.75	0.38	Good condition, repaint.
D.5_Metal	Aluminum	10	3.75	0.38	
<select or leave blank>					
CORRIDOR/COMMONS D.5 Doors/Borrowed Lites			Total	3.75	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Tackboard		100	3.50	3.50	
<select or leave blank>					
<select or leave blank>					
		Visual Display Boards	Subtotal	3.50	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
		Casework/Countertops	Subtotal		
D.6_Lockers					N/A.
CORRIDOR/COMMONS D.6 Fixed Equipment			Total	3.50	

Condition Assessments

Edgewood Elementary School Classrooms

SUMMARY OF ALL CLASSROOMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		2.00	1	2.00	
D.2 Floor Finish		3.57	1	3.57	
D.3 Wall Finish		3.40	1	3.40	
D.4 Ceiling Finish		3.10	1	3.10	
D.5 Doors/Borrowed Lites		3.75	1	3.75	
D.6 Fixed Equipment		3.53	1	3.53	

CLASSROOM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		FALSE		2.50	Mostly compliant lever hardware. Knob hardware should be replaced.
D.1_Door Clearances		FALSE		2.50	Classrooms doors are compliant, classroom toilet doors are not.
D.1_Room Signage		FALSE		1.00	Not compliant where present.
D.1_Casework Clearances/Hts.		FALSE		2.00	Not compliant in all areas.
CLASSROOM D.1 ADA/Accessibility			Total	2.00	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Carpet	Broadloom	80	3.50	2.80	Replacement needed in some areas, others are due for replacement.
D.2_Vinyl	VCT	20	3.85	0.77	Good condition, with a few areas of exception.
<select or leave blank>					
<select or leave blank>					
CLASSROOM D.2 Floor Finish			Total	3.57	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Painted	30	3.25	0.98	Minor repair, repaint could occur.
D.3_Masonry	CMU	60	3.50	2.10	Good condition, repaint needed.
D.3_Gypsum	Wallcovering	10	3.25	0.33	Minor to moderate condition issues throughout. Classrooms are in good condition.
<select or leave blank>					
CLASSROOM D.3 Wall Finish			Total	3.40	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	3.10	3.10	Most classrooms have direct applied ceiling tiles. Some adhesive.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
CLASSROOM D.4 Ceiling Finish			Total	3.10	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	90	3.75	3.38	Hardware as listed within ADA section. Repainting of painted doors.
D.5_Metal	Hollow	10	3.75	0.38	Hardware as listed within ADA section. Repaint where needed.
<select or leave blank>					
<select or leave blank>					
CLASSROOM D.5 Doors/Borrowed Lites			Total	3.75	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Chalkboard					
D.6_Markerboard		40	4.00	1.60	
D.6_Tackboard		60	3.75	2.25	
		Visual Display Boards	Subtotal	3.85	
D.6_Casework	Wood	60	3.75	2.25	Most is fully functional, just cosmetic issues of wear.
D.6_Countertops	PLAM	40	3.75	1.50	Most is fully functional, just cosmetic issues of wear.
<select or leave blank>					
<select or leave blank>					
		Casework/Countertops	Subtotal	3.75	
D.6_Lockers	Wood			3.00	Swiveling casework elements within classrooms. Generally in good condition.
CLASSROOM D.6 Fixed Equipment			Total	3.53	

# Condition Assessments

Edgewood Elementary School Art Room

SUMMARY OF ALL ART ROOMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		2.75	1	2.75	
D.2 Floor Finish		3.65	1	3.65	
D.3 Wall Finish		3.45	1	3.45	
D.4 Ceiling Finish		3.05	1	3.05	
D.5 Doors/Borrowed Lites		4.00	1	4.00	
D.6 Fixed Equipment		3.82	1	3.82	

ART ROOM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		TRUE		4.00	Most hardware has been upgraded and is compliant.
D.1_Door Clearances		TRUE		4.00	Most door clearances are acceptable.
D.1_Room Signage		FALSE		1.00	Not compliant where present.
D.1_Casework Clearances/Hts.		FALSE		2.00	Sink locations are not ADA compliant.
ART ROOM D.1 ADA/Accessibility			Total	2.75	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Vinyl	VCT	60	3.75	2.25	Aged but generally in good shape.
D.2_Carpet	Broadloom	40	3.50	1.40	Has some wear and tear but generally in good shape.
<select or leave blank>					
<select or leave blank>					
ART ROOM D.2 Floor Finish			Total	3.65	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Painted	90	3.50	3.15	Repaint in some areas needed
D.3_Masonry	CMU	10	3.00	0.30	Repaint in some areas needed
<select or leave blank>					
<select or leave blank>					
ART ROOM D.3 Wall Finish			Total	3.45	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	80	3.00	2.40	Applied ceiling tiles with some adhesion issues.
D.4_Suspended	Acoustic	20	3.25	0.65	
<select or leave blank>					
<select or leave blank>					
ART ROOM D.4 Ceiling Finish			Total	3.05	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	4.00	4.00	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ART ROOM D.5 Doors/Borrowed Lites			Total	4.00	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Markerboard		40	4.00	1.60	
D.6_Tackboard		60	4.00	2.40	
<select or leave blank>					
		Visual Display Boards	Subtotal	4.00	
D.6_Casework	PLAM	50	3.75	1.88	Minor condition issues.
D.6_Countertops	PLAM	30	3.50	1.05	Minor condition issues.
D.6_Casework	Metal	20	3.75	0.75	Minor condition issues.
<select or leave blank>					
		Casework/Countertops	Subtotal	3.68	
D.6_Lockers					N/A.
D.6_Sinks/Plaster Traps				4.00	
D.6_Work Tables				3.75	
D.6_Kiln and Exhaust				4.00	
D.6_General Storage				3.50	
ART ROOM D.6 Fixed Equipment			Total	3.82	

# Condition Assessments

Edgewood Elementary School Administration

SUMMARY OF ALL ADMINISTRATION					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		2.88	1	2.88	
D.2 Floor Finish		3.75	1	3.75	
D.3 Wall Finish		4.00	1	4.00	
D.4 Ceiling Finish		3.50	1	3.50	
D.5 Doors/Borrowed Lites		3.75	1	3.75	
D.6 Fixed Equipment		3.55	1	3.55	

ADMINISTRATION					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		TRUE		4.00	Most hardware has been upgraded and is compliant.
D.1_Door Clearances		TRUE		4.00	Most door clearances are acceptable.
D.1_Room Signage		FALSE		1.00	Not compliant where present.
D.1_Casework Clearances/Hts.		FALSE		2.50	Sink locations are not ADA compliant. Reception desk needs lo...
ADMINISTRATION D.1 ADA/Accessibility			Total	2.88	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Carpet	Broadloom	75	3.80	2.85	Most areas in good condition, a few due for replacement.
D.2_Vinyl	VCT	25	3.60	0.90	Good to decent condition, a few rooms with older VCT.
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.2 Floor Finish			Total	3.75	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Painted	100	4.00	4.00	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.3 Wall Finish			Total	4.00	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	3.50	3.50	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.4 Ceiling Finish			Total	3.50	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	3.75	3.75	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.5 Doors/Borrowed Lites			Total	3.75	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Markerboard	Unlined	30	4.00	1.20	
D.6_Tackboard		70	4.00	2.80	
		Visual Display Boards	Subtotal	4.00	
D.6_Casework	PLAM	65	3.75	2.44	Aged but in decent condition. Most fully functional.
D.6_Countertops	PLAM	35	3.50	1.23	Same as casework.
<select or leave blank>					
<select or leave blank>					
		Casework/Countertops	Subtotal	3.66	
D.6_Appliances				3.00	
ADMINISTRATION D.6 Fixed Equipment			Total	3.55	

Condition Assessments

Edgewood Elementary School Music Room

SUMMARY OF ALL MUSIC ROOMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		2.81	1	2.81	
D.2 Floor Finish		4.00	1	4.00	
D.3 Wall Finish		2.75	1	2.75	
D.4 Ceiling Finish		3.00	1	3.00	
D.5 Doors/Borrowed Lites		3.73	1	3.73	
D.6 Fixed Equipment		3.80	1	3.80	

MUSIC ROOM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		TRUE		4.00	Most hardware has been upgraded and is compliant.
D.1_Door Clearances		TRUE		4.00	Most door clearances are acceptable.
D.1_Room Signage		FALSE		1.00	Not compliant where present.
D.1_Casework Clearances/Hts.		FALSE		2.25	Sink locations are not ADA compliant. Tall cabinets not compliant.
MUSIC ROOM D.1 ADA/Accessibility			Total	2.81	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Carpet	Broadloom	100	4.00	4.00	Good condition
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
MUSIC ROOM D.2 Floor Finish			Total	4.00	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Wallcovering	100	2.75	2.75	Some wallcovering is peeling back and replacement needed.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
MUSIC ROOM D.3 Wall Finish			Total	2.75	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	3.00	3.00	Grid work needed and some ceiling tile replacement.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
MUSIC ROOM D.4 Ceiling Finish			Total	3.00	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	90	3.75	3.38	Hardware as listed within ADA section.
D.5_Metal	Hollow	10	3.50	0.35	
<select or leave blank>					
<select or leave blank>					
MUSIC ROOM D.5 Doors/Borrowed Lites			Total	3.73	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Markerboard	Lined	40	4.00	1.60	
D.6_Tackboard		60	3.50	2.10	
<select or leave blank>					
		Visual Display Boards	Subtotal	3.70	
D.6_Casework	PLAM	60	4.00	2.40	Minimal wear and tear.
D.6_Countertops	PLAM	40	3.50	1.40	Minimal wear and tear.
		Casework/Countertops	Subtotal	3.80	
D.6_Lockers	PLAM			4.00	
D.6_Tiers/Bleachers				4.00	
D.6_General Storage				3.50	Small storage space
MUSIC ROOM D.6 Fixed Equipment			Total	3.80	

Condition Assessments

Edgewood Elementary School Gymnasium

SUMMARY OF ALL GYMNASIUMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		2.75	1	2.75	
D.2 Floor Finish		4.00	1	4.00	
D.3 Wall Finish		3.35	1	3.35	
D.4 Ceiling Finish		4.00	1	4.00	
D.5 Doors/Borrowed Lites		4.00	1	4.00	
D.6 Fixed Equipment		3.00	1	3.00	

GYMNASIUM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		TRUE		4.00	Most hardware has been upgraded and is compliant.
D.1_Door Clearances		TRUE		4.00	Most door clearances are acceptable.
D.1_Room Signage		FALSE		1.00	Not compliant where present.
D.1_General ADA (routing/seats/etc)		FALSE		2.00	Stage access not compliant. Bleachers not compliant.
GYMNASIUM D.1 ADA/Accessibility			Total	2.75	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Athletic	Hardwood	100	4.00	4.00	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
GYMNASIUM D.2 Floor Finish			Total	4.00	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Masonry	CMU	70	3.25	2.28	Good condition, minor repaint.
D.3_Tile	Large-Format	20	3.50	0.70	Good condition, cleaning and regrout
D.3_Panelized	Acoustic	10	3.75	0.38	
<select or leave blank>					
GYMNASIUM D.3 Wall Finish			Total	3.35	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	4.00	4.00	Good condition, appear to be newer.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
GYMNASIUM D.4 Ceiling Finish			Total	4.00	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	4.00	4.00	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
GYMNASIUM D.5 Doors/Borrowed Lites			Total	4.00	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Markerboard	Unlined	100	4.00		
D.6_Tackboard					
		Visual Display Boards	Subtotal		
D.6_Equipment	Basketball Main			3.50	
D.6_Equipment	Basketball Cross Court			3.50	
D.6_Equipment	Divider Curtain/Partition				N/A.
D.6_Equipment	Bleachers			2.50	Major refinishing repair, dated bleachers, hardware condition
D.6_Equipment	General Storage			2.50	Minimal storage solutions
GYMNASIUM D.6 Fixed Equipment			Total	3.00	

# Condition Assessments

Edgewood Elementary School Art Room

SUMMARY OF ENTIRE CAFETERIA/KITCHEN					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		3.00	1	3.00	
D.2 Floor Finish		3.64	1	3.64	
D.3 Wall Finish		3.15	1	3.15	
D.4 Ceiling Finish		3.20	1	3.20	
D.5 Doors/Borrowed Lites		3.93	1	3.93	
D.6 Fixed Equipment		4.00	1	4.00	

CAFETERIA/KITCHEN					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		TRUE		4.00	Most hardware has been upgraded and is compliant.
D.1_Door Clearances		TRUE		4.00	Most door clearances are acceptable.
D.1_Room Signage		FALSE		1.00	Not compliant where present.
D.1_Casework Clearances/Hts.		FALSE			N/A.
CAFETERIA/KITCHEN D.1 ADA/Accessibility			Total	3.00	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Vinyl	VCT	70	3.80	2.66	Generally good condition, minor repair.
D.2_Tile	Square	30	3.25	0.98	Some tiles need repair, cleaning of grout
<select or leave blank>					
<select or leave blank>					
CAFETERIA/KITCHEN D.2 Floor Finish			Total	3.64	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Masonry	CMU	20	3.75	0.75	Good condition, minor repair.
D.3_Plaster	Painted	80	3.00	2.40	
<select or leave blank>					
<select or leave blank>					
CAFETERIA/KITCHEN D.3 Wall Finish			Total	3.15	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	80	3.25	2.60	Grid is in fair condition. Tiles have moderate to minor sagging.
D.4_Gypsum	Painted	20	3.00	0.60	
<select or leave blank>					
<select or leave blank>					
CAFETERIA/KITCHEN D.4 Ceiling Finish			Total	3.20	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	70	4.00	2.80	
D.5_Metal	Hollow	30	3.75	1.13	
<select or leave blank>					
<select or leave blank>					
CAFETERIA/KITCHEN D.5 Doors/Borrowed Lites			Total	3.93	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
<select or leave blank>					N/A.
<select or leave blank>					
<select or leave blank>					
Visual Display Boards			Subtotal		
<select or leave blank>					N/A.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
Casework/Countertops			Subtotal		
D.6_Freezers/Coolers				4.00	
D.6_Cooking Battery				4.00	Good condition. Space appears appropriate.
D.6_Serving				4.00	Good condition. Assumed adequate for capacity.
D.6_Dishwashing				4.00	
D.6_Overall Function				4.00	Layout looks appropriate. Serving is within cafeteria space. Sm...
D.6_General Storage				4.00	
CAFETERIA/KITCHEN D.6 Fixed Equipment			Total	4.00	

# Condition Assessments

Edgewood Elementary School Restrooms

SUMMARY OF ALL RESTROOMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		1.75	1	1.75	
D.2 Floor Finish		3.56	1	3.56	
D.3 Wall Finish		3.65	1	3.65	
D.4 Ceiling Finish		3.38	1	3.38	
D.5 Doors/Borrowed Lites		3.75	1	3.75	
D.6 Fixed Equipment		2.96	1	2.96	

RESTROOM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware/Clearances		FALSE		2.00	Knob hardware should be replaced with lever hardware at clas...
D.1_Room Signage		FALSE		1.00	Signage is present, but not compliant.
D.1_Stall Widths/Clearances		FALSE		2.00	Older gang restrooms are non-compliant. Newer is closer to co...
D.1_General ADA Clearances		FALSE		2.00	Older gang restrooms are non-compliant. Newer is closer to co...
RESTROOM D.1 ADA/Accessibility			Total	1.75	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Terrazzo		70	3.80	2.66	Could use a minor refinish, overall good shape
D.2_Tile	Mosaic	30	3.00	0.90	Overall level and stable. Aged and stained grout.
<select or leave blank>					
<select or leave blank>					
RESTROOM D.2 Floor Finish			Total	3.56	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Masonry	SGT	10	3.75	0.38	Good condition
D.3_Tile	Square	40	3.50	1.40	Overall good condition, minor repair and regrout
D.3_Masonry	CMU	50	3.75	1.88	Overall good conditon.
<select or leave blank>					
RESTROOM D.3 Wall Finish			Total	3.65	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Exposed	Painted	50	3.50	1.75	
D.4_Suspended	Acoustic	50	3.25	1.63	Good condition, minor grid aging and tile issues.
<select or leave blank>					
<select or leave blank>					
RESTROOM D.4 Ceiling Finish			Total	3.38	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	3.75	3.75	Hardware comments in ADA section
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
RESTROOM D.5 Doors/Borrowed Lites			Total	3.75	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
<select or leave blank>					N/A.
<select or leave blank>					
<select or leave blank>					
Visual Display Boards			Subtotal		
D.6_Partitions	Metal/SS	75	2.75	2.06	Poor condition, many have been repainted multiple times. Corr...
D.6_Toilet_Accessories	General	10	2.75	0.28	
D.6_Toilet_Accessories	Benches	5	3.00	0.15	
D.6_Toilet_Accessories	Showers	10	3.80	0.38	
Partitions/Accessories			Subtotal	2.87	
D.6_Countertops	PLAM			3.00	
D.6_Lockers	Metal			3.00	
RESTROOM D.6 Fixed Equipment			Total	2.96	



# Condition Assessments

## Edgewood Elementary School Building Interiors Summary

### Stairs:

- Existing building is single-story with no building stairs present.
- Existing stairs are limited to stage stairs or risers with media center and classrooms. See other sections for any needs noted.

### Priority Items:

- a. None currently.

### Corridors:

- Corridors widths vary from approximately 7'-6" to 10'-0" wide throughout the building with recessed doorways exiting rooms. Double egress doors span across corridors at locations of existing 2-hour separation walls at five locations. Floor, wall, and ceiling finishes are in good condition or above. Some of the materials are original, while most other materials have been updated over time.

- Refer to Priority Item "a" under Code section for existing conditions. Existing corridors/classroom walls will need to be confirmed for appropriate fire resistive construction and continuity, due to lack of sprinkler system throughout building, if significant renovation efforts are undertaken.

- Wayfinding signage throughout the building is minimal to none. However, due to the layout of the building, wayfinding is not crucial. Room signage is generally present but not ADA compliant.

- Interior doors throughout the building are typically stained wood doors in good condition. Some of the doors have been painted and are due for a repaint. Most of the wooden doors appear to have had door hardware previously upgraded to be ADA compliant, though a few doors remain with non-compliant hardware. There are five interior hollow metal doors that are in good condition.

### Priority Items:

- a. Existing corridor carpet tile could last a few years, if necessary. However, due to wear, replacement throughout is recommended. Minimally, some tiles should be replaced immediately. Existing exposed terrazzo is in above average condition and well maintained overall.

- b. Existing corridor wall finishes vary between painted

concrete masonry unit (CMU), tile, painted gypsum board, and wallcovering. Painted CMU is due for repainting. The wall tile, while old, appears to be in great shape, but grout should be cleaned. The painted gypsum board is in above-average condition. Only minor touchups and repairs are required. Wallcoverings are in need of a refresh due to condition.

- c. Some ceiling tiles are sagging and should be replaced. Discolored tiles should be cleaned or replaced.

- d. Increased wayfinding signage is recommended, though not required. Room signage, however, should be upgraded to be ADA compliant. Room signage should also be added to rooms currently without.

- e. Door frames need repainting throughout the building. Hollow metal doors need repainting. Wood doors should be cleaned, at a minimum. However, it is recommended to strip and refinish the doors. Painted wood doors need repainting.

### Classrooms:

- Classrooms are approximately 880 – 930 SF throughout the building with fixed coat hooks, storage shelving, and a sink along the corridor wall. Along the exterior wall is open shelving. Visual display boards and marker boards are located along the classroom dividing walls. Flooring materials consist of a narrow section VCT along the corridor walls. The remainder of the classroom floor is broadloom carpet. Wall materials consist of painted CMU, painted gypsum board, and wallcovering. Most ceilings in classrooms are direct applied ceiling tiles. Some of these tiles are not adhered properly. Refer to Restrooms section for additional notes.

- Refer to Priority Item "a" under Code section for existing conditions. Existing corridors/classroom walls will need to be confirmed for appropriate fire resistive construction and continuity, due to lack of sprinkler system throughout building, if significant renovation efforts are undertaken.

### Priority Items:

- a. Existing classroom flooring including carpeting and VCT flooring could last a few years, if necessary. However, due to wear and age replacement throughout is recommended.

- b. Existing classroom wall finishes are due for replacement due to wear and age throughout the building, including new paint.

- c. Existing direct applied ceilings are in good condition considering age. At a minimum, loose ceiling tiles should be re-adhered. Full ceiling replacement recommended due to age.

- d. Existing classroom casework is mostly still fully functional, however, due to wear and age replacement throughout the building is recommended. Countertops are in similar condition to the casework. A few coat hooks in each classroom are broken and need replacement. Consideration for appropriate coat/backpack storage with increased ADA compliancy is potentially needed.

- e. Existing classroom visual display boards need consideration for appropriate functionality. Markerboards are present in classrooms and are in above-average condition. Most tackboards throughout the building are in decent to good condition. See Technology section for existing integration of educational technology.

### Restrooms:

- Single-hole and group restrooms throughout the building are not ADA compliant and are in poor physical condition generally with flooring refinishing/replacement needs, ceiling repainting/replacement needs, and restroom accessory replacement needs. Some of the newer restrooms are closer to ADA compliancy, however, there are still modifications to be made. All restroom finishes are in good to poor condition and are in need of some level of refurbishment, including flooring refinishing/replacement needs, ceiling repainting/replacement needs, and restroom accessory replacement needs.

### Priority Items:

- a. All restrooms need renovation with ADA upgrades throughout, some more extensively than others. Priority would be given to group restrooms located in three pairs/groupings throughout the building, followed by classroom connected restrooms located at six locations of single-hole restrooms and two locations of two-hole restrooms, followed by gymnasium connected restrooms comprising two two-hole restrooms, administrative restrooms comprising another two single-hole restrooms, and four single-hole staff restrooms around the building.

- b. Alternatively, restrooms listed above could receive finish upgrades only but would remain not ADA compliant.

### Ancillary Spaces:

- Existing art room is approximately 1,425 SF with separate storage room and kiln room. Although, kiln room is also being utilized as storage. Storage casework surrounds most of the perimeter of the room with two double-sink locations and dedicated teaching wall. Open shelving with countertop runs along the exterior wall. Floor, wall, and ceiling finishes have been maintained well, overall, though dated. Finishes include VCT flooring in the storage rooms, terrazzo flooring in the classroom, painted CMU walls, wall covering, direct applied ceiling tiles, and suspended acoustic ceiling system.

- Existing music room is approximately 1,200 SF with built-in risers and a separate storage room. There is a dedicated teaching wall. Flooring and ceiling materials are in better condition than elsewhere in the building. Wall covering is peeling and showing wear.

- Existing gymnasium is approximately 5,000 SF with locker rooms and storage spaces occupying another approximately 1,380 SF and a stage of approximately 740 SF. Floor and wall finishes appear to be original while ceiling finishes are newer. Although dated, these finishes have been well maintained, however, the spaces are due for renovation work.

- Existing cafeteria is approximately 2,210 SF with associated kitchen/serving functions occupying another approximately 1,215 SF. Floor and wall finishes have been well maintained, though some repair/replacement is needed. Ceiling finish has significant sagging. Food service equipment is in above-average condition. Layout of the kitchen areas and serving area appear well laid out and functional.

- Existing media center and associated storage room are approximately 1,895 SF. Attached to the media center is a computer lab comprising an additional approximately 800 SF. The space is in good condition with minor maintenance needs relative to wall and ceiling finishes and equipment condition. Flooring materials are showing significant age and wear.

- Existing administration area is approximately 2,120 SF. Floor, wall, and ceiling are aged but in decent condition overall. Refer to Restrooms section for additional notes. The administration area is separated from the building's main entrance, refer to Secure Visitor Access section for additional notes.

- Refer to Priority Item "a" under Code section for existing conditions. Existing corridors/classroom walls will need to

# Condition Assessments

## Edgewood Elementary School Mechanical Systems

be confirmed for appropriate fire resistive construction and continuity, due to lack of sprinkler system throughout building, if significant renovation efforts are undertaken.

Priority Items:

- a. Art room renovation needs will be heavily dependent on Owner educational needs with a focus on casework needs, storage needs, and whether a kiln is still needed. If deemed not necessary, existing art room renovation would include flooring, wall, and ceiling finishes along with sink dispersed heavy casework inclusion within the existing square footage.
- b. Gymnasium and associated locker room, storage, and stage renovation needs will be heavily dependent on Owner needs. The gymnasium is due for a floor refinishing, wall painting, exposed structure and systems cleaning and repaint, wall padding replacement, and bleacher refinish/replacement. The locker rooms and associated restrooms are not ADA compliant and would qualify for a full renovation and ADA upgrade if utilized within the Owner’s program. Similarly, the stage would qualify for a full renovation and ADA upgrade dependent on Owner needs.
- c. Cafeteria and kitchen need replacement of sagging ceiling tiles. Kitchen flooring is tile and should be replaced. Although the Owner may decide to repair grout only and leave the tile,

though aged. Wall coverings are recommended for replacement as well.

- d. Media center renovation needs will be heavily dependent on Owner educational needs. The media center is functionally traditional but could continue to service the building with minimal finish upgrades, primarily replacing the aged and dirty carpet. The media center could be fully renovated to functionally serve the building with additional curriculum and educational opportunities.
- e. Administration area could use a refresh of all finishes. Carpet flooring, wall finishes, and casework/countertops are aged and worn. Replace stained ceiling tiles with new. Connecting the office to the building’s main entrance is needed, refer to Secure Visitor Access section for additional notes.

SUMMARY OF ENTIRE MECHANICAL SYSTEM					
Category		Subscore	Areas	Score	General Comments
E.2 Building HVAC System		2.54	1	2.54	
E.3 Building Temperature Controls		2.00	1	2.00	

MECHANICAL SYSTEM					
E.2 Building HVAC System	Type			Score	Comments/Remarks
E.2_Central Heating System	Boilers			4.00	2017 Performance Services update.
E.2_Central Heating System	Heating Pumps			3.00	
E.2_Central Heating System	Air Handling Units			2.00	Looks 20+ years old. 1996.
	Central Heating System	Subtotal		3.00	
E.2_Cooling System	Chiller			2.00	Looks 20+ years old.
E.2_Cooling System	Cooling Tower				
E.2_Cooling System	Chilled Water Pumps			3.00	
E.2_Cooling System	Condensing Units			1.00	Ice Storage. Should be removed in the future since they haven't
	Cooling System	Subtotal		2.00	
E.2_Equipment	Cabinet/Supplemental Heaters			2.50	
E.2_Equipment	Fan Coil Units				
E.2_Equipment	Fans				
E.2_Equipment	PTAC Units				
E.2_Equipment	Unit Ventilators			2.00	Looks 20+ years old
E.2_Equipment	Variable Air Volume Terminals			2.00	Looks 20+ years old
	Equipment	Subtotal		2.17	
E.2_General	Ductwork			3.00	
E.2_General	Louvers/Exhaust Vents				
E.2_General	Piping			3.00	
	General	Subtotal		3.00	
MECHANICAL SYSTEM E.2 Building HVAC System		Total		2.54	
E.3 Building Temperature Controls	Type			Score	Comments/Remarks
E.3_Temperature Controls				2.00	Metasys. Controls look ancient. Told it works well and has no is...
MECHANICAL SYSTEM E.3 Building Temperature Controls		Total		2.00	

# Condition Assessments

Edgewood Elementary School Electrical System

SUMMARY OF ENTIRE ELECTRICAL SYSTEM					
Category		Subscore	Areas	Score	General Comments
E.4 Building Electrical System		3.38	1	3.38	
E.5 Building Lighting		3.04	1	3.04	

ELECTRICAL SYSTEM					
E.4 Building Electrical System	Type			Score	Comments/Remarks
E.4_Incoming Service	Size			4.00	2000A, 208/120V, HPS 2000A MAIN. GE Spectra, GE 8000 MCC...
E.4_Incoming Service	Condition				
E.4_Incoming Service	Generator			1.00	None.
	Incoming Service	Subtotal		2.50	
E.4_Distribution				3.00	Dome Old Hall Panels, Balance.
E.4_Smoke Detection				3.00	None in RR, SD in boiler room.
E.4_Fire Alarm System	Annunciator Panel			5.00	
E.4_Fire Alarm System	Fire Alarm Devices			5.00	Simplex 4010 ES, H/S in RR.
	Fire Alarm System	Subtotal		5.00	
ELECTRICAL SYSTEM E.4 Building Electrical System			Total	3.38	
E.5 Building Lighting	Type			Score	Comments/Remarks
E.5_Interior Lighting	Administration				
E.5_Interior Lighting	Corridors/Common			5.00	2x2 Flat Panel LED.
E.5_Interior Lighting	Classrooms/Science			3.00	2 Lamp Wrap., No dim, No Occ.
E.5_Interior Lighting	Art/Music/Auditorium				
E.5_Interior Lighting	Gymnasium/Natatorium			4.00	4 lamp ind. FL.
E.5_Interior Lighting	Cafetaria/Kitchen			3.00	2 lamp pris. Acry. FL.
E.5_Interior Lighting	Restrooms				
	Interior Lighting	Subtotal		3.75	
E.5_Exterior Lighting	Building Entries			4.00	
E.5_Exterior Lighting	Parking Lots/Drives			2.00	None or minor.
E.5_Exterior Lighting	Athletic/Play Fields			1.00	None.
	Exterior Lighting	Subtotal		2.33	
ELECTRICAL SYSTEM E.4 Building Electrical System E.5 Building Lighti			Total	3.04	

# Condition Assessments

Edgewood Elementary School Plumbing System

SUMMARY OF ENTIRE PLUMBING SYSTEM					
Category		Subscore	Areas	Score	General Comments
E.1 Building Plumbing System		2.40	1	2.40	

PLUMBING SYSTEM					
E.1 Building Plumbing System	Type			Score	Comments/Remarks
E.1_Plumbing Fixtures	Water Closets			3.00	
E.1_Plumbing Fixtures	Lavatories			3.00	
E.1_Plumbing Fixtures	Drinking Fountains			3.00	1 old to 1 new.
E.1_Plumbing Fixtures	Showers			2.00	None, assumed not needed.
E.1_Plumbing Fixtures	Dishwashing				
	Plumbing Fixtures	Subtotal		2.75	
E.1_Central Equipment	Hot Water Heating			2.00	Old boiler.
E.1_Central Equipment	Water Softener			1.00	None.
E.1_Central Equipment	Pumps			2.00	Recirc pump motor failed while we were there.
	Central Equipment	Subtotal		1.67	
E.1_Water_Service	City			3.00	
E.1_Water Service	Domestic Piping			3.00	
	Water Service	Subtotal		3.00	
E.1_Sewage_System	City			3.00	
E.1_Sewage System	Piping			3.00	
	Sewage System	Subtotal		3.00	
E.1_Gas Service				3.00	
E.1_Fire Suppression				1.00	None.
PLUMBING SYSTEM E.1 Building Plumbing System			Total	2.40	

# Condition Assessments

## Edgewood Elementary School Technology

SUMMARY OF ALL TECHNOLOGY					
Category		Subscore	Areas	Score	General Comments
E.6 Building Technology		3.78	1	3.78	

TECHNOLOGY					
E.6 Building Technology	Type			Score	Comments/Remarks
E.6_Data Distribution	Incoming			5.00	12 ST SM fiber. MM to IDF.
E.6_Data Distribution	Cable Type			3.00	CAT 5 to stations.
E.6_Data Distribution	Fiber				
E.6_Data Distribution	Wireless			5.00	Ruckus - every other classroom.
	Data Distribution		Subtotal	4.33	
E.6_Classroom Technology	Teacher				
E.6_Classroom Technology	Monitors				
E.6_Classroom Technology	Smartboards			4.00	Promethian board, docking station. Phonak 5000 classroom so...
E.6_Classroom Technology	Projection				
	Data Distribution		Subtotal	4.00	
E.6_Communications	Intercom/PA			3.00	Call-in switch, Rauland Speaker Rowland SW 25.
E.6_Sound Systems	Gymnasium/Natatorium			3.00	
E.6_Sound Systems	S.R.				
	Sound Systems		Subtotal	3.00	
TECHNOLOGY E.6 Building Technology			Total	3.78	

# Condition Assessments

## Edgewood Elementary School Building Systems Summary

### Mechanical:

#### Heating plant

- Building comfort heating is provided by several gas-fired boilers which appear and were reported to be in relatively good operating condition. Manufactured in 2017.
  - o Currently, there are no reported issues or concerns for the continued use of these boilers; therefore, it is reasonable to expect successful continued use of the existing heating system until symptoms providing a reason for replacement manifest.
- Building heating hot water circulation is provided by three primary in line pumps dedicated to each boiler and two secondary end-suction pumps.
- There are several spaces throughout the building that utilize hydronic radiant floor systems.

#### Cooling plant:

- Building comfort cooling is provided by an outdoor air-cooled chiller with local ice storage bins. Both the chiller and ice storage bins appear to be in poor working condition.
  - o The ice storage bins were reported to never have been utilized in the normal chilled water plant cycle.
- Building chilled water circulation is provided by one primary and one secondary end-suction pump.

#### Air-Handler Plants and Systems:

- There is one existing constant-speed air-handler, inside the building envelope that was added during the 1996 renovation.
  - o The air-handler appeared in poor condition and was reported in need of replacement.
- There is one existing variable air volume (VAV) air-handling unit, inside the building envelope that was added during the 1996 renovation. This includes several terminal units.
  - o The air-handler, associated terminal units and controls appeared in poor condition.

- Each classroom in the building is equipped with a unit ventilator unit that provides conditioned air to the space. These UV were added during the 1996 renovation project.
- The administration area is served by three existing fan coil units that were added during the 1996 renovation project.

#### Building Temperature Control System:

- The building's temperature control system is managed by Johnson Controls. The existing system looks old but is reported to be in decent condition.

#### Priority Items:

- The existing unit ventilators in all classrooms will be removed and replaced with new vertical unit ventilators (VUV). New relief air ventilators shall be provided on the roof to allow for adequate relief air to escape the classrooms or a barometric relief damper option should be provided on each VUV.
- For budget consideration, include 19 vertical unit ventilators and 76 ceiling mounted supply-air diffusers with flexible duct connectors and 19 ceiling mounted relief-air grilles.
- The one existing constant volume air handler shall be removed and replaced.
- The one existing VAV air handler shall be removed and replaced along with the existing VAV boxes.
- All existing cabinet unit heaters, exhaust fans, etc. shall be removed and replaced.
- For budget consideration, include 11 cabinet unit heaters.
- For budget consideration, include 14 exhaust fans and 30 ceiling mounted exhaust-air grilles.
- The existing chiller and ice storage bins should be removed and replaced with a correctly sized air-cooled chiller to accommodate the additional load the ice storage bins should have handled. The existing chilled water pumps should be removed and replaced.
- The existing temperature controls throughout the entire building should be removed and replaced.



# Condition Assessments

## Edgewood Elementary School Interior Floorplan

- The domestic system is served by a gas fired boiler. The boiler looked to be in poor condition. There is no water softener.
- The existing domestic, sanitary and vent piping throughout the building look to be in fair condition and were reported to be in relatively good to fair operating condition.
- Several restrooms throughout the building are not ADA compliant and are in fair to poor physical condition.

### Priority Items:

- a. The boiler should be removed and replace with a new water heater (tank or tankless unit). A water softener should be added to the domestic system.
- b. All drinking fountains in area being renovated shall be replaced and upgraded to current ADA compliant standards. The existing domestic water, sanity and vent connections shall be reused.
- c. In all restroom’s fixtures, faucets, flush valves in areas being renovated shall be replaced and upgrade to current ADA compliant standards. The existing domestic water, sanity and vent connections shall be reused.

### Fire protection:

- A fire sprinkler system does not exist in this building.

### Electrical:

#### Electrical Distribution System

- The original GE 2000 amp, 208Y/120V switchboard appears to be in good condition. The capacity may be an issue with increased chiller requirements for any mechanical improvements.

### Fire Alarm

- The existing Simplex 4010ES panel is in good condition. Due to a lack of sprinklers in the building, the facility should have full smoke detector coverage, but does not. Either sprinklers should be provided, or the fire alarm system should be upgraded in any future remodeling.

### Lighting

- Lighting in common spaces includes flat panel LED. Classrooms consist of surface mounted fluorescent wrap fixtures on metal acoustic deck. The classroom lighting does not have dimming capabilities nor are occupancy sensors installed to turn off lighting when the room is not in use.

### Priority Items:

- a. Fire alarm should be updated if fire sprinklers are not planned to be installed.

### Technology:

#### Data Cabling and Distribution

- Building has single mode fiber from administration data center. Most cabling is Category 5. Building has Ruckus wireless access points, one for every two classrooms per district IT standard.

#### Teaching technology Equipment

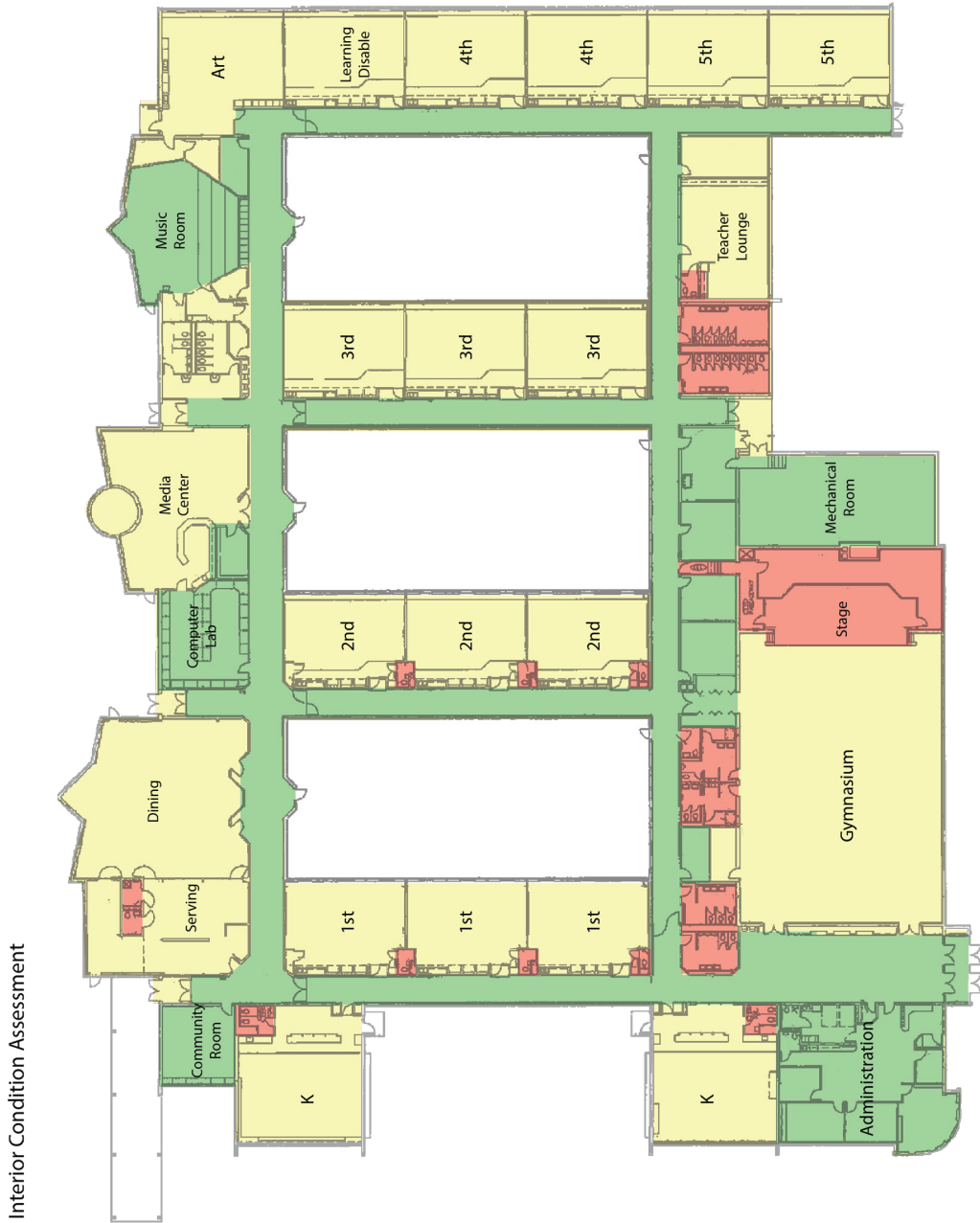
- Classrooms include both Promethean interactive touchscreen monitors for the lower grades as well as 65” Samsung monitors for the upper grade levels. Existing equipment is in good condition.

#### Paging / intercom Equipment

- Existing paging / intercom system is an older Rauland paging system that is obsolete and should be replaced. It is possible that the existing speakers and wiring may be reused depending on existing condition review with Owner.

### Priority Items:

- a. Replace paging / intercom head-end equipment.



Edgewood Elementary School - Interior Condition Assessment

Condition Assessments

Edgewood Elementary School Preliminary Cost Estimate

Bid Sort 2	System L1	System L2	Description	Takeoff Quantity	Grand Total Price	Grand Total Amount
			Conceptual Estimate			
			Construction Cost			
10			Building			
	B2000		Exterior Enclosure			
		B20 0792	Exterior Sealants	2,000 lf	30.25 /lf	60,500
		B20 4222	Ext Wall Finish, Brick, Clean & Tuckpoint	37,000 sf	5.78 /sf	214,000
		B20 7242	Ext Wall Finish, EIFS, Paint	10,000 sf	3.01 /sf	30,129
		B20 7422	Ext Wall Finish, Metal Panels, Clean	8,000 sf	2.12 /sf	16,940
		B20 8102	Exterior Doors, Replace HM/HM	4 leaf	2,363.96 /leaf	9,456
		B20 8422	Aluminum Door Hardware Replacement	37 leaf	2,834.78 /leaf	104,887
		B20 8742	Automatic Door Operators	6 ea	20,731.72 /ea	124,390
			B2000 Exterior Enclosure	60,439 sf	9.27 /sf	560,302
	B3000		Roofing			
		B30 7552	Membrane Roofing, Remove/Replace to Deck	62,000 sf	33.45 /sf	2,073,864
			B3000 Roofing	60,439 sf	34.31 /sf	2,073,864
	Z1012		Functional Area Costs			
		xRHRR	Renovation, Heavy, Restrooms	2,650 sf	930.33 /sf	2,465,375
		xRHStg	Renovation, Heavy, Stage	1,900 sf	381.15 /sf	724,185
		xRLCorr	Renovation, Light, Corridor	11,400 sf	181.50 /sf	2,069,100
		xRLCr	Renovation, Light, Classrooms	2,200 sf	105.88 /sf	232,925
		xRLOff	Renovation, Light, Office	2,800 sf	90.75 /sf	254,100
		xRLStor	Renovation, Light, Storage	3,600 sf	113.44 /sf	408,375
		xRLVest	Renovation, Light, Vestibule	250 sf	136.13 /sf	34,031
		xRMCafe	Renovation, Medium, Cafeteria	2,400 sf	363.00 /sf	871,200
		xRMCr	Renovation, Medium, Classrooms	19,400 sf	211.75 /sf	4,107,950
		xRMGym	Renovation, Medium, Gym	5,300 sf	242.00 /sf	1,282,600
		xRMKit	Renovation, Medium, Kitchen	1,300 sf	266.20 /sf	346,060
		xRMLng	Renovation, Medium, Lounge	1,000 sf	169.40 /sf	169,400
		xRMMedC	Renovaiton, Medium, Media Center	1,900 sf	242.00 /sf	459,800
		xRMRec	Renovation, Medium, Receiving	200 sf	151.25 /sf	30,250
		xRMRR	Renovation, Medium, Restrooms	600 sf	644.93 /sf	386,958
		xRMStor	Renovation, Medium, Storage	900 sf	226.88 /sf	204,188
		xRMVest	Renovation, Medium, Vestibule	250 sf	272.25 /sf	68,063
			Z1012 Functional Area Costs	60,439 sf	233.53 /sf	14,114,559
			10 Building	60,439 sf	277.12 /sf	16,748,725
20			Site			
	G2000		Exterior Improvements			
		G20 1012	Asphalt, Replace, Northeast Lot	840 sy	59.95 /sy	50,360
		G20 1014	Asphalt, Replace, East Lot	950 sy	59.89 /sy	56,898
		G20 1016	Asphalt, Replace, Southeast Lot	1,030 sy	59.81 /sy	61,607
		G20 1018	Asphalt, Replace, South Courtyard	470 sy	60.60 /sy	28,483
		G20 1052	Asphalt Mill/Resurface, Near Bus Drop	1,000 sy	21.82 /sy	21,819
		G20 1054	Asphalt Mill/Resurface, Southwest	400 sy	23.14 /sy	9,258
		G20 2102	Concrete Sidewalks, Mow Strip	2,300 sf	22.22 /sf	51,096
		G20 2104	Concrete Sidewalks, Replace Along Roadway	5,500 sf	18.29 /sf	100,568

Condition Assessments

Joy Elementary School

Condition Assessments

Joy Elementary School Summary

Michigan City Area Schools	
Building:	Joy Elementary School
Building Area:	66,717
Site Acreage:	27.05
Enrollment Capacity:	
Current Enrollment:	460
Construction	Construction Type
1960s	Original Construction
See Bldg. Area Plan	Additions and Renovations

Condition Assessment Legend	
Building Scoring Matrix	Category Scoring Matrix
100: Excellent	5: No Work Needed
99 - 80: Good	4: Minor Work Needed
79 - 60: Average	3: Moderate Work Needed
59 - 40: Fair	2: Major Work Needed
Below 40: Poor	1: None/Replacement Needed

Condition Assessment	Score
<b>A SITE CIRCULATION AND AMENITIES</b>	
A.1 Separation/Drop-off/Stacking	3.25
A.2 Drives/Lots and Walks	2.25
A.3 Site Improvements	3.30
<b>B SAFETY AND SECURITY</b>	
B.1 Secure Building Access	2.50
B.2 Surveillance/Cameras	4.00
<b>C BUILDING ENVELOPE</b>	
C.1 Building Roof	4.89
C.2 Exterior Building Walls	3.50
C.3 Exterior Doors/Windows	4.00
<b>D BUILDING INTERIOR ENVIRONMENT</b>	
D.1 ADA/Accessibility	1.82
D.2 Floors	3.06
D.3 Walls	3.16
D.4 Ceilings	3.02
D.5 Doors/Borrowed Lites	3.00
D.6 Fixed Equipment	2.82
<b>E BUILDING SYSTEMS</b>	
E.1 Building Plumbing System	2.42
E.2 Building HVAC System	2.06
E.3 Building Temperature Controls	4.00
E.4 Building Electrical System	3.42
E.5 Building Lighting	3.54
E.6 Building Technology	3.78
<b>CONDITION ASSESSMENT AVERAGE SCORE</b>	<b>3.19</b>
<b>CONDITION ASSESSMENT GRADE</b>	<b>63.78</b>

Condition Assessments

Joy Elementary School Expanded Summary

Michigan City Area Schools	
Building:	Joy Elementary School
Building Area:	66,717
Site Acreage:	27.05
Enrollment Capacity:	
Current Enrollment:	460
Construction	Construction Type
1960s	Original Construction
See Bldg. Area Plan	Additions and Renovations

Condition Assessment Legend	
Building Scoring Matrix	Category Scoring Matrix
100: Excellent	5: No Work Needed
99 - 80: Good	4: Minor Work Needed
79 - 60: Average	3: Moderate Work Needed
59 - 40: Fair	2: Major Work Needed
Below 40: Poor	1: None/Replacement Needed

Condition Assessment	Score
<b>A SITE CIRCULATION AND AMENITIES</b>	
A.1 Separation/Drop-off/Stacking	3.25
A.2 Drives/Lots and Walks	2.25
A.3 Site Improvements	3.30
<b>B SAFETY AND SECURITY</b>	
B.1 Secure Building Access	2.50
B.2 Surveillance/Cameras	4.00
<b>C BUILDING ENVELOPE</b>	
C.1 Building Roof	4.89
C.2 Exterior Building Walls	3.50
C.3 Exterior Doors/Windows	4.00
<b>D BUILDING INTERIOR ENVIRONMENT</b>	
D.1 ADA/Accessibility	1.82
Administration	1.63
Corridors/Common	2.58
Classrooms/Science	2.00
Art/Music/Auditorium	2.00
Gymnasium/Natorium	1.50
Cafeteria/Kitchen	2.00
Restrooms/Locker Rooms	1.00
D.2 Floors	3.06
Administration	2.83
Corridors/Common	3.18
Classrooms/Science	2.90
Art/Music/Auditorium	3.00
Gymnasium/Natorium	3.50
Cafeteria/Kitchen	3.75
Restrooms/Locker Rooms	2.25
D.3 Walls	3.16
Administration	2.75
Corridors/Common	2.48
Classrooms/Science	3.28
Art/Music/Auditorium	3.50
Gymnasium/Natorium	3.75
Cafeteria/Kitchen	3.00
Restrooms/Locker Rooms	3.38
D.4 Ceilings	3.02
Administration	3.50
Corridors/Common	2.69
Classrooms/Science	2.53
Art/Music/Auditorium	3.15
Gymnasium/Natorium	3.75
Cafeteria/Kitchen	3.40
Restrooms/Locker Rooms	2.13
D.5 Doors/Borrowed Lites	3.00
Administration	3.00
Corridors/Common	3.00
Classrooms/Science	3.00
Art/Music/Auditorium	3.00
Gymnasium/Natorium	3.00
Cafeteria/Kitchen	3.00
Restrooms/Locker Rooms	3.00
D.6 Fixed Equipment	2.82
Administration	3.08
Corridors/Common	3.00
Classrooms/Science	2.93
Art/Music/Auditorium	3.45
Gymnasium/Natorium	3.31
Cafeteria/Kitchen	1.67
Restrooms/Locker Rooms	2.32
<b>E BUILDING SYSTEMS</b>	
E.1 Building Plumbing System	2.42
E.2 Building HVAC System	2.06
E.3 Building Temperature Controls	4.00
E.4 Building Electrical System	3.42
E.5 Building Lighting	3.54
E.6 Building Technology	3.78
<b>CONDITION ASSESSMENT AVERAGE SCORE</b>	<b>3.19</b>
<b>CONDITION ASSESSMENT GRADE</b>	<b>63.78</b>

# Condition Assessments

## Joy Elementary School Code Analysis

### Code Analysis:

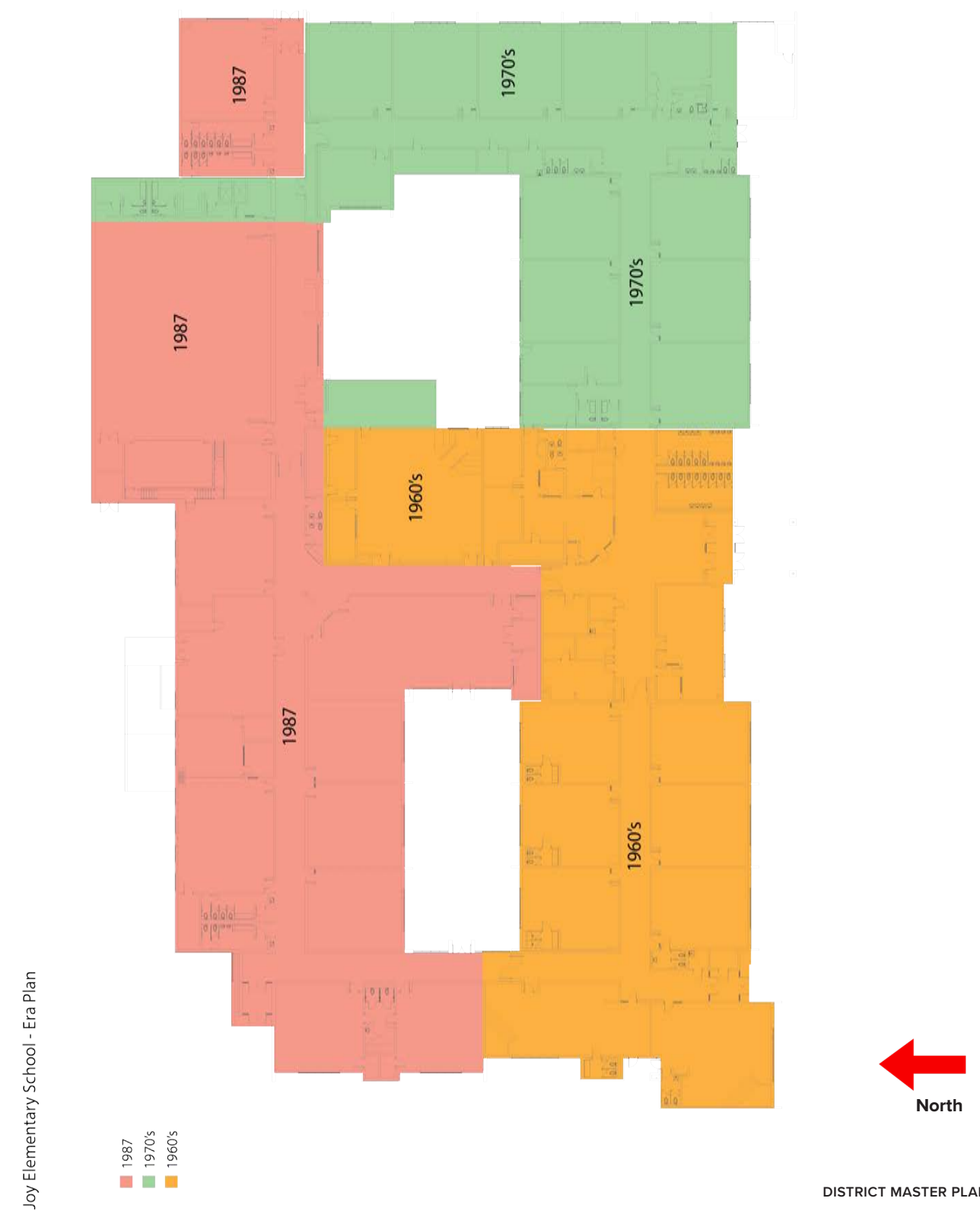
- The Building Occupancy is Group E – Educational.
  - o Allowable area per code is 14,500 SF. No sprinkler increase. Frontage increase possible dependent on public way or open space at perimeter of building.
  - o The overall square footage is 66,717 SF. The existing building is divided into four areas by 2-hour separation walls.
- The Building Type of Construction is Type II-B Unprotected Non-Combustible.
  - o Original construction assumed to be in 1961.
  - o Addition construction assumed to be in the 1970s.
  - o Known addition and renovation construction in 1987.
  - o Based on the 1985 Edition of the Uniform Building Code – Indiana Edition.
  - o Mechanical renovations in 2005.
- The existing Building is NOT equipped with a fire suppression system throughout.

### Priority Items:

a. NOTE: All non-compliant building code items are grandfathered, however, if any item or area is renovated, new work is required to meet current building code.

# Condition Assessments

## Joy Elementary School Era Floorplan





# Condition Assessments

Joy Elementary School Site

SUMMARY OF ENTIRE SITE					
Category		Subscore	Regions	Score	General Comments
A.1 Separation/Drop-off/Stacking		3.25	1	3.25	
A.2 Drives/Lots and Walks		2.25	1	2.25	
A.3 Site Improvements		3.30	1	3.30	

SITE					
A.1 Separation/Drop-off/Stacking					
A.1 Identifiable Main Entry				Score	Comments/Remarks
A.1 Identifiable Main Entry				4.00	Entrance is evident. Additional signage to avoid confusion at W...
A.1 ADA Accessibility	Type	Compliant		Score	Comments/Remarks
A.1 ADA Accessibility	Route	TRUE		4.00	Routes are present, curb cut could use improvement.
A.1 ADA Accessibility	Door	TRUE		4.00	Door hardware replacement would be an improvement.
A.1 Parking Space Allocation	Type	Compliant	Quantity	Score	Comments/Remarks
A.1 Parking Space Allocation	Visitor		20.00	5.00	No visitor parking requirement.
A.1 Parking Space Allocation	Staff		52.00	5.00	48 employees. Requirement is 1 space for each employee.
A.1 Parking Space Allocation	Accessible	FALSE	3.00	3.00	2 for visitor and 1 for staff. Requirement is 1 per 25 or 2% whe...
A.1 Site Circulation	Type			Score	Comments/Remarks
A.1 Emergency/Fire Service Access				4.00	
A.1 Bus/Vehicular	Separation			2.00	
A.1 Bus/Vehicular	Signage			2.00	Separation is not ideal and overlaps.
A.1 Bus Drop-off/Pick-up	Route Clarity/Safety			2.00	Route is clear for buses but creates overlap and confusion for c...
A.1 Bus Drop-off/Pick-up	Adequate Stacking			4.00	Minimal but assumed to be close to adequate.
A.1 Car Drop-off/Pick-up	Pedestrian Safety			1.00	Multiple lanes and overlap of bus/car results in reduced safety...
A.1 Car Drop-off/Pick-up	Adequate Stacking			2.00	Multiple lanes needed.
A.1 Car Drop-off/Pick-up	Traffic Pattern			2.00	Enters through a constrained drive and overlaps bus drop-off/g...
A.1 Delivery Routing	Separation			4.00	Accessed through Transportation lot.
A.1 Delivery Routing	Loading Dock			4.00	
SITE A.1 Separation/Drop-off/Stacking				Total	3.25
A.2 Drives/Lots and Walks	Type	%	Subscore	Score	Comments/Remarks
A.2 Sidewalks	Concrete	100	3.00	3.00	Sidewalks are multiple generations of pours. In general good co...
A.2 Sidewalks					
A.2 Sidewalks					
		Sidewalks	Subtotal	3.00	
A.2 Drives	Asphalt	100	1.00	1.00	Drives need resurfacing. Drive to the SE and connection to S pa...
A.2 Drives					
A.2 Drives					
		Drives	Subtotal	1.00	
A.2 Parking_Lots	Asphalt	100	2.00	2.00	E parking lot is modified concrete/asphalt of old playground ar...
A.2 Parking_Lots					
A.2 Parking_Lots					
		Parking Lots	Subtotal	2.00	
A.2 Drives/Parking Lots	Traffic Markings/Striping			3.00	Traffic markings need improvement. Striping is appearant but i...
SITE A.2 Drives/Lots and Walks				Total	2.25
A.3 Site Improvements	Type			Score	Comments/Remarks
A.3 Playground(s)	Accessibility			4.00	
A.3 Playground(s)	Equipment			4.00	Most equipment appears newer, only a few older elements.
A.3 Playground(s)	Surface			3.00	Play surfaces are good. Basketball courts need seal coating/res...
A.3 Playground(s)	Size			3.00	Allotted size is smaller than other ES. Divided playgrounds, ass...
		Playground(s)	Subtotal	3.50	
A.3 Landscaping	Trees			3.00	Trees near E playground need maintenence and removal of dea...
A.3 Landscaping	Landscaping			2.00	No soft landscaping observed. Mow strip in lieu of dirt at perim...
		Landscaping	Subtotal	2.50	
A.3 Site Drainage	Flood Points			4.00	Assumed to be reliant on public storm system.
A.3 Athletic Fields	Support Buildings				N/A
A.3 Athletic Fields	Bleachers/Stadium Seating				N/A
A.3 Athletic Fields	Athletic/Stadium Lighting				N/A
A.3 Athletic Fields	Athletic/Stadium Paving				N/A
A.3 Athletic Fields	Fencing/Gates				N/A
A.3 Athletic Fields	Field Conditions				N/A
A.3 Athletic Fields	Scoreboards				N/A
		Athletic Fields	Subtotal		
A.3 Site Security	Site Lines			3.00	Passive surveillance is blocked by building only providing proxim...
A.3 Site Security	Gated/Not Gated			2.00	Additional gates for E parking lot and bus entrance would be a...
		Site Security	Subtotal	2.50	
A.3 Fencing	Site			4.00	Much of the site is strategically fenced to discourage undesired...
A.3 Fencing	Playground(s)			4.00	Playgrounds are well divided from public for safety, minor imp...
		Fencing	Subtotal	4.00	
SITE A.3 Site Improvements				Total	3.30

# Condition Assessments

Joy Elementary School Site Summary

## Site Circulation and Amenities

### ADA Building Access:

• Accessible parking spots are provided with two in the south parking lot and one in the west parking lot. The south parking lot is connected to the main entrance which has an automatic door operator. The west parking lot is connected to the northwest or southwest entrance doors, neither of which have automatic door operators.

### Priority Items:

a. The provided accessible parking spots are minimal in quantity and do not provide proper clearances. Accessible parking spots should be reallocated with proper clearances.

b. While curb cuts do exist, each curb cut needs modification and improvement to ensure proper ADA compliance.

c. All building entrance doors except for the newer southwest entrance door should receive new fully ADA compliant door hardware. If either the northwest or southwest entrance doors are meant to be accessible entrance points, consideration should be given to adding automatic door operators.

## Drives, Parking, and Sidewalks:

• The site contains multiple parking lots with associated drives and drop-off/pick-up locations. One small parking lot with associated drop-off/pick-up location is located to the west of the building and is assumed to be parent drop-off/pick-up for lower grades. The parking lot to the south of the building is subdivided into two parking lots with the portion nearest the main entrance assumed to be utilized for bus drop-off/pick-up. The other portion further to the east is assumed to be utilized for parent drop-off/pick-up of upper grades. This portion of parking lot also has an entrance to another parking lot to the east of the building assumed to be utilized for staff parking. The south parking lots are access by one drive to the far east, one drive in the middle, and one drive to the far west. The middle drive is assumed to have an overlap of bus and vehicular traffic. All parking lots are connected by a system of sidewalks that are well organized throughout the site.

• The maintenance and loading dock are located to the north of the building and are accessed through the gated transportation center lot.

### Priority Items:

a. South parking lots with associated drives are in poor condition and need resurfacing. East parking lot is a combination of concrete/asphalt due to additional parking being added; resurfacing and reconfiguring necessary. West parking lot needs to be seal coated/resurfaced. Striping and traffic markings will need to be redone following these efforts.

b. South parking lots with associated drives would benefit from reconfiguring to better separate bus and vehicular traffic and maximize stacking capacity. At a minimum, improved directional signage along streets and at entrances are needed.

c. Maintenance and loading dock access would benefit from being separated from the transportation center. If the transportation center is relocated, rebuilt, or renovated, returning a dedicated drive along the north side of the building would be beneficial.

d. Sidewalks throughout the site are from multiple generations of pours but are generally in good condition. Minimal replacement needed.

e. Gates at entry drive and east parking lot entrance would increase safety and security throughout the site.

## Landscaping/Site Elements:

• The site is a good mixture of green space, mature trees, and pops of landscaped areas. Most green space is located to the northeast of the building. The mature trees are primary located to the east with a few along the south and west roads with a few close to the west elevation of the building and within the courtyards. The pops of landscaped areas are generally located along the south elevation of the building and near the building sign.

• The building contains two landscaped courtyards.

### Priority Items:

a. The green space to the northeast of the building could be programed to increase usability, refer to the Playground section for additional notes.

b. The mature trees along the east of the site need to be maintained, trimmed, and dead removed. The mature trees along the west elevation and within the courtyard need to be considered for any damage to infrastructure that the roots may cause. Removal of these trees should be considered.

# Condition Assessments

## Joy Elementary School Safety and Security

c. The west and east elevations of the building should receive mow strips or landscape areas against the building.

d. The building sign is outdated and could be replaced with newer signage such as a combination digital sign.

e. The east courtyard is overgrown and in need of a refresh. The gazebo dates to the 1987 renovation and is likely in need of replacement. The west courtyard has been refreshed; however, the sprinkler system needs adjusting to ensure spray against the building or through the access doors is minimized or eliminated.

f. Perimeter site fencing needs select maintenance and repair.

### Playground:

- Two separate playgrounds divided dependent on age level. The playground situated on the west of the site is dedicated to lower grades with direct connection to associated classrooms. The playground and basketball court situated on the east of the site is dedicated to upper grades with an unsecure parking lot between the building and the playground. Access from northeast doors and sidewalk to the north of described parking lot.
- Playground equipment appears to generally be newer and in condition with a few older pieces of equipment. The surface of the playgrounds is in good condition and provides accessibility.

### Priority Items:

- a. Fencing at the east playground and basketball court needs repair/replacement. This would also provide an opportunity to reconfigure the fencing to provide better security for the students.
- b. Replacement of any older playground equipment is recommended such as the swing set within the east playground.
- c. The basketball court needs to be seal coated/resurfaced.
- d. Playground size and variety of options could be increased by programming of green space north of the east playground.
- e. The playground surfaces should be evaluated for any locations that hold water. It appears that there may be a few improperly graded areas that could be improved.

SUMMARY OF ALL SAFETY AND SECURITY					
Category		Subscore	Areas	Score	General Comments
B.1 Secure Building Access		2.50	1	2.50	
B.2 Surveillance/Cameras		4.00	1	4.00	

SAFETY AND SECURITY					
B.1 Secure Building Access	Type			Score	Comments/Remarks
B.1_Card/Code/FOBS				5.00	
B.1_Secure_Vestibule	No Admin Connection			1.00	Exists but separated.
B.1_Secure_Technology	AI Voice/Door Release			3.00	AI voice, No camera on entry
B.1_Security Officer Station(s)				1.00	
SAFETY AND SECURITY B.1 Secure Building Access			Total	2.50	
B.2 Surveillance/Cameras				Score	Comments/Remarks
B.2_Video Surveillance				4.00	E.V.
B.2_Intrusion Detection					
SAFETY AND SECURITY B.2 Surveillance/Cameras			Total	4.00	

### Safety and Security

#### Secure Visitor Access:

- The existing building has secure vestibule remotely located from the administration area. The secure vestibule is accessed via intercom/door release system or fob/door release system with surveillance camera mounted separately overhead. Select additional entrances around building have fob/code entry pad systems with all entrances having key access. Once inside the school, no secure area to restrict access is present.
- No security glazing or security film is understood to be present. Security glazing techniques range greatly, all with the goal of increasing time to seek safety and allow proper response.

### Priority Items:

- a. Secure Entrance Improvement project recommended. The scope of work would be determined based on budget and Owner direction but could vary from a relocation of necessary administrative functions to location adjacent and west of existing main entrance to a new administration addition to the south of the existing main entrance.
- b. Security glazing/security film at existing or new main entrance is recommended. Inclusion at all building entrances and windows would increase security.
- c. Upgrade to intercom/door release system to include video is recommended.
- d. Expansion of the fob/door release system with surveillance monitoring at all necessary entrances is recommended.

# Condition Assessments

## Joy Elementary School Building Envelope

SUMMARY OF ENTIRE BUILDING ENVELOPE					
Category		Subscore	Areas/Regions	Score	General Comments
C.2 Exterior Building Walls		3.50	1	3.50	
C.3 Exterior Doors/Windows		4.00	1	4.00	

BUILDING ENVELOPE					
C.2 Exterior Building Walls	Type	%	Subscore	Score	Comments/Remarks
C.2_Masonry	Brick	80	3.50	2.80	Brick is generally in good condition, some cleaning and minor t
C.2_Finish_System	Exterior Insulation (EIFS)	20	3.50	0.70	EIFS in good condition, some areas in need of clean and paint.
<select or leave blank>					Mtl Flashing and Fascia in good condition.
<select or leave blank>					
BUILDING ENVELOPE C.2 Exterior Building Walls			Total	3.50	
C.3 Exterior Doors/Windows	Type	% or Qty.	Subscore	Score	Comments/Remarks
C.3_Aluminum	Window	91	4.00	3.75	Aluminum with thermal windows in good condition.
C.3_Aluminum	Storefront	6	4.00	0.25	Thermal.
<select or leave blank>					
<select or leave blank>					
	Exterior Windows		Subtotal	4.00	
C.3_Swinging	Aluminum	11	4.00	4.00	With thermal sidelites/glazing. Some hardware issues and wea
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
	Exterior Doors		Subtotal	4.00	
BUILDING ENVELOPE C.3 Exterior Doors/Windows			Total	4.00	

SUMMARY OF ALL ROOFS							
Category		Total Sq.Ft.	Subscore	Areas	Score		General Comments
C.1 Building Roof		73,000	4.89	1	4.89		

ROOF							
C.1 Building Roof	Type	Install Year	Square Feet	Subscore	Score	Warranty Exp.	Comments/Remarks
C.1_Membrane	EPDM	2020	65,000	5.00	4.45	2035	
	Manufacturer/Installer	Firestone					
C.1_Shingles	Asphalt	2020	8,000	4.00	0.44		
	Manufacturer/Installer						
<select or leave blank>							
	Manufacturer/Installer						
<select or leave blank>							
	Manufacturer/Installer						
ROOF C.1 Building Roof		Total Sq.Ft.	73,000	Total Score	4.89		

# Condition Assessments

## Joy Elementary School Building Envelope Summary

### Exterior Facades:

• The existing exterior facades are generally comprised of brick veneer from grade up to 7'-4" with EIFS above generally to a height of 10'-0" capped with an aluminum fascia at the roof edge. The gymnasium is comprised of brick veneer from grade/low roof up to 22'-10" with EIFS above to a height of 26'-0" with gable ends extending higher with the slope of the roof with aluminum gutters or roof edge. North educational spaces and cafeteria have full height brick from grade/low roof up to 14'-8" capped with an aluminum fascia at the roof edge.

• The existing exterior facades are visually in good condition. The brick veneer is due for cleaning and in need of minor tuckpointing maintenance needs. The EIFS has a few select areas of repair needed, needing general cleaning and repainting to ensure strength of the system remains intact. The aluminum fascia appears to be in good condition.

• The brick veneer columns and metal framed canopy system at the main entrance are in poor condition. The brick veneer columns have crumbling and missing bricks. The metal frame of the canopy is rusting, and weather faded.

• The aluminum windows are thermal windows and visually appear to be in good condition. Most windows are assumed to be original to the 1987 addition and renovation project which estimates the aluminum frames are in the last quarter of their expected lifespan of 45-60 years, and the glazing units have surpassed their expected lifespan of 20-25 years. Perimeter window sealant appears to be well maintained.

• The aluminum doors are thermal systems and visually appear to be in good condition. Age and lifespan information identical to aluminum windows listed above. Hollow metal frames and doors at gymnasium and loading dock were not assessed. Due to age and typical assessment findings, maintenance work or replacement expected.

### Priority Items:

- a. General maintenance of brick veneer including cleaning and tuckpointing.
- b. General maintenance of EIFS including select repairs, cleaning, and repainting of entire system.
- c. The main entrance brick veneer columns need to be rebuilt. The main entrance canopy needs repair and repainting. Alternatively, the main entrance could be replaced as part of a secure entrance improvement project.

### Roofs:

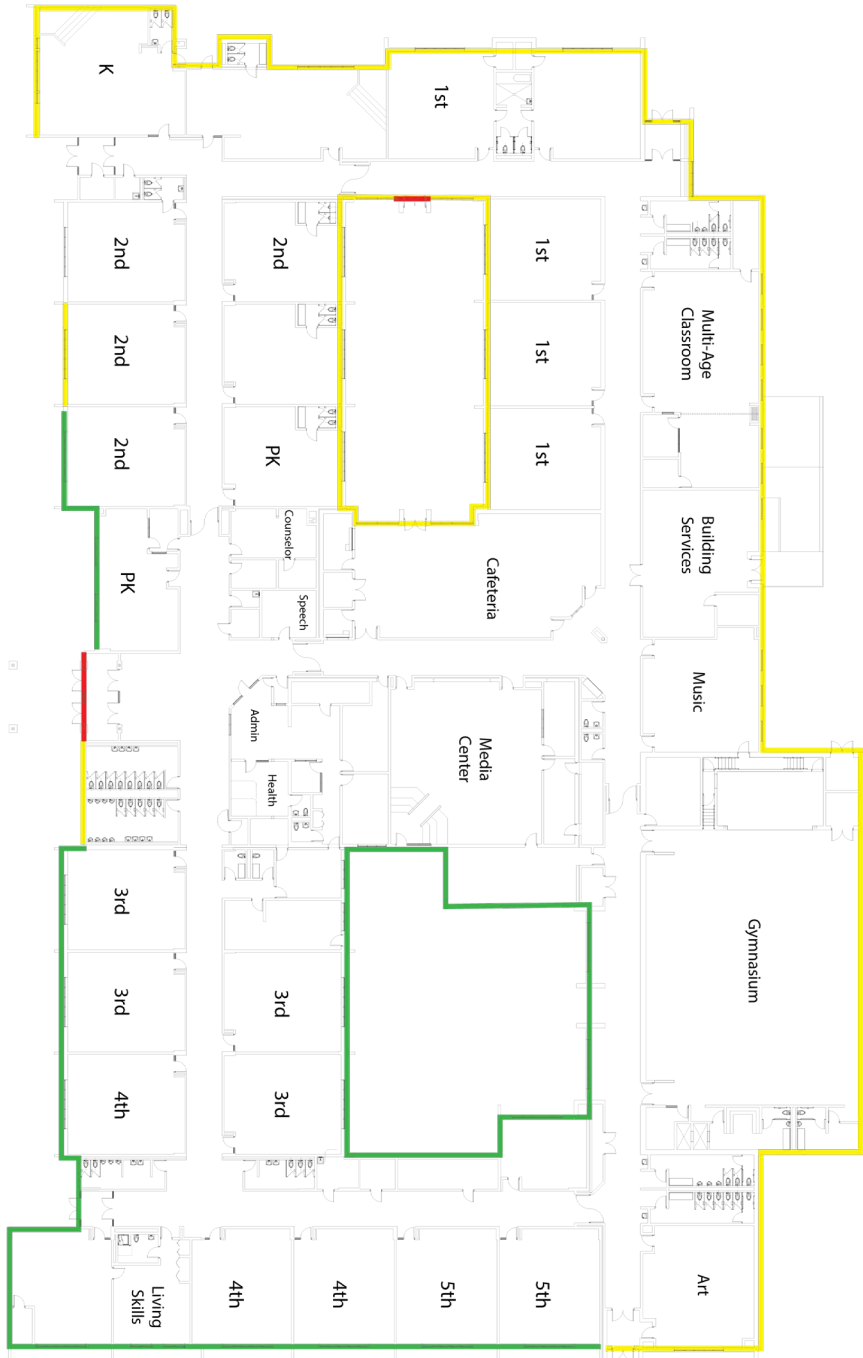
• The existing roof is comprised of two types of roofing. EPDM roof membrane manufactured by Firestone installed in 2020 comprises approximately 65,000 SF and is known to be under warranty until 2035. Asphalt shingles installed in 2020 comprise approximately 8,000 SF.

### Priority Items:

- a. None currently.

Condition Assessments

Joy Elementary School Exterior Floorplan



Joy Elementary School - Exterior Condition Assessment



Condition Assessments

Joy Elementary School Corridors/Commons

SUMMARY OF ALL CORRIDORS/COMMONS					
Category		Subscore	Areas	Score	General Comments
D.1 ADA/Accessibility		2.58	1	2.58	
D.2 Floor Finish		3.18	1	3.18	
D.3 Wall Finish		2.48	1	2.48	
D.4 Ceiling Finish		2.69	1	2.69	
D.5 Doors/Borrowed Lites		3.00	1	3.00	
D.6 Fixed Equipment		3.00	1	3.00	

CORRIDOR/COMMONS					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware/Clearances		FALSE		1.75	Knob hardware should be replaced with lever hardware.
D.1_Routing/Ramps		TRUE		4.00	One-story building.
D.1_Wayfinding Signage		FALSE		2.00	Directional signage is minimal to none. Directional signage would be helpful.
D.1_Elevator/Lift		FALSE		N/A.	
CORRIDOR/COMMONS D.1 ADA/Accessibility			Total	2.58	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Tile	Square	15	2.75	0.41	Tile at exterior doors could use replacement.
D.2_Carpet	Broadloom	85	3.25	2.76	Carpet is worn, could last a few years. Some in good to decent condition.
<select or leave blank>					
<select or leave blank>					
CORRIDOR/COMMONS D.2 Floor Finish			Total	3.18	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Wallcovering	90	2.50	2.25	Wallcovering areas aged and peeling. Replacement recommended.
D.3_Gypsum	Wallcovering	10	2.25	0.23	Carpet wallcovering is aged with many joints delaminating.
<select or leave blank>					
<select or leave blank>					
CORRIDOR/COMMONS D.3 Wall Finish			Total	2.48	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	75	2.75	2.06	Grid is decent with a few exceptions. Tiles have sag and misalignments.
D.4_Gypsum	Painted	10	3.25	0.33	Bulkheads are generally in good condition with a few exceptions.
D.4_Exposed	Painted	15	2.00	0.30	Metal ceilings need repaint.
<select or leave blank>					
CORRIDOR/COMMONS D.4 Ceiling Finish			Total	2.69	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Metal	Hollow	10	3.00	3.00	Repainting needed.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
CORRIDOR/COMMONS D.5 Doors/Borrowed Lites			Total	3.00	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Tackboard		100	3.00	3.00	Panels are aged and worn. Tackstrips are generally in decent condition.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>			Visual Display Boards	Subtotal	3.00
<select or leave blank>					N/A.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>			Casework/Countertops	Subtotal	
D.6_Lockers					N/A.
CORRIDOR/COMMONS D.6 Fixed Equipment			Total	3.00	



# Condition Assessments

Joy Elementary School Restrooms

SUMMARY OF ALL RESTROOMS					
Category	Subscore	Rooms/Areas	Score	General Comments	
D.1 ADA/Accessibility	1.00	1	1.00		
D.2 Floor Finish	2.25	1	2.25		
D.3 Wall Finish	3.38	1	3.38		
D.4 Ceiling Finish	2.13	1	2.13		
D.5 Doors/Borrowed Lites	3.00	1	3.00		
D.6 Fixed Equipment	2.32	1	2.32		

RESTROOM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware/Clearances		FALSE		1.00	
D.1_Room Signage		FALSE		1.00	
D.1_Stall Widths/Clearances		FALSE		1.00	
D.1_General ADA Clearances		FALSE		1.00	
RESTROOM D.1 ADA/Accessibility			Total	1.00	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Terrazzo		25	3.00	0.75	
D.2_Tile	Mosaic	75	2.00	1.50	
<select or leave blank>					
<select or leave blank>					
RESTROOM D.2 Floor Finish			Total	2.25	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Masonry	SGT	25	3.00	0.75	
D.3_Tile	Square	75	3.50	2.63	
<select or leave blank>					
<select or leave blank>					
RESTROOM D.3 Wall Finish			Total	3.38	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Exposed	Painted	25	2.50	0.63	
D.4_Suspended	Acoustic	75	2.00	1.50	
<select or leave blank>					
<select or leave blank>					
RESTROOM D.4 Ceiling Finish			Total	2.13	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	25	3.00	3.00	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
RESTROOM D.5 Doors/Borrowed Lites			Total	3.00	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
<select or leave blank>					N/A.
<select or leave blank>					
		Visual Display Boards	Subtotal		
D.6_Partitions	Metal/SS	75	1.00	0.75	
D.6_Toilet_Accessories	General	10	4.00	0.40	
D.6_Toilet_Accessories	Benches	5	2.00	0.10	
D.6_Toilet_Accessories	Showers	10	2.00	0.20	
		Partitions/Accessories	Subtotal	1.45	
D.6_Countertops	PLAM			2.25	
D.6_Lockers	Metal			3.25	
RESTROOM D.6 Fixed Equipment			Total	2.32	

# Condition Assessments

Joy Elementary School Classrooms

SUMMARY OF ALL CLASSROOMS					
Category	Subscore	Rooms/Areas	Score	General Comments	
D.1 ADA/Accessibility	2.00	1	2.00		
D.2 Floor Finish	2.90	1	2.90		
D.3 Wall Finish	3.28	1	3.28		
D.4 Ceiling Finish	2.53	1	2.53		
D.5 Doors/Borrowed Lites	3.00	1	3.00		
D.6 Fixed Equipment	2.93	1	2.93		

CLASSROOM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		FALSE		1.00	Knob hardware should be replaced with lever hardware.
D.1_Door Clearances		TRUE		4.00	
D.1_Room Signage		FALSE		1.00	Not compliant where present.
D.1_Casework Clearances/Hts.		FALSE		2.00	
CLASSROOM D.1 ADA/Accessibility			Total	2.00	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Carpet	Broadloom	80	2.75	2.20	Some have been replaced. Many approaching need to replace
D.2_Vinyl	VCT	20	3.50	0.70	Aged but generally decent condition.
<select or leave blank>					
<select or leave blank>					
CLASSROOM D.2 Floor Finish			Total	2.90	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Painted	10	3.50	0.35	
D.3_Gypsum	Wallcovering	90	3.25	2.93	Good to decent condition, refresh needed. Minor to moderate
<select or leave blank>					
<select or leave blank>					
CLASSROOM D.3 Wall Finish			Total	3.28	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Exposed	Painted	50	2.25	1.13	Metal ceilings need repaint.
D.4_Gypsum	Painted	15	3.50	0.53	Bulkheads are generally in good condition with a few exception
D.4_Suspended	Acoustic	35	2.50	0.88	Grid is decent with a few exceptions. Tiles have sag and misalign
<select or leave blank>					
CLASSROOM D.4 Ceiling Finish			Total	2.53	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	40	3.00	3.00	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
CLASSROOM D.5 Doors/Borrowed Lites			Total	3.00	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Chalkboard		50	3.75	1.88	Chalkboards are overall in good condition.
D.6_Markerboard		20	2.75	0.55	A few non-commercial grade marker boards have been added.
D.6_Tackboard		30	3.75	1.13	A few have been poorly painted.
		Visual Display Boards	Subtotal	3.55	
D.6_Casework	PLAM	70	3.25	2.28	Casework is aged and has wear. Most is fully functional, just co
D.6_Countertops	PLAM	30	3.25	0.98	Same as casework.
<select or leave blank>					
<select or leave blank>					
		Casework/Countertops	Subtotal	3.25	
D.6_Lockers	Wood			2.00	Most is decent condition but not desired and not compliant.
CLASSROOM D.6 Fixed Equipment			Total	2.93	

# Condition Assessments

## Joy Elementary School Interiors Environment Summary

**Stairs:**

- Existing building is single-story with no building stairs present.
- Existing stairs are limited to stage stairs or risers with media center and classrooms. See other sections for any needs noted.

**Priority Items:**

- a. None currently.

**Corridors:**

- Corridors are approximately 10'-0" wide throughout the building with recessed doorways exiting rooms. Double egress doors span across corridors at locations of existing 2-hour separation walls at five locations. Floor, wall, and ceiling finishes are mostly original to the 1987 renovation. While dated, these have been well maintained, however, the building is due for renovation throughout.

- Refer to Priority Item "a" under Code section for existing conditions. Existing corridors/classroom walls will need to be confirmed for appropriate fire resistive construction and continuity, due to lack of sprinkler system throughout building, if significant renovation efforts are undertaken.

- Wayfinding signage throughout the building is minimal to none. Room signage is generally present but not ADA compliant.

- Interior doors throughout the building are typically stained wood door in decent condition relative to age and use. Some indoor metal glazing stops need repainting. Door hardware throughout is not ADA compliant.

**Priority Items:**

- a. Existing corridor carpet could last a few years, if necessary. However, due to wear and age replacement throughout is recommended. Existing floor tile at building entrances needs repair/replacement.

- b. Existing corridor wall finishes are typically either carpet or wallcovering. Due to wear and age replacement throughout is recommended.

- c. Existing corridor ceiling finishes are typically either painted metal (generally near lobby), painted gypsum bulkheads (generally near door recesses), or suspended acoustic ceiling

system. Painted metal and painted gypsum areas are due for a repaint with gypsum bulkheads in better shape than the metal. Suspended acoustic ceiling system needs repair or replacement. Generally, the grid system is in ok to good condition and could be salvaged at many locations. Generally, the ceiling tiles are minorly to moderately sagging. Full replacement is recommended with 2x2 suspended acoustic ceiling system.

- d. Signage Upgrades project recommended to include new ADA compliant directional signage and room signage throughout the building.

- e. Interior doors to be salvaged and minimally refinished/repainted as needed. Existing non-compliant door hardware should be replaced with new compliant door hardware throughout the building.

**Classrooms:**

- Classrooms are approximately 875 – 925 SF throughout the building with swiveling coat/backpack storage and casework storage above along corridor wall, open-shelf casework along exterior wall, and visual display boards on interior classroom divider walls. Floor, wall, and ceiling finishes are mostly original to the 1987 renovation. While dated, these have been well maintained, however, the building is due for renovation throughout. Typical finishes are a combination of carpet and VCT flooring, wallcovering, and a combination of painted metal and painted bulkhead ceilings with select regions of classrooms with direct-applied ceiling tiles within the 1960s and 1970s areas and suspended acoustic ceiling systems within the 1987 addition areas. Refer to Restrooms section for additional notes.

- Refer to Priority Item "a" under Code section for existing conditions. Existing corridors/classroom walls will need to be confirmed for appropriate fire resistive construction and continuity, due to lack of sprinkler system throughout building, if significant renovation efforts are undertaken.

**Priority Items:**

- a. Existing classroom flooring including carpeting and VCT flooring could last a few years, if necessary. However, due to wear and age replacement throughout is recommended.

- b. Existing classroom wall finishes are due for replacement due to wear and age throughout the building.

- c. Existing classroom ceiling finishes are recommended for repainting/replacement. Existing painted metal locations, which make up most of the ceiling square footage in the 1960s and 1970s areas should be considered for receiving new suspended acoustic ceiling systems while also removing regions of direct-applied ceiling tiles with the same consideration given. Existing suspended acoustic ceiling systems, generally within the 1987 addition areas minimally need ceiling tile replacement with ceiling grid salvaging or full replacement with 2x2 suspended acoustic ceiling system.

- d. Existing classroom casework is mostly still fully functional, however, due to wear and age replacement throughout the building is recommended. Consideration for appropriate coat/backpack storage with increased ADA compliancy is potentially needed.

- e. Existing classroom visual display boards need consideration for appropriate functionality. Chalkboards are generally in good condition and salvageable if appropriate for educational needs. Markerboards are less common throughout with non-commercial grade markerboards added throughout the building; consideration for replacement of chalkboards with markerboards should be given. Most tackboards throughout the building are in decent to good condition with replacement needed at tackboards that have been poorly painted. See Technology section for existing integration of educational technology.

**Restrooms:**

- Single-hole and group restrooms throughout the building are not ADA compliant and are in poor physical condition generally with flooring refinishing/replacement needs, ceiling repainting/replacement needs, and restroom accessory replacement needs.

**Priority Items:**

- a. All restrooms need renovation with ADA upgrades throughout. Priority would be given to group restrooms located in four pairs/groupings throughout the building, followed by classroom connected restrooms located at eight locations typical two-hole restrooms throughout the building, followed by gymnasium connected restrooms and administrative restrooms comprising another four pairs/groupings of typical single-hole restrooms throughout the building.

- b. Alternatively, restrooms listed above could receive finish upgrades only but would remain not ADA compliant.

**Ancillary Spaces:**

- Existing art room is approximately 1,020 SF with no separate storage room or kiln. Storage casework surrounds the perimeter of the room with four sink locations and dedicated teaching wall. Floor, wall, and ceiling finishes are original to the 1987 renovation. While dated, these finishes have particularly been well maintained in the art room. Finishes include VCT flooring, wallcovering, and suspended acoustic ceiling system.

- Existing gymnasium is approximately 4,680 SF with locker rooms and storage spaces occupying another approximately 900 SF and a stage of approximately 700 SF which has direct access behind the stage to a classroom/music room of approximately 1,050 SF. Floor, wall, and ceiling finishes are original to the 1987 renovation. While dated, these finishes have been well maintained, however, the spaces are due for renovation work.

- Existing cafeteria is approximately 2,165 SF with associated kitchen functions occupying another approximately 290 SF. The combination of spaces is small relative to the building size and comparative district elementary schools. Floor, wall, and ceiling finishes are a mixture of original to the 1987 renovation and newer finishes assumed to be from maintenance. The cafeteria is in better condition than the kitchen. No designation serving line location exists leaving the assumption that the undersized kitchen sprawls out into the cafeteria space in a relatively makeshift solution.

- Existing media center and associated storage and workroom are approximately 2,600 SF. The space is in good condition with minor maintenance needs relative to floor, wall, and ceiling finishes and equipment condition.

- Existing administration area is approximately 3,125 SF. Floor, wall, and ceiling finishes are primarily original to the 1987 renovation. The carpet flooring throughout was identified as having significant wear. Wall and ceiling finishes are aged but in decent condition overall. Refer to Restrooms section for additional notes. The administration area is functionally lacking in current configuration but is also separated from the building's main entrance, refer to Secure Visitor Access section for additional notes.

- Refer to Priority Item "a" under Code section for existing conditions. Existing corridors/classroom walls will need to be confirmed for appropriate fire resistive construction and continuity, due to lack of sprinkler system throughout building, if significant renovation efforts are undertaken.

# Condition Assessments

## Joy Elementary School Art Rooms

Priority Items:

- a. Art room renovation needs will be heavily dependent on Owner educational needs with a focus on casework needs, storage needs, and whether a kiln is needed. If additional storage and/or kiln is needed, relocation of the art room function is likely. If deemed not necessary, existing art room renovation would including flooring, wall, and ceiling finishes along with sink dispersed heavy casework inclusion within the existing square footage.
- b. Gymnasium and associated locker room, storage, and stage renovation needs will be heavily dependent on Owner needs. The gymnasium is due for a floor refinishing, wall painting, exposed structure and systems cleaning and repaint, wall padding replacement, and bleacher refinish/replacement. The locker rooms and associated restrooms are not ADA compliant and would qualify for a full renovation and ADA upgrade if utilized within the Owner’s program. Similarly, the stage would qualify for a full renovation and ADA upgrade dependent on Owner needs. The attached classroom/music room is typical of notes under the Classroom section. Renovation needs would be based on future use of this space either mirroring typical classroom renovation needs or re-engagement of the space for music curriculum.
- c. Cafeteria and kitchen need an expansion and full renovation based on functional need.
- d. Media center renovation needs will be heavily dependent on Owner educational needs. The media center is functionally traditional but could continue to service the building with minimal finish upgrades. The media center could be fully renovated to functionally serve the building with additional curriculum and educational opportunities.
- e. Administration area needs a renovation to allow more functional use and service to the building. Relocation in whole or in part to be adjacent to the building’s main entrance is needed, refer to Secure Visitor Access section for additional notes.

