



STATE OF CONNECTICUT – COUNTY OF TOLLAND
INCORPORATED 1786

TOWN OF ELLINGTON

55 MAIN STREET – PO BOX 187
ELLINGTON, CONNECTICUT 06029-0187
www.ellington-ct.gov

TEL. (860) 870-3120 TOWN PLANNER'S OFFICE FAX (860) 870-3122

DESIGN REVIEW BOARD REGULAR MEETING AGENDA MONDAY, DECEMBER 16, 2024, 7:00 P.M.

IN-PERSON ATTENDANCE: TOWN HALL ANNEX, 57 MAIN STREET, ELLINGTON, CT
REMOTE ATTENDANCE: VIA ZOOM MEETING, INSTRUCTIONS PROVIDED BELOW

I. CALL TO ORDER:

II. PUBLIC COMMENTS (On Non-Agenda Items):

III. NEW BUSINESS:

1. Review of design elements for Abdulsalam Alsaleh and Zak Smith, owner/ Calito Development Group, LLC, applicant, request to construct an approximate 10,640 square foot building, parking, stormwater management system and other associated site improvements for a retail business on West Road (Route 83) APN 046-003-0002 in a Planned Commercial (PC) zone.
2. Review of design elements for Skip's Waste Water Services, owner/ applicant, request to construct a 42'x56' building addition, relocate parking, construct a 100'x80' new building for truck storage and site improvements at 21 Courtney Drive, APN 018-015-0002 and 41 Courtney Drive, APN 018-015-0004, in an Industrial (I) zone.

IV. ADMINISTRATIVE BUSINESS:

1. Approval of September 16, 2024, Regular Meeting Minutes
2. Correspondence/Discussion:

V. ADJOURNMENT:

Next regular meeting is scheduled for March 24, 2025

In addition to providing in person attendance, this meeting will be conducted using the online video conferencing service provider Zoom. Meeting details provided on the agenda and posted on the Town of Ellington webpage (www.ellington-ct.gov), Agenda & Minutes, Design Review Board.

Join Zoom Meeting via link:

Link: <https://us06web.zoom.us/j/86487122722>

Meeting ID: 864 8712 2722

Password: 778798

Join Zoom Meeting by phone:

1-646-558-8656 US (New York)

Meeting ID: 864 8712 2722

Password: 778798

Town of Ellington Planning & Zoning Commission Application

Type of Application: <input type="checkbox"/> Zone Change <input type="checkbox"/> Amendment to Regulation <input checked="" type="checkbox"/> Site Plan Approval <input checked="" type="checkbox"/> Special Permit <input type="checkbox"/> Modification <input type="checkbox"/> CGS 8-24	Application # <u>Z202411</u> Date Received <u>11-21-2024</u>
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<p>Notices associated with this application will be sent to the applicant, if different than the owner, unless otherwise requested.</p> <p>Owner's Information</p> <p>Name: <u>Abdulsalam M. Alsaleh & Zak Smith</u></p> <p>Mailing Address: <u>81 Spring Street, Windsor Locks, CT 06096</u></p> <p>Email: <u>Abdulnyc@hotmail.com</u></p> <p>WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>Primary Contact Phone #: <u>(917) 250-0133</u></p> <p>Secondary Contact Phone #: _____</p> <p>Signature: _____ Date: _____</p> <p><small>By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Commission have been submitted. Moreover, by signing above I/we expressly provide written consent to the filing of the application and access to the site by the Commission or its staff.</small></p>	<p>Notices associated with this application will be sent to the applicant, if different than the owner, unless otherwise requested.</p> <p>Applicant's Information (if different than owner)</p> <p>Name: <u>Calito Development Group LLC</u></p> <p>Mailing Address: <u>59 Field Street, Torrington, CT 06790</u></p> <p>Email: <u>matt@calitogroup.com</u></p> <p>WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>Primary Contact Phone #: <u>860-280-5825</u></p> <p>Secondary Contact Phone #: _____</p> <p>Signature: <u>[Signature]</u> Date: <u>11/20/24</u></p> <p><small>By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Commission have been submitted.</small></p>
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RECEIVED

NOV 21 2024

Street Address: West Road (Route #83)

Assessor's Parcel Number (APN): 046 - 003 - 0002 Existing Zone: PC Proposed Zone: n/a
(If unaware of APN, please ask staff for assistance) (If none, insert "N/A")

Public Water: Yes No Public Sewer: Yes No *If not served by public water and sewer, applicant/owner shall make application to North Central District Health Department (Enfield Office).*

Is parcel within 500' to any municipal boundary? Yes No

Are there any wetlands/watercourses within 100' of construction activity or within 250' of wetlands/watercourses when located in the Shenipsit Lake Drainage Basin? Yes No *If yes, pursuant to state law application must be made to the Inland Wetlands Agency prior to or simultaneously with application to the Planning and Zoning Commission.*

Is the project in a public water supply watershed area? Yes No *If yes, applicant shall notify Connecticut Water Company and Commissioner of Public Health about the proposed project by certified mail return receipt within 7 days of application (§8-3i(b)). Copy of application, plans, and supporting documents must accompany notice. Proof of notice and copies of return receipts must be provided to the Planning Department.*

Description of Request (If more space is needed, please attach additional sheets)

The applicant is seeking to subdivide the vacant 20.98-acre parcel into 3 lots, and to construct a 10,640 sq. ft. one-story retail use building on the proposed 3.667-acre Lot #2. Additional site improvements would include a proposed stormwater basin to the west, a stormwater swale to the east and a 45-space parking lot. Two wetlands mitigation areas are proposed. All bulk requirements for development in the PC zone would be met. The retail use development would be serviced by public water and public sewer by connecting to existing laterals in Route 83 (West Street).

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NOV 21 2024

TOWN OF ELLINGTON
PLANNING DEPARTMENT

EXHIBIT B
Notice of Permitting Rights

The undersigned parties hereby certify that Seller and Purchaser have entered into that certain Purchase and Sale Agreement dated as of March 14, 2024 (the "Agreement") and that the Agreement contains the following terms:

Seller: Abdulsalam Alsaleh and Zak Smith

Purchaser: Calito Development Group, LLC

Property: West Road – Parcel 046-003-0002, Ellington, Connecticut


Purchaser's
Permitting
Rights:

Section 4 of the Agreement provides in part, "At Purchaser's request, and at the cost and expense of Purchaser, Seller shall promptly execute applications for permits, licenses and other governmental and quasi-governmental permits and approvals reasonably deemed to be necessary by Purchaser in connection with the pursuit of the Approvals and shall otherwise cooperate with Purchaser in obtaining the Approvals. Seller shall not, during the term of this Agreement, make any applications for permits, licenses or other governmental and quasi-governmental permits and approvals relating to the Property. Seller hereby irrevocably appoints Purchaser as attorney-in-fact for Seller with full power and authority to execute and deliver any such applications for Approvals with respect to the Property in the name of Seller."


The purpose of this notice is to provide governmental authorities and other parties with notice that Purchaser has the authority to apply for and obtain permits and approvals in connection with the development of the Property without Seller's further consent. This notice is not intended to expand or reduce any of the rights afforded Seller or Purchaser in the Agreement.

SELLER:

PURCHASER:


Abdulsalam Alsaleh

CALITO DEVELOPMENT GROUP, LLC


By: _____
Name: Gary W. Eucalitto
Title: Manager


Zak Smith

Project Narrative for Site Plan and Special Permit Application

The applicant, Calito Development Group LLC, is proposing to construct a new 10,640 sq. ft. one-story building on a portion of the property known as West Road, Property ID: 045 003 002. This building would be used for retail use which is permitted within the PC (Planned Commercial) Zone.

The parent tract consists of 20.98 acres of vacant land. In conjunction with this application, the applicant is proposing a three (3) lot subdivision, with the development parcel being 3.667 acres in size. The remaining two lots are not a part of this Site Plan / Special Permit application.

The retail building would be accessed via one (1) curb cut on West Road, the location of which is in compliance with the town's Access Management Plan. The location of the accessway requires impacting wetlands and upland review area. The applicant received the required permits from the Ellington Inland Wetlands and Watercourses Commission on Monday, November 18, 2024. The wetlands impacts are proposed to be offset by two mitigation areas to be located between the proposed accessway drive and West Road. The property will continue to receive drainage from Meadowview Plaza, which is located across West Street. There will be no increase in runoff to the wetlands otherwise.

Other related site improvements include a 45-space parking lot, with two ADA accessible spaces, a stormwater infiltration basin to the west of the proposed building, and an infiltration swale to the east of the parking lot. All bulk requirements for the PC Zone are met by the current proposal. The proposed building will be serviced by public water and public sewer, both of which are available via mains located in West Road, and underground electric service.

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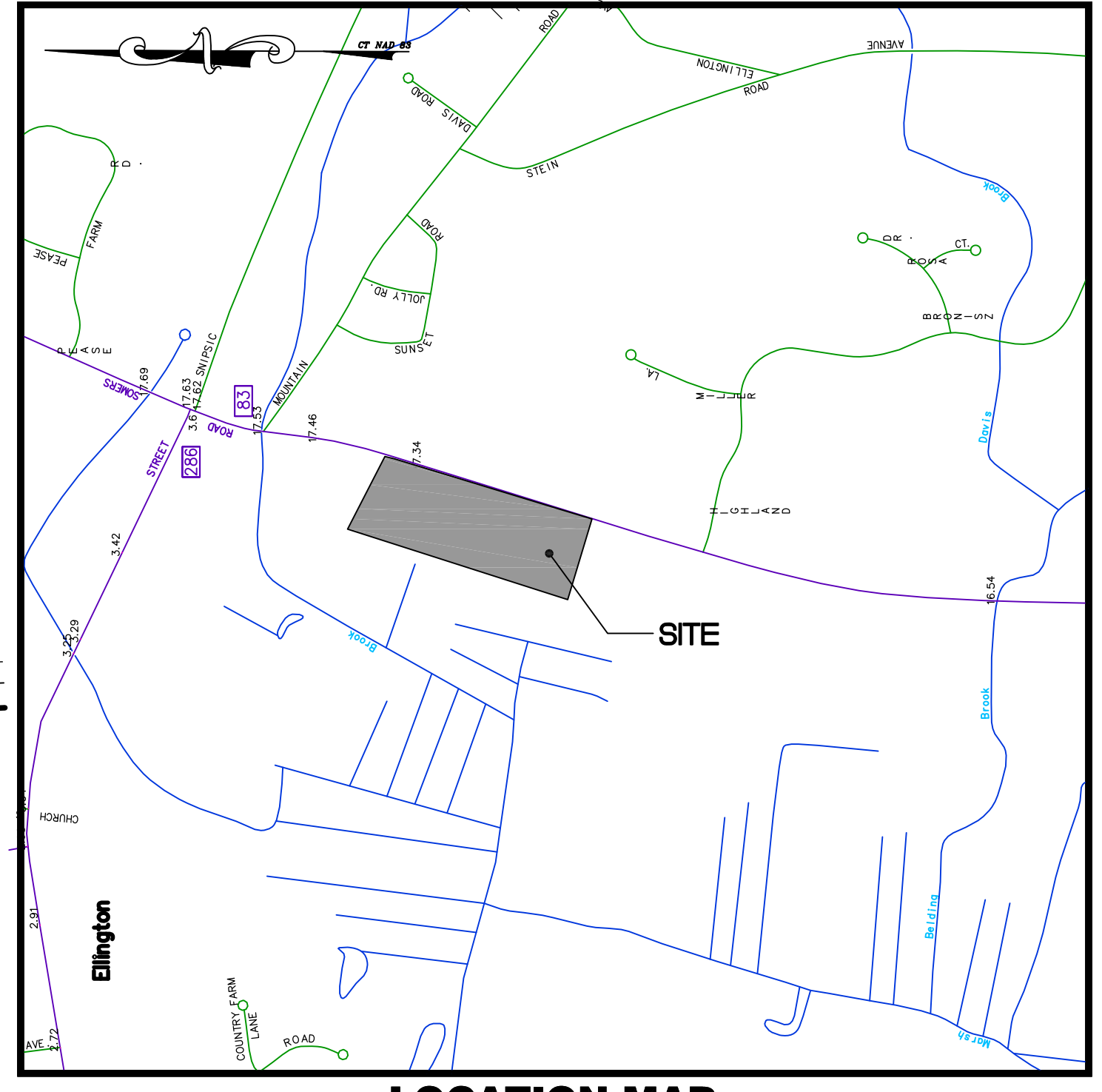
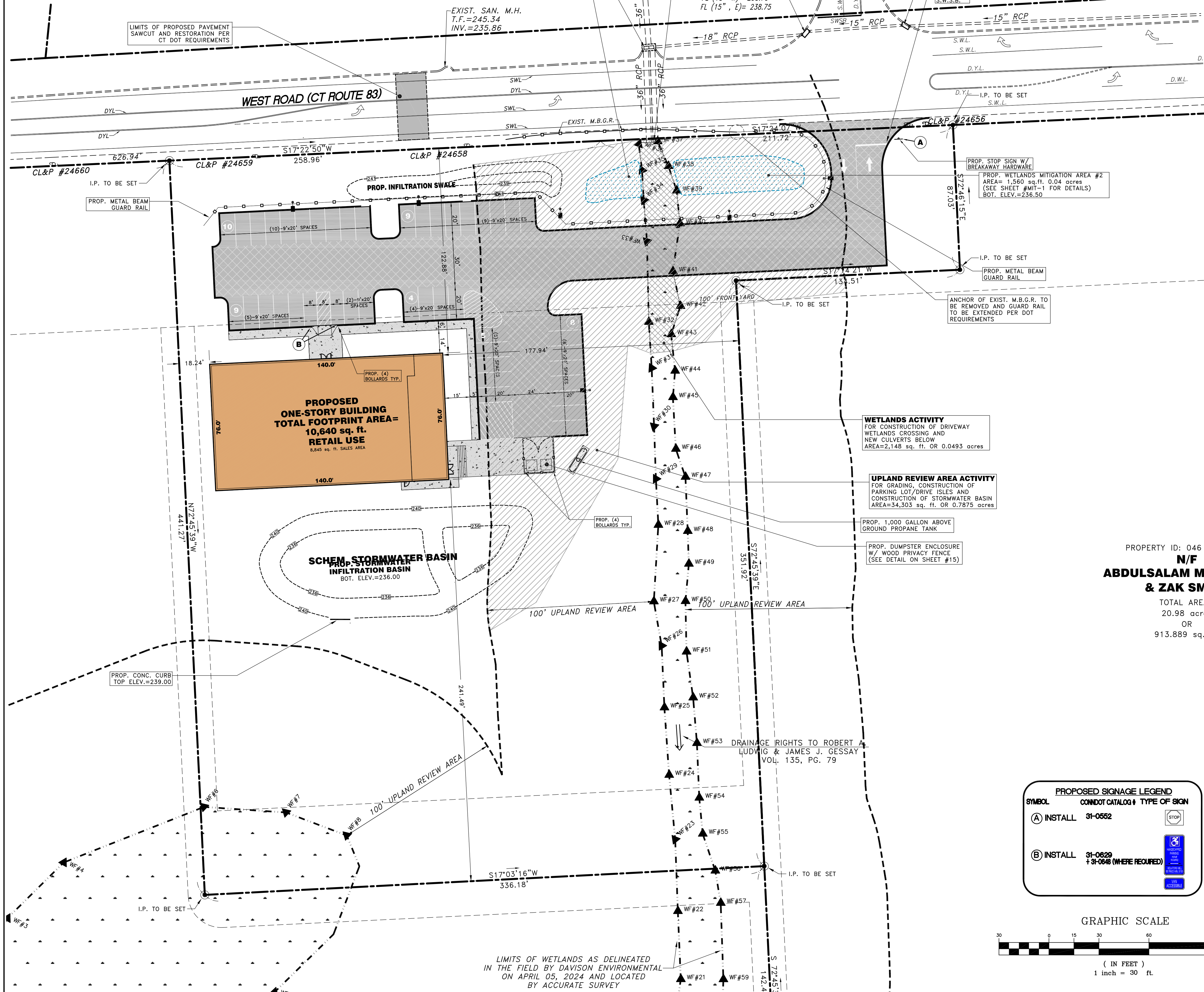
NOV 21 2024

**TOWN OF ELLINGTON
PLANNING DEPARTMENT**

LEGEND

—	EXISTING PROPERTY LINE	—	PROPOSED PROPERTY LINE
—	EXISTING EDGE OF PAVEMENT	—	PROPOSED TREE LINE
—	IRON PIN OR IRON PIPE FOUND	—	PROPOSED BIT. CURB
—	CONC. MERESTONE OR CHD. FND.	—	AREA OF LIGHT DUTY PAVEMENT
—	EXISTING TREE LINE	—	AREA OF HEAVY DUTY PAVEMENT
—	EXISTING TELEPHONE POLE	—	PROPOSED CONCRETE
—	EXISTING BIT. CURB	—	PROPOSED SNOW STORAGE
—	SOIL TEST LOCATION		
—	EXISTING FENCE		

SEE SHEET #7 FOR SITE NOTES



NOTES:

- SURVEY NOTES:**
 - This survey has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-1 Through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
 - Type of Survey is ZONING IMPROVEMENT LOCATION SURVEY-PROPOSED
 - Boundary Determination Category is DEPENDENT RESURVEY
 - Class of Accuracy is: HOR.- 'A-2', TOPO.- 'T-2', VERT.- 'V-2'.
- PROPERTY IS ZONED: PC
- PROPERTY LIES IN FLOOD ZONE 'X' (AREA OF MINIMAL FLOOD HAZARD) PER F.I.R.M. COMMUNITY MAP NO. 0901580015C DATED: FEBRUARY 05, 1997.
- MAP REFERENCES:
 - A.) "LOT RECONFIGURATION LAND OF KUPFERSCHMID FAMILY TRUST, WEST ROAD, ELLINGTON, CONNECTICUT." SCALE: 1"=100'. DATED: SEP. 12, 2014. PREPARED BY: LANDMARK SURVEYS, LLC.
 - B.) "PROPERTY SURVEY LAND OF ERNEST S. KUPFERSCHMID, JR. ELLINGTON, CONNECTICUT." SCALE: 1"=100'. DATED: FEB. 02, 1998. PREPARED BY: SCHINDLER SURVEYS.
- TOTAL PARCEL AREA = 130,767 SQ. FT. OR 3.002 ACRES.
- HORIZONTAL DATUM BASED ON N.A.D. OF 1983.
- VERTICAL DATUM BASED ON NAVD 88. CONTOUR INTERVAL=1 FOOT
- PROPERTY MAY BE BENEFITED AND/OR BURDENED BY RECORDED AND/OR UNRECORDED EASEMENTS.
- UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO HALLISEY, PEARSON & CASSIDY ENGINEERING ASSOCIATES. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG "811".

ZONING BULK TABLE

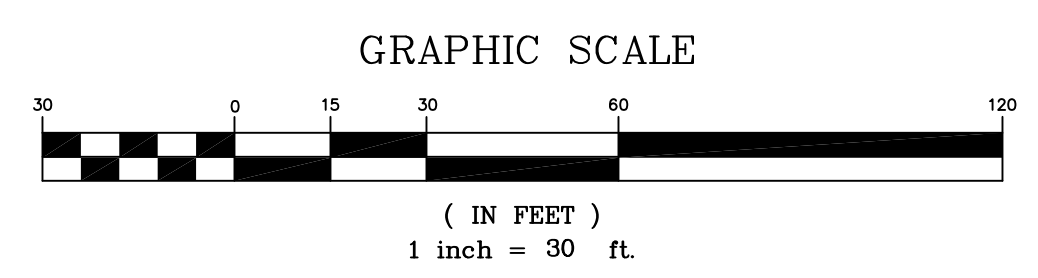
LOCATION: WEST ROAD (CT ROUTE 83), ELLINGTON, CONNECTICUT				
ZONE: PC				
USE: VACANT LAND				
ITEM #	SEC. #	ITEM	REQUIREMENTS	EXISTING
1	4.2.1	MIN. LOT AREA	3 ACRES	3.667 ACRES
2	4.2.1	MIN. WIDTH	300'	345.50'
3	4.2.1	MIN. FRONT SETBACK	100'	122.88'
4	4.2.1	MIN. SIDE SETBACK	10'	18.24'/177.94'
5	4.2.1	MIN. REAR SETBACK	50'	241.49'
6	4.2.1	Maximum Building Coverage	60%	8.1%
7	4.2.1	MAX. BUILDING HEIGHT	38'	<35'
8	6-1	Parking requirement (RETAIL)	1 SPACES / 200 sq. ft.	8,845 SF x (1/200) = 45 REQUIRED 45 SPACES PROVIDED INCL. 2 H.C.

PROPOSED SIGNAGE LEGEND

SYMBOL	CONDOT CATALOG #	TYPE OF SIGN
(A) INSTALL	31-0552	STOP
(B) INSTALL	31-0629 + 31-0648 (WHERE REQUIRED)	ACCESSIBLE

I hereby confirm that the wetland boundaries depicted are substantially correct.

