



STATE OF CONNECTICUT – COUNTY OF TOLLAND
INCORPORATED 1786

TOWN OF ELLINGTON

55 MAIN STREET – PO BOX 187
ELLINGTON, CONNECTICUT 06029-0187
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TOWN PLANNER'S OFFICE

FAX (860) 870-3122

PLANNING AND ZONING COMMISSION REGULAR MEETING AGENDA

MONDAY, JANUARY 27, 2025, 7:00 PM

IN-PERSON ATTENDANCE: TOWN HALL ANNEX, 57 MAIN STREET, ELLINGTON, CT

REMOTE ATTENDANCE: ZOOM MEETING, INSTRUCTIONS PROVIDED BELOW

I. CALL TO ORDER:

II. PUBLIC COMMENTS (on non-agenda items):

III. PUBLIC HEARING:

1. S202405 – Abdulsalam Alsaleh and Zak Smith, owner/ Calito Development Group, LLC, applicant, request for a 3-lot subdivision on the west side of West Road (Route 83) across the street from 175 West Road (Meadowview Plaza), in a Planned Commercial (PC) zone. The property subject to application is identified as Assessor Parcel Number 046-003-0002. *(Continued from December 23, 2024, meeting.)*
2. Z202411 – Abdulsalam Alsaleh and Zak Smith, owner/ Calito Development Group, LLC, applicant, request for Special Permit for a retail business and Site Plan Approval to construct an approximate 10,640 square foot building, parking, stormwater management system and other associated site improvements for property on the west side of West Road (Route 83) across the street from 175 West Road (Meadowview Plaza), in a Planned Commercial (PC) zone. The property subject to application is identified as Assessor Parcel Number 046-003-0002. *(Continued from December 23, 2024, meeting.)*
3. Z202413 – BJJM, LLC, owner/ Joseph Teixeira, applicant, request for modification to Special Permit for office and Site Plan Modification to construct an approximate 4,200 square foot addition and associated site improvements at 160 West Road, APN 046-003-0001, in a Planned Commercial (PC) zone. (Notice requirements met, hearing may commence.)

IV. NEW BUSINESS:

1. S202501 – Ellington McIntire, LLC, owner/applicant, request to re-subdivide 153 Webster Road, APN 185-001-0000, a 49.18 +/- acre parcel, to create one new 1.11 +/- acre parcel, in a Rural Agricultural Residential (RAR) Zone. *(For receipt and scheduling of a public hearing.)*

V. ADMINISTRATIVE BUSINESS:

1. Approval of December 23, 2024, Regular Meeting Minutes.
2. Election of Officers
3. Correspondence/Discussion:
 - a. Review and amend Chapter 5 Housing and Residential Development and the Housing Needs Assessment from the 2019 Plan of Conservation and Development.
 - b. CT Bar Association Education & Training Webinar, Saturday, March 22, 2025 – Connecticut Land Use Law for Municipal Land Use Agencies, Boards and Commissions.

VI. ADJOURNMENT:

Next Regular Meeting is scheduled for February 24, 2025.

Instructions to attend meeting remotely listed below. The agenda is posted on the Town of Ellington webpage (www.ellington-ct.gov) under Agenda & Minutes, Planning & Zoning Commission.

Join Zoom Meeting via link:

<https://us06web.zoom.us/j/82906339572>

Meeting ID: 829 0633 9572

Passcode: 905236

Join Zoom Meeting by phone:

1 646 558 8656

Meeting ID: 829 0633 9572

Passcode: 905236

2202411



HALLISEY, PEARSON & CASSIDY
Engineering Associates, Inc.

630 Main Street
Cromwell, CT 06416-1444

TELEPHONE: (860) 529-6812
FAX: (860) 721-7709
Paul A. Hallisey, P.E. & L.S.
James P. Cassidy, P.E.

January 13, 2025

Lisa M. Houlihan
Town Planner
Town of Ellington
55 Main Street
Ellington, CT 06029

Dear Mrs. Houlihan:

RE: West Road, Ellington. Calito Development Group Retail Use

This is in response to the comments that were put forth by the commission in the December 23rd, 2024, Planning and Zoning Commission Meeting for the above project. Below is a list of updates made to the plan set.

1. The loading doors have been moved to the rear of the building. To accommodate this, the concrete delivery pad, dumpster enclosure and infiltration basin have been shifted to the west. The infiltration basin has been re-shaped to maximize storage while not creating any additional upland review area activity. We are still proposing a decrease in stormwater flows from the site post-development.
2. The wood beam guard rail along the front parking spaces has been changed to a split rail wood fence to be similar to the one in front of Earthlight. The proposed metal beam guard rail that runs along the entrance drive adjacent to the mitigation area has been revised to be a wood-beam guard rail. A new detail has been added to the plan set.
3. Per conversations with CT DOT, we are proposing to replace the metal beam guard rail along West Road that is above the concrete headwall as the guardrail model is out of date.
4. Per conversations with CT DOT, they requested we add a curb along West Road for the frontage of our property. A new catch basin was added in the low spot adjacent to the double 36" RCP culvert crossing to collect the runoff from West Road and divert it to the drainage ditch.
5. The scour hole at the outlet of the existing twin 36" RCP culverts that cross West Road has been updated to blend proposed contours with existing at the concrete headwall.
6. Per our meeting with the WPCA, we have added a proposed sanitary manhole in the frontage of our property so that when the land to the north is developed, they will be

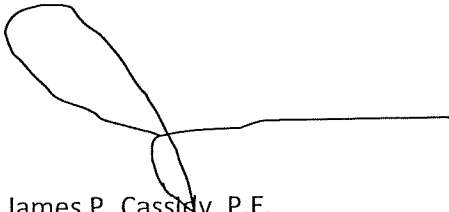
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able to connect to the sanitary manhole rather than having to do another sawcut and connection in West Road. We are proposing a 8" PVC pipe from the main to the proposed manhole and a 6" PVC lateral from the proposed manhole to the proposed retail building.

7. The proposed architecture has been updated to reflect design elements present in the Earthlight building as well as Starbucks. Exposed wood timbers and lighter building colors have been incorporated.

Along with this letter, we are submitting two sets of updated site plans for your review. Kindly contact me should you require further information. Thank you.

Sincerely,

A handwritten signature in black ink, appearing to read 'James P. Cassidy', with a long horizontal line extending to the right.

James P. Cassidy, P.E.



December 23, 2024

Lisa Houlihan
Town Planner, Town of Ellington
P.O. Box 187
57 Main Street
Ellington, CT 06029

**RE: Traffic Impact Assessment
Proposed Retail Store
West Road (CT Route 83)
Ellington, Connecticut 06029
Project Number: 24112401**

Dear Ms. Houlihan,

Solli Engineering, LLC has prepared this assessment to provide an analysis of the potential traffic impacts associated with the proposed development located on West Road (CT Route 83) in Ellington, Connecticut. The evaluation has been completed in accordance with the Town of Ellington requirements as well as standard traffic engineering methodology. Our investigation concludes that the proposed development will not have an adverse impact on the area roadway network.

Project Description:

The proposed project site consists of a single parcel consisting of approximately 20.98± acres located within the Planned Commercial (PC) zoning district. The project site is currently unimproved and does not have an access driveway. The proposed development consists of a 10,640± square-foot one-story retail building with appurtenant parking, loading, landscape, and drainage features. The development is proposed to be accessed via a driveway on West Road (CT Route 83) directly across the street from the northern driveway of Meadowview Plaza. The proposed site driveway and adjacent private driveway intersections along West Road were studied to evaluate the potential impacts of the proposed development and identify any improvements which may be necessary to mitigate the traffic associated with the proposed development. Refer to the Site Location Map, Figure 1, included as a supporting document to this assessment for additional information regarding the development location.

Existing Conditions:

West Road (CT Route 83) is a north-south roadway with a posted speed limit of 40 miles per hour across the project site frontage. West Road (CT Route 83) is classified as a principal arterial by the Connecticut Department of Transportation (CTDOT) and is under the jurisdiction of the CTDOT. Throughout the study area, West Road (CT Route 83) is generally a two-lane, bi-directional roadway with approximately 11-foot thru lanes, a striped double solid yellow centerline, and striped shoulders of up to approximately six feet in width. Additional striped exclusive turn lanes and striped center medians are also present along West Road (CT Route 83), allowing for access to other commercial driveways and intersecting roadways. There are no sidewalks or bike lanes present along West Road (CT Route 83) in the vicinity of the project site.

Monroe, CT | West Hartford, CT | Norwood, MA

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Based on volume data collected in October 2023 at CTDOT traffic monitoring station ELLI-012, located on West Road (CT Route 83) just south of its intersection with Mountain Road, the bi-directional Annualized Average Daily Traffic (AADT) was reported as 12,600 vehicles per day. The 85th percentile speeds at this station were reported as 47.2 miles per hour traveling northbound and 41.6 miles per hour traveling southbound in October 2023. Volume and speed data from ELLI-012 are included as supporting documents to this assessment.

Upon review of the most recent three (3) years of available accident data from November 1, 2021 through November 30, 2024 from the Connecticut Crash Data Repository, two (2) crashes were identified within the study area, one (1) of which resulted property damage only and one (1) of which resulted in injury. Along the segment of West Road (CT Route 83) containing the subject property frontage, two (2) crashes were identified including one (1) rear end crash and one (1) angle crash. No pattern or geometric deficiencies were identified from this data that would require mitigation. A summary of the accident data is provided as a supporting document to this assessment.

Manual turning movement count data was collected in December 2024 by National Data & Surveying Services (NDS) at the study area intersections during the weekday AM, weekday PM, and Saturday midday peak hours. An automatic traffic recorder (ATR) was installed on West Road across the property frontage to evaluate volume and speed data. The 85th percentile speed collected was 47 miles per hour northbound and 45 miles per hour southbound. The 2024 existing traffic volume data for the above peak hours is illustrated in Figure 2, included as a supporting document to this assessment. A copy of the ATR and turning movement volume data is also included as a supporting document to this assessment.

Background traffic growth is estimated to account for the traffic increase as a result of regional population and economic growth in the study area, in addition to anticipated traffic generated by other proposed developments recently permitted and/or under construction. Based on the most recent CTDOT data from ELLI-012, there has been a decrease in overall traffic volumes in the study area as the AADT has decreased from 14,300 vehicles per day in 2017 to 12,600 vehicles per day in 2023. Upon review of available information in the area, no ongoing or proposed projects within the study area were identified which may impact the analysis. Therefore, the 2024 existing traffic volumes were projected to the 2026 design year using a conservative 1.0 percent per year growth factor. The 2026 background traffic volumes are illustrated in Figure 6, included as a supporting document to this assessment.

Proposed Conditions:

The project proposes to develop the property with a 10,640± square-foot one-story retail building with appurtenant parking, loading, landscape, and drainage features. The site is proposed to be accessed via a new full-movement STOP-controlled driveway on West Road, directly across the street from the existing northern site driveway of Meadowview Plaza. The proposed driveway location is consistent with the Rte 83 Corridor Study plan included in Section 6.6, Access Management, of the Town of Ellington Zoning Regulations. Additional details of the proposed site configuration are depicted on the Site Layout Plan, included under separate cover.

Intersection sight distance (ISD) at the proposed site driveway on West Road (CT Route 83) was evaluated per guidance provided in the CTDOT Highway Design Manual. The sight distance along Main Street (Route 66) was calculated based on the 85th percentile speed of 47 miles per hour northbound and 45 miles per hour southbound and crossing an additional lane to make the left turn movement out of the driveway. The minimum sight distance, based on a speed of 45 miles per hour, is 530 feet looking left. The minimum sight distance, based on a speed of 47 miles per hour northbound, is 555 feet looking right out of the site driveway, measured 15 feet back from the shoulder of the intersecting roadway. The proposed site driveway has

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adequate sight distance to accommodate exiting vehicles. For more information regarding intersection sight distance, refer to the Intersection Sight Distance Figure, ISD-1, included as a supporting document to this assessment.

It is not anticipated that a significant number of patrons of the proposed development will utilize alternative transportation to access the site due to limited infrastructure in place within the study area. The closest public transportation in the vicinity of the project site is a bus stop over a mile away that is not accessible via continuous sidewalks from the project site. Additionally, limited pedestrian or bicycle activity was observed during data collection. Therefore, no credit to the trip generation was taken for potential trips associated with alternative transportation.

The anticipated number of trips that will be generated by proposed development was estimated using data from the Institute of Transportation Engineers (ITE) Trip Generation Manual, 11th Edition. The trip generation was calculated for the weekday AM, weekday PM, and Saturday midday peak hours of adjacent street traffic based on the Variety Store land use, known as Land Use Code (LUC) 814. ITE defines LUC 814 as a "retail store that sells a broad range of inexpensive items often at a uniform price" that is "commonly referred to as a 'dollar store.'" The proposed development is expected to generate 26 (14 entering and 12 exiting) net new network trips during the weekday AM peak hour, 57 (29 entering and 28 exiting) net new network trips during the weekday PM peak hour and 57 (29 entering and 28 exiting) net new network trips during the Saturday midday peak hour. ITE does not have vehicle trip data for LUC 814 during the Saturday midday peak hour, so the weekday PM peak hour data was therefore used for the Saturday midday peak hour as well.

A "pass-by" credit was applied to the proposed trip generation of the proposed Variety Store due to the retail nature of the development. Pass-by trips are trips associated with a development that are already on the adjacent roadway network and will patronize the development and continue along their route. The ITE Trip Generation Manual, 11th Edition provides guidelines for pass-by/diverted trip rates based on empirical data. The average pass-by/diverted trip rate for a Variety Store is 34% in the weekday PM peak hour. For purposes of this study, a twenty percent (20%) pass-by credit was applied to the trips generated by the Variety Store during the weekday AM, weekday PM, and Saturday midday peak hours to provide a conservative analysis. The ITE trip generation rate sheets, ITE pass-by rate sheet, and a detailed trip generation worksheet are included as supporting documents to this assessment. Table 1 below summarizes the anticipated trips to be generated by the proposed development during the weekday AM, weekday PM, and Saturday midday peak hours.

TABLE 1 PROPOSED TRIP GENERATION SUMMARY									
LAND USE	WEEKDAY AM PEAK HOUR			WEEKDAY PM PEAK HOUR			SATURDAY MIDDAY PEAK HOUR		
	ENTER	EXIT	TOTAL	ENTER	EXIT	TOTAL	ENTER	EXIT	TOTAL
Variety Store (LUC 814) 10,640± SF	18	15	33	36	35	71	36	35	71
Total New Trips	18	15	33	36	35	71	36	35	71
<i>20% Pass-By</i>	<i>4</i>	<i>3</i>	<i>7</i>	<i>7</i>	<i>7</i>	<i>14</i>	<i>7</i>	<i>7</i>	<i>14</i>
Net New Trips	14	12	26	29	28	57	29	28	57

The anticipated distribution of new traffic entering and exiting the site was developed based on area populations, existing traffic patterns, and layout of the adjacent roadway network. The following distributions were applied to the new site generated trips:

- 50% to/from the north via West Road (CT Route 83)
- 50% to/from the south via West Road (CT Route 83)

The anticipated percent distributions of the new site generated trips are illustrated in Figure 3, included as a supporting document to this assessment. The new site generated trips were assigned to the study area intersections based on the anticipated percent distributions from Figure 3, and the resulting trip assignment is illustrated in Figure 4, also included as a supporting document to this assessment.

The site generated pass-by trips were assigned to the site driveway intersection based on the anticipated percent distributions from Figure 3 and the resulting pass-by trips are illustrated in Figure 5, included as a supporting document to this assessment.

The trip assignment volumes from Figure 4, pass-by trips from Figure 5, and 2026 background traffic volumes from Figure 6 were all combined to develop the 2026 Build Traffic Volumes and are illustrated in Figure 7, included as a supporting document to this assessment.

Capacity Analysis:

To determine the impacts of the increase in traffic volumes on the operating conditions of the study area intersections, the network was analyzed using the Synchro 11 capacity analysis software for the existing, background, and build conditions during the weekday AM, weekday PM, and Saturday midday peak hours.

The results of the Synchro analysis describe the traffic impact in terms of Level of Service (LOS). LOS describes the operational condition of study area intersections in terms of delay (in seconds per vehicle) and is expressed on a scale of A through F with LOS A being the best and LOS F being the worst. LOS A reflects intersection operations with little to no vehicle delay (less than 10 seconds per vehicle) and LOS F reflects intersection conditions that are over capacity and experience long delays (more than 80 seconds per vehicle at signalized intersections and more than 50 seconds of delay per vehicle at unsignalized intersections). For unsignalized intersections, only the delay on the STOP-controlled approach and main line turning movements are reported.

To determine if the proposed development will result in an impact on traffic conditions, the existing roadway network was first analyzed to determine operating conditions of each study area intersection during the 2024 existing conditions. The background condition was analyzed to determine the operating conditions that would exist in 2026 without the proposed development, but with the background growth rate applied. The build condition was then analyzed to determine the operating conditions that would exist if the proposed development were constructed in addition to the background growth rate applied. The results of the background condition analysis were compared to the results of the build condition analysis to determine any significant changes to the operating conditions of the area roadway network. Table 2 below summarizes the results of the analysis for the existing, background and build scenarios. More detailed capacity analysis summary tables as well as the Synchro 11 Capacity Analysis worksheets are included as supporting documents to this assessment.

TABLE 2
PEAK HOUR LEVEL OF SERVICE SUMMARY
LOS(Delay)
AM/PM/SAT

INTERSECTION	2024 Existing	2026 Background	2026 Build
Site Driveway / Meadowview Plaza North Driveway & West Road (CT Route 83)*			
Site Driveway – Eastbound	-	-	C(23.6)/E(44.6)/E(38.4)
Meadowview Plaza – Westbound Left	C(23.3)/E(36.7)/D(33.6)	C(23.8)/E(38.5)/D(34.7)	D(31.0)/F(62.9)/F(56.0)
Meadowview Plaza – Westbound Right	B(11.5)/B(14.3)/B(13.2)	B(11.5)/B(14.5)/B(13.3)	B(11.5)/B(14.5)/B(13.3)
West Road (CT Route 83) – Northbound**	-	-	-
West Road (CT Route 83) – Southbound**	-	-	-
Meadowview Plaza South Driveway & West Road (CT Route 83)*			
Meadowview Plaza – Westbound	C(23.4)/D(30.3)/C(22.4)	C(24.0)/D(31.4)/C(23.0)	C(24.3)/D(32.8)/C(23.8)
West Road (CT Route 83) – Northbound**	-	-	-
West Road (CT Route 83) – Southbound**	-	-	-

*Unsignalized intersection, only STOP-controlled approach reported, per lane

**Approach is free flowing

The capacity analysis evaluated two (2) key intersections and indicates that under the 2026 build condition, the study area intersections will operate at the same overall levels of service as the 2026 background condition during the weekday AM, weekday PM, and Saturday Midday peak hours with some minor exceptions. The westbound left turn movement at the driveway of northern Meadowview Plaza changes in operation from a LOS C with 23.8 seconds of delay during the weekday AM peak hour to a LOS D with 31.0 seconds of delay reflecting a minor increase of 7.2 seconds of delay. This movement also changes in operation from a LOS E with 38.2 seconds of delay to a LOS F with 62.9 seconds of delay during the weekday PM peak hour reflecting a minor increase in 24.7 seconds of delay. Similarly, this movement also changes in operation from a LOS D with 34.7 seconds of delay to a LOS F with 56.0 seconds of delay reflecting a minor increase of 21.3 seconds of delay. The site driveway will operate at a LOS C during the weekday AM peak hour and a LOS E during the weekday PM and Saturday midday peak hours. The operations of the stop-controlled driveways on West Road operate consistent with a stop-controlled approach onto a principal arterial during the peak hours. The reported queue on any of the stop-controlled approaches is less than 2 vehicles during the weekday AM, weekday PM and Saturday midday peak hours. The proposed driveway location on West Road (Route 83) conforms with the Town of Ellington access management section of the regulations.

Conclusion:

This study identifies the potential impacts of the site traffic generated by the proposed development located on West Road in Ellington, Connecticut. The proposed development includes the construction of a 10,640± square-foot retail store with appurtenant parking, loading, landscape, and drainage features. The development is proposed to be accessed via a stop-controlled site driveway in line with the existing northern site driveway to Meadowview Plaza driveway. The study determined that the proposed development is expected to generate 26 (14 entering, 12 exiting) net new trips during the weekday AM peak hour, 57 (29 entering, 28 exiting) net new trips during the weekday PM peak hour, and 57 (29 entering, 28 exiting) net new trips during the Saturday midday peak hour.

The capacity analysis evaluated two (2) key intersections and indicates that all study area intersections will generally operate at similar levels of service under the build condition, when compared to the background condition, with some minor exceptions. The anticipated 95th percentile queue at any of the stop-controlled driveways is less than 2 vehicles during any of the peak hours of analysis.

It is the professional opinion of Solli Engineering that the traffic anticipated to be generated by the proposed development can be accommodated by the surrounding roadway network. The study area intersections are expected to maintain similar operating conditions when compared to the background condition.

Sincerely,
Solli Engineering, LLC



Matt Baldino P.E., PTOE
Project Manager



Kevin Solli, P.E., PTOE
Principal

Supporting Documents:

Site Location Map	(Figure 1)
2024 Existing Traffic Volumes	(Figure 2)
Trip Distribution	(Figure 3)
Trip Assignment	(Figure 4)
Pass-By Trips	(Figure 5)
2026 Background Traffic Volumes	(Figure 6)
2026 Build Traffic Volumes	(Figure 7)
Intersection Sight Distance Figures	(ISD-1)
Trip Generation Summary	
ITE Trip Generation Rate Sheets	
ITE Pass-by Rate Sheets	
Accident Summary Table	
Capacity Analysis Summary Tables	
Synchro Analysis Reports	
Turning Movement Counts	
ATR Data	
ELLI-012 2017 Volume Data	
ELLI-012 2023 Volume Data	
ELLI-012 2023 Speed Data	

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Barbra Galovich

Subject:

FW: Z202411 and S202405 West Road - Proposed retail store

From: Dana Steele <dsteele@jrrusso.com>

Sent: Monday, January 20, 2025 3:05 PM

To: Lisa Houlihan <LHoulihan@ELLINGTON-CT.GOV>

Cc: Barbra Galovich <bgalovich@ELLINGTON-CT.GOV>

Subject: RE: Z202411 and S202405 West Road - Proposed retail store

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Lisa,

I have reviewed the following revised documents:

- a) Site Plan Set by Hallisey, Pearson & Cassidy including 22 sheets revised 1/10/25 addressing PZC comments
- b) Conceptual Elevations by BKA Architects dated 1/10/25
- c) Landscape Plan by Solli Engineering (sheet 2.61) revised 12/16/24

Some of the comments from my 12/23/24 email have been addressed. My remaining (1-6) and additional (7-8) comments are as follows:

- 1. Infiltration BMP's shall be protected from sedimentation and compaction during construction. Provide silt fence, diversion berms or sediment traps upstream from these BMP's on sheet 6 as needed. Where infiltration basins are used as temporary sediment traps, provide grading notes explaining how underlying soils will be protected from compaction and clogging during construction.
- 2. Prior to construction of the stormwater basin and swale, the Engineer shall verify the soil conditions in the infiltration basin and swale to confirm infiltration classification and proper separation from the seasonal high water table.
- 3. Note on infiltration basin maintenance schedule that basin and swale shall fully drain within 48 hours after the end of a storm event or the clogged soils shall be removed and replaced.
- 4. Apply the same loamy sand specification used for the infiltration basin for the bottom of the infiltration swale as well.
- 5. Note that existing headwall at the DOT drainage outlet will be replaced or lengthened as determined by DOT to accommodate scour hole #1. The engineer's cover letter dated 1/13/25 comment #5 indicates the existing headwall is to remain, but sheet MIT-1 shows proposed grades steeper than 1:1 at both ends of the headwall. I believe the headwall will need to be extended or replaced. If not, the erosion control plan should be modified to address how these steep slopes will be stabilized.
- 6. The Stormceptor water quality unit shall be sized to treat the water quality flow of the contributing drainage area. Provide sizing calculations for review by the Town Engineer prior to ordering materials.
- 7. The delivery truck turning movement plan (TM-2) does not show how the vehicle will exit the loading area. Confirm there is room for WB-67 vehicles to exit the site.
- 8. Submit revised drainage calculations confirming the reconfigured stormwater basin is properly sized.

As discussed, I plan to attend the PZC meeting on 1/27/25 to participate in discussion and address any questions regarding these comments.