SUMMARY OF ALL ART ROOMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		2.00	1	2.00	
D.2 Floor Finish		2.75	1	2.75	
D.3 Wall Finish		3.75	1	3.75	
D.4 Ceiling Finish		3.05	1	3.05	
D.5 Doors/Borrowed Lites		3.00	1	3.00	
D.6 Fixed Equipment		3.21	1	3.21	

ART ROOM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		FALSE		1.00	Knob hardware should be replaced with lever hardware.
D.1_Door Clearances		TRUE		4.00	
D.1_Room Signage		FALSE		1.00	Not compliant where present.
D.1_Casework Clearances/Hts.		FALSE		2.00	Sink locations are not ADA compliant.
ART ROOM D.1 ADA/Accessibility			Total	2.00	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Vinyl	VCT	100	2.75	2.75	Has held up well, approaching replacement.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ART ROOM D.2 Floor Finish			Total	2.75	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Wallcovering	100	3.75	3.75	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ART ROOM D.3 Wall Finish			Total	3.75	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Gypsum	Painted	10	3.50	0.35	Bulkheads are generally in good condition with a few exceptions.
D.4_Suspended	Acoustic	90	3.00	2.70	Grid good except yellowing. Tile decent to good with minimal staining.
<select or leave blank>					
<select or leave blank>					
ART ROOM D.4 Ceiling Finish			Total	3.05	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	2	3.00	3.00	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ART ROOM D.5 Doors/Borrowed Lites			Total	3.00	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Chalkboard		50	3.75	1.88	
D.6_Tackboard		50	3.75	1.88	
<select or leave blank>					
Visual Display Boards			Subtotal	3.75	
D.6_Casework	PLAM	70	3.50	2.45	
D.6_Countertops	PLAM	30	3.50	1.05	
<select or leave blank>					
<select or leave blank>					
Casework/Countertops			Subtotal	3.50	
D.6_Lockers					N/A.
D.6_Sinks/Plaster Traps				4.00	
D.6_Work Tables				4.00	
D.6_Kiln and Exhaust				1.00	No kiln was located.
D.6_General Storage				3.00	Lots of casework in room. No separate connected storage room.
ART ROOM D.6 Fixed Equipment			Total	3.21	

# Condition Assessments

Joy Elementary School Gymnasium

SUMMARY OF ALL GYMNASIUMS					
Category	Subscore	Rooms/Areas	Score	General Comments	
D.1 ADA/Accessibility	1.50	1	1.50		
D.2 Floor Finish	3.50	1	3.50		
D.3 Wall Finish	3.75	1	3.75		
D.4 Ceiling Finish	3.75	1	3.75		
D.5 Doors/Borrowed Lites	3.00	1	3.00		
D.6 Fixed Equipment	3.31	1	3.31		

GYMNASIUM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		FALSE		1.00	Knob hardware should be replaced with lever hardware.
D.1_Door Clearances		FALSE		3.00	Main gym doors are good, stage doors are not.
D.1_Room Signage		FALSE		1.00	Not compliant where present.
D.1_General ADA (routing/seats/etc)		FALSE		1.00	Stage access not compliant. Bleachers not compliant.
GYMNASIUM D.1 ADA/Accessibility			Total	1.50	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Athletic	Hardwood	100	3.50	3.50	Good condition, appears that it could use a new top coat.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
GYMNASIUM D.2 Floor Finish			Total	3.50	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Masonry	CMU	100	3.75	3.75	Due for a repaint.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
GYMNASIUM D.3 Wall Finish			Total	3.75	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Exposed	Painted	100	3.75	3.75	Exposed ducts due for cleaning and repaint.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
GYMNASIUM D.4 Ceiling Finish			Total	3.75	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	12	3.00	3.00	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
GYMNASIUM D.5 Doors/Borrowed Lites			Total	3.00	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Markerboard	Unlined	50	2.50		Single board provided, additional needed.
D.6_Tackboard		50	1.50		None provided, additional needed.
			Visual Display Boards	Subtotal	
D.6_Equipment	Basketball Main			3.75	End court wall pads in decent condition.
D.6_Equipment	Basketball Cross Court				N/A.
D.6_Equipment	Divider Curtain/Partition			2.00	N/A. Stage curtain needs replaced.
D.6_Equipment	Bleachers			3.50	Decent condition, not compliant.
D.6_Equipment	General Storage			4.00	Renovate locker rooms for additional storage/usable space.
GYMNASIUM D.6 Fixed Equipment			Total	3.31	

# Condition Assessments

Joy Elementary School Cafeteria/Kitchen

SUMMARY OF ENTIRE CAFETERIA/KITCHEN					
Category	Subscore	Rooms/Areas	Score	General Comments	
D.1 ADA/Accessibility	2.00	1	2.00		
D.2 Floor Finish	3.75	1	3.75		
D.3 Wall Finish	3.00	1	3.00		
D.4 Ceiling Finish	3.40	1	3.40		
D.5 Doors/Borrowed Lites	3.00	1	3.00		
D.6 Fixed Equipment	1.67	1	1.67		

CAFETERIA/KITCHEN					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		FALSE		1.00	Knob hardware should be replaced with lever hardware.
D.1_Door Clearances		TRUE		4.00	
D.1_Room Signage		FALSE		1.00	Not compliant where present.
D.1_Casework Clearances/Hts.		FALSE			N/A.
CAFETERIA/KITCHEN D.1 ADA/Accessibility			Total	2.00	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Vinyl	VCT	100	3.75	3.75	Cafeteria in good condition, kitchen stained and worn but de...
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
CAFETERIA/KITCHEN D.2 Floor Finish			Total	3.75	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Masonry	CMU	100	3.00	3.00	In need of repaint.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
CAFETERIA/KITCHEN D.3 Wall Finish			Total	3.00	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	80	3.25	2.60	Yellowed/aged grid. A few misalignments with tiles. Decent sha...
D.4_Gypsum	Painted	20	4.00	0.80	Perimeter bulkheads in good condition.
<select or leave blank>					
<select or leave blank>					
CAFETERIA/KITCHEN D.4 Ceiling Finish			Total	3.40	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	3.00	3.00	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
CAFETERIA/KITCHEN D.5 Doors/Borrowed Lites			Total	3.00	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Tackboard		100	2.00	2.00	Poor condition, additional needed.
<select or leave blank>					
<select or leave blank>					
			Visual Display Boards	Subtotal	2.00
<select or leave blank>					N/A.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
			Casework/Countertops	Subtotal	
D.6_Freezers/Coolers				3.00	
D.6_Cooking Battery				2.00	
D.6_Serving				1.00	No designated serving line/equipment.
D.6_Dishwashing					
D.6_Overall Function				1.00	Small kitchen, less designated functional space.
D.6_General Storage				1.00	
CAFETERIA/KITCHEN D.6 Fixed Equipment			Total	1.67	



Condition Assessments

Joy Elementary School Music Rooms

SUMMARY OF ALL MUSIC ROOMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		2.00	1	2.00	
D.2 Floor Finish		3.25	1	3.25	
D.3 Wall Finish		3.25	1	3.25	
D.4 Ceiling Finish		3.25	1	3.25	
D.5 Doors/Borrowed Lites		3.00	1	3.00	
D.6 Fixed Equipment		3.70	1	3.70	

MUSIC ROOM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		FALSE		1.00	Knob hardware should be replaced with lever hardware.
D.1_Door Clearances		TRUE		4.00	
D.1_Room Signage		FALSE		1.00	Not compliant where present.
D.1_Casework Clearances/Hts.		FALSE		2.00	Tall cabinets not compliant for instrument storage.
MUSIC ROOM D.1 ADA/Accessibility			Total	2.00	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Carpet	Broadloom	100	3.25	3.25	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
MUSIC ROOM D.2 Floor Finish			Total	3.25	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Wallcovering	100	3.25	3.25	Good to decent condition, refresh needed. Minor to moderate
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
MUSIC ROOM D.3 Wall Finish			Total	3.25	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	3.25	3.25	Hanging fans are loud and obtrusive.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
MUSIC ROOM D.4 Ceiling Finish			Total	3.25	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	3	3.00	3.00	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
MUSIC ROOM D.5 Doors/Borrowed Lites			Total	3.00	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Chalkboard	Lined	50	3.75	1.88	
D.6_Tackboard		50	3.75	1.88	
<select or leave blank>					
		Visual Display Boards	Subtotal	3.75	
D.6_Casework	PLAM	70	3.50	2.45	
D.6_Countertops	PLAM	30	3.00	0.90	
		Casework/Countertops	Subtotal	3.35	
D.6_Lockers					N/A.
D.6_Tiers/Bleachers					N/A.
D.6_General Storage				4.00	Adjacent room, not directly connected.
MUSIC ROOM D.6 Fixed Equipment			Total	3.70	

Condition Assessments

Joy Elementary School Administration

SUMMARY OF ALL ADMINISTRATION					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		1.63	1	1.63	
D.2 Floor Finish		2.83	1	2.83	
D.3 Wall Finish		2.75	1	2.75	
D.4 Ceiling Finish		3.50	1	3.50	
D.5 Doors/Borrowed Lites		3.00	1	3.00	
D.6 Fixed Equipment		3.08	1	3.08	

ADMINISTRATION					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		FALSE		1.00	Knob hardware should be replaced with lever hardware.
D.1_Door Clearances		FALSE		2.50	Most doors have appropriate clearance but there are some exc
D.1_Room Signage		FALSE		1.00	Not compliant where present.
D.1_Casework Clearances/Hts.		FALSE		2.00	Sink locations are not ADA compliant.
ADMINISTRATION D.1 ADA/Accessibility			Total	1.63	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Carpet	Broadloom	85	2.75	2.34	Aged and worn, some has been replaced.
D.2_Vinyl	VCT	15	3.25	0.49	Good to decent condition.
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.2 Floor Finish			Total	2.83	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Wallcovering	100	2.75	2.75	Aged but generally decent condition with a few exception area
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.3 Wall Finish			Total	2.75	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	3.50	3.50	Grid is in generally good condition. Minor tile sagging and misa
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.4 Ceiling Finish			Total	3.50	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	15	3.00	3.00	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.5 Doors/Borrowed Lites			Total	3.00	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Markerboard	Unlined	50	3.00	1.50	Some none commercial grade, lacking quantity.
D.6_Tackboard		50	3.00	1.50	Generally in good condition where provided. Additional tackbo
		Visual Display Boards	Subtotal	3.00	
D.6_Casework	PLAM	75	3.25	2.44	Casework is aged and has wear. Most is fully functional, just co
D.6_Countertops	PLAM	25	3.25	0.81	Same as casework.
<select or leave blank>					
<select or leave blank>					
		Casework/Countertops	Subtotal	3.25	
D.6_Appliances				3.00	Mixture of new and old appliances.
ADMINISTRATION D.6 Fixed Equipment			Total	3.08	

# Condition Assessments

Joy Elementary School Mechanical System

SUMMARY OF ENTIRE MECHANICAL SYSTEM					
Category		Subscore	Areas	Score	General Comments
E.2 Building HVAC System		2.06	1	2.06	
E.3 Building Temperature Controls		4.00	1	4.00	

MECHANICAL SYSTEM					
E.2 Building HVAC System	Type			Score	Comments/Remarks
E.2_Central Heating System	Boilers			4.00	2016.
E.2_Central Heating System	Heating Pumps				
E.2_Central Heating System	Air Handling Units			1.00	Original. (4) Aaon RTUs MAU.
Central Heating System		Subtotal		2.50	
E.2_Cooling System	Chiller			4.00	York 11551k98014198 (2019) Chiller not working while we wer
E.2_Cooling System	Cooling Tower			4.00	Gunter 2019.
E.2_Cooling System	Chilled Water Pumps			3.00	
E.2_Cooling System	Condensing Units			1.00	On roof. These look bad.
Cooling System		Subtotal		3.00	
E.2_Equipment	Cabinet/Supplemental Heaters				
E.2_Equipment	Fan Coil Units				
E.2_Equipment	Fans				
E.2_Equipment	PTAC Units				
E.2_Equipment	Unit Ventilators			1.00	Drip pan corroded. Original.
E.2_Equipment	Variable Air Volume Terminals				
Equipment		Subtotal		1.00	
E.2_General	Ductwork			2.00	
E.2_General	Louvers/Exhaust Vents				
E.2_General	Piping			1.50	Change over system. Second worst in district per Tom.
General		Subtotal		1.75	
MECHANICAL SYSTEM E.2 Building HVAC System		Total		2.06	
E.3 Building Temperature Controls	Type			Score	Comments/Remarks
E.3_Temperature Controls				4.00	JCI. All electronic.
MECHANICAL SYSTEM E.3 Building Temperature Controls		Total		4.00	

# Condition Assessments

Joy Elementary School Plumbing Systems

SUMMARY OF ENTIRE PLUMBING SYSTEM					
Category		Subscore	Areas	Score	General Comments
E.1 Building Plumbing System		2.42	1	2.42	

PLUMBING SYSTEM					
E.1 Building Plumbing System	Type			Score	Comments/Remarks
E.1_Plumbing Fixtures	Water Closets			2.50	
E.1_Plumbing Fixtures	Lavatories			2.50	
E.1_Plumbing Fixtures	Drinking Fountains			3.00	1 old to 1 new.
E.1_Plumbing Fixtures	Showers			2.00	Storage.
E.1_Plumbing Fixtures	Dishwashing				
Plumbing Fixtures		Subtotal		2.50	
E.1_Central Equipment	Hot Water Heating			2.00	2004.
E.1_Central Equipment	Water Softener			1.00	None.
E.1_Central Equipment	Pumps			3.00	
Central Equipment		Subtotal		2.00	
E.1_Water_Service	City			3.00	
E.1_Water Service	Domestic Piping			3.00	
Water Service		Subtotal		3.00	
E.1_Sewage_System	City			3.00	
E.1_Sewage System	Piping			3.00	
Sewage System		Subtotal		3.00	
E.1_Gas Service				3.00	
E.1_Fire Suppression				1.00	None.
PLUMBING SYSTEM E.1 Building Plumbing System		Total		2.42	

# Condition Assessments

Joy Elementary School Electrical System

SUMMARY OF ENTIRE ELECTRICAL SYSTEM					
Category		Subscore	Areas	Score	General Comments
E.4 Building Electrical System		3.42	1	3.42	
E.5 Building Lighting		3.54	1	3.54	

ELECTRICAL SYSTEM					
E.4 Building Electrical System	Type			Score	Comments/Remarks
E.4_Incoming Service	Size			4.00	1600A BPS MAW, 208V, also old MDp
E.4_Incoming Service	Condition			3.00	
E.4_Incoming Service	Generator			1.00	None.
	Incoming Service		Subtotal	2.67	
E.4_Distribution				4.00	
E.4_Smoke Detection				3.00	No SD in Cafeteria, Admin, Classes.
E.4_Fire Alarm System	Annunciator Panel			4.00	
E.4_Fire Alarm System	Fire Alarm Devices			4.00	Simplex 4010 ES, Strobes in Classes.
	Fire Alarm System		Subtotal	4.00	
ELECTRICAL SYSTEM E.4 Building Electrical System			Total	3.42	
E.5 Building Lighting	Type			Score	Comments/Remarks
E.5_Interior Lighting	Administration				
E.5_Interior Lighting	Corridors/Common			5.00	Flat Panel LED 2x4.
E.5_Interior Lighting	Classrooms/Science			3.00	Wraps, FL on metal acoustic deck. No dim No occ.
E.5_Interior Lighting	Art/Music/Auditorium				
E.5_Interior Lighting	Gymnasium/Natatorium			4.00	Ind. LED.
E.5_Interior Lighting	Cafetaria/Kitchen			3.00	Flat Panel 2x4.
E.5_Interior Lighting	Restrooms				
	Interior Lighting		Subtotal	3.75	
E.5_Exterior Lighting	Building Entries			4.00	
E.5_Exterior Lighting	Parking Lots/Drives			5.00	New LED heads on poles.
E.5_Exterior Lighting	Athletic/Play Fields			1.00	None on play area.
	Exterior Lighting		Subtotal	3.33	
ELECTRICAL SYSTEM E.4 Building Electrical System E.5 Building Lighti			Total	3.54	

# Condition Assessments

Joy Elementary School Plumbing Systems

SUMMARY OF ALL TECHNOLOGY					
Category		Subscore	Areas	Score	General Comments
E.6 Building Technology		3.78	1	3.78	

TECHNOLOGY					
E.6 Building Technology	Type			Score	Comments/Remarks
E.6_Data Distribution	Incoming			5.00	Sm from Admin.
E.6_Data Distribution	Cable Type			3.00	Cat 5.
E.6_Data Distribution	Fiber				
E.6_Data Distribution	Wireless			5.00	Ruckus like classes.
	Data Distribution		Subtotal	4.33	
E.6_Classroom Technology	Teacher				
E.6_Classroom Technology	Monitors			4.00	65" samsung - 3rd G.
E.6_Classroom Technology	Smartboards			5.00	Promethean m cart.
E.6_Classroom Technology	Projection				
	Data Distribution		Subtotal	4.50	
E.6_Communications	Intercom/PA			2.00	Dukane.
E.6_Sound Systems	Gymnasium/Natatorium			3.00	
E.6_Sound Systems	Music/Auditorium				Not observed.
	Sound Systems		Subtotal	2.50	
TECHNOLOGY E.6 Building Technology			Total	3.78	

# Condition Assessments

## Joy Elementary School Building Systems Summary

### Mechanical:

#### Heating plant

- Building comfort heating is provided by 2 gas-fired boilers which appear and were reported to be in relatively good operating condition. Manufactured in 2016.
  - o Currently, there are no reported issues or concerns for the continued use of these boilers; therefore, it is reasonable to expect successful continued use of the existing heating system until symptoms providing a reason for replacement manifest.

#### Cooling plant:

- Building comfort cooling is provided by 1 indoor scroll style chiller (York) with a remote gunter air-cooled condensing unit mounted on the roof. Both appear to be in good working condition. Both units were manufactured in 2019.
  - o The chiller was down during the time of our site visit.

#### Building piping/pumps:

- The existing HVAC system runs off a 2-pipe change over system. The existing hydronic piping throughout the building is in poor condition and was reported to need replacement.
- Building and boiler water circulation is provided by 2 end-suction pumps mounted in parallel.
- Chiller water circulation is provided by 2 end-suction pumps mounted in parallel.

#### Air-Handler Plants and Systems:

- Multiple constant-speed air-handlers exist at numerous building locations, inside the building envelope. All of the air-handlers and associated air-distribution, and comfort control systems are original to the building construction; except for replaced failed components.
  - o All air-handlers and controls appeared in fair to poor condition and were reported in need of replacement.

#### Classroom HVAC and associated Systems:

- Each classroom in the building is equipped with a fan coil unit that provides conditioned air to the space; combined heating and cooling coil (2-pipe). These fan coil units do not have direct access to outside air, meaning they rely solely on recirculated indoor air for temperature control. To ensure proper ventilation and maintain indoor air quality, the building is equipped with four makeup air units located on the roof. These units are responsible for supplying fresh outside air to each classroom. The makeup air units draw in outside air, condition it as necessary, and distribute it to the classrooms, ensuring a continuous supply of fresh air.
- All the fan coil units and associated air-distribution, and comfort control systems are original to the building construction; except for replaced failed components.
  - o All fan coil units appeared to be in poor condition and were reported in need of replacement.
- All Make-up air units were replaced in 2005.
  - o All Make-up air units appeared to be in poor condition and were reported in need of replacement.

#### Building Temperature Control System:

- The building’s temperature control system is managed by Johnson Controls.
- Priority Items:**
- a. The existing fan coil units in all classrooms will be removed and replaced with new vertical unit ventilators (VUV). By installing VUVs, the required outside air can be delivered to each classroom via the local unit, thus eliminating the need for the four existing make-up air units currently located on the roof.
  - a. For budget consideration, include 28 x 1200 CFM; 1/3 HP Air handler with heating coil (48 MBH). and cooling coil (39 MBH).
  - b. For budget consideration, include 15 x 800 CFM; 1/3 HP Air handler with heating coil (35 MBH). and cooling coil (28 MBH).
  - b. New relief air ventilators shall be provided on the roof to allow for adequate relief air to escape the classrooms or a

barometric relief damper option should be provided on each VUV.

c. The existing hydronic piping throughout the building should be removed and replaced with a new 4-pipe system. With the elimination of the make-up air units (MAUs), which were previously providing room-neutral air to each classroom, the increase load required to condition the code required outside air will fall onto the new vertical unit ventilator (VUV). This change will result in a larger heating and chilled water plant. Consequently, the current capacity of the existing boilers and chiller must be evaluated, and additional capacity may be added to accommodate this new approach.

d. All five existing air handlers shall be removed and replaced. They are original to the building.

a. For budget consideration, include 1 x 4800 CFM; 3 HP Air handler with heating coil (159 MBH). and cooling coil (184 MBH).

b. For budget consideration, include 1 x 3000 CFM; 1.5 HP Air handler with heating coil (140 MBH). and cooling coil (118 MBH).

c. For budget consideration, include 1 x 2000 CFM; 1 HP Air handler with heating coil (156 MBH). and cooling coil (76 MBH).

d. For budget consideration, include 1 x 700 CFM; 1/3 HP Air handler with heating coil (25 MBH). and cooling coil (30 MBH).

e. For budget consideration, include 1 x 8800 CFM; 5 HP Air handler with heating coil (553 MBH). and cooling coil (345 MBH).

e. All existing cabinet unit heaters, exhaust fans, etc. shall be removed and replaced. They are original to the building.

a. For budget consideration, include 21 cabinet unit heaters.

b. For budget consideration, include 40 exhaust fans.

#### Plumbing:

- The domestic system is served by a Bradford white gas fired water heater manufactured in 2004. The water heater looked to be in poor condition. There is no water softener.
- The existing domestic, sanitary and vent piping throughout the building look to be in fair condition and were reported to be in relatively good to fair operating condition.

- Several restrooms throughout the building are not ADA compliant and are in fair to poor physical condition.

- There are existing showers that have been abandoned near the gymnasium.

#### Priority Items:

a. The water heater should be replaced, and a water softener should be added to the domestic system.

b. All drinking fountains in area being renovated shall be replaced and upgraded to current ADA compliant standards. The existing domestic water, sanitary and vent connections shall be reused.

c. In all restrooms fixtures, faucets, flush valves in areas being renovated shall be replaced and upgrade to current ADA compliant standards. The existing domestic water, sanitary and vent connections shall be reused

d. Remove all existing domestic piping serving the gymnasium showers.

#### Fire protection:

- A fire sprinkler system does not exist in this building.

#### Electrical:

##### Electrical Distribution system

- There are two switchboards, one older with integrated panelboards and one from 1987 addition which back feeds the original 60/70 era switchboard. The 1987 switchboard appears to be in good condition. The capacity may be an issue with increased chiller requirements for any mechanical improvements. The older switchboard is due for replacement as it has exceeded the anticipated service life. A solar field northeast of the building was added to offset utility demands in 2017.

#### Fire Alarm

- The existing Simplex 4010ES panel is in good condition. Due to a lack of sprinklers in the building, the facility should have full



# Condition Assessments

## Joy Elementary School Interior Floorplan

smoke detector coverage, but does not. Areas lacking smoke detectors include classrooms, administrative spaces, and cafeteria. Either sprinklers should be provided, or the fire alarm system should be upgraded in any future remodeling.

### Lighting

- Lighting in common spaces includes flat panel LED. Classrooms consist of surface mounted fluorescent wrap fixtures on metal acoustic deck. The classroom lighting does not have dimming capabilities nor are occupancy sensors installed to turn off lighting when the room is not in use.

### Priority Items:

- Fire alarm should be updated if fire sprinklers are not planned to be installed.
- Existing older switchboard should be replaced.

### Technology:

#### Data cabling and distribution

- Building has single mode fiber from administration data center. Most cabling is Category 5. Building has Ruckus wireless access points, one for every two classrooms per district IT standard.

### Teaching technology equipment

- Classrooms include both Promethean interactive touchscreen monitors for the lower grades as well as 65” Samsung monitors for the upper grade levels. Existing equipment is in good condition.

### Paging / intercom equipment

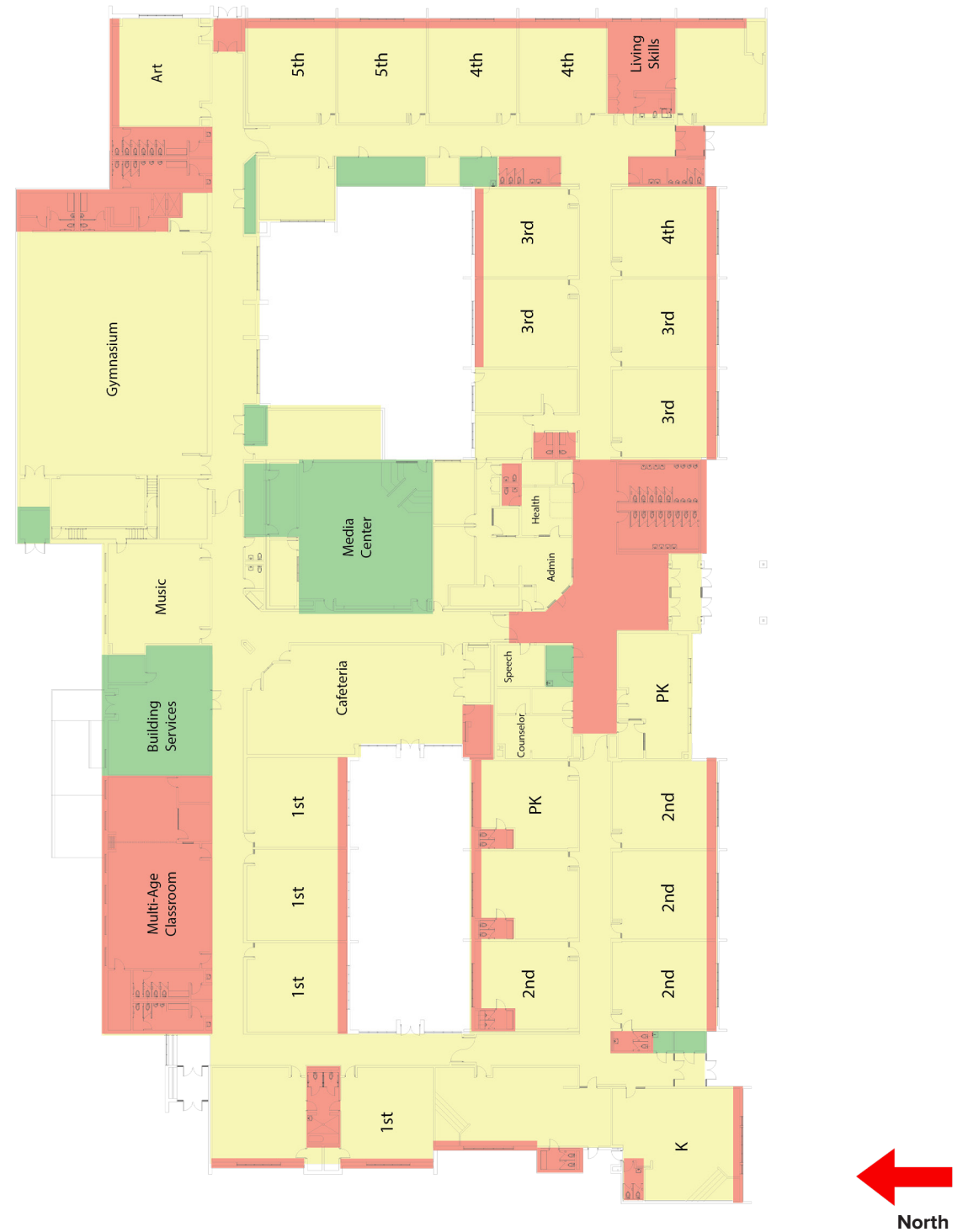
- Existing paging / intercom system is a Dukane paging system

that is obsolete and should be replaced. Dukane parts are no longer readily available. It is possible that the existing speakers and wiring may be reused depending on existing condition review with Owner.

### Priority Items:

- Replace paging / intercom head-end equipment.

Joy Elementary School - Interior Condition Assessment



Condition Assessments

Joy Elementary School Preliminary Cost Estimate

Bid Sort 2	System L1	System L2	Description	Takeoff Quantity	Grand Total Price	Grand Total Amount
			Conceptual Estimate			
			Construction Cost			
10			Building			
	B2000		Exterior Enclosure			
		B20 4222	Ext Wall Finish, Brick, Clean & Tuckpoint	25,000 sf	5.78 /sf	144,595
		B20 7242	Ext Wall Finish, EIFS, Paint	7,100 sf	3.01 /sf	21,392
		B20 8422	Aluminum Door Hardware Replacement	23 leaf	2,834.78 /leaf	65,200
		B20 8742	Automatic Door Operators	8 ea	20,450.37 /ea	163,603
		xCanop	Canopy, Replace Existing	650 sf	302.50 /sf	196,625
			B2000 Exterior Enclosure	66,717 sf	8.86 /sf	591,414
	Z1012		Functional Area Costs			
		xRHRR	Renovation, Heavy, Restrooms	5,050 sf	948.23 /sf	4,788,575
		xRLMech	Renovation, Light, Mechanical	1,400 sf	113.44 /sf	158,813
		xRLMedC	Renovation, Light, Media Center	2,800 sf	121.00 /sf	338,800
		xRLStor	Renovation, Light, Storage	500 sf	113.44 /sf	56,719
		xRMCafe	Renovation, Medium, Cafeteria	2,800 sf	363.00 /sf	1,016,400
		xRMCorr	Renovation, Medium, Corridors	12,700 sf	181.50 /sf	2,305,050
		xRMCr	Renovation, Medium, Classrooms	32,000 sf	211.75 /sf	6,776,000
		xRMGym	Renovation, Medium, Gym	6,400 sf	242.00 /sf	1,548,800
		xRMOff	Renovation, Medium, Office	4,100 sf	181.50 /sf	744,150
			Z1012 Functional Area Costs	66,717 sf	265.80 /sf	17,733,306
			10 Building	66,717 sf	274.66 /sf	18,324,721
20			Site			
	G2000		Exterior Improvements			
		G20 1052	Asphalt Mill/Resurface, East Lot	2,450 sy	21.12 /sy	51,750
		G20 1054	Asphalt Mill/Resurface, South Lot	3,950 sy	21.47 /sy	84,810
		G20 1062	Seal & Restripe Asphalt, West Lot	2,060 sy	3.47 /sy	7,150
		G20 2102	Concrete Sidewalk Cut/Patch Allowance	7,000 sf	47.99 /sf	335,925
		G20 2104	Concrete Mow Strips	700 sf	18.15 /sf	12,705
		G20 3112	Chain Link Fence/Gates, Replace	1,300 lf	85.39 /lf	111,001
		G20 3412	Site Furnishings, Directional Signage Allowance	1 allow	18,150.00 /allow	18,150
		G20 3414	Site Furnishings, Digital Monument Sign	1 allow	151,250.00 /allow	151,250
		G20 4212	Tree Maintenance Allowance	1 allow	121,000.00 /allow	121,000
		G20 4312	Courtyards, Renovate	9,000 sf	30.25 /sf	272,250
		G25 6322	Playgrounds, Rubber Mulch	567 sy	55.35 /sy	31,383
		G25 6412	Playgrounds, Equipment Allowance	1 allow	181,500.00 /allow	181,500
			G2000 Exterior Improvements	66,717 sf	20.67 /sf	1,378,874
			20 Site	66,717 sf	20.67 /sf	1,378,874
			Construction Cost			19,703,595
			Conceptual Estimate			19,703,595

Condition Assessments

Knapp Elementary School

Condition Assessments

Knapp Elementary School Summary

Michigan City Area Schools	
Building:	Knapp Elementary School
Building Area:	62,700
Site Acreage:	8.36
Enrollment Capacity:	
Current Enrollment:	376
Construction	Construction Type
1963	Original Construction
See Bldg. Area Plan	Additions and Renovations

Condition Assessment Legend	
Building Scoring Matrix	Category Scoring Matrix
100: Excellent	5: No Work Needed
99 - 80: Good	4: Minor Work Needed
79 - 60: Average	3: Moderate Work Needed
59 - 40: Fair	2: Major Work Needed
Below 40: Poor	1: None/Replacement Needed

Condition Assessment	Score
A SITE CIRCULATION AND AMENITIES	
A.1 Separation/Drop-off/Stacking	2.94
A.2 Drives/Lots and Walks	3.25
A.3 Site Improvements	3.15
B SAFETY AND SECURITY	
B.1 Secure Building Access	2.75
B.2 Surveillance/Cameras	4.00
C BUILDING ENVELOPE	
C.1 Building Roof	2.26
C.2 Exterior Building Walls	3.49
C.3 Exterior Doors/Windows	3.55
D BUILDING INTERIOR ENVIRONMENT	
D.1 ADA/Accessibility	1.82
D.2 Floors	2.95
D.3 Walls	2.53
D.4 Ceilings	2.19
D.5 Doors/Borrowed Lites	2.79
D.6 Fixed Equipment	2.92
E BUILDING SYSTEMS	
E.1 Building Plumbing System	2.42
E.2 Building HVAC System	1.94
E.3 Building Temperature Controls	4.00
E.4 Building Electrical System	3.00
E.5 Building Lighting	2.46
E.6 Building Technology	4.06
CONDITION ASSESSMENT AVERAGE SCORE	2.92
CONDITION ASSESSMENT GRADE	58.45

Condition Assessments

Knapp Elementary School Expanded Summary

Michigan City Area Schools	
Building:	Knapp Elementary School
Building Area:	62,700
Site Acreage:	8.36
Enrollment Capacity:	
Current Enrollment:	376
Construction	Construction Type
1963	Original Construction
See Bldg. Area Plan	Additions and Renovations

Condition Assessment Legend	
Building Scoring Matrix	Category Scoring Matrix
100: Excellent	5: No Work Needed
99 - 80: Good	4: Minor Work Needed
79 - 60: Average	3: Moderate Work Needed
59 - 40: Fair	2: Major Work Needed
Below 40: Poor	1: None/Replacement Needed

Condition Assessment	Score
A SITE CIRCULATION AND AMENITIES	
A.1 Separation/Drop-off/Stacking	2.94
A.2 Drives/Lots and Walks	3.25
A.3 Site Improvements	3.15
B SAFETY AND SECURITY	
B.1 Secure Building Access	2.75
B.2 Surveillance/Cameras	4.00
C BUILDING ENVELOPE	
C.1 Building Roof	2.26
C.2 Exterior Building Walls	3.49
C.3 Exterior Doors/Windows	3.55
D BUILDING INTERIOR ENVIRONMENT	
D.1 ADA/Accessibility	1.82
Administration	1.63
Corridors/Common	2.58
Classrooms/Science	2.00
Art/Music/Auditorium	2.00
Gymnasium/Natorium	1.50
Cafeteria/Kitchen	2.00
Restrooms/Locker Rooms	1.00
D.2 Floors	2.95
Administration	3.25
Corridors/Common	2.50
Classrooms/Science	2.95
Art/Music/Auditorium	2.63
Gymnasium/Natorium	3.75
Cafeteria/Kitchen	3.25
Restrooms/Locker Rooms	2.30
D.3 Walls	2.53
Administration	2.60
Corridors/Common	2.23
Classrooms/Science	2.28
Art/Music/Auditorium	2.20
Gymnasium/Natorium	2.50
Cafeteria/Kitchen	2.73
Restrooms/Locker Rooms	3.19
D.4 Ceilings	2.19
Administration	2.25
Corridors/Common	2.61
Classrooms/Science	2.25
Art/Music/Auditorium	2.18
Gymnasium/Natorium	2.00
Cafeteria/Kitchen	2.00
Restrooms/Locker Rooms	2.08
D.5 Doors/Borrowed Lites	2.79
Administration	2.75
Corridors/Common	3.00
Classrooms/Science	2.75
Art/Music/Auditorium	2.75
Gymnasium/Natorium	2.75
Cafeteria/Kitchen	2.75
Restrooms/Locker Rooms	2.75
D.6 Fixed Equipment	2.92
Administration	3.03
Corridors/Common	3.00
Classrooms/Science	2.68
Art/Music/Auditorium	2.82
Gymnasium/Natorium	3.08
Cafeteria/Kitchen	3.55
Restrooms/Locker Rooms	2.32
E BUILDING SYSTEMS	
E.1 Building Plumbing System	2.42
E.2 Building HVAC System	1.94
E.3 Building Temperature Controls	4.00
E.4 Building Electrical System	3.00
E.5 Building Lighting	2.46
E.6 Building Technology	4.06
CONDITION ASSESSMENT AVERAGE SCORE	2.92
CONDITION ASSESSMENT GRADE	58.45

# Condition Assessments

## Knapp Elementary School Code Analysis

### Code Analysis:

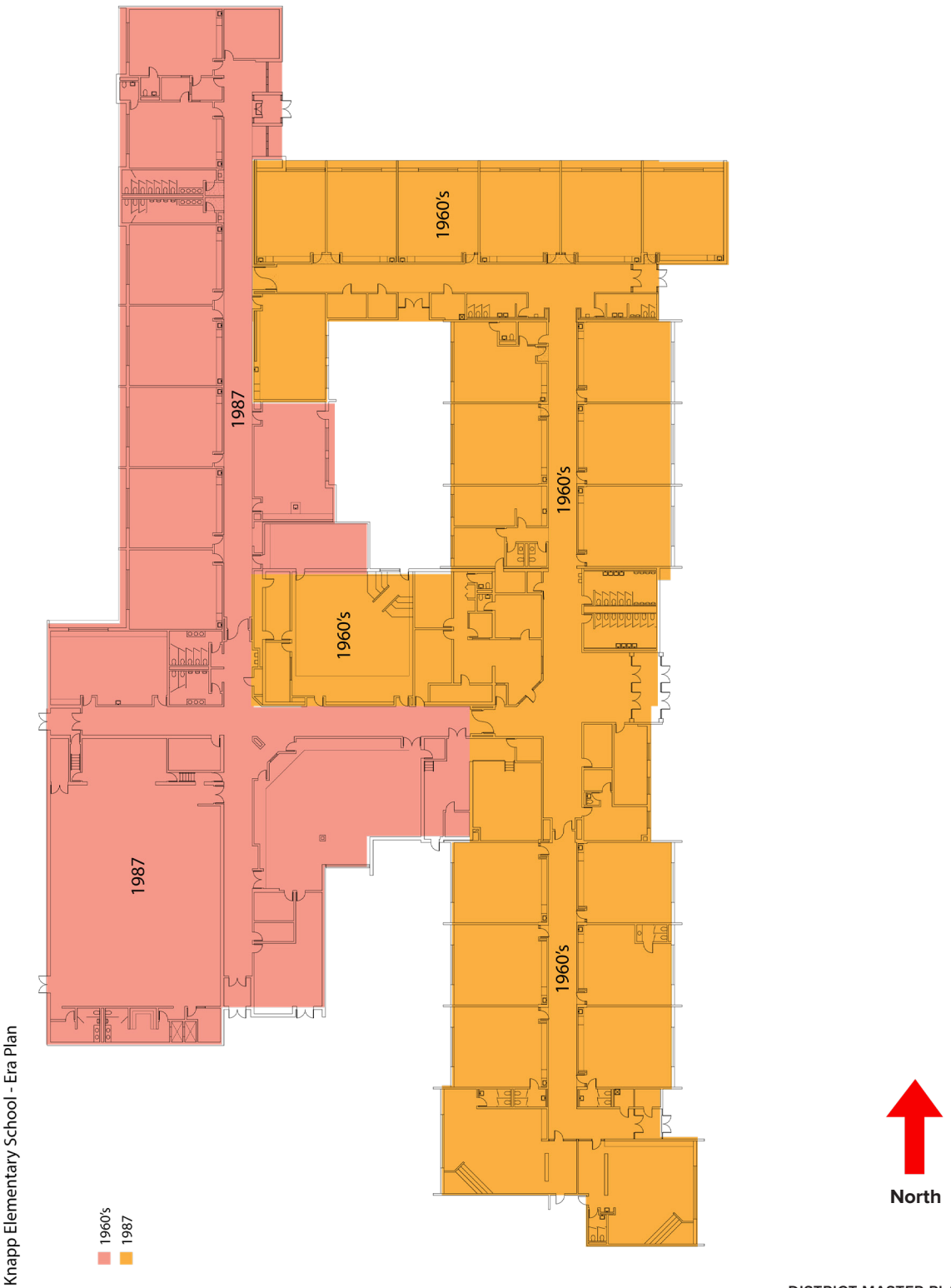
- The Building Occupancy is Group E – Educational.
  - o Allowable area per code is 14,500 SF. No sprinkler increase. Frontage increase possible dependent on public way or open space at perimeter of building.
  - o The overall square footage is 62,700 SF. The existing building is divided into four areas by 2-hour separation walls.
- The Building Type of Construction is Type II-B Unprotected Non-Combustible.
  - o Original construction in 1963.
  - o Addition construction in 1970.
  - o Addition and renovation construction in 1987.
  - o Based on the 1985 Edition of the Uniform Building Code – Indiana Edition.
  - o Mechanical renovations in 2005.
  - o Chiller replacement in 2019.
- The existing Building is NOT equipped with a fire suppression system throughout.

### Priority Items:

a. NOTE: All non-compliant building code items are grandfathered, however, if any item or area is renovated, new work is required to meet current building code.

# Condition Assessments

## Knapp Elementary School Era Floorplan





# Condition Assessments

## Knapp Elementary School Site

SUMMARY OF ENTIRE SITE					
Category		Subscore	Regions	Score	General Comments
A.1 Separation/Drop-off/Stacking		2.94	1	2.94	
A.2 Drives/Lots and Walks		3.25	1	3.25	
A.3 Site Improvements		3.15	1	3.15	

SITE					
A.1 Separation/Drop-off/Stacking					
A.1 Identifiable Main Entry				Score	Comments/Remarks
A.1 Identifiable Main Entry				2.00	Entrance is evident, but not in proximity or connection to parki...
A.1 ADA Accessibility	Type	Compliant		Score	Comments/Remarks
A.1 ADA Accessibility	Route	TRUE		2.00	Routes are present, condition could be improved. Long route d...
A.1 ADA Accessibility	Door	TRUE		4.00	Door hardware replacement would be an improvement. Auton...
A.1 Parking Space Allocation	Type	Compliant	Quantity	Score	Comments/Remarks
A.1 Parking Space Allocation	Visitor		28.00	5.00	No visitor parking requirement.
A.1 Parking Space Allocation	Staff		49.00	5.00	47 employees. Requirement is 1 space for each employee.
A.1 Parking Space Allocation	Accessible	TRUE	4.00	4.00	2 for visitor and 2 for staff. Requirement is 1 per 25 or 2% whe...
A.1 Site Circulation	Type			Score	Comments/Remarks
A.1 Emergency/Fire Service Access				4.00	School is surrounded by public ways. E, S, and parts of N have p...
A.1 Bus/Vehicular	Separation			1.00	Bus drop-off is on a widened shoulder of the road.
A.1 Bus/Vehicular	Signage			1.00	No signage provided.
A.1 Bus Drop-off/Pick-up	Route Clarity/Safety			2.00	Route is unclear and assumed. Unsafe as it is part of the road.
A.1 Bus Drop-off/Pick-up	Adequate Stacking			3.00	Potential to hinder traffic on the road significantly.
A.1 Car Drop-off/Pick-up	Pedestrian Safety			3.00	
A.1 Car Drop-off/Pick-up	Adequate Stacking			2.00	Multiple lanes needed.
A.1 Car Drop-off/Pick-up	Traffic Pattern			2.00	Assumed to be split? Utilizing staff lot to the N and street parki...
A.1 Delivery Routing	Separation			4.00	
A.1 Delivery Routing	Loading Dock			3.00	No true loading dock, assumed not needed. Some condition im...
SITE A.1 Separation/Drop-off/Stacking			Total	2.94	
A.2 Drives/Lots and Walks	Type	%	Subscore	Score	Comments/Remarks
A.2 Sidewalks	Concrete	100	3.00	3.00	Sidewalks are generally in good condition. Some replacement/...
A.2 Sidewalks					
A.2 Sidewalks					
		Sidewalks	Subtotal	3.00	
A.2 Drives	Asphalt	100	3.00	3.00	Drives need resurfacing.
A.2 Drives					
A.2 Drives					
		Drives	Subtotal	3.00	
A.2 Parking_Lots	Asphalt	100	3.00	3.00	Parking lots need seal coating/resurfacing.
A.2 Parking_Lots					
A.2 Parking_Lots					
		Parking Lots	Subtotal	3.00	
A.2 Drives/Parking Lots	Traffic Markings/Striping			4.00	Striping appears newer.
SITE A.2 Drives/Lots and Walks			Total	3.25	
A.3 Site Improvements	Type			Score	Comments/Remarks
A.3 Playground(s)	Accessibility			1.00	Not accessible.
A.3 Playground(s)	Equipment			3.00	Smaller equipment appears aged but in good condition. Larger...
A.3 Playground(s)	Surface			2.00	Old mulch and weeds. One playground area is better than the d...
A.3 Playground(s)	Size			3.00	Allotted size is average compared to other ES. Divided playgrou...
		Playground(s)	Subtotal	2.25	
A.3 Landscaping	Trees			3.00	Trees around site are sparatic, some need maintenance and re...
A.3 Landscaping	Landscaping			4.00	Landscaping is minimal but more than other ES. Well maintaine...
		Landscaping	Subtotal	3.50	
A.3 Site Drainage	Flood Points			3.00	Assumed to be reliant on public storm system. Field to W assur...
A.3 Athletic Fields	Support Buildings				N/A
A.3 Athletic Fields	Bleachers/Stadium Seating				N/A
A.3 Athletic Fields	Athletic/Stadium Lighting				N/A
A.3 Athletic Fields	Athletic/Stadium Paving				N/A
A.3 Athletic Fields	Fencing/Gates				N/A
A.3 Athletic Fields	Field Conditions				N/A
A.3 Athletic Fields	Scoreboards				N/A
		Athletic Fields	Subtotal		
A.3 Site Security	Site Lines			3.00	Passive surveillance is blocked by building only providing proxim...
A.3 Site Security	Gated/Not Gated			3.00	Gates are well positioned but in poor condition.
		Site Security	Subtotal	3.00	
A.3 Fencing	Site			4.00	Much of the site is strategically fenced to discourage undesired...
A.3 Fencing	Playground(s)			4.00	Playgrounds are well divided from public for safety, minor imp...
		Fencing	Subtotal	4.00	
SITE A.3 Site Improvements			Total	3.15	

# Condition Assessments

## Knapp Elementary School Site Summary

### ADA Building Access:

- Main entrance is well connected to the road but is disconnected from either parking lot making approach to the building confusing and not convenient for accessibility.
- Accessible parking spots are provided with two in the south parking lot and three in the north parking lot. Neither parking lot is well connected to the main entrance. Instead, the north parking lot is connected to the north doors while the south parking lot is connected to the south doors near the gymnasium. The main entrance does have an automatic door operator while the other mentioned entrances do not.

### Priority Items:

- The disconnection of parking lots and accessible parking should be taken into consideration. Potential solutions would include incorporation of visitor and accessible parking near the main entrance on the east side of the building resulting in reprogramming drop-off/pick-up locations or relocation of the main entrance and administration area to the north or south of the building in connection with one of the two parking lots. The south of the building appears to have merit.
- Accessible parking spot signage should be added.
- While curb cuts do exist, each curb cut needs modification and improvement to ensure proper ADA compliance.
- All building entrance doors except for the newer southeast entrance door should receive new fully ADA compliant door hardware. If either the north or south entrance doors are meant to be accessible entrance points, consideration should be given to adding automatic door operators.

### Drives, Parking, and Sidewalks:

- The site contains two parking lots with associated drives and drop-off/pick-up locations. The parking lot to the south of building with associated drives and drop-off/pick-up location is assumed to be parent drop-off/pick-up for lower grades. The parking lot to the north of the building with associated drives and drop-off/pick-up location is assumed to be parent drop-off/pick-up for upper grades. This parking lot is identified as the staff parking location. The Bolka Avenue to the east of the building has a widened shoulder assumed to be utilized for bus drop-off/pick-up. All parking lots are connected by a system of

sidewalks that are well organized on the north, east, and south of site.

- The maintenance and loading dock are located to the south of the building with a shared drive also utilized for the south parking lot. The drive is located between the south parking lot and south playground which also creates a division from the south parking lot to the student exit location of the building likely utilized for lower grade parent drop-off/pick-up.

### Priority Items:

- Reconfiguration of access and parking on the site is recommended. If the main entrance and administration areas are relocated, refer to ADA Building Access section for additional notes, parking lots and drives would need to be reconfigured for alignment. If the main entrance remains in the current location, consideration to off-street parking along Bolka Avenue should be considered for visitor/accessible parking.
- Parking lots and drives are in poor condition. Drives are worse than parking areas. Resurfacing of the drives may include significant base material work. Parking areas need to seal coated/resurfaced. Striping and traffic markings will need to be redone following these efforts.
- Separation of maintenance and loading dock drive from the south parking lot would be beneficial. Additional consideration should be given for location of south parking lot, maintenance and loading dock drive, and lower grades building entrance.
- Improved directional signage along streets and at entrances are needed.
- Sidewalks throughout the site are from multiple generations of pours but are generally in good condition. Minimal replacement needed, focused primarily on any areas of heaving. Additional sidewalk connection should be extended to the west of the building in conjunction with the playground, refer to the Playground section for additional notes.
- Gates at entry drive and east parking lot entrance would increase safety and security throughout the site.

# Condition Assessments

## Knapp Elementary School Safety and Security

### Landscaping/Site Elements:

• The site has an expanse of green space to the west. Mature trees existing primarily close to the building on the north and east elevations and within the courtyard. A couple mature trees existing near the playground on the west side of the building. Landscaped areas are generally located along the east elevation of the building.

• The building contains one landscaped courtyard.

### Priority Items:

a. The green space to the west of the building could be programed to increase usability, refer to the Playground section for additional notes.

b. The mature trees along the north and east elevations and within the courtyard need to be considered for any damage to infrastructure that the roots may cause. Removal of these trees should be considered. Adding additional trees at playground locations and in conjunction with green space programming would be beneficial.

c. The north, west, and south elevations of the building should receive mow strips or landscape areas against the building.

d. No building sign was observed. Installation of new building sign with a combination digital sign is recommended.

e. The courtyard is overgrown and in need of a refresh.

f. Perimeter site fencing needs select maintenance and repair.

### Playground:

• Two separate playgrounds divided dependent on age level. The playground situated on the south of the site is dedicated to lower grades with direct connection to associated classrooms. The playground and paved area/partial basketball court situated on the west of the site is dedicated to upper grades with an undivided parking lot south of paved area/partial basketball court. Another basketball court is situated to the north of the building. Access is assumed directly from the west doors by the gymnasium or from the north doors which results in travel along unsecured sidewalk into fenced area.

• Playground equipment appears to generally be newer and in condition with a few older pieces of equipment. The surface of

the playgrounds is mulch with the south playground appearing to have older mulch.

### Priority Items:

a. Fencing around the south playground needs to be replaced. Additional fencing at the paved area/partial basketball court to the west would help create a separation from the parking lot increases safety. Due to the expanse of space and site lines hindered by the building, fencing a designated area to the northwest of the building would increase supervision and safety. This would include the north basketball court, west playground and part of the northwest green space. This would eliminate the inclusion of the paved area/partial basketball court.

b. Replacement of any older playground equipment is recommended such as the swing set within the west playground.

c. The basketball court to the north and paved area/partial basketball court to the west need to be seal coated/resurfaced.

d. Playground size and variety of options could be increased by programming of green space surrounding the west playground.

e. The playground surfaces need to be upgraded for accessibility in combination with additional sidewalk access to the west playground.

SUMMARY OF ALL SAFETY AND SECURITY					
Category		Subscore	Areas	Score	General Comments
B.1 Secure Building Access		2.75	1	2.75	
B.2 Surveillance/Cameras		4.00	1	4.00	

SAFETY AND SECURITY					
B.1 Secure Building Access	Type			Score	Comments/Remarks
B.1_Card/Code/FOBS				5.00	
B.1_Secure_Vestibule	No Admin Connection			1.00	Exists but separated.
B.1_Secure_Technology	AI Voice/Door Release			4.00	AI voie only w/ separate camera.
B.1_Security Officer Station(s)				1.00	
SAFETY AND SECURITY B.1 Secure Building Access			Total	2.75	
B.2 Surveillance/Cameras				Score	Comments/Remarks
B.2_Video Surveillance				4.00	Ex acquisition. All operable.
B.2_Intrusion Detection				4.00	GE Network - halls.
SAFETY AND SECURITY B.2 Surveillance/Cameras			Total	4.00	

### Safety and Security Summary

#### Secure Visitor Access

• The existing building has secure vestibule remotely located from the administration area. The secure vestibule is accessed via intercom/door release system or fob/door release system with surveillance camera mounted separately overhead. Select additional entrances around building have fob/code entry pad systems with all entrances having key access. Once inside the school, no secure area to restrict access is present.

• No security glazing or security film is understood to be present. Security glazing techniques range greatly, all with the goal of increasing time to seek safety and allow proper response.

### Priority Items:

a. Secure Entrance Improvement project recommended. The scope of work would be determined based on budget and Owner direction but could vary from a relocation of necessary administrative functions to location adjacent and south of existing main entrance to a new administration addition to the east of the existing main entrance. Refer ADA Building Access section for additional notes.

b. Security glazing/security film at existing or new main entrance is recommended. Inclusion at all building entrances and windows would increase security.

c. Upgrade to intercom/door release system to include video is recommended.

d. Expansion of the fob/door release system with surveillance monitoring at all necessary entrances is recommended.

# Condition Assessments

## Knapp Elementary School Building Envelope

SUMMARY OF ENTIRE BUILDING ENVELOPE					
Category		Subscore	Areas/Regions	Score	General Comments
C.2 Exterior Building Walls		3.49	1	3.49	
C.3 Exterior Doors/Windows		3.55	1	3.55	

BUILDING ENVELOPE					
C.2 Exterior Building Walls	Type	%	Subscore	Score	Comments/Remarks
C.2_Masonry	Brick	65	3.75	2.44	Brick is generally in good condition, some cleaning and minor t...
C.2_Finish_System	Exterior Insulation (EIFS)	35	3.00	1.05	EIFS in good condition, some areas in need of clean and paint. ...
<select or leave blank>					Mtl Flashing and Fascia in good condition. ...
<select or leave blank>					
BUILDING ENVELOPE C.2 Exterior Building Walls			Total	3.49	
C.3 Exterior Doors/Windows	Type	% or Qty.	Subscore	Score	Comments/Remarks
C.3_Aluminum	Window	140	4.00	3.52	Aluminum with thermal windows in good condition. ...
C.3_Aluminum	Storefront	19	4.00	0.48	Thermal. ...
<select or leave blank>					
<select or leave blank>					
	Exterior Windows		Subtotal	4.00	
C.3_Swinging	Aluminum	11	4.00	2.20	With thermal sidelites/glazing. Some hardware issues and wea ...
C.3_Swinging	Hollow Metal	9	2.00	0.90	Frames and doors are in need of replacement. Many doors hav ...
<select or leave blank>					
<select or leave blank>					
	Exterior Doors		Subtotal	3.10	
BUILDING ENVELOPE C.3 Exterior Doors/Windows			Total	3.55	

SUMMARY OF ALL ROOFS							
Category		Total Sq.Ft.	Subscore	Areas	Score		General Comments
C.1 Building Roof		70,000	2.26	1	2.26		

ROOF							
C.1 Building Roof	Type	Install Year	Square Feet	Subscore	Score	Warranty Exp.	Comments/Remarks
C.1_Membrane	EPDM	2003	52,000	2.00	1.49	2018	
	Manufacturer/Installer	Firestone					
C.1_Shingles	Asphalt	2007	9,000	2.00	0.26		
	Manufacturer/Installer						
C.1_Membrane	EPDM	2017	9,000	4.00	0.51	Unknown	
	Manufacturer/Installer						
<select or leave blank>							
	Manufacturer/Installer						
ROOF C.1 Building Roof		Total Sq.Ft.	70,000	Total Score	2.26		

# Condition Assessments

## Knapp Elementary School Building Envelope Summary

### Exterior Facades:

• The existing exterior facades are generally comprised of brick veneer from grade up to 7'-4" with EIFS above generally to a height of 10'-0" capped with an aluminum fascia at the roof edge with taller portions on the north and west to a height of 12'-0" and taller portions on the south to a height of 15'-0". The gymnasium is comprised of brick veneer from grade/low roof up to 23'-4" with EIFS above to a height of 26'-0" with gable ends extending higher with the slope of the roof with aluminum gutters or roof edge. Cafeteria has full height brick from grade/low roof up to 18'-0" capped with an aluminum fascia at the roof edge.

• The existing exterior facades are visually in good condition. The brick veneer is due for cleaning and in need of minor tuckpointing maintenance needs. The EIFS has a few select areas of repair needed particular on the south and west of the gymnasium and north addition, needing general cleaning and repainting to ensure strength of the system remains intact. The aluminum fascia appears to be in good condition.

• The aluminum windows are thermal windows and visually appear to be in good condition. Most windows are assumed to be original to the 1987 addition and renovation project which estimates the aluminum frames are in the last quarter of their expected lifespan of 45-60 years, and the glazing units have surpassed their expected lifespan of 20-25 years. Perimeter window sealant appears to be well maintained.

• The aluminum doors are thermal systems and visually appear to be in good condition. Age and lifespan information identical to aluminum windows listed above. Hollow metal frames and doors at gymnasium and loading dock are in poor condition with many containing non-thermal glazing.

### Priority Items:

- a. General maintenance of brick veneer including cleaning and tuckpointing.
- b. General maintenance of EIFS including select repairs, cleaning, and repainting of entire system. EIFS repair needs are more prominent on the south and west of the gymnasium and on the north addition.
- c. Replace hollow metal doors and frames at five locations (four pairs and one single) at the gymnasium and loading dock.

d. The main entrance canopy needs metal gutters and downspouts installed.

### Roofs:

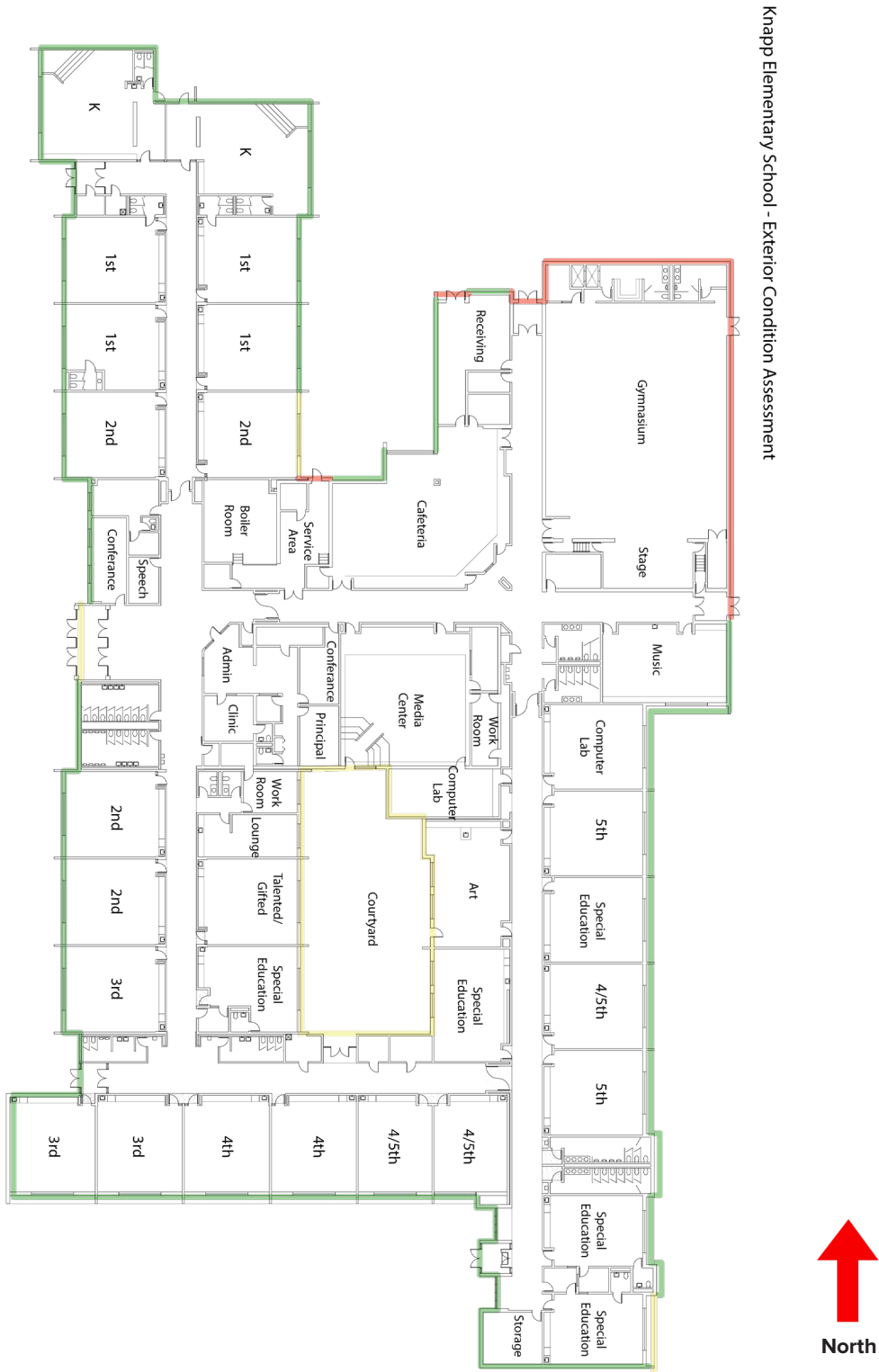
• The existing roof is comprised of two types of roofing. EPDM roof membrane manufactured by Firestone installed in 2003 comprises approximately 54,000 SF with warranty that expired in 2018. Another section of EPDM roof membrane with unconfirmed manufacturer (assumed Firestone) was installed in 2017 comprises approximately 8,000 SF with unknown warranty. Asphalt shingles installed in 2007 comprise approximately 8,000 SF.

### Priority Items:

- a. Monitor the 2003 EPDM roof membrane. EPDM roof membranes have an average lifespan of 30 – 50 years dependent on install, maintenance, and environmental factors. On the low end, consideration for replacement in 10 years unless concerns or issues are observed earlier.
- b. Monitor the 2007 asphalt shingle. Asphalt shingles have an average lifespan of 15 – 30 years dependent on install, maintenance, and environmental factors. On the low end, consideration for replacement within the next 5 years unless concerns or issues are observed earlier.

Condition Assessments

Knapp Elementary School Exterior Floorplan



Condition Assessments

Knapp Elementary School Corridors/Commons

SUMMARY OF ALL CORRIDORS/COMMONS					
Category		Subscore	Areas	Score	General Comments
D.1 ADA/Accessibility		2.58	1	2.58	
D.2 Floor Finish		2.50	1	2.50	
D.3 Wall Finish		2.23	1	2.23	
D.4 Ceiling Finish		2.61	1	2.61	
D.5 Doors/Borrowed Lites		3.00	1	3.00	
D.6 Fixed Equipment		3.00	1	3.00	

CORRIDOR/COMMONS					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_ Door Hardware/Clearances		FALSE		1.75	Knob hardware should be replaced with lever hardware.
D.1_ Routing/Ramps		TRUE		4.00	One-story building.
D.1_ Wayfinding Signage		FALSE		2.00	Directional signage is minimal to none. Directional signage would be helpful.
D.1_ Elevator/Lift		FALSE		N/A.	
CORRIDOR/COMMONS D.1 ADA/Accessibility			Total	2.58	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_ Vinyl	VCT	15	2.50	0.38	Tile at exterior doors could use replacement. Some are worse than others.
D.2_ Carpet	Broadloom	85	2.50	2.13	Carpet is worn.
<select or leave blank>					
<select or leave blank>					
CORRIDOR/COMMONS D.2 Floor Finish			Total	2.50	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_ Gypsum	Painted	90	2.25	2.03	
D.3_ Gypsum	Wallcovering	10	2.00	0.20	Refresh needed.
<select or leave blank>					
<select or leave blank>					
CORRIDOR/COMMONS D.3 Wall Finish			Total	2.23	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_ Suspended	Acoustic	75	2.75	2.06	Grid is decent with a few exceptions. Tiles have sag and misalignments.
D.4_ Gypsum	Painted	10	2.50	0.25	Bulkheads have damage.
D.4_ Exposed	Painted	15	2.00	0.30	
<select or leave blank>					
CORRIDOR/COMMONS D.4 Ceiling Finish			Total	2.61	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_ Wood	Painted	100	3.00	3.00	Repainting needed.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
CORRIDOR/COMMONS D.5 Doors/Borrowed Lites			Total	3.00	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_ Tackboard		100	3.00	3.00	
<select or leave blank>					
<select or leave blank>					
		Visual Display Boards	Subtotal	3.00	
<select or leave blank>					N/A.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
		Casework/Countertops	Subtotal		
D.6_ Lockers					N/A.
CORRIDOR/COMMONS D.6 Fixed Equipment			Total	3.00	



# Condition Assessments

Knapp Elementary School Building Classrooms

SUMMARY OF ALL CLASSROOMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		2.00	1	2.00	
D.2 Floor Finish		2.95	1	2.95	
D.3 Wall Finish		2.28	1	2.28	
D.4 Ceiling Finish		2.25	1	2.25	
D.5 Doors/Borrowed Lites		2.75	1	2.75	
D.6 Fixed Equipment		2.68	1	2.68	

CLASSROOM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		FALSE		1.00	Knob hardware should be replaced with lever hardware.
D.1_Door Clearances		TRUE		4.00	
D.1_Room Signage		FALSE		1.00	Signage is present, but not compliant.
D.1_Casework Clearances/Hts.		FALSE		2.00	
CLASSROOM D.1 ADA/Accessibility			Total	2.00	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Carpet	Broadloom	80	3.00	2.40	Aged but generally in decent to good condition. A few
D.2_Vinyl	VCT	20	2.75	0.55	Some appear to have a few years on a replacement, others are
<select or leave blank>					
<select or leave blank>					
CLASSROOM D.2 Floor Finish			Total	2.95	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Painted	10	2.50	0.25	
D.3_Gypsum	Wallcovering	90	2.25	2.03	
<select or leave blank>					
<select or leave blank>					
CLASSROOM D.3 Wall Finish			Total	2.28	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Exposed	Painted	50	2.00	1.00	Metal ceilings need repaint.
D.4_Suspended	Acoustic	35	2.50	0.88	Grid is decent with a few exceptions. Tiles have sag and misalign
D.4_Gypsum	Painted	15	2.50	0.38	Bulkheads are generally in good condition with a few exception
<select or leave blank>					
CLASSROOM D.4 Ceiling Finish			Total	2.25	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	2.75	2.75	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
CLASSROOM D.5 Doors/Borrowed Lites			Total	2.75	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Chalkboard	Lined	30	3.00	0.90	Chalkboards are overall in good condition. Some have been
D.6_Chalkboard	Unlined	30	3.50	1.05	A few have been poorly painted.
D.6_Tackboard		40	2.75	1.10	A few non-commercial grade marker boards have been added.
		Visual Display Boards	Subtotal	3.05	
D.6_Casework	PLAM	70	3.00	2.10	Casework is aged and has wear. Most is fully functional, just co
D.6_Countertops	PLAM	30	3.00	0.90	Same as casework.
<select or leave blank>					
<select or leave blank>					
		Casework/Countertops	Subtotal	3.00	
D.6_Lockers	Wood		2.00	2.00	Most is decent condition but not desired and not compliant.
CLASSROOM D.6 Fixed Equipment			Total	2.68	

# Condition Assessments

Knapp Elementary School Art Room

SUMMARY OF ALL ART ROOMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		2.00	1	2.00	
D.2 Floor Finish		3.00	1	3.00	
D.3 Wall Finish		2.00	1	2.00	
D.4 Ceiling Finish		2.10	1	2.10	
D.5 Doors/Borrowed Lites		2.75	1	2.75	
D.6 Fixed Equipment		2.96	1	2.96	

ART ROOM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		FALSE		1.00	Knob hardware should be replaced with lever hardware.
D.1_Door Clearances		TRUE		4.00	
D.1_Room Signage		FALSE		1.00	Signage is present, but not compliant.
D.1_Casework Clearances/Hts.		FALSE		2.00	Sink locations are not ADA compliant.
ART ROOM D.1 ADA/Accessibility			Total	2.00	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Vinyl	VCT	100	3.00	3.00	Minor condition issues, replacement needed in a few areas.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ART ROOM D.2 Floor Finish			Total	3.00	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Wallcovering	100	2.00	2.00	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ART ROOM D.3 Wall Finish			Total	2.00	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Gypsum	Painted	20	2.50	0.50	Bulkheads are gypsum board.
D.4_Suspended	Acoustic	80	2.00	1.60	SAT tiles have significant sag and misplacements. Tiles are
<select or leave blank>					
<select or leave blank>					
ART ROOM D.4 Ceiling Finish			Total	2.10	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	2.75	2.75	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ART ROOM D.5 Doors/Borrowed Lites			Total	2.75	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Chalkboard		50	3.00	1.50	Chalkboards are overall in good condition. Some have been
D.6_Tackboard		50	3.50	1.75	A few have been poorly painted.
D.6_Markerboard					
		Visual Display Boards	Subtotal	3.25	
D.6_Casework	PLAM	80	3.75	3.00	Minor condition issues.
D.6_Countertops	PLAM	20	3.75	0.75	Same as casework
<select or leave blank>					
<select or leave blank>					
		Casework/Countertops	Subtotal	3.75	
D.6_Lockers	PLAM		2.00	2.00	
D.6_Sinks/Plaster Traps				4.00	
D.6_Work Tables				3.75	
D.6_Kiln and Exhaust				1.00	No kiln was located.
D.6_General Storage				3.00	Lots of casework storage in room. No separate connected
ART ROOM D.6 Fixed Equipment			Total	2.96	

Condition Assessments

Knapp Elementary School Administration

SUMMARY OF ALL ADMINISTRATION					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		1.63	1	1.63	
D.2 Floor Finish		3.25	1	3.25	
D.3 Wall Finish		2.60	1	2.60	
D.4 Ceiling Finish		2.25	1	2.25	
D.5 Doors/Borrowed Lites		2.75	1	2.75	
D.6 Fixed Equipment		3.03	1	3.03	

ADMINISTRATION					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		FALSE		1.00	Knob hardware should be replaced with lever hardware.
D.1_Door Clearances		FALSE		2.50	Most doors have appropriate clearance but there are some exceptions.
D.1_Room Signage		FALSE		1.00	Signage is present, but not compliant.
D.1_Casework Clearances/Hts.		FALSE		2.00	Not compliant
ADMINISTRATION D.1 ADA/Accessibility			Total	1.63	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Carpet	Broadloom	80	3.25	2.60	Carpet is aged and worn, some has been replaced.
D.2_Vinyl	VCT	20	3.25	0.65	
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.2 Floor Finish			Total	3.25	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Painted	70	2.75	1.93	Minor to moderate condition issues.
D.3_Gypsum	Wallcovering	30	2.25	0.68	Minor to moderate condition issues, peeling and tears in some areas.
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.3 Wall Finish			Total	2.60	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	2.25	2.25	Grid is yellowed and aged. Tiles have significant sag. Some rooms have missing tiles.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.4 Ceiling Finish			Total	2.25	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	2.75	2.75	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.5 Doors/Borrowed Lites			Total	2.75	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Markerboard	Unlined	60	3.00	1.80	
D.6_Tackboard		40	3.00	1.20	
			Visual Display Boards Subtotal	3.00	
D.6_Casework	PLAM	70	2.75	1.93	
D.6_Countertops	PLAM	30	3.00	0.90	
<select or leave blank>					
<select or leave blank>					
			Casework/Countertops Subtotal	2.83	
D.6_Appliances				3.25	
ADMINISTRATION D.6 Fixed Equipment			Total	3.03	

Condition Assessments

Knapp Elementary School Music Rooms

SUMMARY OF ALL MUSIC ROOMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		2.00	1	2.00	
D.2 Floor Finish		2.25	1	2.25	
D.3 Wall Finish		2.40	1	2.40	
D.4 Ceiling Finish		2.25	1	2.25	
D.5 Doors/Borrowed Lites		2.75	1	2.75	
D.6 Fixed Equipment		2.67	1	2.67	

MUSIC ROOM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		FALSE		1.00	Knob hardware should be replaced with lever hardware.
D.1_Door Clearances		TRUE		4.00	
D.1_Room Signage		FALSE		1.00	Signage is present, but not compliant.
D.1_Casework Clearances/Hts.		FALSE		2.00	
MUSIC ROOM D.1 ADA/Accessibility			Total	2.00	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Carpet	Broadloom	100	2.25	2.25	Wear and tear.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
MUSIC ROOM D.2 Floor Finish			Total	2.25	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Wallcovering	80	2.50	2.00	
D.3_Gypsum	Painted	20	2.00	0.40	Patch and repair.
<select or leave blank>					
<select or leave blank>					
MUSIC ROOM D.3 Wall Finish			Total	2.40	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	2.25	2.25	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
MUSIC ROOM D.4 Ceiling Finish			Total	2.25	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	2.75	2.75	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
MUSIC ROOM D.5 Doors/Borrowed Lites			Total	2.75	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Chalkboard	Lined	100	3.00	3.00	
D.6_Tackboard					
<select or leave blank>					
			Visual Display Boards Subtotal	3.00	
D.6_Casework	PLAM	70	3.00	2.10	Minor condition issues.
D.6_Countertops	PLAM	30	3.00	0.90	Minor condition issues.
			Casework/Countertops Subtotal	3.00	
D.6_Lockers					
D.6_Tiers/Bleachers					
D.6_General Storage				2.00	
MUSIC ROOM D.6 Fixed Equipment			Total	2.67	

Condition Assessments

Knapp Elementary School Gymnasium

SUMMARY OF ALL GYMNASIUMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		1.50	1	1.50	
D.2 Floor Finish		3.75	1	3.75	
D.3 Wall Finish		2.50	1	2.50	
D.4 Ceiling Finish		2.00	1	2.00	
D.5 Doors/Borrowed Lites		2.75	1	2.75	
D.6 Fixed Equipment		3.08	1	3.08	

GYMNASIUM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		FALSE		1.00	Knob hardware should be replaced with lever hardware.
D.1_Door Clearances		FALSE		3.00	Main gym doors are good, stage doors are not.
D.1_Room Signage		FALSE		1.00	Signage is present, but not compliant.
D.1_General ADA (routing/seats/etc)		FALSE		1.00	Stage access not compliant.
GYMNASIUM D.1 ADA/Accessibility			Total	1.50	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Athletic	Hardwood	100	3.75	3.75	Wood is in good shape. Perimeter base needs work.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
GYMNASIUM D.2 Floor Finish			Total	3.75	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Masonry	CMU	100	2.50	2.50	Due for repaint.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
GYMNASIUM D.3 Wall Finish			Total	2.50	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Exposed	Painted	100	2.00	2.00	Flaking paint on bottom of deck and ducts.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
GYMNASIUM D.4 Ceiling Finish			Total	2.00	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	80	2.75	2.20	Almost all doors are wood/stained overall in decent condition.
D.5_Metal	Hollow	20	2.75	0.55	
<select or leave blank>					
<select or leave blank>					
GYMNASIUM D.5 Doors/Borrowed Lites			Total	2.75	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Markerboard	Unlined				
D.6_Tackboard					
		Visual Display Boards	Subtotal		
D.6_Equipment	Basketball Main			3.00	End court wall pads in poor condition.
D.6_Equipment	Basketball Cross Court			3.00	One wall-mounted basketball hoop.
D.6_Equipment	Divider Curtain/Partition				
D.6_Equipment	Bleachers			3.25	
D.6_Equipment	General Storage				
GYMNASIUM D.6 Fixed Equipment			Total	3.08	

Condition Assessments

Knapp Elementary School Cafeteria/Kitchen

SUMMARY OF ENTIRE CAFETERIA/KITCHEN					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		2.00	1	2.00	
D.2 Floor Finish		3.25	1	3.25	
D.3 Wall Finish		2.73	1	2.73	
D.4 Ceiling Finish		2.00	1	2.00	
D.5 Doors/Borrowed Lites		2.75	1	2.75	
D.6 Fixed Equipment		3.55	1	3.55	

CAFETERIA/KITCHEN					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		FALSE		1.00	Knob hardware should be replaced with lever hardware.
D.1_Door Clearances		TRUE		4.00	
D.1_Room Signage		FALSE		1.00	Signage is present, but not compliant.
D.1_Casework Clearances/Hts.		FALSE			
CAFETERIA/KITCHEN D.1 ADA/Accessibility			Total	2.00	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Vinyl	VCT	100	3.25	3.25	Overall in decent shape. A crack translated from the slab
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
CAFETERIA/KITCHEN D.2 Floor Finish			Total	3.25	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Masonry	CMU	90	2.75	2.48	Due for repaint
D.3_Gypsum	Painted	10	2.50	0.25	
<select or leave blank>					
<select or leave blank>					
CAFETERIA/KITCHEN D.3 Wall Finish			Total	2.73	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	2.00	2.00	Ceiling is overall in poor condition. Grid appears stable but
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
CAFETERIA/KITCHEN D.4 Ceiling Finish			Total	2.00	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	2.75	2.75	Almost all doors are wood/stained overall in decent condition.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
CAFETERIA/KITCHEN D.5 Doors/Borrowed Lites			Total	2.75	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Tackboard					
<select or leave blank>					
<select or leave blank>					
		Visual Display Boards	Subtotal		
<select or leave blank>					N/A.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
		Casework/Countertops	Subtotal		
D.6_Freezers/Coolers				3.75	
D.6_Cooking Battery				3.75	Good condition. Space appears appropriate.
D.6_Serving				3.75	Good condition. Assumed adequate for capacity.
D.6_Dishwashing					
D.6_Overall Function				3.50	Layout looks appropriate. Serving is within cafeteria space.
D.6_General Storage				3.00	
CAFETERIA/KITCHEN D.6 Fixed Equipment			Total	3.55	

# Condition Assessments

## Knapp Elementary School Restrooms

SUMMARY OF ALL RESTROOMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		1.00	1	1.00	
D.2 Floor Finish		2.30	1	2.30	
D.3 Wall Finish		3.19	1	3.19	
D.4 Ceiling Finish		2.08	1	2.08	
D.5 Doors/Borrowed Lites		2.75	1	2.75	
D.6 Fixed Equipment		2.32	1	2.32	

RESTROOM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware/Clearances		FALSE		1.00	
D.1_Room Signage		FALSE		1.00	
D.1_Stall Widths/Clearances		FALSE		1.00	
D.1_General ADA Clearances		FALSE		1.00	
RESTROOM D.1 ADA/Accessibility			Total	1.00	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Terrazzo		30	3.00	0.90	
D.2_Tile	Mosaic	70	2.00	1.40	
<select or leave blank>					
<select or leave blank>					
RESTROOM D.2 Floor Finish			Total	2.30	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Tile	Square	75	3.25	2.44	
D.3_Masonry	SGT	25	3.00	0.75	
<select or leave blank>					
<select or leave blank>					
RESTROOM D.3 Wall Finish			Total	3.19	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Exposed	Painted	30	2.25	0.68	
D.4_Suspended	Acoustic	70	2.00	1.40	
<select or leave blank>					
<select or leave blank>					
RESTROOM D.4 Ceiling Finish			Total	2.08	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	2.75	2.75	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
RESTROOM D.5 Doors/Borrowed Lites			Total	2.75	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
<select or leave blank>					N/A.
<select or leave blank>					
	Visual Display Boards		Subtotal		
D.6_Partitions	Metal/SS	75	1.00	0.75	Poor condition, many have been repainted multiple times. Cor...
D.6_Toilet_Accessories	General	10	4.00	0.40	
D.6_Toilet_Accessories	Benches	5	2.00	0.10	
D.6_Toilet_Accessories	Showers	10	2.00	0.20	
	Partitions/Accessories		Subtotal	1.45	
D.6_Countertops	PLAM			2.75	
D.6_Lockers	Metal			2.75	
RESTROOM D.6 Fixed Equipment			Total	2.32	

# Condition Assessments

## Knapp Elementary School Building Interior Environment

Stairs:

- Existing building is single-story with no building stairs present.
- Existing stairs are limited to stage stairs or risers with media center and classrooms. See other sections for any needs noted.

Priority Items:

- a. None currently.

Corridors:

- Corridors are approximately 10'-0" wide throughout the building with recessed doorways exiting rooms. Double egress doors span across corridors at locations of existing 2-hour separation walls at five locations. Floor, wall, and ceiling finishes are mostly original to the 1987 renovation. While dated, these have been well maintained, however, the building is due for renovation throughout.
- Refer to Priority Item "a" under Code section for existing conditions. Existing corridors/classroom walls will need to be confirmed for appropriate fire resistive construction and continuity, due to lack of sprinkler system throughout building, if significant renovation efforts are undertaken.
- Wayfinding signage throughout the building is minimal to none. Room signage is generally present but not ADA compliant.
- Interior doors throughout the building are typically stained wood door in decent condition relative to age and use. Some indoor metal glazing stops need repainting. Door hardware throughout is not ADA compliant.

Priority Items:

- a. Existing corridor carpet could last a few years, if necessary. However, due to wear and age replacement throughout is recommended. Existing floor tile at building entrances needs repair/replacement.
- b. Existing corridor wall finishes are typically wallcovering. Due to wear and age replacement throughout is recommended.
- c. Existing corridor ceiling finishes are typically either painted metal (generally near lobby), painted gypsum bulkheads (generally near door recesses), or suspended acoustic ceiling

system. Painted metal and painted gypsum areas are due for a repaint with gypsum bulkheads in better shape than the metal. Suspended acoustic ceiling system needs repair or replacement. Generally, the grid system is in ok to good condition and could be salvaged at many locations. Generally, the ceiling tiles are minorly to moderately sagging. While the west 1987 addition corridor ceiling is in better shape, full replacement throughout is recommended with 2x2 suspended acoustic ceiling system.

- d. Signage Upgrades project recommended to include new ADA compliant directional signage and room signage throughout the building.

- e. Interior doors to be salvaged and minimally refinished/repainted as needed. Existing non-compliant door hardware should be replaced with new compliant door hardware throughout the building.

Classrooms:

- Classrooms are approximately 875 – 925 SF throughout the building with swiveling coat/backpack storage and casework storage above along corridor wall, open-shelf casework along exterior wall, and visual display boards on interior classroom divider walls. Floor, wall, and ceiling finishes are mostly original to the 1987 renovation. While dated, these have been well maintained, however, the building is due for renovation throughout. Typical finishes are a combination of carpet and VCT flooring, wallcovering, and a combination of painted metal and painted bulkhead ceilings with select regions of classrooms with direct-applied ceiling tiles within the 1960s and 1970s areas and suspended acoustic ceiling systems within the 1987 addition areas. Refer to Restrooms section for additional notes.
- Refer to Priority Item "a" under Code section for existing conditions. Existing corridors/classroom walls will need to be confirmed for appropriate fire resistive construction and continuity, due to lack of sprinkler system throughout building, if significant renovation efforts are undertaken.

Priority Items:

- a. Existing classroom flooring including carpeting and VCT flooring could last a few years with many classrooms, if necessary, although many classrooms would need immediate replacement. However, due to wear and age replacement throughout is recommended.



b. Existing classroom wall finishes are due for replacement due to wear and age throughout the building.

c. Existing classroom ceiling finishes are recommended for repainting/replacement. Existing painted metal locations, which make up most of the ceiling square footage in the 1960s and 1970s areas should be considered for receiving new suspended acoustic ceiling systems while also removing regions of direct-applied ceiling tiles with the same consideration given. Existing suspended acoustic ceiling systems, generally within the 1987 addition areas minimally need ceiling tile replacement with ceiling grid salvaging or full replacement with 2x2 suspended acoustic ceiling system.

d. Existing classroom casework is mostly still fully functional, however, due to wear and age replacement throughout the building is recommended. Consideration for appropriate coat/backpack storage with increased ADA compliancy is potentially needed.

e. Existing classroom visual display boards need consideration for appropriate functionality. Chalkboards are generally in good condition and salvageable if appropriate for educational needs. Some chalkboards have either been poorly covered with markerboard film or tackboard surface, these boards should be replaced with appropriate function visual display boards. Markerboards are less common throughout with non-commercial grade markerboards added throughout the building; consideration for replacement of chalkboards with markerboards should be given. Most tackboards throughout the building are in decent to good condition with replacement needed at tackboards that have been poorly painted. See Technology section for existing integration of educational technology.

#### Restrooms:

- Single-hole and group restrooms throughout the building are not ADA compliant and are in poor physical condition generally with flooring refinishing/replacement needs, ceiling repainting/replacement needs, and restroom accessory replacement needs.

#### Priority Items:

a. All restrooms need renovation with ADA upgrades throughout. Priority would be given to group restrooms located

in four pairs/groupings throughout the building, followed by classroom connected restrooms located at eight locations typical two-hole or single-hole restrooms throughout the building, followed by gymnasium connected restrooms (two-hole) and administrative restrooms comprising another three and a half pairs/groupings of typical single-hole restrooms throughout the building.

b. Alternatively, restrooms listed above could receive finish upgrades only but would remain not ADA compliant.

#### Ancillary Spaces:

- Existing art room is approximately 1,020 SF with no separate storage room or kiln. Storage casework surrounds the perimeter of the room with four sink locations and dedicated teaching wall. Floor, wall, and ceiling finishes are original to the 1987 renovation. While dated, these finishes have particularly been well maintained in the art room. Finishes include VCT flooring, wallcovering, and suspended acoustic ceiling system.

- Existing gymnasium is approximately 4,800 SF with locker rooms and storage spaces occupying another approximately 900 SF and a stage of approximately 700 SF which has access behind to a corridor adjacent to a classroom/music room of approximately 1,040 SF. Floor, wall, and ceiling finishes are original to the 1987 renovation. While dated, these finishes have been well maintained, however, the spaces are due for renovation work.

- Existing cafeteria is approximately 2,465 SF with associated kitchen functions occupying another approximately 300 SF. The combination of spaces is slightly small relative to the building size and comparative district elementary schools. However, comparative to Joy Elementary School which has a very similar overall floorplan, the layout of kitchen and cafeteria allow the space to function better. Floor, wall, and ceiling finishes are primarily original to the 1987 renovation. Serving line is in nook in front of the kitchen which works well.

- Existing media center and associated storage and workroom are approximately 2,500 SF. The space is in good condition with minor maintenance needs relative to floor and wall finishes and equipment condition. Ceiling replacement is recommended due to yellowing of the grid and significant ceiling tile sag.

- Existing administration area is approximately 3,050 SF. Floor,

wall, and ceiling finishes are primarily original to the 1987 renovation. Wall finishes in select rooms are in poor condition. Floor and ceiling finishes are in decent to poor condition dependent on room. Refer to Restrooms section for additional notes. The administration area is functionally lacking in current configuration but is also separated from the building’s main entrance, refer to Secure Visitor Access section for additional notes.

- Refer to Priority Item “a” under Code section for existing conditions. Existing corridors/classroom walls will need to be confirmed for appropriate fire resistive construction and continuity, due to lack of sprinkler system throughout building, if significant renovation efforts are undertaken.

#### Priority Items:

a. Art room renovation needs will be heavily dependent on Owner educational needs with a focus on casework needs, storage needs, and whether a kiln is needed. If additional storage and/or kiln is needed, relocation of the art room function is likely. If deemed not necessary, existing art room renovation would including flooring, wall, and ceiling finishes along with sink dispersed heavy casework inclusion within the existing square footage.

b. Gymnasium and associated locker room, storage, and stage renovation needs will be heavily dependent on Owner needs. The gymnasium is due for floor base replacement, exposed structure and systems cleaning and repaint, wall padding replacement, and bleacher refinish/replacement. The locker rooms and associated restrooms are not ADA compliant and would qualify for a full renovation and ADA upgrade if utilized within the Owner’s program. Similarly, the stage would qualify for a full renovation and ADA upgrade dependent on Owner needs. The attached classroom/music room is typical of notes under the Classroom section. Renovation needs would be based on future use of this space either mirroring typical classroom renovation needs or re-engagement of the space for music curriculum.

c. Cafeteria and kitchen need a finish upgrade. Expansion and full renovation based on functional need could be considered.

d. Media center renovation needs will be heavily dependent on Owner educational needs. The media center is functionally traditional but could continue to service the building with minimal finish upgrades. The media center could be fully renovated to functionally serve the building with additional

curriculum and educational opportunities.

e. Administration area needs a renovation to allow more functional use and service to the building. Relocation in whole or in part to be adjacent to the building’s main entrance is needed, refer to Secure Visitor Access and ADA Building Access sections for additional notes.

Condition Assessments

Knapp Elementary School Mechanical System

SUMMARY OF ENTIRE MECHANICAL SYSTEM					
Category		Subscore	Areas	Score	General Comments
E.2 Building HVAC System		1.94	1	1.94	
E.3 Building Temperature Controls		4.00	1	4.00	

MECHANICAL SYSTEM					
E.2 Building HVAC System	Type			Score	Comments/Remarks
E.2_Central Heating System	Boilers			3.50	
E.2_Central Heating System	Heating Pumps				
E.2_Central Heating System	Air Handling Units			1.00	Original. (4) Aaon RTUs MAU.
Central Heating System		Subtotal		2.25	
E.2_Cooling System	Chiller			4.00	York 11551k98014198 (2019) Chiller not working while we wer
E.2_Cooling System	Cooling Tower			4.00	Gunter 2019.
E.2_Cooling System	Chilled Water Pumps			3.00	
E.2_Cooling System	Condensing Units			1.00	On roof. These look bad.
Cooling System		Subtotal		3.00	
E.2_Equipment	Cabinet/Supplemental Heaters				
E.2_Equipment	Fan Coil Units				
E.2_Equipment	Fans				
E.2_Equipment	PTAC Units				
E.2_Equipment	Unit Ventilators			1.00	Drip pan corroded. Original.
E.2_Equipment	Variable Air Volume Terminals				
Equipment		Subtotal		1.00	
E.2_General	Ductwork			2.00	
E.2_General	Louvers/Exhaust Vents				
E.2_General	Piping			1.00	Change over system. Piping in boiler room in bad condition. To
General		Subtotal		1.50	
MECHANICAL SYSTEM E.2 Building HVAC System		Total		1.94	
E.3 Building Temperature Controls	Type			Score	Comments/Remarks
E.3_Temperature Controls				4.00	JCI. All electronic.
MECHANICAL SYSTEM E.3 Building Temperature Controls		Total		4.00	

Condition Assessments

Knapp Elementary School Plumbing System

SUMMARY OF ENTIRE PLUMBING SYSTEM					
Category		Subscore	Areas	Score	General Comments
E.1 Building Plumbing System		2.42	1	2.42	

PLUMBING SYSTEM					
E.1 Building Plumbing System	Type			Score	Comments/Remarks
E.1_Plumbing Fixtures	Water Closets			3.00	
E.1_Plumbing Fixtures	Lavatories			2.00	
E.1_Plumbing Fixtures	Drinking Fountains			3.00	1 old to 1 new.
E.1_Plumbing Fixtures	Showers			2.00	
E.1_Plumbing Fixtures	Dishwashing				
Plumbing Fixtures		Subtotal		2.50	
E.1_Central Equipment	Hot Water Heating			3.00	
E.1_Central Equipment	Water Softener			1.00	None.
E.1_Central Equipment	Pumps				
Central Equipment		Subtotal		2.00	
E.1_Water_Service	City			3.00	
E.1_Water Service	Domestic Piping			3.00	
Water Service		Subtotal		3.00	
E.1_Sewage_System	City			3.00	
E.1_Sewage System	Piping			3.00	
Sewage System		Subtotal		3.00	
E.1_Gas Service				3.00	
E.1_Fire Suppression				1.00	None.
PLUMBING SYSTEM E.1 Building Plumbing System		Total		2.42	

# Condition Assessments

## Knapp Elementary School Electrical System

SUMMARY OF ENTIRE ELECTRICAL SYSTEM					
Category		Subscore	Areas	Score	General Comments
E.4 Building Electrical System		3.00	1	3.00	
E.5 Building Lighting		2.46	1	2.46	

ELECTRICAL SYSTEM					
E.4 Building Electrical System	Type			Score	Comments/Remarks
E.4_Incoming Service	Size			5.00	1600A, 208/120V, 1600A BPS, FBS. Sad Pwr Style.
E.4_Incoming Service	Condition			3.00	Older MDP backfeed. Panels in hall nooks.
E.4_Incoming Service	Generator			1.00	None.
	Incoming Service	Subtotal		3.00	
E.4_Distribution				3.00	
E.4_Smoke Detection				2.00	None in classrooms.
E.4_Fire Alarm System	Annunciator Panel			4.00	
E.4_Fire Alarm System	Fire Alarm Devices			4.00	Simplex 4010 Es, Batteries 2023. Strokes in Classroom.
	Fire Alarm System	Subtotal		4.00	
ELECTRICAL SYSTEM E.4 Building Electrical System				Total	3.00
E.5 Building Lighting	Type			Score	Comments/Remarks
E.5_Interior Lighting	Administration				
E.5_Interior Lighting	Corridors/Common			3.00	2x4 FL P. Acr.
E.5_Interior Lighting	Classrooms/Science			3.00	4 lamp wraps on Acoustion deck clg.
E.5_Interior Lighting	Art/Music/Auditorium				
E.5_Interior Lighting	Gymnasium/Natorium			4.00	6 Lamp FL w/cages.
E.5_Interior Lighting	Cafetaria/Kitchen			3.00	2x4 P. Acr.
E.5_Interior Lighting	Restrooms				
	Interior Lighting	Subtotal		3.25	
E.5_Exterior Lighting	Building Entries			3.00	
E.5_Exterior Lighting	Parking Lots/Drives			1.00	None.
E.5_Exterior Lighting	Athletic/Play Fields			1.00	None.
	Exterior Lighting	Subtotal		1.67	
ELECTRICAL SYSTEM E.4 Building Electrical System E.5 Building Lighti				Total	2.46



# Condition Assessments

## Knapp Elementary School Technology

SUMMARY OF ALL TECHNOLOGY					
Category		Subscore	Areas	Score	General Comments
E.6 Building Technology		4.06	1	4.06	

TECHNOLOGY					
E.6 Building Technology	Type			Score	Comments/Remarks
E.6_Data Distribution	Incoming			5.00	BM from Admin.
E.6_Data Distribution	Cable Type			3.00	Cat 5.
E.6_Data Distribution	Fiber			5.00	
E.6_Data Distribution	Wireless			5.00	Ruckus
	Data Distribution	Subtotal		4.50	
E.6_Classroom Technology	Teacher				
E.6_Classroom Technology	Monitors				
E.6_Classroom Technology	Smartboards			5.00	Promehtean on cart, dock.
E.6_Classroom Technology	Projection				
	Data Distribution	Subtotal		5.00	
E.6_Communications	Intercom/PA			2.00	Old Dukane Rack, call-in sui at chalkboard.
E.6_Sound Systems	Gymnasium/Natorium			3.00	TOA 900 Series.
E.6_Sound Systems	S.R.			3.00	Phonak.
	Sound Systems	Subtotal		2.67	
TECHNOLOGY E.6 Building Technology				Total	4.06

# Condition Assessments

## Knapp Elementary School Building Systems Summary

### Heating plant

- Building comfort heating is provided by 2 gas-fired boilers which appear and were reported to be in relatively good operating condition. Manufactured in 2016.
  - o Currently, there are no reported issues or concerns for the continued use of these boilers; therefore, it is reasonable to expect successful continued use of the existing heating system until symptoms providing a reason for replacement manifest.

### Cooling plant:

- Building comfort cooling is provided by 1 indoor scroll style chiller (York) with a remote gunter air-cooled condensing unit mounted on the roof. Both appear to be in good working condition. Both units were manufactured in 2019.

### Building piping/pumps:

- The existing HVAC system off a 2-pipe change over system. The existing hydronic piping throughout the building is in poor condition and was reported to need replacement.
- Building and boiler water circulation is provided by 2 end-suction pumps mounted in parallel.
- Chiller water circulation is provided by 2 end-suction pumps mounted in parallel.

### Air-Handler Plants and Systems:

- Multiple constant-speed air-handlers exist at numerous building locations, inside the building envelope. All the air-handlers and associated air-distribution, and comfort control systems are original to the building construction; except for replaced failed components.
  - o All air-handlers and controls appeared in fair to poor condition and were reported in need of replacement.

### Building Temperature Control System:

- The building’s temperature control system throughout the building still utilizes pneumatic controls.

### Priority Items:

- a. The existing fan coil units in all classrooms will be removed and replaced with new vertical unit ventilators (VUV). By installing VUVs, the required outside air can be delivered to each classroom via the local unit, thus eliminating the need for the four existing make-up air units currently located on the roof.
- a. For budget consideration, include 31 x 1200 CFM; 1/3 HP Air handler with heating coil (48 MBH). and cooling coil (39 MBH).
- b. For budget consideration, include 2 x 800 CFM; 1/3 HP Air handler with heating coil (35 MBH). and cooling coil (28 MBH).
- c. For budget consideration, include 5 x 200 CFM; 1/15 HP Air handler with heating coil (10 MBH). and cooling coil (7.5 MBH).
- b. New relief air ventilators shall be provided on the roof to allow for adequate relief air to escape the classrooms or a barometric relief damper option should be provided on each VUV.
- c. The existing hydronic piping throughout the building should be removed and replaced with a new 4-pipe system. With the elimination of the make-up air units (MAUs), which were previously providing room-neutral air to each classroom, the increase load required to condition the code required outside air will fall onto the new vertical unit ventilator (VUV). This change will result in a larger heating and chilled water plant. Consequently, the current capacity of the existing boilers and chiller must be evaluated, and additional capacity may be added to accommodate this new approach.
- d. All five existing air handlers shall be removed and replaced. They are original to the building.
- a. For budget consideration, include 1 x 4800 CFM; 3 HP Air handler with heating coil (159 MBH). and cooling coil (184 MBH).
- b. For budget consideration, include 1 x 3000 CFM; 1.5 HP Air handler with heating coil (140 MBH). and cooling coil (118 MBH).
- c. For budget consideration, include 1 x 2000 CFM; 1 HP Air handler with heating coil (156 MBH). and cooling coil (76 MBH).

