



September 9, 2024

**ADDENDUM NO. 1
NEW ELEVATOR
AT MURPHY ELEMENTARY SCHOOL
ROUND LAKE SCHOOL DISTRICT NO. 116
PROJECT NO. 23170**

Board of Education
Round Lake School District 116
884 West Nippersink Road
Round Lake, Illinois 60073

The Contractor/Bidder shall acknowledge in writing on his bid proposal form the receipt of this Addendum.

This Addendum shall be part of the Specifications and Drawings for this project and shall be part of the actual contract document to complete the work. When the Architect issues an Addendum, it is the Bidder's responsibility to copy and insert it into the bid documents they have obtained from the Architect or Owner.

ADDENDUM ITEMS:

This Addendum shall be part of the Specifications & Requirements for this project and shall be part of the actual contract document to complete the work. There are ten (10) items in this Addendum.

ITEM NO. 1: PROJECT MANUAL, MANDATORY PRE-BID MEETING

1. See attached Sign-in Sheet for Pre-Bid Meeting.

ITEM NO. 2: PROJECT MANUAL, 00 21 13 INSTRUCTIONS TO BIDDERS, MISC. INFORMATION

1. All fire protection work must be coordinated with and approved by the Fire Marshal. The contractor is responsible to contact and provide all applicable information to the Fire Marshal of all fire protection work including shop drawings and testing of the system after installation.

Fire Marshal Tony Breuscher
tbreuscher@rlfire.org
847-340-2443

2. The bids shall be **Attn: Mark Vierck, Construction Project Manager** in lieu of Dr. Pam Kibbons.

ITEM NO. 3: DRAWINGS, SHEET A1.1

1. Revised plumbing wall location.

ITEM NO. 4: DRAWINGS, SHEET S1.1, PARTIAL FOUNDATION PLAN, SECOND FLOOR & ROOF FRAMING PLANS

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PAGE 2**

1. Revise Foundation and Framing Plans 1, 2 & 3/S1.1 as shown on attached Sheet S1.1.

ITEM NO. 5: DRAWINGS, SHEET S3.0, FOUNDATION DETAILS

1. REVISE detail 11/S3.0 as shown on attached Sheet S3.0.

ITEM NO. 6: PROJECT DRAWINGS, HVO.1, PARTIAL HVAC DEMOLITION PLANS

1. Refer to attached drawing HVO.1 and refer to highlighted items for updates.

ITEM NO. 7: PROJECT DRAWINGS, HV1.0, PARTIAL HVAC PLANS

1. Refer to attached drawing HV1.0 and refer to highlighted items for updates.

ITEM NO. 8: PROJECT DRAWINGS, P1.0, PARTIAL PLUMBING PLANS

1. Refer to attached drawing P1.0 and refer to highlighted items for updates.

ITEM NO. 9: PROJECT DRAWINGS, E0.1, PARTIAL ELECTRICAL DEMOLITION PLANS

1. Refer to attached drawing E0.1 and refer to highlighted items for updates.

ITEM NO. 10: PROJECT DRAWINGS, E1.1, PARTIAL ELECTRICAL PLANS

1. Refer to attached drawing E1.1 and refer to highlighted items for updates.

END OF ADDENDUM NO. 1

Attachment

DKB/rac

J:\1 D116\23170 New Elevator @ Murphy School\1 Spec\Addendum No. 1\23170AD1.docx

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NEW ELEVATOR

at
WJ MURPHY ELEMENTARY SCHOOL
220 GREENWOOD DR.
ROUND LAKE PARK, IL 60073

for the
COMMUNITY UNIT SCHOOL DISTRICT 116

442 N. Cedar Lake Rd.
Round Lake, IL 60073
847-270-9000



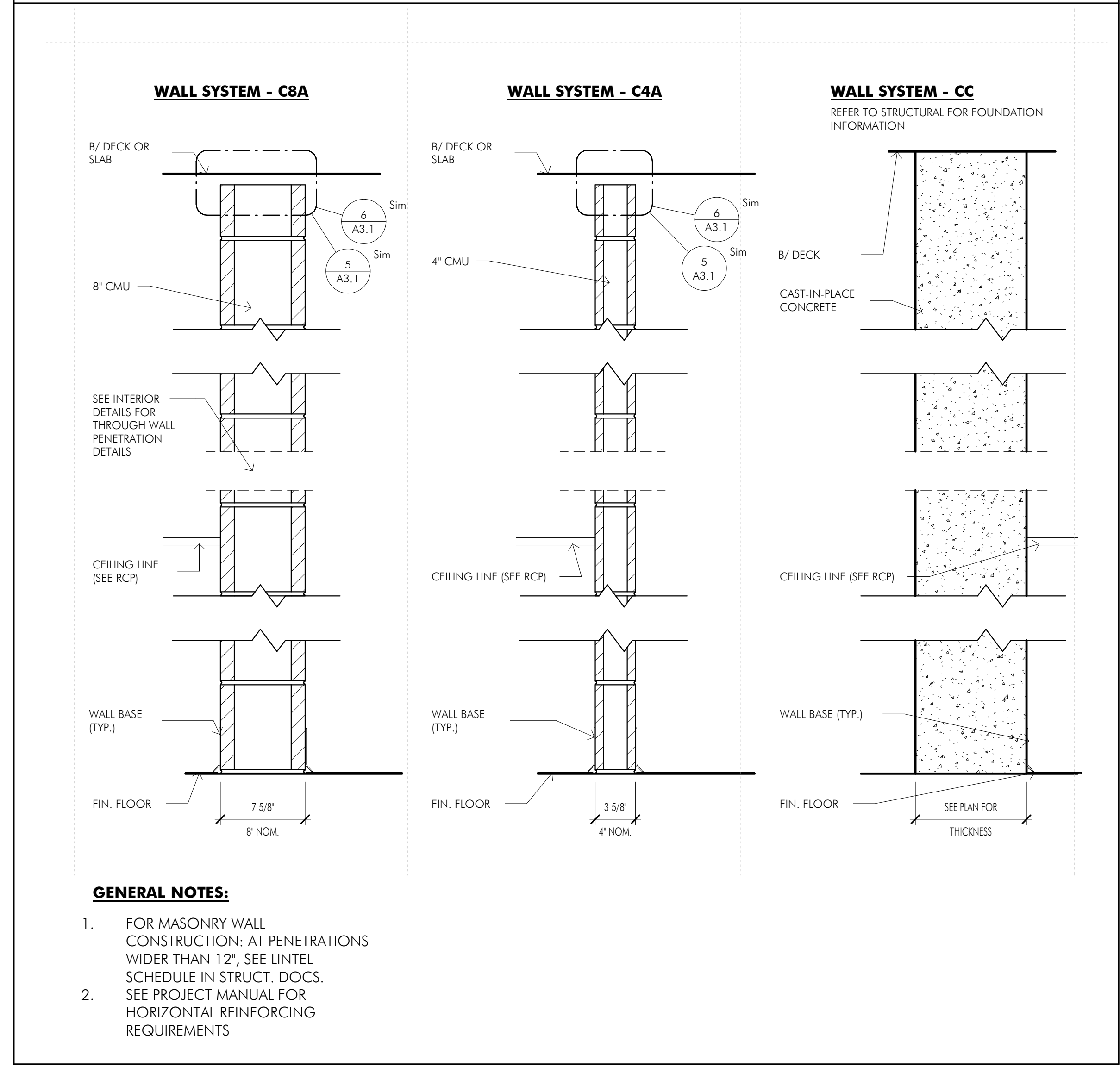
ISSUED FOR BID

REVISIONS	
No.	Date
AD1	09/09/2024

Project Number:
23170
Issue Date:
Issue Date
Drawn by:
AKN
Sheet Title:
PARTIAL FLOOR PLANS
Sheet Number:

A1.1

PARTITION TYPE SCHEDULE



GENERAL NOTES

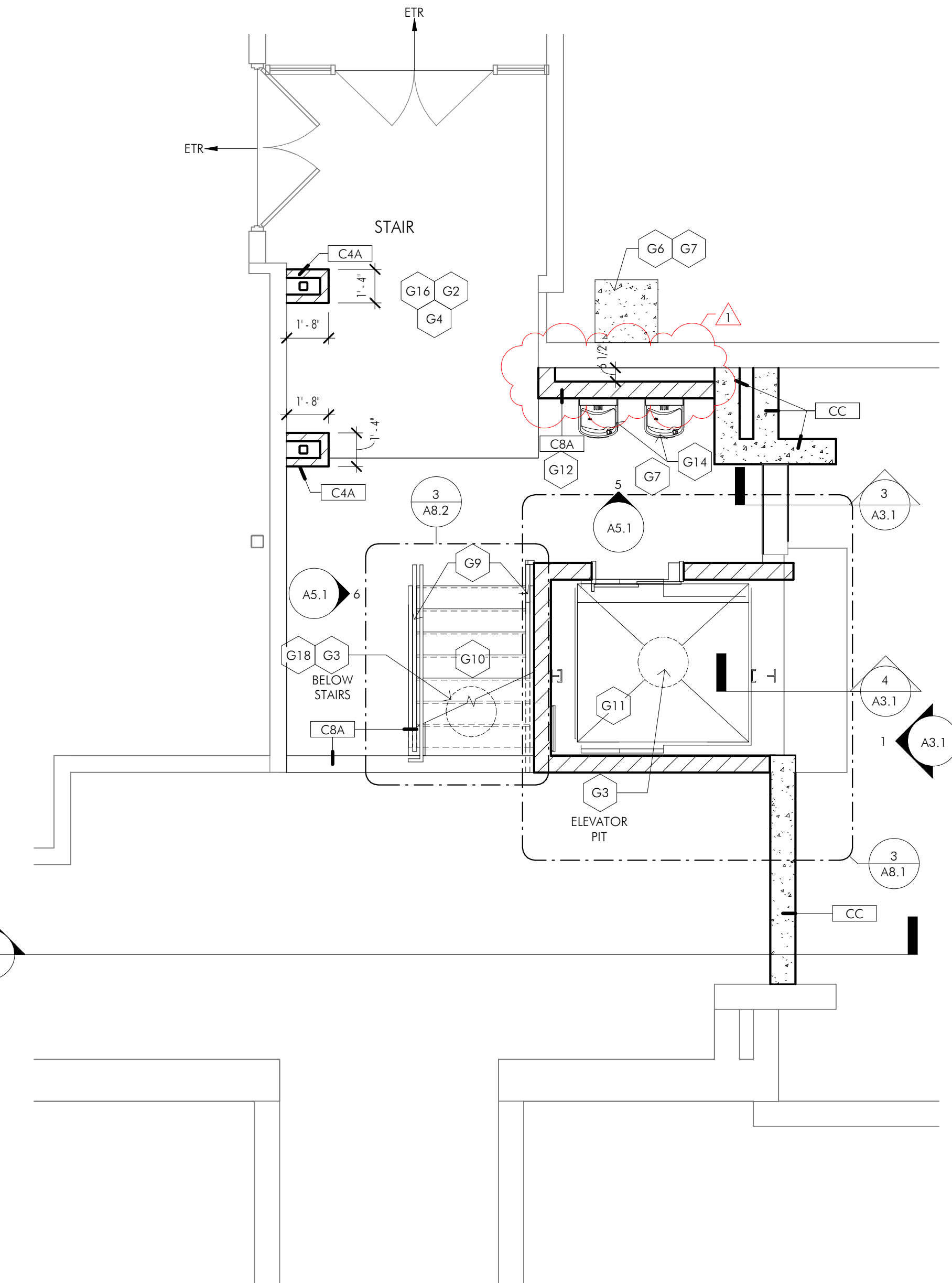
- FURNISH AND INSTALL INTERIOR WALL PARTITIONS AND SOFFITS (AS SHOWN ON FLOOR PLAN AND REFLECTED CEILING PLANS). SEE PARTITION TYPE SCHEDULE FOR MORE INFORMATION - SHEET A1.1.
- CONTRACTOR SHALL RECEIVE CLARIFICATION FROM ARCHITECT PRIOR TO BIDDING FOR ANY WALL CONSTRUCTION THAT IS NOT NOTED ON THE DRAWINGS.
- FRAMING CONTRACTOR SHALL REFER TO MEP DOCUMENTS AND COORDINATE WITH MECHANICAL, PLUMBING AND ELECTRICAL CONTRACTORS FOR RUGH-IN REQUIREMENTS.
- CONTRACTOR SHALL REINFORCE AND BRACE ALL WALLS AND SOFFITS AS NECESSARY TO STABILIZE WALLS/SOFFITS.
- ALL PENETRATIONS THROUGH FIRE RATED WALL ASSEMBLIES MUST MAINTAIN THE FIRE RATING REQUIREMENTS.
- PATCH ALL EXISTING WALLS TO REMAIN TO MATCH FINISH LEVEL OF NEW WALLS IN AREA OF WORK.
- AT ALL WALL TYPES CONTRACTOR SHALL FURNISH AND INSTALL WOOD BLOCKING FOR ALL ITEMS INCLUDING BUT NOT LIMITED TO NEW DOOR STOPS, MONITORS, PLUMBING ITEMS NOT SUPPORTED BY STEEL CARRIERS, ETC.
- BLOCK COURSE(S) TO MATCH EXISTING COURSE(S) HEIGHTS
- PATCH TOOTH-IN INFILL ALL WALLS THAT HAVE MEP PENETRATIONS DUE TO WORK

PARTITION NOTES

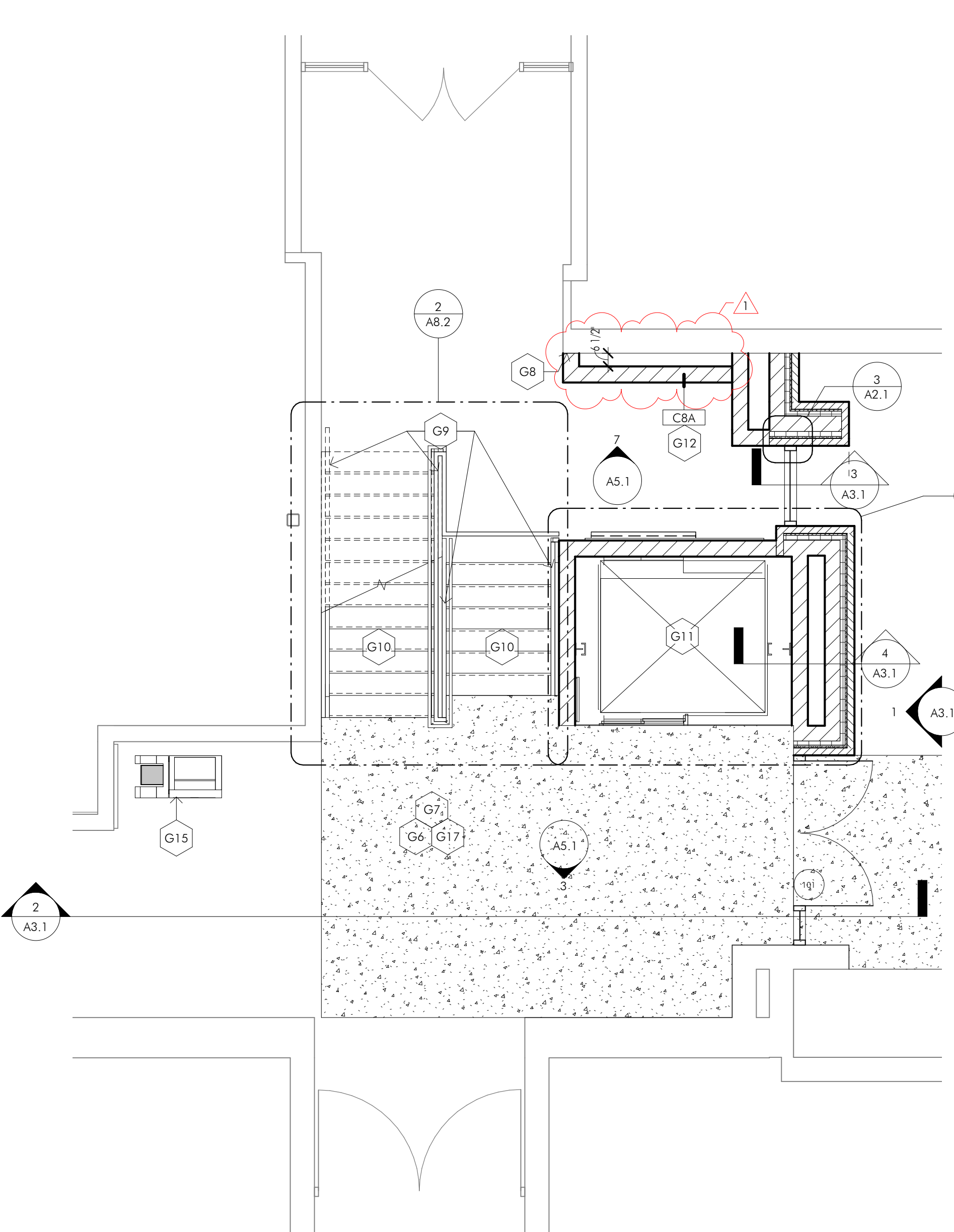
- ALL MASONRY PARTITION TO BE C8A, U.N.O.
- ALL PARTITIONS TO RECEIVE 4" VINYL COVE BASE, U.N.O. REFER TO FINISH SCHEDULE, A9.0
- ALL PARTITIONS TO GO TO UNDERSIDE OF STRUCTURE ABOVE (INCLUDING GYPSUM BOARD), U.N.O.
- SEAL ALL PENETRATIONS, JOINTS, SIDES, TOP AND BOTTOM OF PARTITIONS WITH ACOUSTIC SEALANT, OR WITH FIRE RATED SEALANT AND FIRE RATED SAHNG MATERIALS, IF RATED.
- POWER/DATA BOXES IN METAL FRAMED WALLS SHALL HAVE AN ADDITIONAL LAYER OF 5/8" TYPE X GYPSUM BOARD INSTALLED BEHIND THE BOXES. BOXES ON OPPOSITE SIDES OF WALLS SHALL BE OFFSET IN SEPARATE STUD CAVITIES (NOT BACK TO BACK).
- PROVIDE BLOCKING IN WALLS WHERE WALL MOUNTED EQUIPMENT IS LOCATED.
- ALL EXPOSED CORNERS OF CONCRETE BLOCK SHALL BE BULL-NOSSED UNLESS NOTED OTHERWISE.
- ACTUAL AND MUST BE LAID OUT AS SUCH. COORDINATE "CLEAR" DIMENSIONS AS SUCH ALL NEW MASONRY WALLS ARE DIMENSIONED NOMINALLY (I.E. 8" IN LIEU OF 7.5/8" ACTUAL). ALL DIMENSIONS ARE TO FACE OF MASONRY WALLS. COORDINATE "CLEAR" DIMENSIONS AS SUCH.

SCOPE OF WORK - NEW WORK

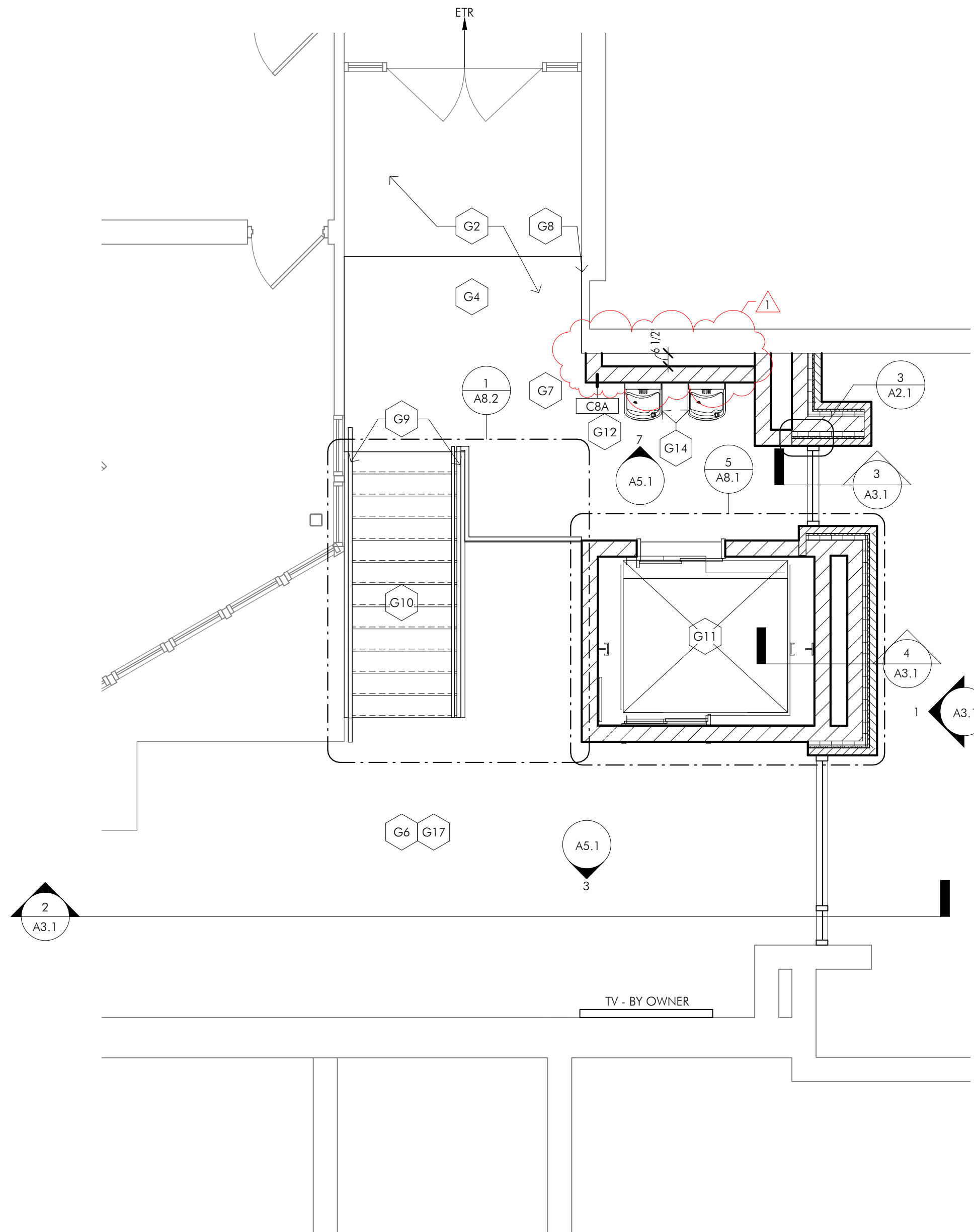
- G1 STAIR GRAPHIC: NOT USED
- G2 FLOORING & BASE: FURNISH & INSTALL NEW FLOORING AND BASE PER FINISH SCHEDULE - SHEET A9.0
- G3 EJECTOR PUMP & PIT: PROVIDE NEW EJECTOR PUMP AND PIT. REFER TO PLUMBING FOR MORE INFORMATION AND COORDINATE WITH ELEVATOR.
- G4 PAINTING (WALLS): FURNISH AND INSTALL PRIMER AND TWO COATS (MIN.) OF FINISH PAINT ON ENTIRE ROOM, FROM FLOOR TO 1'-0" (MIN.) ABOVE CEILING HEIGHT ON ALL NEW WALLS, NEW AND EXISTING GYP. BD., SOFFITS, AND ALL EXISTING WALLS WITHIN ROOM AS SHOWN ON THE FINISH SCHEDULES.
- G5 PAINTING (MATCHING): FURNISH AND INSTALL PRIMER AND TWO COATS (MIN.) OF FINISH PAINT ON CORRIDOR WALL WHERE PATCHING/INFILLING OCCURRED. PAINT COLOR TO MATCH EXISTING CORRIDOR PAINT; CONTACT OWNER TO PROVIDE EXISTING PAINT
- G6 FLOORING (PATCHING): PATCH EXISTING FLOORING AS NECESSARY DUE TO CONSTRUCTION. MATCH EXISTING ADJACENT FLOORING COLOR & TYPE
- G7 CONCRETE SLAB: NEW CONCRETE SLAB AS REQUIRED FOR NEW CONSTRUCTION. REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION
- G8 WALL PATCH: PATCH AND REPAIR EXISTING WALL AFTER DEMO TO MATCH ADJACENT SURROUNDING CONSTRUCTION, COURSING, AND FINISHES. PREPARE WALL FOR NEW FINISHES. SEE FLOOR AND FINISH FLOOR PLAN FOR MORE INFORMATION
- G9 NEW RAILING: FURNISH & INSTALL NEW RAILING - SEE RAILING DETAILS ON SHEET AB.3. MATCH EXISTING RAILING CONSTRUCTION, SIZE, PROFILE, AND COLOR.
- G10 NEW STAIR NOSING: WHERE INDICATED FURNISH AND INSTALL NEW STAIR NOSING COMPLETE.
- G11 NEW ELEVATOR: FURNISH & INSTALL NEW ELEVATOR. REFER TO SHEET AB.1
- G12 NEW MASONRY PARTITION: FURNISH AND INSTALL NEW PARTITION. SEE PARTITION TYPE LEGEND FOR MORE INFORMATION
- G13 STOREFRONT: NOT USED
- G14 DRINKING FOUNTAIN: PROVIDE NEW DRINKING FOUNTAINS.
- G15 PRINTER: RELOCATE EXISTING PRINTER. REFER TO ELECTRICAL FOR MORE INFORMATION
- G16 CEILINGS: FURNISH AND INSTALL NEW CEILING SYSTEM. REFER TO RCP AND ELECTRICAL FOR MORE INFORMATION.
- G17 CEILING PATCHING: PATCH EXISTING CEILING AS REQUIRED TO MATCH EXISTING ADJACENT.
- G18 UTILITY LIGHT: PROVIDE UTILITY LIGHT UNDER NEW STAIR FOR ACCESS TO EJECTOR PIT.



