

ADDENDUM #1

Date: 3/25/2025

Project: Classroom Renovation at John Wood Elementary School
6100 East 73rd Ave.
Merrillville, IN 46410
Architect's Project #24086

To: Prospective Bidders

This addendum forms a part of the Bid Documents and modifies the original Bid Documents dated 03-10-2025 as noted below. Acknowledge receipt of this addendum in the space on the Bid Form. Failure to do so may subject bidder to disqualification.

GENERAL

1. All work will need to be conducted between June 1st & August 1st.
2. Any overtime required to meet the time frame shall be included in the base bid.
3. The building will be available for the contractors to conduct work from 6am to 6pm.

SPECIFICATIONS

4. Remove and discard the Bid Form in the project manual and replace it with the attached **Revised Bid Form**
5. The attached Specification Section 09 6519 Resilient Flooring – shall become part of the Project Manual.
6. The attached Specification Section 09 6814 Walk-Off Carpet Tile – shall become part of the Project Manual.

DRAWINGS

7. See attached Revised Drawing Sheet A1.0.0 – Master Floor Plan – Demolition – This plan shows clouded and tagged revisions dated 3-25-2025.
8. See attached Revised Drawing Sheet A1.0.1 – Partial Floor Plan – Area A – Demolition – This plan shows clouded and tagged revisions dated 3-25-2025.
9. See attached Revised Drawing Sheet A1.0.2 – Partial Floor Plan – Area B – Demolition – This plan shows clouded and tagged revisions dated 3-25-2025.
10. See attached Revised Drawing Sheet A1.0.3 – Partial Floor Plan – Area C – Demolition – This plan shows clouded and tagged revisions dated 3-25-2025.
11. See attached Revised Drawing Sheet A1.0.4 – Partial Floor Plan – Area D – Demolition – This plan shows clouded and tagged revisions dated 3-25-2025.
12. See attached Revised Drawing Sheet A1.1.0 – Master Floor Plan – New Construction – This plan shows clouded and tagged revisions dated 3-25-2025.
13. See attached Revised Drawing Sheet A1.1.1 – Partial Floor Plan – Area A – New Construction – This plan shows clouded and tagged revisions dated 3-25-2025.
14. See attached Revised Drawing Sheet A1.1.2 – Partial Floor Plan – Area B – New Construction – This plan shows clouded and tagged revisions dated 3-25-2025.

15. See attached Revised Drawing Sheet A1.1.3 – Partial Floor Plan – Area C – New Construction – This plan shows clouded and tagged revisions dated 3-25-2025.
16. See attached Revised Drawing Sheet A1.1.4 – Partial Floor Plan – Area D – New Construction – This plan shows clouded and tagged revisions dated 3-25-2025.
17. See attached Revised Drawing Sheet A 1.1.5 – Room Finish Schedule - dated 3-25-2025. This drawing is being issued in its entirety.
18. See attached Revised Drawing Sheet A 2.0.0 – Master Reflected Ceiling Plan - dated 3-25-2025. This drawing is being issued in its entirety.
19. See attached Revised Drawing Sheet A 2.1.0 – Partial Reflected Ceiling Plan - dated 3-25-2025. This drawing is being issued in its entirety.

Attached to Addendum #1

- **Revised Bid Form**
- Specification Section 09 6519 Resilient Flooring
- Specification Section 09 6814 Walk-Off Carpet Tile
- Revised Drawing Sheet A1.0.0 – Master Floor Plan – Demolition
- Revised Drawing Sheet A1.0.1 – Partial Floor Plan – Area A – Demolition
- Revised Drawing Sheet A1.0.2 – Partial Floor Plan – Area B – Demolition
- Revised Drawing Sheet A1.0.3 – Partial Floor Plan – Area C – Demolition
- Revised Drawing Sheet A1.0.4 – Partial Floor Plan – Area D – Demolition
- Revised Drawing Sheet A1.1.0 – Master Floor Plan – New Construction
- Revised Drawing Sheet A1.1.1 – Partial Floor Plan – Area A – New Construction
- Revised Drawing Sheet A1.1.2 – Partial Floor Plan – Area B – New Construction
- Revised Drawing Sheet A1.1.3 – Partial Floor Plan – Area C – New Construction
- Revised Drawing Sheet A1.1.4 – Partial Floor Plan – Area D – New Construction
- Revised Drawing Sheet A 1.1.5 – Room Finish Schedule
- Revised Drawing Sheet A 2.0.0 – Master Reflected Ceiling Pla
- Revised Drawing Sheet A 2.1.0 – Partial Reflected Ceiling Plan

END OF ADDENDUM #1

SECTION 00 4100

REVISED BID FORM

To: Merrillville Community School Corporation
6701 Delaware Street
Merrillville, Indiana 46410

Submitted By: _____
(Company Name)

The undersigned, having familiarized themselves with the local conditions affecting the cost of the work and the Bid Documents, including the Project Manual and Construction Documents on file in the Office of the Architect, hereby propose to perform everything required to be performed and to provide and furnish all of the labor and materials, necessary tools, expendable equipment, and all utility and transportation services necessary to complete in a workmanlike manner all of the work in connection with the Classroom Renovations at John Wood Elementary School for the Merrillville Community School Corporation 6701 Delaware Street Merrillville, Indiana 46410, all in accordance with the Bid Documents as prepared by the Architect CSK Architects, P.C., 6919 W. Lincoln Highway, Crown Point, Indiana 46307, including Addenda ____, ____, ____, ____, issued thereto for the sum stated below in accordance with the category designations listed:

BASE BID #1 – Classroom Renovations – John Wood Elementary

To include any and all work associated with the Classroom Renovations at John Wood Elementary School all in accordance with the Bid Documents as Base Bid #1.

\$ _____

ADD ALTERNATE BID #1 – Install New Time Out Room in Classrooms 27

To include any and all work associated with the renovation for the Time Out Room in Classrooms 27 at John Wood Elementary School all in accordance with the Bid Documents indicated as Alternate Bid #1.

\$ _____

In submitting this proposal, it is understood that the right is reserved by the Owner to reject any and all bids. It is agreed that this bid may not be withdrawn for a period of sixty (60) days from the opening thereof.

If awarded the contractor agrees to complete all work over the 2025 summer break.

THIS BID PROPOSAL MUST BE ACCOMPANIED BY ALL REQUIRED BID DOCUMENTS AS SPECIFIED IN THE PROJECT MANUAL AND LISTED IN SECTION 00 11 53 BID AND POST BID SUBMISSION REQUIREMENTS.

Date: _____

Firm Name: _____

By: _____

Title: _____

Official Address: _____

END OF SECTION

SECTION 09 6519

RESILIENT FLOORING

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Furnish all materials, labor and equipment necessary to install all resilient flooring and vinyl base as called for on the Drawings and herein specified.

1.02 REGULATORY REQUIREMENTS

- A. Conform to applicable codes for flame/fuel/smoke rating requirements in accordance with ASTM E84.

1.03 SUBMITTALS

- A. Provide product data on specified products, describing physical and performance characteristics, sizes, patterns and colors available.
- B. Submit samples under provisions of Division 1.
- C. Submit manufacturer's installation instructions under provisions of Division 1.

1.04 OPERATION AND MAINTENANCE DATA

- A. Submit cleaning and maintenance data under provisions of Division 1.
- B. Include maintenance procedures, recommended maintenance materials, and suggested schedule for cleaning, stripping, and re-waxing.

1.05 ENVIRONMENTAL REQUIREMENTS

- A. Store materials for three days prior to installation in area of installation to achieve temperature stability.
- B. Maintain ambient temperature required by adhesive manufacturer three days prior to, during, and 48 hours after installation of materials. A minimum temperature of 55 deg. F. shall be maintained thereafter.

1.06 EXTRA STOCK

- A. Supply two unopened cartons of each color of tile used to Owner.

PART 2 PRODUCTS

2.01 MANUFACTURERS

- A. Armstrong World Industries.
- B. Substitutions: Under provisions of Division 1.

2.02 TILE FLOORING MATERIALS

- A. Vinyl Composition Tile: 12 inch x 12 inch size, 1/8 inch thick; marbleized design; Standard Excelon Series, as manufactured by Armstrong.

2.03 MANUFACTURERS - VINYL BASE

- A. Johnsonite.
- B. Roppe.
- C. Substitutions: Under provisions of Division 1.

2.04 BASE

- A. Base: FS SS-W-40, Type 2; Vinyl; 4 inch high; 1/8 inch thick; top set covered. Color by Architect.
- B. Base Accessories: Pre-molded end stops and external corners, of same material, size, and color lot as base.
- C. Subfloor Filler: White premix latex; type recommended by flooring material manufacturer.
- D. Primers and Adhesives: Waterproof; types recommended by flooring manufacturer.
- E. Edge Strips: Pre-molded vinyl subject to Architect's approval.
- F. Sealer and Wax: Types recommended by flooring manufacturer.

PART 3 EXECUTION

3.01 EXAMINATION

- A. Verify that surfaces are smooth and flat with maximum variation of 1/8 inch in 10 ft, and are ready to receive Work.
- B. Verify concrete floors are dry to a maximum moisture content of 7 percent, and exhibit negative alkalinity, carbonization, or dusting.
- C. Beginning of installation means acceptance of existing substrate and site conditions.

3.02 PREPARATION

- A. Remove sub-floor ridges and bumps. Fill low spots, cracks, joints, holes, and other defects with subfloor filler.
- B. Apply, trowel, and float filler to leave a smooth, flat, hard surface.
- C. Prohibit traffic from area until filler is cured.
- D. Vacuum clean substrate.
- E. Apply primer to manufacturer's specifications.

3.03 INSTALLATION

- A. Install in accordance with manufacturers' instructions.
- B. Mix tile from container to ensure shade variations are consistent.
- C. Spread only enough adhesive to permit installation of materials before initial set.
- D. Set flooring in place, press with heavy roller to attain full adhesion.
- E. Lay flooring with joints and seams parallel to building lines to produce minimum number of seams.
- F. Install tile to square grid pattern with all joints aligned with pattern grain alternating with adjacent unit to produce basket weave pattern. Allow minimum 1/2 full size tile width at room or area perimeter.
- G. Terminate flooring at centerline of door openings where adjacent floor finish is dissimilar.
- H. Install edge strips at unprotected or exposed edges, and where flooring terminates.
- I. Scribe flooring to walls, columns, cabinets, floor outlets, and other appurtenances to produce tight joints.
- J. Install flooring in pan type floor access covers. Maintain floor pattern.
- K. Install flooring under movable partitions without interrupting floor pattern.
- L. Fit joints of base tight and vertical. Install full length pieces from adjoining walls, offsets, or openings.
- M. Miter internal corners of base. At external corners, use pre-molded units. At exposed ends use pre-molded units.
- N. Install base on solid backing. Bond tight to wall and floor surfaces.
- O. Scribe and fit to door frames and other interruptions.
- P. Adhere over entire surface. Fit accurately and securely.