Matthew Davison
Matthew Davison
Professional Soil Scientist
Professional Wetland Scientist



TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON:

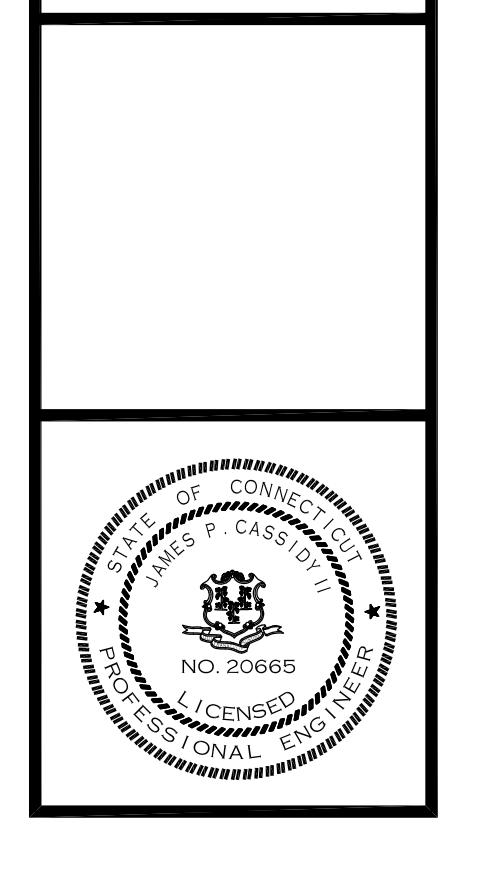
Paul A. Hallisey
PAUL A. HALLISEY, L.S. LIC. NO. 7761 DATE MAY 17, 2024

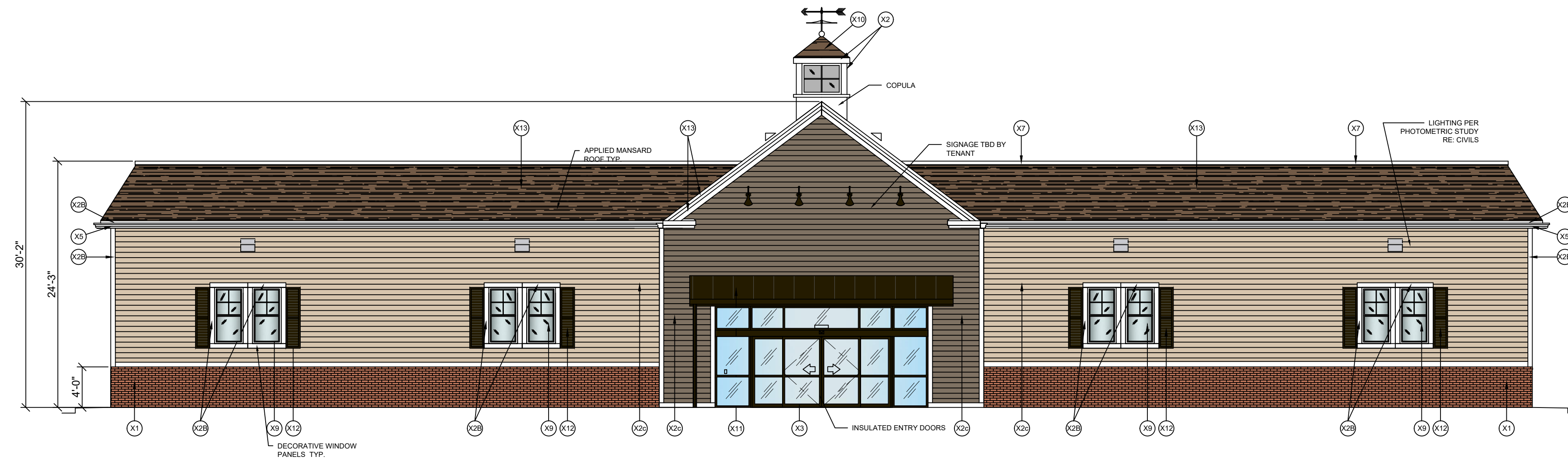
THIS DOCUMENT AND COPIES THEREOF ARE VALID ONLY IF THEY BEAR THE SIGNATURE AND EMBOSSED SEAL OF THE DESIGNATED LICENSED PROFESSIONAL. UNAUTHORIZED ALTERATIONS TO THIS PLAN RENDER THE DECLARATION HEREON NULL AND VOID. VALID ONLY ON MAPS BEARING EMBOSSED SURVEYOR'S SEAL.

SCALE: 1"=30'
DATE: SEP. 19, 2024
JOB No.: 3486
CHECKED BY: JPC
DRAWN BY: JMP
ACAD FILE: 3486-ZI-SL
SHEET: 3 OF 15
REVISIONS: NOV. 06, 2024 PER ENGINEERING COMMENT

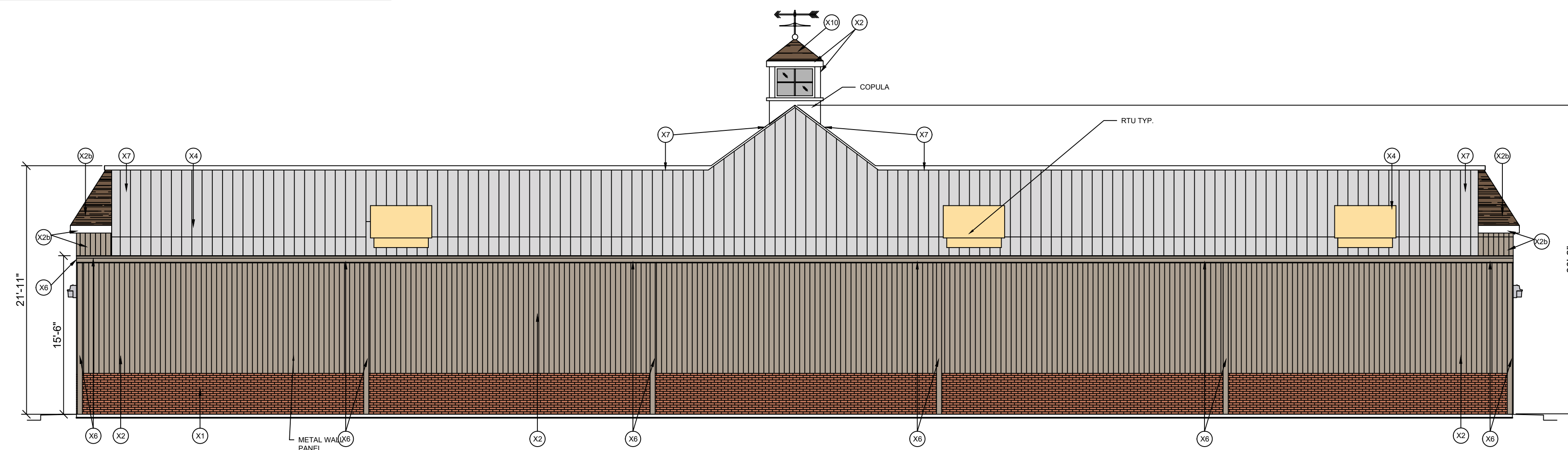
HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
630 MAIN STREET, UNIT #1A
CROWELL, CONNECTICUT 06416
PHONE: (860)-529-6812, FAX: (860)-721-7709

ZONING IMPROVEMENT LOCATION SURVEY-PROPOSED & SITE LAYOUT PLAN PREPARED FOR CALITO DEVELOPMENT GROUP PROPERTY LOCATED AT WEST ROAD (RT. #82) ELLINGTON, CONNECTICUT

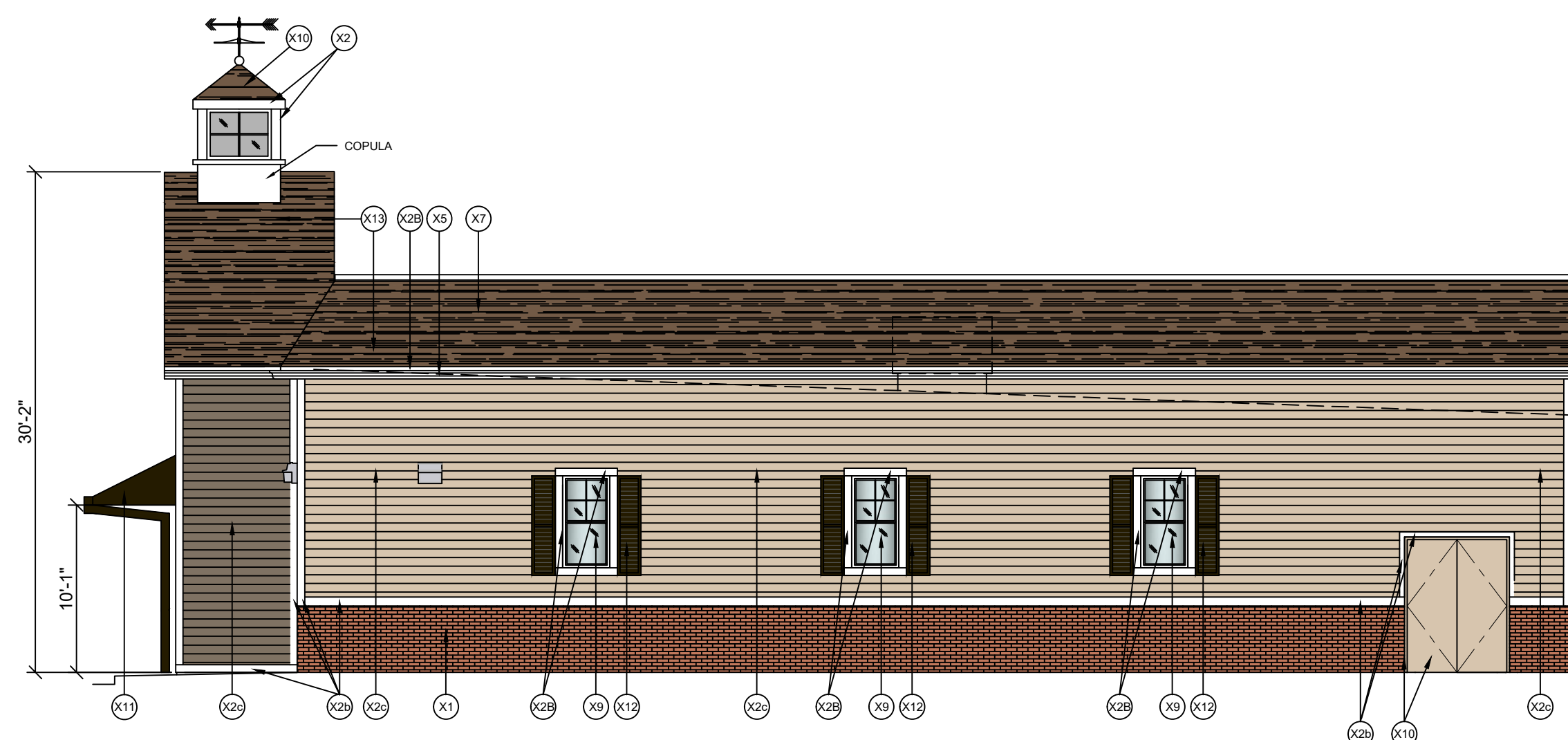




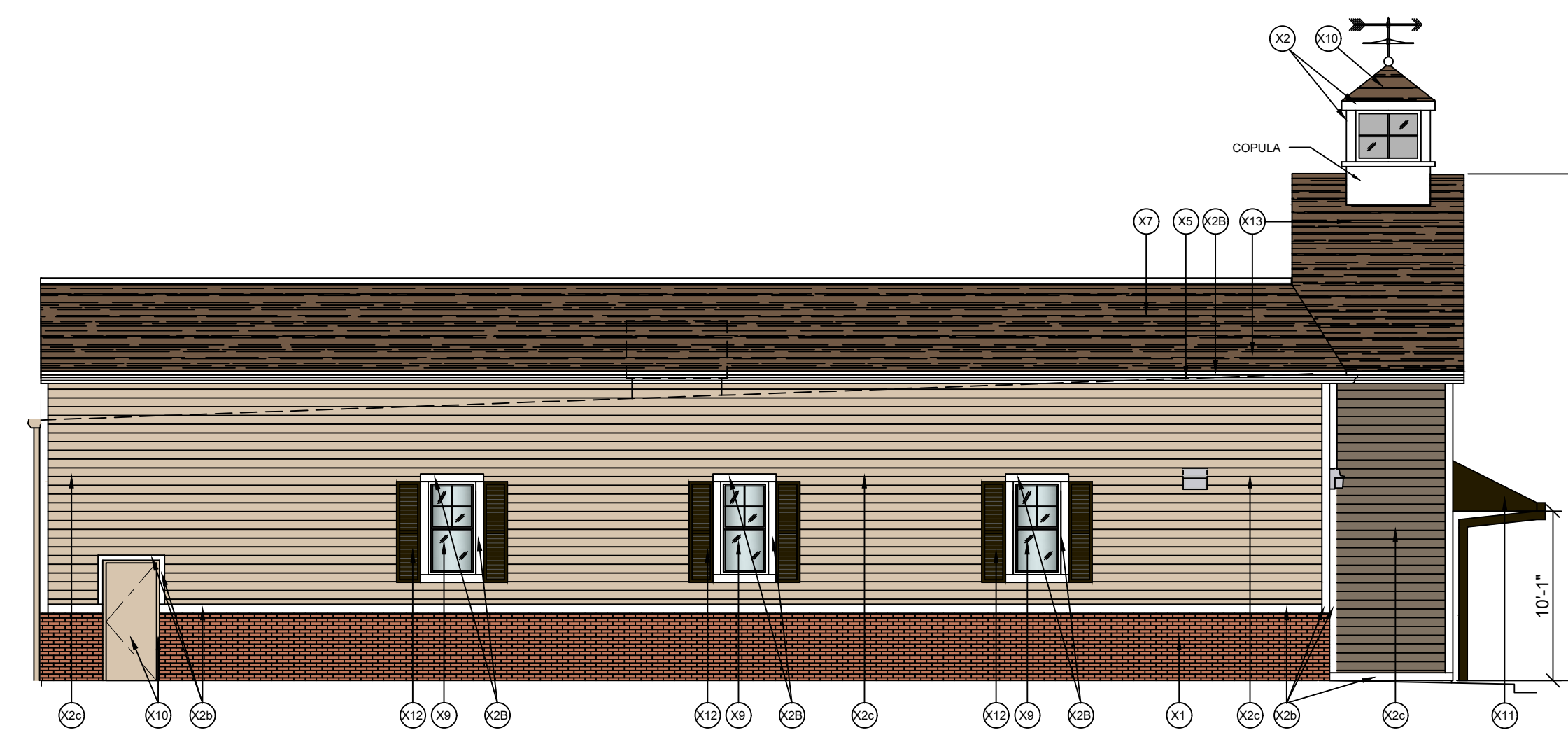
1 PROPOSED FRONT ELEVATION (College Highway)
SCALE: 1/8"-1'-0"



2 PROPOSED REAR ELEVATION
SCALE: 1/8"-1'-0"



3 PROPOSED SIDE ELEVATION (EGRESS)
SCALE: 1/8"-1'-0"



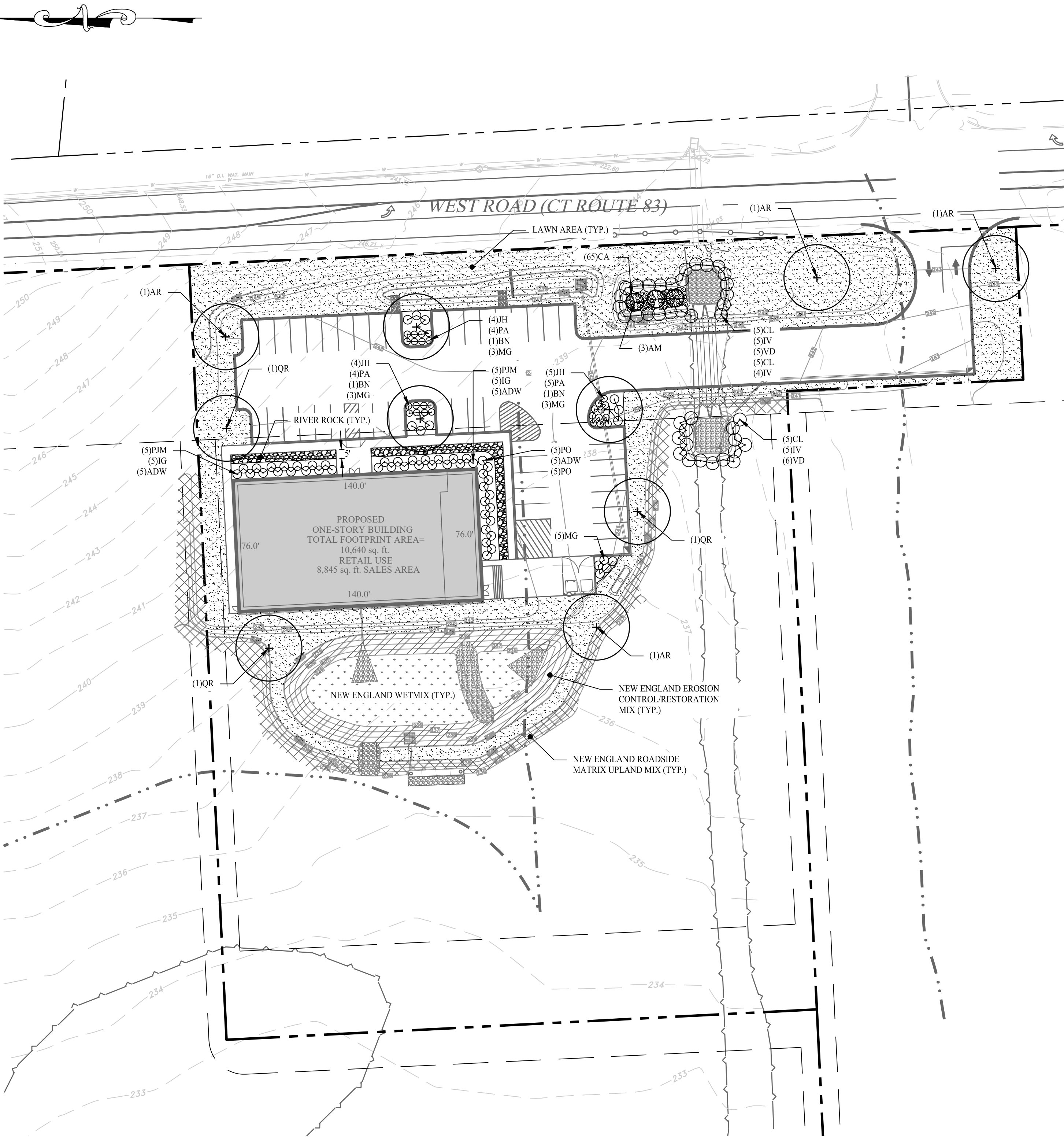
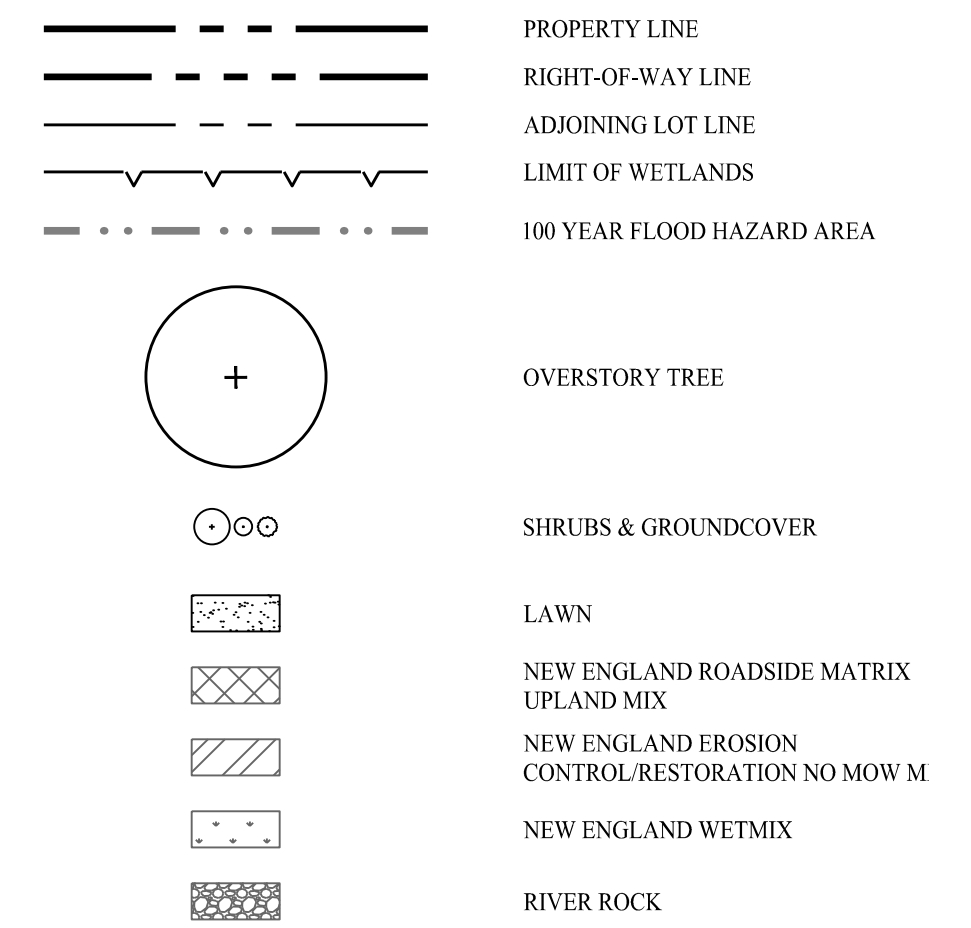
4 PROPOSED SIDE ELEVATION (RECEIVING)
SCALE: 1/8"-1'-0"

