



architecture + design

EAST HELENA PUBLIC SCHOOLS FACILITIES CONDITIONS REPORTS

EAST HELENA, MONTANA
EAST HELENA PUBLIC SCHOOLS MASTER PLAN
NOVEMBER 2023



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East Helena Public Schools

Success for All Students

EAST HELENA PUBLIC SCHOOLS

“East Helena Public Schools in partnership with the parents and community will offer a secure place where students gain knowledge, grow in wisdom, develop confidence and value learning for life.”

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INTRODUCTION, PROGRAM STATEMENT, EXECUTIVE SUMMARY

INTRODUCTION

East Helena Public Schools has served the students, families and community of East Helena and the surrounding areas since the original school building was constructed on Main Street in 1890. Today, East Helena Public Schools serves over 1,900 kindergarten through 12th grade students at 5 distinct campuses.

The district has seen significant, sustained enrollment increases over the last 15 - 20 years. The district responded to these enrollment increases with a facilities planning effort in the early 2010s that led to a capital campaign and opening of the new Prickly Pear Elementary in 2018 as well as the creation of a high school district, subsequent capital campaign, and ultimately the construction of East Helena High School, which opened in 2020.

The district's elementary students are currently housed at three separate campuses, with early-kindergarten and kindergarten students at Eastgate Elementary, 1st and 2nd grade students at Prickly Pear Elementary, and 3rd through 5th graders at Radley Elementary. East Helena Public Schools has made a commitment to grade level schools, and the previous planning efforts were developed to maintain and improve the grade level school concept.

East Valley Middle School is home to East Helena's 6th through 8th grade students. The school originally opened in 1998 and received a classroom addition in 2018.

East Helena High School, serving grades 9 through 12, is the newest school facility in the district. Opened to students in 2020, the new high school was the fulfillment of East Helena Public Schools commitment to the success of the community's students through the creation of a new high school district.

In addition to the educational facilities noted above, the district also operates the District Offices at the Radley Elementary School site and the district transportation office and shop at the Eastgate Elementary School site.

In the spring of 2023, SMA Architecture + Design was engaged by East Helena Public Schools to evaluate the condition of the district's existing facilities as part of a Master Planning effort. The Facilities Condition Assessment will evaluate the condition of each facility's systems, as well as the condition of interior and exterior finishes. (Evaluation of the buildings mechanical, electrical, and plumbing systems have been excluded from

the report and are being evaluated by a separate consultant engaged by the district). The Facility Condition Assessment will also provide a review of compliance with current building codes and an overview of any accessibility and security concerns identified. It is our intent that this report will help inform the District regarding possible future improvements to these facilities as part of a Comprehensive Facilities Master Plan.

It is our hope that this report can provide a solid foundation of information for the District, and the East Helena community, to utilize in decision-making and planning for its educational needs. ■

PROGRAM STATEMENT | PREFACE

The following document summarizes the findings of the Design Team regarding the evaluation of the existing East Helena Public Schools facilities. The members of the Design Team examined the existing building through on-site observations and reviewed the available existing building plans.

The findings and recommendations in this report are based upon field observations made during our walk through. No invasive or destructive demolition occurred to further investigate the building or its systems. There may be unseen conditions present that were not readily visible to the team during the inspection, and this report does not attempt to speculate or address any potential issues that are unknown at this time. ■

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ACKNOWLEDGMENTS

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EAST HELENA PUBLIC SCHOOLS FACILITIES & PROPERTIES

- District-Owned Property
- District-Owned Property with Existing Structures

EXECUTIVE SUMMARY

As part of the Comprehensive Facilities Master Plan, SMA Architecture and Design has completed this Facilities Conditions Assessment. Per the request of East Helena Public Schools, this report includes an assessment of all current district facilities and properties.

For the sake of clarity, the observations in this report have been broken into separate sections for each facility and/or property:

- Eastgate Elementary School
- Prickly Pear Elementary School
- Radley Elementary School
- East Valley Middle School
- East Helena High School
- District Offices
- District Transportation Facility
- PureView Clinic Building
- Prickly Pear West Site
- Mountain View Meadows Site

The design team spent a day on site at each facility walking through the buildings to observe conditions and record our findings. We were provided access to all areas of the building and were able to observe conditions throughout the facilities. Our observations are based on the apparent conditions during our walk throughs. No exploratory demolition was conducted, therefore certain conditions that were concealed may not be documented in this report.

EASTGATE ELEMENTARY SCHOOL

SUMMARY OF OBSERVATIONS

Our observations of Eastgate Elementary school found the school and site to be in fair to good condition overall and that the school is serving its purpose well. Given the age of the building, there are certain aspects of the interior and exterior that are showing their age and our recommendations mainly deal with those items.

SUMMARY OF RECOMMENDATIONS

SITE RECOMMENDATIONS

Generally, the Eastgate site is well maintained and in fair to good condition. Due to the age of some site components, some updates beyond regular maintenance are recommended:

- Reconfiguration of the current parking, drop-off and bus areas should be considered in order to clarify circulation and separate bus, parent, and visitor traffic. Site directional signage should be implemented to improve way-finding and clarify traffic patterns.
- Repair or replacement of the playground asphalt and sports equipment.

ARCHITECTURAL EXTERIOR RECOMMENDATIONS

Overall, the exterior of the building is in good, well-maintained condition. No issues were observed that require immediate attention, however, we would make the following recommendations:

- Ongoing maintenance and upkeep of the building's exterior elements.
- Ongoing maintenance of the foundation damp-proofing.
- Ongoing maintenance and repair of the CMU veneer control joints.
- Repair/replacement of the cracked and broken glazed exterior finish tiles.
- Replacement of hardware that does not meet ADA accessibility requirements.

ARCHITECTURAL INTERIOR RECOMMENDATIONS

The interior of the building is in fair to good condition and has been well maintained. Our recommendations are minor, but include:

- Continued upkeep and regular maintenance to ensure the building remains in good condition.
- Update and/or replacement of toilet room fixtures and finishes.
- If a significant renovation or addition to this school is

determined, we would recommend update of interior finishes including ceilings and lighting.

- Replacement of door hardware that does not meet requirements for ADA accessibility.

PRICKLY PEAR ELEMENTARY SCHOOL

SUMMARY OF OBSERVATIONS

Opened in 2018, Prickly Pear Elementary School is the newest of the district's three elementary schools and due to its age, remains in good to excellent condition. Our observation found very few areas of concern with our primary recommendations addressing the site access and circulation.

SUMMARY OF RECOMMENDATIONS

SITE RECOMMENDATIONS

Generally, the Prickly Pear Elementary site is well maintained and in good condition. Below is a list of site recommendations based on our site observations:

- Reconfiguration of the current parking, drop-off, and bus areas should be considered in order to clarify circulation and separate bus, parent, and visitor traffic. Site directional signage should be implemented to improve way-finding and clarify traffic patterns.
- Further development of the west playground area.

ARCHITECTURAL EXTERIOR RECOMMENDATIONS

The building exterior is in good to excellent condition. There are no recommendations for improvements to the exterior based on the observations of this report.

ARCHITECTURAL INTERIOR RECOMMENDATIONS

The interior of the building is in good to excellent condition and has been well maintained. Our recommendations are minor, but include:

- Continued upkeep and regular maintenance to ensure the building remains in good condition.
- Drywall repair and paint touch-up where walls have been damaged by moving furniture and equipment.

RADLEY ELEMENTARY SCHOOL

SUMMARY OF OBSERVATIONS

Originally constructed in 1963 and added on to in 1978, Radley

Elementary School is the district's oldest school building. Due to its age, Radley Elementary is in poor to fair condition, but is still serving the district well. Based on our observations, most of our recommendations address older building components and finishes that should be addressed to assure that the building continues to serve the district into the future.

SUMMARY OF RECOMMENDATIONS

SITE RECOMMENDATIONS

Generally, the Radley site, being the oldest school property in operations, is well maintained and in fair to good condition. Due to the age of some site components, updates beyond regular maintenance are recommended:

- Reconfiguration of the current parking, drop-off, delivery and bus areas should be considered in order to clarify circulation and separate bus, parent, delivery, and visitor traffic. Site directional signage, parking barriers, curbing, and/or landscaped areas should be installed in the south parking to Clinton St. interface to improve way-finding and clarify traffic patterns.
- Relocation of the delivery areas away from student areas.
- Fencing should be added to clearly separate student areas from service and delivery areas.
- Existing areas of fencing could be raised to improve security and supervision of students on the play yard. Gates should be considered to the existing areas of fencing.

ARCHITECTURAL EXTERIOR RECOMMENDATIONS

Overall, the exterior of the building is in good, well-maintained condition. No significant issues were observed that require immediate attention other than the roofing condition. However, we would make the following additional recommendations:

- Ongoing maintenance and upkeep of the building's exterior elements.
- Ongoing maintenance and repair of the CMU veneer control joints.
- Replacement of door hardware that does not meet ADA accessibility requirements.
- Replacement of roofing.

ARCHITECTURAL INTERIOR RECOMMENDATIONS

The interior of the building is in fair to good condition and has been well maintained. Our recommendations are minor, but include:

- Upon correction of the roofing, replacement of ceiling tiles throughout.
- Continued upkeep and regular maintenance to ensure the building remains in good condition.
- Update and/or replacement of toilet room fixtures and finishes.
- If a significant renovation or addition to this school is determined, we would recommend update of interior finishes including ceilings and lighting.
- If a significant renovation or addition to this school were to ever occur, replacement of the retrofitted person-lift with a proper enclosed elevator is recommended.
- A secured vestibule at the Main Entry should be added.
- Replacement of door hardware that does not meet requirements for ADA accessibility and consistency with other district door hardware.

EAST VALLEY MIDDLE SCHOOL

SUMMARY OF OBSERVATIONS

Overall, East Valley Middle School (EVMS) is in fair to good condition. Built in 1998 and added on to in 2018, EVMS is a solid building. Areas of concern based on our observations were primarily with the condition of finish materials at both the interior and exterior.

SUMMARY OF RECOMMENDATIONS

SITE RECOMMENDATIONS

Generally, the EVMS site is well maintained and in fair to good condition. Due to the age of some site components, some updates beyond regular maintenance are recommended:

- Enclosure of fencing for security and supervision of students.
- Repair or replacement of the playground asphalt and sports equipment.

- Re-routing of the drainage swale is recommended for the safety of students. This would likely need to be moved before any potential expansions south or east could be made to the building.

ARCHITECTURAL EXTERIOR RECOMMENDATIONS

Overall, the exterior of the building is in good, well-maintained condition. No issues were observed that require immediate attention. However, we would make the following recommendations:

- Repair of damaged areas of EIFS.
- Ongoing maintenance of the CMU veneer control joints.
- Repair or replacement of damaged window screens throughout.
- Replacement of hardware that does not meet ADA accessibility requirements.
- Repainting of damaged exterior doors and frames.
- Improved visibility from the Main Office to the Main Entry.

ARCHITECTURAL INTERIOR RECOMMENDATIONS

The interior of the building is in fair to good condition and has been well-maintained. Our recommendations are minor, but include:

- Continued upkeep and regular maintenance to ensure the building remains in good condition.
- Update and/or replacement of toilet room fixtures and finishes.
- Replacement of door hardware that does not meet requirements for ADA accessibility.
- An enlargement or reconfiguration of the cafeteria is recommended to meet current needs; it would be highly needed if the school were to enlarge.

EAST HELENA HIGH SCHOOL

SUMMARY OF OBSERVATIONS

East Helena High School is the newest building in the district, having opened in 2020. Given its age, the building is in excellent condition and our list of recommendations based on our observations is limited.

SUMMARY OF RECOMMENDATIONS

SITE RECOMMENDATIONS

Generally, the High School site, being the newest school and property in the district, is well-maintained and in excellent overall condition. There are minor site and circulation issues worth noting in this report that can be considered for alteration:

- Given the number of vehicular ingress choices, signage could be added to clarify the purposes of each.
- Additional visual and physical barriers could be erected to reduce vehicles from driving over landscaped areas.
- From the visitor parking at the east to the main entry, addition sidewalks could be installed to reduce “cow-paths” across landscaped areas.

Additionally, there were minor drainage issues observed from the downspout servicing a large area of roofing on the north end of the Gymnasium.

ARCHITECTURAL EXTERIOR RECOMMENDATIONS

Overall, the exterior of the building is in excellent, well-maintained condition. No significant issues were observed that require immediate attention other than the door seals at the Art Rooms.

ARCHITECTURAL INTERIOR RECOMMENDATIONS

The interior of the building is in excellent condition and has been well maintained in its four years of operation to date. We do not have any additional recommendations.

DISTRICT TRANSPORTATION & MAINTENANCE OFFICES

SUMMARY OF OBSERVATIONS

The District Transportation Office site, including the Miller House and the Bus Barn, is in adequate condition for its current use. Our list of recommendations mainly consists of changes that would be suggested with any future district growth in order to accommodate the district’s upcoming needs.

SUMMARY OF RECOMMENDATIONS

SITE RECOMMENDATIONS

Generally, the site for the Miller House and Bus Barn is adequately sized, however, as the need for more bus storage and maintenance increases, the current configuration will no longer be adequate to meet those needs. Based on these

findings, we make the following site recommendations:

- Evaluate the two current structures based on the current and future district needs to determine if they should be replaced at the current site or potentially located to another site as part of the Comprehensive Facilities Master Plan.

MILLER HOUSE RECOMMENDATIONS

Overall, the building is in fair, well-maintained condition. No issues were observed that require immediate attention, however, we would make the following recommendations:

- Ongoing maintenance and upkeep of the building’s elements as needed to continue the current use.
- As part of the Comprehensive Facilities Master Plan, we would recommend that this building be evaluated for replacement either at this site or another site that is more suitable.

BUS BARN RECOMMENDATIONS

Based on our observations, the Bus Barn is adequate for its current use, but will limit the district’s ability to grow its transportation services as needed in the near future. In order for the facilities to meet the district’s upcoming needs, we would make the following recommendations:

- Evaluate the current site in order to determine its ability to accommodate the future needs of the district’s transportation needs.
- As part of the Comprehensive Facilities Master Plan evaluate the current and other potential sites to find the most advantageous site for a new transportation facility.
- Evaluate the current facility for an addition or potential replacement to accommodate future needs.

PUREVIEW CLINIC BUILDING

SUMMARY OF OBSERVATIONS

Located to the northwest of the Prickly Pear Elementary site, the building overall is just under 1800sf. Exterior and interior finishes are only slightly worn and overall the building appears in excellent condition. Due to its relatively new age, it is compliant with current energy, building, and accessibility codes and standards for a business-type usage.

PUREVIEW CLINIC BUILDING RECOMMENDATIONS

The small building could easily remain as an outpatient clinic or be utilized for district office space; the exam spaces and offices could be converted to administrative office space with virtually no renovation or modification. An easily transferable use to this building could be as a replacement Central Administrative Office.

CENTRAL ADMINISTRATION BUILDING

SUMMARY OF OBSERVATIONS

The Central Administration Office Building occupies a small footprint to the south west of Radley Elementary, housing the Superintendent's office, clerk, and administrative staff. Overall the building is in very poor condition.

CENTRAL ADMINISTRATION BUILDING RECOMMENDATIONS

Given the poor condition of the building, and although the District has made good use of this building, it is recommended to be entirely decommissioned and demolished. A new location for Administrative Offices is recommended. Removal of this building from the Radley Campus will allow improvement of the vehicular and pedestrian circulation issues at Radley Elementary.

PRICKLY PEAR WEST SITE

SUMMARY OF OBSERVATIONS

The Prickly Pear West site is a total of 45 acres which includes Prickly Pear Elementary, the former Clinic Building, and the District's tennis courts to the east. Approximately 30 acres are undeveloped, of which approximately 30% of those are flood-plain impacted by Prickly Pear Creek to the west. The area that is flood-plain impacted is not recommended for vertical construction, however, athletic play fields are suitable for this area. The site is relatively flat, centrally located to other District facilities, and has utilities. Vehicular access to the undeveloped portion of this site is currently challenging, however.

PRICKLY PEAR WEST SITE RECOMMENDATIONS

This site is well-suited for future District facilities, and could

adequately meet the needs of a new Elementary School, K-5 School, K-8 School, or District Transportation Facility. Vehicular access to the site would need to be evaluated to make this a viable option. Near term improvements could include the addition of athletic play fields on the flood-plain impacted portion of the site.

MOUNTAIN VIEW MEADOWS SITE

SUMMARY OF OBSERVATIONS | MOUNTAIN VIEW MEADOWS SITE

The Mountain View Meadows site is located within the Mountain View Meadows subdivision, south of Highway 12. This 9.2 acre parcel is bisected by Alpine View Road that runs north to south. The site acreage is considered small by industry standards for construction of K-12 facilities, however, the site could suit a smaller facility.

MOUNTAIN VIEW MEADOWS SITE RECOMMENDATIONS

While this site is considered small for full-scale District facilities such as an Elementary or Middle School, the site could serve smaller functions such as an Alternative High School. It is recommended this site be traded or sold for a larger parcel of land that will better suit the District's long-term needs for additional school facilities. ■

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EASTGATE ELEMENTARY (PK-K)

BUILDING ANALYSIS

CODE REVIEW

FINDINGS + RECOMMENDATIONS

ANNOTATED PHOTOGRAPHS



Eastgate Elementary | East Helena, Montana



Eastgate Elementary | East Helena, Montana | 2023

BUILDING DESCRIPTION

Located at the northeast corner of Lake Helena Drive and Lewis Street, Eastgate Elementary School currently houses the district's early kindergarten and kindergarten programs. Eastgate Elementary School was originally constructed in 1986 as an approximately 31,000 SF facility with another 13,350 SF classroom and gymnasium addition constructed in 1998. The original building and addition are concrete masonry unit (CMU) bearing walls, wood framed roof structure, and CMU and metal stud interior partitions. The building consists of 18 classroom spaces, administrative space, a multi-purpose cafeteria, gymnasium, library, computer lab, music room and other support spaces. Eastgate Elementary school was home to 181 students during the 2022-2023 school year.

BUILDING CODE REVIEW - 2021 INTERNATIONAL BUILDING CODE (IBC)

CHAPTER 3: USE & OCCUPANCY

The building would be Occupancy Classification E (Educational):

Section 305, Educational Group 'E' - Educational Group

The building can be classified as Group 'E' Educational spaces which include, among others, the use of a building or structure, or a portion thereof, by six or more persons at any one time for educational purposes through the 12th grade.

Section 303.1.3, Assembly Group A Associated with Group E occupancies:

A room or space used for assembly purposes that is associated with a Group E occupancy is not considered a separate occupancy.

CHAPTER 4: SPECIAL DETAILED REQUIREMENTS BASED ON OCCUPANCY AND USE

No sections of Chapter 4 apply to the building.

CHAPTER 5: GENERAL BUILDING HEIGHTS & AREAS

Table 504.3 – Allowable Building Height in Feet Above Grade Plane: Type V-A construction assumed, non-sprinkled.

Group E: 50 Feet

Existing building is less than 50 feet in height. Existing condition complies.

Table 504.4 – Allowable Number of Stories Above Grade Plane: Type V-A construction assumed, non-sprinkled.

Group E: 1 Stories

Building is 1 story above grade plane. Existing condition complies.

Table 506.2 – Allowable Area Factor in Square Feet: Type V-A construction assumed, non-sprinkled, single story.