1 PARTIAL LOWER LEVEL PLAN
1/4" = 1'-0"



2 PARTIAL FIRST FLOOR PLAN
1/4" = 1'-0"



3 PARTIAL UPPER FLOOR PLAN
1/4" = 1'-0"

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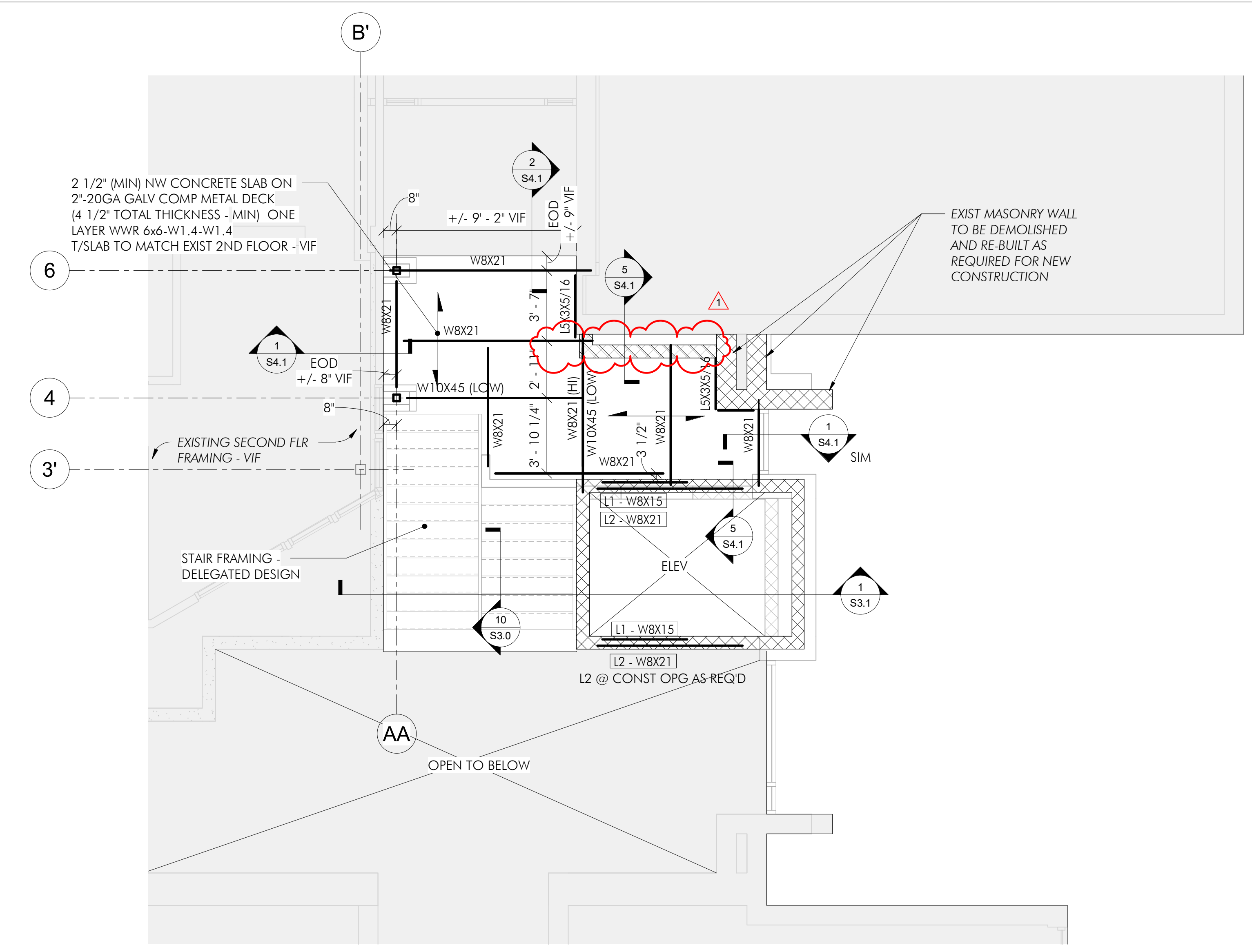
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August 30, 2024

Drawn by:
JMP

Sheet Title:
PARTIAL FOUNDATION PLAN, SECOND FLOOR & ROOF FRAMING PLANS

Sheet Number:

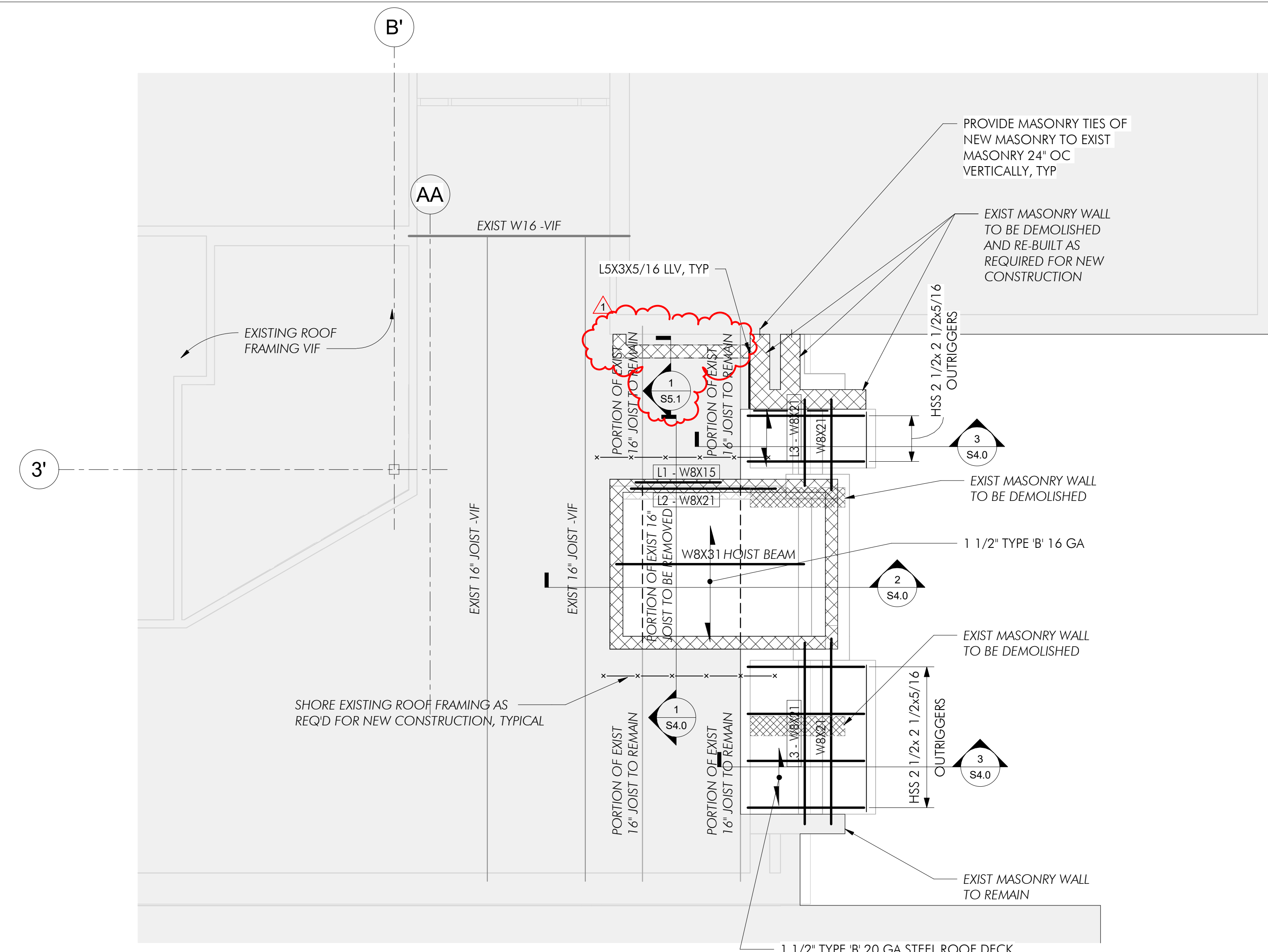
S1.1



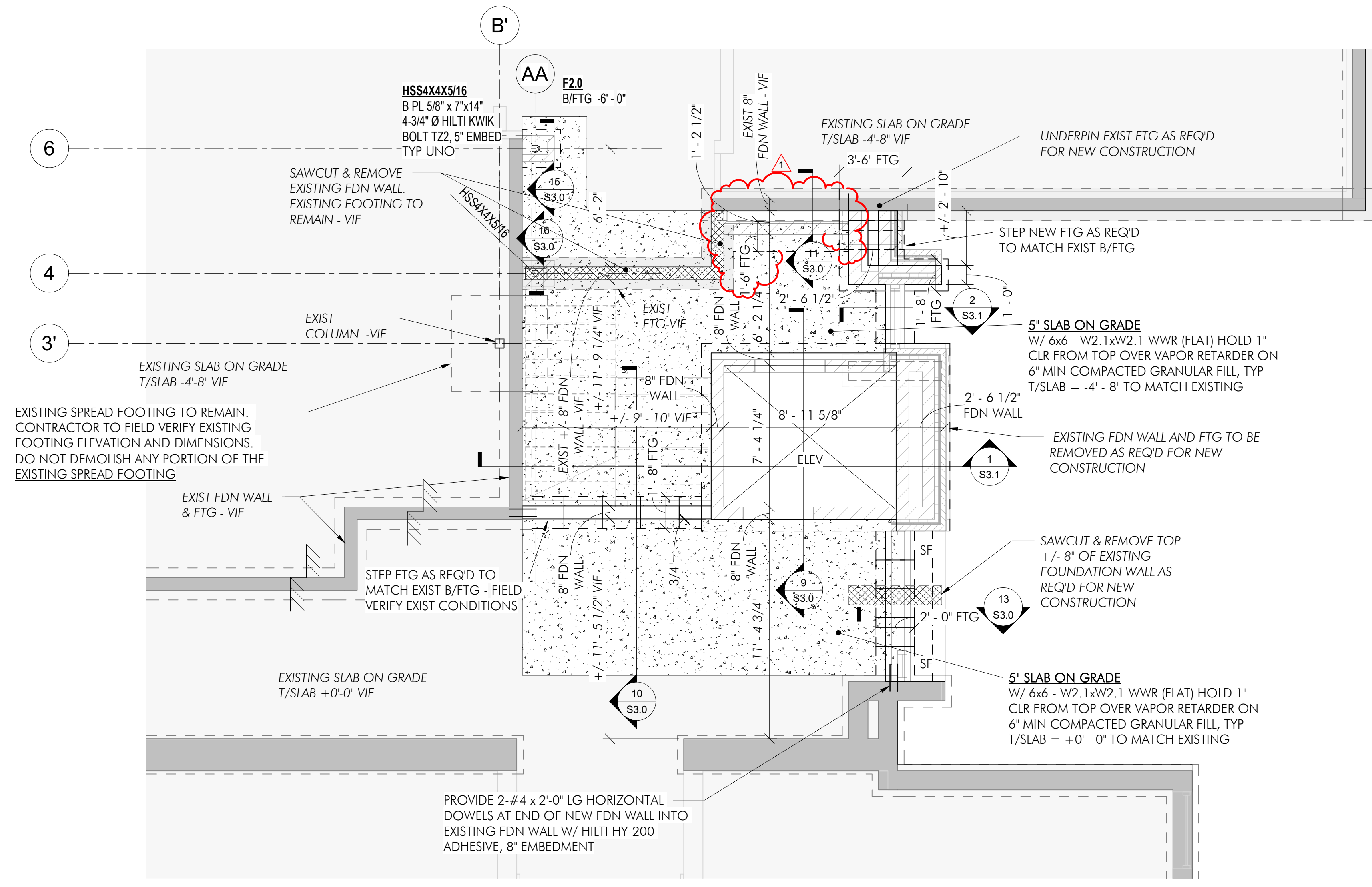
2 SECOND FLOOR FRAMING PLAN
1/4" = 1'-0"

CMU NOTES (TYPICAL AT ALL EXTERIOR WALLS AND INTERIOR LOAD BEARING WALLS):

1. TYPICAL EXTERIOR AND LOAD BEARING WALLS TO BE 8" CMU REINFORCED WITH #4 FULL HEIGHT VERTICAL BARS IN 100% GROUTED CORES @ 48" OC, TYP UNO.
2. PROVIDE (1) #4 FULL HEIGHT BAR IN 100% GROUTED CORE AT END/CORNER OF WALLS, EACH SIDE OF A CONTROL JOINT, AND WITHIN 16" OF ALL WALL OPENINGS GREATER THAN 24" WIDE.
3. PROVIDE (1) #4 HORIZ BAR IN 100% SOLID GROUTED BOND BEAM WITHIN 16" OF THE TOP AND BOTTOM OF WALL OPENINGS GREATER THAN 24" WIDE, EXTEND BOND BEAMS 24" MIN BEYOND EDGE OF OPENING.
4. PROVIDE 100% SOLID GROUTED BOND BEAM W/ (2) #4 CONT AT 10FEET MAX ON CENTER AND AT FIRST FULL COURSE BELOW FLOOR AND ROOF DECK BEARING, TYP AROUND PERIMETER OF BUILDING.
5. PROVIDE 100% SOLID GROUTED PARAPET W/ (2) #4 CONT BARS AT TOP COURSE OF WALL, TYP AROUND PERIMETER OF ROOF.
6. ALL CMU WALLS TO HAVE MINIMUM $f_m = 2,000$ PSI



3 ROOF FRAMING PLAN
1/4" = 1'-0"



1 FOUNDATION PLAN
1/4" = 1'-0"

FOUNDATION NOTES:

1. UNLESS NOTED OTHERWISE, BOTTOM OF INTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-0" BELOW FINISHED FLOOR AND BOTTOM OF EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 3'-6" BELOW FINISHED GRADE. THE ELEVATIONS NOTED TO THE BOTTOM OF FOOTINGS WERE DETERMINED AS ACCURATELY AS POSSIBLE. ANY ADJUSTMENT OF FOOTING DEPTHS SHALL BE MADE TO MAINTAIN THE ABOVE MINIMUMS AT NO INCREASE IN CONTRACT PRICE.
2. CONTRACTOR TO LAYOUT CONTROL JOINTS IN SLAB ON GRADE NO MORE THAN 12'-6" OC AND IN PANELS WITH LENGTH TO WIDTH RATIOS NOT EXCEEDING 2:1
3. HOLD DOWN FOUNDATION WALLS 8" AT INTERIOR AND EXTERIOR DOORS, TYP. UNO.
4. SEE ARCH AND ME/P DRAWINGS FOR LOCATIONS OF SLAB AND WALL PENETRATIONS, SEE TYPICAL STRUCTURAL DETAILS FOR ADDITIONAL REINFORCING REQUIREMENTS.

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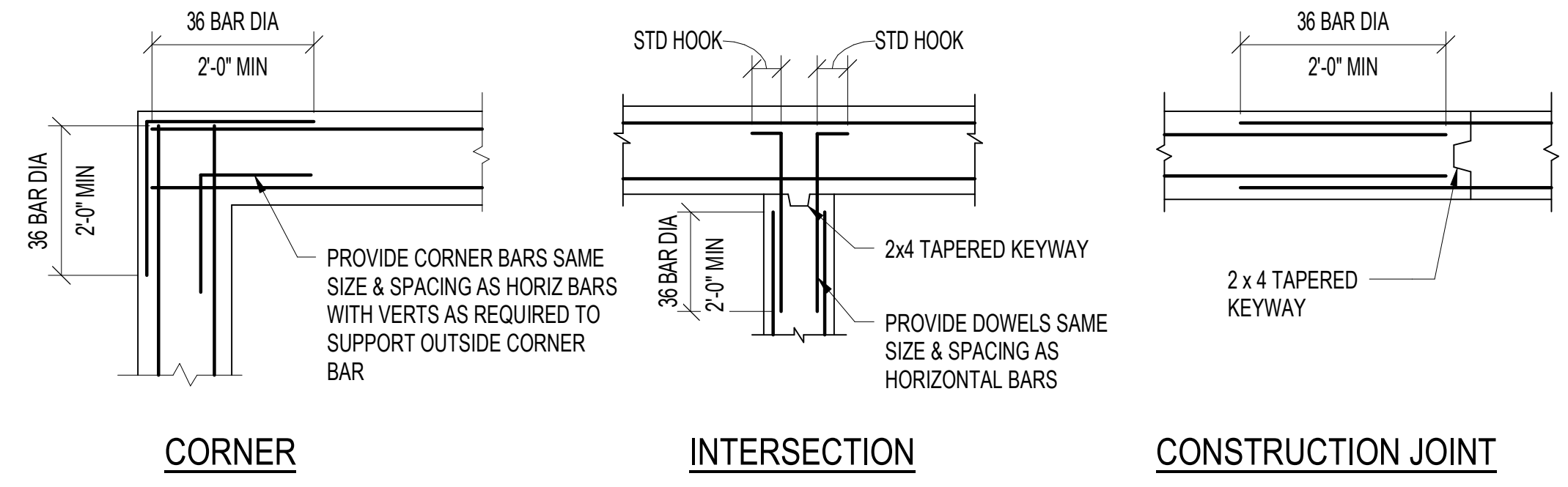
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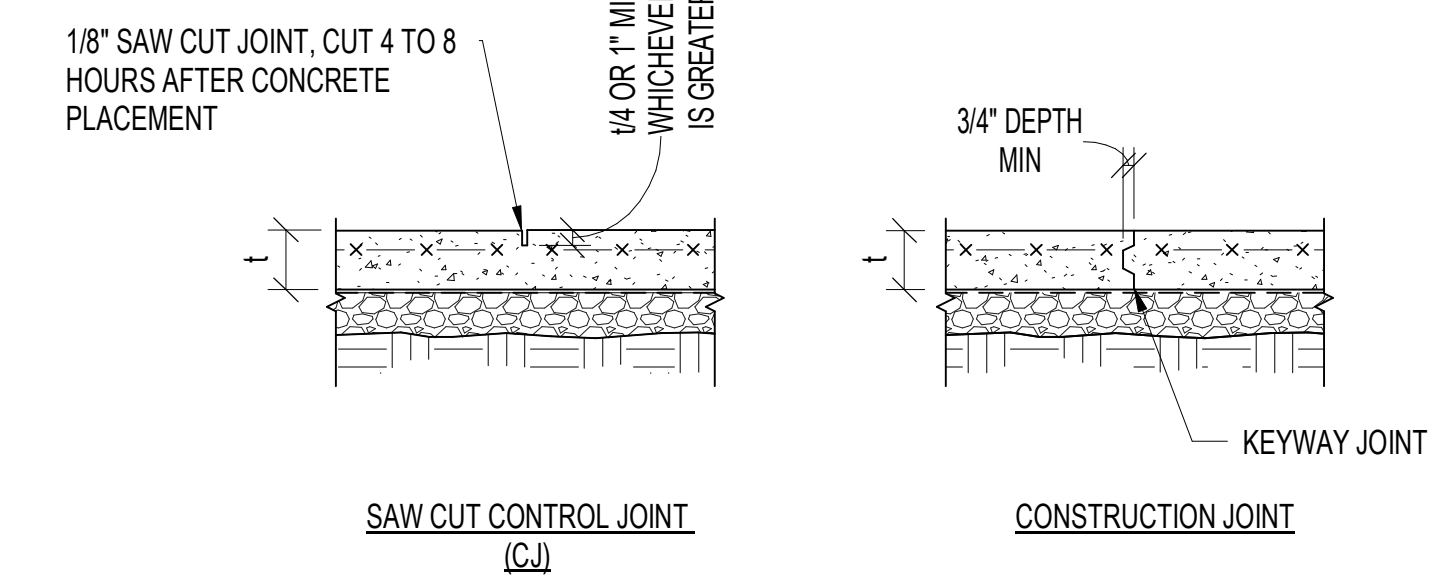
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FOUNDATION DETAILS

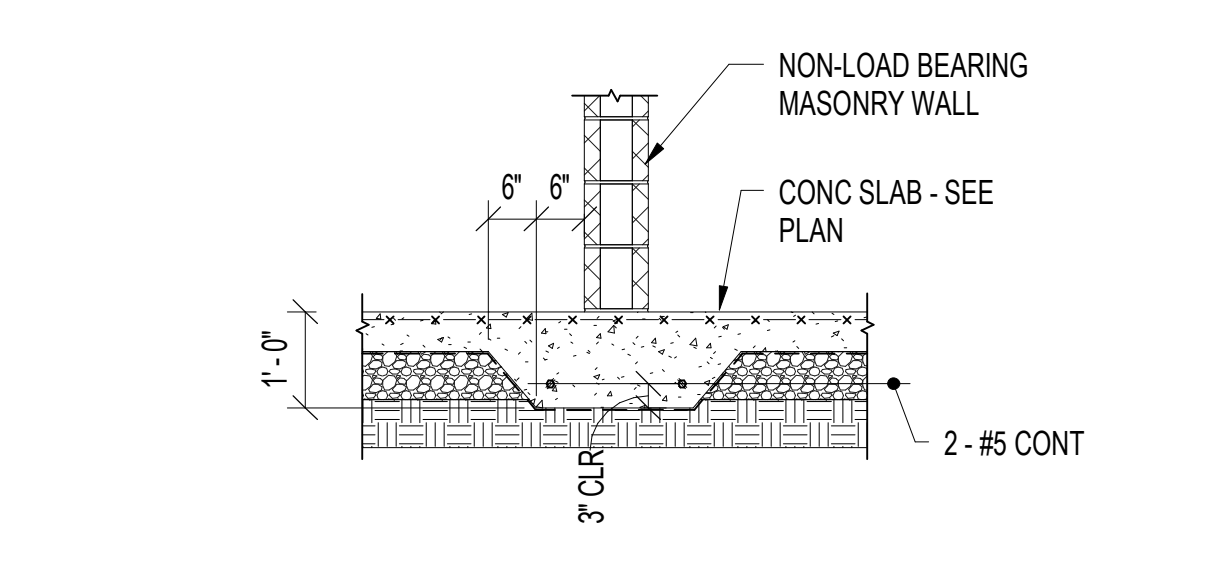
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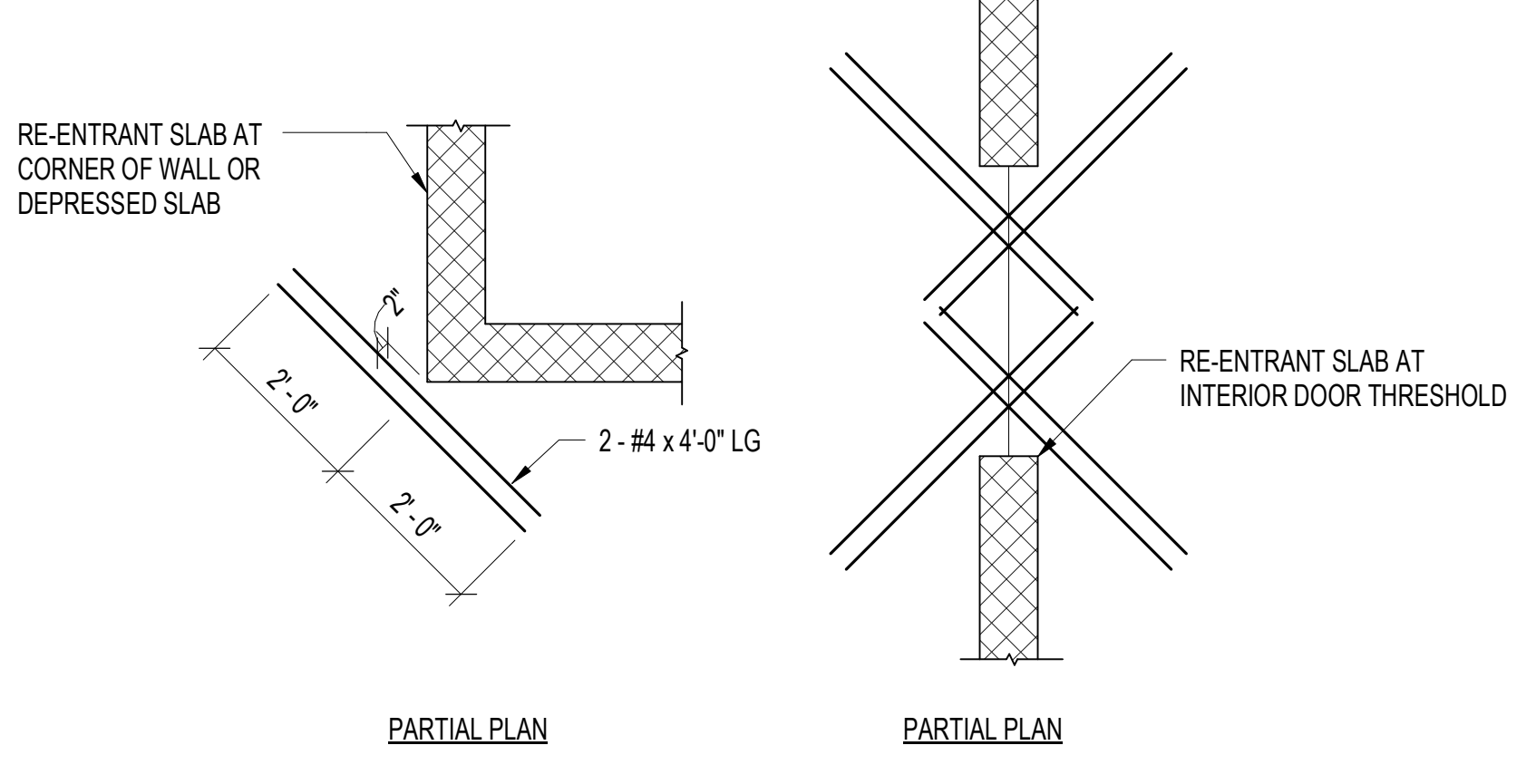
1 TYPICAL WALL REINFORCING
1/2" = 1'-0"



