



STATE OF CONNECTICUT – COUNTY OF TOLLAND
INCORPORATED 1786

TOWN OF ELLINGTON

55 MAIN STREET – PO BOX 187
ELLINGTON, CONNECTICUT 06029-0187
www.ellington-ct.gov

TEL. (860) 870-3120 TOWN PLANNER'S OFFICE FAX (860) 870-3122

INLAND WETLANDS AGENCY REGULAR MEETING AGENDA MONDAY, SEPTEMBER 23, 2024, 7:00 P.M.

IN-PERSON ATTENDANCE: TOWN HALL ANNEX, 57 MAIN STREET, ELLINGTON, CT
REMOTE ATTENDANCE: VIA ZOOM MEETING, INSTRUCTIONS PROVIDED BELOW

I. CALL TO ORDER

II. PUBLIC COMMENTS (on non-agenda items):

III. PUBLIC HEARING(S): *(Notice requirements met, hearings may commence unless otherwise noted)*

1. IW202413 – Stephen D. Williams, owner/applicant request for a permit to conduct regulated activity to construct a single-family home and associated improvements at 37 Wendell Road, APN 168-019-0000. *(Continued from August 12, 2024)*
2. IW202414 – Stephen Quatrocelli, owner/applicant request for a permit to conduct regulated activity to demolish existing home, deck and existing lake wall, to construct new single-family home, retaining walls, steps, storage shed and associated improvements at 10 East Shore Road, APN 149-097-0000.
3. IW202415 – Windermere Village Homeowners Association, owner/applicant, request for a permit to conduct regulated activity to excavate and maintain area to improve retention pond function and drainage at Windermere Avenue and Windermere Village Road, APN 017-024-0000.
4. IW202418 – Diane Shea, owner/applicant, request for a permit to conduct regulated activity to add stone to existing rock wall at the lake edge at 3 Holmes Road, APN 169-027-0000.

IV. OLD BUSINESS: None

V. NEW BUSINESS:

1. IW202407 – Bradly & Amanda Bahler, owner/applicant, request for a permit to conduct regulated activity to construct a 26'x6' bridge over Hydes Brook at 353 Somers Road, APN 105-007-0000.

VI. ADMINISTRATIVE BUSINESS:

1. Approval of the August 12, 2024, Regular Meeting Minutes.
2. Correspondence/Discussion:
 - a. Journal Inquirer article published August 21, 2024, titled "Flooding is destructive and we're making it worse".

VII. ADJOURNMENT:

Next Regular Meeting is scheduled for October 21, 2024

Instructions to attend remotely via Zoom Meeting listed below. The agenda is posted on the Town of Ellington webpage (www.ellington-ct.gov) under Agenda & Minutes, Inland Wetlands Agency.

Join Zoom Meeting via link:

Link: <https://us06web.zoom.us/j/85043319171>

Meeting ID: 850 4331 9171

Passcode: 546032

Join Zoom Meeting by phone:

+1 646 558 8656 US (New York)

Meeting ID: 850 4331 9171

Passcode: 546032

TABLES OF PLANTING MATERIALS FOR WETLAND ENHANCEMENT
37 Wendell Road & Pine Street, Ellington, Connecticut

| Table 1. Trees | | | | | | |
|---------------------------------|--------------------|-------------|------------------------|-------------|------------------------|--------------|
| <u>Scientific Name</u> | <u>Common Name</u> | <u>Size</u> | <u>Shade tolerant?</u> | <u>Form</u> | <u>Wetland Habitat</u> | <u>Total</u> |
| FULL SIZE TREES | | | | | | |
| <i>Nyssa sylvatica</i> | Black gum | 6-8' | Y | potted | 2 | 2 |
| Total: | | | | | 2 | 2 |
| SMALL TREES/LARGE SHRUBS | | | | | | |
| <i>Amelanchier canadensis</i> | Shadblow | 4'-6' | Y /N | potted | 2 | 2 |
| <i>Salix discolor</i> | Pussy willow | 4'-6' | N | potted | 2 | 2 |
| Totals: | | | | | 4 | 4 |

| Table 2. Shrubs | | | | | | |
|-----------------------------|--------------------|-------------|------------------------|-------------|------------------------|--------------|
| <u>Scientific Name</u> | <u>Common Name</u> | <u>Size</u> | <u>Shade tolerant?</u> | <u>Form</u> | <u>Wetland Habitat</u> | <u>Total</u> |
| MEDIUM TO LOW SHRUBS | | | | | | |
| <i>Spiraea latifolia</i> | Meadowsweet | 3'-4' | N | potted | 4 | 4 |
| <i>Lyonia ligustrina</i> | Maleberry | 3'-4' | Y | potted | 2 | 2 |
| <i>Clethra alnifolia</i> | Sweet pepperbush | 3'-4' | Y | potted | 11 | 11 |
| <i>Ilex verticillata</i> | Winterberry | 3'-4' | Y | potted | 6 | 6 |
| <i>Photinia pyrifolia</i> | Red chokeberry | 3'-4' | N | potted | 2 | 2 |
| <i>Rosa palustris</i> | Swamp rose | 3'-4' | Y | potted | 3 | 3 |
| <i>Sambucus americana</i> | Common elderberry | 3'-4' | N | potted | 4 | 4 |
| <i>Swida racemosa</i> | Gray dogwood | 3'-4' | Y | potted | 9 | 9 |
| <i>Vaccinium corymbosum</i> | Highbush blueberry | 3'-4' | Y | potted | 4 | 4 |
| <i>Viburnum lentago</i> | Nannyberry | 3'-4' | Y | potted | 3 | 3 |
| Totals: | | | | | 48 | 48 |