EXTERIOR FINISH SCHEDULE			
TAG	MATERIAL/MFG.	COLOR/NO.	NOTES
X1	THIN BRICK WAINSCOT	TAVERN FLASH	PRE-FINISHED
X2	STANDARD METAL PANEL	COLOR: PAINTED SW 6106 KILIM BEIGE	PAINTED
X2A	NOT USED	-	-
X2B	HARDIE TRIM	COLOR: WHITE	PRE-FINISHED
X2C	HARDIE BOARD	COLOR: SAIL CLOTH	PRE-FINISHED
X3	STANDARD ENTRY DOORS	COLOR: DARK BRONZE	PRE-FINISHED
X4	STANDARD METAL ROOF PANEL	COLOR: GALVALUME	FINISH BY PEMB
X5	MTL GUTTERS, DOWNSPOUTS	COLOR: WHITE	FINISH BY PEMB
X6	MTL GUTTERS, DOWNSPOUTS	COLOR: PAINTED SW 6106 KILIM BEIGE	FINISH BY PEMB
X7	MTL COPING	COLOR: WHITE	FINISH BY PEMB
X8	EIFS CLADDING	COLOR: PAINTED SW 6106 KILIM BEIGE	PAINTED
X9	SPANDREL STOREFRONT	COLOR: DARK BRONZE	LT GREY FILM
X10	INS DOOR & FRAME	COLOR: TO MATCH X2	PAINTED
X11	MTL AWNING	COLOR: DARK BRONZE	FINISH BY PEMB
X12	SHUTTER	COLOR: DARK BRONZE	PAINTED
X13	ARCH ASPHALT SHINGLES	COLOR: WEATHERED WOOD	GAF TIMBERLINE

PLANTING SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	COMMENTS
TREES						
AR	3	ACER RUBRUM 'RED SUNSET'	RED SUNSET RED MAPLE	B&B	2 1/2" - 3" CAL	FULL, EXTRA HEAVY
BN	3	BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	B&B	2 1/2" - 3" CAL	FULL, EXTRA HEAVY
QR	4	QUERCUS RUBRA	RED OAK	B&B	2 1/2" - 3" CAL	FULL, EXTRA HEAVY
UPLAND SHRUBS						
ADW	15	RHODODENDRON 'DELEWARE WHITE'	DELEWARE WHITE AZALEA	CONT	30-36" HT	
IG	10	ILEX GLABRA	INKBERRY HOLLY	CONT	30-36" HT	FULL, EXTRA HEAVY
PO	10	PHYSOCARPUS OPULIFOLIUS	COMMON NINEBARK	CONT	30-36" HT	FULL, EXTRA HEAVY
PJM	10	PJM RHODODENDRON	PJM RHODODENDRON	CONT	30-36" HT	FULL, EXTRA HEAVY
GRASSES / GROUNDCOVER / PERENNIALS						
JH	13	JUNIPERUS HORIZONTALIS	HETZICOLUMNARIS CHINESE JUNIPER	CONT	3 GAL	FULL, EXTRA HEAVY
MG	14	MISCANTHUS SINENSIS 'GRACILLIMUS'	MAIDEN GRASS	CONT	3 GAL	FULL, EXTRA HEAVY
PA	13	PENNISTEMUM ALOPECUROIDES 'LITTLE BUNNY'	FOUNTAIN GRASS	CONT	3 GAL	FULL, EXTRA HEAVY
WETLAND TREES AND SHRUBS						
AM	3	AMELANCHIER CANADENSIS	SHADBLow SERVICEBERRY	CONT	6' HT	FULL, EXTRA HEAVY
CA	65	CAREX STRICTA	TUSSOCK SEDGE	CONT	1 GAL	FULL, EXTRA HEAVY
CL	15	CLETHRA ALNIFOLIA	SWEET PEPPERBUSH	CONT	5 GAL	FULL, EXTRA HEAVY
IV	15	ILEX VERTICILLATA	WINTERBERRY	CONT	5 GAL	FULL, EXTRA HEAVY
VD	11	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	CONT	5 GAL	FULL, EXTRA HEAVY
SEED MIXES						
LAWN: PENNINGTON SMART SEED SUN AND SHADE						
APPLICATION RATE NEW LAWNS: 9 LB/1,000 S.F.						
NEW ENGLAND ROADSIDE MATRIX UPLAND MIX (NEW ENGLAND WETLAND PLANTS, INC.)						
APPLICATION RATE: 1 LB/1,250 S.F.						
NEW ENGLAND EROSION CONTROL/RESTORATION MIX (NEW ENGLAND WETLAND PLANTS, INC.)						
APPLICATION RATE NEW LAWNS: 9 LB/1,000 S.F.						
NEW ENGLAND CONSERVATION / WILDLIFE MIX (NEW ENGLAND WETLAND PLANTS, INC.)						
APPLICATION RATE: 1 LB/1,450 S.F.						

LEGEND



PLANTING NOTES

- BE AWARE OF ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION OR PLANTING OPERATIONS. USE CARE TO PROTECT EXISTING UTILITIES FROM DAMAGE, CONTACT "CALL BEFORE YOU DIG" PRIOR TO EXCAVATION.
- ALL PLANTINGS ARE TO BE INSTALLED BY A QUALIFIED LANDSCAPE CONTRACTOR.
- THE CONTRACTOR SHALL BE REQUIRED TO CARRY WORKMENS COMPENSATION INSURANCE AND COMPREHENSIVE GENERAL LIABILITY INSURANCE. CERTIFICATES WILL BE REQUIRED PRIOR TO SIGNING CONTRACTS.
- CONTRACTOR IS RESPONSIBLE FOR JOBSITE SAFETY. CONTRACTOR SHALL MAINTAIN A SAFE JOBSITE AT ALL TIMES.
- CONTRACTOR SHALL BE FAMILIAR WITH THE SITE TO VERIFY ALL DIMENSIONS, GRADES AND EXISTING CONDITIONS. REPORT ANY DISCREPANCIES TO LANDSCAPE DESIGNER.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND LICENSES REQUIRED FOR COMPLETING WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF ALL EXCAVATED SOIL, BRUSH AND DEBRIS OFF-SITE IN A SAFE AND LEGAL MANNER.
- NOTIFY OWNER OR LANDSCAPE DESIGNER 72 HOURS MINIMUM IN ADVANCE OF STARTING PLANTING OPERATIONS. RECEIVE APPROVAL FOR LAYOUT OF ALL BED LINES AND MATERIAL LOCATIONS PRIOR TO INSTALLATION.
- PROTECT EXISTING VEGETATION TO REMAIN FROM DAMAGE DURING CONSTRUCTION. IT IS THE INTENT OF THIS CONTRACT TO AVOID ANY DISTURBANCE TO EXISTING VEGETATION ON THE SITE OTHER THAN THOSE SPECIFICALLY DESIGNATED FOR REMOVAL. ADJUSTMENTS SHALL BE MADE IN THE FIELD AT THE DIRECTION OF THE LANDSCAPE DESIGNER.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL PLANTING, SEEDING AND TREE WORK WITH OTHER TRADES. RESPECT OTHER TRADES WORK AT ALL TIMES.
- CONTRACTOR IS TO EXERCISE EXTREME CARE DURING THE COURSE OF DEMOLITION AND REMOVALS ANY DAMAGE TO EXISTING FACILITIES, UTILITIES OR TREES TO REMAIN SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPLACE IN KIND.
- CONTRACTOR IS RESPONSIBLE FOR RESTORING ALL AREAS DAMAGED TO PRE-EXISTING CONDITIONS AS A RESULT OF PLANTING OPERATIONS TO OWNERS AND/OR LANDSCAPE DESIGNERS APPROVAL.
- VEGETATION TO BE REMOVED, NOT INDICATED ON PLAN, SHALL BE TAGGED IN FIELD BY LANDSCAPE DESIGNER.
- THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO REJECT INFERIOR PLANT MATERIALS AND SUBSTITUTIONS. THE LANDSCAPE DESIGNER IS WILLING TO MAKE TWO TRIPS TO SUPPLIERS TO TAG, REVIEW AND APPROVE MATERIALS. PREVIOUSLY UNAPPROVED MATERIALS MAY BE REJECTED AT THE SITE. MINIMALLY, ALL MATERIALS WILL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z66.1 - 2004) OF THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN GOOD, HEALTHY AND FLOURISHING CONDITION FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AS SOON AS WEATHER AND SEASONAL CONDITIONS PERMIT, ALL DEAD PLANTS AND ALL PLANTS NOT IN A VIGOROUS, THRIVING CONDITION, AS DETERMINED BY THE LANDSCAPE DESIGNER DURING, AND AT THE END OF THE GUARANTEE PERIOD. WARRANTY REPLACEMENT WILL BE PROVIDED AT NO COST TO THE OWNER AND INCLUDE MATERIALS AND LABOR. CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE INCURRED DURING REPLACEMENT OF WARRANTY MATERIALS.
- WHEN THERE IS A DISCREPANCY BETWEEN PLANT QUANTITIES SHOWN ON THE PLANT LIST & THE PLAN, USE THE QUANTITIES FROM THE PLAN.
- PERENNIALS, GROUNDCOVERS & GRASSES TO BE FIELD LOCATED BY LANDSCAPE DESIGNER. COORDINATE TO NOTIFY LANDSCAPE DESIGNER AT LEAST 72 HOURS IN ADVANCE OF EXPECTED INSTALLATION DATE. ON THAT DATE ALL BEDS SHALL BE PREPARED & ALL PLANT MATERIAL SHALL BE ON SITE.
- PROVIDE A MINIMUM 6" TOPSOIL FOR ALL DISTURBED AREAS. SUBMIT SAMPLE OF TOPSOIL AND SOIL TEST RESULTS FOR LANDSCAPE DESIGNER APPROVAL PRIOR TO DELIVERING TO SITE.
- MULCH ALL BEDS SHOWN AS CONTINUOUS WITH A 2" MINIMUM OF DOUBLE SHREDDED CEDAR BARK MULCH. SAMPLE TO BE SUBMITTED TO LANDSCAPE DESIGNER FOR APPROVAL.
- ALL PLANT MATERIALS TO BE SOURCED FROM LOCALLY GROWN GROWERS.

PLANTING SOIL NOTES

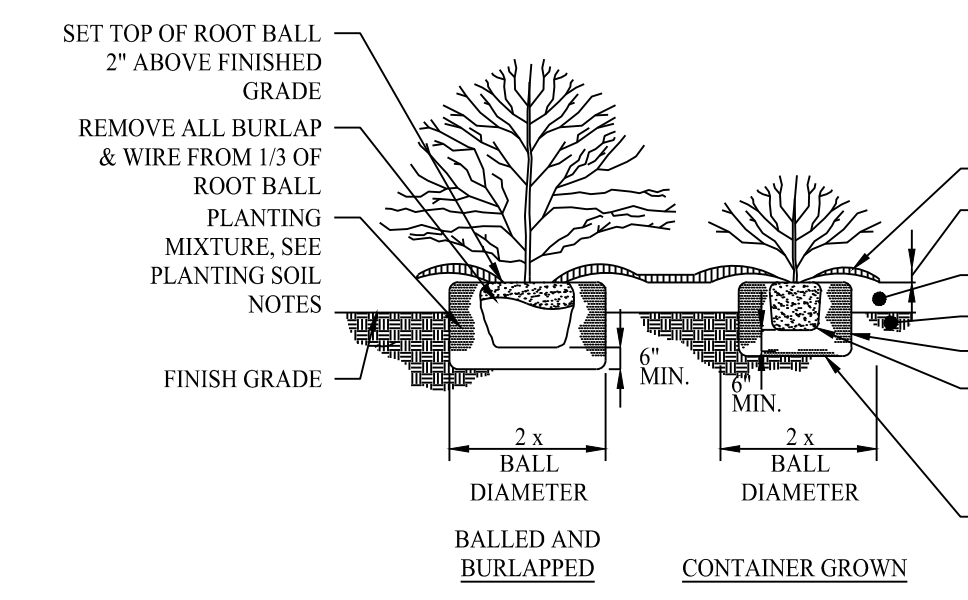
- ALL PLANTING MIXES SHALL BE PREPARED PRIOR TO DELIVERY TO SITE.
- PLANTING MIX FOR TREES AND SHRUBS SHALL BE AS FOLLOWS:
 - 3 PARTS SCREENED TOPSOIL
 - 1 PART CLEAN WASHED COARSE SAND
 - 1 PART PEAT HUMUS
 - 5 LBS. SUPER PHOSPHATE PER CUBIC YARD OF MIX
- MYCORRHIZAL INOCULANT TO BE MYCOR TREE SAVER TRANSPLANT BY PLANT HEALTH CARE, INC. (1-800-421-9051) OR APPROVED EQUAL.
- TERRASORB AVAILABLE FROM PLANT HEALTH CARE, INC. OR APPROVED EQUAL.
- SUBMIT CERTIFICATION OF PLANTING MIX FOR TREES AND SHRUBS FROM SOIL DISTRIBUTOR.
- TOPSOIL MIX SHALL INCLUDE:
 - 3 PARTS SCREENED TOPSOIL
 - 1 PART SAND
 - 1 PART HUMUS
 - 5 LBS. SUPER PHOSPHATE PER CU. YD. OF MIX
- TOPSOIL:
 - A. PROVIDE A NATURAL, FERTILE, FRIABLE, NATURAL LOAM SURFACE SOIL CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH OF UNIFORM COMPOSITION THROUGHOUT AND WITHOUT ADMIXTURES OF SUBSOIL, AND FREE OF STONES, LUMPS, PLANTS, ROOTS, STICKS OR OTHER EXTRANEIOUS MATTER.
 - B. TOPSOIL SHALL CONTAIN NOT LESS THAN 4% NOR MORE THAN 20% ORGANIC MATTER AS DETERMINED BY THE WET COMBUSTION METHOD.
 - C. MECHANICAL ANALYSIS

SCREEN SIZE	% BY WEIGHT PASSING
1"	100
1/4"	97 - 100
NO. 200	20 - 65
 - D. CONTRACTORS SHALL BE RESPONSIBLE FOR ALL TESTING AND ANALYSIS OF EXISTING AND IMPORTED SOILS. FURNISH A SOIL ANALYSIS MADE BY A QUALIFIED INDEPENDENT SOIL-TESTING AGENCY STATING PERCENTAGES OF ORGANIC MATTER, INORGANIC MATTER (SILT, CLAY, AND SAND), DELETERIOUS MATERIAL, PH, AND MINERAL AND PLANT-NUTRIENT CONTENT OF TOPSOIL.
 - E. REPORT SUITABILITY OF TOPSOIL FOR LAWN AND SHRUB PLANTING GROWTH. RECOMMEND QUANTITIES OF NITROGEN, PHOSPHORUS, AND POTASH NUTRIENT AND ANY LIMESTONE, ALUMINUM SULFATE, OR OTHER SOIL AMENDMENTS TO BE ADDED TO PRODUCE A SATISFACTORY TOPSOIL.

GENERAL NOTES

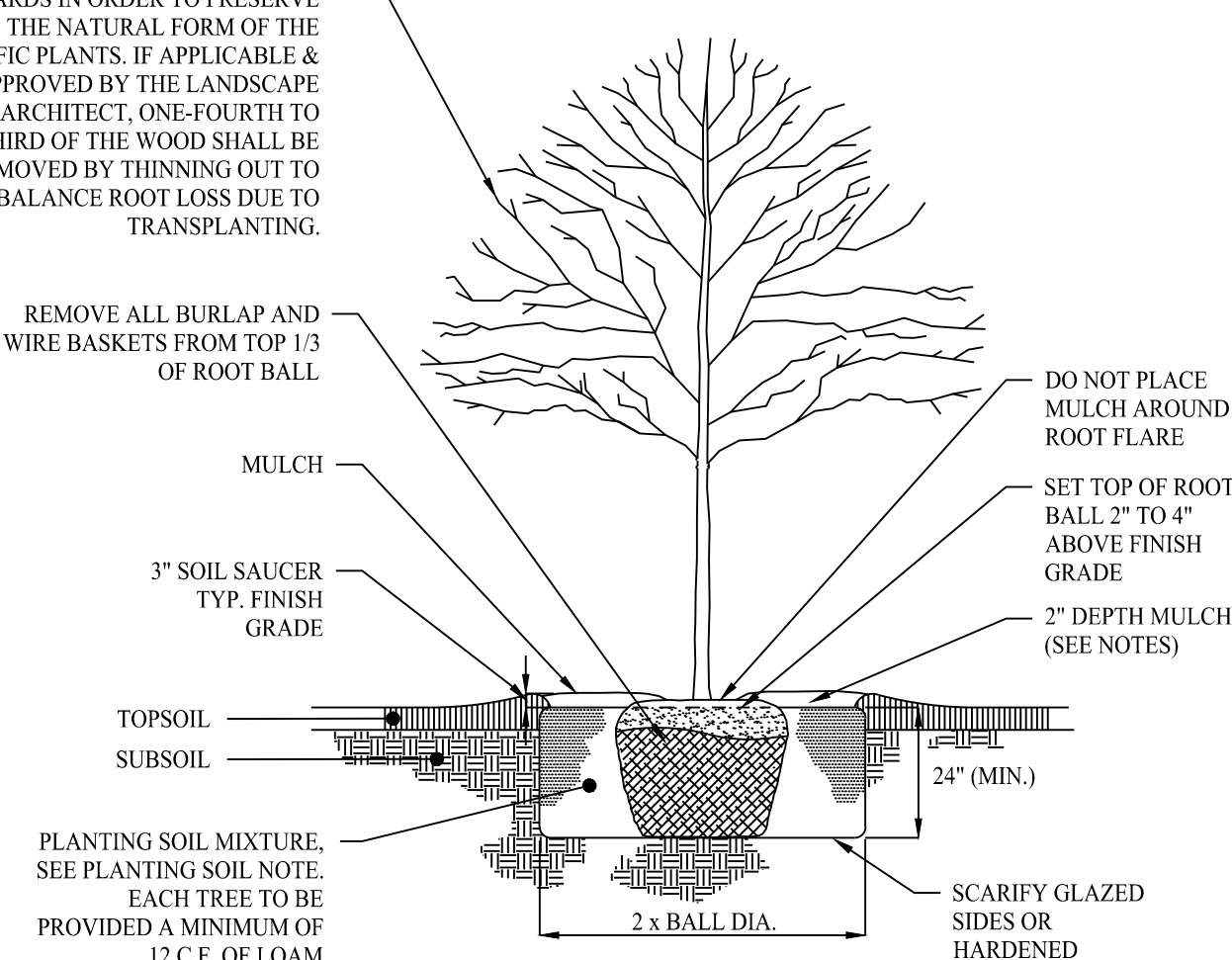
- ALL SITE WORK TO BE COMPLETED IN ACCORDANCE WITH ALL PERMITS, APPROVALS AND CONDITIONS OF APPROVALS ISSUED BY THE TOWN OF ELLINGTON, CONNECTICUT AND THE STATE OF CONNECTICUT FOR THIS PROJECT.
- EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION TAKEN FROM A PLAN TITLED "ZONING IMPROVEMENT LOCATION SURVEY-PROPOSED 175 WEST ROAD", SCALE: 1"=40', PREPARED BY HALLSEY, PEARSON, AND CASSIDY.

PRUNING SHALL BE IN ACCORDANCE WITH APPROVED HORTICULTURAL STANDARDS IN ORDER TO PRESERVE THE NATURAL FORM OF THE SPECIFIC PLANTS, IF APPLICABLE & APPROVED BY THE LANDSCAPE ARCHITECT, ONE-FOURTH TO ONE-THIRD OF THE WOOD SHALL BE REMOVED BY THINNING OUT TO BALANCE ROOT LOSS DUE TO TRANSPLANTING.



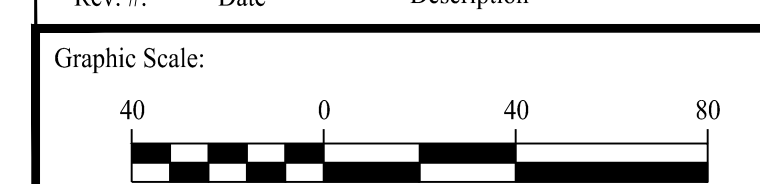
- NOTE
- IN AREAS OF MASS PLANTING, CONTINUOUSLY EXCAVATE AND MULCH ENTIRE BED.
 - VERIFY THAT ALL PLANT PITS ARE FREE DRAINING. NOTIFY LANDSCAPE ARCHITECT IF PITS ARE NOT FREE DRAINING.
 - PRUNE, DEAD, DEFORMED, OR BROKEN BRANCHES.