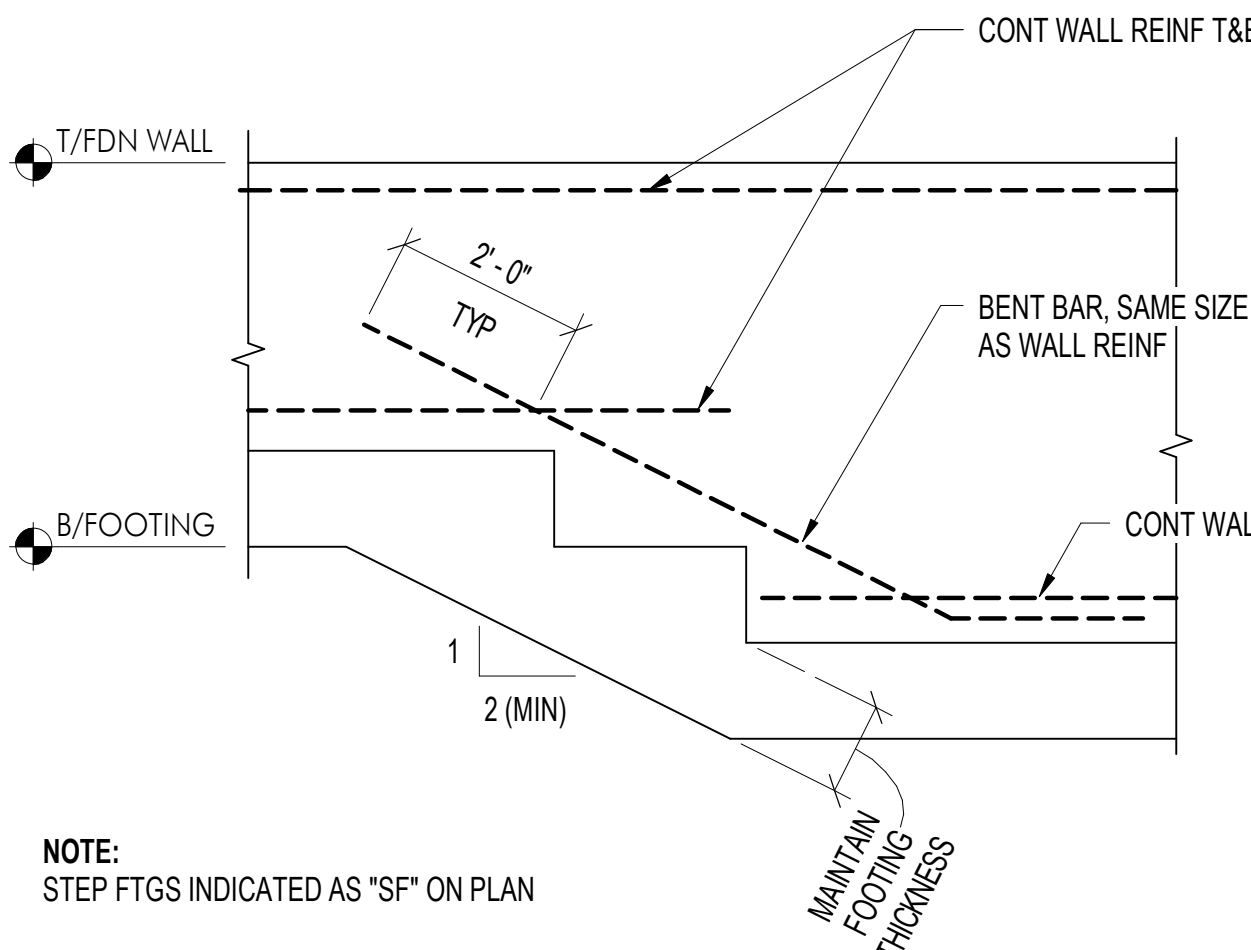
2 SLAB JOINTS
3/4" = 1'-0"



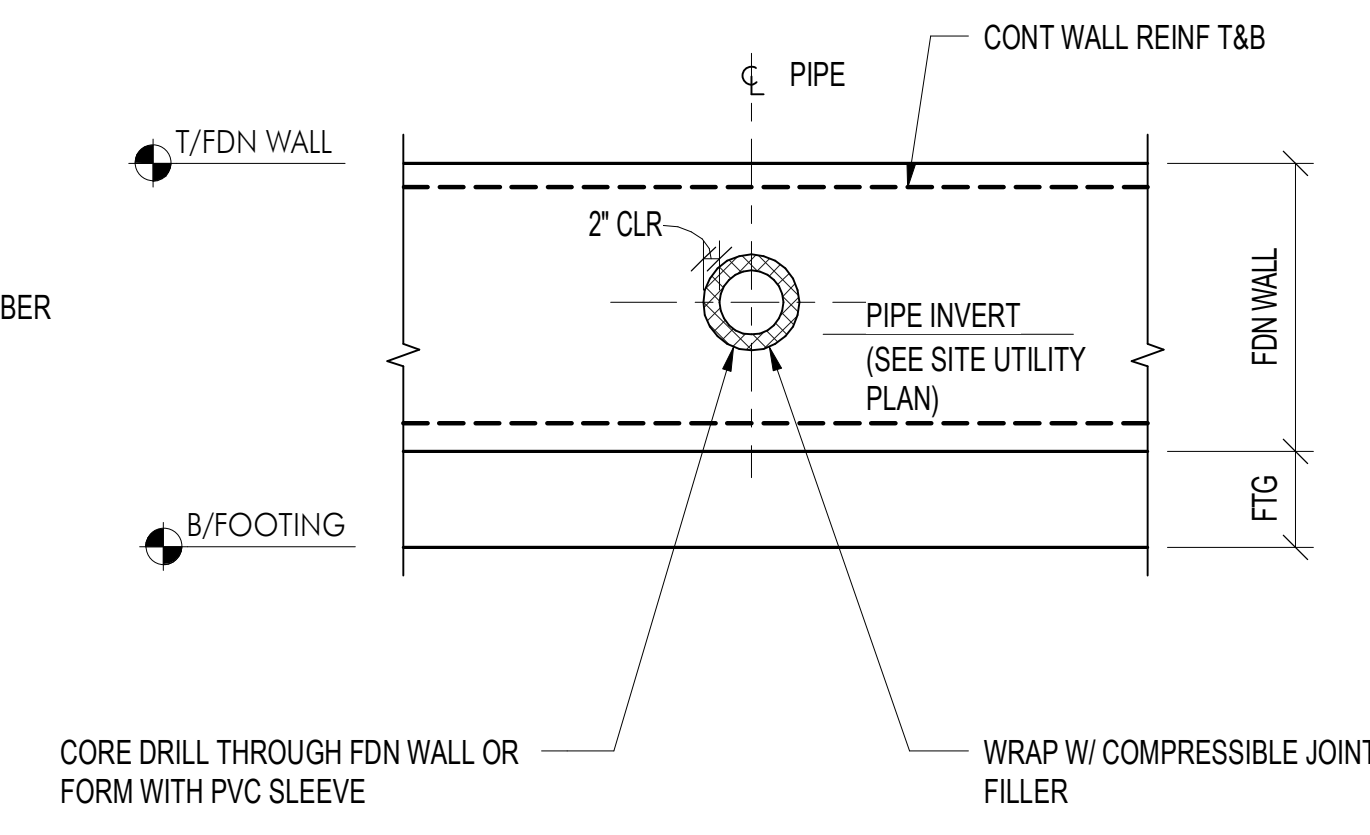
3 THICKENED SLAB DETAIL
1/2" = 1'-0"



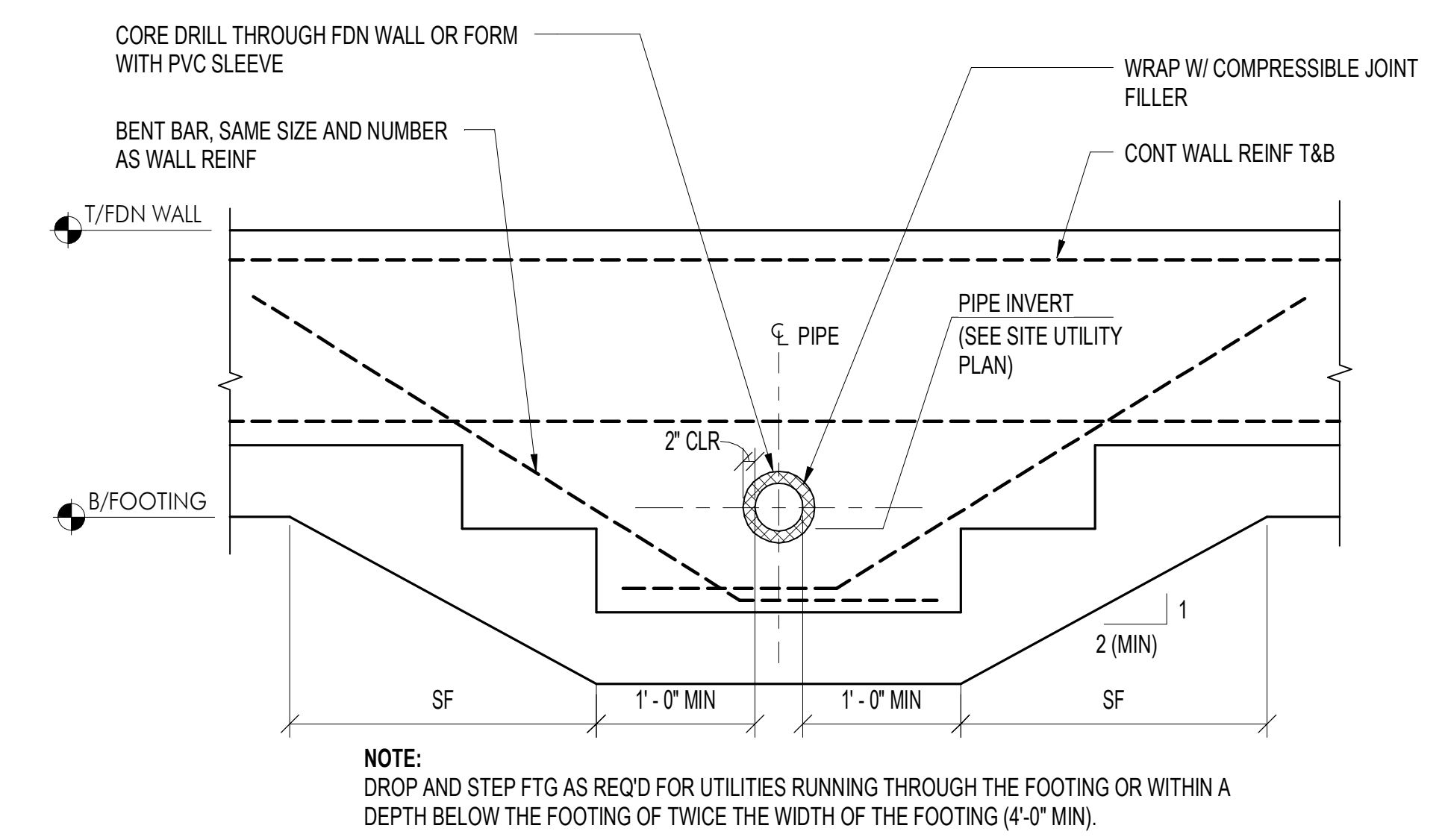
4 SLAB ON GRADE RE-ENTRANT CORNER DETAILS
1/2" = 1'-0"



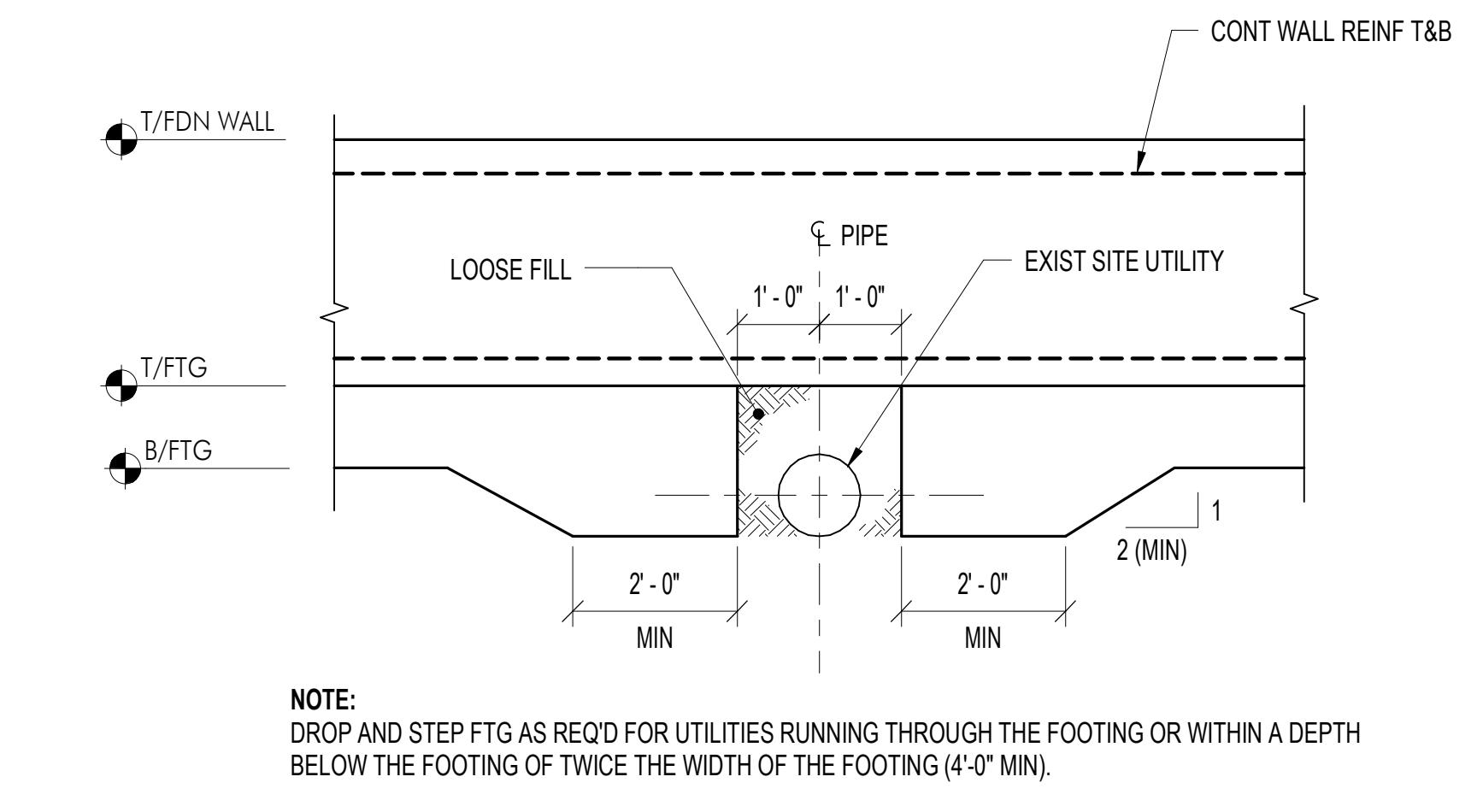
5 TYP STEP FOOTING DETAIL
1/2" = 1'-0"



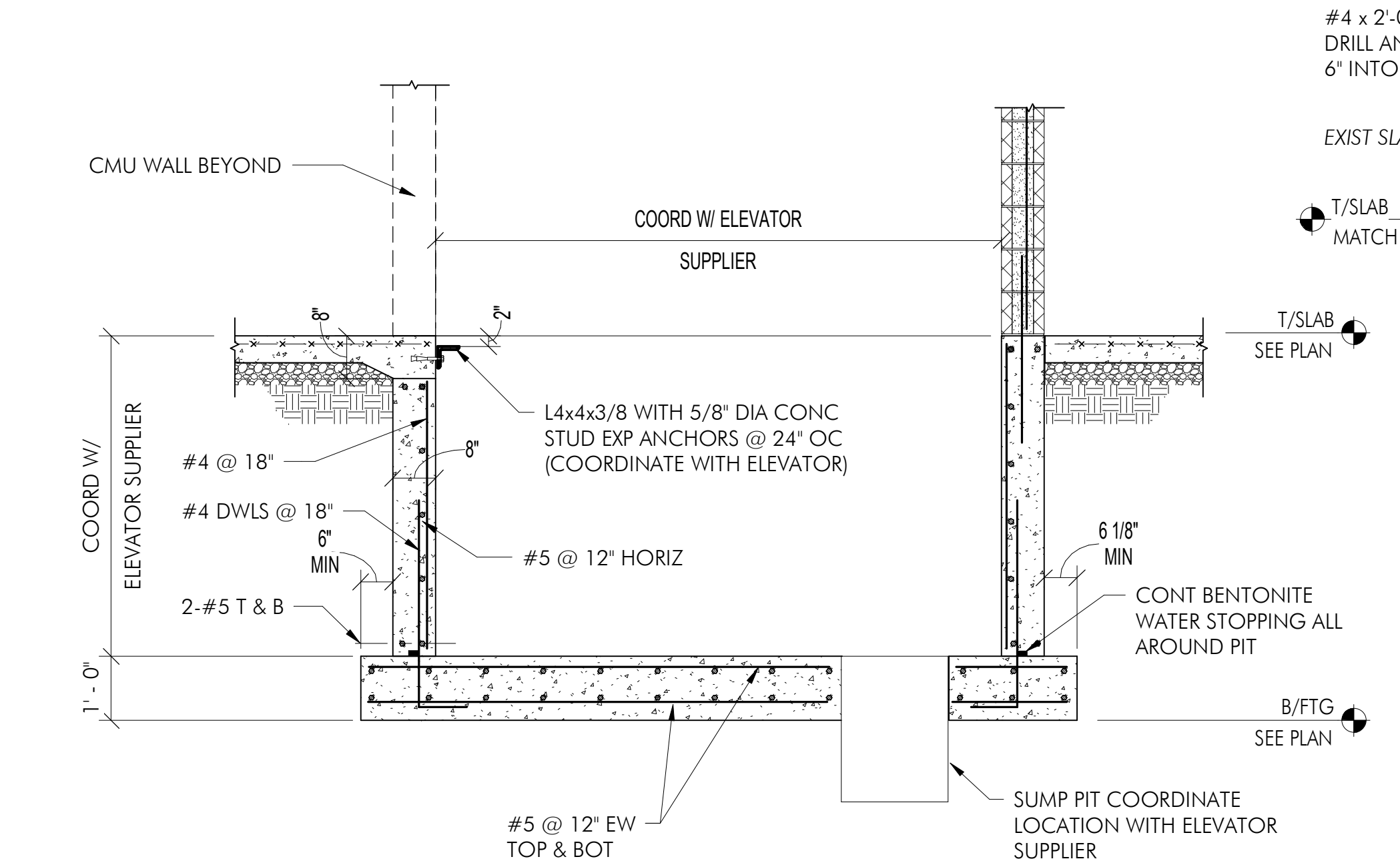
6 DET AT UTILITIES RUNNING THRU FDN WALL
1/2" = 1'-0"



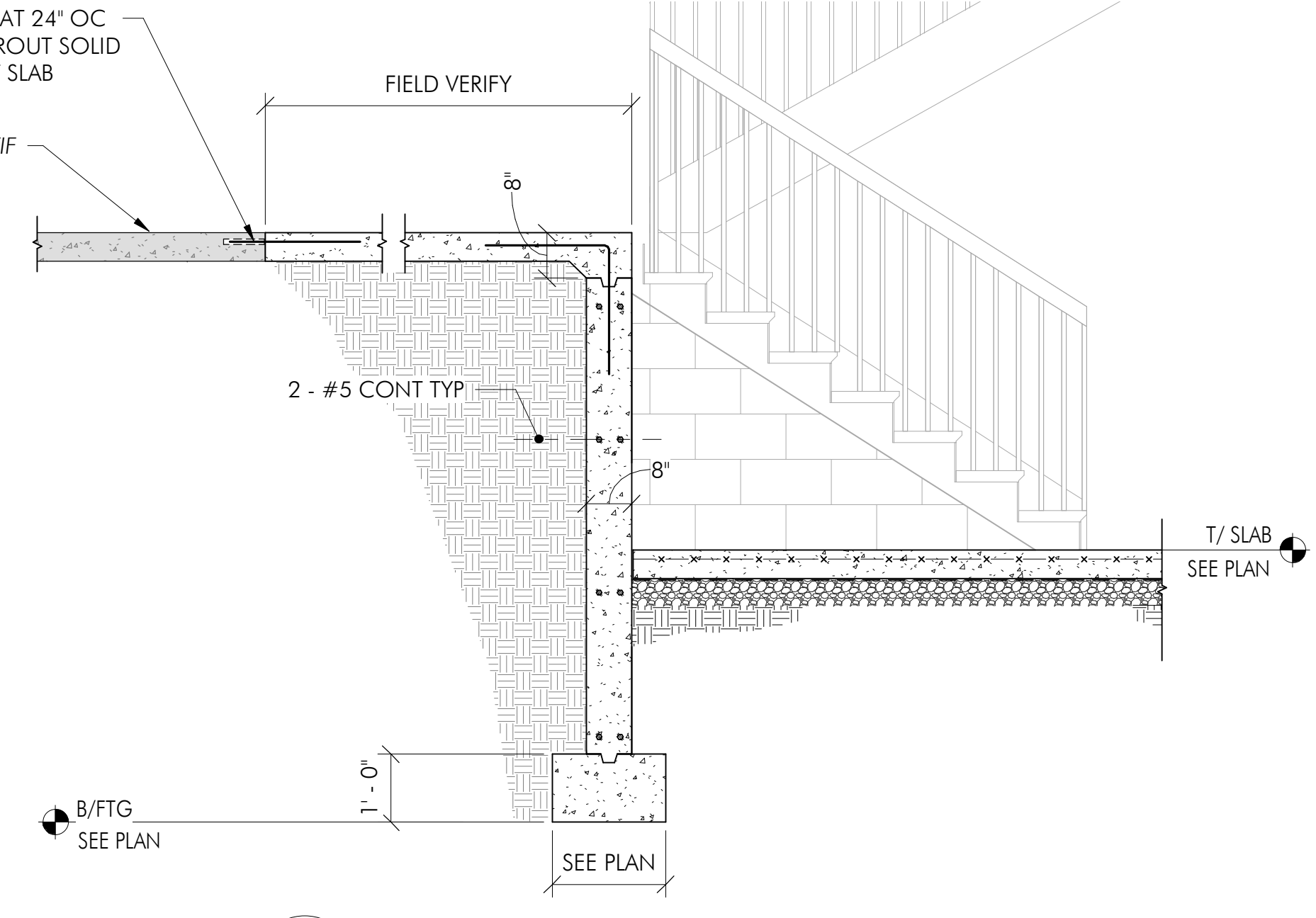
7 DET AT UTILITIES RUNNING THRU OR BELOW FTG
1/2" = 1'-0"