Revision 12 (6 of each) of these shrubs to be placed between fence and tree line behind proposed dwelling

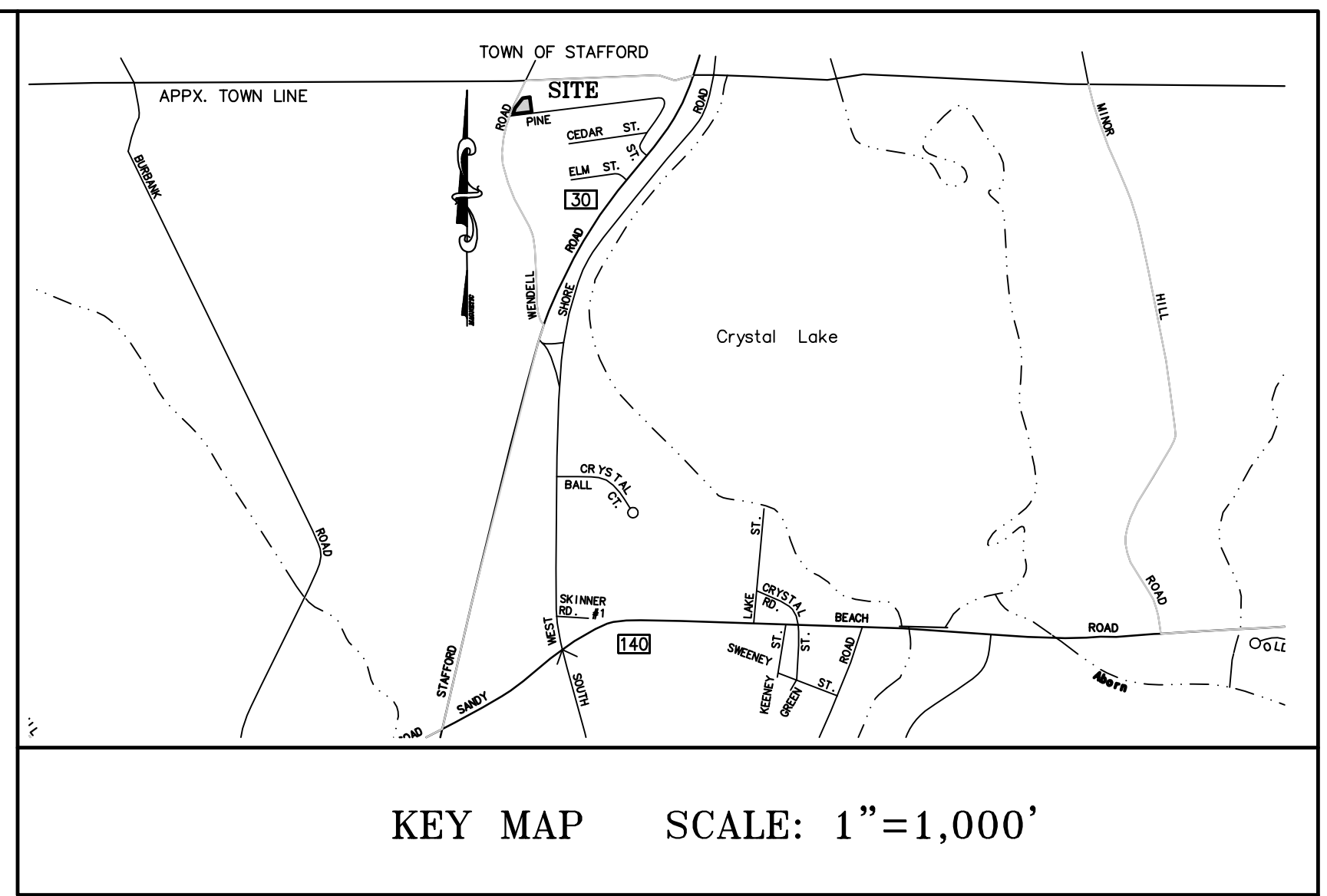
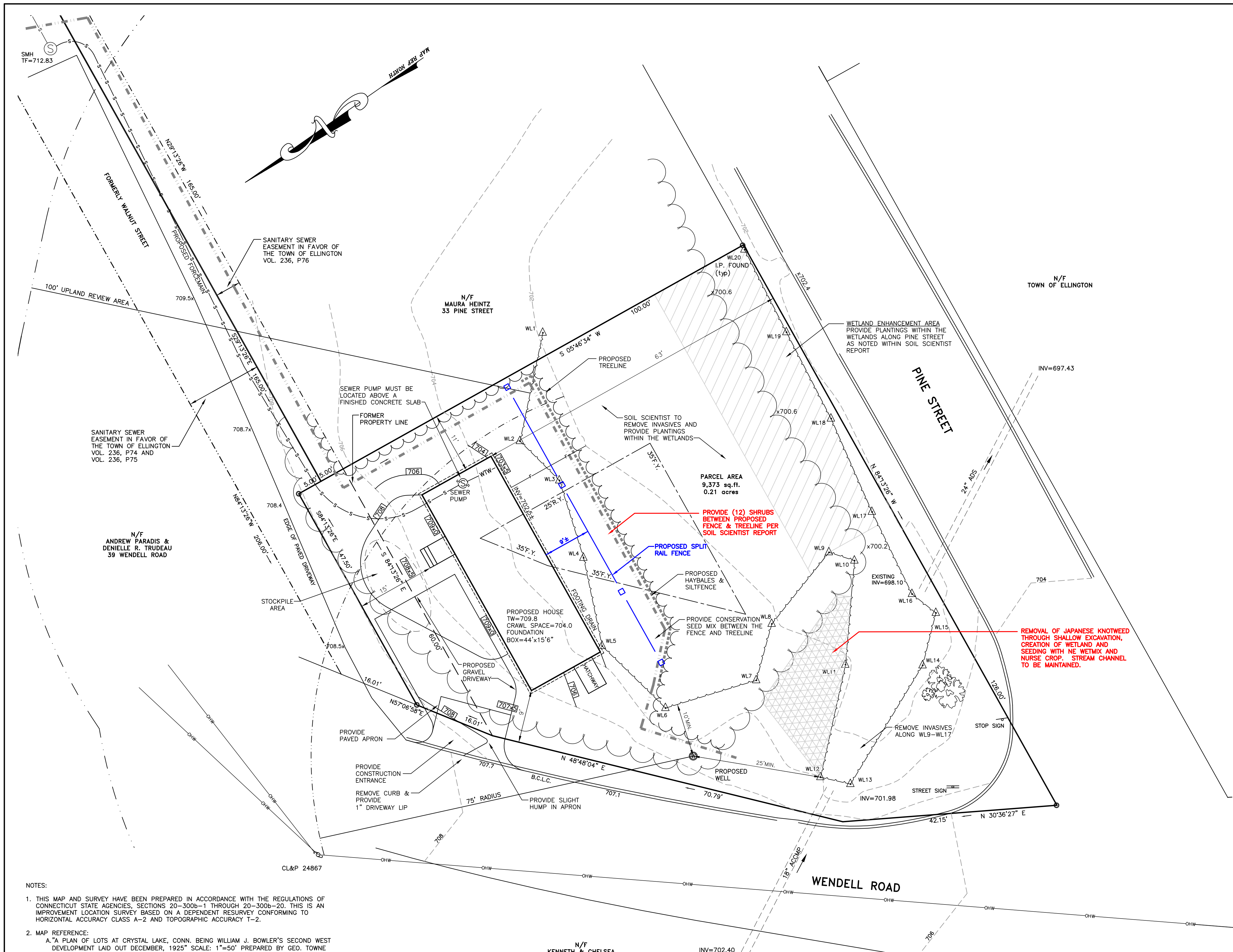
| Table 3. Herbs | | | | | | | | |
|-----------------------------|----------------------|-------------|--------------|-------------|--|----------------|------------------------|--------------|
| <u>Scientific Name</u> | <u>Common Name</u> | <u>Size</u> | <u>Hyrdo</u> | | | <u>Spacing</u> | <u>Wetland Habitat</u> | <u>Total</u> |
| | | | <u>Zone</u> | <u>NWI*</u> | | | | |
| <i>Asclepias incarnata</i> | Swamp milkweed | plug | B | OBL | | 1.5'OC | 50 | 50 |
| <i>Eutrochium maculatum</i> | Spotted joy-pye-weed | plug | C | FACW | | 1.5'OC | 50 | 50 |
| <i>Onoclea sensibilis</i> | Sensitive fern | quart pot | B | FACW | | 1.5'OC | 10 | 10 |
| <i>Mimulus ringens</i> | Monkey flower | plug | B | OBL | | 1.5'OC | 50 | 50 |
| <i>Carex crinita</i> | Fringed sedge | plug | B | OBL | | 1.5'OC | 50 | 50 |
| <i>Carex scoparia</i> | Broom sedge | plug | B, C | FACW | | 1.5'OC | 50 | 50 |
| <i>Zizia aurea</i> | Golden Alexanders | plug | B, C | FAC | | 1.5'OC | 25 | 25 |
| Totals: | | | | | | | 285 | 285 |