SHRUB PLANTING
SCALE: NTS



DECIDUOUS TREE PLANTING
SCALE: NTS

Rev. #:	Date	Description



SOLLI ENGINEERING
MONROE, CT | W. HARTFORD, CT | NORWOOD, MA
SOLLIENGINEERING.COM
T: (203) 880-5455 | F: (203) 880-9695

Drawn By: JJS
Checked By: MFB
Approved By: KMS
Project #: 24112401
Plan Date: 09/18/24
Scale: 1" = 40'

Mary Blackburn, P.L.A.
CT 1499

PROPOSED DEVELOPMENT
175 WEST ROAD
ELLINGTON, CT

Sheet Title: LANDSCAPE PLAN
Sheet #: 2.61

Sep 19, 2024 - 8:26am jblack
 X:\SE Firm\Project Data\2024\24112401 - West Road - Ellington, CT\Engineering Data\CAD Files\24112401 - 2.61.dwg

Town of Ellington

Planning & Zoning Commission Application

Type of Application: <input type="checkbox"/> Zone Change <input type="checkbox"/> Amendment to Regulation <input type="checkbox"/> Site Plan Approval <input type="checkbox"/> Special Permit <input checked="" type="checkbox"/> Modification <input type="checkbox"/> CGS 8-24	Application # <u>Z 202412</u>
	Date Received <u>11/21/2024</u>

Notices associated with this application will be sent to the applicant, if different than the owner, unless otherwise requested.

Owner's Information

Name: Skips Waste Water Service

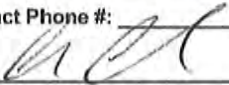
Mailing Address: 21 Courtney Drive
Ellington, CT 06029

Email: ac@skipswastewater.com

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No

Primary Contact Phone #: 860 578-0057

Secondary Contact Phone #: _____

Signature:  Date: 11/20/24

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Commission have been submitted. Moreover, by signing above I/we expressly provide written consent to the filing of the application and access to the site by the Commission or its staff.

Notices associated with this application will be sent to the applicant, if different than the owner, unless otherwise requested.

Applicant's Information (if different than owner)

Name: Same

Mailing Address: _____

RECEIVED
NOV 21 2024

Email: _____

TOWN OF ELLINGTON
PLANNING DEPARTMENT

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No

Primary Contact Phone #: _____

Secondary Contact Phone #: _____

Signature: _____ Date: _____

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Commission have been submitted.

Street Address: 21 & 41 Courtney Drive

Assessor's Parcel Number (APN): 018-015-0002 & 018-015-004 Existing Zone: Ind. Proposed Zone: n/a
(If unaware of APN, please ask staff for assistance) (If none, insert "N/A")

Public Water: Yes No Public Sewer: Yes No If not served by public water and sewer, applicant/owner shall make application to North Central District Health Department (Enfield Office).

Is parcel within 500' to any municipal boundary? Yes No

Are there any wetlands/watercourses within 100' of construction activity or within 250' of wetlands/watercourses when located in the Shenipsit Lake Drainage Basin? Yes No If yes, pursuant to state law application must be made to the Inland Wetlands Agency prior to or simultaneously with application to the Planning and Zoning Commission.

Is the project in a public water supply watershed area? Yes No If yes, applicant shall notify Connecticut Water Company and Commissioner of Public Health about the proposed project by certified mail return receipt within 7 days of application (§8-3(b)). Copy of application, plans, and supporting documents must accompany notice. Proof of notice and copies of return receipts must be provided to the Planning Department.

Description of Request (If more space is needed, please attach additional sheets)

Proposed 42'x 56' addition to the west of the existing building and existing parking lot to be moved further west.

This addition is to be used for office space.

Proposed new building 100' x 80' to be used for truck storage to prevent freezing during the winter months.

Barbra Galovich

From: Andrew Coleman <Andrew.Coleman@wastewaterservicesinc.com>
Sent: Wednesday, December 11, 2024 9:51 AM
To: Barbra Galovich
Subject: Re: FW: 21 & 41 Courtney Drive
Attachments: 21 Courtney Drive Addition Plan.pdf; 21 Courtney Drive Garage Plan.pdf; Front Left View.jpg

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Morning Barbra!

See responses below and attachments.

Please confirm if/when application has been made to the Water Pollution Control Authority (WPCA). WPCA approval is required before PZC action. Planning Dept has a copy of WPCA meeting minutes w/ approval.

A: Application and fee were submitted to WPCA on 12/5

Design Review Board analysis is applicable; the next meeting is December 16, 2024. Please provide building elevations and lighting specifications - a photometric plan. We have the elevations for the existing building additional. Provide building elevations, lighting specs on proposed garage and a photometric plan for the entire site.

A: Building elevations, lighting specs and photometric plan will be submitted as soon as I receive them.

Provide a parking calculation for all existing and proposed buildings.

A: Parking calculations: 5952 S.F. of office space/(1space/200S.F.)=30 spaces required, 35 spaces provided. The remaining 13,000 S.F. of indoor space is for vehicle storage.

If additional refuse containers will be stored outside, please include location and provisions for screening.

A: Refuse containers will be screened once final location is determined.

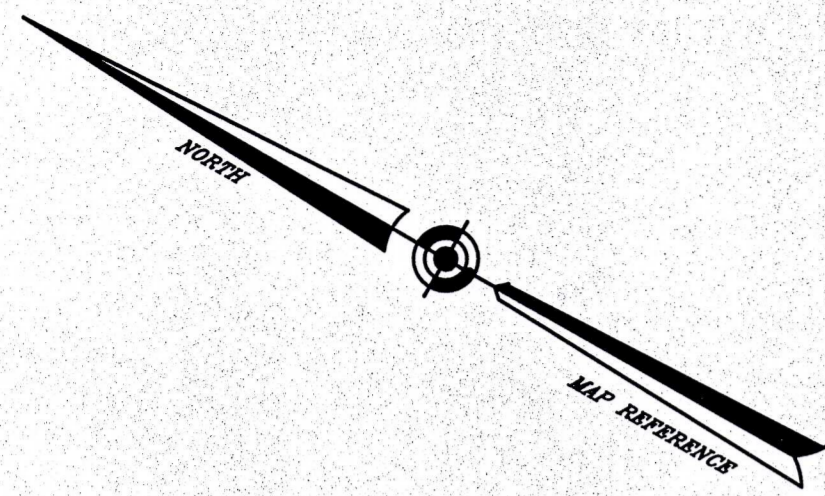
Provide color renderings of both buildings.

Attached renderings of both buildings, the office is depicted in gray which matches our current building. The proposed garage will also be the same gray.

Provide a landscape plan with plant list for site.

A: 16 Thuja plicata "Northern Spire" Evergreen to be planted along the top of the existing berm with spacing approximately 15' apart.





SANFORD & HARRIS COHEN
112 WEST ROAD
A.P.N. 037-001-0000

SANFORD & HARRIS COHEN
112 WEST ROAD
A.P.N. 037-001-0000

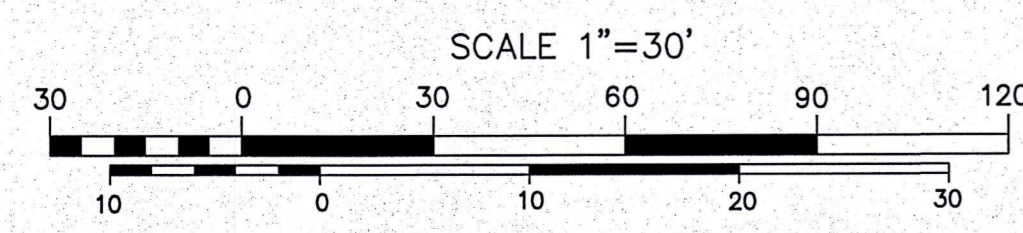
LOT 4
A.P.N. 018-015-0004
41 COURTNEY DRIVE
CONTAINS: 89,436 S.F. OR 2.05 ACRES
TO BE COMBINED WITH OTHER LOT

RYAN & RACHEL DEARBORN
A.P.N. 018-012-0000
62 LOWER BUTCHER ROAD

JOHN L. & ERIN M. HOFFMAN
A.P.N. 018-013-0000
60 LOWER BUTCHER ROAD

NOTES:

- THIS SURVEY HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300b THRU 20-300b-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT". IT IS AN IMPROVEMENT LOCATION SURVEY BASED UPON A RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND VERTICAL ACCURACY CLASS T-2.
- BOUNDARY INFORMATION SHOWN HEREON IS BASED IN PART ON THE FOLLOWING SURVEYS:
 - "SUBDIVISION PLAN 'COURTNEY ACRES' COURTNEY DRIVE ELLINGTON, CONNECTICUT LANDMARK SURVEYS LLC SCALE 1"=40' DATE 2/22/2011 REV TO 9/21/2012"
 - "RECORD AS-BUILT SITE PLAN PREPARED FOR WASTE WATER SERVICES LLC 21 COURTNEY DRIVE ELLINGTON, CONNECTICUT LANDMARK SURVEYS LLC SCALE 1"=20' DATE 4/11/13 REV TO 9/19/13"
- PARCEL IS IN THE INDUSTRIAL ZONE.
- LOT IS SERVICED BY PUBLIC WATER AND SEWER.
- WETLANDS VERIFIED BY JOHN IANNI, HIGHLAND SOILS.
- FLOOD ELEVATION OF 227.7 IS DEPICTED BASED ON THE DRAINAGE AND FLOODING REPORT FROM MARCH 2011.
- PROPOSED IMPERVIOUS AREA ON LOT 4 IS 14,500 S.F.. MAX ALLOWABLE PER DRAINAGE CALCULATIONS IS 24,491 S.F.



TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

Rachel Dearborn 11/18/24 L.S. 70295
RACHEL L. DEARBORN, LICENSED LAND SURVEYOR DATE LICENSE NO.

RECEIVED
NOV 21 2024
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PLANNING DEPARTMENT

PREPARED BY:
Civil Solutions, LLC
providing engineered solutions from concept to completion
Tolland, CT 860.896.0222

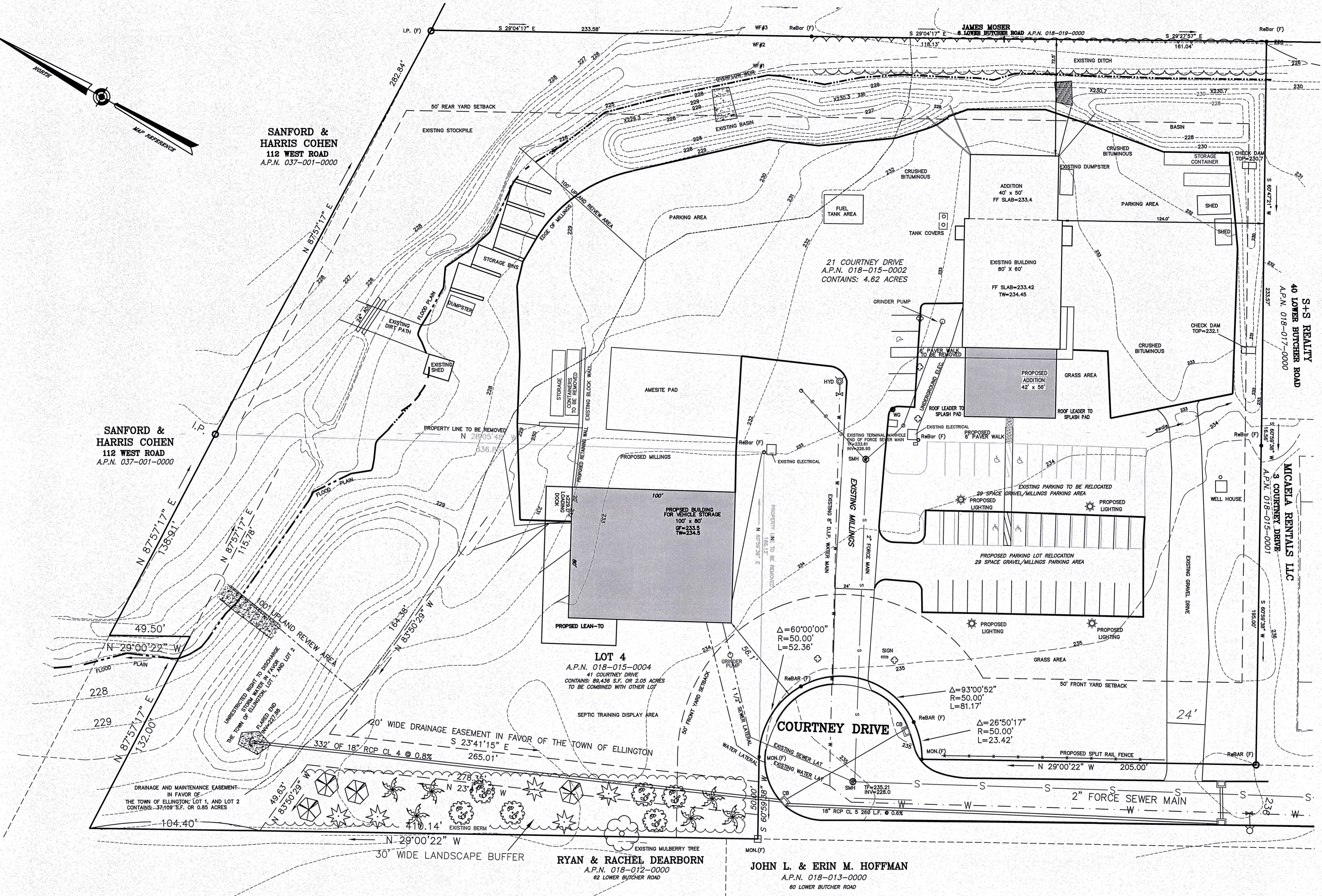
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Sheet 1 of 3

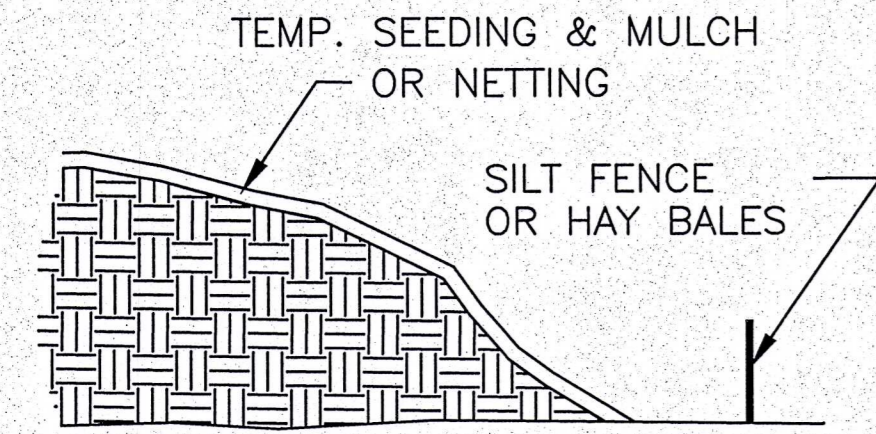
PREPARED FOR:
SKIPS WASTEWATER SERVICES
21 COURTNEY DRIVE
ELLINGTON, CT 06029

SITE PLAN MODIFICATION
PROPOSED ADDITION & NEW BUILDING
SKIPS WASTE WATER SERVICES
21 COURTNEY DRIVE
ELLINGTON CONNECTICUT

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON
James J. Luczak, P.E. # 23487
DATE: November 18, 2024

R E V I S I O N S
I
Date: November 18, 2024





TOPSOIL STOCKPILE DETAIL (N.T.S.)

PERMANENT SEEDING
DATES: APRIL 15 - JUNE 15 OR AUG. 15 TO SEPT. 15

No.	SEED MIXTURE	Lbs./Acre	Lbs./1000 sq.ft.	
1.	Kentucky Bluegrass	20	.45	Lawn Areas Regular Mowing required
	Creeping Red Fescue	20	.45	
	Perennial ryegrass	5	.10	
	Total	45	1.00	
2.	Creeping Red Fescue	20	.45	Naturalized area Offers Wildlife food an cover Mowing recommended Once a year after July
	Redtop	2	.05	
	Tall Fescue or Smooth bromegrass	20	.45	
	Total	42	0.95	
3.	Creeping Red Fescue	20	.45	Naturalized area -steep banks No Mowing Required
	Bird's-foot trefoil with inoculant	8	.20	
	Tall Fescue or Smooth bromegrass	20	.45	
	Total	48	1.10	
4.	Bird's-foot trefoil with inoculant	8	.20	Naturalized area -steep banks No Mowing Required
	Creeping Red Fescue	15	.35	
	Creeping Red Fescue, Tall Fescue or Smooth bromegrass	20	.45	
	Total	43	1.00	

FERTILIZER: 10-10-10 300 lbs/acre or 7.5 lbs/1000 sq.ft.
LIME: Lime 3 tons/acre or 135 lbs/1000 sq.ft.

TEMPORARY SEEDING RATES AND DATES

SPECIES	SEEDING RATES(pounds)		OPTIMUM SEEDING:	
	per acre	per 1000 sq.ft.	DATE	DEPTH
Annual ryegrass	40	1.0	3/1 - 6/15 8/1 - 10/1	0.5
Winter rye	120	3.0	4/15 - 6/15 8/15 - 10/15	1.0
Buckwheat	15	0.4	4/1 - 9/15	1.0

**WET GRASS SEED MIX
NEW ENGLAND EROSION CONTROL/RESTORATION MIX
FOR DETENTION BASINS AND MOIST SITES**

AVAILABLE AT GREEN VALLEY INC HOLYOAK MA 413-533-0726

THE NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES CONTAINS A SELECTION OF NATIVE GRASSES AND WILDFLOWERS DESIGNED TO COLONIZE GENERALLY MOIST, RECENTLY DISTURBED SITES WHERE QUICK GROWTH OF VEGETATION IS DESIRED TO STABILIZE THE SOIL SURFACE. IT IS AN APPROPRIATE SEED MIX FOR ECOLOGICALLY SENSITIVE RESTORATIONS THAT REQUIRE STABILIZATION AS WELL AS LONG-TERM ESTABLISHMENT OF NATIVE VEGETATION. THIS MIX IS PARTICULARLY APPROPRIATED FOR DETENTION BASINS THAT DO NOT HOLD STANDING WATER.

VIRGINIA WILD RYE, CREEPING RED FESCUE, LITTLE BLUESTEM, FOX SEDGE, BIG BLUESTEM, SWITHC GRASS, ROUGHT BENTGRASS/TICKLEGRASS, BLUE VERVAIN, NEW ENGLAND ASTER, BONESET, GREEN BULRUSH, FLAT-TOP GOLDEN TOP, SOFT RUSH, WOOL GRASS.

CONSTRUCTION NARRATIVE

I. GENERAL- PROJECT DESCRIPTION

- THIS PROJECT CONSISTS OF THREE PARCELS OF LAND TO BE COMBINED CONTAINING 4.6 ACRES LOCATED ON COURTNEY DRIVE. THE PARCEL IS CURRENTLY DEVELOPED EXCEPT FOR LOT 1 WHICH IS A HAY FIELD. THE PROPOSED EXPANSION FOR ADDITIONAL PARKING AND BUILDING REQUIRE ADDITIONAL STORM WATER MANAGEMENT AREAS.
- THE PARCEL WAS INSPECTED FOR INLAND WETLANDS BY JOHN IANNI, SOIL SCIENTIST. THE CURRENT MAP SHOWS THE WETLAND AREA AS THE BANKS OF THE BROOK THAT RUNS THROUGH THE PROPERTY AND DOES NOT INCLUDE THE MAN MADE DITCH THAT WAS MISTAKENLY ADDED TO THE ORIGINAL SUBDIVISION MAP. SEE LETTER BY SOIL SCIENTIST.
- THE APPLICANT IS PROPOSING TO COMBINE THE PROPERTIES INTO ONE LOT TO PROVIDE ADEQUATE SPACE FOR THE EXISTING BUSINESS AND PROPOSED EXPANSION.
- THE EXISTING BUILDING IS SERVED BY PUBLIC WATER AND SANITARY SEWER.
- STORM WATER WILL BE ALLOWED INFILTRATE INTO THE GROUND ON-SITE THROUGH THE USE OF VEGETATED STORM WATER DEPRESSIONS.

CONSTRUCTION SCHEDULE

GENERAL EROSION CONTROL NOTES

PRIOR TO ANY EXCAVATION WORK SEDIMENT BARRIERS SHALL BE IN PLACE.

SOIL DISTURBANCE SHALL BE MINIMIZED AND LIMITED TO WORK ASSOCIATED WITH ROAD GRADING.