Group E: 18,500 Square Feet

Existing building area exceeds 18,500 square feet in area. It should be noted that the existing building has a 2-hour fire wall separating the addition from the original building, but the area of the original school does to comply with this section of the code.

Building does not comply

CHAPTER 6: TYPES OF CONSTRUCTION

Table 601 – Fire-Resistance Rating Requirements for Building Elements. Based on the observed construction of the existing building and review of the available drawings, Construction Type V-A is assumed.

According to 602.5, Type V-A Construction, is the type of construction in which the structural elements, exterior walls and interior walls are of any materials permitted by this code. The construction of the existing building meets the requirements of this section and classification.

The building is assumed to have 1-Hour fire rated structural frame, interior and exterior bearing walls and roof construction.

CHAPTER 7: FIRE AND SMOKE PROTECTION FEATURES

Based on construction type and arrangement of the building, no provisions of Chapter 7 apply to the areas of the building being evaluated in this review.

CHAPTER 8: INTERIOR FINISHES

Table 803.13 Interior Wall and Ceiling Finish Requirements by Occupancy, Interior finishes in a non-sprinkled building of E occupancy areas must have Class B finishes at corridors and exit enclosures and Class C at other rooms and enclosed spaces. While testing and documentation of all existing finishes in this case (paint, flooring, trim, ceiling finishes, etc.) is beyond the scope of this report, it is believed from field observations that the existing materials and finishes meet this requirement. Any new finishes and materials must meet the requirements of this section.

CHAPTER 9: FIRE PROTECTION SYSTEMS

Per Section 903.2.3, all group E occupancies with a fire area greater than 12,000 square feet must be equipped with an approved automatic sprinkler system. The building is not provided with an approved automatic sprinkler system.

Building does not comply

CHAPTER 10: MEANS OF EGRESS

Table 1004.5 – Maximum Floor Area Allowances per Occupant:

- Educational area: 20 sf/occupant net
18,460 sf/20 = 923 occupants (estimated)
- Assembly (Unconcentrated): 15 sf/occupant net
8,079 sf/15 = 539 occupants (estimated)
- Business Areas: 150 sf/occupant gross
1,265 sf/150 = 9 occupants (estimated)

Total Occupant Load = 1,471 occupants (estimated)

The existing building provides ‘accessible means of egress’ from the Main Floor level in the form of at-grade exits. Per our preliminary calculations, no additional exiting would be required.

CHAPTER 11: ACCESSIBLE ROUTE

Per Section 1104.1, at least on accessible route within the site shall be provided to the accessible building entrance served. Accessible route is provided. Building Complies.

Per Section 1105.1, at least 60 percent of all public entrances shall be accessible. It is believed that Accessible Entries are provided, but compliance with current ADA requirements should be verified if improvements are made to the building.

ADMINISTRATIVE RULES OF MONTANA: MINIMUM REQUIRED PLUMBING FIXTURES

According to 24.301.351, the ‘Educational Occupancies’ required number of water closets per sex is 1 per 50 for male students, 1 per 50 for female, with 1 lavatory required for every 50 students.

Taking the total building occupant load total of 1471/2 gives 736 male occupants, 736 female occupants.

The building should have 15 fixtures (toilets and urinals) for males with 15 lavatories. It should also have 15 fixtures (toilets) and 15 lavatories for females.

A percentage of these fixtures must be ADA accessible for each sex. Accessible toilets are not provided.

Actual Plumbing Fixtures:

Male:

11 toilets/urinals - **Building does not comply**

Female:

11 toilets - **Building does not comply** ■

ARCHITECTURAL FINDINGS AND RECOMMENDATIONS

SITE FINDINGS

Eastgate Elementary sits on an approximately 6.6 acre site with the school district owning an adjacent approximately 3 acre site that houses the district's transportation facilities. The size of the site is less than recommended for a school of Eastgate's size. The building is oriented in the east/west direction with the main visitor parking and drop off at the southwest corner of the site. Additional staff parking and service access is located at the north side of the building with playground areas to the south and east.

Due to the site access, size, and configuration, the drop-off, pick-up, and parking areas do not function well. Proper separation of buses, parent drop-off, and visitor parking is not provided. Additionally, directional site signage indicating the separation of traffic is lacking.

The size of the site play areas are adequate. Most of the play equipment appeared to be in good condition. It was noted that the asphalt sports area are cracked, uneven, and in disrepair. The basketball backstops were also uneven and in poor condition.

SITE RECOMMENDATIONS

Generally, the Eastgate site is well maintained and in fair to good condition. Due to the age of some site components, some updates beyond regular maintenance are recommended:

- Reconfiguration of the current parking, drop-off, and bus areas should be considered in order to clarify circulation and separate bus, parent, and visitor traffic. Site directional signage should be implemented to improve way-finding and clarify traffic patterns.
- Repair or replacement of the playground asphalt and sports equipment.

BUILDING EXTERIOR FINDINGS

In general, the exterior of the building is in good condition, given the age of the structure. The exterior materials are durable, easy to maintain, and well-suited for their use.

EXTERIOR FOUNDATION AND DRAINAGE

The visible areas of the foundation are very sound, showing no signs of cracking or discoloration. It was noted at a few locations that the fluid applied damp-proofing exposed at the foundation walls is peeling off of the foundation.

Although the scope of this investigation did not entail a formal topographic survey of the site conditions, visually, the site immediately adjacent to the building appears to have good positive drainage away from the building.

EXTERIOR STAIRS, RAMPS, AND SIDEWALKS

Exterior stairs, ramps, and sidewalks appear to be in good condition with minimal cracking and spalling. It was noted that a wooden ramp has been built to provide ADA access at the northwest entry.

ROOF CONDITION

Eastgate Elementary school is a low-slope roof structure with a membrane roof and parapet walls.

The design team did not walk the roof surface but the roof was observed from below to be in good condition, and no signs of leaking were present at the interior of the building.

EXTERIOR FINISHES

The building exterior is primarily composed of two materials, a glazed tile and split face concrete masonry units (CMU). These materials are durable, easy to maintain. For the age of the facility, the exterior materials are generally in good condition and have been well maintained.

It was observed near the main entry and isolated other areas that the glazed tiles have been cracked and broken. It was also noted that the expansion joint sealant at some locations is cracked and peeling from the masonry control joints.

EXTERIOR WINDOWS AND DOORS

The aluminum storefront windows appear to be in good condition along with all visible flashings. It was noted that in several conditions there is oxidation and discoloration on aluminum frames. In many cases it appears that the irrigation system over spray is getting on the windows.

Exterior doors are painted, flush hollow metal doors with painted hollow metal frames. Generally the doors are in fair to good condition with some dents and minor rust in areas. It

was noted that current exterior door hardware is inconsistent and does not meet current ADA accessibility standards.

EXTERIOR SECURITY

All exterior doors on the building are hollow metal with standard commercial grade hardware. There is electronic proximity reader access control at the main and secondary entrances and a video/audio communication system at the main entry.

ARCHITECTURAL EXTERIOR RECOMMENDATIONS

Overall, the exterior of the building is in good, well-maintained condition. No issues were observed that require immediate attention, however, we would make the following recommendations:

- Ongoing maintenance and upkeep of the building's exterior elements.
- Ongoing maintenance of the foundation damp-proofing.
- Ongoing maintenance and repair of the CMU veneer control joints.
- Repair/replacement of the cracked and broken glazed exterior finish tiles.
- Replacement of hardware that does not meet ADA accessibility requirements.

BUILDING INTERIOR FINDINGS

Overall, the interior of the building is in fair to good condition. The quality of the original finish materials and the care taken to maintain and replace finishes in the building over time have contributed to its condition. However, due to the age of the facility, many of the interior finishes are dated, showing wear and not as inviting to the public as newer, contemporary finishes.

HALLWAYS

Circulation space in the building consists of a double loaded corridors with classrooms, restrooms and offices on either side. Fabricated casework student storage "cubbies" are arranged along either side of the hallways.

The finishes in the circulation spaces are in fair to good condition and have been well maintained. The hallway flooring is sheet-good carpet with rubber base and walk-off mats at

the entries. It was observed that the carpet/walk-off mat at the main entry was being replaced.

Wall finishes in the hallways are painted CMU. The wall finishes and paint are in good condition and with some minor chips, etc.

Hallway ceilings are suspended acoustical ceiling tiles. The tiles are dated and damaged in several locations.

CLASSROOMS

Classrooms are well suited for their purpose and appear to serve the students and educators well.

The finishes in the classrooms are generally in good condition and have been well maintained. Flooring throughout the classroom spaces is sheet-good carpet with rubber base. Wall finishes are both painted gypsum wall board and painted CMU and are in good condition.

Ceilings are suspended acoustical tile. The ceiling tiles are dated and in some cases showing damage.

The classroom casework is plastic laminate. Countertops in these areas were plastic laminate and had sinks and drinking fountain bubblers. For the most part the casework is in fair to good condition. It was observed that casework hardware has been replaced at some conditions, and in other areas the lower casework doors have been removed or replaced.

RESTROOMS

The finishes and fixtures in the restrooms are generally in poor to fair condition. The flooring is porcelain tile and in fair condition. Wall finishes are painted CMU. Metal and laminate faced solid phenolic toilet partitions appear to be in good condition. Plumbing fixtures are dated and in fair condition. Despite having grab bars, both accessible stalls in the boys and girls restrooms do not meet current ADA standards due to lack of clearances around the toilets.

INTERIOR WINDOWS AND DOORS

Interior doors are painted hollow metal doors in painted hollow metal frames. Door hardware is not consistent throughout the interior, but most classroom door hardware is newer level type lock sets that appear to meet ADA guidelines. Door hardware in the administration and other areas are knob type lock sets and do not meet ADA requirements.

ARCHITECTURAL INTERIOR RECOMMENDATIONS

The interior of the building is in fair to good condition and has been well maintained. Our recommendations are minor, but include:

- Continued upkeep and regular maintenance to ensure the building remains in good condition.
- Update and/or replacement of toilet room fixtures and finishes.
- If a significant renovation or addition to this school is determined, we would recommend update of interior finishes including ceilings and lighting.
- Replacement of door hardware that does not meet requirements for ADA accessibility. ■

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ANNOTATED PHOTOGRAPHS | EXTERIOR



View of south parking lot looking northwest. Note cracking and damage to asphalt.



Drop off loop and sidewalk at main entry.

ANNOTATED PHOTOGRAPHS | EXTERIOR



Asphalt play areas. Note cracked and damaged asphalt and sports hoops in disrepair.



View of play equipment.

ANNOTATED PHOTOGRAPHS | EXTERIOR



View of east turf play area looking north.



View of north parking area looking west.



View of garden area at north parking.



View of north service and delivery area from the east looking southwest.

ANNOTATED PHOTOGRAPHS | EXTERIOR



View of northwest exit door with wood-framed ramp.



View of foundation and window showing water-proofing peeling from foundation.



View of south facade looking north.



View of cracked and damaged glazed tile at main entry.



ANNOTATED PHOTOGRAPHS | EXTERIOR



View of damaged glazed tile at main entry.



View of main entry door.



View south building facade.



View storefront windows with oxidation.

ANNOTATED PHOTOGRAPHS | EXTERIOR



View of the southwest corner of the gymnasium addition.



Typical hollow metal door.



View of south service and delivery area.



View of south service and delivery area looking west.

ANNOTATED PHOTOGRAPHS | EXTERIOR



View of the north facade.



Typical masonry control joint that needs to be re-sealed.

ANNOTATED PHOTOGRAPHS | INTERIOR



View from main entry looking north.



Typical hallway suspended acoustical tile ceiling.

ANNOTATED PHOTOGRAPHS | INTERIOR



Typical hallway finishes.



Typical hallway finishes.



View of carpet under hallway drinking fountain.



View of gymnasium

ANNOTATED PHOTOGRAPHS | INTERIOR



View of gymnasium.



View of a typical classroom.



View of typical restroom finishes and fixtures.



View of typical non-compliant ADA toilet stall.

ANNOTATED PHOTOGRAPHS | INTERIOR



View of a typical classroom.



View of a typical classroom.



View of a typical classroom.



View of typical restroom finishes and fixtures.

ANNOTATED PHOTOGRAPHS | INTERIOR



View of typical restroom finishes and fixtures.



View of multi-purpose gymnasium.

ANNOTATED PHOTOGRAPHS | INTERIOR



View of music room.



View of the kitchen.

ANNOTATED PHOTOGRAPHS | INTERIOR



Dish wash area at the kitchen.



View of the library.



View of recessed reading area at the library.

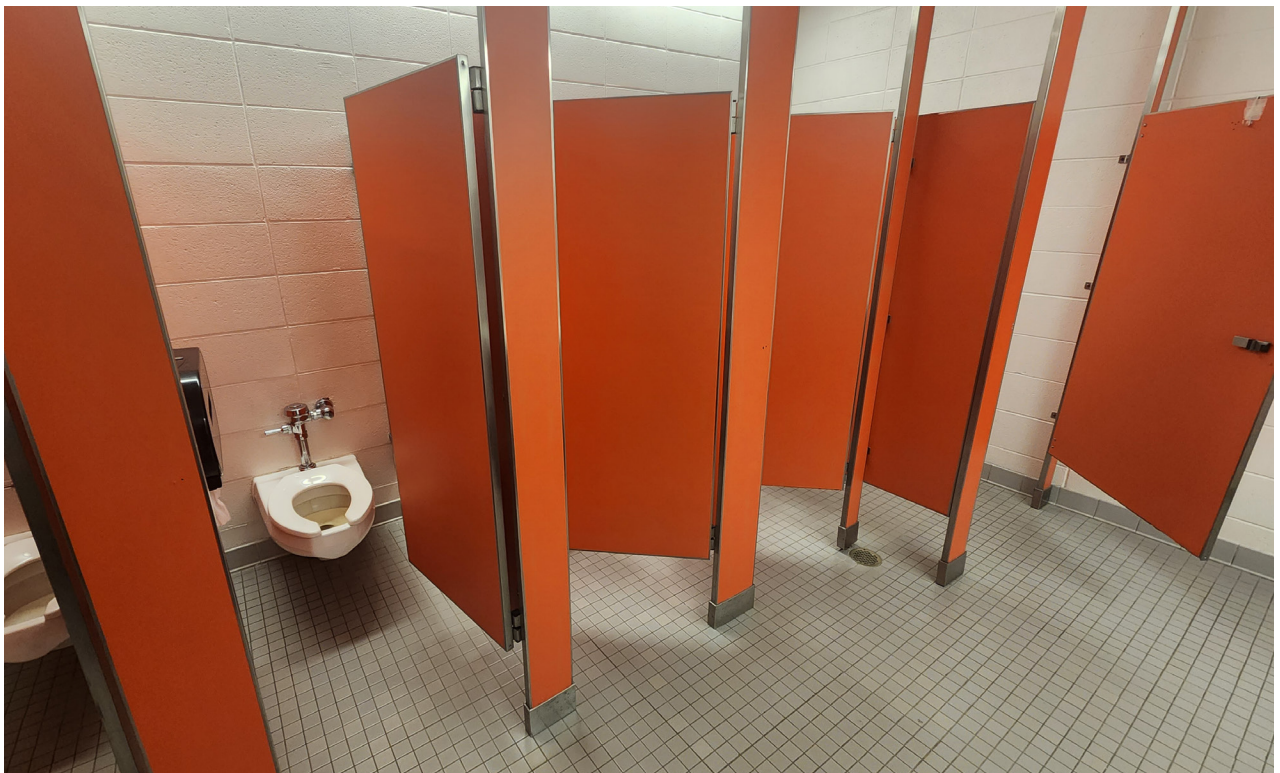


View of classroom cabinets missing door fronts.

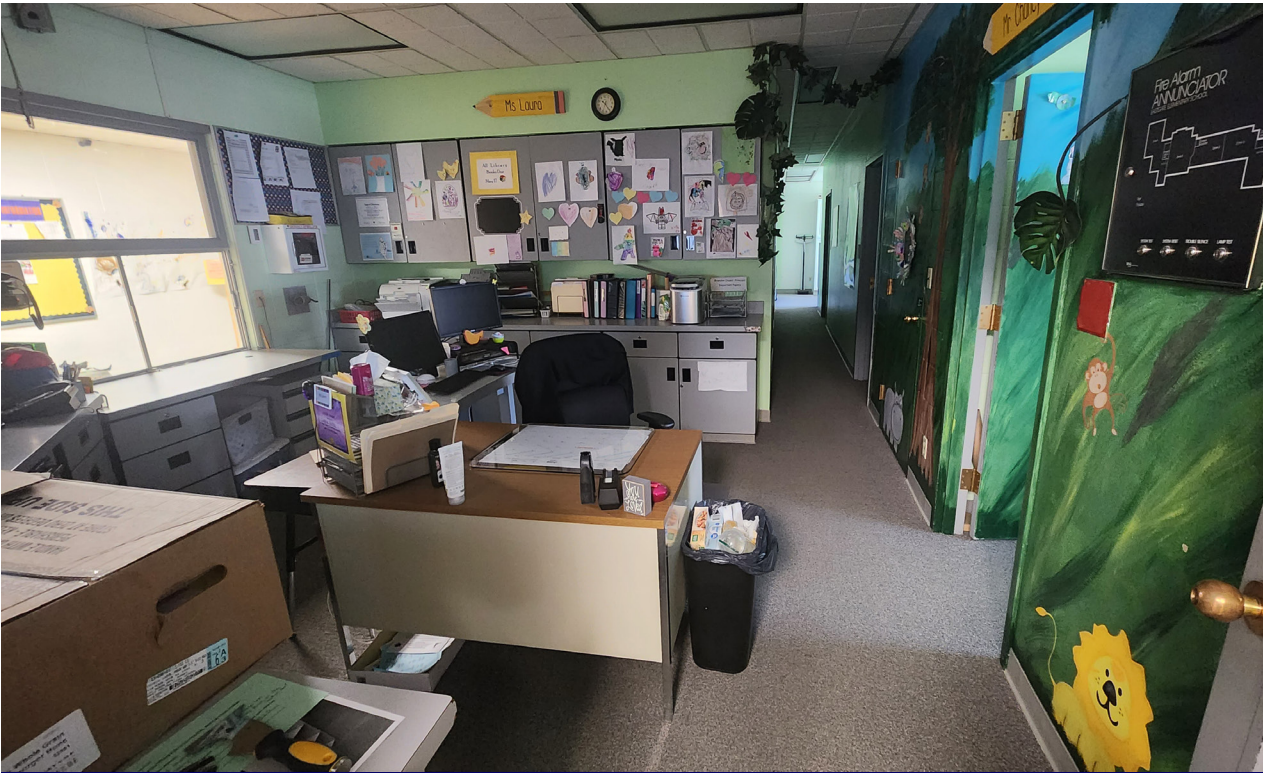
ANNOTATED PHOTOGRAPHS | INTERIOR



Typical restroom finishes and fixtures.



Typical restroom finishes and fixtures.



View of the administrative area.

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PRICKLY PEAR ELEMENTARY (1ST-2ND GRADE)

SITE ANALYSIS

BUILDING ANALYSIS

CODE REVIEW

FINDINGS + RECOMMENDATIONS

ANNOTATED PHOTOGRAPHS



Prickly Pear Elementary | East Helena, Montana | 2023



Prickly Pear Elementary | East Helena, Montana | 2023



Prickly Pear Elementary | East Helena, Montana | 2023

BUILDING DESCRIPTION

Located along the west side of Valley Drive north of East Lewis Street, Prickly Pear Elementary School currently houses the district's 1st and 2nd grade students. Prickly Pear Elementary School was originally opened in 2018 as an approximately 52,580 SF facility. The building is wood framed bearing wall construction with wood framed roof structure and wood framed interior partitions. The building consists of 21 classroom spaces, administrative space, a multi-purpose cafeteria, gymnasium, library, computer lab, music room and other support spaces. Prickly Pear Elementary School was home to 273 students during the 2022-2023 school year.