* NWI Status (National Wetland Inventory; National Wetland Plant List: Northcentral & Northeast)

NOTES:
Hydrologic Zones: A: seasonally flooded to semi-permanently flooded; B: sesonally saturated; C: moist; D: dry

Shaded species (NWI) were selected specifically to attract pollinator species including moths and butterflies

1. All work, including invasives removal and planting, shall be supervised by a wetland scientist/ecologist.
2. Mechanical removal of invasives shall be preferred but other CT DEEP prescribed methods may be used for some species.
3. Targeted invasives include: Japanese knotweed, Japanese barberry, multiflora rose, and garlic mustard.
4. Preferably plant woody and herbaceous plantings between April 15 and June 15 of a given year; woody species can be planted in fall.
5. Extra plugs will be ordered, because the minimum per flat is fifty.
6. Monitoring will take place for 2-years following establishment of plantings.
7. Annual reporting to the Town of Ellington will be provided for the 2-year monitoring period.



- NOTES:
- THIS MAP AND SURVEY HAVE BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20. THIS IS AN IMPROVEMENT LOCATION SURVEY BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY 1-2.
 - MAP REFERENCE:
 - A. "A PLAN OF LOTS AT CRYSTAL LAKE, CONN. BEING WILLIAM J. BOWLER'S SECOND WEST DEVELOPMENT LAID OUT DECEMBER, 1925" SCALE: 1"=50' PREPARED BY GEO. TOWNE
 - B. "REVISED LAYOUT OF LOTS ON PINE STREET SUPERCEEDING 'A' PLAN OF LOTS AT CRYSTAL LAKE BEING WM. J. BOWLER'S SECOND WEST DEVELOPMENT SCALE 1"INCH=50 FEET LAID OUT DECEMBER 1925 BY GEO TOWNE REVISIONS BY HD. HOWE RLS SEPT 1948."
 - C. "CONVEYANCE MAP OF A PORTION OF 'BOWLER SECOND WEST DEVELOPMENT' LOCATED AT CRYSTAL LAKE ELLINGTON, CONNECTICUT ALFRED E. SCHINDLER DATE 8/21/93 SCALE: 1"=50'
 - THE WATER TREATMENT WASTEWATER, IF NEEDED, SHALL DISCHARGE TO THE SANITARY SEWER.
 - UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING, OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO GARDNER & PETERSON ASSOCIATES, LLC. THE EXISTENCE, SIZE AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.
 - PARCEL IS LOCATED IN ZONE R AND IS WITHIN THE SEWER SERVICE AREA.