3.04 PROTECTION

- A. Prohibit traffic on floor finish for 48 hours after installation.

3.05 CLEANING

- A. Remove excess adhesive from floor, base, and wall surfaces without damage.

END OF SECTION

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SECTION 09 6814

WALK-OFF CARPET TILE

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Floor preparation.
- B. Walk-Off Carpet tiles, glue down adhesion.
- C. Vinyl edging at floor transitions.

1.02 SUBMITTALS

- A. Product Data: Provide data on specified products, describing physical and performance characteristics; sizes, patterns, colors available, and method of installation and antimicrobial treatment.
- B. Manufacturer's Installation Instructions: Indicate procedures for installing carpet products and accessories.
- C. Manufacturer's Certificate: Certify that products meet or exceed specified requirements antimicrobial treatment criteria.

1.03 MAINTENANCE DATA

- A. Maintenance Data: Provide spot removal, maintenance procedures, recommended maintenance materials, and suggested schedule for cleaning and shampooing.

1.04 QUALIFICATIONS

- A. Manufacturer: Company specializing in manufacturing the products specified in this Section with minimum five (5) years documented experience.
- B. Installer: Company specializing in performing the work of this Section with minimum of five (5) years documented experience and approved by manufacturer.

1.05 FIELD SAMPLES

- A. Provide field sample panel, three tiles wide showing border and adjacent tiles.
- B. Locate where directed.

1.06 ENVIRONMENTAL REQUIREMENTS

- A. Store materials for three (3) days prior to installation in area of installation, to achieve temperature stability.
- B. Maintain building design temperatures three days prior to, during, and 24 hours after installation of materials.

1.07 EXTRA MATERIALS

- A. Provide 5% extra stock of carpet tile.

PART 2 PRODUCTS

2.01 MANUFACTURERS

- A. Carpet Tile: Interface "Step Repeat Collection"; SR899 Style# 1388602500: color 104940 Iron Size 50cm x 50cm. Verify color with owner.

2.03 VINYL ACCESSORIES

- A. Vinyl Edge: Johnsonite - EG - XX (color by owner) - H Type
- B. Carpet to VCT: Johnsonite - CTA - XX (color by owner) - A Type
- C. New Carpet Tile to existing Broadloom Carpet: Johnsonite – CTX-XX (Color by Owner)

2.04 ACCESSORIES

- A. Sub-Floor Filler: Type recommended by carpet manufacturer for specific substrate material.
- B. Primers and Adhesives: Types recommended by carpet manufacturer.
- C. Edge Strips: One piece vinyl type, color to match base.
- D. Vinyl Base: Provide specified vinyl base at all carpeted areas.

PART 3 EXECUTION

3.01 EXAMINATION

- A. It is the responsibility of the installer to verify, before installation that material conforms to owner's specifications, including correct product and color. Labels on each carton contain important information including: product, color, and dye lot. Do not mix dye lots in the same area.
- B. Verify that surfaces are ready to receive work.
- C. Beginning of installation means installer accepts condition of existing surfaces.
- D. Cracks and holes must be patched with an approved patching compound.
- E. It is the responsibility of the installer to verify that adhesives used with carpet tiles are of a compatible type.

3.03 PREPARATION

- A. Prepare the existing floor if required to flatten or level the prepared concrete with "Ardex Feather Finish" or leveling material.
- B. Provide Ardex fillers at floor transitions of unequal heights.
- C. Prohibit traffic until filler is cured.
- D. Vacuum floor surface.

- E. Feather floors to adjacent floor surfaces for smooth transition.

3.04 INSTALLATION

- A. Install carpet tile and accessories and adhesive in accordance with manufacturers' instructions.
- B. Integrate and blend carpet from different cartons to ensure minimal variation in color match.
- C. Tiles are embossed on the back with arrows showing pile direction. Make sure arrows point in the same direction throughout an installation.
- D. Cut carpet tiles straight. Fit carpet tight to intersection with vertical surfaces without gaps.
- E. Carpet shall be installed with full spread (entire floor) of releasable adhesive provided the manufacturer will provide full standard warranty.
- F. Locate change of color or pattern between rooms under door centerline.
- G. Brush pile back and tip individual tiles into place to avoid catching pile in the joint. Frequently check tile joints for proper alignment and firm abutment. Avoid excessively tight joints which will cause tiles to peak or buckle.
- H. Checking Tightness and Establishing Gain Factor: Although tiles are exactly 24"X24" square, there will be slight gain due to joints. Install within manufacturer's tolerances.
- I. Cut Tiles: Fixtures, architectural elements, and perimeters will require tile cutting. Always cut tiles from the back. Always secure cut or partial tiles with releasable adhesive or double sided tape.
- J. Electrical Floor Outlets: Electrical floor outlets are usually wired after tile installation. Install tile around electrical boxes.

3.05 CLEANING

- A. Remove excess adhesive from surfaces.
- B. Clean and vacuum carpet surfaces.

3.06 PROTECTION OF FINISHED WORK

- A. Do not permit traffic over unprotected floor surface.

3.07 WARRANTY

- A. Provide manufacturer's standard warranty.

END OF SECTION

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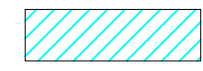



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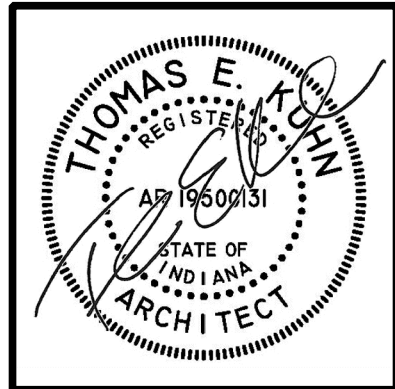
MASTER FLOOR PLAN

DEMOLITION SCALE: 1/16" = 1'-0"



DEMOLITION FINISH LEGEND:

-  CARPET FINISH - TO BE REMOVED
-  EXISTING VCT - SHALL BE REMOVED BY OTHERS
-  EXISTING VCT - SHALL REMAIN
-  AREA OF SCHOOL NOT IN SCOPE OF WORK.



DATE
03-10-2025
03-25-2025

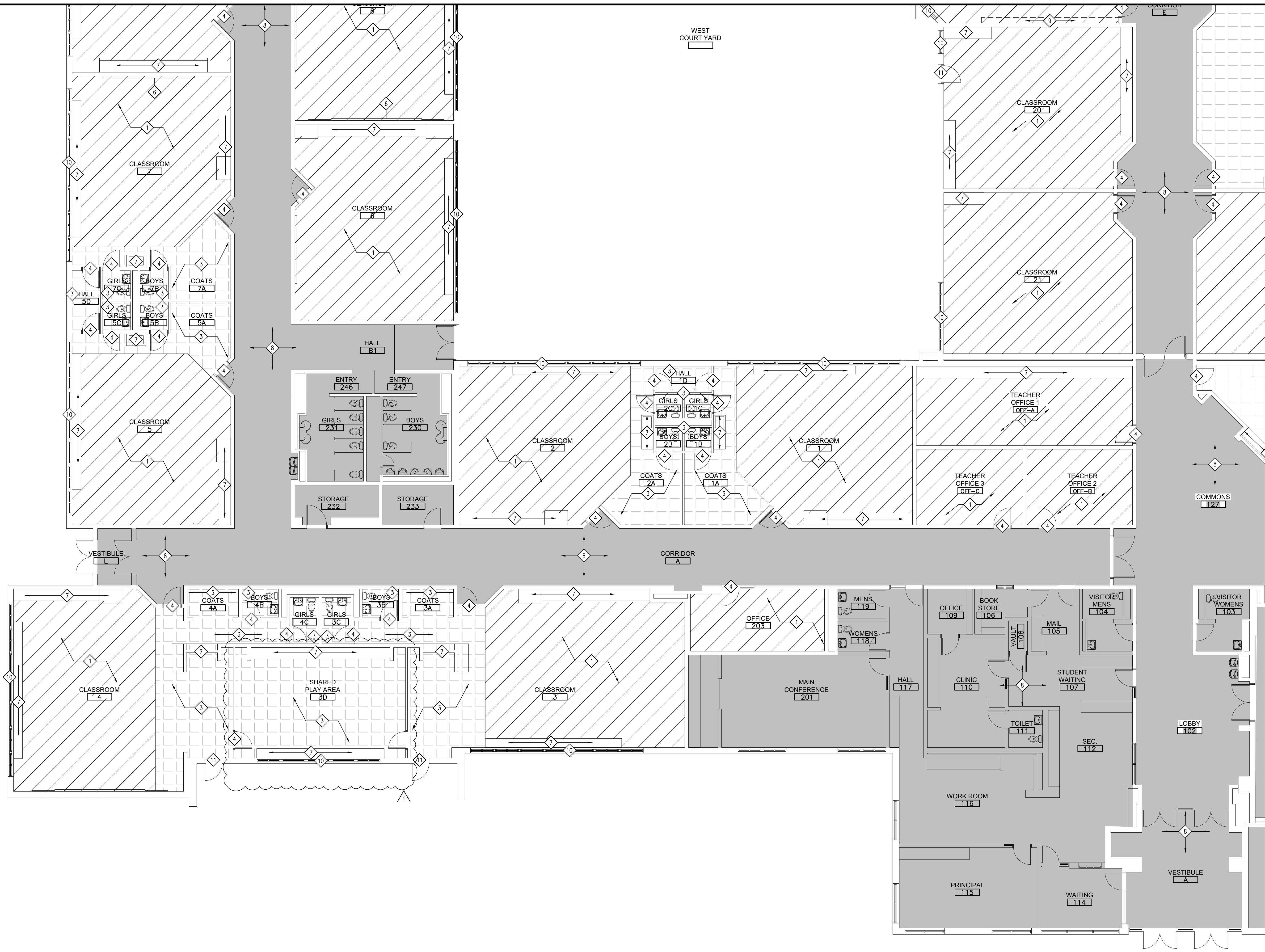
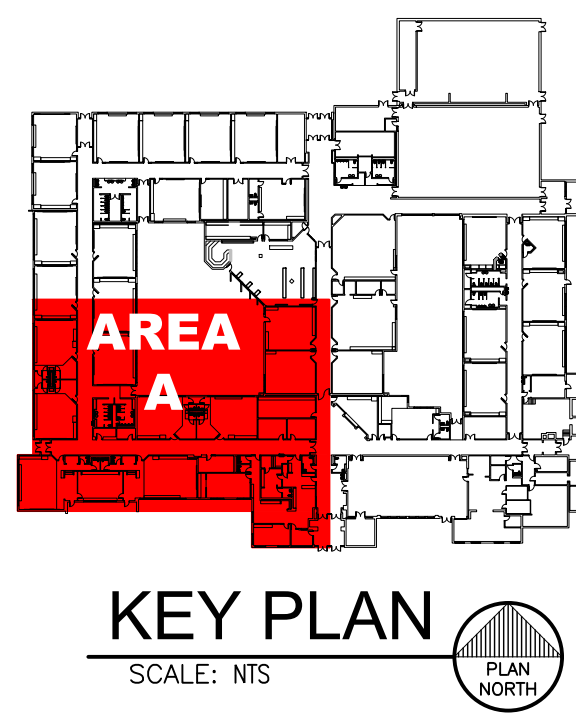
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WEST COURT YARD