BUILDING CODE REVIEW - 2021 INTERNATIONAL BUILDING CODE (IBC)

CHAPTER 3: USE & OCCUPANCY

The building would be Occupancy Classification E (Educational):

Section 305, Educational Group 'E' - Educational Group

The building can be classified as Group 'E' Educational spaces which include, among others, the use of a building or structure, or a portion thereof, by six or more persons at any one time for educational purposes through the 12th grade.

Section 303.1.3, Assembly Group A Associated with Group E occupancies:

A room or space used for assembly purposes that is associated with a Group E occupancy is not considered a separate occupancy.

CHAPTER 4: SPECIAL DETAILED REQUIREMENTS BASED ON OCCUPANCY AND USE

No sections of Chapter 4 apply to the building.

CHAPTER 5: GENERAL BUILDING HEIGHTS & AREAS

Table 504.3 – Allowable Building Height in Feet Above Grade Plane: Type V-B construction assumed, sprinkled.

Group E: 60 Feet

Existing building is less than 60 feet in height. Existing condition complies.

Table 504.4 – Allowable Number of Stories Above Grade Plane: Type V-B construction assumed, sprinkled.

Group E: 2 Stories

Building is 1 story above grade plane. Existing condition complies.

Table 506.2 – Allowable Area Factor in Square Feet: Type

V-B construction assumed, non-sprinkled, single story.

Group E: 36,000 Square Feet

Existing building area exceeds 36,000 square feet in area. It should be noted that the existing building has a 2-hour fire walls separating different fire areas for the building and the assumption is that each of those areas is less than the 36,000 SF requirement.

CHAPTER 6: TYPES OF CONSTRUCTION

Table 601 – Fire-Resistance Rating Requirements for Building Elements. Based on the observed construction of the existing building and review of the available drawings, Construction Type V-B is assumed.

According to 602.5, Type V-B Construction, is the type of construction in which the structural elements, exterior walls and interior walls are of any materials permitted by this code. The construction of the existing building meets the requirements of this section and classification.

CHAPTER 7: FIRE AND SMOKE PROTECTION FEATURES

Based on construction type and arrangement of the building, it is assumed that Fire Walls per section 702 area utilized to separate the different fire areas.

CHAPTER 8: INTERIOR FINISHES

Table 803.13 Interior Wall and Ceiling Finish Requirements by Occupancy, Interior finishes in a sprinkled building of E occupancy areas must have Class B finishes at corridors and exit enclosures and Class C at other rooms and enclosed spaces. While testing and documentation of all existing finishes in this case (paint, flooring, trim, ceiling finishes, etc.) is beyond the scope of this report, it is believed from field observations that the existing materials and finishes meet this requirement. Any new finishes and materials must meet the requirements of this section.

CHAPTER 9: FIRE PROTECTION SYSTEMS

Per Section 903.2.3, all group E occupancies with a fire area greater than 12,000 square feet must be equipped with an approved automatic sprinkler system. The building is provided with an approved automatic sprinkler system.

The building complies.

CHAPTER 10: MEANS OF EGRESS

Table 1004.5 – Maximum Floor Area Allowances per Occupant:

Educational area: 20 sf/occupant net
 $18,769 \text{ sf} / 20 = 939 \text{ occupants (estimated)}$
 Assembly (Unconcentrated): 15 sf/occupant net
 $10,961 \text{ sf} / 15 = 731 \text{ occupants (estimated)}$
 Business Areas: 150 sf/occupant gross
 $3,021 \text{ sf} / 150 = 21 \text{ occupants (estimated)}$

Total Occupant Load = 1,691 occupants (estimated)

The existing building provides 'accessible means of egress' from the Main Floor level in the form of at-grade exits. Per our preliminary calculations, no additional exiting would be required.

CHAPTER 11: ACCESSIBLE ROUTE

Per Section 1104.1, at least on accessible route within the site shall be provided to the accessible building entrance served. Accessible route is provided. Building Complies.

Per Section 1105.1, at least 60 percent of all public entrances shall be accessible. It is believed that Accessible Entries are provided, but compliance with current ADA requirements should be verified if improvements are made to the building.

ADMINISTRATIVE RULES OF MONTANA: MINIMUM REQUIRED PLUMBING FIXTURES

According to 24.301.351, the 'Educational Occupancies' required number of water closets per sex is 1 per 50 for

male students, 1 per 50 for female, with 1 lavatory required for every 50 students.

Taking the total building occupant load total of 1,691/2 gives 846 male occupants, 846 female occupants.

The building should have 17 fixtures (toilets and urinals) for males with 17 lavatories. It should also have 17 fixtures (toilets) and 17 lavatories for females.

A percentage of these fixtures must be ADA accessible for each sex. Accessible toilets are not provided.

Actual Plumbing Fixtures:

Male:

17 toilets/urinals - **Building complies**

Female:

17 toilets - **Building complies ■**

ARCHITECTURAL FINDINGS AND RECOMMENDATIONS

SITE FINDINGS

Prickly Pear Elementary sits on an approximately 11 acre developed site within a larger 45 acre site that is largely undeveloped. The school sits at the east edge of the larger site along Valley Drive with site access to the east, parking to the north and playgrounds flanking the building's southern classroom wing. The size of the site is adequate for the school's size, and if needed can be further developed. The building is oriented in the east/west direction with a classroom wing that extends to the south. The main visitor parking and drop off is at the east and north side of the school. A clinic building was built at the west end of the main parking lot north of the school, and the district tennis courts are located north of the parking lot.

Although the school was newly developed in 2018, site access, parent, and bus drop-off and parking circulation is convoluted and confusing, causes traffic issues before and after school. The district has worked to clarify traffic patterns and provide signage, but the problem is still significant.

The size of the site play area is currently smaller than recommended with only the east portion of the overall playground area having been developed. The district is currently working on plans to further develop the western portion of the play areas. The play equipment is in good condition.

SITE RECOMMENDATIONS

Generally, the Prickly Pear Elementary site is well maintained and in good condition. Below is a list of site recommendations based on our site observations:

- Reconfiguration of the current parking, drop-off, and bus areas should be considered in order to clarify circulation and separate bus, parent, and visitor traffic. Site directional signage should be implemented to improve way-finding and clarify traffic patterns.
- Further development of the west playground area.

BUILDING EXTERIOR FINDINGS

The exterior of the building is in excellent condition based on the age of the facility. Exterior materials include a combination

of composite cement panels and preformed metal panels.

EXTERIOR FOUNDATION AND DRAINAGE

The visible areas of the foundation are very sound, showing no signs of cracking or discoloration.

Although the scope of this investigation did not entail a formal topographic survey of the site conditions, visually, the site immediately adjacent to the building appears to have good positive drainage away from the building.

EXTERIOR STAIRS, RAMPS, AND SIDEWALKS

Exterior stairs, ramps, and sidewalks are in good condition.

EXTERIOR ROOF DRAINAGE, SOFFITS, AND FASCIA

All the building's roof drainage systems, soffits and fascia are in good condition and no issues were observed with the roof drainage systems.

ROOF CONDITION

The design team did not walk the roof surface but the roof was observed from below to be in good condition. The roof is composed of asphalt shingles and pre-finished metal roof panels. The slope of the roofs appear to be effective for proper drainage and edges were in good condition.

EXTERIOR FINISHES

The exterior wall finishes are all durable, easily maintained materials appropriate for the use. Due to the age of the building, these materials remain in good to excellent condition.

EXTERIOR WINDOWS AND DOORS

The aluminum storefront windows appear to be in good condition along with all visible flashings. Aluminum awning window inserts appear to be operational and in good condition.

Exterior doors are flush painted hollow metal doors with painted hollow metal frames. All door hardware was observed to meet current ADA accessibility requirements.

EXTERIOR SECURITY

All exterior doors on the building are hollow metal or aluminum storefront entries with standard commercial grade hardware. Electronic access control as noted at the main entries.

ARCHITECTURAL EXTERIOR RECOMMENDATIONS

- The building exterior is in good to excellent condition. There are no recommendations for improvements to the exterior based on the observations of this report.

BUILDING INTERIOR FINDINGS

Overall, the interior of the building is in good to excellent condition. The quality of the original finish materials, age of the facility, and the care taken to maintain and replace finishes in the building over time have contributed to its condition.

HALLWAYS

Circulation space in the building consists of two main double loaded corridors emanating from the main entry and public spaces of the building.

The finishes in the circulation spaces are in good to excellent condition and have been well maintained. The flooring is a newer carpet tile with rubber base. Wall finishes in the hallways are painted gypsum board with painted MDO plywood wainscot. Overall, the painted surfaces are in good, well maintained condition, but some need for paint touch-up was noted.

The hallways also have custom casework student storage areas. This casework is in good condition.

Hallway ceilings are suspended acoustical tile. Both the grid and tile are in good condition.

CLASSROOMS

Classrooms are well suited for their purpose and appear to serve the students and educators well. At approximately 865 square feet, the size of the classrooms falls just short of the currently accepted standards of 900 to 1,000 square feet.

The finishes in the classrooms are in good condition and have been well maintained. Flooring throughout the classroom spaces is carpet tile with rubber base. Wall finishes are painted gypsum wall board and are in good condition. It was noted at several locations that the paint and wall texture had been damaged by moving of furniture or other items hitting the walls.

Ceilings in the classrooms are suspended acoustical tile. Both the grid and tile are in good condition.

Plastic laminate casework was observed. Counter tops in

these areas were plastic laminate and had sinks and drinking fountain bubblers. Casework is in good condition.

GYMNASIUM

The gymnasium interior finishes are functional, low maintenance materials that serve their purpose well. The wood gym floor appears to be in good condition and is well maintained. The walls are primarily painted wall panels. The ceiling is pre-finished insulation panels installed as part of the metal building system. The gymnasium finishes are in good condition.

INTERIOR WINDOWS AND DOORS

Interior doors appear to be a stained solid core wood in painted hollow metal frames. The doors have a small glass relite. Door hardware is new and meets ADA accessibility requirements. Interior double doors at the gym are equipped with panic hardware.

ARCHITECTURAL INTERIOR RECOMMENDATIONS

The interior of the building is in good to excellent condition and has been well maintained. Our recommendations are minor but include:

- Continued upkeep and regular maintenance to ensure the building remains in good condition.
- Drywall repair and paint touch-up where walls have been damaged by moving furniture and equipment. ■

ANNOTATED PHOTOGRAPHS | EXTERIOR



View of access drive, drop-off, and parking from entry looking east.



View of access drive, drop-off, and parking from main entry looking west.



View of southwest play area and building looking east.



View of south classroom wing looking northeast.

ANNOTATED PHOTOGRAPHS | EXTERIOR



View of the southeast play area and building looking northwest.



View of southeast play area looking north.



Typical building elevation on the east side of the building.



East building elevation and service area.

ANNOTATED PHOTOGRAPHS | EXTERIOR



View of the north building elevation at the main entry.



Main entry.



View of typical building materials and aluminum windows.

ANNOTATED PHOTOGRAPHS | INTERIOR



View of typical hallway finishes.



View of typical hallway.



View of typical hallway student storage casework.



View of typical classroom.

ANNOTATED PHOTOGRAPHS | INTERIOR



Typical minor damage to drywall finish due to moving furniture.



View of a typical classroom.



View of a typical classroom.



View of a typical classroom.

ANNOTATED PHOTOGRAPHS | INTERIOR



Typical restroom finishes and fixtures.



View of the computer lab.



View of the library.



View of the library.

ANNOTATED PHOTOGRAPHS | INTERIOR



View of the main office reception area.



View of the vestibule window at the main office reception area.



View of the administrative suite.



View of the gymnasium.

ANNOTATED PHOTOGRAPHS | INTERIOR



View of the commons.



View of drywall damage at wall in the commons area.



View of the commons.



View of the music room.



RADLEY ELEMENTARY

BUILDING DESCRIPTION

BUILDING ANALYSIS

CODE REVIEW

FINDINGS + RECOMMENDATIONS

ANNOTATED PHOTOGRAPHS



Radley Elementary Arrival and Visitor Entrance | East Helena, Montana | 2023



Radley Elementary Aerial | East Helena, Montana | © 2023 Airbus

BUILDING DESCRIPTION

Robert H. Radley Elementary School houses Grades 3 through 5 on E. Clinton Ave. Its construction occurred in two phases. The original structure (the east wing) was erected in 1963 and is a single-story above-grade building. Subsequently, the 2-level west wing was added 15 years later in 1978 and includes the gymnasium. The entire square footage includes approximately 67,900 gross square feet and comprises a single level of above grade classrooms along with a partial day-lit basement. Within this layout, the first floor accommodates the gymnasium, administrative offices, and classrooms. The day-lit basement houses the cafeteria and kitchen facilities (beneath the gymnasium), additional classrooms, and storage/maintenance spaces.

The modestly-sized site includes a play yard, district receiving and storage, and the District Central Office Building. ■

BUILDING CODE REVIEW - 2021 INTERNATIONAL BUILDING CODE (IBC)

CHAPTER 3: USE & OCCUPANCY

Occupancy Classification E (Educational):

Section 305, Educational Group 'E' - Educational Group

The building should be classified as Group 'E' Educational spaces which include, among others, the use of a building or structure, or a portion thereof, by six or more persons at any one time for educational purposes through the 12th grade.

Section 303.1.3, Assembly Group A Associated with Group E occupancies:

A room or space used for assembly purposes that is associated with a Group E occupancy is not considered a separate occupancy.

CHAPTER 4: SPECIAL DETAILED REQUIREMENTS BASED ON OCCUPANCY AND USE

No sections of Chapter 4 apply to the building.

CHAPTER 5: GENERAL BUILDING HEIGHTS & AREAS

Table 504.3 – Allowable Building Height in Feet Above Grade Plane: Type III-B construction assumed, non-sprinklered.

Group E: 55 Feet

Existing building is well below 55 feet in height. Existing condition complies.

Table 504.4 – Allowable Number of Stories Above Grade Plane: Type III-B construction assumed, non-sprinkled.

Group E: 2 Stories

Building is 1 story above grade plane with a basement. Existing condition complies.

Table 506.2 – Allowable Area Factor in Square Feet: Type III-B construction assumed, non-sprinkled, single-story.

Group E: 58,000 Square Feet

Existing building area exceeds 58,000 square feet in area; however, much of this area is considered basement and does not count against allowable area.

Building complies.

CHAPTER 6: TYPES OF CONSTRUCTION

Table 601 – Fire-Resistance Rating Requirements for Building Elements. Based on the observed construction of the existing building and review of the available drawings, Construction Type III-B is assumed.

According to 602.3, Type III-B Construction, is that type of construction in which the exterior walls are of noncombustible materials and the interior building elements are of any material permitted by the code. The construction of the existing building meets the requirements of this section and classification.

The building is assumed meet the 2-hour fire-rated exterior bearing walls; the structural frame, interior walls, non-bearing exterior walls, and roof construction do not need ratings or protection.

CHAPTER 7: FIRE AND SMOKE PROTECTION FEATURES

Based on construction type and arrangement of the building, no provisions of Chapter 7 apply to the areas of the building being evaluated in this review other than the following:

The Fire Separation Distance between the District Central Office and the west wing of is less than 15 feet but more than feet. Per Table 705.5, exterior walls of the south wall adjacent to the Central Office would require 1-hr fire-resistance rating to comply with current code. Per Table 705.8 limiting maximum unprotected exterior wall openings, the wall would be limited to <15% unprotected openings. Given the observed and reported construction of said wall, this project complies.

CHAPTER 8: INTERIOR FINISHES

Table 803.13 Interior Wall and Ceiling Finish Requirements by Occupancy, Interior finishes in a non-sprinkled building

of E occupancy areas must have Class B finishes at corridors and exit enclosures and Class C at other rooms and enclosed spaces. While testing and documentation of all existing finishes in this case (paint, flooring, trim, ceiling finishes, etc.) is beyond the scope of this report, it is believed from field observations that the existing materials and finishes meet this requirement. Any new finishes and materials must meet the requirements of this section.

CHAPTER 9: FIRE PROTECTION SYSTEMS

Per Section 903.2.3, all group E occupancies with a fire area greater than 12,000 square feet must be equipped with an approved automatic sprinkler system. The building is not provided with an approved automatic sprinkler system.

Building does not comply.

CHAPTER 10: MEANS OF EGRESS

Table 1004.5 – Maximum Floor Area Allowances per Occupant (note: this is not equitable to utilization):

Educational area: 20 sf/occupant net
 $42,665 \text{ sf} / 20 = 2,133 \text{ occupants (estimated)}$
 Assembly (Unconcentrated): 15 sf/occupant net
 $7,385 \text{ sf} / 15 = 493 \text{ occupants (estimated)}$
 Business Areas: 150 sf/occupant gross
 $5,077 \text{ sf} / 150 = 34 \text{ occupants (estimated)}$
 Storage and Maintenance Areas: 300sf/occu. gr.
 $6,270 \text{ sf} / 300 = 21 \text{ occupants (estimated)}$

Total Occupant Load = 2,681 occupants (estimated)

The existing building provides 'accessible means of egress' from the Main Floor level and the Day-lit Basement areas in the form of at-grade exits. Per our preliminary calculations, no additional exiting would be required.

CHAPTER 11: ACCESSIBLE ROUTE

Per Section 1104.1, at least on accessible route within the site shall be provided to the accessible building entrance served. Accessible route is provided. Building Complies.

Per Section 1105.1, at least 60 percent of all public entrances shall be accessible. It is believed that Accessible Entries are provided, but compliance with current ADA requirements should be verified if improvements are made to the building.

ADMINISTRATIVE RULES OF MONTANA: MINIMUM REQUIRED PLUMBING FIXTURES (ARM 24.301.351)

According to 24.301.351, the 'Educational Occupancies' required number of water closets per sex is 1 per 50 for male students, 1 per 50 for female, with 1 lavatory required for every 50 students (by occupant load).

Taking the total building occupant load total of 2,681/2 gives 1,341 male occupants, 1,341 female occupants.

The building should have 27 fixtures (toilets and urinals) for males with 27 lavatories. It should also have 27 fixtures (toilets) and 27 lavatories for females.

A percentage of these fixtures must be ADA accessible for each sex. Accessible toilets are not provided.

Actual Plumbing Fixtures:

Male:

22 toilets/urinals - **Building does not comply**

Female:

23 toilets - **Building does not comply** ■

ARCHITECTURAL FINDINGS AND RECOMMENDATIONS

SITE FINDINGS

Radley Elementary School is situated on an 11-acre plot adjacent to Prickly Pear Elementary, sharing space with the District Central Office and Receiving and Storage Building. The Elementary Building is positioned east-west on the southern part of the site, with visitor and staff parking to the south, student drop-off/pick-up and district receiving to the west, and playground and field areas to the north.

Unfortunately, there is a lack of clear order and signage along Clinton Street and in the visitor parking area. The student drop-off and delivery zones on N. Thurman Ave. overlap, creating safety concerns where delivery vehicles and students intersect. This area also suffers from insufficient lighting.