Dana P. Steele, P.E.
Ellington Town Engineer



J.R. RUSSO & ASSOCIATES, LLC
P.O. Box 938, 1 Shoham Road
East Windsor, CT 06088
(CT) 860.623.0569 (MA) 413.785.1158
dsteele@jrrusso.com | www.jrrusso.com

SITE PLAN & SPECIAL PERMIT APPLICATION

FOR

PROPOSED 10,640 sq. ft. RETAIL USE BUILDING

FOR PROPERTY LOCATED AT
PROPERTY ID: 046 003 0002
WEST ROAD (ROUTE #83)
ELLINGTON, CONNECTICUT

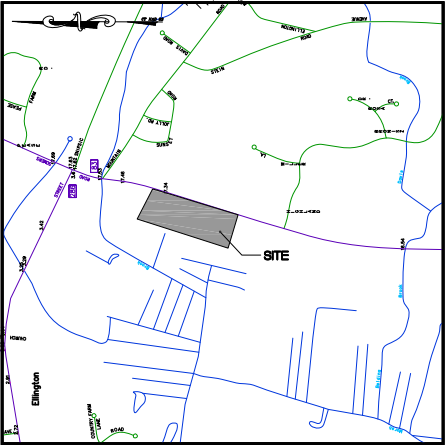
DATE: NOV. 20, 2024

OWNER:

ABDULSALAM M ALSALEH & ZAK SMITH
81 SPRING STREET
WINDSOR, CT 06096

APPLICANT & DEVELOPER

CALITO DEVELOPMENT GROUP
ATTN.: MATT EUCALITTO
59 FIELD STREET
TORRINGTON, CT 06790
PHONE NUMBER: 860-280-5825



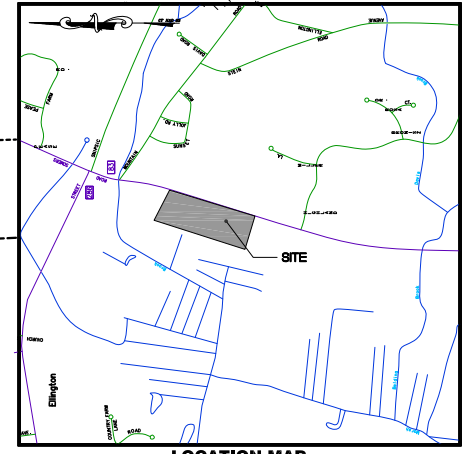
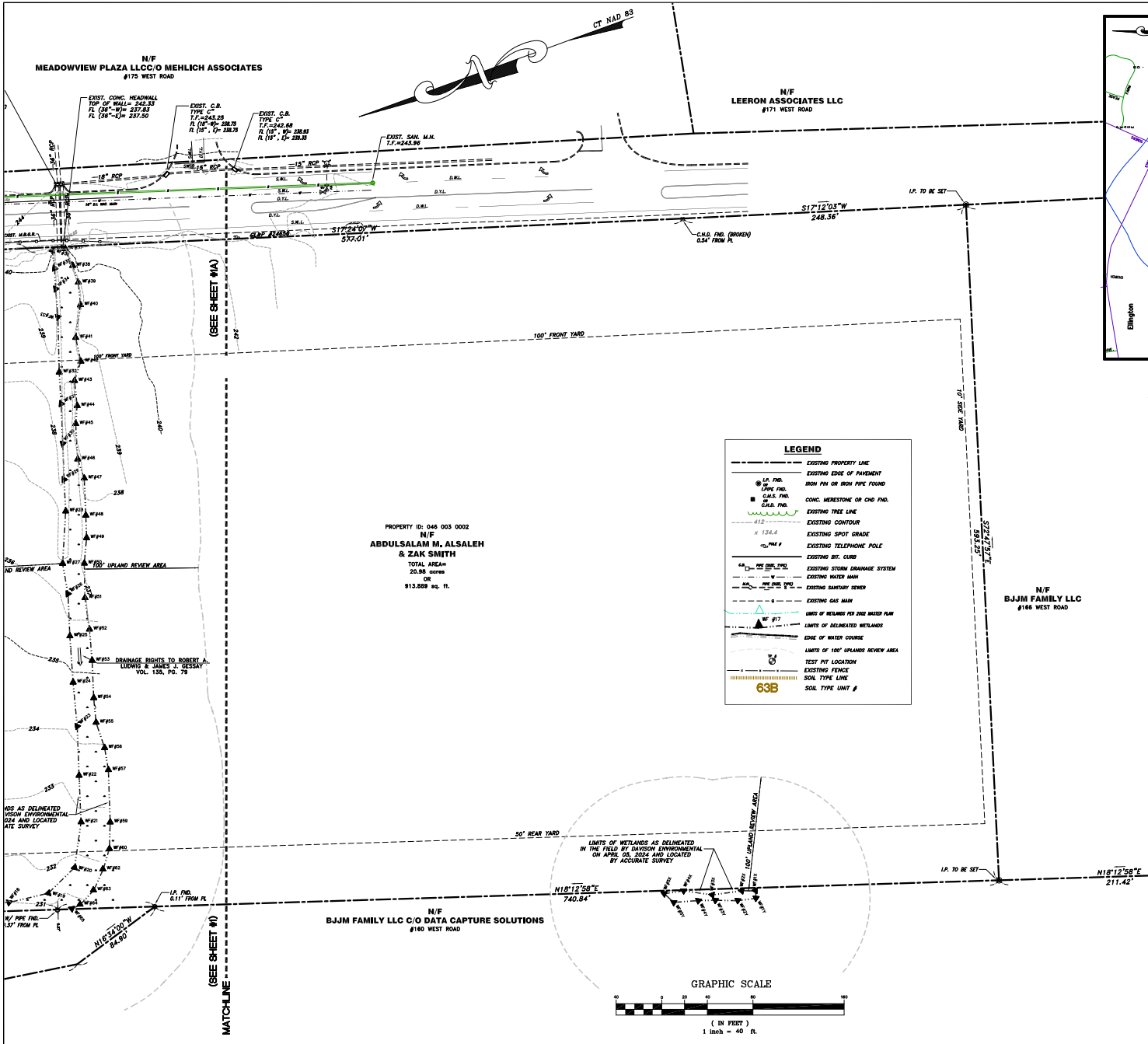
LOCATION MAP
SCALE: 1" = 1,000'

SHEET INDEX

<u>SHEET #</u>	<u>DRAWING TITLE</u>
1A & 1B	PROPERTY AND TOPOGRAPHIC SURVEY
2A & 2B	(OMMITTED FROM PLAN SET)
3	ZONING IMPROVEMENT LOCATION SURVEY
4	SITE GRADING & DRAINAGE PLAN
5	SITE UTILITIES PLAN
6	EROSION & SEDIMENT CONTROL PLAN
7	GENERAL NOTES
8	SEDIMENT AND EROSION CONTROL NARRATIVE AND NOTES
9	STORMWATER QUALITY BASIN DETAIL
10-17	SITE DETAILS
MIT-1	WETLANDS MITIGATION PLAN
PH-1	SITE LIGHTING PLAN
TM-1	FIRE TRUCK TURNING MANEUVER PLAN
TM-2	DELIVERY TRUCKTURNING MANEUVER PLAN
A-1	CONCEPTUAL BUILDING ELEVATIONS
2.61	SITE LANDSCAPING PLAN

 **HALLISEY, PEARSON & CASSIDY**
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROWMELL, CONNECTICUT 06416
PHONE: (860)-529-6812, FAX: (860)-721-7709

2	01/10/25	PER P&Z COMMENT	JMP
1	12/17/24	PER TOWN COMMENT	JMP
NO.	DATE	DESCRIPTION	BY



NOTES:

- SURVEY NOTES:
 - This survey has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-1 through 20-300b-20 and the "Standards for Survey and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 28, 1998.
 - Type of Survey is PROPERTY/TOPOGRAPHIC.
 - Boundary Determination Category is DEPENDENT RESURVEY.
 - Class of Accuracy is HOR.- "A-2", TOPO.- "T-2", VERT.- "V-2".
- PROPERTY IS ZONED: FC
- PROPERTY LIES IN FLOOD ZONE "X" (AREA OF MINIMAL FLOOD HAZARD) PER F.I.R.A. COMMUNITY MAP NO. 090158001SC DATED: FEBRUARY 05, 1997.
- MAP REFERENCES:
 - A.) "LOT RECONFIGURATION LAND OF KUPFERSCHMID FAMILY TRUST, WEST ROAD, ELLINGTON, CONNECTICUT," SCALE: 1"=100', DATED: SEP. 12, 2014. PREPARED BY: LANDMARK SURVEYS, LLC.
 - B.) "PROPERTY SURVEY LAND OF ERNEST S. KUPFERSCHMID, JR., ELLINGTON, CONNECTICUT," SCALE: 1"=100', DATED: FEB. 02, 1998. PREPARED BY: SCHWELER SURVEYS.
- TOTAL PARCEL AREA= 913,900 SQ. FT. OR 20.98 ACRES.
- HORIZONTAL DATUM BASED ON N.A.D. OF 1983.
- VERTICAL DATUM BASED ON NAVD 88. CONTOUR INTERVAL=1 FOOT
- PROPERTY MAY BE BENEFITED AND/OR BURDENED BY RECORDED AND/OR UNRECORDED EASEMENTS.
- UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM FIELD TESTimony AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO HALLISEY, PEARSON & CASSIDY ENGINEERING ASSOCIATES, THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG "811".

ZONING BULK TABLE

LOCATIONS WHERE FOUND BY FIELD SURVEY, ELLINGTON, CONNECTICUT				
ZONING				
USE	MIN. LOT AREA	MIN. FRONT SETBACK	MIN. SIDE SETBACK	MIN. REAR SETBACK
1	4.81	10'	5'	5'
2	4.81	10'	5'	5'
3	4.81	10'	5'	5'
4	4.81	10'	5'	5'
5	4.81	10'	5'	5'
6	4.81	10'	5'	5'
7	4.81	10'	5'	5'

I hereby certify that the wetland boundaries depicted are substantially correct.

Matthew E. Hallisey
Matthew E. Hallisey
Professional Land Surveyor
Professional Engineer

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Paul A. Hallisey
PAUL A. HALLISEY, L.S. LIC. NO. 7761 DATE MAY 17, 2024

THIS DOCUMENT AND COPIES THEREOF ARE VALID ONLY IF THEY BEAR THE SIGNATURE AND EMBOSSED SEAL OF THE DESIGNATED LICENSED PROFESSIONAL. UNAUTHORIZED ALTERATIONS TO THIS PLAN RENDER THE DECLARATION HEREON NULL AND VOID. VALID ONLY ON MAPS BEARING EMBOSSED SURVEYOR'S SEAL.

SCALE: 1"=400'

DATE: MAY 20, 2024

JOB NO.: 2408

ACAD FILE: 2408-1C

SHEET: 1B OF 17

REVISIONS:

DATE: 05/20/24

BY: P.H.

FILE: 2408-1C

PROJECT: N/F MEADOWVIEW PLAZA LLC/O MEHLICH ASSOCIATES

HALLISEY, PEARSON & CASSIDY

CIVIL ENGINEERS & LAND SURVEYORS

830 MAIN STREET, UNIT #1A

CROMWELL, CONNECTICUT 06418

PHONE: (860)-529-8812 FAX: (860)-721-7709

PROPERTY/TOPOGRAPHIC SURVEY

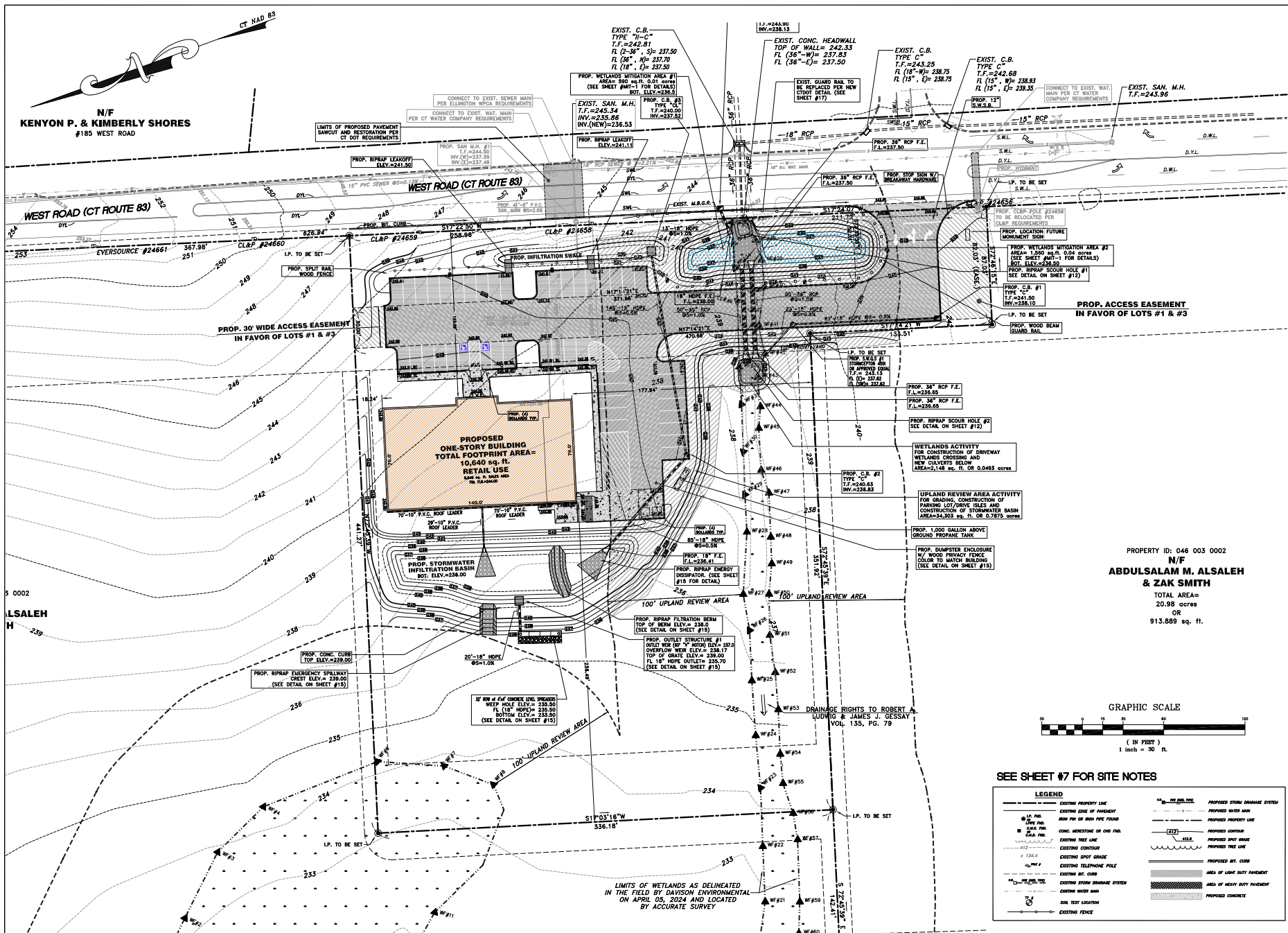
SHOWING EXISTING CONDITIONS

PREPARED FOR

CALTO DEVELOPMENT GROUP

100 WEST ROAD (RT. #83)

ELLINGTON, CONNECTICUT



SCALE: 1"=30'
 DATE: NOV. 20, 2024
 JOB NO.: 3486
 ACAD FILE: 3486-SG
 SHEET: 4 OF 17
 REVISIONS:
 DEC. 17, 2024 PER TOWN COMMENT
 JAN. 10, 2025 PER P&Z COMMENT

LISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROMWELL, CONNECTICUT 06416
PHONE: (860)-529-8812, FAX: (860)-721-7709

**PREPARED FOR
CALITO DEVELOPMENT GROUP
PROPERTY LOCATED AT
WEST ROAD (RT. #83)
ELLINGTON, CONNECTICUT**



[illegible][illegible][illegible][illegible]

817 CONSTRUCTION NOTES

Removal of pavement markings along state roadways shall be completed by a non-destructive method in compliance with the State of Connecticut Department of Transportation Standard Specifications for Road, Bridges, and Incidental Construction Form 817 Section 12.11 as revised.

Removal of pavement markings on state roadways shall be completed by a non-destructive method in compliance with the State of Connecticut Department of Transportation Standard Specifications for Roadways, Bridges, and Incidental Construction Form R17 Section 12.11 as noted.

New pavement markings shall be painted with epoxy resin paint in compliance with the State of Connecticut Department of Transportation Standard Specifications for Roadways, Bridges, and Incidental Construction Form R17 Section 12.10 as noted.

New sign material and sheeting shall be made of reflective material in compliance with the State of Connecticut Department of Transportation Standard Specifications for Roadways, Bridges, and Incidental Construction Form R17 Section 12.20 as noted. Type 1 reflective sheeting shall be used for signs with the background. Type 2 reflective sheeting shall be used for signs with colored background except for signs with red background that shall be Type 8 or 9 reflective sheeting.

All signs and pavement markings installed along the state road must conform to the "Manual on Uniform Traffic Control Devices," the latest State of Connecticut Catalog of Signs and standards as noted.

GENERAL SITE NOTES
PREPARED FOR
CALITO DEVELOPMENT GROUP
PROPERTY LOCATED AT
WEST ROAD (RT. #83)
WELLINGTON, CONNECTICUT

LISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
830 MAIN STREET, UNIT #1A
CROMWELL, CONNECTICUT 06416
PHONE: (860)-529-8812, FAX: (860)-721-7709

DATE: NOV. 20, 2024	DRAWN BY: JMP
JOB No.: 3496	ACAD FILE: 3498-GEN-
SHEET: 7 OF: 17	
REVISIONS: DEC. 17, 2024 PER TOWN COMMENT JAN. 10, 2025 PER P&Z COMMENT	
NOTES	

EROSION CONTROL NOTES

SEDIMENT & EROSION CONTROL NARRATIVE

THE SEDIMENT AND EROSION CONTROL PLAN WAS DEVELOPED TO PROTECT THE EXISTING ROADWAY AND STORM DRAINAGE SYSTEMS, ADJACENT PROPERTIES, AND THE WETLAND AREA FROM SURFACE RUNOFF AND EROSION. A CONSTRUCTION SEQUENCE IS PROVIDED TO PROVIDE SURFACE RUNOFF CONTROLS PRIOR TO THE PROJECT CONSTRUCTION BEGINNING.

CONSTRUCTION SCHEDULE

THE ANTICIPATED STARTING DATE FOR CONSTRUCTION IS WINTER 2024 WITH COMPLETION ANTICIPATED FALL 2025. APPROPRIATE EROSION CONTROL MEASURES AS DESCRIBED HEREIN, SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF ALL CONSTRUCTION ACTIVITY.

CONTINGENCY EROSION PLAN

THE CONTRACTOR SHALL INSTALL ALL SPECIFIED EROSION CONTROL MEASURES AND WILL BE REQUIRED TO MAINTAIN THEM IN THEIR INTENDED FUNCTIONING CONDITION. THE AGENTS OF THE DIRECTOR OF PLANNING & DEVELOPMENT, INLAND WETLANDS AGENCY AND/OR SITE ENGINEER SHALL HAVE THE AUTHORITY TO REQUIRE SUPPLEMENTAL MAINTENANCE OR ADDITIONAL MEASURES IF FIELD CONDITIONS ARE ENCOUNTERED BEYOND WHAT WOULD NORMALLY BE ANTICIPATED.

CONSTRUCTION SEQUENCE

THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:

1. CONTACT TOWN OF ELLINGTON AGENT AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO COMMENCEMENT OF ANY DEMOLITION, CONSTRUCTION OR REGULATED ACTIVITY ON THE PROJECT.
2. A PRE-CONSTRUCTION MEETING WITH LOCAL AND/OR STATE OFFICIALS NEEDS TO BE HELD PRIOR TO THE START OF CONSTRUCTION
3. CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE TOWN OF ELLINGTON AGENT PRIOR TO THE START OF WORK ON THE SITE. INSTALL TREE PROTECTION AND PERIMETER SILT FENCE & HAY BALE SEDIMENT BARRIERS.
4. CONSTRUCT TRAPPING PADS AT ENTRANCES AND WRAP FILTER FABRIC AROUND GRATE OF CATCH BASINS OR INSTALL SILT SACKS ON CATCH BASIN INLETS ON OFF SITE SLOPES. INSTALL SILT FENCE AT PERIMETER OF PROPOSED SITE DISTURBANCE AND INSTALL ALL EROSION CONTROL MEASURES AND TREE PROTECTION INDICATED ON THESE PLANS. INSTALL SEDIMENT TRAPS AND INSTALL SEDIMENT BASINS IN REQUIRED AT LOW AREAS OF SITE OR AS ORDERED BY THE ENGINEER OR AS SHOWN ON THESE PLANS.
5. CLEAR AND GRUB SITE. STOCK PILE CHIPS, STRIP AND STOCKPILE TOPSOIL.
6. INSTALL ADDITIONAL SILT FENCE AS REQUIRED, CONSTRUCT TEMPORARY DIVERSION BERMS AND SEDIMENT TRAPS.
7. CONTINUE EARTHWORK - CONSTRUCT FILL SLOPE. INSTALL ADDITIONAL EROSION CONTROL AS REQUIRED.
8. TOPSOIL AND SEED SLOPES WHICH HAVE ACHIEVED FINAL SITE GRADING.
9. CONSTRUCTION STAKING OF ALL BUILDING CORNERS, UTILITIES, ACCESS DRIVES, AND PARKING AREAS.
10. ROUGH GRADING.
11. CONSTRUCT STORM WATER QUALITY BASIN AND FINAL OUTLET.
12. INSTALLATION OF STORM DRAINAGE.
13. FOUNDATION CONSTRUCTION. BEGIN SUPERSTRUCTURE.
14. REMOVE SEDIMENT FROM BEHIND SILT FENCES, AND FROM SEDIMENTATION BASINS AS REQUIRED. REMOVAL SHALL BE ON A PERIODIC BASIS (EVERY SIGNIFICANT RAINFALL). INSPECTION OF EROSION CONTROL MEASURES SHALL BE ON A WEEKLY BASIS. SEDIMENT COLLECTED SHALL BE DEPOSITED AND SPREAD EVENLY UPLAND ON SLOPES DURING CONSTRUCTION.
15. INSTALL SEPTIC WELL AND ALL OTHER UTILITIES. COMPLETE STORM SEWERS.
16. INSTALL SITE LIGHTING, LOADING AREA AND TRASH ENCLOSURE.
17. FINISH GRADING AND CONSTRUCT PARKING AREA SUBGRADE.
18. CONSTRUCT SIDEWALKS.
19. PAVING OF PARKING AREAS AND DRIVEWAYS
20. FINAL GRADING OF SLOPE AREAS.
21. PLACE 4" TOPSOIL ON SLOPES AFTER FINAL GRADING IS COMPLETED. FERTILIZE SEED AND MULCH. SEED MIXTURE TO BE INSTALLED APRIL 15 TO JUNE 1 OR AUGUST 15 TO OCTOBER 1 USE EROSION CONTROL BLANKETS AS REQUIRED OR ORDERED FOR SLOPES GREATER THAN 3:1. FOR TEMPORARY STABILIZATION BEYOND SEEDING DATES USE ANNUAL RYE AT 4.0 LBS/1,000 S.F. FERTILIZE WITH 10-10-10 AT 1.0 LBS. OF NITROGEN PER 1,000 S.F. AND LIME AT 100 LBS/1,000 S.F. (MAX.).
22. LANDSCAPE ISLANDS AND PERIMETER AREAS. INSTALL SIGNING AND PAVEMENT MARKINGS.
23. UPON DIRECTION OF THE TOWN OF ELLINGTON AGENT, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED FOLLOWING STABILIZATION OF THE SITE.

SEQUENCE OF OPERATIONS

OPERATION I – CLEARING AND GRUBBING

1. ALL SEDIMENTATION AND EROSION CONTROL MEASURES, INCLUDING THE CONSTRUCTION OF THE TEMPORARY SEDIMENT TRAPS AND ANTI-TRACKING PADS, WILL BE INSTALLED PRIOR TO THE START OF CLEARING AND GRUBBING AND DEMOLITION OPERATIONS.
2. FOLLOWING INSTALLATION OF ALL SEDIMENTATION AND EROSION CONTROL MEASURES, THE CONTRACTOR SHALL NOT PROCEED WITH OPERATION I UNTIL THE ENGINEER HAS INSPECTED AND APPROVED ALL INSTALLATIONS.
3. THE CONTRACTOR SHALL TAKE EXTREME CARE DURING OPERATION I, SO AS NOT TO DISTURB UNPROTECTED WETLAND AREAS OR SEDIMENTATION AND EROSION CONTROL STRUCTURES.

OPERATION II – ROUGH GRADING

1. DURING THE REMOVAL AND/OR PLACEMENT OF EARTH AS INDICATED ON THE SITE PLAN, TOPSOIL SHALL BE STRIPPED AND APPROPRIATELY STOCKPILED FOR REUSE.
2. ALL STOCKPILED TOPSOIL SHALL BE SEEDDED, MULCHED WITH HAY, AND ENCLOSED BY A SILTATION FENCE.

OPERATION III – FILLING

1. PRIOR TO FILLING, ALL SEDIMENTATION AND EROSION CONTROL STRUCTURES SHALL BE PROPERLY IMPLEMENTED, MAINTAINED AND FULLY INSTALLED, AS DIRECTED BY THE ENGINEER AND AS SHOWN ON THE PLAN.
2. ALL FILL MATERIAL ADJACENT TO ANY WETLAND AREAS SHALL BE GOOD QUALITY, WITH LESS THAN 5% FINES PASSING THROUGH A #200 SIEVE (BANK RUN), SHALL BE PLACED IN MAXIMUM ONE FOOT LIFTS, AND SHALL BE COMPACTED TO 90% MAX. DRY DENSITY MODIFIED PROCTOR OR AS SPECIFIED IN CONTRACT SPECIFICATIONS.
3. AS GENERAL GRADING OPERATIONS PROGRESS, THE TEMPORARY DIVERSION DITCHES SHALL BE RAISED OR LOWERED, AS NECESSARY, TO DIVERT SURFACE RUNOFF TO THE BASINS.

OPERATION IV – PLACEMENT OF DRAINAGE STRUCTURES, UTILITIES, AND BUILDING CONSTRUCTION.

1. STAKED SILT FENCES SHALL BE INSTALLED AT THE DOWNHILL SIDES OF BUILDING EXCAVATIONS, DEWATERING PUMP DISCHARGES, AND UTILITY TRENCH MATERIAL STOCKPILES.

OPERATION V – FINAL GRADING AND PAVING

1. ALL INLET AND OUTLET PROTECTION SHALL BE PLACED AND MAINTAINED AS DISCUSSED IN OPERATION IV.
2. NO CUT OR FILL SLOPES SHALL EXCEED 2:1 EXCEPT WHERE STABILIZED BY ROCK FACED EMBANKMENTS OR EROSION CONTROL BLANKETS, JUTE MESH AND VEGETATION. ALL SLOPES SHALL BE SEEDDED, AND THE ROAD SHOULDER AND BANKS WILL BE STABILIZED IMMEDIATELY UPON COMPLETION OF FINAL GRADING UNTIL TURF IS ESTABLISHED.
3. PAVEMENT BASE COURSES SHALL BE INSTALLED OVER AREAS TO BE PAVED AS SOON AS FINAL SUB-GRADES ARE ESTABLISHED AND UNDERGROUND UTILITIES HAVE BEEN INSTALLED.
4. CONSTRUCT PAVEMENT, PLACE TOPSOIL, FINAL SEED, MULCH AND LANDSCAPING.
5. REMOVE ALL TEMPORARY EROSION CONTROL DEVICES ONLY AFTER ALL AREAS HAVE BEEN PAVED AND/OR GRASS HAS BEEN WELL ESTABLISHED AND THE SITE HAS BEEN INSPECTED AND APPROVED BY THE TOWN OR GOVERNING WETLAND AGENCY.

SEQUENCE FOR INSTALLATION OF SOIL EROSION

A. SEDIMENTATION CONTROL MEASURES.

1. ERECT SILTATION FENCES, SEDIMENT TRAPS, DIVERSION DITCHES, AND ANTI-TRACKING PAD.
2. STRIP TOPSOIL AND STOCKPILE.
3. PERFORM CLEARING AND GRUBBING ACTIVITIES, AND DEMOLITION.
4. STABILIZE STOCK PILE.
5. INSPECT AND MAINTAIN SEDIMENTATION AND EROSION CONTROL STRUCTURES.
6. ROUGH GRADING.
7. INSPECT AND MAINTAIN SEDIMENTATION AND EROSION CONTROL STRUCTURES.
8. PERFORM FILLING ACTIVITIES.
9. INSPECT AND MAINTAIN SEDIMENTATION AND EROSION CONTROL STRUCTURES.
10. CONSTRUCT DRAINAGE STRUCTURES. CONSTRUCT DIVERSION BERMS, RIP RAPPED LINED DITCHES AND SEDIMENTATION BASINS.
11. INSPECT AND MAINTAIN SEDIMENTATION AND EROSION CONTROL STRUCTURES.
12. PERFORM FINAL GRADING AND PAVING.
13. INSPECT AND MAINTAIN SEDIMENTATION AND EROSION CONTROL STRUCTURES.
14. RESPREAD TOPSOIL.
15. LIME, FERTILIZE, AND SEED.
16. MULCH.
17. FINAL COVER.
18. MAINTAIN SILTATION FENCES UNTIL COVER IS COMPLETELY STABILIZED.
19. PERFORM FINAL INSPECTION.
20. REMOVE SILTATION FENCES, CLEAN, AND RESTORE ALL AREAS.

INSTALLATION OF SEDIMENTATION AND

EROSION CONTROL MEASURES

1. SILTATION FENCE
A. DIG A SIX INCH TRENCH ON THE UPHILL SIDE OF THE DESIGNATED FENCE LINE LOCATION.
B. POSITION THE POST AT THE BACK OF THE TRENCH (DOWNHILL SIDE), AND HAMMER THE POST AT LEAST 1.5 FEET INTO THE GROUND.
C. LAY THE BOTTOM SIX INCHES OF THE FABRIC IN THE TRENCH TO PREVENT UNDERMINING BY STORM WATER RUN-OFF.
D. BACKFILL THE TRENCH AND COMPACT.