- d. For budget consideration, include 1 x 700 CFM; 1/3 HP Air handler with heating coil (25 MBH). and cooling coil (30 MBH).

- e. For budget consideration, include 1 x 8800 CFM; 5 HP Air handler with heating coil (553 MBH). and cooling coil (345 MBH).

- e. All existing cabinet unit heaters, exhaust fans, etc. shall be removed and replaced. They are original to the building.

- a. For budget consideration, include 15 cabinet unit heaters.

- b. For budget consideration, include 27 exhaust fans.

### Plumbing:

- The domestic system is served by a Bradford white gas fired water heater manufactured in 2015. The water heater looked to be in fair condition. There is no water softener.
- The existing domestic, sanitary and vent piping throughout the building look to be in fair condition and were reported to be in relatively good to fair operating condition.

- Several restrooms throughout the building are not ADA compliant and are in fair to poor physical condition.

- There are existing showers that have been abandoned near the gymnasium.

### Priority Items:

- a. The water heater should be replaced and a water softener should be added to the domestic system.

- b. All drinking fountains in area being renovated shall be replaced and upgraded to current ADA compliant standards. The existing domestic water, sanity and vent connections shall be reused.

- c. In all restrooms fixtures, faucets, flush valves in areas being renovated shall be replaced and upgrade to current ADA compliant standards. The existing domestic water, sanity and vent connections shall be reused.

- d. Remove all existing domestic piping serving the gymnasium showers.

### Fire protection:

- A fire sprinkler system does not exist in this building.

### Electrical:

### Electrical Distribution system

- The 1988 Square D 1600 amp 208Y/120V switchboard appears to be in good condition. There is an older distribution panel that was backfed from the new service that should be replaced. The capacity may be an issue with increased electrical requirements for the planned mechanical improvements.

### Fire Alarm

- The existing Simplex 4010ES panel is in good condition. Due to a lack of sprinklers in the building, the facility should have full smoke detector coverage, but does not. Areas lacking smoke detectors include classrooms, administrative spaces, and cafeteria. Either sprinklers should be provided, or the fire alarm system should be upgraded in any future remodeling.

### Lighting

- Lighting in common spaces includes surface mounted wraparounds on acoustic deck ceiling. Classrooms consist of surface mounted fluorescent wrap fixtures on metal acoustic deck. The classroom lighting does not have dimming capabilities nor are occupancy sensors installed to turn off lighting when the room is not in use.

### Priority Items:

- a. Fire alarm should be updated if fire sprinklers are not planned to be installed.

### Technology:

### Data cabling and distribution

- Building has single mode fiber from administration data center. Most cabling is Category 5. Building has Ruckus wireless access points, one for every two classrooms per district IT standard.

### Teaching technology equipment

- Classrooms include both Promethean interactive touchscreen monitors for the lower grades as well as 65” Samsung monitors

# Condition Assessments

## Knapp Elementary School Interior Floorplan

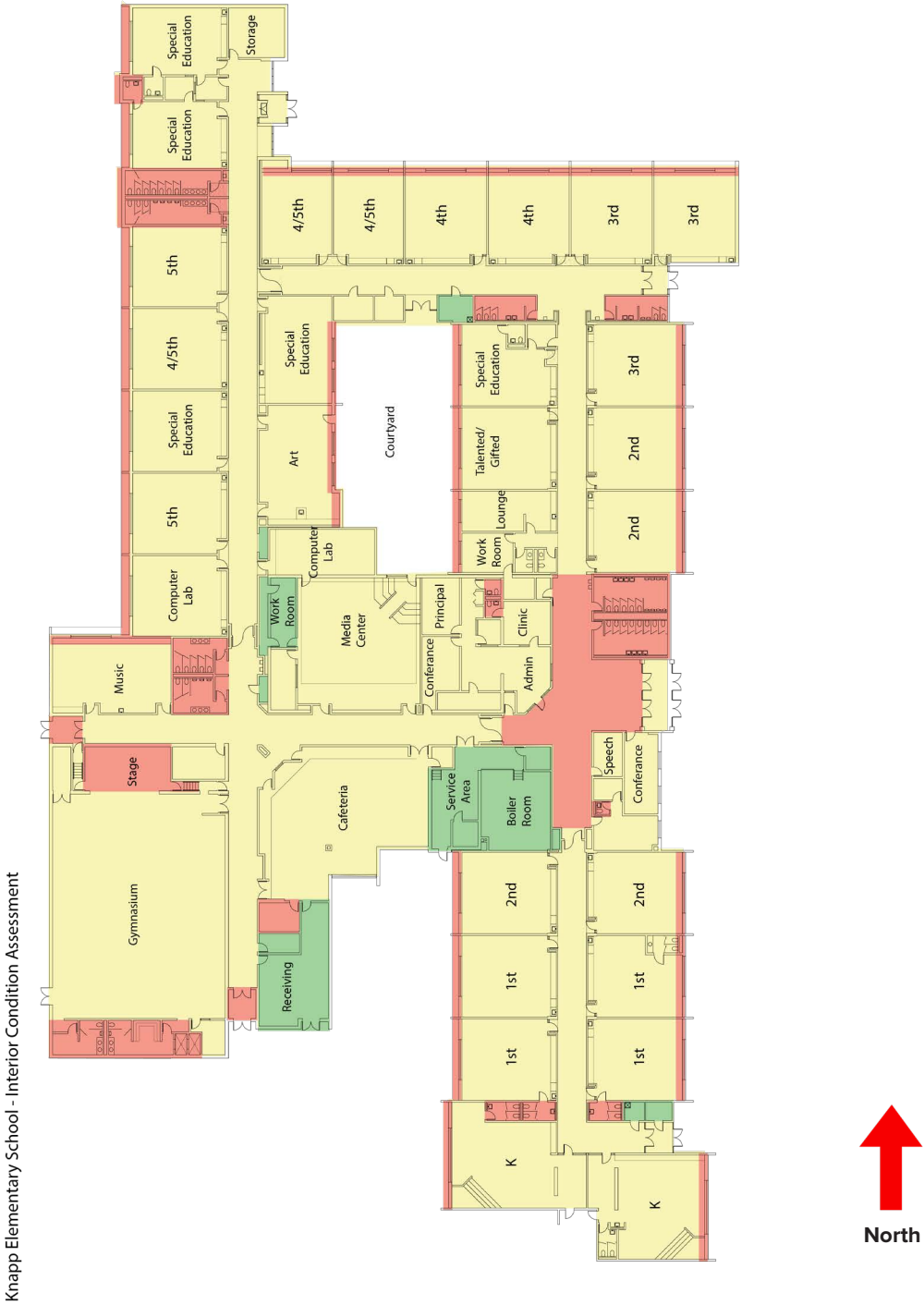
for the upper grade levels. Existing equipment is in good condition.

**Paging / intercom equipment**

- Existing paging / intercom system is a Dukane paging system that is obsolete and should be replaced. Dukane parts are no longer readily available. It is possible that the existing speakers and wiring may be reused depending on existing condition review with Owner.

**Priority Items:**

- Replace paging / intercom head-end equipment.





Condition Assessments

Knapp Elementary School Preliminary Cost Estimate

Bid Sort 2	System L1	System L2	Description	Takeoff Quantity	Grand Total Price	Grand Total Amount
			Conceptual Estimate			
			Construction Cost			
10			Building			
	B2000		Exterior Enclosure			
		B20 4222	Ext Wall Finish, Brick, Clean & Tuckpoint	26,000 sf	5.78 /sf	150,379
		B20 7242	Ext Wall Finish, EIFS, Paint	5,000 sf	3.01 /sf	15,064
		B20 8100	Exterior Doors	9 leaf	2,408.67 /leaf	21,678
			B2000 Exterior Enclosure		/sf	187,121
	B3000		Roofing			
		B30 7310	Shingle Roofing	8,000 sf	11.88 /sf	95,053
		B30 7552	Membrane Roofing, Remove/Replace to Deck	62,000 sf	33.45 /sf	2,073,864
		B30 7710	Gutters & Downspouts	160 lf	13.59 /lf	2,174
			B3000 Roofing			2,171,091
	Z1012		Functional Area Costs			
		xRHKit	Renovation, Heavy, Kitchen	200 sf	399.30 /sf	79,860
		xRHLOB	Renovation, Heavy, Lobby	1,900 sf	344.85 /sf	655,215
		xRHRR	Renovation, Heavy, Restrooms	4,250 sf	944.51 /sf	4,014,175
		xRHStg	Renovation, Heavy, Stage	800 sf	381.15 /sf	304,920
		xRHVest	Renovation, Heavy, Vestibule	300 sf	408.38 /sf	122,513
		xRLMech	Renovation, Light, Mechanical	1,600 sf	113.44 /sf	181,500
		xRLRec	Renovation, Light, Receiving	1,000 sf	75.63 /sf	75,625
		xRLStor	Renovation, Light, Storage	1,300 sf	113.44 /sf	147,469
		xRMCafe	Renovation, Medium, Cafeteria	2,700 sf	363.00 /sf	980,100
		xRMCorr	Renovation, Medium, Corridors	9,050 sf	181.50 /sf	1,642,575
		xRMCr	Renovation, Medium, Classrooms	29,500 sf	211.75 /sf	6,246,625
		xRMGym	Renovation, Medium, Gym	5,200 sf	242.00 /sf	1,258,400
		xRMMedC	Renovaiton, Medium, Media Center	2,100 sf	242.00 /sf	508,200
		xRMMus	Renovation, Medium, Music	1,200 sf	211.75 /sf	254,100
		xRMOff	Renovation, Medium, Office	4,300 sf	181.50 /sf	780,450
		xRMVest	Renovation, Medium, Vestibule	300 sf	272.25 /sf	81,675
			Z1012 Functional Area Costs	200 sf	86,667.01 /sf	17,333,401
			10 Building			19,691,614
20			Site			
	G2000		Exterior Improvements			
		G20 1052	Asphalt Mill/Resurface, North Lot	5,760 sy	21.56 /sy	124,190
		G20 1054	Asphalt Mill/Resurface, South Lot	2,560 sy	21.76 /sy	55,710
		G20 2100	Concrete Sidewalks	3,000 sf	13.46 /sf	40,375
		G20 2102	Concrete Sidewalk Cut/Patch Allowance	4,800 sf	48.40 /sf	232,320
		G20 3112	Chain Link Fence/Gates, Replace	1,900 lf	77.16 /lf	146,604
		G20 3412	Site Furnishings, Directional Signage Allowance	1 allow	18,150.00 /allow	18,150
		G20 3414	Site Furnishings, Digital Monument Sign	1 allow	151,250.00 /allow	151,250
		G20 4212	Tree Maintenance Allowance	1 allow	121,000.00 /allow	121,000
		G20 4312	Courtyards, Renovate	3,500 sf	30.25 /sf	105,875
		G25 6312	Playgrounds, Hard Surface, Seal/Restripe	1,230 sy	2.72 /sy	3,349
		G25 6412	Playgrounds, Equipment Allowance	1 allow	181,500.00 /allow	181,500

Condition Assessments

Lake Hills Elementary School

Condition Assessments

Lake Hills Elementary School Summary

Michigan City Area Schools	
Building:	Lake Hills Elementary School
Building Area:	90,125
Site Acreage:	13.00
Enrollment Capacity:	
Current Enrollment:	383
Construction	Construction Type
2008	Original Construction
See Bldg. Area Plan	Additions and Renovations

Condition Assessment	Score
A SITE CIRCULATION AND AMENITIES	
A.1 Separation/Drop-off/Stacking	4.05
A.2 Drives/Lots and Walks	3.81
A.3 Site Improvements	4.13
B SAFETY AND SECURITY	
B.1 Secure Building Access	3.88
B.2 Surveillance/Cameras	4.25
C BUILDING ENVELOPE	
C.1 Building Roof	3.44
C.2 Exterior Building Walls	3.56
C.3 Exterior Doors/Windows	4.22
D BUILDING INTERIOR ENVIRONMENT	
D.1 ADA/Accessibility	4.83
D.2 Floors	3.89
D.3 Walls	3.75
D.4 Ceilings	4.29
D.5 Doors/Borrowed Lites	4.50
D.6 Fixed Equipment	4.39
E BUILDING SYSTEMS	
E.1 Building Plumbing System	3.44
E.2 Building HVAC System	3.04
E.3 Building Temperature Controls	2.00
E.4 Building Electrical System	3.92
E.5 Building Lighting	3.54
E.6 Building Technology	3.56
CONDITION ASSESSMENT AVERAGE SCORE	3.82
CONDITION ASSESSMENT GRADE	76.47

Condition Assessment Legend	
Building Scoring Matrix	Category Scoring Matrix
100: Excellent	5: No Work Needed
99 - 80: Good	4: Minor Work Needed
79 - 60: Average	3: Moderate Work Needed
59 - 40: Fair	2: Major Work Needed
Below 40: Poor	1: None/Replacement Needed

Condition Assessments

Lake Hills Elementary School Expanded Summary

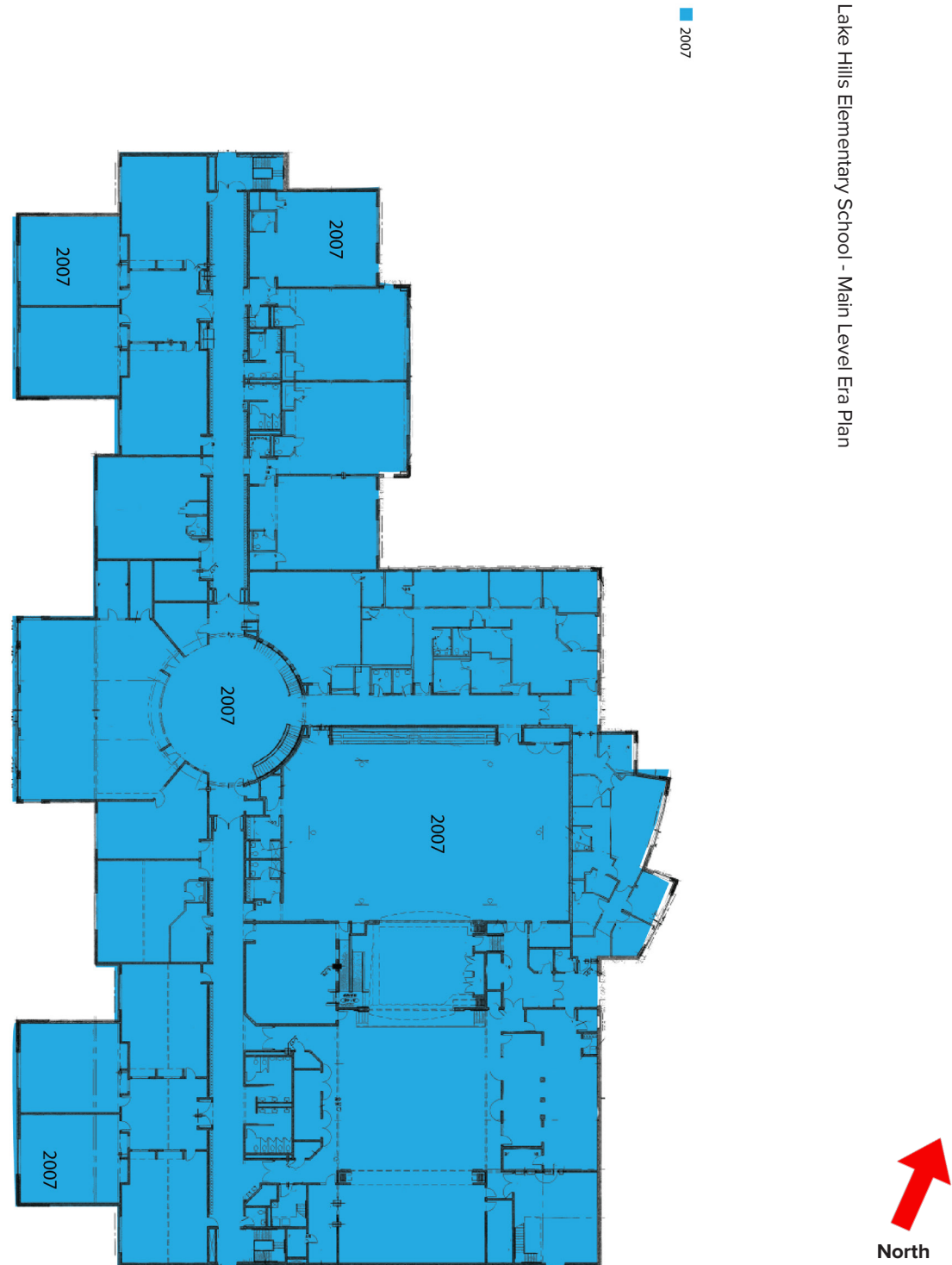
Michigan City Area Schools	
Building:	Lake Hills Elementary School
Building Area:	90,125
Site Acreage:	13.00
Enrollment Capacity:	
Current Enrollment:	383
Construction	Construction Type
2008	Original Construction
See Bldg. Area Plan	Additions and Renovations

Condition Assessment	Score
A SITE CIRCULATION AND AMENITIES	
A.1 Separation/Drop-off/Stacking	4.05
A.2 Drives/Lots and Walks	3.81
A.3 Site Improvements	4.13
B SAFETY AND SECURITY	
B.1 Secure Building Access	3.88
B.2 Surveillance/Cameras	4.25
C BUILDING ENVELOPE	
C.1 Building Roof	3.44
C.2 Exterior Building Walls	3.56
C.3 Exterior Doors/Windows	4.22
D BUILDING INTERIOR ENVIRONMENT	
D.1 ADA/Accessibility	4.84
Administration	4.88
Corridors/Common	4.75
Classrooms/Science	4.50
Art/Music/Auditorium	4.75
Gymnasium/Natatorium	5.00
Cafeteria/Kitchen	5.00
Restrooms/Locker Rooms	5.00
D.2 Floors	3.88
Administration	3.55
Corridors/Common	3.90
Classrooms/Science	3.58
Art/Music/Auditorium	3.88
Gymnasium/Natatorium	4.50
Cafeteria/Kitchen	4.25
Restrooms/Locker Rooms	3.50
D.3 Walls	3.77
Administration	3.70
Corridors/Common	3.70
Classrooms/Science	3.70
Art/Music/Auditorium	3.90
Gymnasium/Natatorium	4.00
Cafeteria/Kitchen	3.70
Restrooms/Locker Rooms	3.70
D.4 Ceilings	4.30
Administration	4.60
Corridors/Common	4.20
Classrooms/Science	4.30
Art/Music/Auditorium	4.05
Gymnasium/Natatorium	4.50
Cafeteria/Kitchen	4.45
Restrooms/Locker Rooms	4.00
D.5 Doors/Borrowed Lites	4.50
Administration	4.50
Corridors/Common	4.50
Classrooms/Science	4.50
Art/Music/Auditorium	4.50
Gymnasium/Natatorium	4.50
Cafeteria/Kitchen	4.50
Restrooms/Locker Rooms	4.50
D.6 Fixed Equipment	4.36
Administration	4.18
Corridors/Common	5.00
Classrooms/Science	4.00
Art/Music/Auditorium	4.27
Gymnasium/Natatorium	4.20
Cafeteria/Kitchen	4.57
Restrooms/Locker Rooms	4.31
E BUILDING SYSTEMS	
E.1 Building Plumbing System	3.44
E.2 Building HVAC System	3.04
E.3 Building Temperature Controls	2.00
E.4 Building Electrical System	3.92
E.5 Building Lighting	3.54
E.6 Building Technology	3.56
CONDITION ASSESSMENT AVERAGE SCORE	3.82
CONDITION ASSESSMENT GRADE	76.47

Condition Assessment Legend	
Building Scoring Matrix	Category Scoring Matrix
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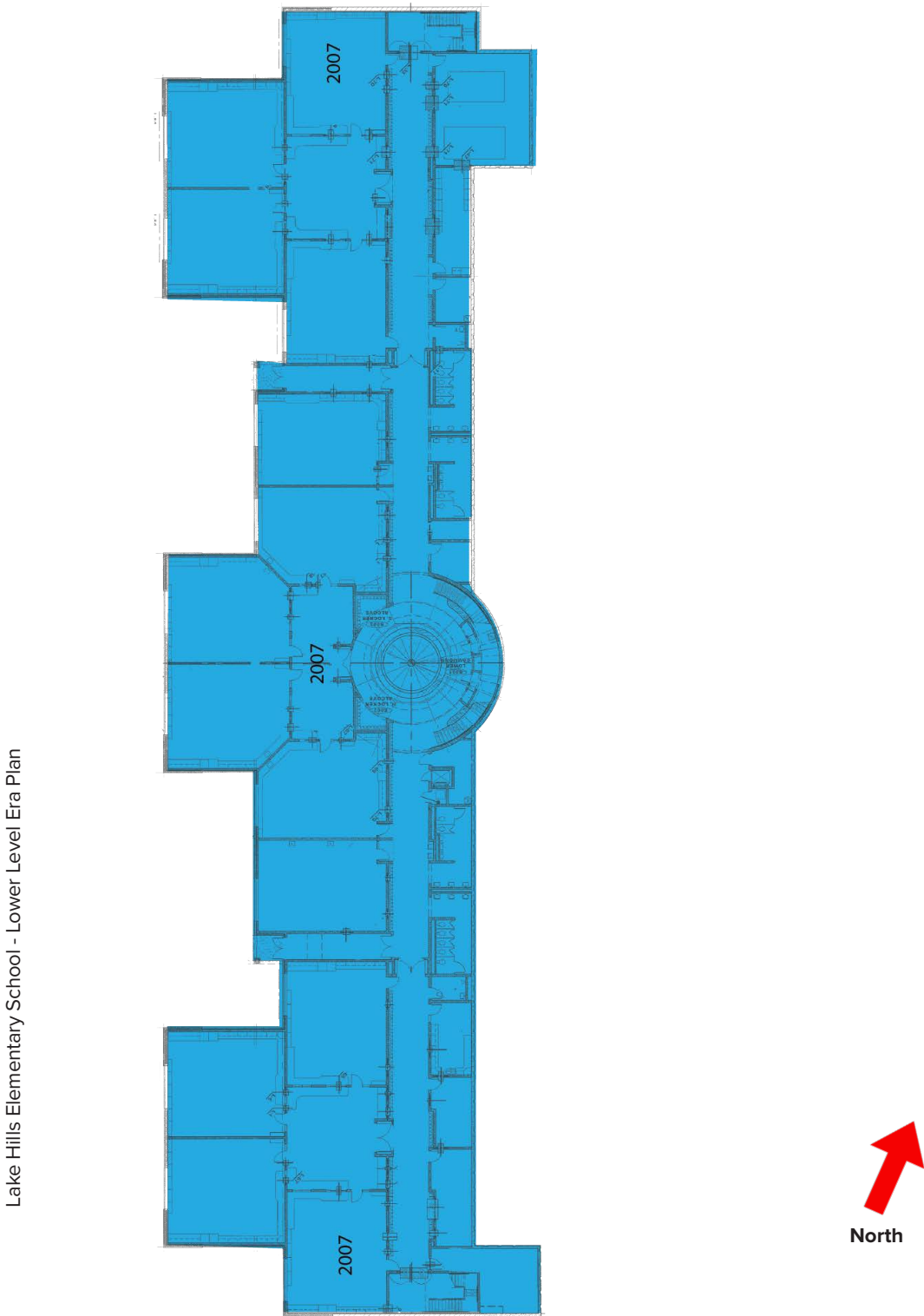
Condition Assessments

Lake Hills Elementary School Era Floorplan - Main Level



Condition Assessments

Lake Hills Elementary School Era Floorplan - Lower Level



# Condition Assessments

## Lake Hills Elementary School Code Analysis

Code Analysis:

- The Building Occupancy is Group E – Educational.
  - Allowable area per code is 14,500 SF. Allowable area will be increased utilizing a sprinkler increase. Frontage increase possible dependent on public way or open space at perimeter of building.
  - The overall square footage is 90,125 SF.
- The Building Type of Construction is Type II-A Protected Non-Combustible.
  - Original construction assumed to be in 2007.
- The existing Building is equipped with a fire suppression system throughout.

Priority Items:

a. NOTE: All non-compliant building code items are grandfathered, however, if any item or area is renovated, new work is required to meet current building code.

# Condition Assessments

## Lake Hills Elementary School Site

SUMMARY OF ENTIRE SITE					
Category		Subscore	Regions	Score	General Comments
A.1 Separation/Drop-off/Stacking		4.05	1	4.05	
A.2 Drives/Lots and Walks		3.81	1	3.81	
A.3 Site Improvements		4.13	1	4.13	

SITE					
A.1 Separation/Drop-off/Stacking					
A.1 Identifiable Main Entry				Score	Comments/Remarks
A.1 Identifiable Main Entry				4.50	Entrance is evident. Additional site entrance signage would add...
A.1 ADA Accessibility	Type	Compliant		Score	Comments/Remarks
A.1 ADA Accessibility	Route	TRUE		5.00	
A.1 ADA Accessibility	Door	TRUE		5.00	
A.1 Parking Space Allocation	Type	Compliant	Quantity	Score	Comments/Remarks
A.1 Parking Space Allocation	Visitor		26.00	5.00	No visitor parking requirement.
A.1 Parking Space Allocation	Staff		50.00	5.00	45 employees. Requirement is 1 space for each employee.
A.1 Parking Space Allocation	Accessible	TRUE	4.00	5.00	4 total. Requirement is 1 per 25 or 2% when count is 501 or mo...
A.1 Site Circulation	Type			Score	Comments/Remarks
A.1 Emergency/Fire Service Access				3.50	School is accessible primarily on the west side. Interior has goo...
A.1 Bus/Vehicular	Separation			3.50	Share Ferguson Road. Separate lots.
A.1 Bus/Vehicular	Signage			2.00	Site signage would ensure lots remain dedicated.
A.1 Bus Drop-off/Pick-up	Route Clarity/Safety			4.00	Route is clear for buses.
A.1 Bus Drop-off/Pick-up	Adequate Stacking			4.00	Moderate but assumed to be close to adequate.
A.1 Car Drop-off/Pick-up	Pedestrian Safety			4.00	Multiple lanes and overlap of bus/car results in reduced safety...
A.1 Car Drop-off/Pick-up	Adequate Stacking			3.00	Multiple lanes needed.
A.1 Car Drop-off/Pick-up	Traffic Pattern			3.50	Enters and exits at one location.
A.1 Delivery Routing	Separation			3.75	Accessed via drive for bus lot. Assumed timing would be crucia...
A.1 Delivery Routing	Loading Dock			4.00	
SITE A.1 Separation/Drop-off/Stacking			Total	4.05	
A.2 Drives/Lots and Walks	Type	%	Subscore	Score	Comments/Remarks
A.2 Sidewalks	Concrete	100	4.00	4.00	Only minor repairs needed, general maintenance.
A.2 Sidewalks					
A.2 Sidewalks					
		Sidewalks	Subtotal	4.00	
A.2 Drives	Asphalt	100	3.50	3.50	Drives are in good condition, approaching resurfacing needs. Se...
A.2 Drives					
A.2 Drives					
		Drives	Subtotal	3.50	
A.2 Parking Lots	Asphalt	100	3.50	3.50	Lots are in good condition, approaching resurfacing needs. Sea...
A.2 Parking Lots					
A.2 Parking Lots					
		Parking Lots	Subtotal	3.50	
A.2 Drives/Parking Lots	Traffic Markings/Striping			4.25	
SITE A.2 Drives/Lots and Walks			Total	3.81	
A.3 Site Improvements	Type			Score	Comments/Remarks
A.3 Playground(s)	Accessibility			3.00	Surface improvement would allow accessibility.
A.3 Playground(s)	Equipment			4.00	Most equipment in good condition.
A.3 Playground(s)	Surface			3.00	Play surfaces are good. See Accessibility comments.
A.3 Playground(s)	Size			4.50	
		Playground(s)	Subtotal	3.63	
A.3 Landscaping	Trees			3.75	Trees are generally at edge of site on N and S. Some trees along...
A.3 Landscaping	Landscaping			5.00	
		Landscaping	Subtotal	4.38	
A.3 Site Drainage	Flood Points			4.50	
A.3 Athletic Fields	Support Buildings				N/A
A.3 Athletic Fields	Bleachers/Stadium Seating				N/A
A.3 Athletic Fields	Athletic/Stadium Lighting				N/A
A.3 Athletic Fields	Athletic/Stadium Paving				N/A
A.3 Athletic Fields	Fencing/Gates				N/A
A.3 Athletic Fields	Field Conditions				N/A
A.3 Athletic Fields	Scoreboards				N/A
		Athletic Fields	Subtotal		
A.3 Site Security	Site Lines			4.50	
A.3 Site Security	Gated/Not Gated			4.00	Gates at lots could be utilized, assumed not crucial to function...
		Site Security	Subtotal	4.25	
A.3 Fencing	Site			4.00	Site is buffered by physical conditions and adjacency to Mullen...
A.3 Fencing	Playground(s)			3.75	W playground for lower grades has low fencing.
		Fencing	Subtotal	3.88	
SITE A.3 Site Improvements			Total	4.13	

# Condition Assessments

## Lake Hills Elementary School Site Summary

### ADA Building Access:

- Four accessible parking spots are provided in the southwest lot. This lot is connected to the main entrance which has an automatic door operator.

### Priority Items:

- a. Add ADA compliant detectable warning strips at accessible areas where sidewalk meets parking lots.

### Drives, Parking, and Sidewalks:

- The property has two parking lots, both on the west side of the building. The southwest lot is for visitors, staff, and car rider pick-up/drop-off, and has a single drive for entry and exit. Lot appears inadequately sized to properly accommodate car rider pick-up/drop-off. Multiple lanes or an additional drive may be needed. The northwest lot is for bus rider pick-up/drop-off and has two drives, one entry and one exit. The bus lot provides adequate space for stacking buses. The bus lot also provides access to the maintenance and delivery drive. Each lot has visible striping and traffic markings, though some minor cracking of the asphalt.

- Sidewalks are in great condition. A few weeds are growing in the expansion joints. Potential heaving of the sidewalk segments should be monitored.

### Priority Items:

- a. Additional signage should be added to direct traffic to appropriate lots more easily.
- b. Both lots have cracking, but overall, in good condition. Resurfacing is not urgent but should be considered in the future. Seal coating is recommended at this time in addition to restriping.
- a. Gates at both lots would increase safety and security throughout the site.
- c. Repair minor issues with sidewalks.

### Landscaping/Site Elements:

- Site is surrounded by mature trees primarily on the north and south sides. There are several additional trees and other landscaping elements around the building that were added after the school's construction. Some trees along the east elevation are too close to the building. Fencing around the site is limited. The site, however, is buffered by physical conditions, landscaping, and adjacency to Mullen School. The site is well lit, including at building entrances. Clear site lines are present as well.

### Priority Items:

- a. Remove or relocate trees located along the east elevation. These trees pose potential hazards to the building foundation and façade.

### Playground:

- School is equipped with two play areas: one to the east behind the vacant Mullen Elementary School, and one on the southwest corner of the building. The east playground is designated for use by older students, while the southwest playground is designated for use by younger students. Play surfaces at both playgrounds are in good condition, however, improvements could be made to improve accessibility. Most of the play equipment is in good condition with some accessible options available for students.

### Priority Items:

- a. Existing playground surfaces are in good condition. Regular maintenance should take place including removing weeds and leveling low spots. The playground surfaces do not need to be replaced at this time, but replacement could be considered. These surfaces can be replaced with new loose-fill material such as rubber mulch or engineered wood fiber which is cost-effective. Alternatively, the new surface could use unitary materials such as rubber mats or artificial turf. However, unitary materials are more costly but require less maintenance than the loose-fill material.



# Condition Assessments

## Lake Hills Elementary School Site and Security and Roof

SUMMARY OF ALL SAFETY AND SECURITY					
Category		Subscore	Areas	Score	General Comments
B.1 Secure Building Access		3.88	1	3.88	
B.2 Surveillance/Cameras		4.25	1	4.25	

SAFETY AND SECURITY					
B.1 Secure Building Access	Type			Score	Comments/Remarks
B.1_Card/Code/FOBS				5.00	
B.1_Secure_Vestibule	Direct Admin Connection			4.50	Securing door from admin to school would allow proper functi...
B.1_Secure_Technology	AI Voice & Video/Door Release			5.00	
B.1_Security Officer Station(s)				1.00	
SAFETY AND SECURITY B.1 Secure Building Access			Total	3.88	
B.2 Surveillance/Cameras				Score	Comments/Remarks
B.2_Video Surveillance				4.50	
B.2_Intrusion Detection				4.00	Building has a GE burglar alarm with motion sensors at entries ...
SAFETY AND SECURITY B.2 Surveillance/Cameras			Total	4.25	

SUMMARY OF ALL ROOFS							
Category		Total Sq.Ft.	Subscore	Areas	Score		General Comments
C.1 Building Roof		56,000	3.44	1	3.44		

ROOF							
C.1 Building Roof	Type	Install Year	Square Feet	Subscore	Score	Warranty Exp.	Comments/Remarks
C.1_Membrane	EPDM	2008	34,000	2.75	1.67	2023?	Confirm no replacement has be...
	Manufacturer/Installer						
C.1_Metal	Standing Seam	2008	22,000	4.50	1.77		Confirm no replacement has be...
	Manufacturer/Installer						
<select or leave blank>							
	Manufacturer/Installer						
<select or leave blank>							
	Manufacturer/Installer						
ROOF C.1 Building Roof		Total Sq.Ft.	56,000	Total Score	3.44		

### Secure Visitor Access:

- Visitors enter the school through the main entry located immediately off the staff/visitor parking lot. Entry is granted via a video intercom system connected to the administrative office which is adjacent to the entry. Once the door lock is released, visitors enter a secure vestibule that prohibits access to the remainder of the school until granted access. Visitors do have free access to enter the office from the vestibule, however.
- Building access for staff is granted via card or key fobs at doors throughout the school.
- The school is equipped with video surveillance equipment along the interior and exterior of the building.

### Priority Items:

- a. The door to the administrative office should be upgraded to one with a door release to create a truly secure vestibule.
- b. Additional video surveillance cameras should be considered to eliminate blind spots.



# Condition Assessments

## Lake Hills Elementary School Building Envelope

SUMMARY OF ENTIRE BUILDING ENVELOPE					
Category		Subscore	Areas/Regions	Score	General Comments
C.2 Exterior Building Walls		3.56	1	3.56	
C.3 Exterior Doors/Windows		4.22	1	4.22	

BUILDING ENVELOPE					
C.2 Exterior Building Walls	Type	%	Subscore	Score	Comments/Remarks
C.2_Masonry	Brick	75	3.75	2.81	Brick is in good condition, could use clean and general maintain...
C.2_Finish_System	Exterior Insulation (EIFS)	25	3.00	0.75	EIFS in good condition, most areas in need of repaint. Minor ar...
<select or leave blank>					
<select or leave blank>					
BUILDING ENVELOPE C.2 Exterior Building Walls			Total	3.56	
C.3 Exterior Doors/Windows	Type	% or Qty.	Subscore	Score	Comments/Remarks
C.3_Aluminum	Window	65	3.75	2.44	Most aluminum window screens have been removed due to fa...
C.3_Aluminum	Storefront	25	4.50	1.13	
C.3_Aluminum	Curtainwall	10	4.50	0.45	
<select or leave blank>					
	Exterior Windows		Subtotal	4.01	
C.3_Swinging	Aluminum	12	4.50	3.86	
C.3_Swinging	Hollow Metal	2	4.00	0.57	
<select or leave blank>					
<select or leave blank>					
	Exterior Doors		Subtotal	4.43	
BUILDING ENVELOPE C.3 Exterior Doors/Windows			Total	4.22	



# Condition Assessments

## Lake Hills Elementary School Building Envelope

### Exterior Facades:

- Building exterior is primarily masonry veneer. Masonry is in good condition, overall. Although, some areas are dirty. Masonry on the east side of the building shows water staining. Portions of the building, primarily above the main roof line, have EIFS features. The EIFS is in good condition but could use some general maintenance.
- There are several windows around the perimeter of the building. Window types vary between aluminum framed, storefront, or curtainwall. The windows themselves are in above average condition. However, the aluminum framed windows had window screens removed due to wear and tear.
- Most of the exterior doors are aluminum, though two are hollow metal. All doors are in above average condition.

### Priority Items:

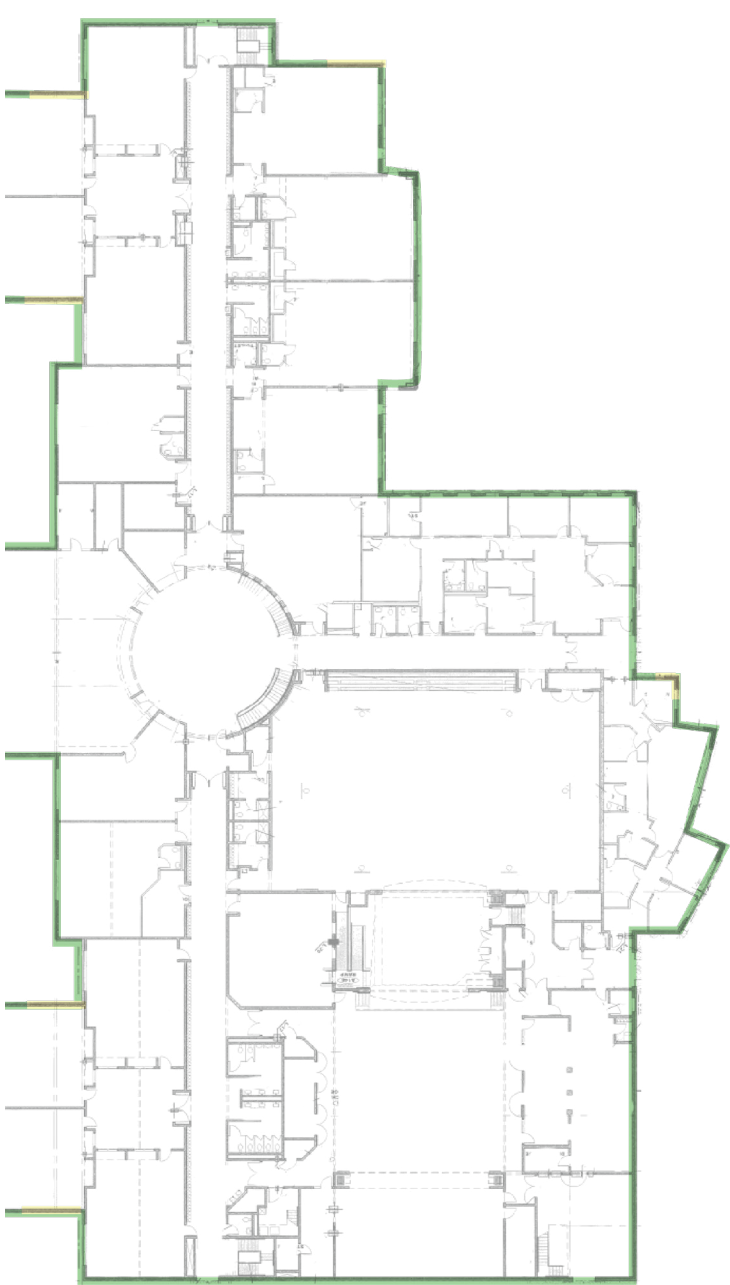
- a. Clean masonry and inspect mortar joints. Repair mortar joints as needed. The masonry on the east façade showing water staining should be investigated further to properly identify and address the underlying problem. EIFS should be repaired where needed. Entirety of EIFS should be cleaned and repainted once repairs complete. EIFS sealant joints need to be reworked.
- b. Owner should evaluate and consider whether replacement screens are necessary. Inspect and replace sealant around windows, storefront, and curtainwall as needed to maintain weather-tight seal.
- c. Consideration should be given to cleaning and repainting exterior hollow metal doors and frames.

### Roofs:

- The existing roof is comprised of two types of roofing. EPDM roof membrane assumed to be installed during the original construction in 2007/8 comprises approximately 34,000 SF. Standing seam metal roofing assumed to be installed during the original construction in 2007/8 comprises approximately 22,000 SF.
- ### Priority Items:
- a. Consideration should also be given to the EPDM roof membrane system to ensure proper maintenance and patching. Expectation is that full replacement should start to be considered in 5-10 years, but the roof could last longer dependent on several factors.
  - b. No immediate concerns with the standing seam metal roof unless damage or water infiltration occurs.

# Condition Assessments

Lake Hills Elementary School Exterior Floorplan - Main Level



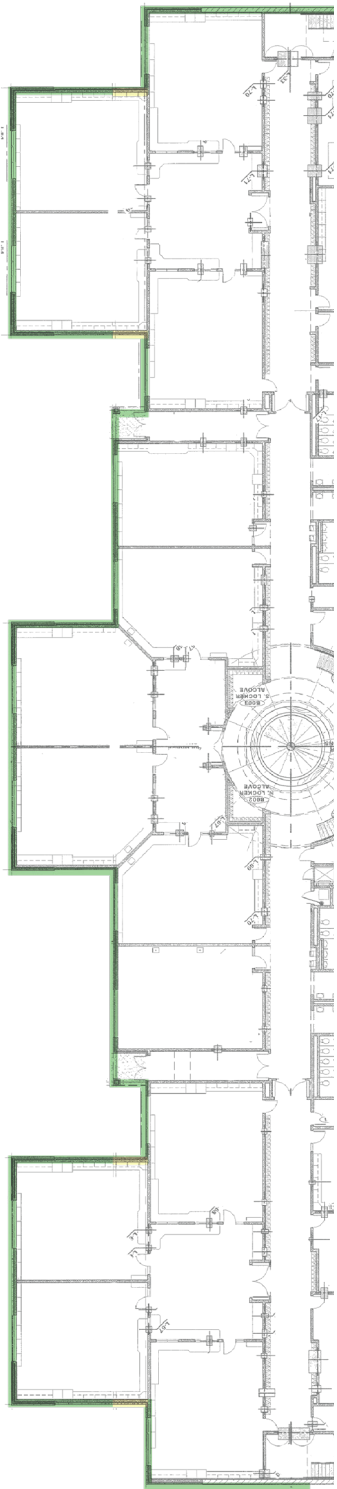
Lake Hills Elementary School - Main Level Exterior Condition Assessment



North

# Condition Assessments

Lake Hills Elementary School Exterior Floorplan - Lower Level



Lake Hills Elementary School - Lower Level Condition Assessment



North

# Condition Assessments

Lake Hills Elementary School Corridors/Commons

SUMMARY OF ALL CORRIDORS/COMMONS					
Category		Subscore	Areas	Score	General Comments
D.1 ADA/Accessibility		4.75	1	4.75	
D.2 Floor Finish		3.90	1	3.90	
D.3 Wall Finish		3.70	1	3.70	
D.4 Ceiling Finish		4.20	1	4.20	
D.5 Doors/Borrowed Lites		4.50	1	4.50	
D.6 Fixed Equipment		5.00	1	5.00	

CORRIDOR/COMMONS					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware/Clearances		TRUE		5.00	Lever hardware and appropriate clearances
D.1_Routing/Ramps		TRUE		5.00	Two level with elevator.
D.1_Wayfinding Signage		TRUE		4.00	
D.1_Elevator/Lift		TRUE		5.00	Two level with elevator.
CORRIDOR/COMMONS D.1 ADA/Accessibility			Total	4.75	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Tile	Square	40	3.75	1.50	Showing some wear.
D.2_Carpet	Broadloom	60	4.00	2.40	
<select or leave blank>					
<select or leave blank>					
CORRIDOR/COMMONS D.2 Floor Finish			Total	3.90	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Masonry	CMU	70	4.00	2.80	
D.3_Gypsum	Painted	30	3.00	0.90	Patch and repair work.
<select or leave blank>					
<select or leave blank>					
CORRIDOR/COMMONS D.3 Wall Finish			Total	3.70	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	40	4.50	1.80	
D.4_Gypsum	Painted	20	4.00	0.80	
D.4_Exposed	Painted	40	4.00	1.60	
<select or leave blank>					
CORRIDOR/COMMONS D.4 Ceiling Finish			Total	4.20	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Metal	Hollow	30	4.50	1.35	
D.5_Wood	Stained	70	4.50	3.15	
<select or leave blank>					
<select or leave blank>					
CORRIDOR/COMMONS D.5 Doors/Borrowed Lites			Total	4.50	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
Visual Display Boards			Subtotal		
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
Casework/Countertops			Subtotal		
D.6_Lockers	Metal			5.00	
CORRIDOR/COMMONS D.6 Fixed Equipment			Total	5.00	

# Condition Assessments

Lake Hills Elementary School Classrooms

SUMMARY OF ALL CLASSROOMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		4.50	1	4.50	
D.2 Floor Finish		3.58	1	3.58	
D.3 Wall Finish		3.70	1	3.70	
D.4 Ceiling Finish		4.30	1	4.30	
D.5 Doors/Borrowed Lites		4.50	1	4.50	
D.6 Fixed Equipment		4.00	1	4.00	

CLASSROOM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		TRUE		5.00	Lever hardware and appropriate clearances.
D.1_Door Clearances		TRUE		5.00	Appropriate clearances.
D.1_Room Signage		TRUE		5.00	Room signage present.
D.1_Casework Clearances/Hts.		FALSE		3.00	Sinks need to include ADA accessibility.
CLASSROOM D.1 ADA/Accessibility			Total	4.50	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Carpet	Broadloom	50	3.75	1.88	Stains, wear, and tears.
D.2_Vinyl	VCT	20	3.25	0.65	Showing some wear
D.2_Carpet	Tile	30	3.50	1.05	
<select or leave blank>					
CLASSROOM D.2 Floor Finish			Total	3.58	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Painted	30	3.00	0.90	
D.3_Masonry	CMU	70	4.00	2.80	
<select or leave blank>					
<select or leave blank>					
CLASSROOM D.3 Wall Finish			Total	3.70	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Exposed	Painted	20	5.00	1.00	
D.4_Gypsum	Painted	20	4.50	0.90	Patch and repaint at many locations throughout.
D.4_Suspended	Acoustic	60	4.00	2.40	
<select or leave blank>					
CLASSROOM D.4 Ceiling Finish			Total	4.30	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	4.50	4.50	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
CLASSROOM D.5 Doors/Borrowed Lites			Total	4.50	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Chalkboard	Unlined	10	4.00	0.40	
D.6_Markerboard	Sliding	60	4.00	2.40	
D.6_Tackboard		30	4.00	1.20	
Visual Display Boards			Subtotal	4.00	
D.6_Casework	PLAM	70	4.00	2.80	Most casework is in good shape and fully functional. Some room
D.6_Countertops	PLAM	30	4.00	1.20	Same as casework.
<select or leave blank>					
<select or leave blank>					
Casework/Countertops			Subtotal	4.00	
D.6_Lockers					N/A.
CLASSROOM D.6 Fixed Equipment			Total	4.00	

Condition Assessments

Lake Hills Elementary School Art Room

SUMMARY OF ALL ART ROOMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		4.50	1	4.50	
D.2 Floor Finish		3.75	1	3.75	
D.3 Wall Finish		3.80	1	3.80	
D.4 Ceiling Finish		4.15	1	4.15	
D.5 Doors/Borrowed Lites		4.50	1	4.50	
D.6 Fixed Equipment		4.54	1	4.54	

ART ROOM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		TRUE		5.00	Lever hardware and appropriate clearances.
D.1_Door Clearances		TRUE		5.00	Appropriate clearances.
D.1_Room Signage		TRUE		5.00	Room signage present.
D.1_Casework Clearances/Hts.		FALSE		3.00	Sink needs to include ADA accessibility.
ART ROOM D.1 ADA/Accessibility			Total	4.50	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Vinyl	VCT	100	3.75	3.75	Peeling of tiles with stains.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ART ROOM D.2 Floor Finish			Total	3.75	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Masonry	CMU	80	4.00	3.20	
D.3_Gypsum	Painted	20	3.00	0.60	Patch and repair work.
<select or leave blank>					
<select or leave blank>					
ART ROOM D.3 Wall Finish			Total	3.80	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Exposed	Painted	70	4.00	2.80	
D.4_Suspended	Acoustic	30	4.50	1.35	
<select or leave blank>					
<select or leave blank>					
ART ROOM D.4 Ceiling Finish			Total	4.15	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	4.50	4.50	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ART ROOM D.5 Doors/Borrowed Lites			Total	4.50	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Chalkboard		50	4.50	2.25	
D.6_Tackboard		50	4.50	2.25	
<select or leave blank>					
Visual Display Boards			Subtotal	4.50	
D.6_Casework	PLAM	70	4.50	3.15	Most of the casework is in good shape.
D.6_Countertops	PLAM	30	4.50	1.35	
<select or leave blank>					
<select or leave blank>					
Casework/Countertops			Subtotal	4.50	
D.6_Lockers					
D.6_Sinks/Plaster Traps				4.50	
D.6_Work Tables				3.75	Light-weight to medium-weight in lieu of heavy-duty.
D.6_Kiln and Exhaust				5.00	
D.6_General Storage				5.00	
ART ROOM D.6 Fixed Equipment			Total	4.54	

Condition Assessments

Lake Hills Elementary School Administration

SUMMARY OF ALL ADMINISTRATION					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		4.88	1	4.88	
D.2 Floor Finish		3.55	1	3.55	
D.3 Wall Finish		3.70	1	3.70	
D.4 Ceiling Finish		4.60	1	4.60	
D.5 Doors/Borrowed Lites		4.50	1	4.50	
D.6 Fixed Equipment		4.18	1	4.18	

ADMINISTRATION					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		TRUE		5.00	Lever hardware.
D.1_Door Clearances		TRUE		5.00	Appropriate door clearances.
D.1_Room Signage		TRUE		5.00	Room signage present and compliant
D.1_Casework Clearances/Hts.		TRUE		4.50	
ADMINISTRATION D.1 ADA/Accessibility			Total	4.88	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Vinyl	VCT	20	3.75	0.75	
D.2_Carpet	Broadloom	60	3.50	2.10	
D.2_Carpet	Tile	20	3.50	0.70	
<select or leave blank>					
ADMINISTRATION D.2 Floor Finish			Total	3.55	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Painted	40	3.25	1.30	Patch and repaint areas where patching occurred.
D.3_Masonry	CMU	60	4.00	2.40	
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.3 Wall Finish			Total	3.70	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Exposed	Painted	20	4.00	0.80	
D.4_Suspended	Acoustic	80	4.75	3.80	
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.4 Ceiling Finish			Total	4.60	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	4.50	4.50	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.5 Doors/Borrowed Lites			Total	4.50	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Markerboard	Unlined	100	4.25	4.25	
D.6_Tackboard					
Visual Display Boards			Subtotal	4.25	
D.6_Casework	PLAM	70	4.50	3.15	
D.6_Countertops	PLAM	30	3.75	1.13	
<select or leave blank>					
<select or leave blank>					
Casework/Countertops			Subtotal	4.28	
D.6_Appliances				4.00	
ADMINISTRATION D.6 Fixed Equipment			Total	4.18	

Condition Assessments

Lake Hills Elementary School Music Room

SUMMARY OF ALL ART ROOMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		4.50	1	4.50	
D.2 Floor Finish		3.75	1	3.75	
D.3 Wall Finish		3.80	1	3.80	
D.4 Ceiling Finish		4.15	1	4.15	
D.5 Doors/Borrowed Lites		4.50	1	4.50	
D.6 Fixed Equipment		4.54	1	4.54	

ART ROOM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		TRUE		5.00	Lever hardware and appropriate clearances.
D.1_Door Clearances		TRUE		5.00	Appropriate clearances.
D.1_Room Signage		TRUE		5.00	Room signage present.
D.1_Casework Clearances/Hts.		FALSE		3.00	Sink needs to include ADA accessibility.
ART ROOM D.1 ADA/Accessibility			Total	4.50	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Vinyl	VCT	100	3.75	3.75	Peeling of tiles with stains.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ART ROOM D.2 Floor Finish			Total	3.75	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Masonry	CMU	80	4.00	3.20	
D.3_Gypsum	Painted	20	3.00	0.60	Patch and repair work.
<select or leave blank>					
<select or leave blank>					
ART ROOM D.3 Wall Finish			Total	3.80	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Exposed	Painted	70	4.00	2.80	
D.4_Suspended	Acoustic	30	4.50	1.35	
<select or leave blank>					
<select or leave blank>					
ART ROOM D.4 Ceiling Finish			Total	4.15	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	4.50	4.50	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ART ROOM D.5 Doors/Borrowed Lites			Total	4.50	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Chalkboard		50	4.50	2.25	
D.6_Tackboard		50	4.50	2.25	
<select or leave blank>					
			Visual Display Boards	Subtotal	4.50
D.6_Casework	PLAM	70	4.50	3.15	Most of the casework is in good shape.
D.6_Countertops	PLAM	30	4.50	1.35	
<select or leave blank>					
<select or leave blank>					
			Casework/Countertops	Subtotal	4.50
D.6_Lockers					
D.6_Sinks/Plaster Traps				4.50	
D.6_Work Tables				3.75	Light-weight to medium-weight in lieu of heavy-duty.
D.6_Kiln and Exhaust				5.00	
D.6_General Storage				5.00	
ART ROOM D.6 Fixed Equipment			Total	4.54	

Condition Assessments

Lake Hills Elementary School Gymnasium

SUMMARY OF ALL GYMNASIUMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		5.00	1	5.00	
D.2 Floor Finish		4.50	1	4.50	
D.3 Wall Finish		4.00	1	4.00	
D.4 Ceiling Finish		4.50	1	4.50	
D.5 Doors/Borrowed Lites		4.50	1	4.50	
D.6 Fixed Equipment		4.20	1	4.20	

GYMNASIUM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		TRUE		5.00	Lever hardware and appropriate clearances.
D.1_Door Clearances		TRUE		5.00	Appropriate clearances.
D.1_Room Signage		TRUE		5.00	Room signage present.
D.1_General ADA (routing/seats/etc)		TRUE		5.00	
GYMNASIUM D.1 ADA/Accessibility			Total	5.00	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Athletic	Hardwood	100	4.50	4.50	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
GYMNASIUM D.2 Floor Finish			Total	4.50	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Masonry	CMU	90	4.00	3.60	
D.3_Panelized	Acoustic	10	4.00	0.40	
<select or leave blank>					
<select or leave blank>					
GYMNASIUM D.3 Wall Finish			Total	4.00	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Exposed	Painted	100	4.50	4.50	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
GYMNASIUM D.4 Ceiling Finish			Total	4.50	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	4.50	4.50	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
GYMNASIUM D.5 Doors/Borrowed Lites			Total	4.50	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Markerboard	Unlined	50	4.50		
D.6_Tackboard		50	4.50		
			Visual Display Boards	Subtotal	
D.6_Equipment	Basketball Main			4.50	Wall pads need minimal replacement
D.6_Equipment	Basketball Cross Court			4.50	
D.6_Equipment	Divider Curtain/Partition			4.00	
D.6_Equipment	Bleachers			4.00	
D.6_Equipment	General Storage			4.00	
GYMNASIUM D.6 Fixed Equipment			Total	4.20	



Condition Assessments

Lake Hills Elementary School Cafeteria/Kitchen

SUMMARY OF ENTIRE CAFETERIA/KITCHEN					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		5.00	1	5.00	
D.2 Floor Finish		4.25	1	4.25	
D.3 Wall Finish		3.70	1	3.70	
D.4 Ceiling Finish		4.45	1	4.45	
D.5 Doors/Borrowed Lites		4.50	1	4.50	
D.6 Fixed Equipment		4.57	1	4.57	

CAFETERIA/KITCHEN					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		TRUE		5.00	Lever hardware and appropriate clearances.
D.1_Door Clearances		TRUE		5.00	Appropriate clearances.
D.1_Room Signage		TRUE		5.00	Room signage present.
D.1_Casework Clearances/Hts.		TRUE		5.00	
CAFETERIA/KITCHEN D.1 ADA/Accessibility			Total	5.00	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Vinyl	VCT	80	4.25	3.40	
D.2_Tile	Square	20	4.25	0.85	
<select or leave blank>					
<select or leave blank>					
CAFETERIA/KITCHEN D.2 Floor Finish			Total	4.25	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Masonry	CMU	60	4.00	2.40	
D.3_Gypsum	Painted	40	3.25	1.30	Patch and repair work.
<select or leave blank>					
<select or leave blank>					
CAFETERIA/KITCHEN D.3 Wall Finish			Total	3.70	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	20	4.25	0.85	
D.4_Exposed	Painted	80	4.50	3.60	
<select or leave blank>					
<select or leave blank>					
CAFETERIA/KITCHEN D.4 Ceiling Finish			Total	4.45	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	4.50	4.50	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
CAFETERIA/KITCHEN D.5 Doors/Borrowed Lites			Total	4.50	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Tackboard		100	4.50	4.50	
<select or leave blank>					
<select or leave blank>					
		Visual Display Boards	Subtotal	4.50	
<select or leave blank>					N/A.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
		Casework/Countertops	Subtotal		
D.6_Freezers/Coolers				4.50	
D.6_Cooking Battery				4.50	
D.6_Serving				4.50	
D.6_Dishwashing				4.50	
D.6_Overall Function				5.00	
D.6_General Storage				4.50	
CAFETERIA/KITCHEN D.6 Fixed Equipment			Total	4.57	

Condition Assessments

Lake Hills Elementary School Gymnasium

SUMMARY OF ALL RESTROOMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		5.00	1	5.00	
D.2 Floor Finish		3.50	1	3.50	
D.3 Wall Finish		3.70	1	3.70	
D.4 Ceiling Finish		4.00	1	4.00	
D.5 Doors/Borrowed Lites		4.50	1	4.50	
D.6 Fixed Equipment		4.31	1	4.31	

RESTROOM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware/Clearances		TRUE		5.00	Lever hardware and appropriate clearances.
D.1_Room Signage		TRUE		5.00	Room signage present.
D.1_Stall Widths/Clearances		TRUE		5.00	Restrooms are compliant.
D.1_General ADA Clearances		TRUE		5.00	Restrooms are compliant.
RESTROOM D.1 ADA/Accessibility			Total	5.00	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Vinyl	VCT	40	3.50	1.40	Single-hole patches apparent and wear overall.
D.2_Tile	Mosaic	60	3.50	2.10	Group restrooms some tile showing wear.
<select or leave blank>					
<select or leave blank>					
RESTROOM D.2 Floor Finish			Total	3.50	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Masonry	CMU	60	4.00	2.40	
D.3_Tile	Square	20	3.00	0.60	Base tiles are showing some wear and tear.
D.3_Gypsum	Painted	20	3.50	0.70	
<select or leave blank>					
RESTROOM D.3 Wall Finish			Total	3.70	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	4.00	4.00	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
RESTROOM D.4 Ceiling Finish			Total	4.00	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	4.50	4.50	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
RESTROOM D.5 Doors/Borrowed Lites			Total	4.50	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
<select or leave blank>					
<select or leave blank>					
		Visual Display Boards	Subtotal		
D.6_Partitions	PLAM	75	4.50	3.38	
D.6_Toilet_Accessories	General	10	4.50	0.45	
D.6_Toilet_Accessories	Benches	5	4.00	0.20	
D.6_Toilet_Accessories	Showers	10	4.00	0.40	
		Partitions/Accessories	Subtotal	4.43	
D.6_Countertops	PLAM			4.50	
D.6_Lockers	Metal			4.00	
RESTROOM D.6 Fixed Equipment			Total	4.31	

# Condition Assessments

## Lake Hills Elementary School Restrooms

SUMMARY OF ALL RESTROOMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		5.00	1	5.00	
D.2 Floor Finish		3.50	1	3.50	
D.3 Wall Finish		3.70	1	3.70	
D.4 Ceiling Finish		4.00	1	4.00	
D.5 Doors/Borrowed Lites		4.50	1	4.50	
D.6 Fixed Equipment		4.31	1	4.31	

RESTROOM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware/Clearances		TRUE		5.00	Lever hardware and appropriate clearances.
D.1_Room Signage		TRUE		5.00	Room signage present.
D.1_Stall Widths/Clearances		TRUE		5.00	Restrooms are compliant.
D.1_General ADA Clearances		TRUE		5.00	Restrooms are compliant.
RESTROOM D.1 ADA/Accessibility			Total	5.00	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Vinyl	VCT	40	3.50	1.40	Single-hole patches apparent and wear overall.
D.2_Tile	Mosaic	60	3.50	2.10	Group restrooms some tile showing wear.
<select or leave blank>					
<select or leave blank>					
RESTROOM D.2 Floor Finish			Total	3.50	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Masonry	CMU	60	4.00	2.40	
D.3_Tile	Square	20	3.00	0.60	Base tiles are showing some wear and tear.
D.3_Gypsum	Painted	20	3.50	0.70	
<select or leave blank>					
RESTROOM D.3 Wall Finish			Total	3.70	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	4.00	4.00	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
RESTROOM D.4 Ceiling Finish			Total	4.00	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	4.50	4.50	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
RESTROOM D.5 Doors/Borrowed Lites			Total	4.50	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
<select or leave blank>					
<select or leave blank>					
	Visual Display Boards		Subtotal		
D.6_Partitions	PLAM	75	4.50	3.38	
D.6_Toilet_Accessories	General	10	4.50	0.45	
D.6_Toilet_Accessories	Benches	5	4.00	0.20	
D.6_Toilet_Accessories	Showers	10	4.00	0.40	
	Partitions/Accessories		Subtotal	4.43	
D.6_Countertops	PLAM			4.50	
D.6_Lockers	Metal			4.00	
RESTROOM D.6 Fixed Equipment			Total	4.31	

# Condition Assessments

## Lake Hills Elementary School Interiors Environment Summary

### Stairs:

• There are two stair towers for fire egress and circulation, one on the north side and the other on the south side. These towers are encapsulated in a rated wall assembly. At the commons area in the center of the building are two sets of open, curved circulation stairs. Additional stairs are located at the stage. All stairs appear to meet accessibility and code requirements.

• A small lift/elevator is located immediately north of the commons area.

### Priority Items:

a. Repaint stair railings, handrails, and guardrails.

### Corridors:

• Corridors are approximately 10'-0" wide throughout the building with recessed doorways exiting most rooms. Double doors span across corridors at locations pursuant to limiting access as needed to the academic wings. Floor, wall, and ceiling finishes have been well maintained. Floors vary between ceramic tile, carpet tile, and broadloom carpet. Wall finishes consist primarily of painted CMU and some painted gypsum board. Ceiling finishes vary between painted exposed structure and suspended acoustic tile. Some touchups are needed. Lockers are present along portions of the classroom corridors and are in great condition.

• Wayfinding signage is excellent for the most part. Room signage is ADA compliant. Directional signage could be improved in some locations to better aid navigation.

• Interior doors are all stained wood. Doors are showing some wear, but nothing atypical of a building of this age. Door hardware is ADA compliant.

### Priority Items:

a. Finishes are in good condition overall. Wall finishes have some dirt and blemishes. Gypsum walls should be patched/ repaired and repainted. CMU could possibly be cleaned thoroughly, although, repainted should be considered. Flooring finishes are showing wear due to frequent use. Tile and grout should be cleaned. Grout should be repaired where needed.

Broadloom carpet and carpet tiles should be considered for replacement; however, it will still have several years of service life left. Ceiling tiles should be seated properly for a clean look. Replace any damaged ceiling tiles.

b. Add additional directional signage in corridors to aid navigation around the school.

c. Clean wood doors.

### Classrooms:

• Classrooms are approximately 1,000 – 1,250 SF throughout the building with storage casework along most walls, while one wall holds visual display boards. Classroom casework and plastic laminate countertops are in excellent condition and still fully functional. It appears that some purpose-built casework is underutilized. Typical classroom finishes include broadloom carpet in all classrooms and VCT in classrooms with adjoined restrooms (i.e., kindergarten and special needs). Wall finishes include painted CMU and painted gypsum. Ceiling finishes include suspended acoustic tile, painted gypsum board bulkheads, and painted exposed structure. Finishes have been well maintained, though are showing wear. Refer to Restrooms section for additional notes.

• Classrooms for grades 1 and up are clustered into corresponding groups. Each group shares a learning commons area.

### Priority Items:

a. VCT flooring is showing some wear but should continue to receive regular maintenance. Broadloom carpet has been well used, showing staining, wear, and tear. These materials may still last a few years, but replacement throughout is recommended. Carpet tiles are in better condition than the broadloom. A thorough cleaning is recommended. Replacement of select more worn tiles may be necessary but limited.

b. Walls should be considered for repainting. Wall corners have scuffs, chips, and gouges. Gypsum board should be patched and repaired where necessary and have paint touched up.

c. Ceiling tiles should be seated properly for a clean look. Replace any damaged or discolored ceiling tiles.

**Restrooms:**

• Single-hole and group restrooms throughout the building are ADA compliant and are in good physical condition generally with flooring refinishing/replacement needs and ceramic wall tile maintenance/replacement needs.

Priority Items:

- a. VCT flooring in single-hole restrooms is in poor condition and needs to be replaced in all restrooms. Tiles are heavily worn in places and previous patching is evident. VCT under lavatories and around toilets is discolored.
- b. Ceramic tile, both floor and wall base tile, in group restrooms is showing wear. Wall base tiles are stained in many locations. Grout lines are heavily discolored. Replacement of ceramic tile and grout is recommended.
- c. Painted gypsum board walls and painted CMU walls need repainting due to dirt and discoloration.

**Ancillary Spaces:**

- Existing art room is approximately 1,225 SF with two storage rooms and vented kiln. Storage casework and sink peninsulas line the wall between the two storage rooms, giving four sinks. Built-in workstations wrap the curved wall. A dedicated teaching wall exists on the south wall. Free-standing tables and chairs fill the remainder of the floor space. Floor and wall materials have been used well and are showing age. Finishes include VCT flooring and painted gypsum board and painted CMU walls. Ceiling is exposed with acoustic ceiling clouds to mitigate sound, both of which are in good condition.
- Existing music room is approximately 970 SF and has direct access to the stage, but no way to isolate from the stage. Storage casework lines most walls. There is a dedicated teaching wall with visual display boards. Floor, wall, and ceiling materials are all in good condition. Finish materials include broadloom carpet, painted CMU, and acoustical tile ceiling.
- Existing gymnasium is approximately 5,850 SF with locker rooms and storage spaces occupying another approximately 405 SF and a stage of approximately 1,675 SF. Floor, wall, and ceiling finishes are in great condition overall. Although, some wall pads need minor repair. Bleachers and divider curtain are in good condition.

- Existing cafeteria is approximately 2,580 SF with associated kitchen functions and serving area occupying another approximately 1,645 SF. The combination of spaces is a great size, and the overall layout seems to function well. Cafeteria is also connected to the stage and doubles as an auditorium and includes approximately 200 SF chair/table storage. Stage can be isolated from the cafeteria by use of a folding panel wall system. Floor, wall, and ceiling finishes are in good condition. Finish materials include VCT in the dining area, ceramic tile flooring in the kitchen/serving area, painted gypsum board and CMU walls, acoustic wall panels, wood trim and paneling along the stage, and painted exposed ceiling.
  - There are two dedicated group learning/project spaces in the building. The first is approximately 1,900 SF with storage and is located north of the cafeteria, separated by a folding panel wall system. The second space is a dedicated room of approximately 905 SF located on the lower level.
  - Existing media center and associated storage and workroom are approximately 3,180 SF. Attached to the media center is a dedicated computer lab of approximately 815 SF. The spaces are in good condition with minor maintenance needs relative to floor, wall, and ceiling finishes and equipment condition.
  - Existing administration area is divided into two areas accessed from either side of the secure vestibule. Administration totals approximately 4,775 SF. Floor, wall, and ceiling finishes in good condition and have been well maintained. Refer to Restrooms section for additional notes.
- Priority Items:**
- a. Art room renovation needs are minor compared to other schools in this study. VCT flooring is showing substantial wear but still has several years of use left. Consideration should be given to full replacement of VCT in this area. Walls should be patched where necessary and repainted. Freestanding tables are showing wear and should be replaced with more durable, heavy-duty tables.
  - b. Music room renovation needs should include consideration of adding solid partitions and a door to isolate the room from the stage. Broadloom carpet is showing wear but still has several years of use left. Consideration should be given to full replacement of carpet in this area. Marker board in this room is very small and a larger board should be considered.
  - c. Gymnasium and associated locker room and storage renovation needs will be heavily dependent on Owner needs. The gymnasium floor is in above-average condition; however, floor refinishing should be considered if not previously

- performed in order to best preserve integrity and life of floor. Additional renovation needs include wall painting, exposed structure and systems cleaning and repaint, wall padding repair/panel replacement, and bleacher refinishing.
- d. Cafeteria and kitchen are a good size and serve the needs well. VCT flooring is showing wear and stains but could last a few more years. Consideration should be given to full replacement of VCT in this area. Wall paint is in decent condition. Wood paneling along stage should be refinished due to age and wear. Exposed ceiling and systems need to be cleaned and repainted.
  - e. Group learning/project spaces are in good condition. VCT flooring is showing wear, particularly in the space north of the cafeteria, but still has several years of use left. Consideration should be given to full replacement of VCT in this area.
  - f. Media center is in decent condition overall. Broadloom carpet shows wear and tear and should be fully replaced. Owner should consider removing built-in workstation along north wall if not being used to allow more flexibility of the space. Casework needs some repairs, particularly the wood trim. Walls and columns need repainting.
  - g. Administration is sized appropriately for needs and appears to function well. Wood on casework should be refinished. VCT flooring is showing substantial wear but still has several years of use left. Consideration should be given to full replacement of VCT throughout this area. Carpet tiles seem to be in good condition. Broadloom carpet should be considered for replacement due to staining and general wear. Walls need to be patched and repainted.

# Condition Assessments

Lake Hills Elementary School Mechanical System

SUMMARY OF ENTIRE MECHANICAL SYSTEM					
Category		Subscore	Areas	Score	General Comments
E.2 Building HVAC System		3.04	1	3.04	
E.3 Building Temperature Controls		2.00	1	2.00	

MECHANICAL SYSTEM					
E.2 Building HVAC System	Type			Score	Comments/Remarks
E.2_Central Heating System	Boilers			2.00	Boiler issues have been present. Unless they have been replaced...
E.2_Central Heating System	Heating Pumps			3.00	Motors have been replaced.
E.2_Central Heating System	Air Handling Units			3.00	Look to be in good condition. Few dried up rust puddles near A...
		Central Heating System	Subtotal	2.67	
E.2_Cooling System	Chiller			2.00	According to owner these units are tripping out occasionally. A...
E.2_Cooling System	Cooling Tower				
E.2_Cooling System	Chilled Water Pumps			3.00	Motors have been replaced.
E.2_Cooling System	Condensing Units				
		Cooling System	Subtotal	2.50	
E.2_Equipment	Cabinet/Supplemental Heaters				
E.2_Equipment	Fan Coil Units				
E.2_Equipment	Fans				
E.2_Equipment	PTAC Units				
E.2_Equipment	Unit Ventilators				
E.2_Equipment	Variable Air Volume Terminals			3.00	Controls.
		Equipment	Subtotal	3.00	
E.2_General	Ductwork			4.00	
E.2_General	Louvers/Exhaust Vents				
E.2_General	Piping			4.00	
		General	Subtotal	4.00	
MECHANICAL SYSTEM E.2 Building HVAC System			Total	3.04	
E.3 Building Temperature Controls	Type			Score	Comments/Remarks
E.3_Temperature Controls				2.00	TAC schneider electric controls. Original to 2008.
MECHANICAL SYSTEM E.3 Building Temperature Controls			Total	2.00	

# Condition Assessments

Lake Hills Elementary Plumbing System

SUMMARY OF ENTIRE PLUMBING SYSTEM					
Category		Subscore	Areas	Score	General Comments
E.1 Building Plumbing System		3.44	1	3.44	

PLUMBING SYSTEM					
E.1 Building Plumbing System	Type			Score	Comments/Remarks
E.1_Plumbing Fixtures	Water Closets			3.00	
E.1_Plumbing Fixtures	Lavatories			3.00	
E.1_Plumbing Fixtures	Drinking Fountains			2.50	
E.1_Plumbing Fixtures	Showers			4.00	
E.1_Plumbing Fixtures	Dishwashing				
		Plumbing Fixtures	Subtotal	3.13	
E.1_Central Equipment	Hot Water Heating			2.00	Unless units have been replaced, they are at the end of usable...
E.1_Central Equipment	Water Softener			1.00	None.
E.1_Central Equipment	Pumps				
		Central Equipment	Subtotal	1.50	
E.1_Water_Service	City			4.00	
E.1_Water Service	Domestic Piping			4.00	
		Water Service	Subtotal	4.00	
E.1_Sewage_System	City			4.00	
E.1_Sewage System	Piping			4.00	
		Sewage System	Subtotal	4.00	
E.1_Gas Service				4.00	
E.1_Fire Suppression				4.00	
PLUMBING SYSTEM E.1 Building Plumbing System			Total	3.44	

Condition Assessments

Lake Hills Elementary School Electrical System

SUMMARY OF ENTIRE ELECTRICAL SYSTEM					
Category		Subscore	Areas	Score	General Comments
E.4 Building Electrical System		3.92	1	3.92	
E.5 Building Lighting		3.54	1	3.54	

ELECTRICAL SYSTEM					
E.4 Building Electrical System	Type			Score	Comments/Remarks
E.4_Incoming Service	Size			4.00	
E.4_Incoming Service	Condition			4.00	GE Spectra series swb, bps main, cb branches, 2008
E.4_Incoming Service	Generator			3.00	Kohler - need confirmed fuel type and genset size, EM and SB A
	Incoming Service	Subtotal		3.67	
E.4_Distribution				4.00	GE A series panelboards, original 2008
E.4_Smoke Detection				4.00	Located in storage areas, clinic (sprinkled building)
E.4_Fire Alarm System	Annunciator Panel			4.00	Simplex annunciator panel showed 2 system troubles
E.4_Fire Alarm System	Fire Alarm Devices				Simplex 4100ES, good strobe coverage
	Fire Alarm System	Subtotal		4.00	
ELECTRICAL SYSTEM E.4 Building Electrical System				Total	3.92
E.5 Building Lighting	Type			Score	Comments/Remarks
E.5_Interior Lighting	Administration			4.00	Basket troffer - fluorescent
E.5_Interior Lighting	Corridors/Common			3.00	Lay-in acrylic lensed troffer - fluorescent lamped
E.5_Interior Lighting	Classrooms/Science			4.00	Suspended linear direct / indirect and recessed troffers
E.5_Interior Lighting	Art/Music/Auditorium			4.00	Suspended linear
E.5_Interior Lighting	Gymnasium/Natatorium			3.00	Suspended fluorescent wraps
E.5_Interior Lighting	Cafeteria/Kitchen			3.00	Fluorescent
E.5_Interior Lighting	Restrooms			4.00	Lay-in acrylic lensed troffer - fluorescent lamped
	Interior Lighting	Subtotal		3.57	
E.5_Exterior Lighting	Building Entries			3.00	MH, missing emerg egress backup
E.5_Exterior Lighting	Parking Lots/Drives			4.00	Original MH fixtures
E.5_Exterior Lighting	Athletic/Play Fields				NA
	Exterior Lighting	Subtotal		3.50	
ELECTRICAL SYSTEM E.4 Building Electrical System E.5 Building Lighti				Total	3.54

Condition Assessments

Lake Hills Elementary Technology

SUMMARY OF ALL TECHNOLOGY					
Category		Subscore	Areas	Score	General Comments
E.6 Building Technology		3.56	1	3.56	

TECHNOLOGY					
E.6 Building Technology	Type			Score	Comments/Remarks
E.6_Data Distribution	Incoming			5.00	Fiber from district admin building
E.6_Data Distribution	Cable Type			3.00	Cat 5E+ station cabling
E.6_Data Distribution	Fiber			4.00	MM between closets and MDF?
E.6_Data Distribution	Wireless			4.00	Ruckus
	Data Distribution	Subtotal		4.00	
E.6_Classroom Technology	Teacher				
E.6_Classroom Technology	Monitors			3.00	Mix of older wall mounted monitors
E.6_Classroom Technology	Smartboards			4.00	Promethean carts
E.6_Classroom Technology	Projection			3.00	Ultra short throws in some rooms - DLPs
	Data Distribution	Subtotal		3.33	
E.6_Communications	Intercom/PA			3.00	Multi-com 2000 head-end
E.6_Sound Systems	Gymnasium/Natatorium			3.00	
E.6_Sound Systems	S.R.			4.00	District standard vertical soundbar in classroom
	Sound Systems	Subtotal		3.33	
TECHNOLOGY E.6 Building Technology				Total	3.56



# Condition Assessments

## Lake Hills Elementary School Building Systems Summary

**Mechanical:**

**Heating plant**

- Building comfort heating is provided by three gas-fired boilers which appear and were reported to be in relatively fair to poor operating condition.
  - o Heat exchangers have been replaced on two units.
- Building heating hot water circulation is provided by two variable primary end-suction pumps.

**Cooling plant:**

- Building comfort cooling is provided by two air cooled chillers with remote evaporator barrels. Both the chillers are reported to be in poor condition.
- Building chilled water circulation is provided by two variable primary end-suction pumps.

**Air-Handler Plants and Systems:**

- Multiple constant and variable air volume (VAV) air-handlers exist at numerous building locations (11), inside of the building envelope. All air-handlers and associated air-distribution, and comfort control systems are original to the building construction; except for replaced failed components. All air-handlers appeared in fair condition.

**Building Temperature Control System:**

- The building’s temperature control system utilizes schneider electric devices and operates on Niagara framework. Controls are original to the building.

**Priority Items:**

- a. The three existing boilers will be removed and replaced.
- a. For budget consideration, include 3 x 2000 MBH condensing boilers.
- b. The existing air-cooled chillers shall be removed and replaced.

- a. For budget consideration, include 2 x 100-ton air-cooled chillers with remote barrels.
- c. The existing temperature control system, include all hydronic valves throughout the building should be removed and replaced.
- d. The existing air handling units are in fair condition. These units probably have another ten years of useful life.
- a. All associated air terminal units shall remain.

**Plumbing:**

- The domestic system is served by a gas fired boiler original to the 2008 construction. There is no water softener.
- The existing domestic, sanitary and vent piping throughout the building look to be in good to fair condition and were reported to be in relatively good to fair operating condition.
- The existing restrooms throughout the building look to be in fair to good physical condition.

**Priority Items:**

- a. The boiler should be removed and replace with a new boiler. A water softener should be added.
- b. Several water closet lids shall be removed and replaced.

**Fire protection:**

- A fire sprinkler system was present in the existing building. It looks to be in decent condition.

**Priority Items:**

- a. None currently.

**Electrical:**

**Electrical Distribution system**

- The 2008 GE Spectra series switchboard is in good condition.

**Fire Alarm**

- The existing Simplex 4100ES panel is in good condition.

**Lighting**

- Lighting in common spaces includes fluorescent lamps in acrylic lensed troffers. Classrooms consist of suspended direct/indirect fluorescent and recessed fluorescent fixtures and are in good condition.

**Technology:**

**Data cabling and distribution**

- Building has single mode fiber from administration data center. Most cabling is Category 5E. Building has Ruckus wireless access points, one for every two classrooms per district IT standard.

**Teaching technology equipment**

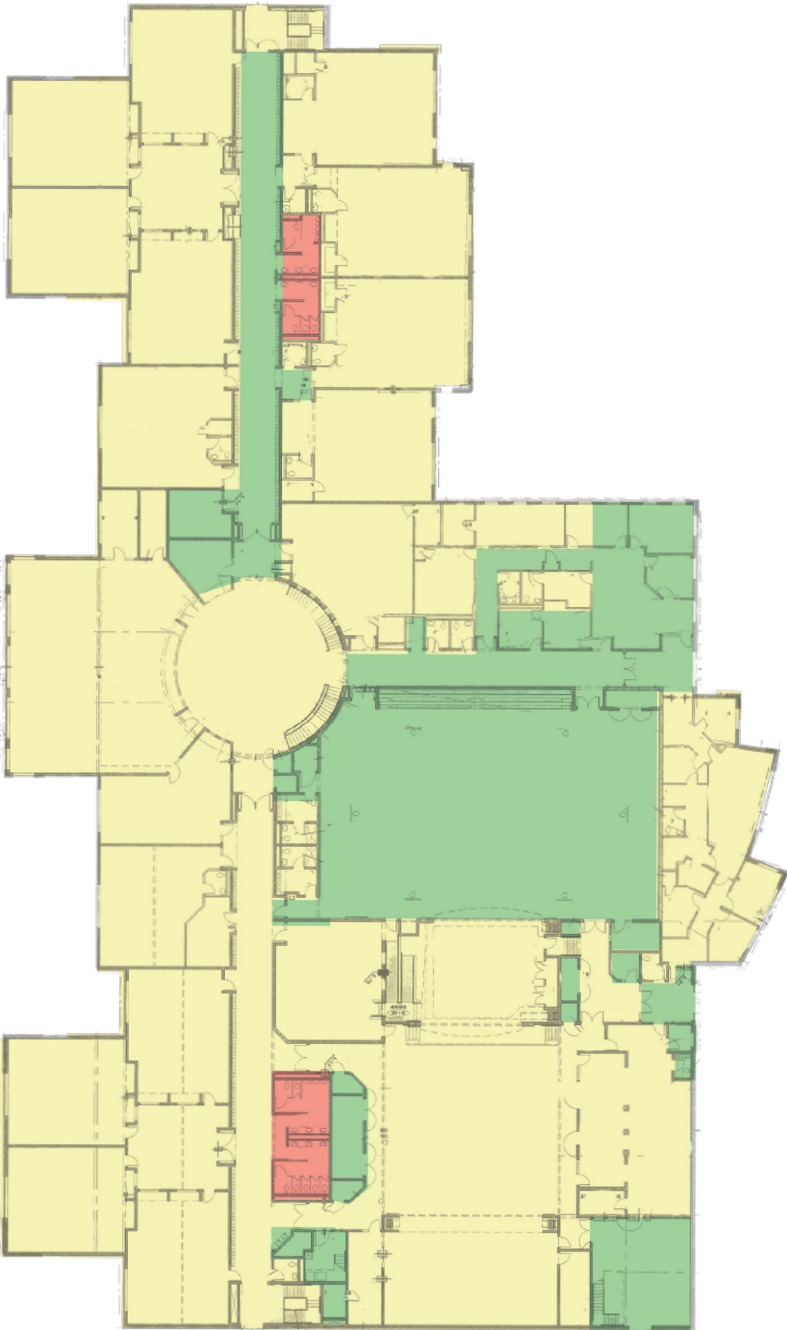
- Classrooms include both Promethean interactive touchscreen monitors for the lower grades as well as 65” Samsung monitors for the upper grade levels. Existing equipment is in good condition.

**Paging / intercom equipment**

- Existing paging / intercom system is a Bogen Multicom 2000 and appears to be in good condition.

# Condition Assessments

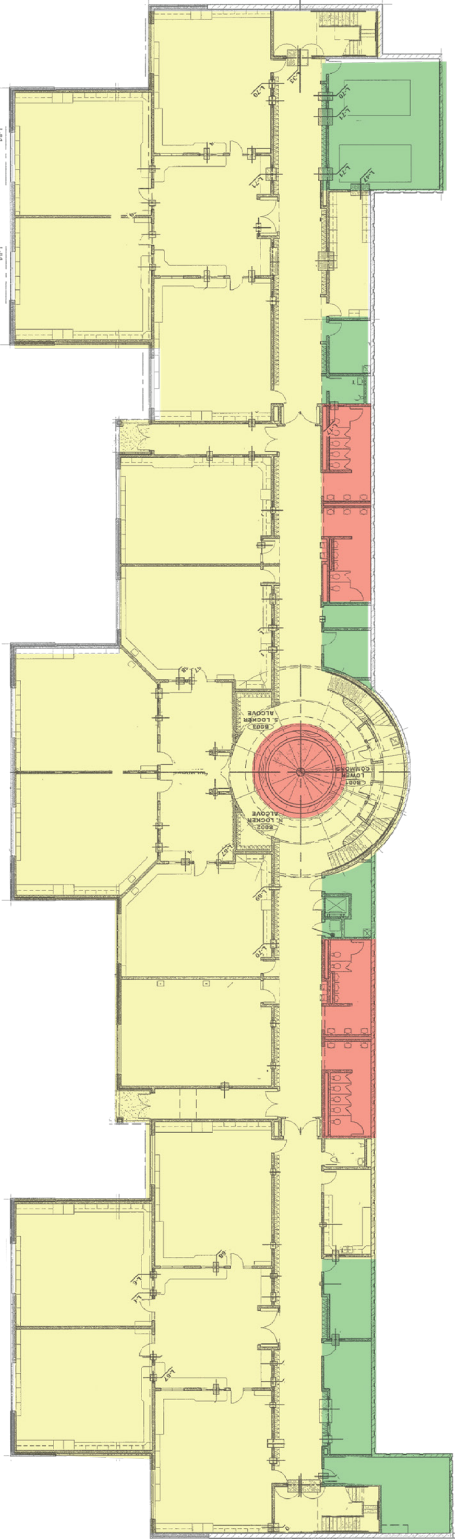
Lake Hills Elementary School Interior Floorplan



Lake Hills Elementary School - Interior Condition Assessment  
1st Floor Plan



North



Lake Hills Elementary School - Interior Condition Assessment  
Second Floor Plan



North

# Condition Assessments

## Marsh Elementary School

## Condition Assessments

Marsh Elementary Interior Floorplan

Michigan City Area Schools	
Building:	Marsh Elementary School
Building Area:	52,350
Site Acreage:	3.68
Enrollment Capacity:	
Current Enrollment:	325
Construction	Construction Type
1950s	Original Construction
See Bldg. Area Plan	Additions and Renovations

Condition Assessment Legend	
Building Scoring Matrix	Category Scoring Matrix
100: Excellent	5: No Work Needed
99 - 80: Good	4: Minor Work Needed
79 - 60: Average	3: Moderate Work Needed
59 - 40: Fair	2: Major Work Needed
Below 40: Poor	1: None/Replacement Needed

Condition Assessment		Score
A	SITE CIRCULATION AND AMENITIES	
A.1	Separation/Drop-off/Stacking	3.00
A.2	Drives/Lots and Walks	3.67
A.3	Site Improvements	3.68
B	SAFETY AND SECURITY	
B.1	Secure Building Access	2.63
B.2	Surveillance/Cameras	4.00
C	BUILDING ENVELOPE	
C.1	Building Roof	5.00
C.2	Exterior Building Walls	3.94
C.3	Exterior Doors/Windows	3.95
D	BUILDING INTERIOR ENVIRONMENT	
D.1	ADA/Accessibility	2.17
D.2	Floors	3.34
D.3	Walls	3.09
D.4	Ceilings	3.37
D.5	Doors/Borrowed Lites	3.82
D.6	Fixed Equipment	3.11
E	BUILDING SYSTEMS	
E.1	Building Plumbing System	2.38
E.2	Building HVAC System	3.06
E.3	Building Temperature Controls	4.00
E.4	Building Electrical System	3.25
E.5	Building Lighting	3.50
E.6	Building Technology	3.33
CONDITION ASSESSMENT AVERAGE SCORE		3.41
CONDITION ASSESSMENT GRADE		68.29

# Condition Assessments

## Marsh Elementary School Expanded Summary

Michigan City Area Schools	
Building:	Marsh Elementary School
Building Area:	52,350
Site Acreage:	3.68
Enrollment Capacity:	
Current Enrollment:	325
Construction	Construction Type
1950s	Original Construction
See Bldg. Area Plan	Additions and Renovations

Condition Assessment	Score
<b>A SITE CIRCULATION AND AMENITIES</b>	
A.1 Separation/Drop-off/Stacking	3.00
A.2 Drives/Lots and Walks	3.67
A.3 Site Improvements	3.68
<b>B SAFETY AND SECURITY</b>	
B.1 Secure Building Access	2.63
B.2 Surveillance/Cameras	4.00
<b>C BUILDING ENVELOPE</b>	
C.1 Building Roof	5.00
C.2 Exterior Building Walls	3.94
C.3 Exterior Doors/Windows	3.95
<b>D BUILDING INTERIOR ENVIRONMENT</b>	
D.1 ADA/Accessibility	2.17
Administration	1.00
Corridors/Common	2.33
Classrooms/Science	1.50
Art/Music/Auditorium	3.88
Gymnasium/Natatorium	1.50
Cafeteria/Kitchen	4.00
Restrooms/Locker Rooms	1.00
D.2 Floors	3.34
Administration	3.28
Corridors/Common	2.33
Classrooms/Science	3.25
Art/Music/Auditorium	3.40
Gymnasium/Natatorium	4.00
Cafeteria/Kitchen	3.83
Restrooms/Locker Rooms	3.30
D.3 Walls	3.09
Administration	3.00
Corridors/Common	3.00
Classrooms/Science	3.30
Art/Music/Auditorium	3.33
Gymnasium/Natatorium	3.00
Cafeteria/Kitchen	3.00
Restrooms/Locker Rooms	3.00
D.4 Ceilings	3.37
Administration	3.50
Corridors/Common	3.10
Classrooms/Science	4.00
Art/Music/Auditorium	3.75
Gymnasium/Natatorium	3.75
Cafeteria/Kitchen	3.00
Restrooms/Locker Rooms	2.50
D.5 Doors/Borrowed Lites	3.82
Administration	3.75
Corridors/Common	3.75
Classrooms/Science	3.75
Art/Music/Auditorium	4.00
Gymnasium/Natatorium	3.75
Cafeteria/Kitchen	4.00
Restrooms/Locker Rooms	3.75
D.6 Fixed Equipment	3.11
Administration	3.33
Corridors/Common	3.50
Classrooms/Science	2.70
Art/Music/Auditorium	2.95
Gymnasium/Natatorium	2.83
Cafeteria/Kitchen	3.82
Restrooms/Locker Rooms	2.66
<b>E BUILDING SYSTEMS</b>	
E.1 Building Plumbing System	2.38
E.2 Building HVAC System	3.06
E.3 Building Temperature Controls	4.00
E.4 Building Electrical System	3.25
E.5 Building Lighting	3.50
E.6 Building Technology	3.33
CONDITION ASSESSMENT AVERAGE SCORE	3.41
CONDITION ASSESSMENT GRADE	68.29

Condition Assessment Legend	
Building Scoring Matrix	Category Scoring Matrix
100: Excellent	5: No Work Needed
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59 - 40: Fair	2: Major Work Needed
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# Condition Assessments

## Marsh Elementary School Code Analysis

### Code Analysis:

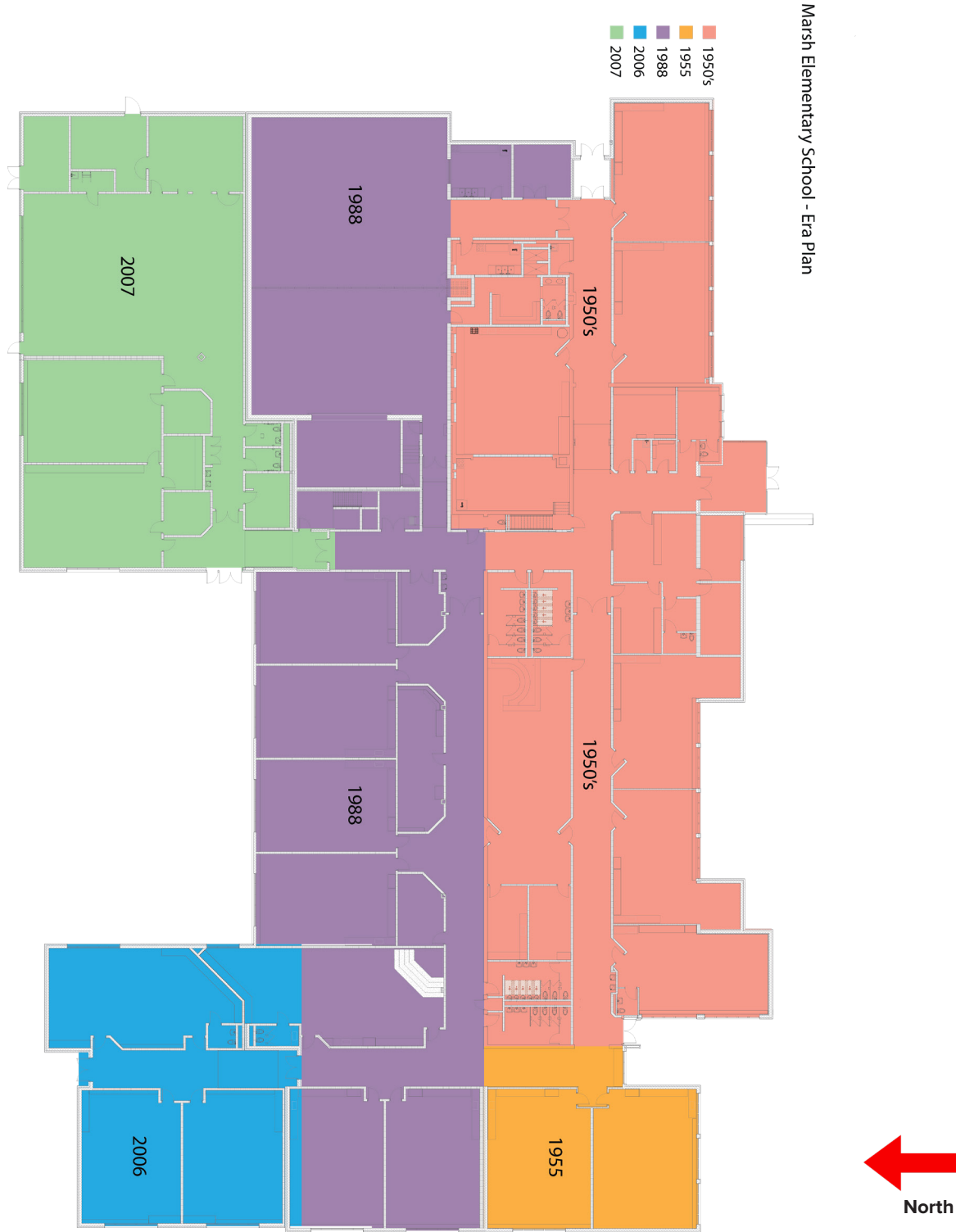
- The Building Occupancy is Group E – Educational.
  - o Allowable area per code is 14,500 SF. No sprinkler increase. Frontage increase possible dependent on public way or open space at perimeter of building.
  - o The overall square footage is 52,350 SF. The existing building is divided into four areas by 2-hour separation walls.
- The Building Type of Construction is Type II-B Unprotected Non-Combustible.
  - o Original construction assumed to be in the pre-1950s.
  - o Addition construction in 1955.
  - o Roof replacement in 1982.
  - o Addition and renovation construction in 1988.
  - o Based on the 1985 Edition of the Uniform Building Code – Indiana Edition.
  - o Addition construction in 2006.
  - o Addition construction in 2007.
- The existing Building is NOT equipped with a fire suppression system throughout.