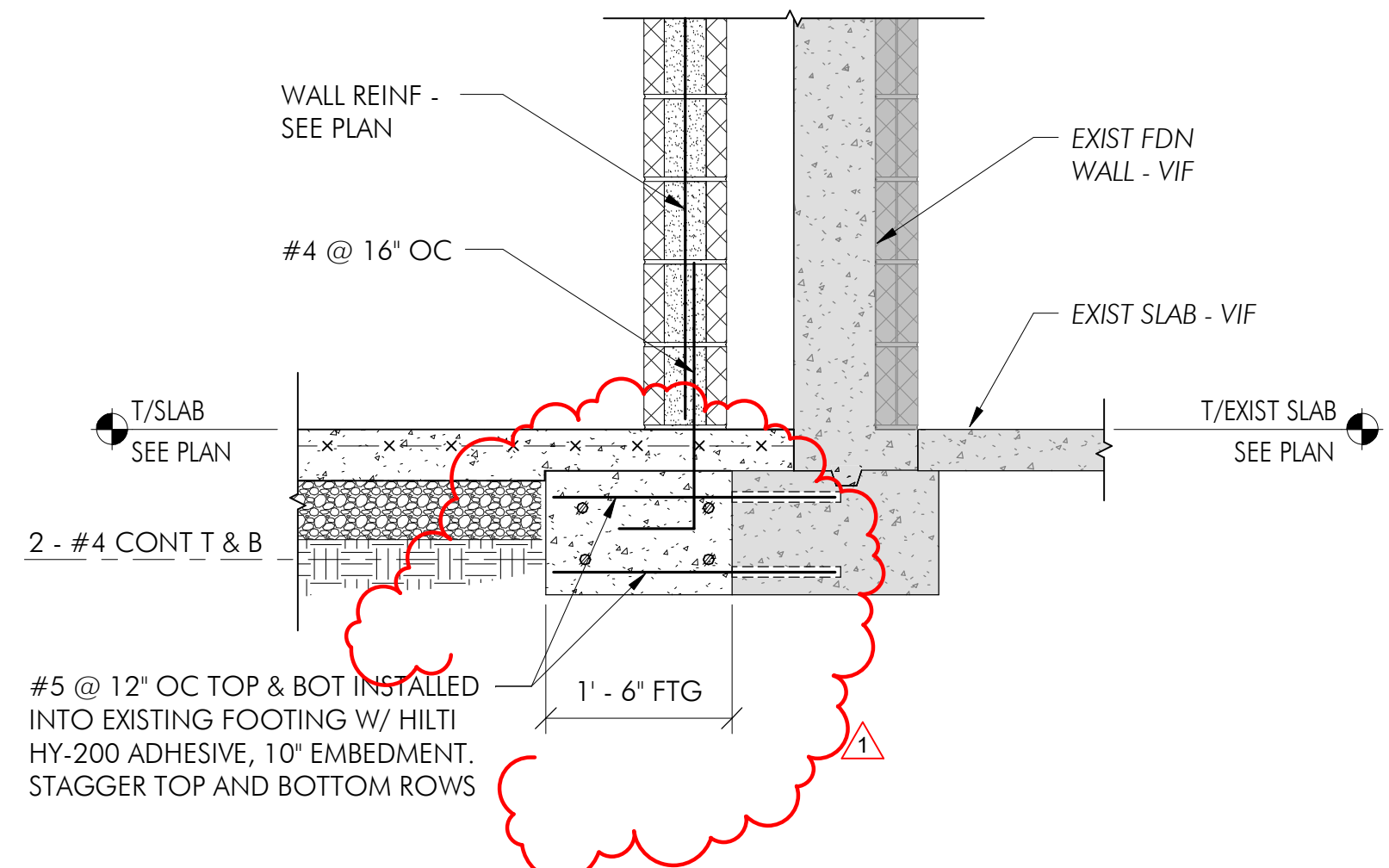
8 DET AT EXIST UTILITY RUNNING THRU OR BELOW FTG
1/2" = 1'-0"



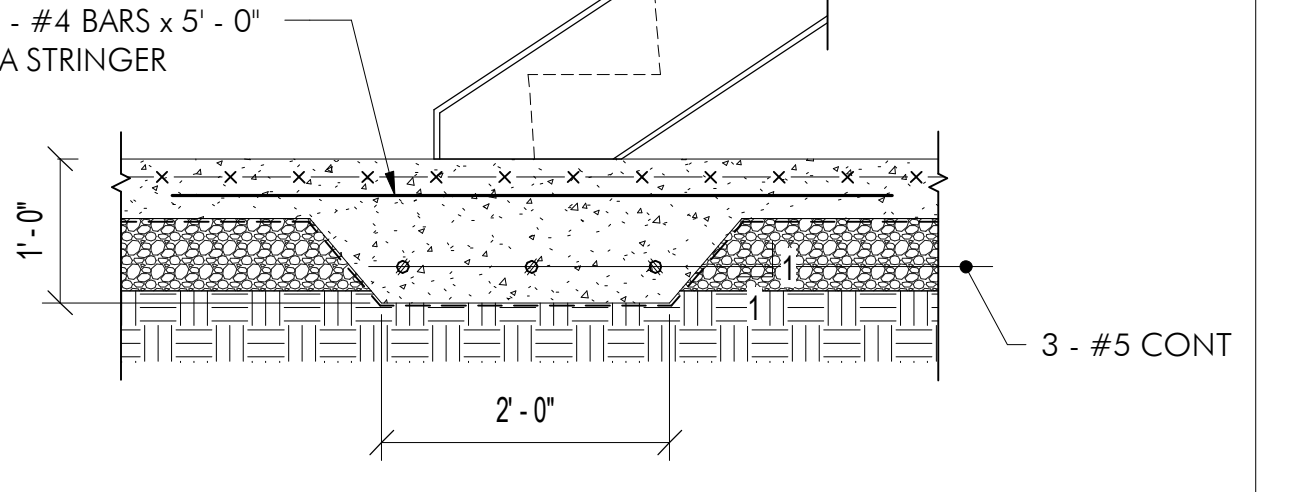
9 TYP ELEVATOR PIT DETAIL
1/2" = 1'-0"



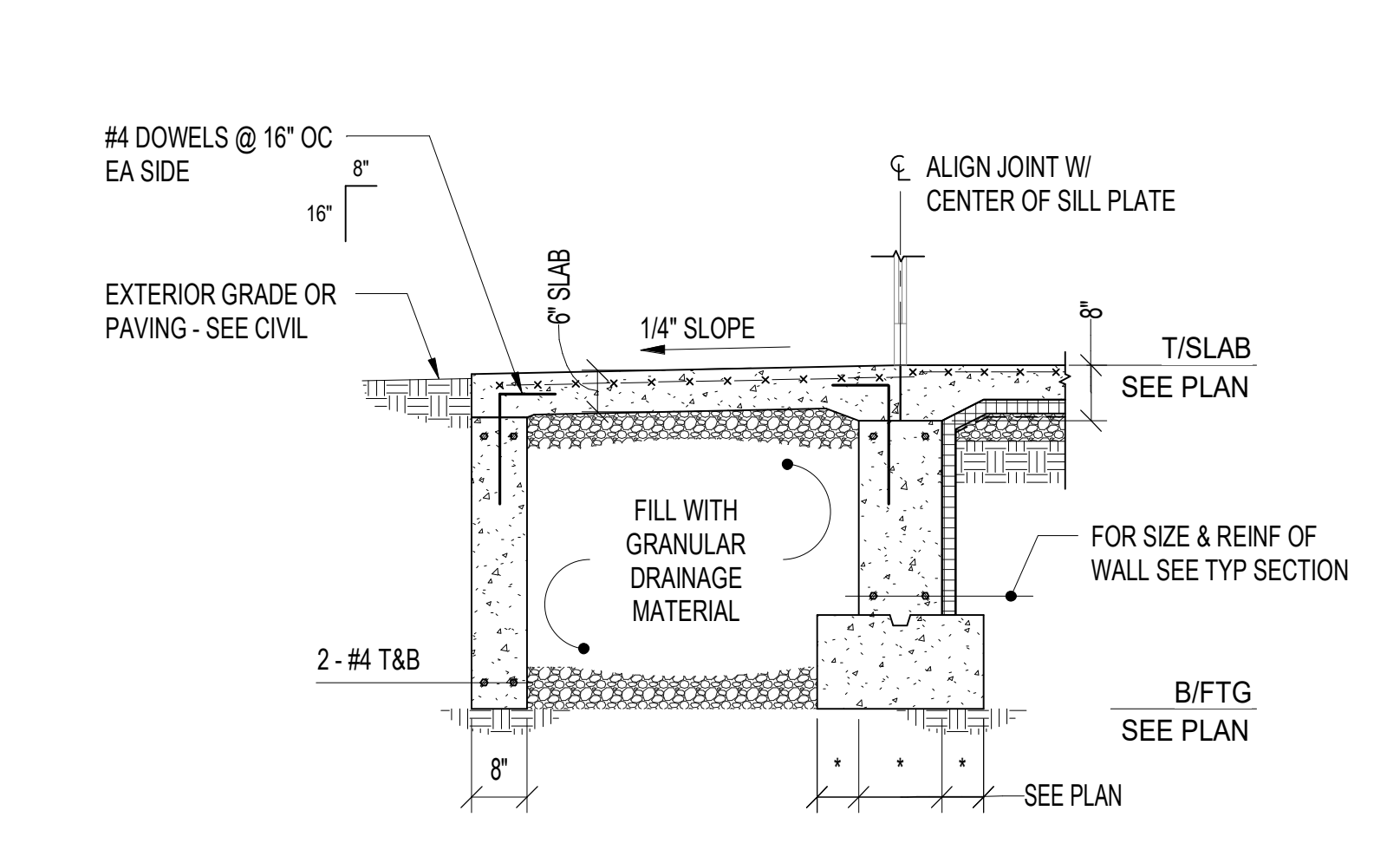
10 SECTION
1/2" = 1'-0"



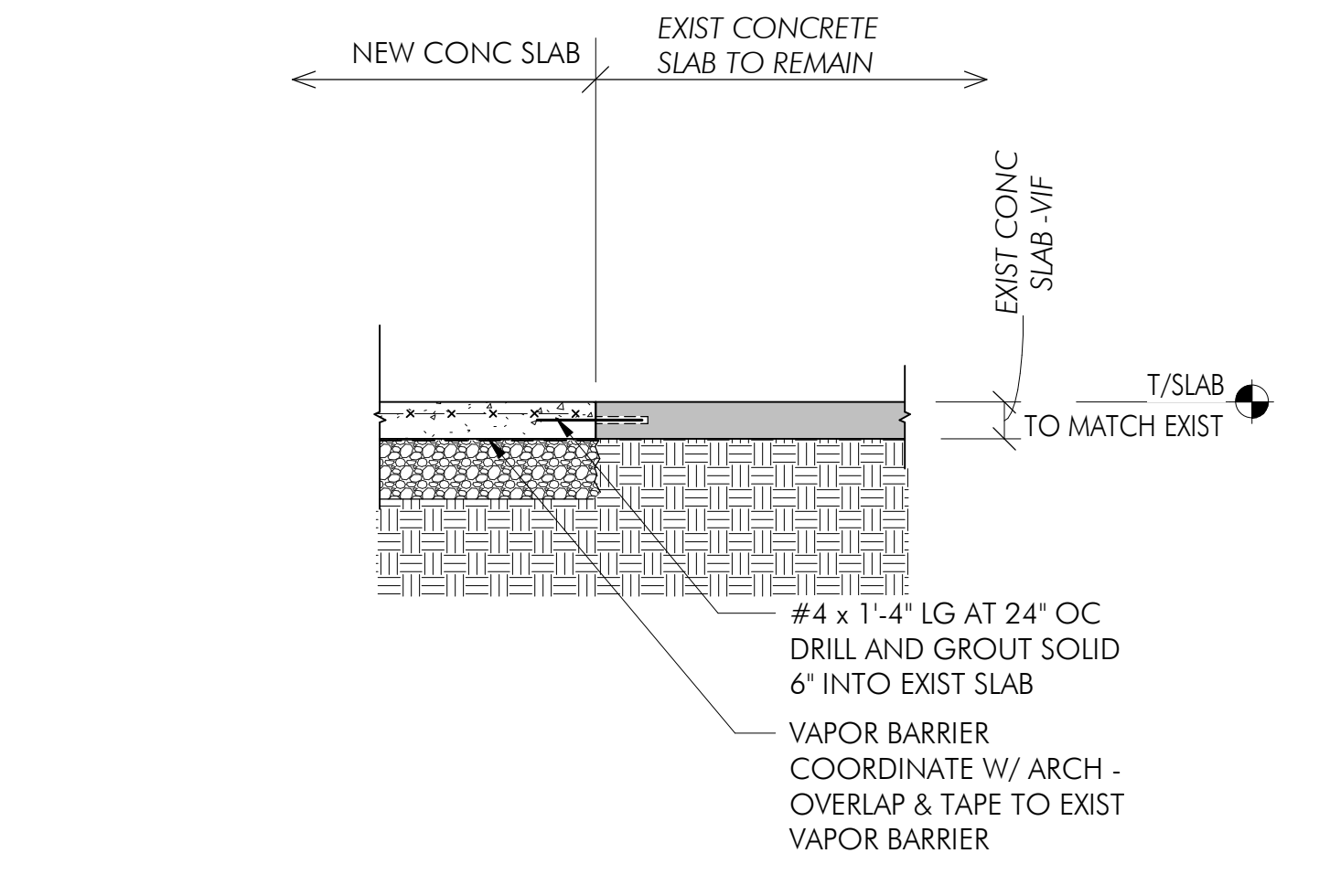
11 SECTION
3/4" = 1'-0"



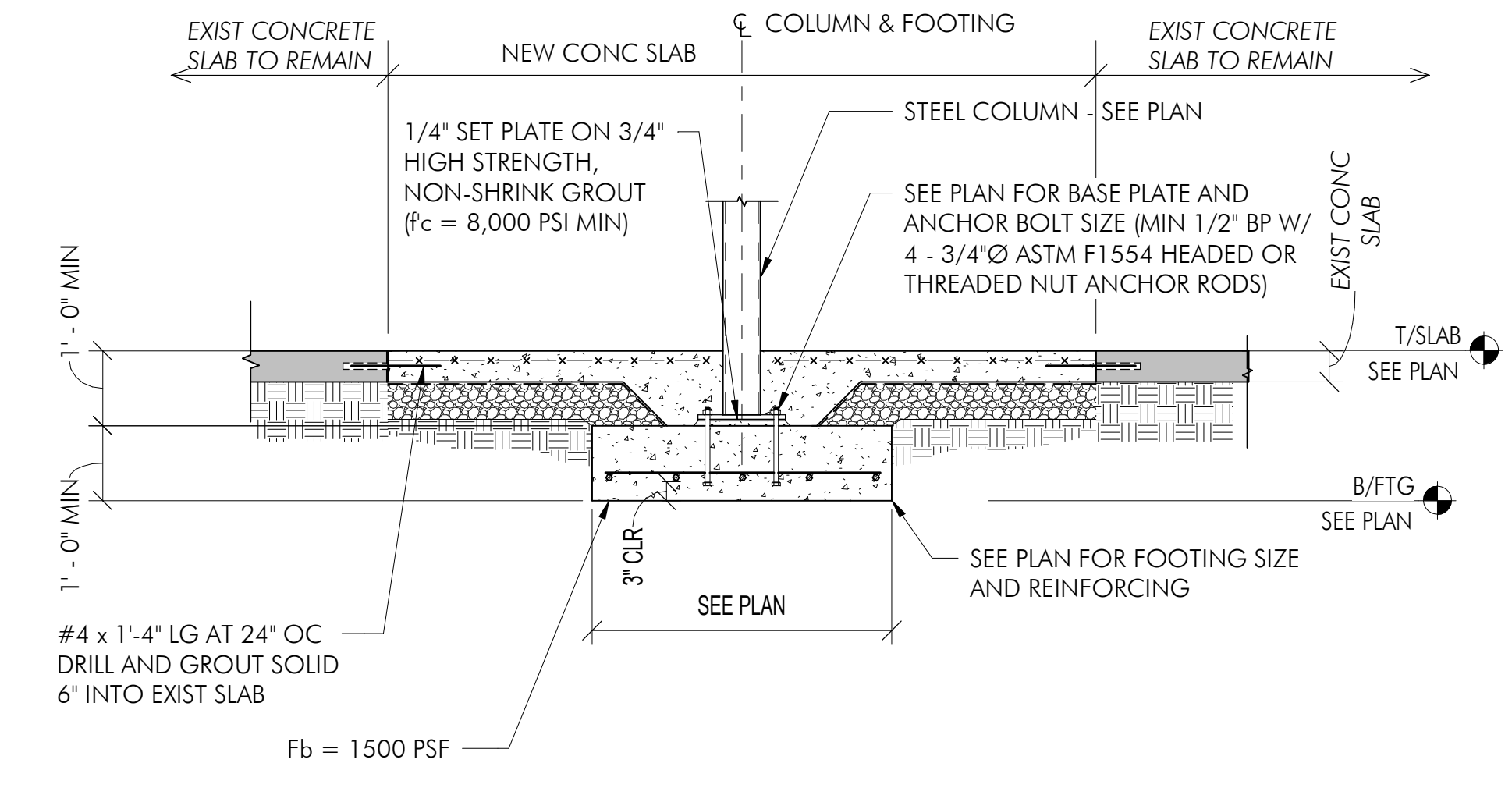
12 THICKENED SLAB DETAIL @ STAIRS
3/4" = 1'-0"



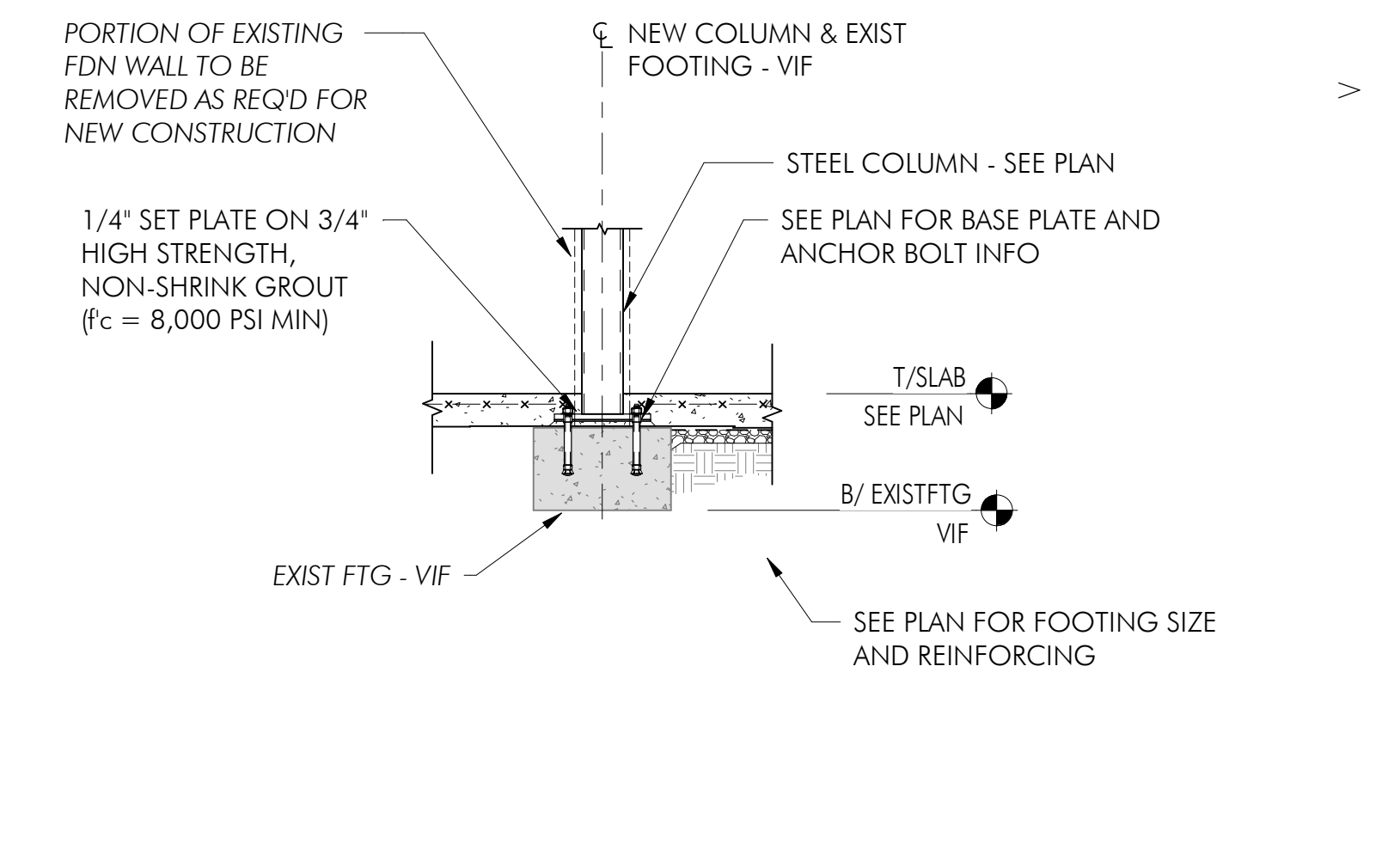
13 TYPICAL STOOP DETAIL
1/2" = 1'-0"



14 TYP SLAB INFILL
1/2" = 1'-0"

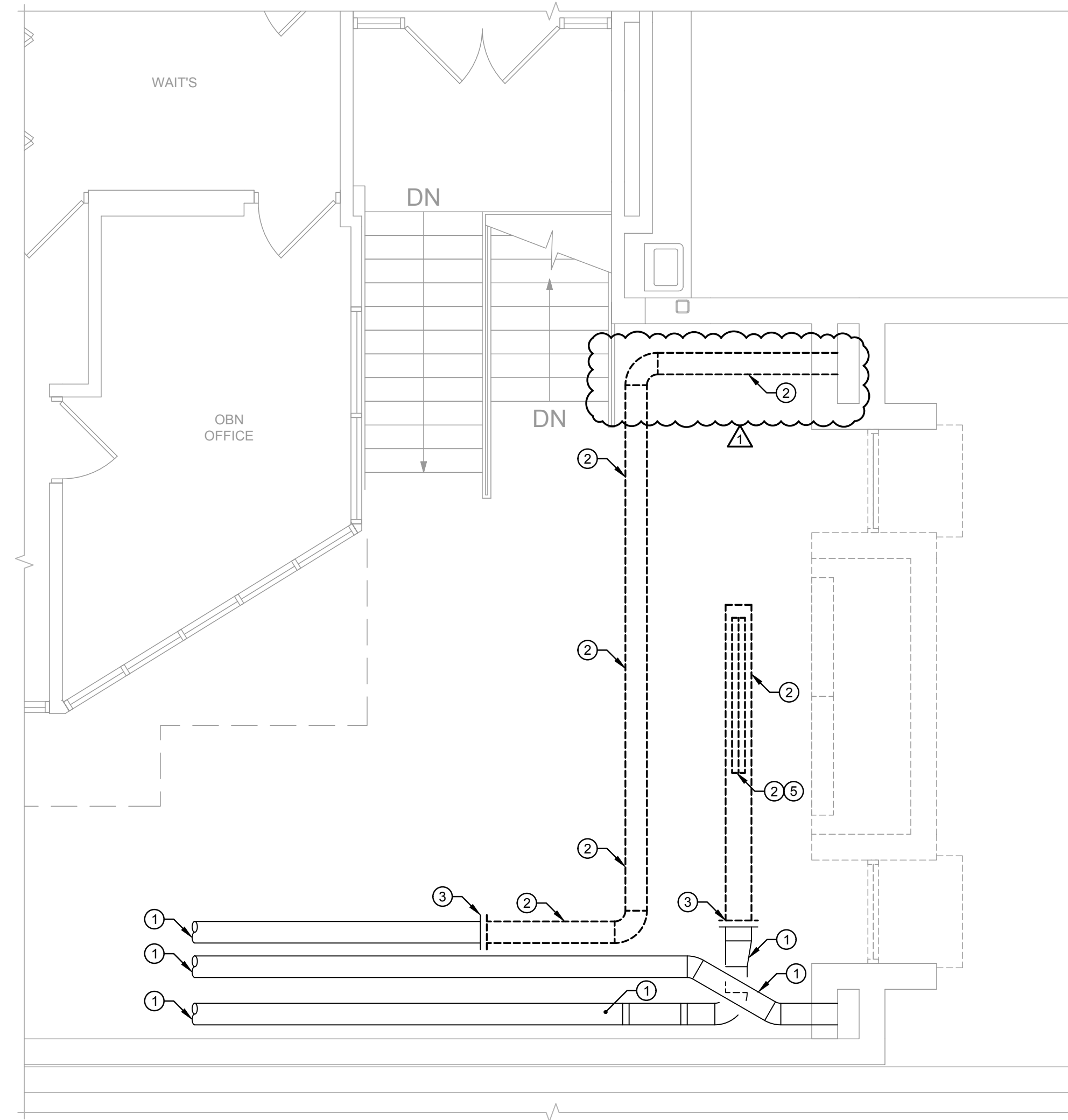


15 DETAIL AT NEW COLUMN FTG
1/2" = 1'-0"

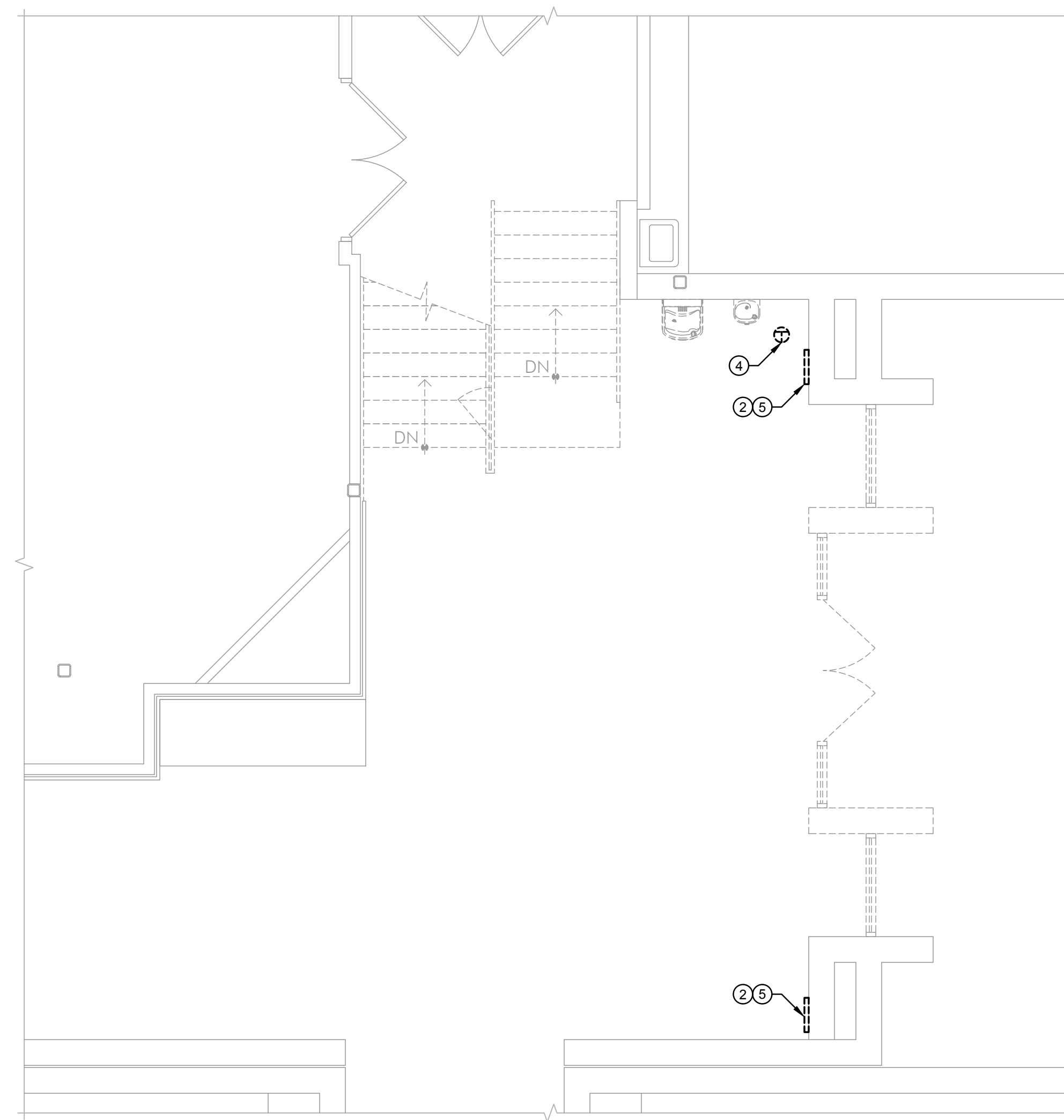


16 DETAIL AT NEW COLUMN ON EXIST FTG
1/2" = 1'-0"

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2 PARTIAL UPPER FLOOR HVAC DEMOLITION PLAN
 1/4" = 1'-0"