OPERATION AND MAINTENANCE OF SEDIMENTATION AND EROSION CONTROL MEASURES

- I. SILTATION FENCE
A. ALL SILTATION FENCES SHALL BE INSPECTED AS A MINIMUM WEEKLY OR AFTER EACH RAINFALL. ALL DETEIORATED FABRIC AND DAMAGED POSTS SHALL BE REPLACED AND PROPERLY REPOSITIONED IN ACCORDANCE WITH THE PLAN.
B. SEDIMENT DEPOSITS SHALL BE REMOVED FROM BEHIND THE FENCE WHEN THEY EXCEED A HEIGHT OF ONE FOOT.
- II. SEDIMENT TRAPS/BASINS
A. CONTRACTOR TO KEEP WEEKLY CHECKLIST LOGS FOR INSPECTIONS OF ALL SEDIMENT AND EROSION CONTROL DEVICES AND HAVE THEM READILY AVAILABLE ON-SITE AT ALL TIMES FOR INSPECTION BY DEEP, LOCAL, AUTHORITIES OR ENGINEER.
B. ALL PONDS SHALL BE INSPECTED FOLLOWING EACH RAINFALL. REPAIR OF SLOPES SHALL BE PROMPTLY MADE AS NEEDED.
C. SEDIMENT DEPOSITS SHALL BE REMOVED FROM PONDS WHEN THEY EXCEED A HEIGHT OF ONE FOOT.
D. SEDIMENT SHALL BE DISPOSED OF ON-SITE OR AS DIRECTED BY THE ENGINEER AND LOCAL GOVERNING OFFICIALS.

EROSION AND SEDIMENT CONTROL PLAN

1. SILTATION FENCE WILL BE INSTALLED AT ALL CULVERT OUTLETS AND ALONG THE TOE OF ALL CRITICAL CUT AND FILL SLOPES.
2. CATCH BASINS WILL BE PROTECTED WITH SILT SACKS OR HAY BALES THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
4. EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO CONSTRUCTION WHENEVER POSSIBLE.
5. ALL CONTROL MEASURES WILL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
6. ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PERIOD, IF NECESSARY OR REQUIRED.
7. SEDIMENT REMOVED FROM CONTROL STRUCTURES WILL BE DISPOSED IN A MANNER WHICH IS CONSISTENT WITH THE INTENT OF THE PLAN.
8. CALTO DEVELOPMENT GROUP IS THE PERMITEE RESPONSIBLE FOR IMPLEMENTING THE EROSION AND SEDIMENT CONTROL PLAN. THE RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, NOTIFICATION OF THE ELLINGTON WETLANDS ENFORCEMENT AGENCY OR GOVERNING AUTHORITY OF THE TRANSFER OF THE RESPONSIBILITY AND FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.

EROSION AND SEDIMENT CONTROL PLAN SEDIMENT AND EROSION CONTROL NOTES

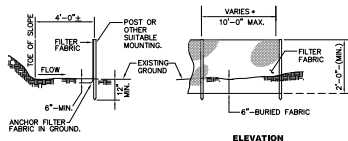
1. THE SEPARATION OF SOILS INTENDED TO EXPOSED TO SOIL EROSION AND PROTECT THE CONSTRUCTION SOURCE. REFER TO SITE PLAN FOR GENERAL INFORMATION AND OTHER PLANS FOR APPROPRIATE INFORMATION.
2. CALTO DEVELOPMENT GROUP IS THE PERMITEE RESPONSIBLE FOR IMPLEMENTING THE SEDIMENT AND EROSION CONTROL PLAN. THE RESPONSIBILITY INCLUDES THE PROPER INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED WITH CONSTRUCTION ON THE SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, NOTIFICATION OF THE GOVERNING AUTHORITY OF RELAY WETLANDS AGENCY OF ANY TRANSFER OF THE RESPONSIBILITY AND FOR CONVEYING A COPY OF THE SEDIMENT & EROSION CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.
3. THE CONTRACTOR SHALL CONTRACT ALL SEDIMENT AND EROSION CONTROLS IN ACCORDANCE WITH THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, LATEST EDITION IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, AND AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL KEEP A COPY OF THE GUIDELINES ON-SITE FOR REFERENCE DURING CONSTRUCTION.
4. ADDITIONAL AND/OR ALTERNATIVE SEDIMENT AND EROSION CONTROL MEASURES MAY BE INSTALLED DURING THE CONSTRUCTION PERIOD IF FOUND NECESSARY BY THE CONTRACTOR, SITE ENGINEER, TOWN OFFICIALS, OR ANY GOVERNING AGENCY. THE CONTRACTOR SHALL CONTACT THE OWNER AND APPROPRIATE GOVERNING AGENCIES FOR APPROVAL IF ALTERNATIVE CONTROLS OTHER THAN THOSE SHOWN ON THE PLANS ARE PROPOSED.
5. THE CONTRACTOR SHALL KEEP A SUPPLY OF EROSION CONTROL MATERIAL (SILT FENCE, JUTE MESH, ETC.) ON-SITE FOR MAINTENANCE AND EMERGENCY REPAIRS.
6. PROTECT EXISTING TREES THAT ARE TO BE SAVED BY FENCING AT THE DRIP LINE OR AS SHOWN WITH SNOW FENCE. SNOW FENCE, OR EQUIVALENT FENCING, ANY LIME TRIMMING SHOULD BE DONE BEFORE CONSTRUCTION BEGINS IN THAT AREA. FENCING SHALL BE MAINTAINED AND REPAIRED DURING CONSTRUCTION.
7. INSTALL PERIMETER SEDIMENT CONTROLS PRIOR TO CLEARING OR CONSTRUCTION. ALL CONSTRUCTION SHALL BE CONTAINED WITHIN THE LIMIT OF DISTURBANCE, WHICH SHALL BE MARKED WITH SILT FENCE, SAFETY FENCE, FENCING, OR OTHER MEANS PRIOR TO CLEARING. CONSTRUCTION ACTIVITY SHALL BE MARKED ON THE UPHILL SIDE OF THE SILT FENCE UNLESS WORK IS SPECIFICALLY CALLED FOR ON THE DOWNHILL SIDE OF THE FENCE.
8. ANTI-TRACKING PADS SHALL BE INSTALLED AT START OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION. THE LOCATION OF THE TRACKING PADS MAY CHANGE AS VARIOUS PHASES OF CONSTRUCTION ARE COMPLETED.
9. TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING. ALL EARTH STOCKPILES SHALL HAVE SILT FENCE AROUND THE LIMIT OF PILE. PILES SHALL BE TEMPORARILY SEEDDED IF PILE IS TO REMAIN IN PLACE FOR MORE THAN 2 MONTHS.
10. SEDIMENTATION BASINS SHALL PROVIDE 134 CUBIC YARDS OF SEDIMENT STORAGE PER DISTURBED ACRE CONTRIBUTING TO THE BASIN. PROVIDE BASIN VOLUMES FOR ALL DISTURBANCE ON SITE.
11. COMPLY WITH REQUIREMENTS OF CGS SECTION 22A, 430B FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES AND WITH DEEP RECORD KEEPING AND INSPECTION REQUIREMENTS.
12. MINIMIZE LAND DISTURBANCES. SEED AND MULCH DISTURBED AREAS WITH TEMPORARY MIX AS SOON AS PRACTICABLE. (2 WEEK MAXIMUM UNSTABILIZED PERIOD) USING PERENNIAL, PERGRASS AT 40 LBS PER ACRE. MULCH ALL CUT AND FILL SLOPES AND SLOPES WITH LOOSE HAY AT A RATE OF 2 TONS PER ACRE. IF NECESSARY, REPLACE LOOSE HAY ON SLOPES WITH EROSION CONTROL PLANKETS OR CLUTCH, MODERATELY GRADED AREAS, ISLANDS, AND TEMPORARY CONSTRUCTION STAGING AREAS MAY BE HYDROSEEDED WITH TACKIFIER.
13. SILT FENCE AND OTHER SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH DRAWINGS AND MANUFACTURER'S RECOMMENDATIONS PRIOR TO WORK IN ANY UPLAND AREAS.
14. EXCAVATED MATERIAL FROM TEMPORARY SEDIMENT TRAPS MUST BE STOCKPILED ON UPHILL SIDE OF SILT FENCE.
15. INSTALL SILT FENCE ACCORDING TO MANUFACTURER'S INSTRUCTION, PARTICULARLY, BURY LOWER EDGE OF FABRIC INTO GROUND. SILT FENCE SHALL BE MINAMI EQUIVALENCE, AMOCO SILT STOP, OR EQUIVALENT APPROVED BY SITE ENGINEER. FILTER FABRIC USED SHALL BE MINAMI 100X OR EQUIVALENT.
16. INSTALL TEMPORARY DIVERSION DITCHES, PLUNGE POOLS, SEDIMENT BASINS, SEDIMENT TRAPS AND DOWNSHED RITS AS SHOWN AND AS NECESSARY DURING VARIOUS PHASES OF CONSTRUCTION TO CONTROL RUNOFF UNTIL UPHILL AREAS ARE STABILIZED. LOCATION OF TEMPORARY SEDIMENT BASINS WILL REQUIRE REVIEW AND APPROVAL BY THE ENGINEER AND GOVERNING OFFICIAL.
17. DIRECT ALL DEWATERING PUMP DISCHARGE TO A SEDIMENT CONTROL DEVICE SUCH AS TEMPORARY FITS, SEDIMENT BASINS OR GRASS FILTERS WITHIN THE APPROVED LIMIT OF DISTURBANCE. DISCHARGE TO STORM SEWERS OR SURFACE WATERS FROM SEDIMENT CONTROLS SHALL BE CLEAR.
18. BLOCK THE OPEN UPSTREAM ENDS OF DETENTION PIPE SYSTEM OUTLET CONTROL OFFICE UNTIL SITE IS STABILIZED AND BLOCK END OF STORM SEWERS IN EXPOSED TRENCHES WITH BOARDS AND SANDBAGS AT THE END OF EACH WORKING DAY WHEN RAIN IS EXPECTED.
19. SWEEP AFFECTED PORTIONS OF OFF SITE ROADS ONE OR MORE TIMES A DAY (OR LESS FREQUENTLY IF TRACKING IS NOT A PROBLEM) DURING CONSTRUCTION. OTHER DUST CONTROL MEASURES TO BE USED AS NECESSARY INCLUDES WATERING DOWN DISTURBED AREAS, USING CALCIUM CHLORIDE, AND COVERING LOADS ON DUMP TRUCKS.
20. PERIODICALLY CHECK ACCUMULATED SEDIMENT LEVELS IN THE SEDIMENT TRAPS DURING CONSTRUCTION AND CLEAN ACCUMULATED SEDIMENT WHEN NECESSARY OR WHEN ONE FOOT OF SEDIMENT HAS ACCUMULATED. CLEAN ACCUMULATED SEDIMENT FROM CATCH BASIN SHUMPS AS NECESSARY. REMOVE ACCUMULATED SEDIMENT FROM BEHIND SILT FENCE WHEN LEVEL REACHES HALF THE HEIGHT OF THE FENCE. DISPOSE OF SEDIMENT LEGALLY EITHER ON SITE IN NON-WETLANDS AREAS.
21. MAINTAIN ALL PERMANENT AND TEMPORARY SEDIMENT CONTROL DEVICES IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. UPON COMPLETION OF WORK SWEEP PARKING LOT AND REMOVE ALL TEMPORARY SEDIMENT CONTROLS WHEN AUTHORIZED BY LOCAL GOVERNING AUTHORITY.
22. THE PARTY RESPONSIBLE FOR THE EROSION AND SEDIMENT CONTROL MEASURES IS CALTO DEVELOPMENT GROUP 39 FIELD STREET, TOWNSHIRE, CT 06790 PHONE: 860-280-5829
23. IF WIND EROSION OCCURS, THEN GROUND SHALL BE COVERED WITH CALCIUM CHLORIDE OR WATER TRACK APPLICATIONS AS REQUIRED TO CORRECT THE PROBLEM.

EROSION & SEDIMENT CONTROL NOTES
PREPARED FOR
CALTO DEVELOPMENT GROUP
PROPERTY LOCATED AT
WEST ROAD (RT. #93)
ELLINGTON, CONNECTICUT



HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
830 MAIN STREET, UNIT #11A
CROMWELL, CONNECTICUT 06418
PHONE: (860)-529-4812, FAX: (860)-721-7799

SCALE: 1"=40'
DATE: NOV. 20, 2024
JOB NO.: 2408
DRAWN BY: JMC
ACAD FILE: 2408-ES-11.dwg
SHEET: 8 OF 17
REVISIONS:
DATE: 11/20/2024
BY: JMC
DESC: PRELIM COMMENT



SECTION

ELEVATION

NOTE:
• POST SPACING AND EMBEDMENT VARIES BASED ON THE MANUFACTURER'S REQUIREMENTS.

SILT FENCE NO SCALE

MAINTENANCE OF SILT FENCE

INSPECT THE SILT FENCE AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.5 INCH OR GREATER TO DETERMINE MAINTENANCE NEEDS. WHEN USED FOR CONTINUING OPERATIONS, INSPECT FREQUENTLY BEFORE, DURING AND AFTER PUMPING OPERATIONS.

REMOVE THE SEDIMENT DEPOSITS OR, IF ROOM ALLOWS, INSTALL A SECONDARY SEDIMENT FENCE UP SLOPE OF THE EXISTING FENCE WHEN SEDIMENT DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE EXISTING FENCE.

REPLACE OR REPAIR THE FENCE WITHIN 24 HOURS OF OBSERVED FAILURE. FAILURE OF THE FENCE HAS OCCURRED WHEN SEDIMENT FAILS TO BE RETAINED BY THE FENCE BECAUSE:

(A) THE FENCE HAS BEEN MOVED TOPPED, UNDERCUT OR BYPASSED BY RUNOFF WATER.

(B) THE FENCE HAS BEEN MOVED OUT OF POSITION (KNOCKED OVER), OR

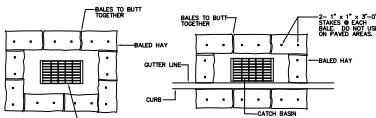
(C) THE GEOTEXTILE HAS DECOMPOSED OF BEEN DAMAGED.

WHEN REPETITIVE FAILURES OCCUR AT THE SAME LOCATION, REVIEW CONDITIONS AND LIMITATION FOR USE AND DETERMINE IF ADDITIONAL CONTROLS (e.g., TEMPORARY STABILIZATION OF CONTRIBUTING AREA, DIVERSIONS, STONE BARRIERS) ARE NEEDED TO REDUCE FAILURE RATE OR REPLACE FENCE.

MAINTAIN THE FENCE UNTIL THE CONTRIBUTING AREA IS STABILIZED.

AFTER THE CONTRIBUTING AREA IS STABILIZED DETERMINE IF SEDIMENT CONTAINED BY THE SILT FENCE REQUIRES REMOVAL OR RESEEDING AND STABILIZATION. IF THE DEPTH IS GREATER THAN OR EQUAL TO 6 INCHES, RESEEDING OR REMOVAL OF THE ACCUMULATED SEDIMENT IS REQUIRED. NO REMOVAL OR RESEEDING IS REQUIRED IF SEDIMENT DEPTH IS LESS THAN 6 INCHES.

REMOVE THE FENCE BY PULLING UP THE SUPPORT POSTS AND CUTTING THE GEOTEXTILE AT GROUND LEVEL. RESEED OR REMOVE SEDIMENT AS NEEDED, AND STABILIZE DISTURBED SOILS.



CATCH BASIN WITHOUT CURB

CATCH BASIN WITH CURB

SEDIMENTATION CONTROL BALES NO SCALE

MAINTENANCE OF HAY BALE CHECK DAM

INSPECT THE HAY BALE CHECK DAM AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.5 INCHES OR GREATER TO DETERMINE MAINTENANCE NEEDS. FOR DE WATERING OPERATIONS AND, INSPECT FREQUENTLY BEFORE, DURING AND AFTER PUMPING OPERATIONS.

REMOVE THE SEDIMENT DEPOSITS OR INSTALL A SECONDARY BARRIER WHEN SEDIMENT DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. REPLACE OR REPAIR THE BARRIER WITHIN 24 HOURS OF OBSERVED FAILURE. FAILURE OF THE BARRIER HAS OCCURRED WHEN SEDIMENT FAILS TO BE RETAINED BY THE BARRIER BECAUSE:

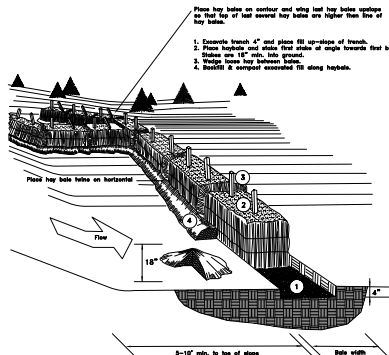
A) THE BARRIER HAS BEEN OVERTOPPED, UNDERCUT, OR BYPASSED BY RUNOFF WATER.

B) THE BARRIER HAS BEEN MOVED OUT OF POSITION.

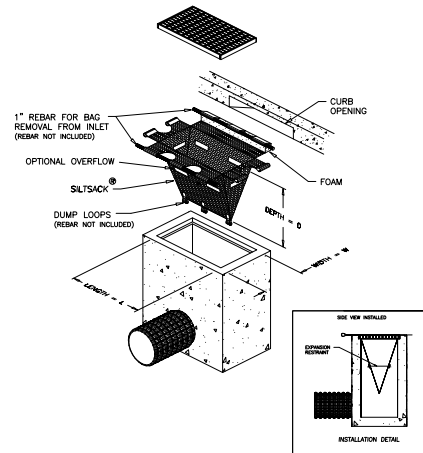
C) THE HAY BALES HAVE DETERIORATED.

WHEN REPETITIVE FAILURE OCCURS AT THE SAME LOCATION REVIEW CONDITIONS AND LIMITATIONS FOR USE AND DETERMINE IF ADDITIONAL CONTROLS ARE NEEDED TO REDUCE FAILURE RATE OR REPLACE HAY BALE BARRIER.

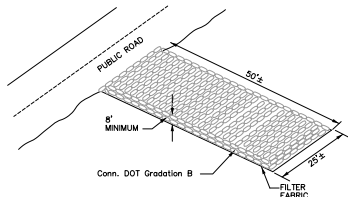
MAINTAIN HAY BALE BARRIER UNTIL CONTRIBUTING AREA IS STABILIZED. AFTER UPSLOPE AREAS HAVE BEEN STABILIZED PULL THE STAKES OUT OF THE MATERIALS. UNLESS OTHERWISE REQUIRED NO REMOVAL OF OR RESEEDING OF ACCUMULATED SEDIMENT IS NECESSARY. THE HAY BALES MAY THEN BE LEFT IN PLACE OR BROKEN UP FOR GROUND COVER.



TOE OF SLOPE HAY BALE BARRIER NO SCALE



DETAIL OF INLET SEDIMENT CONTROL DEVICE WITH CURB DEFLECTOR

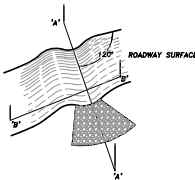


CONSTRUCTION ENTRANCE NO SCALE

MAINTENANCE OF CONSTRUCTION ENTRANCE

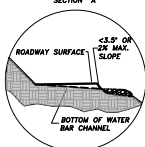
MAINTAIN THE ENTRANCE IN A CONDITION WHICH WILL PREVENT TRACKING AND WASHING OF SEDIMENT ONTO PAVED SURFACES. PROVIDE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDITIONAL LENGTH AS CONDITIONS DEMAND. REPAIR ANY TEARS OR DAMAGE TO THE ENTRANCE. REMOVE ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PAVED SURFACES. HOUSES ADJACENT TO A CONSTRUCTION SITE SHALL BE LEFT CLEAN AT THE END OF EACH DAY.

IF THE CONSTRUCTION ENTRANCE IS BEING PROPERLY MAINTAINED AND THE ACTION OF VEHICLE TRAVELING OVER THE STONE PAD IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF THE SEDIMENT, THEN EITHER (1) INCREASE THE LENGTH OF THE CONSTRUCTION ENTRANCE, (2) MODIFY THE CONSTRUCTION ACCESS ROAD SURFACE, OR (3) INSTALL WASHING BAYS AND ASSOCIATED SETTLING AREA OR SIMILAR DEVICES BEFORE THE VEHICLE ENTERS A PAVED AREA.



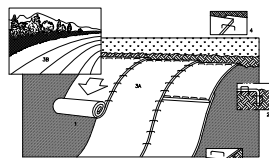
SECTION "A-A"

SECTION "B-B"



WATER BAR DETAIL
(N.T.S.)

SLOPE INSTALLATION

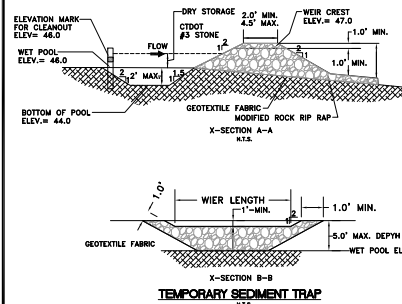


NOTE: REFER TO GENERAL SUPPLY PATTERN GUIDE FOR CORRECT SLOPE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

1. PREPARE SLOPE BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF SOIL FERTILIZER, AND SEED. NOTE: WHEN USING SLOPE-TO-SOIL DO NOT ADD PREPARED AREA CELL-TO-CELL. MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 4" DEEP X 4" WIDE TRENCH. UNROLL AND COMPACT THE TRENCH AFTER STAKING.
3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPREAD DOWN THE SLOPE, PLACE BLANKETS END TO END (OR OVERLAP) APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAP AREA APPROXIMATELY 12" APART.



14808 HIGHWAY 41 NORTH, EDWARDSVILLE, INDIANA 47121
1-800-772-2200 FAX: 1-800-438-2200



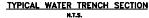
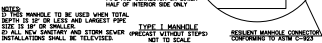
TEMPORARY SEDIMENT TRAP N.T.S.

SCALE: 1"=40'	CHECKED BY: JPC
DATE: NOV. 20, 2024	DRAWN BY: JPC
JOB NO.: 2408	ACAD FILE: 2408-DCT
SHEET: 10	OF 17
REVISIONS:	NOV. 2024 PER TOWN CLERK
	JAN. 10, 2025 PER P&E COMMENT

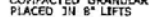
HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
830 MAIN STREET, UNIT #1A
CROMWELL, CONNECTICUT 06418
PHONE: (860)-529-8812 FAX: (860)-721-7709

**SITE DETAILS
PREPARED FOR
CALITO DEVELOPMENT GROUP
PROPERTY LOCATED AT
WEST ROAD (RT. #83)
ELLINGTON, CONNECTICUT**

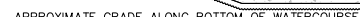




RIPRAP SCOUR HOLE #1 DETAIL

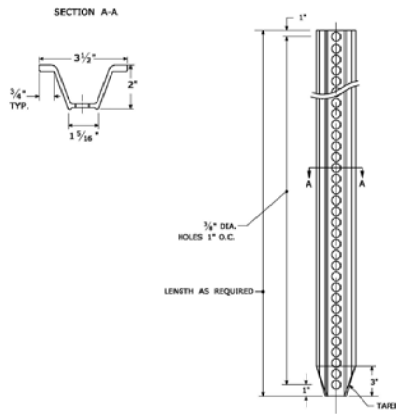


**PERMANENT PAVEMENT REPAIR WITHOUT MILLING
- THROUGH PORTLAND CEMENT CONCRETE
OR BITUMINOUS CONCRETE PAVEMENT**

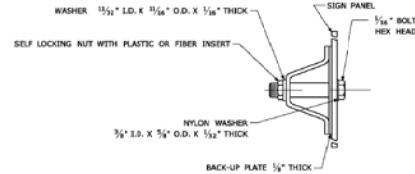


RIPRAP SCOUR HOLE #2 DETAIL

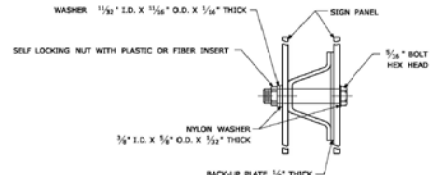
TYPICAL METAL SIGN POSTS



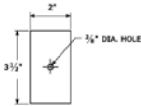
TYPICAL SIGN PANEL ATTACHMENT



TYPICAL BACK TO BACK SIGN PANEL ATTACHMENT

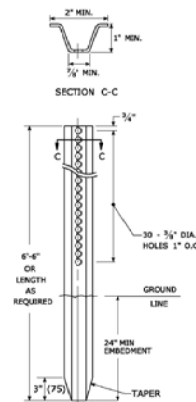


TYPICAL BACK-UP PLATE



BOLTS - STAINLESS STEEL CONFORMING TO ASTM F303, ALLOY GROUP 1 OR 2 (ALLOY TYPES 304 OR 316).
SELF LOCKING NUTS - STAINLESS STEEL CONFORMING TO ASTM F394, ALLOY GROUP 1 OR 2 (ALLOY TYPES 304 OR 316).
WASHERS - STAINLESS STEEL CONFORMING TO ASTM A240, (ALLOY TYPES 304 OR 316).

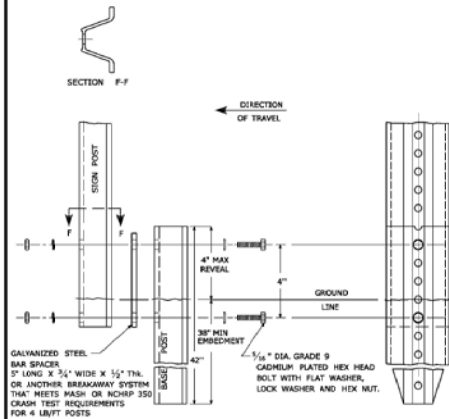
METAL DELINEATOR POST WT./FT. = 1.12 LBS./FT. MIN.



GENERAL NOTES:

1. STEEL FOR DELINEATOR POSTS SHALL BE ASTM A36 STEEL. STEEL FOR ALL OTHER POSTS SHALL CONFORM TO THE MECHANICAL REQUIREMENTS OF ASTM A 499 GRADE 80 AND TO THE CHEMICAL REQUIREMENTS OF ASTM A1 CARBON STEEL TEE RAIL HAVING NOMINAL WEIGHT (MASS) OF 91 LBS. OR GREATER PER LINEAR YARD.
2. AFTER FABRICATION, ALL STEEL POSTS, STRAPS AND PLATES SHALL BE GALVANIZED TO MEET THE REQUIREMENTS OF ASTM A123.
3. WASHERS FOR BREAKAWAY INSTALLATIONS SHALL MEET ASTM F436, TYPE 1.
4. SPACER BAR FOR BREAKAWAY INSTALLATION SHALL CONFORM TO THE MECHANICAL REQUIREMENTS OF ASTM A36.
5. ALL BOLTS, NUTS, AND WASHERS FOR BREAKAWAY INSTALLATIONS SHALL BE GALVANIZED TO MEET THE REQUIREMENTS OF ASTM A153.
6. ALL SIGN POSTS SHALL HAVE BREAKAWAY FEATURES THAT MEET AASHTO REQUIREMENTS CONTAINED IN THE CURRENT "STANDARD SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINAIRES AND TRAFFIC SIGNALS." THE BREAKAWAY FEATURES SHALL BE STRUCTURALLY ADEQUATE TO CARRY THE SIGNS SHOWN IN THE PLANS AT 60 mph WIND LOADINGS. INSTALLATIONS SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
7. SIGN POSTS SHALL BE 4 LBS./FT.