### Priority Items:

a. NOTE: All non-compliant building code items are grandfathered, however, if any item or area is renovated, new work is required to meet current building code.

Condition Assessments

Marsh Elementary School Era Floorplan



Condition Assessments

Marsh Elementary School Site

SUMMARY OF ENTIRE SITE					
Category		Subscore	Regions	Score	General Comments
A.1 Separation/Drop-off/Stacking		3.00	1	3.00	
A.2 Drives/Lots and Walks		3.67	1	3.67	
A.3 Site Improvements		3.68	1	3.68	

SITE					
A.1 Separation/Drop-off/Stacking					
A.1 Identifiable Main Entry				Score	Comments/Remarks
A.1 Identifiable Main Entry				4.00	Entrance is identifiable, but not in proximity or connection to p...
A.1 ADA Accessibility	Type	Compliant		Score	Comments/Remarks
A.1 ADA Accessibility	Route	TRUE		3.00	Routes are present, condition could be improved. Long route d...
A.1 ADA Accessibility	Door	TRUE		4.00	Door hardware replacement would be an improvement. Autom...
A.1 Parking Space Allocation	Type	Compliant	Quantity	Score	Comments/Remarks
A.1 Parking Space Allocation	Visitor		15.00	5.00	No visitor parking requirement.
A.1 Parking Space Allocation	Staff		40.00	5.00	38 employees. Requirement is 1 space for each employee.
A.1 Parking Space Allocation	Accessible	FALSE	2.00	3.00	2 for visitor and 0 for staff. Requirement is 1 per 25 or 2% whe...
A.1 Site Circulation	Type			Score	Comments/Remarks
A.1 Emergency/Fire Service Access				4.00	School is surrounded by public ways. N, E, S, and W with playgr...
A.1 Bus/Vehicular	Separation			2.00	Bus drop-off is assumed on the road.
A.1 Bus/Vehicular	Signage			1.00	No signage provided.
A.1 Bus Drop-off/Pick-up	Route Clarity/Safety			2.00	Route is unclear and assumed. Unsafe as it is part of the road.
A.1 Bus Drop-off/Pick-up	Adequate Stacking			3.00	Potential to hinder traffic on the road significantly.
A.1 Car Drop-off/Pick-up	Pedestrian Safety			2.00	
A.1 Car Drop-off/Pick-up	Adequate Stacking			2.00	Will hinder traffic on the road significantly.
A.1 Car Drop-off/Pick-up	Traffic Pattern			2.00	Assumed to be on the road. Assumed to be separated from bus dr...
A.1 Delivery Routing	Separation			3.00	
A.1 Delivery Routing	Loading Dock			3.00	No true loading dock, assumed not needed.
SITE A.1 Separation/Drop-off/Stacking			Total	3.00	
A.2 Drives/Lots and Walks	Type	%	Subscore	Score	Comments/Remarks
A.2 Sidewalks	Concrete	100	4.00	4.00	Sidewalks are generally in good condition. Some minor replace...
A.2 Sidewalks					
A.2 Sidewalks					
		Sidewalks	Subtotal	4.00	
A.2 Drives					N/A.
A.2 Drives					
A.2 Drives					
		Drives	Subtotal		
A.2 Parking_Lots	Asphalt	100	3.00	3.00	Parking areas need seal coating/resurfacing.
A.2 Parking_Lots					
A.2 Parking_Lots					
		Parking Lots	Subtotal	3.00	
A.2 Drives/Parking Lots	Traffic Markings/Striping			4.00	Striping appears newer.
SITE A.2 Drives/Lots and Walks			Total	3.67	
A.3 Site Improvements	Type			Score	Comments/Remarks
A.3 Playground(s)	Accessibility			4.00	
A.3 Playground(s)	Equipment			4.00	Equipment appears newer.
A.3 Playground(s)	Surface			5.00	New surface being installed during assessment.
A.3 Playground(s)	Size			3.50	Allotted size is smaller compared to other ES. Assumed to be a...
		Playground(s)	Subtotal	4.13	
A.3 Landscaping	Trees			4.00	Well established trees around the perimeter of site focused on...
A.3 Landscaping	Landscaping			4.00	Landscaping is minimal. Well maintained.
		Landscaping	Subtotal	4.00	
A.3 Site Drainage	Flood Points			3.00	Assumed to be reliant on public storm system. Field to S assum...
A.3 Athletic Fields	Support Buildings				N/A
A.3 Athletic Fields	Bleachers/Stadium Seating				N/A
A.3 Athletic Fields	Athletic/Stadium Lighting				N/A
A.3 Athletic Fields	Athletic/Stadium Paving				N/A
A.3 Athletic Fields	Fencing/Gates				N/A
A.3 Athletic Fields	Field Conditions				N/A
A.3 Athletic Fields	Scoreboards				N/A
		Athletic Fields	Subtotal		
A.3 Site Security	Site Lines			3.00	Passive surveillance is blocked by building only providing proxim...
A.3 Site Security	Gated/Not Gated			4.00	Gates are well positioned.
		Site Security	Subtotal	3.50	
A.3 Fencing	Site			3.50	Much of the south of the site is fenced to discourage undesired...
A.3 Fencing	Playground(s)			4.00	Playground is part of listed above. Courtyard has separate fenc...
		Fencing	Subtotal	3.75	
SITE A.3 Site Improvements			Total	3.68	



# Condition Assessments

## Marsh Elementary School Site Summary

### ADA Building Access:

- Main entrance is well connected to the road but is disconnected from either off-street parking area with no dedicated parking lot existent. This makes the approach to the building confusing and not convenient for accessibility.
- Accessible parking spots are provided within the off-street parking to the east of the site. The main entrance does not have an automatic door operator.

### Priority Items:

- a. The disconnection of off-street parking areas and accessible parking should be taken into consideration. Potential solutions would include incorporation of visitor and accessible parking along the road to the north of the site, however, this would likely inhibit drop-off/pick-up patterns. In lieu of a more direct connection, increasing the usability and function of the accessible parking spots, accessible path to main entrance, and main entrance would be beneficial. This includes improved accessible parking spots, increased sidewalk from accessible parking to main entrance, and main entrance improvements such as automatic door operator and hardware upgrade.
- b. Accessible parking spot signage should be added.
- c. All building entrance doors should receive new fully ADA compliant door hardware. Consideration should be given to adding automatic door operators at all exterior doors intended for use as accessible entrance points.

### Drives, Parking, and Sidewalks:

- The site contains no dedicated parking lot. The site does have off-street parking areas stretching the full length of the east and west sides. The west side of the building/site is assumed to be utilized for parent drop-off/pick-up while the north side of the building/site is assumed to be utilized for bus drop-off/pick-up.
- The maintenance and loading dock are located to the west of the building with a portion of the off-street parking area designated for no parking to allow access.
- The site is surrounded by sidewalks with additional sidewalk stretching from east to west directly adjacent to the south side of the building. The sidewalks are crucial in conjunction with street crossings for walkability of students.

### Priority Items:

- a. Off-street parking area connection improvements to the main entrance are recommended, refer to the ADA Building Access section for additional notes. Sidewalk improvements including

widening is recommended for much of the perimeter of the site.

- b. The off-street parking areas are generally in good condition but are due for seal coating with a few areas likely needing resurfacing and/or replacement. Striping will need to be redone following these efforts.
- c. Separation of maintenance and loading dock area is hindered by the constraints of the site, however, improved separation of the dumpsters from public access is recommended for consideration.

d. While sidewalks throughout the site are generally in good condition, some minor areas need repair/replacement. The sidewalk in conjunction with the west doors, utilized for parent drop-off/pick-up, needs full replacement.

- e. Improved directional signage along streets and at entrances are needed.

### Landscaping/Site Elements:

- The site is relatively compact occupying two blocks. The building is situated on the north block of the site with the south block dedicated to green space. The south block is framed by mature trees with pops of landscaped areas primarily along the north of the building. The courtyard is also heavily landscaped.

### Priority Items:

- a. Ongoing general maintenance of landscaped areas needed. At the time of assessment, the courtyard was starting to get long and unmanicured. The landscaped area along the north on the east side is due for a refresh.

### Playground:

- The playground is located directly south of the building. Most of the equipment appeared to newer and a new play surface was being installed during the assessment. The allotted size of the playground is small compared to the other elementary schools but proportionate to size of school.

### Priority Items:

- a. Additional programming within the green space could increase the size and variety of options associated with the playground.
- b. The addition of hard surface areas could integrate additional play features and sport opportunities.

# Condition Assessments

## Marsh Elementary School Safety and Security and Roof

SUMMARY OF ALL SAFETY AND SECURITY					
Category		Subscore	Areas	Score	General Comments
B.1 Secure Building Access		2.63	1	2.63	
B.2 Surveillance/Cameras		4.00	1	4.00	

SAFETY AND SECURITY					
B.1 Secure Building Access	Type			Score	Comments/Remarks
B.1_Card/Code/FOBS				5.00	
B.1_Secure_Vestibule	No Admin Connection			1.50	Exists but separated. Renovation of admin area would allow dir...
B.1_Secure_Technology	AI Voice/Door Release			3.00	AI voie only w/ separate camera.
B.1_Security Officer Station(s)				1.00	
SAFETY AND SECURITY B.1 Secure Building Access			Total	2.63	
B.2 Surveillance/Cameras				Score	Comments/Remarks
B.2_Video Surveillance				4.00	Exagc. Vision.
B.2_Intrusion Detection				4.00	Hallways.
SAFETY AND SECURITY B.2 Surveillance/Cameras			Total	4.00	

### Secure Visitor Access:

- The existing building has a secure vestibule located adjacent to the administration area, but no direct connection exists. The secure vestibule is accessed via intercom/door release system or fob/door release system with surveillance camera mounted separately overhead. Select additional entrances around building have fob/code entry pad systems with all entrances having key access. Once inside the school, no secure area to restrict access is present.
- No security glazing or security film is understood to be present. Security glazing techniques range greatly, all with the goal of increasing time to seek safety and allow proper response.
- The building has some surveillance cameras around the perimeter of the building; however, several blind spots exist.

### Priority Items:

- a Secure Entrance Improvement project recommended. The scope of work would be determined based on budget and Owner direction but could vary from a renovation of the existing administration area to allow direct access from the secure vestibule, an extension of the secure vestibule and renovation of administration area, or an addition to the north of the existing main entrance.
- b. Security glazing/security film at existing or new main entrance is recommended. Inclusion at all building entrances and windows would increase security.
- c. Upgrade to intercom/door release system to include video is recommended.
- d. Expansion of the fob/door release system with surveillance monitoring at all necessary entrances is recommended.
- e. Add additional surveillance cameras around the perimeter, particularly at corners to improve site security.

# Condition Assessments

## Marsh Elementary School Building Envelope

SUMMARY OF ALL ROOFS							
Category		Total Sq.Ft.	Subscore	Areas	Score		General Comments
C.1 Building Roof		54,000	5.00	1	5.00		

ROOF							
C.1 Building Roof	Type	Install Year	Square Feet	Subscore	Score	Warranty Exp.	Comments/Remarks
C.1_Membrane	EPDM	2020	54,000	5.00	5.00	2035	
	Manufacturer/Installer	Firestone/Babilla Roofing					
<select or leave blank>							
	Manufacturer/Installer						
<select or leave blank>							
	Manufacturer/Installer						
<select or leave blank>							
	Manufacturer/Installer						
ROOF C.1 Building Roof		Total Sq.Ft.	54,000	Total Score	5.00		

SUMMARY OF ENTIRE BUILDING ENVELOPE					
Category		Subscore	Areas/Regions	Score	General Comments
C.2 Exterior Building Walls		3.94	1	3.94	
C.3 Exterior Doors/Windows		3.95	1	3.95	

BUILDING ENVELOPE					
C.2 Exterior Building Walls	Type	%	Subscore	Score	Comments/Remarks
C.2_Masonry	Brick	75	4.00	3.00	Brick is generally in good condition, some cleaning and minor t...
C.2_Finish_System	Exterior Insulation (EIFS)	25	3.75	0.94	EIFS in good condition, some areas in need of clean and paint. ...
<select or leave blank>					Mtl Flashing and Fascia in good condition. ...
<select or leave blank>					
BUILDING ENVELOPE C.2 Exterior Building Walls			Total	3.94	
C.3 Exterior Doors/Windows	Type	% or Qty.	Subscore	Score	Comments/Remarks
C.3_Aluminum	Window	128	4.00	3.07	Aluminum with thermal windows in good condition. ...
C.3_Aluminum	Storefront	39	4.00	0.93	Thermal. ...
<select or leave blank>					
<select or leave blank>					
	Exterior Windows		Subtotal	4.00	
C.3_Swinging	Aluminum	13	4.00	3.25	With thermal sidelites/glazing. Some hardware issues and wea...
C.3_Swinging	Hollow Metal	3	3.50	0.66	
<select or leave blank>					
<select or leave blank>					
	Exterior Doors		Subtotal	3.91	
BUILDING ENVELOPE C.3 Exterior Doors/Windows			Total	3.95	

# Condition Assessments

## Marsh Elementary School Building Envelope Summary

### Exterior Facades:

- The existing exterior façades are primarily brick veneer from grade to roof. EIFS exist in some the of insets starting approximately 7'-4" above grade. All walls are capped with metal flashing and fascia.
- The existing exterior facades are visually in good condition. The brick veneer is due for cleaning and in need of minor tuckpointing maintenance needs. The EIFS has a few select areas of repair needed, needing general cleaning and repainting to ensure strength of the system remains intact. The aluminum fascia appears to be in good condition.
- The aluminum windows are thermal windows and visually appear to be in good condition.
- The aluminum doors are thermal systems and visually appear to be in good condition. Hollow metal frames and doors are showing wear. Due to age and typical assessment findings, maintenance work or replacement expected.

### Priority Items:

- a. General maintenance of brick veneer including cleaning and tuckpointing.
- b. General maintenance of EIFS including select repairs, cleaning, and repainting of entire system.
- c. Hollow metal frames and doors should be considered for replacement.
- d. Door hardware on all exterior doors should be considered for replacement to improve accessibility. An automatic door opener should be added at the main entrance.

### Roofs:

- The existing roof is comprised of entirely of EPDM roof membrane manufactured by Firestone that was installed in 2020 over just under 54,000 SF and is known to be under warranty until 2035.

### Priority Items:

- a. None currently.



## Marsh Elementary School Corridors/Commons

DISTRICT MASTER PLAN 183

Condition Assessments

Marsh Elementary School Classrooms

SUMMARY OF ALL CLASSROOMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		1.50	1	1.50	
D.2 Floor Finish		3.25	1	3.25	
D.3 Wall Finish		3.30	1	3.30	
D.4 Ceiling Finish		4.00	1	4.00	
D.5 Doors/Borrowed Lites		3.75	1	3.75	
D.6 Fixed Equipment		2.70	1	2.70	

CLASSROOM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		FALSE		1.00	Knob hardware should be replaced with lever hardware.
D.1_Door Clearances		TRUE		3.00	
D.1_Room Signage		FALSE		1.00	Not compliant where present.
D.1_Casework Clearances/Hts.		FALSE		1.00	
CLASSROOM D.1 ADA/Accessibility			Total	1.50	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Carpet	Broadloom	85	3.25	2.76	Some wear and tear with areas needed of replacement and ot
D.2_Vinyl	VCT	15	3.25	0.49	Aged but generally in decent to good condition. A few exceptio
<select or leave blank>					
<select or leave blank>					
CLASSROOM D.2 Floor Finish			Total	3.25	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Painted	10	3.00	0.30	
D.3_Gypsum	Wallcovering	60	3.50	2.10	
D.3_Masonry	CMU	30	3.00	0.90	
<select or leave blank>					
CLASSROOM D.3 Wall Finish			Total	3.30	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	4.00	4.00	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
CLASSROOM D.4 Ceiling Finish			Total	4.00	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	3.75	3.75	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
CLASSROOM D.5 Doors/Borrowed Lites			Total	3.75	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Chalkboard	Lined	30	3.00	0.90	
D.6_Chalkboard	Unlined	40	3.25	1.30	
D.6_Tackboard		30	3.00	0.90	
		Visual Display Boards	Subtotal	3.10	
D.6_Casework	PLAM	70	3.00	2.10	Most casework is aged and has wear. Most is fully functional, j
D.6_Countertops	PLAM	30	3.00	0.90	Same as casework
<select or leave blank>					
<select or leave blank>					
		Casework/Countertops	Subtotal	3.00	
D.6_Lockers	Wood			2.00	Most is decent condition but not desired and not compliant.
CLASSROOM D.6 Fixed Equipment			Total	2.70	

Condition Assessments

Marsh Elementary School Art Room

SUMMARY OF ALL ART ROOMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		3.81	1	3.81	
D.2 Floor Finish		3.50	1	3.50	
D.3 Wall Finish		3.60	1	3.60	
D.4 Ceiling Finish		3.75	1	3.75	
D.5 Doors/Borrowed Lites		4.00	1	4.00	
D.6 Fixed Equipment		3.40	1	3.40	

ART ROOM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		TRUE		4.00	
D.1_Door Clearances		TRUE		4.00	
D.1_Room Signage		TRUE		4.00	
D.1_Casework Clearances/Hts.		TRUE		3.25	Repair to ensure compliancy needed.
ART ROOM D.1 ADA/Accessibility			Total	3.81	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Vinyl	VCT	100	3.50	3.50	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ART ROOM D.2 Floor Finish			Total	3.50	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Wallcovering	20	3.00	0.60	
D.3_Masonry	CMU	80	3.75	3.00	
<select or leave blank>					
<select or leave blank>					
ART ROOM D.3 Wall Finish			Total	3.60	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	3.75	3.75	Minor to moderate sag, staining, damage throughout. P
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ART ROOM D.4 Ceiling Finish			Total	3.75	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	4.00	4.00	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ART ROOM D.5 Doors/Borrowed Lites			Total	4.00	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Markerboard	Unlined	70	3.00	2.10	
D.6_Tackboard		30	3.00	0.90	
<select or leave blank>					
		Visual Display Boards	Subtotal	3.00	
D.6_Casework	PLAM		3.75		Minor condition issues
D.6_Countertops	PLAM		3.75		
<select or leave blank>					
<select or leave blank>					
		Casework/Countertops	Subtotal		
D.6_Lockers					N/A.
D.6_Sinks/Plaster Traps				4.00	
D.6_Work Tables				4.00	
D.6_Kiln and Exhaust				3.00	Kiln is in storage room. Relies on room ventilation, exhaust sho
D.6_General Storage				3.00	Adjacent storage room. Appears additional shelving/casework
ART ROOM D.6 Fixed Equipment			Total	3.40	

Condition Assessments

Marsh Elementary School Administration

SUMMARY OF ALL ADMINISTRATION					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		1.00	1	1.00	
D.2 Floor Finish		3.28	1	3.28	
D.3 Wall Finish		3.00	1	3.00	
D.4 Ceiling Finish		3.50	1	3.50	
D.5 Doors/Borrowed Lites		3.75	1	3.75	
D.6 Fixed Equipment		3.33	1	3.33	

ADMINISTRATION					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		FALSE		1.00	Knob hardware should be replaced with lever hardware.
D.1_Door Clearances		FALSE		1.00	Some doors are compliant, some are not.
D.1_Room Signage		FALSE		1.00	Not compliant where present.
D.1_Casework Clearances/Hts.		FALSE		1.00	Sink locations are not ADA compliant.
ADMINISTRATION D.1 ADA/Accessibility			Total	1.00	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Carpet	Broadloom	90	3.25	2.93	
D.2_Vinyl	LVP/LVT	10	3.50	0.35	
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.2 Floor Finish			Total	3.28	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Wallcovering	60	3.00	1.80	
D.3_Gypsum	Painted	40	3.00	1.20	
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.3 Wall Finish			Total	3.00	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	3.50	3.50	Grid appears in good condition. Tiles have significant sag. Some...
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.4 Ceiling Finish			Total	3.50	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	3.75	3.75	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.5 Doors/Borrowed Lites			Total	3.75	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Markerboard	Unlined	100	3.25	3.25	
<select or leave blank>					
		Visual Display Boards	Subtotal	3.25	
D.6_Casework	PLAM	70	3.50	2.45	
D.6_Countertops	PLAM	30	3.50	1.05	
<select or leave blank>					
<select or leave blank>					
		Casework/Countertops	Subtotal	3.50	
D.6_Appliances				3.25	
ADMINISTRATION D.6 Fixed Equipment			Total	3.33	

Condition Assessments

Marsh Elementary School Music Room

SUMMARY OF ALL MUSIC ROOMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		3.94	1	3.94	
D.2 Floor Finish		3.30	1	3.30	
D.3 Wall Finish		3.05	1	3.05	
D.4 Ceiling Finish		3.75	1	3.75	
D.5 Doors/Borrowed Lites		4.00	1	4.00	
D.6 Fixed Equipment		2.50	1	2.50	

MUSIC ROOM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		TRUE		4.00	
D.1_Door Clearances		TRUE		4.00	
D.1_Room Signage		TRUE		4.00	
D.1_Casework Clearances/Hts.		TRUE		3.75	
MUSIC ROOM D.1 ADA/Accessibility			Total	3.94	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Carpet	Broadloom	80	3.25	2.60	
D.2_Vinyl	VCT	20	3.50	0.70	
<select or leave blank>					
<select or leave blank>					
MUSIC ROOM D.2 Floor Finish			Total	3.30	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Masonry	CMU	80	3.00	2.40	
D.3_Gypsum	Wallcovering	20	3.25	0.65	
<select or leave blank>					
<select or leave blank>					
MUSIC ROOM D.3 Wall Finish			Total	3.05	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	3.75	3.75	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
MUSIC ROOM D.4 Ceiling Finish			Total	3.75	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	4.00	4.00	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
MUSIC ROOM D.5 Doors/Borrowed Lites			Total	4.00	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Markerboard	Unlined	100	3.00	3.00	
<select or leave blank>					
<select or leave blank>					
		Visual Display Boards	Subtotal	3.00	
D.6_Casework	PLAM	80	3.00	2.40	
D.6_Countertops	PLAM	20	3.00	0.60	
		Casework/Countertops	Subtotal	3.00	
D.6_Lockers	PLAM			1.00	Lockers are not compliant in regards to music storage
D.6_Tiers/Bleachers					
D.6_General Storage				3.00	
MUSIC ROOM D.6 Fixed Equipment			Total	2.50	



# Condition Assessments

Marsh Elementary School Gymnasium

SUMMARY OF ALL GYMNASIUMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		1.50	1	1.50	
D.2 Floor Finish		4.00	1	4.00	
D.3 Wall Finish		3.00	1	3.00	
D.4 Ceiling Finish		3.75	1	3.75	
D.5 Doors/Borrowed Lites		3.75	1	3.75	
D.6 Fixed Equipment		2.83	1	2.83	

GYMNASIUM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		FALSE		1.00	
D.1_Door Clearances		FALSE		3.00	Main gym doors are good, stage doors are not.
D.1_Room Signage		FALSE		1.00	Not compliant where present.
D.1_General ADA (routing/seats/etc)		FALSE		1.00	Stage access not compliant. Bleachers not compliant.
GYMNASIUM D.1 ADA/Accessibility			Total	1.50	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Athletic	Hardwood	100	4.00	4.00	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
GYMNASIUM D.2 Floor Finish			Total	4.00	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Masonry	CMU	100	3.00	3.00	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
GYMNASIUM D.3 Wall Finish			Total	3.00	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Exposed	Painted	100	3.75	3.75	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
GYMNASIUM D.4 Ceiling Finish			Total	3.75	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	3.75	3.75	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
GYMNASIUM D.5 Doors/Borrowed Lites			Total	3.75	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Markerboard					
D.6_Tackboard					
		Visual Display Boards	Subtotal		
D.6_Equipment	Basketball Main			3.25	
D.6_Equipment	Basketball Cross Court				N/A.
D.6_Equipment	Divider Curtain/Partition			2.50	
D.6_Equipment	Bleachers			2.75	
D.6_Equipment	General Storage				
GYMNASIUM D.6 Fixed Equipment			Total	2.83	

# Condition Assessments

Marsh Elementary School Cafeteria/Kitchen

SUMMARY OF ENTIRE CAFETERIA/KITCHEN					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		4.00	1	4.00	
D.2 Floor Finish		3.83	1	3.83	
D.3 Wall Finish		3.00	1	3.00	
D.4 Ceiling Finish		3.00	1	3.00	
D.5 Doors/Borrowed Lites		4.00	1	4.00	
D.6 Fixed Equipment		3.82	1	3.82	

CAFETERIA/KITCHEN					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		TRUE		4.00	
D.1_Door Clearances		TRUE		4.00	
D.1_Room Signage		TRUE		4.00	
D.1_Casework Clearances/Hts.		FALSE			N/A.
CAFETERIA/KITCHEN D.1 ADA/Accessibility			Total	4.00	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Vinyl	VCT	70	3.75	2.63	
D.2_Epoxy	Flake	30	4.00	1.20	
<select or leave blank>					
<select or leave blank>					
CAFETERIA/KITCHEN D.2 Floor Finish			Total	3.83	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Masonry	CMU	80	3.00	2.40	Due for repaint
D.3_Gypsum	Painted	20	3.00	0.60	Primarily bulkheads in good condition.
<select or leave blank>					
<select or leave blank>					
CAFETERIA/KITCHEN D.3 Wall Finish			Total	3.00	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	3.00	3.00	Grid in fair condition. Some tile condition issues.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
CAFETERIA/KITCHEN D.4 Ceiling Finish			Total	3.00	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	4.00	4.00	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
CAFETERIA/KITCHEN D.5 Doors/Borrowed Lites			Total	4.00	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Tackboard		100	3.00	3.00	
<select or leave blank>					
<select or leave blank>					
		Visual Display Boards	Subtotal	3.00	
<select or leave blank>					N/A.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
		Casework/Countertops	Subtotal		
D.6_Freezers/Coolers				4.00	
D.6_Cooking Battery				4.00	Good condition. Space appears appropriate.
D.6_Serving				4.00	Good condition. Assumed adequate for capacity.
D.6_Dishwashing				4.00	
D.6_Overall Function				3.75	Layout looks appropriate. Serving is within cafeteria space. Sm...
D.6_General Storage				4.00	
CAFETERIA/KITCHEN D.6 Fixed Equipment			Total	3.82	

# Condition Assessments

## Marsh Elementary School Restrooms

SUMMARY OF ALL RESTROOMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		1.00	1	1.00	
D.2 Floor Finish		3.30	1	3.30	
D.3 Wall Finish		3.00	1	3.00	
D.4 Ceiling Finish		2.50	1	2.50	
D.5 Doors/Borrowed Lites		3.75	1	3.75	
D.6 Fixed Equipment		2.66	1	2.66	

RESTROOM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware/Clearances		FALSE		1.00	Most door clearances are acceptable. Knob hardware should b...
D.1_Room Signage		FALSE		1.00	Signage is present but not compliant.
D.1_Stall Widths/Clearances		FALSE		1.00	Older gang restrooms are non-compliant. More recent addition...
D.1_General ADA Clearances		FALSE		1.00	Older gang restrooms are non-compliant. More recent addition...
RESTROOM D.1 ADA/Accessibility			Total	1.00	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Tile	Mosaic	80	3.25	2.60	Aged grout and unmatched patches of tile. Some unlevel tile.
D.2_Vinyl	VCT	20	3.50	0.70	
<select or leave blank>					
<select or leave blank>					
RESTROOM D.2 Floor Finish			Total	3.30	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Tile	Square	100	3.00	3.00	Overall decent condition.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
RESTROOM D.3 Wall Finish			Total	3.00	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	2.50	2.50	Aged grid. Stained, unmatched tile.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
RESTROOM D.4 Ceiling Finish			Total	2.50	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	3.75	3.75	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
RESTROOM D.5 Doors/Borrowed Lites			Total	3.75	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
<select or leave blank>					N/A.
<select or leave blank>					
	Visual Display Boards		Subtotal		
D.6_Partitions	Metal/SS	75	2.75	2.06	Poor condition, many have been repainted multiple times. Cor...
D.6_Toilet_Accessories	General	10	2.50	0.25	
D.6_Toilet_Accessories	Benches	5			
D.6_Toilet_Accessories	Showers	10			
	Partitions/Accessories		Subtotal	2.31	
D.6_Countertops					N/A - wall-mount lavatories.
D.6_Lockers	Metal			3.00	Lockers in ok condition. Not accessible.
RESTROOM D.6 Fixed Equipment			Total	2.66	

# Condition Assessments

## Marsh Elementary School Building Interiors Environment

### Stairs:

- Existing building is single-story with no building stairs present.
- Existing stairs are limited to stage stairs or risers with media center and classrooms. See other sections for any needs noted.

### Priority Items:

- a. None currently.

### Corridors:

- Corridors are approximately 10'-0" wide throughout the building with recessed doorways exiting rooms. Double egress doors span across corridors at locations of existing 2-hour separation walls at three locations. Floor, wall, and ceiling finish conditions vary throughout. Some areas are in much better condition than others. Conditions do not necessarily correspond to age of materials. Much of the building is due for renovation.
- Refer to Priority Item "a" under Code section for existing conditions. Existing corridors/classroom walls will need to be confirmed for appropriate fire resistive construction and continuity, due to lack of sprinkler system throughout building, if significant renovation efforts are undertaken.

- Wayfinding signage throughout the building is minimal to none. Room signage is generally present but not ADA compliant.

- Interior doors throughout the building are typically stained wood door with in-door glazing in good condition relative to age and use. Door hardware at newer locations is ADA compliant, while door hardware in older locations is not. Interior hollow metal doors are in above-average condition.

### Priority Items:

- a. Corridor ceilings consist of a majority of suspended acoustical tile in poor to good condition with sagging, staining, and general damage throughout. The northwest entry is in exceptionally poor condition. Corridor suspended ceilings need to be replaced. Painted gypsum board ceilings occur in the south corridor and are in above-average condition. This ceiling can remain but needs repainting.
- b. Corridor flooring at the main entry is ceramic tile. The tile is aged and dull and the grout is stained in spots and

discolored. Tile replacement is strongly recommended. VCT tile is present in the southwest addition of the building. VCT is dated and in good shape overall, however, replacement is recommended. Majority of the corridors consist of broadloom carpet. Average condition of the carpet is poor. Carpet is dated and worn throughout most of the building. Southwest addition carpet is bubbling, posing hazards. Carpet should be replaced throughout.

- c. Corridor walls are primarily painted gypsum board with a raised stripe of wallcovering running along the middle section of the walls. Painted walls are showing wear with dirt, stains, and dents/gouges. Painted walls should be repaired and repainted. Wallcovering has areas that are peeling, ripped, or damaged and should be fully replaced.

- d. Wayfinding signage needs to be added and must be ADA compliant.

- e. Room signage needs to be added and must be ADA compliant.

- f. Door hardware that is not ADA compliant should be replaced.

### Classrooms:

- Classrooms are approximately 850 – 1,230 SF throughout the building with swiveling coat/backpack storage and casework storage above along corridor wall, open-shelf casework along exterior wall, and visual display boards on interior classroom divider walls. Floor, wall, and ceiling finishes vary depending on location in the building. Many classroom finishes are dated and worn and the building is due for renovation throughout. Typical finishes are a combination of carpet and VCT flooring, wallcovering, and suspended acoustic ceiling systems. Refer to Restrooms section for additional notes.

- Refer to Priority Item "a" under Code section for existing conditions. Existing corridors/classroom walls will need to be confirmed for appropriate fire resistive construction and continuity, due to lack of sprinkler system throughout building, if significant renovation efforts are undertaken.

### Priority Items:

- a. Existing classroom flooring including carpeting and VCT flooring could last a few years, if necessary. Again, conditions are largely dependent on location within the building.

Classrooms in the newer additions are in better shape. However, due to wear and age replacement throughout is recommended.

b. Existing classroom wall finishes are due for replacement due to wear and age throughout the building. Even in classrooms with better overall conditions, wall covering is peeling.

c. Existing classroom ceiling finishes are recommended for replacement only in select areas. Most classroom ceilings appear new(er) and are holding up well. Some ceiling tiles should be replaced due to staining.

d. Existing classroom casework is mostly still fully functional, however, due to wear and age replacement throughout the building is recommended. Consideration for appropriate coat/backpack storage with increased ADA compliancy is potentially needed.

e. Existing classroom visual display boards need consideration for appropriate functionality. Chalkboards are generally in good condition and salvageable if appropriate for educational needs. Markerboards are less common throughout with non-commercial grade markerboards added throughout the building; consideration for replacement of chalkboards with markerboards should be given. Most tackboards throughout the building are in decent to good condition and can remain. See Technology section for existing integration of educational technology.

#### Restrooms:

• Single-hole and group restrooms throughout the building are not ADA compliant and are in poor physical condition generally with flooring refinishing/replacement needs, ceiling repainting/replacement needs, and restroom accessory replacement needs. Finishes in most restroom locations are mismatched, aged, and word.

• One pair of single-hole restrooms located at the newest addition are ADA compliant, but finishes could be upgraded.

#### Priority Items:

a. All restrooms need renovations with ADA upgrades throughout. Priority would be given to group restrooms located in two pairs/groupings throughout the building, followed by classroom connected restrooms located at two locations typical single-hole restrooms throughout the building and one two-hole

restroom, followed by one two-hole gymnasium connected restroom, and administrative restrooms comprising another three typical single-hole restrooms throughout the building.

b. Alternatively, restrooms listed above could receive finish upgrades only but would remain not ADA compliant.

#### Ancillary Spaces:

• Existing art room is approximately 1,160 SF with separate storage room and kiln. Kiln room doubles as storage. Kiln also relies on room ventilation and does have own exhaust system. Storage casework is located along the shared wall with four sink locations and dedicated teaching wall. Storage casework also has a small spray booth with independent exhaust. Floor, wall, and ceiling finishes are original to the addition and are not holding up particularly well. Finishes include VCT flooring, painted CMU, wallcovering, and suspended acoustic ceiling system.

• Existing music room is approximately 1,035 SF with storage room. Open shelving casework is located below the windows along the exterior wall. Miscellaneous storage cabinets are located around the room. Some casework with a sink and a dedicated teaching wall are also present. Floor, wall, and ceiling finishes are original to the addition and are holding up well. Finishes include VCT flooring, broadloom carpet, painted CMU, wallcovering, and suspended acoustic ceiling system.

• Existing gymnasium is approximately 3,910 SF with locker rooms and storage spaces occupying another approximately 900 SF and a stage of approximately 490 SF. Floor, wall, and ceiling finishes appear original to this portion of the building. While dated, these finishes are in decent condition, however, the spaces are due for renovation work.

• Existing cafeteria is approximately 2,450 SF with associated kitchen functions occupying another approximately 855 SF. The combination of spaces is small but seems to serve needs. A serving line is in the main area of the cafeteria. Floor, wall, and ceiling finishes have been maintained well and remain in good condition.

• Existing media center is approximately 1,150 SF and associated storage and workroom are an additional 400 SF. The space is inadequately sized, and floor, wall, and ceiling finishes and equipment upgrades are necessary.

• Existing administration area is approximately 1,470 SF. Floor, wall, and ceiling finishes need repair or replacement. The carpet flooring throughout is showing age and wear. Wall and ceiling finishes are aged as well. Suspended acoustical ceiling panels are sagging significantly in many places. Refer to Restrooms section for additional notes. The administration area is functionally lacking in current configuration and is also separated from the building’s main entrance, refer to Secure Visitor Access section for additional notes.

• Refer to Priority Item “a” under Code section for existing conditions. Existing corridors/classroom walls will need to be confirmed for appropriate fire resistive construction and continuity, due to lack of sprinkler system throughout building, if significant renovation efforts are undertaken.

#### Priority Items:

a. Art room renovation needs will be heavily dependent on Owner educational needs with a focus on casework needs, storage needs, and whether a kiln is needed. If kiln is needed, a dedicated exhaust system should be added. Existing art room renovation should include new and additional storage casework and new wall and ceiling finishes. VCT flooring is showing some wear, but still may last several more years if maintained properly.

b. Music room renovations are needed but are not as extensive as other rooms. Carpet is in great shape. VCT flooring is showing some wear, but still may last several more years if maintained properly. Wallcovering needs to be replaced and CMU should be repainted. Consideration should be given to adding additional storage casework for proper instrument storage.

c. Gymnasium and associated locker room, storage, and stage renovation needs will be heavily dependent on Owner needs. The gymnasium is due for wall painting, exposed structure and systems cleaning and repaint, adding wall padding, and bleacher refinish/replacement. The locker room and associated restroom is not ADA compliant and would qualify for a full renovation and ADA upgrade if utilized within the Owner’s program. Owner should consider adding an additional locker room and restroom as there is currently only one and functionality is limited. Similarly, the stage would qualify for a full renovation and ADA upgrade dependent on Owner needs.

d. Cafeteria and kitchen needs should be further evaluated with staff to determine if a possible expansion is needed. If

not, renovation needs should be limited to repainting walls and replacing damaged ceiling tiles.

e. Media center renovation needs will be heavily dependent on Owner educational needs. The media center is very small but could continue to service the building with only finish and lighting upgrades. However, serious consideration should be given to expanding the media center as well as fully renovating the existing spaces.

f. Administration area needs a renovation to allow more functional use and service to the building. Modifying the administration area to be adjacent to the building’s main entrance is needed, refer to Secure Visitor Access section for additional notes. Wall repairs are needed in some areas and all walls should be repainted. Ceiling tiles are sagging and need to be replaced. Carpet and VCT are aged and worn. Replacement is necessary.

# Condition Assessments

## Marsh Elementary School Mechanical System

SUMMARY OF ENTIRE MECHANICAL SYSTEM					
Category		Subscore	Areas	Score	General Comments
E.2 Building HVAC System		3.06	1	3.06	
E.3 Building Temperature Controls		4.00	1	4.00	

MECHANICAL SYSTEM					
E.2 Building HVAC System	Type			Score	Comments/Remarks
E.2_Central Heating System	Boilers			4.00	From 2016.
E.2_Central Heating System	Heating Pumps			3.00	
E.2_Central Heating System	Air Handling Units			2.00	2 units serving the gym are probably original to 1989.
	Central Heating System	Subtotal		3.00	
E.2_Cooling System	Chiller			4.00	From 2017.
E.2_Cooling System	Cooling Tower			4.00	From 2017.
E.2_Cooling System	Chilled Water Pumps			3.00	
E.2_Cooling System	Condensing Units			1.00	
	Cooling System	Subtotal		3.00	
E.2_Equipment	Cabinet/Supplemental Heaters				
E.2_Equipment	Fan Coil Units				
E.2_Equipment	Fans				
E.2_Equipment	PTAC Units				
E.2_Equipment	Unit Ventilators			4.00	From 2017.
E.2_Equipment	Variable Air Volume Terminals			3.00	
	Equipment	Subtotal		3.50	
E.2_General	Ductwork			3.00	
E.2_General	Louvers/Exhaust Vents				
E.2_General	Piping			2.50	
	General	Subtotal		2.75	
MECHANICAL SYSTEM E.2 Building HVAC System			Total	3.06	
E.3 Building Temperature Controls	Type			Score	Comments/Remarks
E.3_Temperature Controls				4.00	JCI District upgraded around 2019.
MECHANICAL SYSTEM E.3 Building Temperature Controls			Total	4.00	

# Condition Assessments

## Marsh Elementary School Plumbing System

SUMMARY OF ENTIRE PLUMBING SYSTEM					
Category		Subscore	Areas	Score	General Comments
E.1 Building Plumbing System		2.38	1	2.38	

PLUMBING SYSTEM					
E.1 Building Plumbing System	Type			Score	Comments/Remarks
E.1_Plumbing Fixtures	Water Closets			2.50	
E.1_Plumbing Fixtures	Lavatories			2.50	
E.1_Plumbing Fixtures	Drinking Fountains			3.00	1 old to 1 new.
E.1_Plumbing Fixtures	Showers			2.00	Storage.
E.1_Plumbing Fixtures	Dishwashing				
	Plumbing Fixtures	Subtotal		2.50	
E.1_Central Equipment	Hot Water Heating			2.50	
E.1_Central Equipment	Water Softener			1.00	None.
E.1_Central Equipment	Pumps				
	Central Equipment	Subtotal		1.75	
E.1_Water_Service	City			3.00	
E.1_Water Service	Domestic Piping			3.00	
	Water Service	Subtotal		3.00	
E.1_Sewage_System	City			3.00	
E.1_Sewage System	Piping			3.00	
	Sewage System	Subtotal		3.00	
E.1_Gas Service				3.00	
E.1_Fire Suppression				1.00	None.
PLUMBING SYSTEM E.1 Building Plumbing System			Total	2.38	

Condition Assessments

Marsh Elementary School Electrical System

SUMMARY OF ENTIRE ELECTRICAL SYSTEM					
Category		Subscore	Areas	Score	General Comments
E.4 Building Electrical System		3.25	1	3.25	
E.5 Building Lighting		3.50	1	3.50	

ELECTRICAL SYSTEM					
E.4 Building Electrical System	Type			Score	Comments/Remarks
E.4_Incoming Service	Size			4.00	1200A BPS MAIN, 208, FS braudes - 1989 era.
E.4_Incoming Service	Condition			4.00	
E.4_Incoming Service	Generator			1.00	None.
	Incoming Service	Subtotal		3.00	
E.4_Distribution				3.00	
E.4_Smoke Detection				3.00	Missing in areas such no RR, Cafeteria, gym,classes.
E.4_Fire Alarm System	Annunciator Panel			4.00	
E.4_Fire Alarm System	Fire Alarm Devices			4.00	Strobes in classes simplex 4010ES.
	Fire Alarm System	Subtotal		4.00	
ELECTRICAL SYSTEM E.4 Building Electrical System		Total		3.25	
E.5 Building Lighting	Type			Score	Comments/Remarks
E.5_Interior Lighting	Administration				
E.5_Interior Lighting	Corridors/Common			3.00	
E.5_Interior Lighting	Classrooms/Science			5.00	2x4 LED Basket, Dimming, Occ.
E.5_Interior Lighting	Art/Music/Auditorium				
E.5_Interior Lighting	Gymnasium/Natatorium			4.00	4 Lamp FL.
E.5_Interior Lighting	Cafetaria/Kitchen			4.00	2x4 FL P. Acr.
E.5_Interior Lighting	Restrooms				
	Interior Lighting	Subtotal		4.00	
E.5_Exterior Lighting	Building Entries			4.00	
E.5_Exterior Lighting	Parking Lots/Drives				No formal lots.
E.5_Exterior Lighting	Athletic/Play Fields			2.00	Proximity to street lighting and building lighting.
	Exterior Lighting	Subtotal		3.00	
ELECTRICAL SYSTEM E.4 Building Electrical System E.5 Building Lighti		Total		3.50	

Condition Assessments

Marsh Elementary School Technology

SUMMARY OF ALL TECHNOLOGY					
Category		Subscore	Areas	Score	General Comments
E.6 Building Technology		3.33	1	3.33	

TECHNOLOGY					
E.6 Building Technology	Type			Score	Comments/Remarks
E.6_Data Distribution	Incoming			5.00	
E.6_Data Distribution	Cable Type			3.00	Cat 5.
E.6_Data Distribution	Fiber				
E.6_Data Distribution	Wireless			4.00	Ruckus 1:2.
	Data Distribution	Subtotal		4.00	
E.6_Classroom Technology	Teacher				
E.6_Classroom Technology	Monitors			4.00	Dock 65" samsung on wall.
E.6_Classroom Technology	Smartboards			5.00	Promehtean on cart.
E.6_Classroom Technology	Projection				
	Data Distribution	Subtotal		4.50	
E.6_Communications	Intercom/PA			2.00	Old Dukane, no call-in sw.
E.6_Sound Systems	Gymnasium/Natatorium			1.00	None.
E.6_Sound Systems	S.R.				
	Sound Systems	Subtotal		1.50	
TECHNOLOGY E.6 Building Technology		Total		3.33	



# Condition Assessments

## Marsh Elementary School Building Systems Summary

### Mechanical:

#### Heating plant

- Building comfort heating is provided by a gas-fired boilers which appear and were reported to be in relatively good operating condition. Manufactured in 2016.
  - o Currently, there are no reported issues or concerns for the continued use of these boilers; therefore, it is reasonable to expect successful continued use of the existing heating system until symptoms providing a reason for replacement manifest.

#### Cooling plant:

- Building comfort cooling is provided by an indoor scroll style chiller (York) with a remote air-cooled condensing unit mounted on the roof. Both appear to be in good working condition. Both units were manufactured in 2017.

#### Building piping/pumps:

- The existing HVAC system runs off a 2-pipe change over system. The existing hydronic piping throughout the building is in fair condition and was reported to need replacement.
- Building water circulation is provided by 2 end-suction pumps mounted in parallel.

#### Air-Handler Plants and Systems:

- There are three existing constant-speed air-handler, inside the building envelope that was added during the 1988 renovation.
  - o The three air-handlers and controls appeared in fair to poor condition and were reported in need of replacement.
- There is one existing variable air volume (VAV) DX air-handing unit, inside the building envelope that was added during the 2006 cafeteria addition project. This includes several terminal units and a remote condensing unit mounted on the roof.
  - o The air-handler associated terminal units and controls appeared in fair condition. The condensing unit on the roof is in poor condition and was reported in need of replacement.

### Classroom HVAC and associated Systems:

- Each classroom in the building is equipped with a vertical unit ventilator unit that provides conditioned air to the space; combined heating and cooling coil (2-pipe).
  - o All the VUVs were recently replaced (2017) and are in good condition.

#### Building Temperature Control System:

- The building’s temperature control system is managed by Johnson Controls and was replace in 2019.

#### Priority Items:

- a. The owner has expressed a desire to eliminate the existing 2-pipe changeover system. However, we recommend retaining it for this building. The piping appears to be in fair condition throughout, and the building recently underwent a significant renovation to upgrade all existing fan coil units to vertical unit ventilators (VUVs). Switching to a 4-pipe system would necessitate revisiting the control of the VUVs’ combined heating/cooling coil. Replacing the new coils would not be practical, even if it were an option.
- a. Copper piping typically has a service life expectancy of anywhere between 40-50 years while steel piping typically has a service life expectancy of anywhere between 60-75 years. It looks like most of the piping was replace in 1988 which would place it as 37 years old.
- b. The three existing air handlers, original to the 1988 addition and renovation project, shall be removed and replaced.
  - a. Condensing units can be evaluated in the future if the owner wants better control at each unit
- c. The one existing VAV air handler, original to the 2006 addition and renovation project, shall remain along with the existing VAV boxes. The existing condensing unit associate with the Ahu will be removed and replaced.
- d. All existing cabinet unit heaters, exhaust fans, etc. that are original to the 1988 renovation shall be removed and replaced.

#### Plumbing:

- The domestic system is served by a Bradford white gas fired water heater manufactured in 2016. The water heater looked to

be in fair condition. There is no water softener.

- The existing domestic, sanitary and vent piping throughout the building look to be in fair condition and were reported to be in relatively good to fair operating condition.

- Several restrooms throughout the building are not ADA compliant and are in fair to poor physical condition.

- There are existing showers that have been abandoned near the gymnasium.

#### Priority Items:

- a. The water heater should be replaced, and a water softener should be added to the domestic system.
- b. All drinking fountains in area being renovated shall be replaced and upgraded to current ADA compliant standards. The existing domestic water, sanity and vent connections shall be reused.
- c. In all restroom’s fixtures, faucets, flush valves in areas being renovated shall be replaced and upgrade to current ADA compliant standards. The existing domestic water, sanity and vent connections shall be reused.
- d. Remove all existing domestic piping serving the gymnasium showers.

#### Fire protection:

A fire sprinkler system does not exist in this building.

#### Electrical:

##### Electrical Distribution system

- The 1989 Square D QED switchboard appears to be in good condition. No planned mechanical upgrades would necessitate any replacement. Switchboard appears to have usable life remaining for 10 plus years.

#### Fire Alarm

- The existing Simplex 4010ES panel is in good condition. Due to a lack of sprinklers in the building, the facility should have full smoke detector coverage, but does not. Areas lacking smoke detectors include classrooms, administrative spaces, and

cafeteria. Strobes have been provided in the classrooms. Either sprinklers should be provided, or the fire alarm system should be upgraded in any future remodeling.

#### Lighting

- Lighting in common spaces includes flat panel LED. Classrooms consist of 2x4 LED volumetric fixtures with dimming and occupancy sensors. Gymnasium and cafeteria are older fluorescent fixtures.

#### Priority Items:

- a. Fire alarm should be updated if fire sprinklers are not planned to be installed.

#### Technology:

##### Data cabling and distribution

- Building has single mode fiber from administration data center. Most cabling is Category 5. Building has Ruckus wireless access points, one for every two classrooms per district IT standard.

#### Teaching technology equipment

- Classrooms include both Promethean interactive touchscreen monitors for the lower grades as well as 65” Samsung monitors for the upper grade levels. Existing equipment is in good condition.

#### Paging / intercom equipment

- Existing paging / intercom system is a Dukane paging system that is obsolete and should be replaced. Dukane parts are no longer readily available. A newer Maxon weather radio has been added. It is possible that the existing speakers and wiring may be reused depending on existing condition review with Owner.

#### Priority Items:

- a. Replace paging / intercom head-end equipment.

Condition Assessments

Marsh Elementary School Interior Floorplan



Condition Assessments

Marsh Elementary School Preliminary Cost Estimate

Bid Sort 2	System L1	System L2	Description	Takeoff Quantity	Grand Total Price	Grand Total Amount
			Conceptual Estimate			
			Construction Cost			
10			Building			
	B2000		Exterior Enclosure			
		B20 4222	Ext Wall Finish, Brick, Clean & Tuckpoint	23,500 sf	5.78 /sf	135,919
		B20 7242	Ext Wall Finish, EIFS, Paint	2,100 sf	3.01 /sf	6,327
		B20 8102	Exterior Door ADA Hardware	19 leaf	4,171.00 /leaf	79,249
		B20 8104	Auto-Operators	4 ea	17,041.98 /ea	68,168
			B2000 Exterior Enclosure	48,000 sf	6.03 /sf	289,663
	Z1012		Functional Area Costs			
		xRHLSH	Renovation, Heavy, Locker/Shower	500 sf	726.00 /sf	363,000
		xRHRR	Renovation, Heavy, Restrooms	1,600 sf	922.63 /sf	1,476,200
		xRHStg	Renovation, Heavy, Stage	800 sf	381.15 /sf	304,920
		xRLCafe	Renovation, Light, Cafeteria	2,800 sf	181.50 /sf	508,200
		xRLCr	Renovation, Light, Classrooms	10,200 sf	105.88 /sf	1,079,925
		xRLKit	Renovation, Light, Kitchen	1,600 sf	133.10 /sf	212,960
		xRLMech	Renovation, Light, Mechanical	900 sf	113.44 /sf	102,094
		xRLOff	Renovation, Light, Office	125 sf	90.75 /sf	11,344
		xRLRR	Renovation, Light, Restrooms	200 sf	196.63 /sf	39,325
		xRMCorr	Renovation, Medium, Corridors	7,100 sf	181.50 /sf	1,288,650
		xRMCr	Renovation, Medium, Classrooms	12,000 sf	211.75 /sf	2,541,000
		xRMGym	Renovation, Medium, Gym	5,000 sf	242.00 /sf	1,210,000
		xRMKit	Renovation, Medium, Kitchen	250 sf	266.20 /sf	66,550
		xRMLng	Renovation, Medium, Lounge	550 sf	169.40 /sf	93,170
		xRMLob	Renovation, Medium, Lobby	350 sf	229.90 /sf	80,465
		xRMMedC	Renovaiton, Medium, Media Center	1,500 sf	242.00 /sf	363,000
		xRMOff	Renovation, Medium, Office	3,500 sf	181.50 /sf	635,250
		xRMVest	Renovation, Medium, Vestibule	200 sf	272.25 /sf	54,450
			Z1012 Functional Area Costs	48,000 sf	217.30 /sf	10,430,503
			10 Building	48,000 sf	223.34 /sf	10,720,166
20			Site			
	G2000		Exterior Improvements			
		G20 1056	Asphalt Mill/Resurface, Parking	1,120 sy	21.72 /sy	24,331
		G20 2102	Concrete Sidewalks, Demo/Replace, Widen 25%	17,000 sf	17.37 /sf	295,246
		G20 4202	Landscaping Allowance	1 lsum	60,500.00 /lsum	60,500
			G2000 Exterior Improvements			380,077
			20 Site	48,000 sf	7.92 /sf	380,077
			Construction Cost	48,000 sf	231.26 /sf	11,100,242
			Conceptual Estimate			11,100,242

# Condition Assessments

## Pine Elementary School

## Condition Assessments

### Pine Elementary School Summary

Michigan City Area Schools	
Building:	Pine Elementary School
Building Area:	90,270
Site Acreage:	64.60
Enrollment Capacity:	
Current Enrollment:	403
Construction	Construction Type
2009	Original Construction
See Bldg. Area Plan	Additions and Renovations

Condition Assessment Legend	
Building Scoring Matrix	Category Scoring Matrix
100: Excellent	5: No Work Needed
99 - 80: Good	4: Minor Work Needed
79 - 60: Average	3: Moderate Work Needed
59 - 40: Fair	2: Major Work Needed
Below 40: Poor	1: None/Replacement Needed

Condition Assessment	Score
<b>A SITE CIRCULATION AND AMENITIES</b>	
A.1 Separation/Drop-off/Stacking	4.63
A.2 Drives/Lots and Walks	4.13
A.3 Site Improvements	4.40
<b>B SAFETY AND SECURITY</b>	
B.1 Secure Building Access	4.00
B.2 Surveillance/Cameras	4.50
<b>C BUILDING ENVELOPE</b>	
C.1 Building Roof	3.00
C.2 Exterior Building Walls	4.00
C.3 Exterior Doors/Windows	4.45
<b>D BUILDING INTERIOR ENVIRONMENT</b>	
D.1 ADA/Accessibility	4.92
D.2 Floors	4.08
D.3 Walls	4.05
D.4 Ceilings	4.33
D.5 Doors/Borrowed Lites	4.50
D.6 Fixed Equipment	4.50
<b>E BUILDING SYSTEMS</b>	
E.1 Building Plumbing System	3.52
E.2 Building HVAC System	3.08
E.3 Building Temperature Controls	2.00
E.4 Building Electrical System	4.25
E.5 Building Lighting	4.64
E.6 Building Technology	4.06
CONDITION ASSESSMENT AVERAGE SCORE	4.05
CONDITION ASSESSMENT GRADE	81.04

# Condition Assessments

## Pine Elementary School Expanded Summary

Michigan City Area Schools	
Building:	Pine Elementary School
Building Area:	90,270
Site Acreage:	64.60
Enrollment Capacity:	
Current Enrollment:	403
Construction	Construction Type
2009	Original Construction
See Bldg. Area Plan	Additions and Renovations

Condition Assessment	Score
A SITE CIRCULATION AND AMENITIES	
A.1 Separation/Drop-off/Stacking	4.63
A.2 Drives/Lots and Walks	4.13
A.3 Site Improvements	4.40
B SAFETY AND SECURITY	
B.1 Secure Building Access	4.00
B.2 Surveillance/Cameras	4.50
C BUILDING ENVELOPE	
C.1 Building Roof	3.00
C.2 Exterior Building Walls	4.00
C.3 Exterior Doors/Windows	4.45
D BUILDING INTERIOR ENVIRONMENT	
D.1 ADA/Accessibility	4.92
Administration	4.88
Corridors/Common	4.81
Classrooms/Science	4.94
Art/Music/Auditorium	4.88
Gymnasium/Natorium	4.94
Cafeteria/Kitchen	5.00
Restrooms/Locker Rooms	5.00
D.2 Floors	4.09
Administration	3.83
Corridors/Common	4.15
Classrooms/Science	3.93
Art/Music/Auditorium	3.88
Gymnasium/Natorium	4.50
Cafeteria/Kitchen	4.33
Restrooms/Locker Rooms	4.00
D.3 Walls	4.05
Administration	3.75
Corridors/Common	3.95
Classrooms/Science	4.25
Art/Music/Auditorium	3.88
Gymnasium/Natorium	4.00
Cafeteria/Kitchen	4.25
Restrooms/Locker Rooms	4.25
D.4 Ceilings	4.33
Administration	4.25
Corridors/Common	4.45
Classrooms/Science	4.25
Art/Music/Auditorium	4.38
Gymnasium/Natorium	4.50
Cafeteria/Kitchen	4.50
Restrooms/Locker Rooms	4.00
D.5 Doors/Borrowed Lites	4.50
Administration	4.50
Corridors/Common	4.50
Classrooms/Science	4.50
Art/Music/Auditorium	4.50
Gymnasium/Natorium	4.50
Cafeteria/Kitchen	4.50
Restrooms/Locker Rooms	4.50
D.6 Fixed Equipment	4.49
Administration	4.42
Corridors/Common	4.38
Classrooms/Science	4.63
Art/Music/Auditorium	4.50
Gymnasium/Natorium	4.56
Cafeteria/Kitchen	4.57
Restrooms/Locker Rooms	4.41
E BUILDING SYSTEMS	
E.1 Building Plumbing System	3.52
E.2 Building HVAC System	3.08
E.3 Building Temperature Controls	2.00
E.4 Building Electrical System	4.25
E.5 Building Lighting	4.64
E.6 Building Technology	4.06
CONDITION ASSESSMENT AVERAGE SCORE	4.05
CONDITION ASSESSMENT GRADE	81.04

Condition Assessment Legend	
Building Scoring Matrix	Category Scoring Matrix
100: Excellent	5: No Work Needed
99 - 80: Good	4: Minor Work Needed
79 - 60: Average	3: Moderate Work Needed
59 - 40: Fair	2: Major Work Needed
Below 40: Poor	1: None/Replacement Needed

# Condition Assessments

## Pine Elementary School Code Analysis

### Code Analysis:

- The Building Occupancy is Group E – Educational.
  - o Allowable area per code is 14,500 SF. Allowable area will be increased utilizing a sprinkler increase. Frontage increase possible dependent on public way or open space at perimeter of building.
  - o The overall square footage is 90,270 SF.
- The Building Type of Construction is Type II-B Unprotected Non-Combustible.
  - o Original construction in 2007.
- The existing Building is equipped with a fire suppression system throughout.

### Priority Items:

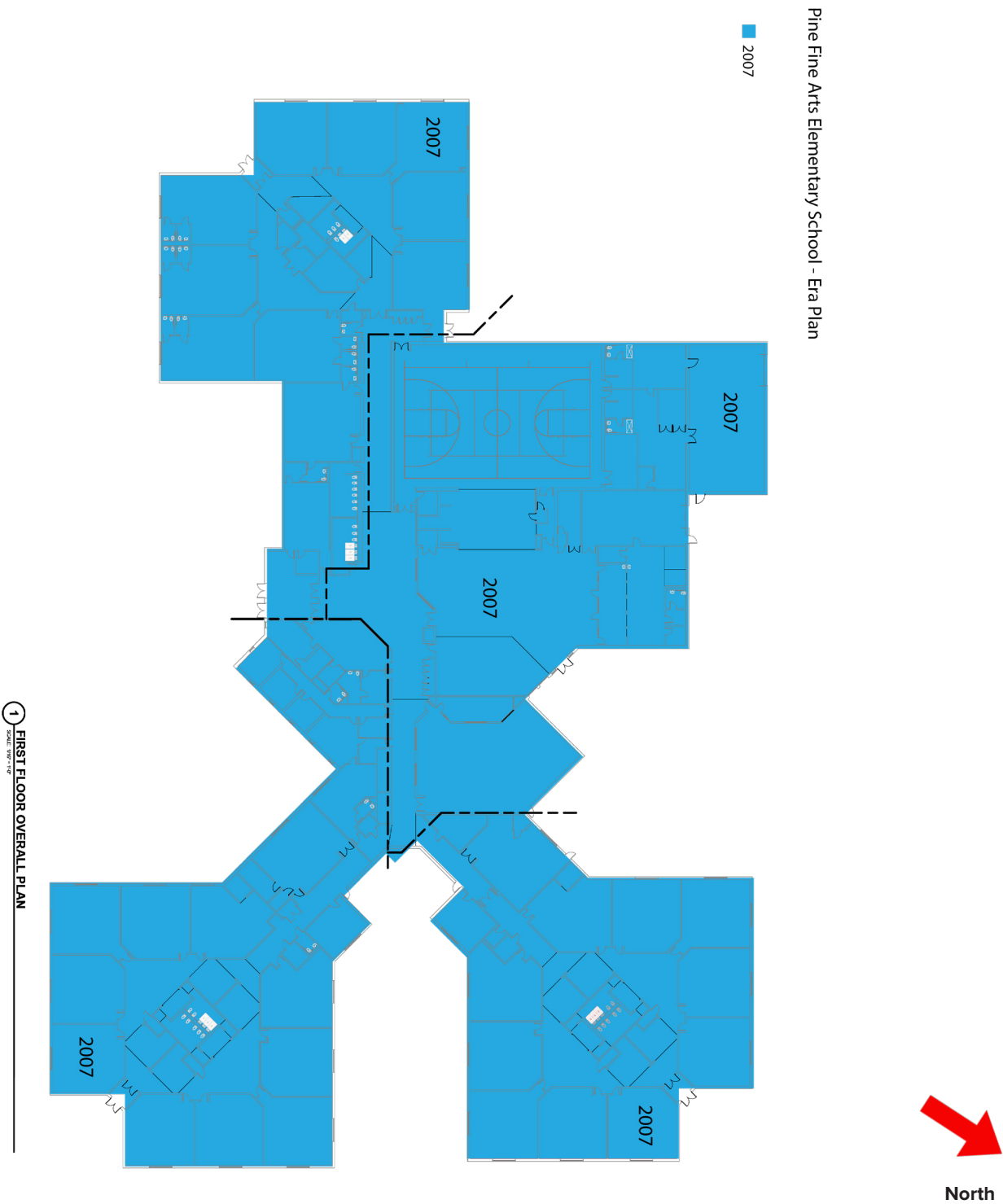
a. NOTE: All non-compliant building code items are grandfathered, however, if any item or area is renovated, new work is required to meet current building code.

Condition Assessments

Pine Elementary School Era Floorplan

Condition Assessments

Pine Elementary School Site



SUMMARY OF ENTIRE SITE					
Category		Subscore	Regions	Score	General Comments
A.1 Separation/Drop-off/Stacking		4.63	1	4.63	
A.2 Drives/Lots and Walks		4.13	1	4.13	
A.3 Site Improvements		4.40	1	4.40	

SITE					
A.1 Separation/Drop-off/Stacking				Score	Comments/Remarks
A.1 Identifiable Main Entry				4.00	The entrance is lesser in scale than the two secondary entrance...
A.1 ADA Accessibility	Type	Compliant		Score	Comments/Remarks
A.1 ADA Accessibility	Route	TRUE		5.00	
A.1 ADA Accessibility	Door	TRUE		5.00	
A.1 Parking Space Allocation	Type	Compliant	Quantity	Score	Comments/Remarks
A.1 Parking Space Allocation	Visitor		69.00	5.00	No visitor parking requirement.
A.1 Parking Space Allocation	Staff		80.00	5.00	45 employees. Requirement is 1 space for each employee.
A.1 Parking Space Allocation	Accessible	TRUE	7.00	5.00	4 visitor + 3 staff = 7 total. Requirement is 1 per 25 or 2% when...
A.1 Site Circulation	Type			Score	Comments/Remarks
A.1 Emergency/Fire Service Access				4.00	School is accessible via separate drives on the SE and NW. SW...
A.1 Bus/Vehicular	Separation			4.00	Shared main drive off N County Line Rd. Good separation of lot...
A.1 Bus/Vehicular	Signage			4.00	Good signage for staff and bus, additional signage for visitors o...
A.1 Bus Drop-off/Pick-up	Route Clarity/Safety			5.00	Route is clear for buses.
A.1 Bus Drop-off/Pick-up	Adequate Stacking			5.00	
A.1 Car Drop-off/Pick-up	Pedestrian Safety			5.00	
A.1 Car Drop-off/Pick-up	Adequate Stacking			4.00	
A.1 Car Drop-off/Pick-up	Traffic Pattern			4.00	
A.1 Delivery Routing	Separation			5.00	Accessed via separate drive off E 1675 N.
A.1 Delivery Routing	Loading Dock			5.00	
SITE A.1 Separation/Drop-off/Stacking				Total	4.63
A.2 Drives/Lots and Walks	Type	%	Subscore	Score	Comments/Remarks
A.2 Sidewalks	Concrete	100	4.00	4.00	Only minor repairs needed, general maintenance.
A.2 Sidewalks					
A.2 Sidewalks					
		Sidewalks	Subtotal	4.00	
A.2 Drives	Asphalt	100	4.00	4.00	Drives are in good condition. Seal coat recommended.
A.2 Drives					
A.2 Drives					
		Drives	Subtotal	4.00	
A.2 Parking Lots	Asphalt	100	4.00	4.00	Lots are in good condition. Seal coat recommended.
A.2 Parking Lots					
A.2 Parking Lots					
		Parking Lots	Subtotal	4.00	
A.2 Drives/Parking Lots	Traffic Markings/Striping		4.50	4.50	Striping appears newer.
SITE A.2 Drives/Lots and Walks				Total	4.13
A.3 Site Improvements	Type			Score	Comments/Remarks
A.3 Playground(s)	Accessibility			4.00	
A.3 Playground(s)	Equipment			4.00	Most equipment in good condition. Clean/powerwash recomm...
A.3 Playground(s)	Surface			4.00	
A.3 Playground(s)	Size			5.00	
		Playground(s)	Subtotal	4.25	
A.3 Landscaping	Trees			4.50	Trees are generally at edge of site. Trees in courtyard should b...
A.3 Landscaping	Landscaping			4.50	
		Landscaping	Subtotal	4.50	
A.3 Site Drainage	Flood Points			4.50	
A.3 Athletic Fields	Support Buildings				N/A
A.3 Athletic Fields	Bleachers/Stadium Seating				N/A
A.3 Athletic Fields	Athletic/Stadium Lighting				N/A
A.3 Athletic Fields	Athletic/Stadium Paving				N/A
A.3 Athletic Fields	Fencing/Gates				N/A
A.3 Athletic Fields	Field Conditions				N/A
A.3 Athletic Fields	Scoreboards				N/A
		Athletic Fields	Subtotal		
A.3 Site Security	Site Lines			4.50	
A.3 Site Security	Gated/Not Gated			4.00	Gates at lots could be utilized, assumed not crucial to function...
		Site Security	Subtotal	4.25	
A.3 Fencing	Site			4.50	Site is buffered by physical conditions.
A.3 Fencing	Playground(s)			4.50	
		Fencing	Subtotal	4.50	
SITE A.3 Site Improvements				Total	4.40



# Condition Assessments

## Pine Elementary School Site Summary

### ADA Building Access:

• Accessible parking spots are provided with two in the southeast parking lot, four in the northeast parking lot, and one in the northwest parking lot. The southeast and northeast parking lots are connected to the main entrance which has an automatic door operator. The northwest parking lot does not connect to any accessible public or typical staff entry.

### Priority Items:

- a. The provided accessible parking spots exceed the required number. Owner may consider eliminating the northwest accessible spot since it does not lead to an accessible building entry.
- b. Only the main entry has automatic door openers. Consideration should be given to adding automatic door operators to all secondary entrances regularly used by staff and students.

### Drives, Parking, and Sidewalks:

- The site contains multiple parking lots with associated drives and drop-off/pick-up locations. Two larger lots are located on the east side of the building and accessed via a primary drive located east of the school, both of which provide ample parking for staff and visitors. The southeast lot is intended for bus drop-off/pick-up, while the northeast lot is intended for car drop-off/pick-up. Signage is present on the site directing traffic; however, additional signage could provide clarity on the process.
- Sidewalks on the site have largely been kept to a minimum, reducing maintenance needs. Although, the walks need some minor regular maintenance.
- The maintenance and loading dock are located to the northwest of the building and are accessed by a clearly marked secondary drive north of the school.

### Priority Items:

- a. Add additional signage to increase clarity for car drop-off/pick-up and to better designate visitor parking.
- b. Drives and parking lots are in good condition, however, seal coating is recommended to maintain the integrity of the asphalt. Restriping will be needed after sealcoating.

- c. Continue regular maintenance of sidewalks to maintain accessible routes.
- d. Owner should consider whether adding gates to the drives are necessary for the site. Physical conditions surrounding the site provide natural safety barriers.

### Landscaping/Site Elements:

- The site is a good mixture of green space, mature trees, and pops of landscaped areas. The site itself is largely open with clear site lines. Dense wooded forest surrounds the site. Some trees are dispersed along the drives and parking lots, while others are located around the building in courtyards. There are also mulched beds and additional plantings around the building.
- The site appears to be well drained. At least two storm water detention areas are located on the site.

### Priority Items:

- a. Trees located in courtyards close to the building should be examined further to determine if proximity may pose future issues.

### Playground:

- Two separate playgrounds divided dependent on age level. Both playgrounds are fenced. The playground situated on the south of the site is dedicated to lower grades with direct connection to associated classrooms. The playground and basketball court situated on the north of the site is dedicated to upper grades with direct connection to associated classrooms.
- Playground equipment appears to be in good condition. The surface of the playgrounds is in good condition and provides accessibility.

### Priority Items:

- a. Playground should be cleaned to maintain appearance.

# Condition Assessments

## Pine Elementary School Safety/Security and Roofs

SUMMARY OF ALL SAFETY AND SECURITY					
Category		Subscore	Areas	Score	General Comments
B.1 Secure Building Access		4.00	1	4.00	
B.2 Surveillance/Cameras		4.50	1	4.50	

SAFETY AND SECURITY					
B.1 Secure Building Access	Type			Score	Comments/Remarks
B.1_Card/Code/FOBS				5.00	
B.1_Secure_Vestibule	Direct Admin Connection			5.00	Securing door from admin to school would allow proper function...
B.1_Secure_Technology	AI Voice/Door Release			5.00	AI voice only w/ separate camera.
B.1_Security Officer Station(s)				1.00	
SAFETY AND SECURITY B.1 Secure Building Access			Total	4.00	
B.2 Surveillance/Cameras				Score	Comments/Remarks
B.2_Video Surveillance				4.50	
B.2_Intrusion Detection					
SAFETY AND SECURITY B.2 Surveillance/Cameras			Total	4.50	

SUMMARY OF ALL ROOFS							
Category		Total Sq.Ft.	Subscore	Areas	Score		General Comments
C.1 Building Roof		84,000	3.00	1	3.00		

ROOF							
C.1 Building Roof	Type	Install Year	Square Feet	Subscore	Score	Warranty Exp.	Comments/Remarks
C.1_Membrane	EPDM	2009	38,000	3.00	1.36	2024?	Confirm no replacement has be ...
	Manufacturer/Installer						
C.1_Shingles	Asphalt	2009	46,000	3.00	1.64		Confirm no replacement has be ...
	Manufacturer/Installer						
<select or leave blank>							
	Manufacturer/Installer						
<select or leave blank>							
	Manufacturer/Installer						
ROOF C.1 Building Roof		Total Sq.Ft.	84,000	Total Score	3.00		

### Secure Visitor Access:

- The existing building has secure vestibule that connects directly to the administration area. The secure vestibule is accessed via intercom/door release system with separate camera or fob/door release system. Select additional entrances around building have fob/code entry pad systems with all entrances having key access. Once inside the administration area it appears that the door to the school is left unsecured. A video surveillance system is utilized throughout the building.

### Priority Items:

- a. Properly secure door from administration area to school.

# Condition Assessments

## Pine Elementary School Building Envelope

SUMMARY OF ENTIRE BUILDING ENVELOPE					
Category		Subscore	Areas/Regions	Score	General Comments
C.2 Exterior Building Walls		4.00	1	4.00	
C.3 Exterior Doors/Windows		4.45	1	4.45	

BUILDING ENVELOPE					
C.2 Exterior Building Walls	Type	%	Subscore	Score	Comments/Remarks
C.2_Masonry	Brick	100	4.00	4.00	Brick is in good condition. Cast stone/limestone needs cleaning...
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
BUILDING ENVELOPE C.2 Exterior Building Walls			Total	4.00	
C.3 Exterior Doors/Windows	Type	% or Qty.	Subscore	Score	Comments/Remarks
C.3_Aluminum	Window	130	4.50	3.77	
C.3_Aluminum	Storefront	25	4.50	0.73	
<select or leave blank>					
<select or leave blank>					
	Exterior Windows		Subtotal	4.50	
C.3_Swinging	Aluminum	18	4.50	3.68	
C.3_Swinging	Hollow Metal	4	4.00	0.73	
<select or leave blank>					
<select or leave blank>					
	Exterior Doors		Subtotal	4.41	
BUILDING ENVELOPE C.3 Exterior Doors/Windows			Total	4.45	

SUMMARY OF ALL ROOFS							
Category		Total Sq.Ft.	Subscore	Areas	Score		General Comments
C.1 Building Roof		84,000	3.00	1	3.00		

ROOF							
C.1 Building Roof	Type	Install Year	Square Feet	Subscore	Score	Warranty Exp.	Comments/Remarks
C.1_Membrane	EPDM	2009	38,000	3.00	1.36	2024?	Confirm no replacement has be...
	Manufacturer/Installer						
C.1_Shingles	Asphalt	2009	46,000	3.00	1.64		Confirm no replacement has be...
	Manufacturer/Installer						
<select or leave blank>							
	Manufacturer/Installer						
<select or leave blank>							
	Manufacturer/Installer						
ROOF C.1 Building Roof		Total Sq.Ft.	84,000	Total Score	3.00		

# Condition Assessments

## Pine Elementary School Building Envelope Summary

### Exterior Facades:

- Exterior of the building is masonry veneer with cast stone/ limestone features and metal flashing/coping. All materials appear to be in excellent condition.
- Aluminum windows and storefront are along the perimeter of the building and are in excellent condition.
- Exterior doors are primarily aluminum and are in excellent condition. The remainder of the doors and frames are hollow metal and are in good to excellent condition.

### Priority Items:

- a. General maintenance of masonry veneer should continue.
- b. Cast stone/limestone needs to be cleaned.
- c. Foundation and insulation are exposed in some areas due to erosion. Cause of erosion is unknown and should be investigated further in order to be properly addressed.
- d. Hollow metal doors and frames should be considered for repainting.

### Roofs:

- The existing roof is comprised of two types of roofing. Both roof types are original to the building and installed in 2009. EPDM roof membrane comprises approximately 38,000 SF and is suspected to no longer be under warranty (expired 2024). Asphalt shingles comprise approximately 46,000 SF.

### Priority Items:

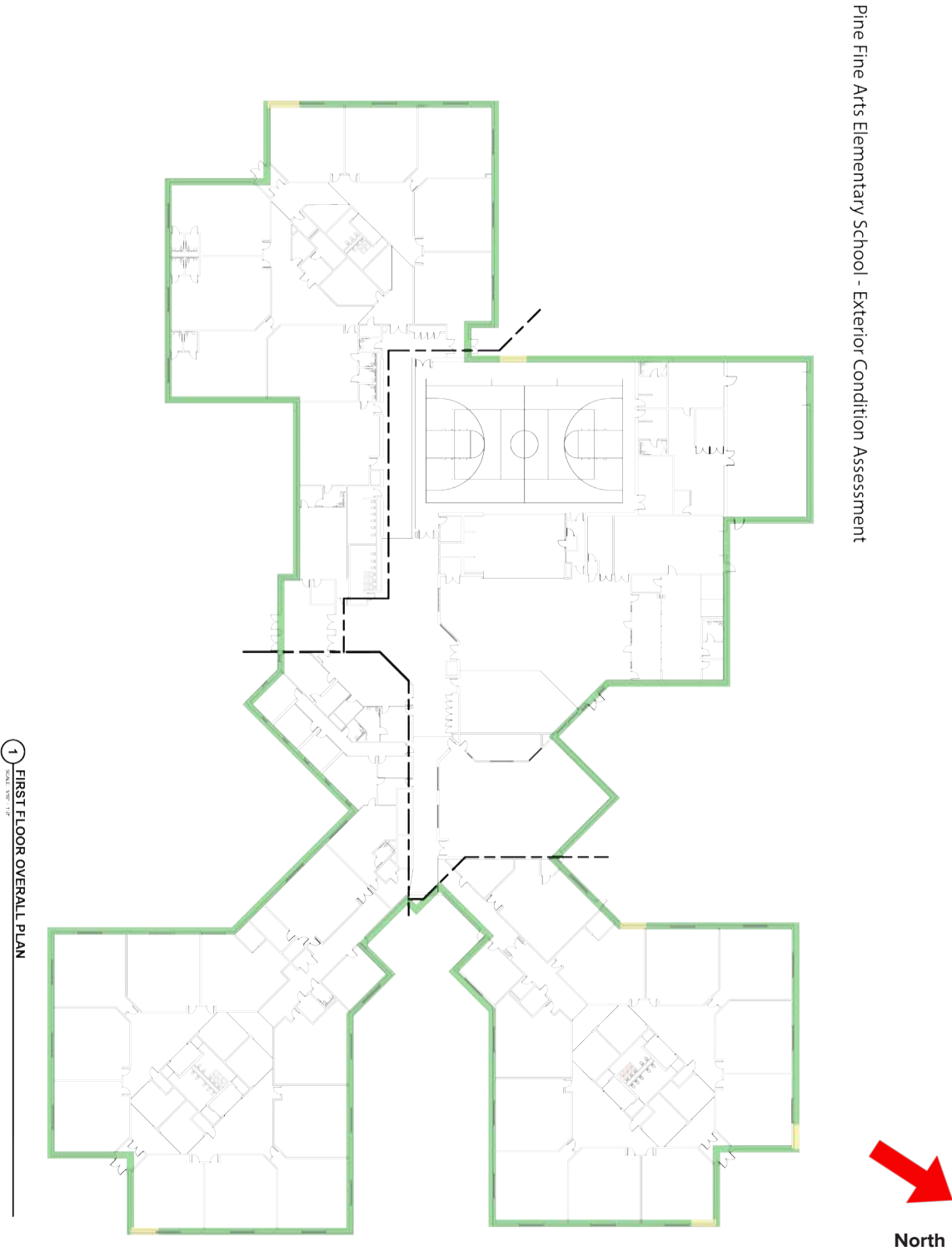
- a. Both roof systems are approaching end-of-life and should be thoroughly inspected to determine next steps. Owner should consider full roof replacement, although, materials may still last a few more years.

Condition Assessments

Pine Elementary School Exterior Floorplan

Condition Assessments

Pine Elementary School Corridors/Commons



SUMMARY OF ALL CORRIDORS/COMMONS					
Category		Subscore	Areas	Score	General Comments
D.1 ADA/Accessibility		4.81	1	4.81	
D.2 Floor Finish		4.15	1	4.15	
D.3 Wall Finish		3.95	1	3.95	
D.4 Ceiling Finish		4.45	1	4.45	
D.5 Doors/Borrowed Lites		4.50	1	4.50	
D.6 Fixed Equipment		4.38	1	4.38	

CORRIDOR/COMMONS					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware/Clearances		TRUE		5.00	
D.1_Routing/Ramps		TRUE		5.00	Two level with elevator.
D.1_Wayfinding Signage		TRUE		4.25	
D.1_Elevator/Lift		TRUE		5.00	Two level with elevator.
CORRIDOR/COMMONS D.1 ADA/Accessibility			Total	4.81	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Tile	Square	40	4.00	1.60	
D.2_Carpet	Broadloom	60	4.25	2.55	
<select or leave blank>					
<select or leave blank>					
CORRIDOR/COMMONS D.2 Floor Finish			Total	4.15	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Painted	20	3.75	0.75	Patch and repair work.
D.3_Masonry	Painted	80	4.00	3.20	
<select or leave blank>					
<select or leave blank>					
CORRIDOR/COMMONS D.3 Wall Finish			Total	3.95	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	80	4.50	3.60	
D.4_Gypsum	Painted	20	4.25	0.85	
<select or leave blank>					
<select or leave blank>					
CORRIDOR/COMMONS D.4 Ceiling Finish			Total	4.45	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Metal	Hollow	20	4.50	0.90	
D.5_Wood	Stained	80	4.50	3.60	
<select or leave blank>					
<select or leave blank>					
CORRIDOR/COMMONS D.5 Doors/Borrowed Lites			Total	4.50	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Tackboard		100	4.50	4.50	
<select or leave blank>					
<select or leave blank>					
			Visual Display Boards	Subtotal	4.50
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
			Casework/Countertops	Subtotal	
D.6_Lockers	PLAM			4.25	
CORRIDOR/COMMONS D.6 Fixed Equipment			Total	4.38	

# Condition Assessments

Pine Elementary School Art Room

SUMMARY OF ALL ART ROOMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		4.88	1	4.88	
D.2 Floor Finish		4.00	1	4.00	
D.3 Wall Finish		3.75	1	3.75	
D.4 Ceiling Finish		4.25	1	4.25	
D.5 Doors/Borrowed Lites		4.50	1	4.50	
D.6 Fixed Equipment		4.63	1	4.63	

ART ROOM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		TRUE		5.00	
D.1_Door Clearances		TRUE		5.00	
D.1_Room Signage		TRUE		5.00	
D.1_Casework Clearances/Hts.		TRUE		4.50	
ART ROOM D.1 ADA/Accessibility			Total	4.88	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Vinyl	VCT	100	4.00	4.00	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ART ROOM D.2 Floor Finish			Total	4.00	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Masonry	Painted	100	3.75	3.75	Patch and repaint at some locations throughout.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ART ROOM D.3 Wall Finish			Total	3.75	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	4.25	4.25	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ART ROOM D.4 Ceiling Finish			Total	4.25	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	4.50	4.50	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ART ROOM D.5 Doors/Borrowed Lites			Total	4.50	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Markerboard	Unlined	100	4.50	4.50	
<select or leave blank>					
<select or leave blank>					
			Visual Display Boards	Subtotal	4.50
D.6_Casework	PLAM	60	4.50	2.70	Spray booth needs work, runs very loud.
D.6_Countertops	PLAM	40	4.50	1.80	
<select or leave blank>					
<select or leave blank>					
			Casework/Countertops	Subtotal	4.50
D.6_Lockers					N/A.
D.6_Sinks/Plaster Traps				4.50	
D.6_Work Tables				4.25	
D.6_Kiln and Exhaust				5.00	
D.6_General Storage				5.00	
ART ROOM D.6 Fixed Equipment			Total	4.63	



# Condition Assessments

Pine Elementary School Administration

SUMMARY OF ALL ADMINISTRATION					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		4.88	1	4.88	
D.2 Floor Finish		3.83	1	3.83	
D.3 Wall Finish		3.75	1	3.75	
D.4 Ceiling Finish		4.25	1	4.25	
D.5 Doors/Borrowed Lites		4.50	1	4.50	
D.6 Fixed Equipment		4.42	1	4.42	

ADMINISTRATION					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		TRUE		5.00	
D.1_Door Clearances		TRUE		5.00	
D.1_Room Signage		TRUE		5.00	
D.1_Casework Clearances/Hts.		TRUE		4.50	
ADMINISTRATION D.1 ADA/Accessibility			Total	4.88	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Tile	Square	10	4.25	0.43	
D.2_Carpet	Broadloom	80	3.75	3.00	
D.2_Vinyl	VCT	10	4.00	0.40	
<select or leave blank>					
ADMINISTRATION D.2 Floor Finish			Total	3.83	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Wallcovering	100	3.75	3.75	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.3 Wall Finish			Total	3.75	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	4.25	4.25	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.4 Ceiling Finish			Total	4.25	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	4.50	4.50	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.5 Doors/Borrowed Lites			Total	4.50	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Markerboard	Unlined	100	4.75	4.75	
<select or leave blank>					
			Visual Display Boards	Subtotal	4.75
D.6_Casework	PLAM	70	4.50	3.15	
D.6_Countertops	PLAM	30	4.50	1.35	
<select or leave blank>					
<select or leave blank>					
			Casework/Countertops	Subtotal	4.50
D.6_Appliances				4.00	
ADMINISTRATION D.6 Fixed Equipment			Total	4.42	

Condition Assessments

Pine Elementary School Music Room

SUMMARY OF ALL MUSIC ROOMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		4.88	1	4.88	
D.2 Floor Finish		3.75	1	3.75	
D.3 Wall Finish		4.00	1	4.00	
D.4 Ceiling Finish		4.50	1	4.50	
D.5 Doors/Borrowed Lites		4.50	1	4.50	
D.6 Fixed Equipment		4.38	1	4.38	

MUSIC ROOM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		TRUE		5.00	
D.1_Door Clearances		TRUE		5.00	
D.1_Room Signage		TRUE		5.00	
D.1_Casework Clearances/Hts.		TRUE		4.50	
MUSIC ROOM D.1 ADA/Accessibility			Total	4.88	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Carpet	Broadloom	100	3.75	3.75	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
MUSIC ROOM D.2 Floor Finish			Total	3.75	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Masonry	Painted	100	4.00	4.00	Patch and repaint at some locations throughout.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
MUSIC ROOM D.3 Wall Finish			Total	4.00	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	4.50	4.50	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
MUSIC ROOM D.4 Ceiling Finish			Total	4.50	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	4.50	4.50	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
MUSIC ROOM D.5 Doors/Borrowed Lites			Total	4.50	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Chalkboard	Unlined	50	4.00	2.00	
D.6_Tackboard		50	4.50	2.25	
<select or leave blank>					
		Visual Display Boards	Subtotal	4.25	
D.6_Casework	PLAM	60	4.50	2.70	
D.6_Countertops	PLAM	40	4.50	1.80	
		Casework/Countertops	Subtotal	4.50	
D.6_Lockers					
D.6_Tiers/Bleachers					
D.6_General Storage					
MUSIC ROOM D.6 Fixed Equipment			Total	4.38	

Condition Assessments

Pine Elementary School Gymnasium

SUMMARY OF ALL GYMNASIUMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		4.94	1	4.94	
D.2 Floor Finish		4.50	1	4.50	
D.3 Wall Finish		4.00	1	4.00	
D.4 Ceiling Finish		4.50	1	4.50	
D.5 Doors/Borrowed Lites		4.50	1	4.50	
D.6 Fixed Equipment		4.56	1	4.56	

GYMNASIUM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		TRUE		5.00	
D.1_Door Clearances		TRUE		5.00	
D.1_Room Signage		TRUE		5.00	
D.1_General ADA (routing/seats/etc)		TRUE		4.75	
GYMNASIUM D.1 ADA/Accessibility			Total	4.94	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Athletic	Hardwood	100	4.50	4.50	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
GYMNASIUM D.2 Floor Finish			Total	4.50	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Masonry	CMU	90	4.00	3.60	
D.3_Panelized	Acoustic	10	4.00	0.40	
<select or leave blank>					
<select or leave blank>					
GYMNASIUM D.3 Wall Finish			Total	4.00	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Exposed	Painted	100	4.50	4.50	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
GYMNASIUM D.4 Ceiling Finish			Total	4.50	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	4.50	4.50	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
GYMNASIUM D.5 Doors/Borrowed Lites			Total	4.50	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Markerboard	Unlined	80	5.00		
D.6_Tackboard		20	5.00		
		Visual Display Boards	Subtotal		
D.6_Equipment	Basketball Main			4.50	Wall pads need minor repair.
D.6_Equipment	Basketball Cross Court			4.50	
D.6_Equipment	Divider Curtain/Partition				
D.6_Equipment	Bleachers			4.50	
D.6_Equipment	General Storage			4.75	
GYMNASIUM D.6 Fixed Equipment			Total	4.56	



# Condition Assessments

Pine Elementary School Cafeteria/Kitchen

SUMMARY OF ENTIRE CAFETERIA/KITCHEN					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		5.00	1	5.00	
D.2 Floor Finish		4.33	1	4.33	
D.3 Wall Finish		4.25	1	4.25	
D.4 Ceiling Finish		4.50	1	4.50	
D.5 Doors/Borrowed Lites		4.50	1	4.50	
D.6 Fixed Equipment		4.57	1	4.57	

CAFETERIA/KITCHEN					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		TRUE		5.00	
D.1_Door Clearances		TRUE		5.00	
D.1_Room Signage		TRUE		5.00	
D.1_Casework Clearances/Hts.		FALSE			N/A.
CAFETERIA/KITCHEN D.1 ADA/Accessibility			Total	5.00	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Vinyl	VCT	70	4.25	2.98	
D.2_Tile	Square	30	4.50	1.35	
<select or leave blank>					
<select or leave blank>					
CAFETERIA/KITCHEN D.2 Floor Finish			Total	4.33	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Masonry	CMU	100	4.25	4.25	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
CAFETERIA/KITCHEN D.3 Wall Finish			Total	4.25	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	4.50	4.50	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
CAFETERIA/KITCHEN D.4 Ceiling Finish			Total	4.50	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	4.50	4.50	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
CAFETERIA/KITCHEN D.5 Doors/Borrowed Lites			Total	4.50	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Tackboard		100	4.50	4.50	
<select or leave blank>					
<select or leave blank>					
		Visual Display Boards	Subtotal	4.50	
<select or leave blank>					N/A.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
		Casework/Countertops	Subtotal		
D.6_Freezers/Coolers				4.50	
D.6_Cooking Battery				4.50	Good condition. Space appears appropriate.
D.6_Serving				4.50	Good condition. Assumed adequate for capacity.
D.6_Dishwashing				4.50	
D.6_Overall Function				5.00	Layout looks appropriate. Serving is within cafeteria space.
D.6_General Storage				4.50	
CAFETERIA/KITCHEN D.6 Fixed Equipment			Total	4.57	

# Condition Assessments

Pine Elementary School Restrooms

SUMMARY OF ALL RESTROOMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		5.00	1	5.00	
D.2 Floor Finish		4.00	1	4.00	
D.3 Wall Finish		4.25	1	4.25	
D.4 Ceiling Finish		4.00	1	4.00	
D.5 Doors/Borrowed Lites		4.50	1	4.50	
D.6 Fixed Equipment		4.41	1	4.41	

RESTROOM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware/Clearances		TRUE		5.00	
D.1_Room Signage		TRUE		5.00	
D.1_Stall Widths/Clearances		TRUE		5.00	Restrooms are compliant.
D.1_General ADA Clearances		TRUE		5.00	Restrooms are compliant.
RESTROOM D.1 ADA/Accessibility			Total	5.00	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Tile	Mosaic	100	4.00	4.00	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
RESTROOM D.2 Floor Finish			Total	4.00	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Masonry	CMU	60	4.50	2.70	
D.3_Tile	Square	20	3.75	0.75	
D.3_Gypsum	Painted	20	4.00	0.80	
<select or leave blank>					
RESTROOM D.3 Wall Finish			Total	4.25	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	4.00	4.00	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
RESTROOM D.4 Ceiling Finish			Total	4.00	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	4.50	4.50	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
RESTROOM D.5 Doors/Borrowed Lites			Total	4.50	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
<select or leave blank>					N/A.
<select or leave blank>					
		Visual Display Boards	Subtotal		
D.6_Partitions	Metal/SS	75	4.00	3.00	Poor condition, many have been repainted multiple times. Corr...
D.6_Toilet_Accessories	General	10	5.00	0.50	
D.6_Toilet_Accessories	Benches	5	4.50	0.23	
D.6_Toilet_Accessories	Showers	10	5.00	0.50	
		Partitions/Accessories	Subtotal	4.23	
D.6_Countertops	PLAM			4.50	
D.6_Lockers	PLAM			4.50	
RESTROOM D.6 Fixed Equipment			Total	4.41	

## Condition Assessments

# Pine Elementary School Building Interiors Environment

**Stairs:**

- Existing building is single-story with no building stairs present.

- Existing stairs are limited to stage stairs or stairs/ships ladder to access mechanical equipment. See other sections for any needs noted.

**Priority Items:**

- a. None currently.

**Corridors:**

- Corridors vary in width throughout the building and range approximately 9'-6" to 12'-6" wide with recessed doorways exiting rooms. Double egress doors span across corridors at locations of existing 2-hour separation walls at three locations. Floor, wall, and ceiling finishes are mostly original to the 2009 construction. These have been well maintained and only light renovation needs exist.

- Wayfinding signage throughout the building is ADA compliant and well placed throughout the building. Rooms have ADA compliant signage, also.

- Interior doors throughout the building are typically stained wood door in excellent condition. Remaining doors and frames are hollow metal and are in excellent condition as well. Door hardware throughout is ADA compliant.

**Priority Items:**

- a. Corridor flooring consists of carpet tile, broadloom carpet, and ceramic tile. Flooring finishes are in good condition overall. Some grout is stained, but not an issue with the integrity of the product. A thorough cleaning is recommended. Broadloom carpet needs to be replaced as seams are ripping and wear and tear is visible.

- b. Corridor wall finishes are painted CMU, sandblasted CMU, and painted gypsum typically at bulkheads. Most wall finishes are in excellent condition. Gypsum board needs some patching/repair and repainting.

- c. Corridor ceiling finishes consist of suspended acoustic ceiling system and painted gypsum board. Some ceiling tiles have begun to sag, and others have staining. Replacement of select tiles is necessary. Painted gypsum board ceilings need minor paint touchups.

- d. Some hollow metal frames need paint touchups.

**Classrooms:**

- Classrooms are approximately 950 – 1,000 SF throughout the building with casework storage along one wall and visual display boards on another wall. Coat hooks and backpack storage is in the commons area of each classroom wing. Floor, wall, and ceiling finishes are original to the building's construction. Overall, these have been well maintained, however, some finishes need renovation. Typical finishes are a combination of carpet and VCT flooring, carpet tile, painted CMU, and a suspended acoustic ceiling system. Purpose-built casework is in great condition. However, this casework is underutilized in some classrooms. Refer to Restrooms section for additional notes.

**Priority Items:**

- a. Existing classroom flooring finish conditions vary by material. VCT flooring has held up well and still has years of service life left. Broadloom carpet needs replacement in most classrooms. The carpets have stains, rips, and general wear. Carpet tiles have held up well, however, replacement should be considered.

- b. Clean painted CMU walls.

- c. Existing ceiling tiles should be replaced as needed. Some ceiling tiles are sagging, while others have stains.