The playground area is of adequate size, and the equipment is in aged but functional condition. The asphalt blacktop in the play area is extensively cracked and uneven. There is little separation between the play areas and service or storage areas on the site. Additionally, the play yard lacks complete fencing and gates, raising potential security and supervision issues.

SITE RECOMMENDATIONS

Generally, the Radley site, being the oldest school property in operations, is well maintained and in fair to good condition. Due to the age of some site components, updates beyond regular maintenance are recommended:

- Reconfiguration of the current parking, drop-off, delivery and bus areas should be considered in order to clarify circulation and separate bus, parent, delivery, and visitor traffic. Site directional signage, parking barriers, curbing, and/or landscaped areas should be installed in the south parking to Clinton St. interface to improve way-finding and clarify traffic patterns.
- Relocation of the delivery areas away from student areas.
- Fencing should be added to clearly separate student areas from service and delivery areas.
- Existing areas of fencing could be raised to improve security and supervision of students on the play yard.

Gates should be considered to the existing areas of fencing.

BUILDING EXTERIOR FINDINGS

In general, the exterior of the building is in good condition, given the original age of the structure and its addition. Like most of the school buildings in the district, the exterior materials are durable, easy to maintain, and well-suited for their use.

EXTERIOR FOUNDATION AND DRAINAGE

The majority of visible areas of the foundation are very sound, showing few signs of cracking or discoloration; however there was some water intrusion noticed in the walls at the window well areas.

While the investigation's scope did not include a formal topographic survey of site conditions, an initial visual assessment suggests that the area immediately surrounding the building features effective positive drainage away from the structure; although it was noted that the window-wells to the basement level classrooms would likely experience water build-up in heavy precipitation events. Some areas of landscaping are routinely driven through by deliveries and parents cutting corners at the student drop-off area.

EXTERIOR STAIRS, RAMPS, AND SIDEWALKS

Exterior stairs, ramps, and concrete sidewalks appear to be in good condition with minimal cracking and spalling; paths of asphalt (especially on the north and east sides of the building) show deep cracking and unevenness.

ROOF CONDITION

Radley Elementary School is outfitted with two distinct low-slope roofing systems and parapet walls. The original roof, constructed in 1963, comprises a brush-on asphaltic tar roofing material topped with a reflective silver coating. While this section underwent resealing approximately two to three years ago, persistent issues with leaking remain evident, leading to substantial water damage within the building's interior spaces. The addition, built in 1978, features a rubber membrane roofing system. Given its suspected original installation, this rubber membrane roofing and the tar roofing have far surpassed their anticipated operational lifespans, raising concerns about their long-term durability and effectiveness in preventing water infiltration.

EXTERIOR FINISHES

The building's exterior features predominantly two materials: a textured brick, which constitutes the main part of the structure, and painted concrete masonry units (CMUs) forming the gymnasium building. These materials are known for their durability and ease of upkeep.

Considering the facility's age, the exterior components remain generally well-preserved and have received proper maintenance. However, it's worth noting that soffit panels along the overhanging parapet areas have been observed to frequently suffer from bending and displacement.

EXTERIOR WINDOWS AND DOORS

The majority of windows have seemingly undergone recent replacement, showcasing Jeld-Wen vinyl windows that impart a fresh appearance. While their current state appears new, it is worth considering that their durability might not align with optimal standards for an elementary school environment.

Exterior doors are painted, flush hollow metal doors with painted hollow metal frames. Generally the doors are in fair to good condition with some dents and minor rust in areas. It was noted that current exterior door hardware is inconsistent around the building and across the district; they also frequently do not meet current ADA accessibility standards.

EXTERIOR SECURITY

Exterior doors are constructed from hollow metal and equipped with conventional commercial grade hardware. Main and secondary entrances include electronic proximity reader access control. The main entry includes a video/audio communication system, facilitating communication and identification of visitors. However, the visibility from within the facility outward to the main entrances is observed to be suboptimal. As previously noted, the addition of fencing and gating within the play yard areas is recommended, which would offer an additional layer of protection and control over access and supervision at play areas.

ARCHITECTURAL EXTERIOR RECOMMENDATIONS

Overall, the exterior of the building is in good, well-maintained condition. No significant issues were observed that require immediate attention other than the roofing condition. However, we would make the following additional recommendations:

- Ongoing maintenance and upkeep of the building's exterior elements.
- Ongoing maintenance and repair of the CMU veneer control joints.
- Replacement of door hardware that does not meet ADA accessibility requirements.
- Replacement of roofing.

BUILDING INTERIOR FINDINGS

In general, the interior state of the building can be classified as fair to good. The preservation and replacement of finishes over time, coupled with the initial quality of the original materials, have played a significant role in maintaining its current condition. Nonetheless, considering the building's age, a number of interior finishes exhibit signs of wear and aging, resulting in a somewhat dated appearance. As a consequence, the visual appeal of these interiors might not be as inviting to the public in comparison to more modern and contemporary finishes.

HALLWAYS, STAIRS, AND PERSON LIFT

The building's circulation areas encompass double-loaded corridors, flanked by classrooms, restrooms, and offices on both sides. These circulation spaces exhibit finishes that generally range from fair to good condition, having undergone diligent maintenance.

The corridors feature sheet carpeting as flooring, paired with rubber base and entry walk-off mats. At the primary visitor entrance, a durable quarry tile flooring is present.

Hallway walls are painted concrete masonry units (CMU). These wall finishes, along with the paint, remain in good condition, though minor imperfections such as chips are noticeable.

Suspended acoustical ceiling tiles compose the hallway ceilings; however, several areas of tile throughout the building display water damage, stemming from the aforementioned roofing condition.

The rubber stair treads are in overall good condition. Handrails are available at standard heights for both adults and children. However, the extensions at the top and bottom of the handrails do not adhere to current codes, nor do they return to the wall

as required. This poses a hazard, as they can catch on items such as backpacks and first-responders' gear. The recently retrofitted person-lift shows minimal signs of wear and tear. Nevertheless, the associated shaft and doors experience functional problems, which are partly addressed through hand-written instructions.

CLASSROOMS

Classrooms are well suited for their purpose and appear to serve the students and educators well.

The finishes in the classrooms are generally in good condition and have been well maintained. Flooring throughout the classroom spaces is sheet-good carpet with rubber base. Wall finishes are both painted gypsum wall board and painted CMU and are in good condition.

Ceilings are suspended acoustical tile. The ceiling tiles are dated and in many cases showing damage.

The classroom casework is plastic laminate. Counter tops in these areas were plastic laminate and had sinks and drinking fountain bubblers. For the most part the casework is in good condition.

One classroom in particular included the building IT infrastructure (racks, servers, and switches). This should be enclosed in its own room, secured from unauthorized access or sticky-fingered children.

Classroom lighting control exhibited challenges, with many rooms resorting to makeshift paper coverings to diminish lighting intensity. The color temperature of lighting within the building lacked uniformity and deviated from recommended standards, resulting in harsh illumination conditions.

INTERIOR SAFETY AND SECURITY

Although visibility out from the Main Office is adequate, the Main Entrance lacks a secured entry vestibule, which would serve as an additional barrier against unauthorized entry.

The circulation spaces within the building encompass numerous zones that might be susceptible to limited supervision, potentially facilitating instances of bullying or assaults. While mirrors and cameras have been noted in some of these areas, they do not entirely eliminate concerns, as certain sections still remain vulnerable.

RESTROOMS

The restroom finishes and fixtures exhibit an overall fair condition. Porcelain tile flooring is present and also in fair condition. Wall finishes consist of painted CMU. Metal toilet partitions appear to be in fair to good condition. Plumbing fixtures are dated but maintain a fair condition. Despite the inclusion of grab bars, the accessible stalls in restrooms fall short of current ADA standards due to insufficient clearances around the toilets and within the general area. In general, the restroom finishes present a dated and uninviting appearance.

INTERIOR WINDOWS AND DOORS

The interior doors consist of painted hollow metal doors set within painted hollow metal frames. There is a lack of uniformity in door hardware throughout the building. In most classrooms, the door hardware does not adhere to ADA guidelines as they are not lever-type lock sets. Classroom lock sets are also "classroom" function - although permitted and still common, newer recommendations are to use "storeroom" function lock sets for classrooms for their added security, but this would be up to the district.

Doors at stair areas fail to meet current graspability standards. The door hardware in administrative and other sections of the building is characterized by knob-type lock sets, which also fall short of meeting ADA requirements.

ARCHITECTURAL INTERIOR RECOMMENDATIONS

The interior of the building is in fair to good condition and has been well maintained. Our recommendations are minor, but include:

- Upon correction of the roofing, replacement of ceiling tiles throughout.
- Continued upkeep and regular maintenance to ensure the building remains in good condition.
- Update and/or replacement of toilet room fixtures and finishes.

- If a significant renovation or addition to this school is determined, we would recommend update of interior finishes including ceilings and lighting.
- If a significant renovation or addition to this school were to ever occur, replacement of the retrofitted person-lift with a proper enclosed elevator is recommended.
- A secured vestibule at the Main Entry should be added.
- Replacement of door hardware that does not meet requirements for ADA accessibility and consistency with other district door hardware. ■

ANNOTATED PHOTOGRAPHS | MAIN VISITOR APPROACH



Main entrance as seen from the southern side of the elementary school building, facing east.



View of parking area south of the Main Entry looking southeast toward Clinton St.



Main Entrance at south side of school building.



Inside Main Entrance, window to Main Office.



Further inside Main Entrance, showing visibility from secured Main Office, but no secured second door before entry to the school.

ANNOTATED PHOTOGRAPHS | EXTERIOR



Overview of blacktop and gravel play yard. Looking northeast.



Unsecured building utilities, adjacent to play areas.



Play yard, Gymnasium wall, fenced building services.



General view of exterior brick condition.

ANNOTATED PHOTOGRAPHS | EXTERIOR



East side of exterior, damaged metal ductwork.



East side of building, damaged soffit panels common around the building.



East paved areas, cracked and uneven areas of asphalt.



North side of East Wing, showing play yard, uneven asphalt path and general condition of brick walls.

ANNOTATED PHOTOGRAPHS | EXTERIOR



Play yard equipment.



View from play yard to service and storage areas around Gymnasium.



View of delivery and storage areas, connected directly to play yard.



View from service and storage areas to play yard and field.

ANNOTATED PHOTOGRAPHS | EXTERIOR

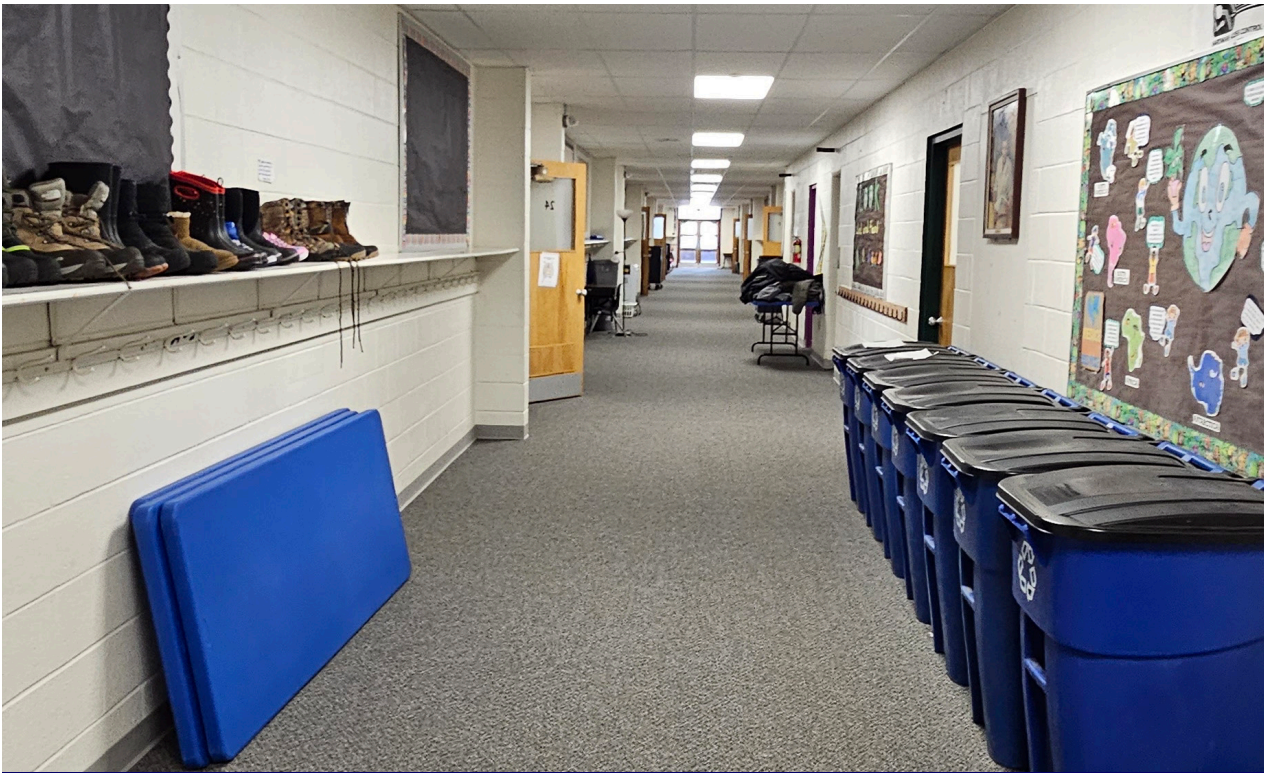


West side of school at Student Drop-off and receiving area, at N. Thurman Ave. looking south.



West side of school at Student Drop-off and receiving area, at N. Thurman Ave. looking north.

ANNOTATED PHOTOGRAPHS | INTERIOR



View looking down classroom corridor.

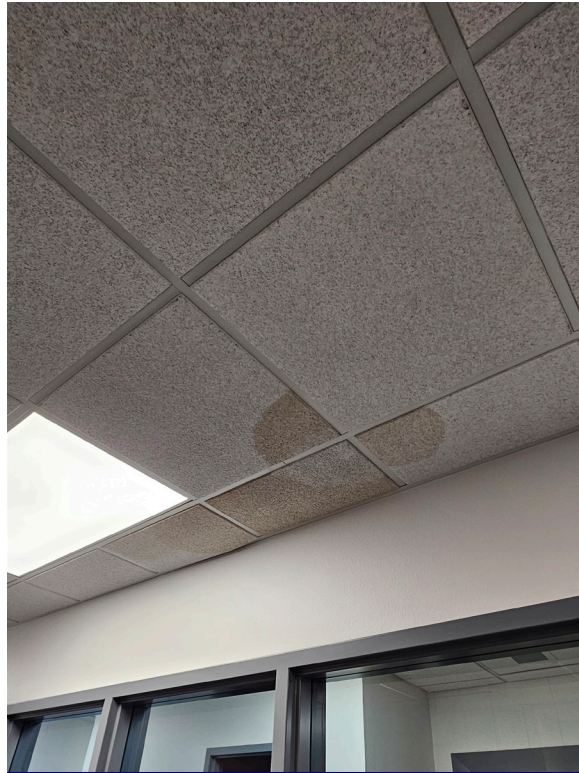


View of hallway near Main Office.

ANNOTATED PHOTOGRAPHS | INTERIOR



Main Office hallway.



View of water-damaged ceiling.



View of damaged ceiling tile.

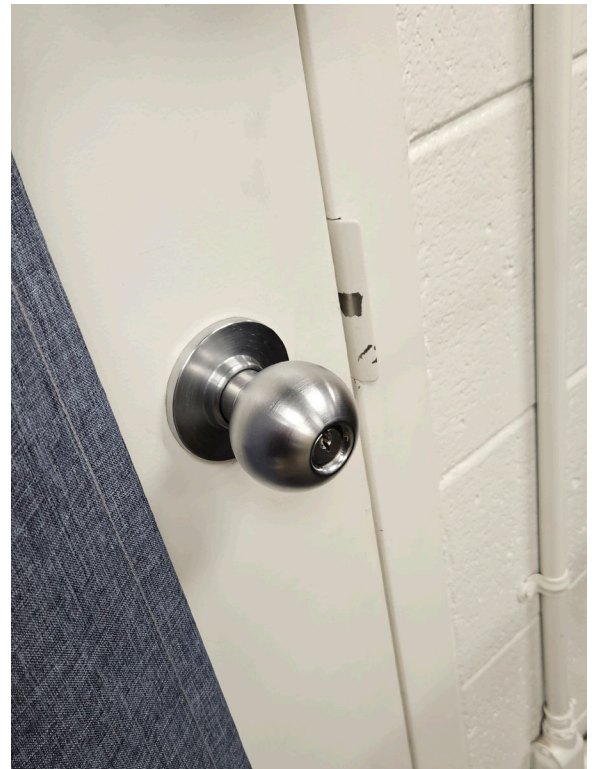
ANNOTATED PHOTOGRAPHS | INTERIOR



View of damaged ceiling tile.



View of damaged ceiling tile.



Non-conforming knob-style door hardware.



View of damaged ceiling tile.



Non-conforming knob-style door hardware.



EAST VALLEY MIDDLE SCHOOL

BUILDING DESCRIPTION
CODE REVIEW
FINDINGS + RECOMMENDATIONS
ANNOTATED PHOTOGRAPHS



East Valley Middle School | East Helena, Montana | July 2023



East Valley Middle School | East Helena, Montana | July 2023

BUILDING DESCRIPTION

East Valley Middle School was originally constructed in 1998 as a 62,000 sf single-story structure. In 2018, an addition was added, expanding the building to approx. 66,500sf. The school is home to grades 6, 7, & 8. The relatively new building is in good shape overall, sits central to East Helena's population, and has relatively good site circulation for cars, buses, staff, visitors, and students. The middle school faces west, with classroom wings spanning east, gymnasium and cafeteria to the north, and a large well-used library to the south. The building is clad with durable block and metal panels, with limited areas of less-durable EIFS siding, which is showing some wear.

The hallways in the school are constructed of very durable painted CMU block walls, often with lockers on one side. They surround a rarely-used central outdoor courtyard.

BUILDING CONSTRUCTION

The building is constructed as a one-story mixed CMU and wood bearing wall structure with concrete slab-on-grade floors and wood truss roof. The gymnasium roof is framed with steel long-span trusses and a metal deck. The roofing overall comprises of asphalt shingles. ■

BUILDING CODE REVIEW - 2021 INTERNATIONAL BUILDING CODE (IBC)

CHAPTER 3: USE & OCCUPANCY

The building would be Occupancy Classification E (Educational):

Section 305, Educational Group 'E' - Educational Group

The building can be classified as Group 'E' Educational spaces which include, among others, the use of a building or structure, or a portion thereof, by six or more persons at any one time for educational purposes through the 12th grade.

Section 303.1.3, Assembly Group A Associated with Group E occupancies:

A room or space used for assembly purposes that is associated with a Group E occupancy is not considered a separate occupancy.

CHAPTER 4: SPECIAL DETAILED REQUIREMENTS BASED ON OCCUPANCY AND USE

No sections of Chapter 4 apply to the building.

CHAPTER 5: GENERAL BUILDING HEIGHTS & AREAS

Table 504.3 – Allowable Building Height in Feet Above Grade Plane: Type V-B construction assumed, sprinkled.

Group E: 60 Feet

Existing building is less than 60 feet in height. Existing condition complies.

Table 504.4 – Allowable Number of Stories Above Grade Plane: Type V-A construction assumed, sprinkled.

Group E: 2 Stories

Building is 1 story above grade plane. Existing condition complies.