SOIL STOCKPILES AND MATERIAL STORAGE SHALL BE AT LEAST 50 FEET FROM ANY WETLAND AREAS.

ANY UNPROTECTED ERODABLE AREA SHALL BE PROTECTED BY TEMPORARY SEEDING, FINAL SEEDING, MULCHING OR OTHER ACCEPTABLE EROSION CONTROL WITHIN 30 DAYS OF EXPOSURE.

EROSION CONTROLS SHALL BE MAINTAINED DURING CONSTRUCTION AND UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.

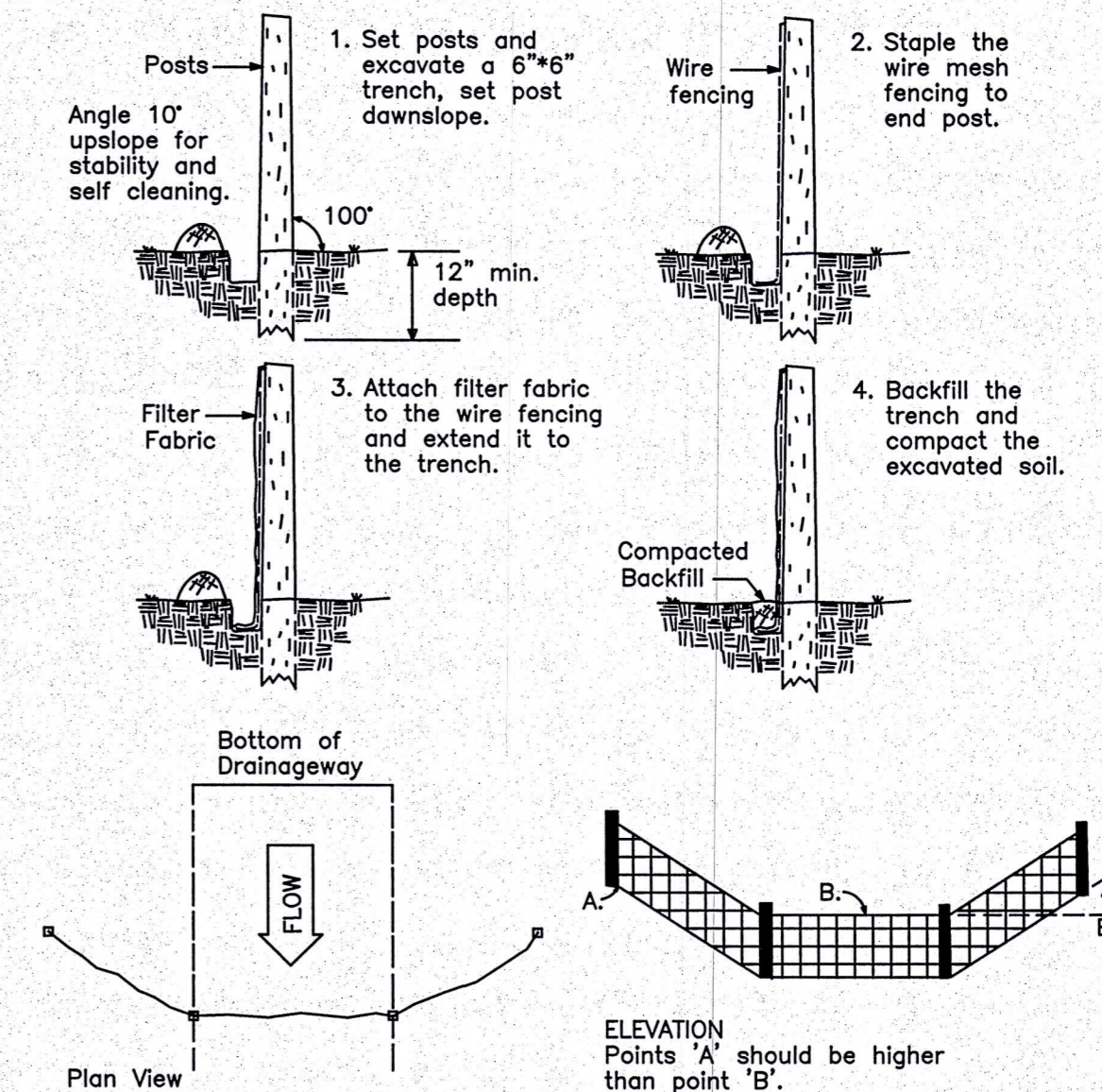
THE CONTRACTOR SHALL ADJUST EROSION CONTROL MEASURES AS DIRECTED BY THE TOWN OF ELLINGTON OR THE PROJECT ENGINEER AS NECESSARY TO MAINTAIN ACCEPTABLE SITE CONDITIONS

SITE CONDITIONS SHALL COMPLY WITH THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, DEP, 2002"

ZONING TABLE

	REQUIRED	PROVIDED
FRONT YARD	50'	56.1'
SIDE YARD	10'	95.5'
REAR YARD	50'	71'
LOT COVER	60%	43%
PARKING	10 SPACES	34 SPACES
BUILDING HEIGHT	38' MAX	33'
LOT AREA	40,000 S.F.	201,228 S.F.

Figure 7-9 - Placement and Construction of a Synthetic Filter Barrier



Source: U.S. Department of Agriculture, Soil Conservation Service, Storrs, Connecticut.

STORMWATER FACILITIES INSPECTIONS AND MAINTENANCE

THE FOLLOWING INSTRUCTIONS APPLY TO POST CONSTRUCTION INSPECTIONS AND MAINTENANCE PROCEDURES FOR THE STORM WATER FACILITIES TO BE THE RESPONSIBILITY OF THE INDIVIDUAL LOT OWNER.

STORM WATER BASIN

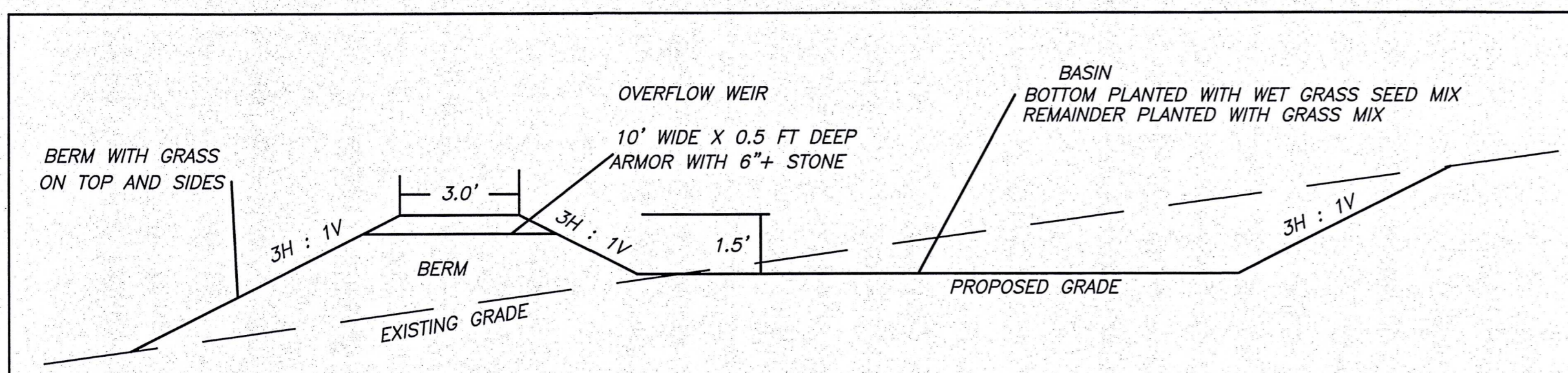
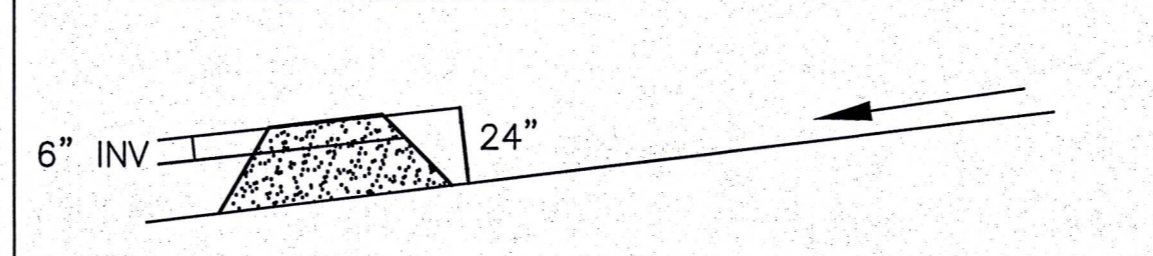
THE STORM WATER BASIN SHALL BE INSPECTED AFTER EVERY STORM GREATER THAN 1" AND CLEANED AT LEAST ONCE A YEAR IF ACCUMULATED SEDIMENT IS PRESENT. ADDITIONAL CLEANING WILL BE PERFORMED BASED ON THE INSPECTION FINDINGS. POLLUTED WATER AND SEDIMENT SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL STATE AND FEDERAL REGULATIONS. THE DEPRESSIONS SHALL BE INSPECTED FOR EROSION AND OVERALL HEALTH. ABSOLUTELY NO FILLING IS TO TAKE PLACE UNLESS AS PART OF A MAINTENANCE OPERATION. THERE SHALL BE NO DUMPING OF DEBRIS OF ANY TYPE WITHIN THE DEPRESSIONS INCLUDING SNOW PILES, LEAVES, STICKS, OR GRASS CLIPPINGS.

IF PONDS DO NOT DRAIN WITHIN 72 HOURS, REMOVE CLOGGED SOILS, SCARIFY SUBSOIL, AND REPLACE WITH A SANDY LOAM AND RESEED WITH WET SEED MIX.

MINIMIZE USE OF SAND FOR WINTER DE-ICING TO AVOID BASIN CLOGGING.

TEST HOLE Z
9/27/19
72" MOTTLES
93" BOTTOM - SEEPS

CHECK DAM DETAIL



BASIN DETAIL

NOT TO SCALE

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AND AS NOTED HEREON

REGISTRY OF PROFESSIONAL ENGINEERS AND SURVEYORS
STATE OF CONNECTICUT
No. 11816
James J. Lurak, P.E.
Date: November 18, 2024

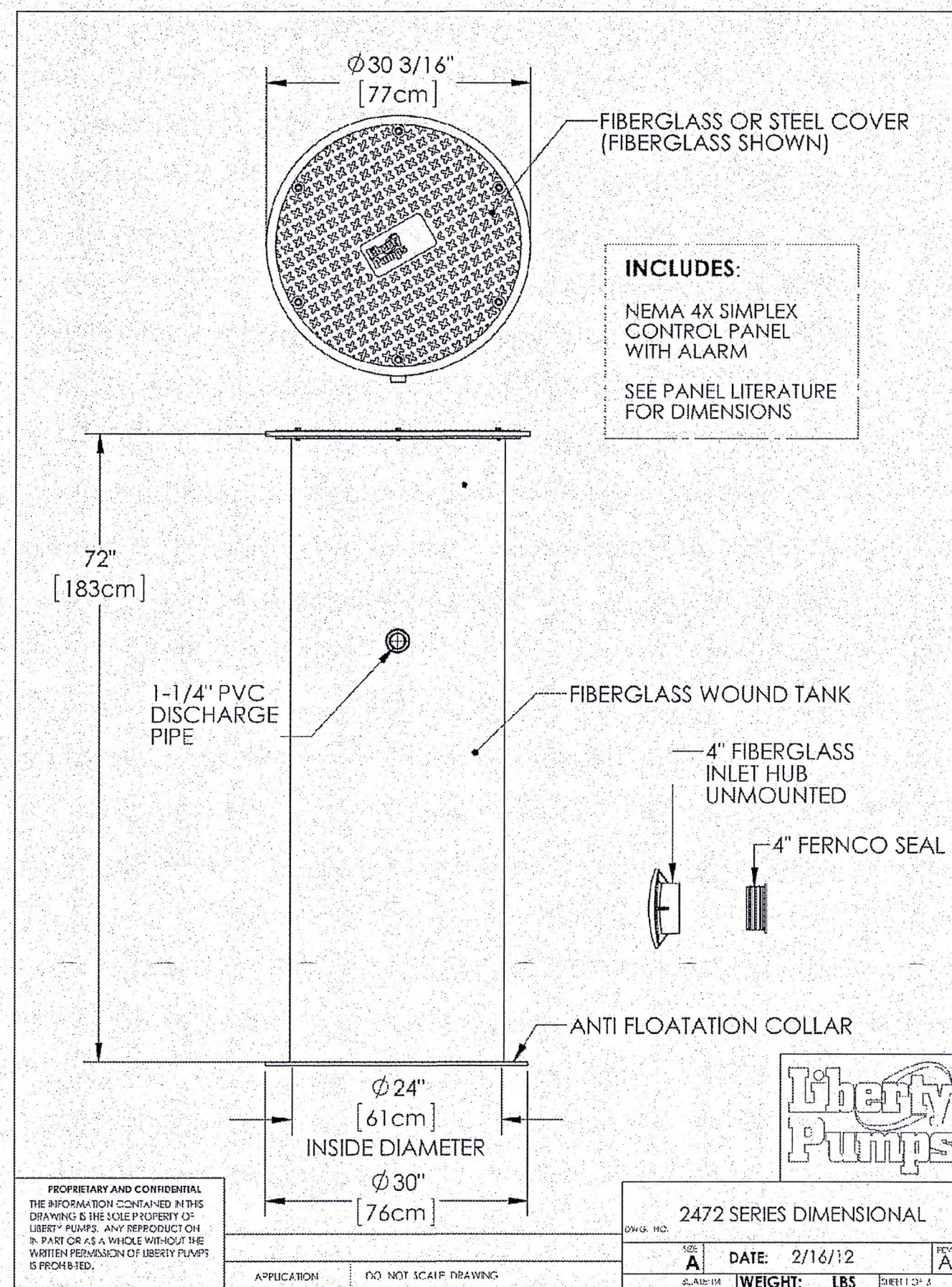
PREPARED BY:
SKIPS WASTEWATER SERVICES
21 COURTNEY DRIVE
ELLINGTON, CT 06029

DETAIL SHEET
PROPOSED ADDITION & NEW BUILDING
SKIPS WASTE WATER SERVICES
21 COURTNEY DRIVE
ELLINGTON CONNECTICUT

Civil Solutions, LLC
providing engineered solutions from concept to completion
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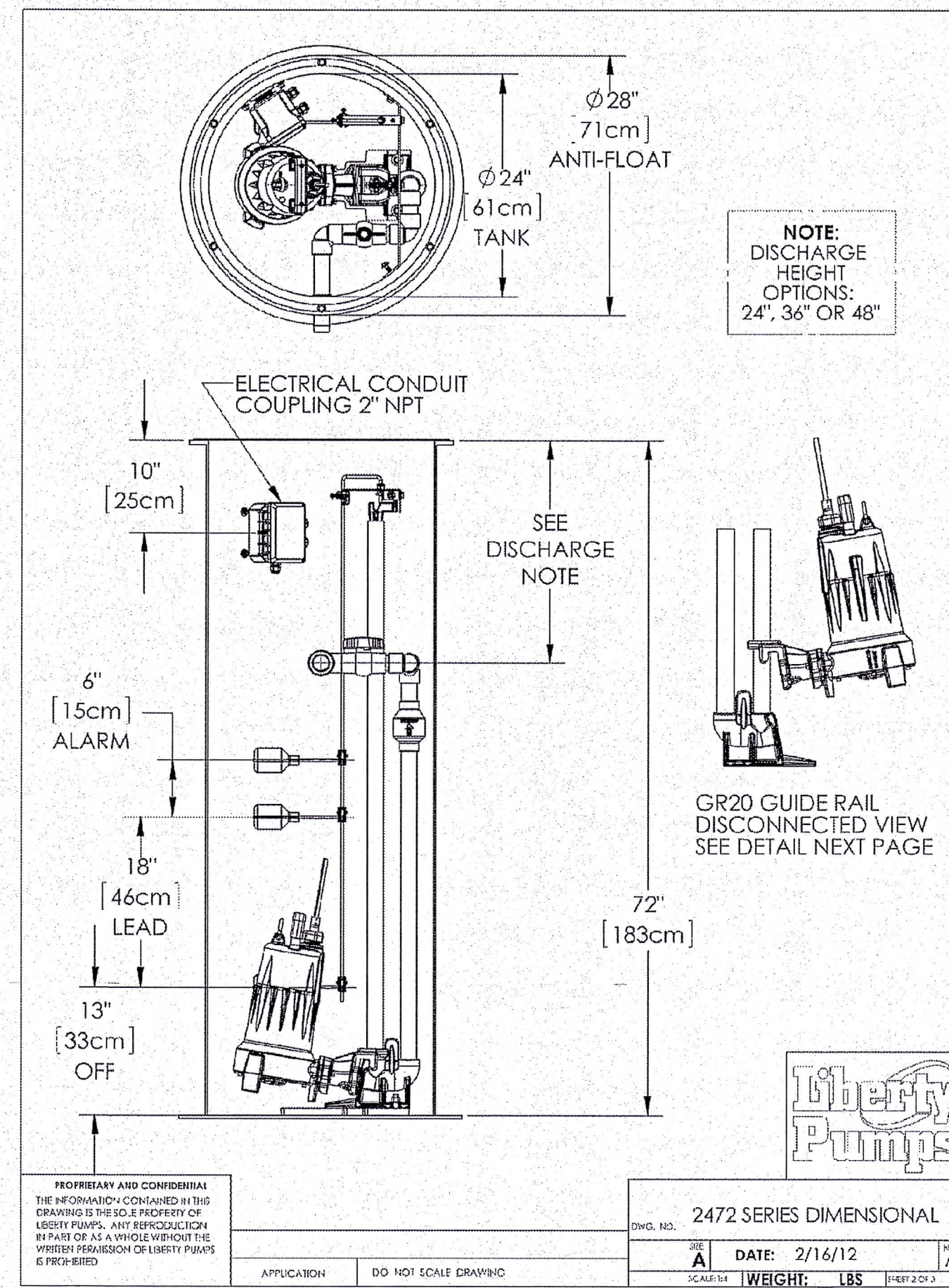
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Sheet 2 of 3