**Restrooms:**

- Single-hole and group restrooms throughout the building are ADA compliant and are in good physical condition. There are four pairs of group restrooms, five pairs of single-hole classroom connected restrooms, seven single-hole restrooms, and one pair of single-hole locker room restrooms.

**Priority Items:**

- a. Floor tiles and wall tiles have some staining and grout is discolored. Only minor maintenance items are required, including thorough cleaning. Tiles are showing age but should last many more years if properly maintained.

- b. Painted gypsum board walls need minor patching. Painted gypsum and painted CMU should be repainted.

- c. Painted gypsum board ceilings should be repainted. Suspended acoustic ceiling systems are in great condition. Ceiling tiles should be properly seated. Any sagging or stained ceiling tiles need to be replaced.

### Ancillary Spaces:

- Existing art room is approximately 1,115 SF with combined storage room and kiln adding an additional 44 SF. Storage casework surrounds most of the perimeter of the room with four sink locations, a spray booth, and dedicated teaching wall. Floor, wall, and ceiling finishes are in good condition. These finishes have particularly been well maintained in the art room. Finishes include VCT flooring, painted gypsum board, painted CMU, and suspended acoustic ceiling system.

- Existing gymnasium is approximately 6,175 SF with locker rooms and storage spaces occupying another approximately 965 SF and a stage of approximately 950 SF. Floor, wall, and ceiling finishes are in good condition overall and have been well maintained. Bleachers and lockers are in excellent condition, only showing minor wear. Refer to Restrooms section for additional notes regarding locker room floor, wall, and ceiling finishes.

- Existing cafeteria is approximately 3,450 SF with associated kitchen functions occupying another approximately 2,030 SF. Cafeteria also has access to the stage. A movable partition wall separates the cafeteria from the large group instruction room adds an additional 1,170 SF. There is a dedicated serving line that can be separated from the dining area. The cafeteria also doubles as an auditorium with retractable seating equipped with folding seatbacks. The combination of spaces appears appropriately sized for its use. Floor, wall, and ceiling finishes are all in good condition and have been well maintained.

- Existing media center and associated storage/workroom are approximately 3,050 SF. Broadloom carpet flooring has frayed edges and tears. Storage room suspended acoustical tile ceiling has minor sagging and some stains. Overall, media center is in good condition and appears appropriately sized.

- Existing administration area is approximately 3,800 SF. A family resource room adds approximately 850 SF. The carpet flooring throughout has signs of wear and some staining, though not significant. Wall and ceiling finishes are aged but in decent condition overall. Some areas of wall covering are peeling. Suspended acoustical tile ceiling has minor sagging in some areas. Refer to Restrooms section for additional notes.

The administration appears functional and offers secure entry to the school, refer to Secure Visitor Access section for additional notes.

**Priority Items:**

- a. Art room renovations are minor in scope. Casework and countertops are in good condition. Spray booth runs very loud and should be inspected and repaired. VCT flooring can last several more years but age and wear is evident. Wall finishes need to be patched/repared and repainted. Some ceiling tiles need to be replaced due to minor damage or sagging. Owner should consider adding additional storage casework, particularly along the exterior wall.

- b. Gymnasium and associated locker room, storage, and stage renovation needs are very minimal. Wall padding around the space need some touchups. Wood floor is in good condition. Consideration should be given to refinishing the floor to maintain integrity of the material if not already done so during its lifespan. Painted CMU walls should be cleaned, and paint should be touched up. Painted exposed ceiling and systems need to be cleaned and repainted. Stage finishes have been maintained well.

- c. Cafeteria and kitchen finishes and equipment are all in good condition and only need minor touchups/maintenance. The VCT flooring has held up very well for its age and appears to have many years of life still left.

- d. Media center and workroom carpet needs to be replaced. Suspended acoustical tile ceiling in the workroom should have stained ceiling tiles replaced. Consideration should be given to replacing all ceiling tiles in the workroom due to sagging, though minor. Exposed ceiling and systems within media center should be cleaned. Owner should consider adding additional media center storage.

- e. Administration area renovation needs include repair/replace wallcovering and replacement of sagging ceiling tiles. Owner may also consider replacing carpet due to age and some wear. Although carpet may still withstand a few more years of use.

# Condition Assessments

Pine Elementary School Mechanical System

SUMMARY OF ENTIRE MECHANICAL SYSTEM					
Category		Subscore	Areas	Score	General Comments
E.2 Building HVAC System		3.08	1	3.08	
E.3 Building Temperature Controls		2.00	1	2.00	

MECHANICAL SYSTEM					
E.2 Building HVAC System	Type			Score	Comments/Remarks
E.2_Central Heating System	Boilers			2.00	Boiler issues have been present. Unless they have been replaced...
E.2_Central Heating System	Heating Pumps			3.00	Motors have been replaced.
E.2_Central Heating System	Air Handling Units			3.50	Look to be in good condition. Few dried up rust puddles near A...
	Central Heating System	Subtotal		2.83	
E.2_Cooling System	Chiller			2.00	According to owner these units are tripping out occasionally. A...
E.2_Cooling System	Cooling Tower				
E.2_Cooling System	Chilled Water Pumps			3.00	Motors have been replaced.
E.2_Cooling System	Condensing Units				
	Cooling System	Subtotal		2.50	
E.2_Equipment	Cabinet/Supplemental Heaters				
E.2_Equipment	Fan Coil Units				
E.2_Equipment	Fans				
E.2_Equipment	PTAC Units				
E.2_Equipment	Unit Ventilators				
E.2_Equipment	Variable Air Volume Terminals			3.00	Controls.
	Equipment	Subtotal		3.00	
E.2_General	Ductwork			4.00	
E.2_General	Louvers/Exhaust Vents				
E.2_General	Piping			4.00	
	General	Subtotal		4.00	
MECHANICAL SYSTEM E.2 Building HVAC System			Total	3.08	
E.3 Building Temperature Controls	Type			Score	Comments/Remarks
E.3_Temperature Controls				2.00	TAC schneider electric controls. Original to 2008.
MECHANICAL SYSTEM E.3 Building Temperature Controls			Total	2.00	

# Condition Assessments

Pine Elementary School Plumbing System

SUMMARY OF ENTIRE PLUMBING SYSTEM					
Category		Subscore	Areas	Score	General Comments
E.1 Building Plumbing System		3.52	1	3.52	

PLUMBING SYSTEM					
E.1 Building Plumbing System	Type			Score	Comments/Remarks
E.1_Plumbing Fixtures	Water Closets			3.50	
E.1_Plumbing Fixtures	Lavatories			3.50	
E.1_Plumbing Fixtures	Drinking Fountains			3.50	
E.1_Plumbing Fixtures	Showers			4.00	
E.1_Plumbing Fixtures	Dishwashing				
	Plumbing Fixtures	Subtotal		3.63	
E.1_Central Equipment	Hot Water Heating			2.00	Units not assessed. Unless they have been replaced, they are a...
E.1_Central Equipment	Water Softener			1.00	None.
E.1_Central Equipment	Pumps				
	Central Equipment	Subtotal		1.50	
E.1_Water_Service	City			4.00	
E.1_Water Service	Domestic Piping			4.00	
	Water Service	Subtotal		4.00	
E.1_Sewage_System	City			4.00	
E.1_Sewage System	Piping			4.00	
	Sewage System	Subtotal		4.00	
E.1_Gas Service				4.00	
E.1_Fire Suppression				4.00	
PLUMBING SYSTEM E.1 Building Plumbing System			Total	3.52	

# Condition Assessments

Pine Elementary School Electrical System

SUMMARY OF ENTIRE ELECTRICAL SYSTEM					
Category		Subscore	Areas	Score	General Comments
E.4 Building Electrical System		4.25	1	4.25	
E.5 Building Lighting		4.64	1	4.64	

ELECTRICAL SYSTEM					
E.4 Building Electrical System	Type			Score	Comments/Remarks
E.4_Incoming Service	Size			4.00	
E.4_Incoming Service	Condition			4.00	
E.4_Incoming Service	Generator			4.00	Solar field adjacent to building
	Incoming Service	Subtotal		4.00	
E.4_Distribution				5.00	Square D panels - original to building
E.4_Smoke Detection				4.00	
E.4_Fire Alarm System	Annunciator Panel			4.00	One trouble on system
E.4_Fire Alarm System	Fire Alarm Devices			4.00	Good strobe coverage, sprinkled building
	Fire Alarm System	Subtotal		4.00	
ELECTRICAL SYSTEM E.4 Building Electrical System			Total	4.25	
E.5 Building Lighting	Type			Score	Comments/Remarks
E.5_Interior Lighting	Administration			4.00	Lay-in acrylic lensed troffer
E.5_Interior Lighting	Corridors/Common			4.00	Lay-in acrylic lensed troffer
E.5_Interior Lighting	Classrooms/Science			4.00	Lay-in lensed troffer
E.5_Interior Lighting	Art/Music/Auditorium			4.00	Lay-in acrylic lensed troffer
E.5_Interior Lighting	Gymnasium/Natatorium			5.00	Linear suspended
E.5_Interior Lighting	Cafeteria/Kitchen			4.00	Suspended indirect / truss system
E.5_Interior Lighting	Restrooms			5.00	Lay-in acrylic lensed troffer
	Interior Lighting	Subtotal		4.29	
E.5_Exterior Lighting	Building Entries			5.00	LED heads
E.5_Exterior Lighting	Parking Lots/Drives			5.00	LED heads
E.5_Exterior Lighting	Athletic/Play Fields				NA
	Exterior Lighting	Subtotal		5.00	
ELECTRICAL SYSTEM E.4 Building Electrical System E.5 Building Lighti			Total	4.64	

# Condition Assessments

Pine Elementary School Technology

SUMMARY OF ALL TECHNOLOGY					
Category		Subscore	Areas	Score	General Comments
E.6 Building Technology		4.06	1	4.06	

TECHNOLOGY					
E.6 Building Technology	Type			Score	Comments/Remarks
E.6_Data Distribution	Incoming			5.00	Single mode from district administration building
E.6_Data Distribution	Cable Type				
E.6_Data Distribution	Fiber			5.00	Assuming MM fiber between closets
E.6_Data Distribution	Wireless			4.00	Ruckus AP
	Data Distribution	Subtotal		4.67	
E.6_Classroom Technology	Teacher				
E.6_Classroom Technology	Monitors			4.00	LG monitors
E.6_Classroom Technology	Smartboards			5.00	Promethean carts in lower grades
E.6_Classroom Technology	Projection				
	Data Distribution	Subtotal		4.50	
E.6_Communications	Intercom/PA			2.00	Dukane - obsolete
E.6_Sound Systems	Gymnasium/Natatorium				
E.6_Sound Systems	S.R.			4.00	District standard vertical soundbar
	Sound Systems	Subtotal		3.00	
TECHNOLOGY E.6 Building Technology			Total	4.06	

# Condition Assessments

## Pine Elementary School Electrical System

**Mechanical:**

**Heating plant**

- Building comfort heating is provided by three gas-fired boilers which appear and were reported to be in relatively fair to poor operating condition.
  - o Heat exchangers have been replaced on two units.
- Building heating hot water circulation is provided by two variable primary end-suction pumps.

**Cooling plant:**

- Building comfort cooling is provided by two air cooled chillers with remote evaporator barrels. Both the chillers are reported to be in poor condition.
- Building chilled water circulation is provided by two variable primary end-suction pumps.

**Air-Handler Plants and Systems:**

- Multiple constant and variable air volume (VAV) air-handlers exist at numerous building locations (11), inside of the building envelope. All air-handlers and associated air-distribution, and comfort control systems are original to the building construction; except for replaced failed components. All air-handlers appeared in fair condition.

**Building Temperature Control System:**

- The building’s temperature control system utilizes schneider electric devices and operates on Niagara framework. Controls are original to the building.

**Priority Items:**

- a. The three existing boilers will be removed and replaced.
- a. For budget consideration, include 3 x 2000 MBH condensing boilers.

- b. The existing air-cooled chillers shall be removed and replaced.
- a. For budget consideration, include 2 x 100-ton air-cooled chillers with remote barrels.
- c. The existing temperature control system, include all hydronic valves throughout the building should be removed and replaced.
- d. The existing air handling units are in fair condition. These units probably have another ten years of useful life.
- a. All associated air terminal units shall remain.

**Plumbing:**

- The domestic system is served by a water heater original to the 2008 construction. There is no water softener.
- The existing domestic, sanitary and vent piping throughout the building look to be in good to fair condition and were reported to be in relatively good to fair operating condition.
- The existing restrooms throughout the building look to be in fair to good physical condition.

**Priority Items:**

- a. The water heater should be removed and replace with a new boiler. A water softener should be added.

**Fire protection:**

- A fire sprinkler system was present in the existing building. It looks to be in decent condition.

**Priority Items:**

- a. None currently.

**Electrical:**

**Electrical Distribution system**

- The switchboard appears to be in good condition. A solar field northwest of the building was added to offset utility demands.

**Fire Alarm**

- The existing fire alarm panel is in good condition. Devices such as horns and strobes are in compliance with current code due to age of installation.

**Lighting**

- Lighting in common spaces includes lay-in lensed fluorescent fixtures. Classrooms consist of lay-in lensed fluorescent fixtures.

**Technology:**

**Data cabling and distribution**

- Building has single mode fiber from administration data center. Most cabling is Category 5. Building has Ruckus wireless access points, one for every two classrooms per district IT standard.

**Teaching technology equipment**

- Classrooms include both Promethean interactive touchscreen monitors for the lower grades as well as 65” Samsung monitors for the upper grade levels. Existing equipment is in good condition.

**Paging / intercom equipment**

- Existing paging / intercom system is a Dukane paging system that is obsolete and should be replaced. Dukane parts are no longer readily available. It is possible that the existing speakers and wiring may be reused depending on existing condition review with Owner.

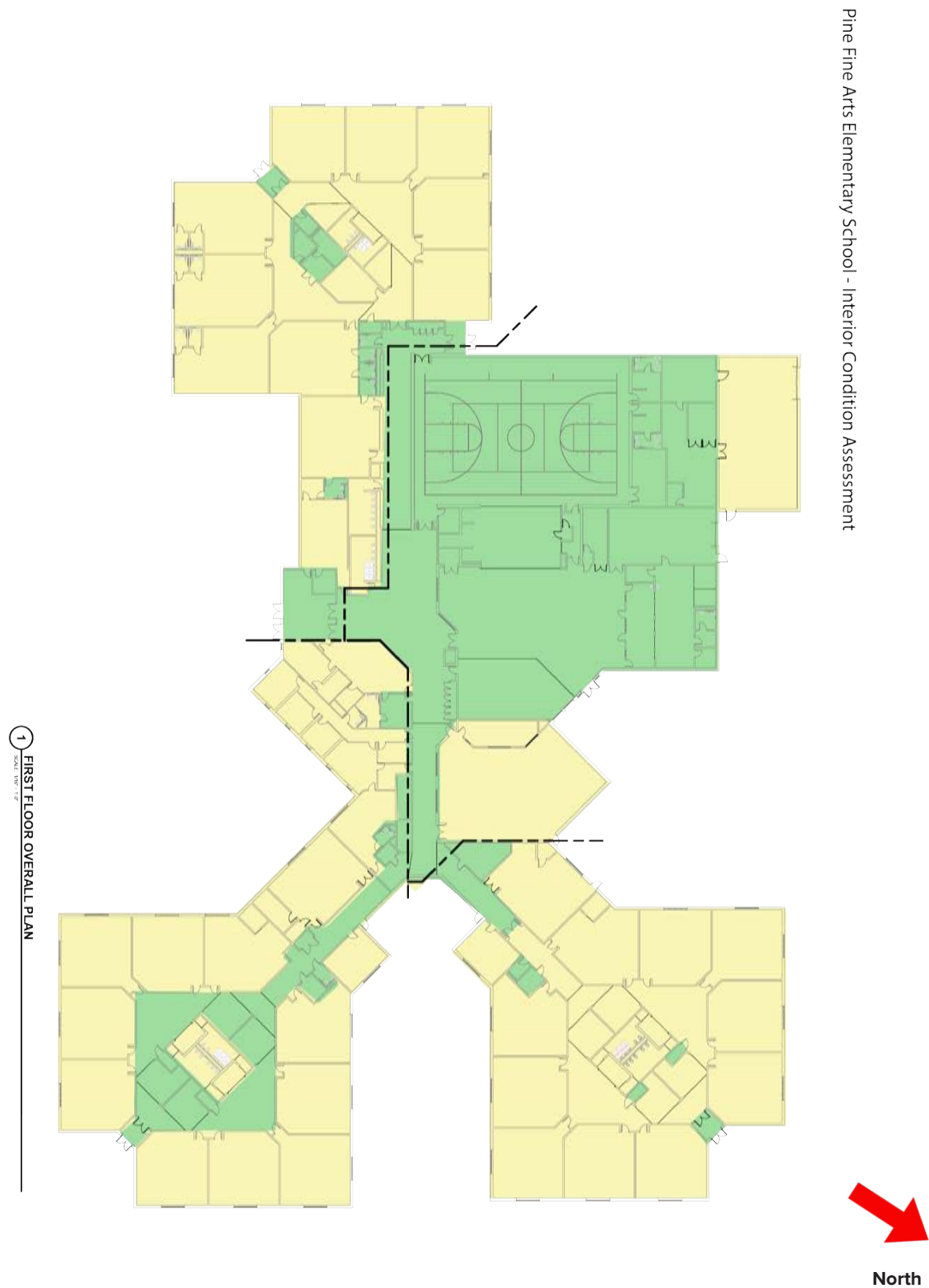
**Priority Items:**

- c. Replace paging / intercom head-end equipment.



# Condition Assessments

Pine Elementary School Interior Floorplan



# Condition Assessments

Springfield Elementary School

Condition Assessments

Springfield Elementary School Summary

Michigan City Area Schools	
Building:	Springfield Elementary School
Building Area:	72,656
Site Acreage:	25.79
Enrollment Capacity:	
Current Enrollment:	345
Construction	Construction Type
1993	Original Construction
See Bldg. Area Plan	Additions and Renovations

Condition Assessment Legend	
Building Scoring Matrix	Category Scoring Matrix
100: Excellent	5: No Work Needed
99 - 80: Good	4: Minor Work Needed
79 - 60: Average	3: Moderate Work Needed
59 - 40: Fair	2: Major Work Needed
Below 40: Poor	1: None/Replacement Needed

Condition Assessment	Score
<b>A SITE CIRCULATION AND AMENITIES</b>	
A.1 Separation/Drop-off/Stacking	4.19
A.2 Drives/Lots and Walks	3.25
A.3 Site Improvements	3.30
<b>B SAFETY AND SECURITY</b>	
B.1 Secure Building Access	2.00
B.2 Surveillance/Cameras	4.00
<b>C BUILDING ENVELOPE</b>	
C.1 Building Roof	5.00
C.2 Exterior Building Walls	3.00
C.3 Exterior Doors/Windows	3.90
<b>D BUILDING INTERIOR ENVIRONMENT</b>	
D.1 ADA/Accessibility	4.28
D.2 Floors	3.31
D.3 Walls	3.23
D.4 Ceilings	3.47
D.5 Doors/Borrowed Lites	4.00
D.6 Fixed Equipment	2.90
<b>E BUILDING SYSTEMS</b>	
E.1 Building Plumbing System	2.68
E.2 Building HVAC System	2.92
E.3 Building Temperature Controls	2.00
E.4 Building Electrical System	4.25
E.5 Building Lighting	2.75
E.6 Building Technology	3.94
CONDITION ASSESSMENT AVERAGE SCORE	3.42
CONDITION ASSESSMENT GRADE	68.36

Condition Assessments

Springfield Elementary School Expanded Summary

Michigan City Area Schools	
Building:	Springfield Elementary School
Building Area:	72,656
Site Acreage:	25.79
Enrollment Capacity:	
Current Enrollment:	345
Construction	Construction Type
1993	Original Construction
See Bldg. Area Plan	Additions and Renovations

Condition Assessment Legend	
Building Scoring Matrix	Category Scoring Matrix
100: Excellent	5: No Work Needed
99 - 80: Good	4: Minor Work Needed
79 - 60: Average	3: Moderate Work Needed
59 - 40: Fair	2: Major Work Needed
Below 40: Poor	1: None/Replacement Needed

Condition Assessment	Score
<b>A SITE CIRCULATION AND AMENITIES</b>	
A.1 Separation/Drop-off/Stacking	4.19
A.2 Drives/Lots and Walks	3.25
A.3 Site Improvements	3.30
<b>B SAFETY AND SECURITY</b>	
B.1 Secure Building Access	2.00
B.2 Surveillance/Cameras	4.00
<b>C BUILDING ENVELOPE</b>	
C.1 Building Roof	5.00
C.2 Exterior Building Walls	3.00
C.3 Exterior Doors/Windows	3.90
<b>D BUILDING INTERIOR ENVIRONMENT</b>	
D.1 ADA/Accessibility	4.28
Administration	4.13
Corridors/Common	4.00
Classrooms/Science	4.00
Art/Music/Auditorium	4.16
Gymnasium/Natorium	4.44
Cafeteria/Kitchen	4.58
Restrooms/Locker Rooms	4.63
D.2 Floors	3.31
Administration	3.25
Corridors/Common	3.10
Classrooms/Science	3.08
Art/Music/Auditorium	3.25
Gymnasium/Natorium	3.25
Cafeteria/Kitchen	4.00
Restrooms/Locker Rooms	3.25
D.3 Walls	3.23
Administration	3.13
Corridors/Common	3.15
Classrooms/Science	3.06
Art/Music/Auditorium	3.03
Gymnasium/Natorium	3.00
Cafeteria/Kitchen	4.00
Restrooms/Locker Rooms	3.25
D.4 Ceilings	3.47
Administration	3.50
Corridors/Common	3.53
Classrooms/Science	3.50
Art/Music/Auditorium	3.25
Gymnasium/Natorium	4.00
Cafeteria/Kitchen	3.00
Restrooms/Locker Rooms	3.50
D.5 Doors/Borrowed Lites	4.00
Administration	4.00
Corridors/Common	4.00
Classrooms/Science	4.00
Art/Music/Auditorium	4.00
Gymnasium/Natorium	4.00
Cafeteria/Kitchen	4.00
Restrooms/Locker Rooms	4.00
D.6 Fixed Equipment	2.90
Administration	2.75
Corridors/Common	2.50
Classrooms/Science	3.41
Art/Music/Auditorium	3.16
Gymnasium/Natorium	2.63
Cafeteria/Kitchen	3.64
Restrooms/Locker Rooms	2.23
<b>E BUILDING SYSTEMS</b>	
E.1 Building Plumbing System	2.68
E.2 Building HVAC System	2.92
E.3 Building Temperature Controls	2.00
E.4 Building Electrical System	4.25
E.5 Building Lighting	2.75
E.6 Building Technology	3.94
CONDITION ASSESSMENT AVERAGE SCORE	3.42
CONDITION ASSESSMENT GRADE	68.36



# Condition Assessments

## Springfield Elementary School Site

SUMMARY OF ENTIRE SITE					
Category		Subscore	Regions	Score	General Comments
A.1 Separation/Drop-off/Stacking		4.19	1	4.19	
A.2 Drives/Lots and Walks		3.25	1	3.25	
A.3 Site Improvements		3.30	1	3.30	

SITE					
A.1 Separation/Drop-off/Stacking					
A.1 Identifiable Main Entry				Score	Comments/Remarks
A.1 Identifiable Main Entry				4.00	Entrance is identifiable. Good street signage.
A.1 ADA Accessibility				Score	Comments/Remarks
A.1 ADA Accessibility	Route	TRUE		4.00	Curb cut needs repair.
A.1 ADA Accessibility	Door	TRUE		4.00	Door hardware replacement would be an improvement.
A.1 Parking Space Allocation				Score	Comments/Remarks
A.1 Parking Space Allocation	Visitor		37.00	5.00	No visitor parking requirement.
A.1 Parking Space Allocation	Staff		44.00	5.00	38 employees. Requirement is 1 space for each employee.
A.1 Parking Space Allocation	Accessible	TRUE	4.00	4.00	4 for visitor and 0 for staff. Requirement is 1 per 25 or 2% whe
A.1 Site Circulation				Score	Comments/Remarks
A.1 Emergency/Fire Service Access				3.00	School is surrounded by public ways. N, E, and S are most usab
A.1 Bus/Vehicular	Separation			5.00	
A.1 Bus/Vehicular	Signage			4.00	Signage could be added for car drop-off/pick-up, assumed to b
A.1 Bus Drop-off/Pick-up	Route Clarity/Safety			5.00	
A.1 Bus Drop-off/Pick-up	Adequate Stacking			5.00	
A.1 Car Drop-off/Pick-up	Pedestrian Safety			4.00	
A.1 Car Drop-off/Pick-up	Adequate Stacking			4.00	
A.1 Car Drop-off/Pick-up	Traffic Pattern			4.00	Assumed to be through visitor lot. Minor inconvenience.
A.1 Delivery Routing	Separation			3.00	Accessed through staff lot and bus lot.
A.1 Delivery Routing	Loading Dock			4.00	No true loading dock, assumed not needed.
SITE A.1 Separation/Drop-off/Stacking				Total	4.19
A.2 Drives/Lots and Walks				Subscore	Score
A.2 Drives/Lots and Walks	Concrete	100	4.00	4.00	Sidewalks are generally in good condition. Some minor replace
A.2 Sidewalks					
A.2 Sidewalks					
		Sidewalks	Subtotal	4.00	
A.2 Drives	Asphalt	100	3.00	3.00	Drive areas need seal coating/resurfacing.
A.2 Drives					
A.2 Drives					
		Drives	Subtotal	3.00	
A.2 Parking Lots	Asphalt	100	3.00	3.00	Parking areas need seal coating/resurfacing. Some repair.
A.2 Parking Lots					
A.2 Parking Lots					
		Parking Lots	Subtotal	3.00	
A.2 Drives/Parking Lots	Traffic Markings/Striping			3.00	Main lot drive could use additional markings. Striping is appear
SITE A.2 Drives/Lots and Walks				Total	3.25
A.3 Site Improvements				Score	Comments/Remarks
A.3 Playground(s)	Accessibility			1.00	Not accessible.
A.3 Playground(s)	Equipment			3.50	Most equipment appears newer. Some older equipment.
A.3 Playground(s)	Surface			2.00	Mulch appears to be being replaced. Basketball court surface i
A.3 Playground(s)	Size			3.50	Allotted size is smaller compared to other ES. Assumed to be a
		Playground(s)	Subtotal	2.50	
A.3 Landscaping	Trees			3.50	Speratic placement of trees. Some maintainance needed.
A.3 Landscaping	Landscaping			3.00	Landscaping is very minimal. Pea gravel mow strip around perit
		Landscaping	Subtotal	3.25	
A.3 Site Drainage	Flood Points			3.50	Assumed adequate from drainage locations. Field to S may hol
A.3 Athletic Fields	Support Buildings				N/A
A.3 Athletic Fields	Bleachers/Stadium Seating				N/A
A.3 Athletic Fields	Athletic/Stadium Lighting				N/A
A.3 Athletic Fields	Athletic/Stadium Paving				N/A
A.3 Athletic Fields	Fencing/Gates				N/A
A.3 Athletic Fields	Field Conditions				Baseball/softball fields present which is a benefit to the local c
A.3 Athletic Fields	Scoreboards				N/A
		Athletic Fields	Subtotal		
A.3 Site Security	Site Lines			3.00	Passive surveillance is good. Site separates soccer/play field w
A.3 Site Security	Gated/Not Gated			4.00	Gates are well positioned.
		Site Security	Subtotal	3.50	
A.3 Fencing	Site			3.50	Much of the site is fenced. Moderate repair needed.
A.3 Fencing	Playground(s)			4.00	
		Fencing	Subtotal	3.75	
SITE A.3 Site Improvements				Total	3.30

# Condition Assessments

## Springfield Elementary School Site Summary

### ADA Building Access:

• Accessible parking spots are provided with four located in the north visitor parking lot and none located in the east staff parking lot. It is assumed that accessible spots in the visitor lot may be utilized by staff if necessary. Both parking lots lead to the main entrance which has an automatic door operator. Multiple curb ramps exist along the walks by each parking lot.

### Priority Items:

a. The accessible parking spots provided are minimal in quantity. Consideration should be given to adding up to two accessible parking spots with an access aisle between in the east staff parking lot.

b. Owner should consider adding detectable warning strips at curb ramps.

c. Door hardware should be considered for replacement due to age and wear that has future potential to interfere with accessibility.

### Drives, Parking, and Sidewalks:

• The site contains multiple parking lots with associated drives and drop-off/pick-up locations. One small parking lot with associated drop-off/pick-up location is located to the north of the building and is for parent drop-off/pick-up. The parking lot to the east of the building is for staff parking and bus drop-off/pick-up. All parking lots are connected by a system of sidewalks that are well organized throughout the site.

• The maintenance and deliveries are located to the south of the building and are accessed through the staff parking and bus drop-off/pick-up lot.

### Priority Items:

a. Both parking lots and all drives need to be resurfaced due to extensive cracking and potholes.

b. Maintenance and deliveries access would benefit from being separated from the staff parking and bus drop-off/pick-up lot. Alternative options should be explored.

c. Dumpsters are currently located on the south side the building sitting on an unused segment of sidewalk. Alternative dumpster locations and/or dumpster enclosure should be

explored.

d. Sidewalks throughout need some minor replacement or repair. Curb areas have considerable damage. Raised slabs should be ground down or replaced.

e. Gates at drives would increase safety and security throughout the site.

### Landscaping/Site Elements:

• The site is a mixture of green space and trees. Landscaped areas are minimal. Most green space is located west and south of the building. Much of the green space is dedicated to fenced athletic fields. It is not clear who has the responsibility to maintain these athletic fields as they are open to the community. Trees are primarily located to the south with a few others sporadically placed around the site. There is a pea gravel mow strip surrounding the building. Fencing surrounds most of the site.

• The site appears to be well drained overall. Although, there is evidence indicating that some standing water does occur in the south field on occasion.

### Priority Items:

a. Trees around the site need to be maintained, trimmed, and dead branches removed. Consider adding landscaped areas, particularly around the main entry. Pea gravel mow strip should be releveled, weeded, and edges trimmed.

b. Athletic fields need to be repaired.

c. Fencing around the site needs moderate maintenance and repair. Consider adding additional fencing and gates to fully enclose the play areas. Existing gates are well positioned.

d. Area of potential standing water should be investigated further for accurate recommendations.

### Playground:

• There are several play structures located in a partially fenced area immediately north of the building. Many of the play structures appear newer, while others are showing age. None of the play structures offer accessible options. During the time

# Condition Assessments

## Springfield Elementary School Safety and Security

of the site visit, it appeared that playground mulch was in the process of being replaced. Some of the play equipment is located on rubber play surface. In addition to the play structures, an asphalt basketball and games court is also present. The allotted size of the play area is smaller compared to other elementary schools, but the existing size is assumed to be adequate for the school capacity. See the section on landscaping/site elements for comments on fencing.

**Priority Items:**

- a. Newer playground equipment needs power washing and general maintenance. Older equipment should be considered for replacement. Accessible playground equipment should be added.
- b. Basketball court and games surface needs to be fully replaced. Some of this asphalt surface could be reallocated for accessible play structure options.

SUMMARY OF ALL SAFETY AND SECURITY					
Category		Subscore	Areas	Score	General Comments
B.1 Secure Building Access		2.00	1	2.00	
B.2 Surveillance/Cameras		4.00	1	4.00	

SAFETY AND SECURITY					
B.1 Secure Building Access	Type			Score	Comments/Remarks
B.1_Card/Code/FOBS				4.00	
B.1_Secure_Vestibule	No Admin Connection			1.00	Exists but separated.
B.1_Secure_Technology	Intercom/Door Release			2.00	Not AI - uses Pokeme Headset.
B.1_Security Officer Station(s)				1.00	
SAFETY AND SECURITY B.1 Secure Building Access			Total	2.00	
B.2 Surveillance/Cameras				Score	Comments/Remarks
B.2_Video Surveillance				4.00	
B.2_Intrusion Detection				4.00	At main entry - halls.
SAFETY AND SECURITY B.2 Surveillance/Cameras			Total	4.00	

**Secure Visitor Access:**

- The existing building has secure vestibule remotely located from the administration area. The secure vestibule is accessed via intercom/door release system or fob/code entry door release system with surveillance camera mounted separately nearby. Select additional entrances around building have fob/code entry pad systems with all entrances having key access. Once inside the school, no secure area to restrict access is present.
- No security glazing or security film is understood to be present. Security glazing techniques range greatly, all with the goal of increasing time to seek safety and allow proper response.
- Intrusion detection is present at the main entry and in the corridors.

**Priority Items:**

- a. Secure Entrance Improvement project recommended. The scope of work would be determined based on budget and Owner direction but could include a relocation of necessary administrative functions to location adjacent and northwest of existing main entrance.
- b. Security glazing/security film at existing or new main entrance is recommended. Inclusion at all building entrances and windows would increase security.
- c. Upgrade to intercom/door release system to include video is recommended.
- d. Expansion of the fob/door release system with surveillance monitoring at all necessary entrances is recommended.



# Condition Assessments

## Springfield Elementary School Building Envelope and Roof

SUMMARY OF ENTIRE BUILDING ENVELOPE					
Category		Subscore	Areas/Regions	Score	General Comments
C.2 Exterior Building Walls		3.00	1	3.00	
C.3 Exterior Doors/Windows		3.90	1	3.90	

BUILDING ENVELOPE					
C.2 Exterior Building Walls	Type	%	Subscore	Score	Comments/Remarks
C.2_Masonry	Brick	65	3.00	1.95	Brick is generally in decent condition, significant cleaning and n...
C.2_Finish_System	Exterior Insulation (EIFS)	35	3.00	1.05	EIFS in decent condition, many areas in need of clean and paint...
<select or leave blank>					Mtl Flashing and Fascia in good condition.
<select or leave blank>					
BUILDING ENVELOPE C.2 Exterior Building Walls			Total	3.00	
C.3 Exterior Doors/Windows	Type	% or Qty.	Subscore	Score	Comments/Remarks
C.3_Aluminum	Window	146	4.00	3.44	Aluminum with thermal windows in good condition.
C.3_Aluminum	Storefront	24	4.00	0.56	Thermal.
<select or leave blank>					
<select or leave blank>					
			Exterior Windows	Subtotal	4.00
C.3_Swinging	Aluminum	12	4.00	3.20	With thermal sidelites/glazing. Some hardware issues and wea...
C.3_Swinging	Hollow Metal	3	3.00	0.60	Repainting necessary. S pair of doors may need replacement. ...
<select or leave blank>					
<select or leave blank>					
			Exterior Doors	Subtotal	3.80
BUILDING ENVELOPE C.3 Exterior Doors/Windows			Total	3.90	

SUMMARY OF ALL ROOFS							
Category		Total Sq.Ft.	Subscore	Areas	Score		General Comments
C.1 Building Roof		73,000	5.00	1	5.00		

ROOF							
C.1 Building Roof	Type	Install Year	Square Feet	Subscore	Score	Warranty Exp.	Comments/Remarks
C.1_Membrane	EPDM	2021	10,000	5.00	0.68	2036	
	Manufacturer/Installer	Firestone/Gluth Brothers					
C.1_Shingles	Asphalt	2021	63,000	5.00	4.32	2041	
	Manufacturer/Installer	Gluth Brothers Roofing					
<select or leave blank>							
	Manufacturer/Installer						
<select or leave blank>							
	Manufacturer/Installer						
ROOF C.1 Building Roof		Total Sq.Ft.	73,000	Total Score	5.00		

# Condition Assessments

## Springfield Elementary School Building Envelope Summary

### Exterior Facades:

- The existing exterior facades are generally comprised of brick veneer from grade up to 7’-4” with EIFS above and capped with metal fascia at the roof edge and aluminum gutters. The gymnasium is comprised of EIFS with a metal cap.
- The existing exterior facades are physically in good condition. The brick veneer is due for significant cleaning and in need of minor tuckpointing maintenance needs. The EIFS has many areas of repair needed, including general cleaning and repainting to ensure strength of the system remains intact. The metal flashing and fascia appears to be in good condition.

- The brick veneer columns and metal framed canopy system at the main entrance are in good condition. The columns are due for cleaning and in need of minor tuckpointing maintenance needs
- The aluminum windows and storefront are thermal and visually appear to be in good condition. Perimeter sealant appears to be well maintained.

- The aluminum doors are thermal systems and visually appear to be in good condition. Hollow metal frames and doors have finish issues. Hollow metal doors on south side are in poor condition, likely due to sun exposure. Due to age and typical assessment findings, maintenance work or replacement expected. See section on ADA Building Access for comments on door hardware.

### Priority Items:

- a. General maintenance of brick veneer including thorough cleaning and tuckpointing.
- b. General maintenance of EIFS including repairs, cleaning, and repainting of entire system.
- c. Repaint all hollow metal doors and frames. Hollow metal doors and frame on south side should be replaced.

### Roofs:

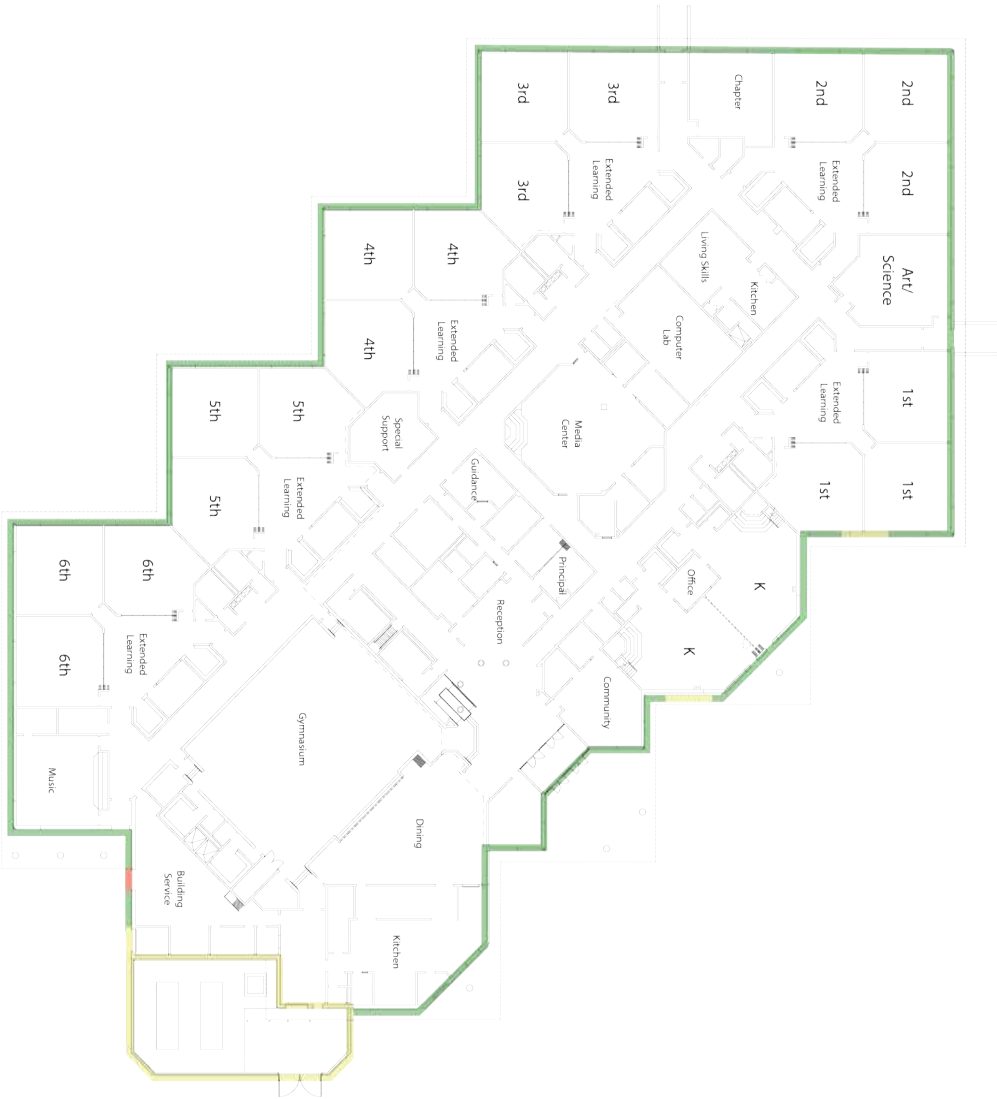
- The existing roof is comprised of two types of roofing. EPDM roof membrane manufactured by Firestone installed in 2021 comprises approximately 10,000 SF and is known to be under warranty until 2036. Asphalt shingles installed in 2021 comprise approximately 63,000 SF and is known to be under warranty until 2041.

### Priority Items:

- a. None currently.

Condition Assessments

Springfield Elementary School Exterior Floorplan



Springfield Elementary School - Exterior Condition Assessment



Condition Assessments

Springfield Elementary School Classrooms

SUMMARY OF ALL CLASSROOMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		4.00	1	4.00	
D.2 Floor Finish		3.08	1	3.08	
D.3 Wall Finish		3.06	1	3.06	
D.4 Ceiling Finish		3.50	1	3.50	
D.5 Doors/Borrowed Lites		4.00	1	4.00	
D.6 Fixed Equipment		3.41	1	3.41	

CLASSROOM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		TRUE		5.00	
D.1_Door Clearances		TRUE		5.00	
D.1_Room Signage		TRUE		3.50	Signage is present and appropriate, but does show signs of age ...
D.1_Casework Clearances/Hts.		FALSE		2.50	Not all sinks are ADA accessible within classrooms.
CLASSROOM D.1 ADA/Accessibility			Total	4.00	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Carpet	Broadloom	85	3.00	2.55	Aged and due for a refresh overall. Could last another few year ...
D.2_Vinyl	VCT	15	3.50	0.53	Aged but generally in decent to good condition.
<select or leave blank>					
<select or leave blank>					
CLASSROOM D.2 Floor Finish			Total	3.08	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Painted	25	3.25	0.81	Good condition with the exception of pin hole repair and repai ...
D.3_Gypsum	Wallcovering	75	3.00	2.25	Peeling and the reveal of seams.
<select or leave blank>					
<select or leave blank>					
CLASSROOM D.3 Wall Finish			Total	3.06	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	3.50	3.50	Minor sag, staining, damage throughout. Overall good conditio ...
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
CLASSROOM D.4 Ceiling Finish			Total	3.50	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	4.00	4.00	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
CLASSROOM D.5 Doors/Borrowed Lites			Total	4.00	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Chalkboard	Lined	100	3.00	1.15	
D.6_Markerboard	Lined	100	3.00	1.15	
D.6_Tackboard		60	2.25	0.52	
Visual Display Boards			Subtotal	2.83	
D.6_Casework	PLAM	70	2.75	1.93	Most casework in decent condition, a few exceptions in certain ...
D.6_Countertops	PLAM	30	2.75	0.83	Same as casework.
<select or leave blank>					
<select or leave blank>					
Casework/Countertops			Subtotal	4.00	
D.6_Lockers					
CLASSROOM D.6 Fixed Equipment			Total	3.41	

# Condition Assessments

Springfield Elementary School Art Rooms

SUMMARY OF ALL ART ROOMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		4.13	1	4.13	
D.2 Floor Finish		3.50	1	3.50	
D.3 Wall Finish		3.06	1	3.06	
D.4 Ceiling Finish		3.25	1	3.25	
D.5 Doors/Borrowed Lites		4.00	1	4.00	
D.6 Fixed Equipment		3.13	1	3.13	

ART ROOM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		TRUE		5.00	
D.1_Door Clearances		TRUE		5.00	
D.1_Room Signage		TRUE		4.00	Signage is present and appropriate, but does show signs of age...
D.1_Casework Clearances/Hts.		FALSE		2.50	Sink needs to be ADA accessible with out a panel.
ART ROOM D.1 ADA/Accessibility			Total	4.13	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Vinyl	VCT	100	3.50	3.50	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ART ROOM D.2 Floor Finish			Total	3.50	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Painted	25	3.25	0.81	Good condition with the exception of pin hole repair and repair...
D.3_Gypsum	Wallcovering	75	3.00	2.25	Peeling and the reveal of seams.
<select or leave blank>					
<select or leave blank>					
ART ROOM D.3 Wall Finish			Total	3.06	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	3.25	3.25	Minor sag, staining, damage throughout. Overall good conditio...
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ART ROOM D.4 Ceiling Finish			Total	3.25	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	4.00	4.00	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ART ROOM D.5 Doors/Borrowed Lites			Total	4.00	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Chalkboard		25	2.75	0.69	
D.6_Tackboard		75	2.75	2.06	
D.6_Markerboard					
	Visual Display Boards		Subtotal	2.75	
D.6_Casework	PLAM	80	2.75	2.20	Very minor condition issues.
D.6_Countertops	PLAM	20	2.75	0.55	
<select or leave blank>					
<select or leave blank>					
	Casework/Countertops		Subtotal	2.75	
D.6_Lockers					
D.6_Sinks/Plaster Traps				3.75	
D.6_Work Tables				3.50	
D.6_Kiln and Exhaust				3.00	Kiln is in maintenance area. Assumed appropriate for safety an...
D.6_General Storage				3.00	Lots of casework storage in room. No separate connected stora...
ART ROOM D.6 Fixed Equipment			Total	3.13	

# Condition Assessments

Springfield Elementary School Admistration

SUMMARY OF ALL ADMINISTRATION					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		4.13	1	4.13	
D.2 Floor Finish		3.25	1	3.25	
D.3 Wall Finish		3.13	1	3.13	
D.4 Ceiling Finish		3.50	1	3.50	
D.5 Doors/Borrowed Lites		4.00	1	4.00	
D.6 Fixed Equipment		2.75	1	2.75	

ADMINISTRATION					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		TRUE		5.00	
D.1_Door Clearances		TRUE		5.00	
D.1_Room Signage		TRUE		3.75	Signage is present and appropriate, but does show signs of age...
D.1_Casework Clearances/Hts.		FALSE		2.75	Sink is not ADA accessible in Faculty Dining
ADMINISTRATION D.1 ADA/Accessibility			Total	4.13	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Carpet	Broadloom	80	3.25	2.60	Aged and due for a refresh overall. Could last another few year...
D.2_Vinyl	VCT	10	3.25	0.33	Aged but generally in decent to good condition.
D.2_Carpet	Tile	10	3.25	0.33	
<select or leave blank>					
ADMINISTRATION D.2 Floor Finish			Total	3.25	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Painted	25	3.50	0.88	Good condition with the exception of pin hole repair and repair...
D.3_Gypsum	Wallcovering	75	3.00	2.25	Peeling and the reveal of seams.
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.3 Wall Finish			Total	3.13	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	3.50	3.50	Minor sag, staining, damage throughout. Overall good conditio...
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.4 Ceiling Finish			Total	3.50	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	4.00	4.00	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.5 Doors/Borrowed Lites			Total	4.00	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Markerboard	Unlined	100	3.00	3.00	
<select or leave blank>					
	Visual Display Boards		Subtotal	3.00	
D.6_Casework	PLAM	60	2.75	1.65	Most casework in decent condition, a few exceptions in certain...
D.6_Countertops	PLAM	40	2.75	1.10	Same as casework.
<select or leave blank>					
<select or leave blank>					
	Casework/Countertops		Subtotal	2.75	
D.6_Appliances				2.50	Appliances are dated in Faculty Dining.
ADMINISTRATION D.6 Fixed Equipment			Total	2.75	

Condition Assessments

Springfield Elementary School Music Room

SUMMARY OF ALL MUSIC ROOMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		4.19	1	4.19	
D.2 Floor Finish		3.00	1	3.00	
D.3 Wall Finish		3.00	1	3.00	
D.4 Ceiling Finish		3.25	1	3.25	
D.5 Doors/Borrowed Lites		4.00	1	4.00	
D.6 Fixed Equipment		3.20	1	3.20	

MUSIC ROOM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		TRUE		5.00	
D.1_Door Clearances		TRUE		5.00	
D.1_Room Signage		TRUE		4.00	Signage is present and appropriate, but does show signs of age
D.1_Casework Clearances/Hts.		FALSE		2.75	Sink casework not compliant.
MUSIC ROOM D.1 ADA/Accessibility			Total	4.19	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Carpet	Broadloom	100	3.00	3.00	Aged with wear and tear.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
MUSIC ROOM D.2 Floor Finish			Total	3.00	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Wallcovering	100	3.00	3.00	Peeling and the reveal of seams.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
MUSIC ROOM D.3 Wall Finish			Total	3.00	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	3.25	3.25	Minor sag, staining, damage throughout. Overall good condition.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
MUSIC ROOM D.4 Ceiling Finish			Total	3.25	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	4.00	4.00	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
MUSIC ROOM D.5 Doors/Borrowed Lites			Total	4.00	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Chalkboard	Sliding	25	3.00	0.75	
D.6_Tackboard		75	2.75	2.06	
<select or leave blank>					
		Visual Display Boards	Subtotal	2.81	
D.6_Casework	PLAM	80	3.50	2.80	Most casework in decent condition, a few exceptions in certain areas.
D.6_Countertops	PLAM	20	3.50	0.70	Same as casework.
		Casework/Countertops	Subtotal	3.50	
D.6_Lockers					
D.6_Tiers/Bleachers				3.50	
D.6_General Storage				3.00	Storage within the room.
MUSIC ROOM D.6 Fixed Equipment			Total	3.20	

Condition Assessments

Springfield Elementary School Gymnasium

SUMMARY OF ALL GYMNASIUMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		4.44	1	4.44	
D.2 Floor Finish		3.25	1	3.25	
D.3 Wall Finish		3.00	1	3.00	
D.4 Ceiling Finish		4.00	1	4.00	
D.5 Doors/Borrowed Lites		4.00	1	4.00	
D.6 Fixed Equipment		2.63	1	2.63	

GYMNASIUM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		TRUE		5.00	
D.1_Door Clearances		TRUE		5.00	
D.1_Room Signage		TRUE		3.75	Signage is present and appropriate, but does show signs of age
D.1_General ADA (routing/seats/etc)		TRUE		4.00	Most areas are on single level. Gym is lowered with one ramp.
GYMNASIUM D.1 ADA/Accessibility			Total	4.44	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Athletic	Hardwood	100	3.25	3.25	Wood is in good shape, no court lines. Perimeter base and stain.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
GYMNASIUM D.2 Floor Finish			Total	3.25	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Masonry	CMU	100	3.00	3.00	Repaint
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
GYMNASIUM D.3 Wall Finish			Total	3.00	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Exposed	Painted	100	4.00	4.00	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
GYMNASIUM D.4 Ceiling Finish			Total	4.00	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	4.00	4.00	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
GYMNASIUM D.5 Doors/Borrowed Lites			Total	4.00	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Markerboard	Unlined		2.75		
D.6_Tackboard			2.75		
		Visual Display Boards	Subtotal		
D.6_Equipment	Basketball Main			2.50	No court lines. End court wall pads in poor condition.
D.6_Equipment	Basketball Cross Court				N/A.
D.6_Equipment	Divider Curtain/Partition			2.75	Refers to moveable partition wall at stage/cafeateria.
D.6_Equipment	Bleachers			3.25	
D.6_Equipment	General Storage			2.00	School is using other spaces for adequate building storage.
GYMNASIUM D.6 Fixed Equipment			Total	2.63	

# Condition Assessments

## Springfield Elementary School Cafeteria/Kitchen

SUMMARY OF ENTIRE CAFETERIA/KITCHEN					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		4.58	1	4.58	
D.2 Floor Finish		4.00	1	4.00	
D.3 Wall Finish		4.00	1	4.00	
D.4 Ceiling Finish		3.00	1	3.00	
D.5 Doors/Borrowed Lites		4.00	1	4.00	
D.6 Fixed Equipment		3.64	1	3.64	

CAFETERIA/KITCHEN					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		TRUE		5.00	
D.1_Door Clearances		TRUE		5.00	
D.1_Room Signage		TRUE		3.75	Signage is present and appropriate, but does show signs of age...
D.1_Casework Clearances/Hts.		FALSE			N/A.
CAFETERIA/KITCHEN D.1 ADA/Accessibility			Total	4.58	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Vinyl	VCT	60	4.00	2.40	
D.2_Terrazzo		40	4.00	1.60	
<select or leave blank>					
<select or leave blank>					
CAFETERIA/KITCHEN D.2 Floor Finish			Total	4.00	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Masonry	CMU	100	3.50	4.00	Repaint
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
CAFETERIA/KITCHEN D.3 Wall Finish			Total	4.00	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	3.00	3.00	Grid appears in good condition. Tiles have significant sag.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
CAFETERIA/KITCHEN D.4 Ceiling Finish			Total	3.00	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	4.00	4.00	Good condition, minor finish repair. Hardware is lever.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
CAFETERIA/KITCHEN D.5 Doors/Borrowed Lites			Total	4.00	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Tackboard		100	2.50	2.50	
<select or leave blank>					
<select or leave blank>					
	Visual Display Boards		Subtotal	2.50	
<select or leave blank>					N/A.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
	Casework/Countertops		Subtotal		
D.6_Freezers/Coolers				3.75	
D.6_Cooking Battery				3.75	
D.6_Serving				4.00	Good condition. Assumed adequate for capacity.
D.6_Dishwashing				3.75	
D.6_Overall Function				4.00	Layout looks appropriate. Serving is within cafeteria space. Sma...
D.6_General Storage				3.75	
CAFETERIA/KITCHEN D.6 Fixed Equipment			Total	3.64	

# Condition Assessments

## Springfield Elementary School Building Interiors Environment

### Stairs:

- Existing building is single-story with no building stairs present.
- Existing stairs are limited to stage stairs, stairs to access gymnasium, or risers with media center and classrooms. See other sections for any needs noted.

### Priority Items:

- a. None currently.

### Corridors:

- Corridors are approximately varied from 8'-0" - 11'-6" wide throughout the building with recessed doorways exiting rooms. Double egress doors span across corridors at locations of existing 2-hour separation walls at two locations. It appears the flooring carpet refresh has/had been started previously. Remaining flooring, wall, and ceiling finishes could use updating.
- Wayfinding signage throughout the building is minimal to none. Room signage is generally present and ADA compliant.
- Interior doors throughout the building are typically stained wood door in decent condition. Remaining doors are hollow metal and are in good condition. Hardware throughout is lever handles and ADA compliant.

### Priority Items:

- a. Existing corridor broadloom carpet has significant wear and should be replaced. Carpet tile appears to be newer and is in good condition. Terrazzo flooring is in good condition overall, but some staining or finish issues exist. Terrazzo should be refinished.
- b. Existing corridor wall finishes are typically either painted gypsum or wallcovering. Wall covering is peeling in several places and should be removed and replaced. Painted gypsum is in good condition, but repainting should be considered.
- c. Existing corridor ceiling finishes are typically either painted gypsum bulkheads (generally near door recesses) or suspended acoustic ceiling system. Painted gypsum is in good condition, but repainting should be considered. Suspended acoustic ceiling system needs repair or replacement due to minor sagging, staining, or other damage. Generally, the grid system is in ok to good condition and can remain. Only partial

- ceiling replacement is recommended with 2x2 suspended acoustic ceiling system.
- d. Signage upgrade project recommended to include new ADA compliant directional signage throughout the building.
- e. Interior doors to be salvaged and minimally refinished as needed. Hollow metal doors and frames should be repainted.

### Classrooms:

- Classrooms are approximately 980 – 1,190 SF throughout the building with coat/backpack storage and casework storage above in designated alcoves, open-shelf casework along exterior wall, storage casework and sink, and visual display boards on an interior classroom divider wall. Floor, wall, and ceiling finishes are showing age and wear. Classrooms should be considered for renovation throughout. Typical finishes are a combination of carpet, ceramic tile, and VCT flooring, wallcovering, painted gypsum bulkhead ceilings, and suspended acoustic ceiling systems. Refer to Restrooms section for additional notes.

### Priority Items:

- a. ADA signage in classrooms is showing wear and should be replaced.
- b. Broadloom carpet may last for a few more years but is showing significant age and were. Full replacement is recommended. VCT flooring is holding up well with no major damage. VCT does show its age but may last several a few more years. Replacement is recommended, especially in areas where damage is present. Ceramic tile flooring should be replaced due to age and wear.
- c. Wallcovering should be replaced due to many areas peeling and visible seams. Painted gypsum is in good condition overall. Pinhole repair and repaint is recommended.
- d. Suspended acoustic ceiling systems should be replaced. While minor, many ceiling tiles are sagging, stained, or damaged throughout. Ceiling grid appears to be in good condition and could be reused.
- e. Existing classroom casework is still fully functional, however, due to wear and age replacement throughout the building is recommended. In particular, classrooms with non-ADA compliant sinks.



f. Existing classroom visual display boards need consideration for appropriate functionality. Chalkboards are generally in good condition and salvageable if appropriate for educational needs. Markerboards with non-commercial grade markerboards added throughout the building; consideration for replacement of chalkboards with markerboards should be given. Most tackboards throughout the building are in decent to good condition.

#### Restrooms:

a. Single-hole and group restrooms throughout the building are ADA compliant and are in good physical condition generally but do have flooring refinishing/replacement needs, and ceiling replacement needs. Restrooms consist of group restrooms located in four pairs/groupings throughout the building, followed by classroom connected restrooms located at three locations typical single-hole restrooms throughout the building, followed by gymnasium connected restrooms and administrative restrooms comprising another three pairs/ groupings of typical single-hole restrooms throughout the building, and one single-hole restroom adjacent to the kitchen.

#### Priority Items:

b. ADA restroom signage is present but does show signs of wear and should be replaced.

c. Mosaic tile flooring is in good to above-average condition. However, floor should be thoroughly scrubbed and have grout repaired/replaced.

d. Wall tile is in slightly better condition than the floor tile. Minor cleaning and grout repairs are all that is necessary.

e. Restroom ceilings are suspended acoustical ceiling systems. Tiles have minor sagging, staining, and some damage. Replacement of all ceiling tiles is recommended while the grid system can remain.

f. Restroom partitions are a combination of metal and plastic laminate. Both materials are in good condition and have years of life left. However, laminate material does have some damage and replacement of all laminate partition components should be considered.

g. In lieu of lockers in the gymnasium locker rooms, wood benches and wood shelf/coat hooks are present. The wood is generally in good condition, though, refinishing is recommended. Several hooks are missing and need to be replaced if system is to be utilized.

#### Ancillary Spaces:

- Existing art room is approximately 1,180 SF with no separate storage room or kiln in the classroom. Kiln is located on the opposite end of the school in the maintenance area. Storage casework surrounds the perimeter of the room with four sink locations and dedicated teaching wall. Floor, wall, and ceiling finishes are original. While dated, these finishes have been well maintained in the art room. Finishes include VCT flooring, wallcovering, and suspended acoustic ceiling system.

- Existing music room is approximately 1,190 SF with attached storage room. A teaching wall is located on the shared wall and plastic laminate casework lines the exterior walls. Finishes include VCT flooring, wallcovering, and suspended acoustic ceiling system.

- Existing gymnasium is approximately 4,750 SF with locker rooms and storage spaces occupying another approximately 875 SF. The cafeteria dining room doubles as a stage and is separated from the gymnasium by a folding wall system. Primary flooring material is wood. Steps and partial height walls near stairs are covered in broadloom carpet. Stage risers are rubber or vinyl. Wall material is painted CMU with padding on some walls.

- Existing cafeteria is approximately 2,050 SF with associated kitchen functions occupying another approximately 2,185 SF. The dining space is small relative to the building size and comparative district elementary schools. The kitchen and dedicated serving line seem appropriately sized for necessary functions. Floor materials include VCT in the dining area with terrazzo in the serving/kitchen area. Wall materials are generally painted CMU with painted gypsum at bulkheads. Ceilings are suspended acoustical ceiling systems.

- Existing media center and associated storage and workroom are approximately 2,770 SF. The space is in good condition with minor maintenance needs relative to floor, wall, and ceiling finishes and equipment condition.

- Existing administration area is approximately 3,050 SF and a community room with storage adds an additional 1,000 SF. Flooring, wall, and ceiling upgrades are needed, in addition to accessibility upgrades. The administration area is separated from the building’s main entrance, refer to Secure Visitor Access section for additional notes.

#### Priority Items:

a. Art room renovation needs will be heavily dependent on Owner educational needs with a focus on casework needs, storage needs, and whether a kiln is needed within or closer

to the classroom. If additional storage and/or kiln is needed, relocation of the art room or kiln may be needed. If deemed not necessary, existing art room renovation would include flooring, wall, and ceiling finishes along with sink dispersed heavy casework inclusion within the existing square footage.

b. Music room renovation needs include full broadloom carpet replacement and wall covering replacement. Suspended acoustical ceiling system has some sagging, stained, or damaged tiles that need replacement. Otherwise, most tiles can remain. Casework is in good condition, though dated.

c. Gymnasium needs several repairs. Stage risers have heavily deteriorated and need to be fully replaced. Broadloom carpet on steps and partial height walls needs to be removed and replaced. Consideration should be given to applying a more durable material. Other stairs have rubber riser which are damaged and need to be replaced. During the visit to the school, it appeared as though the wood floor was in the process of being refinished. As such, these items may no longer apply. It was observed that the wood court did not have any striping, where several utility access points in the floor occur the wood was not properly cut around the access holes, and rubber wall base was missing in some locations. Painted CMU and exposed ceiling both need to be repainted. Exposed systems should be cleaned prior to repainting. Wall padding has some scuffs and general wear. Replacement is recommended, though, padding may last a few more years.

d. Overall, the cafeteria is in good condition with mostly age-related repairs. The dining area is small and expanding should be evaluated further. The kitchen seems to be appropriately sized, however, storage may be inadequate. The owner should discuss needs with kitchen staff and evaluate further. VCT flooring in the dining area and terrazzo in the kitchen are both in good condition and have years of life left. Painted wall finishes should be repainted and at least one panel of the folding wall system needs repair of replacement due to rips and tears. The suspended ceiling system is in great shape overall. Only replacement of sagging, stained, or damaged tiles is necessary.

e. Media center renovation needs will be heavily dependent on Owner educational needs. The media center, while comparatively small, is functional and could continue to service the building with minimal finish upgrades. The media center could also be fully renovated to functionally serve the building with additional curriculum and educational opportunities. Storage appears to be an issue. Owner should discuss needs with kitchen staff and evaluate further. Broadloom carpet is worn and needs to be replaced in all areas of the media center.

Casework is somewhat dated, but functional. Refreshing casework should be considered. Painted gypsum walls should have pinholes patched and be repainted. Wall covering is peeling and needs to be replaced. The suspended ceiling system is in great shape overall. Only replacement of sagging, stained, or damaged tiles is necessary.

f. Administration area needs upgrades in several regards. Some carpet has recently been replaced with carpet tiles. Those carpet tiles are in great condition. Remaining broadloom carpet needs to be replaced. VCT flooring could last a few more years but is showing age and needs a refresh. Painted gypsum walls need pinholes repaired and repainted. Wall covering needs to be fully replaced due to peeling. The suspended ceiling system is in great shape overall. Only replacement of sagging, stained, or damaged tiles is necessary. Markerboards in the administration area are worn and should be considered for replacement. Casework and countertops are in decent condition with some areas in need of plastic laminate repair. A full refresh of casework and countertops should be considered. The sink in faculty dining is not ADA accessible and needs to be replaced with an accessible model. Casework may need to be modified for accessibility. Appliances in this space are also dated and should be considered for replacement. Replacing appliances could reduce energy consumption.

# Condition Assessments

Springfield Elementary School Mechanical System

SUMMARY OF ENTIRE MECHANICAL SYSTEM					
Category		Subscore	Areas	Score	General Comments
E.2 Building HVAC System		3.08	1	3.08	
E.3 Building Temperature Controls		2.00	1	2.00	

MECHANICAL SYSTEM					
E.2 Building HVAC System	Type			Score	Comments/Remarks
E.2_Central Heating System	Boilers			2.00	Boiler issues have been present. Unless they have been replaced...
E.2_Central Heating System	Heating Pumps			3.00	Motors have been replaced.
E.2_Central Heating System	Air Handling Units			3.50	Look to be in good condition. Few dried up rust puddles near A...
	Central Heating System		Subtotal	2.83	
E.2_Cooling System	Chiller			2.00	According to owner these units are tripping out occasionally. A...
E.2_Cooling System	Cooling Tower				
E.2_Cooling System	Chilled Water Pumps			3.00	Motors have been replaced.
E.2_Cooling System	Condensing Units				
	Cooling System		Subtotal	2.50	
E.2_Equipment	Cabinet/Supplemental Heaters				
E.2_Equipment	Fan Coil Units				
E.2_Equipment	Fans				
E.2_Equipment	PTAC Units				
E.2_Equipment	Unit Ventilators				
E.2_Equipment	Variable Air Volume Terminals			3.00	Controls.
	Equipment		Subtotal	3.00	
E.2_General	Ductwork			4.00	
E.2_General	Louvers/Exhaust Vents				
E.2_General	Piping			4.00	
	General		Subtotal	4.00	
MECHANICAL SYSTEM E.2 Building HVAC System			Total	3.08	
E.3 Building Temperature Controls	Type			Score	Comments/Remarks
E.3_Temperature Controls				2.00	TAC schneider electric controls. Original to 2008.
MECHANICAL SYSTEM E.3 Building Temperature Controls			Total	2.00	

# Condition Assessments

Springfield Elementary School Plumbing System

SUMMARY OF ENTIRE PLUMBING SYSTEM					
Category		Subscore	Areas	Score	General Comments
E.1 Building Plumbing System		3.52	1	3.52	

PLUMBING SYSTEM					
E.1 Building Plumbing System	Type			Score	Comments/Remarks
E.1_Plumbing Fixtures	Water Closets			3.50	
E.1_Plumbing Fixtures	Lavatories			3.50	
E.1_Plumbing Fixtures	Drinking Fountains			3.50	
E.1_Plumbing Fixtures	Showers			4.00	
E.1_Plumbing Fixtures	Dishwashing				
	Plumbing Fixtures		Subtotal	3.63	
E.1_Central Equipment	Hot Water Heating			2.00	Units not assessed. Unless they have been replaced, they are a...
E.1_Central Equipment	Water Softener			1.00	None.
E.1_Central Equipment	Pumps				
	Central Equipment		Subtotal	1.50	
E.1_Water_Service	City			4.00	
E.1_Water Service	Domestic Piping			4.00	
	Water Service		Subtotal	4.00	
E.1_Sewage_System	City			4.00	
E.1_Sewage System	Piping			4.00	
	Sewage System		Subtotal	4.00	
E.1_Gas Service				4.00	
E.1_Fire Suppression				4.00	
PLUMBING SYSTEM E.1 Building Plumbing System			Total	3.52	

# Condition Assessments

Springfield Elementary School Electrical System

SUMMARY OF ENTIRE ELECTRICAL SYSTEM					
Category		Subscore	Areas	Score	General Comments
E.4 Building Electrical System		4.25	1	4.25	
E.5 Building Lighting		4.64	1	4.64	

ELECTRICAL SYSTEM					
E.4 Building Electrical System	Type			Score	Comments/Remarks
E.4_Incoming Service	Size			4.00	
E.4_Incoming Service	Condition			4.00	
E.4_Incoming Service	Generator			4.00	Solar field adjacent to building
	Incoming Service	Subtotal		4.00	
E.4_Distribution				5.00	Square D panels - original to building
E.4_Smoke Detection				4.00	
E.4_Fire Alarm System	Annunciator Panel			4.00	One trouble on system
E.4_Fire Alarm System	Fire Alarm Devices			4.00	Good strobe coverage, sprinkled building
	Fire Alarm System	Subtotal		4.00	
ELECTRICAL SYSTEM E.4 Building Electrical System				Total	4.25
E.5 Building Lighting	Type			Score	Comments/Remarks
E.5_Interior Lighting	Administration			4.00	Lay-in acrylic lensed troffer
E.5_Interior Lighting	Corridors/Common			4.00	Lay-in acrylic lensed troffer
E.5_Interior Lighting	Classrooms/Science			4.00	Lay-in lensed troffer
E.5_Interior Lighting	Art/Music/Auditorium			4.00	Lay-in acrylic lensed troffer
E.5_Interior Lighting	Gymnasium/Natatorium			5.00	Linear suspended
E.5_Interior Lighting	Cafeteria/Kitchen			4.00	Suspended indirect / truss system
E.5_Interior Lighting	Restrooms			5.00	Lay-in acrylic lensed troffer
	Interior Lighting	Subtotal		4.29	
E.5_Exterior Lighting	Building Entries			5.00	LED heads
E.5_Exterior Lighting	Parking Lots/Drives			5.00	LED heads
E.5_Exterior Lighting	Athletic/Play Fields				NA
	Exterior Lighting	Subtotal		5.00	
ELECTRICAL SYSTEM E.4 Building Electrical System E.5 Building Lighti				Total	4.64

# Condition Assessments

Springfield Elementary School Technology

SUMMARY OF ALL TECHNOLOGY					
Category		Subscore	Areas	Score	General Comments
E.6 Building Technology		4.06	1	4.06	

TECHNOLOGY					
E.6 Building Technology	Type			Score	Comments/Remarks
E.6_Data Distribution	Incoming			5.00	Single mode from district administration building
E.6_Data Distribution	Cable Type				
E.6_Data Distribution	Fiber			5.00	Assuming MM fiber between closets
E.6_Data Distribution	Wireless			4.00	Ruckus AP
	Data Distribution	Subtotal		4.67	
E.6_Classroom Technology	Teacher				
E.6_Classroom Technology	Monitors			4.00	LG monitors
E.6_Classroom Technology	Smartboards			5.00	Promethean carts in lower grades
E.6_Classroom Technology	Projection				
	Data Distribution	Subtotal		4.50	
E.6_Communications	Intercom/PA			2.00	Dukane - obsolete
E.6_Sound Systems	Gymnasium/Natatorium				
E.6_Sound Systems	S.R.			4.00	District standard vertical soundbar
	Sound Systems	Subtotal		3.00	
TECHNOLOGY E.6 Building Technology				Total	4.06

# Condition Assessments

## Springfield Elementary School Building Systems Summary

### Mechanical:

#### Heating plant

- Building comfort heating is provided by six gas-fired boilers which appear and were reported to be in relatively good operating condition.
  - Currently, there are no reported issues or concerns for the continued use of these boilers; therefore, it is reasonable to expect successful continued use of the existing heating system until symptoms providing a reason for replacement manifest.
- Building heating hot water circulation is provided by six primary in-line pumps dedicated to each boiler and two secondary end-suction pumps.
  - All motors have been reported to have been replaced since they were originally installed.

#### Cooling plant:

- Building comfort cooling is provided by two indoor chillers with outdoor air-cooled condensing units. Both the chillers and condensing units look to be in good working condition.
- Building chilled water circulation is provided by two variable primary end-suction pumps.
  - All motors have been reported to have been replaced since they were originally installed.

#### Air-Handler Plants and Systems:

- Multiple constant-speed, constant and variable air volume (VAV) air-handlers exist at numerous building locations (9), inside of the building envelope. All the air-handlers and associated air-distribution, and comfort control systems are original to the building construction; except for replaced failed components. All air-handlers appeared in fair condition.

#### Building Temperature Control System:

- The building’s temperature control system is managed by

Johnson Control and is original to the building.

#### Priority Items:

- a. The existing temperature control system, include all hydronic valves throughout the building should be removed and replaced.
- b. The existing air handling units are in fair condition. These units probably have another ten years of useful life. If there is additional budget throughout the district I would recommend relacing the units during the next major renovation. At minimum I would replace the existing coils.
- c. The existing VAV air handlers shall remain. All associated air terminal units shall be removed and replaced.
  - a. For budget consideration, include 60 variable air volume terminal units (VAV). Retrofit installations shall include replacement of hydronic reheat control valve
- d. All existing fan coil units shall be removed and replaced.
  - a. For budget consideration, include 5 fan coil units.
- e. All existing cabinet unit heaters, exhaust fans, etc. shall be removed and replaced.
  - a. For budget consideration, include 22 cabinet unit heaters.
  - b. For budget consideration, include 14 exhaust fans and 30 ceiling mounted exhaust-air grilles.

#### Plumbing:

- The domestic system is served by a gas fired boiler. The boiler looked to be in poor condition. There is a water softener.
- The existing domestic, sanitary and vent piping throughout the building look to be in fair condition and were reported to be in relatively good to fair operating condition.
- The existing restrooms throughout the building look to be in fair to good physical condition.
- There are existing showers that have been abandoned near the gymnasium.
- The building is on well and septic. The well pumps were report to in fair physical condition.

#### Priority Items:

- a. The boiler should be removed and replace with a new boiler.
- b. The owner is interested in transitioning from their current well and septic system. They would like to explore the costs associated with connecting to the local city water and sanitary systems that have been installed since the building’s construction.
- c. All drinking fountains in area being renovated shall be replaced and upgraded to current ADA compliant standards. The existing domestic water, sanity and vent connections shall be reused.
- d. Remove all existing domestic piping serving the gymnasium showers.

#### Fire protection:

- A fire sprinkler system was present in the existing building. It looks to be in decent condition.

#### Electrical:

##### Electrical Distribution system

- The Square D QED switchboard appears to be in good condition. No planned mechanical upgrades would necessitate any replacement. Switchboard appears to have usable life remaining for 10 plus years.

#### Generator

- The building has a Cummins diesel generator with sub-base tank to support emergency loads. The generator appears to be in good condition.

#### Fire Alarm

- The existing Simplex 4100ES panel is in good condition. Horns and strobes were present in classrooms.

#### Lighting

- Lighting in common spaces includes 2x4 florescent and florescent in coves for uplighting. Classrooms consist of 2x4 florescent in lay-in ceilings. Gymnasium consists of suspended florescent wraparounds.

#### Technology:

##### Data cabling and distribution

- Building has single mode fiber from administration data center. Most cabling is Category 5. Building has Ruckus wireless access points, one for every two classrooms per district IT standard.

#### Teaching technology equipment

- Classrooms include both Promethean interactive touchscreen monitors for the lower grades as well as 65” Samsung monitors for the upper grade levels. Existing equipment is in good condition.

#### Paging / intercom equipment

- Existing paging / intercom system is a Dukane paging system that is obsolete and should be replaced. The door release is through this system as well instead of being a standalone unit like the other buildings. Dukane parts are no longer readily available. It is possible that the existing speakers and wiring may be reused depending on existing condition review with Owner.

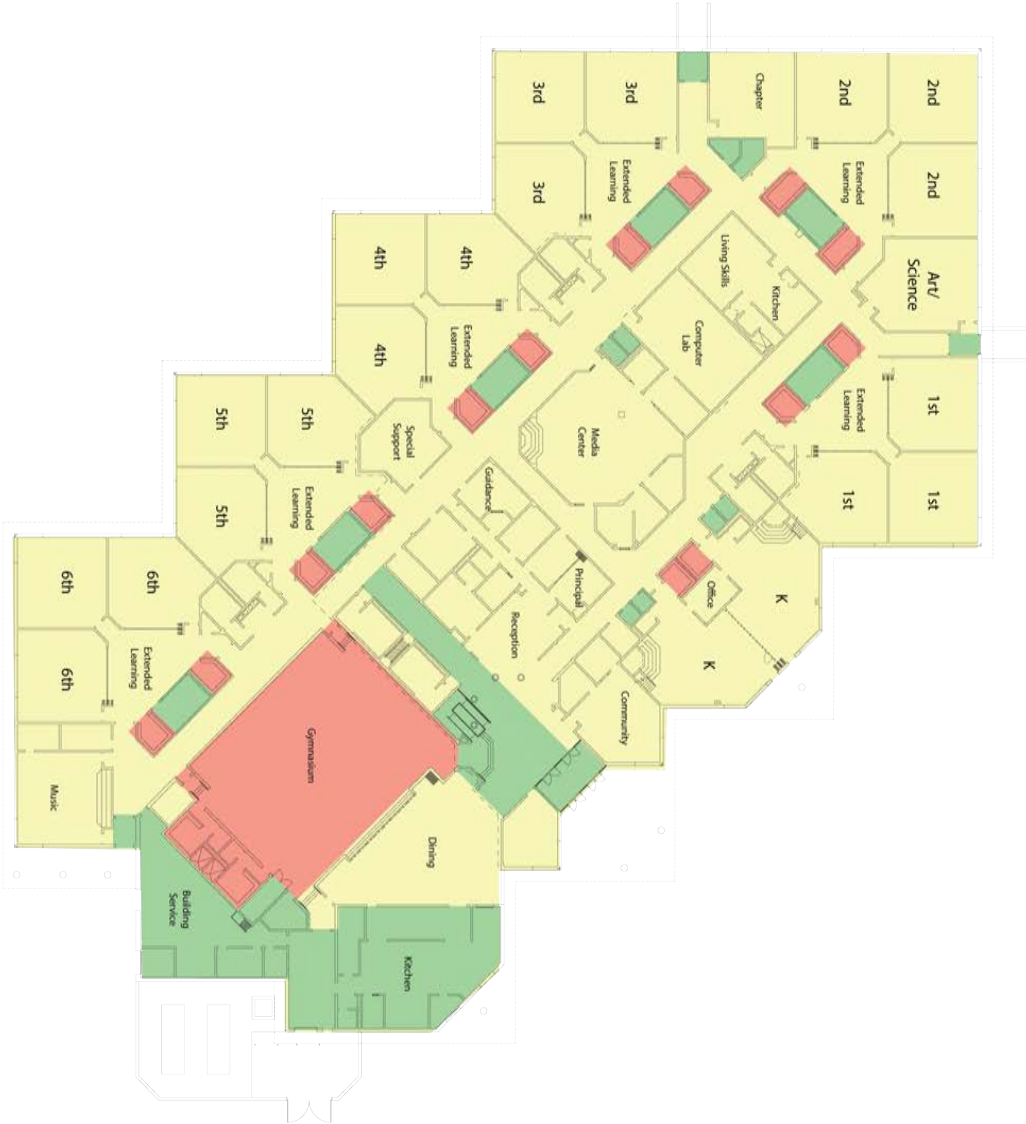
#### Priority Items:

- a. Replace paging / intercom head-end equipment.
- b. Provide video door entry intercom (AI Phone or equal).



Condition Assessments

Springfield Elementary School Interior Floorplan



Springfield Elementary School - Interior Condition Assessment



Condition Assessments

Springfield Elementary School Preliminary Cost Estimate

Bid Sort 2	System L1	System L2	Description	Takeoff Quantity	Grand Total Price	Grand Total Amount
			Conceptual Estimate			
			Construction Cost			
10			Building			
	B2000		Exterior Enclosure			
		B20 4222	Ext Wall Finish, Brick, Clean & Tuckpoint	16,000 sf	5.78 /sf	92,541
		B20 7242	Ext Wall Finish, EIFS, Paint	10,000 sf	3.01 /sf	30,129
		B20 8422	Exterior Door Hardware Replacement	25 leaf	2,834.78 /leaf	70,869
			B2000 Exterior Enclosure	72,656 sf	2.66 /sf	193,539
	Z1012		Functional Area Costs			
		xRHCt	Renovation, Heavy, Coats	1,800 sf	381.15 /sf	686,070
		xRHGym	Renovation, Heavy, Gym	5,800 sf	363.00 /sf	2,105,400
		xRLCorr	Renovation, Light, Corridor	1,800 sf	181.50 /sf	326,700
		xRLKit	Renovation, Light, Kitchen	3,000 sf	133.10 /sf	399,300
		xRLOff	Renovation, Light, Office	1,500 sf	90.75 /sf	136,125
		xRLRR	Renovation, Light, Restrooms	300 sf	196.63 /sf	58,988
		xRLStor	Renovation, Light, Storage	2,400 sf	113.44 /sf	272,250
		xRLVest	Renovation, Light, Vestibule	600 sf	136.13 /sf	81,675
		xRMCafe	Renovation, Medium, Cafeteria	2,800 sf	363.00 /sf	1,016,400
		xRMCorr	Renovation, Medium, Corridors	13,500 sf	181.50 /sf	2,450,250
		xRMCr	Renovation, Medium, Classrooms	29,600 sf	211.75 /sf	6,267,800
		xRMMedC	Renovaiton, Medium, Media Center	3,000 sf	242.00 /sf	726,000
		xRMOff	Renovation, Medium, Office	5,400 sf	181.50 /sf	980,100
		xRMRR	Renovation, Medium, Restrooms	2,400 sf	638.88 /sf	1,533,312
			Z1012 Functional Area Costs	72,656 sf	234.53 /sf	17,040,370
			10 Building	72,656 sf	237.20 /sf	17,233,909
20			Site			
	G2000		Exterior Improvements			
		G20 1012	Asphalt, Replace, Northeast Lot	5,560 sy	59.39 /sy	330,201
		G20 1016	Asphalt, Replace, Southeast Lot	1,450 sy	59.69 /sy	86,546
		G20 1054	Asphalt Mill/Resurface, North Lot	2,620 sy	22.62 /sy	59,268
		G20 2102	Concrete Sidewalk Cut/Patch Allowance	7,000 sf	47.99 /sf	335,925
		G20 3112	Chain Link Fence/Gates, Replace	6,000 lf	64.98 /lf	389,891
		G20 3114	Gates at Roadways	5 ea	12,100.00 /ea	60,500
		G20 4212	Tree Maintenance Allowance	1 allow	121,000.00 /allow	121,000
		G25 1002	Athletic Field Repair Allowance	1 lsum	60,500.00 /lsum	60,500
		G25 6312	Playgrounds, Hard Surface, Replace	2,780 sy	59.51 /sy	165,432
		G25 6314	Playgrounds, Pressure Washing	1 lsum	36,300.00 /lsum	36,300
			G2000 Exterior Improvements	72,656 sf	22.65 /sf	1,645,563
			20 Site	72,656 sf	22.65 /sf	1,645,563
			Construction Cost	72,656 sf	259.85 /sf	18,879,471
			Conceptual Estimate	72,656 sf	259.85 /sf	18,879,471



# Condition Assessments

## Barker Middle School

## Condition Assessments

### Barker Middle School Summary

Michigan City Area Schools	
Building:	Barker Middle School
Building Area:	110,700
Site Acreage:	22.00
Enrollment Capacity:	
Current Enrollment:	430
Construction	Construction Type
1960	Original Construction
See Bldg. Area Plan	Additions and Renovations

Condition Assessment Legend	
Building Scoring Matrix	Category Scoring Matrix
100: Excellent	5: No Work Needed
99 - 80: Good	4: Minor Work Needed
79 - 60: Average	3: Moderate Work Needed
59 - 40: Fair	2: Major Work Needed
Below 40: Poor	1: None/Replacement Needed

Condition Assessment	Score
<b>A SITE CIRCULATION AND AMENITIES</b>	
A.1 Separation/Drop-off/Stacking	4.31
A.2 Drives/Lots and Walks	3.25
A.3 Site Improvements	2.95
<b>B SAFETY AND SECURITY</b>	
B.1 Secure Building Access	4.50
B.2 Surveillance/Cameras	4.50
<b>C BUILDING ENVELOPE</b>	
C.1 Building Roof	2.03
C.2 Exterior Building Walls	3.80
C.3 Exterior Doors/Windows	3.90
<b>D BUILDING INTERIOR ENVIRONMENT</b>	
D.1 ADA/Accessibility	4.08
D.2 Floors	3.73
D.3 Walls	3.25
D.4 Ceilings	3.79
D.5 Doors/Borrowed Lites	4.00
D.6 Fixed Equipment	3.45
<b>E BUILDING SYSTEMS</b>	
E.1 Building Plumbing System	3.09
E.2 Building HVAC System	2.79
E.3 Building Temperature Controls	2.00
E.4 Building Electrical System	3.83
E.5 Building Lighting	3.63
E.6 Building Technology	4.11
<b>CONDITION ASSESSMENT AVERAGE SCORE</b>	<b>3.55</b>
<b>CONDITION ASSESSMENT GRADE</b>	<b>70.97</b>

# Condition Assessments

## Barker Middle School Expanded Summary

Michigan City Area Schools	
Building:	Barker Middle School
Building Area:	110,700
Site Acreage:	22.00
Enrollment Capacity:	
Current Enrollment:	430
Construction	Construction Type
1960	Original Construction
See Bldg. Area Plan	Additions and Renovations

Condition Assessment Legend	
Building Scoring Matrix	Category Scoring Matrix
100: Excellent	5: No Work Needed
99 - 80: Good	4: Minor Work Needed
79 - 60: Average	3: Moderate Work Needed
59 - 40: Fair	2: Major Work Needed
Below 40: Poor	1: None/Replacement Needed

Condition Assessment	Score
<b>A SITE CIRCULATION AND AMENITIES</b>	
A.1 Separation/Drop-off/Stacking	4.31
A.2 Drives/Lots and Walks	3.25
A.3 Site Improvements	2.95
<b>B SAFETY AND SECURITY</b>	
B.1 Secure Building Access	4.50
B.2 Surveillance/Cameras	4.50
<b>C BUILDING ENVELOPE</b>	
C.1 Building Roof	2.03
C.2 Exterior Building Walls	3.80
C.3 Exterior Doors/Windows	3.90
<b>D BUILDING INTERIOR ENVIRONMENT</b>	
D.1 ADA/Accessibility	4.08
Administration	3.81
Corridors/Common	4.56
Classrooms/Science	4.06
Art/Music/Auditorium	3.88
Gymnasium/Natorium	4.25
Cafeteria/Kitchen	4.13
Restrooms/Locker Rooms	3.88
D.2 Floors	3.73
Administration	3.55
Corridors/Common	4.00
Classrooms/Science	3.25
Art/Music/Auditorium	3.88
Gymnasium/Natorium	4.00
Cafeteria/Kitchen	3.90
Restrooms/Locker Rooms	3.50
D.3 Walls	3.25
Administration	4.00
Corridors/Common	3.38
Classrooms/Science	3.19
Art/Music/Auditorium	3.63
Gymnasium/Natorium	2.75
Cafeteria/Kitchen	3.08
Restrooms/Locker Rooms	2.75
D.4 Ceilings	3.79
Administration	4.00
Corridors/Common	4.00
Classrooms/Science	4.00
Art/Music/Auditorium	4.00
Gymnasium/Natorium	4.00
Cafeteria/Kitchen	3.25
Restrooms/Locker Rooms	3.25
D.5 Doors/Borrowed Lites	4.00
Administration	4.00
Corridors/Common	4.00
Classrooms/Science	4.00
Art/Music/Auditorium	4.00
Gymnasium/Natorium	4.00
Cafeteria/Kitchen	4.00
Restrooms/Locker Rooms	4.00
D.6 Fixed Equipment	3.45
Administration	3.30
Corridors/Common	3.63
Classrooms/Science	4.09
Art/Music/Auditorium	3.66
Gymnasium/Natorium	3.30
Cafeteria/Kitchen	3.79
Restrooms/Locker Rooms	2.36
<b>E BUILDING SYSTEMS</b>	
E.1 Building Plumbing System	3.09
E.2 Building HVAC System	2.79
E.3 Building Temperature Controls	2.00
E.4 Building Electrical System	3.83
E.5 Building Lighting	3.63
E.6 Building Technology	4.11
CONDITION ASSESSMENT AVERAGE SCORE	3.55
CONDITION ASSESSMENT GRADE	70.97

# Condition Assessments

## Barker Middle School Code Analysis

### Analysis:

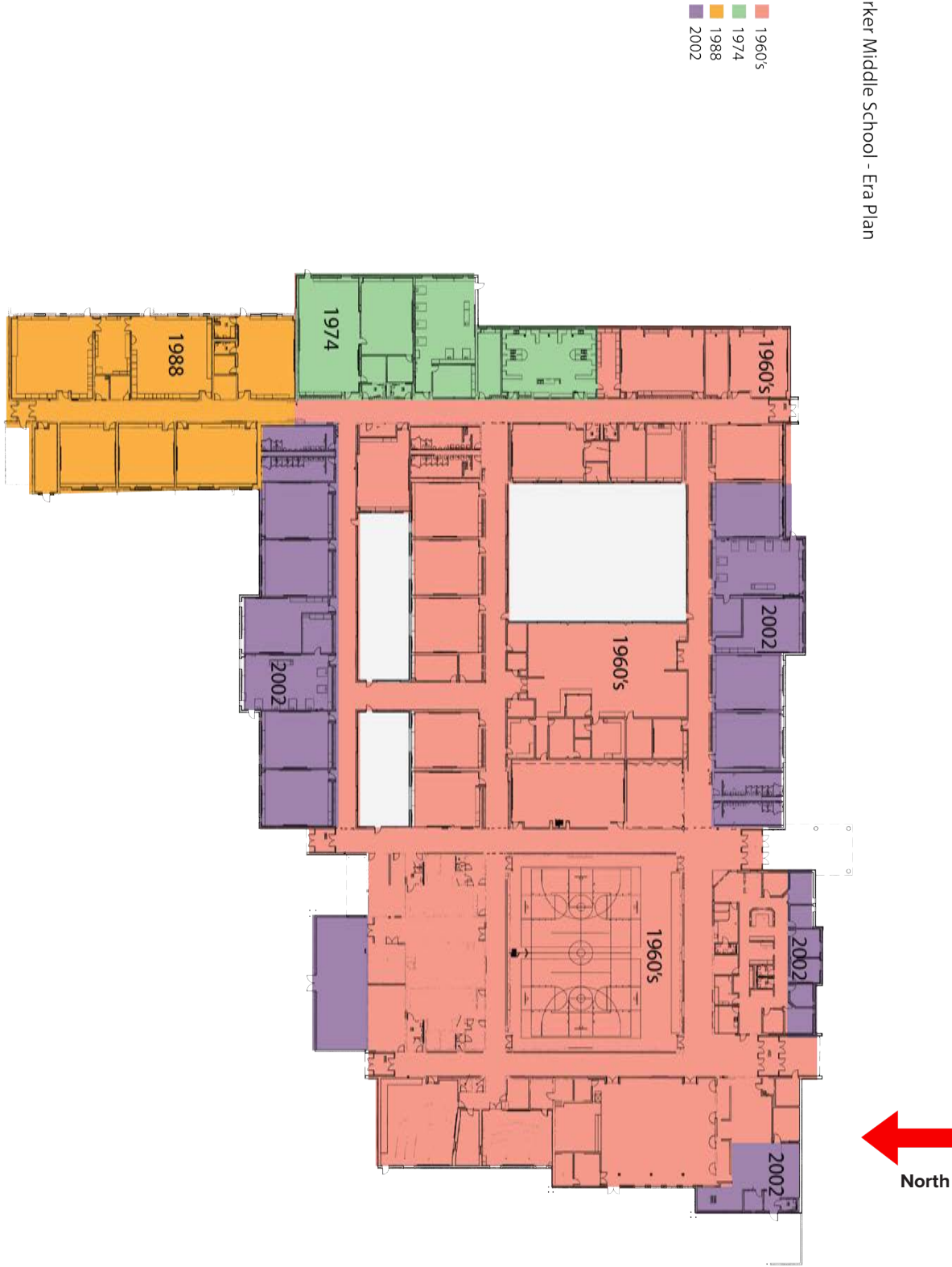
- The Building Occupancy is Group E – Educational.
  - o Allowable area per code is 14,500 SF. Allowable area will be increased utilizing a sprinkler increase. Frontage increase possible dependent on public way or open space at perimeter of building.
  - o The overall square footage is 110,700 SF.
- The Building Type of Construction is Type II-B Unprotected Non-Combustible.
  - o Original construction in 1960.
  - o Addition construction in 1974.
  - o Partial Roof Replacement in 1981.
  - o Addition, renovation, and partial roof replacement in 1988.
    - Based on the 1985 Edition of the Uniform Building Code – Indiana Edition.
  - o Locker replacement in 1995.
  - o Addition construction in 2002.
  - o Technology upgrade in 2004. Code
- The existing Building is equipped with a fire suppression system throughout.

### Priority Items:

a. NOTE: All non-compliant building code items are grandfathered, however, if any item or area is renovated, new work is required to meet current building code.

