



Capital Project Planning

BOARD OF EDUCATION MEETING

January 8, 2025





Capital Planning Goals

1. Maintain the District's School buildings in **good working order**.
2. Accommodate the District's existing and projected **enrollment**.
3. Ensure Pelham's School Buildings have space to support **instructional programs**.
4. Consider **energy efficient and sustainable solutions** to enhance long-term value and resiliency.



Summary of September BOE Presentation

- The Elementary Schools have capacity for the projected enrollments, however Colonial and Siwanoy operate with less support space.
- The projected enrollment for Pelham Memorial High School will exceed “functional capacity”.
- The Building Condition Survey identified \$95.9M of work.
- It is time to address ADA requirements at Siwanoy.



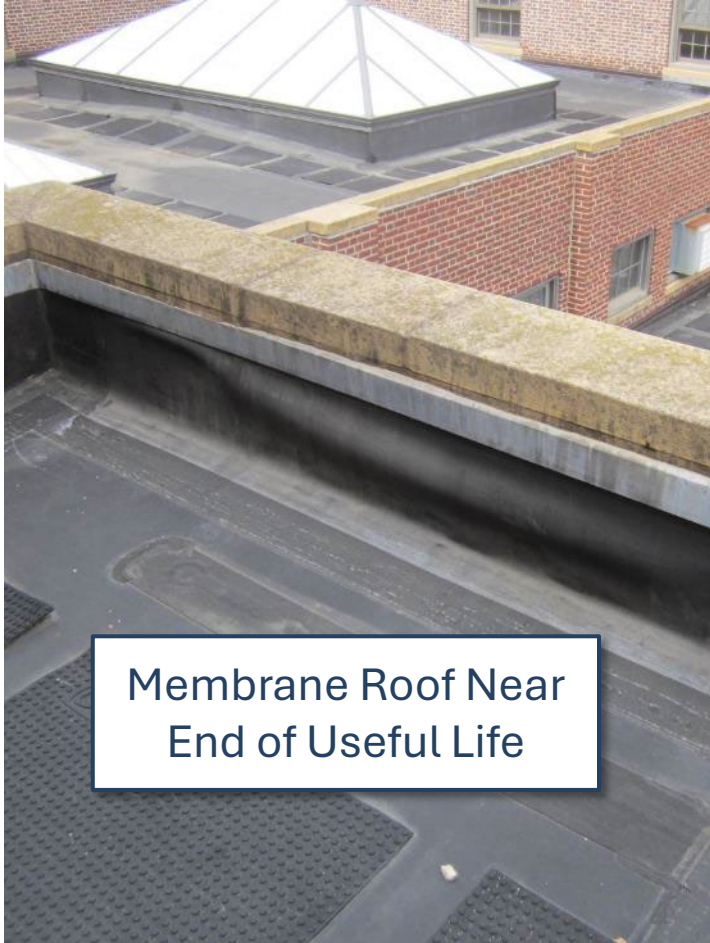
September December:

- (3) Facilities Committee Meetings (9/18, 11/14, 12/3)
- Prioritized Infrastructure Work from BCS
- Discussed Air Conditioning + Ground Source Heat Pumps
- Evaluated Building Renovation + Expansion Options, with a focus on Siwanoy and Pelham HS + Annex
- Reviewed Draft Budget Estimates



PELHAM PUBLIC SCHOOLS

Roofing



Membrane Roof Near
End of Useful Life

Pelham Middle School



Deteriorated
Slate

Prospect Hill Elementary School



PELHAM PUBLIC SCHOOLS

Windows



Prospect Hill Elementary School



Prospect Hill Elementary School



PELHAM PUBLIC SCHOOLS

Exterior Masonry



Pelham Memorial High School



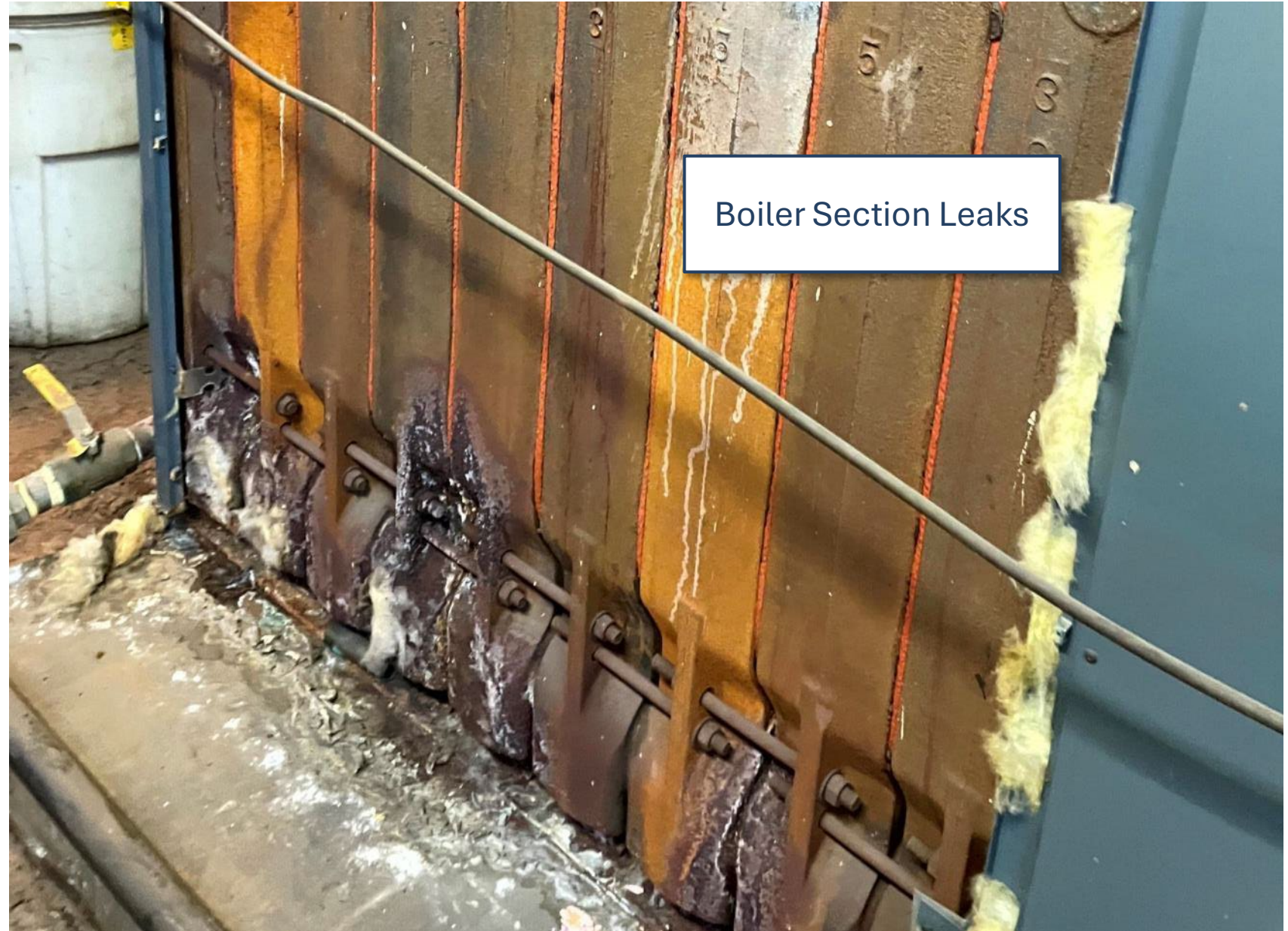
Pelham Memorial High School



Heating Plants



Pelham Memorial High School



Pelham Memorial High School



PELHAM PUBLIC SCHOOLS

Project Budget Anatomy

Construction Costs (Referred to as 'hard' or 'direct')

What is paid to the Contractor(s)

Design Contingency (10%)

To cover additional project scope through the design phases

Construction Contingency (10%)

Additional construction costs incurred during construction

Escalation (4-6% per year)

Projected price increases over time

Project Costs (18%)

All non-brick and mortar expenses to include, design professionals, construction managers, testing services, abatement monitoring, etc.