CORRIDOR A

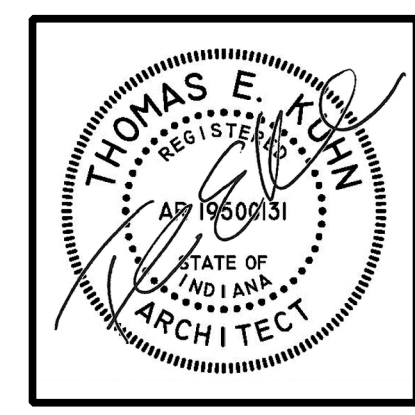
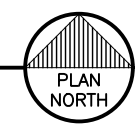
COMMONS 127

- GENERAL FLOOR PLAN NOTES - DEMOLITION**
1. FIELD REMOVE ALL EXISTING FINISHES AND DEMOLISH PER TO CONSTRUCTION.
 2. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL DEMOLITION MATERIAL AND PLACING IN CONTAINERS UNDER THE SUPERVISION OF THE SUPERVISOR/INSPECTOR.
 3. CONTRACTOR SHALL REMOVE ALL SURFACES AFFECTED BY DEMOLITION, BRICK AND PATCH AS REQUIRED.
 4. ALL EXISTING FINISHES AND EQUIPMENT SHALL BE DEMOLISHED BY OWNER.
 5. EXISTING ADJACENT CORRIDOR FLOOR TILE AND MANTIC SHALL BE DEMOLISHED BY CONTRACTOR/OWNER.
 6. ALL WALL RELATED ACCESSORIES SHALL REMOVE.
 7. ALL PLUMBING FIXTURES SHALL REMOVE.
 8. ALL OF THE FLOOR PLAN DEMOLITION NOTES LISTED MAY NOT APPEAR ON EACH INDIVIDUAL PROJECT DEMOLITION PLAN.

- KEY FLOOR PLAN NOTES - DEMOLITION**
- ◊ REMOVE EXISTING CURRENT FLOORING AND WALL BASE, PATCH & PREP FLOORS AND WALLS TO RECEIVE NEW FINISHES.
 - ◊ REMOVE PORTION OF VEST TIE, AND REMOVE WALL BASE.
 - ◊ EXISTING VEST FLOORING SHALL REMOVE, REMOVE EXISTING WALL BASE & PREP WALL FOR PAINT.
 - ◊ EXISTING DOOR & FRAME SHALL REMOVE - PREP DOOR & FRAME TO RECEIVE NEW FINISHES.
 - ◊ EXISTING WINDOW SHALL REMOVE - PREP WINDOW FRAME TO RECEIVE NEW FINISHES.
 - ◊ WALL RELATED ACCESSORIES SHALL REMOVE.
 - ◊ EXISTING CEILING SHALL REMOVE, REMOVE EXISTING WALL BASE ON CEILING.
 - ◊ EXISTING FLOOR & WALL FINISHES SHALL REMOVE - AREA OF SCHOOL NOT IN SCOPE OF WORK.
 - ◊ EXISTING CEILING SHALL BE HAND BY OWNER.
 - ◊ EXISTING WINDOW SHALL REMOVE, PATCH WINDOW WILL BEC REPAIR NEW FINISHES.
 - ◊ EXISTING DOOR & FRAME SHALL REMOVE, PATCH DOOR & FRAME WILL BEC REPAIR NEW FINISHES.
 - ◊ EXISTING VEST FLOOR SHALL REMOVE BY OWNER.

PARTIAL FLOOR PLAN - AREA A
DEMOLITION

SCALE: 1/8" = 1'-0"



DATE
03-10-2025
03-25-2025

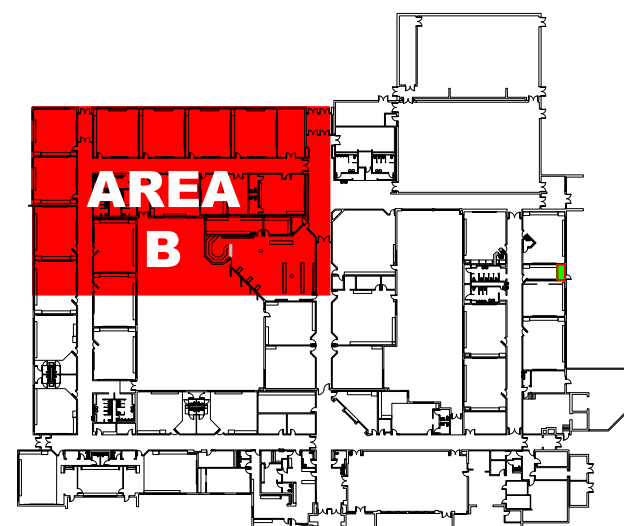
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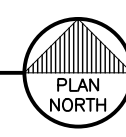
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KEY PLAN

SCALE: NTS

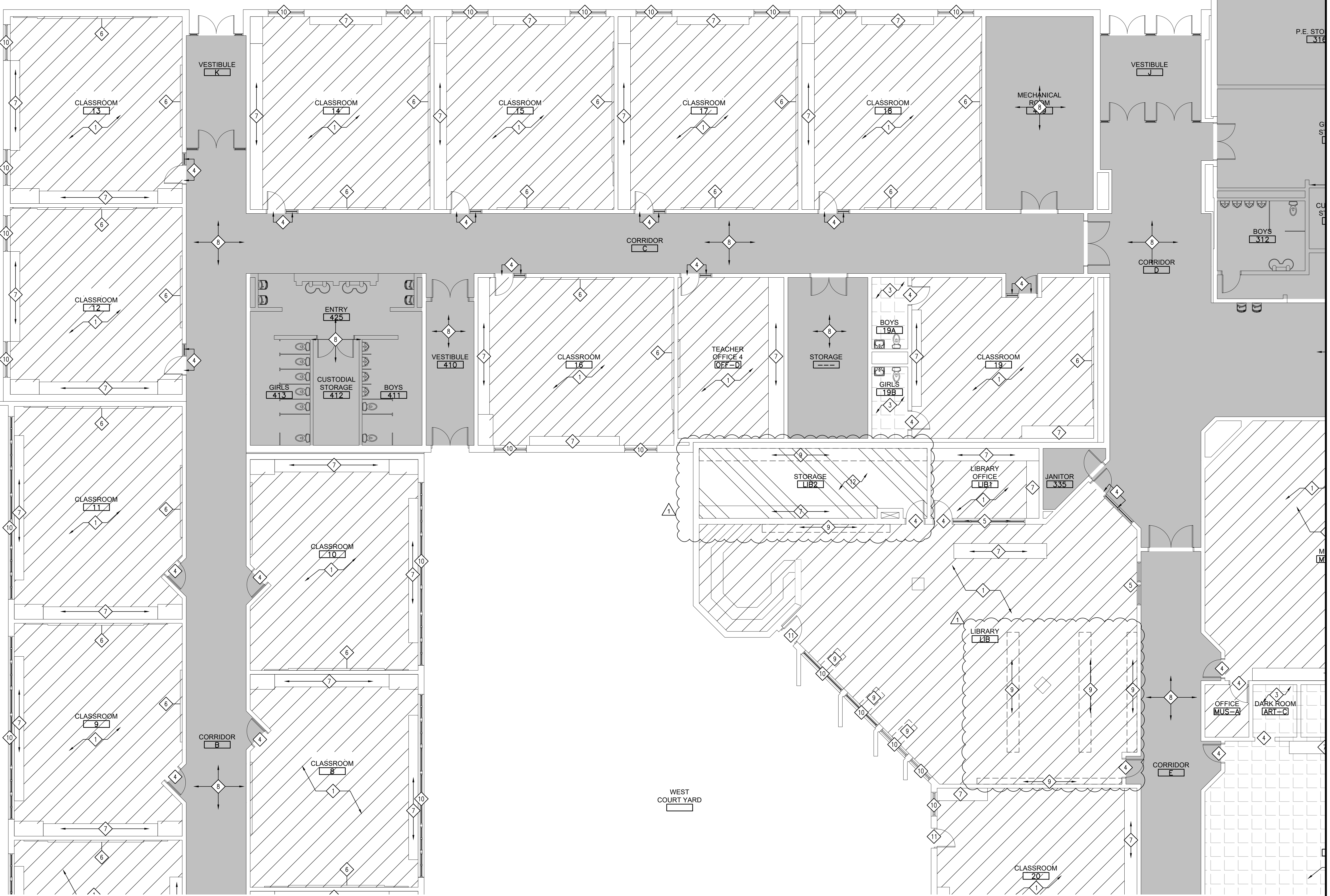


GENERAL FLOOR PLAN NOTES - DEMOLITION

1. REMOVE ALL EXISTING MECHANICAL AND OVERHEAD PIPES TO CORRIDORS.
2. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL DEMOLITION MATERIAL AND PLACING IN CURBSIDE TRUCKS BY THE SIDEWALK OF THE DESIGNATED PAVEMENT.
3. CONTRACTOR MUST REMOVE ALL SURFACES ATTACHED BY DEMOLITION, BRICKS AND PATCH AS REQUIRED.
4. ALL EXISTING FURNISHING AND EQUIPMENT WILL BE RELOCATED BY OWNER.
5. EXISTING ADJACENT CORRIDOR FLOOR TILE AND MANTIC SHALL BE REMOVED BY CONTRACTOR/OWNER.
6. ALL WALL MOUNTED ACCESSORIES SHALL REMAIN.
7. ALL PLUMBING FIXTURES SHALL REMAIN.
8. ALL OF THE FLOOR PLAN DEMOLITION NOTES LISTED MAY NOT APPEAR ON EACH INDIVIDUAL PROJECT DEMOLITION PLAN.