2472LSG/LSGX - Series Dimensional Data



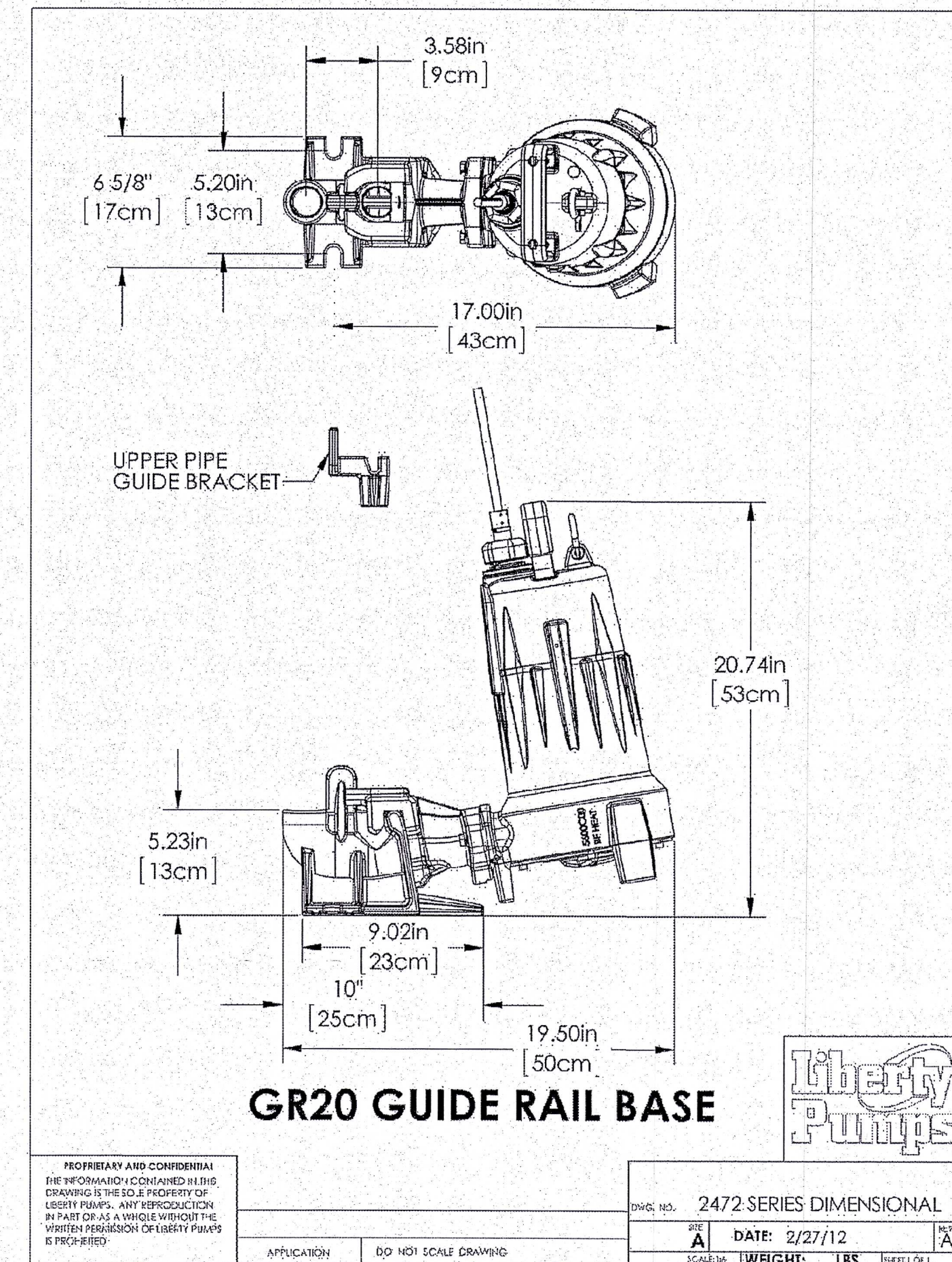
2472LSG_P2 R3724/2012

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2472LSG_P3 R3724/2012

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2472LSG_P4 R3724/2012

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REVISIONS	
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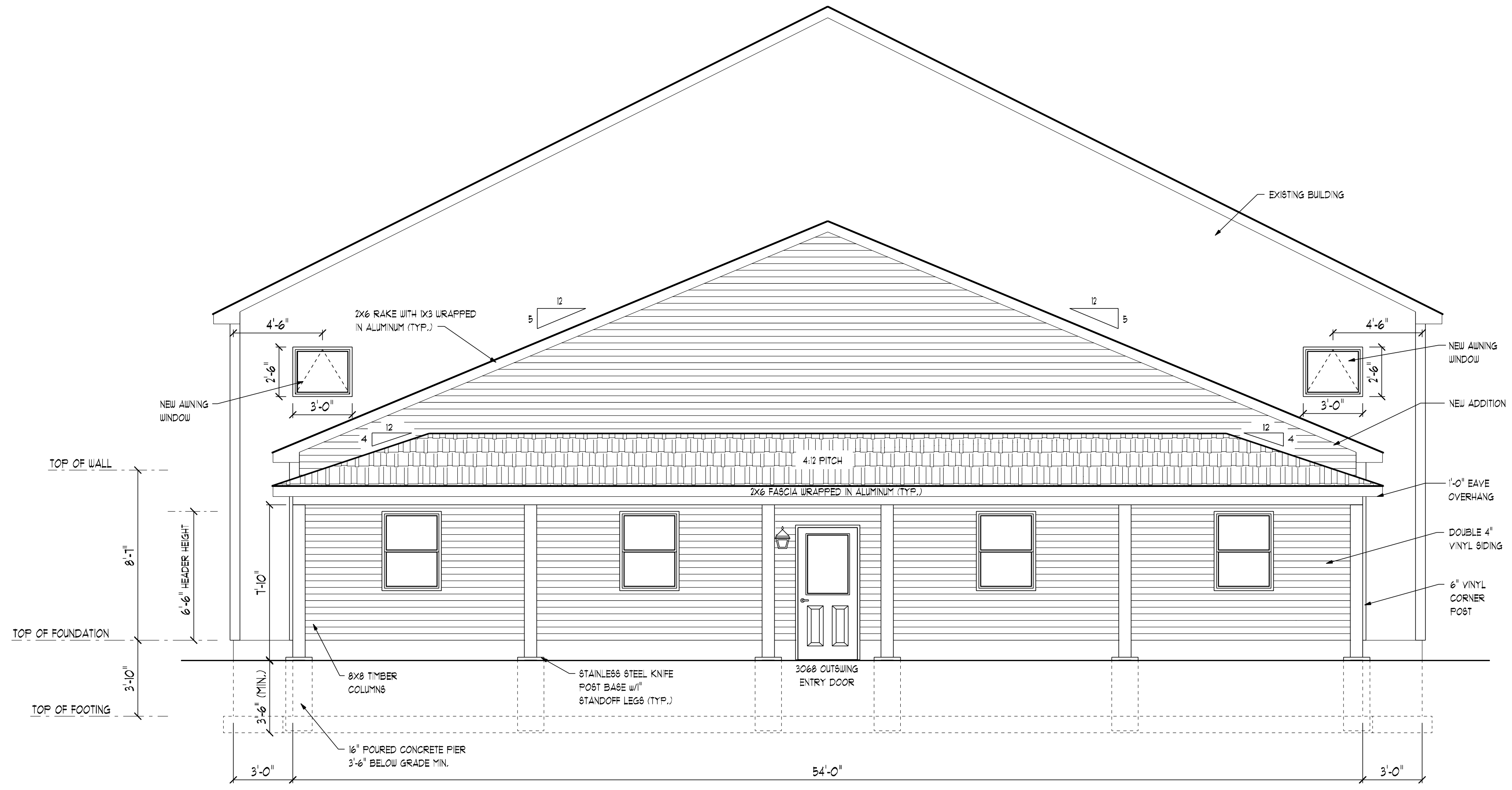
PREPARED FOR:
SKIPS WASTEWATER SERVICES
 21 COURTNEY DRIVE
 ELLINGTON, CT 06029

SEWER DETAIL SHEET
 PROPOSED ADDITION & NEW BUILDING
SKIPS WASTE WATER SERVICES
 21 COURTNEY DRIVE

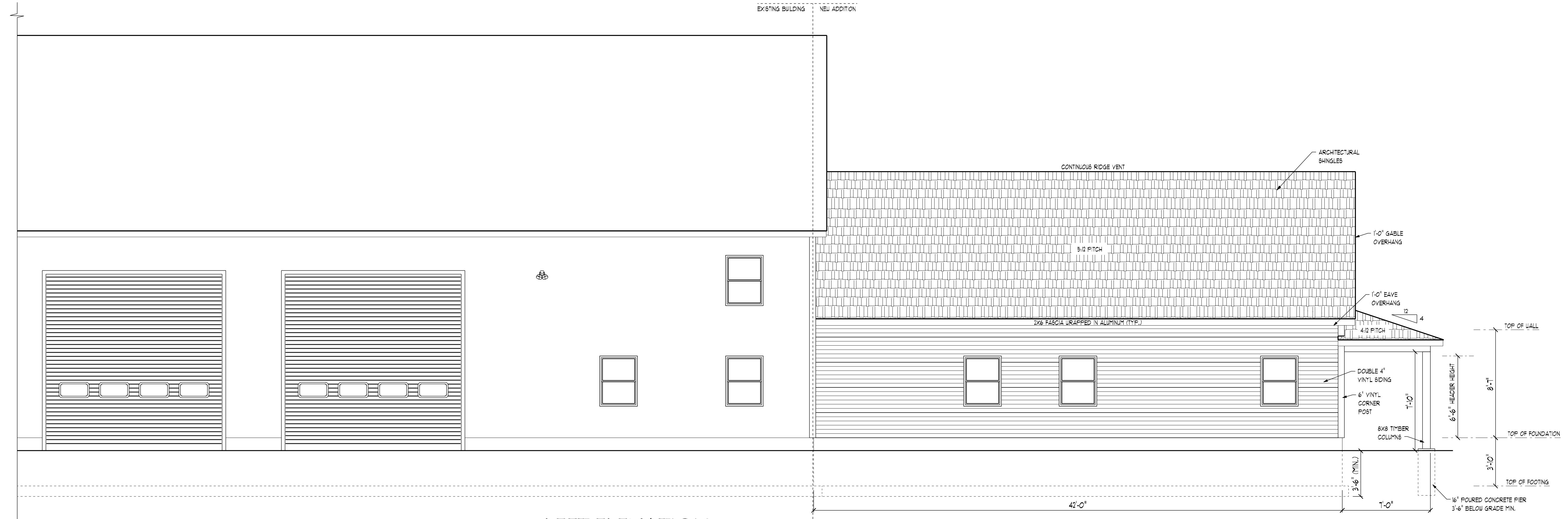
PREPARED BY:
Civil Solutions, LLC
 providing engineered solutions from concept to completion

Cad File: XX
 Drawing Scale: NTS

DRAWING LIST	
ARCHITECTURAL	
FRONT & LEFT ELEVATIONS	A-1
RIGHT ELEVATION & FOUNDATION PLAN	A-2
FIRST FLOOR PLAN	A-3
CODE INFO., BUILDING SECTION & WALL BRACING	A-4



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

NEW ADDITION FOR SKIPS WASTEWATER SERVICES
21 COURTNEY DRIVE
ELLINGTON, CT 06029

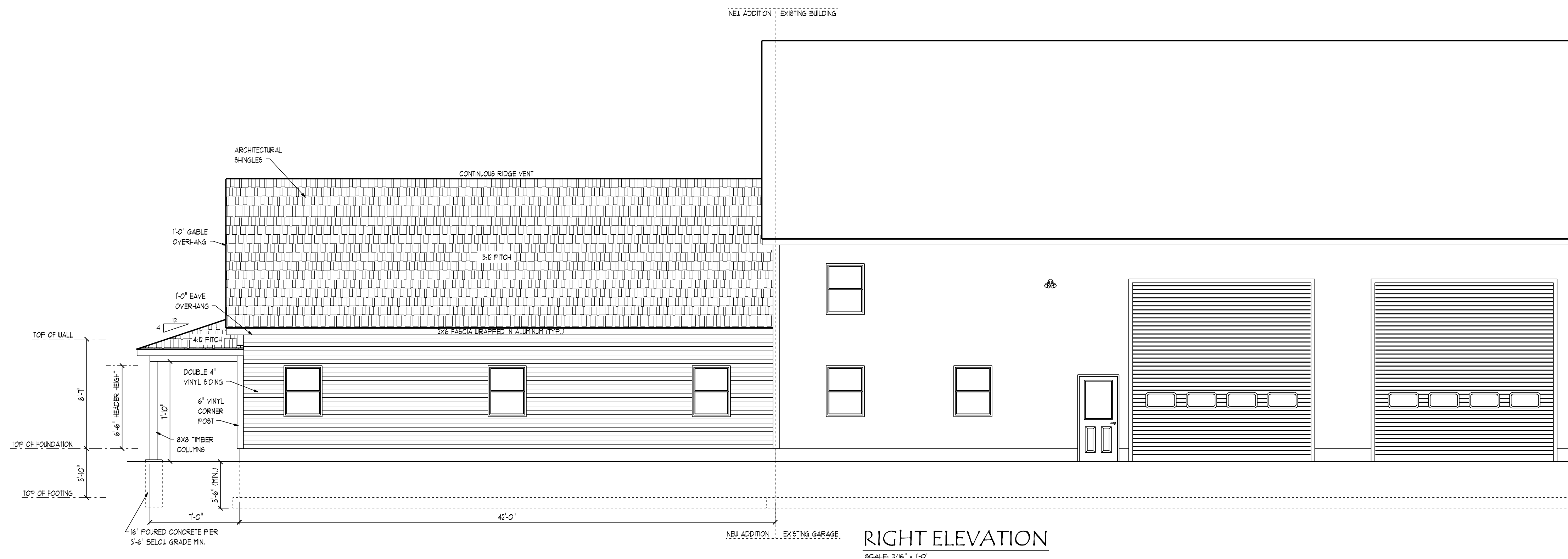
DRAWN FOR:
ANDREW COLEMAN

BUILDING AREA
NEW 1ST FLOOR: 2205 SQ. FT.
NEW FR. PORCH: 378 SQ. FT.
EX. GARAGE A: 3036 SQ. FT.
EX. GARAGE B: 2099 SQ. FT.
EX. 1ST FLOOR: 1890 SQ. FT.
EX. 2ND FLOOR: 1146 SQ. FT.

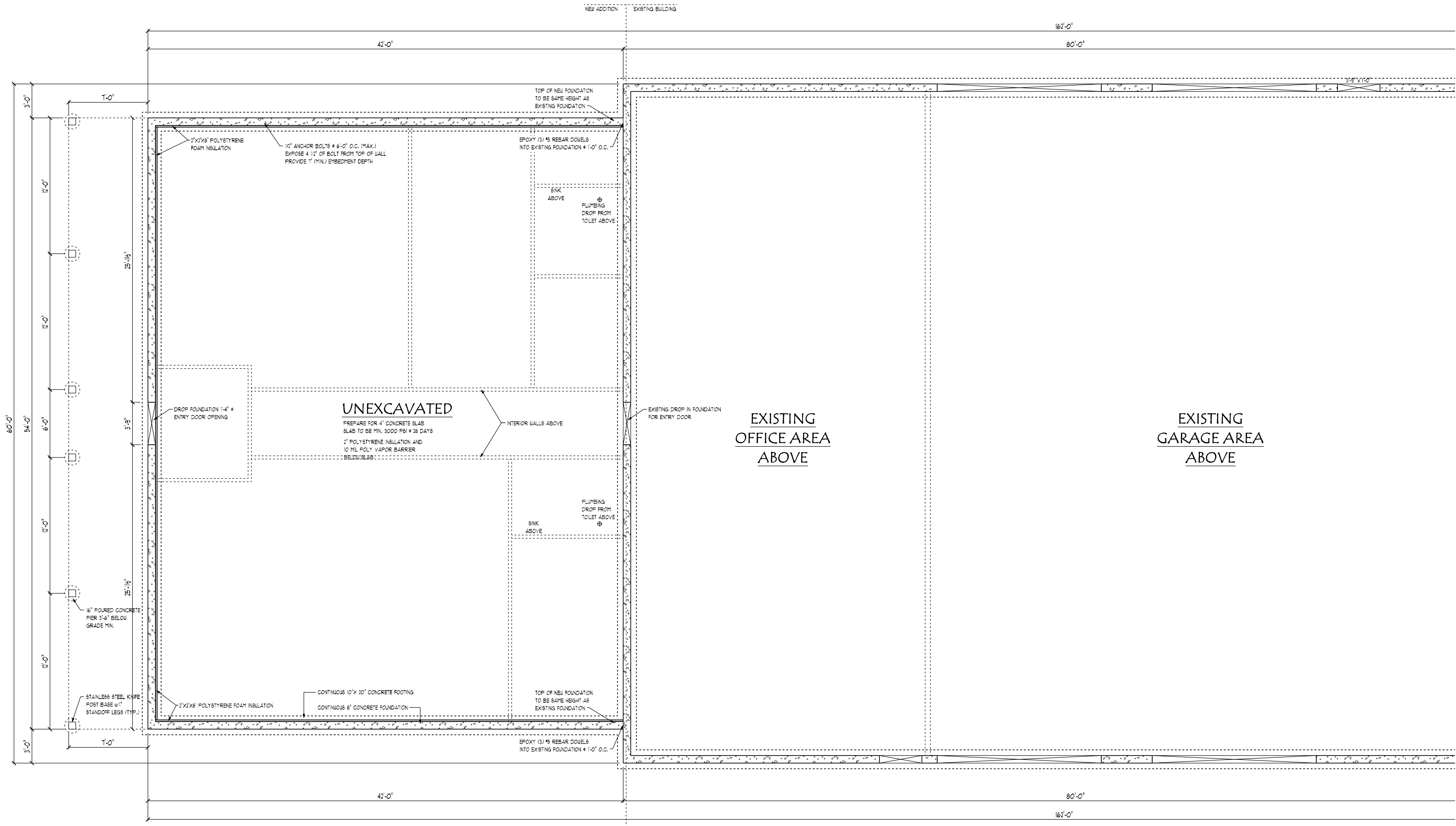
DATE
11/20/24
REVISIONS:

SCALE
1/4" = 1'-0"

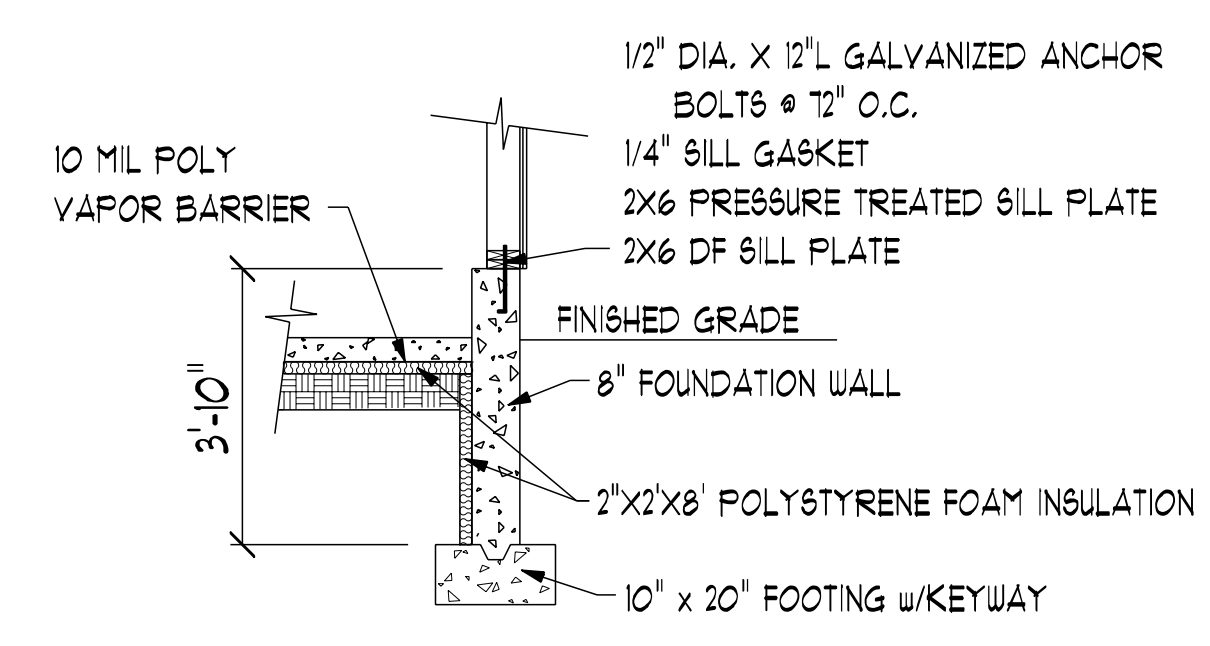
DRAWING #
A-1



RIGHT ELEVATION
SCALE: 3/16" = 1'-0"



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



FROSTWALL DETAIL
SCALE: 3/8" = 1'-0"

DRAWN FOR:
ANDREW COLEMAN

BUILDING AREA
NEW 1ST FLOOR: 2205 SQ. FT.
NEW FR. PORCH: 378 SQ. FT.
EX. GARAGE A: 3096 SQ. FT.
EX. GARAGE B: 2099 SQ. FT.
EX. 1ST FLOOR: 1880 SQ. FT.
EX. 2ND FLOOR: 1146 SQ. FT.

DATE
11/20/24
REVISIONS:

SCALE
As Noted

DRAWING #
A-2

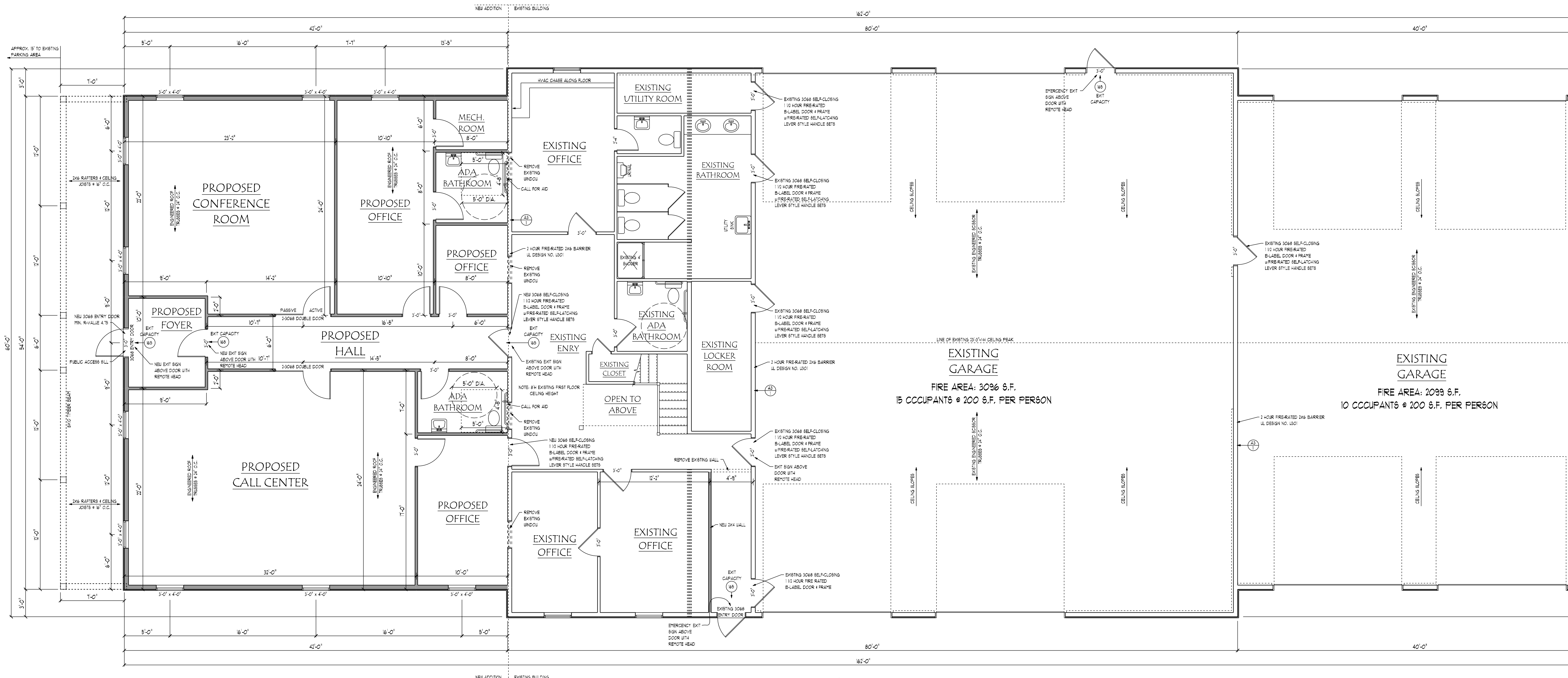
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 NEW FR. PORCH: 378 SQ. FT.
 EX. GARAGE A: 3096 SQ. FT.
 EX. GARAGE B: 2099 SQ. FT.
 EX. 1ST FLOOR: 1550 SQ. FT.
 EX. 2ND FLOOR: 1146 SQ. FT.