Prioritized Infrastructure Work

	Roofing	Windows	Masonry	Heating Plant Replacements	Upgrade to Hydronic Heat	Infrastructure Subtotal
Colonial Elementary	\$165,000	\$1,320,000	\$175,000	\$2,920,000	\$2,500,000	\$7,080,000
Siwanoy Elementary		\$1,905,000	\$345,000	\$2,920,000	\$3,000,000	\$8,170,000
Prospect Hill Elementary	\$2,620,000	\$2,115,000	\$345,000	\$3,175,000	\$3,500,000	\$11,755,000
Hutchinson Elementary	N/A	N/A	N/A	N/A	N/A	N/A
Pelham Middle School	\$2,355,000	N/A	\$390,000	N/A	N/A	\$2,745,000
Pelham High School	\$3,405,000	\$5,725,000	\$605,000	\$4,290,000	\$10,500,000	\$24,525,000
Total	\$8,545,000	\$11,065,000	\$1,860,000	\$13,305,000	\$19,500,000	\$54,275,000



Capacity & Program-Related Items

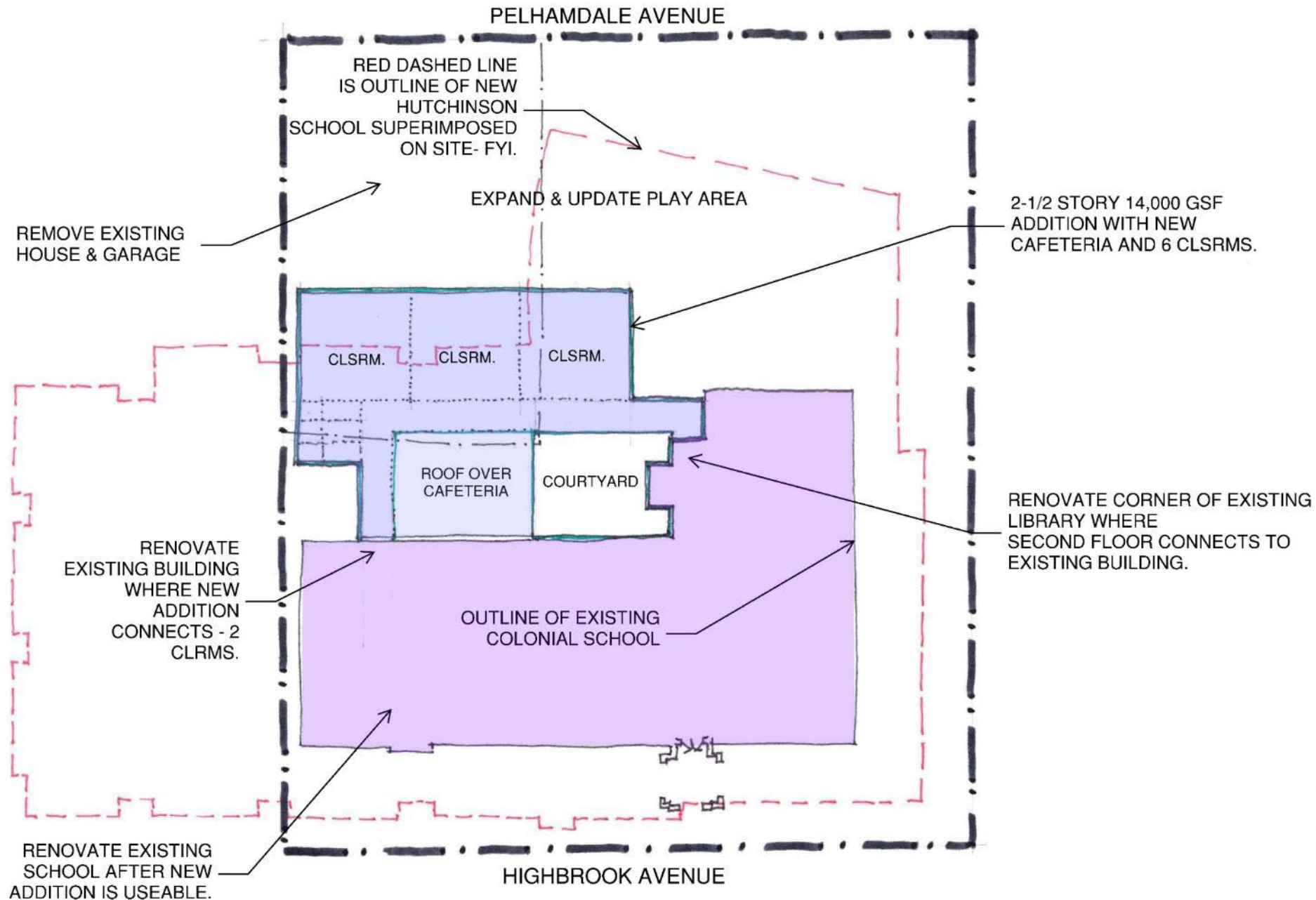
Colonial – Additional full-size classrooms and a dedicated Cafeteria are recommended to ease marginal functional capacity.

Siwanoy – Additional instructional space and a dedicated Cafeteria are recommended to address instructional space adequacy. ADA Compliance.

Prospect Hill – No major concerns with functional capacity

Middle / High School – Additional classroom space to accommodate increase in enrollment and additional student commons / cafeteria space

District Office – Renovate space in MS/HS for District Office and construct new classrooms to compensate for displaced classroom space.



PELHAM PUBLIC SCHOOLS

LONG RANGE PLANNING - 2024
 COLONIAL SCHOOL
 CONCEPTUAL SITE DIAGRAMS
 1" = 32'-0"
 11/14/24



PELHAM PUBLIC SCHOOLS

Colonial Elementary ~ \$19,000,000

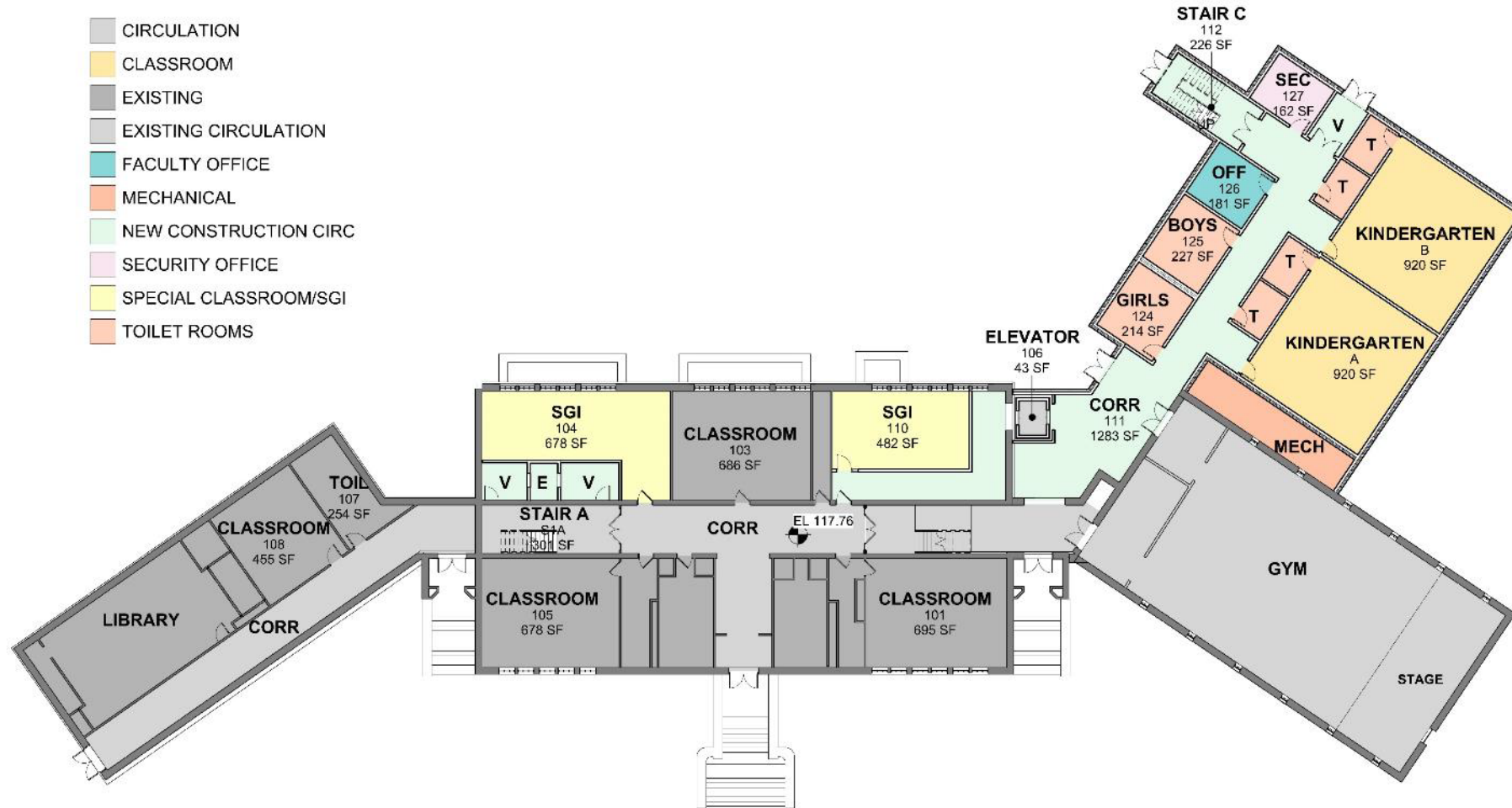
Additions & Alterations to include 2 ½ story addition & renovation of the existing building.