KEY FLOOR PLAN NOTES - DEMOLITION

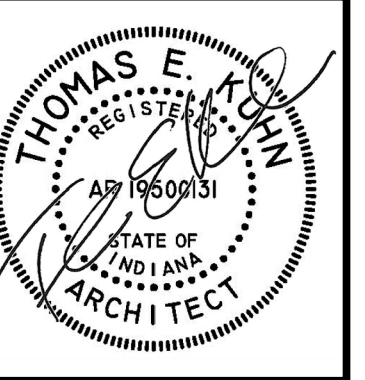
- ◆ REMOVE EXISTING CEMENT FLOORING AND WALL BASE, PATCH & PREP FLOORS AND WALLS TO RECEIVE NEW FINISH.
- ◆ REMOVE PORTION OF VESTIBULE AND REMOVE WALL BASE.
- ◆ EXISTING VESTIBULE FLOORING SHALL REMAIN. REMOVE EXISTING WALL BASE & PREP WALL FOR PAINT.
- ◆ EXISTING DOOR & FRAME SHALL REMAIN - PREP DOOR & FRAME TO RECEIVE NEW FINISH.
- ◆ EXISTING WINDOW SHALL REMAIN - PREP WINDOW FRAME TO RECEIVE NEW FINISH.
- ◆ WALL MOUNTED ACCESSORIES SHALL REMAIN.
- ◆ EXISTING CROWN MOULDING SHALL REMAIN. REMOVE EXISTING WALL BASE ON CHIMNEY.
- ◆ EXISTING FLOOR & WALL FINISHES SHALL REMAIN - AREA OF SCHOOL NOT IN SCOPE OF WORK.
- ◆ EXISTING CROWN MOULDING SHALL BE HANDLED BY OWNER.
- ◆ EXISTING WINDOW SHALL REMAIN. PATCH WINDOW WILL BE RECEIVE NEW FINISH FRAME.
- ◆ EXISTING DOOR & FRAME SHALL REMAIN. PATCH DOOR & FRAME WILL BE RECEIVE NEW FINISH FRAME.
- ◆ EXISTING DOOR & FRAME SHALL BE RELOCATED BY OWNER.



PARTIAL FLOOR PLAN - AREA B

NEW CONSTRUCTION

SCALE: 1/8" = 1'-0"



DATE
03-10-2025
03-25-2025

CLASSROOM RENOVATIONS AT
WOOD ELEMENTARY SCHOOL
6100 E 73rd AVE
MERRILLVILLE, IN, 46410

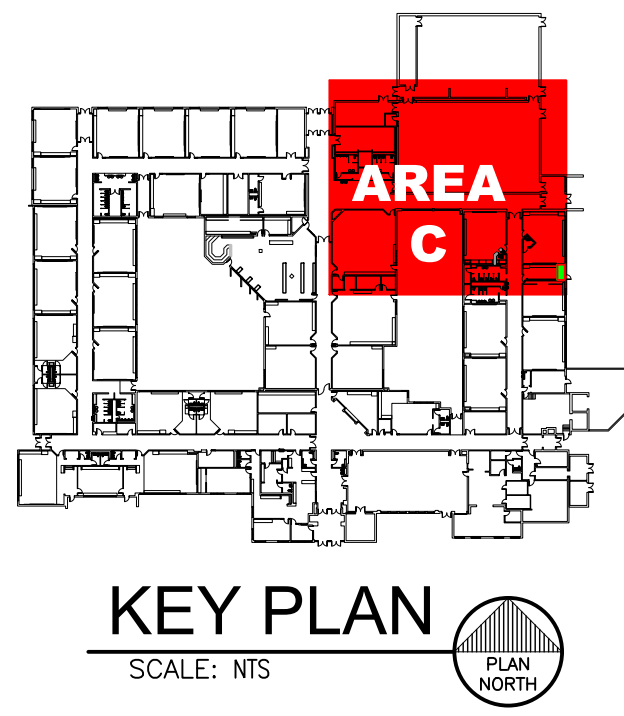
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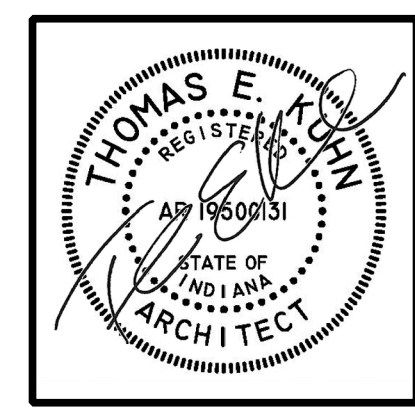
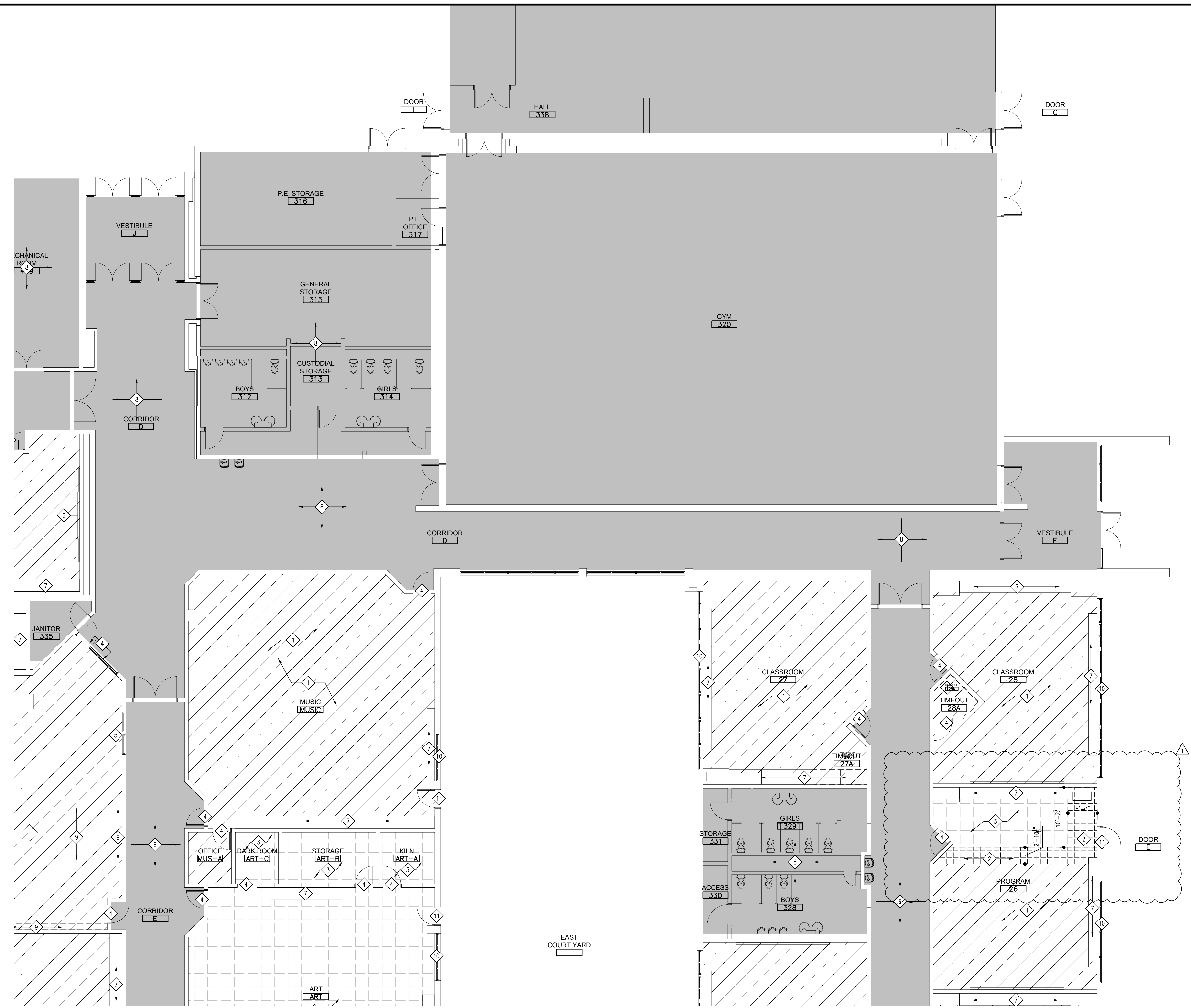
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- GENERAL FLOOR PLAN NOTES - DEMOLITION:**
1. FIELD REMOVE ALL EXISTING FLOORING AND CONCRETE FLOOR TO SUBGRADE.
 2. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL DEMOLITION MATERIAL AND PLACING IN COMPACTED SAND OR GRAVEL TO THE DEPTH OF THE SUBGRADE BELOW.
 3. CONTRACTOR SHALL REMOVE ALL SURFACES ATTACHED BY DEMOLITION, BRICK AND PLYWOOD AS REQUIRED.
 4. ALL EXISTING FURNISHING AND EQUIPMENT SHALL BE RELOCATED BY OWNER.
 5. EXISTING UNDEGRADED CONCRETE FLOOR TILES AND MASONRY SHALL BE REPAIRED BY CONTRACTOR/OWNER.
 6. ALL WALL MOUNTED ACCESSORIES SHALL REMAIN.
 7. ALL PLUMBING FIXTURES SHALL REMAIN.
 8. ALL OF THE FLOOR PLAN DEMOLITION NOTES LISTED MAY BE APPLICABLE TO EACH INDIVIDUAL PROJECT DEMOLITION PLAN.
- KEY FLOOR PLAN NOTES - DEMOLITION:**
- 1. REMOVE EXISTING CURRENT FLOORING AND WALL BASE, FINISH & PREP FLOORS AND WALLS TO REUSE NEW FINISH.
 - 2. REMOVE PORTION OF VET TILE AND REMOVE WALL BASE.
 - 3. EXISTING VET FLOORING SHALL REMAIN. REMOVE EXISTING WALL BASE & PREP WALL FOR PAINT.
 - 4. EXISTING DOOR & HINGEWIRE SHALL REMAIN - PREP DOOR & HINGEWIRE FRAME TO REUSE NEW FINISH.
 - 5. EXISTING WINDOW SHALL REMAIN - PREP WINDOW FRAME TO REUSE NEW FINISH.
 - 6. WALL MOUNTED ACCESSORIES SHALL REMAIN.
 - 7. EXISTING CEILING SHALL REMAIN. REMOVE EXISTING WALL BASE ON CEILING.
 - 8. EXISTING FLOOR & WALL FINISHES SHALL REMAIN - AREA OF SCHOOL NOT IN SCOPE OF WORK.
 - 9. EXISTING CEILING SHALL BE HAND BY OWNER.
 - 10. EXISTING WINDOW SHALL REMAIN. REMOVE EXISTING WALL BASE REUSE NEW FINISH FRAME.
 - 11. EXISTING DOOR & HINGEWIRE SHALL REMAIN. REMOVE EXISTING WALL BASE REUSE NEW FINISH FRAME.
 - 12. EXISTING VET FLOOR SHALL BE REPAIRED BY OWNER.