Table 506.2 – Allowable Area Factor in Square Feet: Type V-B construction assumed, sprinkled, single story.

Group E: 38,000 Square Feet

Existing building area exceeds 36,000 square feet in area. It should be noted that the existing building has a 2-hour fire walls separating different fire areas for the building and the assumption is that each of those areas is less than the 36,000 SF requirement.

CHAPTER 6: TYPES OF CONSTRUCTION

Table 601 – Fire-Resistance Rating Requirements for Building Elements. Based on the observed construction of the existing building and review of the available drawings, Construction Type V-B is assumed.

According to 602.5, Type V-B Construction, is the type of construction in which the structural elements, exterior walls and interior walls are of any materials permitted by this code. The construction of the existing building meets the requirements of this section and classification.

CHAPTER 7: FIRE AND SMOKE PROTECTION FEATURES

Based on construction type and arrangement of the building, it is assumed that Fire Walls per section 702 area utilized to separate the different fire areas.

CHAPTER 8: INTERIOR FINISHES

Table 803.13 Interior Wall and Ceiling Finish Requirements by Occupancy, Interior finishes in a sprinkled building of E occupancy areas must have Class B finishes at corridors and exit enclosures and Class C at other rooms and enclosed spaces. While testing and documentation of all existing finishes in this case (paint, flooring, trim, ceiling finishes, etc.) is beyond the scope of this report, it is believed from field observations that the existing materials and finishes meet this requirement. Any new finishes and materials must meet the requirements of this section.

CHAPTER 9: FIRE PROTECTION SYSTEMS

Per Section 903.2.3, all group E occupancies with a fire area greater than 12,000 square feet must be equipped with an approved automatic sprinkler system. The building is provided with an approved automatic sprinkler system.

Building complies

CHAPTER 10: MEANS OF EGRESS

Table 1004.5 – Maximum Floor Area Allowances per Occupant:

Educational area: 20 sf/occupant net
 $25,594 \text{ sf} / 20 = 1,280 \text{ occupants (estimated)}$
 Assembly (Unconcentrated): 15 sf/occupant net
 $15,340 \text{ sf} / 15 = 1,023 \text{ occupants (estimated)}$
 Business Areas: 150 sf/occupant gross
 $2,711 \text{ sf} / 150 = 19 \text{ occupants (estimated)}$

Total Occupant Load = 2,322 occupants (estimated)

The existing building provides 'accessible means of egress' from the Main Floor level in the form of at-grade exits. Per our preliminary calculations, no additional exiting would be required.

CHAPTER 11: ACCESSIBLE ROUTE

Per Section 1104.1, at least on accessible route within the site shall be provided to the accessible building entrance served. Accessible route is provided. Building Complies.

Per Section 1105.1, at least 60 percent of all public entrances shall be accessible. It is believed that Accessible Entries are provided, but compliance with current ADA requirements should be verified if improvements are made to the building.

ADMINISTRATIVE RULES OF MONTANA: MINIMUM REQUIRED PLUMBING FIXTURES

According to 24.301.351, the 'Educational Occupancies' required number of water closets per sex is 1 per 50 for male students, 1 per 50 for female, with 1 lavatory required for every 50 students.

Taking the total building occupant load total of 2,322/2 gives 1,161 male occupants, 1,161 female occupants.

The building should have 23 fixtures (toilets and urinals) for males with 23 lavatories. It should also have 23 fixtures (toilets) and 23 lavatories for females.

A percentage of these fixtures must be ADA accessible for each sex. Accessible toilets are not provided.

Actual Plumbing Fixtures:

Male:
 16 toilets/urinals - **Building does not comply**

Female:
 16 toilets - **Building does not comply** ■

ARCHITECTURAL FINDINGS AND RECOMMENDATIONS

SITE FINDINGS

East Valley Middle School sits on an 18.5 acre site in the middle of East Helena. This site is comfortably-sized for the grade-level and number of classes housed in the building. The building's main entrance faces west, centrally located in the north-south direction, generally positioned on the west side of the property. Originally built in 1998, a seven-classroom addition was completed in 2018. There is an enclosed courtyard in good condition.

Visitor and staff parking lots are positioned between the building and Kalispell Avenue, with a separate drop-off/pick-up loop, and a service drive that aligns with Dudley avenue. The separated configurations of the drives and parking areas appear to function well, although congestion occurs at high-traffic times, specifically when buses are waiting for student drop off/pick up.

A track is situated north of the school, with basketball courts and fields to the east, and a small patch of garden space to the south. The size of the site play areas are adequate. Most of the play equipment appeared to be in good condition. It was noted that the asphalt sports area are cracked and uneven. A large amount of the property is underutilized, such as the native-grass fields. A path system encircles the site, and a larger drainage swale intersects the eastern side of the site and just south of the middle school.

SITE RECOMMENDATIONS

Generally, the EVMS site is well maintained and in fair to good condition. Due to the age of some site components, some updates beyond regular maintenance are recommended:

- Enclosure of fencing for security and supervision of students.
- Repair or replacement of the playground asphalt and sports equipment.
- Re-routing of the drainage swale is recommended for the safety of students. This would likely need to be moved before any potential expansions south or east could be made to the building.

BUILDING EXTERIOR FINDINGS

In general, the exterior of the building is in good condition. The exterior materials are relatively durable, easy to maintain and well-suited for their use.

EXTERIOR FOUNDATION AND DRAINAGE

The visible areas of the foundation are very sound, showing no signs of cracking or discoloration. There was minor fluorescing or staining in some areas of masonry.

Although the scope of this investigation did not entail a formal topographic survey of the site conditions, visually, the site immediately adjacent to the building appears to have good positive drainage away from the building.

EXTERIOR STAIRS, RAMPS, AND SIDEWALKS

Exterior stairs, ramps, and sidewalks appear to be in good condition with minimal cracking and spalling.

ROOF CONDITION

East Valley Middle School is a sloped wood roof structure with an asphalt shingle roof. The Gymnasium roof has photo-voltaic panels on it; the design team did not walk the roof surface but the roof was observed from below to be in good condition. Although ceiling tiles had staining in many areas, it seemed unlikely these were present due to roof leaks.

EXTERIOR FINISHES

The building exterior is primarily composed of three materials-coated metal panels, exterior insulated finish system (EIFS) and split face concrete masonry units (CMU). These materials are durable and easy to maintain. For the age of the facility, the exterior materials are generally in good condition and have been well maintained. Of note, the EIFS has been damaged by students and/or birds. Continued upkeep and repair of this facade material is recommended to prevent weather intrusion to the wall assembly.

EXTERIOR WINDOWS AND DOORS

The aluminum windows appear to be in good condition along with all visible flashings. Screens were in very poor condition around the entire building.

Exterior doors are painted, flush hollow metal doors with painted hollow metal frames. Generally the doors are in fair to good condition with some dents and rust in areas. It was

noted that current exterior door hardware is inconsistent and does not meet current ADA accessibility standards.

EXTERIOR SECURITY

All exterior doors on the building are hollow metal with standard commercial grade hardware. There is an electronic proximity reader access control at the main and secondary entrances and a video/audio communication system at the main entry. The play yard is larger and doesn't have compete fencing making supervision and security difficult to maintain. The line of sight from the main office to the main entry is partially obscured.

ARCHITECTURAL EXTERIOR RECOMMENDATIONS

Overall, the exterior of the building is in good, well-maintained condition. No issues were observed that require immediate attention, however, we would make the following recommendations:

- Repair of damaged areas of EIFS.
- Ongoing maintenance of the CMU veneer control joints.
- Repair or replacement of damaged window screens throughout.
- Replacement of hardware that does not meet ADA accessibility requirements.
- Repainting of damaged exterior doors and frames.
- Improved visibility from the Main Office to the Main Entry.

BUILDING INTERIOR FINDINGS

Overall, the interior of the building is in good condition. The quality of the original finish materials and the care taken to maintain and replace finishes in the building over time have contributed to its condition. Many of the interior finishes are showing wear and not as inviting to the public as newer, contemporary finishes would be; however, they are durable and require minimal maintenance to continue their function and good appearance.

HALLWAYS

Circulation spaces in the building consists of double-loaded corridors with classrooms, restrooms, and offices on either side. Lockers adorn sides of most classroom hallways.

The finishes in the circulation spaces are in good condition and have been well-maintained. The hallway flooring is sheet-good carpet with rubber base and walk-off mats at the entries. It was observed that the carpet/walk-off mat are well-worn and will likely need replacement soon.

Wall finishes in the hallways are painted CMU. The wall finishes and paint are in good condition and with some minor chips, etc.

Hallway ceilings are suspended acoustical ceiling tiles. The tiles are dated and damaged in several locations.

CLASSROOMS

Classrooms are well suited for their purpose and appear to serve the students and educators well.

The finishes in the classrooms are generally in good condition and have been well maintained. Flooring throughout the classroom spaces is carpet tile or sheet-carpet with rubber base. Wall finishes are painted gypsum wall board, painted CMU, and tackable wall-coverings and are in good condition.

Ceilings are suspended acoustical tile. The ceiling tiles are dated and in some cases showing damage.

The classroom casework is plastic laminate. Counter tops in these areas were plastic laminate and had sinks and drinking fountain bubblers. For the most part the casework is in fair to good condition. It was observed that casework hardware has been replaced at some conditions, and in other areas the lower casework doors have been removed or replaced.

GYMNASIUM

The gymnasium at East Valley Middle School is in good condition. The walls are made of painted concrete masonry units (CMU) and equipped with wall padding, all of which are well-maintained. The collapsible bleachers, fitness equipment, and doors are also in good shape. Furthermore, the wood floor, since its installation, has been consistently well-maintained showing only minor wear and tear.

CAFETERIA/KITCHEN

The cafeteria at East Valley Middle School features painted CMU walls. However, both the flooring (which consists of a sheet product) and the walls are displaying noticeable signs of wear and tear. The kitchen is in good condition and well-

maintained. It was noted that the cafeteria is small based on the current student population.

RESTROOMS

The finishes and fixtures in the restrooms are generally in poor to fair condition. The flooring is porcelain tile and in fair condition. Wall finishes are ceramic tiles. Metal and laminate faced solid phenolic toilet partitions appear to be in fair to good condition, with some vandalism observed. Plumbing fixtures are dated but in fair condition. Overall the restroom finishes are dated but functional. Although tight, restrooms appear to meet current accessibility and ADA guidelines.

INTERIOR WINDOWS AND DOORS

Interior doors are solid wood doors in painted hollow metal frames. Door hardware is not consistent throughout the interior, but most classroom door hardware is newer level type lock sets that appear to meet ADA guidelines for graspability. Door hardware in the administration and other areas are knob type lock sets and do not meet ADA requirements.

ARCHITECTURAL INTERIOR RECOMMENDATIONS

The interior of the building is in fair to good condition and has been well-maintained. Our recommendations are minor, but include:

- Continued upkeep and regular maintenance to ensure the building remains in good condition.
- Update and/or replacement of toilet room fixtures and finishes.
- Replacement of door hardware that does not meet requirements for ADA accessibility.
- An enlargement or reconfiguration of the cafeteria is recommended to meet current needs; it would be highly needed if the school were to enlarge. ■

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ANNOTATED PHOTOGRAPHS | EXTERIOR



View of the west facade of the building from the parking lot.



View of the main parking lot looking north.



View of the southwest corner of the building and the sidewalk between the main and south parking areas.



View of south elevation of the building.

ANNOTATED PHOTOGRAPHS | EXTERIOR



View of damaged exterior window screens.



View of the east elevation of the building from the southeast corner.



View of the upper clerestory windows on the south side of the building.



View of damage to the exterior insulation and finish system (EIFS).

ANNOTATED PHOTOGRAPHS | EXTERIOR



View of asphalt playground area, equipment, and lighting.



Example views of hollow metal door conditions.



View of playground area and equipment.



View of the northeast corner of the building and service buildings from the asphalt play area.

ANNOTATED PHOTOGRAPHS | EXTERIOR



View of the northwest corner of the building from the parking lot.



View of service area at the northeast corner of the building looking south.



Example view of the condition of the hollow metal doors and frames.

ANNOTATED PHOTOGRAPHS | INTERIOR



View of the admin area.



View of the nurses' room.



View a typical hallway and close-up view of the ceiling.



View of the music classroom.

ANNOTATED PHOTOGRAPHS | INTERIOR



View of the music classroom.



Example view of carpet staining.



View of typical classroom casework.



Example of damage at flooring transition.

ANNOTATED PHOTOGRAPHS | INTERIOR



Example of damaged and missing ceiling tiles.



View of typical classroom with operable walls.



View of gymnasium with stage opening.



View of gymnasium.

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EAST HELENA HIGH SCHOOL

BUILDING DESCRIPTION
CODE REVIEW
FINDINGS + RECOMMENDATIONS
ANNOTATED PHOTOGRAPHS



East Helena High School | East Helena, Montana | Sept 2020



East Helena High School | East Helena, Montana | Sept 2020



East Helena High School | East Helena, Montana | July 2023

BUILDING DESCRIPTION

Following an extensive initiative to establish a dedicated High School District, the EHSD successfully concluded the construction of a 105,000 square foot high school facility in 2020. The construction of the high school uses resilient materials and the design of the high school features various spaces to support “21st Century Learning” techniques, including adaptable learning areas and ample natural lighting. Subsequently, in 2021, a 8,000 square foot Alternative High School Addition was seamlessly incorporated onto the building.

The building is broken into four main areas. Area One: The central core of the building that is formed by the student commons, stage and fine arts spaces. Area Two: Athletic spaces that include the competition gymnasium, physical education and other athletic spaces which are all located to the north side of the commons. Area Three: This area consists of a two-story administration, library, and classroom wing which sits to the east and south of the commons. Area Four: The CTE programs that extend to the west. Public amenities including the commons, stage, gymnasium, and library are all located immediately adjacent to the Main Entry and Commons to provide easy access and inviting space for the students, staff, and the community.

BUILDING CONSTRUCTION

The structure comprises two stories and is constructed with a steel beam and column framework. The first floor utilizes a slab-on-grade design, while the second floor features composite concrete slabs. The gymnasium is constructed using concrete blocks, a long-span steel joist roof, and a wood gym floor over a concrete slab. To enhance fire safety, the building incorporates three fire walls, dividing it into four separate “fire-areas.”

Since this building is under 5 years old, there are currently minimal issues identified with the structure at the time of this assessment. ■

BUILDING CODE REVIEW - 2021 INTERNATIONAL BUILDING CODE (IBC)

CHAPTER 3: USE & OCCUPANCY

Occupancy Classification E (Educational):

Section 305, Educational Group 'E' - Educational Group

The building should be classified as Group 'E' Educational spaces which include, among others, the use of a building or structure, or a portion thereof, by six or more persons at any one time for educational purposes through the 12th grade.

Section 303.1.3, Assembly Group A Associated with Group E occupancies:

A room or space used for assembly purposes that is associated with a Group E occupancy is not considered a separate occupancy.

CHAPTER 4: SPECIAL DETAILED REQUIREMENTS BASED ON OCCUPANCY AND USE

No sections of Chapter 4 apply to the building.

CHAPTER 5: GENERAL BUILDING HEIGHTS & AREAS

Table 504.3 – Allowable Building Height in Feet Above Grade Plane: Type II-B construction, fully sprinklered.

Group E: 75 Feet

Existing building is well below 75 feet in height. Existing condition complies.

Table 504.4 – Allowable Number of Stories Above Grade Plane: Type II-B construction, fully sprinklered.

Group E: 3 Stories

Building is 2 stories above grade plane. Existing condition complies.

Table 506.2 – Allowable Area Factor in Square Feet: Type II-B construction, fully sprinklered, multistory.

Group E: 43,500 Square Feet

Allowable Area per 506.2.3 and given the configuration of this building = 108,750sf max.

Existing building is separated into 4 distinct fire areas (at the gymnasium/athletics, CTE, and Alternative High School Addition); all of these fire areas are less than 108,750 square feet in area.

Building complies.

CHAPTER 6: TYPES OF CONSTRUCTION

Table 601 – Fire-Resistance Rating Requirements for Building Elements. Based on the observed construction of the existing building and review of the drawings, Construction Type II-B is assured.

According to 602.2, Type II-B Construction, is that type of construction in the building elements are of noncombustible materials (except those materials permitted by the Section 603 and other areas). The construction of the existing building meets the requirements of this section and classification.

The building meets the requirements of the code for Type II-B non-combustibility; the structural frame, interior walls, exterior walls, and roof construction do not need ratings or protection.

CHAPTER 7: FIRE AND SMOKE PROTECTION FEATURES

Based on construction type and arrangement of the building, no provisions of Chapter 7 apply to the areas of the building being evaluated in this review other than the following:

There are four distinct fire areas created via three fire walls in the building: generally between the south wall of the Gymnasium/Athletic area and the Commons, between the CTE classrooms and the Art and Culinary classrooms, and between the southwest general classrooms and the Alternative High School Addition. All of these firewalls have compliant protection and door assemblies.

Building complies.

CHAPTER 8: INTERIOR FINISHES

Table 803.13 Interior Wall and Ceiling Finish Requirements by Occupancy, Interior finishes in a non-sprinkled building of E occupancy areas must have Class B finishes at corridors and exit enclosures and Class C at other rooms and enclosed spaces. While testing and documentation of all existing finishes in this case (paint, flooring, trim, ceiling finishes, etc.) is beyond the scope of this report, it is believed from field observations, construction drawings and specifications, and documentation from the recent construction that the existing materials and finishes meet this requirement. Any new finishes and materials must meet the requirements of this section.

CHAPTER 9: FIRE PROTECTION SYSTEMS

Per Section 903.2.3, all group E occupancies with a fire area greater than 12,000 square feet must be equipped with an approved automatic sprinkler system. The building is provided with an approved automatic sprinkler system.

Building complies.

CHAPTER 10: MEANS OF EGRESS

Table 1004.5 – Maximum Floor Area Allowances per Occupant (note: this is not equitable to utilization):

Educational area (classrooms): 20 sf/occupant net
= 1,325 occupants (estimated)
Educational area (vocational): 50 sf/occupant net
= 256 occupants (estimated)
Assembly (Unconcentrated): 15 sf/occupant net
= 288 occupants (estimated)
Assembly (Fixed Seat): Number of seats
= 1,245 occupants (estimated)
Business Areas: 150 sf/occupant gross
= 155 occupants (estimated)
Kitchen Areas: 200 sf/occupant gross
= 9 occupants (estimated)
Exercise Rooms: 50sf/occu. gr.
= 137 occupants (estimated)
Library: Reading Rooms: 50sf/occu. gr., Stacks: 100sf/occu. gr.
= 51 occupants (estimated)
Locker Rooms: 50sf/occu. gr.
= 52 occupants (estimated)
Accessory Storage and Maintenance Areas: 300sf/occu. gr.
= 43 occupants (estimated)

Total Occupant Load = 3,561 occupants (estimated)

The existing building provides 'accessible means of egress' from the Main Floor areas in the form of at-grade exits. Per our calculations, no additional exiting would be required.

CHAPTER 11: ACCESSIBLE ROUTE

Per Section 1104.1, at least on accessible route within the site shall be provided to the accessible building entrance served. Accessible route is provided. Building Complies.

Per Section 1105.1, at least 60 percent of all public entrances shall be accessible. Accessible Entries are provided, and building is fully in compliance with current ADA requirements.