The Committee, upon weighing capital needs throughout the District, determined no additional study of this concept is warranted.

OPTION A – FIRST FLOOR

Legend:

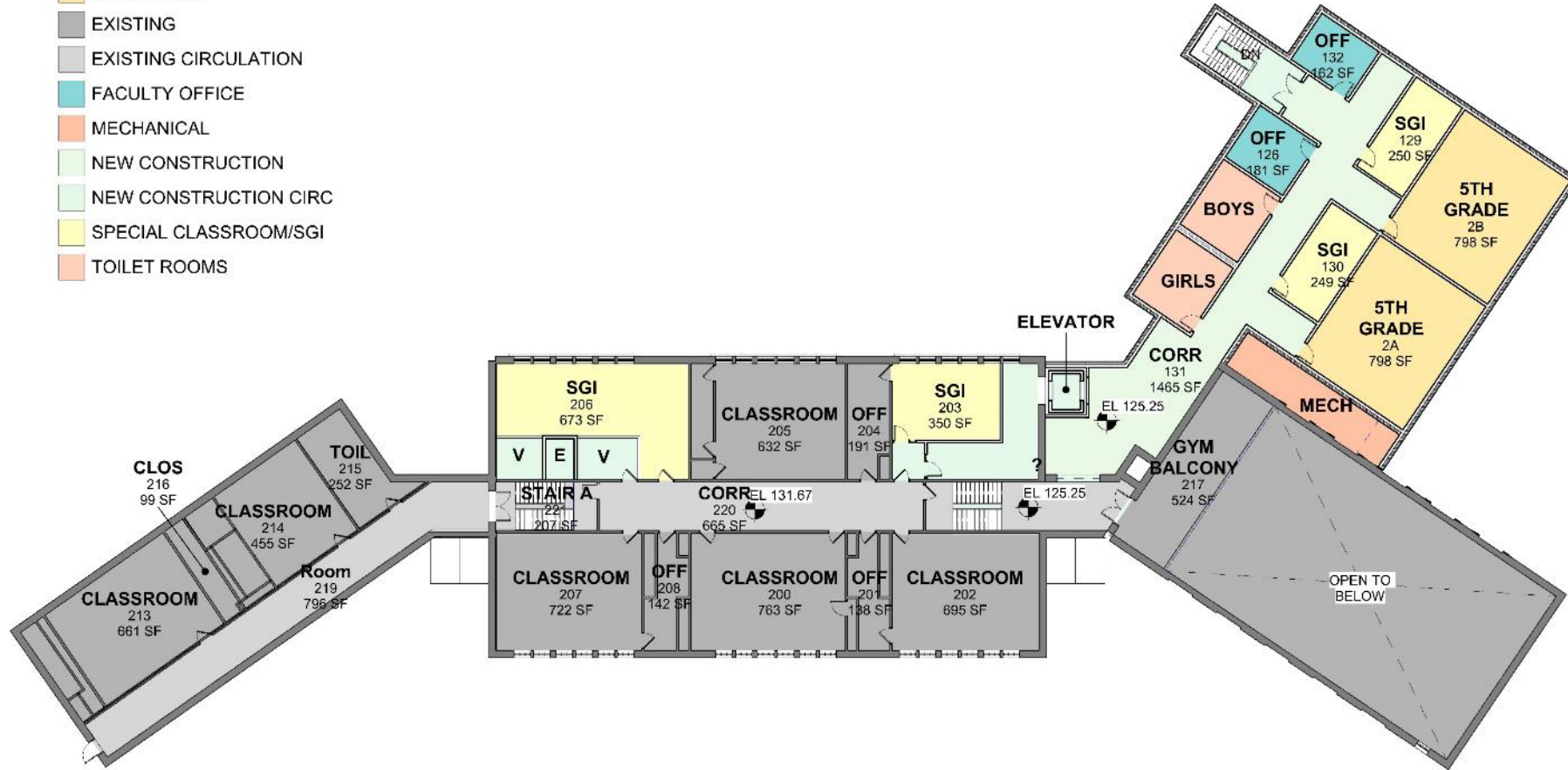
- CIRCULATION
- CLASSROOM
- EXISTING
- EXISTING CIRCULATION
- FACULTY OFFICE
- MECHANICAL
- NEW CONSTRUCTION CIRC
- SECURITY OFFICE
- SPECIAL CLASSROOM/SGI
- TOILET ROOMS

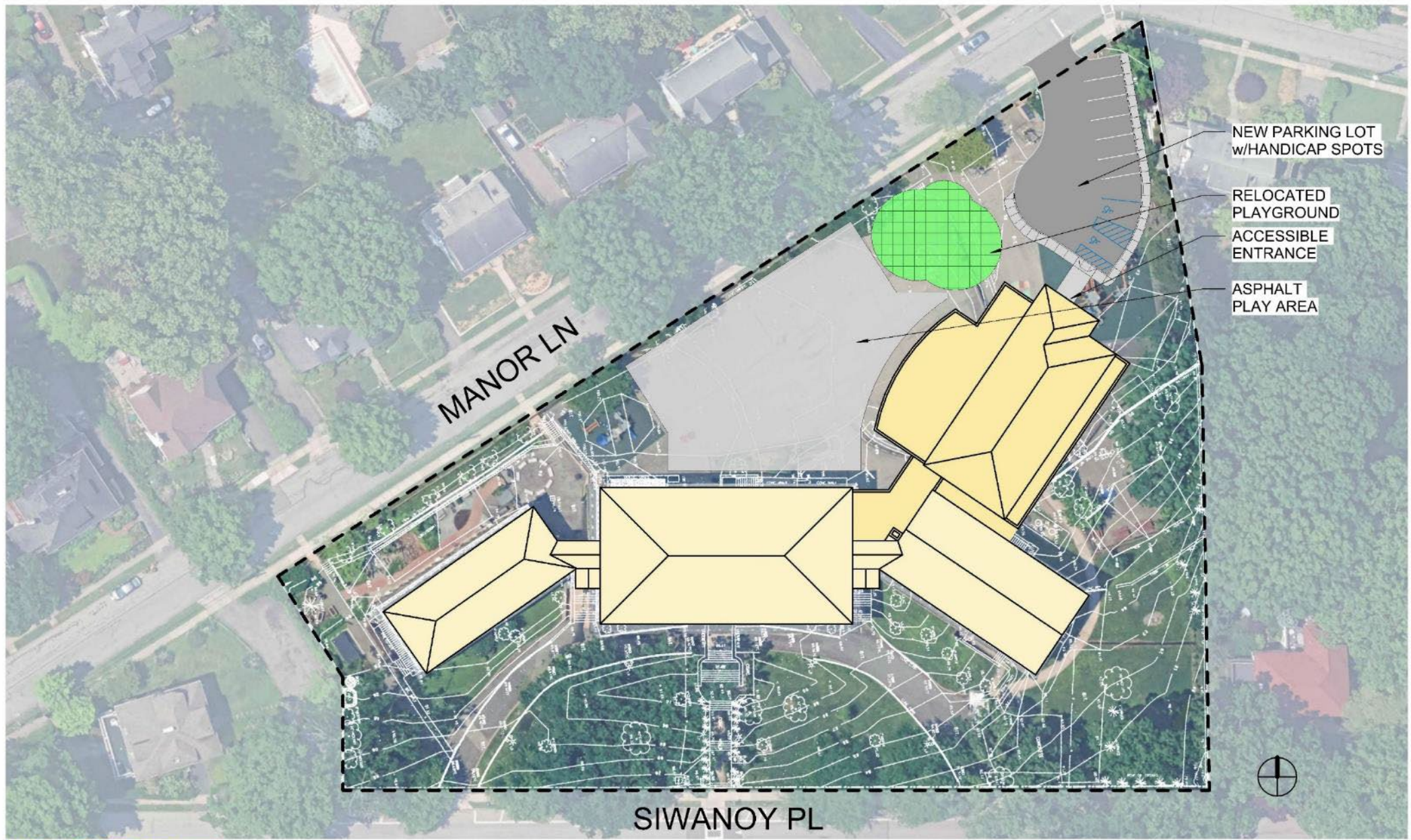


OPTION A – SECOND FLOOR

Legend:

- CLASSROOM
- EXISTING
- EXISTING CIRCULATION
- FACULTY OFFICE
- MECHANICAL
- NEW CONSTRUCTION
- NEW CONSTRUCTION CIRC
- SPECIAL CLASSROOM/SGI
- TOILET ROOMS