PARTIAL FLOOR PLAN - AREA C
DEMOLITION
SCALE: 1/8" = 1'-0"
PLAN NORTH



DATE
03-10-2025
03-25-2025

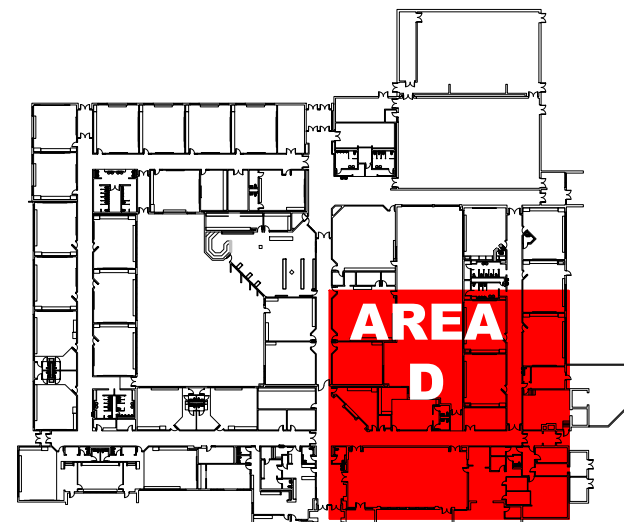
**CLASSROOM RENOVATIONS AT
WOOD ELEMENTARY SCHOOL**
6100 E 73rd AVE
MERRILLVILLE, IN, 46410

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6919 W. LINCOLN HIGHWAY
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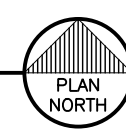
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KEY PLAN

SCALE: NTS



GENERAL FLOOR PLAN NOTES - DEMOLITION

1. FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL DEMOLITION MATERIAL AND PLACING IN CONTAINERS DURING THE COURSE OF THE DEMOLITION PROCESS.
3. CONTRACTOR MUST REMOVE ALL SURFACES AFFICED BY DEMOLITION, BRICK AND BRICK AS REQUIRED.
4. ALL EXISTING FURNISHING AND EQUIPMENT SHALL BE RELOCATED BY OWNER.
5. EXISTING ADJACENT CORRIDOR FLOOR TILE AND Mosaic SHALL BE REMOVED BY CONTRACTOR/OWNER.
6. ALL WALL HANGING ACCESSORIES SHALL REMAIN.
7. ALL PLUMBING FIXTURES SHALL REMAIN.
8. ALL OF THE FLOOR PLAN DEMOLITION NOTES LISTED MAY BE APPLICABLE TO EACH INDIVIDUAL PROJECT DEMOLITION PLAN.

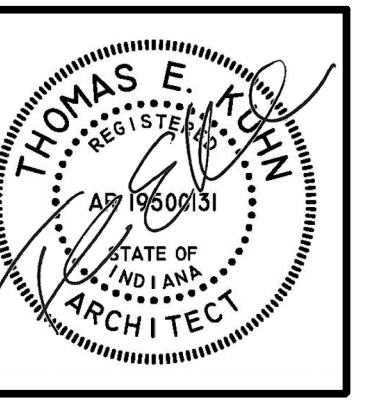
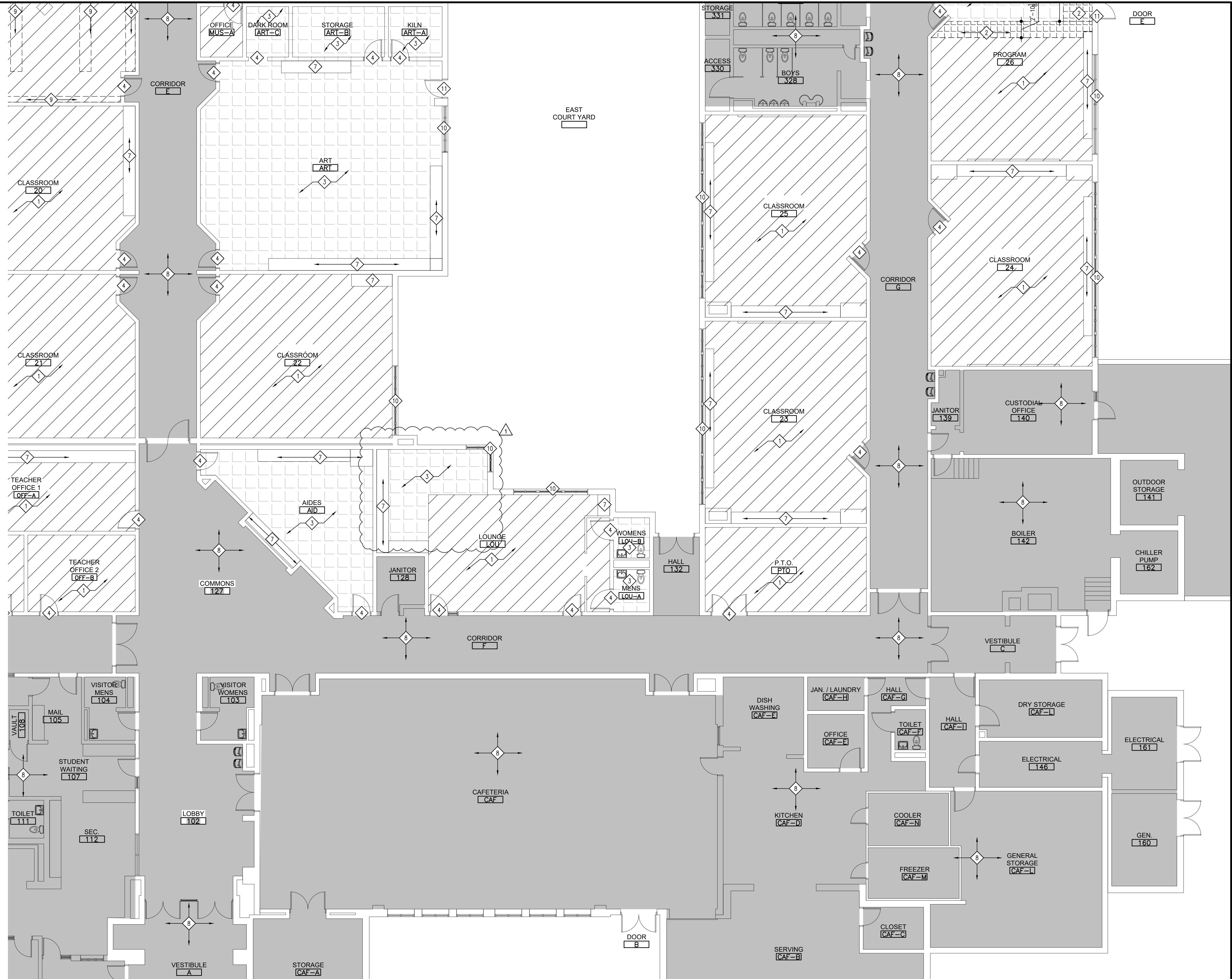
KEY FLOOR PLAN NOTES - DEMOLITION

- ◊ REMOVE EXISTING CEMENT FLOORING AND WALL BASE, PATCH & PREP FLOORS AND WALLS TO REUSE NEW FINISH.
- ◊ REMOVE PORTION OF VET TILE AND REMOVE WALL BASE.
- ◊ EXISTING VET FLOORING SHALL REMAIN. REMOVE EXISTING WALL BASE & PREP WALL FOR PAINT.
- ◊ EXISTING DOOR & HINGEWIRE SHALL REMAIN - PREP DOOR & HINGEWIRE FRAME TO REUSE NEW FINISH.
- ◊ EXISTING WINDOW SHALL REMAIN - PREP WINDOW FRAME TO REUSE NEW FINISH.
- ◊ WALL HANGING ACCESSORIES SHALL REMAIN.
- ◊ EXISTING CROWN MOULD SHALL REMAIN. REMOVE EXISTING WALL BASE ON CROWNMOULD.
- ◊ EXISTING FLOOR & WALL FINISHES SHALL REMAIN - AREA OF SCHOOL NOT IN SCOPE OF WORK.
- ◊ EXISTING CROWNMOULD SHALL BE HAND BY OWNER.
- ◊ EXISTING WINDOW SHALL REMAIN. PATCH WINDOW WALL BASE REUSE NEW FINISH FRAME.
- ◊ EXISTING DOOR & HINGEWIRE SHALL REMAIN. REMOVE EXISTING WALL BASE REUSE NEW FINISH FRAME.
- ◊ EXISTING VET FLOORING SHALL REMAIN.

PARTIAL FLOOR PLAN - AREA D

DEMOLITION

SCALE: 1/8" = 1'-0"



DATE
03-10-2025
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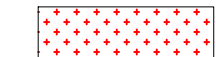

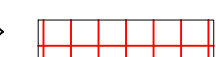


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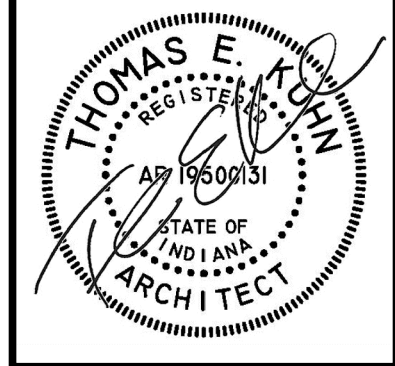
MASTER FLOOR PLAN

NEW CONSTRUCTION SCALE: 1/16" = 1'-0"



NEW CONSTRUCTION FINISH LEGEND:

-  NEW CARPET FINISH
-  NEW WALK OFF CARPET
-  NEW VCT TILE
-  EXISTING VCT - SHALL REMAIN
-  AREA OF SCHOOL NOT IN SCOPE OF WORK.



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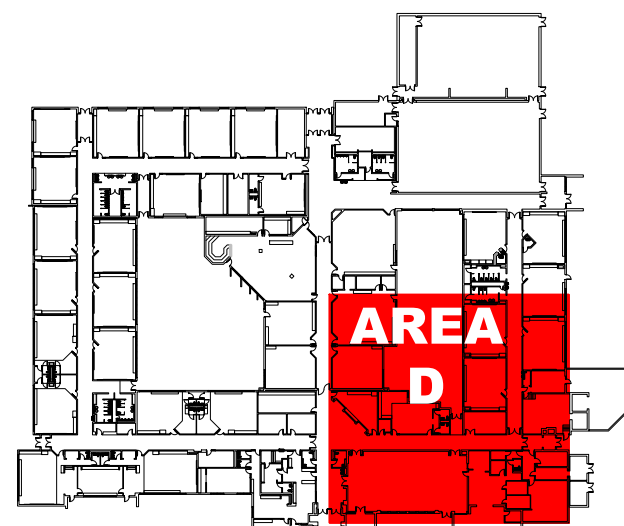
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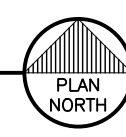
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KEY PLAN

SCALE: NTS



GENERAL FLOOR PLAN NOTES - NEW CONSTRUCTION

1. FIELD VERIFY ALL EXISTING DIMENSIONS & CONDITIONS PRIOR TO CONSTRUCTION.
2. CONTRACTOR IS ADVISED TO PROVIDE ALL FLOOR FINISHES, THAT IS REQUIRED TO MATCH NEW FLOOR FINISHES.
3. ALL OF THE FLOOR PLAN NEW CONSTRUCTION NOTES LISTED MAY BE APPLICABLE TO THIS PROJECT. SEE CONTRACTOR'S PLAN.
4. PROVIDE NEW FINISHES AT ALL LOCATIONS THAT HAVE A CHANGE IN FLOORING FROM EXISTING.