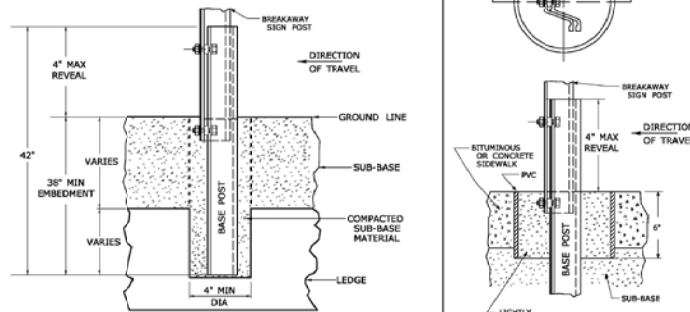
BREAKAWAY INSTALLATION FOR 4 LBS./FT. POSTS



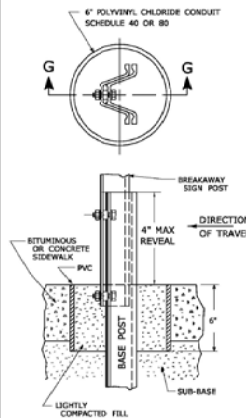
GALVANIZED STEEL
SPACER
5" LONG X 3/4" WIDE X 1/2" THK.
OR ANOTHER BREAKAWAY SYSTEM
THAT MEETS MASH OR NCHRP 350
CRASH TEST REQUIREMENTS
FOR 4 LB/FT. POSTS

TYPICAL SIGN POST INSTALLATION IN LEDGE

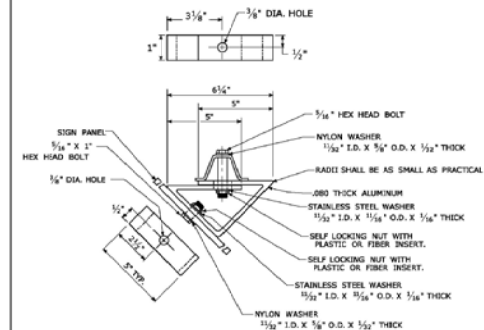
LEDGE SHALL BE REMOVED TO DRIVE THE BASE POST TO A DEPTH OF 38".
HOLE SHALL BE FILLED WITH SUB-BASE MATERIAL AND COMPACTED WITH A TAMPING BAR, OR TECHNIQUE APPROVED BY THE ENGINEER, PRIOR TO BASE POST INSTALLATION.



TYPICAL SLEEVE FOR PAVED AREAS



45° MOUNTING BRACKET FOR INSTALLATION OF PARKING SIGNS



REV.	DATE	REVISION DESCRIPTION
2	6-2017	SIGN POST REVISIONS.
1	2-2011	MINOR REVISIONS.

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Printed Date: 6/9/2017

NOT TO SCALE



Telephone: 1-800-332-7677, 2017-07-20, Revision 001 Model: 16-1208-02

SUBMITTED BY: [Signature]
DESIGNED BY: [Signature]
CHECKED BY: [Signature]
APPROVED BY: [Signature]
Gregory M. Donahue, P.E.
2017-06-15 10:27:20 04/07

CTDOT
STANDARD SHEET
OFFICE OF ENGINEERING

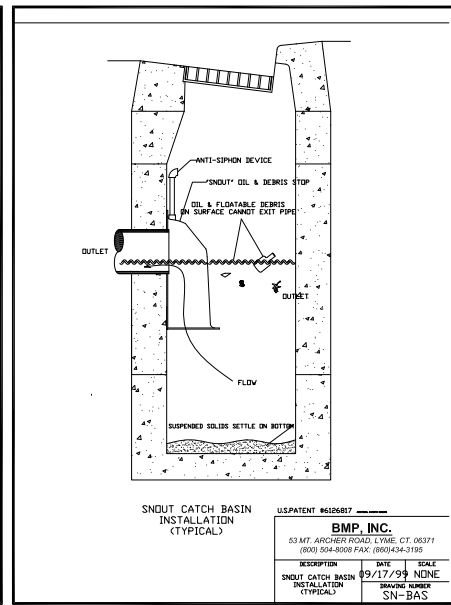
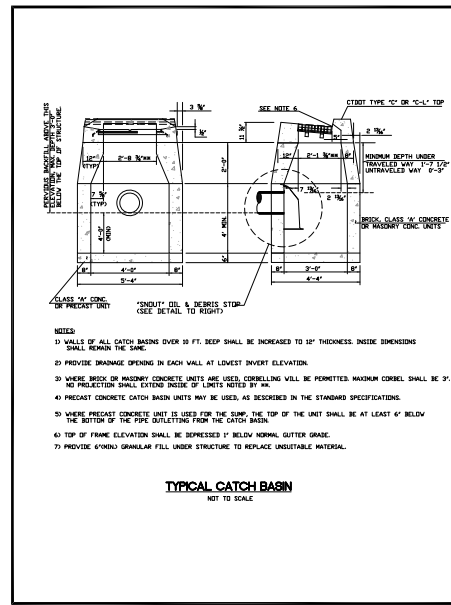
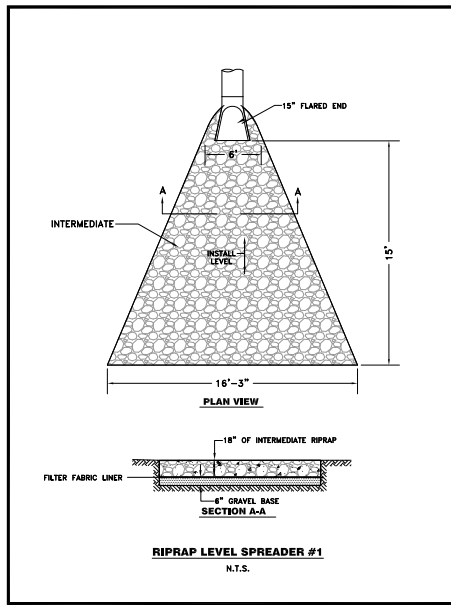
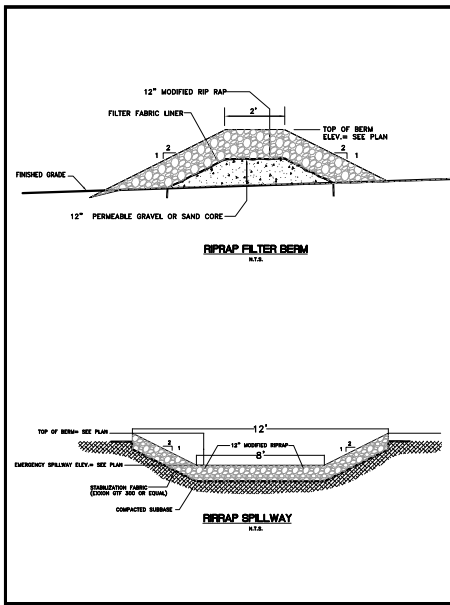
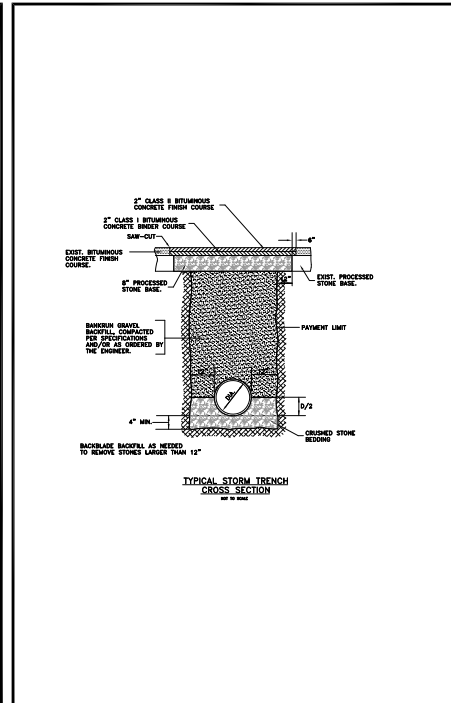
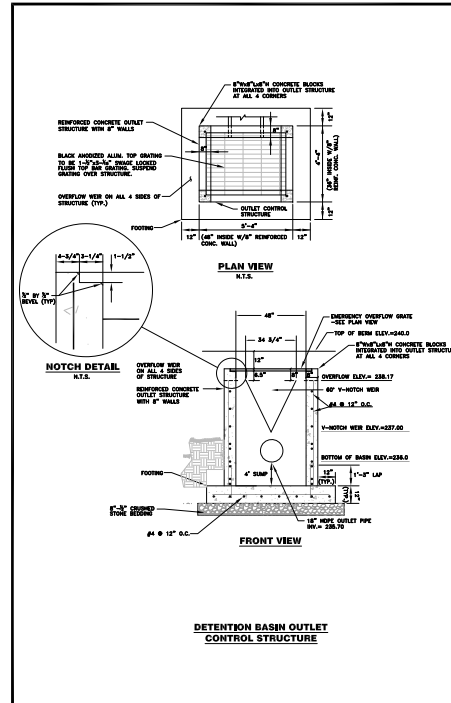
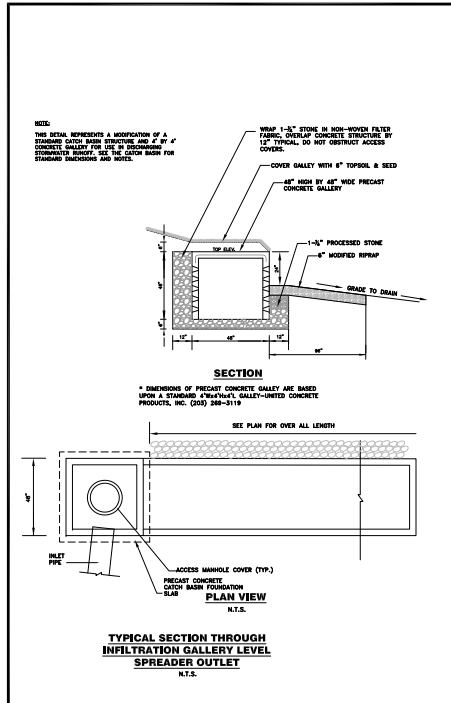
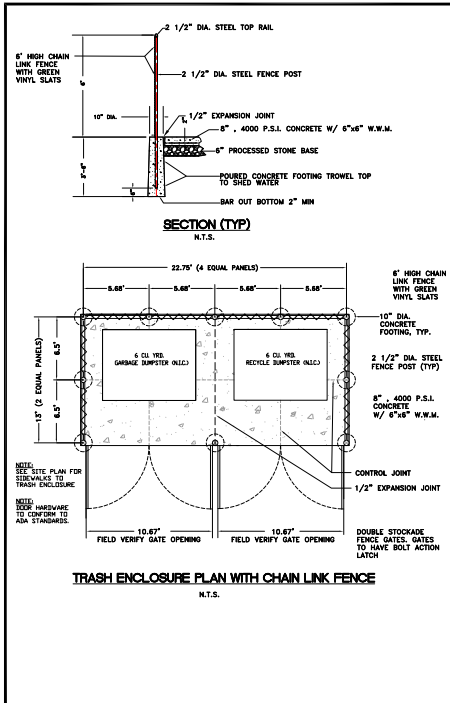
STANDARD SHEET TITLE	SHEET NO.
METAL SIGN POSTS AND SIGN MOUNTING DETAILS	TR-1208_02

SCALE: 1"=4'-0"
DATE: NOV. 20, 2024
JOB NO.: 2408
SHEET: 13 OF 17
REVISIONS:
NOV. 10, 2025 PER TOWN CLERK

HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
830 MAIN STREET, UNIT #1A
CROMWELL, CONNECTICUT 06418
PHONE: (860)-529-8812 FAX: (860)-721-7709

SITE DETAILS
PREPARED FOR
CALITO DEVELOPMENT GROUP
PROPERTY LOCATED AT
WEST ROAD (RT. #83)
ELLINGTON, CONNECTICUT





SCALE: 1"=4'-0"

CHECKED BY: JPC

DATE: NOV. 20, 2024

DRAWN BY: JPC

JOB NO.: 2408

ACAD FILE: 2408-DCT

SHEET: 15 OF 17

REVISIONS:

NO. 1: 11/20/24

NO. 2: 11/20/24

NO. 3: 11/20/24

NO. 4: 11/20/24

NO. 5: 11/20/24

NO. 6: 11/20/24

NO. 7: 11/20/24

NO. 8: 11/20/24

NO. 9: 11/20/24

NO. 10: 11/20/24

NO. 11: 11/20/24

NO. 12: 11/20/24

NO. 13: 11/20/24

NO. 14: 11/20/24

NO. 15: 11/20/24

NO. 16: 11/20/24

NO. 17: 11/20/24

HALLISEY, PEARSON & CASSIDY

CIVIL ENGINEERS & LAND SURVEYORS

830 MAIN STREET, UNIT #1A

CROMWELL, CONNECTICUT 06418

PHONE: (860)-529-4412 FAX: (860)-721-7709

SITE DETAILS

PREPARED FOR

CALITO DEVELOPMENT GROUP

PROPERTY LOCATED AT

WEST ROAD (RT. #83)

ELLINGTON, CONNECTICUT

U.S. PATENT #6126817

BMP, INC.

53 MT. ARCHER ROAD, LYME, CT 06371

(860) 534-8009 FAX: (860) 534-3155

DESCRIPTION: SNOUT CATCH BASIN INSTALLATION (TYPICAL)

DATE: 9/17/99

SCALE: NONE

DRAWING NUMBER: SN-BAS



2. DEPTHS OF SLEEVES SHALL BE AS SHOWN ON DRAWINGS.

3. SLEEVES TRENCHES MAY BE EXCAVATED DEEPER THAN TRENCH WIDTH ABOVE THE "LINE OF NARROW TRENCH LIMIT" AT THE CONTRACTORS DISCRETION.

4. BELOW THE LINE OF NARROW TRENCH LIMIT THE TRENCH SHALL NOT BE EXCAVATED BEYOND THE TRENCH WIDTH.

IF EXCAVATION AND BACKFILL BELOW LIMIT, DEPTH IS REQUIRED, SHEETING MAY BE ORDERED.

5. SHEETING, IF USED, IN ALL CASES SHALL BE NORMALLY PLACED BELOW THE "LINE OF" ABOVE THE TOP OF THE SLEEVES PIPE, UNLESS OTHERWISE INDICATED OR DIRECTED BY THE ENGINEER.

6. ALL BUSH WITHIN 3'-0" HORIZONTALLY OF THE ENDS OF BRIDGING CONNECTIONS, BRANCHES AND STUBS SHALL BE CUT TO A HORIZONTAL PLANE 4" BELOW THE BOTTOM OF SUCH TRENCH SHALL BE REMOVED.

7. TRENCH WIDTHS AND PAYMENT LIMIT SHALL BE AS FOLLOWS:

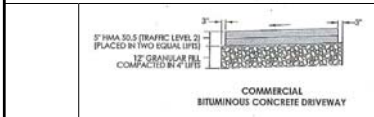
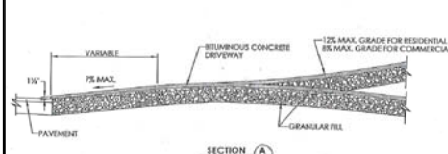
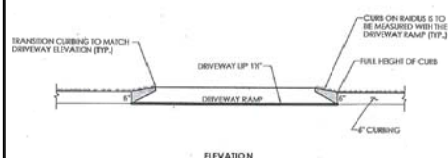
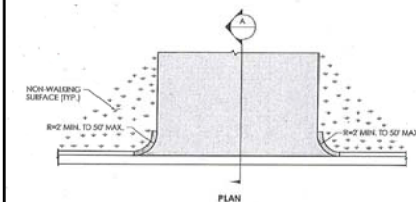
NUMBER OF PIPES IN TRENCH	DIAMETER PIPE "a"	TRENCH WIDTH "b"	PAYMENT LIMIT
ONE	12" & SMALLER	4'-0"	4'-0"
TWO	12" & SMALLER	7'-0"	7'-0"

8. WHERE CONNECTION IS CALLED FOR BY THE PLANS, OR WHEN DIRECTED BY THE ENGINEER, REPLACE BESSING AND BACKFILL, BELOW THE LINE OF NARROW TRENCH LIMIT WITH CLASS 2 MATERIAL.

9. SLEEVES MARKING SHALL BE INSTALLED A MINIMUM OF 18" ABOVE THE GRAVITY AND SERVICE CONNECTION PIPE.

10. ELEVATION ABOVE SLEEVES EXTENSION PIPE AND SERVICE CONNECTION PIPE SHALL BE OBTAINED FROM THE TOP OF THE PIPES BESSING AS SHOWN ON THE DETAILS.

NUMBER OF PIPE IN TRENCH	DIAMETER PIPE "Ø"	TRENCH WIDTH "W"	PAYMENT LIMIT
ONE	12" AND SMALLER	4'-0"	4'-0"
TWO	12" AND SMALLER	7'-0"	7'-0"

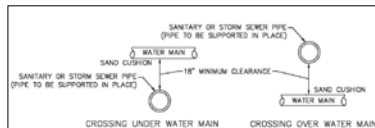


1. MINIMUM PIPE SIZE TO BE INSTALLED IN 60" PRECAST MANHOLE BASE SHALL BE 24".
2. REFER TO SPECIFICATIONS FOR SLOPE, STRENGTH AND COMPACTING REQUIREMENTS AROUND SEWER MANHOLES.
(This does not replace plans or specifications for design or design details.)
3. INVERT THROUGH THE MANHOLE SHALL HAVE A UNIFORM GRADE OF MINIMUM 0.10 FEET BETWEEN THE INVERTS OF THE INLET AND OUTLET PIPES. INVERTS SHALL BE FIELD FORMED AND NOT FORMED IN SHOP/YARD.
4. MAXIMUM DIFFERENCE IN ELEVATION BETWEEN THE INVERT OF THE TRIBUTARY INLET AND THE MANHOLE INVERT SHALL BE 18 INCHES. ELEVATION DIFFERENCES GREATER THAN 18 INCHES WILL REQUIRE A DROP CHUTE CONNECTION.
5. DISTANCE FROM TOP OF MANHOLE COVER TO FIRST PLASTIC STEP SHALL BE BETWEEN 12" AND 18".

TYPE IV PRECAST CONCRETE DROP MANHOLE

SANITARY SEWER DROP MANHOLE/INVERT DETAIL

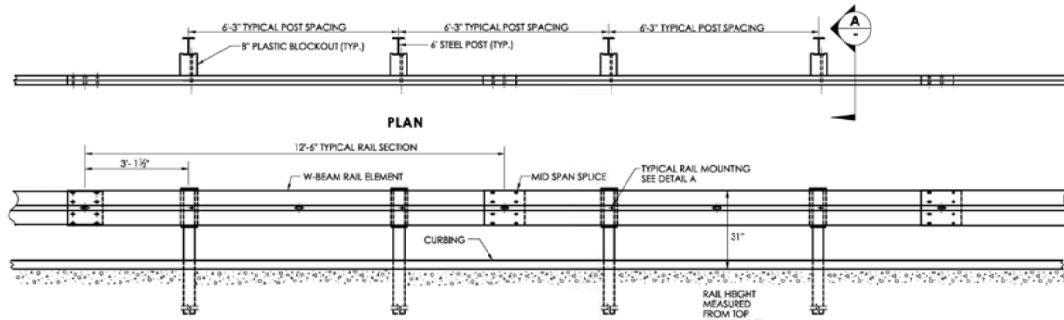
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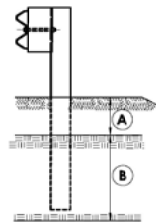
WATER MAIN AND SEWER PIPE CROSSINGS

SCALE; NOT TO SCALE

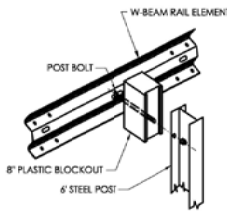




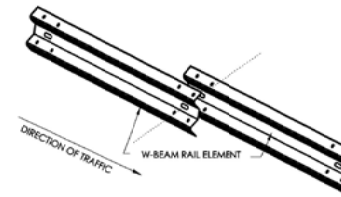
ELEVATION
METAL BEAM RAIL (R-B MASH) GUIDRAIL



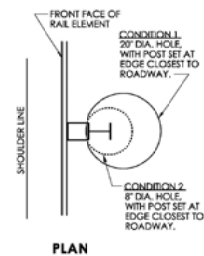
ELEVATION



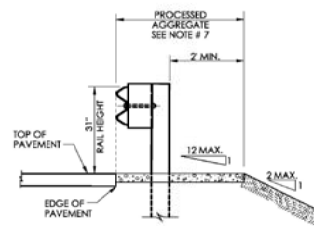
DETAIL A
RAIL MOUNTING



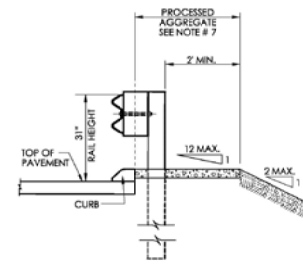
LAP W-BEAM RAIL SECTIONS
NOTE: EIGHT (8) SPlice BOLTS PER JOINT



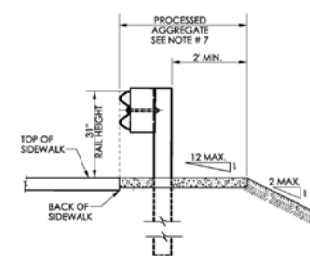
PLAN
GUIDRAIL POSTS IN ROCK



SECTION A
NO CURB APPLICATION



SECTION A
CURB APPLICATION



SECTION A
SIDEWALK APPLICATION

GENERAL NOTES:

1. SEE SHEET HW-910_20 FOR MASH W-BEAM HARDWARE AND W-BEAM DELINEATOR DETAILS.
2. THREE BLOCKOUTS MAY BE USED FOR ONE POST ONLY. TWO BLOCKOUTS MAY BE USED FOR A SERIES OF POSTS. THE COST OF ADDITIONAL BLOCKOUTS AND LONGER BOLTS SHALL BE INCLUDED IN THE PRICE PER FOOT OF GUIDRAIL. EXTRA BLOCKOUTS AT TRANSITIONS TO BRIDGE PARAPETS SHOULD BE AVOIDED. DO NOT USE ADDITIONAL BLOCKS IF IT CAUSES THE POST TO BE DRIVEN BEYOND AN EMBANKMENT HINGE POINT OR CAUSES A FIXED OBJECT TO BE WITHIN THE DEFLECTION DISTANCE OF THE BARBERS.
3. IF BLOCKOUTS DO NOT AVOID POST FROM OBSTRUCTION, ONE POST MAY BE OMITTED IF 50 FEET OF GUIDRAIL EXISTS ON BOTH SIDES OF LOCATION. USE METAL BEAM RAIL SPAN SECTION TYPE II OR III FOR MORE THAN ONE CONSECUTIVE OMITTED POST, SEE SHEET HW-910_24.
4. W-BEAM GUIDRAIL MAY BE PLACED 1' OR MORE FROM THE EDGE OF PAVEMENT ONLY ON SLOPES 10:1 OR FLATTER AND WITHOUT CURBING.
5. IF THE RAIL IS INSTALLED WITHIN 2' OF THE EDGE OF PAVEMENT, THE RAIL HEIGHT IS MEASURED FROM THE SHOULDER SLOPE EXTENDED TO THE RAIL. IF THE RAIL IS INSTALLED BEYOND 2' FROM THE EDGE OF PAVEMENT, THE RAIL HEIGHT IS MEASURED FROM THE GROUND DIRECTLY BELOW THE RAIL.
6. RAIL HEIGHT CONSTRUCTION TOLERANCE IS +/- 1 INCH.
7. FOR NEW CONSTRUCTION, PLACE 6 INCH LAYER OF PROCESSED AGGREGATE. FOR CONSTRUCTION PROJECTS WITH GUIDRAIL UPGRADE, THE CONTRACT PLANS MAY CALL OUT PROCESSED AGGREGATE ONLY TO BE PLACED IN LOCATIONS OF EXISTING VERTICAL PAVEMENT EDGE DROP OFF AS A LEVELING MATERIAL, FILLING IN DEPRESSED AREAS.

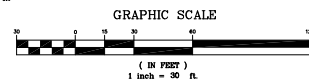
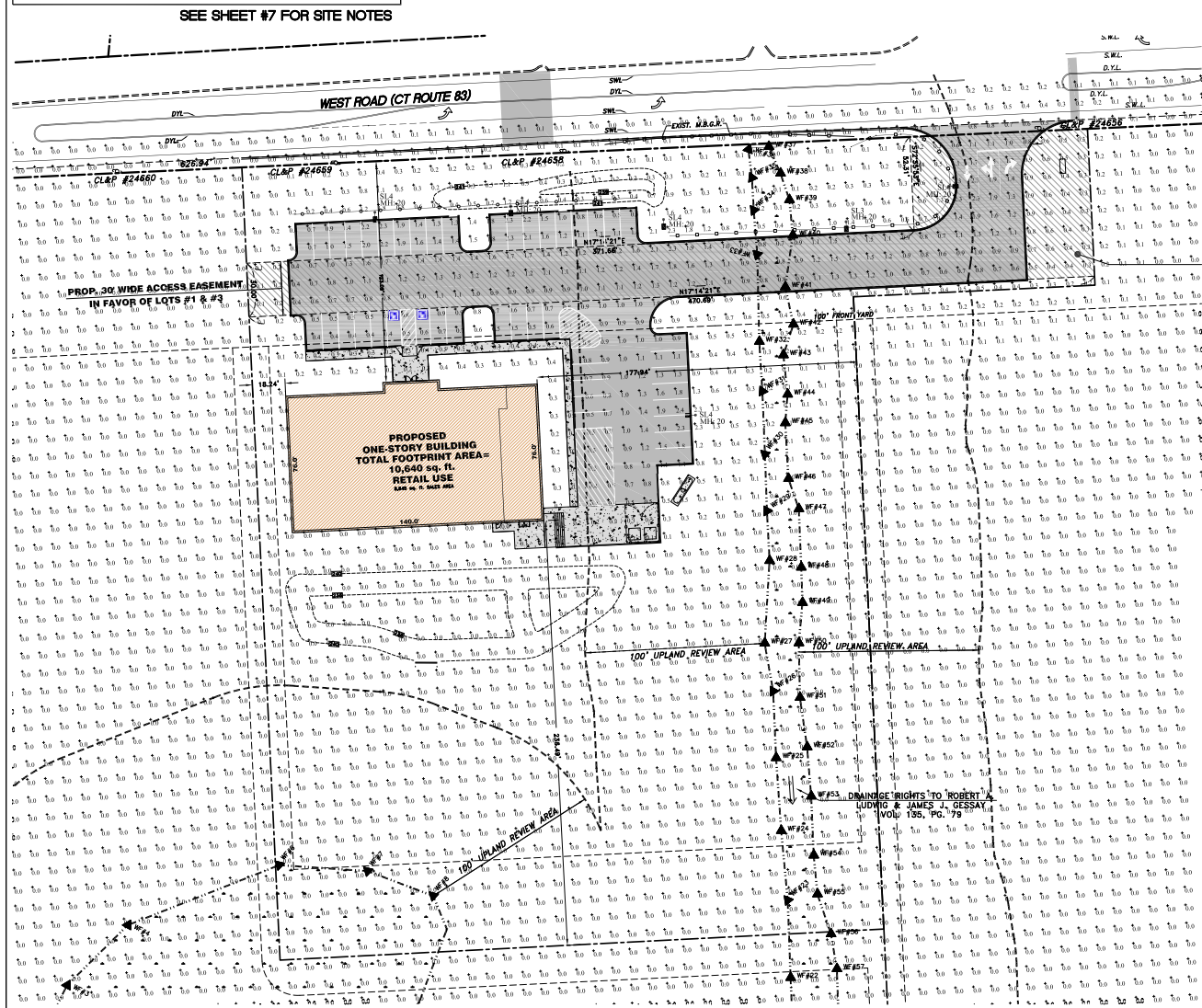
SCALE: 1"=40'	CHECKED BY: JPC
DATE: NOV. 20, 2024	DRAWN BY: JAP
JOB NO.: 2408	ACAD FILE: 2408-DCT
SHEET: 17	OF: 17
REVISIONS:	NOV. 20, 2024 FOR TOWN BOARD
DATE: 10/20/2024	FILE: 2024-P21-P22 COMMENT


HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
830 MAIN STREET, UNIT #1A
CROMWELL, CONNECTICUT 06418
PHONE: (860)-529-4812 FAX: (860)-721-7709

SITE DETAILS
PREPARED FOR
CALITO DEVELOPMENT GROUP
PROPERTY LOCATED AT
WEST ROAD (RT. #83)
ELLINGTON, CONNECTICUT



NOT TO SCALE	SIGNATURE BLOCK OFFICE OF ENGINEERING 2800 MAIN TURNPIKE NEWINGTON, CT 06111	SUBMITTED BY: DESIGNED BY: CHECKED BY: DATE: 11/08/23	APPROVED BY: Michael B. Cassidy, P.E. DATE: 11/08/23	STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION	CTDOT STANDARD SHEET	STANDARD SHEET TITLE: METAL BEAM RAIL (R-B MASH) GUIDRAIL	STANDARD SHEET NO.: HW- 910_21
--------------	---	--	--	--	-------------------------	--	-----------------------------------




LITHONIA LIGHTING

FEATURES & SPECIFICATIONS

COMPACT – Compact design allows for easy installation. New compact design allows for easy installation in a 1/2" deep mounting track. The unit provides excellent and efficient lighting conditions in small to medium spaces.