DATE
 11/20/24
 REVISIONS:

SCALE
 As Noted

DRAWING #
 A-3



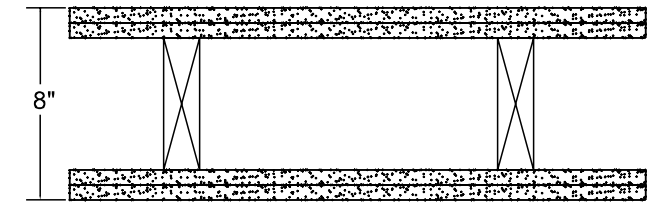
9'-0" H WALLS

FIRST FLOOR PLAN
 SCALE: 3/16" = 1'-0"

LEGEND

- NEW EXTERIOR WALLS
- EXISTING EXTERIOR WALLS TO REMAIN
- NEW INTERIOR WALLS
- EXISTING INTERIOR WALLS TO REMAIN
- EXISTING EXTERIOR AND INTERIOR DOORS TO REMAIN
- NEW EXTERIOR AND INTERIOR DOORS

System Performance
 2 HR Fire
 UL Design No. U301



- System Description**
 Wood Stud Partition
- 2 Layers of 5/8" FIRECODE Core Gypsum Panels
 - 2x6 wood studs @ 16" o.c.
 - 2 Layers of 5/8" FIRECODE Core Gypsum Panels

1

2X6 FIRE BARRIER DETAIL

CODE INFORMATION

CODE BASIS: CONNECTICUT STATE BUILDING CODE, 2022
 INTERNATIONAL EXISTING BUILDING CODE, 2021
 LEVEL 2 ALTERATIONS & ADDITIONS (CHAPTERS 7, 8 AND 11 APPLY)
 INTERNATIONAL BUILDING CODE, 2021 (NEW WORK)
 INTERNATIONAL ENERGY CONSERVATION CODE, 2021 (NEW WORK)
 NATIONAL ELECTRICAL CODE, 2020 (NFPA-70)
 CONNECTICUT STATE FIRE SAFETY CODE, 2022
 PART 3, INTERNATIONAL FIRE CODE, 2021
 SEC. 101.1.3. - COMPLIANCE WITH IEBC IS DEEMED TO BE IN COMPLIANCE WITH PART 3 OF THE CSBFC.

DESIGN DATA: ROOF SNOW LOAD: 35 PSF
 ULTIMATE WIND SPEED, (V-ULT): 125 MPH (3-SEC. GUST)

USE GROUP: B - BUSINESS (OFFICES)

TYPE OF CONSTRUCTION: 5B COMBUSTIBLE UNPROTECTED
 NOT SFRINKLERED
 NO FIRE ALARMS

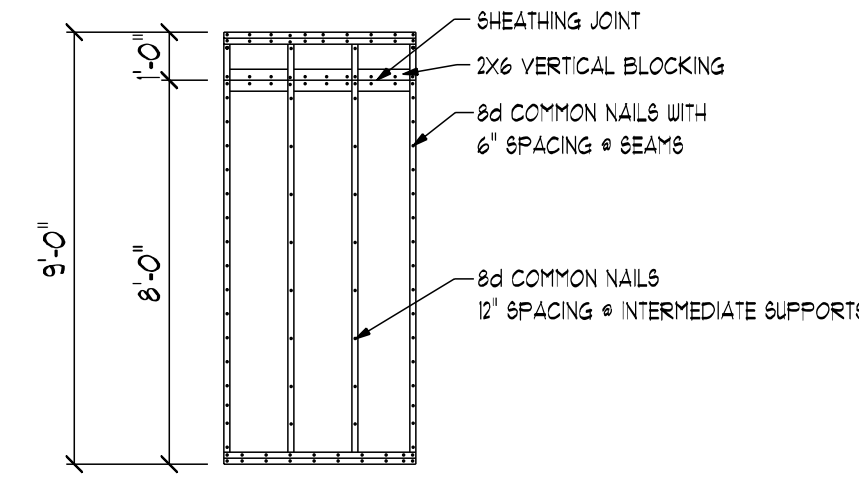
HEIGHT & AREA: ALLOWED: B - 2 STORIES / 40' HEIGHT, GROSS BUILDING AREA - 9,000 S.F.
 B-2 - 2 STORY / 40' HEIGHT, GROSS BUILDING AREA - 13,500 S.F.
 PROPOSED: 2 STORY / 31'-6" +/- HEIGHT, 6960 S.F. GROSS BUILDING AREA

OCCUPANT LOAD (TABLE 1004.1.2) 1ST FLOOR OFFICE AREA - 1629 S.F. GROSS FLOOR AREA, 16 OCCUPANTS @ 100 S.F. PER PERSON
 PARKING GARAGE - 5331 S.F. GROSS FLOOR AREA, 26 OCCUPANTS @ 200 S.F. PER PERSON
 2ND FLOOR OFFICE AREA - 1209 S.F. GROSS FLOOR AREA, 12 OCCUPANTS @ 100 S.F. PER PERSON

MINIMUM NUMBER OF PLUMBING FACILITIES (TABLE 2302.1):

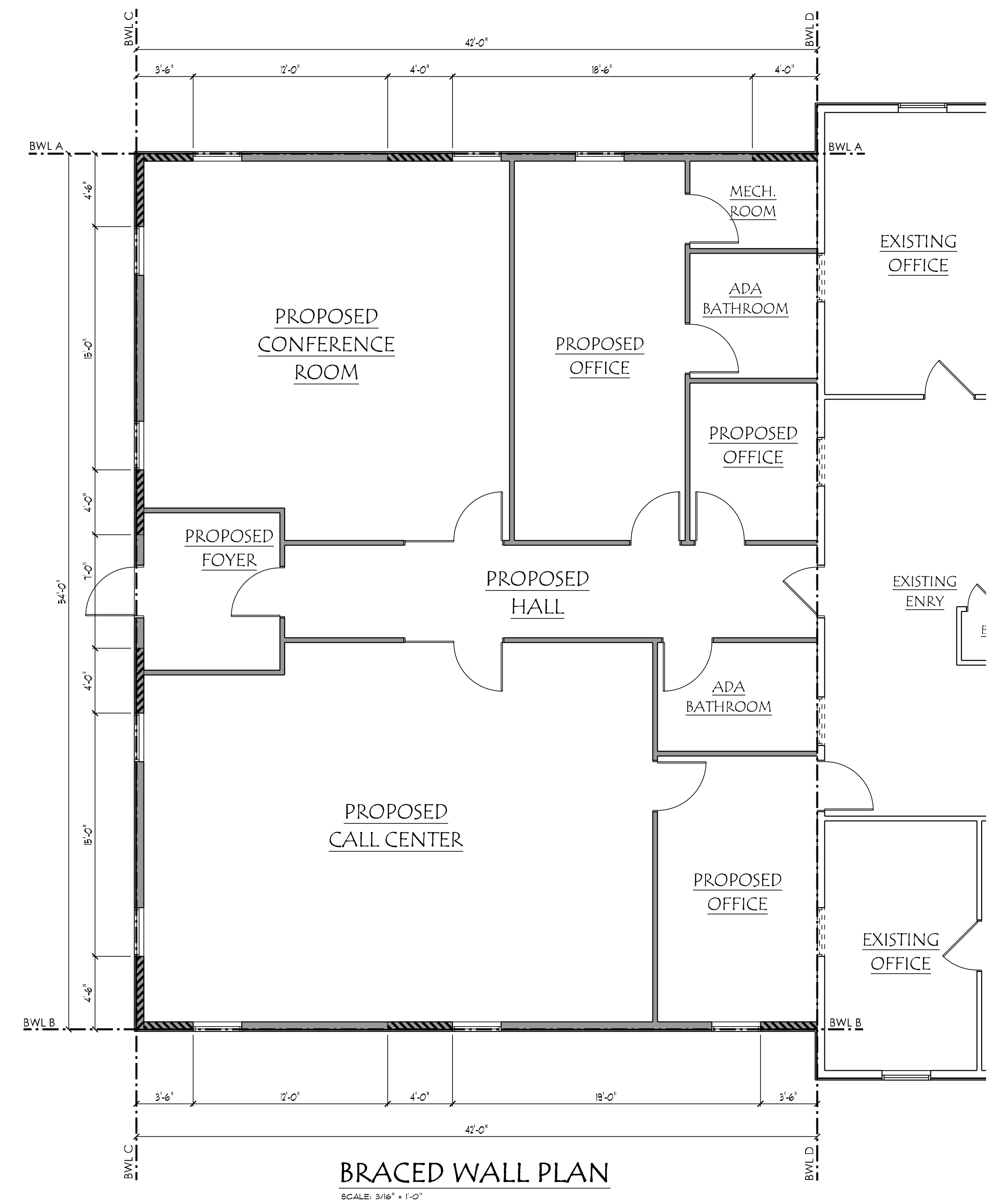
USE	OCCUPANTS	REQ. TOILETS @ 1 PER 25	REQ. LAVS @ 1 PER 40
	M / W	M / W	M / W
B	14 / 14	.56 / .56	.35 / .35
B-2	13 / 13	.52 / .52	.33 / .33
REQUIRED	.69 / .69	.48 / .48	
PROVIDED	3 / 1	3 / 1	

SERVICE SINK:
 REQUIRED - 1
 PROVIDED - 1



BRACED WALL PANEL
 1/4" = 1'-0" SCALE

BRACED WALL SCHEDULE & NOTES					
METHOD	NAIL	PERIMETER NAIL	INTERIOR NAIL	SHEATHING	SHEATHING ORIENTATION
C8-U8F	8D COMMON	6" O.C. (MAX)	12" O.C. (MAX)	1/2" APA RATED PLYWOOD SHEATHING (SINGLE SIDE)	VERTICAL



BRACED WALL PLAN
 SCALE: 3/16" = 1'-0"

FOUNDATION NOTES AND SPECIFICATIONS

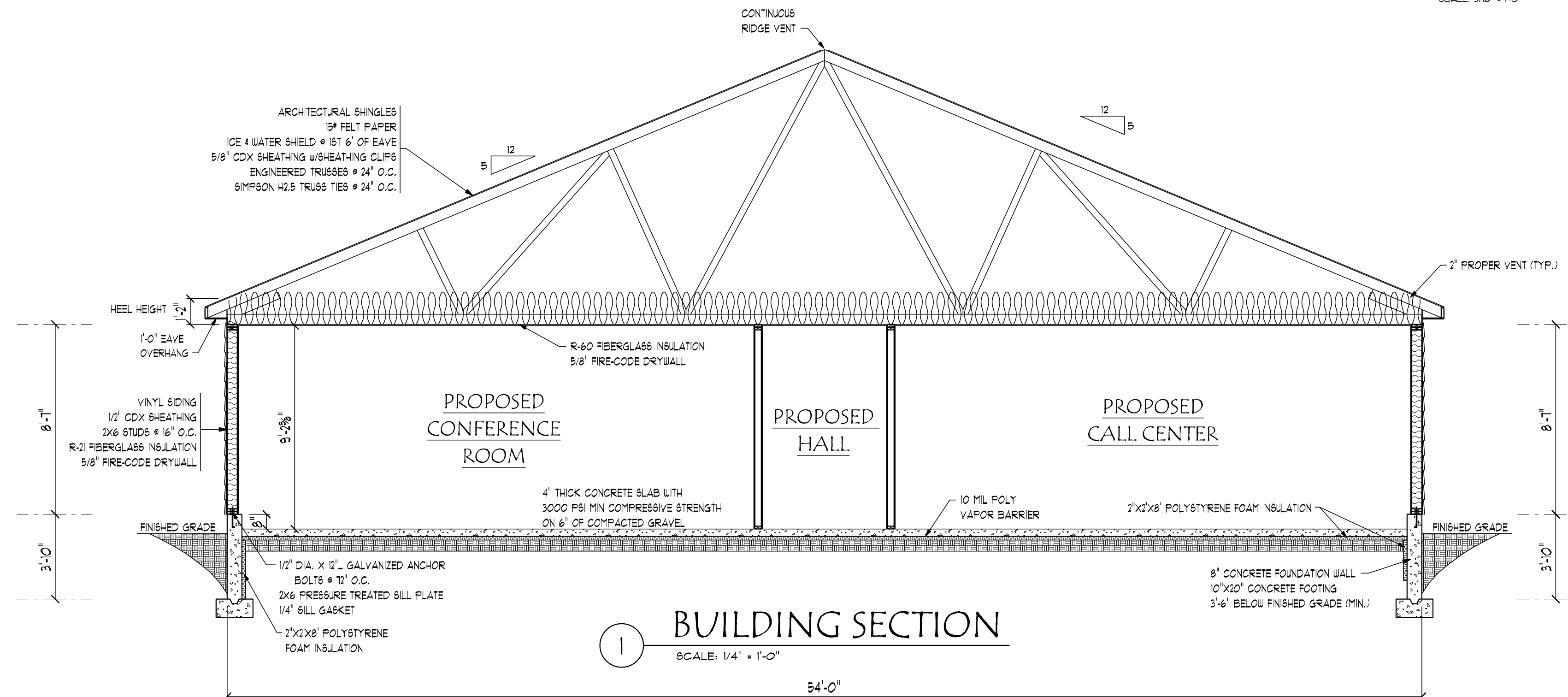
- ALL CONCRETE FOR FOUNDATION WALLS AND FOOTINGS SHALL OBTAIN A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT THE AGE OF 28 DAYS. ALL CONCRETE FOR GARAGE SLABS SHALL OBTAIN 3800 PSI AT THE AGE OF 28 DAYS. ALL FOOTINGS SHALL BE A MINIMUM OF 3'-6" BELOW GRADE. ALL FOOTINGS TO REST ON UNDISTURBED SOIL OF A MINIMUM OF 3000 PSF BEARING CAPACITY.
- ALL ANCHOR BOLTS TO BE 1/2" X 12" @ 6'-0" O.C., MINIMUM OF TWO BOLTS PER WALL.

GENERAL NOTES AND REQUIREMENTS

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL BUILDING CODES AND REGULATIONS.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF PROPOSED STRUCTURE PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED FOR JUSTIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.
- ALL DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER SCALED.
- ALL COLUMNS AND/OR BUILT-UP SOLID FRAMING SHALL BE DESIGNED TO CARRY THE LOADS BEING APPLIED TO THEM. THE LOAD PATH SHALL BE CARRIED DOWN THROUGH THE LEVELS BELOW, AND SHALL TERMINATE AT THE FOUNDATION OR OTHER BEARING POINTS DESIGNED TO CARRY THE LOAD.

FRAMING NOTES AND SPECIFICATIONS

- ALL FRAMING LUMBER SHALL BE DOUGLASS FIR #2 OR BETTER UNLESS NOTED OTHERWISE. POST ALL LOADS DOWN TO FOUNDATION OR BEAM BELOW. ALL PRESSURE TREATED WOOD SHALL BE SOUTHERN PINE #2 OR BETTER. ALL FASTENERS IN PRESSURE TREATED WOOD SHALL BE HOT DIPPED GALVANIZED.
- INSTALL ALL ENGINEERED TRUSSES AND/OR ENGINEERED FLOOR SYSTEMS IN ACCORDANCE WITH MANUFACTURER'S DETAILS, DRAWINGS AND INSTRUCTIONS.
- ALL FASTENERS SHALL BE INSTALLED IN ACCORDANCE WITH 2015 IBC CODE TABLE 2304.10.1 AND AS NOTED.
- PROVIDE METAL STRAPS ACROSS EDGE OF TOP PLATES IF OVER 50% NOTCHED.



BUILDING SECTION
 SCALE: 1/4" = 1'-0"

DRAWN FOR:
 ANDREW COLEMAN

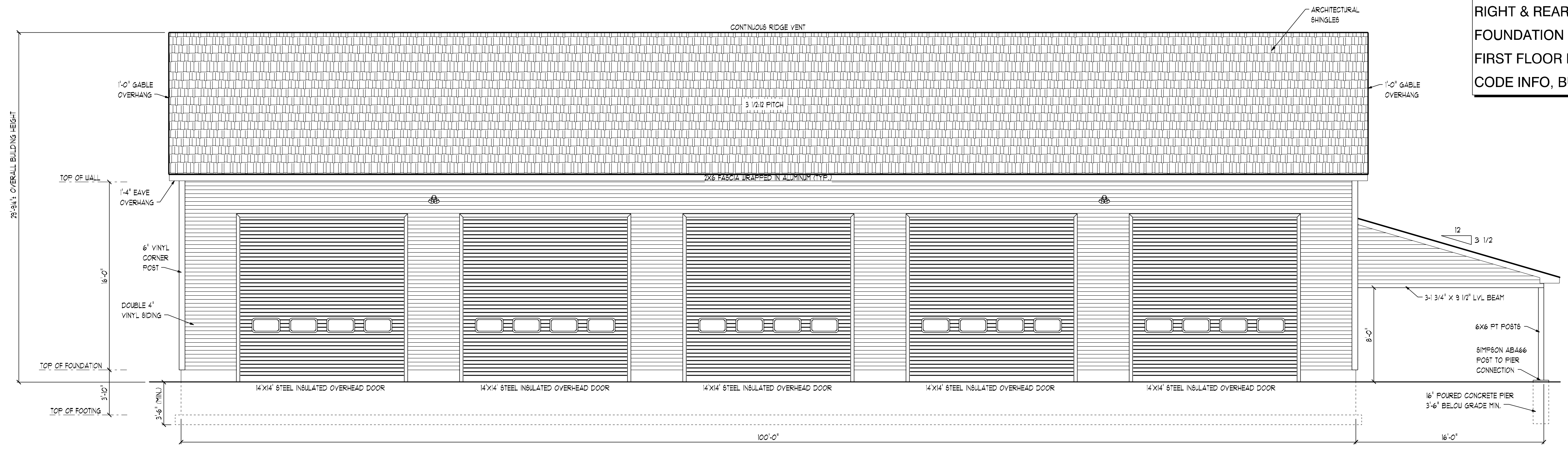
BUILDING AREA
 NEW 1ST FLOOR: 2205 SQ. FT.
 NEW FR. PORCH: 378 SQ. FT.
 EX. GARAGE A: 3096 SQ. FT.
 EX. GARAGE B: 2099 SQ. FT.
 EX. 1ST FLOOR: 1850 SQ. FT.
 EX. 2ND FLOOR: 1146 SQ. FT.

DATE
 11/20/24
 REVISIONS:

SCALE
 As Noted

DRAWING #
 A-4

DRAWING LIST	
ARCHITECTURAL	
FRONT & LEFT ELEVATIONS	A-1
RIGHT & REAR ELEVATIONS	A-2
FOUNDATION PLAN	A-3
FIRST FLOOR PLAN	A-4
CODE INFO, BUILDING SECTION & WALL BRACING	A-5



FRONT ELEVATION
 SCALE: 3/16" = 1'-0"



LEFT ELEVATION
 SCALE: 3/16" = 1'-0"

NEW GARAGE FOR SKIPS WASTEWATER SERVICES
 21 COURTNEY DRIVE
 ELLINGTON, CT 06029

DRAWN FOR:
 ANDREW COLEMAN

BUILDING AREA
 PARKING AREA: 3911 SQ. FT.
 STORAGE AREA: 3911 SQ. FT.
 OPEN LEAN-TO: 2016 SQ. FT.