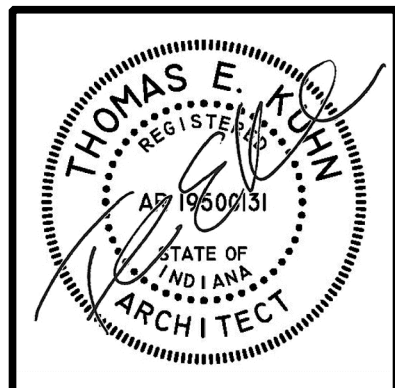
KEY FLOOR PLAN KEYNOTES - NEW CONSTRUCTION

1. ROOM SHALL RECEIVE NEW PAINT FINISH - REFER TO ROOM FINISH SCHEDULE.
2. METALS NEW CORSET SHALL BE 4" WIDE BASE ON THE WALLS REFER TO NEW FINISH SCHEDULE.
3. EXISTING METAL SHALL REMAIN THAT BOTH SIDES OF WINDOW FRAME.
4. EXISTING METAL ACCESSORIES SHALL REMAIN.
5. EXISTING METAL SHALL BE REPAIRED WITH 4" WIDE BASE ON THE WALL REFER TO NEW FINISH SCHEDULE.
6. EXISTING METAL SHALL BE REPAIRED WITH 4" WIDE BASE ON THE WALL REFER TO NEW FINISH SCHEDULE.
7. EXISTING METAL SHALL BE REPAIRED WITH 4" WIDE BASE ON THE WALL REFER TO NEW FINISH SCHEDULE.
8. EXISTING METAL SHALL BE REPAIRED WITH 4" WIDE BASE ON THE WALL REFER TO NEW FINISH SCHEDULE.
9. EXISTING METAL SHALL BE REPAIRED WITH 4" WIDE BASE ON THE WALL REFER TO NEW FINISH SCHEDULE.
10. EXISTING METAL SHALL BE REPAIRED WITH 4" WIDE BASE ON THE WALL REFER TO NEW FINISH SCHEDULE.
11. EXISTING METAL SHALL BE REPAIRED WITH 4" WIDE BASE ON THE WALL REFER TO NEW FINISH SCHEDULE.
12. EXISTING METAL SHALL BE REPAIRED WITH 4" WIDE BASE ON THE WALL REFER TO NEW FINISH SCHEDULE.
13. EXISTING METAL SHALL BE REPAIRED WITH 4" WIDE BASE ON THE WALL REFER TO NEW FINISH SCHEDULE.
14. EXISTING METAL SHALL BE REPAIRED WITH 4" WIDE BASE ON THE WALL REFER TO NEW FINISH SCHEDULE.
15. EXISTING METAL SHALL BE REPAIRED WITH 4" WIDE BASE ON THE WALL REFER TO NEW FINISH SCHEDULE.

PARTIAL FLOOR PLAN - AREA D

NEW CONSTRUCTION

SCALE: 1/8" = 1'-0"



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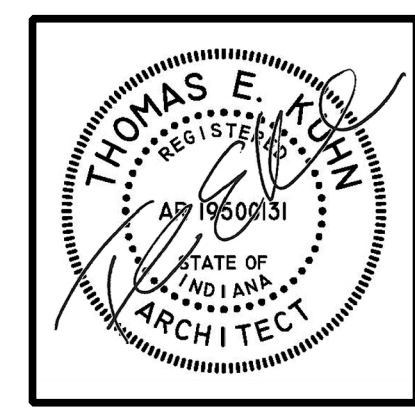
FINISH MATERIAL LEGEND	
	DESCRIPTION
BRK	EXISTING BRICK VENEER WALL - SHALL REMAIN - DOES NOT GET PAINTED
CMU	EXISTING CONCRETE MASONRY UNIT
CONC	SEALED CONCRETE FLOORS
EX	EXISTING CONDITION - SHALL REMAIN
GYP	NEW IMPACT RESILIENT GYPSUM BOARD: 5/8" FIRECODE TYPE "X"
PNT1	PAINT: COLOR SELECTED BY OWNER - ALL ROOMS WILL HAVE A ACCENT COLOR
SAT	NEW SUSPENDED ACOUSTICAL TILE CEILING
STW	NEW STUD WALL
TB	EXISTING TILE/GLAZED BLOCK WALL
VB	JOHNSONITE 4 1/2" VINYL BASE
VB2	JOHNSONITE 4" VINYL - BASE @ LOCATIONS OF CASEWORK

ROOM FINISH SCHEDULE NOTES

- #1: ANY EXISTING BRICK VENEER WALLS SHALL NOT RECEIVE PAINT - LIBRARY ONLY.
- #2: THE EXISTING TILE/GLAZED BLOCK WITHIN THE BATHROOMS ARE ABOUT 6'-0" HIGH.

ROOM FINISH SCHEDULE
NEW CONSTRUCTION SCALE: NTS

ROOM FINISH SCHEDULE																
ROOM NO	ROOM NAME	FLOOR	BASE	WALLS								CEILING			NOTES	ROOM NO
				NORTH		SOUTH		WEST		EAST		MT'L	FIN	HGT		
				MT'L	FIN	MT'L	FIN	MT'L	FIN	MT'L	FIN					
LOU	LOUNGE	CPT/EX	VB/VB2	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-8"		LOU
LOU-A	MAN	EX	VB	TB/CMU	PNT	TB/CMU	PNT	TB/CMU	PNT	TB/CMU	PNT	EX	-	8'-0"		LOU-A
LOU-B	WOMAN	EX	VB	TB/CMU	PNT	TB/CMU	PNT	TB/CMU	PNT	TB/CMU	PNT	EX	-	8'-0"		LOU-B
AID	AID STATION	EX	VB/VB2	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-8"		AID
OFF-A	TEACHER OFFICE 1	CPT	VB/VB2	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-8"		TEA-A
OFF-B	TEACHER OFFICE 2	CPT	VB	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-0"		TEA-B
OFF-C	TEACHER OFFICE 3	CPT	VB	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-0"		TEA-C
1	CLASSROOM	CPT/EX	VB/VB2	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-8"		1
1A	COAT AREA	EX	VB/VB2	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-8"		1A
1B	BOYS TOILET	EX	VB	TB/CMU	PNT	TB/CMU	PNT	TB/CMU	PNT	TB/CMU	PNT	EX	-	8'-0"	#2	1B
1C	GIRLS TOILET	EX	VB	TB/CMU	PNT	TB/CMU	PNT	TB/CMU	PNT	TB/CMU	PNT	EX	-	8'-0"	#2	1C
1D	SHARED HALLWAY	EX	VB	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-0"		1D
2	CLASSROOM	CPT/EX	VB/VB2	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-8"		2
2A	COAT AREA	EX	VB/VB2	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-8"		2A
2B	BOYS TOILET	EX	VB	TB/CMU	PNT	TB/CMU	PNT	TB/CMU	PNT	TB/CMU	PNT	EX	-	8'-0"	#2	2B
2C	GIRLS TOILET	EX	VB	TB/CMU	PNT	TB/CMU	PNT	TB/CMU	PNT	TB/CMU	PNT	EX	-	8'-0"	#2	2C
3	CLASSROOM	CPT/EX	VB/VB2	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-10"		3
3A	COAT AREA	EX	VB/VB2	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-8"		3A
3B	BOYS TOILET	EX	VB	TB/CMU	PNT	TB/CMU	PNT	TB/CMU	PNT	TB/CMU	PNT	EX	-	8'-0"	#2	3B
3C	GIRLS TOILET	EX	VB	TB/CMU	PNT	TB/CMU	PNT	TB/CMU	PNT	TB/CMU	PNT	EX	-	8'-0"	#2	3C
3D	SHARED PLAY ROOM	EX	VB/VB2	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-10"		3D
4	CLASSROOM	CPT/EX	VB/VB2	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-10"		4
4A	COAT AREA	EX	VB/VB2	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-8"		4A
4B	BOYS TOILET	EX	VB	TB/CMU	PNT	TB/CMU	PNT	TB/CMU	PNT	TB/CMU	PNT	EX	-	8'-0"	#2	4B
4C	GIRLS TOILET	EX	VB	TB/CMU	PNT	TB/CMU	PNT	TB/CMU	PNT	TB/CMU	PNT	EX	-	8'-0"	#2	4C
5	CLASSROOM	CPT/EX	VB/VB2	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-8"		5
5A	COAT AREA	EX	VB/VB2	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-8"		5A
5B	BOYS TOILET	EX	VB	TB/CMU	PNT	TB/CMU	PNT	TB/CMU	PNT	TB/CMU	PNT	EX	-	8'-0"	#2	5B
5C	GIRLS TOILET	EX	VB	TB/CMU	PNT	TB/CMU	PNT	TB/CMU	PNT	TB/CMU	PNT	EX	-	8'-0"	#2	5C
5D	SHARED HALLWAY	EX	VB	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-0"		5D
6	CLASSROOM	CPT	VB	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-8"		6
7	CLASSROOM	CPT/EX	VB	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-8"		7
7A	COAT AREA	EX	VB/VB2	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-8"		7A
7B	BOYS TOILET	EX	VB	TB/CMU	PNT	TB/CMU	PNT	TB/CMU	PNT	TB/CMU	PNT	EX	-	8'-0"	#2	7B
7C	GIRLS TOILET	EX	VB	TB/CMU	PNT	TB/CMU	PNT	TB/CMU	PNT	TB/CMU	PNT	EX	-	8'-0"	#2	7C
8	CLASSROOM	CPT	VB/VB2	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-8"		8
9	CLASSROOM	CPT	VB/VB2	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-8"		9
10	CLASSROOM	CPT	VB/VB2	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-8"		10
11	CLASSROOM	CPT	VB/VB2	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-8"		11
12	CLASSROOM	CPT	VB/VB2	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	9'-0"		12
13	CLASSROOM	CPT	VB/VB2	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	9'-0"		13
14	CLASSROOM	CPT	VB/VB2	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	9'-0"		14
15	CLASSROOM	CPT	VB/VB2	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	9'-0"		15
16	CLASSROOM	CPT	VB/VB2	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	9'-0"		16
OFF-D	TEACHER OFFICE 4	CPT	VB/VB2	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-0"		OFF-D
17	CLASSROOM	CPT	VB/VB2	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	9'-0"		17
18	CLASSROOM	CPT	VB/VB2	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	9'-0"		18
19	CLASSROOM	CPT	VB/VB2	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-0"		19
19A	BOYS TOILET	EX	VB	TB/CMU	PNT	TB/CMU	PNT	TB/CMU	PNT	TB/CMU	PNT	EX	-	9'-0"	#2	19A
19B	GIRLS TOILET	EX	VB	TB/CMU	PNT	TB/CMU	PNT	TB/CMU	PNT	TB/CMU	PNT	EX	-	9'-0"	#2	19B
LIB	LIBRARY	CPT	VB	BRK/EX	#1/PNT	EX	PNT	EX	PNT	EX	PNT	EX	-	VARIES	#1	LIB
LIB-A	LIBRARY OFFICE	CPT	VB/VB2	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-0"		LIB-A
LIB-B	LIBRARY STORAGE	VCT	VB/VB2	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-8"		LIB-B
MUSIC	MUSIC ROOM	CPT	VB/VB2	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-8"		MUSIC
MUS-A	MUSIC OFFICE	CPT	VB	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-8"		MUS-A
ART	ART ROOM	EX	VB/VB2	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	VARIES		ART
ART-A	KILN	EX	VB	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-8"		ART-A
ART-B	ART STORAGE	EX	VB	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-8"		ART-B
ART-C	DARK ROOM	EX	VB	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-8"		ART-C
20	CLASSROOM	CPT	VB/VB2	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-8"		20
21	CLASSROOM	CPT	VB/VB2	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-8"		21
22	CLASSROOM	CPT	VB/VB2	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-8"		22
23	CLASSROOM	CPT	VB/VB2	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-8"		23
24	CLASSROOM	CPT	VB/VB2	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-8"		24
25	CLASSROOM	CPT	VB/VB2	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-8"		25
26	CLASSROOM	CPT	VB/VB2	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-8"		26
27	CLASSROOM	CPT	VB/VB2	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-8"		27
27A	TIME-OUT ROOM	CPT	VB	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-0"		27A
28	CLASSROOM	CPT	VB/VB2	CMU	PNT	CMU	PNT	CMU	PNT	CMU	PNT	EX	-	8'-8"		28
28A	TIME-OUT ROOM	CPT	VB	STW	PNT	CMU	PNT	STW	PNT	CMU	PNT	SAT	-	8'-0"		28A