TRACK DIM

TRACK DIM – Track length of 1000mm (39.37") allows for easy installation in a 1/2" deep mounting track. The unit provides excellent and efficient lighting conditions in small to medium spaces. The unit is available in 1000mm (39.37") and 1500mm (59.06") track lengths. The unit is available in 1000mm (39.37") and 1500mm (59.06") track lengths. The unit is available in 1000mm (39.37") and 1500mm (59.06") track lengths.

NEW TRACK DIM – The new track dimmer, 4000K equivalent warm white LED light source is available in 1000mm (39.37") and 1500mm (59.06") track lengths. The unit is available in 1000mm (39.37") and 1500mm (59.06") track lengths. The unit is available in 1000mm (39.37") and 1500mm (59.06") track lengths. The unit is available in 1000mm (39.37") and 1500mm (59.06") track lengths.

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Anti-Rattle Noise

SSS

DOOR HANG STUD



10/2018

PAGE 10

[illegible][illegible]

Calculation Summary						
	Label	Calc Type	Units	Avg	Max	Min
ENTRY DRIVE	ILLUMINANCE	ILLUMINANCE	fc	0.11	2.4	0.0
						N/A
						N/A
	ILLUMINANCE	ILLUMINANCE	fc	0.99	2.3	0.3
						3.30
						7.67
						N/A

Website : www.lightingaffiliates.com
Voice Number : (860) 721-1171 x 219
Email : elboda@lightingaffiliates.com

SITE LIGHTING PLAN
PREPARED FOR
CALITO DEVELOPMENT GROUP
PROPERTY LOCATED AT
WEST ROAD (RT. #83)
WELLINGTON, CONNECTICUT

HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROMWELL, CONNECTICUT 06416
PHONE: (860)-529-6812, FAX: (860)-721-7709



N/F
KENYON P. & KIMBERLY SHORES
#185 WEST ROAD

WEST ROAD (CT ROUTE 83)

PROPOSED ONE-STORY BUILDING
TOTAL FOOTPRINT AREA =
10,640 sq. ft.
RETAIL USE
1,948 sq. ft. 300 VEH.

WETLANDS ACTIVITY
FOR CONSTRUCTION OF DRIVEWAY
WETLANDS CROSSING AND
NEW CULVERTS BELOW
AREA=5.148 sq. ft. OR 0.0483 acres

UPLAND REVIEW AREA ACTIVITY
FOR GRADING, CONSTRUCTION OF
PARKING LOT/DRIVE ISLES AND
CONSTRUCTION OF STORMWATER BASIN
AREA=34.303 sq. ft. OR 0.7875 acres

PROPERTY ID: 048 003 0002
N/F
ABDUSALAM M. ALSALEH & ZAK SMITH
TOTAL AREA=
20.98 acres
OR
913,889 sq. ft.

GRAPHIC SCALE
(IN FEET)
1 inch = 30 ft.

LEGEND

EXISTING PROPERTY LINE	PROPOSED DRAINAGE SYSTEM
EXISTING EDGE OF PAVEMENT	PROPOSED WATER MAIN
BORN FOR OR BORN PIPE FOUND	PROPOSED PROPERTY LINE
CONE MONUMENT OR CHD PIN	PROPOSED TREE LINE
EXISTING TRAIL LINE	PROPOSED WET. CLUD
EXISTING TELEPHONE POLE	AREA OF LIGHT DUTY FILL
EXISTING HT. CORNER	AREA OF HEAVY DUTY FILL
EXISTING STONE DRAINAGE SYSTEM	PROPOSED CONCRETE
EXISTING WATER MAIN	
SOIL TEST LOCATION	
EXISTING FENCE	

LIMITS OF WETLANDS AS DELINEATED
IN THE FIELD BY DAVIDSON ENVIRONMENTAL
ON APRIL 05, 2024 AND LOCATED
BY ACCURATE SURVEY

0002
SALEH

#175 WEST ROAD

SCALE: 1"=30'	CHECKED BY: JPC
DRAWN BY: JMP	
DATE: NOV. 20, 2024	
JOB NO.: 3486	ACAD FILE: 3486-TM-1
SHEET: TM-2 OF: 2	
REVISIONS: DEC. 17, 2024 PER TOWN COMMENT JAN. 10, 2025 PER P&Z COMMENT	



HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROWWELL, CONNECTICUT 06418
PHONE: (860)-529-8812, FAX: (860)-721-7709

DELIVERY TRUCK TURNING MANEUVER PLAN

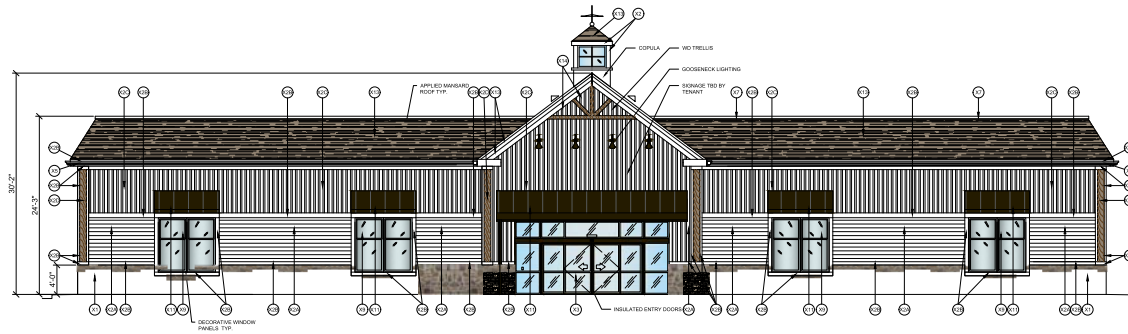
PREPARED FOR
CALITO DEVELOPMENT GROUP
PROPERTY LOCATED AT
WEST ROAD (RT. #83)
ELLINGTON, CONNECTICUT

PROPERTY ID: 046 003 0002
N/F
**ABDULSALAM M. ALSALEH
& ZAK SMITH**
TOTAL AREA=
20.98 acres
OR
913.889 sq. ft.

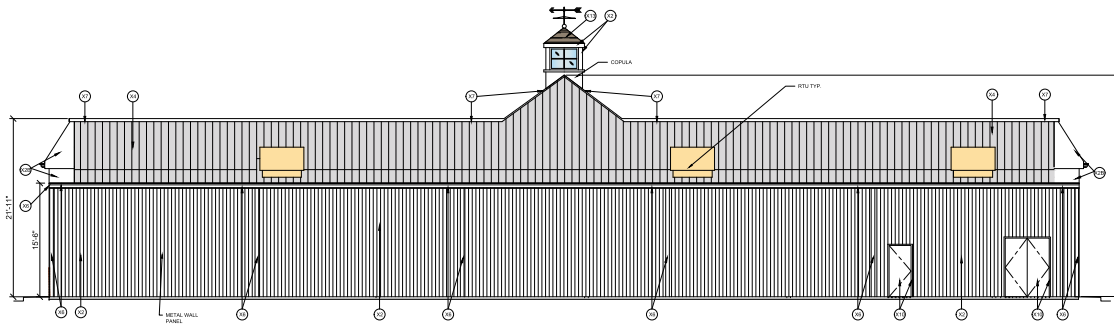
LEGEND

	EXISTING PROPERTY LINE		PROPOSED STREET DRAINAGE SYSTEM
	EXISTING GRADE OF PAVEMENT		PROPOSED WATER MAIN
	IRON PIPE OR IRON PIPE TRENCH		PROPOSED PROPERTY LINE
	CONC. MANHOLE OR CURB AND GULLY		PROPOSED STREET LINE
	EXISTING STREET LINE		PROPOSED BIT. CURB
	EXISTING TELEPHONE POLE		AREA OF LAWN DUTY PAVEMENT
	EXISTING BIT. CURB		AREA OF HEAVY DUTY PAVEMENT
	EXISTING STREET DRAINAGE SYSTEM		PROPOSED CONCRETE
	EXISTING WATER MAIN		
	SOIL TEST LOCATION		
	EXISTING FENCE		

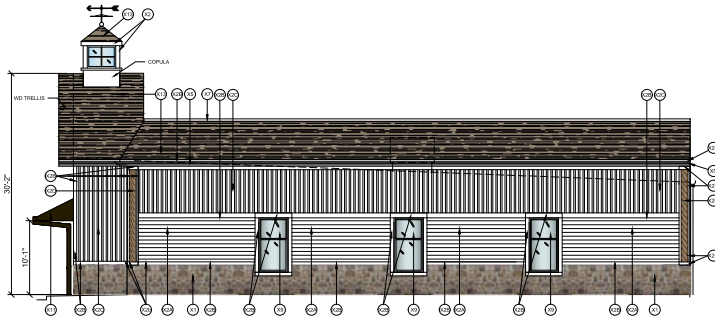




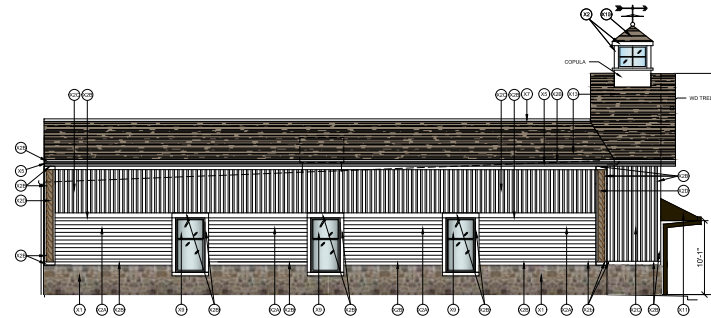
1 PROPOSED FRONT ELEVATION (West Rd)
SCALE: 1/8"=1'-0"



2 PROPOSED REAR ELEVATION
SCALE: 1/8"=1'-0"

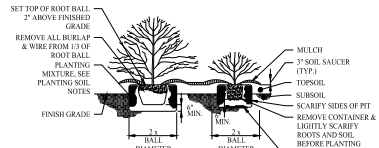


3 PROPOSED RIGHT SIDE ELEVATION
SCALE: 1/8"=1'-0"



4 PROPOSED LEFT SIDE ELEVATION
SCALE: 1/8"=1'-0"

EXTERIOR FINISH SCHEDULE			
TAG	MATERIAL/ MFG.	COLOR/ NO.	NOTES
K1	CULTURED STONE WAINSCOT	COLOR: PALISADES	DEL-MAR ANCIENT VILLA LEDGESTONE
K2	STANDARD METAL PANEL	COLOR: POLAR WHITE	FINISH BY PEMB
K2A	HARDIE BOARD	COLOR: ARCTIC WHITE	PRE-FINISHED
K2B	HARDIE TRIM	COLOR: ARCTIC WHITE	PRE-FINISHED
K2C	VERTICAL BATTON HARDIE BOARD	COLOR: ARCTIC WHITE	PRE-FINISHED
K2D	FINISHED PLWD	COLOR: LT BROWN STAIN	PRE-FINISHED WOOD GRAIN
K3	STANDARD ENTRY DOORS	COLOR: DARK BRONZE	PRE-FINISHED
K4	STANDARD METAL ROOF PANEL	COLOR: GALVALUME	FINISH BY PEMB
K5	MTL GUTTERS, DOWNSPOUTS	COLOR: POLAR WHITE	FINISH BY PEMB
K6	MTL GUTTERS, DOWNSPOUTS	COLOR: POLAR WHITE	FINISH BY PEMB
K7	MTL COPING	COLOR: WHITE	FINISH BY PEMB
K8	NOT USED	COLOR: N/A	N/A
K9	SPANDREL STOREFRONT	COLOR: DARK BRONZE	LT GREY FILM
K10	INS DOOR & FRAME	COLOR: TO MATCH K2	PAINTED
K11	MTL AWNING	COLOR: DARK BRONZE	FINISH BY PEMB
K12	NOT USED	N/A	N/A
K13	ARCH ASPHALT SHINGLES	COLOR: WEATHERED WOOD	GAF TIMBERLINE
K14	WOOD TRELLIS	COLOR: STAINED TO MATCH K2D	6" X 6" WD POST FIELD FABRICATED



SCALE: NT9



1	12/16/2024	Response To Comments

PLAN	2.0
------	-----

Dec 17, 2024 - 1:59pm jachokk
C:\SE Files\Project Data\2024\2411240

Town of Ellington

Planning & Zoning Commission Application

Type of Application: <input type="checkbox"/> Zone Change <input type="checkbox"/> Amendment to Regulation <input checked="" type="checkbox"/> Site Plan Approval <input type="checkbox"/> Special Permit <input checked="" type="checkbox"/> Modification <input type="checkbox"/> CGS 8-24	Application # <u>2-202413</u> Date Received <u>12/05/2024</u>
--	--

Notices associated with this application will be sent to the applicant, if different than the owner, unless otherwise requested.

Owner's Information

Name: BJJM, LLC
 Mailing Address: 160 West Road
Ellington, CT 06029
 Email: joet@datacapture solutions.com
WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? ☐ Yes ☒ No
 Primary Contact Phone #: 860-670-1749
 Secondary Contact Phone #: _____

Signature: [Signature] Date: 12-4-2024

Notices associated with this application will be sent to the applicant, if different than the owner, unless otherwise requested.

Applicant's Information (if different than owner)

Name: Joseph Teixeira
 Mailing Address: 160 West Road
Ellington, CT 06029
 Email: joet@datacapture solutions.com
WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? ☐ Yes ☒ No
 Primary Contact Phone #: 860-670-1749
 Secondary Contact Phone #: _____

Signature: [Signature] Date: 12-4-2024

By signing below, I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Commission have been submitted. Moreover, by signing above I/we expressly provide written consent to the filing of the application and access to the site by the Commission or its staff.

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Commission have been submitted.

TOWN OF ELLINGTON
PLANNING DEPARTMENT

Street Address: 160 West Road
 Assessor's Parcel Number (APN): 046 - 003 - 0001 Existing Zone: Planned Commercial Proposed Zone: N/A
(If unaware of APN, please ask staff for assistance) (If none, insert "N/A")

Public Water: ☒ Yes ☐ No Public Sewer: ☒ Yes ☐ No *If not served by public water and sewer, applicant/owner shall make application to North Central District Health Department (Enfield Office).*

Is parcel within 500' to any municipal boundary? ☐ Yes ☒ No

Are there any wetlands/watercourses within 100' of construction activity or within 250' of wetlands/watercourses when located in the Shenipsit Lake Drainage Basin? ☐ Yes ☒ No *If yes, pursuant to state law application must be made to the Inland Wetlands Agency prior to or simultaneously with application to the Planning and Zoning Commission.*

Is the project in a public water supply watershed area? ☐ Yes ☒ No *If yes, applicant shall notify Connecticut Water Company and Commissioner of Public Health about the proposed project by certified mail return receipt within 7 days of application (§8-3i(b)). Copy of application, plans, and supporting documents must accompany notice. Proof of notice and copies of return receipts must be provided to the Planning Department.*

Description of Request (If more space is needed, please attach additional sheets)

4200 square foot building for sales office
and conference room

Welcome to Data Capture Solutions

Mobility solutions that drive business value



Who We Are

Data Capture Solutions

2

Since 1992, DCS has provided innovative solutions, bar code scanners, handheld devices, wireless technologies plus software and services to more than 5,000 clients worldwide.

"We save our customers time, money and headaches by remotely managing all their mobile devices through our Mobility Command Center," says CEO Joe Teixeira.



DataCapture
SOLUTIONS



DCS is a total solutions supplier of barcode scanning products, systems and related equipment

We specialize in the following markets:

- Retail Operations
- Warehousing
- Distribution
- Transportation & Logistics
- Field Services
- Healthcare
- Supply Chain Management

We provide a customized one-stop shopping experience for all our customer's hardware and software needs.





Expanded headquarters in Ellington, Connecticut includes:



24/7 help
desk



Mobility
Command
Center
for the remote
management of mobile
devices



Complete
hardware
diagnostics
and repair
center



Custom
software
engineering
labs



DCS: One-Stop-Shop



Hardware:

We carry a full line of scanners, wireless networking gear, and mobility devices from the world's leading Manufacturers.



Software:

We provide an on-going stream of new ideas and solutions, along with custom software for our customers, thanks to partnerships with leading mobility ISVs.



Networking:

DCS works with manufacturers that understand the need of mobile enterprise solutions and develop systems that consistently deliver cutting-edge technologies.

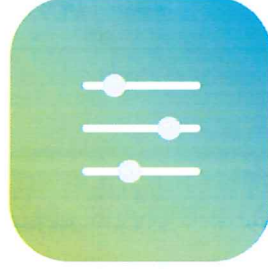


DCS Services

Our exceptional range of services include:

Remote Device Management

which helps lower your TCO
(total cost of ownership) by
More than 80%



Staging & Kitting

ensures that your new devices
work right out of the box

Device Repair

with faster turn around time
that keeps your business
operating at peak performance



Professional Services

for wireless networks including
analysis, system design and
deployment





DataCapture
SOLUTIONS



ZEBRA



Panasonic

SOTI



DATALOGIC

PARTNERS



PRINTRONIX



Device Repair and Maintenance Programs

8



Our comprehensive repair and maintenance offerings include:

- **Time & Materials:** Pay only for the services and parts you need with flexible, on-demand support.
- **Quarterly or Annual Contracts:** Opt for long-term contracts that provide scheduled maintenance and priority service at predictable costs.
- **Comprehensive Coverage:** Full-spectrum protection for your devices, ensuring they're always in optimal working condition.
- **DCS Standard Coverage:** A reliable, cost-effective coverage plan that meets the essential repair and maintenance needs of your devices.
- **Spares Pool or Bullpen Management:** Efficient management of spare parts to reduce lead times and ensure quick device turnaround.
- **Advance Spares Replacement:** Proactive parts replacement, minimizing downtime with advanced parts shipped before failures occur.
- **Tailored Customer Service Plans:** Customizable maintenance plans that align with your unique operational needs and service requirements.

With Data Capture Solutions, you can rest assured that your technology will stay in top shape, backed by professional service and industry-leading expertise.



Our Warehouse:

Equipped for Efficiency and Reliability



We operate a spacious 9,000 sq. ft. warehouse that serves as the backbone of our repair and maintenance operations. This fully stocked facility is designed to ensure fast, reliable service with minimal downtime for your devices.

Key features of our warehouse include:

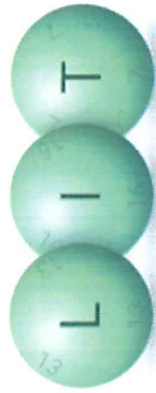
- **Customer Spare Pool Bullpen:** We manage a dedicated spare parts bullpen to provide rapid access to critical components, enabling quicker repairs and replacements for your devices.
- **Fully Stocked Devices and Replacement Parts:** Our warehouse is continuously stocked with a wide range of devices and replacement parts, ensuring that we can fulfill repair needs swiftly and effectively, with minimal lead time.

With our state-of-the-art warehouse, we can streamline operations, maintain optimal inventory levels, and provide the best possible service to keep your technology running smoothly.



Custom Software

10



Lottery Instant Tracker A Complete Solution To Manage All Instant Lottery Sales

- More than 300 active subscribers

Lottery Instant Tracker is a powerful tool designed to streamline retailer lottery operations. It quickly closes out shifts, automatically calculates daily sales, and efficiently manages inventory, reducing the risk of human error and minimizing theft.

Compatible with all state lotteries, it offers seamless inventory control and management, ensuring accurate tracking and reporting.

Simplify your lottery operations and improve accountability with this easy-to-use solution.



Custom Software

11



Software solution designed to electronically scan, track and monitor the movement, security, health and well-being of individuals detained in a secured environment.



FULLY CUSTOMIZABLE TO SUIT YOUR NEEDS.

- Records all actions and movements of individuals during their stay
- Manages housing assignments, tracks activities and meals, ensures allotted recreation and visitation times
- Medication line and infirmary visit logging
- Special medical or religious diet tracking
- Track specialized classifications of individuals for restricted access, as well as overall population management needs in a facility.
- Staff and management can quickly select required functions and notifications for their departments
- All data is synced and maintained in SecurTrac software and available for future detailed compliance reporting.



Custom Hardware

12

Venue Ticket Readers

Our Venue Ticket Reader offers seamless event access control by integrating with customer software to verify both printed and digital tickets.

Designed for efficiency, it features Android 12+ OS, a 4710 Imager for quick scanning, and an RFID Reader for enhanced identification. With a powerful 64GB storage, 4GB RAM, and multiple connectivity options (WIFI, LAN, LTE), it ensures reliable performance. The device also includes an internal 30W battery for extended use, as well as I/O ports for Ethernet, USB, and Power connections. Plus, an integrated loudspeaker provides audible notifications.

Ideal for events of any scale, this reader ensures smooth, secure entry for your guests.



160 West Road



MAP FOR REFERENCE ONLY NOT A LEGAL DOCUMENT

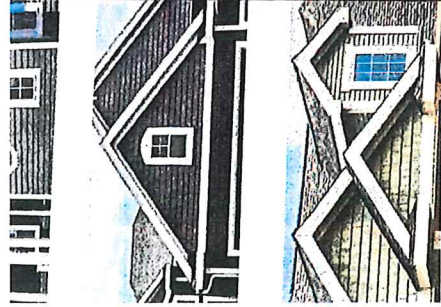
Town of Ellington, CT makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 11/11/2021
Data updated daily

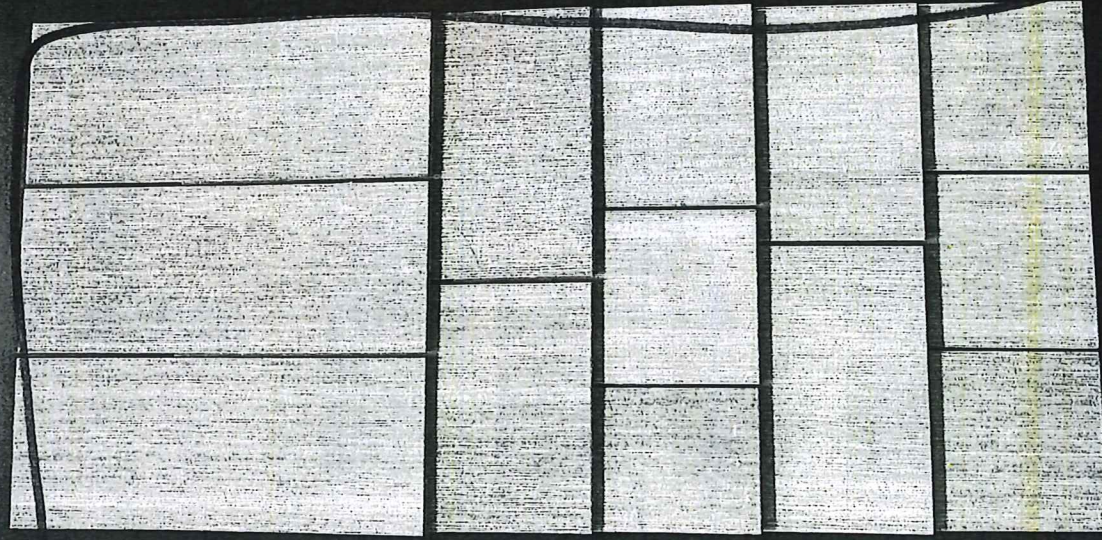
Print map scale is approximate.
Critical layout or measurement
activities should not be done using
this resource.