NEW PARKING LOT
w/HANDICAP SPOTS

RELOCATED
PLAYGROUND

ACCESSIBLE
ENTRANCE

ASPHALT
PLAY AREA

MANOR LN

SIWANOID PL



Kaeyer, Garment + Davidson Architects, PC
285 Main Street, Mount Kisco, New York 10549
914.666.5900 kgdarchitects.com

SIWANOID ADDITION & ALTERATION
PELHAM UFSD

SITE PLAN

OPTION B – FIRST FLOOR

Legend:

- CAFETERIA
- CIRCULATION
- CLASSROOM
- EXISTING
- EXISTING CIRCULATION
- KITCHEN
- MECHANICAL
- NEW CONSTRUCTION CIRC
- RENOVATION
- RENOVATION - CIRC
- SPECIAL CLASSROOM/SGI
- TOILET ROOMS

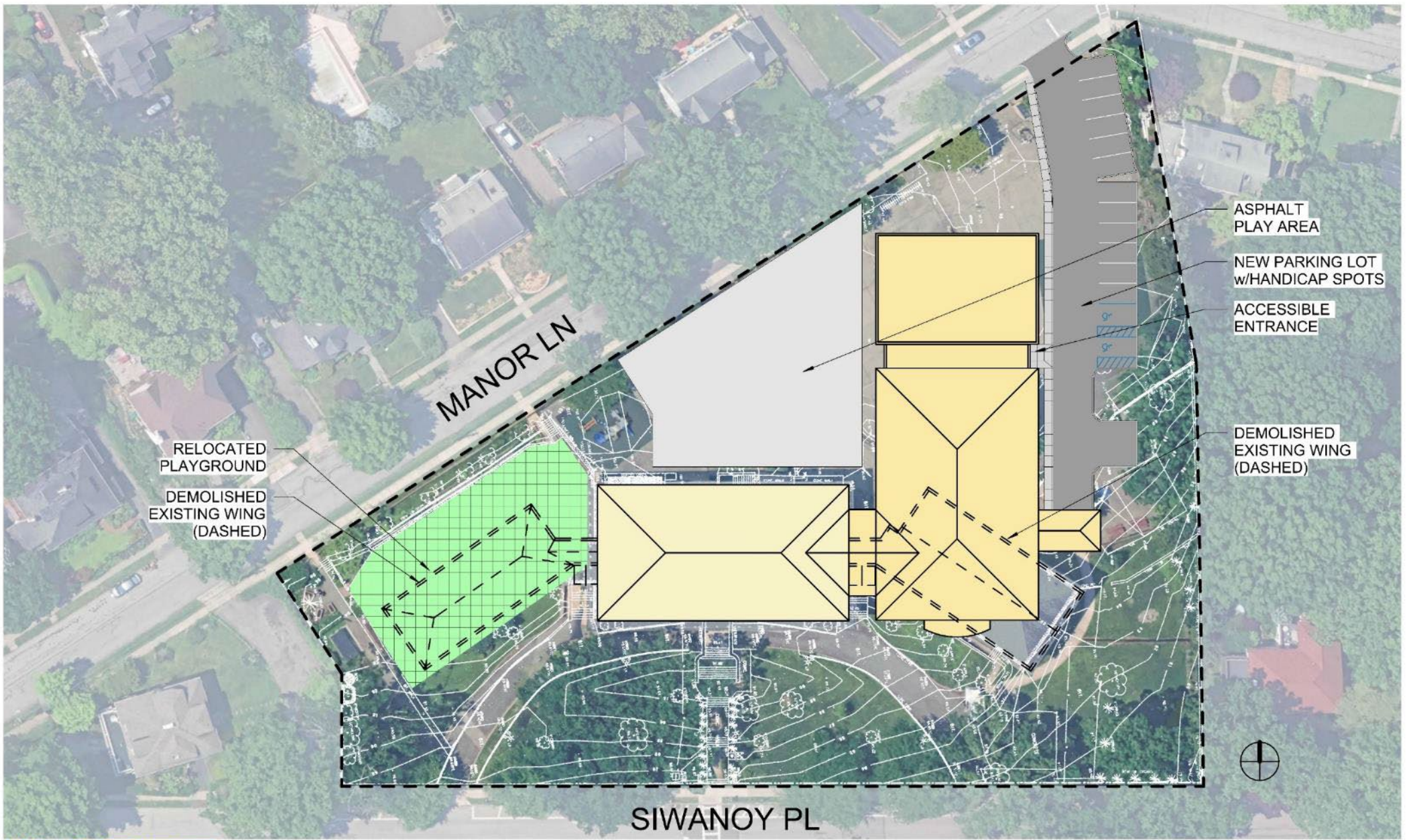


OPTION B – SECOND FLOOR

Legend:

- CLASSROOM
- EXISTING
- EXISTING CIRCULATION
- MECHANICAL
- NEW CONSTRUCTION CIRC
- RENOVATION
- RENOVATION - CIRC
- SPECIAL CLASSROOM/SGI





RELOCATED
PLAYGROUND
DEMOLISHED
EXISTING WING
(DASHED)

ASPHALT
PLAY AREA
NEW PARKING LOT
w/HANDICAP SPOTS
ACCESSIBLE
ENTRANCE
DEMOLISHED
EXISTING WING
(DASHED)

MANOR LN

SIWANoy PL

OPTION C – FIRST FLOOR

Legend:

- CAFETERIA
- CIRCULATION
- CLASSROOM
- EXISTING
- EXISTING CIRCULATION
- GYM
- KITCHEN
- NEW CONSTRUCTION CIRC
- RENOVATION
- RENOVATION - CIRC
- TOILET ROOMS



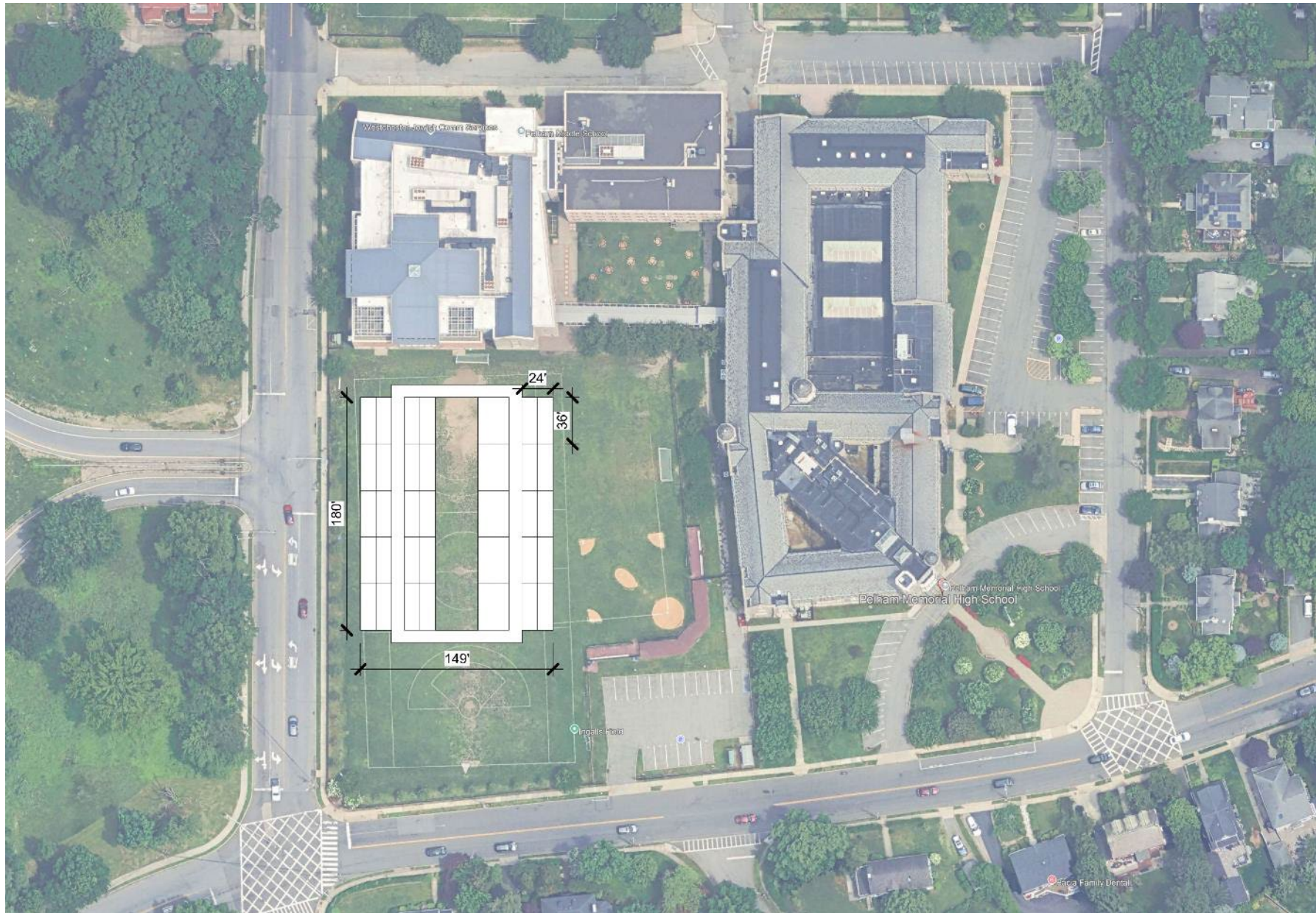
OPTION C – SECOND FLOOR

Legend:

- CLASSROOM
- EXISTING
- EXISTING CIRCULATION
- FACULTY OFFICE
- NEW CONSTRUCTION CIRC
- RENOVATION
- RENOVATION - CIRC
- SPECIAL CLASSROOM/SGI
- TOILET ROOMS



OPTION D – TEMPORARY ELEMENTARY SCHOOL





Siwanoy Elementary

Option A: Alterations for ADA Accessibility and an Addition. No net change in classrooms.