I HEREBY DECLARE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

ZONING TABLE

| R ZONE | REQUIRED | PROVIDED |
|--------------------|--|------------------------------------|
| MIN. LOT SIZE | 40,000 SQ.FT. | 9,373 SQ.FT. |
| MIN. LOT WIDTH | 100 FEET | 100+ FEET |
| FRONT YARD-WENDELL | 35 FEET | 9 FEET |
| FRONT YARD-PINE | 35 FEET | 63 FEET |
| SIDE YARD | 10 FEET | N/A |
| REAR YARD | 25 FEET-PRINCIPLE 10 FEET-ACCESSORY | 11 FEET-PRINCIPLE N/A-ACCESSORY |
| MAX. LOT COVERAGE | 25% | 13.5% |

THE WETLAND SOILS ON THIS PROPERTY WERE IDENTIFIED IN THE FIELD USING THE CRITERIA REQUIRED BY CONNECTICUT P.A. 72-155 AS AMENDED BY P.A. 73-571 AND ARE ACCURATELY REPRESENTED ON THIS PLAN.

George T. Logan
 GEORGE T. LOGAN, M.S., PWS
 Registered Soil Scientist

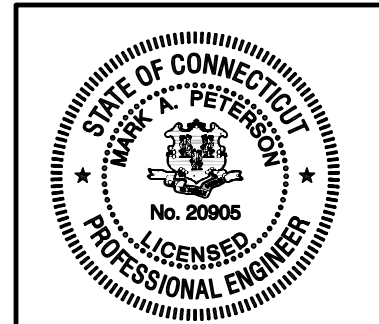
- LEGEND
- PROPERTY LINE
 - ABUTTING PARCEL
 - EXISTING I.P.
 - EXISTING MONUMENT
 - EXISTING DRAINAGE
 - ZONING SETBACK - PRINCIPAL STRUCTURE
 - EXISTING ELEVATION
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - PROPOSED ELEVATION
 - UTILITY POLE WITH WIRES
 - PROPOSED FOUNDATION DRAIN
 - PROPOSED SILTFENCE
 - PROPOSED HAYBALES
 - PROPOSED WELL
 - PROPOSED SEWER FORCEMAIN
 - PROPOSED WATER TREATMENT WASTEWATER
 - EXISTING TREELINE
 - PROPOSED TREELINE