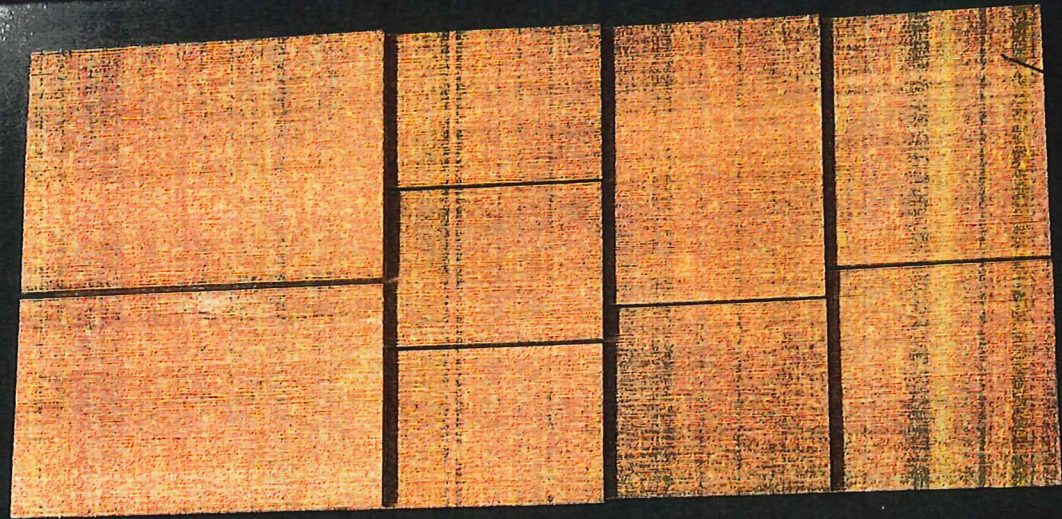
roughsawn PVC Shingles



ing.com



13" Argos
5" Exposure



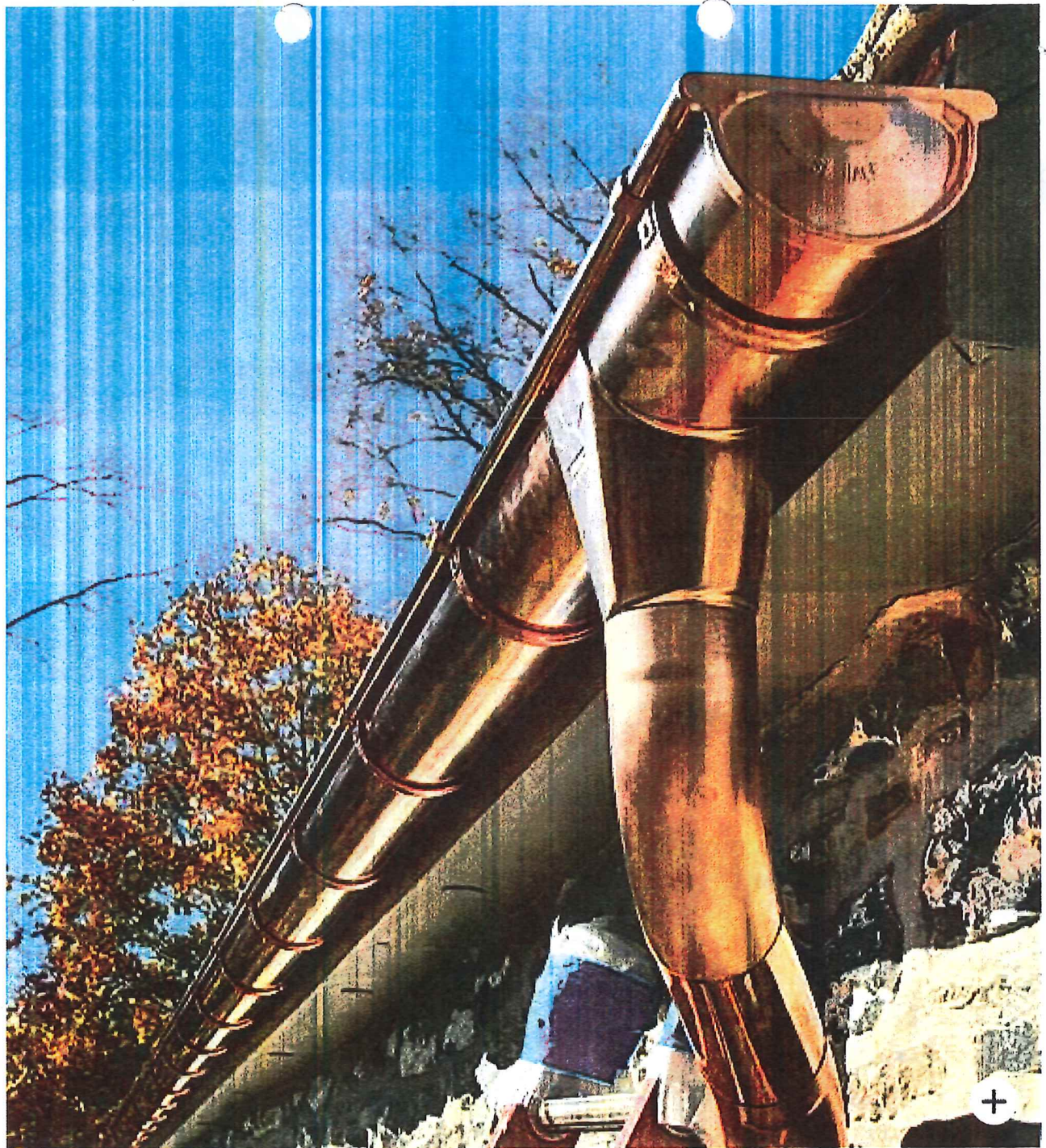
18" Cedar
7" Exposure

Colors Available



Available in 13 inch and 18 inch exposures





Copper Half Round Gutter 6" Wide X 20' Long X 16 OZ.

\$360.00



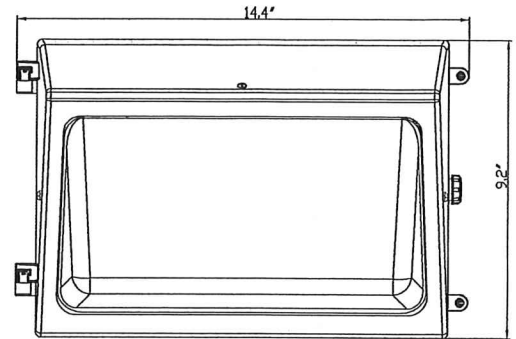
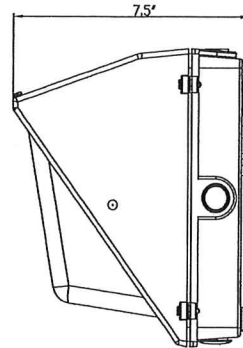
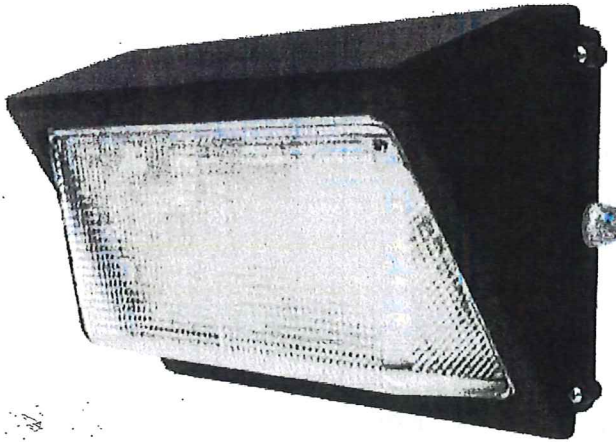
71476D - BRONZE MEDIUM WALL PACK

CCT & WATTAGE SELECTABLE

60W/75W/90W 120-277V 3K-5K



Built-In Photocell Included!

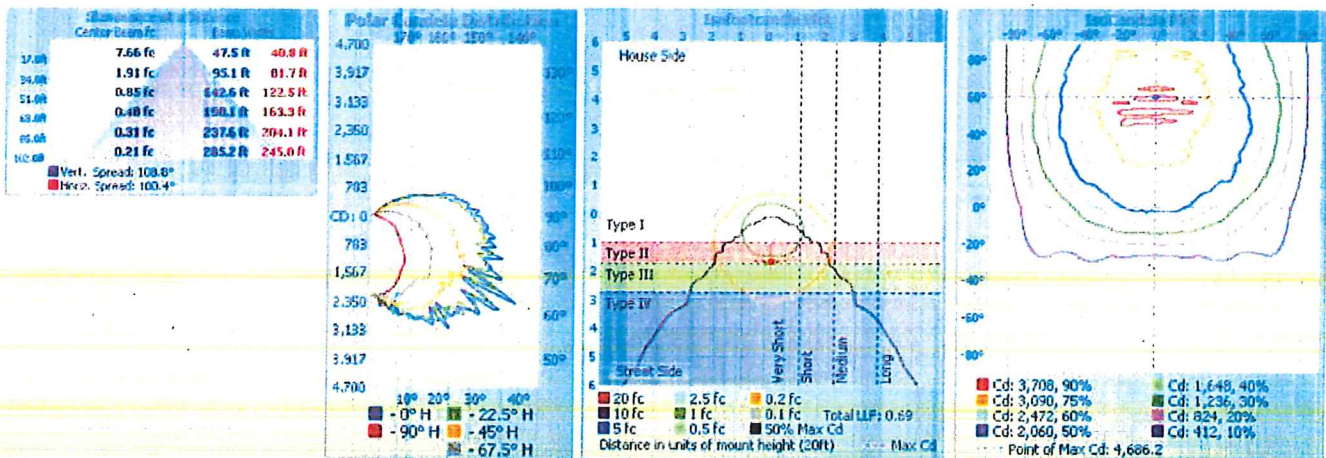


FEATURES:

- Use in general lighting applications: Parking Lots & Building Security
- Wattage Selectable: 60/75/90W
- Seoul LEDs
- Die Cast Aluminum Housing
- Polyester Powder Coat Finish in Bronze
- 4 Threaded K/Os -(1)Top, (1)Back, (2)Sides
- Photocontrol included with on/off switch
- Color Selectable: 3000K, 4000K, 5000K
- 4KV surge protector inside of power supply
- 5 Year Limited Warranty
- IP65 rated
- Certification: ETL/cETL
- Environment: Suitable for Wet Locations

Part#	CCT	Lumens	Voltage	Wattage	Beam Angle	Dimming	Lumens/Watt
71476D	3000K	8,120 @ 60W	120-277V	60W	95°	0-10/PWM	123lm/w
	4000K	10,162 @ 75W		75W			135lm/w
	5000K	11,526 @ 90W		90W			128lm/w

PHOTOMETRY





71476D - BRONZE MEDIUM WALL PACK

CCT & WATTAGE SELECTABLE

60W/75W/90W 120-277V 3K-5K

Technical Specifications:

Electrical:

Input Voltage: 120-277V

Current: .75A@120V

Frequency: 50/60Hz

Power Factor: $\geq .9$

THD: $\leq 20\%$

Product Parameters:

Input Watts: 60W, 75W, 90W

Lumens: 10,650-12,155

Efficacy: 129-145 lumens per watt

50,000+ Hour L70 Life Span

CCT: 3000K/4000K/5000K

Chromaticity Measurements:

Beam Angle: 95°

BUG Rating: B2-U5-G5

CRI: >72

R9: ~ 30

Operating Temperature:

Minimum Starting: -40°F to 104°F

Construction:

Housing: Die-Cast-Aluminum

Powder Coated Bronze-Finish

IP Rating: IP65 suitable for wet locations

Lens Material: Borosilicate Glass Lens

Lens UV Resistant, Fire Resistant

Mounting: Hinged Spider Plate

Listings: ETL, DLC Product ID: S-S0DL4N

Warranty:

Morris Products carries a 5 year warranty from date of purchase against defects in materials and workmanship (assuming normal and proper usage).

LUMEN BREAKDOWN:

	3000K	4000K	5000K
60W	8,120	8,622	8,565
75W	9,560	10,162	10,074
90W	11,149	12,155	11,526

Component Specifications:

LED: Seoul 2835

120-277V, 50-60Hz

Driver Output Volts: 70-130V Driver

Output Amps: 1000mA

6KV Surge Protection

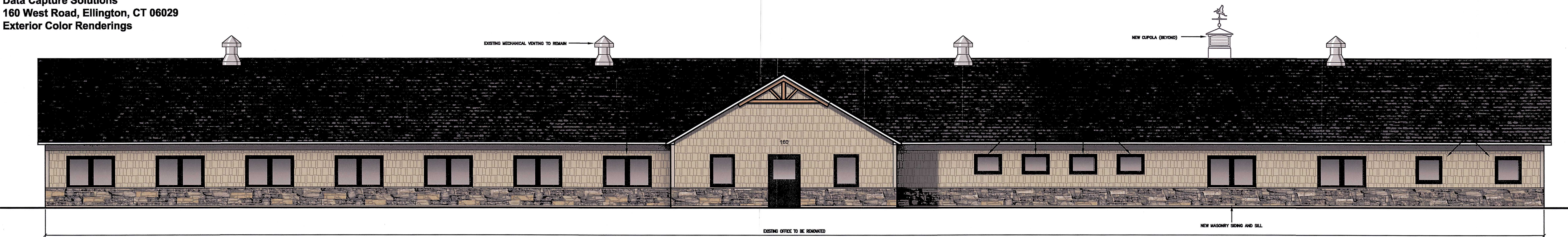
Dimming: 0-10V



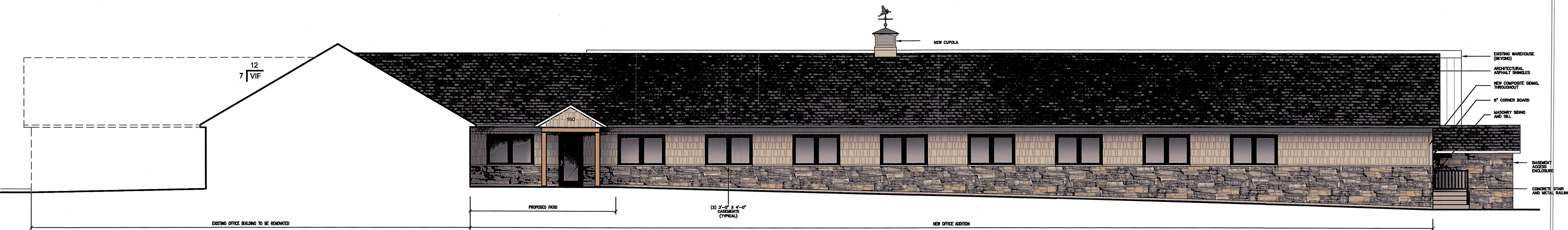
Cheryl Newton
Architects LLC
www.cnarchitectsllc.com



Data Capture Solutions
160 West Road, Ellington, CT 06029
Exterior Color Renderings



1 EAST EXTERIOR ELEVATION
1/4" = 1'-0"



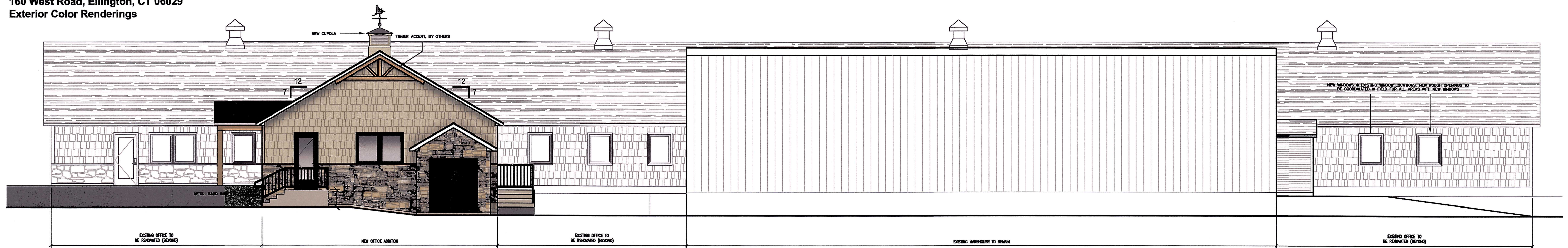
2 NORTH EXTERIOR ELEVATION
1/4" = 1'-0"



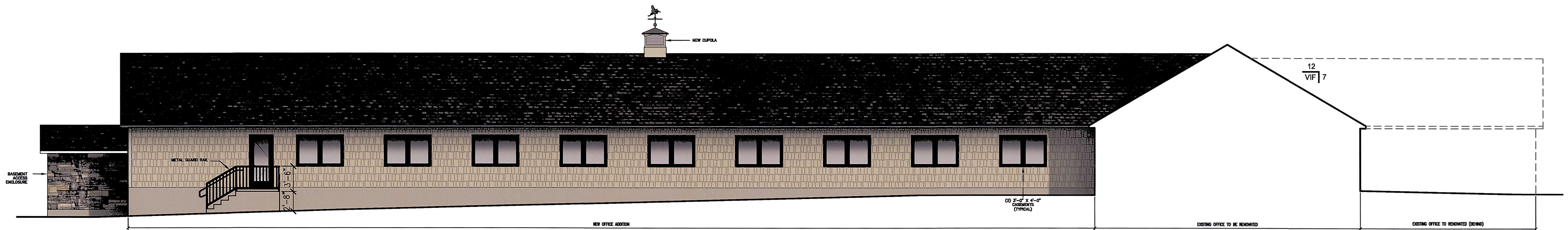
Cheryl Newton
Architects LLC
www.cnarchitectsllc.com



Data Capture Solutions
160 West Road, Ellington, CT 06029
Exterior Color Renderings



3 WEST EXTERIOR ELEVATION
1/4" = 1'-0"



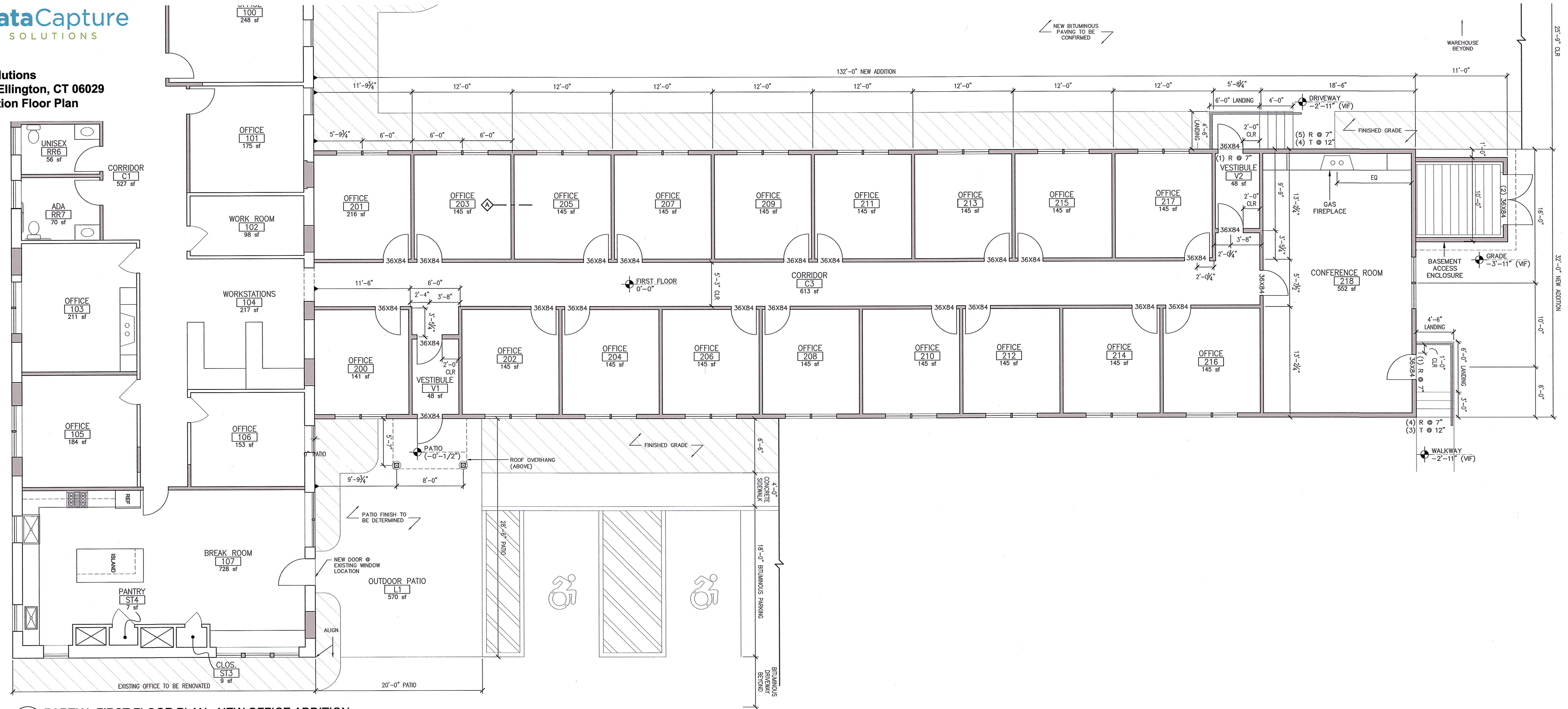
4 SOUTH EXTERIOR ELEVATION
1/4" = 1'-0"



Cheryl Newton
Architects LLC
www.cnarchitectsllc.com



Data Capture Solutions
160 West Road, Ellington, CT 06029
New Office Addition Floor Plan



1.2 PARTIAL FIRST FLOOR PLAN - NEW OFFICE ADDITION
1/4" = 1'-0"

Barbra Galovich

Subject: FW: Pics of old building slab

From: Dana Steele <dsteele@jrrusso.com>
Sent: Thursday, January 16, 2025 1:56 PM
To: joet@datacapturesolutions.com; Lisa Houlihan <LHoulihan@ELLINGTON-CT.GOV>; Barbra Galovich <bgalovich@ELLINGTON-CT.GOV>
Cc: Rachel Dearborn <rachel@landmarksurveys.com>
Subject: RE: Pics of old building slab

That works. Thanks.

Dana P. Steele, P.E.
Ellington Town Engineer



J.R. RUSSO & ASSOCIATES, LLC
P.O. Box 938, 1 Shoham Road
East Windsor, CT 06088
(CT) 860.623.0569 (MA) 413.785.1158
dsteele@jrrusso.com | www.jrrusso.com

From: joet@datacapturesolutions.com <joet@datacapturesolutions.com>
Sent: Thursday, January 16, 2025 1:51 PM
To: Dana Steele <dsteele@jrrusso.com>; 'Lisa Houlihan' <LHoulihan@ELLINGTON-CT.GOV>; 'Barbra Galovich' <bgalovich@ELLINGTON-CT.GOV>
Cc: 'Rachel Dearborn' <rachel@landmarksurveys.com>
Subject: RE: Pics of old building slab

I plan on just letting it run off onto the parking lot

Best regards.

Joe Teixeira
CEO President

T: (888) 684-0807
M: (860) 670-1749
F: (787) 919-0649
E: JoeT@datacapturesolutions.com



Puerto Rico Office:
Las Casas de Rio Mar
Calle 4 Las Colinas #37
Rio Grande, PR 00745
datacapturesolutions.com

CT Office:
160 West Road | Ellington, CT 06029

Pg 1066

From: Dana Steele <dsteale@jrrusso.com>

Sent: Thursday, January 16, 2025 2:05 PM

To: joet@datacapturesolutions.com; 'Lisa Houlihan' <LHoulihan@ELLINGTON-CT.GOV>; 'Barbra Galovich' <bgalovich@ELLINGTON-CT.GOV>

Cc: 'Rachel Dearborn' <rachel@landmarksurveys.com>

Subject: RE: Pics of old building slab

Thank you, Joe. Can you also clarify whether you intend to let the roof runoff from the addition discharge to the surface or if you will pipe it to a single location? Discharge to the surface would be preferred, but if you intend to pipe it, this needs to be shown on the site plan.

Lisa, based on Joe's explanation it appears the site has been a developed, impervious area for many years and the addition will not have a significant impact on stormwater runoff. A drainage analysis will not be required.

Dana P. Steele, P.E.
Ellington Town Engineer



J.R. RUSSO & ASSOCIATES, LLC

P.O. Box 938, 1 Shoham Road

East Windsor, CT 06088

(CT) 860.623.0569 (MA) 413.785.1158

dsteale@jrrusso.com | www.jrrusso.com

From: joet@datacapturesolutions.com <joet@datacapturesolutions.com>

Sent: Thursday, January 16, 2025 12:44 PM

To: Dana Steele <dsteale@jrrusso.com>; 'Lisa Houlihan' <LHoulihan@ELLINGTON-CT.GOV>; 'Barbra Galovich' <bgalovich@ELLINGTON-CT.GOV>

Cc: 'Rachel Dearborn' <rachel@landmarksurveys.com>

Subject: FW: Pics of old building slab

Yes it was hard compact stone and impervious it was not process. it was like half inch round stone from what I remember along with some granular finer gravel material. there is also concrete in that aria from the farm from years ago some flat pads if you go there now you will still see the aria to the north is still all concrete pad picture attached and some was like 18 inch maybe higher like foundation pieces sticking out .attach is a picture of one piece left that was not either removed or buried when the process and or asphalt installed some of the higher ones we had to remove so they would not stick up .this is from both ends of the asphalt and as you can see there is concrete everywhere under their and still a lot more that has not been covered over .

Thank you.

William Henderling

Office - (888) 684-0807

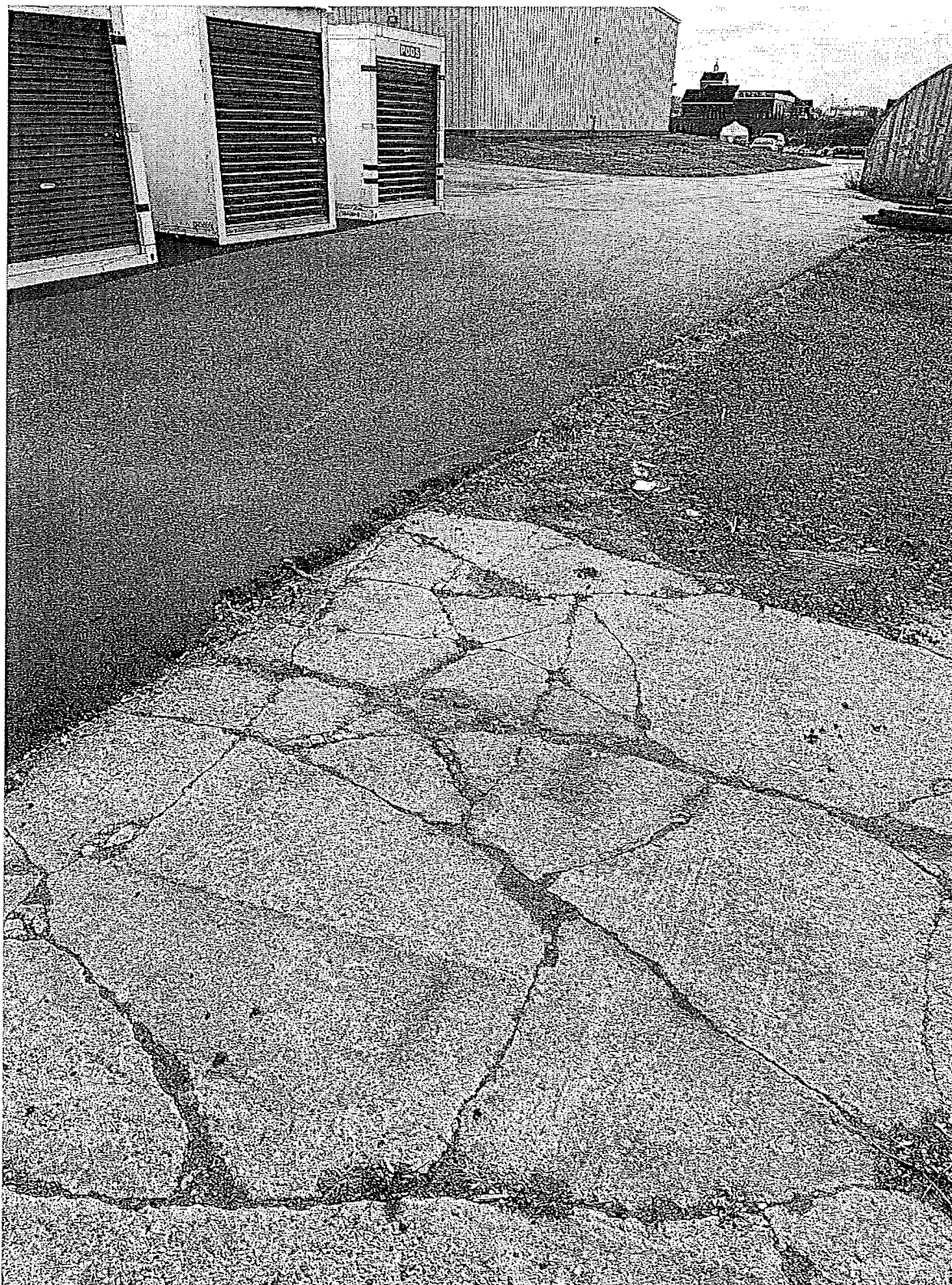
Mobile - (860) 882-3100

Email - whende@datacapturesolutions.com

datacapturesolutions.com





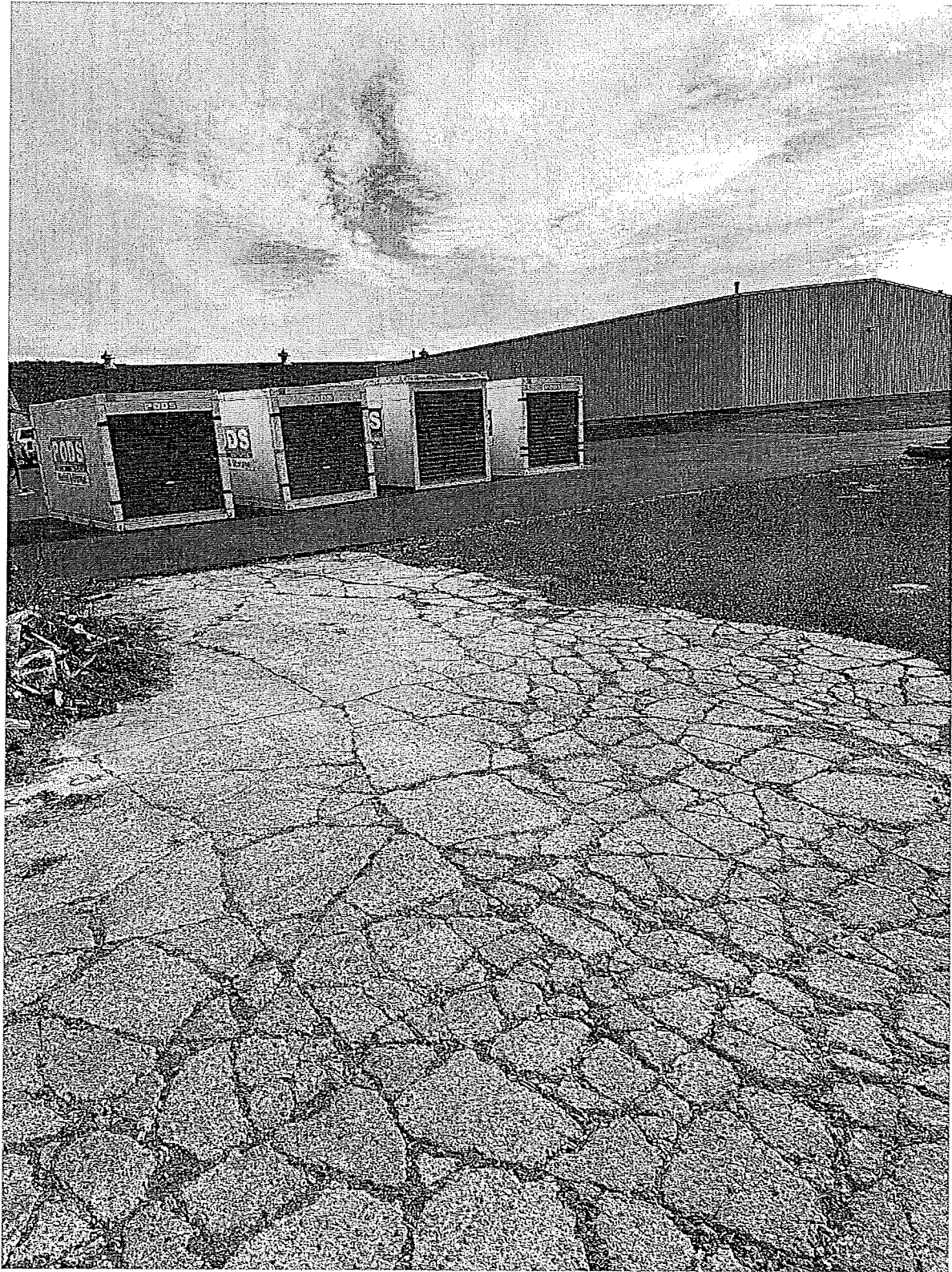


Thank you.