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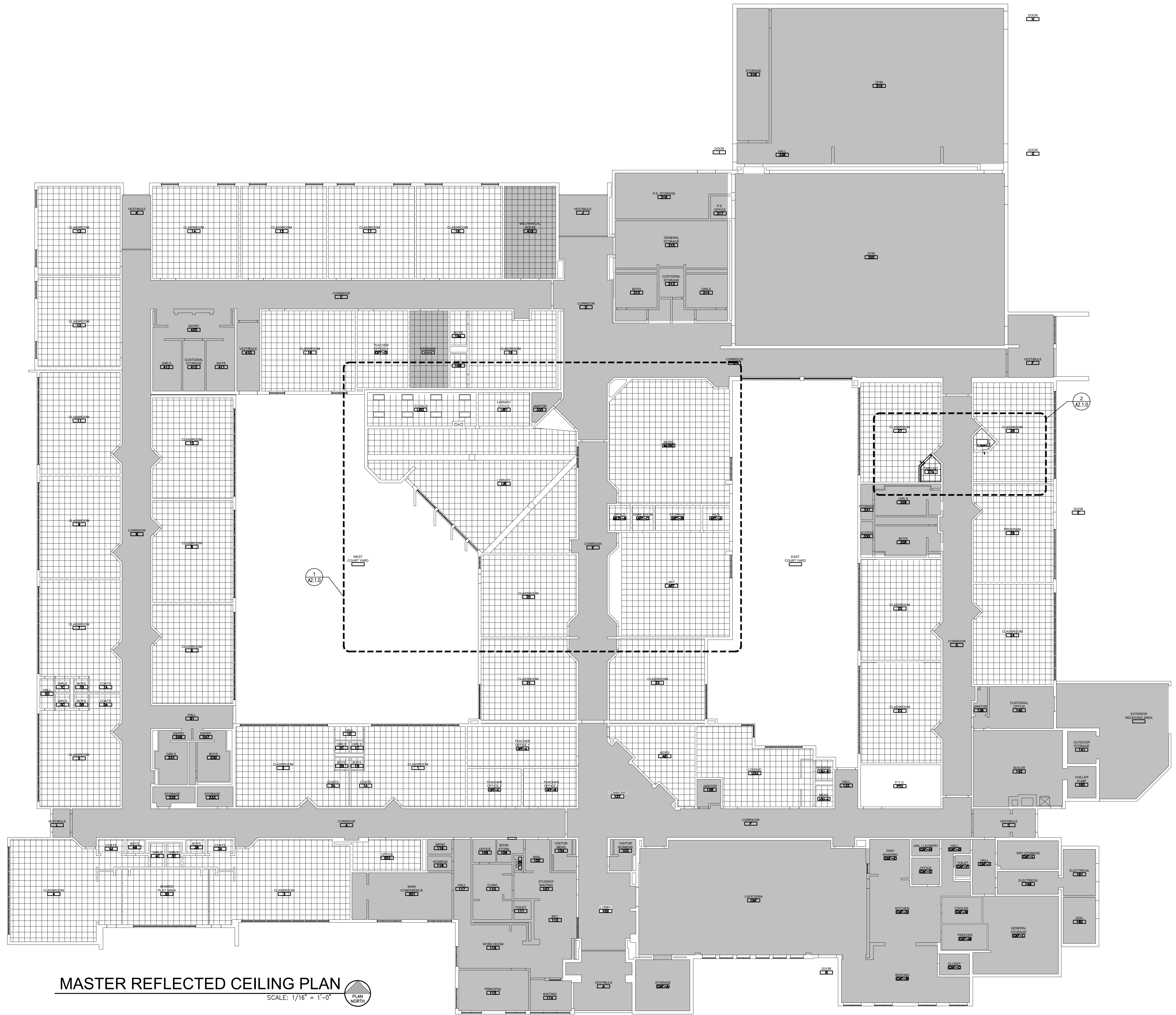
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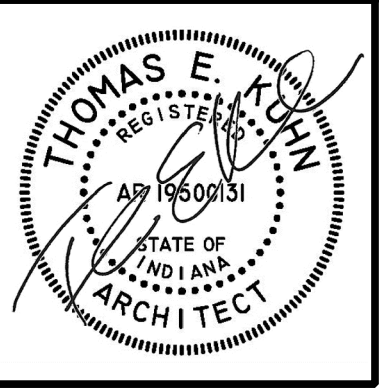
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MASTER REFLECTED CEILING PLAN
 SCALE: 1/16" = 1'-0"
 PLAN NORTH