IMPROVEMENT LOCATION SURVEY

PERMIT PLAN
 PREPARED FOR
STEPHEN D. WILLIAMS
 APN: 169-019-0000
 37 WENDELL ROAD
 ELLINGTON, CONNECTICUT

GARDNER & PETERSON ASSOCIATES, LLC
 178 HARTFORD TURNPIKE
 TOLLAND, CONNECTICUT

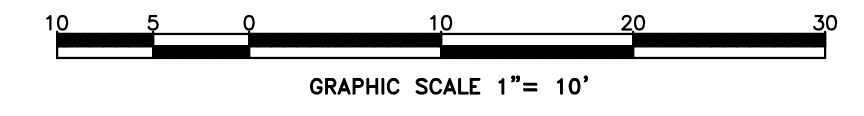
PROFESSIONAL ENGINEERS LAND SURVEYORS



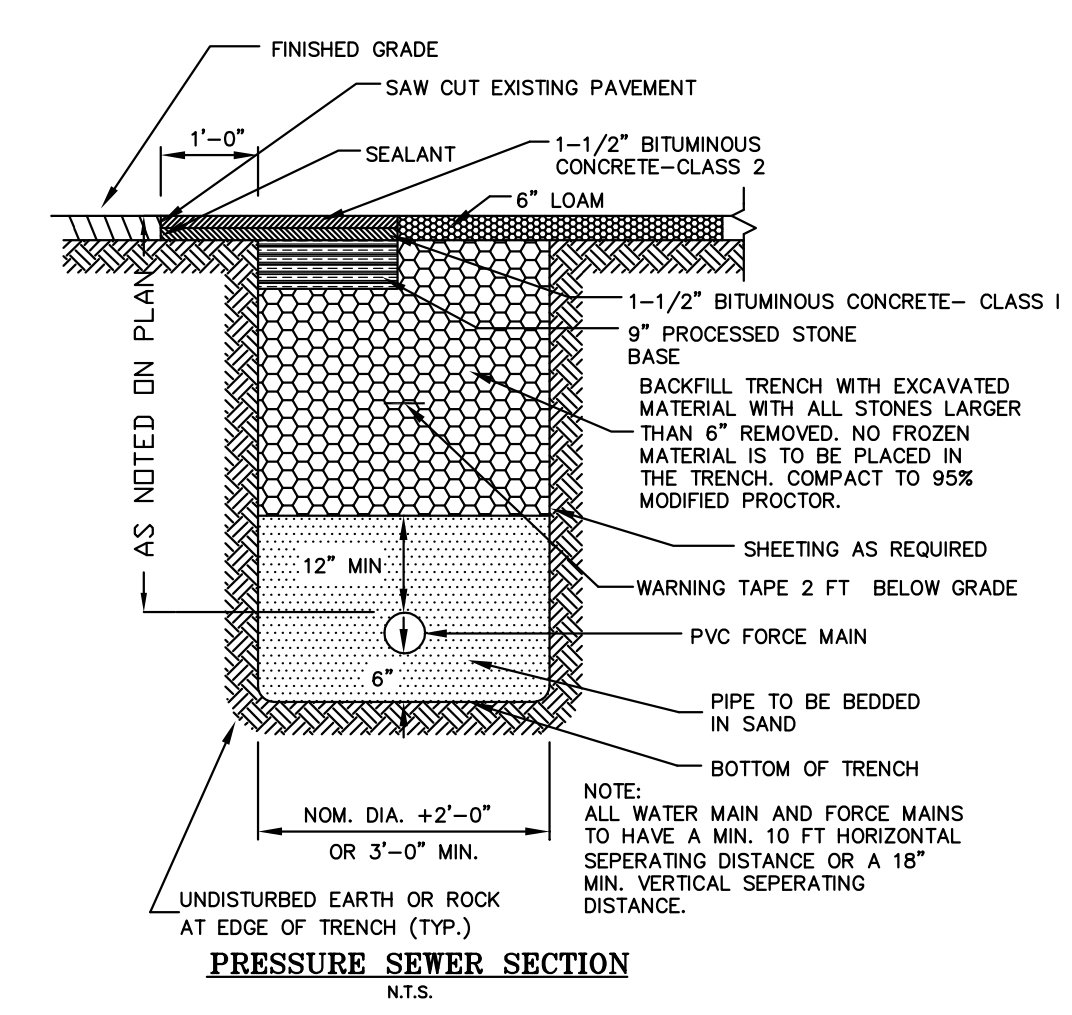
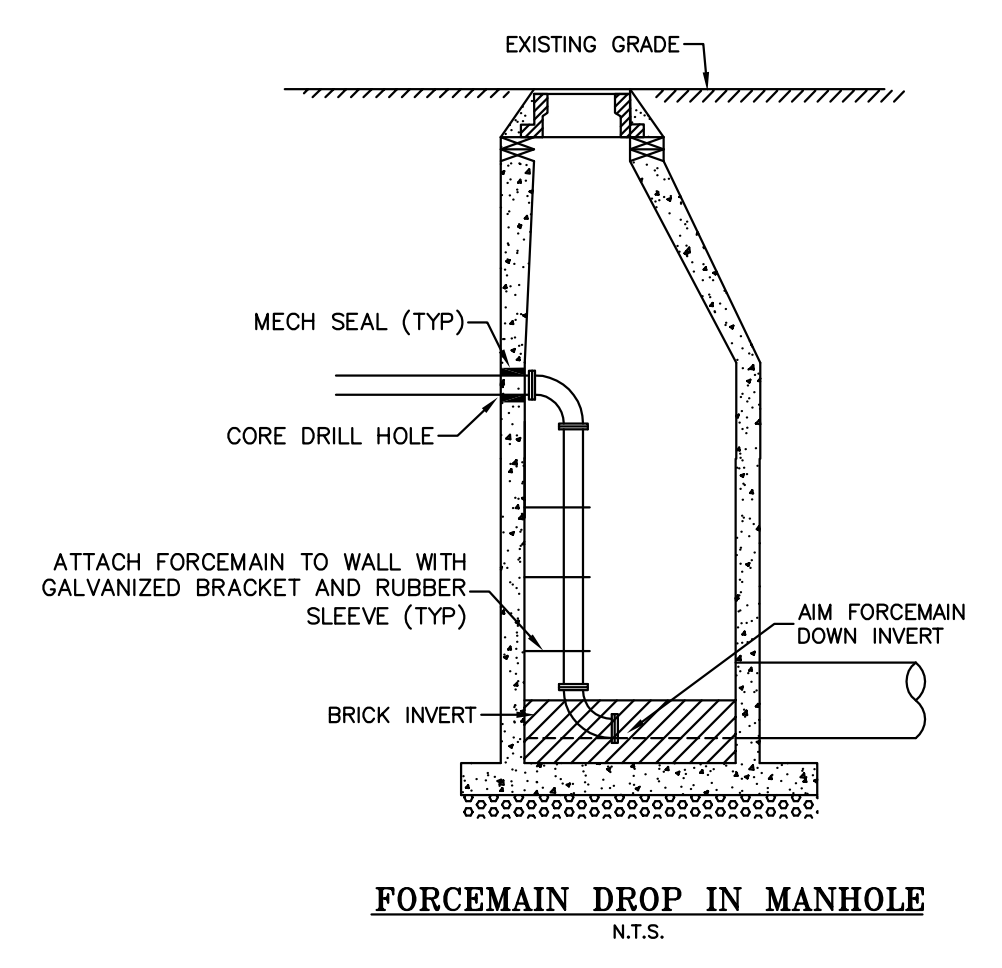
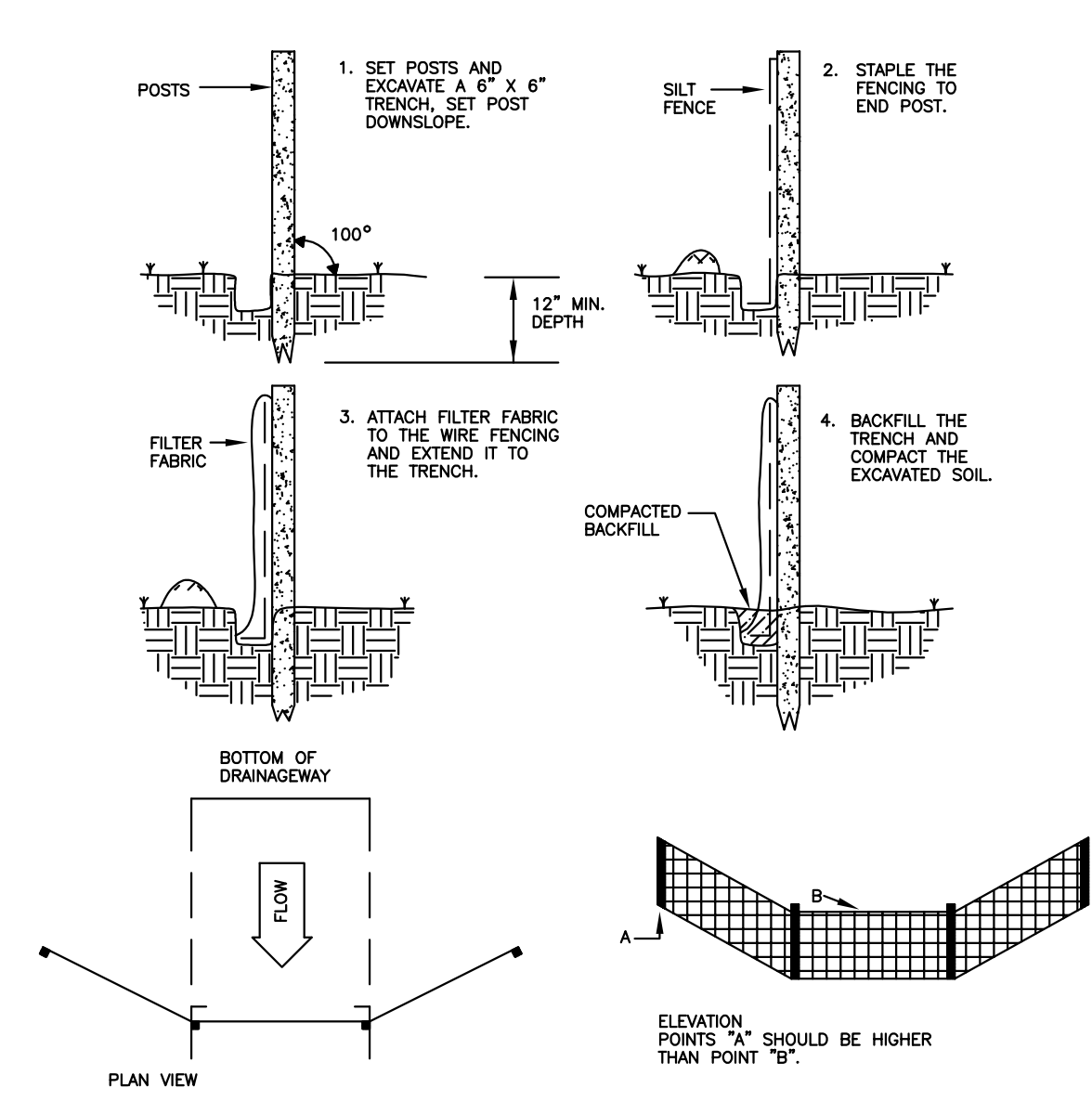
REVISIONS