1 PARTIAL FIRST FLOOR HVAC DEMOLITION PLAN
 1/4" = 1'-0"

DRAWING NOTES:

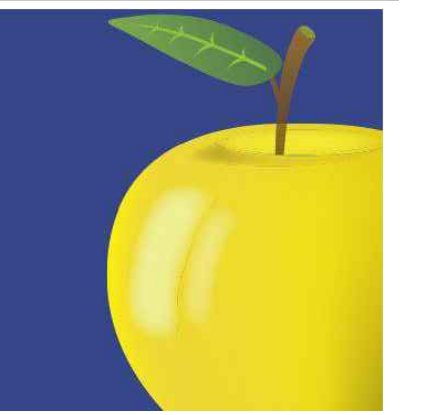
- EXISTING DUCTWORK, DIFFUSERS, REGISTERS, AND GRILLES TO REMAIN.
- REMOVE ALL DUCTWORK, DIFFUSERS, REGISTERS, HANGERS, INSULATION, ETC. SHOWN DASHED.
- NEW CONNECTION TO BE MADE AT THIS LOCATION. REMOVE ALL DUCTWORK, DIFFUSERS, REGISTERS, HANGERS, INSULATION, ETC. SHOWN DASHED BEYOND THIS POINT.
- CAREFULLY REMOVE EXISTING THERMOSTAT INCLUDING ALL ASSOCIATED CONDUIT, WIRING, PNEUMATIC TUBING, ETC. LOCATED ABOVE ANY ACCESSIBLE CEILING BETWEEN THERMOSTAT AND THE UNIT IT CONTROLS. PROVIDE BLANK COVER PLATE OVER ALL ABANDONED JUNCTION BOXES IN WALLS THAT ARE TO REMAIN. REFER TO NEW WORK FOR RELOCATION.
- PRIOR TO CONSTRUCTION, PERFORM TEST AND BALANCE ON SUPPLY/RETURN TO DETERMINE EXISTING AIR FLOW.

ARCON
 architects
 construction managers
 roof & masonry consultants
 landscape architects
 2050 south finley road, suite 40
 lombard, illinois 60148
 p. 630.495.1900
 www.arconassoc.com

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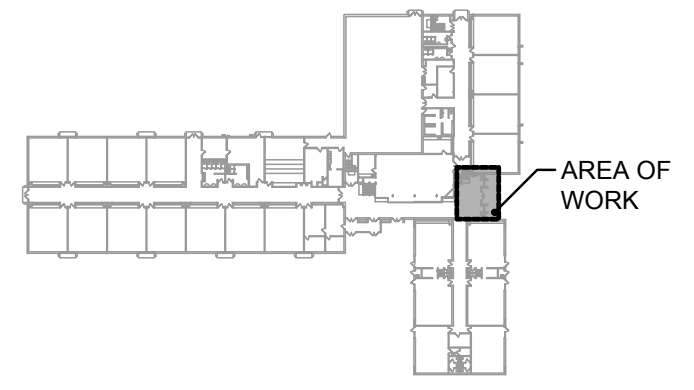


Mechanical/Electrical:
CS2 Design Group, LLC
 837 Oakton Street
 Elk Grove Village, IL 60007
 p: 847.981.1880

ISSUED FOR BID

CEILING WORK NOTE:
 REFER TO ARCHITECTURAL PLANS FOR CEILING WORK IN CONTRACT TO BE PERFORMED BY OTHER TRADES. THIS CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE, RESTORE, CUT, PATCH, PAINT, ETC. ANY CEILING WORK NOT SHOWN ON ARCHITECTURAL PLANS AS REQUIRED TO PERFORM THIS CONTRACTORS WORK. THIS INCLUDES REMOVAL AND REPLACEMENT OF LIGHTS, SPEAKERS, SMOKE DETECTORS, ETC. AS WELL AS REPLACEMENT OF ANY CEILING TRACK & TILES DAMAGED DURING CONSTRUCTION/DEMOLITION. IT IS THE RESPONSIBILITY OF THIS CONTRACTOR TO DOCUMENT ANY DAMAGED CEILING TILES OR COMPONENTS PRIOR TO CONSTRUCTION/DEMOLITION. THIS CONTRACTOR RESPONSIBLE FOR ALL ASSOCIATED COSTS. CONTRACTOR SHALL PROVIDE ACCESS PANELS AS REQUIRED.

CONTROLS NOTE:
 ALL CONTROL WORK SHALL BE AN EXTENSION OF THE EXISTING INTELLI-BUILDING BUILDING AUTOMATION SYSTEM (BAS) CURRENTLY INSTALLED IN THE BUILDING. ALL CONTROL AND POWER WIRING SHALL BE CONCEALED WITHIN WALLS. SURFACE MOUNTED CONDUIT OR WIREMOLD SYSTEM IS NOT ACCEPTABLE.
 BUILDING AUTOMATION CONTACT INFORMATION:
 RICK FREUND AT INTELLI-BUILDING CONTROL AND SOLUTIONS
 312.735.6546



KEYPLAN
 NOT TO SCALE

REVISIONS

No.	Date
AD1	09/09/2024

Project Number:
 23170
Issue Date:
 Aug. 30, 2024
Drawn by:
 cs2
Sheet Title:
 PARTIAL HVAC DEMOLITION PLANS
Sketch Number:

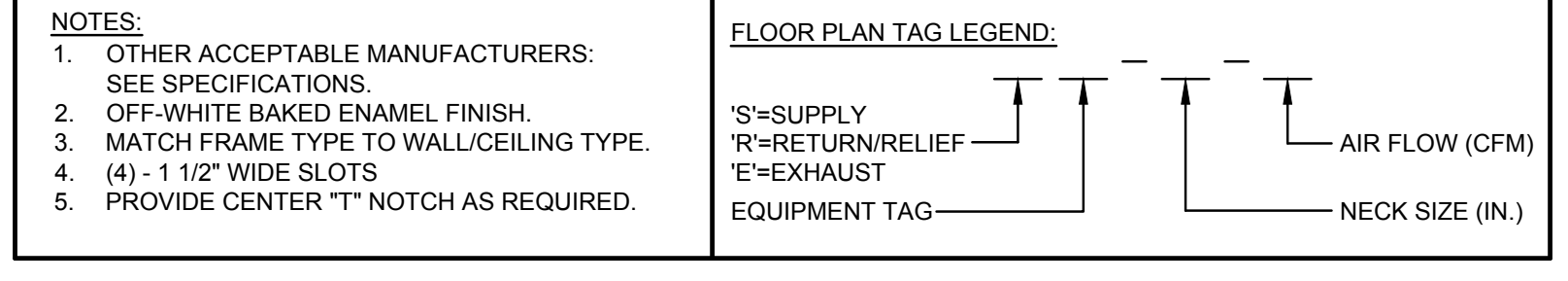
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DIFFUSER, GRILLE AND REGISTER SCHEDULE

EQUIPMENT TAG	MANUFACTURER	MODEL	TYPE	NOMINAL FACE SIZE	MATERIAL	MAX. N.C.	NOTES
A	TITUS	TBD1-80	LINEAR INSULATED BOOT	48" LONG	STEEL	30	1,2,3,4,5
B	TITUS	33R	38" DEFLECTION HEAVY DUTY GRILLE	VARIABLE	STEEL	30	1,2,3



MECHANICAL/ELECTRICAL COORDINATION SCHEDULE

EQUIPMENT TAG	EQUIPMENT DESCRIPTION	UNIT MOUNTED DEVICES			REMOTE OR LOOSE DEVICES			NOTES	
		STARTER	DISCONNECT	OVERCURRENT PROTECTION	STARTER	DISCONNECT	OVERCURRENT PROTECTION		
(EFT-1)	ELECTRIC FINNED TUBE	MANUF					E	E	1,2,3,4,5

NOTES:

- DEVICES TO BE FURNISHED BY THE ELECTRICAL CONTRACTOR (MARKED "E"), MECHANICAL CONTRACTOR (MARKED "M"), HVAC CONTRACTOR (MARKED "HV"), BAS CONTRACTOR (MARKED "B"), PLUMBING CONTRACTOR (MARKED "P"), FIRE PROTECTION CONTRACTOR (MARKED "FP"), OR MANUFACTURER (MARKED "MANUF").
- ALL CONDUIT AND WIRING FOR TEMPERATURE CONTROL AND EQUIPMENT INTERLOCK SHALL BE BY BAS CONTRACTOR. OTHER CONTROLS AND CONTROL CONDUIT/WIRING BY TRADE FURNISHING RESPECTIVE EQUIPMENT.
- IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO COORDINATE AND REVIEW THE ELECTRICAL CHARACTERISTICS, AMPACITY AND OTHER REQUIREMENTS OF COMPONENTS BEFORE INSTALLATION OF WORK. ALL OTHER CONTRACTORS SHALL ADVISE ELECTRICAL CONTRACTOR OF ANY MOTOR/DEVICE CHANGES.
- ALL LOOSE STARTERS SHALL INCLUDE HOA SWITCH, CONTROL TRANSFORMER, AND ONE N.O. AND ONE N.C. AUXILIARY CONTACTS. ALL SINGLE PHASE EXHAUST FAN CONTROL SWITCHES SHALL HAVE IDENTIFICATION NAMEPLATE AND PILOT LIGHT.
- SEE SPECIFICATIONS AND DRAWINGS FOR TYPES AND LOCATIONS OF DEVICES SCHEDULED BELOW.

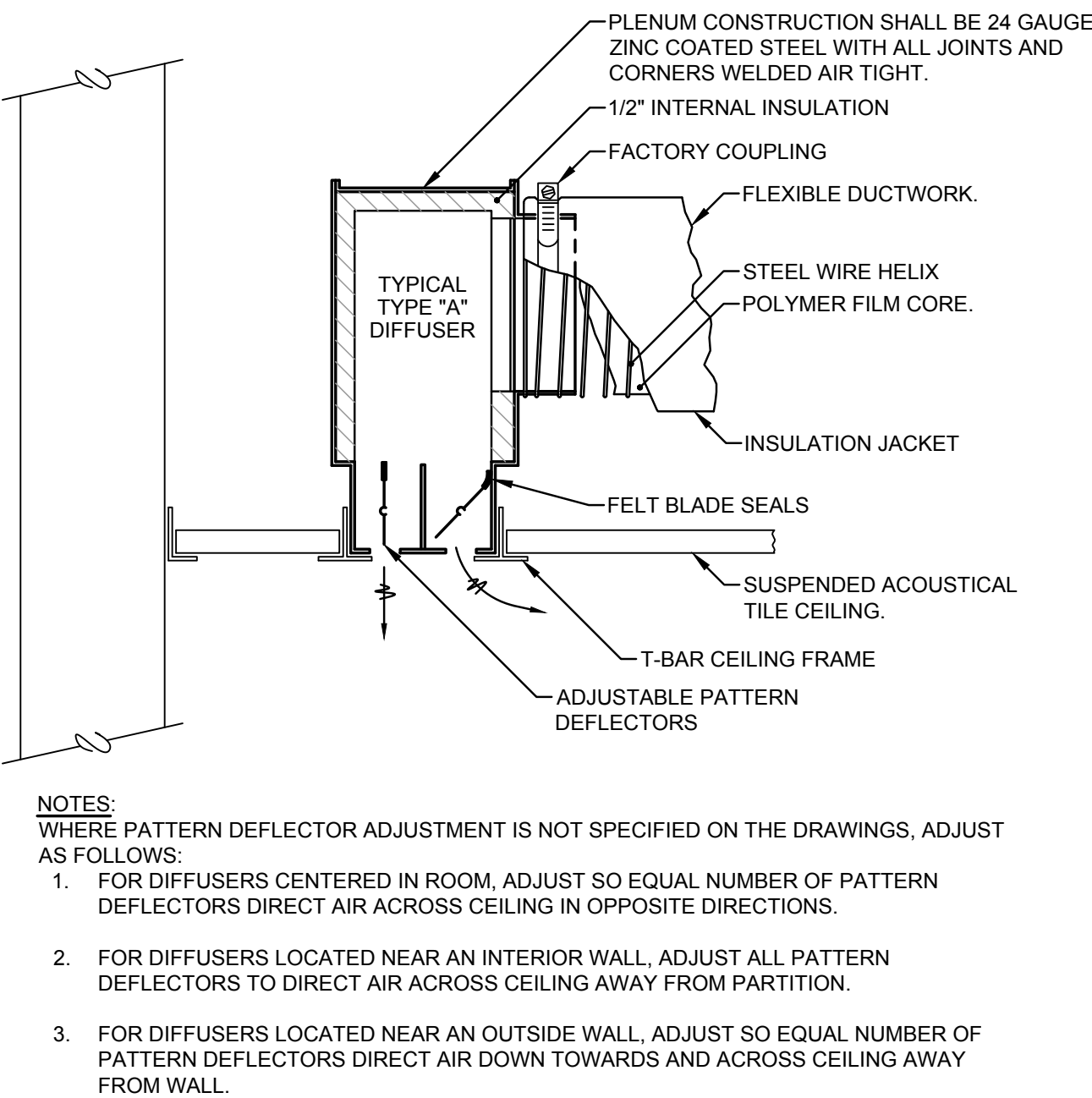
ELECTRIC FINNED TUBE SCHEDULE

EQUIPMENT TAG	LOCATION	MANUFACTURER	MODEL	ENCLOSURE			ELEMENT				CONTROLS	NOTES				
				TYPE/MATERIAL	LENGTH	HEIGHT	WIDTH	MOUNTING HEIGHT	LENGTH	TOTAL WATTS			AMPS	PHASE	VOLT	BTUH
(EFT-1)	ELEVATOR PIT	DESIGN ARCH. HEATING	LBT6500	WALL MTD. EXTRUDED AL.	6'-0"	7"	5"	ELEVATOR PIT FIELD VERIFY		3000		1	208	10.2		1,2,3,4,5,6,7,8

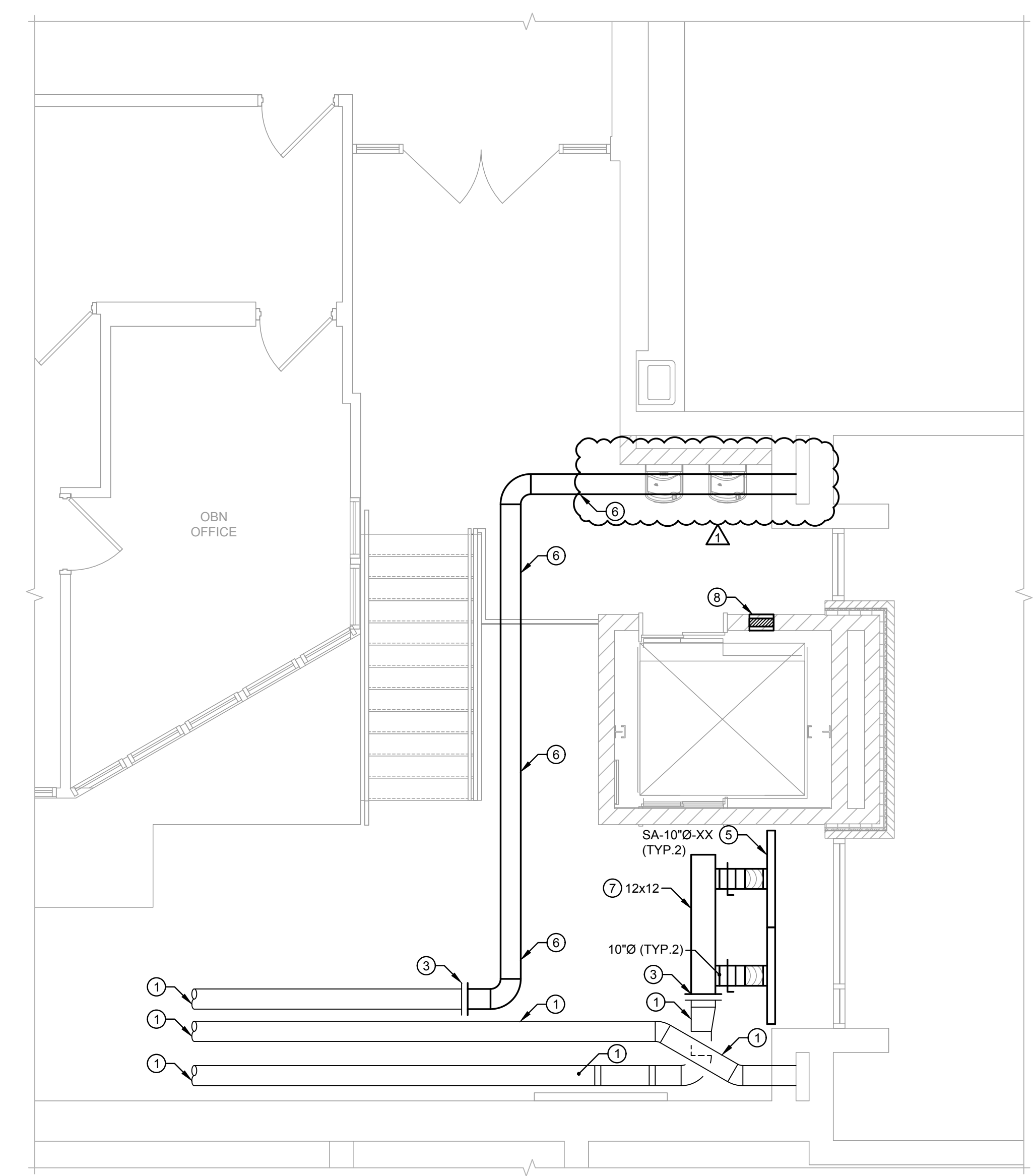
NOTES:

- OTHER ACCEPTABLE MANUFACTURERS: SEE SPECIFICATIONS.
- FIELD MEASURE ALL LENGTHS PRIOR TO FABRICATION.
- COLOR AND FINISH TO BE SELECTED BY ARCHITECT.
- INSTALL PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
- PROVIDE INTEGRAL THERMOSTAT.
- PROVIDE WALL BRACKETS, END TRIMS, END CLOSURES, MITERED CORNERS, AND ACCESS DOORS FOR A CONTINUOUS APPEARANCE.
- PROVIDE INTEGRAL DISCONNECT SWITCH.
- PROVIDE WITH THERMAL OVERLOAD PROTECTION AND THERMAL CUT-OFF.