Condition Assessments

Barker Middle School Era Floorplan



Condition Assessments

Barker Middle School Site

SUMMARY OF ENTIRE SITE					
Category		Subscore	Regions	Score	General Comments
A.1 Separation/Drop-off/Stacking		4.31	1	4.31	
A.2 Drives/Lots and Walks		3.25	1	3.25	
A.3 Site Improvements		2.95	1	2.95	

SITE					
A.1 Separation/Drop-off/Stacking					
A.1 Identifiable Main Entry				Score	Comments/Remarks
A.1 Identifiable Main Entry				4.00	Architecturally, the main entrance is very well defined. Addition...
A.1 ADA Accessibility	Type	Compliant		Score	Comments/Remarks
A.1 ADA Accessibility	Route	TRUE		5.00	
A.1 ADA Accessibility	Door	TRUE		5.00	
A.1 Parking Space Allocation	Type	Compliant	Quantity	Score	Comments/Remarks
A.1 Parking Space Allocation	Visitor		26.00	5.00	No visitor parking requirement.
A.1 Parking Space Allocation	Staff		48.00	5.00	46 employees. Requirement is 1 space for each employee.
A.1 Parking Space Allocation	Accessible	TRUE	6.00	4.00	2 for visitor and 4 for staff. Requirement is 1 per 25 or 2% whe...
A.1 Site Circulation	Type			Score	Comments/Remarks
A.1 Emergency/Fire Service Access				4.00	School is surrounded by public ways. N, E, S have paved access...
A.1 Bus/Vehicular	Separation			4.00	
A.1 Bus/Vehicular	Signage			3.00	Additional signage at street would add clarity.
A.1 Bus Drop-off/Pick-up	Route Clarity/Safety			4.00	
A.1 Bus Drop-off/Pick-up	Adequate Stacking			5.00	
A.1 Car Drop-off/Pick-up	Pedestrian Safety			4.00	
A.1 Car Drop-off/Pick-up	Adequate Stacking			3.00	
A.1 Car Drop-off/Pick-up	Traffic Pattern			5.00	
A.1 Delivery Routing	Separation			5.00	
A.1 Delivery Routing	Loading Dock			4.00	
SITE A.1 Separation/Drop-off/Stacking				Total	4.31
A.2 Drives/Lots and Walks					
A.2 Sidewalks	Type	%	Subscore	Score	Comments/Remarks
A.2 Sidewalks	Concrete	100	4.00	4.00	No significant heaving, only minor cracks. General maintenance...
A.2 Sidewalks					
A.2 Sidewalks			Sidewalks	Subtotal	4.00
A.2 Drives	Asphalt	100	3.00	3.00	Overall decent shape, due for general maintenance and seal co...
A.2 Drives					
A.2 Drives					
A.2 Drives			Drives	Subtotal	3.00
A.2 Parking Lots	Asphalt	100	3.00	3.00	Seal coat and new traffic markings would increase visibility.
A.2 Parking Lots					
A.2 Parking Lots					
A.2 Parking Lots			Parking Lots	Subtotal	3.00
A.2 Drives/Parking Lots	Traffic Markings/Striping			3.00	Striping appears newer. Additional traffic lines needed.
SITE A.2 Drives/Lots and Walks				Total	3.25
A.3 Site Improvements					
A.3 Playground(s)	Accessibility			3.00	Access to tennis courts is hindered by curb.
A.3 Playground(s)	Equipment			3.00	Tennis and basketball equipment is aged but in decent conditio...
A.3 Playground(s)	Surface			3.00	Tennis court surface is due for recoating but still has a few year...
A.3 Playground(s)	Size			4.00	
A.3 Playground(s)			Playground(s)	Subtotal	3.25
A.3 Landscaping	Trees			4.00	No playground at MS. Ratings provided refer to basketball hoo...
A.3 Landscaping	Landscaping			2.00	Site is full of mature trees in good condition. General pruning n...
A.3 Landscaping			Landscaping	Subtotal	3.00
A.3 Site Drainage	Flood Points			4.00	
A.3 Athletic Fields	Support Buildings			4.00	
A.3 Athletic Fields	Bleachers/Stadium Seating			1.00	Non-existent, field would benefit from providing minimal seati...
A.3 Athletic Fields	Athletic/Stadium Lighting			1.00	Non-existent, field would benefit from general area lighting at ...
A.3 Athletic Fields	Athletic/Stadium Paving			1.00	Non-existent, field would benefit from hard surface area for en ...
A.3 Athletic Fields	Fencing/Gates			1.00	Fencing provided along street is in poor condition.
A.3 Athletic Fields	Field Conditions			1.00	Field and track are in poor condition.
A.3 Athletic Fields	Scoreboards			1.00	Non-existent, field would benefit from scoreboard.
A.3 Athletic Fields			Athletic Fields	Subtotal	1.43
A.3 Site Security	Site Lines			4.00	Site lines are general exceptional with only grade changes and ...
A.3 Site Security	Gated/Not Gated			1.00	Not gated.
A.3 Site Security			Site Security	Subtotal	2.50
A.3 Fencing	Site			3.00	Site is mostly unfenced except a non-contiguous portion aroun ...
A.3 Fencing	Playground(s)			4.00	No playground at MS. Rating provided refers to tennis courts.
A.3 Fencing			Fencing	Subtotal	3.50
SITE A.3 Site Improvements				Total	2.95

# Condition Assessments

## Barker Middle School Site Summary

**ADA Building Access:**

• Accessible parking spots are provided with two in the north visitor parking lot and four in the south staff parking lot. The north parking lot is connected to the main entrance which has an automatic door operator. The south parking lot is connected to the southern facing entrance doors, neither of which have automatic door operators.

**Priority Items:**

- a. The provided accessible parking spots are above quantity required by code and appear to provide proper clearances and vehicle side access. While marked appropriately on the ground, accessible parking spots should have signs added to insure appropriate visibility of spots.
- b. Curb cuts appear appropriate. Minor maintenance of concrete and cracks should occur regularly so path remains ADA compliant. Painting the curb cuts and ramps should be considered for increased visibility.

**Drives, Parking, and Sidewalks:**

- The site contains multiple parking lots with associated drives and drop-off/pick-up locations. One small staff/visitor parking lot is located to the northwest of the building and is assumed to be used as the parent drop-off/pick-up location. The parking lot to the northeast of the building is designated for bus drop-off/pick-up. The south parking lot is accessed by one drive to the far east and is assumed to be staff-only parking. Drives are not gated.
- All parking lots are connected by a semi-limited system of sidewalks throughout the site.
- The maintenance and loading dock are located at the southeast corner of the building and are accessed through the staff lot drive.

**Priority Items:**

- a. Parking lots should have additional signage at the street to make clear proper drop-off/pick-up and parking locations
- b. Parking lots and drive are in good condition, overall. However, lots and drives should have general maintenance and seal coating with new markings for increased visibility of lines and maintaining the integrity of the existing asphalt. Adding additional traffic markings, including directional arrows should

be considered for clarity.

- c. Consider adding gates to drives for increased security on the site.
- d. Sidewalks are in great condition with only general joint maintenance required to remove and prevent weeds from joints.

**Landscaping/Site Elements:**

- The site is full of mature trees in good condition. Open green space on the property is limited, however, the property has been well utilized and allocated. Retaining walls line the south and southeast portions of the building due to grade changes.
- Site lines are generally exceptional with only grade changes and the retaining walls hindering views to the south.
- Site is mostly unfenced except a non-contiguous portion around part of the football field in addition to fencing around the tennis courts. Fencing around solar is in good shape.
- The building contains three landscaped courtyards.

**Priority Items:**

- a. Trees on the site, especially ones near drives and roadway, should be trimmed of dead and low hanging limbs.
- b. Retaining walls around the south parking lot are severely deteriorated and need to be replaced. Retaining wall along the south drive has minor maintenance and repair needs.
- c. Fencing around the tennis courts is in good condition. Fencing partially and the track and football field is in need of repair. Several posts need to be reset or replaced, gates should be reveleled, and a few top rails need replaced.
- d. Mow strip should be considered to be placed around the perimeter of the building where landscaping is not present.

**Playground:**

• A recess area is located on the east side of the school on an asphalt drive with limited vehicular access. There are a few basketball goals with some court markings on the drive.

**Priority Items:**

- a. Basketball goals are aged and should be considered for replacement.

**Athletic Fields:**

• There are two athletic areas on the property. A track with athletic field in the middle and tennis courts. Track appears to be cinder material that has numerous weeds, though not uncommon to be in this condition during the off-season. The field is bumpy and in overall poor condition. No bleachers or paving is available for spectators. Field lighting is not present, nor is a scoreboard. See Electrical recommendations for specific lighting recommendations. The tennis courts are in good condition as the playing surface has a few more years of life, if necessary. Tennis equipment is aged but still functional. ADA access is limited to both athletic areas.

**Priority Items:**

- b. Curb cut(s) should be made to allow appropriate ADA access to tennis courts.
- c. Tennis court surface and equipment should be considered for replacement. Although, the surface and equipment do have a few years of life left if needed.
- d. Serious repairs are necessary for the track and field to provide appropriate access for spectators and improve athlete safety. It is recommended to replace the existing track surface with a modern material with permanent markings. If no meets occur at the site, a small three or four lane track may suffice.
- e. Field needs to be releveled, reseeded, and regularly maintained.
- f. A small scoreboard should be considered.
- g. Bleachers should be added. If games or meets occur at the site, bleachers should be provided for home and away spectators. Additionally, paving or designated pathways should be provided. Restroom facilities should also be considered.

# Condition Assessments

## Barker Middle School Safety and Security

SUMMARY OF ALL SAFETY AND SECURITY					
Category		Subscore	Areas	Score	General Comments
B.1 Secure Building Access		4.50	1	4.50	
B.2 Surveillance/Cameras		4.50	1	4.50	

SAFETY AND SECURITY					
B.1 Secure Building Access	Type			Score	Comments/Remarks
B.1_Card/Code/FOBS				5.00	
B.1_Secure_Vestibule	Direct Admin Connection			5.00	
B.1_Secure_Technology	AI Voice/Door Release			4.00	AI Phone LEM. IDL audio only w/ camera separate ( non-record...
B.1_Security Officer Station(s)				4.00	
SAFETY AND SECURITY B.1 Secure Building Access			Total	4.50	
B.2 Surveillance/Cameras				Score	Comments/Remarks
B.2_Video Surveillance				5.00	
B.2_Intrusion Detection				4.00	GE - Hallway motions, glass and door contact sensors. ...
SAFETY AND SECURITY B.2 Surveillance/Cameras			Total	4.50	

### Secure Visitor Access:

- The existing building has secure vestibule that allows direct access to the administration area. The secure vestibule is accessed via intercom/door release system or fob/door release system with surveillance camera mounted separately overhead on the opposite wall. Select entrances elsewhere around building have fob/code entry pad systems with all entrances having key access.

### Priority Items:

- a. Upgrade to intercom/door release system to include video is recommended.
- b. Expansion of the fob/door release system with surveillance monitoring at all necessary entrances is recommended.

# Condition Assessments

## Barker Middle School Building Envelope and Roof

SUMMARY OF ENTIRE BUILDING ENVELOPE					
Category		Subscore	Areas/Regions	Score	General Comments
C.2 Exterior Building Walls		3.80	1	3.80	
C.3 Exterior Doors/Windows		3.90	1	3.90	

BUILDING ENVELOPE					
C.2 Exterior Building Walls	Type	%	Subscore	Score	Comments/Remarks
C.2_Masonry	Brick	90	4.00	3.60	
C.2_Masonry	Brick	10	2.00	0.20	Rating refers to the greenhouse masonry walls. Significant wor...
<select or leave blank>					
<select or leave blank>					
BUILDING ENVELOPE C.2 Exterior Building Walls			Total	3.80	
C.3 Exterior Doors/Windows	Type	% or Qty.	Subscore	Score	Comments/Remarks
C.3_Aluminum	Window	90	4.00	3.60	Aluminum with thermal windows in good condition. ...
C.3_Aluminum		10	2.00	0.20	Rating refers to the greenhouse windows. Significant work or r...
<select or leave blank>					
<select or leave blank>					
			Exterior Windows	Subtotal	3.80
C.3_Swinging	Aluminum	90	4.00	3.60	With thermal sidelites/glazing. ...
C.3_Overhead	Steel	10	4.00	0.40	Loading dock doors. ...
<select or leave blank>					
<select or leave blank>					
			Exterior Doors	Subtotal	4.00
BUILDING ENVELOPE C.3 Exterior Doors/Windows			Total	3.90	

SUMMARY OF ALL ROOFS							
Category		Total Sq.Ft.	Subscore	Areas	Score		General Comments
C.1 Building Roof		111,500	2.03	1	2.03		

ROOF							
C.1 Building Roof	Type	Install Year	Square Feet	Subscore	Score	Warranty Exp.	Comments/Remarks
C.1_Membrane	EPDM	2002	110,000	2.00	1.97	2019	
	Manufacturer/Installer	Firestone/City Roofing					Out of business. ...
C.1_Metal	Standing Seam	Unknown	1,500	4.00	0.05	Unknown	
	Manufacturer/Installer						
<select or leave blank>							
	Manufacturer/Installer						
<select or leave blank>							
	Manufacturer/Installer						
ROOF C.1 Building Roof		Total Sq.Ft.	111,500	Total Score	2.03		



# Condition Assessments

## Barker Middle School Building Envelope Summary

### Exterior Facades:

- Majority of the building exterior is masonry veneer brick with precast or limestone window sills and lintels. Sheet metal flashing caps the tops of the walls. The main entry overhang, as well as above most doors is EIFS. The main entry overhang also has EIFS columns.
- The existing exterior facades are visually in good condition. The brick veneer is due for cleaning and in need of minor tuckpointing maintenance needs. The EIFS has a few select areas of repair needed, needing general cleaning and repainting to ensure strength of the system remains intact. The metal flashing appears to be in good condition.
- Masonry veneer brick at the greenhouse located on the south side of the building needs significant repairs.
- The aluminum windows are thermal windows and visually appear to be in good condition. Perimeter window sealant appears to be well maintained.
- Windows at the greenhouse have major issues that need to be addressed.
- The aluminum doors are thermal systems and visually appear to be in good condition. Steel overhead door at loading dock is in good condition. Due to typical assessment findings, maintenance work should be expected.

### Priority Items:

- a. Masonry veneer brick needs to be cleaned. No tuckpointing is anticipated. Cast stone or limestone sills and lintels should be cleaned.
- b. EIFS has some minor patching needs, particularly at corners and bottoms of columns. All EIFS should be cleaned and painted.
- c. Owner should determine if greenhouse is necessary or should be demolished. If greenhouse to remain, masonry veneer must be tuckpointed and cleaned. Greenhouse glazing must also be replaced. Frame may be salvageable.
- d. Windows should have seals thoroughly inspected and repair as needed.
- e. Overhead door at loading dock should be cleaned and repainted.

### Roofs:

- The existing roof is comprised of two types of roofing. EPDM roof membrane manufactured by Firestone installed in 2002 comprises approximately 110,000 SF and is the warranty expired in 2019. Standing seam metal roof comprises approximately 1,500 SF with an unknown installation date and warranty. However, the metal roof is in good condition and has years of life remaining.

### Priority Items:

- a. EPDM roofing is at end of line and needs to be replaced.

# Condition Assessments

## Barker Middle School Exterior Floorplan



Barker Middle School - Exterior Condition Assessment

# Condition Assessments

Barker Middle School Corridors/Commons

SUMMARY OF ALL CORRIDORS/COMMONS					
Category		Subscore	Areas	Score	General Comments
D.1 ADA/Accessibility		4.56	1	4.56	
D.2 Floor Finish		4.00	1	4.00	
D.3 Wall Finish		3.38	1	3.38	
D.4 Ceiling Finish		4.00	1	4.00	
D.5 Doors/Borrowed Lites		4.00	1	4.00	
D.6 Fixed Equipment		3.63	1	3.63	

CORRIDOR/COMMONS					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware/Clearances		TRUE		4.50	Most/all doors have compliant clearance and lever hardware.
D.1_Routing/Ramps		TRUE		5.00	Most areas are on a single level.
D.1_Wayfinding Signage		FALSE		3.75	Directional signage is minimal to none. Directional signage would be helpful.
D.1_Elevator/Lift		TRUE		5.00	Stage in cafeteria is served by lift.
CORRIDOR/COMMONS D.1 ADA/Accessibility			Total	4.56	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Terrazzo		92	4.00	3.68	Good condition.
D.2_Tile	Square	8	4.00	0.32	Commons area in good condition.
<select or leave blank>					
<select or leave blank>					
CORRIDOR/COMMONS D.2 Floor Finish			Total	4.00	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Painted	25	3.00	0.75	
D.3_Gypsum	Wallcovering	75	3.50	2.63	Some areas in good condition, some in need of repair/replacement.
<select or leave blank>					
<select or leave blank>					
CORRIDOR/COMMONS D.3 Wall Finish			Total	3.38	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	90	4.00	3.60	Good condition.
D.4_Gypsum	Painted	10	4.00	0.40	Primarily bulkheads.
<select or leave blank>					
<select or leave blank>					
CORRIDOR/COMMONS D.4 Ceiling Finish			Total	4.00	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Metal	Aluminum	16	4.00	4.00	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
CORRIDOR/COMMONS D.5 Doors/Borrowed Lites			Total	4.00	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Tackboard		100	4.00	4.00	
<select or leave blank>					
<select or leave blank>					
	Visual Display Boards		Subtotal	4.00	
<select or leave blank>					N/A.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
	Casework/Countertops		Subtotal		
D.6_Lockers	Metal		3.25	3.25	Some areas in great condition, some in ok to decent.
CORRIDOR/COMMONS D.6 Fixed Equipment			Total	3.63	

# Condition Assessments

Barker Middle School Classrooms

SUMMARY OF ALL CLASSROOMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		4.44	1	4.44	
D.2 Floor Finish		3.25	1	3.25	
D.3 Wall Finish		3.19	1	3.19	
D.4 Ceiling Finish		4.00	1	4.00	
D.5 Doors/Borrowed Lites		4.00	1	4.00	
D.6 Fixed Equipment		3.96	1	3.96	

CLASSROOM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		TRUE		4.50	Most/all doors have compliant lever hardware.
D.1_Door Clearances		TRUE		4.50	Most/all doors have compliant clearance.
D.1_Room Signage		FALSE		3.75	Signage is present. Signage is compliant with the exception of room numbers.
D.1_Casework Clearances/Hts.		TRUE		5.00	
CLASSROOM D.1 ADA/Accessibility			Total	4.44	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Carpet	Broadloom	100	3.25	3.25	Most carpet is functional for a few more years. Some is in great condition.
D.2_Vinyl					
D.2_Carpet					
<select or leave blank>					
CLASSROOM D.2 Floor Finish			Total	3.25	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Painted	75	3.00	2.25	Areas in need of repair/repaint.
D.3_Gypsum	Wallcovering	25	3.75	0.94	Minor areas in need of repair.
<select or leave blank>					
<select or leave blank>					
CLASSROOM D.3 Wall Finish			Total	3.19	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	4.00	4.00	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
CLASSROOM D.4 Ceiling Finish			Total	4.00	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	80	4.00	4.00	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
CLASSROOM D.5 Doors/Borrowed Lites			Total	4.00	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Markerboard	Unlined	40	4.00	1.60	
D.6_Tackboard		60	4.00	2.40	
<select or leave blank>					
	Visual Display Boards		Subtotal	4.00	
D.6_Casework	PLAM	45	4.00	1.80	Most casework is in good condition.
D.6_Countertops	PLAM	15	3.75	0.56	Same as casework with a few exceptions of wear.
D.6_Casework	Metal	25	4.00	1.00	Most casework is in good condition.
D.6_Countertops	Metal	15	3.75	0.56	Same as casework with a few exceptions of wear.
	Casework/Countertops		Subtotal	3.93	
D.6_Lockers					N/A.
CLASSROOM D.6 Fixed Equipment			Total	3.96	

Condition Assessments

Barker Middle School Art Rooms

SUMMARY OF ALL ART ROOMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		3.94	1	3.94	
D.2 Floor Finish		3.75	1	3.75	
D.3 Wall Finish		3.75	1	3.75	
D.4 Ceiling Finish		4.00	1	4.00	
D.5 Doors/Borrowed Lites		4.00	1	4.00	
D.6 Fixed Equipment		3.23	1	3.23	

ART ROOM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		TRUE		4.50	Most/all doors have compliant lever hardware.
D.1_Door Clearances		TRUE		4.50	Most/all doors have compliant clearance.
D.1_Room Signage		FALSE		3.75	Signage is present. Signage is compliant with the exception of r
D.1_Casework Clearances/Hts.		FALSE		3.00	Sink locations are not ADA compliant.
ART ROOM D.1 ADA/Accessibility			Total	3.94	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Vinyl	VCT	100	3.75	3.75	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ART ROOM D.2 Floor Finish			Total	3.75	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Painted	75	3.75	2.81	Minor areas of repair/repaint.
D.3_Gypsum	Wallcovering	25	3.75	0.94	Minor areas in need of repair.
<select or leave blank>					
<select or leave blank>					
ART ROOM D.3 Wall Finish			Total	3.75	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	4.00	4.00	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ART ROOM D.4 Ceiling Finish			Total	4.00	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	2	4.00	4.00	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ART ROOM D.5 Doors/Borrowed Lites			Total	4.00	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Markerboard		50	3.75	1.88	
D.6_Tackboard		50	3.00	1.50	Additional tackboards would be beneficial.
<select or leave blank>					
		Visual Display Boards	Subtotal	3.38	
D.6_Casework	PLAM	70	3.00	2.10	Moderate condition issues, still functional.
D.6_Countertops	PLAM	30	3.00	0.90	Same as casework.
<select or leave blank>					
<select or leave blank>					
		Casework/Countertops	Subtotal	3.00	
D.6_Lockers					N/A.
D.6_Sinks/Plaster Traps				4.50	
D.6_Work Tables				3.50	
D.6_Kiln and Exhaust				2.00	Kiln has dedicated exhaust. Room was partially combined with
D.6_General Storage				3.00	Adjacent storage room. Appears additional shelving/casework
ART ROOM D.6 Fixed Equipment			Total	3.23	

Condition Assessments

Barker Middle School Administration

SUMMARY OF ALL ADMINISTRATION					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		3.81	1	3.81	
D.2 Floor Finish		3.55	1	3.55	
D.3 Wall Finish		4.00	1	4.00	
D.4 Ceiling Finish		4.00	1	4.00	
D.5 Doors/Borrowed Lites		4.00	1	4.00	
D.6 Fixed Equipment		3.30	1	3.30	

ADMINISTRATION					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		TRUE		4.50	Most/all doors have compliant lever hardware.
D.1_Door Clearances		TRUE		4.50	Most/all doors have compliant clearance.
D.1_Room Signage		FALSE		3.75	Signage is present. Signage is compliant with the exception of r
D.1_Casework Clearances/Hts.		FALSE		2.50	Sink locations are not ADA compliant.
ADMINISTRATION D.1 ADA/Accessibility			Total	3.81	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Carpet		70	3.25	2.28	
D.2_Vinyl	VCT	30	4.25	1.28	
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.2 Floor Finish			Total	3.55	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Painted	60	4.00	2.40	
D.3_Gypsum	Wallcovering	40	4.00	1.60	
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.3 Wall Finish			Total	4.00	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	4.00	4.00	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.4 Ceiling Finish			Total	4.00	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	20	4.00	4.00	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.5 Doors/Borrowed Lites			Total	4.00	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Markerboard	Unlined	50	3.00	1.50	
D.6_Tackboard		50	3.00	1.50	
		Visual Display Boards	Subtotal	3.00	
D.6_Casework	PLAM	65	3.75	2.44	
D.6_Countertops	PLAM	35	3.50	1.23	
<select or leave blank>					
<select or leave blank>					
		Casework/Countertops	Subtotal	3.66	
D.6_Appliances				3.25	
ADMINISTRATION D.6 Fixed Equipment			Total	3.30	

Condition Assessments

Barker Middle School Gymnasium

SUMMARY OF ALL GYMNASIUMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		4.25	1	4.25	
D.2 Floor Finish		4.00	1	4.00	
D.3 Wall Finish		2.75	1	2.75	
D.4 Ceiling Finish		4.00	1	4.00	
D.5 Doors/Borrowed Lites		4.00	1	4.00	
D.6 Fixed Equipment		3.30	1	3.30	

GYMNASIUM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		TRUE		4.50	Most/all doors have compliant lever hardware.
D.1_Door Clearances		TRUE		4.50	Most/all doors have compliant clearance.
D.1_Room Signage		FALSE		3.00	
D.1_General ADA (routing/seats/etc)		TRUE		5.00	
GYMNASIUM D.1 ADA/Accessibility			Total	4.25	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Athletic	Hardwood	100	4.00	4.00	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
GYMNASIUM D.2 Floor Finish			Total	4.00	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Masonry	CMU	100	2.75	2.75	Due for a repair/repaint.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
GYMNASIUM D.3 Wall Finish			Total	2.75	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Exposed	Painted	100	4.00	4.00	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
GYMNASIUM D.4 Ceiling Finish			Total	4.00	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	8	4.00	4.00	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
GYMNASIUM D.5 Doors/Borrowed Lites			Total	4.00	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
<select or leave blank>					N/A.
<select or leave blank>					
	Visual Display Boards		Subtotal		
D.6_Equipment	Basketball Main			3.50	Athletic wall pads in need of replacement.
D.6_Equipment	Basketball Cross Court			3.50	
D.6_Equipment	Divider Curtain/Partition			2.00	Operable partition appears functional but in rough condition.
D.6_Equipment	Bleachers			3.75	
D.6_Equipment	General Storage			3.75	Across corridor.
GYMNASIUM D.6 Fixed Equipment			Total	3.30	

Condition Assessments

Barker Middle School Cafeteria/Kitchen

SUMMARY OF ENTIRE CAFETERIA/KITCHEN					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		4.13	1	4.13	
D.2 Floor Finish		3.90	1	3.90	
D.3 Wall Finish		3.08	1	3.08	
D.4 Ceiling Finish		3.25	1	3.25	
D.5 Doors/Borrowed Lites		4.00	1	4.00	
D.6 Fixed Equipment		3.79	1	3.79	

CAFETERIA/KITCHEN					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		TRUE		4.50	Most/all doors have compliant lever hardware.
D.1_Door Clearances		TRUE		4.50	Most/all doors have compliant clearance.
D.1_Room Signage		FALSE		3.00	Not present.
D.1_Casework Clearances/Hts.		TRUE		4.50	
CAFETERIA/KITCHEN D.1 ADA/Accessibility			Total	4.13	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Terrazzo		60	4.00	2.40	Good condition, some staining/discoloration.
D.2_Vinyl	VCT	5	3.75	0.19	Stage.
D.2_Tile	Square	35	3.75	1.31	Generally in good condition with a few areas of damage.
<select or leave blank>					
CAFETERIA/KITCHEN D.2 Floor Finish			Total	3.90	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Painted	90	3.00	2.70	In need of repair and repaint in many areas.
D.3_Gypsum	Wallcovering	10	3.75	0.38	
<select or leave blank>					
<select or leave blank>					
CAFETERIA/KITCHEN D.3 Wall Finish			Total	3.08	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	3.25	3.25	Approaching need for replacement.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
CAFETERIA/KITCHEN D.4 Ceiling Finish			Total	3.25	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	15	4.00	4.00	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
CAFETERIA/KITCHEN D.5 Doors/Borrowed Lites			Total	4.00	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Tackboard		100	3.00	3.00	Additional tackboards would be beneficial.
<select or leave blank>					
<select or leave blank>					
	Visual Display Boards		Subtotal	3.00	
<select or leave blank>					N/A.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
	Casework/Countertops		Subtotal		
D.6_Freezers/Coolers				3.75	
D.6_Cooking Battery				4.00	Good condition. Space appears appropriate.
D.6_Serving				3.75	Good condition. Assumed adequate for capacity.
D.6_Dishwashing				4.00	
D.6_Overall Function				4.00	Layout looks appropriate. Serving is within cafeteria space. Sm...
D.6_General Storage				4.00	
CAFETERIA/KITCHEN D.6 Fixed Equipment			Total	3.79	

# Condition Assessments

Barker Middle School Corridors/Commons

SUMMARY OF ALL RESTROOMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		3.88	1	3.88	
D.2 Floor Finish		3.50	1	3.50	
D.3 Wall Finish		2.75	1	2.75	
D.4 Ceiling Finish		3.25	1	3.25	
D.5 Doors/Borrowed Lites		4.00	1	4.00	
D.6 Fixed Equipment		2.36	1	2.36	

RESTROOM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware/Clearances		TRUE		4.50	Most/all doors have compliant clearance and push or lever har
D.1_Room Signage		FALSE		3.00	Most is compliant except for mounting height.
D.1_Stall Widths/Clearances		FALSE		4.00	
D.1_General ADA Clearances		FALSE		4.00	
RESTROOM D.1 ADA/Accessibility			Total	3.88	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Tile	Mosaic	100	3.50	3.50	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
RESTROOM D.2 Floor Finish			Total	3.50	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Painted	100	2.75	2.75	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
RESTROOM D.3 Wall Finish			Total	2.75	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	3.25	3.25	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
RESTROOM D.4 Ceiling Finish			Total	3.25	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	20	4.00	4.00	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
RESTROOM D.5 Doors/Borrowed Lites			Total	4.00	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
<select or leave blank>					N/A.
<select or leave blank>					
Visual Display Boards			Subtotal		
D.6_Partitions	Metal/SS	75	2.50	1.88	
D.6_Toilet_Accessories	General	10	4.00	0.40	
D.6_Toilet_Accessories	Benches	5	3.00	0.15	
D.6_Toilet_Accessories	Showers	10	3.00	0.30	
Partitions/Accessories			Subtotal	2.73	
D.6_Countertops					N/A. Wall-mounted lavatories.
D.6_Lockers	Metal			2.00	Ok to poor condition at lockerrooms.
RESTROOM D.6 Fixed Equipment			Total	2.36	

# Condition Assessments

Barker Middle School Science Rooms

SUMMARY OF ALL SCIENCE ROOMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		3.69	1	3.69	N/A.
D.2 Floor Finish		3.25	1	3.25	N/A.
D.3 Wall Finish		3.19	1	3.19	N/A.
D.4 Ceiling Finish		4.00	1	4.00	N/A.
D.5 Doors/Borrowed Lites		4.00	1	4.00	N/A.
D.6 Fixed Equipment		4.21	1	4.21	N/A.

SCIENCE ROOM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		TRUE		4.50	Most/all doors have compliant lever hardware.
D.1_Door Clearances		TRUE		4.50	Most/all doors have compliant clearance.
D.1_Room Signage		FALSE		3.75	Signage is present. Signage is compliant with the exception of f
D.1_Casework Clearances/Hts.		FALSE		2.00	Sink locations are not ADA compliant. No ADA height station.
SCIENCE ROOM D.1 ADA/Accessibility			Total	3.69	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Vinyl	VCT	100	3.25	3.25	Decent to good condition. FACS is in ok condition.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
SCIENCE ROOM D.2 Floor Finish			Total	3.25	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Painted	75	3.00	2.25	Areas in need of repair/repaint.
D.3_Gypsum	Wallcovering	25	3.75	0.94	Minor areas in need of repair.
<select or leave blank>					
<select or leave blank>					
SCIENCE ROOM D.3 Wall Finish			Total	3.19	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	4.00	4.00	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
SCIENCE ROOM D.4 Ceiling Finish			Total	4.00	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	10	4.00	4.00	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
SCIENCE ROOM D.5 Doors/Borrowed Lites			Total	4.00	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Markerboard	Unlined	40	4.00	1.60	
D.6_Tackboard		60	4.00	2.40	
<select or leave blank>					
Visual Display Boards			Subtotal	4.00	
D.6_Casework	PLAM	55	4.00	2.20	Most casework is in good condition.
D.6_Countertops	Resin (Epoxy/Phenolic)	15	3.75	0.56	Same as casework with a few exceptions of wear.
D.6_Casework	Metal	20	4.00	0.80	Most casework is in good condition.
D.6_Countertops	Metal	10	3.75	0.38	Same as casework with a few exceptions of wear.
Casework/Countertops			Subtotal	3.94	
D.6_Lockers					N/A.
D.6_Water				5.00	
D.6_Gas/Air				4.00	
D.6_Hood(s)				4.00	
D.6_Eyewash/Shower				4.00	
D.6_Flammable Cabinet				3.75	
D.6_General Storage				5.00	
SCIENCE ROOM D.6 Fixed Equipment			Total	4.21	



# Condition Assessments

## Barker Middle School Building Interiors Environment

**Stairs:**

- Existing building is single-story with no building stairs present.
- Existing stairs are limited to stage stairs or risers with media center and classrooms. See other sections for any needs noted.

**Priority Items:**

- a. None currently.

**Corridors:**

- Corridors are approximately 10’-0” to 12’-0” wide throughout the building with recessed doorways exiting rooms. Corridors have retractable metal gates that can be utilized to block access to certain parts of the school after hours. Floor, wall, and ceiling finish materials are in good to above-average condition throughout. Materials have been well maintained. Lockers are in good condition overall.

- Wayfinding signage throughout the building is minimal to none. The building layout does not necessarily require wayfinding signage, although it could be beneficial. Room signage is generally present but not fully ADA compliant.

- Interior doors throughout the building are typically stained wood veneer door in decent condition. Remaining doors are aluminum and in good condition. Door hardware throughout is ADA compliant.

**Priority Items:**

- a. Existing terrazzo is in great condition. Regular maintenance should continue.
- b. Existing square tile in the commons area is in great condition. However, grout and tile need to be cleaned and resealed.
- c. Existing corridor wall finishes are typically either painted gypsum or wallcovering. Painted gypsum should have pinholes filled and be repainted. Some areas of wallcovering are peeling and should be repaired or replaced. Other areas are in good condition, requiring no action.
- d. Existing corridor ceiling finishes are typically gypsum bulkheads (generally at bulkheads) or suspended acoustic ceiling system. Painted gypsum areas should be repainted.

Some ceiling tiles do show staining or damage and need to be replaced.

- e. Locker materials are in great condition. However, lockers are due for repainting due to wear.

- f. Wayfinding signage is not required but is recommended. Room signage should be replaced with fully ADA compliant signage that includes braille.

- g. Interior doors to be refinished/repainted as needed due to some wear.

**Classrooms:**

- Existing classrooms are approximately between 920 SF and 1,215 SF in size. Storage casework typically runs along the corridor wall and open shelving casework runs along the exterior wall. A dedicated teaching wall is located along one of the shared classroom walls. Markerboards and tackboards are in great condition. Floor, wall, and ceiling finish materials are in good condition. Some materials though need repair or replacement. Doors are stained wood veneer and hardware is ADA compliant. Room signage is not fully ADA compliant.

**Priority Items:**

- a. Existing classroom flooring materials include broadloom carpet and VCT. Both materials still have years of life left, but they are beginning to show age and wear. Some carpet has visible water staining. Consideration should be given to full replacement.
- b. Existing classroom wall materials include painted gypsum and wallcovering. Painted gypsum needs to be patched in some areas. All walls should be repainted. Some areas of wallcovering are peeling and should be repaired or replaced. Other areas are in good condition, requiring no action.
- c. Existing suspended acoustical ceiling tile systems are in above-average condition. Some tiles do show staining or damage and need to be replaced.
- d. Existing casework and countertops are either metal or wood. Most casework is in good condition though there is visible evidence of wear. Some laminate counters have peeling edges that need to be repaired. Casework and countertops should need repairs only.

- e. Room signage should be replaced with fully ADA compliant signage that includes braille.

- f. Interior doors to be refinished/repainted as needed due to some wear.

**Restrooms:**

- Single-hole and group restrooms throughout the building appear to be ADA compliant with the exception of the gym locker room restrooms and are in good physical condition generally with flooring refinishing, wall repair and refinishing, and some ceiling replacement needs, and restroom accessory replacement needs.

**Priority Items:**

- a. Restrooms in the gymnasium locker rooms need to be modified to be ADA compliant.
- b. All restrooms need finish material renovations throughout, although suspended acoustical tile ceilings appear to be in good condition. Priority would be given to group restrooms located in three pairs/groupings throughout the building, followed by classroom connected restrooms at two locations with typical single-hole restrooms, followed by gymnasium connected and administrative restrooms comprising another three pairs/groupings and four stand-alone typical single-hole restrooms throughout the building. Material renovations include cleaning and resealing mosaic floor tiling and grout, repainting masonry walls, patching and repainting gypsum board walls, and replacing stained or damaged acoustical ceiling tiles. Room signage should be replaced with fully ADA compliant signage that includes braille.

**Ancillary Spaces:**

- Existing science classrooms are approximately 1,430 – 1,655 SF including science prep/storage space. Science classrooms have low casework along the exterior wall, a dedicated teaching wall along the shared wall, casework along the corridor wall, and fixed casework with resin tops spaced around the perimeter. Flooring, wall, and ceiling finish materials are all in good condition with some minor repair or replacement needs. Casework and countertops are in good condition

with some minor repair needs. Specialty science equipment including water, gas/air, exhaust hoods, eyewash/shower, flammable cabinet, and general storage all show some wear but are in great condition overall. Doors are stained wood veneer and hardware is ADA compliant. Room signage is not fully ADA compliant.

- Existing art classroom is approximately 1,500 SF with an additional 250 SF room for storage and kiln. Classroom has a multitude of storage casework around the room with sink locations and a dedicated teaching wall. The storage and kiln room has been divided for use by another classroom limiting storage. Flooring, wall, and ceiling finish materials are all in good condition with some minor repair or replacement needs. Casework and countertops are in good condition with some moderate repair needs, though still functional. Specialty equipment including sinks/plaster traps and worktables are in good condition, although no sink is ADA compliant. Kiln has working dedicated exhaust, however, room needs to be adequately divided with a permanent wall. Storage options should be added once permanent wall is installed. Doors are stained wood veneer and hardware is ADA compliant. Room signage is not fully ADA compliant.

- Existing music rooms include an approximately 1,500 SF band room and an approximately 926 SF choral room with 640 SF of storage space, private practice rooms, and office space. Visual display boards are in good condition, though tackboards are showing wear and additional tackboards may be beneficial. Lined markerboards may also be beneficial. Flooring, wall, and ceiling finish materials are all in good condition with some minor repair or replacement needs. Casework is in good condition with some minor repair needs. Doors are stained wood veneer and hardware is ADA compliant. Room signage is not fully ADA compliant. Additional room signage could be beneficial.

- Existing gymnasium is approximately 7,675 SF with an additional 1,300 SF of storage, office, and locker room space. Floor, wall, and ceiling finish conditions vary throughout. Wall pads in the gymnasium are in need of replacement. Divider wall is functional but in rough condition overall. Bleachers are in great condition but showing a little wear. Doors are stained wood veneer and hardware is ADA compliant. Room signage is not fully ADA compliant.

- Existing cafeteria is approximately 2,800 SF with associated kitchen functions, storage, and serving lines occupying another approximately 2,555 SF. Layout and size appear functional and

appropriate for needs. Dining area also has an approximately 618 SF stage/platform with storage. Floor, wall, and ceiling finish conditions are in need of repair or replacement. Kitchen equipment is in great condition and appears adequate for needs. Doors are stained wood veneer and hardware is ADA compliant. ADA compliant room signage is recommended to be added.

- Existing media center is approximately 3,230 SF with an additional 1,100 SF of storage, office, and workroom space. Media center appears to be adequately sized and functional. Floor, wall, and ceiling finish conditions have been well maintained and require minimal repair. Doors are stained wood veneer and hardware is ADA compliant. Room signage is not fully ADA compliant.

- Existing administration area is approximately 3,360 SF. Visual display boards are in good condition but showing wear. Flooring, wall, and ceiling finish materials are all in good condition with some minor repair or replacement needs. Casework and countertops are in good condition with some minor repair needs. Doors are stained wood veneer and hardware is ADA compliant. Room signage is not fully ADA compliant.

**Priority Items:**

a. Existing science VCT flooring is in good condition and has several years of life left. Regular cleaning and maintenance should continue. Painted gypsum board walls need patching and repair prior to repainting. Wallcovering is in above-average condition and only requires minor repair in some areas. Suspended acoustical tile ceiling system is in above-average condition. Some tiles do show staining or damage and need to be replaced. Visual display boards are in great condition. Metal casework is in good condition with no action required. Plastic laminate casework, metal countertops, and resin countertops need some minor repair due to wear. Room signage should be replaced with fully ADA compliant signage that includes braille. Interior doors to be refinished/repainted as needed due to some wear.

b. Existing art classroom VCT flooring is in good condition and has several years of life left. Flooring is in worse shape and showing more wear than other rooms. Regular cleaning and maintenance should continue if replacement is not considered at this time. Painted gypsum board walls need patching and repair prior to repainting. Wallcovering is in good condition

and requires repair in some areas. Suspended acoustical tile ceiling system is in above-average condition. Some tiles do show staining or damage and need to be replaced. Storage room needs permanent wall added to divide space for other classroom to use. Additional shelving would be beneficial. At least one sink in the classroom space should be altered to be ADA compliant. Visual display boards are in good condition, although additional tackboards may be beneficial. Plastic laminate casework and countertops need moderate repair due to wear. Room signage should be replaced with fully ADA compliant signage that includes braille. Interior doors to be refinished/repainted as needed due to some wear.

c. Existing music room carpet tile flooring is in great condition and has several years of life left. Wallcovering is in good. Some areas can be repaired while a few areas will need to be replaced due to substantial peeling. Suspended acoustical tile ceiling system is in above-average condition. Some tiles do show staining or damage and need to be replaced. Owner should consult with staff on visual display board needs. Plastic laminate casework needs some minor repair due to wear. Room signage should be replaced with fully ADA compliant signage that includes braille. Additional room signage should be considered. Interior doors to be refinished/repainted as needed due to some wear.

d. Existing gymnasium hardwood flooring is in great condition with only continued regular cleaning and maintenance needed at this time. Terrazzo flooring is in good condition though proper refinishing should be considered. Epoxy flooring in the locker rooms and showers is in poor condition and should be removed and reapplied. Painted CMU and painted gypsum board walls are both in need of repair and repainting. See restrooms section for additional comments. Exposed painted ceiling and systems need to be cleaned and repainted. Suspended acoustical tile ceiling system is in above-average condition. Some tiles do show staining or damage and need to be replaced. Athletic wall pads are showing wear and should be replaced. Divider wall in gymnasium should be considered for replacement or should be repaired at a minimum due to significant wear. Room signage should be replaced with fully ADA compliant signage that includes braille. Interior doors to be refinished/repainted as needed due to some wear.

e. Existing cafeteria flooring is primarily terrazzo which is in good condition, although some staining is visible. Proper refinishing is recommended. Tile flooring in the kitchen area is generally in good condition but some areas are damaged and

need to be replaced. Grout cleaning is recommended. Stage flooring is VCT and is in good condition. Painted gypsum board needs patching/repair prior to repainting. Wallcovering has some areas in need of minor repair. Suspended acoustical tile ceiling system is approaching end of life and replacement of tiles is recommended. Space could benefit from additional tackboards. Room signage should be added with fully ADA compliant signage that includes braille. Interior doors to be refinished/repainted as needed due to some wear as needed.

f. Media center was not accessible during on-site condition assessment. Recommendations may not cover full extent of needs. Repair allowance for this space is recommended. Existing media center broadloom carpet flooring is in great condition and has several years of life remaining. Continued regular cleaning and maintenance is necessary. Suspended acoustical tile ceiling system appears to be in above-average condition. Some tiles may need to be replaced due to staining or. Interior doors to be refinished/repainted as needed. Room signage should be replaced with fully ADA compliant signage that includes braille.

g. Existing administration carpet tile and VCT flooring are in good condition. Carpet tiles have a few years of life left but are beginning to show wear. VCT flooring only needs continued regular cleaning and maintenance. Painted gypsum board needs patching/repair prior to repainting. Wallcovering has some areas in need of minor repair. Suspended acoustical tile ceiling system is in above-average condition. Some tiles do show staining or damage and need to be replaced. Plastic laminate casework and countertops need minor repair due to wear. Visual display boards may last a few more years but do appear well used and replacement should be considered. Room signage should be replaced with fully ADA compliant signage that includes braille. Interior doors to be refinished/repainted as needed due to some wear.

# Condition Assessments

Barker Middle School Mechanical System

SUMMARY OF ENTIRE MECHANICAL SYSTEM					
Category		Subscore	Areas	Score	General Comments
E.2 Building HVAC System		2.79	1	2.79	
E.3 Building Temperature Controls		2.00	1	2.00	

MECHANICAL SYSTEM					
E.2 Building HVAC System	Type			Score	Comments/Remarks
E.2_Central Heating System	Boilers			3.00	From 2003 Bryan boilers.
E.2_Central Heating System	Heating Pumps			3.00	
E.2_Central Heating System	Air Handling Units			2.50	(2) old gym units #1. (1) café #3. (4) library AHU #3 not seen sin...
Central Heating System		Subtotal		2.83	
E.2_Cooling System	Chiller			2.00	From 2003.
E.2_Cooling System	Cooling Tower				
E.2_Cooling System	Chilled Water Pumps			3.00	From 2003.
E.2_Cooling System	Condensing Units				
Cooling System		Subtotal		2.50	
E.2_Equipment	Cabinet/Supplemental Heaters				
E.2_Equipment	Fan Coil Units				
E.2_Equipment	Fans				
E.2_Equipment	PTAC Units				
E.2_Equipment	Unit Ventilators			2.50	From 2003.
E.2_Equipment	Variable Air Volume Terminals				
Equipment		Subtotal		2.50	
E.2_General	Ductwork			3.00	
E.2_General	Louvers/Exhaust Vents			4.00	
E.2_General	Piping			3.00	
General		Subtotal		3.33	
MECHANICAL SYSTEM E.2 Building HVAC System		Total		2.79	
E.3 Building Temperature Controls	Type			Score	Comments/Remarks
E.3_Temperature Controls				2.00	Trane controls all electronic. Comm issues. Wants new controls...
MECHANICAL SYSTEM E.3 Building Temperature Controls		Total		2.00	

# Condition Assessments

Barker Middle School Plumbing System

SUMMARY OF ENTIRE PLUMBING SYSTEM					
Category		Subscore	Areas	Score	General Comments
E.1 Building Plumbing System		3.09	1	3.09	

PLUMBING SYSTEM					
E.1 Building Plumbing System	Type			Score	Comments/Remarks
E.1_Plumbing Fixtures	Water Closets			3.00	
E.1_Plumbing Fixtures	Lavatories			3.00	
E.1_Plumbing Fixtures	Drinking Fountains			3.00	1 old to 1 new.
E.1_Plumbing Fixtures	Showers			3.00	
E.1_Plumbing Fixtures	Dishwashing			4.00	
Plumbing Fixtures		Subtotal		3.20	
E.1_Central Equipment	Hot Water Heating			4.00	From 2017.
E.1_Central Equipment	Water Softener			3.00	
E.1_Central Equipment	Pumps			3.00	
Central Equipment		Subtotal		3.33	
E.1_Water_Service	City			3.00	
E.1_Water Service	Domestic Piping			3.00	
Water Service		Subtotal		3.00	
E.1_Sewage_System	City			3.00	
E.1_Sewage System	Piping			3.00	
Sewage System		Subtotal		3.00	
E.1_Gas Service				3.00	
E.1_Fire Suppression				3.00	
PLUMBING SYSTEM E.1 Building Plumbing System		Total		3.09	

Condition Assessments

Barker Middle School Electrical System

SUMMARY OF ENTIRE ELECTRICAL SYSTEM					
Category		Subscore	Areas	Score	General Comments
E.4 Building Electrical System		3.83	1	3.83	
E.5 Building Lighting		3.63	1	3.63	

ELECTRICAL SYSTEM					
E.4 Building Electrical System	Type			Score	Comments/Remarks
E.4_Incoming Service	Size			5.00	GE Spectra 2500A 450V, 600A Disc for solar.
E.4_Incoming Service	Condition			4.00	
E.4_Incoming Service	Generator			1.00	None.
Incoming Service		Subtotal		3.33	
E.4_Distribution				4.00	
E.4_Smoke Detection				4.00	
E.4_Fire Alarm System	Annunciator Panel			4.00	
E.4_Fire Alarm System	Fire Alarm Devices			4.00	Simplex4010ES.
Fire Alarm System		Subtotal		4.00	
ELECTRICAL SYSTEM E.4 Building Electrical System			Total	3.83	
E.5 Building Lighting	Type			Score	Comments/Remarks
E.5_Interior Lighting	Administration				
E.5_Interior Lighting	Corridors/Common			4.00	Flat panel LED.
E.5_Interior Lighting	Classrooms/Science			4.00	Flat panel LED, no Dimming, No occ. Sensors.
E.5_Interior Lighting	Art/Music/Auditorium				
E.5_Interior Lighting	Gymnasium/Natatorium			5.00	New LED & occ. Sensors.
E.5_Interior Lighting	Cafeteria/Kitchen			4.00	Flat Panel LED.
E.5_Interior Lighting	Restrooms				
Interior Lighting		Subtotal		4.25	
E.5_Exterior Lighting	Building Entries			4.00	
E.5_Exterior Lighting	Parking Lots/Drives			3.00	
E.5_Exterior Lighting	Athletic/Play Fields			2.00	None.
Exterior Lighting		Subtotal		3.00	
ELECTRICAL SYSTEM E.4 Building Electrical System E.5 Building Lighti			Total	3.63	

Condition Assessments

Barker Middle School Technology

SUMMARY OF ALL TECHNOLOGY					
Category		Subscore	Areas	Score	General Comments
E.6 Building Technology		4.11	1	4.11	

TECHNOLOGY					
E.6 Building Technology	Type			Score	Comments/Remarks
E.6_Data Distribution	Incoming			5.00	
E.6_Data Distribution	Cable Type			5.00	CAT 5E & 6.
E.6_Data Distribution	Fiber			5.00	12st. MM to IDF's.
E.6_Data Distribution	Wireless			5.00	In classroom.
Data Distribution		Subtotal		5.00	
E.6_Classroom Technology	Teacher				
E.6_Classroom Technology	Monitors			4.00	Samsung 55" monitor, docking station.
E.6_Classroom Technology	Smartboards				
E.6_Classroom Technology	Projection				
Data Distribution		Subtotal		4.00	
E.6_Communications	Intercom/PA			2.00	Dukane MCS350.
E.6_Sound Systems	Gymnasium/Natatorium			4.00	Box speakers.
E.6_Sound Systems	S.R.			4.00	Phonak Roger w/ Lanyard (Digimeter 5000).
Sound Systems		Subtotal		3.33	
TECHNOLOGY E.6 Building Technology			Total	4.11	



# Condition Assessments

## Barker Middle School Building Systems Summary

### Mechanical:

#### Heating plant

- Building comfort heating is provided by two gas-fired boilers which appear and were reported to be in relatively fair operating condition.
  - o Currently, there are no reported issues or concerns for the continued use of these boilers; therefore, it is reasonable to expect successful continued use of the existing heating system until symptoms providing a reason for replacement manifest.
- Building heating hot water circulation is provided by two constant volume end-suction pumps mounted in parallel.

#### Cooling plant:

- Building comfort cooling is provided by an outdoor air-cooled chiller. The chiller appeared to be in fair to poor working condition.
- Building chilled water circulation is provided by two primary end-suction pump mounted in parallel.

#### Classroom HVAC and associated Systems:

- Each classroom in the building is equipped with a unit ventilator that provides conditioned air to the space. These UV were added during the 2002 renovation project.

#### Air-Handler Plants and Systems:

- There are three existing constant-speed air-handlers suspended from the gymnasium structure that were added during the 2002 renovation.
  - o The air-handlers appeared in fair condition.
- There are several existing blower coil units located throughout the building that are located in a plenum space near the room they serve that were added during the 2002 renovation.
  - o The blower coil units were reported to be in fair condition.

- There are four existing fan coil units located throughout the building in the plenum spaces above the rooms they serve that were added during the 2002 renovation.
  - o The fan coil units were reported to be in fair condition.

#### Building Temperature Control System:

- The building’s temperature control system is managed by Trane. Owner reported that they are interested in replacing the existing temperature controls throughout the entire building to a Tridium Niagara framework.

#### Priority Items:

- a. The existing unit ventilators in all classrooms will be removed and replaced with new vertical unit ventilators (VUV).
- a. For budget consideration, include 37 vertical unit ventilators and 148 ceiling mounted supply-air diffusers with flexible duct connectors and 37 ceiling mounted relief-air grilles.
- b. The existing blower coil units will be removed and replaced.
  - a. For budget consideration, include 20 blower coil units.
- c. The existing fan coil units will be removed and replaced.
  - a. For budget consideration, include 4 fan coil units with a chilled water coil and one DX fan coil unit with a remote condensing unit (15 MBH).
  - d. The existing temperature control system, include all hydronic valves, actuators, etc. throughout the building should be removed and replaced.
  - e. The existing air handling units are in fair condition. These units probably have another ten years of useful life.
    - a. Provide an alternate price to replace both units and an alternate price to replace coils in each unit. For budget consideration, include 1 x 4650 CFM modular indoor air-handler with hydronic chilled water (40 GPM) and hydronic heating coil (15 GPM), & 2 x 7500 CFM modular indoor air-handler with hydronic chilled water (60 GPM) and hydronic heating coil (20 GPM).
  - f. The existing chiller should be removed and replaced.
    - a. For budget consideration, include 250-ton air-cooled chiller.

- g. The existing chiller water circulation pumps should be removed and replaced.
  - a. For budget consideration, include 2 x 300-GPM; 15 HP end suction pumps with VFDs, a new air/dirt separator, and a new chemical feeder.
  - h. All existing cabinet unit heaters, exhaust fans, etc. shall be removed and replaced.
    - a. For budget consideration, include 20 cabinet unit heaters.
    - b. For budget consideration, include 12 convectors.
    - c. For budget consideration, include 36 exhaust fans and 80 ceiling mounted exhaust-air grilles.

#### Plumbing:

- The domestic system is served by a gas fired boiler. The boiler looked to be in good to fair condition. There is a water softener.
- The existing domestic, sanitary and vent piping throughout the building look to be in fair condition and were reported to be in relatively good to fair operating condition.
- The existing restrooms throughout the building look to be in fair to good physical condition.

#### Priority Items:

- a. All drinking fountains in area being renovated shall be replaced and upgraded to current ADA compliant standards. The existing domestic water, sanity and vent connections shall be reused.

#### Fire protection:

- A fire sprinkler system was present in the existing building. It looks to be in decent condition.

#### Electrical:

##### Electrical Distribution system

- The original GE Spectra series switchboards (480 and 208) appear to be in good condition. A solar field south of the building was added to offset utility demands. There are no shunt trips on cooking equipment under the hoods.

#### Fire Alarm

- The existing Simplex 4010ES panel is in good condition.

#### Lighting

- Lighting in common spaces includes flat panel LED. Classrooms consist of flat panel LEDs. The classroom lighting does not have dimming capabilities nor are occupancy sensors installed to turn off lighting when the room is not in use. The gymnasium has new LED fixtures and occupancy sensors. The cafeteria has new flat panel LED fixtures. The exterior pole lighting is original and consists of center spider mounted type heads. These should be replaced in the near future due to age and condition. Exterior building mounted lighting should be upgraded to LED.

#### Technology:

##### Data cabling and distribution

- Building has single mode fiber from administration data center. Most cabling is Category 5e and Category 6. Building has Ruckus wireless access points, one for every two classrooms per district IT standard.

##### Teaching technology equipment

- Classrooms include 55” Samsung monitors. Existing equipment is in good condition.

##### Paging / intercom equipment

- Existing paging / intercom system is a Dukane MCS350 paging system that is obsolete and should be replaced. Dukane parts are no longer readily available. It is possible that the existing speakers and wiring may be reused depending on existing condition review with Owner.

##### Visitor entry system

- The existing visitor entry system is audio only with a standalone non-recording camera. This equipment should be replaced with a videophone type system similar to other buildings in the district.

#### Priority Items:

- a. Replace paging / intercom head-end equipment.
- b. Replace visitor entry system.



Condition Assessments

Barker Middle School Interior Floorplan

Condition Assessments

Barker Middle School Preliminary Cost Estimate



Bid Sort 2	System L1	System L2	Description	Takeoff Quantity	Grand Total Price	Grand Total Amount
			Conceptual Estimate			
			Construction Cost			
10			Building			
	B2000		Exterior Enclosure			
		B20 0792	Exterior Sealants	2,000 lf	30.25 /lf	60,500
		B20 4224	Ext Wall Finish, Brick, Clean	35,000 sf	1.51 /sf	52,937
			B2000 Exterior Enclosure	110,700 sf	1.02 /sf	113,437
	B3000		Roofing			
		B30 7552	Membrane Roofing, Remove/Replace to Deck	110,700 sf	35.09 /sf	3,884,464
			B3000 Roofing	110,700 sf	35.09 /sf	3,884,464
	D6000		Technology			
		D60 6330	Access Control System	110,700 sf	1.21 /sf	133,947
			D6000 Technology	110,700 sf	1.21 /sf	133,947
	Z1012		Functional Area Costs			
		xRHCr	Renovation, Heavy, Classroom	1,000 sf	317.63 /sf	317,625
		xRHLR	Renovation, Heavy, Locker Room	2,000 sf	726.00 /sf	1,452,000
		xRHPA	Renovation, Heavy, Performing Arts	400 sf	363.00 /sf	145,200
		xRHStor	Renovation, Heavy, Storage	550 sf	340.31 /sf	187,172
		xRLCorr	Renovation, Light, Corridor	20,700 sf	181.50 /sf	3,757,050
		xRLCr	Renovation, Light, Classrooms	19,300 sf	105.88 /sf	2,043,388
		xRLKit	Renovation, Light, Kitchen	3,100 sf	133.10 /sf	412,610
		xRLLng	Renovation, Light, Lounge	600 sf	84.70 /sf	50,820
		xRLOff	Renovation, Light, Office	5,300 sf	90.75 /sf	480,975
		xRLPA	Renovation, Light, Performing Arts	4,000 sf	121.00 /sf	484,000
		xRLRec	Renovation, Light, Receiving	700 sf	75.63 /sf	52,938
		xRLRR	Renovation, Light, Restrooms	1,200 sf	215.53 /sf	258,638
		xRLStor	Renovation, Light, Storage	6,000 sf	113.44 /sf	680,625
		xRLVest	Renovation, Light, Vestibule	1,000 sf	136.13 /sf	136,125
		xRMCafe	Renovation, Medium, Cafeteria	4,000 sf	363.00 /sf	1,452,000
		xRMCr	Renovation, Medium, Classrooms	26,000 sf	211.75 /sf	5,505,500
		xRMGym	Renovation, Medium, Gym	9,100 sf	242.00 /sf	2,202,200
		xRMMedC	Renovaiton, Medium, Media Center	6,300 sf	242.00 /sf	1,524,600
		xRMRR	Renovation, Medium, Restrooms	3,500 sf	638.88 /sf	2,236,080
			Z1012 Functional Area Costs	110,700 sf	211.20 /sf	23,379,544
			10 Building	110,700 sf	248.52 /sf	27,511,392
20			Site			
	G2000		Exterior Improvements			
		G20 0012	New Restroom/Concession Building	2,500 sf	726.00 /sf	1,815,000
		G20 1060	Asphalt Seal/Restripe	12,230 sy	3.31 /sy	40,519
		G20 2102	Mow Strip	2,200 sf	29.62 /sf	65,166
		G20 3112	Athletic Fencing, Repair	1,000 lf	12.10 /lf	12,100
		G20 3114	Gates at Roadways	4 ea	12,100.00 /ea	48,400
		G20 3412	Site Furnishings, Directional Signage Allowance	1 allow	18,150.00 /allow	18,150
		G20 4212	Tree Maintenance Allowance	1 allow	121,000.00 /allow	121,000
		G20 4402	Segmental Retaining Walls, Repair	1,620 sf	20.46 /sf	33,141



Barker Middle School - Interior Condition Assessment

# Condition Assessments

## Krueger Middle School

## Condition Assessments

### Krueger Middle School Summary

Michigan City Area Schools	
Building:	Krueger Middle School
Building Area:	110,007
Site Acreage:	46.55
Enrollment Capacity:	
Current Enrollment:	333
Construction	Construction Type
1963	Original Construction
See Bldg. Area Plan	Additions and Renovations

Condition Assessment Legend	
Building Scoring Matrix	Category Scoring Matrix
100: Excellent	5: No Work Needed
99 - 80: Good	4: Minor Work Needed
79 - 60: Average	3: Moderate Work Needed
59 - 40: Fair	2: Major Work Needed
Below 40: Poor	1: None/Replacement Needed

Condition Assessment	Score
<b>A SITE CIRCULATION AND AMENITIES</b>	
A.1 Separation/Drop-off/Stacking	4.38
A.2 Drives/Lots and Walks	3.25
A.3 Site Improvements	2.82
<b>B SAFETY AND SECURITY</b>	
B.1 Secure Building Access	4.50
B.2 Surveillance/Cameras	4.50
<b>C BUILDING ENVELOPE</b>	
C.1 Building Roof	2.00
C.2 Exterior Building Walls	3.90
C.3 Exterior Doors/Windows	3.90
<b>D BUILDING INTERIOR ENVIRONMENT</b>	
D.1 ADA/Accessibility	4.00
D.2 Floors	3.73
D.3 Walls	2.98
D.4 Ceilings	3.71
D.5 Doors/Borrowed Lites	4.00
D.6 Fixed Equipment	3.55
<b>E BUILDING SYSTEMS</b>	
E.1 Building Plumbing System	3.09
E.2 Building HVAC System	2.79
E.3 Building Temperature Controls	3.00
E.4 Building Electrical System	3.83
E.5 Building Lighting	3.46
E.6 Building Technology	3.61
<b>CONDITION ASSESSMENT AVERAGE SCORE</b>	<b>3.55</b>
<b>CONDITION ASSESSMENT GRADE</b>	<b>71.00</b>

# Condition Assessments

## Krueger Middle School Expanded Summary

Michigan City Area Schools	
Building:	Krueger Middle School
Building Area:	110,007
Site Acreage:	46.55
Enrollment Capacity:	
Current Enrollment:	333
Construction	Construction Type
1963	Original Construction
See Bldg. Area Plan	Additions and Renovations

Condition Assessment Legend	
Building Scoring Matrix	Category Scoring Matrix
100: Excellent	5: No Work Needed
99 - 80: Good	4: Minor Work Needed
79 - 60: Average	3: Moderate Work Needed
59 - 40: Fair	2: Major Work Needed
Below 40: Poor	1: None/Replacement Needed

Condition Assessment	Score
<b>A SITE CIRCULATION AND AMENITIES</b>	
A.1 Separation/Drop-off/Stacking	4.38
A.2 Drives/Lots and Walks	3.25
A.3 Site Improvements	2.82
<b>B SAFETY AND SECURITY</b>	
B.1 Secure Building Access	4.50
B.2 Surveillance/Cameras	4.50
<b>C BUILDING ENVELOPE</b>	
C.1 Building Roof	2.00
C.2 Exterior Building Walls	3.90
C.3 Exterior Doors/Windows	3.90
<b>D BUILDING INTERIOR ENVIRONMENT</b>	
D.1 ADA/Accessibility	4.00
Administration	3.63
Corridors/Common	4.25
Classrooms/Science	4.06
Art/Music/Auditorium	3.81
Gymnasium/Natorium	4.25
Cafeteria/Kitchen	4.25
Restrooms/Locker Rooms	3.75
D.2 Floors	3.73
Administration	3.73
Corridors/Common	4.23
Classrooms/Science	3.38
Art/Music/Auditorium	3.13
Gymnasium/Natorium	4.25
Cafeteria/Kitchen	3.69
Restrooms/Locker Rooms	3.75
D.3 Walls	2.98
Administration	3.75
Corridors/Common	3.19
Classrooms/Science	3.16
Art/Music/Auditorium	2.45
Gymnasium/Natorium	2.75
Cafeteria/Kitchen	3.05
Restrooms/Locker Rooms	2.50
D.4 Ceilings	3.71
Administration	4.25
Corridors/Common	4.00
Classrooms/Science	4.00
Art/Music/Auditorium	3.50
Gymnasium/Natorium	4.00
Cafeteria/Kitchen	3.00
Restrooms/Locker Rooms	3.25
D.5 Doors/Borrowed Lites	4.00
Administration	4.00
Corridors/Common	4.00
Classrooms/Science	4.00
Art/Music/Auditorium	4.00
Gymnasium/Natorium	4.00
Cafeteria/Kitchen	4.00
Restrooms/Locker Rooms	4.00
D.6 Fixed Equipment	3.55
Administration	3.30
Corridors/Common	3.63
Classrooms/Science	4.09
Art/Music/Auditorium	3.65
Gymnasium/Natorium	3.60
Cafeteria/Kitchen	3.71
Restrooms/Locker Rooms	2.86
<b>E BUILDING SYSTEMS</b>	
E.1 Building Plumbing System	3.09
E.2 Building HVAC System	2.79
E.3 Building Temperature Controls	3.00
E.4 Building Electrical System	3.83
E.5 Building Lighting	3.46
E.6 Building Technology	3.61
CONDITION ASSESSMENT AVERAGE SCORE	3.55
CONDITION ASSESSMENT GRADE	71.00

# Condition Assessments

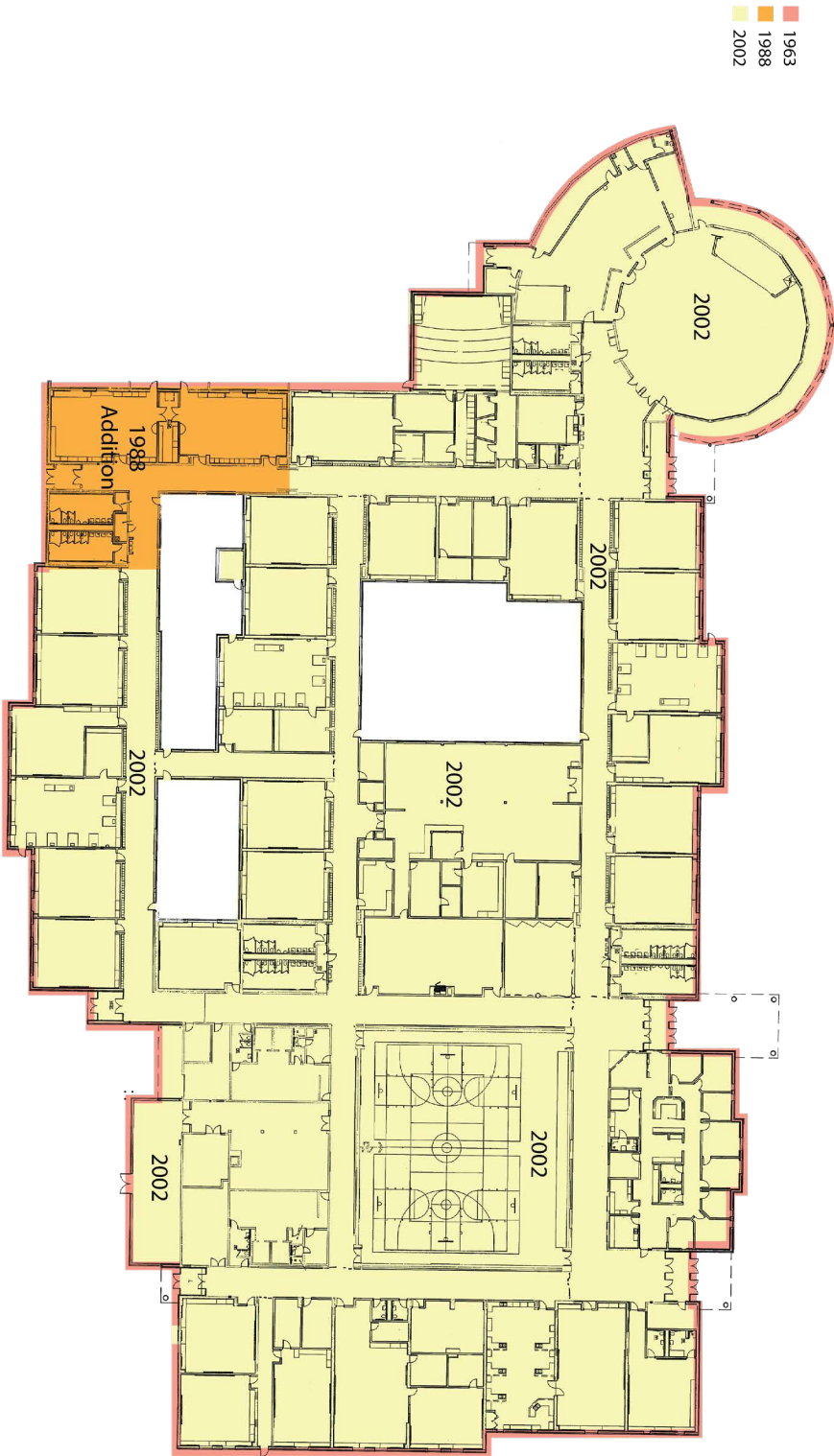
## Krueger Middle Code Analysis

### Code Analysis:

- The Building Occupancy is Group E – Educational.
    - o Allowable area per code is 14,500 SF. Allowable area will be increased utilizing a sprinkler increase. Frontage increase possible dependent on public way or open space at perimeter of building.
    - o The overall square footage is 110,007 SF.
  - The Building Type of Construction is Type II-B Unprotected Non-Combustible.
    - o Original construction in 1963.
    - o Sewer improvement in 1964.
    - o Partial Roof Replacement in 1981.
    - o Addition, renovation, and partial roof replacement in 1988.
      - Based on the 1985 Edition of the Uniform Building Code – Indiana Edition.
    - o Locker replacement in 1995.
    - o Technology upgrade in 1995.
    - o Addition construction in 2002.
    - o Technology upgrade in 2004.
  - The existing Building is equipped with a fire suppression system throughout.
- Priority Items:**
- a. NOTE: All non-compliant building code items are grandfathered, however, if any item or area is renovated, new work is required to meet current building code.

Condition Assessments

Krueger Middle School Era Floorplan



Condition Assessments

Krueger Middle School Site

SUMMARY OF ENTIRE SITE					
Category		Subscore	Regions	Score	General Comments
A.1 Separation/Drop-off/Stacking		4.38	1	4.38	
A.2 Drives/Lots and Walks		3.25	1	3.25	
A.3 Site Improvements		2.82	1	2.82	

SITE					
A.1 Separation/Drop-off/Stacking					
A.1 Identifiable Main Entry				Score	Comments/Remarks
A.1 Identifiable Main Entry				4.00	Architecturally, the main entrance is very well defined. Addition
A.1 ADA Accessibility	Type	Compliant		Score	Comments/Remarks
A.1 ADA Accessibility	Route	TRUE		4.00	Depends on the spot identified.
A.1 ADA Accessibility	Door	TRUE		5.00	
A.1 Parking Space Allocation	Type	Compliant	Quantity	Score	Comments/Remarks
A.1 Parking Space Allocation	Visitor		47.00	5.00	No visitor parking requirement.
A.1 Parking Space Allocation	Staff		50.00	5.00	43 employees. Requirement is 1 space for each employee.
A.1 Parking Space Allocation	Accessible	TRUE	8.00	4.00	2 for visitor and 4 for staff. Requirement is 1 per 25 or 2% whe
A.1 Site Circulation	Type			Score	Comments/Remarks
A.1 Emergency/Fire Service Access				5.00	School is surrounded by public ways. N, E, S, W have paved acc
A.1 Bus/Vehicular	Separation			4.00	
A.1 Bus/Vehicular	Signage			4.00	Additional signage at street would add clarity.
A.1 Bus Drop-off/Pick-up	Route Clarity/Safety			3.00	Additional signage at street would add clarity. Assumption from
A.1 Bus Drop-off/Pick-up	Adequate Stacking			5.00	
A.1 Car Drop-off/Pick-up	Pedestrian Safety			4.00	
A.1 Car Drop-off/Pick-up	Adequate Stacking			4.00	
A.1 Car Drop-off/Pick-up	Traffic Pattern			5.00	
A.1 Delivery Routing	Separation			5.00	
A.1 Delivery Routing	Loading Dock			4.00	
SITE A.1 Separation/Drop-off/Stacking			Total	4.38	
A.2 Drives/Lots and Walks	Type	%	Subscore	Score	Comments/Remarks
A.2 Sidewalks	Concrete	100	4.00	4.00	No significant heaving, only minor cracks. General maintenanc
A.2 Sidewalks					
A.2 Sidewalks					
		Sidewalks	Subtotal	4.00	
A.2 Drives	Asphalt	100	3.00	3.00	Overall decent shape, due for general maintenance and seal co
A.2 Drives					
A.2 Drives					
		Drives	Subtotal	3.00	
A.2 Parking_Lots	Asphalt	100	3.00	3.00	Seal coat and new traffic markings would increase visibility.
A.2 Parking_Lots					
A.2 Parking_Lots					
		Parking Lots	Subtotal	3.00	
A.2 Drives/Parking Lots	Traffic Markings/Striping			3.00	Striping appears newer. Additional traffic lines needed.
SITE A.2 Drives/Lots and Walks			Total	3.25	
A.3 Site Improvements	Type			Score	Comments/Remarks
A.3 Playground(s)	Accessibility			3.00	Access to tennis courts is hindered by curb.
A.3 Playground(s)	Equipment			2.00	Tennis courts appear sound but in poor condition.
A.3 Playground(s)	Surface			2.00	Tennis court surface is due for recoating/resurfacing.
A.3 Playground(s)	Size			4.00	
		Playground(s)	Subtotal	2.75	No playground at MS. Ratings provided refer to tennis courts.
A.3 Landscaping	Trees			4.00	Site is full of mature trees in good condition. Tree removal need
A.3 Landscaping	Landscaping			4.00	Site contains many nature areas. General maintenance to lands
		Landscaping	Subtotal	4.00	
A.3 Site Drainage	Flood Points			4.00	
A.3 Athletic Fields	Support Buildings			2.00	General building maintainance needed.
A.3 Athletic Fields	Bleachers/Stadium Seating			1.00	Non-existent, field would benefit from providing minimal seati
A.3 Athletic Fields	Athletic/Stadium Lighting			1.00	Non-existent, field would benefit from general area lighting at
A.3 Athletic Fields	Athletic/Stadium Paving			1.00	Non-existent, field would benefit from hard surface area for en
A.3 Athletic Fields	Fencing/Gates			1.00	Non-existent.
A.3 Athletic Fields	Field Conditions			1.00	Field and track are in poor condition.
A.3 Athletic Fields	Scoreboards			1.00	Non-existent, field would benefit from scoreboard.
		Athletic Fields	Subtotal	1.14	
A.3 Site Security	Site Lines			4.00	
A.3 Site Security	Gated/Not Gated			1.00	Not gated.
		Site Security	Subtotal	2.50	
A.3 Fencing	Site			3.00	Site is mostly unfenced. Fencing around solar is in good shape.
A.3 Fencing	Playground(s)			2.00	No playground at MS. Rating provided refers to tennis courts.
		Fencing	Subtotal	2.50	
SITE A.3 Site Improvements			Total	2.82	



# Condition Assessments

## Krueger Middle School Site Summary

### ADA Building Access:

- Accessible parking spots are provided with two in the northwest visitor parking lot, up to two in the bus lot, and two in the northeast parking lot. The bus lot and the staff parking lot on the north side are connected to the main entrance which has an automatic door operator. However, the visitor lot appears to be a decent distance from the main entry and requires visitors to cross two drives in order to access sidewalks. The east and south parking lots access respective entrances neither of which have automatic door operators and sidewalks are very limited.

### Priority Items:

- a. The provided accessible parking spots are above quantity required by code and appear to provide proper clearances and vehicle side access. While marked appropriately on the ground, accessible parking spots should have signs added to insure appropriate visibility of spots. It is unclear why there is an accessible spot in the bus lot.

- b. Curb cuts appear appropriate. Minor maintenance of concrete and cracks should occur regularly, so path remains ADA compliant. Painting the curb cuts and ramps should be considered for increased visibility.

### Drives, Parking, and Sidewalks:

- The site contains multiple parking lots with associated drives and drop-off/pick-up locations. One visitor parking lot along the bus drive is located to the northwest of the building and is assumed to be used as the parent drop-off/pick-up location. The parking lot to the northwest, closest to the building is designated for bus drop-off/pick-up. However, bus spots are split indicating lot is also used for vehicular parking, as well. The staff parking lot to the northeast of the building appears to be for parent drop-off/pick-up. The east and south staff parking lots are accessed by one drive that loops around the building from the northeast staff lot to the northwest bus lot. Drives are not gated.

- Signage to the lots is limited and unclear making navigation difficult.

- Only parking lots on the north side of the building are connected by a semi-limited system of sidewalks.

- The maintenance and loading dock are located southwest of the building and are accessed through the bus lot drive.

### Priority Items:

- a. Parking lots should have additional signage at the street and along drives to make clear proper drop-off/pick-up and parking locations

- b. Parking lots and drive are in good condition, overall. However, lots and drives should have general maintenance and seal coating with new markings for increased visibility of lines and maintaining the integrity of the existing asphalt. Adding additional traffic markings, including directional arrows should be considered for clarity.

- c. Consider adding gates to drives for increased security on the site.

- d. Sidewalks are in great condition with only general joint maintenance required to remove and prevent weeds from joints.

### Landscaping/Site Elements:

- The site is surrounded by mature forest and the site is scattered with a few mature trees in good condition. The property has a decent amount of open green space. There is a wetland/drainage area to the northwest.

- Site lines are generally good.

- Site is mostly unfenced.

- The building contains two landscaped courtyards.

### Priority Items:

- a. Trees on the site, especially ones near drives and roadway, should be trimmed of dead and low hanging limbs. The tree within the track loop should be removed.

- b. Fencing around the tennis courts is in poor condition and does not fully enclose the courts. This fence should be replaced. Fencing around the baseball field and solar array is in good condition. Split-rail fencing is in need of maintenance.

- c. Courtyard landscaping should be trimmed and rehabilitated.

### Playground:

- Not applicable.

### Priority Items:

- a. Not applicable.

### Athletic Fields:

- There are three athletic areas on the property. A track with athletic field in the middle, a baseball field, and tennis courts. Track appears to be cinder material that has numerous weeds, though not uncommon to be in this condition during the off-season. The field is bumpy and in overall poor condition. No bleachers or paving is available for spectators. Field lighting is not present, nor is a scoreboard. See Electrical recommendations for specific lighting recommendations. Existing equipment storage shed near baseball field is severely deteriorated. The tennis courts are in poor condition as the playing surface has several issues. Tennis equipment is aged and worn and due for replacement. ADA access is limited to all athletic areas.

### Priority Items:

- a. Curb cut(s) should be made and additional sidewalk should be added to allow appropriate ADA access to tennis courts.

- b. Tennis court surface and equipment should be replaced.

- c. Serious repairs are necessary for the track and football and baseball fields to provide appropriate access for spectators and improve athlete safety. It is recommended to replace the existing track surface with a modern material with permanent markings. If no meets occur at the site, a small three or four lane track may suffice.

- d. Fields needs to be releveled, reseeded, and regularly maintained.

- e. A small scoreboard should be considered.

- f. Bleachers should be added at track and baseball field. If games or meets occur at the site, bleachers should be provided for home and away spectators. Additionally, paving or designated pathways should be provided. Restroom facilities should also be considered.

- g. Equipment shed at baseball field should be replaced. An additional equipment shed for track and football field should be considered.



# Condition Assessments

Krueger Middle School Safety and Security

SUMMARY OF ALL SAFETY AND SECURITY					
Category		Subscore	Areas	Score	General Comments
B.1 Secure Building Access		4.50	1	4.50	
B.2 Surveillance/Cameras		4.50	1	4.50	

SAFETY AND SECURITY					
B.1 Secure Building Access	Type			Score	Comments/Remarks
B.1_Card/Code/FOBS				5.00	
B.1_Secure_Vestibule	Direct Admin Connection			5.00	
B.1_Secure_Technology	AI Voice/Door Release			4.00	AI voice only entry W/ Local camera.
B.1_Security Officer Station(s)				4.00	
SAFETY AND SECURITY B.1 Secure Building Access			Total	4.50	
B.2 Surveillance/Cameras				Score	Comments/Remarks
B.2_Video Surveillance				5.00	Exaeg. Vision.
B.2_Intrusion Detection				4.00	OE Network NX-4.
SAFETY AND SECURITY B.2 Surveillance/Cameras			Total	4.50	

Secure Visitor Access:

- The existing building has secure vestibule that allows direct access to the administration area. The secure vestibule is accessed via intercom/door release system or fob/door release system with surveillance camera mounted separately overhead. Entrances elsewhere around building have fob/code entry pad systems with all entrances having key access.

Priority Items:

- a. Upgrade to intercom/door release system to include video is recommended.
- b. Expansion of the fob/door release system with surveillance monitoring at all necessary entrances is recommended.

# Condition Assessments

Krueger Middle School Building Envelope and Roof

SUMMARY OF ENTIRE BUILDING ENVELOPE					
Category		Subscore	Areas/Regions	Score	General Comments
C.2 Exterior Building Walls		3.90	1	3.90	
C.3 Exterior Doors/Windows		3.90	1	3.90	

BUILDING ENVELOPE						
C.2 Exterior Building Walls	Type	%	Subscore	Score	Comments/Remarks	
C.2_Masonry	Brick	90	4.00	3.60		
C.2_Finish_System	Exterior Insulation (EIFS)	10	3.00	0.30	Rating refers to the EIFS primarily at the main entrance and caf...	
<select or leave blank>						
<select or leave blank>						
BUILDING ENVELOPE C.2 Exterior Building Walls			Total	3.90		
C.3 Exterior Doors/Windows	Type	% or Qty.	Subscore	Score	Comments/Remarks	
C.3_Aluminum	Window	90	4.00	3.60	Aluminum with thermal windows in good condition. Replacem...	
C.3_Metal	Steel	10	2.00	0.20	Rating refers to exterior louvers. A number of the louvers have...	
<select or leave blank>						
<select or leave blank>						
			Exterior Windows	Subtotal	3.80	
C.3_Swinging	Aluminum	90	4.00	3.60	With thermal sidelites/glazing.	
C.3_Overhead	Steel	10	4.00	0.40	Loading dock doors.	
<select or leave blank>						
<select or leave blank>						
			Exterior Doors	Subtotal	4.00	
BUILDING ENVELOPE C.3 Exterior Doors/Windows			Total	3.90		

SUMMARY OF ALL ROOFS							
Category		Total Sq.Ft.	Subscore	Areas	Score		General Comments
C.1 Building Roof		110,000	2.00	1	2.00		

ROOF							
C.1 Building Roof	Type	Install Year	Square Feet	Subscore	Score	Warranty Exp.	Comments/Remarks
C.1_Membrane	EPDM	2002	110,000	2.00	2.00	2019	
	Manufacturer/Installer	Firestone/City Roofing					Out of business.
<select or leave blank>							
	Manufacturer/Installer						
<select or leave blank>							
	Manufacturer/Installer						
<select or leave blank>							
	Manufacturer/Installer						
ROOF C.1 Building Roof		Total Sq.Ft.	110,000	Total Score	2.00		

# Condition Assessments

## Krueger Middle School Building Envelope Summar

### Exterior Facades:

- Majority of the building exterior is masonry veneer brick with precast or limestone windowsills and lintels. Sheet metal flashing caps the tops of the walls. The main entry overhang, as well as overhangs above doors is EIFS. All overhangs also have EIFS columns. A star shaped portion of the building, located at the northwest corner of the building appears to be natural stone on the bottom and EIFS on the upper portion of wall and soffit on the front side and masonry with exposed vertical steel.
- The existing exterior facades are visually in good condition. The brick veneer is due for cleaning and in need of minor tuckpointing maintenance needs. The EIFS has several areas requiring patching and all EIFs needs general cleaning and repainting to ensure strength of the system remains intact. The metal flashing appears to be in good condition.
- A greenhouse extends into one of the courtyards and appears to be in good condition.
- The aluminum windows are thermal windows and visually appear to be in good condition. Perimeter window sealant needs replacement in most locations.
- Louvers appear functional but do show damage.
- The aluminum doors are thermal systems and visually appear to be in good condition. Steel overhead door at loading dock is in good condition. Due to typical assessment findings, maintenance work should be expected.

### Priority Items:

- Masonry veneer brick needs to be cleaned. Minor tuckpointing is anticipated. Cast stone or limestone sills and lintels should be cleaned.
- EIFS has patching and repair needs in several locations, particularly at corners and bottoms of columns. All EIFS should be cleaned and painted.
- Vertical steel at star shaped portion of building should be cleaned of rust and painted.
- Louvers should be replaced with metal louvers that meet or exceed existing performance specifications.
- Windows should have seals thoroughly inspected and repaired as needed.
- Overhead door at loading dock should be cleaned and repainted.

### Roofs:

- The existing roof is comprised of two types of roofing. EPDM roof membrane manufactured by Firestone installed in 2002 comprises approximately 110,000 SF and is the warranty expired in 2019.

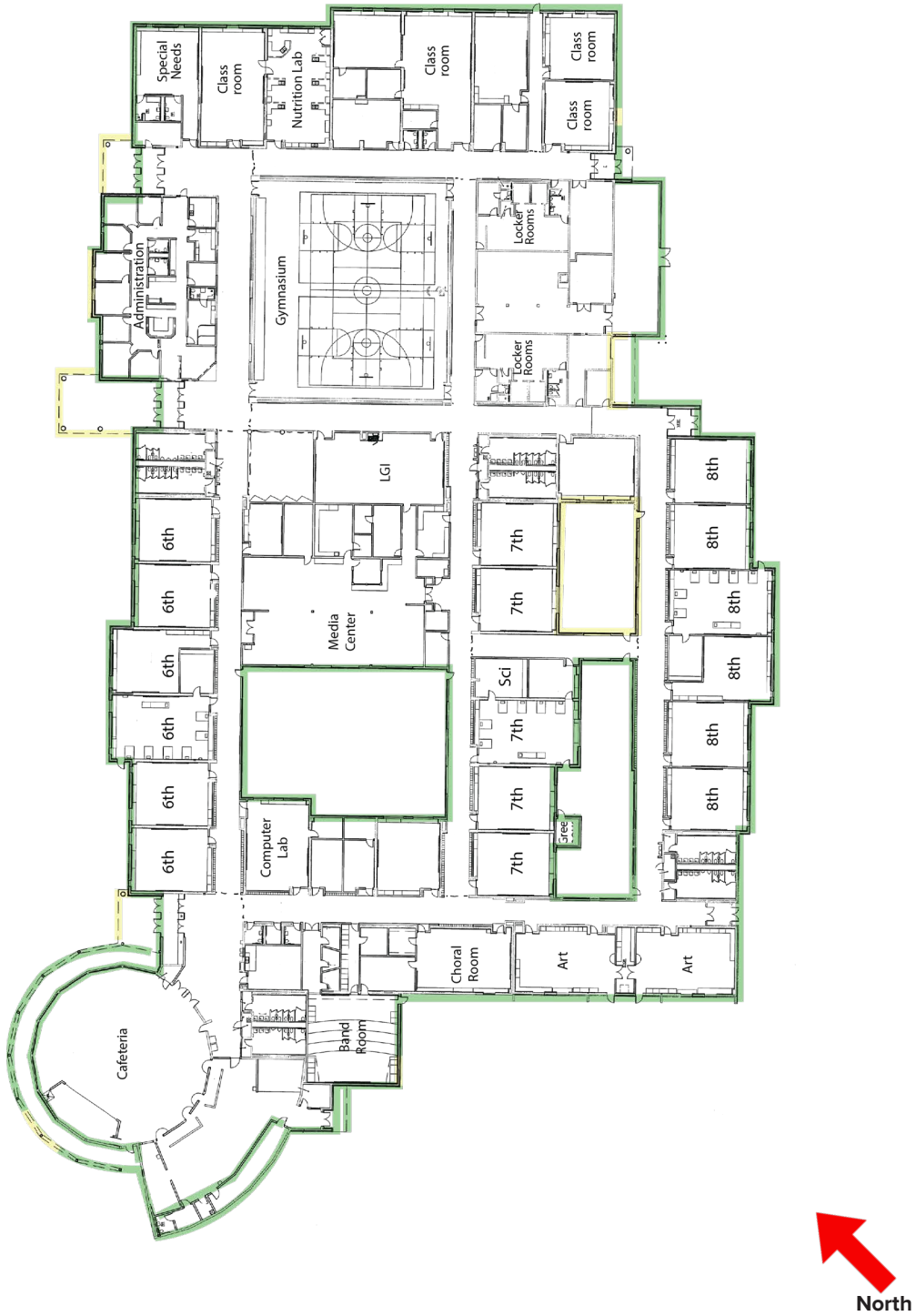
### Priority Items:

- EPDM roofing is at end of line and needs to be replaced.

# Condition Assessments

## Krueger Middle School Exterior Floorplan

Krueger Middle School - Exterior Condition Assessment



Condition Assessments

Krueger Middle School Corridors/Commons

SUMMARY OF ALL CORRIDORS/COMMONS					
Category		Subscore	Areas	Score	General Comments
D.1 ADA/Accessibility		4.25	1	4.25	
D.2 Floor Finish		4.23	1	4.23	
D.3 Wall Finish		3.19	1	3.19	
D.4 Ceiling Finish		4.00	1	4.00	
D.5 Doors/Borrowed Lites		4.00	1	4.00	
D.6 Fixed Equipment		3.63	1	3.63	

CORRIDOR/COMMONS					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware/Clearances		TRUE		4.50	Most/all doors have compliant clearance and lever hardware.
D.1_Routing/Ramps		TRUE		5.00	Most areas are on a single level.
D.1_Wayfinding Signage		FALSE		3.75	Directional signage is minimal to none. Directional signage would be helpful.
D.1_Elevator/Lift		FALSE		3.75	Stage in cafeteria is not compliant.
CORRIDOR/COMMONS D.1 ADA/Accessibility			Total	4.25	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Terrazzo		92	4.25	3.91	Good condition.
D.2_Tile	Square	8	4.00	0.32	Commons area in good condition.
<select or leave blank>					
<select or leave blank>					
CORRIDOR/COMMONS D.2 Floor Finish			Total	4.23	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Painted	25	3.00	0.75	
D.3_Gypsum	Wallcovering	75	3.25	2.44	Some areas in good condition, some in need of repair/replacement.
<select or leave blank>					
<select or leave blank>					
CORRIDOR/COMMONS D.3 Wall Finish			Total	3.19	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	90	4.00	3.60	Good condition.
D.4_Gypsum	Painted	10	4.00	0.40	Primarily bulkheads.
<select or leave blank>					
<select or leave blank>					
CORRIDOR/COMMONS D.4 Ceiling Finish			Total	4.00	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Metal	Aluminum	18	4.00	4.00	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
CORRIDOR/COMMONS D.5 Doors/Borrowed Lites			Total	4.00	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Tackboard		100	4.00	4.00	
<select or leave blank>					
<select or leave blank>					
		Visual Display Boards	Subtotal	4.00	
<select or leave blank>					N/A.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
		Casework/Countertops	Subtotal		
D.6_Lockers	Metal		3.25		Some areas in great condition, some in ok to decent.
CORRIDOR/COMMONS D.6 Fixed Equipment			Total	3.63	

Condition Assessments

Krueger Middle School Classrooms

SUMMARY OF ALL CLASSROOMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		4.44	1	4.44	
D.2 Floor Finish		3.25	1	3.25	
D.3 Wall Finish		3.31	1	3.31	
D.4 Ceiling Finish		4.00	1	4.00	
D.5 Doors/Borrowed Lites		4.00	1	4.00	
D.6 Fixed Equipment		3.96	1	3.96	

CLASSROOM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		TRUE		4.50	Most/all doors have compliant lever hardware.
D.1_Door Clearances		TRUE		4.50	Most/all doors have compliant clearance.
D.1_Room Signage		FALSE		3.75	Signage is present. Signage is compliant with the exception of room numbers.
D.1_Casework Clearances/Hts.		TRUE		5.00	
CLASSROOM D.1 ADA/Accessibility			Total	4.44	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Carpet	Broadloom	100	3.25	3.25	Most carpet is functional for a few more years. Some is in great condition.
D.2_Vinyl					
D.2_Carpet					
<select or leave blank>					
CLASSROOM D.2 Floor Finish			Total	3.25	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Painted	75	3.25	2.44	Areas in need of repair/repaint.
D.3_Gypsum	Wallcovering	25	3.50	0.88	Minor areas in need of repair.
<select or leave blank>					
<select or leave blank>					
CLASSROOM D.3 Wall Finish			Total	3.31	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	4.00	4.00	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
CLASSROOM D.4 Ceiling Finish			Total	4.00	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	90	4.00	4.00	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
CLASSROOM D.5 Doors/Borrowed Lites			Total	4.00	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Markerboard	Unlined	40	4.00	1.60	
D.6_Tackboard		60	4.00	2.40	
<select or leave blank>					
		Visual Display Boards	Subtotal	4.00	
D.6_Casework	PLAM	45	4.00	1.80	Most casework is in good condition.
D.6_Countertops	PLAM	15	3.75	0.56	Same as casework with a few exceptions of wear.
D.6_Casework	Metal	25	4.00	1.00	Most casework is in good condition.
D.6_Countertops	Metal	15	3.75	0.56	Same as casework with a few exceptions of wear.
		Casework/Countertops	Subtotal	3.93	
D.6_Lockers					N/A.
CLASSROOM D.6 Fixed Equipment			Total	3.96	

Condition Assessments

Krueger Middle School Art Room

SUMMARY OF ALL ART ROOMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		4.00	1	4.00	
D.2 Floor Finish		3.50	1	3.50	
D.3 Wall Finish		2.75	1	2.75	
D.4 Ceiling Finish		4.00	1	4.00	
D.5 Doors/Borrowed Lites		4.00	1	4.00	
D.6 Fixed Equipment		3.53	1	3.53	

ART ROOM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		TRUE		4.50	Most/all doors have compliant lever hardware.
D.1_Door Clearances		TRUE		4.50	Most/all doors have compliant clearance.
D.1_Room Signage		FALSE		3.75	Signage is present. Signage is compliant with the exception of r...
D.1_Casework Clearances/Hts.		FALSE		3.25	Sink locations are not ADA compliant.
ART ROOM D.1 ADA/Accessibility			Total	4.00	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Vinyl	VCT	100	3.50	3.50	Overall decent to good condition. Minor areas of repair neede...
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ART ROOM D.2 Floor Finish			Total	3.50	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Painted	100	2.75	2.75	Significant amount of repair/repaint needed.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ART ROOM D.3 Wall Finish			Total	2.75	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	4.00	4.00	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ART ROOM D.4 Ceiling Finish			Total	4.00	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	2	4.00	4.00	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ART ROOM D.5 Doors/Borrowed Lites			Total	4.00	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Markerboard		50	3.50	1.75	Small markerboard.
D.6_Tackboard		50	2.00	1.00	Additional tackboards would be beneficial.
<select or leave blank>					
		Visual Display Boards	Subtotal	2.75	
D.6_Casework	PLAM	70	3.50	2.45	Decent to good condition, still functional.
D.6_Countertops	PLAM	30	2.50	0.75	Same as casework. Built-in desk/counter in need of replaceme...
<select or leave blank>					
<select or leave blank>					
		Casework/Countertops	Subtotal	3.20	
D.6_Lockers					N/A.
D.6_Sinks/Plaster Traps				4.50	
D.6_Work Tables				3.75	
D.6_Kiln and Exhaust				4.00	Kiln has dedicated exhaust.
D.6_General Storage				3.00	Adjacent storage room. Appears additional shelving/casework...
ART ROOM D.6 Fixed Equipment			Total	3.53	



Condition Assessments

Krueger Middle School Administration

SUMMARY OF ALL ADMINISTRATION					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		3.63	1	3.63	
D.2 Floor Finish		3.73	1	3.73	
D.3 Wall Finish		3.75	1	3.75	
D.4 Ceiling Finish		4.25	1	4.25	
D.5 Doors/Borrowed Lites		4.00	1	4.00	
D.6 Fixed Equipment		3.30	1	3.30	

ADMINISTRATION					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		TRUE		4.50	Most/all doors have compliant lever hardware.
D.1_Door Clearances		TRUE		4.50	Most/all doors have compliant clearance.
D.1_Room Signage		FALSE		3.00	Signage is present. Signage is not compliant.
D.1_Casework Clearances/Hts.		FALSE		2.50	Sink locations are not ADA compliant.
ADMINISTRATION D.1 ADA/Accessibility			Total	3.63	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Carpet		70	3.50	2.45	
D.2_Vinyl	VCT	30	4.25	1.28	
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.2 Floor Finish			Total	3.73	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Painted	60	3.75	2.25	
D.3_Gypsum	Wallcovering	40	3.75	1.50	
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.3 Wall Finish			Total	3.75	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	4.25	4.25	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.4 Ceiling Finish			Total	4.25	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	25	4.00	4.00	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.5 Doors/Borrowed Lites			Total	4.00	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Markerboard	Unlined	50	3.00	1.50	
D.6_Tackboard		50	3.00	1.50	
		Visual Display Boards	Subtotal	3.00	
D.6_Casework	PLAM	65	3.75	2.44	
D.6_Countertops	PLAM	35	3.50	1.23	
<select or leave blank>					
<select or leave blank>					
		Casework/Countertops	Subtotal	3.66	
D.6_Appliances				3.25	
ADMINISTRATION D.6 Fixed Equipment			Total	3.30	

# Condition Assessments

Krueger Middle School Music Rooms

SUMMARY OF ALL MUSIC ROOMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		3.63	1	3.63	
D.2 Floor Finish		2.75	1	2.75	
D.3 Wall Finish		2.15	1	2.15	
D.4 Ceiling Finish		3.00	1	3.00	
D.5 Doors/Borrowed Lites		4.00	1	4.00	
D.6 Fixed Equipment		3.76	1	3.76	

MUSIC ROOM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		TRUE		4.50	Most/all doors have compliant lever hardware.
D.1_Door Clearances		TRUE		4.50	Most/all doors have compliant clearance.
D.1_Room Signage		FALSE		2.00	Not present.
D.1_Casework Clearances/Hts.		FALSE		3.50	
MUSIC ROOM D.1 ADA/Accessibility			Total	3.63	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Carpet	Broadloom	100	2.75	2.75	In generally poor condition.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
MUSIC ROOM D.2 Floor Finish			Total	2.75	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Wallcovering	80	2.00	1.60	Most areas in need of repair/replacement.
D.3_Gypsum	Painted	20	2.75	0.55	
<select or leave blank>					
<select or leave blank>					
MUSIC ROOM D.3 Wall Finish			Total	2.15	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	3.00	3.00	Practice rooms in need of replacement.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
MUSIC ROOM D.4 Ceiling Finish			Total	3.00	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	15	4.00	4.00	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
MUSIC ROOM D.5 Doors/Borrowed Lites			Total	4.00	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Markerboard	Unlined	60	3.50	2.10	
D.6_Tackboard		40	3.00	1.20	Additional tackboards would be beneficial.
<select or leave blank>					
		Visual Display Boards	Subtotal	3.30	
D.6_Casework	PLAM	100	3.75	3.75	
<select or leave blank>					
		Casework/Countertops	Subtotal	3.75	
D.6_Lockers					N/A.
D.6_Tiers/Bleachers				4.00	Present. Custom at choir. See Floor Finishes.
D.6_General Storage				4.00	
MUSIC ROOM D.6 Fixed Equipment			Total	3.76	

# Condition Assessments

Krueger Middle School Gymnasium

SUMMARY OF ALL GYMNASIUMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		4.25	1	4.25	
D.2 Floor Finish		4.25	1	4.25	
D.3 Wall Finish		2.75	1	2.75	
D.4 Ceiling Finish		4.00	1	4.00	
D.5 Doors/Borrowed Lites		4.00	1	4.00	
D.6 Fixed Equipment		3.60	1	3.60	

GYMNASIUM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		TRUE		4.50	Most/all doors have compliant lever hardware.
D.1_Door Clearances		TRUE		4.50	Most/all doors have compliant clearance.
D.1_Room Signage		FALSE		3.00	
D.1_General ADA (routing/seats/etc)		TRUE		5.00	
GYMNASIUM D.1 ADA/Accessibility			Total	4.25	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Athletic	Hardwood	100	4.25	4.25	Wood is in good condition overall. Repairs in progress during as...
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
GYMNASIUM D.2 Floor Finish			Total	4.25	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Masonry	CMU	100	2.75	2.75	Due for a repair/repaint.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
GYMNASIUM D.3 Wall Finish			Total	2.75	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Exposed	Painted	100	4.00	4.00	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
GYMNASIUM D.4 Ceiling Finish			Total	4.00	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	8	4.00	4.00	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
GYMNASIUM D.5 Doors/Borrowed Lites			Total	4.00	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
<select or leave blank>					N/A.
<select or leave blank>					
		Visual Display Boards	Subtotal		
D.6_Equipment	Basketball Main			3.75	Athletic wall pads in need of replacement.
D.6_Equipment	Basketball Cross Court			3.75	
D.6_Equipment	Divider Curtain/Partition			3.25	Operable partition appears functional and in decent condition.
D.6_Equipment	Bleachers			4.00	
D.6_Equipment	General Storage			3.25	
GYMNASIUM D.6 Fixed Equipment			Total	3.60	



# Krueger Middle School Science Rooms

SCIENCE ROOM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		TRUE		4.50	Most/all doors have compliant lever hardware.
D.1_Door Clearances		TRUE		4.50	Most/all doors have compliant clearance.
D.1_Room Signage		FALSE		3.75	Signage is present. Signage is compliant with the exception of r
D.1_Casework Clearances/Hts.		FALSE		2.00	Sink locations are not ADA compliant. No ADA height station.
SCIENCE ROOM D.1 ADA/Accessibility			Total	3.69	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Vinyl	VCT	100	3.50	3.50	Decent to good condition. Some repair/replacement needed.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
SCIENCE ROOM D.2 Floor Finish			Total	3.50	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Painted	100	3.00	3.00	Areas in need of repair/repaint.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
SCIENCE ROOM D.3 Wall Finish			Total	3.00	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	4.00	4.00	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
SCIENCE ROOM D.4 Ceiling Finish			Total	4.00	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	10	4.00	4.00	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
SCIENCE ROOM D.5 Doors/Borrowed Lites			Total	4.00	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Markerboard	Unlined	40	4.00	1.60	
D.6_Tackboard		60	4.00	2.40	
<select or leave blank>					
Visual Display Boards			Subtotal	4.00	
D.6_Casework	PLAM	55	4.00	2.20	Most casework is in good condition.
D.6_Countertops	Resin (Epoxy/Phenolic)	15	3.75	0.56	Same as casework with a few exceptions of wear.
D.6_Casework	Metal	20	4.00	0.80	Most casework is in good condition.
D.6_Countertops	Metal	10	3.75	0.38	Same as casework with a few exceptions of wear.
Casework/Countertops			Subtotal	3.94	
D.6_Lockers					N/A.
D.6_Water				5.00	
D.6_Gas/Air				4.00	
D.6_Hood(s)				4.00	
D.6_Eyewash/Shower				4.00	
D.6_Flammable Cabinet				3.75	
D.6_General Storage				5.00	
SCIENCE ROOM D.6 Fixed Equipment			Total	4.21	

# Condition Assessments

## Krueger Middle School Building Interiors Environment Summary

### Stairs:

- Existing building is single-story with no building stairs present.
- Existing stairs are limited to stage stairs or risers with media center and classrooms. See other sections for any needs noted.