| | | | | |
|------------|------------|---------------|--------------|----------------|
| 01-30-2024 | 05-14-2024 | 06-04-2024 | 08-28-2024 | 09-13-2024 |
| | | NCDD COMMENTS | IWC COMMENTS | STAFF COMMENTS |

| | | | | |
|---------------|--------|------------|-----------|---------|
| BY | SCALE | DATE | SHEET NO. | MAP NO. |
| S.E.J./M.A.P. | 1"=10' | 02-23-1996 | 1 OF 2 | 9169A |



PLACEMENT AND CONSTRUCTION OF A SYNTHETIC FILTER BARRIER



GENERAL EROSION AND SEDIMENT CONTROL NOTES

- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION.
- ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN THE AMOUNT NECESSARY TO COMPLETE THE FINISHED GRADING OF ALL EXPOSED AREAS.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO MINIMIZE EROSION, SLIPPAGE, AND SETTLEMENT. FILL INTENDED TO SUPPORT STRUCTURES, DRAINAGE, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH THE APPROPRIATE STATE AND/OR LOCAL SPECIFICATIONS.
- FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBISH, LARGE ROCKS, LOGS, STUMPS, BUILDING MATERIAL, COMPRESSIBLE MATERIAL AND OTHER MATERIALS WHICH MAY INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIAL OR SOFT MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON A FROZEN FOUNDATION.
- ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH SOUND CONSTRUCTION PRACTICE.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISH GRADING. IF FINISH GRADING IS TO BE DELAYED FOR MORE THAN 30 DAYS AFTER DISTURBANCE IS COMPLETE, TEMPORARY SOIL STABILIZATION MEASURES SHALL BE APPLIED. AREAS LEFT OVER 30 DAYS SHALL BE CONSIDERED "LONG TERM" AND SHALL RECEIVE TEMPORARY SEEDING WITHIN THE FIRST 15 DAYS.
- SITE IS TO BE GRADED TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCHING, AND MAINTENANCE UNLESS OTHERWISE SPECIFIED IN THE PLANS.
- CUT AND FILL SLOPES SHALL NOT BE STEEPER THAN 2:1. TOPSOIL SHALL BE SPREAD TO A MINIMUM DEPTH OF 4". ADDITIONAL TOPSOIL MAY BE REQUIRED TO MEET MINIMUM DEPTHS. NO TOPSOIL SHALL BE REMOVED FROM THIS SITE.
- APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL CULTIPACKER TYPE SEEDER, OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER). NORMAL SEEDING DEPTH IS FROM 1/4" TO 1/2" INCH. HYDROSEEDING WHICH IS MULCHED MAY BE LEFT ON THE SOIL SURFACE.
- WHERE FEASIBLE, EXCEPT WHERE EITHER A CULTIPACKER TYPE SEEDER OR HYDROSEEDER IS USED, THE SEEDBED SHOULD BE FIRMED FOLLOWING SEEDING WITH A ROLLER OR LIGHT DRAG.
- FERTILIZER AND LIME ARE TO BE WORKED INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC SPRING TOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISC OPERATION SHOULD BE ALONG THE CONTOUR.
- REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER. REMOVE ALL OTHER DEBRIS SUCH AS WIRE, TREE ROOTS, PIECES OF CONCRETE, OR OTHER UNSUITABLE MATERIALS.
- INSPECT SEEDBED BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED BEFORE SEEDING, THEN FIRMED AS DESCRIBED ABOVE.
- WHERE GRASSES PREDOMINATE, FERTILIZE ACCORDING TO SOIL ANALYSIS, OR SPREAD 300 POUNDS OF 10-10-10 OR EQUIVALENT PER ACRE (7.5 POUNDS PER 1000 S.F.).