DATE
 03-10-2025
 03-25-2025

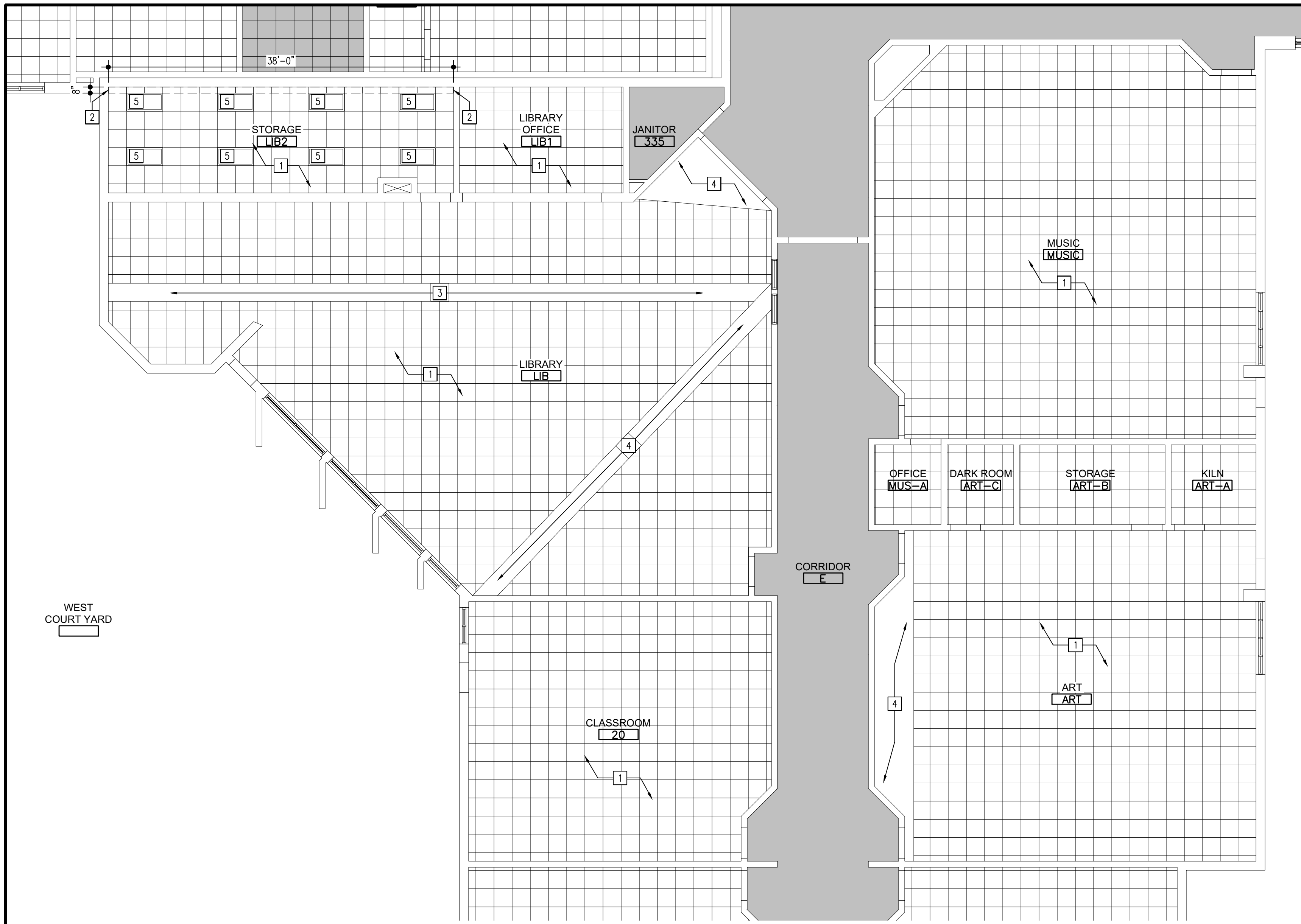
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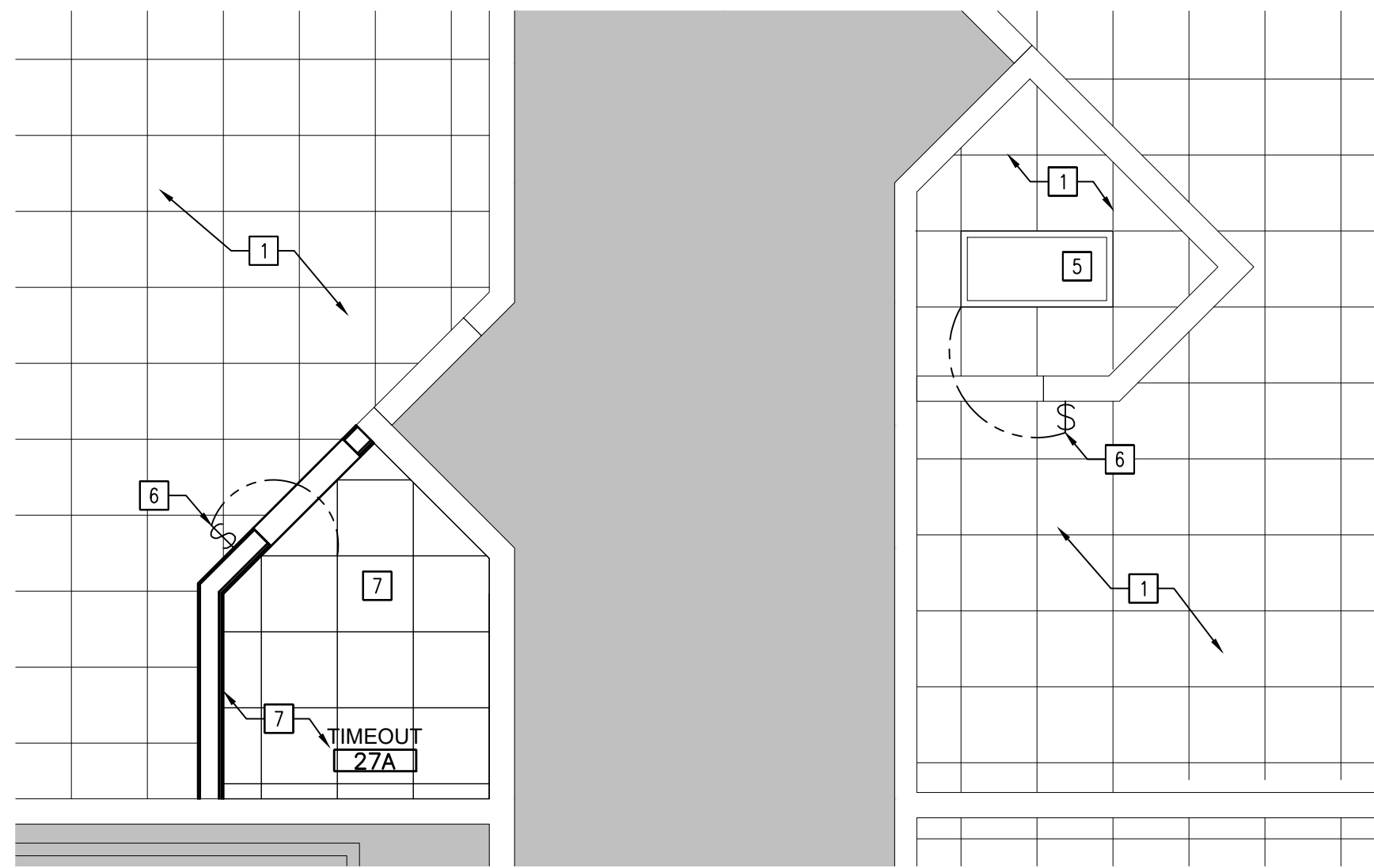
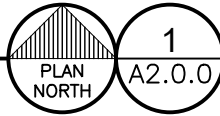
X:\Merrillville Schools\24086 Classroom Renovations Wood Elementary\Drawings\200 ceiling.dwg



PARTIAL REFLECTED CEILING PLAN

NEW CONSTRUCTION

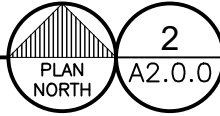
SCALE: 1/8" = 1'-0"



PARTIAL REFLECTED CEILING PLAN

NEW CONSTRUCTION

SCALE: 1/4" = 1'-0"

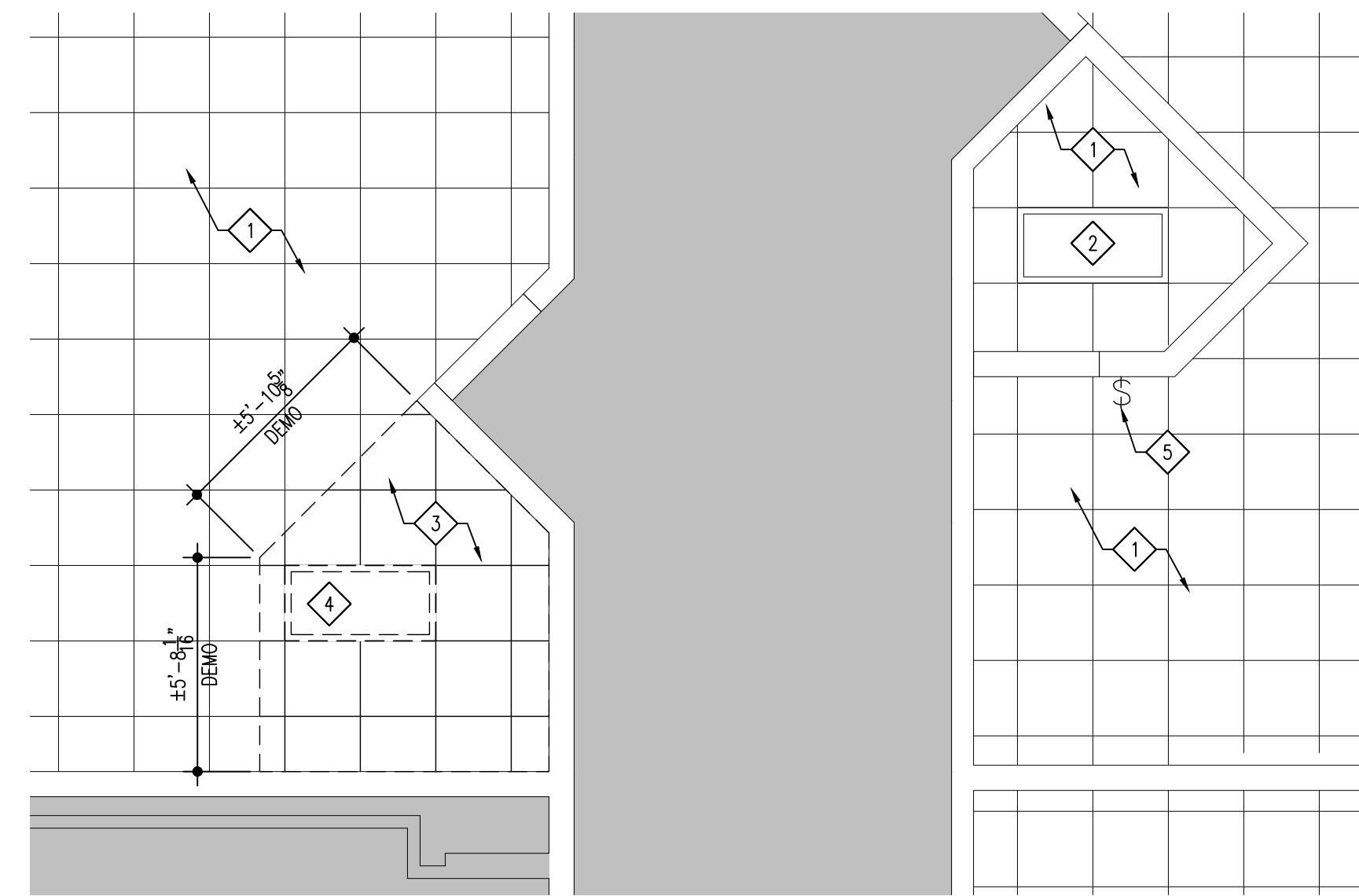


KEY REFLECTED CEILING PLAN NOTES - DEMOLITION:

- 1 EXISTING CEILING SHALL REMAIN
- 2 EXISTING LIGHT FIXTURE SHALL REMAIN
- 3 ALTERNATE BID #1: REMOVE AREA OF EXISTING CEILING GRID & TILES.
- 4 ALTERNATE BID #1: REMOVE & SALVAGE EXISTING LIGHT FIXTURE.
- 5 ALTERNATE BID #1: REMOVE EXISTING SWITCH.

KEY REFLECTED CEILING PLAN NOTES - NEW CONSTRUCTION:

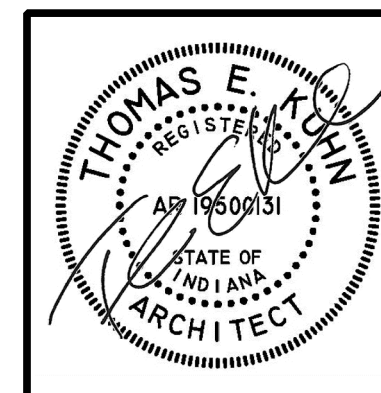
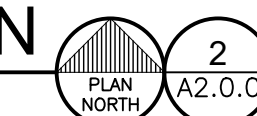
- 1 EXISTING CEILING & LIGHT FIXTURE SHALL REMAIN.
- 2 REMOVE DAMAGED CEILING TILE & INSTALL NEW CEILING GRID, TILE TO MATCH EXISTING.
- 3 EXISTING SOFFIT SHALL REMAIN
- 4 EXISTING SOFFIT & SOFFIT WALLS ABOVE SHALL BE PAINTED
- 5 EXISTING LIGHT FIXTURE SHALL REMAIN
- 6 ALTERNATE BID #1: NEW 20AMP DIMMABLE SWITCH
- 7 ALTERNATE BID #1: INSTALL NEW CEILING GRID AND NEW ARMSTRONG CEILING TILE: RANDOM TEXTURE (MODEL#934)
- 8 ALTERNATE BID #1: INSTALL NEW NEW LITHONIA, 2'x4' LED CENTER BASKET TROFFER: 2BL14 40L MVOLT ADP E21 LP840.



PARTIAL REFLECTED CEILING PLAN

DEMOLITION

SCALE: 1/8" = 1'-0"



DATE
03-10-2025
03-25-2025

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CSK ARCHITECTS, P.C.
6919 W. LINCOLN HIGHWAY
219-322-5950
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www.cskarchitects.com

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