William Henderling

Office - (558) 654-0807
Mobile - (560) 682-5100

pg 5 of 6



Barbra Galovich

From: Lisa Houlihan
Sent: Thursday, January 16, 2025 10:53 AM
To: Dana Steele; Barbra Galovich
Subject: RE: Z202413 - 160 West Road

Hi Dana,

Thank you for reviewing the site development proposal for 160 West Road and providing drainage guidance. I have no insight to corroborate the changes in the impervious surface at 160 West Road; the only official record we have is the report Barb provided. You question if the stone area should have been considered impervious. If I understand the dialogue so far, does that mean the stone area was not included as impervious surface in the latest drainage report? Would a stone area normally be included as impervious surface? If so, does that lend to needing an updated drainage report?

Thanks again for your guidance.

Lisa

Lisa M. Houlihan, AICP, CZEO

Ellington Town Planner

PO Box 187 / 55 Main Street / Ellington, CT 06029

Phone: 860-870-3120 / Fax: 860-870-3122

Website: www.ellington-ct.gov Email: lhoulahan@ellington-ct.gov

Office Hours: Monday 8AM - 6:30PM, Tuesday - Thursday 8AM - 4:30PM, Friday Closed

From: Dana Steele <dsteale@jrrusso.com>
Sent: Tuesday, January 14, 2025 11:32 AM
To: Barbra Galovich <bgalovich@ELLINGTON-CT.GOV>
Cc: Lisa Houlihan <LHoulihan@ELLINGTON-CT.GOV>
Subject: RE: Z202413 - 160 West Road

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Barb,

Thanks for the previous site plan. According to the 2010 plan, the impervious coverage was 26.8% and according to the new plan it is now 43%, which is a significant increase. But it looks like the main change is that the stone area where the building is now proposed, was later paved. I wonder if the stone area should have been considered impervious and if so, the increase might not be significant. I'm not sure how we confirm that at this point. Sounds like something Lisa and I should discuss further to establish a consistent policy in these situations.

Dana P. Steele, P.E.
Ellington Town Engineer



J.R. RUSSO & ASSOCIATES, LLC
P.O. Box 938, 1 Shoham Road
East Windsor, CT 06088

(CT) 860.623.0569 (MA) 413.785.1158
dsteele@jrrusso.com | www.jrrusso.com

From: Barbra Galovich <bgalovich@ELLINGTON-CT.GOV>
Sent: Tuesday, January 14, 2025 11:14 AM
To: Dana Steele <dsteele@jrrusso.com>
Subject: Z202413 - 160 West Road

Hi,

I found the attached in a previous file for 160 West Road. Also sent your cursor review comments to Rachel Dearborn and Joe Teixeira, owner of the property.
Thank you for your prompt response.

Barbra

Barbra Galovich, CZET
Ellington Planning Department
57 Main Street
Ellington, CT 06029
(860)870-3120, Option 1

Barbra Galovich

From: joet@datacapturesolutions.com
Sent: Tuesday, January 14, 2025 12:29 PM
To: Barbra Galovich; Rachel Dearborn
Cc: Lisa Houlihan
Subject: RE: Staff Review - Z202413 - 160 West Road

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The detention pond was just added when Dwight subdivided the 5 acers off of the rest of the land to sell it. It was a requirement to subdivide from the bigger piece . I bout the rest of the land I think about a year later I bought all the adjoining land so the retention pond on the map is not anything for any future use or building. the site was pens with cows as far back as I know when I worked on the farm in the late 70s after it was shut down and sold to Dwight that area was used as a car lot and leased to Scranton motors for parking for excess new cars by Dwight .when I purchased it in the early 2006 it was a stone parking lot and we paved it a few years ago . Run off from the roof will go to gutters that will just drain to the parking lot . Any other questions please ask

Best regards.

Joe Teixeira

CEO President

T: (888) 684-0807

M:(860) 670-1749

F: (787) 919-0649

E: JoeT@datacapturesolutions.com



DataCapture
SOLUTIONS

Puerto Rico Office:

Las Casas de Rio Mar
Calle 4 Las Colinas #37
Rio Grande, PR 00745
datacapturesolutions.com

CT Office:

160 West Road | Ellington, CT 06029

From: Barbra Galovich <bgalovich@ELLINGTON-CT.GOV>

Sent: Tuesday, January 14, 2025 12:10 PM

To: joet@datacapturesolutions.com; Rachel Dearborn <rachel@landmarksurveys.com>

Cc: Lisa Houlihan <LHoulihan@ELLINGTON-CT.GOV>

Subject: FW: Staff Review - Z202413 - 160 West Road

Hi,

Hope this email finds you well. Below are curser view comments from Dana Steele, Town Engineer. Please review and provide feedback to all.

Best regards,
Barbra

Barbra Galovich, CZET
Ellington Planning Department
57 Main Street
Ellington, CT 06029
(860)870-3120, Option 1

From: Dana Steele <dsteeler@jrrusso.com>
Sent: Tuesday, January 14, 2025 10:47 AM
To: Barbra Galovich <bgalovich@ELLINGTON-CT.GOV>
Cc: Lisa Houlihan <LHoulihan@ELLINGTON-CT.GOV>
Subject: RE: Staff Review - Z202413 - 160 West Road

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It looks like the building is being located on an area that is already impervious, in which case there should be no impact on drainage. This presumes that the existing impervious surfaces were previously approved by site plan approval or predated the zoning regulations. It would be helpful if the plans indicated both the existing and proposed impervious coverage to confirm there is in fact no increase. They should also specify what they will be doing with roof runoff from the building (downspouts discharging to the pavement or piped to an outlet location).

There is also an area in the back identified as "area for future detention pond". Do we know why this area is reserved for detention? Was there a previous agreement to provide a pond in the future?

While the site looks mostly contained from an erosion standpoint, there should be silt fence downhill from the proposed area of disturbance.

I don't see any other issues with the project. I can provide a more formal comments email after getting clarification on these things.

Dana P. Steele, P.E.
Ellington Town Engineer



J.R. RUSSO & ASSOCIATES, LLC
P.O. Box 938, 1 Shoham Road
East Windsor, CT 06088
(CT) 860.623.0569 (MA) 413.785.1158
dsteeler@jrrusso.com | www.jrrusso.com

From: Barbra Galovich <bgalovich@ELLINGTON-CT.GOV>
Sent: Tuesday, January 14, 2025 8:34 AM
To: Dana Steele <dsteale@irrusso.com>
Cc: Lisa Houlihan <LHoulihan@ELLINGTON-CT.GOV>
Subject: Staff Review - Z202413 - 160 West Road

Dana,

Please note that Joe Teixeira, owner of the parcel, did not provide a drainage report. Should a report be needed for review on this application?

Thank you,
Barbra

Barbra Galovich, CZET
Ellington Planning Department
57 Main Street
Ellington, CT 06029
(860)870-3120, Option 1

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ELLINGTON PLANNING DEPARTMENT
STAFF REVIEW SHEET

PLANNING & ZONING COMMISSION

Z202413 – BJJM, LLC, owner/ Joseph Teixeira, applicant, request for modification to Special Permit for office and Site Plan Modification to construct an approximate 4,200 square foot addition and associated site improvements at 160 West Road, APN 046-003-0001, in a Planned Commercial (PC) zone.

PUBLIC HEARING DATE: January 27, 2025

STAFF REVIEW RETURN DATE: January 21, 2025

DEPARTMENT	COMMENTS AND/OR REQUIREMENTS
Town Engineer	
Building Official	
North Central District Health Dept	
Fire Marshal	
Public Works Director/WPCA	DPW- No Comment WPCA- The proposed facility is within the sanitary sewer district. As such, the new construction and sewer connection will need approval by the Ellington WPCA board.
Assessor	
Traffic Authority	
Ambulance	

Barbra Galovich

From: Tom Modzelewski
Sent: Thursday, January 16, 2025 12:34 PM
To: Lisa Houlihan
Cc: Barbra Galovich
Subject: Re: Z202413 - 160 West Road - Datacapture Addition Plans

Hi Lisa,

The conditional approval is adequate. We don't mean to hold up the process.

Be well,

Tom Modzelewski | WPCA Administrator
Town of Ellington
860-870-3140

From: Lisa Houlihan <LHoulihan@ELLINGTON-CT.GOV>
Sent: Thursday, January 16, 2025 12:28 PM
To: Tom Modzelewski <thmodzelewski@ELLINGTON-CT.GOV>
Cc: Barbra Galovich <bgalovich@ELLINGTON-CT.GOV>
Subject: Z202413 - 160 West Road - Datacapture Addition Plans

Hi Tom,

Thank you for the staff review comments for the proposed addition at 160 West Road, Datacapture Solutions. Do you recommend WPCA approval before the Planning and Zoning Commission acts, or is it okay that the commission acknowledges the WPCA approval requirement as a condition of site plan approval? Thanks again!

Lisa

Lisa M. Houlihan, AICP, CZEO

Ellington Town Planner

PO Box 187 / 55 Main Street / Ellington, CT 06029

Phone: 860-870-3120 / Fax: 860-870-3122

Website: www.ellington-ct.gov Email: lhoulahan@ellington-ct.gov

Office Hours: Monday 8AM - 6:30PM, Tuesday - Thursday 8AM - 4:30PM, Friday Closed


ELLINGTON PLANNING DEPARTMENT
STAFF REVIEW SHEET

PLANNING & ZONING COMMISSION

Z202413 – BJJM, LLC, owner/ Joseph Teixeira, applicant, request for modification to Special Permit for office and Site Plan Modification to construct an approximate 4,200 square foot addition and associated site improvements at 160 West Road, APN 046-003-0001, in a Planned Commercial (PC) zone.

PUBLIC HEARING DATE: January 27, 2025

STAFF REVIEW RETURN DATE: January 21, 2025

DEPARTMENT	COMMENTS AND/OR REQUIREMENTS
Town Engineer	
Building Official	
North Central District Health Dept	
Fire Marshal  1/15/25	<p>This project is currently being reviewed as part of the building permit application process.</p> <p>Fire Department access roads shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.</p> <p>Compliance with this code requirement is being evaluated and may affect the location of "access roads" on the property to achieve compliance.</p>
Public Works Director/WPCA	
Assessor	
Traffic Authority	
Ambulance	

Barbra Galovich

From: James York
Sent: Thursday, January 16, 2025 3:37 PM
To: Lisa Houlihan
Cc: Barbra Galovich
Subject: Re: Staff Review - Z202413 - 160 West Road

Hi Lisa,

It's more a point of information. The requirement is in the fire code, just wanted P&Z to be aware there could be a slight modification to driveway, paved surface in case it becomes necessary.

Thanks

Jim

Sent from my iPhone

On Jan 16, 2025, at 12:37 PM, Lisa Houlihan <LHoulihan@ellington-ct.gov> wrote:

Hi Jim,

Thank you for the staff review comments. Would you recommend the applicant meet with you to address your comments prior to Planning and Zoning Commission action or can your comments be acknowledged as a condition of approval?

Thanks much!

Lisa

Lisa M. Houlihan, AICP, CZEO

Ellington Town Planner

PO Box 187 / 55 Main Street / Ellington, CT 06029

Phone: 860-870-3120 / Fax: 860-870-3122

Website: www.ellington-ct.gov Email: lhoulahan@ellington-ct.gov

Office Hours: Monday 8AM - 6:30PM, Tuesday - Thursday 8AM - 4:30PM, Friday Closed

From: Barbra Galovich <bgalovich@ELLINGTON-CT.GOV>

Sent: Thursday, January 16, 2025 8:16 AM

To: James York <JYork@ELLINGTON-CT.GOV>

Cc: joet@datacapturesolutions.com; Lisa Houlihan <LHoulihan@ELLINGTON-CT.GOV>

Subject: RE: Staff Review - Z202413 - 160 West Road

Hi Jim,

I forwarded your staff review comments to Joe Teixeira and his response is below. Please see Joe response below.

Thank you,

Barbra

Barbra Galovich, CZET

Ellington Planning Department

57 Main Street

Ellington, CT 06029

(860)870-3120, Option 1

From: joet@datacapturesolutions.com <joet@datacapturesolutions.com>

Sent: Thursday, January 16, 2025 8:06 AM

To: Barbra Galovich <bgalovich@ELLINGTON-CT.GOV>

Cc: Lisa Houlihan <LHoulihan@ELLINGTON-CT.GOV>

Subject: RE: Staff Review - Z202413 - 160 West Road

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There is complete access to this new addition
Do I need to do anything

Best regards.

Joe Teixeira

CEO President

T: (888) 684-0807

M: (860) 670-1749

F: (787) 919-0649

E: JoeT@datacapturesolutions.com

<image001.png>

Puerto Rico Office:

Las Casas de Rio Mar

Calle 4 Las Colinas #37

Rio Grande, PR 00745

datacapturesolutions.com

CT Office:

160 West Road | Ellington, CT 06029

From: Barbra Galovich <bgalovich@ELLINGTON-CT.GOV>

Sent: Thursday, January 16, 2025 8:53 AM

To: joet@datacapturesolutions.com

Cc: Lisa Houlihan <LHoulihan@ELLINGTON-CT.GOV>

Subject: FW: Staff Review - Z202413 - 160 West Road

Joe,

Hope this email finds you well. Attached are staff comments from Jim York, Fire Marshal.

Best regards,

Barbra

Barbra Galovich, CZET

Ellington Planning Department

57 Main Street

Ellington, CT 06029

(860)870-3120, Option 1

Town of Ellington Planning Department



MEMO

DATE: January 13, 2025

TO: Planning and Zoning Commission

FROM: Barbra Galovich, Land Use Assistant *Bg*

RE: Review of design elements for **Z202413** – BJJM, LLC, owner/ Joseph Teixeira, applicant, request for modification to Special Permit for office and Site Plan Modification to construct an approximate 4,200 square foot addition and associated site improvements at 160 West Road, APN 046-003-0001, in a Planned Commercial (PC) zone.

At a special meeting on January 7, 2025, the Design Review Board reviewed the design elements for the above application and made the following motion:

MOVED (HEMINWAY), SECONDED (CHAPLIN) AND PASSED UNANIMOUSLY TO GRANT A POSITIVE REFERRAL WITH RECOMMENDATIONS TO THE PLANNING & ZONING COMMISSION Review of design elements to construct an approximate 4,200 square foot addition and associated site improvements at 160 West Road, APN 046-003-0001, in a Planned Commercial (PC) zone.

RECOMMENDATION(S): Add landscaping to the front of the building on the left side of the main entrance.

Enclosed is a copy of the Design Review Board meeting minutes for reference.



STATE OF CONNECTICUT – COUNTY OF TOLLAND
INCORPORATED 1786

TOWN OF ELLINGTON

55 MAIN STREET – PO BOX 187
ELLINGTON, CONNECTICUT 06029-0187
www.ellington-ct.gov

TEL. (860) 870-3120

TOWN PLANNER'S OFFICE

FAX (860) 870-3122

DESIGN REVIEW BOARD SPECIAL MEETING MINUTES TUESDAY, JANUARY 7, 2025, 7:00 P.M.

MEMBERS PRESENT: Chairman Michele Beaulieu, Vice Chairman Gary Chaplin, Regular Members Ronald Stomberg, Katherine Heminway, and Landon Barlow

MEMBER(S) ABSENT: None

STAFF PRESENT: Lisa Houlihan, Town Planner, and Barbra Galovich, Recording Clerk

I. CALL TO ORDER:

Chairman Michele Beaulieu called the Design Review Board meeting to order at 7:01 P.M.

II. PUBLIC COMMENTS (On Non-Agenda Items): None

III. NEW BUSINESS:

1. Review of design elements for Z202413 – BJJM, LLC, owner/Joseph Teixeira, applicant, request for modification to Special Permit for office and Site Plan Modification to construct an approximate 4,200 square foot addition and associated site improvements at 160 West Road, APN 046-003-0001, in a Planned Commercial (PC) zone.

Joe Teixeira, 160 West Road, was present to represent the application. Joe is the owner of Data Capture Solutions, Inc., a barcoding technology business. Joe explained that the business is not a manufacturing company, but more of assembly production with sales and service. Joe stated the company is growing and needs additional space. The proposed 4,200 sf building addition will have a full basement for storage. The exterior of the entire structure will be replaced with antique white shakes, black framed windows, and stone along the bottom of the building. Joe represented samples of the shakes and stone. Copper gutters will also be installed, and Joe provided a picture of what the gutters will look like.

Vice Chairman Chaplin asked about the parking with the additional square footage being added. Joe Teixeira stated there are ample parking spaces and they will not be hiring any additional staff at this time; additional space is needed for current employees and mold development. Commissioner Barlow asked about any proposed signage. Joe explained there will not be any signage on the building and the Data Capture Solutions globe (detached sign) in front of the building near the

driveway will not be replaced. Lisa Houlihan asked about the roof, Joe replied that roof shingles will all match. Chairman Beaulieu inquired about the redwood timber accent for the main entrance and the mechanicals for the building addition. Joe is working with Barnyard on the timber accents and there will be no mechanical units attached to the roof of the new addition. Joe noted a heating pump will be installed and the proposed wall mounted lights will be fully shielded. Chairman Beaulieu asked Joe to consider adding fencing around the dumpsters during the construction, and after discussion noted the dumpsters are not visible from the street due to changes in topography. Commissioner Heminway asked what Joe's intentions are with the landscaping on the property. The existing fruit trees were reviewed as well as the landscaping to the north of the main entry. Joe agreed to add plantings along the left side of the entry but stated no additional peach trees will be planted.

MOVED (HEMINWAY), SECONDED (CHAPLIN) AND PASSED UNANIMOUSLY TO GRANT A POSITIVE REFERRAL WITH RECOMMENDATIONS TO THE PLANNING & ZONING COMMISSION Review of design elements to construct an approximate 4,200 square foot addition and associated site improvements at 160 West Road, APN 046-003-0001, in a Planned Commercial (PC) zone.

RECOMMENDATION(S): ADD LANDSCAPING TO THE FRONT OF THE BUILDING ON THE LEFT SIDE OF THE MAIN ENTRANCE.

IV. ADMINISTRATIVE BUSINESS:

1. Approval of December 16, 2024, Regular Meeting Minutes

MOVED (HEMINWAY), SECONDED (BARLOW) AND PASSED UNANIMOUSLY TO APPROVE DECEMBER 16, 2024, REGULAR MEETING MINUTES AS WRITTEN.

2. Correspondence/Discussion: **None**

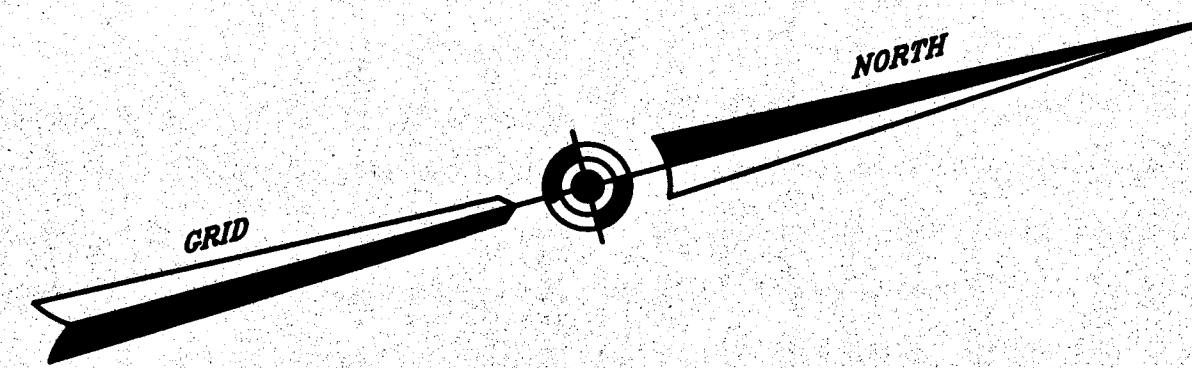
Lisa Houlihan stated the Planning & Zoning Commission (PZC) application for the proposed retail building on West Road was continued to January 27, 2025. The PZC has requested the applicant add more design components such as natural stone instead of brick and timber accents to the building, in addition to the suggestions from the Design Review Board. Lisa asked if the commission would prefer to have another special meeting to review the revised building design, but the Board agreed that an informational email was adequate.

V. ADJOURNMENT:

MOVED (BEAULIEU), SECONDED (HEMINWAY) AND PASSED UNANIMOUSLY TO ADJOURN THE DESIGN REVIEW BOARD MEETING AT 7:40 P.M.