DATE
 12/10/24
 REVISIONS:

SCALE
 3/16" = 1'-0"

DRAWING #
 A-1

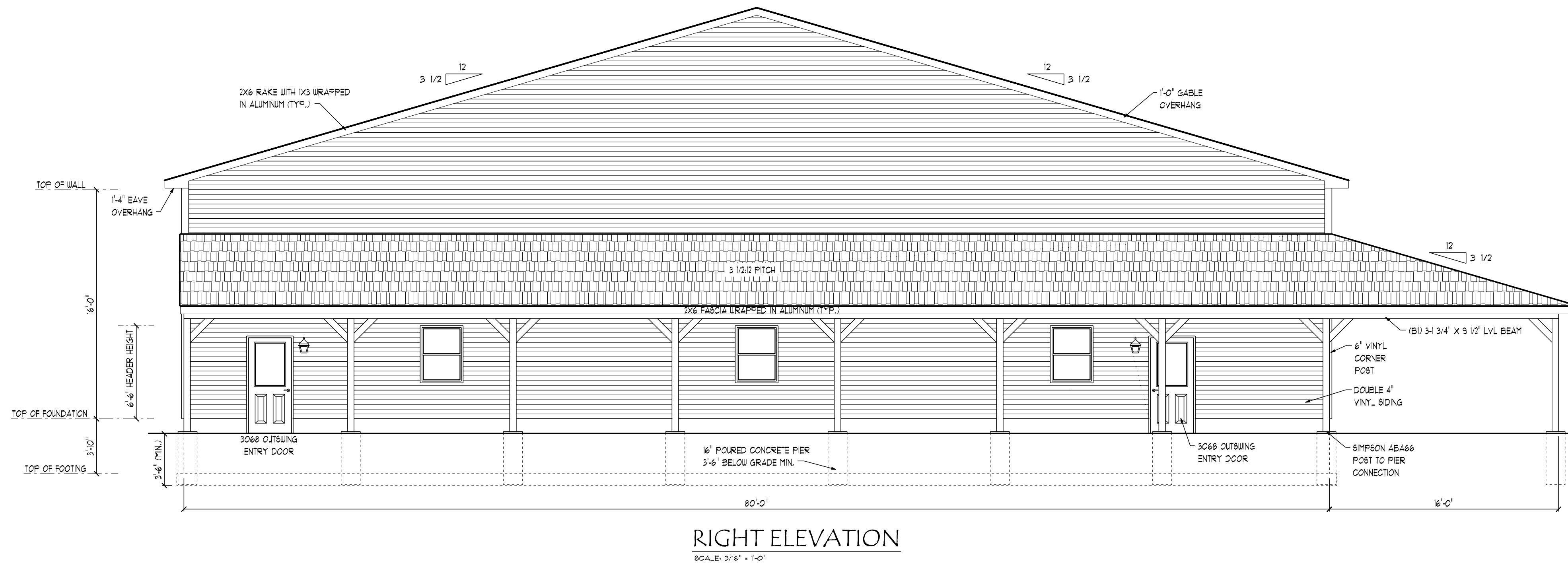
DRAWN FOR:
 ANDREW COLEMAN

BUILDING AREA
 PARKING AREA: 3911 SQ. FT.
 STORAGE AREA: 3911 SQ. FT.
 OPEN LEAN-TO: 2016 SQ. FT.

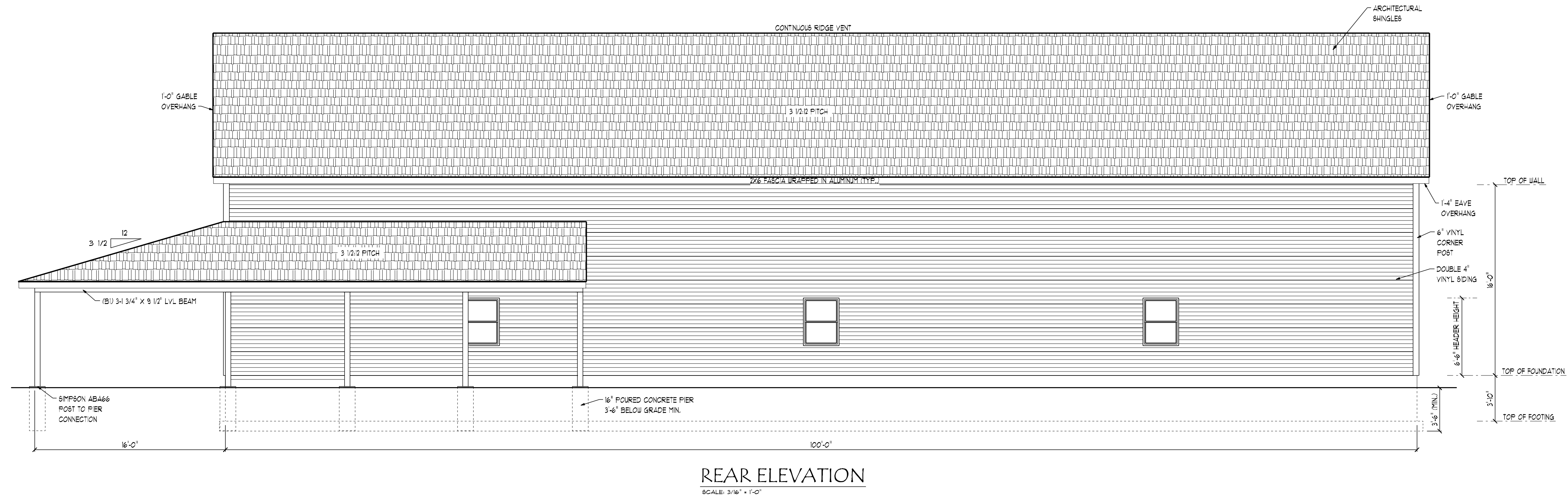
DATE
 12/10/24
 REVISIONS:

SCALE
 3/16" = 1'-0"

DRAWING *
 A-2



RIGHT ELEVATION
 SCALE: 3/16" = 1'-0"



REAR ELEVATION
 SCALE: 3/16" = 1'-0"

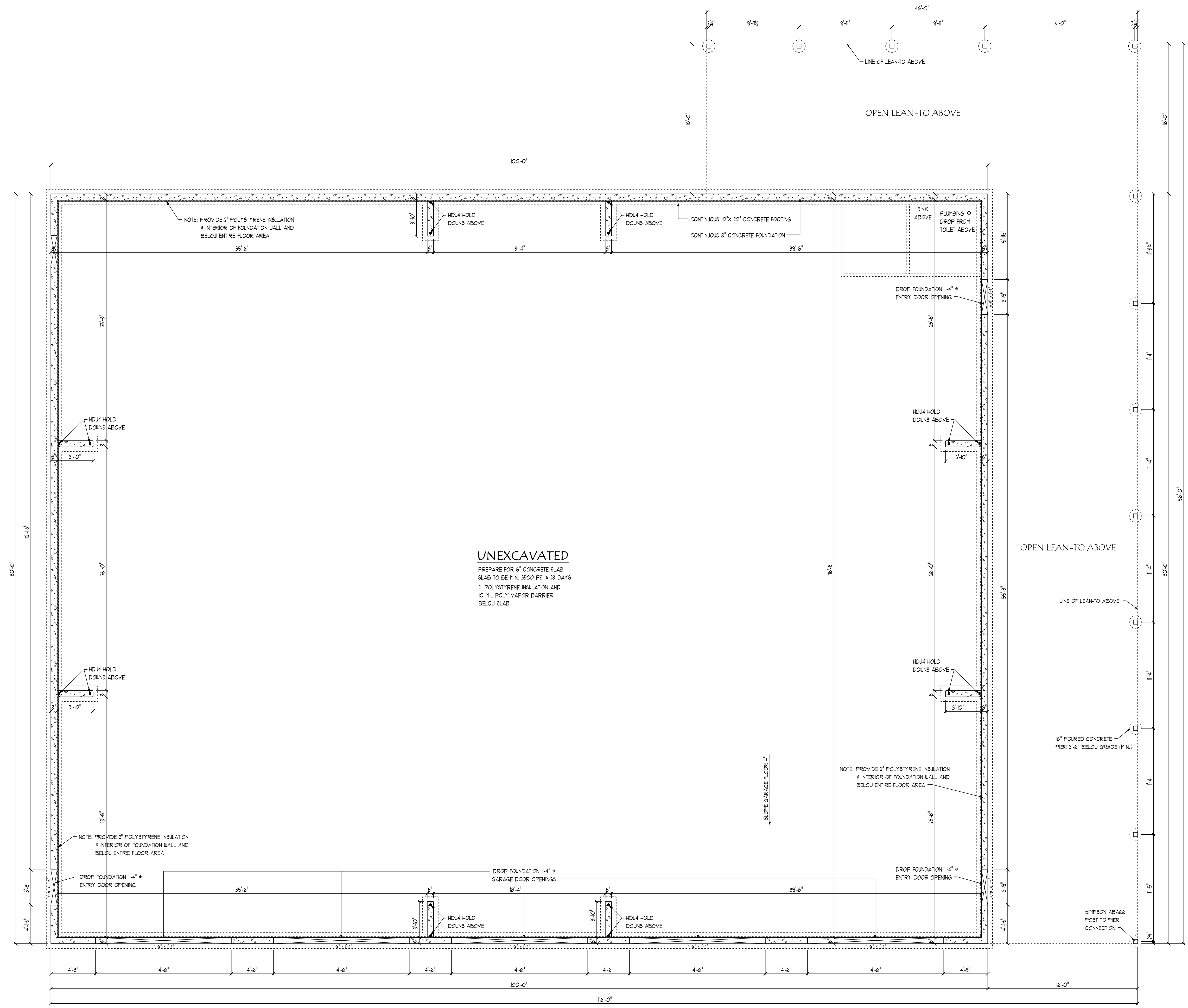
DRAWN FOR:
 ANDREW COLEMAN

BUILDING AREA
 PARKING AREA: 3911 SQ. FT.
 STORAGE AREA: 3911 SQ. FT.
 OPEN LEAN-TO: 2016 SQ. FT.

DATE
 12/10/24
 REVISIONS:

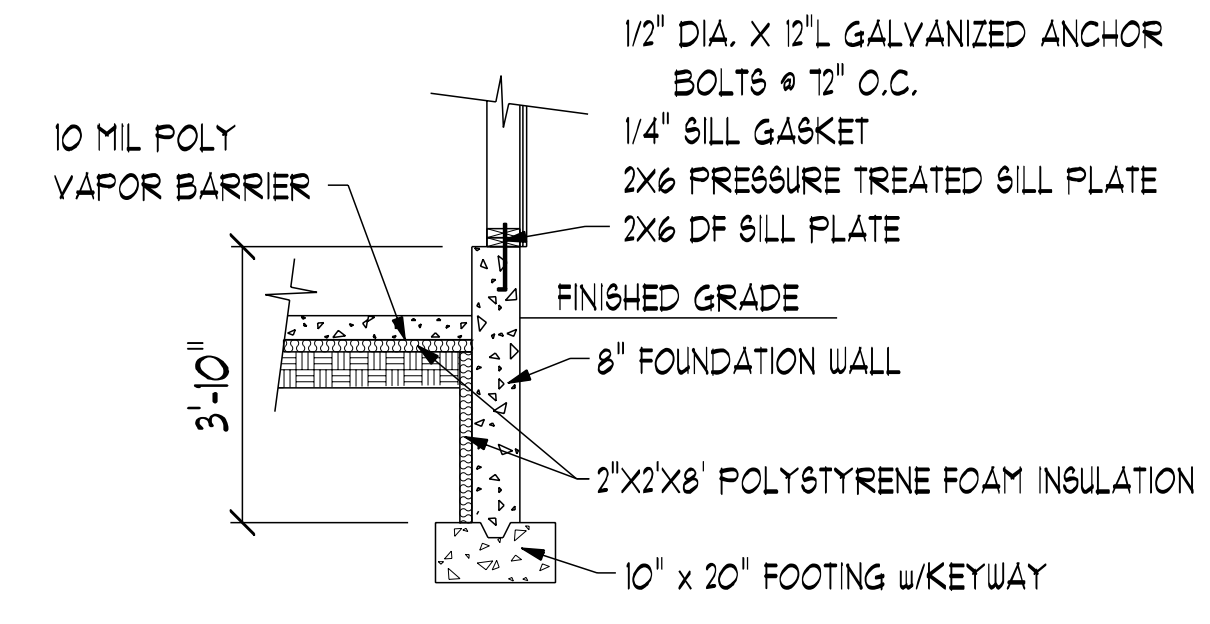
SCALE
 As Noted

DRAWING #
 A-3

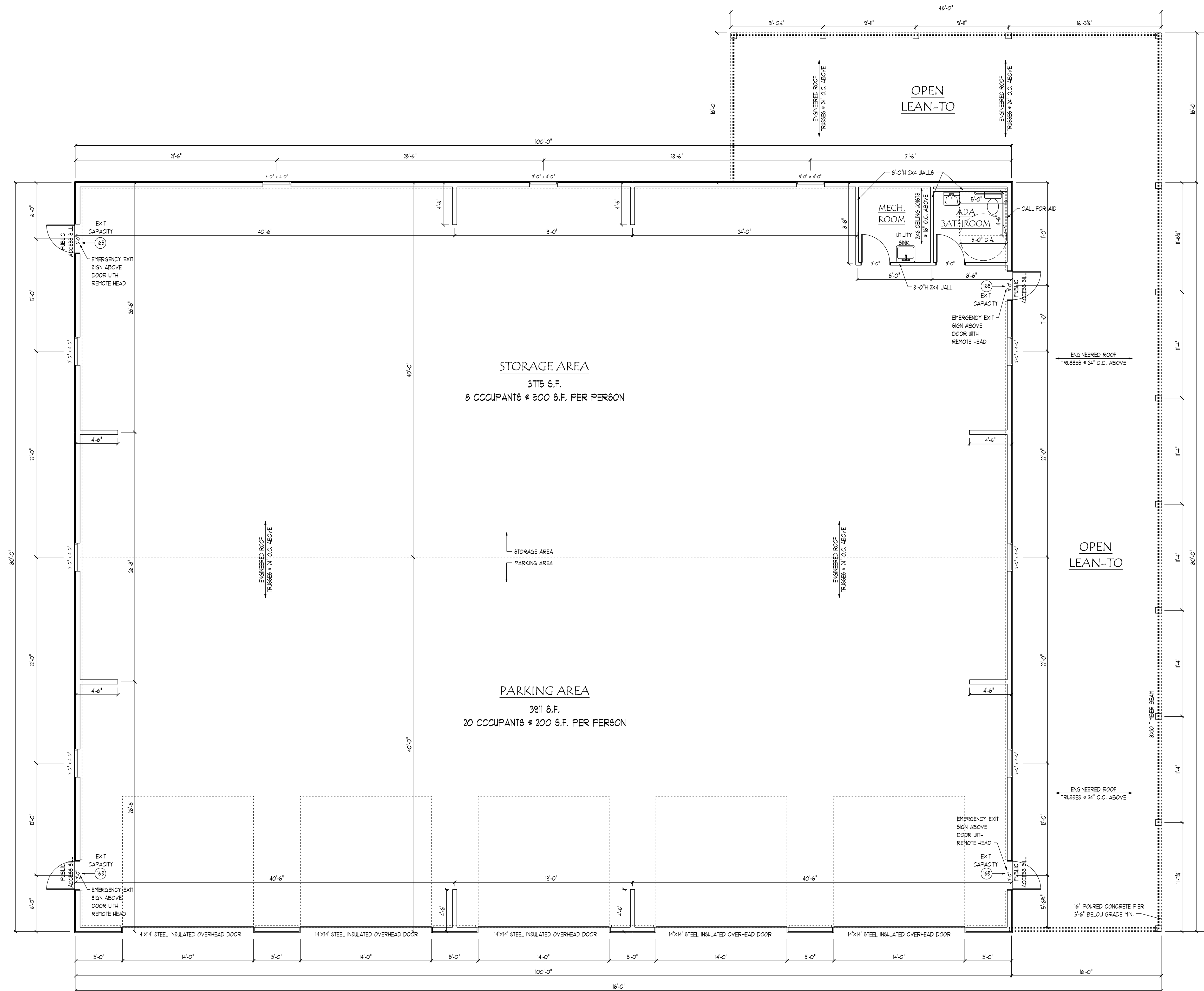


UNEXCAVATED
 PREPARE FOR 6" CONCRETE SLAB
 SLAB TO BE MIN. 3500 PSI @ 28 DAYS
 2" POLYSTYRENE INSULATION AND
 10 ML POLY VAPOR BARRIER
 BELOW SLAB

FOUNDATION PLAN



FROSTWALL DETAIL
 SCALE: 3/8" = 1'-0"



FLOOR PLAN
SCALE: 3/16" = 1'-0"

16'-0" H WALLS

NEW GARAGE FOR SKIPS WASTEWATER SERVICES
21 COURTNEY DRIVE
ELLINGTON, CT 06029

DRAWN FOR:
ANDREW COLEMAN

BUILDING AREA
PARKING AREA: 3911 SQ. FT.
STORAGE AREA: 3715 SQ. FT.
OPEN LEAN-TO: 2016 SQ. FT.

DATE
12/10/24
REVISIONS:

SCALE
3/16" = 1'-0"

DRAWING #
A-4

K.O. HOME DESIGN, LLC.
ARCHITECTURAL DESIGN &
ENGINEERING SERVICES
CELL: 860.930.7075
KEITH@KOHOMEDSIGN.COM
ELLINGTON, CT 06029



STATE OF CONNECTICUT – COUNTY OF TOLLAND
INCORPORATED 1786

TOWN OF ELLINGTON

55 MAIN STREET – PO BOX 187
ELLINGTON, CONNECTICUT 06029-0187
www.ellington-ct.gov

TEL. (860) 870-3120 TOWN PLANNER'S OFFICE FAX (860) 870-3122

DESIGN REVIEW BOARD REGULAR MEETING MINUTES MONDAY, SEPTEMBER 16, 2024, 7:00 P.M.

MEMBERS PRESENT: Chairman Michele Beaulieu, Vice Chairman Gary Chaplin, Regular Members Ronald Stomberg (arrived at 7:26) and Katherine Heminway

MEMBER(S) ABSENT: Regular Member Landon Barlow

STAFF PRESENT: Lisa Houlihan, Town Planner and Barbra Galovich, Recording Clerk

I. CALL TO ORDER: Chairman Beaulieu called the meeting to order at 7:02 P.M.

II. NEW BUSINESS:

1. Review of design elements for David Wittig, owner/applicant, to install dormers and a covered exterior stairway at 3 Jobs Hill Road, APN 072-003-0000, in a Planned Commercial (PC) Zone.

David Wittig, 95 Colton Road, Somers, CT, was present to represent the application. David is looking to construct office space on the top floor of the building, currently the space is used for storage. He would like to add dormers for additional natural light to the front and construct an outside covered stairway on the south side of the building for additional means of egress. David noted the installation of new siding has started but will not be completed until approval has been received by the Planning & Zoning Commission. The windows have been replaced and he may need to re-roof the structure after installation of the dormers. The siding is blueish-grey, and the shingles are black. He wants to install six cubicles on the second floor for his heating and cooling business. He's been in business for ten years and currently has seven employees. David said there's approximately 1,000 square feet of office space on the second floor and two offices currently located on the first floor.

Vice Chairman Chaplin noted the condition of the existing parking surface is in bad shape. David agreed to patch the unsafe areas and said he will eventually pave the lot in the future. David noted an electrician will be installing three separate electrical boxes/services for the three different office spaces. He will add wall unit lighting and more security lighting to the building. Lisa Houlihan, Town Planner, advised David there are lighting standards within the zoning regulations that need

to be considered and explained how a photometric plan may be needed. Commissioner Heminway noted there are many businesses in town that have a cupula on their building and suggested installing a cupula sized appropriately for the building at 3 Jobs Hill Road. Chairman Beaulieu asked about dumpsters and screening of them, David noted there are two USA Trash and Hauling dumpsters on the side of the building and said he is willing to put them behind the fence should it become a requirement. The commission discussed signage noting there is currently one detached sign on the corner of Maple Street and Jobs Hill Road.

The commissioners spoke in favor of the proposed plan. No one from the public spoke regarding the application.

MOVED (HEMINWAY), SECONDED (CHAPLIN) AND PASSED UNANIMOUSLY TO GRANT A POSITIVE REFERRAL WITH RECOMMENDATIONS TO THE PLANNING & ZONING COMMISSION for the installation of dormers and a covered exterior stairway at 3 Jobs Hill Road, APN 072-003-0000, in a Planned Commercial (PC) Zone.

RECOMMENDATION(S):

- Improve the parking surface.
- Add a cupula to the roof of the building.

III. ADMINISTRATIVE BUSINESS:

1. Approval of the March 18, 2024, Regular Meeting Minutes

MOVED (HEMINWAY), SECONDED (CHAPLIN) AND PASSED UNANIMOUSLY TO APPROVE MARCH 18, 2024, REGULAR MEETING MINUTES AS WRITTEN.

2. Correspondence/Discussion: **None**

IV. ADJOURNMENT:

MOVED (BEAULIEU), SECONDED (HEMINWAY) AND PASSED UNANIMOUSLY TO ADJOURN THE DESIGN REVIEW BOARD MEETING AT 7:28 P.M.

Respectfully submitted,

Barbra Galovich, Recording Clerk