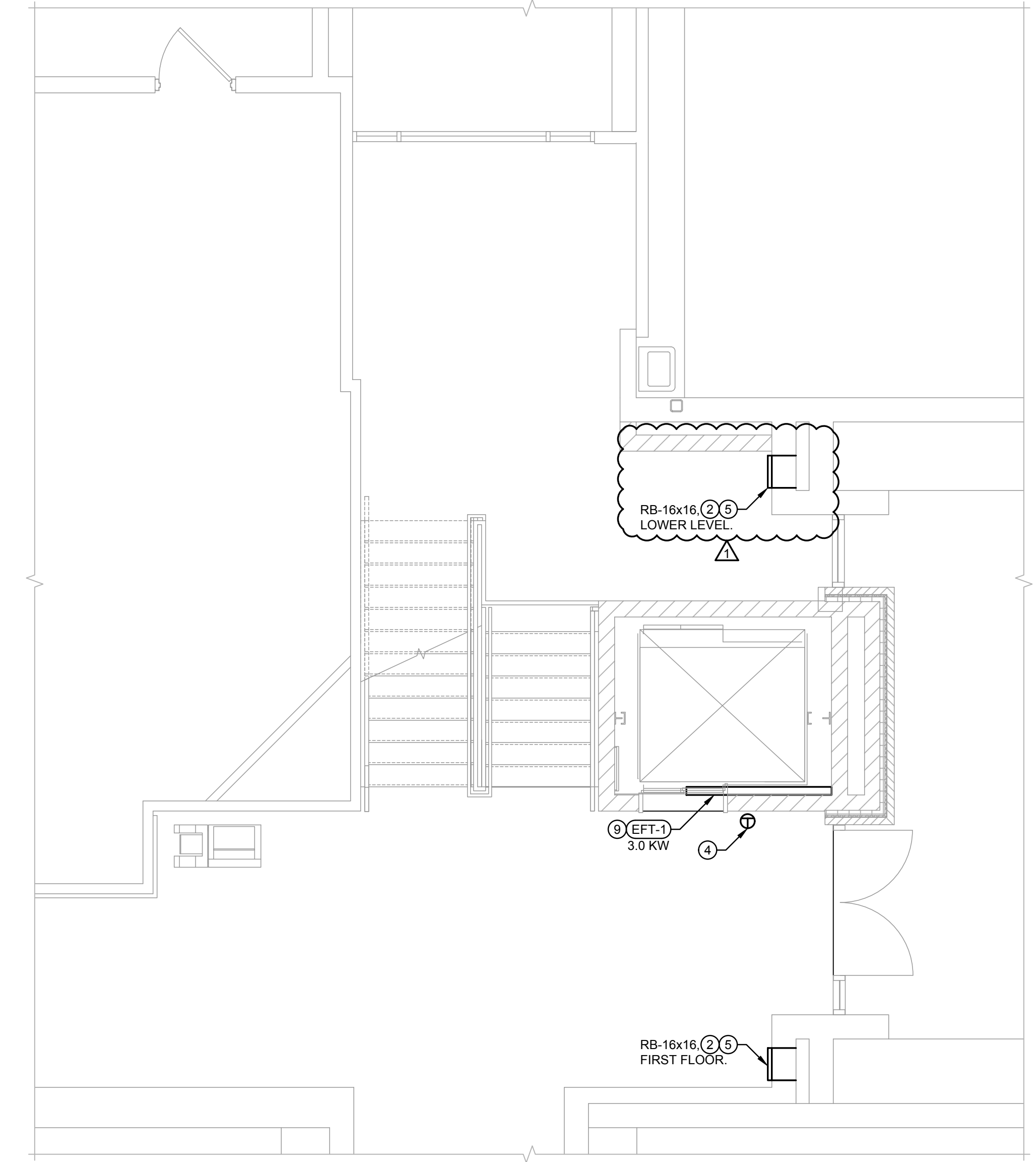
- GENERAL REMODELING NOTES - ALL CONTRACTORS**
- ALL WORK SHOWN ON DRAWINGS SHALL BE CONSIDERED NEW AND IN CONTRACT UNLESS SPECIFICALLY INDICATED OTHERWISE.
 - DRAWINGS ARE GENERALLY DIAGRAMMATIC. ROUTING OF PIPING, DUCTWORK, CONDUITS, RACEWAYS, ETC., AS SHOWN ON DRAWINGS, DOES NOT INTEND TO SHOW EVERY RISE, DROP, OFFSET, FITTING NOR EVERY STRUCTURAL ELEMENT THAT MAY BE ENCOUNTERED DURING THE INSTALLATION OF THIS WORK. EACH CONTRACTOR SHALL MAKE ANY REQUIRED CHANGES FROM THE GENERAL ROUTING SHOWN ON THESE DRAWINGS, SUCH AS OFFSETS, BENDS OR CHANGES IN ELEVATION DUE TO COORDINATION WITH THE WORK OF OTHER TRADES AND BUILDING CONSTRUCTION. ALL CHANGES SHALL BE MADE WITHOUT ADDITIONAL COST TO THE OWNER OR DELAY IN COMPLETION DATE OF THE PROJECT.
 - IT IS INTENDED THAT EQUIPMENT SHALL BE LOCATED SYMMETRICALLY WITH THE ARCHITECTURAL ELEMENTS OF THE BUILDING, NOTWITHSTANDING THE FACT THAT LOCATIONS INDICATED BY THESE DRAWINGS MAY BE DISTORTED FOR CLARITY OF PRESENTATION.
 - CONTRACTOR SHALL CHECK DRAWINGS OF OTHER TRADES TO VERIFY THAT SPACES IN WHICH THEIR WORK WILL BE INSTALLED ARE CLEAR OF OBSTRUCTIONS. WORK SHALL BE INSTALLED TO MAINTAIN MAXIMUM HEADROOM AND SPACE CONDITIONS AT ALL POINTS IN THE BUILDING, WHERE HEADROOM OR SPACE CONDITIONS APPEAR INADEQUATE, CONTRACTOR SHALL NOTIFY OWNER/ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE INSTALLATION OF THEIR WORK.
 - CONTRACTOR SHALL FURNISH OTHER TRADES ADVANCE INFORMATION AND/OR SHOP DRAWINGS ON LOCATIONS AND SIZES OF PIPING, DUCTWORK, CONDUIT, RACEWAYS, EQUIPMENT, FRAMES, BOXES, SLEEVES AND OPENINGS, ETC. NEEDED FOR THEIR WORK TO PERMIT OTHER TRADES AFFECTED TO INSTALL THEIR WORK PROPERLY AND WITHOUT DELAY.
 - WHERE THERE IS EVIDENCE THAT WORK OF ONE TRADE WILL INTERFERE WITH WORK OF OTHER TRADES, ALL TRADES SHALL MEET ON JOB SITE TO WORK OUT SPACE CONDITIONS AND MAKE SATISFACTORY ADJUSTMENTS TO INSTALLATION OF THE NEW WORK. CONTRACTORS SHALL VERIFY EXACT LOCATIONS AND EQUIPMENT WITH FIELD CONDITIONS. SHOP DRAWINGS, AND WORK OF OTHER TRADES PRIOR TO ROUGH-IN. EACH CONTRACTOR SHALL BE RESPONSIBLE, AT THEIR OWN EXPENSE, FOR THE REMOVAL AND REINSTALLATION OF ANY PART OF THEIR WORK IF SAME WAS INSTALLED WITHOUT CONSULTING WITH OTHER TRADES BEFORE INSTALLING THEIR WORK.
 - CONTRACTOR SHALL PROVIDE SLEEVES IN BEAMS, FLOORS, COLUMNS AND WALLS AS SHOWN ON THE DRAWINGS, AS REQUIRED BY JOB SITE CONDITIONS, AND/OR AS SPECIFIED, WHEN INSTALLING THEIR WORK. ALL BEAMS AND COLUMNS WHICH ARE REQUIRED TO BE SLEEVED SHALL BE CUT AND REINFORCED AS REQUIRED BY FIELD CONDITIONS AND LOCATIONS AND SIZES SHALL BE CHECKED AND APPROVED BY ARCHITECT BEFORE CONTRACTOR CUTS ANY STRUCTURAL BUILDING MEMBER.
 - THE SEQUENCE FOR THE INSTALLATION OF ALL WORK SHALL BE COORDINATED BETWEEN ALL CONTRACTORS ON THE PROJECT AND IN STRICT ACCORDANCE WITH ARCHITECT/ENGINEER AND OWNERS STIPULATION AS DIRECTED.
 - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL AND STRUCTURAL CONTRACT DRAWINGS (BEFORE SUBMITTING THEIR BIDS) TO FAMILIARIZE THEMSELVES WITH THE EXTENT OF THE GENERAL CONTRACTORS WORK, CEILING HEIGHTS AND CLEARANCE FOR INSTALLING THEIR WORK.
 - CONTRACTOR SHALL BE RESPONSIBLE AND PAY FOR ALL CORING, CUTTING, PATCHING, REPAIRING, REFINISHING AND REMOVAL/REPLACEMENT OF NEW OR EXISTING BUILDING CONSTRUCTION REQUIRED TO ACCOMMODATE THE INSTALLATION OR REMOVAL OF THEIR WORK. ALL PATCHING, REPAIRING AND REFINISHING WORK SHALL BE PERFORMED BY THOSE REGULARLY INVOLVED IN THAT TRADE AND SHALL MATCH THE ADJACENT CONSTRUCTION AS CLOSELY AS POSSIBLE. CARE SHALL BE TAKEN SO AS NOT TO DAMAGE ANY EXISTING BUILDING CONSTRUCTION OR ITEMS THAT ARE TO REMAIN. ANY EXISTING FINISHES THAT ARE DAMAGED DURING THE INSTALLATION OF NEW WORK OR REMOVAL OF EXISTING WORK SHALL BE REPAIRED, REPLACED AND PAID FOR BY THE INSTALLING CONTRACTOR, TO THE SATISFACTION OF THE ARCHITECT AND OWNER. REFER TO ARCHITECTURAL DRAWINGS FOR EXISTING BUILDING CONSTRUCTION THAT IS TO REMAIN AND, THEREFORE, SUBJECT TO PATCHING, REPAIRING, REFINISHING, AND REMOVAL/REPLACEMENT. (NOTE: CONTRACTOR SHALL VERIFY EXISTING BUILDING'S ROOF WARRANTY AND EMPLOY OTHER SUBCONTRACTOR(S) AS REQUIRED BY ROOF MANUFACTURER'S REPRESENTATIVE SO AS NOT TO VOID OWNER'S ROOF WARRANTY.)
 - SOME OF THE EXISTING ITEMS AND EQUIPMENT SCHEDULED TO BE REMOVED SHALL BE TURNED OVER TO THE OWNER. ANY ITEMS THAT THE OWNER WANTS TO RETAIN SHALL BE REMOVED CAREFULLY SO AS NOT TO DAMAGE THEM. ALL OTHER ITEMS TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND REMOVED FROM THE SITE.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR OWN CLEAN-UP DURING CONSTRUCTION. IF CONTRACTOR FAILS TO PROVIDE SUCH CLEAN-UP, THE ARCHITECT/ENGINEER WILL DIRECT ANOTHER CONTRACTOR TO PERFORM THE CLEAN-UP AND THE NEGLIGENT CONTRACTOR SHALL PAY THE ASSOCIATED BACK-CHARGES AS DEEMED APPROPRIATE BY THE ARCHITECT/ENGINEER.
 - CONTRACTOR SHALL INSTALL ALL AUXILIARY SUPPORTING STEEL AS REQUIRED FOR THE SUPPORTING OF THEIR PIPING, DUCTWORK, CONDUIT, TANKS, EQUIPMENT, ETC. ALL SUPPORTING STEEL FOR ITEMS ABOVE A SUSPENDED CEILING SHALL BE FROM BUILDING STRUCTURAL MEMBERS ONLY.
 - IT IS MANDATORY THAT THE COMPLETE EXISTING BUILDING REMAIN IN CONTINUOUS AND NON-INTERRUPTED OPERATION DURING REMODELING/ALTERING OF SAID EXISTING BUILDING. THE SPECIFIC AREAS BEING REMODELED/ALTERED AT ANY SCHEDULED TIME ARE OBVIOUSLY EXCLUSIVE OF THIS STATEMENT. SERVICES TO EXISTING BUILDING SHALL BE KEPT IN CONTINUOUS OPERATION INCLUDING POWER, SIGNAL SYSTEMS, LIGHTING, TELEPHONE, HEATING, COOLING, VENTILATING, TEMPERATURE CONTROL, SEWERS AND HOT AND COLD WATER. ANY ABSOLUTELY NECESSARY INTERRUPTION OF THESE SERVICES TO ACCOMPLISH CONTRACT WORK SHALL BE ARRANGED WITH THE OWNER A MINIMUM OF TEN (10) WORKING DAYS IN ADVANCE. SUCH INTERRUPTIONS SHALL BE KEPT TO AN ABSOLUTE MINIMUM AS FAR AS TIME INTERVAL IS INVOLVED AND TEMPORARY SERVICES SHALL BE FURNISHED AND INSTALLED UNDER THIS CONTRACT WHERE NECESSARY TO ACCOMPLISH THIS PURPOSE. TEMPORARIES SHALL BE REMOVED BY THE CONTRACTOR ONLY AFTER NEW PERMANENT SERVICES ARE INSTALLED AND FULLY OPERATIONAL.
 - UNLESS INDICATED OTHERWISE, THE ARCHITECT/ENGINEER MAKES NO REPRESENTATION AS TO WHETHER OR NOT ANY HAZARDOUS OR CONTAMINATED MATERIALS (INCLUDING BUT NOT LIMITED TO ASBESTOS, PCB'S, CONTAMINATED SOILS, ETC.) ARE PRESENT WITHIN THE EXISTING BUILDING OR ON THE SITE. WORK SHOWN ON THE DRAWINGS AND/OR INDICATED IN THE SPECIFICATIONS SHALL NOT BE CONSTRUED TO CALL FOR CONTACT WITH ANY OF THESE MATERIALS. IF THESE MATERIALS ARE ENCOUNTERED OR SUSPECTED, THE CONTRACTOR SHALL NOT DISTURB THEM AND SHALL CONTACT THE ARCHITECT/ENGINEER IMMEDIATELY.
 - WHERE WORK CALLED FOR ON THE DRAWINGS OR IN THE SPECIFICATIONS INVOLVES THE REMOVAL OR RELOCATION OF PIPING OR EQUIPMENT CONTAINING REFRIGERANT, ALL REFRIGERANT SHALL BE RECOVERED BY APPROVED METHODS PER EPA REGULATIONS.
 - CONTRACTOR SHALL STORE ALL MATERIALS AND EQUIPMENT SHIPPED TO THE SITE IN A PROTECTED AREA. IF MATERIAL IS STORED OUTSIDE OF THE BUILDING, IT MUST BE STORED OFF THE GROUND A MINIMUM OF SIX INCHES (6") SET ON 4 X 8 PLANKS AND/OR WOOD PALLET. ALL MATERIAL AND EQUIPMENT MUST BE COMPLETELY COVERED WITH WATERPROOF TARPS OR VISQUIN. ALL PIPING AND DUCTWORK WILL HAVE THE ENDS CLOSED TO KEEP OUT DIRT AND OTHER DEBRIS. NO EQUIPMENT WILL BE ALLOWED TO BE STORED OUTSIDE THE BUILDING ON THE SITE UNLESS IT IS SUPPORTED OFF THE GROUND AND COMPLETELY PROTECTED WITH WEATHERPROOF COVERS.
 - THE DRAWINGS, SCHEDULES AND SPECIFICATIONS HAVE BEEN PREPARED USING ONE MANUFACTURER FOR EACH PIECE OF EQUIPMENT AS THE BASIS FOR DIMENSIONAL DESIGN. IF THE CONTRACTOR PURCHASES EQUIPMENT FROM A SPECIFIED ACCEPTABLE MANUFACTURER, BUT NOT THE SCHEDULED MANUFACTURER USED FOR THE BASE DESIGN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL THE DIMENSIONS OF THE EQUIPMENT TO VERIFY THAT IT WILL FIT IN THE SPACE SHOWN ON THE DRAWINGS. MINOR DEVIATIONS IN DIMENSIONS WILL BE PERMITTED, PROVIDED THE RATINGS MEET THOSE SHOWN ON THE DRAWINGS AND EQUIPMENT WILL PHYSICALLY FIT INTO THE SPACE ALLOCATED WITH SUITABLE ACCESS AROUND EQUIPMENT FOR OPERATION AND MAINTENANCE OF THE EQUIPMENT. WHEN EQUIPMENT SUBMITTED FOR REVIEW DOES NOT MEET THE PHYSICAL SIZE OR ARRANGEMENT OF THAT SCHEDULED AND SPECIFIED, CONTRACTOR SHALL PAY FOR ALL ALTERATIONS REQUIRED TO ACCOMMODATE SUCH EQUIPMENT AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR WILL ALSO PAY ALL COSTS FOR ADDITIONAL WORK REQUIRED BY OTHER CONTRACTORS, OWNER, ARCHITECT OR ENGINEER TO MAKE CHANGES WHICH WOULD ALLOW THE EQUIPMENT TO FIT IN THE SPACE AND FUNCTION AS INTENDED.
 - CONTRACTOR AND/OR MANUFACTURER SHALL VERIFY THAT THE CHARACTERISTICS OF THE EQUIPMENT HE SUBMITS FOR REVIEW MEET THE CAPACITY AND DUTY SPECIFIED. WHEN EQUIPMENT SUBMITTED FOR REVIEW REQUIRES MODIFICATIONS TO THE WORK OF OTHER CONTRACTORS, SUBMITTING CONTRACTOR SHALL PAY FOR ALL COSTS FOR ADDITIONAL WORK REQUIRED BY OTHER CONTRACTORS, OWNER, ARCHITECT OR ENGINEER TO MAKE CHANGES WHICH WOULD ALLOW THE EQUIPMENT FUNCTION SAFELY AND PROPERLY.
 - CONTRACTOR SHALL FIELD VERIFY THE SIZE OF EXISTING OPENINGS, WINDOWS, DOORS, CORRIDORS, ROOMS, ETC. FOR ACCESS OF THE NEW EQUIPMENT INTO OR REMOVAL OF EXISTING EQUIPMENT FROM THE BUILDING. IF OPENINGS ARE TOO SMALL FOR ACCESS THEN CONTRACTOR SHALL, AT HIS OWN EXPENSE, PROVIDE NEW OR ENLARGED OPENINGS AND RESTORE SAME TO ORIGINAL SIZE AND CONDITION. CONTRACTOR MAY ERECT TO ORDER THE EQUIPMENT DISASSEMBLED AND/OR WITH SPLIT HOUSING FOR ENTRANCE INTO THE EXISTING SPACE OR BUILDING. CONTRACTOR SHALL REASSEMBLE EQUIPMENT AFTER IT IS IN THE SPACE AT HIS OWN EXPENSE.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND THEIR ASSOCIATED FEES.



LINEAR BOOT TYPE DIFFUSER DETAIL (LAY-IN CEILING)
 NO SCALE



2 PARTIAL UPPER FLOOR HVAC PLAN
 1/4" = 1'-0"



1 PARTIAL FIRST FLOOR HVAC PLAN
 1/4" = 1'-0"

- DRAWING NOTES:**
- EXISTING DUCTWORK, DIFFUSERS, REGISTERS, AND GRILLES TO REMAIN.
 - PROVIDE NEW RETURN GRILLE OF SIZE INDICATED ON EXISTING RETURN AIR CHASE AT FIRST AND LOWER LEVEL(S). FIELD VERIFY EXACT SIZE AND LOCATION.
 - MAKE NEW CONNECTION TO EXISTING DUCT AT THIS LOCATION.
 - NEW LOCATION OF RELOCATED THERMOSTAT. EXTEND ASSOCIATED WIRING/TUBING TO NEW LOCATION.
 - BALANCE SUPPLY/RETURN TO PRE-CONSTRUCTION FLOW RATE DETERMINED BY PRE-CONSTRUCTION TEST AND BALANCE. FIELD VERIFY EXACT LOCATION.
 - EXTEND RETURN AIR DUCT OF SAME SIZE. FIELD VERIFY EXACT LOCATION.
 - SAME SIZE AS EXISTING, FIELD VERIFY SIZE.
 - PROVIDE 12x12 OPENING ABOVE CEILING WITH EXPANDED SHEET METAL SCREEN AND FIRE DAMPER TO MEET IBC 3005.2. FIELD VERIFY EXACT LOCATION.
 - MOUNT APPROX. 2'-0" ABOVE BOTTOM OF PIT. FIELD VERIFY EXACT LOCATION/REQUIREMENTS WITH ALL TRADES.
 - ALIGN WITH CEILING GRID. FIELD VERIFY EXACT LOCATION. ADJUST PATTERN DIFFUSERS AS INDICATED ON DETAIL.

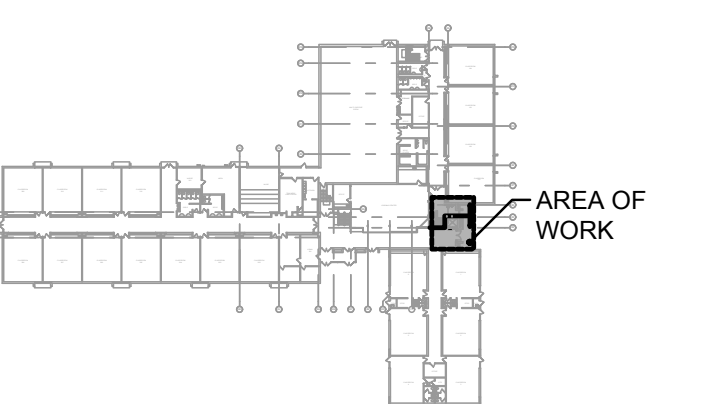
CEILING WORK NOTE:

REFER TO ARCHITECTURAL PLANS FOR CEILING WORK IN CONTRACT TO BE PERFORMED BY OTHER TRADES. THIS CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE, RESTORE, CUT, PATCH, PAINT, ETC. ANY CEILING WORK NOT SHOWN ON ARCHITECTURAL PLANS AS REQUIRED TO PERFORM THIS CONTRACTORS WORK. THIS INCLUDES REMOVAL AND REPLACEMENT OF LIGHTS, SPEAKERS, SMOKE DETECTORS, ETC., AS WELL AS REPLACEMENT OF ANY CEILING TRACK & TILES DAMAGED DURING CONSTRUCTION/DEMOLITION. IT IS THE RESPONSIBILITY OF THIS CONTRACTOR TO DOCUMENT ANY DAMAGED CEILING TILES OR COMPONENTS PRIOR TO CONSTRUCTION/DEMOLITION. THIS CONTRACTOR RESPONSIBLE FOR ALL ASSOCIATED COSTS. CONTRACTOR SHALL PROVIDE ACCESS PANELS AS REQUIRED.

CONTROLS NOTE:

ALL CONTROL WORK SHALL BE AN EXTENSION OF THE EXISTING INTELL-BUILDING BUILDING AUTOMATION SYSTEM (BAS) CURRENTLY INSTALLED IN THE BUILDING. ALL CONTROL AND POWER WIRING SHALL BE CONCEALED WITHIN WALLS SURFACE MOUNTED CONDUIT OR WIRE/MOLD SYSTEM IS NOT ACCEPTABLE.

BUILDING AUTOMATION CONTACT INFORMATION:
 RICK FREUND AT INTELL-BUILDING CONTROL AND SOLUTIONS
 312.735.6546



KEYPLAN
 NOT TO SCALE

architects
 construction managers
 roof & masonry consultants
 landscape architects

2050 south finley road, suite 40
 Lombard, Illinois 60148
 p. 630.495.1900
www.arconassoc.com

NEW ELEVATOR

at
WJ MURPHY ELEMENTARY SCHOOL
220 GREENWOOD DR.
ROUND LAKE PARK, IL 60073

for the
COMMUNITY UNIT SCHOOL DISTRICT 116

442 N. Cedar Lake Rd.
Round Lake, IL 60073
847-270-9000



Mechanical/Electrical:
CS2 Design Group, LLC
837 Oakton Street
Elk Grove Village, IL 60007
p: 847.981.1880

ISSUED FOR BID

REVISIONS	
No.	Date
AD1	09/09/2024

Project Number:
23170

Issue Date:
Aug. 30, 2024

Drawn by:
cs2

Sheet Title:
PARTIAL HVAC PLANS

Sketch Number:

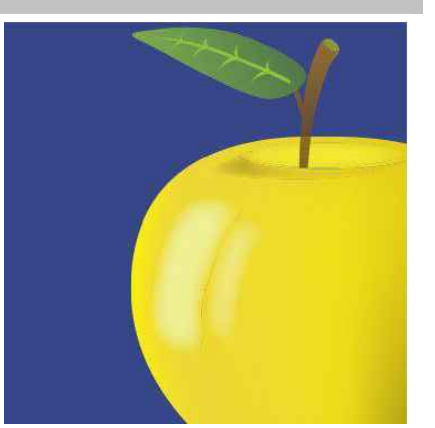
Sheet Number:

HV1.0

NEW ELEVATOR

at
**WJ MURPHY ELEMENTARY
 SCHOOL**
220 GREENWOOD DR.
ROUND LAKE PARK, IL 60073

for the
**COMMUNITY UNIT
 SCHOOL DISTRICT 116**
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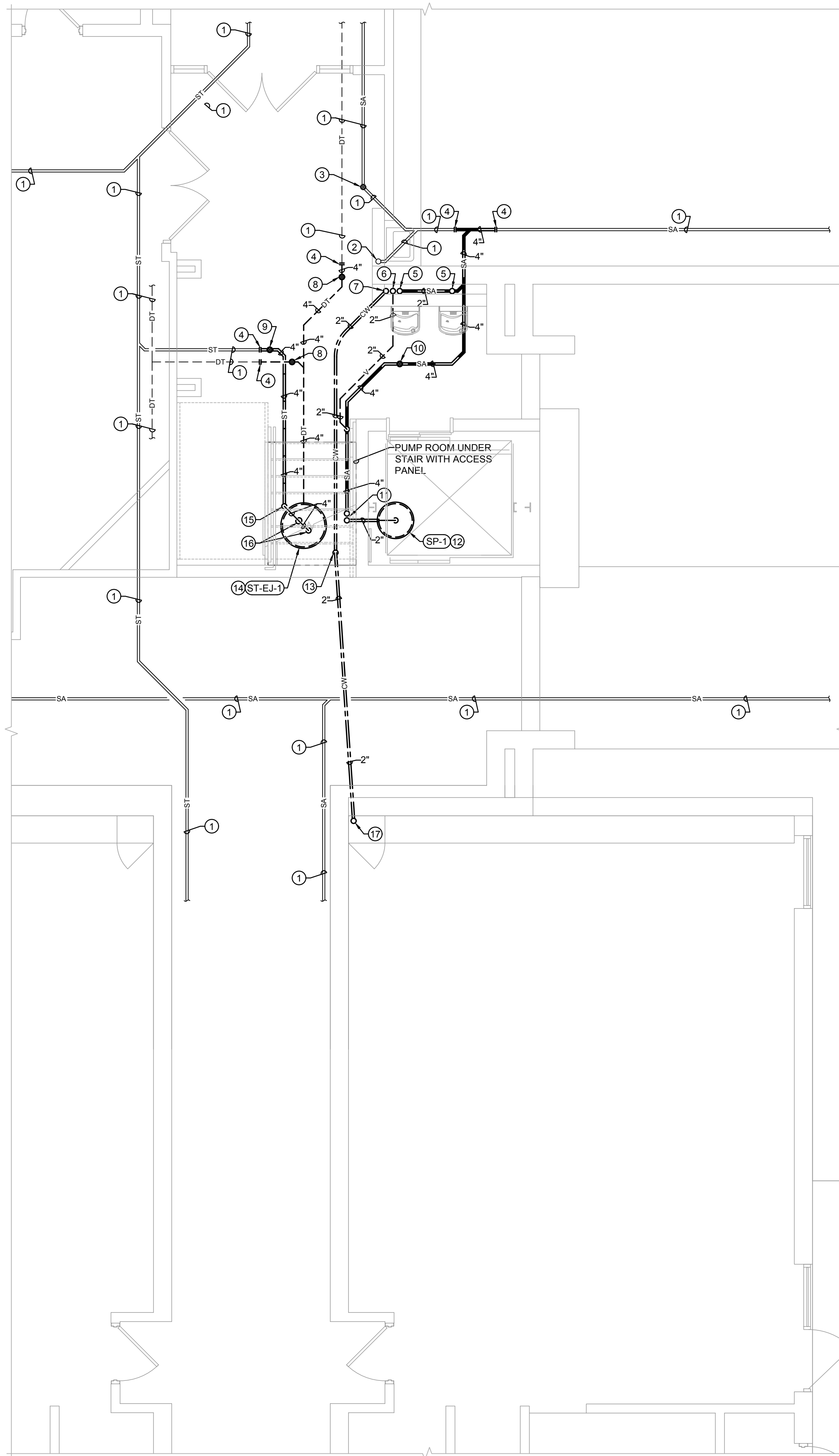
Drawn by:
cs2