PROJECT NAME: PERMIT PLAN
 LOCATION: 37 WENDELL ROAD ELLINGTON, CT
 PROJECT DESCRIPTION: SINGLE FAMILY HOUSE
 PARCEL AREA: 0.21 ACRES
 RESPONSIBLE PERSONNEL: STEPHEN D. WILLIAMS

| WORK DESCRIPTION | EROSION & SEDIMENT CONTROL MEASURES | DATE INSTALLED | INITIALS |
|--|--|----------------|----------|
| CONTACT CBYD | | | |
| FLAG LIMIT OF CLEARING & STAKE PROPERTY LINE IN AREAS OF CONSTRUCTION | | | |
| CUT TREES | | | |
| INSTALL ANTI-TRACKING PAD | | | |
| INSTALL SILT FENCE & HAYBALES | INSPECT EROSION CONTROLS PRIOR TO AND AFTER STORM EVENTS—REPAIR AS NECESSARY | | |
| REMOVE STUMPS | | | |
| ROUGH GRADE SITE | | | |
| EXCAVATE HOUSE WITH MINI-EXCAVATOR. CONSTRUCTION ACCESS FOR EXCAVATION SHALL BE FROM THE NORTH SIDE OF THE HOME AND EQUIPMENT SHALL STAY OUT OF WETLANDS | STOCKPILE MATERIAL AS SHOWN | | |
| CONSTRUCT HOUSE AND UTILITIES | | | |
| CONSTRUCT DRIVEWAY | | | |
| FINAL GRADE SITE | | | |
| INSTALL FENCE AND PLANTS ADJACENT TO FENCE | | | |
| INSTALL PLANTINGS PER SOIL SCIENTIST REPORT | | | |
| REMOVE JAPANESE KNOTWEED PER SOIL SCIENTIST RECOMMENDATIONS | | | |
| LOAM AND SEED ALL DISTURBED AREAS | | | |
| REMOVE SILT FENCE & HAYBALES WHEN SITE IS STABILIZED | | | |

PROJECT DATES:
 DATE OF CONSTRUCTION START: APPROX. FALL 2024
 DATE OF CONSTRUCTION COMPLETION: 1 YEAR AFTER START

EROSION AND SEDIMENT CONTROL PROCEDURES SHALL ESSENTIALLY BE IN ACCORDANCE WITH THESE PLANS, AS REQUIRED BY TOWN REGULATIONS, AND THE MANUAL, "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" FOR CONNECTICUT, BY THE COUNCIL ON SOIL AND WATER CONSERVATION, 1985, REVISED TO 2002.

TEMPORARY SEEDING SCHEDULE:

| SPECIES | LBS/ACRE | LBS/1000SF | SEEDING DATES |
|-----------------|----------|------------|----------------------|
| ANNUAL RYEGRASS | 40 | 0.9 | 3/1-6/15, 8/1-10/1 |
| WINTER RYE | 40 | 0.9 | 4/15-6/15, 8/15-10/1 |
| SUDANGRASS | 11 | 0.25 | 5/15-6/15 |