ADMINISTRATIVE RULES OF MONTANA: MINIMUM REQUIRED PLUMBING FIXTURES (ARM 24.301.351)

According to 24.301.351, the 'Educational Occupancies' required number of water closets per sex is 1 per 50 students, with 1 lavatory required for every 100 students (by occupant load). (1,821 Occupants = 37 fixtures)

'Assembly Occupancies' required number of water closets per sex is 1 per 75 for the first 1500 and 1 per 120 for the remainder exceeding 1500 for males, 1 per 40 for the first 1520 and 1 per 60 for the remainder exceeding 1520 females, with 1 lavatory required for every 1000 occupant (by occupant load). (1,533 total Occupants @ 50:50 = 767M and 767F = 11M and 20F fixtures)

'Business Occupancies' required number of water closets is 1 per 25 for the first 50 and 1 per 50 for the remainder exceeding 50, with 1 lavatory required for every 100 occupant (by occupant load). (4 fixtures required)

The building should have 68 total fixtures (toilets and urinals) if totaled up sequentially however, given the overlapping use of the Education, Assembly, and Business spaces, the greater number of each can be used as the required amount (37 fixtures)

A percentage of these fixtures must be ADA accessible for each sex. Accessible toilets and urinals are provided.

Actual Plumbing Fixtures:

58 toilet fixtures - **Building complies** ■

ARCHITECTURAL FINDINGS AND RECOMMENDATIONS

SITE FINDINGS

East Helena High School sits on 35 acres on Valley Drive, just north of the County Search and Rescue, and east of the City Water Treatment Facility. Since opening in 2020, the remaining adjacent lots have been filled with single-family homes. A basic pedestrian trail system connects this site with the residential developments. Situated in the north-south direction, parallel to Valley Drive, there are three main points of entry for vehicular traffic: a main entry for visitor and staff, one for deliveries, and separate entry to the student parking lot.

Athletic facilities on-site include a softball field and stands, the main stadium for football, soccer, and track and field events, and practice field space. There is some space on-site reserved for future sports activities.

Broadly, the north end of the facility houses Athletics and Fitness Spaces, while the east side is home to the Administration and Library. The south side features Classroom wings, and the western part is allocated for CTE (Career and Technical Education) spaces. In 2021, an expansion was made to the high school's classroom wing to accommodate an Alternative High School, which introduced an additional 8,000 square feet of classroom space on the southwest side of the building for a total of approximately 113,000 square feet.

SITE RECOMMENDATIONS

Generally, the High School site, being the newest school and property in the district, is well-maintained and in excellent overall condition. There are minor site and circulation issues worth noting in this report that can be considered for alteration:

- Given the number of vehicular ingress choices, signage could be added to clarify the purposes of each.
- Additional visual and physical barriers could be erected to reduce vehicles from driving over landscaped areas.
- From the visitor parking at the east to the main entry, additional sidewalks could be installed to reduce "cow-paths" across landscaped areas.

Additionally, there were minor drainage issues observed from the downspout servicing a large area of roofing on the north end of the Gymnasium.

BUILDING EXTERIOR FINDINGS

In general, the exterior of the building is in excellent condition; the primary building materials are durable and have held-up over the last few years very well. It is expected they will continue to do so for years to come without much maintenance or replacement. Like most of the school buildings in the district, the exterior materials are durable, easy to maintain, and well-suited for their use.

EXTERIOR FOUNDATION AND DRAINAGE

Hardly any sections of the thickened-slab foundation are readily noticeable. Considering the significance of exterior insulation for this specific type of slab, we closely examined the condition of this feature, and all the observed areas appeared to be in excellent shape.

While the investigation's scope did not include a formal topographic survey of site conditions, an initial visual assessment suggests that the area immediately surrounding the building features effective positive drainage away from the structure. There are two issues of note:

- A downspout servicing a significant amount of roof drainage has excessively eroded the site north of the Gymnasium. A larger splash-block here would significantly reduce this erosion.
- In the event of heavy rain driven by strong winds, water can be pushed beneath the door seals in the Art Rooms that face west. To address this, it's advisable to consider solutions such as surface breaks, extra drains, enhancing door seals, or installing a covering over this particular area.

Some areas of landscaping are routinely driven through by students and visitors between the individual access drives. Visual and physical barriers are recommended in those areas.

EXTERIOR STAIRS, RAMPS, AND SIDEWALKS

Exterior stairs, ramps, and concrete sidewalks appear to be in excellent condition with minimal cracking or spalling.

ROOF CONDITION

East Helena High School's roofing is reported in excellent condition with no significant issues. There were virtually no observed leaks in the relatively new facility that could be attributed to roofing issues other than above the concessions room known as the "Snack Shack."

EXTERIOR FINISHES

Sturdy metal panels and brick masonry were used as the exterior materials at the high school. These materials are of exceptional quality and are expected to retain their new appearance for many years with minimal maintenance. There are only a few sections with painted steel that may necessitate occasional minor touch-ups.

EXTERIOR WINDOWS AND DOORS

Most of the windows and doors in the building are made of anodized aluminum and are in excellent condition, displaying only minor signs of wear and tear. There was one instance of a glass pane showing damage. Additionally, the building features painted hollow-metal doors, all of which were found to be in excellent condition with minor wear and tear. Given the building's relatively recent construction, all necessary exits comply with current ADA and other accessibility standards.

Of note, the aluminum overhead door in the weight and fitness room showed a poor seal at the floor; this seal should be adjusted or replaced.

EXTERIOR SECURITY

The exterior doors are made from either aluminum or hollow metal and are outfitted with standard commercial-grade hardware. Both the primary and secondary entrances feature electronic proximity reader access control systems. The main entry is equipped with a video/audio communication system, which aids in communication and visitor identification at the primary entrance. There is excellent visibility from the main office to the main entry area. Additionally, strategically placed cameras are positioned at various entrances throughout the building.

ARCHITECTURAL EXTERIOR RECOMMENDATIONS

Overall, the exterior of the building is in excellent, well-maintained condition. No significant issues were observed that require immediate attention other than the aforementioned door seals at the Art Rooms.

BUILDING INTERIOR FINDINGS

In general, the interior state of the building is excellent with minor wear and tear. Any issues observed are relatively minor and are described below.

HALLWAYS, STAIRS, AND ELEVATOR

The building's circulation areas consist of double-loaded corridors, surrounded by classrooms, restrooms, and offices on both sides. These circulation spaces boast finishes that are in outstanding condition, showing only, expected, minor wear and tear.

The corridors feature polished concrete floors, with a few sections covered in carpet tiles, complemented by rubber base and entry walk-off mats.

The hallway walls are primarily painted drywall with durable composite panel wainscoting and wood-veneer wall panels. These wall finishes, including the paint, are in excellent condition, although minor imperfections like chips are present, which is typical wear and tear.

Suspended acoustical ceiling tiles make up the hallway ceilings, with some areas revealing exposed painted structure. All ceiling components are in excellent condition.

The concrete stair treads and aluminum nosings are in overall excellent condition, with only minor remnants of tape noticed. Painted and stainless steel handrails and guardrails are installed at standard heights and fully comply with current building codes. These are also in excellent condition.

The elevator was found to be in excellent working condition.

CLASSROOMS

The General, Science, Art, CTE, and other specialty classrooms and break-out spaces are thoughtfully designed to fulfill their intended purpose and seem to effectively cater to the needs of both students and educators. Overall the building features many flexible spaces that can likely adapt with secondary-ed teaching trends.

The finishes in the classrooms are generally in excellent condition and have been well maintained. The flooring throughout the classroom spaces is carpet tile in general classrooms and polished concrete in Science, Art, and CTE classrooms; with rubber base. Wall finishes are painted gypsum wall board and wood-veneered panels and are in excellent condition.

Ceilings are suspended acoustical tile and are in excellent condition.

The classroom casework is plastic laminate. Counter tops in these areas were plastic laminate and solid surface with sinks. For the most part the casework is in excellent condition.

Classroom lighting is modern, very functional, and tunable per classroom.

INTERIOR SAFETY AND SECURITY

The high school is equipped with contemporary and advisable interior safety and security measures in line with recommendations, including:

- High visibility from the Main Office to the Main Entry, with a secured entry vestibule, call-buttons, access systems, and camera.
- Classroom doors feature recommended door hardware and sidelites for lock-down procedures.
- The various wings have access gates and doors to control and limit access to areas when required (i.e., during a sporting event).

RESTROOMS

Restrooms in this facility are overall in excellent condition. Some areas of resin flooring and tile exhibit water staining and some toilet partitions have been vandalized.

INTERIOR WINDOWS AND DOORS

The interior doors consist of painted hollow metal doors set within painted hollow metal frames, all in excellent condition. Given the recent design and construction of the building, the doors, windows, and door hardware all comply with current accessibility guidelines and ADA requirements.

ARCHITECTURAL INTERIOR RECOMMENDATIONS

The interior of the building is in excellent condition and has been well maintained in its four years of operation to date. We do not have any additional recommendations. ■

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ANNOTATED PHOTOGRAPHS | EXTERIOR



View of the main facade along Valley Drive, facing east.



Main facade looking south.



Gym area and masonry with Kalwall.



View of front entry looking towards the secure vestibule.

ANNOTATED PHOTOGRAPHS | EXTERIOR



Roof drainage damaging landscaping.



View of the football field.



View of the track.



Sidewalk to fitness room and athletic wing.



"Back porch" of building with concessions, outdoor seating and access to the commons inside.

ANNOTATED PHOTOGRAPHS | EXTERIOR



Concessions window and vestibule into commons area.

ANNOTATED PHOTOGRAPHS | INTERIOR



Main office desk area.



Commons area setup as cafeteria looking towards gym.

ANNOTATED PHOTOGRAPHS | INTERIOR



Gym floor finish showing wear and tear.



Mens restroom urinals.

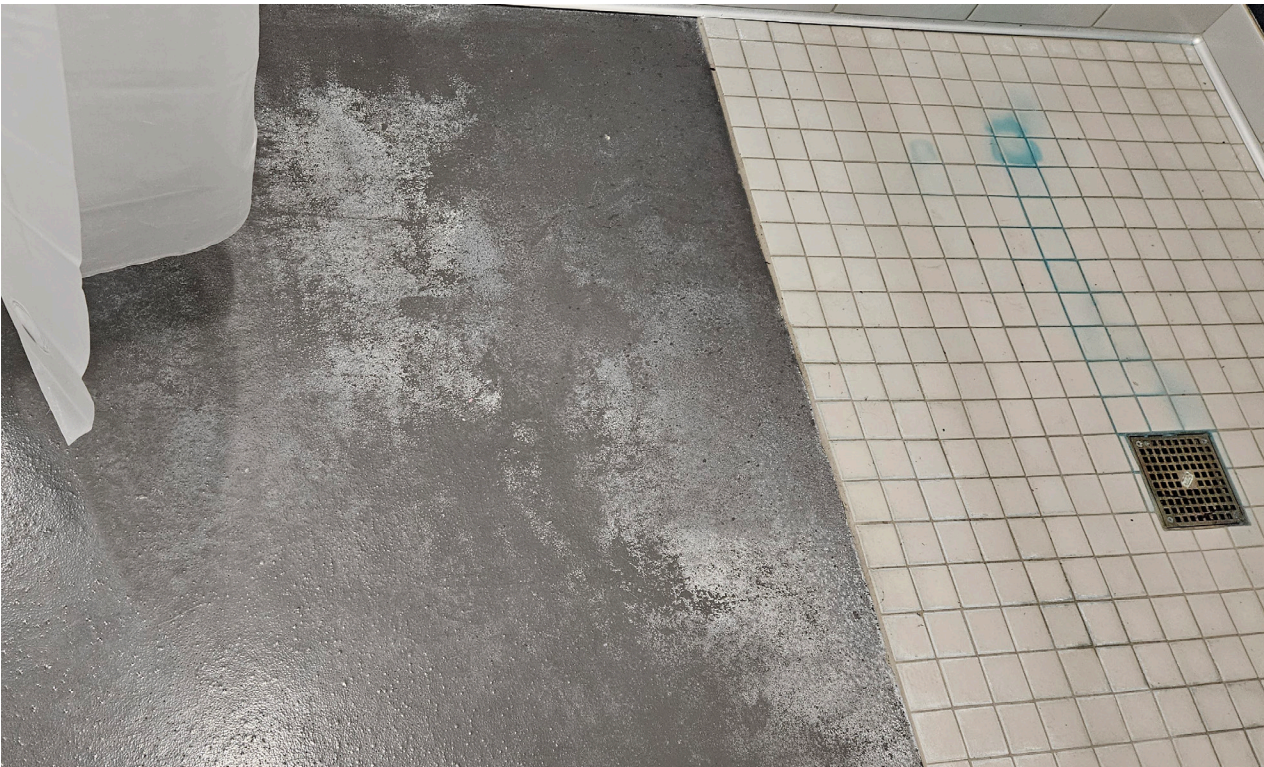


Ceiling tile in Concessions area showing signs of water damage.

ANNOTATED PHOTOGRAPHS | INTERIOR



Waterfill stations and drinking fountain.

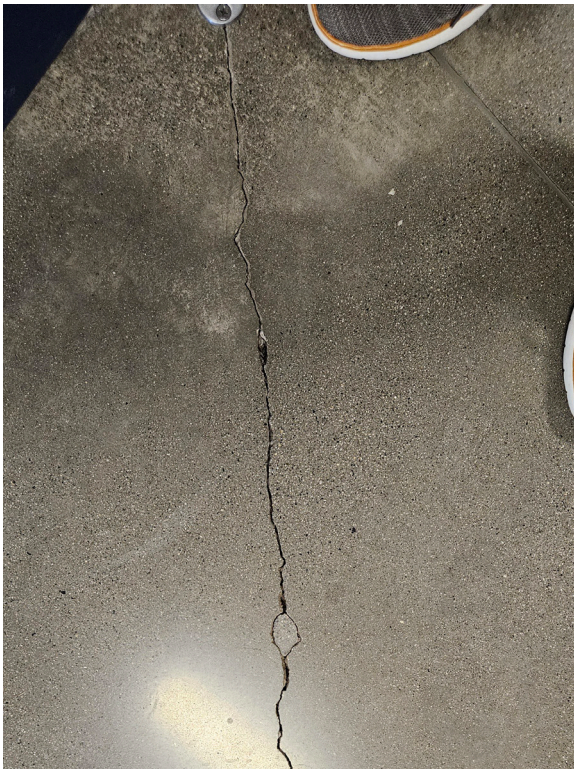


Locker room floor showing wear and tear and grout discoloration.

ANNOTATED PHOTOGRAPHS | INTERIOR



View of overhead door sill at the fitness room.



Typical concrete cracking at polished concrete floors.



Wear and tear at hollow metal exit door.

ANNOTATED PHOTOGRAPHS | INTERIOR



View of specialty corridor ceiling tiles.



View of damage to toilet partitions.



View of the pottery stations in the 3-D art room.

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DISTRICT CENTRAL OFFICES

BUILDING FINDINGS +
RECOMMENDATIONS
ANNOTATED PHOTOGRAPHS



Central Office | East Helena, Montana | 2023



Central Office Aerial | East Helena, Montana | © 2023 Airbus

BUILDING DESCRIPTION

The Central Administration Office Building occupies a small footprint to the south west of Radley Elementary, housing the Superintendent's office, clerk, and administrative staff. The building consists of uninsulated concrete block walls with rafter-framed, shingled roof. Finishes, fixtures, casework, windows, and doors are all in various stages of needing replacement (immediate or soon); the building does not comply with any current ADA guidelines or accessibility standards. Visibility to the main entry is almost non-existent from the interior. Overall the building is in very poor condition.

BUILDING RECOMMENDATIONS

Given the poor condition of the building, and although the District has made good use of this building, it is recommended to be entirely decommissioned and demolished. A new location for Administrative Offices is recommended. Removal of this building from the Radley Campus will allow improvement of the vehicular and pedestrian circulation issues at Radley Elementary. ■

ANNOTATED PHOTOGRAPHS



Exterior south side.



Exterior west side.



Interior Casework



Interior just inside Main Entry door.



Interior Breakroom



None-accessible toilet room.

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DISTRICT TRANSPORTATION & MAINTENANCE FACILITIES

BUILDING FINDINGS +
RECOMMENDATIONS
ANNOTATED PHOTOGRAPHS



Miller House | East Helena, Montana | 2023



Bus Barn | East Helena, Montana | 2023



Clinic Building Aerial | East Helena, Montana | © 2023 Airbus

BUILDING DESCRIPTION

East Helena School District owns two buildings on a 2.5 acre parcel of land to the east of Eastgate Elementary School. The first building is a residential structure referred to as the Miller House that is currently home to the Prickly Pear Coop and the transportation offices. The second building is a 9-bay bus storage facility. Both facilities are accessed by Lewis Street which runs east/west at the south side of Eastgate Elementary School.

ARCHITECTURAL FINDINGS AND RECOMMENDATIONS

SITE FINDINGS

The site that houses the Miller House and Bus Barn is adequately sized. Only the southern half of the site has been developed.

Due to the current layout of the buildings, and the site's location at the east end of the Eastgate Elementary site, access in and out of the site can be a challenge, particularly at times when parent drop-off and pick-up are happening. Also, if the need for buses and transportation services increases, the current site configuration will not be adequate. It was also noted that site drainage at the south side of the Bus Barn building is problematic and water and ice builds up in the winter.

SITE RECOMMENDATIONS

Generally, the site for the Miller House and Bus Barn is adequately sized, however, as the need for more bus storage and maintenance increases, the current configuration will no longer be adequate to meet those needs. Based on these findings, we make the following site recommendations:

- Evaluate the two current structures based on the current and future district needs to determine if they should be replaced at the current site or potentially located to another site as part of the Comprehensive Facilities Master Plan.

MILLER HOUSE FINDINGS

The Miller House was originally constructed as a single family home and has since been converted into office and meeting space. In general, the Miller House is in fair to good condition given its age and construction type. However, the residential nature of the building does not lend itself well to the current use and creates issues with ADA access on the site and within the building.

The building is a wood framed structure with masonry veneer and wood siding. The exterior finishes are in good condition and well maintained. The asphalt shingle roof was observed to be in fair condition without any signs of damage or leaking.

The building interior remains as it did as a residential building. Kitchen and bathroom fixtures and appliances are residential and do not meet current code requirements for the current occupancy.

MILLER HOUSE RECOMMENDATIONS

Overall, the building is in fair, well-maintained condition. No issues were observed that require immediate attention, however, we would make the following recommendations:

- Ongoing maintenance and upkeep of the buildings elements as needed to continue the current use.
- As part of the Comprehensive Facilities Master Plan, we would recommend that this building be evaluated for replacement either at this site or another site that is more suitable.

BUS BARN FINDINGS

The design team meet on site with the districts Transportation Director, Nick Turner, to review the condition of the Bus Barn and discuss the facility's ability to meet current and future needs. The building is a utilitarian, industrial building currently used to store buses. The building has nine bays each of which is currently used.

The exterior finishes are pre-finished metal wall panels and metal overhead sectional doors and a composite asphalt shingle roof. Given the use of the building, the materials are in fair condition with some dents and minor damage due to years of use. It was also noted during the walk through there are drainage issues at the south side of the building where the roof downspouts drain in front of the overhead doors causing ice buildup during the winter. There is adequate power for exterior outlets for each bus during the winter months and power is being provided for a new electric bus.