\$13,500,000

Option B: Alterations for ADA Accessibility, Cafeteria and Classroom Addition, Renovation of Existing Building

\$28,000,000

Option C: Remove 'New' Wings. New Addition with Classrooms, Cafeteria, and Gym. Renovation of Existing Building.

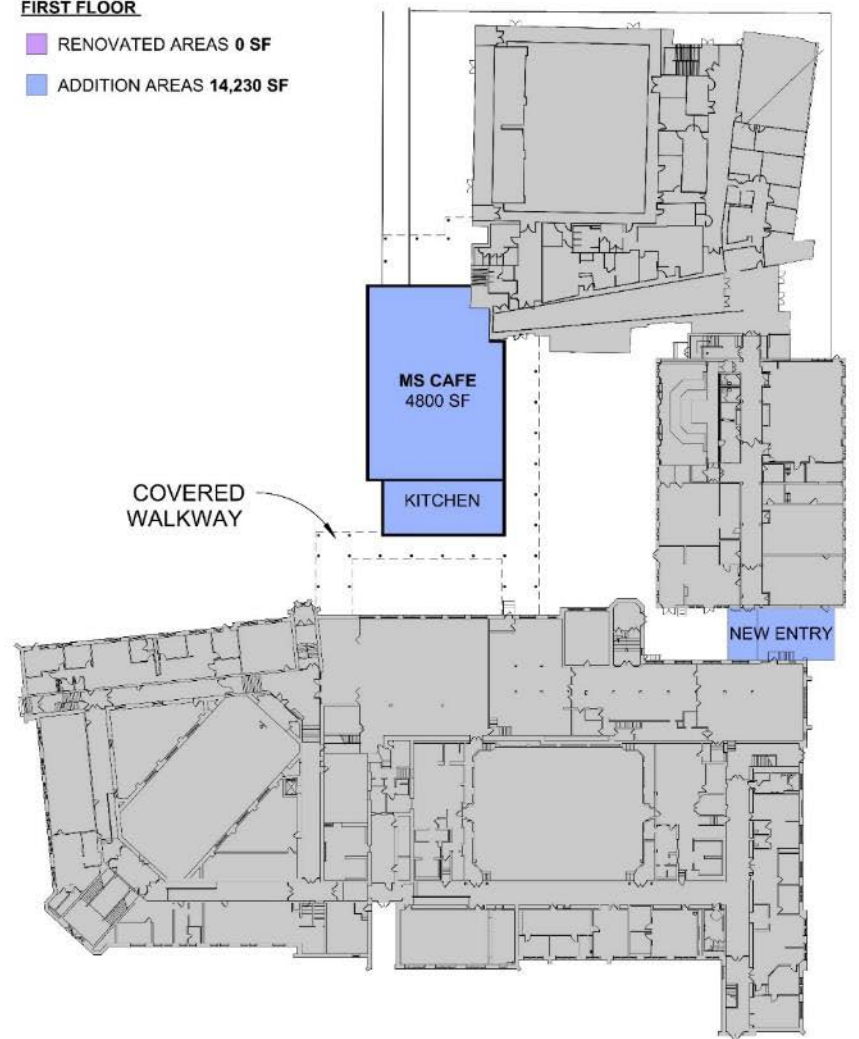
\$35,500,000

Option D: Replacement Building, including temporary classrooms at PHS

~\$90,000,000

FIRST FLOOR

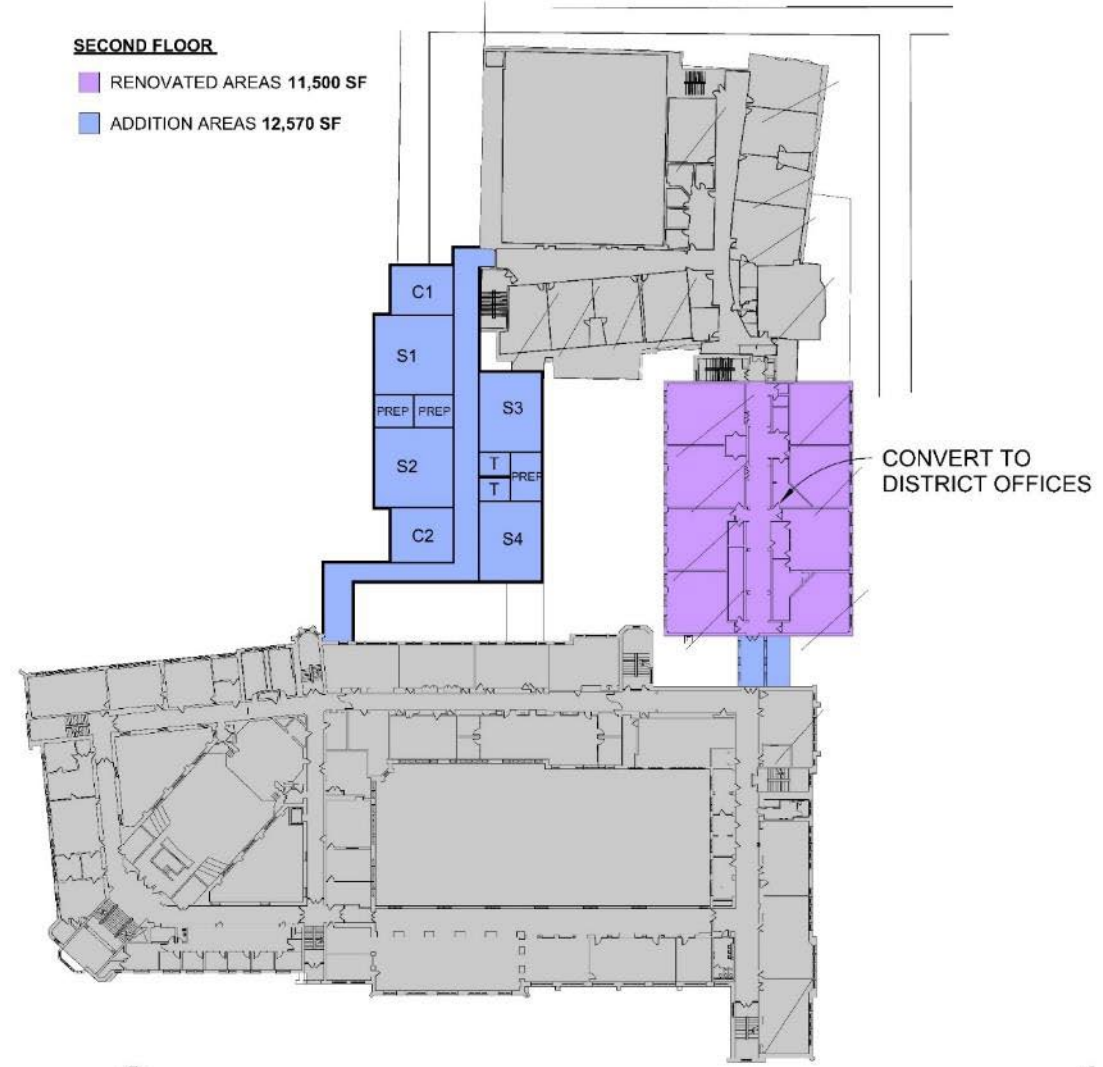
- RENOVATED AREAS 0 SF
- ADDITION AREAS 14,230 SF



FIRST FLOOR PLAN
SCALE 1/64"= 1'