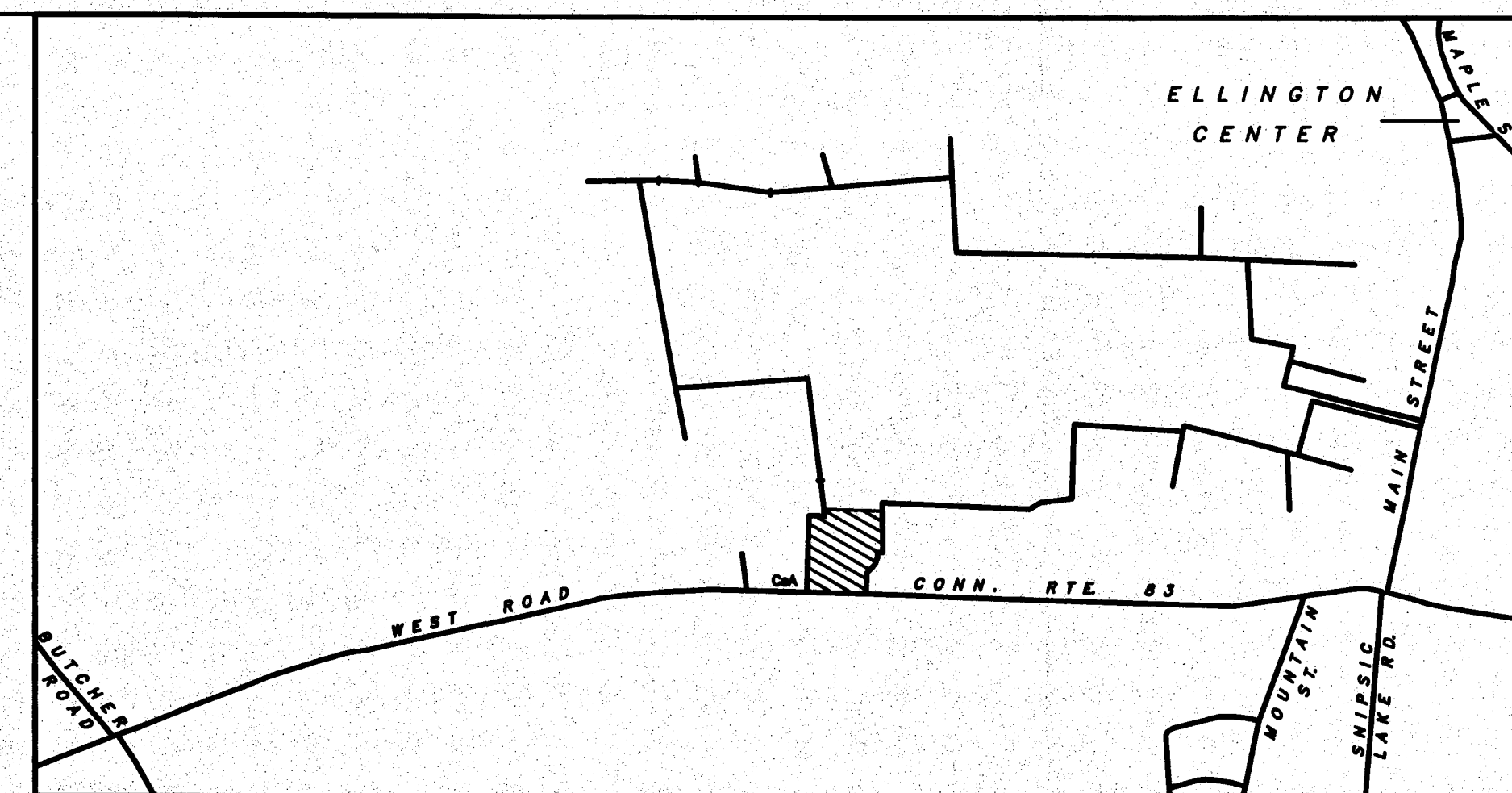
Respectfully submitted,

Barbra Galovich, Recording Clerk



BJJM FAMILY LLC
156 WEST ROAD
A.P.N.# 046-002-0000

BJJM FAMILY LLC
A.P.N.# 045-003-0000



LOCATION PLAN Scale: 1" = 1000'

A.P.N.# 046-003-0001

ENTIRE PARCEL
CONTAINS: 5.83 ACRES

AREA WITHIN PLANNED COMMERCIAL ZONE
CONTAINS: 5.06 ACRES

LEGEND:

- REINFORCING BAR (SET) -
 - CONCRETE MONUMENT -
 - UTILITY POLE -
 - BOARD FENCE -
 - WIRE FENCE -
 - STONE WALL -
 - WATER COURSE -
 - WETLAND FLAGS -
 - WATER LINE -
 - GAS LINE -
 - SANITARY MANHOLE -
 - TOP OF FRAME -
 - INVERT -
 - FIRST FLOOR -
 - EXISTING CONTOUR -
 - EXISTING ELEVATION -
 - EXISTING LIGHTING -
 - PROPOSED LIGHTING -
- ReBAR (S)
 - C.H.D. MON.
 - SNET 186
 - W.L. "F"
 - M.H.
 - T.F.
 - INV.
 - F.F.
 - + 242.9

BJJM FAMILY LLC
156 WEST ROAD
A.P.N.# 046-002-0000

BJJM FAMILY LLC
166 WEST ROAD
A.P.N.# 046-003-0000

NOTES:

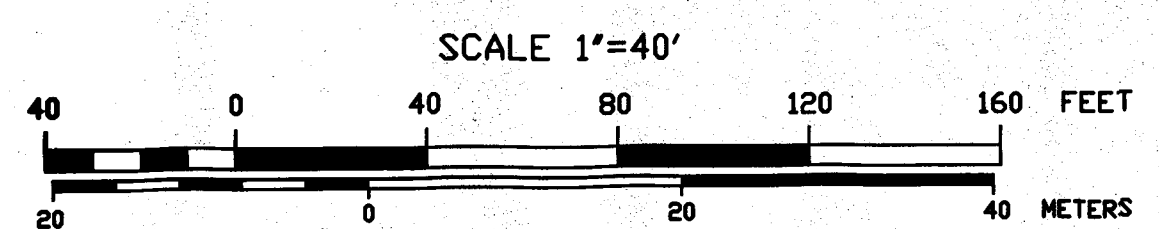
- THIS SURVEY HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT". IT IS A "ZONING LOCATION SURVEY" BASED UPON A RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2.
- PRESENT OWNER OF RECORD - BJJM FAMILY LLC
- BOUNDARY INFORMATION BASED UPON GRID NORTH.
- WETLANDS INVESTIGATED AND FLAGGED BY JOHN IANNI, C.S.S., 10/15/96.
- TOTAL AREA = 5.83 ACRES
IMPERVIOUS AREA = 2.51 ACRES = 43%
MAXIMUM ALLOWABLE IMPERVIOUS = 60%
- PARKING SPACES =
WAREHOUSE - 9600 S.F. / 1 SPACE/2000 S.F. = 5 SPACES
OFFICE = 6000 S.F. / 1 SPACE/200 S.F. = 30 SPACES
PROPOSED OFFICE = 4000 S.F. / 1 SPACE/200 S.F. = 20 SPACES
TOTAL SPACES = 55 REQUIRED AND 55 PROPOSED

ZONING TABLE		
	REQUIRED	PROVIDED
FRONT YARD	100'	180'
SIDE YARD	10'	70'
REAR YARD	50'	115'
IMPERVIOUS AREA	60%	43%

RECEIVED
DEC 19 2024
TOWN OF ELLINGTON
PLANNING DEPARTMENT

2202413
PROPOSED 32'x132' BUILDING ADDITION

ZONING LOCATION SURVEY PREPARED FOR PROPERTY LOCATED AT 160 WEST ROAD ELLINGTON, CONNECTICUT LANDMARK SURVEYS, LLC 62 LOWER BUTCHER RD ~ 860-875-8204 ELLINGTON, CONNECTICUT			
REVISIONS 12/11/24 add topo 12/18/24 add lighting	DRAWN BY M.O.H.	SCALE 1"=40'	JOB NO. 201010-3A



TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

Rachel L. Dearborn 12/18/24 L.S. 70295
RACHEL L. DEARBORN, LICENSED LAND SURVEYOR DATE LICENSE NO.



STATE OF CONNECTICUT – COUNTY OF TOLLAND
INCORPORATED 1786

TOWN OF ELLINGTON

55 MAIN STREET – PO BOX 187
ELLINGTON, CONNECTICUT 06029-0187

www.ellington-ct.gov

TEL. (860) 870-3120 TOWN PLANNER'S OFFICE FX (860) 870-3122

PLANNING AND ZONING COMMISSION REGULAR MEETING MINUTES MONDAY, DECEMBER 23, 2024, 7:00 PM

IN-PERSON ATTENDANCE: TOWN HALL ANNEX, 57 MAIN STREET, ELLINGTON, CT
REMOTE ATTENDANCE: ZOOM VIDEO CONFERENCING
(ATTENDEES BELOW WERE IN PERSON UNLESS OTHERWISE NOTED)

MEMBERS PRESENT: CHAIRMAN ARLO HOFFMAN, VICE CHAIRMAN SEAN KELLY,
REGULAR MEMBERS F. MICHAEL FRANCIS, JON MOSER, MICHAEL
SWANSON, AND ALTERNATE RACHEL DEARBORN

MEMBERS ABSENT: SECRETARY ROBERT SANDBERG, JR., REGULAR MEMBER WILLIAM
HOGAN, AND ALTERNATE JEREMIAH WILLIAMS

STAFF PRESENT: LISA HOULIHAN, TOWN PLANNER AND BARBRA GALOVICH,
RECORDING CLERK

I. CALL TO ORDER: Chairman Arlo Hoffman called the meeting to order at 7:00 pm.

II. PUBLIC COMMENTS (On non-agenda items): **NONE**

III. PUBLIC HEARINGS: *(Notice requirements met, hearings commenced.)*

The commission heard applications S202405 and Z202411 together.

1. S202405 – Abdulsalam Alsaleh and Zak Smith, owner/ Calito Development Group, LLC, applicant, request for a 3-lot subdivision on the west side of West Road (Route 83) across the street from 175 West Road (Meadowview Plaza), in a Planned Commercial (PC) zone. The property subject to application is identified as Assessor Parcel Number 046-003-0002.

Time: 7:02 pm

Seated: Hoffman, Kelly, Francis, Moser, Swanson, and Dearborn

Jim Cassidy, PE, Hallisey, Pearson & Cassidy Engineering Associates, Inc., 630 Main Street, Cromwell, CT, Attorney Robin Pearson, Alter & Pearson, LLC, 701 Hebron Avenue, Glastonbury, CT, Matt Baldino, PE, Solli Engineering, 993 Farmington Avenue, Suite 206, West Hartford, CT, Matt Eucalitto (via Zoom), 55 Proprietors Lane, Torrington, CT, and Douglas Grunert (via Zoom), BKA Architects, 2 Battery March Park, Suite 301, Quincy, MA, were present for the application.

Jim Cassidy said the site currently is 20.98 acres and reviewed the proposed subdivision showing the southerly portion as parcel 1 to be 11.11+/- acres, parcel 2 to be the proposed developed parcel of 3.66+/- acres, and parcel 3 to be 6.86+/- acres upon subdivision approval. He reviewed the overall subdivision schematic plan showing three lots with one main access proposed on lot 2 and a single lane northbound enter and exit only for parcels 1 and 3. Jim mentioned the informal discussion with the commission about access to the site. Jim explained they are only working on approvals to develop parcel 2 for a retail building. The parcel is currently used for agricultural purposes. Jim showed the wetlands areas and the two proposed stormwater basins the Inland Wetlands Agency granted a Wetlands Permit for. The retail building will be a 10,640-sf single-story building with 45 parking spaces. The plan incorporates internal access easements to

comply with access management requirements. Jim noted a three-lane main accessway is proposed across from the access to Meadowview Plaza, 175 West Road, and explained the stormwater runoff from the plaza runs through a culvert under Route 83 then travels through the middle of the parcel which is a manmade drainage swale. Matt Davison of Davison Environmental located in Chester, CT., did the wetland flagging. Presently there are no plans to seek approval for signage. Calito Development Group, LLC, will have a sign company apply separately for a freestanding monument sign and attached sign with gooseneck lighting once the plans are completed. Jim reviewed the Zoning Bulk Table stating zoning requirements are met.

Jim Cassidy said the Water Pollution Control Authority granted conceptual approval to connect to the existing sewer system. They will connect to Connecticut Water and a fire hydrant will be added. Downspouts on the building will connect to the stormwater system. Jim reviewed the Photometric Plan, stating there will be three light poles facing the building and two light poles along the driveway for safety. Jim reviewed a plan that shows how fire apparatus will be able to maneuver within the site. Jim noted deliveries will be made twice a week during off hours. The loading dock is located on the south side of the building at the rear corner. Jim noted the landscaping plan has been updated to show the wetlands mitigation areas and add more shade trees along the linear frontage of the parcel. The landscape architect added a mixture of species along the front at 20' feet on center. Jim reviewed the proposed landscaping for the project.

Matt Baldino explained a traffic study was conducted but a written report has not been submitted. The Department of Transportation will require an Encroachment Permit and traffic analysis report. A few commissioners explained there are higher traffic volumes on West Road during the am and pm peak hours than what is represented in Matt's analysis and noted that cars queue up along the road within the project area. Matt explained there is adequate room for a dedicated northbound left turn lane, and traffic service levels do not meet Connecticut Department of Transportation thresholds for requiring a traffic light.

Doug Grunert reviewed the proposed elevations. The architecture of the building is New England colonial, the exterior colors will be two toned light gray and include stone finish along the bottom 42" of the building. The roof will have asphalt shingles, and a cupola. Rooftop mechanicals are on the rear of the building and are not visible from the street. Wall mounted light packs have been removed from the plan. Gooseneck lights are proposed where attached signage will be. Awnings have been added to the building over the windows and will be dark bronze.

Attorney Robin Pearson reiterated the developer received approval from the Inland Wetlands Agency and conceptual approval from the Water Pollution Control Authority. Robin confirmed the plans have been revised to incorporate comments from the Design Review Board, and the proposal meets the requirements of Section 8.3.2 of the Ellington Zoning Regulations. She added the applicant will provide whatever material fencing around the dumpsters requested by the commission and the applicant is able to respond to all the Town Engineer's comments.

Chairman Hoffman would like to see samples of the exterior colors and materials proposed for the building. Chairman Hoffman asked about the drainage to the north of the parcel near Johnny Appleseed Apartments. Jim Cassidy explained the wetlands mitigation to be performed and stated there will be no discharge on any abutting properties. The area between Johnny Appleseed Apartments and the left side of the parcel is heavily wooded with a natural watercourse and there's no development proposed in this location (lot 1).

Vice Chairman Kelly asked about site visibility with the proposed trees along the front of the parcel. Jim Cassidy said the trees will be planted 15 feet from the street line and not create visibility issues. Commissioner Francis questioned the proposed drainage and asked if Town Engineer, Dana Steele, could be present next month to review his comments.

Commissioner Swanson inquired about deliveries to which Jim Cassidy showed how tractor trailer

trucks will maneuver within the site. Commissioner Swanson asked for the delivery door to be moved from the side of the building to the rear.

Commissioner Moser suggested the exterior elements for the proposed building mimic the new Starbucks by adding some timber components along with the awnings for more of a country look. He suggested internal access also be granted along the western property line. Joe Teixeira, abutting property owner, was amenable to providing a connection.

Lisa Houlihan stated the applicant is not seeking approval for signage, at this time, but a rendering of the new Dollar General in Rockville was provided showing a sign with black lettering the Design Review Board found favorable. Lisa noted a sign contractor will need to apply for a special permit for the detached and attached signage. Matt Eucalitto will reach out to the retail store with a request for the delivery door to be moved to the back of the building and black lettering for signage. Commissioner Swanson suggested adding split rail fencing along the linear footage of the parcel. Lisa said metal beam guardrails are proposed and suggested installing wooded beam fencing instead like at Big Y Express.

Commissioner Moser questioned if parking should be further from the street and behind the building. Lisa explained the regulations require a 30' setback for parking and 100' setback for buildings leading to the positioning of the proposed parking and building. Commissioner Moser suggested taking the construction of the roof into consideration should they decide to install solar panels in the future. Alternate Dearborn asked what the hours of operation for the retail store would be, Matt Eucalitto stated the store would be open from 7/8:00 am to 9:00 pm.

Commissioner Francis suggested the applicant incorporate design elements used at Earthlight, BarnYard, and Starbucks.

Joe Teixeira, 26 Main Street, is in favor of having more businesses in town, but not a Dollar General that will create more traffic along Route 83 where there are already traffic issues. Joe noted at times it takes three minutes to exit his business at 160 West Road. Chairman Hoffman noted property owners have the right to develop their land in accordance with the regulations.

Kevin Regan, business owner within the Meadowview Plaza at 175 West Road, noted there are high volumes of traffic at peak hours and certain businesses will generate more traffic and potentially increase accidents. Kevin noted drainage issues at the north and south ends of the property proposed for development.

Jim Prichard, 64 Main Street, expressed concerns about traffic and the lack of a traffic study being submitted to the commission.

Lisa Houlihan asked what type of business will be presented to the Connecticut Department of Transportation for permit, Matt Baldino stated the proposed use would fall under "General Retail". He said the size and use of the building will generate less traffic than a restaurant. Lisa asked the commission if they would prefer vinyl fencing or wooden fencing around the refuse area. The commission favored vinyl fencing. Chairman Hoffman requested the applicant's architect bring color and texture samples to the next meeting on Monday, January 27, 2025.

MOVED (SWANSON) SECONDED (KELLY) AND PASSED UNANIMOUSLY TO CONTINUE THE PUBLIC HEARING TO MONDAY, JANUARY 27, 2025, 7PM, TOWN HALL ANNEX, 57 MAIN STREET, ELLINGTON, AND ZOOM VIDEO CONFERENCING FOR S202405 – Abdulsalam Alsaleh and Zak Smith, owner/ Calito Development Group, LLC, applicant, request for a 3-lot subdivision on the west side of West Road (Route 83) across the street from 175 West Road (Meadowview Plaza), in a Planned Commercial (PC) zone. The property subject to application is identified as Assessor Parcel Number 046-003-0002.

2. Z202411 – Abdulsalam Alsaleh and Zak Smith, owner/ Calito Development Group, LLC, applicant, request for Special Permit for a retail business and Site Plan Approval to construct an approximate 10,640 square foot building, parking, stormwater management system and other associated site improvements for property on the west side of West Road (Route 83) across the street from 175 West Road (Meadowview Plaza), in a Planned Commercial (PC) zone. The property subject to application is identified as Assessor Parcel Number 046-003-0002.

Time: 7:02 pm

Seated: Hoffman, Kelly, Francis, Moser, Swanson, and Dearborn

MOVED (SWANSON) SECONDED (KELLY) AND PASSED UNANIMOUSLY TO CONTINUE THE PUBLIC HEARING TO MONDAY, JANUARY 27, 2025, 7PM, TOWN HALL ANNEX, 57 MAIN STREET, ELLINGTON, AND ZOOM VIDEO CONFERENCING FOR Z202411 – Abdulsalam Alsaleh and Zak Smith, owner/ Calito Development Group, LLC, applicant, request for Special Permit for a retail business and Site Plan Approval to construct an approximate 10,640 square foot building, parking, stormwater management system and other associated site improvements for property on the west side of West Road (Route 83) across the street from 175 West Road (Meadowview Plaza), in a Planned Commercial (PC) zone. The property subject to application is identified as Assessor Parcel Number 046-003-0002.

3. Z202412 – Skip's Wastewater Services, owner/ applicant, request for Site Plan Modifications to construct a 42'x56' building addition, relocate parking, construct a 100'x80' new building for truck storage and site improvements at 21 Courtney Drive, APN 018-015-0002 and 41 Courtney Drive, APN 018-015-0004, in an Industrial (I) zone.

Time: 7:36 pm

Seated: Hoffman, Kelly, Francis, Moser, and Swanson

Commissioner Dearborn recused herself.

Andrew Coleman, Skip's Wastewater Services, 21 Courtney Drive, was present for the application. Andrew stated the original building was constructed in 2012, and the addition was completed in 2018. Andrew explained that Skip's is growing 15% a year and is the largest septic installer in New England. Andrew is looking to add another 2,352 sf to the front of the existing building for additional office space and construct a new 8,000 sf building to store trucks. The finished floor for the office addition will be one step down from the original building. The office addition and detached structure will have gray vinyl siding to match the original building. The covered porch will have timber components, like what is currently there. The parking lot will be moved back, and a grassy area will be installed between the addition and the parking lot. Andrew noted the proposed parking lot lighting and shielded wall packs are like what was recently installed for Ellington Racquet Club across the street; no lights will be installed on the west side of the building.

Andrew explained that the office addition and new storage building will be wood framed, and the roof shingles will match the original building. The proposed truck storage building will have a half bath and a 16' overhang on the north side of the building for outside storage. Fully shield wall pack lights will be placed over each door. There will be timber components added to the porch. The landscape plantings will be Northern Spire Arborvitae and planted 12' on center along the berm near the Dearborn's property. Andrew Coleman explained the loading dock is proposed to make it easier for employees to load and unload materials that will be stored in the building.

Lisa Houlihan reviewed the proposed conditions of approval including a requirement that the parcels be combined prior to building and zoning permits. There were no public comments regarding the application.

MOVED (KELLY) SECONDED (FRANCIS) AND PASSED UNANIMOUSLY TO CLOSE THE PUBLIC HEARING FOR Z202412 – Skip's Wastewater Services, owner/ applicant, request for Site Plan Modifications to construct a 42'x56' building addition, relocate parking, construct a 100'x80' new building for truck storage and site improvements at 21 Courtney Drive, APN 018-015-0002 and 41 Courtney Drive, APN 018-015-0004, in an Industrial (I) zone.

MOVED (KELLY) SECONDED (SWANSON) AND PASSED UNANIMOUSLY TO APPROVE WITH CONDITIONS Z202412 – Skip's Wastewater Services, owner/ applicant, request for Site Plan Modifications to construct a 42'x56' building addition, relocate parking, construct a 100'x80' new building for truck storage and site improvements at 21 Courtney Drive, APN 018-015-0002 and 41 Courtney Drive, APN 018-015-0004, in an Industrial (I) zone.

CONDITION(S):

1. In accordance with an Ordinance Prescribing Certain Land Use Fees, the applicant shall pay the cost of services for consultant review of pre and post approval requirements.
2. Lighting shall be downlit and fully shaded.
3. Plans shall be revised to incorporate the Design Review Board recommendations from December 16, 2024.
4. Plans shall comply with the Ellington Town Engineer comments dated December 18, 2024.

IV. NEW BUSINESS:

1. **BY CONSENSUS, RECEIVED AND SCHEDULED A PUBLIC HEARING FOR JANUARY 27, 2025, 7PM, TOWN HALL ANNEX, 57 MAIN STREET, ELLINGTON, AND ZOOM VIDEO CONFERENCING FOR Z202413** – BJJM, LLC, owner/ Joseph Teixeira, applicant, request for modification to Special Permit for office and Site Plan Modification to construct an approximate 4,200 square foot addition and associated site improvements at 160 West Road, APN 046-003-0001, in a Planned Commercial (PC) zone.

V. ADMINISTRATIVE BUSINESS:

1. Approval of November 25, 2024, Regular Meeting Minutes.
MOVED (FRANCIS) SECONDED (SWANSON) AND PASSED UNANIMOUSLY TO APPROVE THE NOVEMBER 25, 2024, REGULAR MEETING MINUTES AS WRITTEN.
2. Pursuant to a letter dated December 16, 2024, request for informal discussion from Phil and Michelle Bahler, 20 Punkin Drive, to allow a private road within an existing future road right-of-way easement to enable re-subdivision for an additional lot.

Phil Bahler, 2 Punkin Drive, is looking to modify the subdivision approved in 2006 and easement for a future public roadway extension and drainage to create a private road within the easement area to create another lot for family. Lisa Houlihan stated in 2006 the commission approved the subdivision requiring the easement for future extension of Punkin Drive when the lot was further divided; the easement language was reviewed. Lisa noted there is currently only 52.10 liner feet of frontage for 20 Punkin Drive, an insufficient amount to create another lot. Phil stated the easement extends over 20 Punkin Drive to the north property line where it abuts 217 Jobs Hill Road, which is an undeveloped parcel and has access from Jobs Hill Road. Lisa advised Phil to speak with a surveyor and lawyer to help with the proposal. The commission agreed.

VI. ADJOURNMENT:

MOVED (FRANCIS) SECONDED (KELLY) AND PASSED UNANIMOUSLY TO ADJOURN THE PLANNING AND ZONING COMMISSION MEETING AT 9:03 PM.

Respectfully submitted,

Barbra Galovich, Recording Clerk

Planning & Zoning

CONNECTICUT LAND USE LAW FOR MUNICIPAL LAND USE AGENCIES, BOARDS, AND COMMISSIONS

Saturday, March 22, 2025
9:00 a.m. – 4:30 p.m.

Webinar

This is a virtual meeting and will be accessible via Zoom. Zoom is a cloud-based platform for video and audio conferencing. It can be accessed through a browser on any device, or the Zoom app.

To receive your webinar link, you must provide your email address when you register.

To receive your printed course material in a timely manner, please register by February 26th.

This program conforms to the statutory guidelines for planning and/or zoning commission and zoning board of appeals member training. This program fulfills general training requirements and half of the required one hour of training concerning affordable housing and fair housing policies. Note: the Office of Policy and Management does not certify individual programs.

CONNECTICUT LAND USE LAW FOR MUNICIPAL LAND USE AGENCIES, BOARDS, AND COMMISSIONS

The future of Connecticut's communities will be shaped by its land use laws and regulations. Developers, neighbors, and preservationists all intersect before municipal land use boards and commissions, advocating their particular interests and approaches. Each commission member regularly has to make critical decisions, all within the context of complicated statutory and case law.

This introductory level course will focus on topics of immediate concern to all municipal land use agencies, boards, commissions, and their staffs. The topics reflect both timely and practical situations, confronting participants at every level of the municipal land use process. This course will provide a broad review of the municipal land use process, including zoning, planning, zoning board of appeals, and wetlands issues. Members of municipal land use agencies, boards, and commissions, as well as municipal planners, enforcement officers, and engineers will benefit from this full day course.

SEMINAR PROGRAM

9:00 a.m. – 9:10 a.m.

Welcome

*Atty. Rick Costantini and Atty. Evan Seeman
Co-Chairs, CBA Planning and Zoning Section*

9:10 a.m. – 9:40 a.m.

Public Hearing Procedures

Atty. Peter S. Olson, Bethel

This session will cover a review of statutory provisions and case law concerning administrative process, applications, conducting a public hearing; creating the administrative record, and making appropriate findings and conclusions to support decisions.

9:40 a.m. – 10:10 a.m.

Conflict of Interest and Predisposition

Atty. Richard P. Roberts, Hartford

This session will cover statutory provisions on conflict of interest, rules governing predisposition and predetermination, court decisions on conflict of interest, drawing the line between cases where disqualification applies and does not apply, and procedural problems when a question of conflict arises.

10:10 a.m. – 10:20 a.m.

Break

10:20 a.m. – 10:50 a.m.

Environmental Interventions

Atty. Janet P. Brooks, East Berlin

This session will cover interventions under Conn. Gen. Stat. Section 22a-19 for the purpose of raising environmental issues: what they are, what they do, and what you have to do when you get one.

10:50 a.m. – 11:20 a.m.

Planning Commission

Atty. Amy E. Souchuns, Milford

This session will cover powers of the planning commission, plan of development, statutory notice requirements, subdivisions and re-subdivisions, multi-agency approvals, reasons for denial, open space, changes in regulations, bonding requirements, conditional approvals, and mandating off-site improvements.

11:20 a.m. – 11:50 a.m.

Zoning Commissions

Atty. Marjorie F. Shansky, New Haven

This session will cover enabling legislation, powers of zoning commissions and proper purposes and goals of zoning, the comprehensive plan, proper notices of hearings, designating and amending zoning districts, spot zoning, floating zones, the uniformity requirement, dependence upon other governmental agency action, rendering decisions, and publications of notices of decisions.

12:00 p.m. – 12:30 p.m.

Lunch Break

12:30 p.m. – 1:00 p.m.

Special Permit and Site Plan Review

Atty. Brian R. Smith, Hartford

This session will cover statutory requirements and the distinction between special permit and site plan review, and appeals from decisions on applications for special permit and site plan approval.

1:00 p.m. – 1:30 p.m.

Nonconformities

Atty. Christopher J. Smith, Hartford

This session will entail a general discussion of the origin, scope, and issues associated with nonconformities.

1:30 p.m. – 2:00 p.m.

Wetlands Law and Procedure

Atty. Michael A. Zizka, Hartford

This session will cover a review of procedures of municipal inland wetlands and watercourse agencies, and how wetlands law impacts the zoning and planning process.

2:00 p.m. – 2:10 p.m.

Break

2:10 p.m. – 2:40 p.m.

Zoning, Planning and Wetlands Enforcement

Atty. Charles R. Andres, New Haven

This session will cover analysis and discussion of Connecticut law concerning enforcement through the zoning, planning, and wetlands process.

2:40 p.m. – 3:40 p.m.

Panel Discussion

Atty. Ira Bloom, Westport

Affordable Housing, the Municipal Perspective

Atty. Jason A. Klein, Stamford

Options for Expanding Housing Opportunities

3:40 p.m. – 4:10 p.m.

Zoning Board of Appeals

Atty. Dorian R. Famiglietti, Vernon

This session will cover functions of zoning boards of appeal, variances, legal requisites for hardship, including issues of confiscation and self-created hardships, other statutory duties of the ZBA, and hearing procedures.

4:10 p.m. - 4:30 p.m.
Q&A

2025 ZIPLER Awards and

Recent Developments as Reported in CT Land Law and Practice

Available as a video that will be sent to all attendees.

Atty. Dwight H. Merriam, FAICP, Simsbury

Please Note:

This program is available only to members of municipal land use agencies and their support staff.

Refunds of seminar fees will not be granted for cancellations after the course material is mailed out.

To receive your printed course material, in a timely manner, please register by February 26th.

To receive your webinar link, you must provide your email address when you register.

This is a virtual meeting and will be accessible via Zoom. Zoom is a cloud-based platform for video and audio conferencing. It can be accessed through a browser on any device, or the Zoom app.

Pg 206 3

Registration Form

Connecticut Land Use Law Seminar

Saturday, March 22, 2025

To Register

(Please Use a Separate Registration Form for Each Registrant)

To receive your printed course material, in a timely manner, please register by February 26th.

- Visit ctbar.org/LandUse2025 to Register Online
- Mail the Completed Form to:
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Payment must accompany registration.

- ☐ Yes, I will attend the Virtual Connecticut Land Use Law Seminar \$60 (includes printed copy of materials)
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