The building is not insulated and the interior is utilitarian. It was noted that there are no floor drains and water in the building must be squeegeed out. The lack of heat in the building prevents the ability to perform basic service and cleaning in the cold months. Current storage is adequate, but there is not enough storage for future needs.

Based on our discussion with Nick Turner, the most critical concern is the ability of the current Bus Barn to meet future

needs. The district currently owns 15 buses with 1 more coming and the potential for more needed in the near future. The district operated 9 routes in the 2022 - 2023 school year and has the potential need for 11 for the fall of 2023. The district would also like to perform minor maintenance at the facility, but currently does not have the space. In order to accomplish the desired maintenance and cleaning, the district would like to have at least two heated bays. Additional storage would be needed if the district were to perform their own basic maintenance.

BUS BARN RECOMMENDATIONS

Based on our observations, the Bus Barn is adequate for its current use, but will limit the district's ability grow its transportation services as needed in the near future. In order for the facilities to meet the districts upcoming needs, we would make the following recommendations:

- Evaluate the current site in order to determine its ability to accommodate the future needs of the districts transportation needs.
- As part of the Comprehensive Facilities Master Plan evaluate the current and other potential sites to find the most advantageous site for a new transportation facility.
- Evaluate the current facility for an addition or potential replacement to accommodate future needs. ■

ANNOTATED PHOTOGRAPHS | EXTERIOR



View of bus parking area to the west of the Bus Barn looking north.



View of electrical services running to bus parking west of the Bus Barn.



View of the Bus Barn looking north.



View of the north elevation of the Miller House.

ANNOTATED PHOTOGRAPHS | EXTERIOR



View of east elevation of the Miller House.

ANNOTATED PHOTOGRAPHS | INTERIOR



Main entry and space of the Miller House.



View of the kitchen area in the Miller House.

ANNOTATED PHOTOGRAPHS | INTERIOR



View of the basement in the Miller House.



View of the restroom in the Miller House.



View of the lower office and conference area in the Miller House.



View of the lower office and conference area in the Miller House.

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FORMER PUREVIEW CLINIC

BUILDING FINDINGS +
RECOMMENDATIONS
ANNOTATED PHOTOGRAPHS



Clinic Building | East Helena, Montana | 2023



Clinic Building Aerial | East Helena, Montana | © 2023 Airbus

BUILDING DESCRIPTION

The former Pureview Clinic Building is prefabricated single-story wood-framed building, placed on a foundation in 2019 to the northwest of Prickly Pear Elementary. It operated as an outpatient clinic until Pureview Clinic vacated the building in early 2023.

The building overall is just under 1800sf, with two rooms designed as exam rooms, a provider office, counseling office, reception space, dental exam space, and other ancillary rooms consistent with a small office building.

Exterior and interior finishes are only slightly worn and overall the building appears in excellent condition. Due to its relatively new age, it is compliant with current energy, building, and accessibility codes and standards for a business-type usage. The roof is a double-pitched single-ridge roof with asphalt shingles, also in good condition. There was only one minor trim piece on the exterior noted to need replacement. Windows and doors throughout were in excellent condition; with the exception of the main entry door having multiple signages applied and removed. Parking and H/C accessibility was already in place.

RECOMMENDATIONS

The small building could easily remain as an outpatient clinic or be utilized for district office space; the exam spaces and offices could be converted to administrative office space with virtually no renovation or modification. An easily transferable use to this building could be as a replacement Central Administrative Office. ■

ANNOTATED PHOTOGRAPHS



Exterior east-facing facade of Clinic Building.



Exterior north west side.



Interior office space.



Interior Reception Area.

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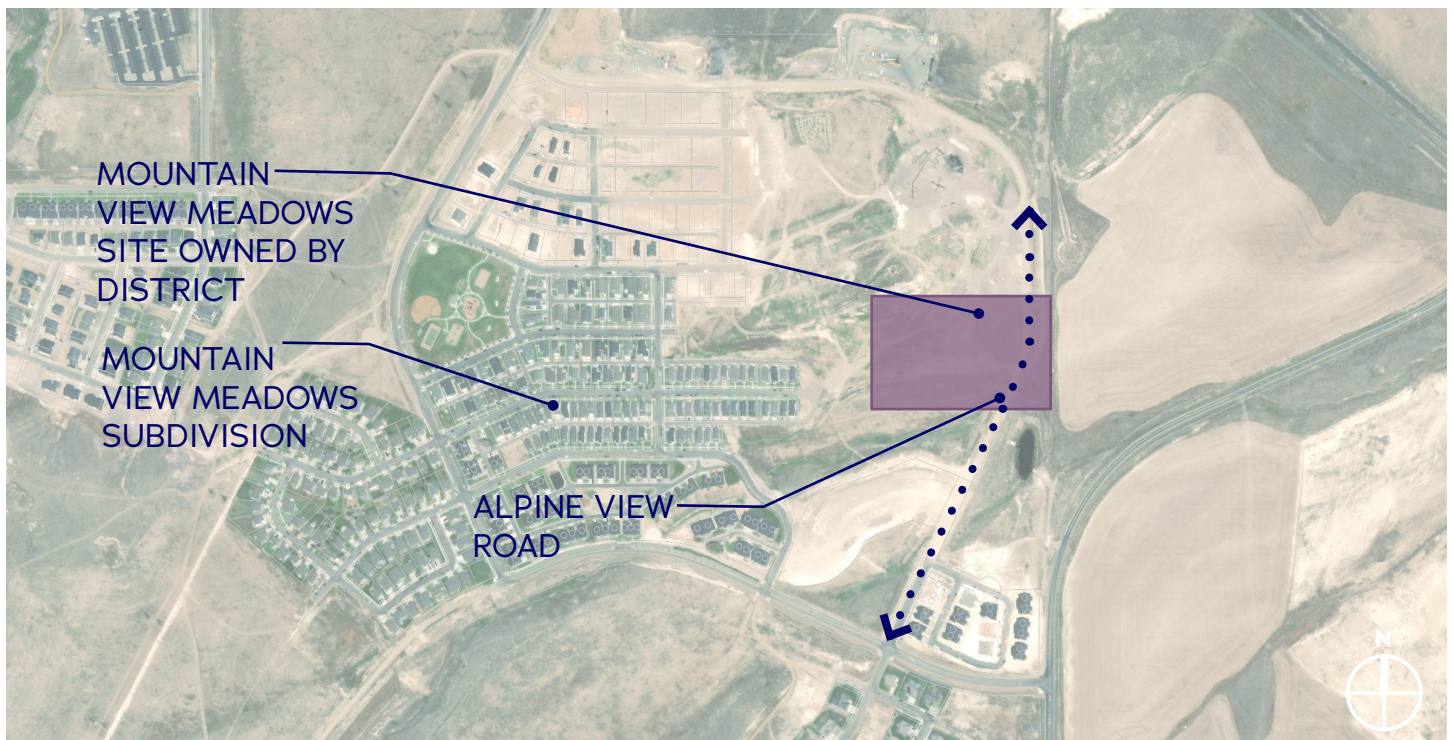
ADDITIONAL DISTRICT-OWNED PROPERTIES

SITE ANALYSIS
ANNOTATED PHOTOGRAPHS

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MOUNTAIN VIEW MEADOWS PROPERTY

The Mountain View Meadows property, owned by East Helena Public Schools, is located in the Mountain View Meadows subdivision south of Highway 12. The 9.2 acre parcel is bisected by Alpine View Drive that runs north to south through the property. Due to the size of the site, a full school program is not recommended. However, the site could serve other District needs.



ANNOTATED PHOTOGRAPHS | EXTERIOR



View from site looking to the South on Alpine View Road that bisects the property.

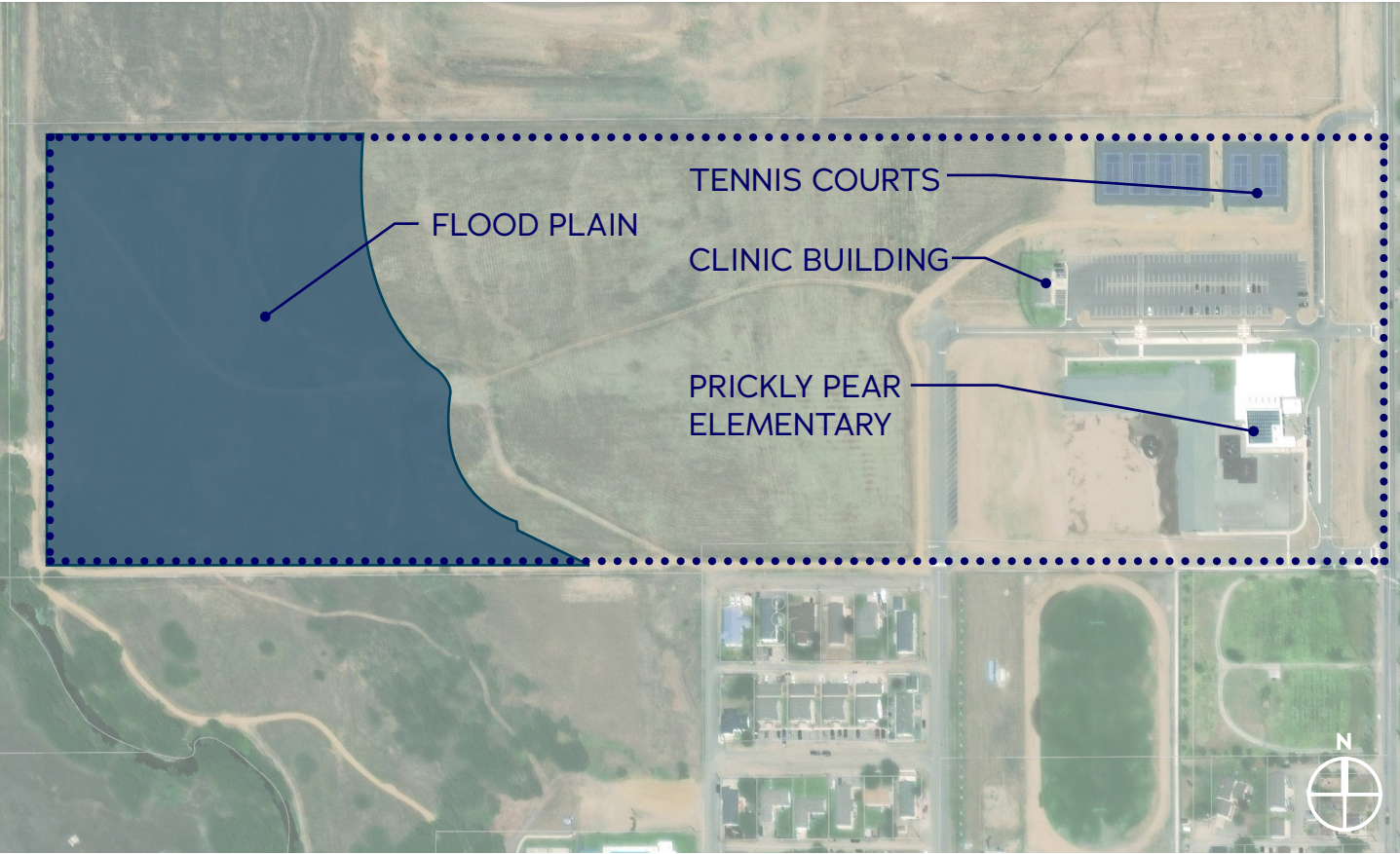


Western portion of the Mountain View Meadows site.

PRICKLY PEAR WEST PROPERTY

The Prickly Pear West property is a 45 acre parcel of land located at the intersection of East Lewis Street and Valley Drive (North Montana Avenue). The eastern side of the site is currently occupied by Prickly Pear Elementary, parking and site circulation, the District-owned former PureView Clinic building, and tennis courts. The remaining western portion of the acreage is undeveloped. Due to the site’s proximity to Prickly Pear Creek, the western portion of the site is flood plain impacted (see diagram below) and is not suitable for building

development. Play and practice athletic fields would be a suitable use for this portion. The flood plain impacted area accounts for approximately 30% of the site. The south western edge of the property has recently been acquired by Prickly Pear Land Trust for a trail to the creek for pedestrian and bicycle use. The undeveloped portion of the site is primarily accessed by North Thurman Avenue and North Harrison Road to Lewis Street. Academic Street runs to the west and north of Prickly Pear Elementary within the site.



ANNOTATED PHOTOGRAPHS | EXTERIOR



Site photographed from south edge on trail looking towards Prickly Pear Elementary to the east.



Site looking to the north.



West edge of site next to irrigation canal.



Central area of the site looking to north and east. Utilities are available.

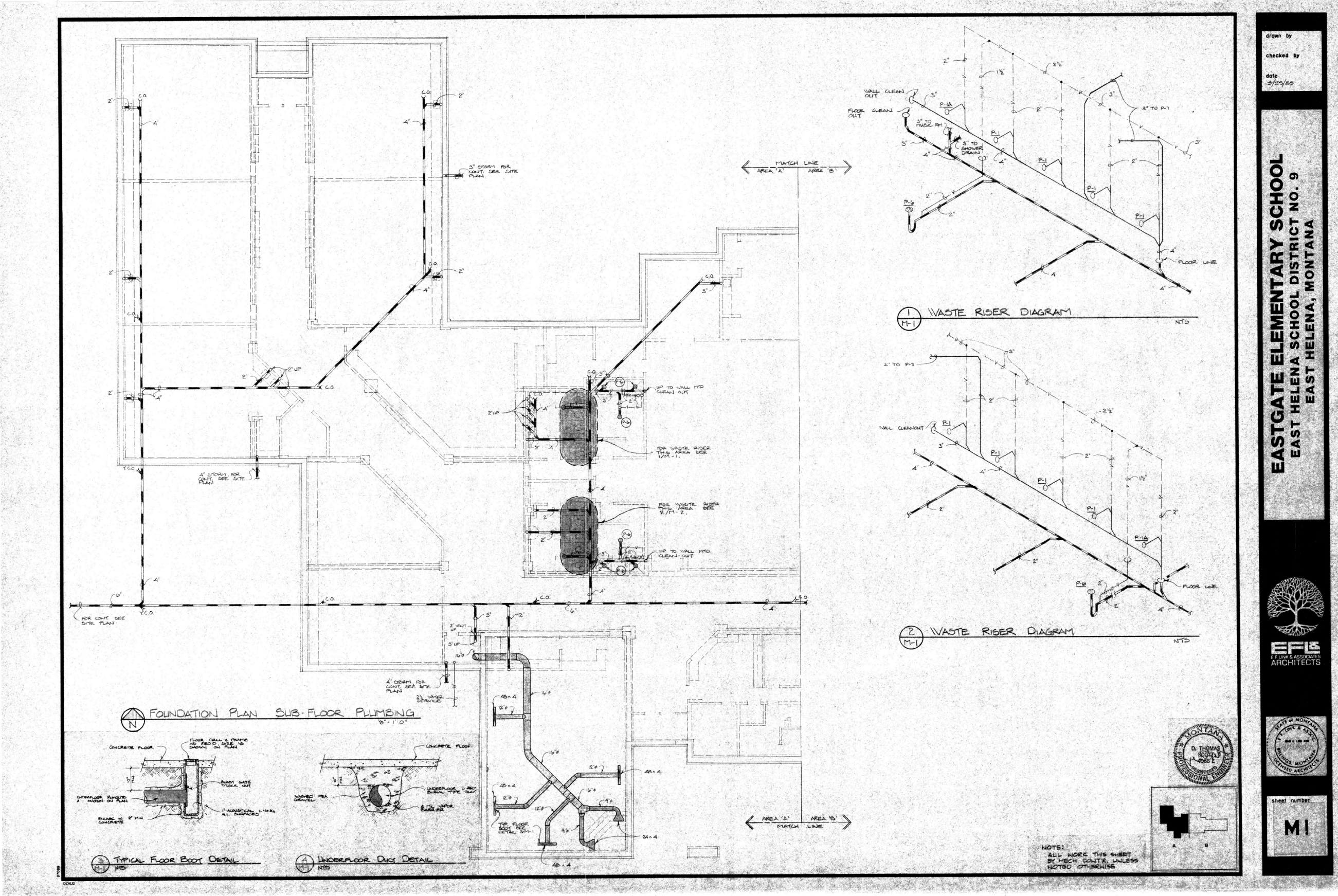
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APPENDIX A | EXISTING BUILDING PLANS

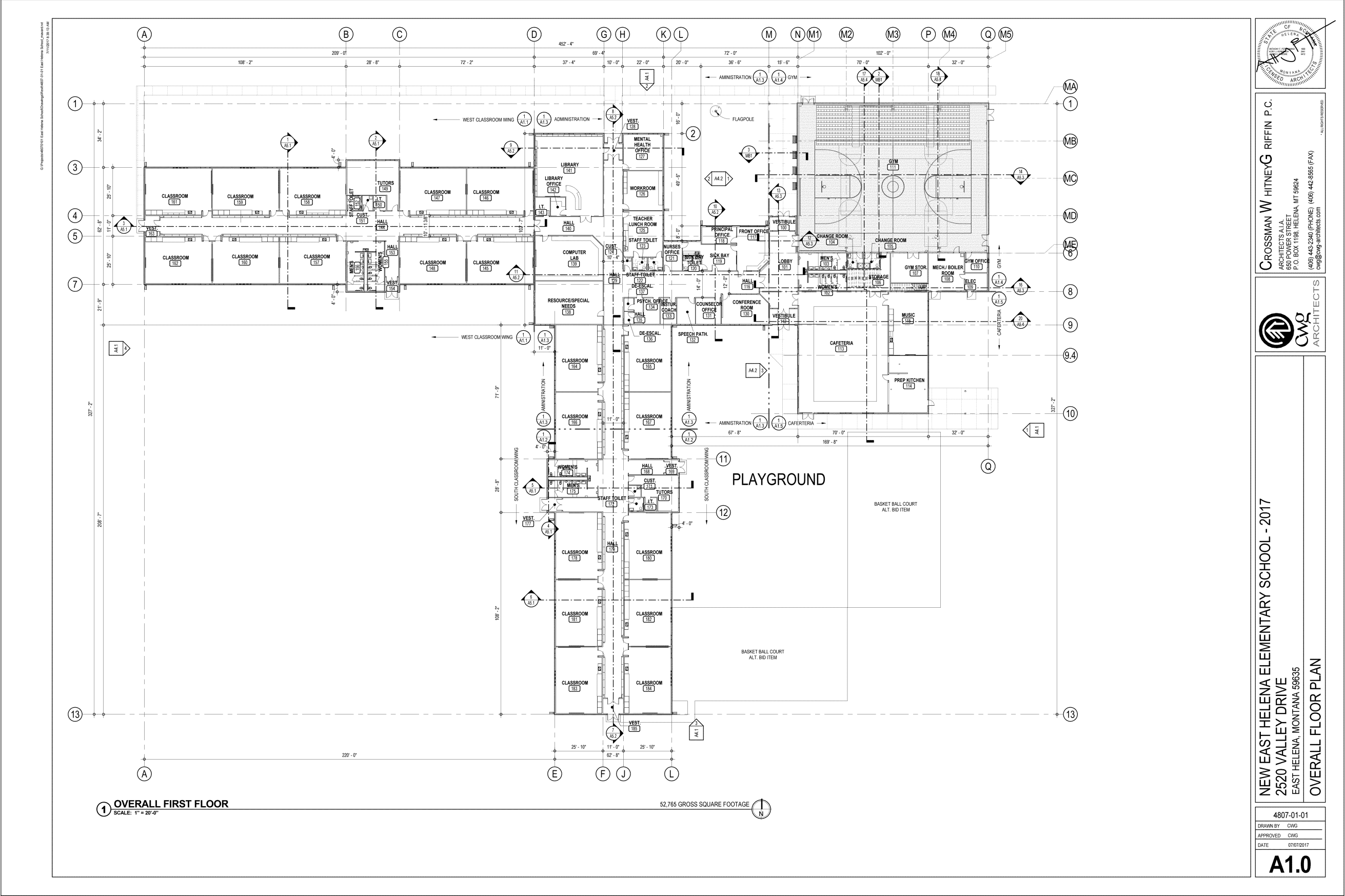
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EASTGATE ELEMENTARY ORIGINAL PLANS