SECOND FLOOR

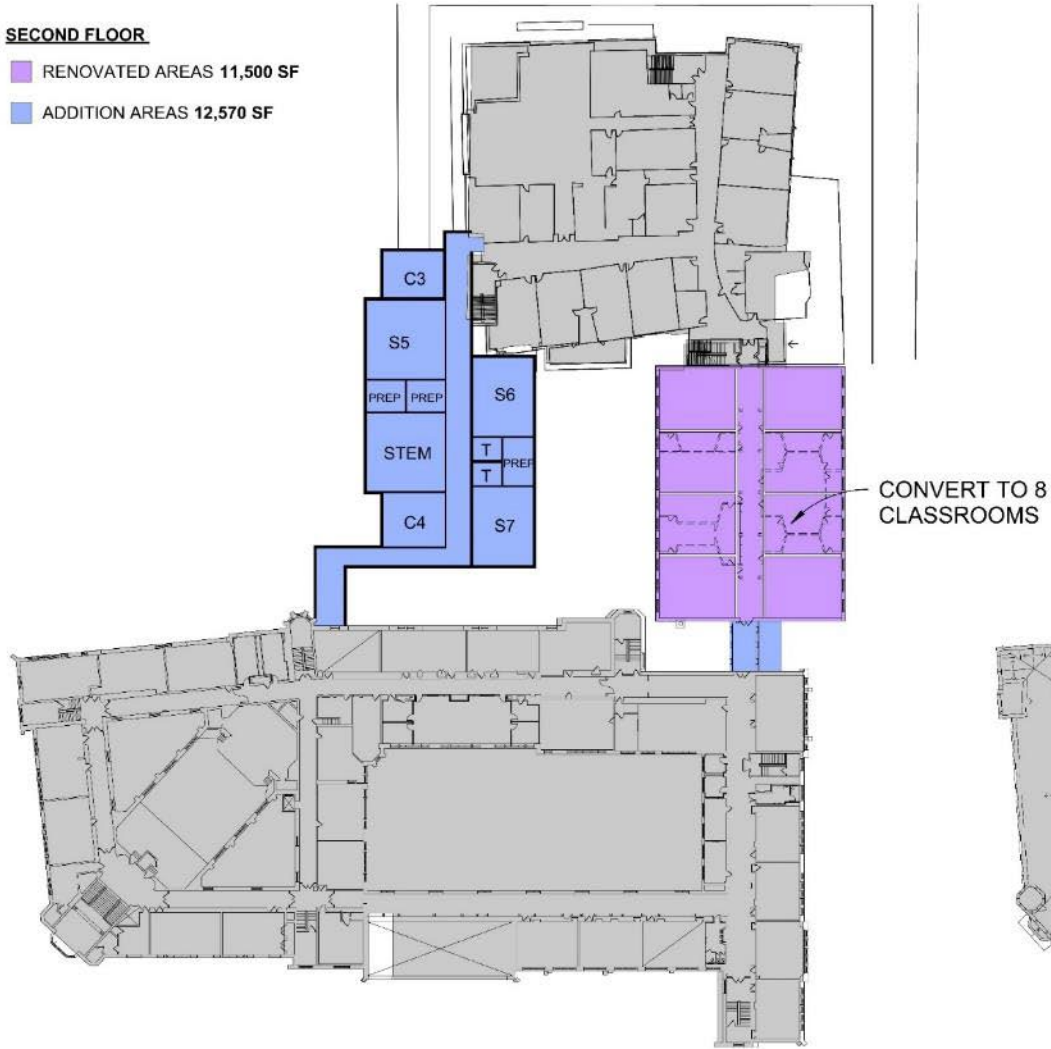
- RENOVATED AREAS 11,500 SF
- ADDITION AREAS 12,570 SF



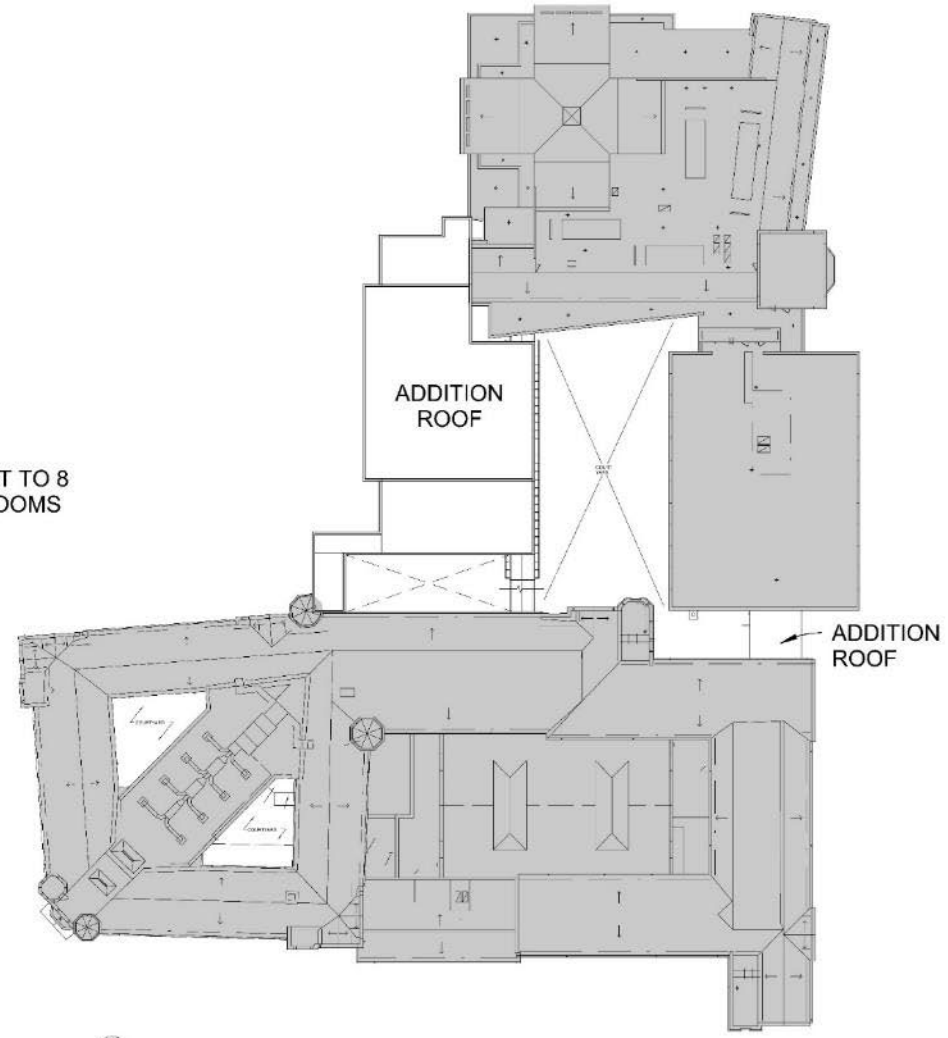
SECOND FLOOR PLAN
SCALE 1/64"= 1'

SECOND FLOOR

- RENOVATED AREAS 11,500 SF
- ADDITION AREAS 12,570 SF



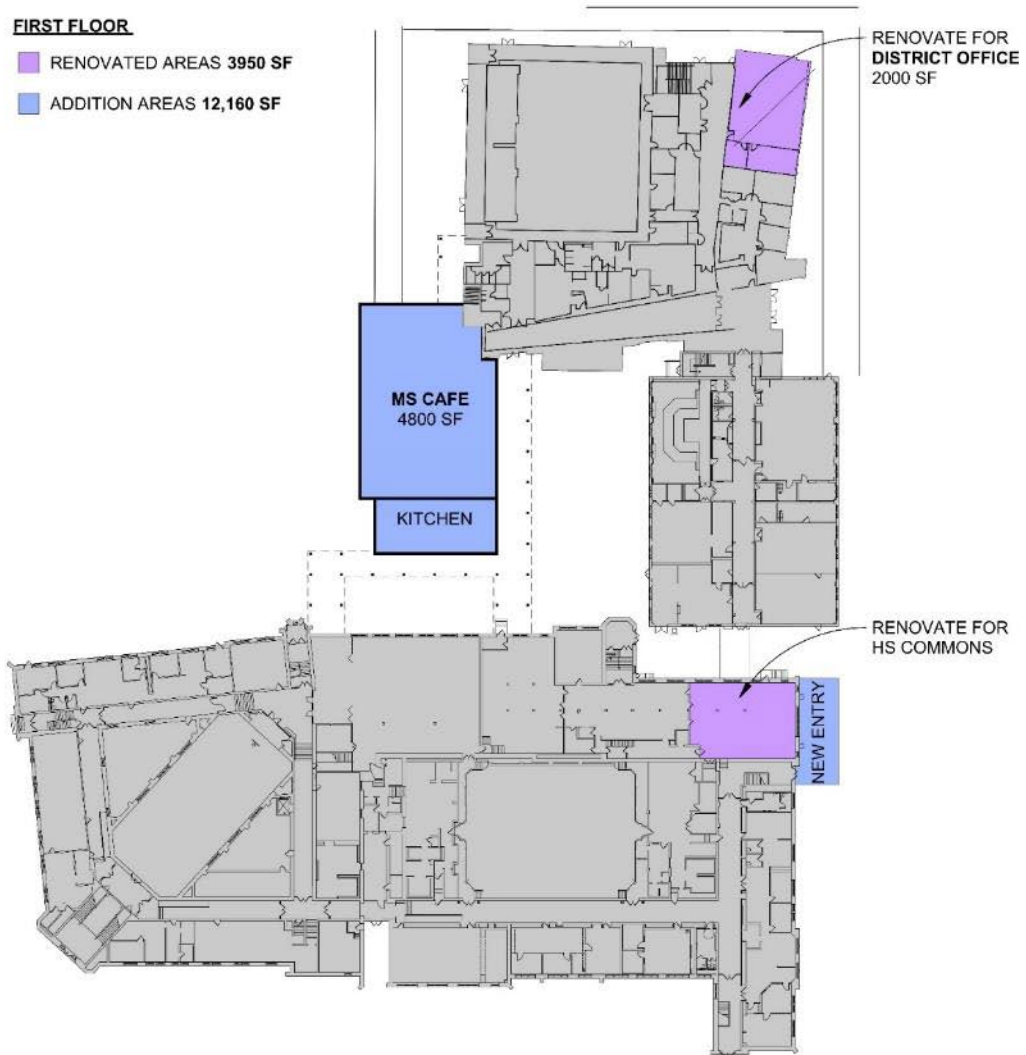
THIRD FLOOR PLAN
SCALE 1/64"= 1'