Sheet Title:
PARTIAL PLUMBING PLANS

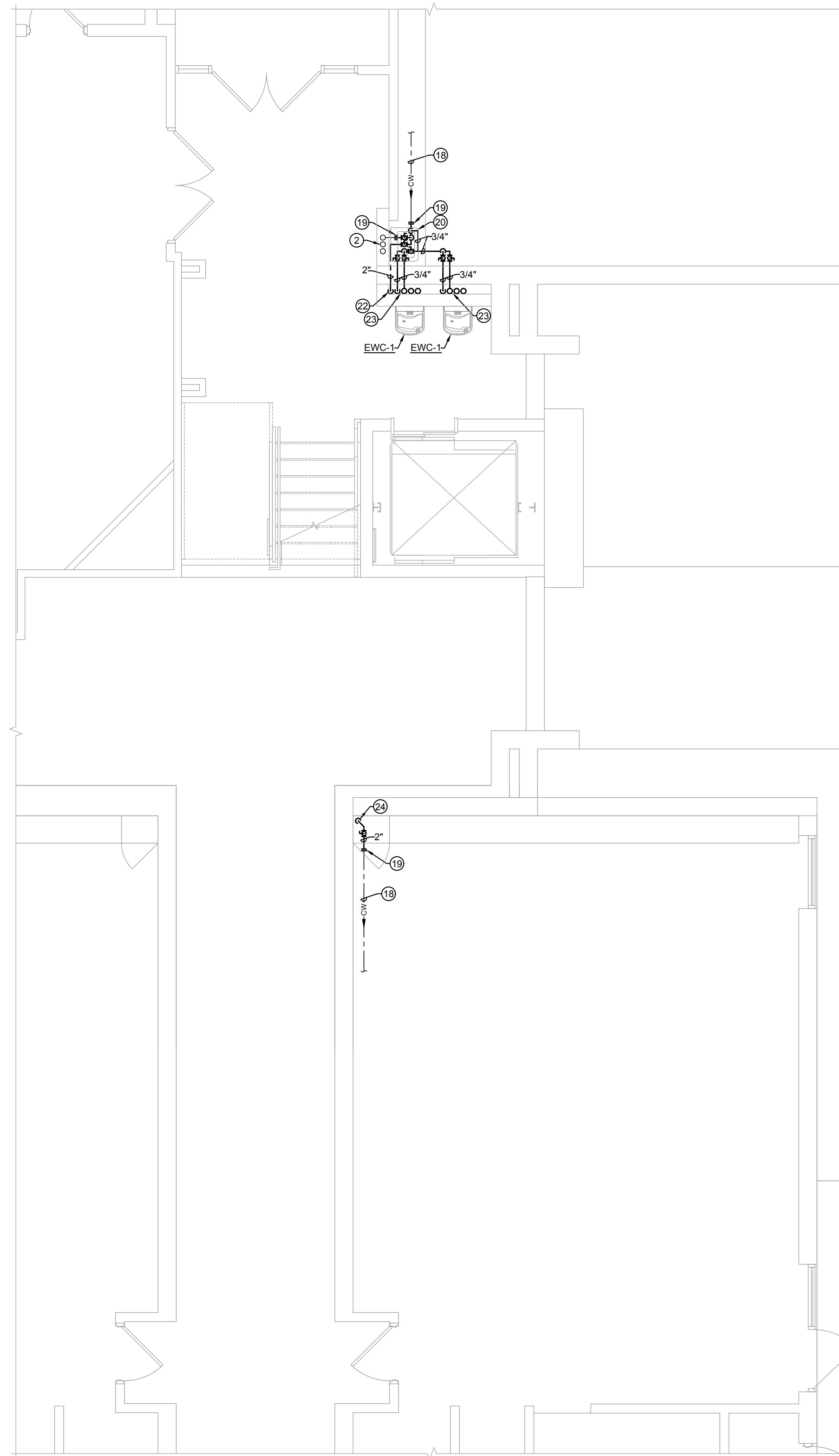
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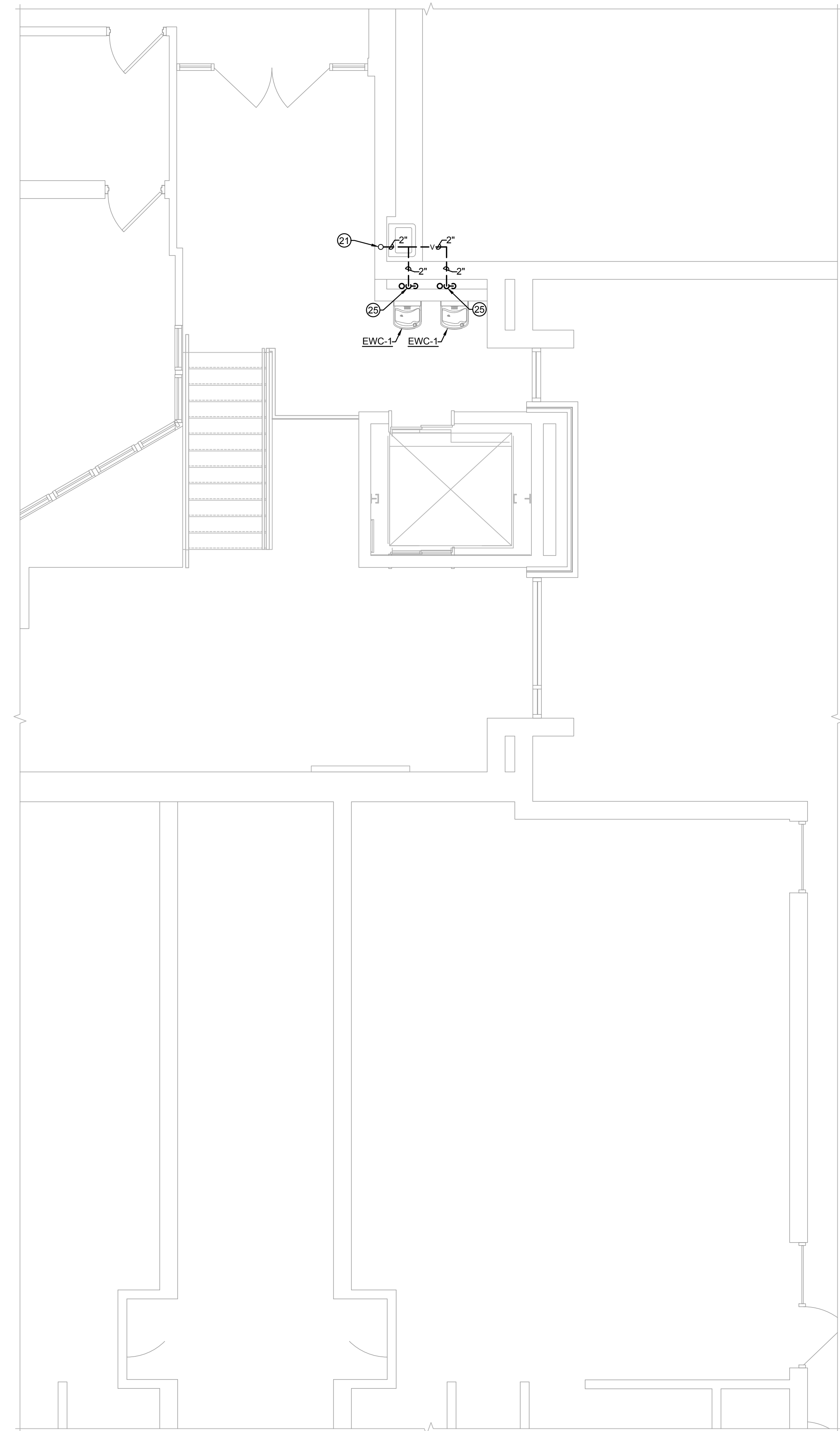
P1.0



1 PARTIAL UNDERFLOOR PLUMBING PLAN
 1/4" = 1'-0"



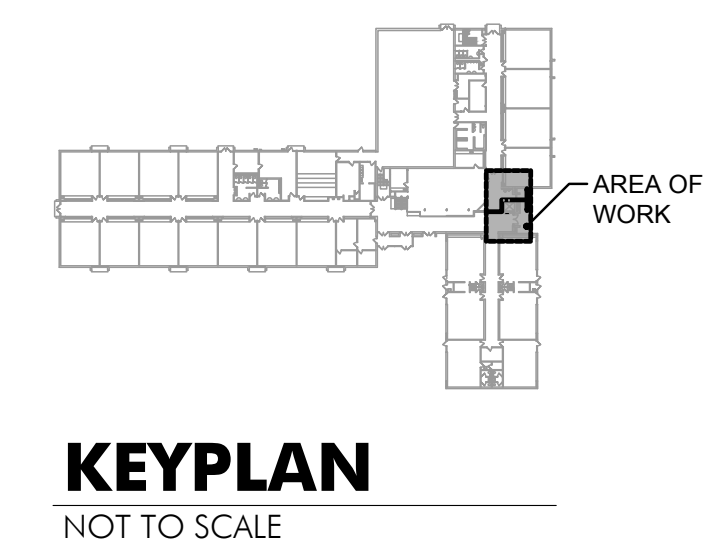
2 PARTIAL FIRST FLOOR PLUMBING PLAN
 1/4" = 1'-0"



3 PARTIAL SECOND FLOOR PLUMBING PLAN
 1/4" = 1'-0"

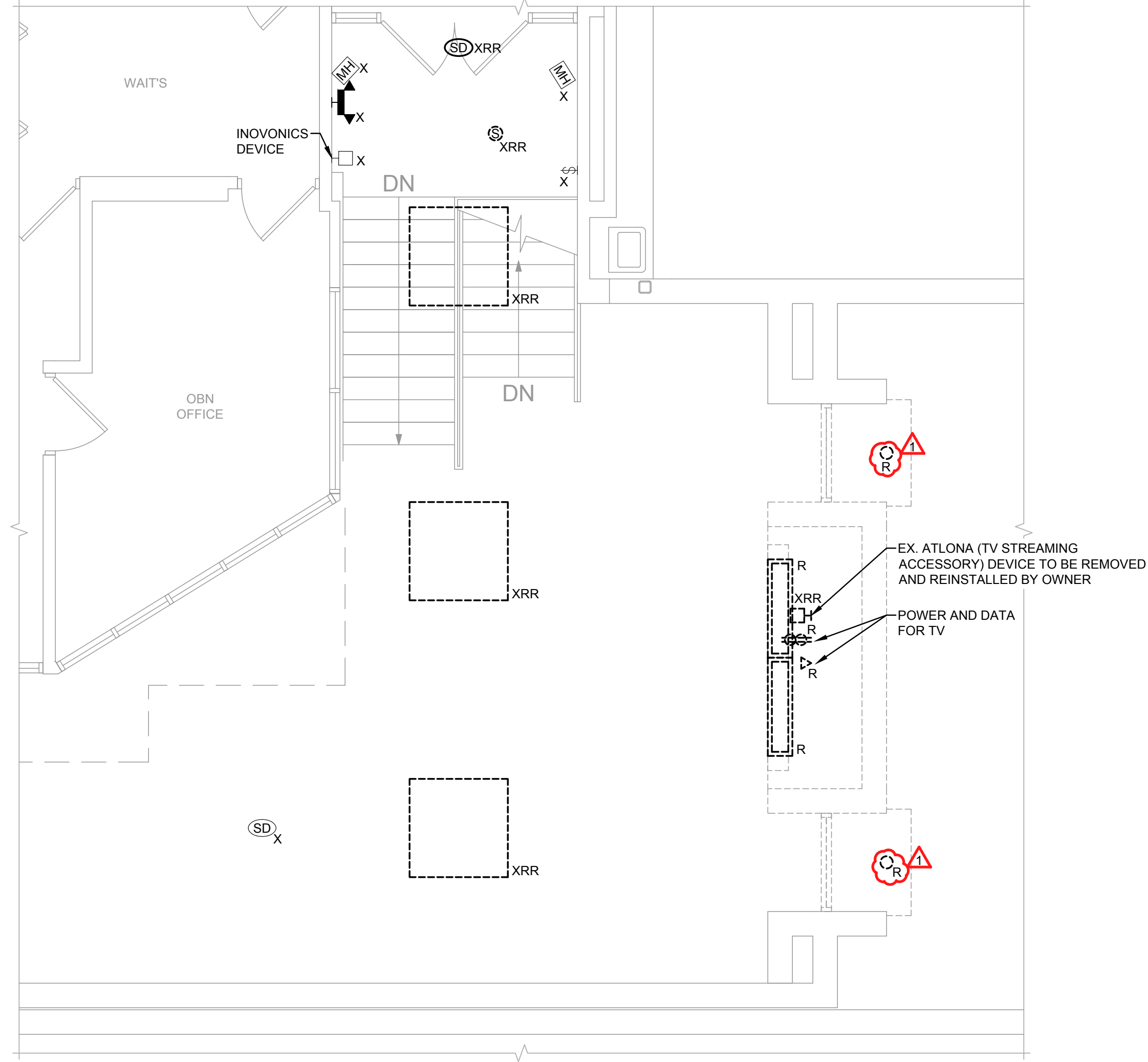
DRAWING NOTES:

- EXISTING UNDERFLOOR PLUMBING PIPING OF TYPE INDICATED TO REMAIN. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS, PIPE ROUTING, SIZE AND LOCATION.
- EXISTING PLUMBING RISER'S PIPING OF TYPE INDICATED TO REMAIN. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS, PIPE ROUTING, SIZE AND LOCATION.
- EXISTING FLOOR CLEANOUT AND ALL ASSOCIATED PIPING AND EQUIPMENT TO REMAIN. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS.
- NEW CONNECTION TO BE MADE TO EXISTING UNDERFLOOR PIPING OF TYPE INDICATED AT THIS LOCATION. CONTRACTOR TO FIELD VERIFY EXISTING UNDERFLOOR PIPING VIA PIPE LOCATION/TELEVISION/RAYING EQUIPMENT. SAW CUT FLOOR AS REQUIRED TO INSTALL NEW UNDERFLOOR PIPING SHOWN. REFER TO FLOOR SAW CUTTING NOTE THIS DRAWING FOR ADDITIONAL INFORMATION. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS.
- 2"SA UP IN CHASE.
- 2"V UP IN CHASE.
- 2" CW UP IN CHASE.
- 4"ST PIPING (NO HOLES SOLID PVC PIPING AND FITTINGS) UP TO TWO WAY FLOOR CLEANOUT (4"ECO).
- 4"ST UP TO TWO WAY FLOOR CLEANOUT (4"ECO).
- 4"SA UP TO TWO WAY FLOOR CLEANOUT (4"ECO).
- 4"SA & 2"SA PUMP DISCHARGE UP ALONG WALL OF CRAWL SPACE UNDER STAIR. 4"SA UP THRU FLOOR A MINIMUM OF 12" ABOVE FINISHED FLOOR TO 4"SA (AGE-1) TO RECEIVE 2" ELEVATOR PUMP DISCHARGE. REFER TO ELEVATOR PIT SUBMERSIBLE PUMP DETAIL ELSEWHERE FOR ADDITIONAL INFORMATION.
- SIMPLEX SANITARY ELEVATOR PIT EJECTOR WITH OIL SMART DETECTION SYSTEM AND BASIN. REFER TO SCHEDULE AND DETAIL ELSEWHERE FOR ADDITIONAL INFORMATION.
- 2" CW UP FROM LOWER LEVEL UNDERFLOOR ALONG WALL OF CRAWL SPACE UNDER STAIR WITH ISOLATION BALL VALVE ON THE RISER WITHIN CRAWL SPACE JUST BEFORE BEING ROUTED THROUGH CRAWL SPACE SOUTH WALL TO MAIN LEVEL UNDERFLOOR TO BE ROUTED UNDERFLOOR TO CLASSROOM #1 CORNER CLOSET. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS.
- DUPLEX STORM EJECTOR AND BASIN. REFER TO SCHEDULE AND DETAIL ELSEWHERE FOR ADDITIONAL INFORMATION.
- 4"ST UP THRU FLOOR APPROXIMATELY 2'-0" ABOVE FINISHED FLOOR TO BE 4"ST HEADER ROUTED OVER STORM EJECTOR BASIN TO RECEIVE (2) 2" DUPLEX STORM EJECTOR PUMPED DISCHARGE RISERS SIMILAR TO PREVIOUSLY REMOVED SYSTEM.
- PUMPED DISCHARGE RISER UP TO CONNECT TO 4"ST HEADER.
- 2" CW UP ALONG WALL WITHIN CLASSROOM CORNER CLOSET.
- EXISTING SUSPENDED PLUMBING PIPING OF TYPE INDICATED TO REMAIN. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS, PIPE ROUTING, SIZE AND LOCATION.
- NEW CONNECTION TO BE MADE AT THIS LOCATION. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS, PIPE ROUTING, SIZE AND LOCATION.
- EXISTING PLUMBING FIXTURE AND ALL ASSOCIATED PIPING & EQUIPMENT TO REMAIN.
- NEW CONNECTION TO BE MADE AT THIS LOCATION TO EXISTING VENT RISER AND/OR EXISTING VENT THROUGH ROOF. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS, PIPE ROUTING, SIZE AND LOCATION.
- 2" CW DOWN IN CHASE TO UNDERFLOOR TO BE ROUTED TO NEW CRAWL SPACE UNDER NEW STAIR.
- 2"SA RISER FROM UNDERFLOOR AND UP TO SECOND FLOOR. 2"V FROM FIRST FLOOR ELECTRIC WATER COOLER UP TO SECOND FLOOR. 3/4" CW DOWN IN WALL/CHASE TO FEED FIRST FLOOR ELECTRIC WATER COOLER. 3/4" CW UP IN CHASE TO SECOND FLOOR TO FEED SECOND FLOOR ELECTRIC WATER COOLER.
- 2" CW DOWN ALONG WALL WITHIN CLASSROOM CORNER CLOSET.
- 2"V, 2"SA RISER AND 3/4" CW UP IN WALL/CHASE FROM FLOOR BELOW 2"V DOWN IN WALL/CHASE.

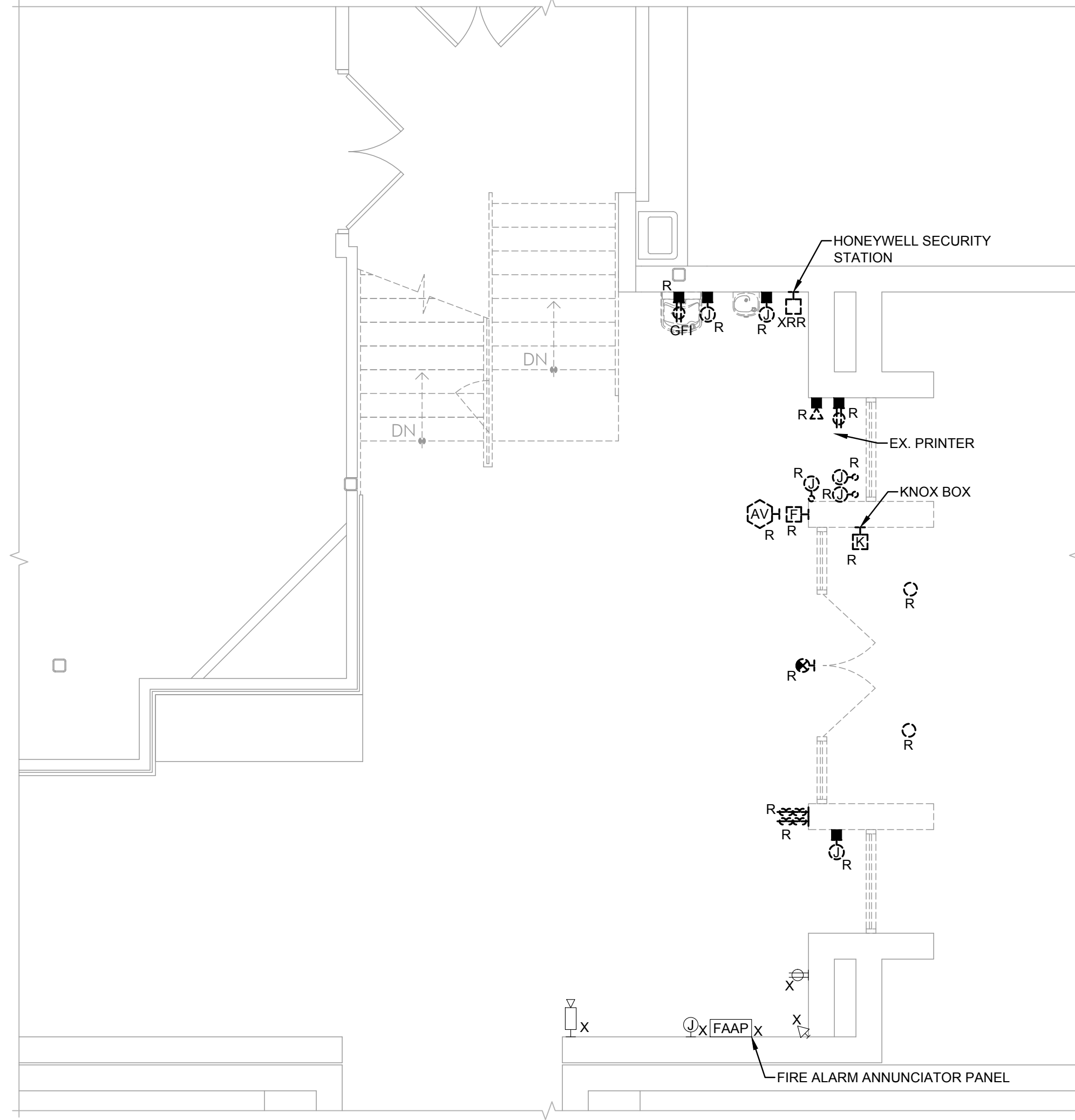


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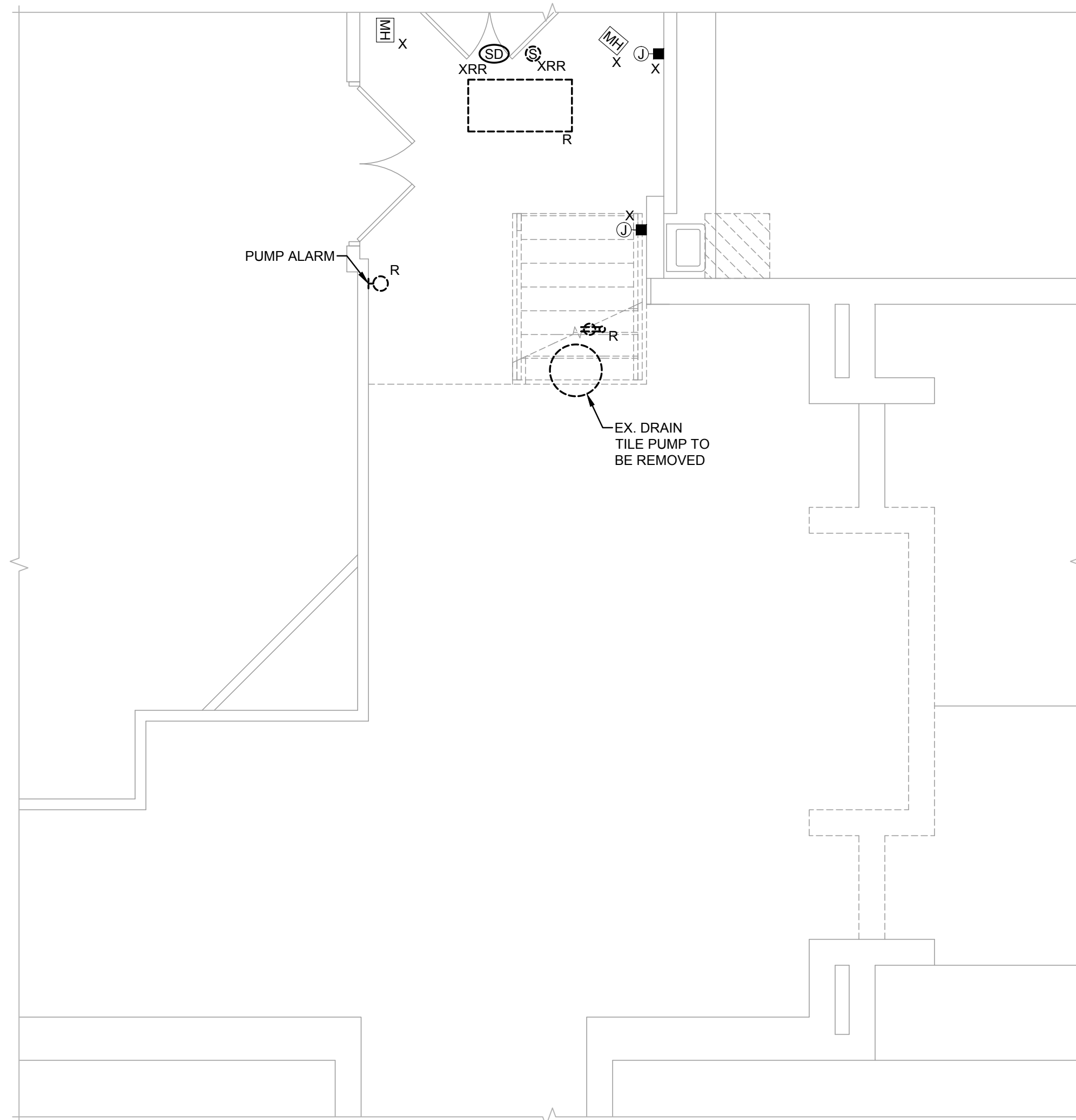
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3 PARTIAL UPPER FLOOR ELECTRICAL DEMOLITION PLAN
1/4" = 1'-0"