### Priority Items:

- None currently.

### Corridors:

- Corridors are approximately 9’-0” to 12’-0” wide throughout the building with recessed doorways exiting rooms. Corridors have retractable metal gates that can be utilized to block access to certain parts of the school after hours. Floor, wall, and ceiling finish materials are in good to above-average condition throughout. Materials have been well maintained. Lockers are in good condition overall.
- Wayfinding signage throughout the building is minimal to none. The building layout does not necessarily require wayfinding signage, although it could be beneficial. Room signage is generally present but not fully ADA compliant.
- Interior doors throughout the building are typically stained wood veneer door in decent condition. Remaining doors are aluminum and in good condition. Door hardware throughout is ADA compliant.

### Priority Items:

- Existing terrazzo is in great condition. Regular maintenance should continue.
- Existing square tile in the commons area is in great condition. However, grout and tile need to be cleaned and resealed.
- Existing corridor wall finishes are typically either painted gypsum or wallcovering. Painted gypsum should have pinholes filled and be repainted. Some areas of wallcovering are peeling and should be repaired or replaced. Other areas are in good condition, requiring no action.
- Existing corridor ceiling finishes are typically gypsum bulkheads (generally at bulkheads) or suspended acoustic ceiling system. Painted gypsum areas should be repainted. Some ceiling tiles do show staining or damage and need to be replaced.

- Locker materials are in great condition. However, lockers are due for repainting due to wear.
- Wayfinding signage is not required but is recommended. Room signage should be replaced with fully ADA compliant signage that includes braille.

- Interior doors to be refinished/repainted as needed due to some wear.

### Classrooms:

- Existing classrooms are approximately between 920 SF and 1,215 SF in size. Storage casework typically runs along the corridor wall and open shelving casework runs along the exterior wall. A dedicated teaching wall is located along one of the shared classroom walls. Markerboards and tackboards are in great condition. Floor, wall, and ceiling finish materials are in good condition. Some materials though need repair or replacement. Doors are stained wood veneer and hardware is ADA compliant. Room signage is not fully ADA compliant.

### Priority Items:

- Existing classroom flooring materials include broadloom carpet and VCT. Both materials still have years of life left, but they are beginning to show age and wear. Some carpet has visible water staining. Consideration should be given to full replacement.
- Existing classroom wall materials include painted gypsum and wallcovering. Painted gypsum needs to be patched in some areas. All walls should be repainted. Some areas of wallcovering are peeling and should be repaired or replaced. Other areas are in good condition, requiring no action.
- Existing suspended acoustical ceiling tile systems are in above-average condition. Some tiles do show staining or damage and need to be replaced.
- Existing casework and countertops are either metal or wood. Most casework is in good condition thought there is visible evidence of wear. Some laminate counters have peeling edges that need to be repaired. Casework and countertops should need repairs only.

- Room signage should be replaced with fully ADA compliant signage that includes braille.

- Interior doors to be refinished/repainted as needed due to some wear.

### Restrooms:

- Single-hole and group restrooms throughout the building appear to be ADA compliant with the exception of the gym locker room restrooms and are in good physical condition generally with flooring refinishing, wall repair and refinishing, and some ceiling replacement needs, and restroom accessory replacement needs.

### Priority Items:

- Restrooms in the gymnasium locker rooms need to be modified to be ADA compliant.
- All restrooms need finish material renovations throughout, although suspended acoustical tile ceilings appear to be in good condition. Priority would be given to group restrooms located in three pairs/groupings throughout the building, followed by classroom connected pair of single-hole restrooms, followed by gymnasium connected two single hole restrooms and two gang restrooms, and administrative restrooms comprising another two pairs/groupings and four stand-alone typical single-hole restrooms throughout the building. Material renovations include cleaning and resealing mosaic floor tiling and grout, repainting masonry walls, patching and repainting gypsum board walls, and replacing stained or damaged acoustical ceiling tiles. Room signage should be replaced with fully ADA compliant signage that includes braille.

### Ancillary Spaces:

- Existing science classrooms are approximately 1,400 SF including science prep/storage space. Science classrooms have low casework along the exterior wall, a dedicated teaching wall along the shared wall, casework along the corridor wall, and fixed casework with resin tops spaced around the perimeter. Flooring, wall, and ceiling finish materials are all in good condition with some minor repair or replacement needs. Casework and countertops are in good condition with some minor repair needs. Specialty science equipment including water, gas/air, exhaust hoods, eyewash/shower, flammable cabinet, and general storage all show some wear but are in great condition overall. Doors are stained wood veneer and hardware is ADA compliant. Room signage is not fully ADA compliant.
- Existing art classroom is approximately 1,000 SF with an additional 200 SF room for storage and kiln. Classroom has a multitude of storage casework around the room with a

three-faucet free standing stainless steel sink and a dedicated teaching wall. The storage and kiln room is being shared with the adjacent Environmental Science classroom. Flooring, wall, and ceiling finish materials are all in good condition with some minor repair or replacement needs. Casework and countertops are in good condition with some moderate repair needs, though still functional. Specialty equipment including sinks/plaster traps and worktables are in good condition, although no sink is ADA compliant. Kiln has working dedicated exhaust, however, room needs to be adequately divided with a permanent wall. Storage options should be added once permanent wall is installed. Doors are stained wood veneer and hardware is ADA compliant. Room signage is not fully ADA compliant.

- Existing music rooms include an approximately 1,375 SF band room and an approximately 1,000 SF choral room with 1,050 SF of storage space, private practice rooms, and office space. Visual display boards are in good condition, though tackboards are showing wear and additional tackboards may be beneficial. Lined markerboards may also be beneficial. Flooring, wall, and ceiling finish materials are all in need of replacement. Casework is in good condition with some minor repair needs. Doors are stained wood veneer and hardware is ADA compliant. Room signage is not fully ADA compliant. Additional room signage could be beneficial.

- Existing gymnasium is approximately 7,400 SF with an additional 2,150 SF of storage, office, and locker room space. Floor, wall, and ceiling finish conditions vary throughout. At time of observation, some repairs were being conducted on the wood athletic floor. Wall pads in the gymnasium are in need of replacement. Divider wall is functional and in decent condition overall. Bleachers are in great condition but showing a little wear. Doors are stained wood veneer and hardware is ADA compliant. Room signage is not fully ADA compliant.

- Existing cafeteria is approximately 2,800 SF with associated kitchen functions, storage, and serving lines occupying another approximately 2,555 SF. Layout and size appear functional and appropriate for needs. Dining area also has an approximately 618 SF stage/platform with storage. Floor, wall, and ceiling finish conditions are in need of some repair or replacement. Kitchen equipment is in great condition and appears adequate for needs. Doors are stained wood veneer and hardware is ADA compliant. ADA compliant room signage is recommended to be added.

- Existing media center is approximately 3,100 SF with an additional 1,100 SF of storage, office, and workroom space. Media center appears to be adequately sized and functional.

Carpet flooring is worn in several areas. Wall and ceiling finish conditions have been well maintained and require minimal repair. Casework and furniture is aged and worn. Doors are stained wood veneer and hardware is ADA compliant. Room signage is not fully ADA compliant.

• Existing administration area is approximately 3,360 SF. Visual display boards are in good condition but showing wear. Flooring, wall, and ceiling finish materials are all in good condition with some minor repair or replacement needs. Casework and countertops are in good condition with some minor repair needs. Doors are stained wood veneer and hardware is ADA compliant. Room signage is not fully ADA compliant.

**Priority Items:**

a. Existing science VCT flooring is in good condition and has several years of life left, however some repair or replacement is needed. Regular cleaning and maintenance should continue. Painted gypsum board walls need patching and repair prior to repainting. Suspended acoustical tile ceiling system is in above-average condition. Some tiles do show staining or damage and need to be replaced. Visual display boards are in great condition. Metal casework is in good condition with no action required. Plastic laminate casework, metal countertops, and resin countertops need some minor repair due to wear. Room signage should be replaced with fully ADA compliant signage that includes braille. Interior doors to be refinished/repainted as needed due to some wear.

b. Existing art classroom VCT flooring is in good condition and has several years of life left. Flooring has a few areas in need of replacement. Regular cleaning and maintenance should continue. Painted gypsum board walls need significant patching and repair prior to repainting. Suspended acoustical tile ceiling system is in above-average condition. Some tiles do show staining or damage and need to be replaced. Additional shelving in the storage room may be beneficial. At least one sink in the classroom space should be altered to be ADA compliant. Visual display boards are in good condition, although additional tackboards may be beneficial. Plastic laminate casework minor repair due to wear. Countertops should be replaced. Room signage should be replaced with fully ADA compliant signage that includes braille. Interior doors to be refinished/repainted as needed due to some wear.

c. Existing music room broadloom carpet flooring is in poor condition and needs to be replaced. Wallcovering and painted gypsum walls are in need of repair/replacement. Gypsum board

needs to be repainted after repair. Suspended acoustical tile ceiling system is in good condition. Some tiles do show staining or damage and need to be replaced throughout. Ceiling in practice rooms need to be replaced. Owner should consult with staff on visual display board needs. Plastic laminate casework needs some minor repair due to wear. Room signage should be replaced with fully ADA compliant signage that includes braille. Additional room signage should be considered. Interior doors to be refinished/repainted as needed due to some wear.

d. Existing gymnasium hardwood flooring is in good condition with only continued regular cleaning and maintenance needed at this time. Terrazzo flooring is in good condition though proper refinishing should be considered. Epoxy flooring in the locker rooms and showers is in poor condition and should be removed and reapplied. Painted CMU and painted gypsum board walls are both in need of repair and repainting. See restrooms section for additional comments. Exposed painted ceiling and systems need to be cleaned and repainted. Suspended acoustical tile ceiling system is in above-average condition. Some tiles do show staining or damage and need to be replaced. Athletic wall pads are showing wear and should be replaced. Divider wall in gymnasium only needs minor repair, but appears to be functional. Room signage should be replaced with fully ADA compliant signage that includes braille. Interior doors to be refinished/repainted as needed due to some wear.

e. Existing cafeteria flooring is primarily terrazzo which is in good condition, although some staining is visible. Proper refinishing is recommended. Tile flooring in the kitchen area is generally in good condition but some areas are damaged and need to be replaced. Grout cleaning is recommended. Stage flooring is VCT and is in good condition. Painted gypsum board needs significant patching/repair prior to repainting. Wood paneling needs minor repair and replacement as some chair rail is missing. Painted CMU should be repainted. Suspended acoustical tile ceiling system is in good condition, although, several tiles are stained or sagging and in need of replacement. Space could benefit from additional tackboards. Room signage should be added with fully ADA compliant signage that includes braille. Interior doors to be refinished/repainted as needed due to some wear as needed.

f. Existing media center broadloom carpet flooring is in good condition and may have years of life remaining, though, carpet is worn and discolored in many areas. Continued regular cleaning and maintenance is necessary. Full carpet replacement in recommended. Wall covering and painted gypsum walls are in good condition. Painted gypsum only needs minor repairs

and full repainting. Replacement of Suspended acoustical tile ceiling system appears to be in above-average condition. Some tiles may need to be replaced due to staining or. Interior doors to be refinished/repainted as needed. Room signage should be replaced with fully ADA compliant signage that includes braille.

g. Existing administration carpet tile and VCT flooring are in good condition. VCT flooring needs continued regular cleaning and maintenance. Painted gypsum board needs patching/repair prior to repainting. Wallcovering has some areas in need of minor repair. Suspended acoustical tile ceiling system is in above-average condition. Some tiles do show staining or damage and need to be replaced. Plastic laminate casework and countertops need minor repair due to wear. Visual display boards may last a few more years but do appear well used and replacement should be considered. Room signage should be replaced with fully ADA compliant signage that includes braille. Interior doors to be refinished/repainted as needed due to some wear.

# Condition Assessments

Krueger Middle School Mechanical System

SUMMARY OF ENTIRE MECHANICAL SYSTEM					
Category		Subscore	Areas	Score	General Comments
E.2 Building HVAC System		2.79	1	2.79	
E.3 Building Temperature Controls		3.00	1	3.00	

MECHANICAL SYSTEM					
E.2 Building HVAC System	Type			Score	Comments/Remarks
E.2_Central Heating System	Boilers			3.00	From 2003 Bryan boilers.
E.2_Central Heating System	Heating Pumps			3.00	
E.2_Central Heating System	Air Handling Units			2.50	(2) old gym units #1. (4) library AHU #3 not seen since no tall la...
	Central Heating System		Subtotal	2.83	
E.2_Cooling System	Chiller			2.00	From 2003.
E.2_Cooling System	Cooling Tower				
E.2_Cooling System	Chilled Water Pumps			3.00	From 2003.
E.2_Cooling System	Condensing Units				
	Cooling System		Subtotal	2.50	
E.2_Equipment	Cabinet/Supplemental Heaters				
E.2_Equipment	Fan Coil Units				
E.2_Equipment	Fans				
E.2_Equipment	PTAC Units				
E.2_Equipment	Unit Ventilators			2.50	From 2003.
E.2_Equipment	Variable Air Volume Terminals				
	Equipment		Subtotal	2.50	
E.2_General	Ductwork			3.00	
E.2_General	Louvers/Exhaust Vents			4.00	
E.2_General	Piping			3.00	
	General		Subtotal	3.33	
MECHANICAL SYSTEM E.2 Building HVAC System				Total	2.79
E.3 Building Temperature Controls	Type			Score	Comments/Remarks
E.3_Temperature Controls				3.00	Trane controls all electronic.
MECHANICAL SYSTEM E.3 Building Temperature Controls				Total	3.00

# Condition Assessments

Krueger Middle School Plumbing System

SUMMARY OF ENTIRE PLUMBING SYSTEM					
Category		Subscore	Areas	Score	General Comments
E.1 Building Plumbing System		3.09	1	3.09	

PLUMBING SYSTEM					
E.1 Building Plumbing System	Type			Score	Comments/Remarks
E.1_Plumbing Fixtures	Water Closets			3.00	
E.1_Plumbing Fixtures	Lavatories			3.00	
E.1_Plumbing Fixtures	Drinking Fountains			3.00	1 old to 1 new.
E.1_Plumbing Fixtures	Showers			3.00	
E.1_Plumbing Fixtures	Dishwashing			4.00	
	Plumbing Fixtures		Subtotal	3.20	
E.1_Central Equipment	Hot Water Heating			4.00	From 2017.
E.1_Central Equipment	Water Softener			3.00	
E.1_Central Equipment	Pumps			3.00	
	Central Equipment		Subtotal	3.33	
E.1_Water_Service	City			3.00	
E.1_Water Service	Domestic Piping			3.00	
	Water Service		Subtotal	3.00	
E.1_Sewage_System	City			3.00	
E.1_Sewage System	Piping			3.00	
	Sewage System		Subtotal	3.00	
E.1_Gas Service				3.00	
E.1_Fire Suppression				3.00	
PLUMBING SYSTEM E.1 Building Plumbing System				Total	3.09

# Condition Assessments

Krueger Middle School Electrical System

SUMMARY OF ENTIRE ELECTRICAL SYSTEM					
Category		Subscore	Areas	Score	General Comments
E.4 Building Electrical System		3.83	1	3.83	
E.5 Building Lighting		3.46	1	3.46	

ELECTRICAL SYSTEM					
E.4 Building Electrical System	Type			Score	Comments/Remarks
E.4_Incoming Service	Size			5.00	
E.4_Incoming Service	Condition			4.00	
E.4_Incoming Service	Generator			1.00	None.
	Incoming Service	Subtotal		3.33	
E.4_Distribution				4.00	
E.4_Smoke Detection				4.00	
E.4_Fire Alarm System	Annunciator Panel			4.00	
E.4_Fire Alarm System	Fire Alarm Devices			4.00	Simplex4010ES.
	Fire Alarm System	Subtotal		4.00	
ELECTRICAL SYSTEM E.4 Building Electrical System				Total	3.83
E.5 Building Lighting	Type			Score	Comments/Remarks
E.5_Interior Lighting	Administration				
E.5_Interior Lighting	Corridors/Common			4.00	2x4 flat panels .
E.5_Interior Lighting	Classrooms/Science			4.00	Flat panel LED, no Dimming, No occ. Sensors.
E.5_Interior Lighting	Art/Music/Auditorium				
E.5_Interior Lighting	Gymnasium/Natatorium			5.00	LED & occ sensors.
E.5_Interior Lighting	Cafetaria/Kitchen			4.00	
E.5_Interior Lighting	Restrooms				
	Interior Lighting	Subtotal		4.25	
E.5_Exterior Lighting	Building Entries			3.00	
E.5_Exterior Lighting	Parking Lots/Drives			3.00	
E.5_Exterior Lighting	Athletic/Play Fields			2.00	None.
	Exterior Lighting	Subtotal		2.67	
ELECTRICAL SYSTEM E.4 Building Electrical System E.5 Building Lighti				Total	3.46

# Condition Assessments

Krueger Middle School Technology

SUMMARY OF ALL TECHNOLOGY					
Category		Subscore	Areas	Score	General Comments
E.6 Building Technology		3.61	1	3.61	

TECHNOLOGY					
E.6 Building Technology	Type			Score	Comments/Remarks
E.6_Data Distribution	Incoming			5.00	Yellow & Aqua.
E.6_Data Distribution	Cable Type			4.00	CAT 5E & 6 (mix).
E.6_Data Distribution	Fiber			5.00	12st. MM to IDF's.
E.6_Data Distribution	Wireless				
	Data Distribution	Subtotal		4.67	
E.6_Classroom Technology	Teacher			3.00	
E.6_Classroom Technology	Monitors			4.00	Samsung 65" monitor, docking station.
E.6_Classroom Technology	Smartboards				
E.6_Classroom Technology	Projection				
	Data Distribution	Subtotal		3.50	
E.6_Communications	Intercom/PA			2.00	Dukane MCS350.
E.6_Sound Systems	Gymnasium/Natatorium			3.00	
E.6_Sound Systems	S.R.			3.00	Phonak.
	Sound Systems	Subtotal		2.67	
TECHNOLOGY E.6 Building Technology				Total	3.61



# Condition Assessments

## Krueger Middle School Building Systems Summary

### Mechanical:

#### Heating plant

- Building comfort heating is provided by two gas-fired boilers which appear and were reported to be in relatively fair operating condition.
  - o Currently, there are no reported issues or concerns for the continued use of these boilers; therefore, it is reasonable to expect successful continued use of the existing heating system until symptoms providing a reason for replacement manifest.
- Building heating hot water circulation is provided by two constant volume end-suction pumps mounted in parallel.

#### Cooling plant:

- Building comfort cooling is provided by an outdoor air-cooled chiller. The chiller appeared to be in fair to poor working condition.
- Building chilled water circulation is provided by two primary end-suction pump mounted in parallel.

### Classroom HVAC and associated Systems:

- Each classroom in the building is equipped with a unit ventilator unit that provides conditioned air to the space. These UV were added during the 2002 renovation project.

### Air-Handler Plants and Systems:

- There are two existing constant-speed air-handlers suspended from the gymnasium structure that were added during the 2002 renovation.
  - o The air-handlers appeared in fair condition.
- There are several existing blower coil units located throughout the building that are located in a plenum space near the room they serve that were added during the 2002 renovation.
  - o The blower coil units were reported to be in fair condition.

the building in the plenum spaces above the rooms they serve that were added during the 2002 renovation.

- o The fan coil units were reported to be in fair condition.

### Building Temperature Control System:

- The building’s temperature control system is managed by Trane. Owner reported that they are interested in replacing the existing temperature controls throughout the entire building to a Tridium Niagara framework.

### Priority Items:

- a. The existing unit ventilators in all classrooms will be removed and replaced with new vertical unit ventilators (VUV).
- a. For budget consideration, include 35 vertical unit ventilators and 140 ceiling mounted supply-air diffusers with flexible duct connectors and 35 ceiling mounted relief-air grilles.
- b. The existing blower coil units will be removed and replaced.
- a. For budget consideration, include 25 blower coil units.
- c. The existing fan coil units will be removed and replaced.
- a. For budget consideration, include 3 fan coil units with a chilled water coil and one DX fan coil unit with a remote condensing unit (17 MBH).
- d. The existing temperature control system, include all hydronic valves, actuators, etc. throughout the building should be removed and replaced.
- e. The existing air handling units are in fair condition. These units probably have another ten years of useful life.
- a. Provide an alternate price to replace both units and an alternate price to replace coils in each unit. For budget consideration, include 2 x 7500 CFM modular indoor air-handler with hydronic chilled water (60 GPM) and hydronic heating coil (20 GPM).
- f. The existing chiller should be removed and replaced.
- a. For budget consideration, include 250-ton air-cooled chiller.
- g. The existing chiller water circulation pumps should be removed and replaced.

- a. For budget consideration, include 2 x 300-GPM; 15 HP end suction pumps with VFDs, a new air/dirt separator, and a new chemical feeder.

- h. All existing cabinet unit heaters, exhaust fans, etc. shall be removed and replaced.

- a. For budget consideration, include 18 cabinet unit heaters.

- b. For budget consideration, include 12 convectors.

- c. For budget consideration, include 32 exhaust fans and 70 ceiling mounted exhaust-air grilles.

### Plumbing:

- The domestic system is served by a gas fired boiler. The boiler looked to be in fair condition. There is a water softener.

- The existing domestic, sanitary and vent piping throughout the building look to be in fair condition and were reported to be in relatively good to fair operating condition.

- The existing restrooms throughout the building look to be in fair to good physical condition.

### Priority Items:

- a. All drinking fountains in area being renovated shall be replaced and upgraded to current ADA compliant standards. The existing domestic water, sanity and vent connections shall be reused.

### Fire protection:

- A fire sprinkler system was present in the existing building. It looks to be in decent condition.

### Electrical:

#### Electrical Distribution system

- The original GE Spectra series switchboards (480 and 208) appear to be in good condition. A solar field east of the building was added to offset utility demands.

### Fire Alarm

- The existing Simplex 4010ES panel is in good condition. There are strobes in the classroom.

### Lighting

- Lighting in common spaces includes flat panel LED. Classrooms consist of flat panel LEDs. The classroom lighting does not have dimming capabilities nor are occupancy sensors installed to turn off lighting when the room is not in use. The gymnasium has new LED fixtures and occupancy sensors. The cafeteria has new flat panel LED fixtures. The exterior pole lighting is original and consists of center spider mounted type heads. These should be replaced soon due to age and condition. Exterior building mounted lighting should be upgraded to LED.

### Technology:

#### Data cabling and distribution

- Building has single mode fiber from administration data center. Most cabling is Category 5e and Category 6. Building has Ruckus wireless access points, one for every two classrooms per district IT standard.

#### Teaching technology equipment

- Classrooms include 55” – 65” Samsung monitors. Existing equipment is in good condition.

#### Paging / intercom equipment

- Existing paging / intercom system is a Dukane MCS350 paging system that is obsolete and should be replaced. Dukane parts are no longer readily available. It is possible that the existing speakers and wiring may be reused depending on existing condition review with Owner.

#### Visitor entry system

- The existing visitor entry system is audio only with a standalone non-recording camera. This equipment should be replaced with a videophone type system similar to other buildings in the district.

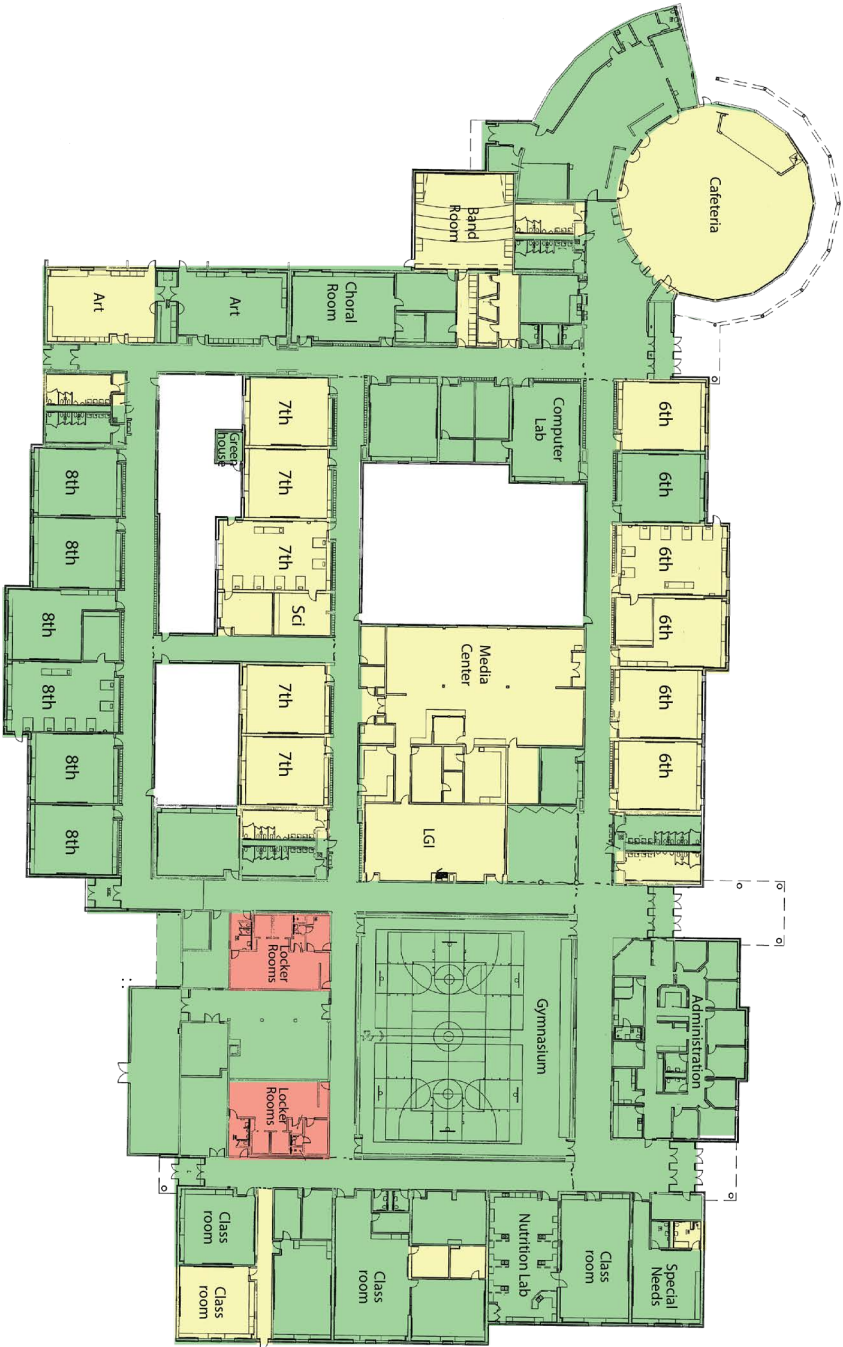
### Priority Items:

- a. Replace paging / intercom head-end equipment.

- b. Replace visitor entry system.

# Condition Assessments

Krueger Middle School Exterior Floorplan



Krueger Middle School - Interior Condition Assessment



# Condition Assessments

Michigan City High School

Condition Assessments

Michigan City High School Summary

Michigan City Area Schools	
Building:	Michigan City High School
Building Area:	387,084
Site Acreage:	78.85
Enrollment Capacity:	
Current Enrollment:	1,555
Construction	Construction Type
1969	Original Construction
See Bldg. Area Plan	Additions and Renovations

Condition Assessment Legend	
Building Scoring Matrix	Category Scoring Matrix
100: Excellent	5: No Work Needed
99 - 80: Good	4: Minor Work Needed
79 - 60: Average	3: Moderate Work Needed
59 - 40: Fair	2: Major Work Needed
Below 40: Poor	1: None/Replacement Needed

Condition Assessment	Score
<b>A SITE CIRCULATION AND AMENITIES</b>	
A.1 Separation/Drop-off/Stacking	4.29
A.2 Drives/Lots and Walks	1.75
A.3 Site Improvements	3.00
<b>B SAFETY AND SECURITY</b>	
B.1 Secure Building Access	4.50
B.2 Surveillance/Cameras	2.00
<b>C BUILDING ENVELOPE</b>	
C.1 Building Roof	3.01
C.2 Exterior Building Walls	3.30
C.3 Exterior Doors/Windows	2.88
<b>D BUILDING INTERIOR ENVIRONMENT</b>	
D.1 ADA/Accessibility	1.84
D.2 Floors	3.27
D.3 Walls	3.67
D.4 Ceilings	3.38
D.5 Doors/Borrowed Lites	3.23
D.6 Fixed Equipment	3.20
<b>E BUILDING SYSTEMS</b>	
E.1 Building Plumbing System	2.51
E.2 Building HVAC System	2.49
E.3 Building Temperature Controls	2.00
E.4 Building Electrical System	3.67
E.5 Building Lighting	4.13
E.6 Building Technology	4.36
CONDITION ASSESSMENT AVERAGE SCORE	3.12
CONDITION ASSESSMENT GRADE	62.47

Condition Assessments

Michigan City High Expanded Summary

Michigan City Area Schools	
Building:	Michigan City High School
Building Area:	387,084
Site Acreage:	78.85
Enrollment Capacity:	
Current Enrollment:	1,555
Construction	Construction Type
1969	Original Construction
See Bldg. Area Plan	Additions and Renovations

Condition Assessment Legend	
Building Scoring Matrix	Category Scoring Matrix
100: Excellent	5: No Work Needed
99 - 80: Good	4: Minor Work Needed
79 - 60: Average	3: Moderate Work Needed
59 - 40: Fair	2: Major Work Needed
Below 40: Poor	1: None/Replacement Needed

Condition Assessment	Score
<b>A SITE CIRCULATION AND AMENITIES</b>	
A.1 Separation/Drop-off/Stacking	4.29
A.2 Drives/Lots and Walks	1.75
A.3 Site Improvements	3.00
<b>B SAFETY AND SECURITY</b>	
B.1 Secure Building Access	4.50
B.2 Surveillance/Cameras	2.00
<b>C BUILDING ENVELOPE</b>	
C.1 Building Roof	3.01
C.2 Exterior Building Walls	3.30
C.3 Exterior Doors/Windows	2.88
<b>D BUILDING INTERIOR ENVIRONMENT</b>	
D.1 ADA/Accessibility	1.84
Administration	2.38
Corridors/Common	2.63
Classrooms/Science	1.69
Art/Music/Auditorium	1.42
Gymnasium/Natorium	1.31
Cafeteria/Kitchen	1.63
Restrooms/Locker Rooms	1.83
D.2 Floors	3.27
Administration	3.50
Corridors/Common	3.50
Classrooms/Science	2.99
Art/Music/Auditorium	2.78
Gymnasium/Natorium	3.63
Cafeteria/Kitchen	3.13
Restrooms/Locker Rooms	3.37
D.3 Walls	3.67
Administration	4.00
Corridors/Common	3.76
Classrooms/Science	3.87
Art/Music/Auditorium	3.68
Gymnasium/Natorium	3.75
Cafeteria/Kitchen	3.80
Restrooms/Locker Rooms	2.83
D.4 Ceilings	3.38
Administration	4.00
Corridors/Common	3.93
Classrooms/Science	3.33
Art/Music/Auditorium	2.88
Gymnasium/Natorium	3.80
Cafeteria/Kitchen	2.40
Restrooms/Locker Rooms	3.33
D.5 Doors/Borrowed Lites	3.23
Administration	3.25
Corridors/Common	3.25
Classrooms/Science	3.23
Art/Music/Auditorium	3.17
Gymnasium/Natorium	3.25
Cafeteria/Kitchen	3.19
Restrooms/Locker Rooms	3.25
D.6 Fixed Equipment	3.20
Administration	4.17
Corridors/Common	4.00
Classrooms/Science	2.87
Art/Music/Auditorium	2.89
Gymnasium/Natorium	3.80
Cafeteria/Kitchen	3.68
Restrooms/Locker Rooms	1.03
<b>E BUILDING SYSTEMS</b>	
E.1 Building Plumbing System	2.51
E.2 Building HVAC System	2.49
E.3 Building Temperature Controls	2.00
E.4 Building Electrical System	3.67
E.5 Building Lighting	4.13
E.6 Building Technology	4.36
CONDITION ASSESSMENT AVERAGE SCORE	3.12
CONDITION ASSESSMENT GRADE	62.47

# Condition Assessments

## Michigan City High School Code Analysis

### Code Analysis:

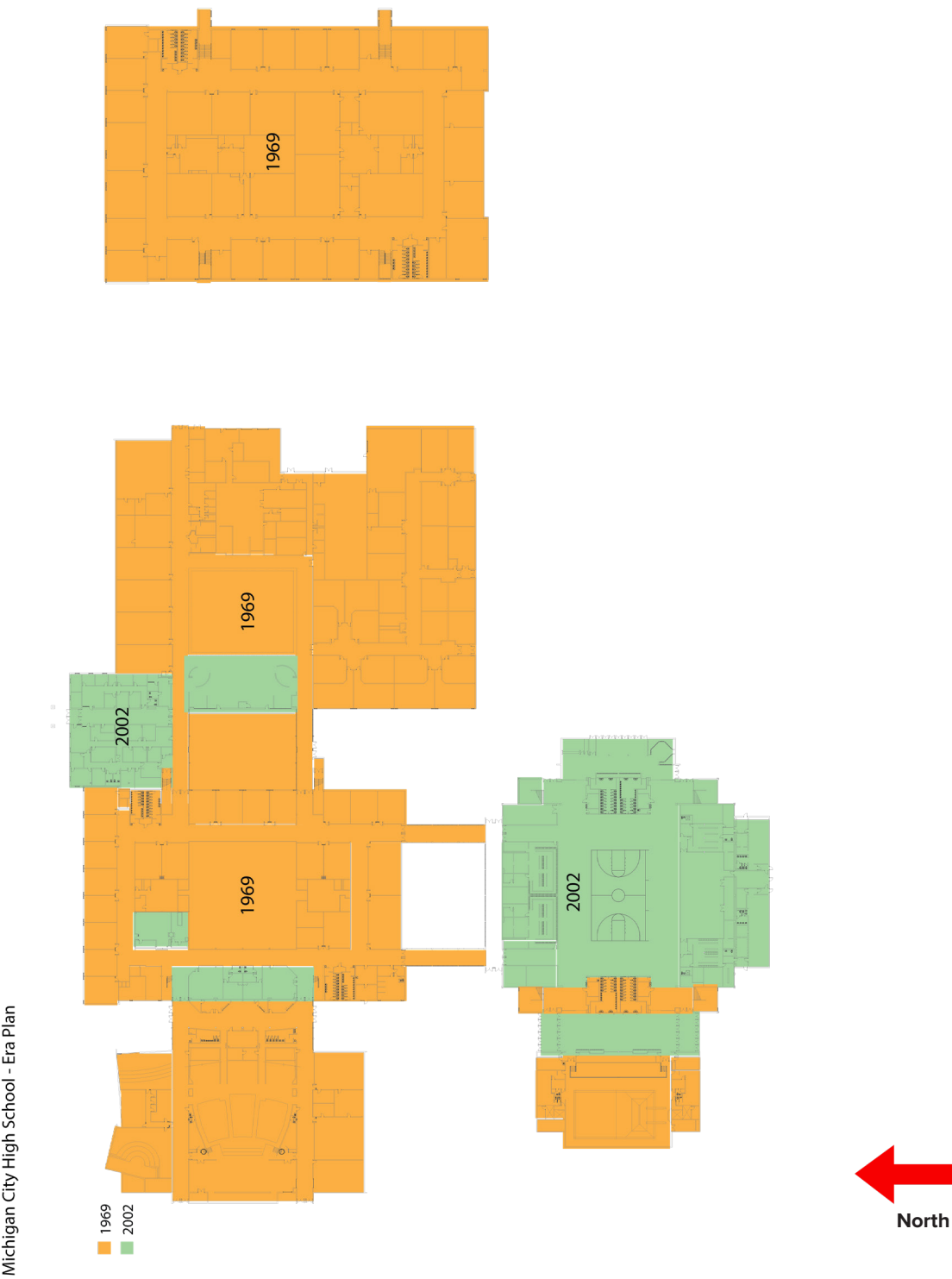
- The Building Occupancy is Group E – Educational.
  - o Allowable area per code is 14,500 SF. No sprinkler increase. Frontage increase possible dependent on public way or open space at perimeter of building.
  - o The overall square footage is 387,084 SF. The existing building is divided into areas by 2-hour separation walls.
- The 2002 Addition Building Type of Construction is Type II-B Unprotected Non-Combustible. The 1969 Original Building Type of Construction is assumed to be the same.
  - o Original construction in 1969.
  - o Locker replacement in 1994.
  - o Mechanical renovations in 1995.
  - o Addition construction in 2002.
  - o Sound system improvements in 2005.
- The existing Building is NOT equipped with a fire suppression system throughout.

### Priority Items:

- a. NOTE: All non-compliant building code items are grandfathered, however, if any item or area is renovated, new work is required to meet current building code.

# Condition Assessments

## Michigan City High School Era Floorplan





# Condition Assessments

## Michigan City High School Site

SUMMARY OF ENTIRE SITE					
Category		Subscore	Regions	Score	General Comments
A.1 Separation/Drop-off/Stacking		4.29	1	4.29	
A.2 Drives/Lots and Walks		1.75	1	1.75	
A.3 Site Improvements		3.00	1	3.00	

SITE					
A.1 Separation/Drop-off/Stacking					
A.1 Identifiable Main Entry				Score	Comments/Remarks
A.1 Identifiable Main Entry				4.00	Architecturally, the main entrance is very well defined. Addition...
A.1 ADA Accessibility	Type	Compliant		Score	Comments/Remarks
A.1 ADA Accessibility	Route	TRUE		4.00	Depends on the spot identified.
A.1 ADA Accessibility	Door	TRUE		4.00	Auto-oprator button would increase accessibility.
A.1 Parking Space Allocation	Type	Compliant	Quantity	Score	Comments/Remarks
A.1 Parking Space Allocation	Student		560.00	5.00	Requirement is 1 space for each 10 students, in addition to req...
A.1 Parking Space Allocation	Visitor		36.00	5.00	No visitor parking requirement.
A.1 Parking Space Allocation	Staff		300.00	5.00	159 employees. Requirement is 1 space for each employee.
A.1 Parking Space Allocation	Accessible	FALSE	12.00	3.00	More needed for students and staff. Requirement is 1 per 25 o...
A.1 Site Circulation	Type			Score	Comments/Remarks
A.1 Emergency/Fire Service Access				5.00	School is surrounded by public ways. N, E, S, W have paved acc...
A.1 Bus/Vehicular	Separation			4.00	
A.1 Bus/Vehicular	Signage			4.00	Additional signage at street would add clarity.
A.1 Bus Drop-off/Pick-up	Route Clarity/Safety			4.00	
A.1 Bus Drop-off/Pick-up	Adequate Stacking			5.00	Additional signage at street would add clarity.
A.1 Car Drop-off/Pick-up	Pedestrian Safety			4.00	
A.1 Car Drop-off/Pick-up	Adequate Stacking			4.00	
A.1 Car Drop-off/Pick-up	Traffic Pattern			4.00	Additional signage would add clarity and ensure traffic pattern...
A.1 Delivery Routing	Separation			5.00	
A.1 Delivery Routing	Loading Dock			4.00	
SITE A.1 Separation/Drop-off/Stacking				Total	4.29
A.2 Drives/Lots and Walks	Type	%	Subscore	Score	Comments/Remarks
A.2 Sidewalks	Concrete	100	3.00	3.00	No significant heaving, only minor heaving/cracks. General mai...
A.2 Sidewalks					
A.2 Sidewalks					
		Sidewalks	Subtotal	3.00	
A.2 Drives	Asphalt	100	1.00	1.00	General maintenance and sealcoat needed hollistically, some a...
A.2 Drives					
A.2 Drives					
		Drives	Subtotal	1.00	
A.2 Parking_Lots	Asphalt	100	1.00	1.00	General maintenance and sealcoat needed hollistically, some a...
A.2 Parking_Lots					
A.2 Parking_Lots					
		Parking Lots	Subtotal	1.00	
A.2 Drives/Parking Lots	Traffic Markings/Striping			2.00	
SITE A.2 Drives/Lots and Walks				Total	1.75
A.3 Site Improvements	Type			Score	Comments/Remarks
A.3 Playground(s)	Accessibility				N/A.
A.3 Playground(s)	Equipment				
A.3 Playground(s)	Surface				
A.3 Playground(s)	Size				
		Playground(s)	Subtotal		
A.3 Landscaping	Trees			4.00	
A.3 Landscaping	Landscaping			3.00	
		Landscaping	Subtotal	3.50	
A.3 Site Drainage	Flood Points			4.00	
A.3 Athletic Fields	Support Buildings			3.00	
A.3 Athletic Fields	Bleachers/Stadium Seating			3.00	
A.3 Athletic Fields	Athletic/Stadium Lighting			5.00	
A.3 Athletic Fields	Athletic/Stadium Paving			2.00	
A.3 Athletic Fields	Fencing/Gates			3.00	Tennis courts great, baseball/softball decent, track ok, soccer c...
A.3 Athletic Fields	Field Conditions			3.00	Tennis courts good, baseball/softball decent, track good, socce...
A.3 Athletic Fields	Scoreboards			2.00	
		Athletic Fields	Subtotal	3.00	
A.3 Site Security	Site Lines			3.00	
A.3 Site Security	Gated/Not Gated			2.00	Hollistic site is not gated, minimal control of different areas/lot...
		Site Security	Subtotal	2.50	
A.3 Fencing	Site			2.00	Solar good, no significant hollistic site fencing.
A.3 Fencing	Playground(s)				N/A.
		Fencing	Subtotal	2.00	
SITE A.3 Site Improvements				Total	3.00

# Condition Assessments

## Michigan City High School Site Summary

### ADA Building Access:

• Accessible parking spots are present in the various parking lots surrounding the building. However, it is challenging to count an accurate number due to the conditions of the parking lot surfaces, faded striping, and lack of accessible parking signs. Satellite imagery and walking the site suggest that there are up to twelve (12) accessible parking spaces. Four (4) are located in the northwest parking lot, six (6) in the northeast parking lot, and two (2) located in the west central parking lot. If this count is accurate, this is below the code minimum for accessible parking spots. The quality of accessible routes to the main entry from the parking spots is dependent on which accessible spot a person is coming from. It appears that approximately half of the accessible spots do not have immediate access to curb ramps and require individuals to utilize sections of parking drives in some cases.

• The northern vehicular lots lead to the main entry. The northwest bus lot, and west and east vehicular lots lead to separate secondary entrances. None of these entrances are equipped with automatic door openers.

### Priority Items:

a. Accessible spots should be properly identified. This includes adding signage to each spot. If number of spaces is actually below the required minimum, more spots need to be added.

b. Additional curb cuts/ramps should be added closer to accessible spots to eliminate the need for pedestrians to use the drives. Detectable warning strips should be installed at new curb cuts.

c. All building entrance doors should receive new fully ADA compliant door hardware on all doors. Entries frequently used by students, staff, or visitors should all include at least one door with an automatic door opener.

### Drives, Parking, and Sidewalks:

• The site contains multiple parking lots with numerous drives and designated drop-off/pick-up locations. There are three car parking lots located north of the school that allow access to the main entrance. It is not clear if these lots are for students, staff, or visitors. Additionally, it is not clear on which lot is used for car drop-off/pick-up. There is one dedicated bus drop-off/pick-up lot located on the north side of the school. The drive to access the

lot is shared with car traffic using the drive to access the west staff parking lot and south parking lot. This drive wraps around the south parking lot to allow access to athletic fields and an east parking lot. See ADA Building Access section for additional comments and recommendations regarding sidewalks.

• Signage and traffic markings appear to be very minimal. There is one sign visible from the road located by the northwest drive indicating use specifically for bus drop-off/pick-up and staff parking.

• Sidewalks appear to be in good condition overall. High foot-traffic areas have sidewalk. Some slabs with minor heaving while some others have cracks. There is a moderately sized concrete courtyard outside the gymnasium.

• The maintenance and loading dock are located to the east of the building and are accessed via the drive around the school.

### Priority Items:

a. All drives and parking lots require general maintenance items be addressed, sealcoat, and restripe. Portions of drives and remaining parking lots need to be replaced.

b. Additional signage designating accessible parking spaces is needed.

c. Additional signage along the roadway, drives, and parking lot entrances, along with traffic markings are recommended to aid navigation, especially for visitors to the site.

d. Sidewalks with minor heaving should be addressed appropriately. Small cracks can be cleaned and filled with sealant, while slabs with large cracks should be removed and replaced.

### Landscaping/Site Elements:

• Site is surrounded by moderately sized clusters of dense, native forests on the north, west, and south. A residential development is located on the east side. Trees and other intentionally placed plantings are scattered around the immediate vicinity of the building in addition to the north parking lots and drives and within courtyards. Green space it limited primarily to the north side of the site, including storm water detention space. Athletic fields consume the green space to the east, and south.

• Athletic fields consist of tennis courts, track and field, baseball,



# Condition Assessments

## Michigan City High School Safety and Security

softball, and soccer fields. All fields are in moderately good condition overall. Lighting for these spaces is ample. Bleachers are in good condition.

- Site fencing is limited to only enclosing athletic fields and solar farms. Tennis court fencing is in great condition. All other fencing requires some level of repair.

Priority Items:

- a. Site could benefit from additional plantings and planting beds adjacent to the building and interspersed throughout the green spaces. Trees should have dead branches removed.
- b. Gates are not necessary; however, owner should consider adding gates drives and lots to better control traffic around the site.
- c. Repair fences around all athletic fields, except for tennis courts. Owner should consider additional fencing around the site, in addition to gates, to provide better site security
- d. Score boards should be upgraded.
- e. Tennis courts have years of life left, however, owner should plan for renovations in the next several years. Soccer field may need some renovation work as well.
- f. Athletic support buildings have general maintenance needs. Owner should consider upgrading support buildings.

Playground:

- Playgrounds are not applicable to this site.

Priority Items:

- a. None at this time.

SUMMARY OF ALL SAFETY AND SECURITY					
Category		Subscore	Areas	Score	General Comments
B.1 Secure Building Access		4.50	1	4.50	
B.2 Surveillance/Cameras		2.00	1	2.00	

SAFETY AND SECURITY					
B.1 Secure Building Access	Type			Score	Comments/Remarks
B.1_Card/Code/FOBS				4.00	
B.1_Secure_Vestibule	Direct Admin Connection			5.00	
B.1_Secure_Technology	AI Voice & Video/Door Release			5.00	AI Phone 1x - MV Video phone - Handset.
B.1_Security Officer Station(s)				4.00	
SAFETY AND SECURITY B.1 Secure Building Access			Total	4.50	
B.2 Surveillance/Cameras				Score	Comments/Remarks
B.2_Video Surveillance				3.00	Exacq Vision VMS.
B.2_Intrusion Detection				1.00	Only on 3 offices - not building wide.
SAFETY AND SECURITY B.2 Surveillance/Cameras			Total	2.00	

Secure Visitor Access:

- The existing building has a secure vestibule that provides direct access to administration. The secure vestibule is accessed via video/intercom/door release system or fob/door release system. Select additional entrances around building have fob/code entry pad systems with all entrances having key access.
- Building intrusion detection is not building-wide but is present in three offices. Video surveillance is limited as well. Security officer stations are present.

Priority Items:

- a. Expand video surveillance system to provide better coverage.
- b. Upgrade building intrusion system to at least include all points of entry. Adding intrusion detection to corridors as well is recommended.

# Condition Assessments

## Michigan City High School Building Envelope and Roof

SUMMARY OF ENTIRE BUILDING ENVELOPE					
Category		Subscore	Areas/Regions	Score	General Comments
C.2 Exterior Building Walls		3.30	1	3.30	
C.3 Exterior Doors/Windows		2.88	1	2.88	

BUILDING ENVELOPE					
C.2 Exterior Building Walls	Type	%	Subscore	Score	Comments/Remarks
C.2_Masonry	Brick	65	4.00	2.60	A' wing tuckpointing and cleaning needed; admin, 'N' wing, gym ...
C.2_Finish_System	Exterior Insulation (EIFS)	15	2.00	0.30	A' wing significant patch/repair; 'N' wing some patch/repair; 'O' ...
C.2_Metal	Formed Panel	20	2.00	0.40	N' wing are poor; gym, 'P'/aud wing are decent.
<select or leave blank>					
BUILDING ENVELOPE C.2 Exterior Building Walls			Total	3.30	
C.3 Exterior Doors/Windows	Type	% or Qty.	Subscore	Score	Comments/Remarks
C.3_Aluminum	Window	100	1.25	1.25	A' wing, 'P'/aud wing, gym are single pane; admin, 'O' wing, 'N' ...
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
	Exterior Windows		Subtotal	1.25	
C.3_Swinging	Aluminum	75	5.00	3.75	Admin, 'O' wing, 'N' wing, gym, pool, 'P'/aud wing are decent. ...
C.3_Swinging	Hollow Metal	15	3.00	0.45	O' wing, gym, pool are decent, 'N' wing are poor. ...
C.3_Overhead	Steel	10	3.00	0.30	O' wing, 'P'/aud wing are decent, 'N' wing are poor. ...
<select or leave blank>					
	Exterior Doors		Subtotal	4.50	
BUILDING ENVELOPE C.3 Exterior Doors/Windows			Total	2.88	

SUMMARY OF ALL ROOFS							
Category		Total Sq.Ft.	Subscore	Areas	Score		General Comments
C.1 Building Roof		272,500	3.01	1	3.01		

ROOF							
C.1 Building Roof	Type	Install Year	Square Feet	Subscore	Score	Warranty Exp.	Comments/Remarks
C.1_Membrane	EPDM	2013	270,000	3.00	2.97	2028	
	Manufacturer/Installer	Firestone/Korellis					
C.1_Glass	Kalwall	Unknown	2,500	4.00	0.04	Unknown	
	Manufacturer/Installer						
<select or leave blank>							
	Manufacturer/Installer						
<select or leave blank>							
	Manufacturer/Installer						
ROOF C.1 Building Roof		Total Sq.Ft.	272,500	Total Score	3.01		

# Condition Assessments

## Michigan City High School Building Envelope Summary

### Exterior Facades:

• Existing exterior facades are generally comprised of brick veneer. Vertical pilasters separating windows, the top 3'-5' of façades, and below windows is EIFS. The upper portions of the N-wing, Gymnasium, and P-wing have formed metal panel.

• The existing exterior facades vary in visual condition. The brick veneer is due for cleaning and in need of tuckpointing maintenance needs. The EIFS has areas needing significant repair, while other areas only need general cleaning and repainting to ensure strength of the system remains intact. Areas with formed metal panel are in need of general maintenance or repair. The sheet metal fascia and trim appears to be in good condition.

• The brick veneer columns and metal framed canopy system at the main entrance are in good condition. The brick veneer columns require cleaning and minor tuckpointing. The metal frame of the canopy has some rust and paint is weather faded/ chipping.

• Exposed metal posts in various locations around the building have some rust and chipping paint.

• The aluminum windows are in poor condition around the entire exterior. Most windows appear single pane, offering no thermal properties. Perimeter window sealant appears to be old and poorly maintained.

• The aluminum doors are thermal systems and visually appear to be in above-average condition, but some doors have minor damage. Hollow metal frames and doors are mostly in good condition, though, some general maintenance is required and some will need to be replaced. Steel overhead doors are generally in the same condition as hollow metal doors and frames. Due to age and typical assessment findings, maintenance work or replacement expected.

### Priority Items:

- a. Brick veneer at A-wing requires tuckpointing and cleaning. Brick veneer elsewhere requires cleaning.
- b. EIFS at A-wing is in need of significant patching/repair and repainting. N-wing EIFS needs some patch/repair and repainting. All other EIFS needs cleaning and painting.
- c. Areas with formed metal panel should have damaged panels removed and replaced. All panels should be repainted.

d. The main entrance brick veneer columns need to be cleaned. The main entrance canopy needs cleaning and repainting. The canopy panels need to be cleaned.

e. Exposed metal posts should be cleaned and repainted.

f. All aluminum windows should be considered for full replacement. A-wing, P-wing, and gymnasium windows need to be fully replaced at a minimum. In addition, windows in all other areas should have sealant inspected and replaced where necessary.

g. Hollow metal doors and frames should be replaced at the N-wing. All other hollow metal doors and frames should be cleaned and repainted. Same comments apply to steel overhead doors.

### Roofs:

• The existing roof is primarily EPDM, covering approximately 270,000 SF, manufactured by Firestone/Korellis, and installed in 2013. The roofing system is known to be under warranty until 2028. A Kalwall system covers an additional 2,500 SF and the installation date and warranty period are unknown.

### Priority Items:

- a. EPDM roofing system is nearing the end of the warranty period. The overall condition is good. It is strongly recommended that the owner have a roofing professional inspect the membrane system and address any deficiencies prior to the warranty expiration.
- b. Kalwall panel system is in above-average condition. Panels should be thoroughly cleaned following manufacturer's recommendations.

Condition Assessments

Michigan City High School Exterior Floorplan



Michigan City High School - Exterior Condition Assessment

Condition Assessments

Michigan City High School Corridors/Commons

SUMMARY OF ALL CORRIDORS/COMMONS					
Category		Subscore	Areas	Score	General Comments
D.1 ADA/Accessibility		7.88	3	2.63	
D.2 Floor Finish		10.50	3	3.50	
D.3 Wall Finish		11.28	3	3.76	
D.4 Ceiling Finish		11.78	3	3.93	
D.5 Doors/Borrowed Lites		9.75	3	3.25	
D.6 Fixed Equipment		12.00	3	4.00	

A WING: CORRIDOR/COMMONS					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware/Clearances		FALSE		2.50	
D.1_Routing/Ramps		TRUE		4.00	
D.1_Wayfinding Signage		FALSE		1.00	Directional signage is minimal to none. Directional signage would be helpful.
D.1_Elevator/Lift		TRUE		4.00	Elevator serves A Wing only.
A WING: CORRIDOR/COMMONS D.1 ADA/Accessibility			Total	2.88	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Terrazzo		100	3.50	3.50	Decent condition.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
A WING: CORRIDOR/COMMONS D.2 Floor Finish			Total	3.50	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Modular	90	3.50	3.15	
D.3_Masonry	SGT	10	3.50	0.35	
<select or leave blank>					
<select or leave blank>					
A WING: CORRIDOR/COMMONS D.3 Wall Finish			Total	3.50	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	90	3.75	3.38	
D.4_Gypsum	Painted	10	4.00	0.40	
<select or leave blank>					
<select or leave blank>					
A WING: CORRIDOR/COMMONS D.4 Ceiling Finish			Total	3.78	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Metal	Hollow	100	3.25	3.25	Repaint
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
A WING: CORRIDOR/COMMONS D.5 Doors/Borrowed Lites			Total	3.25	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Tackboard		100	4.00	4.00	
<select or leave blank>					
<select or leave blank>					
Visual Display Boards			Subtotal	4.00	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
Casework/Countertops			Subtotal		
D.6_Lockers	Metal			4.00	
A WING: CORRIDOR/COMMONS D.6 Fixed Equipment			Total	4.00	

# Condition Assessments

Michigan City High School Classrooms

SUMMARY OF ALL CLASSROOMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		5.25	3	1.75	
D.2 Floor Finish		8.95	3	2.98	
D.3 Wall Finish		11.25	3	3.75	
D.4 Ceiling Finish		8.75	3	2.92	
D.5 Doors/Borrowed Lites		9.60	3	3.20	
D.6 Fixed Equipment		9.38	3	3.13	

A WING: CLASSROOMS					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		FALSE		1.00	Knob hardware should be replaced with lever hardware.
D.1_Door Clearances		TRUE		4.00	Clearances are compliant.
D.1_Room Signage		FALSE		1.00	Not compliant where present.
D.1_Casework Clearances/Hts.		FALSE		1.00	Not compliant where present.
A WING: CLASSROOMS D.1 ADA/Accessibility			Total	1.75	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Carpet	Broadloom	80	3.25	2.60	Decent condition, aged wear.
D.2_Vinyl	VCT	20	3.00	0.60	Decent to poor condition.
<select or leave blank>					
<select or leave blank>					
A WING: CLASSROOMS D.2 Floor Finish			Total	3.20	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Masonry	CMU	40	4.00	1.60	Due for repaint
D.3_Gypsum	Modular	40	4.00	1.60	Good condition, repaint.
D.3_Gypsum	Painted	20	3.50	0.70	Repair drywall and repaint.
<select or leave blank>					
A WING: CLASSROOMS D.3 Wall Finish			Total	3.90	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	3.75	3.75	Good condition
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
A WING: CLASSROOMS D.4 Ceiling Finish			Total	3.75	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	3.25	3.25	Knob hardware should be replaced with lever hardware.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
A WING: CLASSROOMS D.5 Doors/Borrowed Lites			Total	3.25	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Chalkboard		40	3.00	1.20	
D.6_Markerboard		30	3.50	1.05	
D.6_Tackboard		30	4.00	1.20	
	Visual Display Boards		Subtotal	3.45	
D.6_Casework	PLAM				
D.6_Countertops	PLAM				
<select or leave blank>					
<select or leave blank>					
	Casework/Countertops		Subtotal		
D.6_Lockers					N/A.
A WING: CLASSROOMS D.6 Fixed Equipment			Total	3.45	

# Condition Assessments

Michigan City High School O Wing: Classrooms

O WING: CLASSROOMS					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		FALSE		1.00	Lever hardware to be installed.
D.1_Door Clearances		FALSE		1.00	
D.1_Room Signage		FALSE		1.00	Not compliant.
D.1_Casework Clearances/Hts.		FALSE		1.00	Casework nor sinks compliant in computer lab, FCS, or sewing
O WING: CLASSROOMS D.1 ADA/Accessibility			Total	1.00	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Vinyl	VCT	80	3.50	2.80	Good condition with minor to moderate repair.
D.2_Carpet	Broadloom	20	2.00	0.40	Poor condition, stains and tears in several areas. Due for replac
<select or leave blank>					
<select or leave blank>					
O WING: CLASSROOMS D.2 Floor Finish			Total	3.20	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Masonry	CMU	40	4.00	1.60	Due for repaint
D.3_Gypsum	Modular	40	4.00	1.60	Good condition, repaint.
D.3_Gypsum	Painted	20	3.50	0.70	Repair drywall and repaint.
<select or leave blank>					
O WING: CLASSROOMS D.3 Wall Finish			Total	3.90	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	2.00	2.00	Poor condition. Stains and saggin in relation to grid and tiles.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
O WING: CLASSROOMS D.4 Ceiling Finish			Total	2.00	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	3.25	3.25	Aged, poor condition.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
O WING: CLASSROOMS D.5 Doors/Borrowed Lites			Total	3.25	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Chalkboard		20	3.00	0.60	
D.6_Tackboard		30	4.00	1.20	
D.6_Markerboard		50	3.50	1.75	
	Visual Display Boards		Subtotal	3.55	
D.6_Casework	PLAM	20	2.50	0.50	Aged, poor condition.
D.6_Countertops	PLAM	20	2.50	0.50	Aged, poor condition.
D.6_Casework	Metal	20	1.50	0.30	Aged, poor condition.
D.6_Casework	Wood	20	1.50	0.30	Aged, poor condition.
D.6_Countertops	Wood	20	1.50	0.30	Aged, poor condition.
	Casework/Countertops		Subtotal	1.90	
D.6_Lockers					N/A.
O WING: CLASSROOMS D.6 Fixed Equipment			Total	2.73	

Condition Assessments

Michigan City High School N Wing: Classrooms

N WING: CLASSROOM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		TRUE		4.00	Lever hardware.
D.1_Door Clearances		TRUE		4.00	Clearances are appropriate.
D.1_Room Signage		FALSE		1.00	Room signage present in some areas but not compliant.
D.1_Casework Clearances/Hts.		FALSE		1.00	Sinks not compliant in the construction lab. Casework not com
N WING: CLASSROOM D.1 ADA/Accessibility			Total	2.50	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Carpet	Broadloom	70	2.50	1.75	Stains and tears in carpet especially in the lab spaces.
D.2_Vinyl	VCT	10	3.00	0.30	Poor condition.
D.2_Concrete	Sealed	20	2.50	0.50	Significant cracking in the concrete.
<select or leave blank>					
N WING: CLASSROOM D.2 Floor Finish			Total	2.55	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Wallcovering	30	3.75	1.13	Gouges and peeling of the wallpaper in some areas.
D.3_Gypsum	Painted	40	2.80	1.12	Gouges, scratches, and holes in drywall. Due for repair and rep
D.3_Masonry	CMU	30	4.00	1.20	Good condition, due for repaint.
<select or leave blank>					
N WING: CLASSROOM D.3 Wall Finish			Total	3.45	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	80	3.00	2.40	Stains and sagging present on tiles.
D.4_Exposed	Unpainted	20	3.00	0.60	Shows age, debris, and stain. Due for repair, cleaning, and repa
<select or leave blank>					
<select or leave blank>					
N WING: CLASSROOM D.4 Ceiling Finish			Total	3.00	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	90	3.00	2.70	
D.5_Metal		10	4.00	0.40	Overhead door.
<select or leave blank>					
<select or leave blank>					
N WING: CLASSROOM D.5 Doors/Borrowed Lites			Total	3.10	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Chalkboard	Unlined	30	3.50	1.05	
D.6_Markerboard	Unlined	40	3.50	1.40	Decent condition.
D.6_Tackboard		30	3.50	1.05	Good condition.
		Visual Display Boards	Subtotal	3.50	
D.6_Casework	PLAM	60	3.50	2.10	Casework has scratches and gouges.
D.6_Countertops	PLAM	20	2.00	0.40	Countertop has scratches and gouges. Some of it is made of ou
D.6_Casework	Wood	20	2.00	0.40	Lumber shelves/casework in construction lab and PLTW lab / n
<select or leave blank>					
		Casework/Countertops	Subtotal	2.90	
D.6_Lockers					N/A.
N WING: CLASSROOM D.6 Fixed Equipment			Total	3.20	

Condition Assessments

Michigan City High School Art Rooms

SUMMARY OF ALL ART ROOMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		1.63	1	1.63	
D.2 Floor Finish		3.00	1	3.00	
D.3 Wall Finish		3.65	1	3.65	
D.4 Ceiling Finish		2.75	1	2.75	
D.5 Doors/Borrowed Lites		3.25	1	3.25	
D.6 Fixed Equipment		1.88	1	1.88	

ART ROOM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		FALSE		1.00	Knob hardware to be lever hardware.
D.1_Door Clearances		TRUE		3.50	Clearances are compliant.
D.1_Room Signage		FALSE		1.00	Room signage present but not compliant.
D.1_Casework Clearances/Hts.		FALSE		1.00	Sinks are not compliant.
ART ROOM D.1 ADA/Accessibility			Total	1.63	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Vinyl	VCT	100	3.00	3.00	Tile replacement needed in some areas of space due to staining
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ART ROOM D.2 Floor Finish			Total	3.00	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Masonry	CMU	30	4.00	1.20	Due for repaint
D.3_Gypsum	Modular	70	3.50	2.45	Good condition, repaint.
<select or leave blank>					
<select or leave blank>					
ART ROOM D.3 Wall Finish			Total	3.65	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	2.75	2.75	Staining and sagging of tiles.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ART ROOM D.4 Ceiling Finish			Total	2.75	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	3.25	3.25	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ART ROOM D.5 Doors/Borrowed Lites			Total	3.25	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Chalkboard		40	3.00	1.20	
D.6_Tackboard		30	3.50	1.05	
D.6_Markerboard		30	4.00	1.20	
		Visual Display Boards	Subtotal	3.45	
D.6_Casework	Wood	40	1.50	0.60	
D.6_Countertops	Wood	30	2.00	0.60	
D.6_Countertops	Resin (Epoxy/Phenolic)	10	2.00	0.20	
D.6_Casework	Metal	20	2.00	0.40	
		Casework/Countertops	Subtotal	1.80	
D.6_Lockers					N/A.
D.6_Sinks/Plaster Traps				1.50	
D.6_Work Tables				1.50	
D.6_Kiln and Exhaust				1.50	
D.6_General Storage				1.50	
ART ROOM D.6 Fixed Equipment			Total	1.88	



# Condition Assessments

Michigan City High School Administration

SUMMARY OF ALL ADMINISTRATION					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		2.38	1	2.38	
D.2 Floor Finish		3.50	1	3.50	
D.3 Wall Finish		4.00	1	4.00	
D.4 Ceiling Finish		4.00	1	4.00	
D.5 Doors/Borrowed Lites		3.25	1	3.25	
D.6 Fixed Equipment		4.17	1	4.17	

ADMINISTRATION					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		FALSE		2.50	Compliancy within the main admin is generally closer than othe...
D.1_Door Clearances		FALSE		2.50	Compliancy within the main admin is generally closer than othe...
D.1_Room Signage		FALSE		2.50	Compliancy within the main admin is generally closer than othe...
D.1_Casework Clearances/Hts.		FALSE		2.00	Compliancy within the main admin is generally closer than othe...
ADMINISTRATION D.1 ADA/Accessibility			Total	2.38	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Carpet	Broadloom	70	3.50	2.45	Overall good condition, some stains where area needs replacer...
D.2_Carpet	Tile	30	3.50	1.05	
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.2 Floor Finish			Total	3.50	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Wallcovering	100	4.00	4.00	Overall good condition, some peeling.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.3 Wall Finish			Total	4.00	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	4.00	4.00	Good condition
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.4 Ceiling Finish			Total	4.00	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	3.25	3.25	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.5 Doors/Borrowed Lites			Total	3.25	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Markerboard	Unlined	80	4.50	3.60	
D.6_Tackboard		20	4.50	0.90	
	Visual Display Boards		Subtotal	4.50	
D.6_Casework	PLAM	80	4.00	3.20	Good condition.
D.6_Countertops	PLAM	20	4.00	0.80	Good condition.
<select or leave blank>					
<select or leave blank>					
	Casework/Countertops		Subtotal	4.00	
D.6_Appliances				4.00	
ADMINISTRATION D.6 Fixed Equipment			Total	4.17	

# Condition Assessments

Michigan City High School Music Rooms

SUMMARY OF ALL MUSIC ROOMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		1.63	1	1.63	
D.2 Floor Finish		2.50	1	2.50	
D.3 Wall Finish		3.80	1	3.80	
D.4 Ceiling Finish		2.50	1	2.50	
D.5 Doors/Borrowed Lites		3.25	1	3.25	
D.6 Fixed Equipment		3.73	1	3.73	

MUSIC ROOM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		FALSE		1.00	Knob hardware should be replaced with lever hardware.
D.1_Door Clearances		TRUE		3.50	
D.1_Room Signage		FALSE		1.00	Not compliant where present.
D.1_Casework Clearances/Hts.		FALSE		1.00	Tall cabinets not compliant for instrument storage.
MUSIC ROOM D.1 ADA/Accessibility			Total	1.63	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Carpet	Broadloom	100	2.50	2.50	Significant staining.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
MUSIC ROOM D.2 Floor Finish			Total	2.50	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Modular	20	4.00	0.80	Due for repaint
D.3_Masonry	CMU	70	4.00	2.80	Due for repaint
D.3_Panelized	Acoustic	10	2.00	0.20	Stained, replacement needed.
<select or leave blank>					
MUSIC ROOM D.3 Wall Finish			Total	3.80	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	2.50	2.50	Aged, missing tiles, staining, and sagging.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
MUSIC ROOM D.4 Ceiling Finish			Total	2.50	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	3.25	3.25	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
MUSIC ROOM D.5 Doors/Borrowed Lites			Total	3.25	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Chalkboard	Lined	50	3.00	1.50	
D.6_Tackboard		30	4.00	1.20	
D.6_Markerboard		20	3.50	0.70	
	Visual Display Boards		Subtotal	3.40	
D.6_Casework	PLAM	90	3.75	3.38	
D.6_Countertops	PLAM	10	3.75	0.38	
	Casework/Countertops		Subtotal	3.75	
D.6_Lockers	PLAM			3.75	
D.6_Tiers/Bleachers				3.75	
D.6_General Storage				4.00	
MUSIC ROOM D.6 Fixed Equipment			Total	3.73	

# Condition Assessments

Michigan City High School Gymnasium

SUMMARY OF ALL GYMNASIUMS					
Category	Subscore	Rooms/Areas	Score	General Comments	
D.1 ADA/Accessibility	1.63	1	1.63		
D.2 Floor Finish	3.85	1	3.85		
D.3 Wall Finish	3.50	1	3.50		
D.4 Ceiling Finish	3.60	1	3.60		
D.5 Doors/Borrowed Lites	3.25	1	3.25		
D.6 Fixed Equipment	3.80	1	3.80		

GYMNASIUM					
D.1 ADA/Accessibility	Compliant		Score	Comments/Remarks	
D.1_Door Hardware	FALSE		1.00	Knob hardware should be replaced with lever hardware.	
D.1_Door Clearances	TRUE		3.50		
D.1_Room Signage	FALSE		1.00	Not compliant where present.	
D.1_General ADA (routing/seats/etc)	FALSE		1.00	Stage access not compliant. Bleachers not compliant.	
GYMNASIUM D.1 ADA/Accessibility		Total	1.63		
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Athletic	Hardwood	80	4.00	3.20	
D.2_Concrete	Polished	10	3.50	0.35	Some staining and chipping.
D.2_Carpet	Broadloom	10	3.00	0.30	
<select or leave blank>					
GYMNASIUM D.2 Floor Finish		Total	3.85		
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Masonry	CMU	80	3.50	2.80	Good condition, repaint.
D.3_Gypsum	Painted	20	3.50	0.70	
<select or leave blank>					
<select or leave blank>					
GYMNASIUM D.3 Wall Finish		Total	3.50		
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Exposed	Painted	80	4.00	3.20	Decent condition, repaint.
D.4_Suspended	Acoustic	20	2.00	0.40	Poor condition
<select or leave blank>					
<select or leave blank>					
GYMNASIUM D.4 Ceiling Finish		Total	3.60		
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	30	3.25	0.98	Hardware as listed within ADA section.
D.5_Metal	Hollow	30	3.25	0.98	Decent condition
D.5_Metal	Aluminum	40	3.25	1.30	Decent condition
<select or leave blank>					
GYMNASIUM D.5 Doors/Borrowed Lites		Total	3.25		
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Markerboard	Unlined	70	3.50		
D.6_Tackboard		30	4.00		
		Visual Display Boards	Subtotal		
D.6_Equipment	Basketball Main			4.00	
D.6_Equipment	Basketball Cross Court			4.00	
D.6_Equipment	Divider Curtain/Partition			4.00	
D.6_Equipment	Bleachers			4.00	
D.6_Equipment	General Storage			3.00	
GYMNASIUM D.6 Fixed Equipment		Total	3.80		

# Condition Assessments

Michigan City High School Cafeteria/Kitchen

SUMMARY OF ENTIRE CAFETERIA/KITCHEN					
Category	Subscore	Rooms/Areas	Score	General Comments	
D.1 ADA/Accessibility	1.63	1	1.63		
D.2 Floor Finish	3.13	1	3.13		
D.3 Wall Finish	3.80	1	3.80		
D.4 Ceiling Finish	2.40	1	2.40		
D.5 Doors/Borrowed Lites	3.19	1	3.19		
D.6 Fixed Equipment	3.68	1	3.68		

CAFETERIA/KITCHEN					
D.1 ADA/Accessibility	Compliant		Score	Comments/Remarks	
D.1_Door Hardware	FALSE		1.00	Knob hardware should be replaced with lever hardware.	
D.1_Door Clearances	TRUE		3.50		
D.1_Room Signage	FALSE		1.00	Not compliant where present.	
D.1_Casework Clearances/Hts.	FALSE		1.00	Kitchen area is not compliant. Cafeteria has compliant spaces.	
CAFETERIA/KITCHEN D.1 ADA/Accessibility		Total	1.63		
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Terrazzo		70	3.25	2.28	Good condition with the exception of staining within kitchen ar...
D.2_Concrete	Sealed	10	2.50	0.25	Cracking and staining present.
D.2_Carpet	Broadloom	20	3.00	0.60	Fair condition.
<select or leave blank>					
CAFETERIA/KITCHEN D.2 Floor Finish		Total	3.13		
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Masonry	CMU	80	4.00	3.20	
D.3_Gypsum	Painted	20	3.00	0.60	Repair work where gouges and holes are. Due for repaint.
<select or leave blank>					
<select or leave blank>					
CAFETERIA/KITCHEN D.3 Wall Finish		Total	3.80		
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	80	3.00	2.40	Cafeteria tiles are in decent condition. Kitchen tiles are aged, s...
D.4_Exposed	Painted	20			
<select or leave blank>					
<select or leave blank>					
CAFETERIA/KITCHEN D.4 Ceiling Finish		Total	2.40		
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	75	3.25	2.44	Decent condition with exceptions of repair work in regards to k...
D.5_Metal	Hollow	25	3.00	0.75	Due for repaint.
<select or leave blank>					
<select or leave blank>					
CAFETERIA/KITCHEN D.5 Doors/Borrowed Lites		Total	3.19		
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Tackboard		50	2.75	1.38	
D.6_Markerboard		50	3.50	1.75	
<select or leave blank>					
		Visual Display Boards	Subtotal	3.13	
D.6_Casework	PLAM	60	4.50	2.70	N/A.
D.6_Countertops	PLAM	20	4.00	0.80	
D.6_Countertops		20	4.00	0.80	Granite.
<select or leave blank>					
		Casework/Countertops	Subtotal	4.30	
D.6_Freezers/Coolers				3.00	Assumed - Door was locked.
D.6_Cooking Battery				3.00	Assumed - Door was locked.
D.6_Serving				4.00	
D.6_Dishwashing				4.00	
D.6_Overall Function				4.00	
D.6_General Storage				4.00	
CAFETERIA/KITCHEN D.6 Fixed Equipment		Total	3.68		

# Condition Assessments

Michigan City High School Restrooms

SUMMARY OF ALL RESTROOMS					
Category	Subscore	Rooms/Areas	Score	General Comments	
D.1 ADA/Accessibility	5.50	3	1.83		
D.2 Floor Finish	10.10	3	3.37		
D.3 Wall Finish	8.50	3	2.83		
D.4 Ceiling Finish	10.00	3	3.33		
D.5 Doors/Borrowed Lites	6.50	2	3.25		
D.6 Fixed Equipment	3.10	3	1.03		

A WING: RESTROOMS					
D.1 ADA/Accessibility	Compliant		Score	Comments/Remarks	
D.1_Door Hardware/Clearances	TRUE		1.00		
D.1_Room Signage	FALSE		1.00	Not present.	
D.1_Stall Widths/Clearances	FALSE		1.00	Not compliant.	
D.1_General ADA Clearances	FALSE		1.00	Not compliant.	
A WING: RESTROOMS D.1 ADA/Accessibility			Total	1.00	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Terrazzo		80	4.00	3.20	Good condition.
D.2_Tile	Mosaic	10	3.50	0.35	Fair condition.
D.2_Vinyl	VCT	10	3.00	0.30	Fair condition.
<select or leave blank>					
A WING: RESTROOMS D.2 Floor Finish			Total	3.85	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Masonry	CMU	80	3.00	2.40	Repaint.
D.3_Tile	Square	10			
D.3_Panelized	FRP	10			
<select or leave blank>					
A WING: RESTROOMS D.3 Wall Finish			Total	2.40	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	3.50	3.50	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
A WING: RESTROOMS D.4 Ceiling Finish			Total	3.50	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
A WING: RESTROOMS D.5 Doors/Borrowed Lites			Total		
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
<select or leave blank>					
<select or leave blank>					
			Visual Display Boards		Subtotal
D.6_Partitions	Metal/SS	75	1.00	0.75	Poor condition. Corroding fasteners.
D.6_Toilet_Accessories	General	10	4.00	0.40	
<select or leave blank>					
<select or leave blank>					
			Partitions/Accessories		Subtotal
					1.15
D.6_Countertops					N/A - Wall hung lavatories.
D.6_Lockers					
A WING: RESTROOMS D.6 Fixed Equipment			Total	1.15	

# Condition Assessments

Michigan City High School O Wing: Restrooms

O WING: RESTROOMS					
D.1 ADA/Accessibility	Compliant		Score	Comments/Remarks	
D.1_Door Hardware/Clearances	TRUE		3.00	Openings are compliant.	
D.1_Room Signage	FALSE		1.00	Not present.	
D.1_Stall Widths/Clearances	FALSE		1.00	Not compliant.	
D.1_General ADA Clearances	FALSE		1.00	Not compliant.	
O WING: RESTROOMS D.1 ADA/Accessibility			Total	1.50	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Terrazzo		90	2.75	2.48	Stains are present under lavatories.
D.2_Vinyl	VCT	10	2.75	0.28	Wear and tear, along with staining.
<select or leave blank>					
O WING: RESTROOMS D.2 Floor Finish			Total	2.75	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Masonry	CMU	90	2.50	2.25	Poor condition, several gouges in the concrete, needs to be repainted.
D.3_Gypsum	Modular	10	3.50	0.35	Fair condition.
<select or leave blank>					
<select or leave blank>					
O WING: RESTROOMS D.3 Wall Finish			Total	2.60	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	2.50	2.50	Staining of tiles, grid is in moderate condition, sagging and open.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
O WING: RESTROOMS D.4 Ceiling Finish			Total	2.50	
D.5 Doors/Borrowed Lites	Type	Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	1	3.25	3.25	Gang restrooms have openings, Clinic has 1 wood door.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
O WING: RESTROOMS D.5 Doors/Borrowed Lites			Total	3.25	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
			Visual Display Boards		Subtotal
D.6_Partitions	Metal/SS	90	1.00	0.90	Poor condition, have been repainted several times.
D.6_Toilet_Accessories	General	10	2.00	0.20	Several accessories are broken and need to be replaced.
D.6_Toilet_Accessories	Benches				
D.6_Toilet_Accessories	Showers				
			Partitions/Accessories		Subtotal
					1.10
D.6_Countertops					N/A - Wall hung lavatories.
D.6_Lockers					
O WING: RESTROOMS D.6 Fixed Equipment			Total	1.10	

Condition Assessments

Michigan City High School N Wing: Restrooms

N WING: RESTROOMS					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware/Clearances		TRUE		5.00	
D.1_Room Signage		FALSE		1.00	Not present.
D.1_Stall Widths/Clearances		FALSE		3.00	Partially compliant. Womens restroom is compliant. Male restr...
D.1_General ADA Clearances		FALSE		3.00	Partially compliant. Womens restroom is compliant. Male restr...
N WING: RESTROOMS D.1 ADA/Accessibility			Total	3.00	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Tile	Mosaic	100	3.50	3.50	Fair condition, with the exception of cleaning grout.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
N WING: RESTROOMS D.2 Floor Finish			Total	3.50	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Masonry	CMU	100	3.50	3.50	Fair condition, due for repaint.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
N WING: RESTROOMS D.3 Wall Finish			Total	3.50	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	4.00	4.00	Good condition.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
N WING: RESTROOMS D.4 Ceiling Finish			Total	4.00	
D.5 Doors/Borrowed Lites	Type	Qty.	Subscore	Score	Comments/Remarks
<select or leave blank>		100	3.25	3.25	Gang restrooms have openings.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
N WING: RESTROOMS D.5 Doors/Borrowed Lites			Total	3.25	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
<select or leave blank>					
<select or leave blank>					
	Visual Display Boards		Subtotal		
D.6_Partitions	Metal/SS	75	1.00	0.75	Due for replacement, have been painted several times, and gra...
D.6_Toilet_Accessories	General	10	1.00	0.10	Several broken accessories, due for replacement.
D.6_Toilet_Accessories					
D.6_Toilet_Accessories					
	Partitions/Accessories		Subtotal	0.85	
D.6_Countertops					N/A - Wall hung lavatories.
D.6_Lockers					
N WING: RESTROOMS D.6 Fixed Equipment			Total	0.85	

Condition Assessments

Michigan City High School Natatorium

SUMMARY OF ALL NATATORIUMS

Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		1.00	1	1.00	N/A.
D.2 Floor Finish		3.40	1	3.40	N/A.
D.3 Wall Finish		4.00	1	4.00	N/A.
D.4 Ceiling Finish		4.00	1	4.00	N/A.
D.5 Doors/Borrowed Lites		3.25	1	3.25	N/A.
D.6 Fixed Equipment		0.00	0	0.00	N/A.

NATATORIUM

D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		FALSE		1.00	Knob hardware to be replaced with lever hardware.
D.1_Door Clearances		TRUE		1.00	Clearances not compliant.
D.1_Room Signage		FALSE		1.00	Room signage present, not compliant.
D.1_General ADA (routing/seats/etc)		FALSE		1.00	Sinks in locker rooms are not compliant / NA
NATATORIUM D.1 ADA/Accessibility			Total	1.00	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Tile	Mosaic	50	3.50	1.75	
D.2_Concrete	Sealed	30	3.50	1.05	
D.2_Epoxy	Solid	20	3.00	0.60	
<select or leave blank>					
NATATORIUM D.2 Floor Finish			Total	3.40	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Masonry	CMU	100	4.00	4.00	Due for repaint.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
NATATORIUM D.3 Wall Finish			Total	4.00	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	70	4.00	2.80	New grid and tiles.
D.4_Plaster	Painted	30	4.00	1.20	Decent condition.
<select or leave blank>					
<select or leave blank>					
NATATORIUM D.4 Ceiling Finish			Total	4.00	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	80	3.25	2.60	
D.5_Metal	Hollow	20	3.25	0.65	
<select or leave blank>					
<select or leave blank>					
NATATORIUM D.5 Doors/Borrowed Lites			Total	3.25	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Tackboard		50	4.00		
D.6_Markerboard		50	4.00		
	Visual Display Boards		Subtotal		
D.6_Equipment	Competition Pool				
D.6_Equipment	Diving Well				
D.6_Equipment	Bleachers/Seating				
D.6_Equipment	General Storage				
NATATORIUM D.6 Fixed Equipment			Total		

# Condition Assessments

Michigan City High School Auditorium

SUMMARY OF ALL AUDITORIUMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		1.00	1	1.00	N/A.
D.2 Floor Finish		2.85	1	2.85	N/A.
D.3 Wall Finish		3.60	1	3.60	N/A.
D.4 Ceiling Finish		3.40	1	3.40	N/A.
D.5 Doors/Borrowed Lites		3.00	1	3.00	N/A.
D.6 Fixed Equipment		3.05	1	3.05	N/A.

AUDITORIUM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		FALSE		1.00	Knob hardware should be replaced with lever hardware.
D.1_Door Clearances		FALSE		1.00	
D.1_Room Signage		FALSE		1.00	Not compliant where present.
D.1_General ADA (routing/seats/etc)		FALSE		1.00	
AUDITORIUM D.1 ADA/Accessibility			Total	1.00	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Wood	Hardwood	20	2.00	0.40	Stage flooring in need of replacement or refinish.
D.2_Terrazzo		50	3.25	1.63	
D.2_Carpet		30	2.75	0.83	
<select or leave blank>					
AUDITORIUM D.2 Floor Finish			Total	2.85	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Masonry		20	3.00	0.60	Backstage walls in need of repaint.
D.3_Gypsum		80	3.75	3.00	
<select or leave blank>					
<select or leave blank>					
AUDITORIUM D.3 Wall Finish			Total	3.60	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Exposed	Painted	20	3.00	0.60	
D.4_Panelized	Acoustic	80	3.50	2.80	
<select or leave blank>					
<select or leave blank>					
AUDITORIUM D.4 Ceiling Finish			Total	3.40	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	3.00	3.00	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
AUDITORIUM D.5 Doors/Borrowed Lites			Total	3.00	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Equipment	Seats			3.00	
D.6_Equipment	Stage			3.25	
D.6_Equipment	Curtains			2.50	
D.6_Equipment	Catwalks/Sound Booth			3.75	
D.6_Equipment	General Storage			2.75	
AUDITORIUM D.6 Fixed Equipment			Total	3.05	

# Condition Assessments

Michigan City High School Science Rooms

SUMMARY OF ALL SCIENCE ROOMS					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		1.63	1	1.63	N/A.
D.2 Floor Finish		3.00	1	3.00	N/A.
D.3 Wall Finish		4.00	1	4.00	N/A.
D.4 Ceiling Finish		3.75	1	3.75	N/A.
D.5 Doors/Borrowed Lites		3.25	1	3.25	N/A.
D.6 Fixed Equipment		2.61	1	2.61	N/A.

SCIENCE ROOM					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		FALSE		1.00	Knob hardware to be lever hardware.
D.1_Door Clearances		TRUE		3.50	Clearances are compliant.
D.1_Room Signage		FALSE		1.00	Room signage present but not compliant.
D.1_Casework Clearances/Hts.		FALSE		1.00	Sinks are not compliant.
SCIENCE ROOM D.1 ADA/Accessibility			Total	1.63	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Vinyl	VCT	100	3.00	3.00	Decent to poor condition.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
SCIENCE ROOM D.2 Floor Finish			Total	3.00	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Masonry	CMU	30	4.00	1.20	Due for repaint.
D.3_Gypsum	Modular	70	4.00	2.80	Good condition, repaint.
<select or leave blank>					
<select or leave blank>					
SCIENCE ROOM D.3 Wall Finish			Total	4.00	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	3.75	3.75	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
SCIENCE ROOM D.4 Ceiling Finish			Total	3.75	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	3.25	3.25	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
SCIENCE ROOM D.5 Doors/Borrowed Lites			Total	3.25	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.6_Chalkboard		50	3.00	1.50	
D.6_Markerboard		30	3.50	1.05	
D.6_Tackboard		20	4.00	0.80	
		Visual Display Boards	Subtotal	3.35	
D.6_Casework	Wood	80	1.50	1.20	
D.6_Countertops	Resin (Epoxy/Phenolic)	20	1.50	0.30	
<select or leave blank>					
<select or leave blank>					
			Casework/Countertops	Subtotal	1.50
D.6_Lockers	Metal				N/A.
D.6_Water				2.00	
D.6_Gas/Air				2.00	
D.6_Hood(s)				3.00	
D.6_Eyewash/Shower				2.00	
D.6_Flammable Cabinet				3.00	
D.6_General Storage				4.00	
SCIENCE ROOM D.6 Fixed Equipment			Total	2.61	



# Condition Assessments

## Michigan City High School Building Interiors Environments

### Stairs:

•The existing building currently has four sets of building stairs serving the A-wing and an additional four sets serving the gymnasium.

• Existing stairs elsewhere in the building are limited to stage stairs or risers in select rooms. See other sections for any needs noted.

### Priority Items:

a. A-wing stairs are monolithic and in good condition. Some minor chips should be repaired.

b. Gymnasium stairs are monolithic and overall in good condition. Some steps have portions of concrete missing and need to be repaired. Anti-slip tread strips are slightly damaged and should be considered for replacement. Railings do not appear to be ADA compliant and should be replaced.

### Corridors:

• Corridors vary in width from approximately 9’-0” to 14’-0” with recessed doorways exiting rooms. Pairs of double egress doors span across corridors at locations of existing 2-hour separation walls at six locations. Double egress doors only, span across corridors at locations of existing 2-hour separation walls at two locations. Metal lockers line most corridors and are in good condition. Floor, wall, and ceiling finishes are in good condition overall.

• Refer to Priority Item “a” under Code section for existing conditions. Existing corridors/classroom walls will need to be confirmed for appropriate fire resistive construction and continuity, due to lack of sprinkler system throughout building, if significant renovation efforts are undertaken.

• Wayfinding signage throughout the building is minimal to none making navigation difficult. Room signage is generally present but not ADA compliant.

• Interior doors throughout the building are hollow metal or aluminum. Aluminum doors appear to be in good condition and can remain. Classroom entry doors are stained wood with hollow metal frames and sidelites.

• Knob door hardware is not ADA compliant. Lever door

hardware appears to be ADA compliant, though aged.