ROOF PLAN
SCALE 1/64"= 1'

FIRST FLOOR

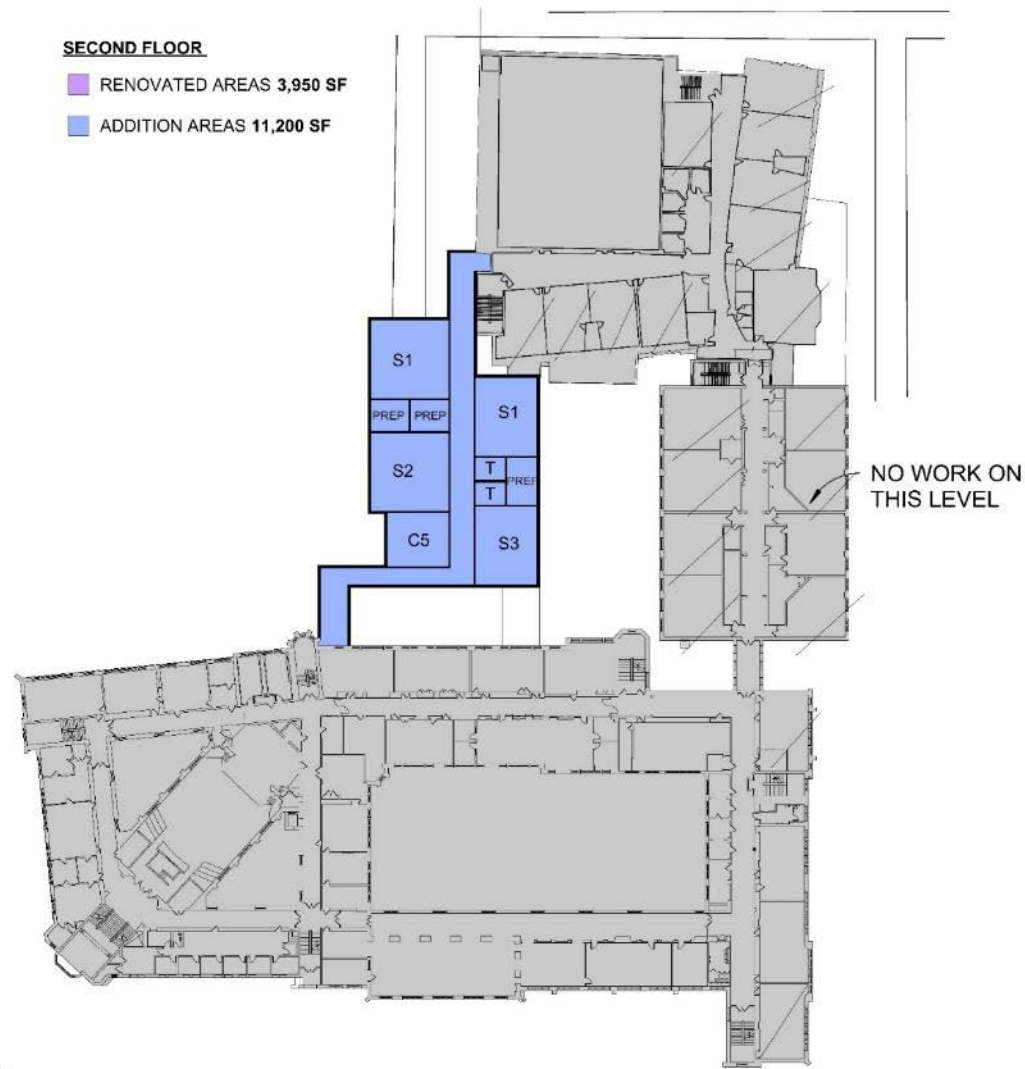
- RENOVATED AREAS 3950 SF
- ADDITION AREAS 12,160 SF



FIRST FLOOR PLAN
SCALE 1/64"= 1'

SECOND FLOOR

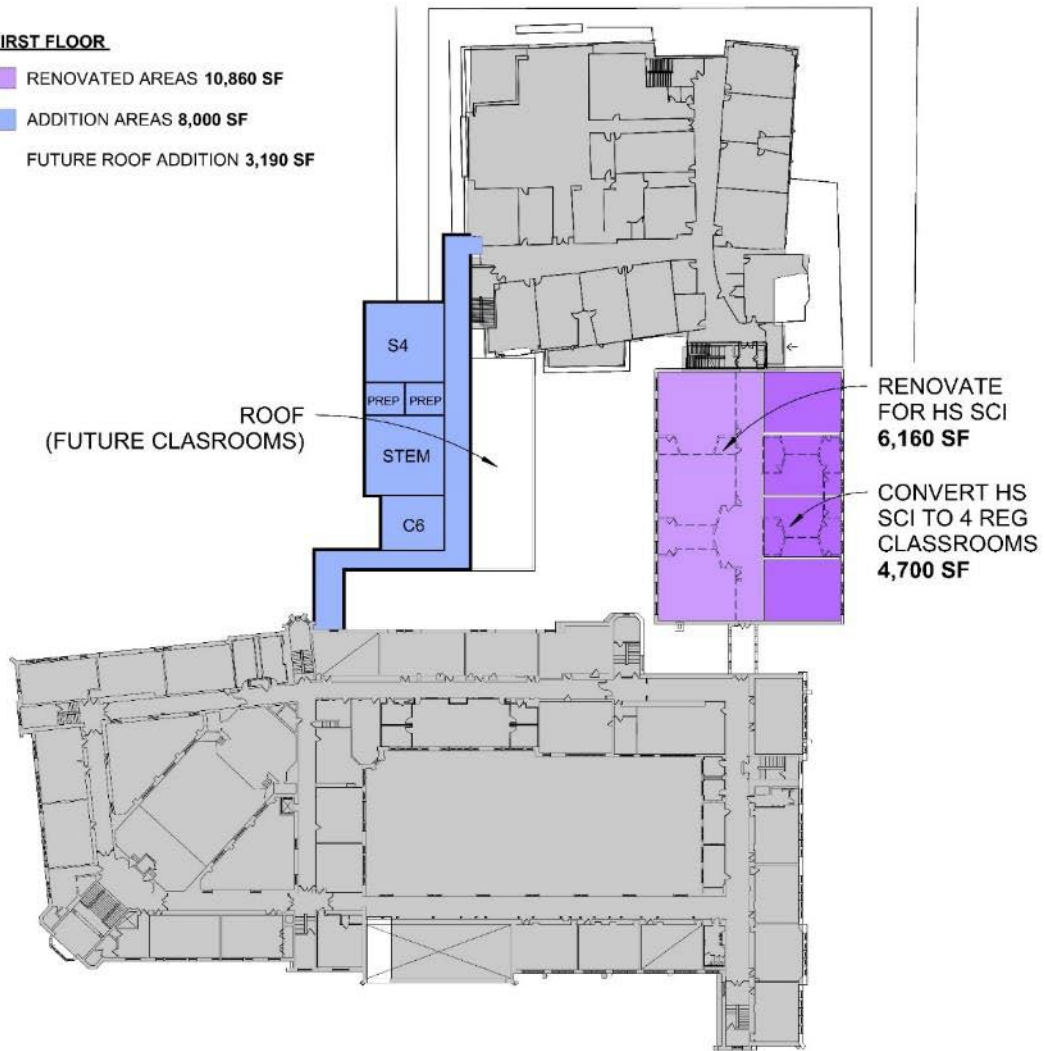
- RENOVATED AREAS 3,950 SF
- ADDITION AREAS 11,200 SF