2 PARTIAL FIRST FLOOR ELECTRICAL DEMOLITION PLAN
1/4" = 1'-0"



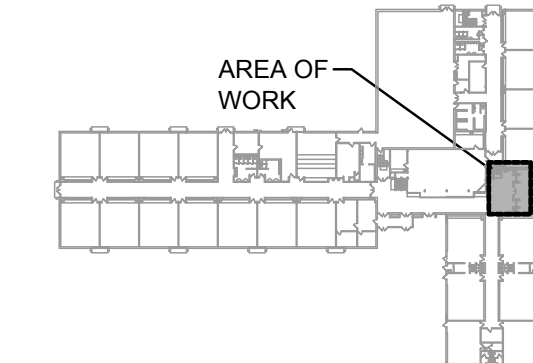
1 PARTIAL LOWER FLOOR ELECTRICAL DEMOLITION PLAN
1/4" = 1'-0"

DEMOLITION DRAWING NOTES:

- A. ALL INDICATED ELECTRICAL EQUIPMENT, FIXTURES, DEVICES AND RELATED CONDUIT AND WIRING TO BE REMOVED UNLESS NOTED OTHERWISE.
- B. ALL DEMOLITION OF THE ELECTRICAL SYSTEM AS NOTED FOR ON THE DEMOLITION DRAWINGS SHALL BE COORDINATED WITH THE RENOVATION REQUIREMENTS TO DETERMINE THIS CONTRACTORS WORK.
- C. IT IS THE INTENT OF THE ELECTRICAL DEMOLITION DRAWING(S) TO INDICATE AREAS IN WHICH ELECTRICAL EQUIPMENT, CONDUIT, LIGHTING FIXTURES, DEVICES, ETC. NEED TO BE REMOVED, RELOCATED OR MODIFIED BY THIS CONTRACTOR TO ALLOW FOR THE RENOVATION PHASE OF CONSTRUCTION. THE ELECTRICAL DEMOLITION PLAN IS FOR REFERENCE PURPOSES ONLY AND IT IS NOT INTENDED TO BE THE SOLE SOURCE OF EXISTING CONDITIONS.
- D. THIS CONTRACTOR SHALL VISIT THE BUILDING, BEFORE SUBMITTING HIS BID, TO VERIFY THE EXISTING CONDITIONS WHICH WILL AFFECT HIS WORK.
- E. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE ELECTRICAL DEMOLITION REQUIRED TO ACCOMMODATE THE RENOVATION. REMOVE AS REQUIRED ALL LIGHTING FIXTURES, RECEPTACLES, EQUIPMENT, DEVICES, ETC. PULL OUT ALL UNUSED CONDUCTORS AND CABLES AND REMOVE ALL ABANDONED CONDUIT. ELECTRICALLY DISCONNECT AIR HANDLING UNITS, ELECTRICAL WATER HEATERS AND OTHER SUCH EQUIPMENT FOR REMOVAL BY OTHERS. ALL REMOVED EQUIPMENT SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE.

DEMOLITION SYMBOLS

SYMBOL	DESCRIPTION
X	EXISTING ELECTRICAL EQUIPMENT OR OUTLET TO REMAIN.
XRR	EXISTING ELECTRICAL EQUIPMENT OR OUTLET TO BE REMOVED, RELOCATED AND JUNCTION BOX REMOVED OR CAPPED AS REQUIRED.
XR	EXISTING ELECTRICAL EQUIPMENT OR OUTLET RELOCATED (NEW LOCATION).
R	EXISTING ELECTRICAL EQUIPMENT OR OUTLET TO BE REMOVED.



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ARCON
architects
construction managers
roof & masonry consultants
landscape architects
2050 south finley road, suite 40
lombard, illinois 60148
p: 630.495.1900
www.arconassoc.com

NEW ELEVATOR
at
WJ MURPHY ELEMENTARY SCHOOL
220 GREENWOOD DR.
ROUND LAKE PARK, IL 60073

for the
COMMUNITY UNIT SCHOOL DISTRICT 116
442 N. Cedar Lake Rd.
Round Lake IL 60073
847-270-9000



Mechanical/Electrical:
CS2 Design Group, LLC
837 Oakton Street
Elk Grove Village, IL 60007
p: 847.981.1880

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REVISIONS

No.	Date
AD1	09/09/2024

Project Number:
23170

Issue Date:
Aug. 30, 2024

Drawn by:
cs2

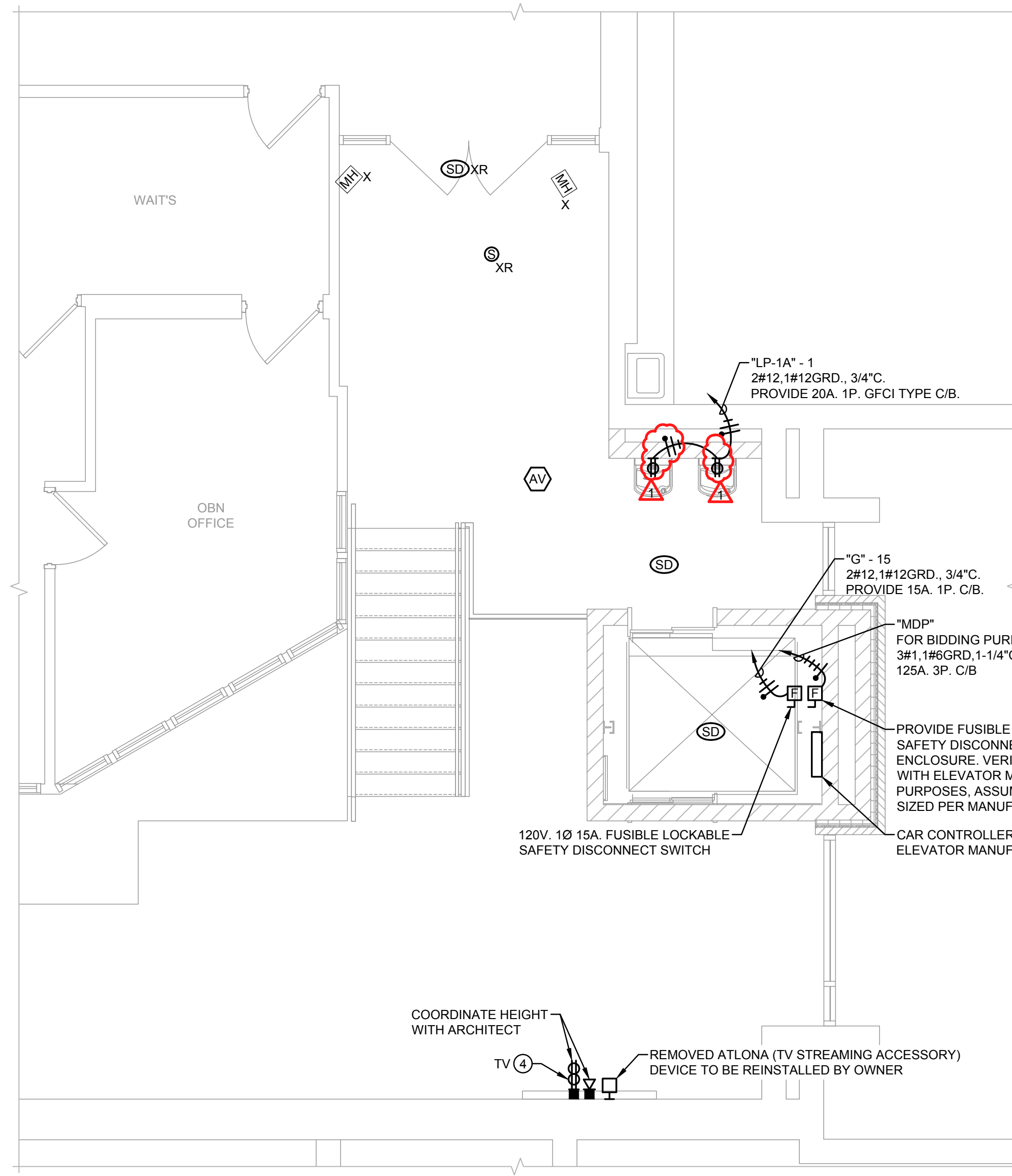
Sheet Title:
PARTIAL ELECTRICAL DEMOLITION PLANS

Sketch Number:

Sheet Number:

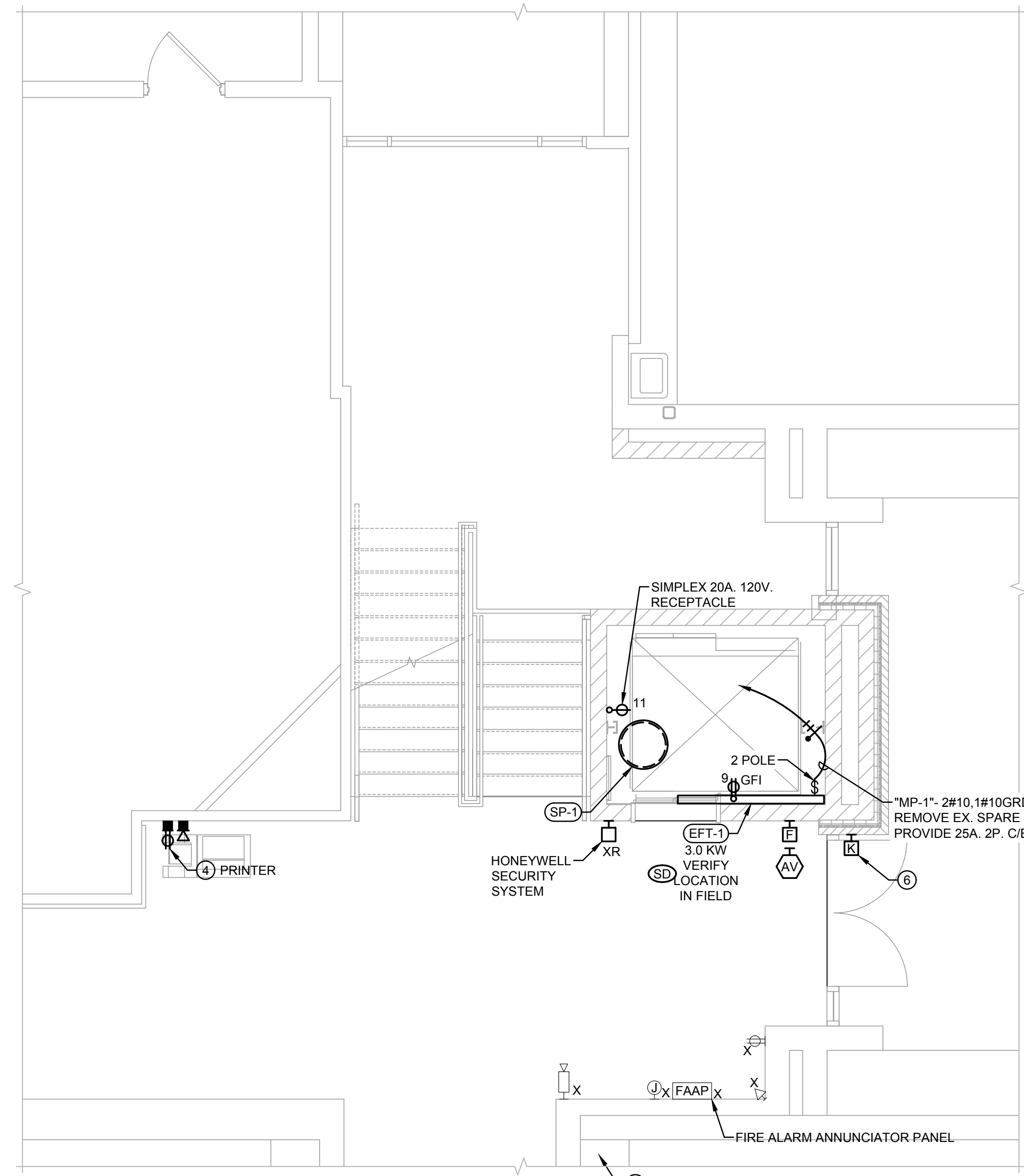
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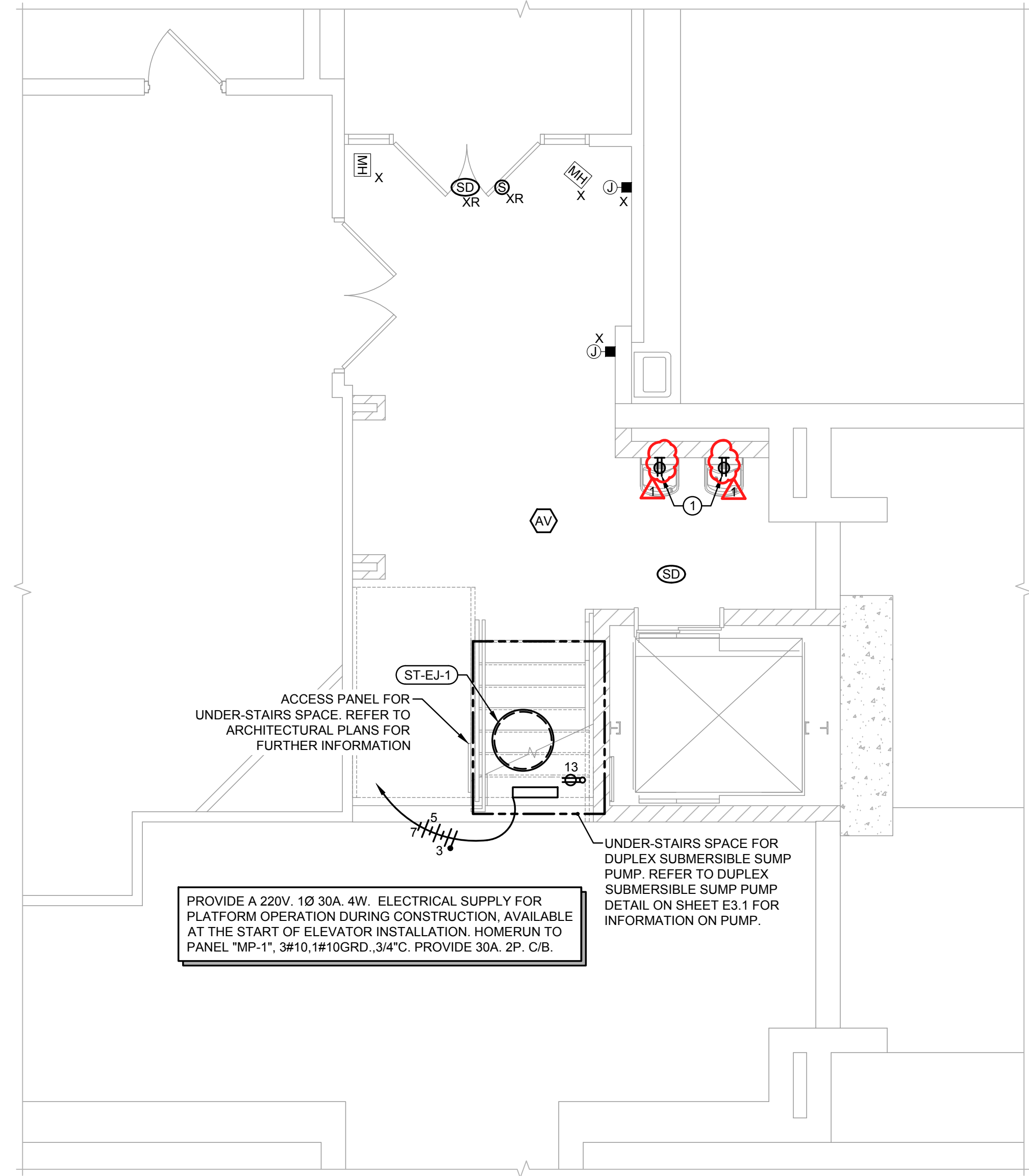


3 PARTIAL UPPER FLOOR ELECTRICAL PLAN
 1/4" = 1'-0"

HOMERUN ALL CIRCUITS TO PANEL "1-P-1A" UNLESS DENOTED OTHERWISE. CIRCUIT NUMBERS ARE FOR REFERENCE PURPOSES ONLY. REPURPOSE SPARE CIRCUIT BREAKERS WHERE AVAILABLE.



2 PARTIAL FIRST FLOOR ELECTRICAL PLAN
 1/4" = 1'-0"



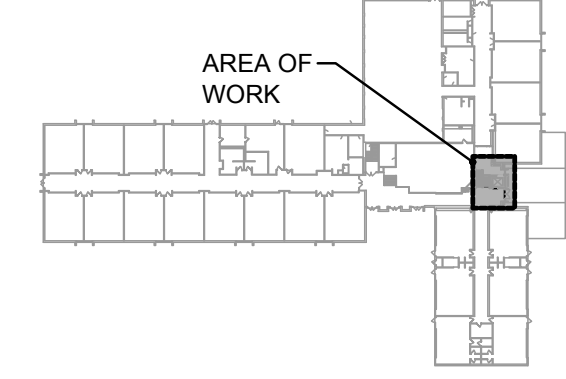
1 PARTIAL LOWER FLOOR ELECTRICAL PLAN
 1/4" = 1'-0"

DRAWING NOTES:

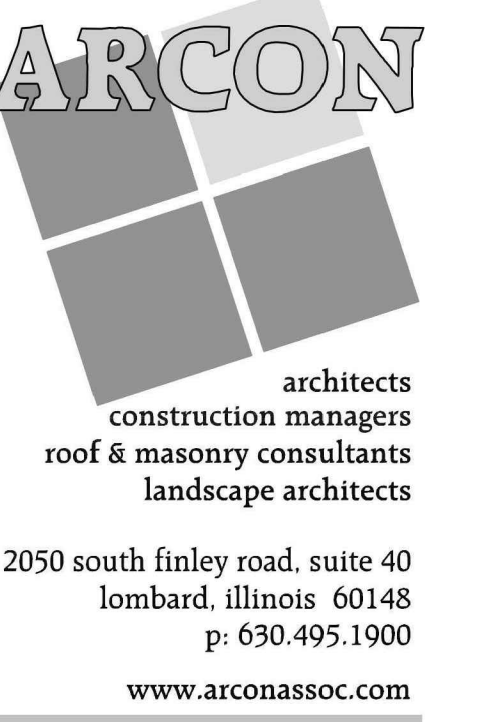
- CONNECT NEW RECEPTACLE TO EXISTING ELECTRIC WATER COOLER POWER BRANCH CIRCUIT SERVING PREVIOUS COOLER LOCATION. CONTRACTOR SHALL RELOCATE EXISTING JUNCTION BOXES, EXTEND CONDUIT AND WIRING AS REQUIRED TO ACCOMMODATE RENOVATIONS. REMOVE 20A, 1P, CIRCUIT BREAKER SERVING UNIT WITH GFCI TYPE. FIELD VERIFY EXISTING CONDITIONS.
- 2#12, 1#12GRD, 3/4" C. HOMERUN TO GENERATOR PANEL "G". REMOVE UNUSED 20A, 1P, C/B AND PROVIDE A 15A, 1P, IN PLACE AND CONNECT TO NEW 15A, 1P, C/B. CIRCUIT NUMBERS ARE FOR REFERENCE PURPOSES ONLY.
- 3 CONDUITS GOING INTO WALL AND IS NOT SEEN ON THE CORRIDOR SIDE AS PART OF THIS BID. CONTRACTOR TO INCLUDE THE COST TO MODIFY EXISTING CONDUIT BENEATH FINISHED FLOOR TO INSTALL NEW ELEVATOR AND ACCOMMODATE NEW RENOVATIONS AS REQUIRED. ASSUME 30 LINEAR FEET OF 3/4" CONDUIT WITH SEVEN (7) #12 AWG. FIELD VERIFY.
- CONNECT NEW RECEPTACLE TO EXISTING POWER BRANCH CIRCUIT SERVING PREVIOUS EQUIPMENT LOCATION. REFER TO TAGGED EQUIPMENT FOR BRANCH CIRCUIT NUMBER TO CONNECT TO. CONTRACTOR SHALL RELOCATE EXISTING JUNCTION BOXES, EXTEND CONDUIT AND WIRING AS REQUIRED TO ACCOMMODATE RENOVATIONS. FIELD VERIFY EXISTING CONDITIONS.
- CONNECT NEW RECEPTACLE TO EXISTING ELECTRIC WATER COOLER POWER BRANCH CIRCUIT ON SERVING PREVIOUS COOLER LOCATIONS ON LOWER FLOOR. CONTRACTOR SHALL RELOCATE EXISTING JUNCTION BOXES, EXTEND CONDUIT AND WIRING AS REQUIRED TO ACCOMMODATE RENOVATIONS. FIELD VERIFY EXISTING CONDITIONS.
- THE KNOX BOX MUST BE MONITORED AND PROGRAMMED TO SUPERVISORY, E.C. SHALL REPLACE THE EXISTING KNOX BOX WITH A NEW KNOX BOX THAT INCLUDES A BUILT-IN TAMPER SWITCH. FOLLOW THE MANUFACTURER'S INSTRUCTIONS FOR MOUNTING AND WIRING. CONNECT THE TAMPER SWITCH WIRING AS PER THE MANUFACTURER'S GUIDELINES AND ENSURE IT INTERFACES WITH THE APPROPRIATE ALARM MONITORING SYSTEM. CONDUCT THOROUGH TESTING TO ENSURE THAT THE TAMPER SWITCH FUNCTIONS CORRECTLY AND SENDS SIGNALS TO THE ALARM MONITORING SYSTEM AS INTENDED.

GENERAL NOTES:

- THE MINIMUM WIRE SIZE SHALL BE # 12 AWG. PROVIDE DEDICATED NEUTRALS, NO COMMON NEUTRALS ARE PERMITTED.
- THE MINIMUM CONDUIT SIZE FOR HOMERUNS AND BRANCH FEEDS SHALL BE 3/4" - 1 1/2" CONDUIT SHALL BE ACCEPTABLE FOR BRANCH WIRING FOR SINGLE CIRCUITS ONLY. ALL BRANCH CIRCUITS CIRCUITS SHALL TERMINATE AT 20A-1P CIRCUIT BREAKERS IN PANELBOARD INDICATED UNLESS SPECIFICALLY INDICATED OTHERWISE.
- THE CONTRACTOR SHALL UPSIZE CONDUCTORS AND CONDUITS (OVER 75'-0" IN LENGTH) TO COMPENSATE FOR VOLTAGE DROP.
- THE CONTRACTOR SHALL PROVIDE ALL PENETRATIONS, SLEEVES AND SEALANT AS REQUIRED THRU PARTITIONS TO ACCOMMODATE ANY CONDUITS / RACEWAYS, CABLING, ETC... ALL PENETRATIONS THRU RATED WALL ASSEMBLY(ES) MUST MEET THE UL RATING OF THE WALL SYSTEM(S).
- REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION REGARDING MOUNTING HEIGHTS AND EXACT LOCATIONS OF ALL ELECTRICAL DEVICES BEFORE ROUGH-IN.
- THE CONTRACTOR SHALL VERIFY EXACT EQUIPMENT LOCATIONS, LOAD INFORMATION, VOLTAGE, AMPERAGE, CONNECTION TYPE, ETC... WITH EQUIPMENT BEING SUPPLIED PRIOR TO ROUGH-IN.
- ALL WALL-MOUNTED ELECTRICAL DEVICES (RECEPTACLES, OUTLETS, LIGHT SWITCHES, ETC...) TO BE WHITE IN COLOR WITH STAINLESS STEEL FACEPLATE(S).
- ALL EQUIPMENT / ITEMS INDICATED ON PLANS ARE NEW UNLESS SPECIFICALLY INDICATED OTHERWISE.



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NEW ELEVATOR

at
WJ MURPHY ELEMENTARY SCHOOL
220 GREENWOOD DR.
ROUND LAKE PARK, IL 60073

for the
COMMUNITY UNIT SCHOOL DISTRICT 116
 442 N. Cedar Lake Rd.
 Round Lake IL 60073
 847-270-9000



Mechanical/Electrical:
CS2 Design Group, LLC
 837 Oakton Street
 Elk Grove Village, IL 60007
 p: 847.981.1880

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23170
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Aug. 30, 2024
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cs2
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PARTIAL ELECTRICAL PLANS
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E1.1