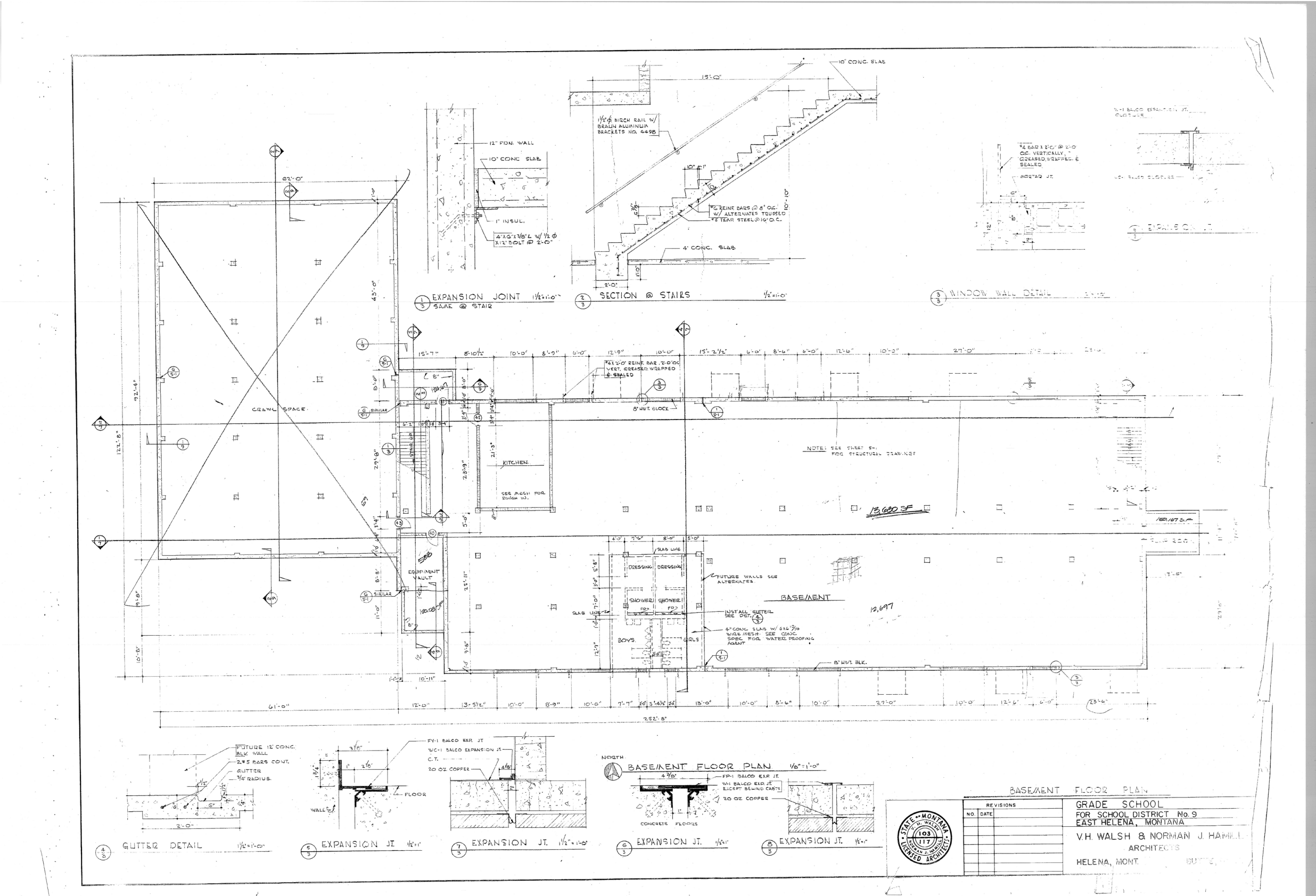




PRICKLY PEAR ELEMENTARY ORIGINAL PLANS



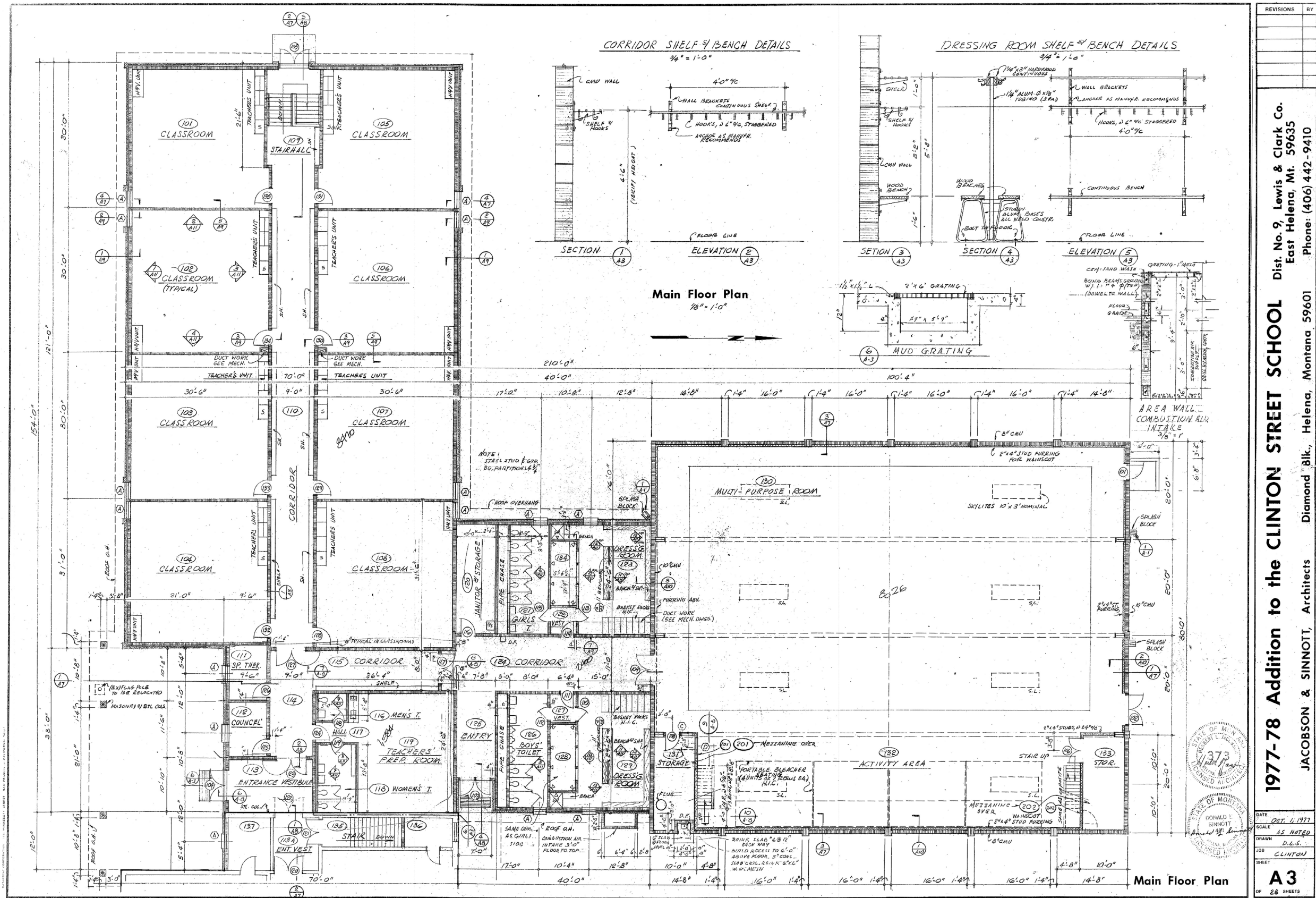
RADLEY ELEMENTARY ORIGINAL PLANS



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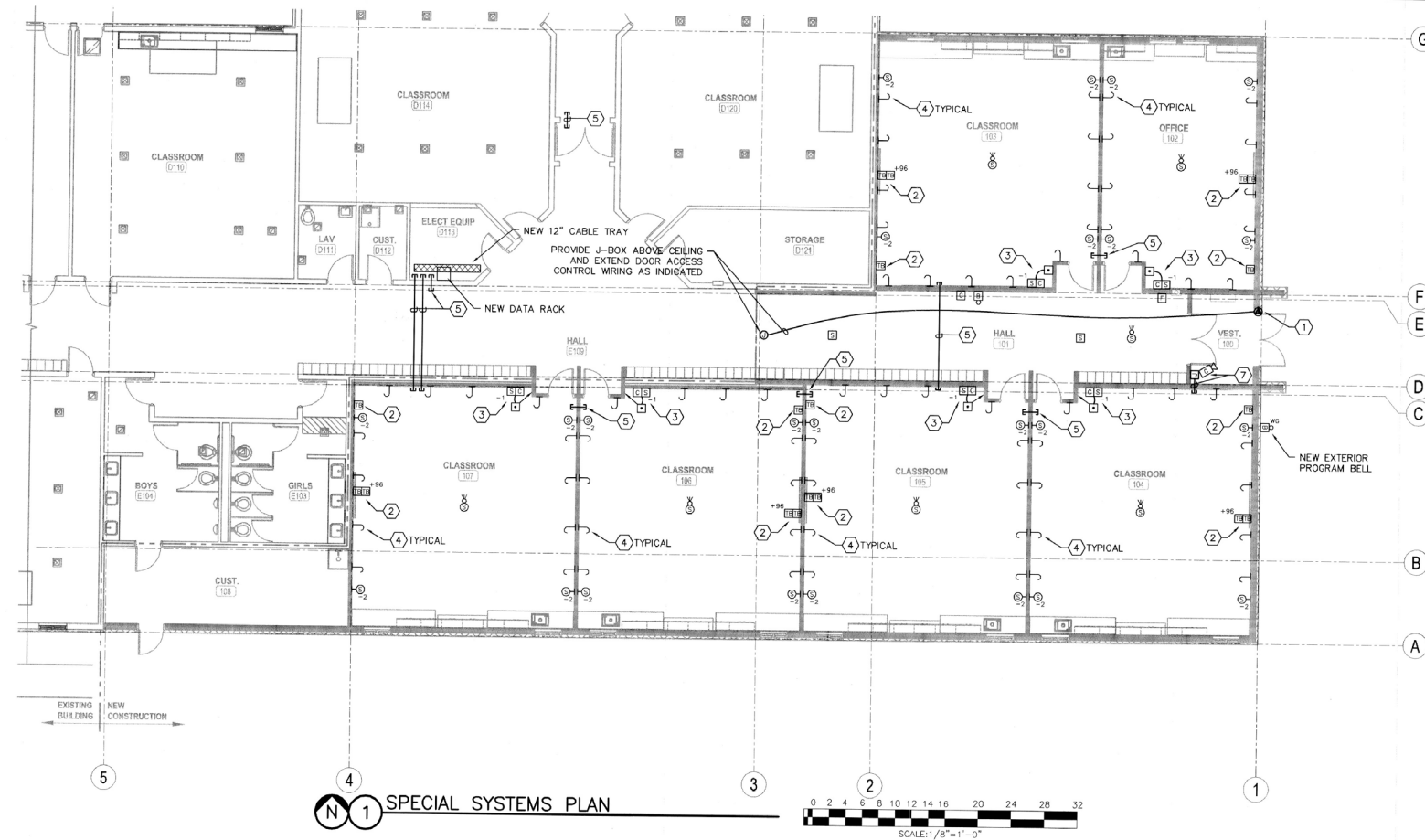
APPENDIX: EXISTING BUILDING PLANS







EAST VALLEY MIDDLE SCHOOL ADDITION PLANS

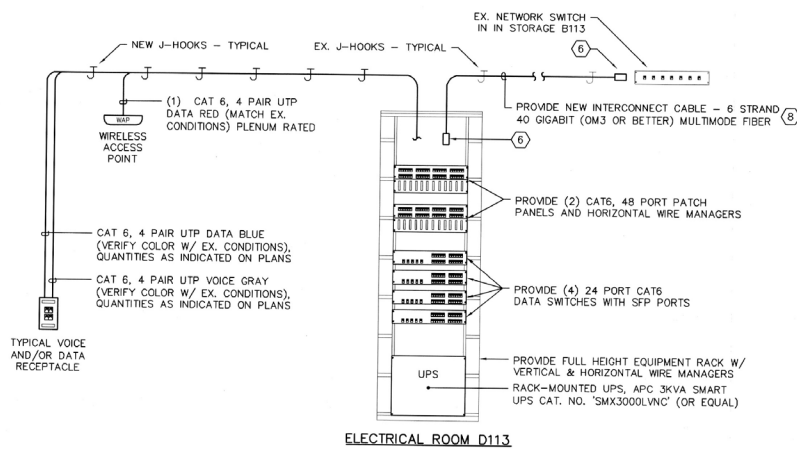


GENERAL SHEET NOTES:

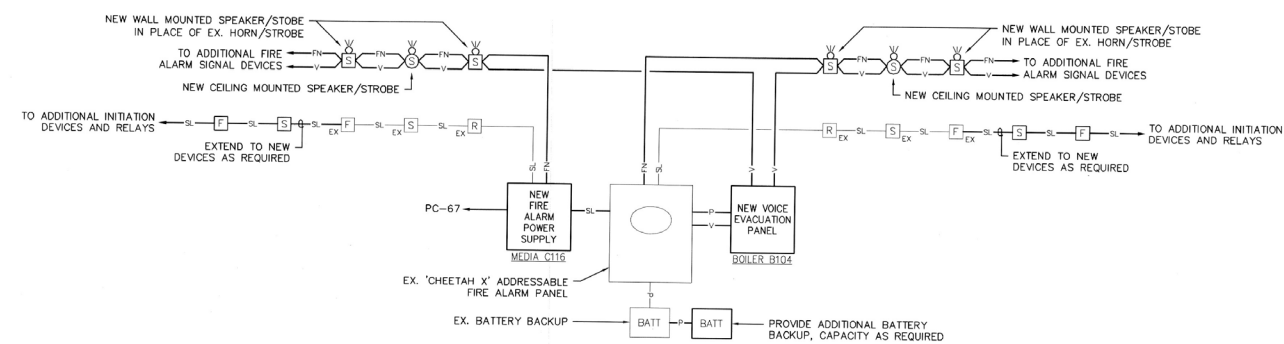
- A. REFER TO E1.0 FOR WORK ASSOCIATED WITH THE FIRE ALARM AND VOICE EVACUATION UPGRADE REQUIRED FOR THE EXISTING PORTION OF THE BUILDING.
- B. ALL LOW VOLTAGE CABLING SHALL BE ROUTED IN CONDUIT (WHERE THERE ARE NO J-HOOKS) OR SUPPORTED VIA J-HOOKS. THE MAXIMUM LENGTH OF UNSUPPORTED CABLE SHALL BE 5'-0".

SPECIFIC SHEET NOTES:

- 1) INSTALL AND CONNECT SALVAGED DOOR ACCESS CONTROLS.
- 2) LARGE CAPACITY TELECOM BOXES) FOR DATA RECEPTACLES AND IN-ROOM SOUND & A/V CABLES. REFER TO E2.1 FOR DATA RECEPTACLES AND DETAIL 3/E3.0 FOR ROUGH-IN.
- 3) CLOCK/SPEAKER ASSEMBLY AND CALL IN SWITCH.
- 4) PROVIDE COOPER B-LINE "B3H32-3S" J-HOOKS @ 5'-0" O.C. ALONG WALL ABOVE SUSPENDED CEILING.
- 5) STUB 4" C. THROUGH WALLS ABOVE SUSPENDED CEILING FOR DATA/COMM. CABLES. BUSH BOTH ENDS. SEAL PENETRATIONS W/ FIRE CAULK.
- 6) PROVIDE 10 GIGABIT SMALL FORM-FACTOR PLUGGABLE (SFP) OPTICAL FIBER TRANSCEIVER COMPATIBLE W/ NEW FIBER/CONNECTORS.
- 7) PROVIDE RECESSED J-BOX 6" BELOW CEILING FOR FUTURE IP-BASED CAMERA. STUB 1" C. THROUGH WALL AS INDICATED. VERIFY MOUNTING HEIGHT W/ ARCH.
- 8) TERMINATE ALL FIBERS ON BOTH ENDS WITH LIKE CONNECTORS.



2 COMMUNICATIONS RISER DIAGRAM



GENERAL DETAIL NOTES:

- A. THIS DIAGRAM IS SCHEMATIC IN NATURE AND NOT INTENDED AS AN ACTUAL WIRING DIAGRAM, NOR DOES IT INDICATE ALL COMPONENTS REQUIRED FOR A COMPLETE SYSTEM. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE A COMPLETE AND FUNCTIONAL SYSTEM AND ALL COMPONENTS REQUIRED TO ACCOMPLISH THIS.
- B. TYPICALLY, HIGH CANDELA RATED DEVICES (185 CD) SHALL BE UTILIZED FOR CEILING MOUNTED STROBES AND STANDARD CANDELA RATED DEVICES (75 TO 115 CD) CAN BE USED FOR WALL MOUNTED STROBES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE FINAL STROBE CANDELA RATINGS BASED ON ACTUAL ROOM DIMENSIONS, USING NFPA GUIDELINES.
- C. IT IS RECOMMENDED THAT THE CONTRACTOR PROVIDE HIGH OUTPUT SPEAKERS IN LARGE SPACES AND NORMAL OUTPUT SPEAKERS IN SMALLER ROOMS. PLEASE NOTE THAT ADJUSTABLE WATTAGE TAPS ARE LOCATED AT EACH SPEAKER TO AID IN VOLUME CONTROL.
- D. ALL NEW FIRE ALARM WIRING TO BE INSTALLED IN RED CONDUIT, EXCEPT IN EXPOSED LOCATIONS. IN EXPOSED LOCATIONS, PROVIDE REMOQLD SURFACE RACEWAY AND BOXES (MIN. NO. 700). PAINT RACEWAY AND BOXES TO MATCH WALL SURFACES.
- E. REMOVE ALL CONDUCTORS SERVING EX. HORN/STROBES BACK TO FIRE ALARM CONTROL PANEL COMPLETE. PROVIDE NEW CONDUCTORS NEW SPEAKER/STROBES.
- F. REFER TO PLANS FOR QUANTITIES AND LOCATIONS OF DEVICES.
- G. REFER TO SPECIFICATION SECTION 28 31 00 FOR ADDITIONAL REQUIREMENTS.

3 FIRE ALARM DIAGRAM
SCALE: NONE



GPD, PC

GPD, PC
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**EAST HELENA SCHOOL DISTRICT
EAST VALLEY MIDDLE SCHOOL ADDITION
400 KALISPELL AVE. N., EAST HELENA, MT
SPECIAL SYSTEMS PLAN**

170200

DRAWN BY	NJK
APPROVED	JJK
DATE	10.23.2017

E2.2