SECOND FLOOR PLAN
SCALE 1/64"= 1'

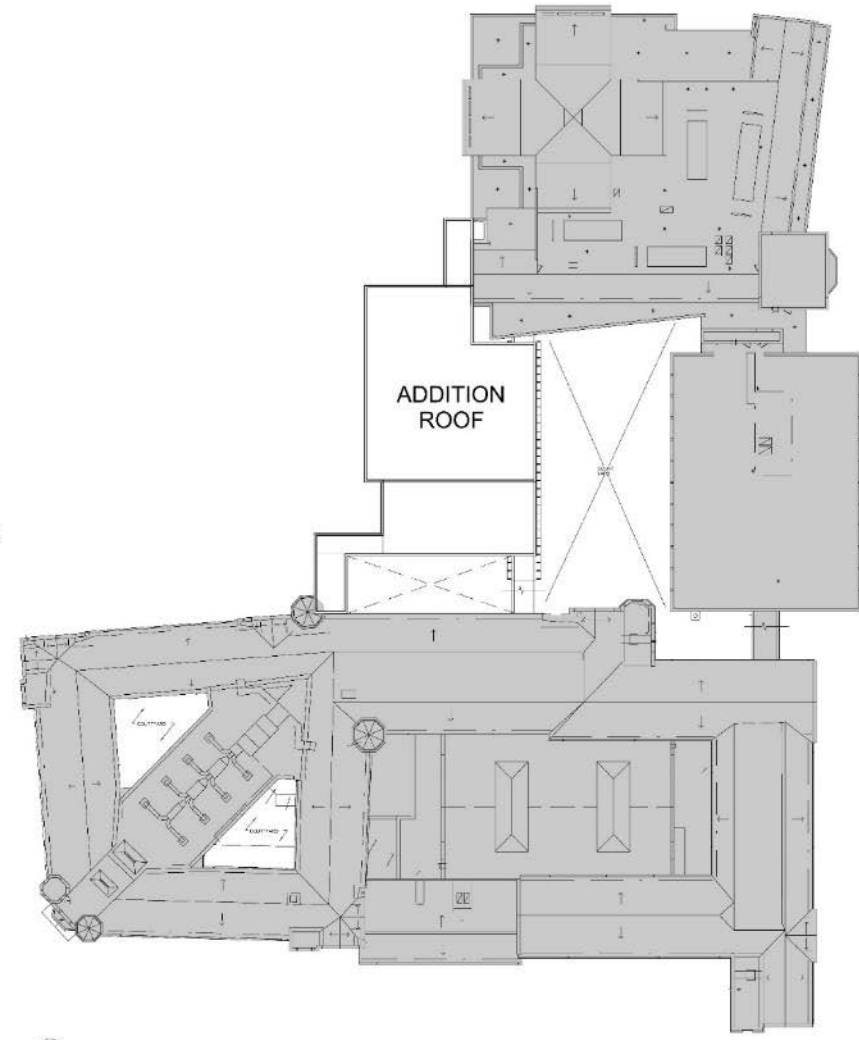
FIRST FLOOR

- RENOVATED AREAS 10,860 SF
- ADDITION AREAS 8,000 SF
- FUTURE ROOF ADDITION 3,190 SF



RENOVATE FOR HS SCI
6,160 SF

CONVERT HS
SCI TO 4 REG
CLASSROOMS
4,700 SF



ROOF PLAN
SCALE 1/64"= 1'



PELHAM PUBLIC SCHOOLS

Pelham Memorial High School

Option A: *Two-Story Addition with Cafeteria and Science Labs. Renovation of the Annex. New, secure main entry.*

\$44,250,000

Option B: *Two-Story (partial) Addition with Cafeteria and Science Labs, Renovation of Annex. Renovation of existing space to Student Commons and District Office. Secure main entry.*

\$34,500,000



Air Conditioning

Add Air Conditioning to All Spaces, to include ventilation upgrades to support air conditioning.

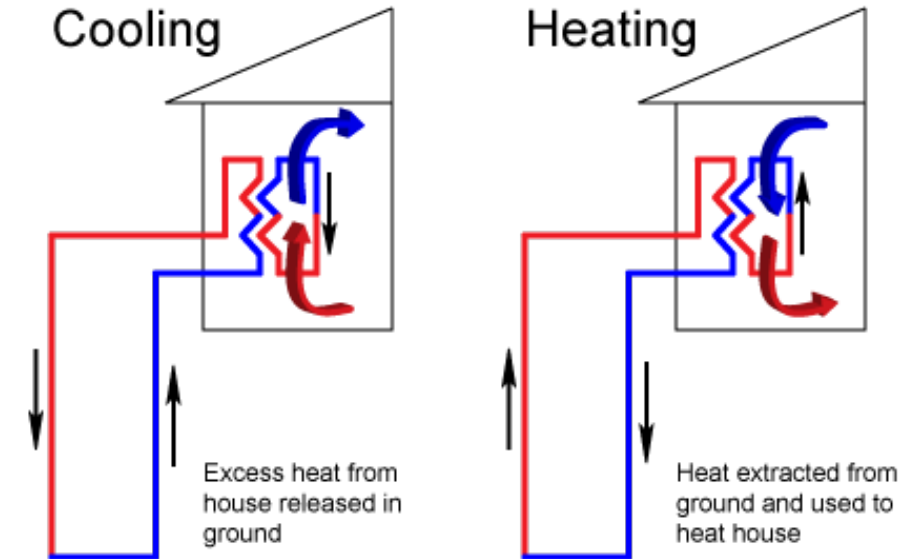
Colonial Elementary	\$8,500,000
Siwanoy Elementary	\$5,500,000
Prospect Hill Elementary	\$5,000,000
<u>Pelham Memorial High School</u>	<u>\$23,500,000</u>
Total	\$42,500,000



Ground Source Heat Pump (Geothermal)

Utilize the earth as a heat sync to generate heating and cooling, reducing dependence on fossil fuels. Must be coupled with air conditioning.

- *Closed Loop Well Field*
- *Circulator Pumps*
- *Water Source Heat Pump plant for heating & cooling*
- *Electrical Upgrades*





PELHAM PUBLIC SCHOOLS

Geothermal - Middletown City Schools



180 Wells Installed Summer 2023



Lawn Restoration Underway



Ground Source Heat Pump (Geothermal)

Colonial Elementary	N/A (Site Constraints)
Siwanoy Elementary	\$2,000,000
Prospect Hill Elementary	\$2,000,000
<u>Pelham Memorial High School</u>	<u>\$6,000,000</u>
Total	\$10,000,000



	<i>Scenario 1</i>	<i>Scenario 2</i>	<i>Scenario 3</i>	<i>Scenario 4</i>	<i>Scenario 5</i>
Infrastructure	\$ 54,275,000	\$ 54,275,000	\$ 54,275,000	\$ 54,275,000	\$ 54,275,000
Siwanoy Elementary (Opt C)		\$ 35,500,000	\$ 35,500,000	\$ 35,500,000	\$ 35,500,000
High School / Annex (Opt B)			\$ 34,500,000	\$ 34,500,000	\$ 34,500,000
Air Conditioning				\$ 42,500,000	\$ 42,500,000
Geothermal					\$ 10,000,000
Total	\$ 54,275,000	\$ 89,775,000	\$ 124,275,000	\$ 166,775,000	\$ 176,775,000

CAPITAL PROJECT PLANNING MILESTONE SCHEDULE

1/8/2024



Action	Start	Finish	Comments
Board of Education Meeting	January 8, 2025		
Capital Project Planning Update			KG+D, BAC Representatives
Bond Advisory Committee (BAC) Meeting	Jan-25		
Review Capital Project Studies - Scope & Budget			KG+D
Bond Advisory Committee (BAC) Meeting	Jan-25		
Review Capital Project Studies - Scope & Budget			KG+D
Board of Education Meeting	February 12, 2025		
Capital Project Planning Update			KG+D, BAC Representatives
SEQRA - BOE declares intent to act as Lead Agency			Commence Required SEQRA Study
Bond Advisory Committee (BAC) Meeting	Feb-25		Finalize Recommendation to Board of Education
Board of Education Meeting	March 26, 2025		
Capital Project Planning Update			KG+D, BAC Representatives
SEQRA - BOE Determine Lead Agency Status and SEQRA Determination			30 days minimum after commencement of coordinated review, if required
Board of Education Meeting	April 2, 2025		
BOE Resolution to conduct bond referendum			45 days, min. prior to date of referendum.
Public Information Process	Apr-25	May-25	
Referendum	May 20, 2025		



listen

imagine

build