### Priority Items:

a. Terrazzo flooring is assumed to be original to the 1969 construction. There are some stains and minor damage but in good condition overall and have been well maintained. Proper refinishing should be considered. VCT flooring is present in the N-wing corridors. The VCT flooring could last several more years, but full replacement should be considered due to staining, damage, and age.

b. Modular painted gypsum wall systems are present throughout the A-wing and O-wing. These wall systems are typically recommended for temporary situations as they often do not properly mitigate sound transmission, do not withstand decades of use, and limit possibilities for concealing systems in-wall compared to traditional wall systems. In addition, vertical joints are visible at each panel due to the system’s design. At a minimum, it is recommended to patch/repair and repaint gypsum modular walls. Full replacement of these modular walls should be considered. Painted CMU walls make up the remainder of the walls in the A-wing and O-wing and make up the entirety of corridor walls in the N-wing. All painted CMU walls need to be repainted.

c. Suspended acoustical ceiling system is in good condition in all corridors. Most tiles are sagging, though minor in most cases. Tiles with significant sag, staining/discoloration, or damage should be replaced. Some tiles need to be seated properly in grid system. Some tiles do not match others located in same section of ceiling primarily in the A-wing. Care should be taken to match ceiling tiles as best as possible for a cohesive look. Painted gypsum ceilings and bulkheads need minor patching/repairs and should be repainted.

d. Additional wayfinding signage needs to be added throughout the building. Room signage needs to be replaced with ADA compliant signage.

e. Hollow metal doors and frames should be repainted. Stained wood doors vary in condition throughout. Many doors should be refinished. Replacement of all wood doors is strongly recommended to age and wear. Classroom doors without should receive kickplates on push side to reduce wear.

f. Knob door hardware needs to be replaced with ADA compliant lever hardware. Existing lever hardware should be

considered for replacement due to age only.

g. Locker placement should be evaluated. Some lockers are too close to adjacent doors preventing proper accessibility clearances to those rooms.

### Classrooms:

• A-wing classrooms: Classrooms are approximately 400 – 950 SF. First floor classrooms are used for English, while second floor classrooms are used for Math and Science. Most classrooms in the A-wing have open-shelf casework along the exterior wall and multiple visual display boards on remaining walls. Where necessary, casework is not ADA compliant. Door hardware is also not ADA compliant. Some doors have large portions of wood veneer peeling off. Flooring finishes are primarily broadloom carpet which is showing age and wear. VCT makes up the remaining flooring. Wall and ceiling finishes are in good condition. Room signage is present but not ADA compliant. See Ancillary Spaces section for specific science classroom recommendations.

• O-wing classrooms: Classrooms are approximately 900 – 1,615 SF. These classrooms are used for Vocational Education, Technical Education, Family & Consumer Science, and ROTC. O-wing classrooms have varying types of casework in different configurations and multiple visual display. Where necessary, casework is not ADA compliant. Door hardware is also not ADA compliant. Some doors have large portions of wood veneer peeling off. Flooring finishes are primarily VCT flooring in good condition, though aged. Remaining flooring is broadloom carpet and is in poor condition due to significant wear. Wall finishes are in good condition. Ceiling finishes are in poor condition. Room signage is present but not ADA compliant.

• N-wing classrooms: Classrooms are approximately 430 – 1,650 SF. These classrooms are used for Social Studies, Foreign Language, Technology Education, and Freshman Academy. Most classrooms in the N-wing have open-shelf casework and multiple visual display boards. Some rooms, particularly labs, have do-it-yourself lumber casework. Where necessary, casework is not ADA compliant. Door hardware lever style and is ADA compliant. Steel overhead doors are in good condition. Some doors have large portions of wood veneer damaged. Flooring finishes are primarily VCT with minor to moderate damage. Remaining flooring is broadloom carpet. Wall and ceiling finishes are in good condition. However, some

replacement/repair is necessary. Room signage is present but not ADA compliant.

### Priority Items:

a. A-wing classrooms: Casework conditions vary depending on age. Some casework appears to be original and needs to be replaced. Remaining newer casework is in good condition and can remain. Plastic laminate countertops are showing age and wear and should be replaced. Where certain elements must be ADA compliant, casework must be replaced. Door hardware needs to be replaced with ADA compliant lever hardware. Stained wood veneer doors are in poor condition and need to be replaced. Existing classroom visual display boards need consideration for appropriate functionality. Chalkboards are generally in good condition and salvageable if appropriate for educational needs. Markerboards and tackboards may remain. Broadloom carpet throughout the wing should be replaced. VCT flooring shows significant age and wear is several locations and should be fully replaced in these rooms. Some classrooms are in better condition and may last a few more years. However, full replacement in these rooms is recommended. Painted CMU, painted gypsum, and painted gypsum modular walls need to be repainted. Gypsum wall surfaces need to have minor patching/repairs done prior to painting. All wall base should be considered for replacement. Suspended acoustical ceiling systems should have severely sagging, stained/discolored, or damaged tiles replaced. Room signage must be replaced with ADA compliant signage.

b. O-wing classrooms: Casework conditions vary in material. All casework is in poor condition and needs to be replaced. Countertops also vary in material, are in poor condition, and need to be replaced. New casework and countertops should be designed to adhere to ADA requirements. Owner should explore storage needs with staff to determine if additional storage is needed. Door hardware needs to be replaced with ADA compliant lever hardware. Stained wood veneer doors are in poor condition and need to be replaced. Existing classroom visual display boards need consideration for appropriate functionality. Chalkboards are generally in good condition and salvageable if appropriate for educational needs. Markerboards and tackboards may remain. Broadloom carpet throughout the wing should be replaced. VCT flooring shows age with minor to moderate repair needs. Full replacement of VCT should be considered. Painted CMU, painted gypsum, and painted gypsum modular walls need to be repainted. Gypsum wall surfaces need to have minor patching/repairs done prior to

painting. Suspended acoustical ceiling systems are in poor condition and should be replaced throughout. Room signage must be replaced with ADA compliant signage.

c. N-wing classrooms: Casework is primarily plastic laminate and is in good condition, although some repair is necessary to address scratches and gouges. Plastic laminate countertops are showing wear and should be replaced. Lumber shelves and casework in lab spaces do not provide accessibility. Where certain elements must be ADA compliant, casework must be replaced. Stained wood veneer doors are in good condition and need repairs. Existing classroom visual display boards need consideration for appropriate functionality. Chalkboards are generally in good condition and salvageable if appropriate for educational needs. Markerboards and tackboards may remain. Broadloom carpet throughout the wing should be replaced. VCT flooring shows substantial wear and should be considered for full replacement. Painted CMU and painted gypsum walls need to be repainted. Gypsum wall surfaces need to have moderate patching/repairs done prior to painting. Suspended acoustical ceiling systems should have severely sagging, stained/discolored, or damaged tiles replaced. Exposed ceilings and systems should be thoroughly cleaned and repainted. Room signage must be replaced with ADA compliant signage.

#### Restrooms:

- Restrooms throughout much of the building are not ADA compliant and are in poor physical condition generally with flooring refinishing/replacement needs, ceiling repainting/ replacement needs, toilet partition replacement needs and restroom accessory replacement needs.

- Administration – Two pairs of single-hole restrooms in great condition. Ceramic tile on floor and walls appears to be newer and well maintained, though some minor maintenance needs exist. Toilets, sinks, and accessories appear to be ADA compliant.

- A-wing – Two pairs of gang restrooms and three pairs of single-hole restrooms located on the first floor. Two pairs of gang restrooms and two pairs of single-hole restrooms located on the second floor. None of the restrooms are truly ADA compliant due to clearance issues, but the gang restrooms do have one ambulatory stall each. Single-hole restrooms are in good condition overall. Gang restrooms

have numerous issues including damaged/vandalized partitions, stains on floor and walls, and some stained or damaged ceiling tiles.

- P-wing - One pair of gang restrooms and one single-hole restroom located in each dressing room. None of the restrooms are truly ADA compliant due to clearance issues, but the gang restrooms do have one ambulatory stall each. Single-hole restrooms require some repair. Gang restrooms have numerous issues including damaged partitions, stains on floor, and some stained or damaged ceiling tiles.

- O-wing - One pair of gang restrooms and two pairs of single-hole restrooms. None of the restrooms are truly ADA compliant due to clearance issues, but the gang restrooms do have one ambulatory stall each. Single-hole restrooms need to be modified and updated. Gang restrooms have numerous issues including damaged/vandalized partitions, stains on floor and walls, and some stained or damaged ceiling tiles.

- N-wing - One pair of gang restrooms. Womens restroom is fully ADA compliant. Mens restroom is not ADA compliant. Gang restrooms have numerous issues including damaged/vandalized partitions, stains on floor and walls, and some stained or damaged ceiling tiles.

- Pool - One pair of gang restrooms and two locker rooms with one single-hole restroom and a double-hole restroom each. None of the restrooms are truly ADA compliant due to clearance issues, but the gang restrooms do have one ambulatory stall each. Single-hole restrooms are in good condition overall. Double-hole restrooms have numerous issues including damaged/vandalized partitions, stains on floor and walls, and some stained or damaged ceiling tiles. Gang restrooms appear limited to game day use only; therefore, these are in good condition.

- Gymnasium - One pair of gang restrooms, four locker rooms with one single-hole restroom and a gang restroom each, and two locker rooms with one gang restroom each. Single-hole restrooms are in good condition overall. Gang restrooms in locker rooms have numerous issues including damaged/vandalized partitions, stains on floor and walls, and some stained or damaged ceiling tiles. Gang restrooms on the east side appear limited to game day use only; therefore, these are in good condition.

#### Priority Items:

- a. All gang restrooms should ideally be reconfigured for full ADA compliance and accessibility. Pairs of single-hole restrooms, if gender neutral, only need one restroom in the pair to be accessible.

- b. All toilet partitions throughout the building need to be replaced due to age, wear/vandalism, and damage. Toilet partitions in restrooms not utilized by students daily are in good condition but will need to be modified to accommodate ADA stalls. As such, these are included for replacement.

- c. All tile floors are in good condition and only need to be cleaned/scrubbed, especially grout, and resealed.

- d. VCT flooring needs to be fully replaced due to age and wear.

- e. Terrazzo flooring is stained and is recommended for properly stripping and resealing. However, full replacement should be considered.

- f. Walls in restrooms utilized daily by students need to be patched and repainted.

- g. Modular gypsum walls in single-hole restrooms should be patched and painted.

- h. Acoustical ceiling tiles that are sagging, stained, or damaged need to be replaced.

#### Ancillary Spaces:

- Existing science classrooms are approximately 1,650 SF each and located on the second floor of the A-wing. Science classrooms share access to approximately 2,850 SF of storage and faculty space. Science rooms have dedicated teaching wall with visual display boards. Casework and countertops in these rooms appears to be original to the 1969 construction and clearly show age and significant wear. VCT flooring varies between good and poor condition throughout. Wall and ceiling finishes are in good condition and only require minor maintenance and repair. Doors are stained wood veneer and are in good condition, though, some repair is necessary. Door hardware, however, is not ADA compliant, nor is room signage. Water and gas/air connections and emergency eyewash/ shower stations are in poor condition and aged. Exhaust hoods appear to operate but are dated. Flammables cabinet is in good condition.

- Existing art classrooms are approximately 1,600 – 1,825 SF

and located within the P-wing. The art rooms share a 675 SF lab space and has each classroom has its own storage room of approximately 240 SF. Art rooms have dedicated teaching wall with visual display boards. Casework and countertops in these rooms varies in material and appears to be original to the 1969 construction and clearly show age and significant wear. VCT flooring varies between good and poor condition throughout and has significant staining. Wall finishes are in good condition and only require minor maintenance and repair. Ceiling finishes, however, are in poor condition. Doors are stained wood veneer and are in good condition, though, some repair is necessary. Door hardware, however, is not ADA compliant, nor is room signage. Specialty equipment, including: sinks/plaster traps, work tables, kiln and exhaust, paint booths, and general storage are all in poor condition due to age and wear. Much of the specialty equipment is also not ADA compliant.

- Existing music classrooms are approximately 1,715 SF (choir room) and 2,530 SF (band room) and located within the P-wing. The rooms share approximately 1,350 SF of office space, individual practice rooms, and a small classroom. The band room has an additional 630 SF of storage rooms. The band room has instrument lockers along the back wall that appear to be newer. Music rooms have dedicated teaching walls with visual display boards. Casework in these rooms is limited to primarily non-fixed casework. Although, the band storage rooms have lumber shelving. Flooring materials are in poor condition throughout. Wall finishes are in good condition and only require minor maintenance and repair. Ceiling finishes, however, are in poor condition, as well. Acoustic wall panels are aged. Doors are stained wood veneer and are in good condition, though, some repair is necessary. Door hardware, however, is not ADA compliant, nor is room signage.

- Existing auditorium is approximately 8,375 SF with an additional 4,600 SF stage and 1,825 SF of storage spaces and dressing rooms. The auditorium has fixed, padded seating in good condition, though showing some wear. Stage equipment appears adequate for needs and is in good condition. Curtains are aged and worn and due for replacement. Catwalks and sound booth are in above average condition. Storage space appears limited for current needs and storage is not conveniently located to stage. Flooring materials range in condition from good to poor. Wall and ceiling finishes are in good condition with only minor maintenance and repair required. Doors to the auditorium and affiliated spaces are wood veneer. Doors are in good condition but do have some repair needs. Door hardware, however, is not ADA compliant, nor is room signage. Additionally, some clearances, particularly at the dressing rooms are not ADA compliant.



- Existing media center is approximately 10,080 SF with an additional 6,580 SF of storage space, lab/instructional space, workrooms, and office space. The media center is in the center of the first floor of the A-wing. Some spaces within the media center appear to be overused, while other areas seem to be under-utilized. Storage space seems lacking under the current configuration. The main area of the media center is spacious and more traditional. The center of the media center is a sunken lounge space with stairs and a ramp to access. However, the railing around the sunken area and along the stairs and ramp do not appear to be to code. Furniture and casework are in good condition overall but is outdated. Flooring finishes are in good to poor condition throughout. Wall finishes are in good condition and only require minor maintenance and repair. Ceiling finishes is primarily in good condition. Most doors in the space are stained wood veneer and are in good to poor condition. Repair or replacement is necessary. Door hardware is not ADA compliant, nor is room signage. A few doors from the corridor to the library are aluminum sliding doors.

- Existing gymnasium is approximately 17,000 SF with an additional 20,800 SF of locker rooms, storage, and restrooms on the main floor. Athletics locker rooms and offices add an additional 4,400 SF on the main floor. An additional 16,800SF of secondary courts, bleachers, and a walking track are located on the second floor. Flooring materials vary throughout the gymnasium spaces. Overall, the materials are in good condition, although some areas need repair or replacement. Wall materials vary in these spaces, as well. Wall mounted acoustic panels are most in need of replacement. Ceilings are a primarily painted exposed structure in the main portion of the gymnasium. Suspended acoustical ceilings and painted concrete make up the remainder of the ceilings. Bleachers appear to be newer and are in great condition. Doors are a mostly equal distribution of stained wood veneer, hollow metal, and aluminum. All doors appear to be in good condition with only minor repair and maintenance necessary. Hardware and room signage, however, are not ADA compliant in most instances.

- Existing natatorium is approximately 8,390 SF with an additional 3,600 SF in locker rooms/showers, storage, and equipment rooms. Pool appears to be in great condition. Lanes are clearly visible. Bleachers are older and have some minor cosmetic damage but are holding up well. Nosing of concrete steps leading up to bleachers has some minor damage. Railing leading up to bleachers does not appear to be ADA/code compliant. Lockers and benches in locker rooms are in good condition. Flooring materials are in good condition, overall. Walls are painted CMU, and some chips and scrapes are visible. Suspended ceiling tile, located in the pool space, is in good

condition, although some tiles are discolored due to age and others are stained. Painted concrete or plaster ceilings are located in other natatorium spaces. These ceilings are in good condition, though a refresh is needed. All doors appear to be in good condition with only minor repair and maintenance necessary. Hardware and room signage, however, are not ADA compliant in most instances.

- Existing cafeteria is approximately 13,870 SF with an additional 5,500 SF of kitchen, storage, and office space. Multiple serving lines are located in the main cafeteria. High-top counters are located along one side of the dining area and tables and chairs make up the remaining seating. All seating and eating surfaces are in good to great condition. Kitchen and serving equipment appears to be in good condition. Kitchen and storage space appears to be adequate for serving needs. Markerboards are in good condition. Tackboards are in need of replacement. Cafeteria and kitchen spaces are primarily terrazzo flooring in good condition. However, there is some staining within the kitchen area. Storage room floors appear to be sealed concrete in fair condition. Broadloom carpet makes up the flooring on the west end of the cafeteria. Carpet has some staining. Wall materials are in good condition, especially in the dining area. Some holes are present in the painted gypsum walls in the office and storage spaces. Suspended acoustical ceiling systems comprise most of the ceilings. Ceiling tiles in the dining space are in good condition, while ceiling tiles in the kitchen spaces are aged, sagging, and stained. Exposed painted ceiling is present in some storage spaces. All doors appear to be in good condition with only minor repair and maintenance necessary. Hardware and room signage, however, are not ADA compliant in most instances.

- Existing administration area is approximately 7,000 SF, including counseling offices. The overall function and layout of the administrative area appears to serve the school well. There are some ADA compliance issues throughout the space. However, this area is not impacted as extensively as other areas in the building. Broadloom carpeting comprises most of the space and may last a few more years. The carpet does show wear, especially in high-traffic areas, in addition to staining. A portion of the broadloom carpet was previously replaced with carpet tiles. Other offices have newer carpet tiles that are in great condition. Walls are gypsum board with wall covering. Wall covering is bubbling and peeling and one is stained. Suspended acoustical ceiling system is in good condition. A few tiles are stained. Doors are stained wood veneer and are in great condition. Only minor maintenance is necessary. Some hardware and room signage is not ADA compliant. Casework and countertops are in great condition.

**Priority Items:**

a. Science rooms have dedicated teaching wall with visual display boards. Existing visual display boards need consideration for appropriate functionality. Chalkboards are generally in good condition and salvageable if appropriate for educational needs. Markerboards and tackboards may remain. Casework and countertops in these rooms need to be fully replaced, considering accessibility. VCT flooring should be fully replaced. Painted CMU walls should be repainted. Modular gypsum walls should be patched/repainted and repainted. Suspended acoustical tile ceiling system only needs stained or damaged tiles replaced. Wood veneer doors require some repair. Door hardware and room signage needs to be replaced with ADA compliant options. Water and gas/air connections need to be replaced with new equipment. Exhaust hoods should be considered for replacement.

b. Art rooms have dedicated teaching wall with visual display boards. Existing visual display boards need consideration for appropriate functionality. Chalkboards are generally in good condition and salvageable if appropriate for educational needs. Markerboards and tackboards may remain. Casework and countertops in these rooms need to be fully replaced, considering accessibility. VCT flooring should be fully replaced. Painted CMU walls should be repainted. Modular gypsum walls should be patched/repainted and repainted. Suspended acoustical tile ceiling system should be fully replaced due to staining and sagging of a significant number of ceiling tiles. Wood veneer doors require some repair. Door hardware and room signage needs to be replaced with ADA compliant options. Specialty equipment listed above needs to be replaced. Owner should consult with staff regarding specific storage needs.

c. Music rooms have dedicated teaching wall with visual display boards. Existing visual display boards need consideration for appropriate functionality. Chalkboards are generally in good condition and salvageable if appropriate for educational needs. Markerboards and tackboards may remain. Owner should work with staff to better understand storage needs and provide appropriate storage casework. VCT flooring and broadloom carpet should be fully replaced. Painted CMU walls should be repainted. Modular gypsum walls should be patched/repainted and repainted. Suspended acoustical tile ceiling system should be fully replaced due to staining and sagging of a significant number of ceiling tiles. Wood veneer doors require some repair. Door hardware and room signage needs to be replaced with ADA compliant options.

d. Auditorium seating has several years of life remaining before

a full replacement is required. Seats should be cleaned and more worn seats should have upholstery replaced. Stage equipment should be cleaned. Curtains need to be replaced. Owner should consult with staff regarding specific storage spaces and needs. Dressing room countertops are aged and in need of replacement. Stage flooring is painted hardwood. There are many chips and gouges in the paint and wood requiring either replacement or refinishing, if possible. Terrazzo flooring is original to the building. Proper refinishing should be considered. Broadloom carpet is in good to poor condition, showing age and wear, and should be fully replaced. VCT flooring in storage spaces and dressing rooms is stained. Replacement of VCT is recommended, although the material may last a few more years. Painted CMU walls need to be repainted, particularly backstage. Painted gypsum board walls should be patched where needed and repainted. Painted exposed ceiling should be cleaned and repainted. Panelized acoustic ceilings should be cleaned. Dressing room ceilings should be replaced. Wood veneer doors are in need of some repair. Door hardware and room signage need to be upgraded to ADA compliant options. The dressing rooms should be evaluated for reconfiguration. If possible, dressing rooms should be modified to make accessible.

e. The media center and support spaces are fairly large in regard to area. The overall space would benefit from reconfiguration to better maximize use of the entire space. The sunken lounge space railing needs to be replaced with code-compliant guardrail and handrail, especially along the stairs and ramp. Furniture and casework, while still functional, should be considered for replacement due to age. Broadloom carpet needs to be removed and replaced. While the carpet in the main portion of the media center may last a few more years, there are numerous stains, the sunken lounge is currently only bare concrete, and carpet in the support spaces has rips and tears. VCT flooring is in similar condition. VCT may last a few more years but tile is aged, stained, and some areas are damaged. Painted gypsum walls will require minor patching and repair prior to repainting. Metal storefront should be repainted as well. The suspended acoustical tile ceiling system only needs tiles that are sagging, stained, or damaged to be replaced. Stained wood veneer doors all have some degree of wear and tear and need to be refinished at a minimum. A couple doors have portions of the veneer that are peeling or have been removed. These doors should be replaced. Door hardware must be replaced with ADA compliant lever hardware. Room signage needs to be replaced with ADA compliant signage. Aluminum sliding doors need to be investigated further for ADA compliance and replaced if necessary.

# Condition Assessments

## Michigan City High School Mechanical Systems

f. Gymnasium flooring materials vary throughout. The main court is athletic hardwood that appears to have been refinished recently and is in great condition. VCT in the corridors leading to the court have been well maintained. VCT is support rooms/spaces is stained and showing wear. Replacement in these areas is recommended. Tile in the locker rooms is in good condition and will likely last several more years, but the tile is aged. Replacement is recommended. Polished concrete floors and epoxy finished concrete floors are in great condition, however, there are some areas, particularly on the second floor, of spalling concrete that needs to be repaired. Secondary courts have athletic hardwood although these floors are in lesser condition than the main court and should be stripped and resealed. Walls throughout the gymnasium are primarily painted CMU. Remaining walls are painted gypsum board. Both types of wall materials need to be patched/repaired and repainted in most areas. The gymnasium appears to have been repainted recently and may only need touchup paint. Wall pads, primarily on the second floor, are in need of replacement. Portions of wall on the second floor are open and need to be filled in or repaired. These openings are currently partially concealed by wall pads, posing danger to students and guests. Acoustic wall panels cover large portions of walls in the gymnasium. These panels are aged, and some are damaged. Full replacement should be considered. Painted exposed structure and systems should be cleaned and repainted. Suspended acoustical ceilings are sagging, stained, and damage and should be fully replaced. Painted concrete ceilings need to be repainted due to chipping/flaking paint. Doors only need minor repair and maintenance. Wood veneer doors should be refinished following repair. Hardware and room signage must be upgraded to ADA compliant options. Lockers need to be replaced due to damage and age.

g. Natatorium is in good condition overall. Bleachers should be considered for replacement, although replacement is not a necessity. Nosing of concrete steps leading up to bleachers should have damaged portions repaired. Railing leading up to bleachers needs to be replaced with ADA compliant handrail and guardrail. Mosaic tile throughout the natatorium is in good condition for its age. However, the tile is showing age and replacement should be considered. Tile within the locker rooms is in the worst condition. Tiles may be able to be thoroughly scrubbed and resealed to extend life even further. Epoxy concrete floors need to have epoxy replaced due to flaking and chipping. Painted CMU walls need to have paint touched up at a minimum. Full repainting should be considered. Suspended ceiling tile should have stained or discolored tiles replaced. Painted concrete or plaster ceilings are dirty and blistered in some locations. These ceilings should be properly prepared

and repainted. Doors only need minor repair and maintenance. Wood veneer doors should be refinished following repair. Hollow metal doors should be repainted. Doors also need to be adjusted to allow for proper ADA clearances which currently are not satisfied. Hardware and room signage must be upgraded to ADA compliant options.

h. Cafeteria seems to have been updated/refreshed in the past couple years. However, some aspects require maintenance, repair, or replacement. Tackboards have been well used and need to be replaced. Terrazzo flooring has staining in multiple locations in the kitchen area but can remain in place if desired. These stains are not impacting the longevity of the material. Recommendation, however, would be to remove terrazzo in the kitchen area and replace with a kitchen appropriate flooring material. Sealed concrete in storage spaces has cracks that need to be filled. Broadloom carpet appears to have been part of the recent renovation and needs to be cleaned thoroughly. Otherwise, carpet can remain. Wall materials are in good condition, especially in the dining area. Some holes are present in the painted gypsum walls in the office and storage spaces. Suspended acoustical ceiling systems comprise most of the ceilings. Ceiling tiles in the dining space can remain, while ceiling tiles in the kitchen spaces are aged, sagging, and stained. Full replacement of the ceiling tiles in the kitchen spaces is recommended. Exposed painted ceiling in storage spaces should be cleaned and repainted. Hollow metal doors should be repainted. Wood veneer doors need to have some veneer repaired and should be refinished. Hardware and room signage need to be replaced with ADA compliant options.

i. Administration area has some upgrade and repair needs. Broadloom carpeting may last a few more years but is recommended for full replacement. Spaces with newer carpet tiles should remain. Wall covering is bubbling and peeling in some areas. Repair is recommended, if possible. Otherwise, full replacement should be considered. Suspended acoustical ceiling system has a few stained tiles that should be replaced. Remainder of the ceiling system can remain. Doors should be cleaned. Select doors should be considered for refinishing if necessary. Some hardware and room signage needs to be replaced with ADA compliant options. The rest of the hardware appears to be compliant.

SUMMARY OF ENTIRE MECHANICAL SYSTEM					
Category		Subscore	Areas	Score	General Comments
E.2 Building HVAC System		2.49	1	2.49	
E.3 Building Temperature Controls		2.00	1	2.00	

MECHANICAL SYSTEM					
E.2 Building HVAC System	Type			Score	Comments/Remarks
E.2_Central Heating System	Boilers			4.00	Crest boilers (4) 2017.
E.2_Central Heating System	Heating Pumps			4.00	
E.2_Central Heating System	Air Handling Units - Pent			2.00	(2) Penthouse units 1991 #2.5. (1) Penthouse 1991 #2.5.
E.2_Central Heating System	Air Handling Units - Aud			1.00	(5) Auditorium1982 or older #1.
E.2_Central Heating System	Air Handling Units - Gym			1.00	(6) Gym 1982 or older #1.
E.2_Central Heating System	Air Handling Units - Other			1.50	About 10 others.
E.2_Central Heating System	Rooftop Units			5.00	(5) RTUs serving offices.
	Central Heating System	Subtotal		2.64	
E.2_Cooling System	Chiller			3.00	2017 and 2012.
E.2_Cooling System	Cooling Tower			1.00	1996. scaling and algee all over.
E.2_Cooling System	Chilled Water Pumps			3.00	
E.2_Cooling System	Condensing Units			4.00	
E.2_Cooling System	Condenser Pumps			3.00	
	Cooling System	Subtotal		2.80	
E.2_Equipment	Cabinet/Supplemental Heaters				
E.2_Equipment	Fan Coil Units				
E.2_Equipment	Fans				
E.2_Equipment	PTAC Units				
E.2_Equipment	Unit Ventilators			3.00	Half replaced in 2023 while the others were not.
E.2_Equipment	Variable Air Volume Terminals				
E.2_Equipment	Ice Storage			1.00	Not used.
E.2_Equipment	Exhaust Fans			2.00	
E.2_Equipment	Kitchen Exhaust			4.00	
	Equipment	Subtotal		2.50	
E.2_General	Ductwork			2.00	
E.2_General	Louvers/Exhaust Vents				
E.2_General	Piping			2.00	
	General	Subtotal		2.00	
MECHANICAL SYSTEM E.2 Building HVAC System			Total	2.49	
E.3 Building Temperature Controls	Type			Score	Comments/Remarks
E.3_Temperature Controls				2.00	Johnson Controls. 1st/2nd floor in center area are pneumatic.
MECHANICAL SYSTEM E.3 Building Temperature Controls			Total	2.00	

# Condition Assessments

Michigan City High School Plumbing System

SUMMARY OF ENTIRE PLUMBING SYSTEM					
Category		Subscore	Areas	Score	General Comments
E.1 Building Plumbing System		2.51	1	2.51	

PLUMBING SYSTEM					
E.1 Building Plumbing System	Type			Score	Comments/Remarks
E.1_Plumbing Fixtures	Water Closets			3.00	
E.1_Plumbing Fixtures	Lavatories			3.00	
E.1_Plumbing Fixtures	Drinking Fountains			2.00	
E.1_Plumbing Fixtures	Showers			5.00	
E.1_Plumbing Fixtures	Dishwashing			4.00	
	Plumbing Fixtures	Subtotal		3.40	
E.1_Central Equipment	Hot Water Heating			2.00	
E.1_Central Equipment	Water Softener			1.00	None.
E.1_Central Equipment	Pumps			5.00	
	Central Equipment	Subtotal		2.67	
E.1_Water_Service	City			1.00	3 underground domestic breaks. One near auditorium. Clay pip...
E.1_Water Service	Domestic Piping			3.00	
	Water Service	Subtotal		2.00	
E.1_Sewage_System	City			3.00	
E.1_Sewage System	Piping			3.00	
	Sewage System	Subtotal		3.00	
E.1_Gas Service				3.00	
E.1_Fire Suppression				1.00	None.
PLUMBING SYSTEM E.1 Building Plumbing System			Total	2.51	

# Condition Assessments

Michigan City High School Electrical System

SUMMARY OF ENTIRE ELECTRICAL SYSTEM					
Category		Subscore	Areas	Score	General Comments
E.4 Building Electrical System		3.67	1	3.67	
E.5 Building Lighting		4.13	1	4.13	

ELECTRICAL SYSTEM					
E.4 Building Electrical System	Type			Score	Comments/Remarks
E.4_Incoming Service	Size			5.00	SQD - 6 CB rule (2 services).
E.4_Incoming Service	Condition			5.00	
E.4_Incoming Service	Generator			1.00	None.
	Incoming Service	Subtotal		3.67	
E.4_Distribution				3.00	Mostly older panels and transformers.
E.4_Smoke Detection				3.00	Limited - not in locker rooms or Mech. Mezz. Duct detectors m...
E.4_Fire Alarm System	Annunciator Panel			5.00	
E.4_Fire Alarm System	Fire Alarm Devices			5.00	Simplex 4100 ES, H/S in classrooms.
	Fire Alarm System	Subtotal		5.00	
ELECTRICAL SYSTEM E.4 Building Electrical System				Total	3.67
E.5 Building Lighting	Type			Score	Comments/Remarks
E.5_Interior Lighting	Administration				
E.5_Interior Lighting	Corridors/Common			3.00	2x4 acrylic 4 lamp, EM ballasts.
E.5_Interior Lighting	Classrooms/Science			5.00	2x4 flat panel LED w/ occ. Sensors.
E.5_Interior Lighting	Art/Music/Auditorium				
E.5_Interior Lighting	Gymnasium/Natatorium			4.00	Ind. Hi Bad 6 lamp FL.
E.5_Interior Lighting	Cafeteria/Kitchen			5.00	Flat panel 2x4 LED - 2 yrs old. Kitchen - wraps - FL.
E.5_Interior Lighting	Restrooms				
	Interior Lighting	Subtotal		4.25	
E.5_Exterior Lighting	Building Entries			4.00	
E.5_Exterior Lighting	Parking Lots/Drives			4.00	
E.5_Exterior Lighting	Athletic/Play Fields				Not evaluated.
	Exterior Lighting	Subtotal		4.00	
ELECTRICAL SYSTEM E.4 Building Electrical System E.5 Building Lighti				Total	4.13



# Condition Assessments

Michigan City High School Technology

SUMMARY OF ALL TECHNOLOGY					
Category		Subscore	Areas	Score	General Comments
E.6 Building Technology		4.36	1	4.36	

TECHNOLOGY					
E.6 Building Technology	Type			Score	Comments/Remarks
E.6_Data Distribution	Incoming			5.00	
E.6_Data Distribution	Cable Type			4.00	
E.6_Data Distribution	Fiber			5.00	MM to closets SM entrances.
E.6_Data Distribution	Wireless			5.00	
		Data Distribution	Subtotal	4.75	
E.6_Classroom Technology	Teacher			5.00	Vivi Device for presentation.
E.6_Classroom Technology	Monitors			5.00	LG 65-70".
E.6_Classroom Technology	Smartboards				
E.6_Classroom Technology	Projection				
		Data Distribution	Subtotal	5.00	
E.6_Communications	Intercom/PA			2.00	Paging speaker in classroom no call-in suite. Dukane in rack in
E.6_Sound Systems	Gymnasium/Natorium			3.00	Old crown amps.
E.6_Sound Systems	S.R.			5.00	Phonak Roger classroom sound reinforcement - layyad?
		Sound Systems	Subtotal	3.33	
TECHNOLOGY E.6 Building Technology			Total	4.36	

# Condition Assessments

Michigan City High School Building Systems Summary

Mechanical:

Heating plant

• Building comfort heating is provided by six gas-fired boilers which appear and were reported to be in relatively poor operating condition. They are original to 1995 renovation.

• Building heating hot water circulation is provided by primary- secondary system with several end-suction pumps.

Cooling plant:

• Building comfort cooling is provided by two indoor scroll chillers with two remote cooling towers and 14 ice storage bins. The chillers look to be in fair condition. One is installed in 2014 while the other was installed in 2017. The cooling towers and ice storage bins appeared to be in fair to poor working condition.

• Building chilled water circulation is provided by two primary end-suction pump mounted in parallel.

Classroom HVAC and associated Systems:

• In general classrooms in the building are equipped with a unit ventilator that appear and were reported to be in relatively poor operating conditions.

o Ceiling mounted diffusers and grills appear to be in fair to poor condition.

• The unit ventilators on the first floor, unit B, were recently replaced with new vertical unit ventilators (2023) and are in great condition.

Air-Handler Plants and Systems:

• Multiple constant-speed, multi-zone and variable air volume (VAV) air-handlers (+45) exist at numerous building locations, inside and outside the building envelope. Most of the air handlers and associate equipment appear to be in poor condition.

• All existing piping and most of the ductwork found in the air handling rooms appeared to be in poor condition.

• A packaged rooftop unit serves the office addition added to unit A back in 2002. It appears to and is reported to be in great physical condition (2023)

Building Temperature Control System:

• The building's temperature control system is managed by Johnson Control. Owner reported that they are interested in replacing the entire existing temperature controls throughout the entire building. There are several areas throughout the building that are still on pneumatics.

Miscellaneous item

• The hydronic piping and ductwork throughout the building appear to be original to the 1969 renovation and have been reported to be in poor condition.

• The existing dust collectors, welding equipment, etc. appear and are reported to be in fair to poor condition.

Priority Items:

a. The six existing boilers will be removed and replaced with new condensing boilers capable of handling the building load. The existing heating water pumps will be removed and replaced.

b. The existing chillers, and cooling towers shall be removed and replaced. The ice storage bins should be removed since they have never been utilized. The existing chilled water pumps should be removed and replaced. Chilled water planet will need to increase in capacity to account for the removal of the ice storage bins but for now price to replace the existing equipment to provide a general budget.

a. For budget consideration, include 2 x 280-ton water-cooled chiller.

b. For budget consideration, include 2 x 280-ton cooling towers.

- c. For budget consideration, include 11 x 210-ton/hour ice storage bins.
- c. The existing unit ventilators throughout the building will be removed and replaced with new vertical unit ventilators (VUV) or unit ventilators (UV).
- d. All +45 air handlers should be removed and replaced. Any ductwork or piping found to be in poor condition in any of the mechanical rooms will be removed and replaced.
- e. All diffusers and grilles throughout the building should be removed and replaced except for the first floor in unit B that recently underwent a VUV replacement project.
- f. All existing cabinet unit heaters, convectors, exhaust fans, etc. shall be removed and replaced.
- g. The existing temperature controls including all valves, actuators, etc. throughout the entire building should be removed and replaced.
- h. The existing dust collectors, welding equipment, etc. will be removed and replaced.
- i. Provide an alternate price to remove and replace all ductwork and hydronic piping throughout the building.

Plumbing:

- The domestic system is served by a gas fired water heater. The water heater looked to be in fair to poor condition. There is no water softener.
- The existing domestic, sanitary and vent piping throughout the was reported to be in relatively fair to poor operating condition. Owner reported that there were 3 major breaks in the underground incoming domestic service piping. It is believed to be clay piping.
- The existing restrooms throughout the building look to be in fair physical condition.
- The existing natatorium pool equipment look to be in poor physical condition.

Priority Items:

- a. The water heater should be removed and replaced.
- b. A water softener should be added.
- c. The pooling equipment should be removed and replaced.
- d. Existing sewage ejector to be removed and replaced.
- e. It is our recommended that a contractor come out to the site to rode and scope all the existing sanitary piping to confirm quality, routing, slope, obstructions and failures to determine existing piping that can be reused.
- f. All drinking fountains in area being renovated shall be replaced and upgraded to current ADA compliant standards. The existing domestic water, sanity and vent connections shall be reused.
- g. Several restrooms throughout the building are not ADA compliant and are in fair to poor physical condition.

Fire protection:

- There is no fire sprinkler system present in the existing building.

Electrical:

Electrical Distribution system

- There are two 480V switchboards installed in 2017. These switchboards are in good condition. There are older fused disconnect style distribution panels and lighting and appliance type panelboards that should be replaced when renovating the surrounding areas. Two solar array fields south of the building were added to offset utility demands in 2018.

Fire Alarm

- The existing Simplex 4100ES panel is in good condition. Due to a lack of sprinklers in the building, the facility should have full smoke detector coverage, but does not. There are

locations where duct smoke detectors would be expected but they are missing such as auditorium mezzanine mechanical, kitchen / cafeteria as examples. Areas lacking smoke detectors include locker rooms, mechanical mezzanines, classrooms, administrative spaces, and cafeteria. Either sprinklers should be provided, or the fire alarm system should be upgraded in any future remodeling.

Lighting

- Lighting in common spaces are generally 2x4 fluorescent acrylic troffers. Some classrooms have been updated to flat panel LED fixtures with dimming and occupancy sensors. Other classrooms are original 2x4 fluorescents. The gymnasium includes 6 lamp suspended highbay style fluorescent fixtures. The cafeteria has new 2x4 LED flat panels installed two years ago. The kitchen has fluorescent wraparound fixtures.

Theatrical Lighting

- The existing Strand Lighting CD80 stage lighting dimmer racks and old borderlights are in need of replacement due to end of life. They should be upgraded to an LED fixture system with relay panels and DMX controls with new architectural stations and lighting control console.

Priority Items:

- a. Existing theatrical lighting and equipment should be replaced.
- b. Existing old electrical panels.

Technology:

Data cabling and distribution

- Building has single mode fiber from administration data center. Most cabling is Category 5. Building has Ruckus wireless access points, one for every two classrooms per district IT standard.

Teaching technology equipment

- Classrooms include 65” – 70” monitors. Existing equipment is in good condition.

Paging / intercom equipment

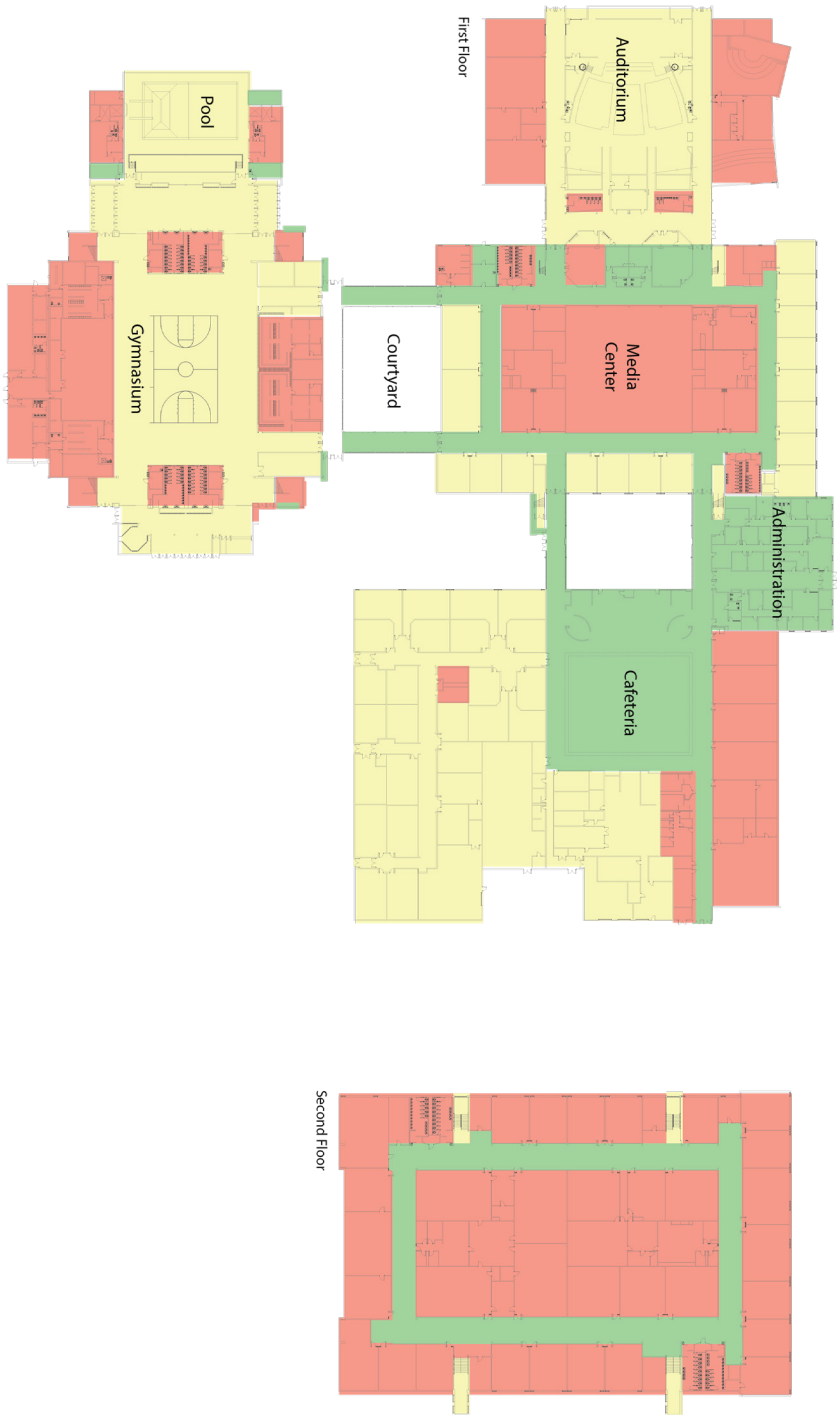
- Existing paging / intercom system is a Dukane paging system that is obsolete and should be replaced. Dukane parts are no longer readily available. It is possible that the existing speakers and wiring may be reused depending on existing condition review with Owner.

Priority Items:

- a. Replace paging / intercom head-end equipment.

Condition Assessments

Michigan City High School Interior Floorplan



Michigan City High School - Interior Condition Assessment

Condition Assessments

Michigan City High School Preliminary Cost Estimate

Bid Sort 2	System L1	System L2	Description	Takeoff Quantity	Grand Total Price	Grand Total Amount
			Conceptual Estimate			
			Construction Cost			
10			Building			
	B2000		Exterior Enclosure			
		B20 4222	Ext Wall Finish, Brick, Clean & Tuckpoint	154,000 sf	2.51 /sf	387,201
		B20 7242	Ext Wall Finish, EIFS, Paint	20,000 sf	4.24 /sf	84,700
		B20 7422	Ext Wall Finish, Metal Panels, Clean	3,500 sf	2.12 /sf	7,411
		B20 7424	Ext Wall Finish, Metal Panels, Repair/Replace	1,000 sf	69.60 /sf	69,599
		B20 8422	Aluminum Door Hardware Replacement	140 leaf	2,834.78 /leaf	396,869
		B20 8512	Aluminum Windows, Shades, & Sills, Replace	3,250 sf	217.95 /sf	708,342
		B20 8742	Automatic Door Operators	22 ea	20,450.37 /ea	449,908
		B20 8804	Canopy, Clean	2,200 sf	2.12 /sf	4,659
			B2000 Exterior Enclosure	387,084 sf	5.45 /sf	2,108,689
	B3000		Roofing			
		B30 7552	Membrane Roofing, Remove/Replace to Deck	270,000 sf	32.12 /sf	8,673,587
			B3000 Roofing	387,084 sf	22.41 /sf	8,673,587
	D6000		Technology			
		D50 9212	Intrusion Detection	387,084 sf	0.60 /sf	230,439
		D50 9312	Video Surveillance	387,084 sf	1.06 /sf	411,230
			D6000 Technology	387,084 sf	1.66 /sf	641,669
	Z1012		Functional Area Costs			
		xRHCr	Renovation, Heavy, Classroom	60,000 sf	317.63 /sf	19,057,500
		xRHLR	Renovation, Heavy, Locker Room	11,000 sf	726.00 /sf	7,986,000
		xRHMedC	Renovaiton, Heavy, Media Center	15,700 sf	363.00 /sf	5,699,100
		xRHOff	Renovation, Heavy, Office	1,400 sf	272.25 /sf	381,150
		xRHPA	Renovation, Heavy, Performing Arts	13,500 sf	363.00 /sf	4,900,500
		xRHRR	Renovation, Heavy, Restrooms	18,200 sf	968.00 /sf	17,617,600
		xRHST	Renovation, Heavy, Stair	2,200 sf	272.25 /sf	598,950
		xRHWR	Renovation, Heavy, Weight Room	4,200 sf	249.56 /sf	1,048,163
		xRLAth	Renovation, Light, Athletic Buildings	8,000 sf	151.25 /sf	1,210,000
		xRLCafe	Renovation, Light, Cafeteria	19,000 sf	181.50 /sf	3,448,500
		xRLCorr	Renovation, Light, Corridor	34,200 sf	181.50 /sf	6,207,300
		xRLOff	Renovation, Light, Office	12,000 sf	90.75 /sf	1,089,000
		xRLStor	Renovation, Light, Storage	2,000 sf	113.44 /sf	226,875
		xRMAud	Renovation, Medium, Auditorium	16,700 sf	393.25 /sf	6,567,275
		xRMCorr	Renovation, Medium, Corridors	19,000 sf	181.50 /sf	3,448,500
		xRMCr	Renovation, Medium, Classrooms	47,600 sf	211.75 /sf	10,079,300
		xRMGym	Renovation, Medium, Gym	24,000 sf	242.00 /sf	5,808,000
		xRMKit	Renovation, Medium, Kitchen	6,000 sf	266.20 /sf	1,597,200
		xRMOff	Renovation, Medium, Office	800 sf	181.50 /sf	145,200
		xRMPL	Renovation, Medium, Pool	8,900 sf	332.75 /sf	2,961,475
		xRMST	Renovation, Medium, Stair	2,500 sf	181.50 /sf	453,750
		xRMStor	Renovation, Medium, Storage	8,600 sf	226.88 /sf	1,951,125
		xRMVest	Renovation, Medium, Vestibule	3,700 sf	272.25 /sf	1,007,325
			Z1012 Functional Area Costs	387,084 sf	267.36 /sf	103,489,788

# Condition Assessments

## Administration Building

## Condition Assessments

### Administration Building Summary

Michigan City Area Schools	
Building:	Administration Building
Building Area:	28,714
Site Acreage:	8.00
Enrollment Capacity:	
Current Enrollment:	0
Construction	Construction Type
1952/1988 (Change of Use)	Original Construction
See Bldg. Area Plan	Additions and Renovations

Condition Assessment Legend	
Building Scoring Matrix	Category Scoring Matrix
100: Excellent	5: No Work Needed
99 - 80: Good	4: Minor Work Needed
79 - 60: Average	3: Moderate Work Needed
59 - 40: Fair	2: Major Work Needed
Below 40: Poor	1: None/Replacement Needed

Condition Assessment	Score
<b>A SITE CIRCULATION AND AMENITIES</b>	
A.1 Separation/Drop-off/Stacking	4.22
A.2 Drives/Lots and Walks	3.00
A.3 Site Improvements	3.50
<b>B SAFETY AND SECURITY</b>	
B.1 Secure Building Access	3.67
B.2 Surveillance/Cameras	4.50
<b>C BUILDING ENVELOPE</b>	
C.1 Building Roof	3.00
C.2 Exterior Building Walls	3.50
C.3 Exterior Doors/Windows	2.74
<b>D BUILDING INTERIOR ENVIRONMENT</b>	
D.1 ADA/Accessibility	2.23
D.2 Floors	2.62
D.3 Walls	3.18
D.4 Ceilings	2.07
D.5 Doors/Borrowed Lites	4.00
D.6 Fixed Equipment	2.22
<b>E BUILDING SYSTEMS</b>	
E.1 Building Plumbing System	2.75
E.2 Building HVAC System	3.00
E.3 Building Temperature Controls	2.00
E.4 Building Electrical System	4.13
E.5 Building Lighting	4.50
E.6 Building Technology	5.00
<b>CONDITION ASSESSMENT AVERAGE SCORE</b>	<b>3.29</b>
<b>CONDITION ASSESSMENT GRADE</b>	<b>65.81</b>

# Condition Assessments

## Administration Building Expanded Summary

Michigan City Area Schools	
Building:	Administration Building
Building Area:	28,714
Site Acreage:	8.00
Enrollment Capacity:	
Current Enrollment:	0
Construction	Construction Type
1952/1988 (Change of Use)	Original Construction
See Bldg. Area Plan	Additions and Renovations

Condition Assessment	Score
A SITE CIRCULATION AND AMENITIES	
A.1 Separation/Drop-off/Stacking	4.22
A.2 Drives/Lots and Walks	3.00
A.3 Site Improvements	3.50
B SAFETY AND SECURITY	
B.1 Secure Building Access	3.67
B.2 Surveillance/Cameras	4.50
C BUILDING ENVELOPE	
C.1 Building Roof	3.00
C.2 Exterior Building Walls	3.50
C.3 Exterior Doors/Windows	2.74
D BUILDING INTERIOR ENVIRONMENT	
D.1 ADA/Accessibility	2.23
Administration	2.25
Corridors/Common	3.19
Classrooms/Science	0.00
Art/Music/Auditorium	0.00
Gymnasium/Natorium	0.00
Cafeteria/Kitchen	0.00
Restrooms/Locker Rooms	1.25
D.2 Floors	2.62
Administration	2.75
Corridors/Common	2.35
Classrooms/Science	0.00
Art/Music/Auditorium	0.00
Gymnasium/Natorium	0.00
Cafeteria/Kitchen	0.00
Restrooms/Locker Rooms	2.75
D.3 Walls	3.18
Administration	3.00
Corridors/Common	3.28
Classrooms/Science	0.00
Art/Music/Auditorium	0.00
Gymnasium/Natorium	0.00
Cafeteria/Kitchen	0.00
Restrooms/Locker Rooms	3.25
D.4 Ceilings	2.07
Administration	1.75
Corridors/Common	1.93
Classrooms/Science	0.00
Art/Music/Auditorium	0.00
Gymnasium/Natorium	0.00
Cafeteria/Kitchen	0.00
Restrooms/Locker Rooms	2.53
D.5 Doors/Borrowed Lites	4.00
Administration	4.00
Corridors/Common	0.00
Classrooms/Science	0.00
Art/Music/Auditorium	0.00
Gymnasium/Natorium	0.00
Cafeteria/Kitchen	0.00
Restrooms/Locker Rooms	4.00
D.6 Fixed Equipment	2.22
Administration	1.60
Corridors/Common	0.00
Classrooms/Science	0.00
Art/Music/Auditorium	0.00
Gymnasium/Natorium	0.00
Cafeteria/Kitchen	0.00
Restrooms/Locker Rooms	2.84
E BUILDING SYSTEMS	
E.1 Building Plumbing System	2.75
E.2 Building HVAC System	3.00
E.3 Building Temperature Controls	2.00
E.4 Building Electrical System	4.13
E.5 Building Lighting	4.50
E.6 Building Technology	5.00
CONDITION ASSESSMENT AVERAGE SCORE	3.29
CONDITION ASSESSMENT GRADE	65.81

Condition Assessment Legend	
Building Scoring Matrix	Category Scoring Matrix
100: Excellent	5: No Work Needed
99 - 80: Good	4: Minor Work Needed
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59 - 40: Fair	2: Major Work Needed
Below 40: Poor	1: None/Replacement Needed

# Condition Assessments

## Administration Building Code Analysis

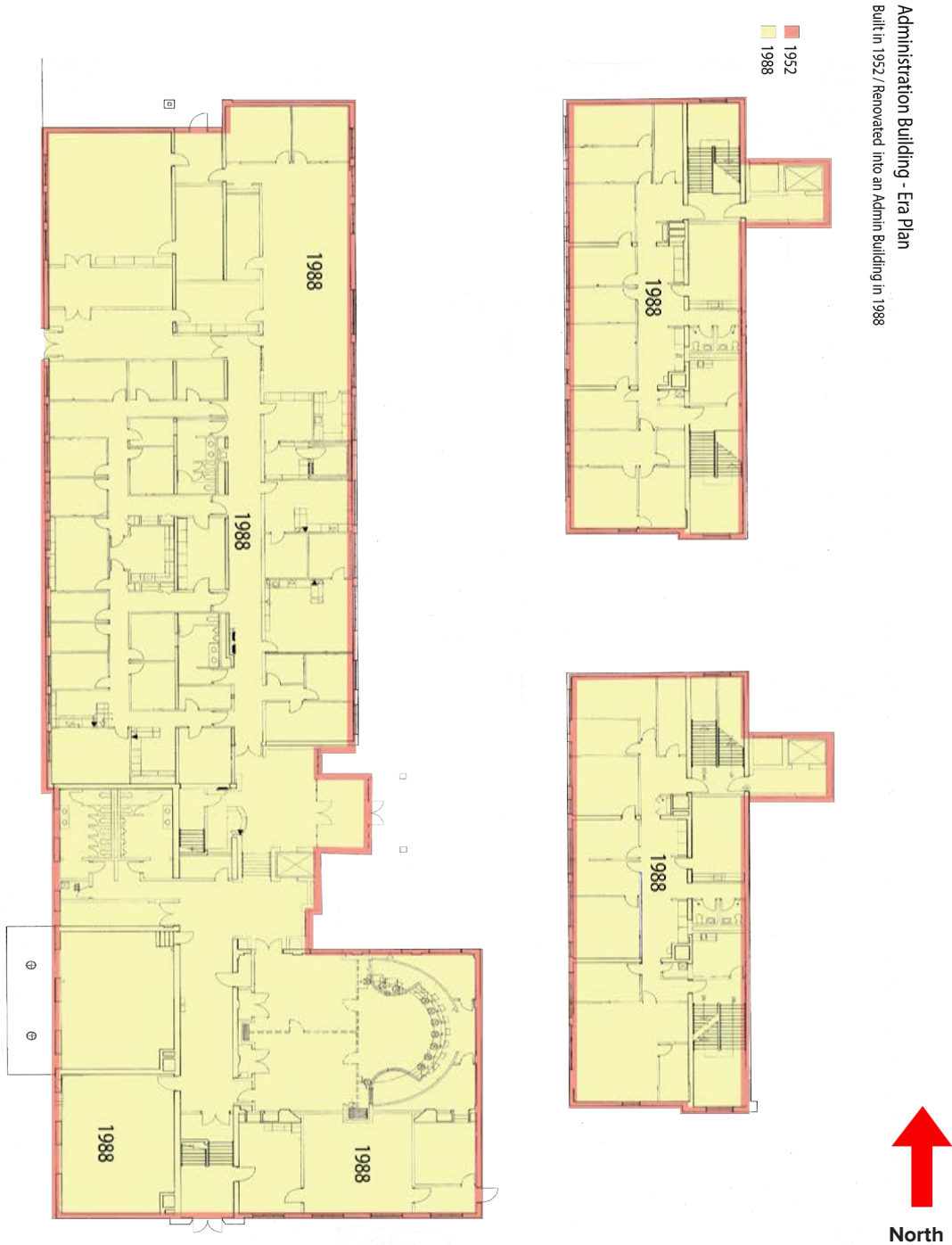
### Code Analysis:

- The Building Occupancy is Group B – Business.
    - Allowable area per code is 9,000 SF. Allowable area and number of stories will be increased utilizing a sprinkler increase for the three-story portion while no sprinkler increase is available for the single-story portion. Frontage increase possible dependent on public way or open space at perimeter of building.
    - The overall square footage is 28,714 SF. The first floor is divided into two areas by 2-hour separation wall. The single-story portion is 10,744 SF. The three-story portion is comprised of 9,044 SF at the first floor, 4,463 SF at the second floor, and 4,463 SF at the third floor.
  - The Building Type of Construction is Type V-B Unprotected Wood Frame.
    - Original construction date is unknown.
    - Addition and renovation construction in 1988.
      - Based on the 1985 Edition of the Uniform Building Code – Indiana Edition.
    - Known technology upgrade in 2004.
  - The existing Building is partially equipped with a fire suppression system. The three-story portion of the building is equipped with a fire suppression system throughout. The single-story portion of the building is NOT equipped with a fire suppression system throughout.
- Priority Items:**
- a. NOTE: All non-compliant building code items are grandfathered, however, if any item or area is renovated, new work is required to meet current building code.



Condition Assessments

Administration Building Era Floorplan



Condition Assessments

Administration Building Site

SUMMARY OF ENTIRE SITE					
Category		Subscore	Regions	Score	General Comments
A.1 Separation/Drop-off/Stacking		4.22	1	4.22	
A.2 Drives/Lots and Walks		3.00	1	3.00	
A.3 Site Improvements		3.50	1	3.50	

SITE					
A.1 Separation/Drop-off/Stacking					
A.1 Identifiable Main Entry				Score	Comments/Remarks
A.1 Identifiable Main Entry				5.00	
A.1 ADA Accessibility	Type	Compliant		Score	Comments/Remarks
A.1 ADA Accessibility	Route	FALSE		3.00	Route is located away from accessible parking spots.
A.1 ADA Accessibility	Door	TRUE		4.00	Hardware is ok. No automatic door operator.
A.1 Parking Space Allocation	Type	Compliant	Quantity	Score	Comments/Remarks
A.1 Parking Space Allocation	Visitor		45.00	5.00	
A.1 Parking Space Allocation	Staff		44.00	5.00	41 employees. Requirement is 1 space for each employee.
A.1 Parking Space Allocation	Accessible	TRUE	3.00	3.00	2 for visitor and 1 for staff. Requirement is 1 per 25 or 2% whe...
A.1 Site Circulation	Type			Score	Comments/Remarks
A.1 Emergency/Fire Service Access				4.00	Building is surrounded by public ways. W and S have paved acc...
A.1 Bus/Vehicular	Separation			N/A.	
A.1 Bus/Vehicular	Signage			N/A.	
A.1 Bus Drop-off/Pick-up	Route Clarity/Safety			N/A.	
A.1 Bus Drop-off/Pick-up	Adequate Stacking			N/A.	
A.1 Car Drop-off/Pick-up	Pedestrian Safety			N/A.	
A.1 Car Drop-off/Pick-up	Adequate Stacking			N/A.	
A.1 Car Drop-off/Pick-up	Traffic Pattern			N/A.	
A.1 Delivery Routing	Separation			5.00	
A.1 Delivery Routing	Loading Dock			4.00	No loading dock but assumed not needed. Designated area pro...
SITE A.1 Separation/Drop-off/Stacking				Total	4.22
A.2 Drives/Lots and Walks					
A.2 Drives/Lots and Walks	Type	%	Subscore	Score	Comments/Remarks
A.2 Sidewalks	Concrete	100	3.00	3.00	Sidewalks are aged. Minor heaving at select locations. Pads cor...
A.2 Sidewalks					
A.2 Sidewalks					
		Sidewalks	Subtotal	3.00	
A.2 Drives	Asphalt	100	3.00	3.00	Overall decent shape, due for general maintenance and seal co...
A.2 Drives					
A.2 Drives					
		Drives	Subtotal	3.00	
A.2 Parking Lots	Asphalt	100	3.00	3.00	Overall decent shape, due for general maintenance and seal co...
A.2 Parking Lots					
A.2 Parking Lots					
		Parking Lots	Subtotal	3.00	
A.2 Drives/Parking Lots	Traffic Markings/Striping			3.00	Markings appear to be newer. Seal coat and new traffic markin...
SITE A.2 Drives/Lots and Walks				Total	3.00
A.3 Site Improvements					
A.3 Site Improvements	Type			Score	Comments/Remarks
A.3 Playground(s)	Accessibility			N/A.	
A.3 Playground(s)	Equipment			N/A.	
A.3 Playground(s)	Surface			N/A.	
A.3 Playground(s)	Size			N/A.	
		Playground(s)	Subtotal		
A.3 Landscaping	Trees			3.00	Site has numerous large mature trees and lots of small to medi...
A.3 Landscaping	Landscaping			3.00	Landscaping is primarily located near main entry in good condi...
		Landscaping	Subtotal	3.00	
A.3 Site Drainage	Flood Points			4.00	
A.3 Athletic Fields	Support Buildings			N/A.	
A.3 Athletic Fields	Bleachers/Stadium Seating			N/A.	
A.3 Athletic Fields	Athletic/Stadium Lighting			N/A.	
A.3 Athletic Fields	Athletic/Stadium Paving			N/A.	
A.3 Athletic Fields	Fencing/Gates			N/A.	
A.3 Athletic Fields	Field Conditions			N/A.	
A.3 Athletic Fields	Scoreboards			N/A.	
		Athletic Fields	Subtotal		
A.3 Site Security	Site Lines			4.00	Site lines are general exceptional, solar field hinders views to t...
A.3 Site Security	Gated/Not Gated			2.00	Not gated.
		Site Security	Subtotal	3.00	
A.3 Fencing	Site			4.00	Site is unfenced. Only the solar field has fencing. Assumption is...
A.3 Fencing	Playground(s)			N/A.	
		Fencing	Subtotal	4.00	
SITE A.3 Site Improvements				Total	3.50

# Condition Assessments

## Administration Building Site Summary

**ADA Building Access:**

• Accessible parking spots are provided with two in the west parking lot, and one in the south parking lot. Accessible parking spaces have routes to the easily identifiable main entry. However, no building entry has an automatic door opener. The south parking lot is flush with the top of the sidewalk, while the west lot is lower than the sidewalk. There is a curb cut providing accessible sidewalk access. However, the cut is removed from the accessible spots requiring those who need the curb cut to use the drive for a short distance before being able to access the sidewalk.

**Priority Items:**

a. The provided accessible parking spots are adequate in quantity. No accessible spot has marked van/side access. While not required, reconfiguration of parking spaces should be considered to make this adjustment. While marked appropriately on the ground, accessible parking spots should have signs added to all accessible spots to insure appropriate visibility.

b. Curb cut in the west lot should be relocated so pedestrians do not have to use the drive to access the sidewalk. Curb ramp should also have detectable warning strips added. Sidewalk needs repairs to make paths ADA compliant. See Drives, Parking, and Sidewalks section for specific recommendations. Painting the curb cuts and ramps should be considered for increased visibility.

**Drives, Parking, and Sidewalks:**

• The site contains multiple parking lots with associated drives and drop-off/pick-up locations. One parking lot with a center drive is located to the northwest of the building. The drive continues and turns south to connect to the west lot exiting onto the road south of the building. There is a small third lot on the south directly off the street. Drives are not gated.

• Signage to the lot drives is clearly marked.

• There are sidewalks along the north, west, and south sides of the building, connecting two of the three lots. Sidewalks have several issues that need to be addressed including spalling and cracking of slabs at building entrances/exits and heaving of some slabs. The northwest lot does not have sidewalks leading to the building.

• The maintenance drive is located southeast of the building. It is assumed, that due to the function of the building, no loading dock is needed.

**Priority Items:**

a. Parking lots and drives are aged. Lots and drives should have general maintenance and seal coating with new markings for increased visibility of lines and maintaining the integrity of the existing asphalt. Adding additional traffic markings, including directional arrows should be considered for clarity. Adjustment of accessible parking spaces should be considered. See section on Accessible Building Access.

b. Consider adding gates to drives for increased security on the site.

c. Sidewalks require general joint maintenance, slabs at building entrances should be replaced, and select slabs, particularly on the southwest corner near the tree should be replaced due to heaving.

**Landscaping/Site Elements:**

• There are several mature trees scattered across the site. Ther site has large amounts of open green space. Landscaped areas are very minimal, only really being present at the main entrance. Decorative trees near the building appear to be too close in many instances. The perimeter of the building could benefit from a consistent mow strip.

• The site is unfenced except for the solar farm and around the mechanical systems at the northeast corner of the building. Additional site fencing is assumed to not be desired.

• Site signage is located along the north-south road and is fairly small.

**Priority Items:**

a. Trees on the site should be trimmed. Decorative trees deemed too close to the building should be relocated or removed.

b. Adding additional landscaped areas should be considered to enhance visual appeal of the site.

c. New, larger sign should be considered with lighting and existing sign should be removed. New sign should be relocated to intersection south of the existing sign.

**Playground:**

• Not applicable.

**Priority Items:**

a. Not applicable.

# Condition Assessments

## Administration Building Safety and Security

SUMMARY OF ALL SAFETY AND SECURITY					
Category		Subscore	Areas	Score	General Comments
B.1 Secure Building Access		3.67	1	3.67	
B.2 Surveillance/Cameras		4.50	1	4.50	

SAFETY AND SECURITY				Score	Comments/Remarks
B.1 Secure Building Access	Type			4.00	
B.1_Card/Code/FOBS				3.00	Admin checkin via secure exterior doors.
B.1_Secure_Vestibule	No Admin Connection			4.00	AI voice only.
B.1_Secure_Technology	AI Voice/Door Release				
B.1_Security Officer Station(s)					
SAFETY AND SECURITY B.1 Secure Building Access			Total	3.67	
B.2 Surveillance/Cameras				Score	Comments/Remarks
B.2_Video Surveillance				5.00	ExacqVision.
B.2_Intrusion Detection				4.00	GE Network.
SAFETY AND SECURITY B.2 Surveillance/Cameras			Total	4.50	

**Secure Visitor Access:**

• The existing building has secure entry to a vestibule that does not allow direct access to the administration area. Once through the first set of secure doors, the visitor can move freely through the building. The secure entry is accessed via intercom/door release system or fob/door release system. There was no camera observed to be present near the main entry. Entrances elsewhere around building have fob/code entry pad systems with all entrances having key access.

**Priority Items:**

a. Upgrade to intercom/door release system to include video is recommended.

b. Client should consider a secure vestibule directing visitors directly to reception prior to being able to move about the building.

# Condition Assessments

## Administration Building Envelope and Roof

SUMMARY OF ENTIRE BUILDING ENVELOPE					
Category		Subscore	Areas/Regions	Score	General Comments
C.2 Exterior Building Walls		3.50	1	3.50	
C.3 Exterior Doors/Windows		2.74	1	2.74	

BUILDING ENVELOPE					
C.2 Exterior Building Walls	Type	%	Subscore	Score	Comments/Remarks
C.2_Masonry	Brick	100	3.50	3.50	Grade-level masonry has minor to significant wear, severe wea ...
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
BUILDING ENVELOPE C.2 Exterior Building Walls			Total	3.50	
C.3 Exterior Doors/Windows	Type	% or Qty.	Subscore	Score	Comments/Remarks
C.3_Aluminum	Window	90	2.75	2.48	Frames are extremely weathered, near end of life. ...
C.3_Aluminum	Storefront	10	4.00	0.40	Main entry in good condition. ...
<select or leave blank>					
<select or leave blank>					
	Exterior Windows		Subtotal	2.88	
C.3_Swinging	Aluminum	30	4.00	1.20	Main entry door in good condition. ...
C.3_Swinging	Hollow Metal	70	2.00	1.40	S door has damage, E access door and N and W entry door are ...
<select or leave blank>					
<select or leave blank>					
	Exterior Doors		Subtotal	2.60	
BUILDING ENVELOPE C.3 Exterior Doors/Windows			Total	2.74	

SUMMARY OF ALL ROOFS							
Category		Total Sq.Ft.	Subscore	Areas	Score		General Comments
C.1 Building Roof		20,000	3.00	1	3.00		

ROOF							
C.1 Building Roof	Type	Install Year	Square Feet	Subscore	Score	Warranty Exp.	Comments/Remarks
C.1_Membrane	EPDM	2010	20,000	3.00	3.00	2025	
	Manufacturer/Installer	Firestone/Tonn & Blank					
<select or leave blank>							
	Manufacturer/Installer						
<select or leave blank>							
	Manufacturer/Installer						
<select or leave blank>							
	Manufacturer/Installer						
ROOF C.1 Building Roof		Total Sq.Ft.	20,000	Total Score	3.00		

# Condition Assessments

## Administration Building Building Envelope

### Exterior Facades:

- Majority of the building exterior is masonry veneer brick with precast or limestone windowsills and a decorative band above windows. Stone also caps the building parapet walls, adds decorative elements around the building, and makes up the column bases and overhang perimeter at the main entry. Columns at overhangs are primarily masonry veneer with some stone accents. EIFS occupies the space above the windows to fill the original opening.
- Metal flashing is present at a few locations and appears to be in good condition.
- Wood trim makes up the perimeter of the south overhang and is deteriorating.
- Windows are aluminum, are extremely weathered, and nearing end of life. Aluminum storefront system at the main entrance is in great condition.
- Exterior doors are primarily hollow metal and many have been significantly weathered. The south door has been damaged. The remaining doors are aluminum and are in great condition.

### Priority Items:

- Masonry veneer brick needs to be cleaned. Tuckpointing in several locations is anticipated. Cast stone or limestone sills and decorative elements need to be thoroughly cleaned.
- Stone at base of main entry needs to be repaired, or possibly replaced, due to sever weathering.
- EIFS needs to be minimally patched where necessary, cleaned, and repainted.
- Wood trim at south overhang needs to be replaced and painted.
- Ceilings under overhangs and in alcoves needs to be cleaned and repainted.
- All aluminum windows should be replaced.
- Hollow metal doors should be cleaned and repainted. South door may need to be replaced.

### Roofs:

- The existing roof is EPDM roof membrane manufactured by Firestone installed in 2010 and comprises approximately 20,000 SF. The roof warranty expires in 2025.

### Priority Items:

- EPDM roofing is in good condition. A roof inspection by a qualified company is recommended to determine approximate life remaining and to complete any repairs to maintain roof integrity.

Condition Assessments

Administration Building Exterior Floorplan



Administration Building - Exterior Condition Assessment



Condition Assessments

Administration Building Administration

SUMMARY OF ALL ADMINISTRATION					
Category		Subscore	Rooms/Areas	Score	General Comments
D.1 ADA/Accessibility		2.25	1	2.25	
D.2 Floor Finish		2.75	1	2.75	
D.3 Wall Finish		3.00	1	3.00	
D.4 Ceiling Finish		1.75	1	1.75	
D.5 Doors/Borrowed Lites		4.00	1	4.00	
D.6 Fixed Equipment		1.60	1	1.60	

ADMINISTRATION					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware		TRUE		4.00	Most, not all, hardware is lever. Remaining knob hardware sho...
D.1_Door Clearances		FALSE		2.00	Many doors do not have compliant clearances, often due to co...
D.1_Room Signage		FALSE		1.00	Not compliant where present.
D.1_Casework Clearances/Hts.		FALSE		2.00	Sink locations are not ADA compliant.
ADMINISTRATION D.1 ADA/Accessibility			Total	2.25	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Carpet	Broadloom	75	3.00	2.25	Generally in good condition on first floor. Most of the second a...
D.2_Vinyl	VCT	25	2.00	0.50	Generally in poor condition throughout.
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.2 Floor Finish			Total	2.75	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Painted	100	3.00	3.00	
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.3 Wall Finish			Total	3.00	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	100	1.75	1.75	Generally in need of replacement throughout.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.4 Ceiling Finish			Total	1.75	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
D.5_Wood	Stained	100	4.00	4.00	Hardware as listed within ADA section.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
ADMINISTRATION D.5 Doors/Borrowed Lites			Total	4.00	
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
<select or leave blank>					N/A, very few throughout. Considered FFE for purposes of rev...
<select or leave blank>					
			Visual Display Boards	Subtotal	
D.6_Casework	PLAM	35	2.00	0.70	
D.6_Casework	Metal	25	1.00	0.25	
D.6_Countertops	PLAM	25	2.00	0.50	
D.6_Countertops		15	1.00	0.15	
			Casework/Countertops	Subtotal	1.60
D.6_Appliances					
ADMINISTRATION D.6 Fixed Equipment			Total	1.60	



# Condition Assessments

Administration Building Corridors/Commons

SUMMARY OF ALL CORRIDORS/COMMONS					
Category		Subscore	Areas	Score	General Comments
D.1 ADA/Accessibility		3.19	1	3.19	
D.2 Floor Finish		2.35	1	2.35	
D.3 Wall Finish		3.28	1	3.28	
D.4 Ceiling Finish		1.93	1	1.93	
D.5 Doors/Borrowed Lites		0.00	0	0.00	
D.6 Fixed Equipment		0.00	0	0.00	

CORRIDOR/COMMONS					
D.1 ADA/Accessibility		Compliant		Score	Comments/Remarks
D.1_Door Hardware/Clearances		TRUE		4.00	Most, not all, hardware is lever. Remaining knob hardware sho...
D.1_Routing/Ramps		FALSE		3.25	Has elevator but inconvenient for even traversing first floor. Pa...
D.1_Wayfinding Signage		FALSE		2.00	Directional signage is minimal to none. Directional signage wou...
D.1_Elevator/Lift		TRUE		3.50	
CORRIDOR/COMMONS D.1 ADA/Accessibility			Total	3.19	
D.2 Floor Finish	Type	%	Subscore	Score	Comments/Remarks
D.2_Carpet	Broadloom	80	2.25	1.80	
D.2_Vinyl	VCT	10	2.00	0.20	
D.2_Tile	Square	10	3.50	0.35	
<select or leave blank>					
CORRIDOR/COMMONS D.2 Floor Finish			Total	2.35	
D.3 Wall Finish	Type	%	Subscore	Score	Comments/Remarks
D.3_Gypsum	Painted	60	3.00	1.80	
D.3_Masonry	Brick	15	4.00	0.60	
D.3_Masonry	CMU	25	3.50	0.88	
<select or leave blank>					
CORRIDOR/COMMONS D.3 Wall Finish			Total	3.28	
D.4 Ceiling Finish	Type	%	Subscore	Score	Comments/Remarks
D.4_Suspended	Acoustic	90	1.75	1.58	Generally in need of replacement throughout.
D.4_Gypsum	Painted	10	3.50	0.35	
<select or leave blank>					
<select or leave blank>					
CORRIDOR/COMMONS D.4 Ceiling Finish			Total	1.93	
D.5 Doors/Borrowed Lites	Type	% or Qty.	Subscore	Score	Comments/Remarks
<select or leave blank>					N/A, see Adminstration and Exterior Envelope.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
CORRIDOR/COMMONS D.5 Doors/Borrowed Lites			Total		
D.6 Fixed Equipment	Type	% or Qty.	Subscore	Score	Comments/Remarks
<select or leave blank>					N/A, very few throughout. Considered FFE for purposes of revit...
<select or leave blank>					
<select or leave blank>					
		Visual Display Boards	Subtotal		
<select or leave blank>					N/A.
<select or leave blank>					
<select or leave blank>					
<select or leave blank>					
		Casework/Countertops	Subtotal		
D.6_Lockers					N/A.
CORRIDOR/COMMONS D.6 Fixed Equipment			Total		

# Condition Assessments

Administration Building Interiors Environment

Stairs:

- Existing building currently has two sets of building stairs and one set of stairs to transition the first floor offset.
- Existing stairs elsewhere in the building are limited to stage stairs in the board room.

Priority Items:

- Existing stairs are all covered in broadloom carpet. Carpet is aged and worn and should be replaced.

Corridors:

- Corridors vary in width and are approximately 4'-6" to 12'-6" in width with some recessed doorways exiting rooms and remaining room exits flush with corridor walls. Floor, wall, and ceiling finishes vary widely in condition throughout. Significant replacement in addition to repairs is necessary.
- Wayfinding signage throughout the building is minimal making navigation difficult. Room signage is present in some instances but not ADA compliant.
- Interior doors throughout the building are generally stained wood veneer in great condition. Remaining doors are hollow metal, also in great condition. Knob door hardware is not ADA compliant. Lever door hardware appears to be ADA compliant and is present on most doors.
- Refer to Priority Item "a" under Code section for existing conditions. Existing corridors/classroom walls will need to be confirmed for appropriate fire resistive construction and continuity, due to lack of sprinkler system throughout building, if significant renovation efforts are undertaken.

Priority Items:

- The smallest corridors, at 4'-6", are too narrow for proper ADA clearances. Areas with the smallest corridors should be reconfigured.
- Existing flooring is primarily broadloom carpet in poor condition. While rips and tears are not common and carpet may have a few years of life remaining, age and traffic wear is apparent throughout. Replacement of broadloom carpet is recommended. Square ceramic tile is in remaining areas, generally in good condition. Grout and tile should be cleaned and sealed.

- Existing wall finish is primarily painted gypsum, with painted CMU being the next most common, and brick veneer being the least used. Brick veneer is in good condition and only needs cleaning, especially near floors. Painted gypsum and painted CMU needs to be patched and repainted.
- Existing ceilings are primarily suspended acoustical tile ceiling system and is in poor condition throughout. Ceiling tiles are sagging, stained, discolored, or damaged and need to be replaced. Painted gypsum ceilings are in good condition and simply need to be repainted.
- Owner should consider adding wayfinding signage and room signage throughout. New signage should be ADA compliant, including braille and proper mounting heights and locations.
- Existing stained wood veneer doors are in great condition and no refinishing is necessary. Some doors do not contain ADA compliant hardware and need to have hardware upgraded to match existing lever hardware on other doors.

Classrooms:

- Not applicable.

Priority Items:

- Not applicable.

Restrooms:

- Restrooms throughout the building are not ADA compliant and are in poor physical condition generally with flooring refinishing/ replacement needs, ceiling repainting/replacement needs, toilet partition replacement needs and restroom accessory replacement needs.
- All restrooms throughout the building have serious deficiencies including ADA compliance and general accessibility and outdated or worn materials. Due to the extensive nature of renovation needs, it is highly recommended that all restrooms be fully demolished and rebuilt with a focus on accessibility and ADA compliance. Priority of rebuild should be as follows: one pair of public gang restrooms closest to the board room, then all remaining restrooms.



# Condition Assessments

## Administration Building Mechanical System

b. Alternatively, restrooms listed above could receive finish upgrades only but would remain not ADA compliant.

Ancillary Spaces:

• Existing administration areas are approximately 18,940 SF. Broadloom carpet flooring is the primary material and conditions vary by floor. First floor broadloom carpet is in good condition. Carpet on the remaining floors is in poor condition. Wall conditions are generally in good condition. Ceiling conditions are in poor condition throughout. Doors throughout are stained wood veneer in great condition. Knob door hardware is not ADA compliant. Lever door hardware appears to be ADA compliant and is present on most doors. Room signage is present in some instances but not ADA compliant. Additional room signage is necessary. All casework and countertops, regardless of material, are in poor condition. Areas with sinks are not ADA compliant.

Priority Items:

a. First floor broadloom carpet is in good condition, although worn and discolored in spots. First floor carpeting may last a few more years, but full replacement should be considered if replacing in other areas. Carpet on the remaining floors needs to be replaced.

b. Existing wall finish is primarily painted gypsum and needs to be patched and repainted.

c. Existing ceilings are suspended acoustical tile ceiling system and is in poor condition throughout. Ceiling tiles are sagging, stained, discolored, or damaged and need to be replaced.

d. Doors throughout are stained wood veneer in great condition. Knob door hardware is not ADA compliant. Lever door hardware appears to be ADA compliant and is present on most doors.

e. Room signage is present in some instances but not ADA compliant. Additional room signage is necessary, throughout.

f. Casework and countertops should be replaced throughout. While still functional in many areas, casework and countertops are aged and worn. At least one sink per floor should be made ADA compliant.

g. The previous priority items note conditions throughout the building, however, finishes within the board room have been well maintained. Upgrades mentioned above are recommended for the boardroom, as well, but conditions are not as poor as most of the remainder of the building. The board room is recommended to be reconfigured due to the elevated board seating area not being accessible.

SUMMARY OF ENTIRE MECHANICAL SYSTEM					
Category		Subscore	Areas	Score	General Comments
E.2 Building HVAC System		3.00	1	3.00	
E.3 Building Temperature Controls		2.00	1	2.00	

MECHANICAL SYSTEM					
E.2 Building HVAC System	Type			Score	Comments/Remarks
E.2_Central Heating System	Boilers			4.00	
E.2_Central Heating System	Heating Pumps			3.00	
E.2_Central Heating System	Air Handling Units			2.00	Old units. AHU-2/3 are stacked and will be hard to replace. AHU-1 is replaced in July 2023 but has had issues.
	Central Heating System	Subtotal		3.00	
E.2_Cooling System	Chiller			5.00	
E.2_Cooling System	Cooling Tower				
E.2_Cooling System	Chilled Water Pumps			3.00	
E.2_Cooling System	Condensing Units				
	Cooling System	Subtotal		4.00	
E.2_Equipment	Cabinet/Supplemental Heaters				
E.2_Equipment	Fan Coil Units				
E.2_Equipment	Fans				
E.2_Equipment	PTAC Units				
E.2_Equipment	Unit Ventilators				
E.2_Equipment	Variable Air Volume Terminals			2.00	
	Equipment	Subtotal		2.00	
E.2_General	Ductwork			3.00	Hard to assess.
E.2_General	Louvers/Exhaust Vents				
E.2_General	Piping			3.00	Hard to assess.
	General	Subtotal		3.00	
MECHANICAL SYSTEM E.2 Building HVAC System		Total		3.00	
E.3 Building Temperature Controls	Type			Score	Comments/Remarks
E.3_Temperature Controls				2.00	All Pneumatic controls.
MECHANICAL SYSTEM E.3 Building Temperature Controls		Total		2.00	

# Condition Assessments

## Administration Building Plumbing System

SUMMARY OF ENTIRE PLUMBING SYSTEM					
Category		Subscore	Areas	Score	General Comments
E.1 Building Plumbing System		2.75	1	2.75	

PLUMBING SYSTEM					
E.1 Building Plumbing System	Type			Score	Comments/Remarks
E.1_Plumbing Fixtures	Water Closets			3.00	
E.1_Plumbing Fixtures	Lavatories			3.00	
E.1_Plumbing Fixtures	Drinking Fountains			3.00	
E.1_Plumbing Fixtures	Showers				N/A.
E.1_Plumbing Fixtures	Dishwashing				N/A.
	Plumbing Fixtures	Subtotal		3.00	
E.1_Central Equipment	Hot Water Heating			2.00	
E.1_Central Equipment	Water Softener			1.00	None.
E.1_Central Equipment	Pumps				
	Central Equipment	Subtotal		1.50	
E.1_Water_Service	City			3.00	
E.1_Water Service	Domestic Piping			3.00	
	Water Service	Subtotal		3.00	
E.1_Sewage_System	City			3.00	
E.1_Sewage System	Piping			3.00	
	Sewage System	Subtotal		3.00	
E.1_Gas Service				3.00	
E.1_Fire Suppression				3.00	
PLUMBING SYSTEM E.1 Building Plumbing System		Total		2.75	

# Condition Assessments

## Administration Building Electrical System

SUMMARY OF ENTIRE ELECTRICAL SYSTEM					
Category		Subscore	Areas	Score	General Comments
E.4 Building Electrical System		4.13	1	4.13	
E.5 Building Lighting		4.50	1	4.50	

ELECTRICAL SYSTEM					
E.4 Building Electrical System	Type			Score	Comments/Remarks
E.4_Incoming Service	Size			5.00	800A 480V.
E.4_Incoming Service	Condition			4.00	
E.4_Incoming Service	Generator				Generator switch (MDF)- TBD on rating Generator N.G. set.
	Incoming Service	Subtotal		4.50	
E.4_Distribution				4.00	Some located in halls.
E.4_Smoke Detection				4.00	
E.4_Fire Alarm System	Annunciator Panel			4.00	
E.4_Fire Alarm System	Fire Alarm Devices			4.00	Simplex4010ES, 4009 NAC.
	Fire Alarm System	Subtotal		4.00	
ELECTRICAL SYSTEM E.4 Building Electrical System			Total	4.13	
E.5 Building Lighting	Type			Score	Comments/Remarks
E.5_Interior Lighting	Administration			5.00	
E.5_Interior Lighting	Corridors/Common			5.00	Flat Panel LED 2x4.
E.5_Interior Lighting	Classrooms/Science				N/A.
E.5_Interior Lighting	Art/Music/Auditorium				N/A.
E.5_Interior Lighting	Gymnasium/Natatorium				N/A.
E.5_Interior Lighting	Cafeteria/Kitchen				N/A.
E.5_Interior Lighting	Restrooms			5.00	
	Interior Lighting	Subtotal		5.00	
E.5_Exterior Lighting	Building Entries			4.00	
E.5_Exterior Lighting	Parking Lots/Drives			4.00	Parking lot areas adequately lit.
E.5_Exterior Lighting	Athletic/Play Fields				N/A.
	Exterior Lighting	Subtotal		4.00	
ELECTRICAL SYSTEM E.4 Building Electrical System E.5 Building Lighti			Total	4.50	

# Condition Assessments

## Administration Building Technology System

SUMMARY OF ALL TECHNOLOGY					
Category		Subscore	Areas	Score	General Comments
E.6 Building Technology		5.00	1	5.00	

TECHNOLOGY					
E.6 Building Technology	Type			Score	Comments/Remarks
E.6_Data Distribution	Incoming			5.00	Incoming fiber from internet service provider for district occurs...
E.6_Data Distribution	Cable Type				
E.6_Data Distribution	Fiber			5.00	12 strand single mode fibers from this location to all district bu...
E.6_Data Distribution	Wireless			5.00	
		Data Distribution	Subtotal	5.00	
E.6_Classroom Technology	Teacher				N/A.
E.6_Classroom Technology	Monitors				N/A.
E.6_Classroom Technology	Smartboards				N/A.
E.6_Classroom Technology	Projection				N/A.
		Data Distribution	Subtotal		
E.6_Communications	Intercom/PA				N/A.
E.6_Sound Systems	Gymnasium/Natorium				N/A.
E.6_Sound Systems	S.R.				N/A.
		Sound Systems	Subtotal		
TECHNOLOGY E.6 Building Technology			Total	5.00	

# Condition Assessments

## Administration Building Systems Summary

### Mechanical:

#### Heating plant

- Building comfort heating is provided by a gas-fired boiler which appear and were reported to be in relatively good operating condition.
- Building heating hot water circulation is provided by two primary end-suction pump mounted in parallel.

#### Cooling plant:

- Building comfort cooling is provided by 1 air cooled chiller. Chiller looks to have been replaced in the last few years.
- Building chilled water circulation is provided by two primary end-suction pump mounted in parallel.

### Air-Handler Plants and Systems:

- One constant volume and three variable air volume air-handlers exist at numerous building locations, inside the building envelope. All the air-handlers and associated air-distribution, and comfort control systems are original to the building construction; except for replaced failed components.
  - o All air-handlers and controls appeared in fair to poor condition and were reported in need of replacement.

### Building Temperature Control System:

- The building's temperature control system is managed by Johnson Controls.

#### Priority Items:

- All existing air handlers shall be removed and replaced. They are original to the building.
- For budget consideration, include 2 x 4000 CFM; 5 HP Air handlers with heating coil (121.5 MBH). and cooling coil (156 MBH).
- For budget consideration, include 1 x 2500 CFM; 2 HP Air handlers with heating coil (76 MBH). and cooling coil (98 MBH).
- For budget consideration, include 1 x 16000 CFM; 20 HP Air

handlers with heating coil (456 MBH). and cooling coil (622 MBH).

b. All existing variable volume air terminal units shall be removed and replaced. Owner would like to add extra air terminal devices throughout the building to provide better control.

a. For budget consideration, include 40 VAV terminal units; originally 31.

c. All existing cabinet unit heaters, exhaust fans, etc. shall be removed and replaced. They are original to the building.

a. For budget consideration, include 19 cabinet unit heaters.

b. For budget consideration, include 25 exhaust fans.

### Plumbing:

- The domestic system is served by a gas fired water heater. The water heater looked to be in fair to poor condition. There is no water softener.
- The existing domestic, sanitary and vent piping throughout the building look to be in fair condition and were reported to be in relatively fair operating condition.
- Several restrooms throughout the building are not ADA compliant and are in fair to poor physical condition.

#### Priority Items:

- The water heater should be replaced, and a water softener should be added to the domestic system.
- All drinking fountains in area being renovated shall be replaced and upgraded to current ADA compliant standards. The existing domestic water, sanity and vent connections shall be reused.
- In all restrooms fixtures, faucets, flush valves in areas being renovated shall be replaced and upgrade to current ADA compliant standards. The existing domestic water, sanity and vent connections shall be reused.

### Fire protection:

- There is an existing fire sprinkler system in this building. It looks to be in fair condition.

# Condition Assessments

## Administration Building Interior Floorplan

### Electrical:

Electrical Distribution system

- The original Square D QED series switchboards and Square D Model 5 motor control center appear to be in good condition. A solar field east of the building was added to offset utility demands.

Generator

- There is a natural gas powered Generac generator serving the data center for backup power. The generator appears to be in good condition.

### Fire Alarm

- The existing Simplex 4010ES panel is in good condition.

### Lighting

- Lighting in common spaces includes flat panel LED.

### Technology:

Data cabling and distribution

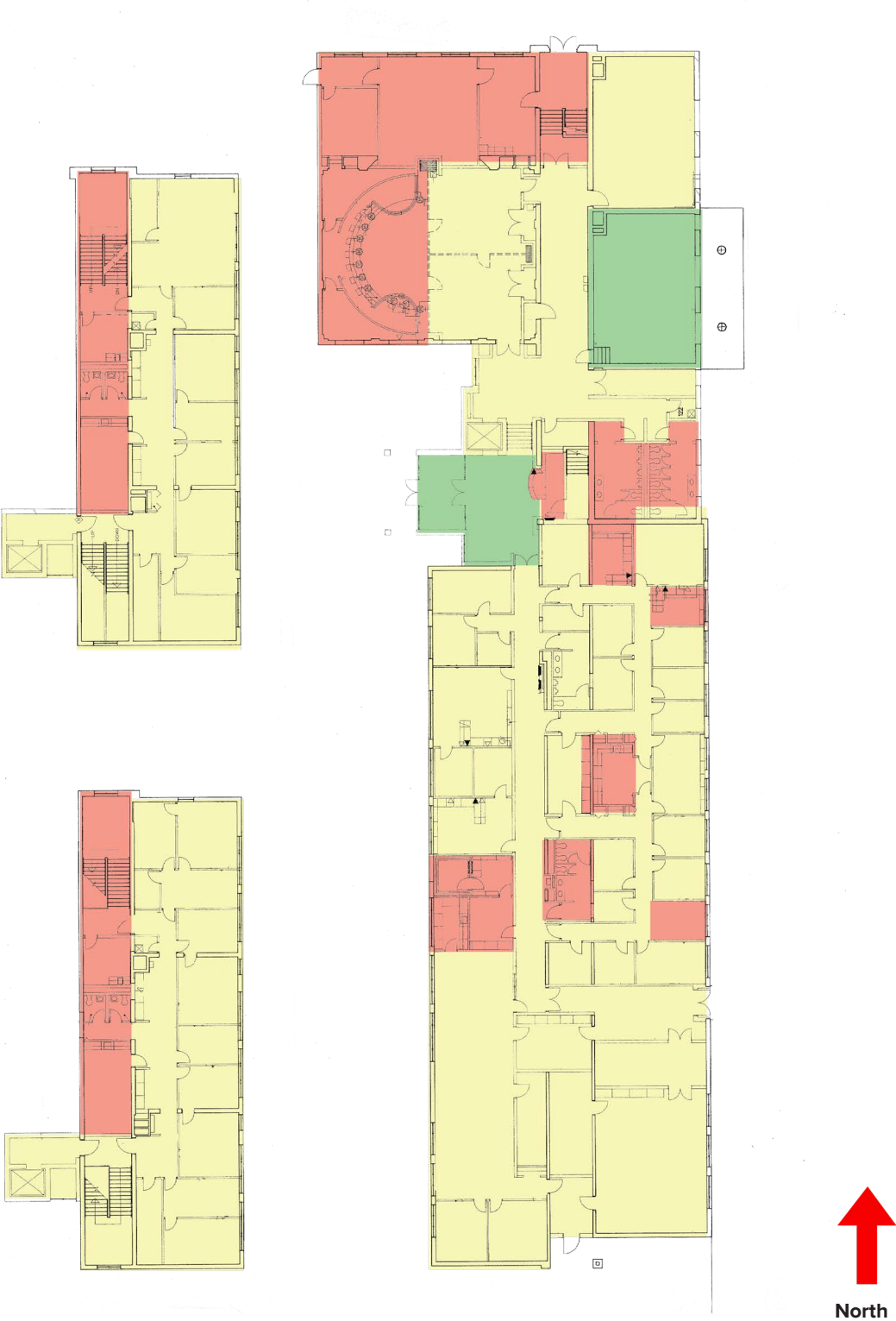
- This building houses the district's data center. All other school buildings are fed via twelve (12) strand single mode fibers from this location. Most cabling is Category 5e and Category 6.

Visitor entry system

- The existing visitor entry system is audio only with a standalone non-recording camera. This equipment should be replaced with a videophone type system similar to other buildings in the district.

### Priority Items:

- Replace visitor entry system.





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