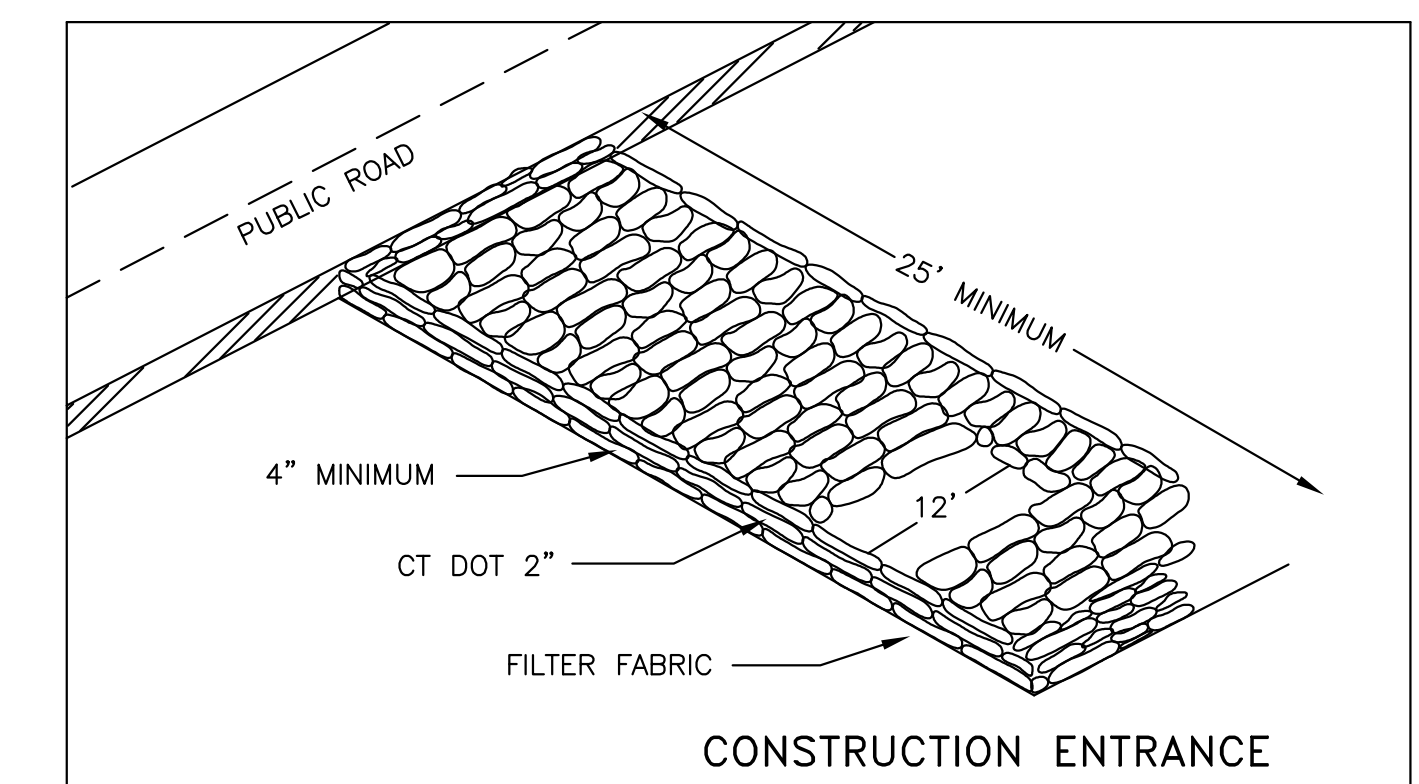
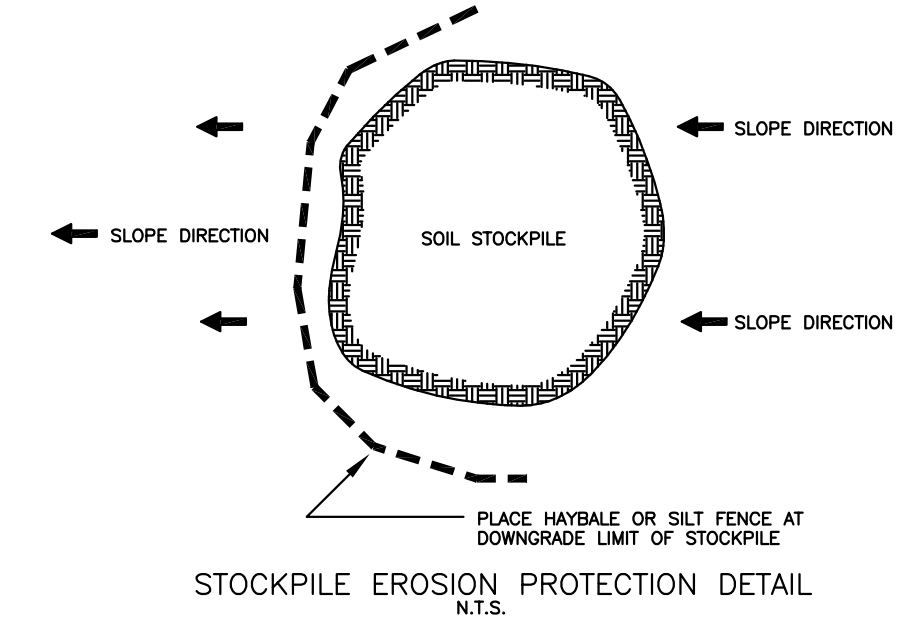
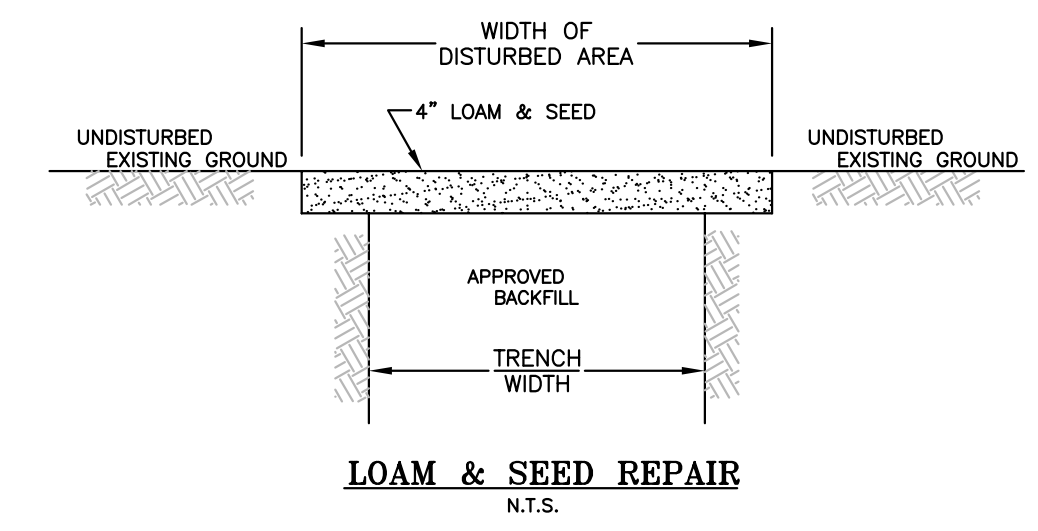
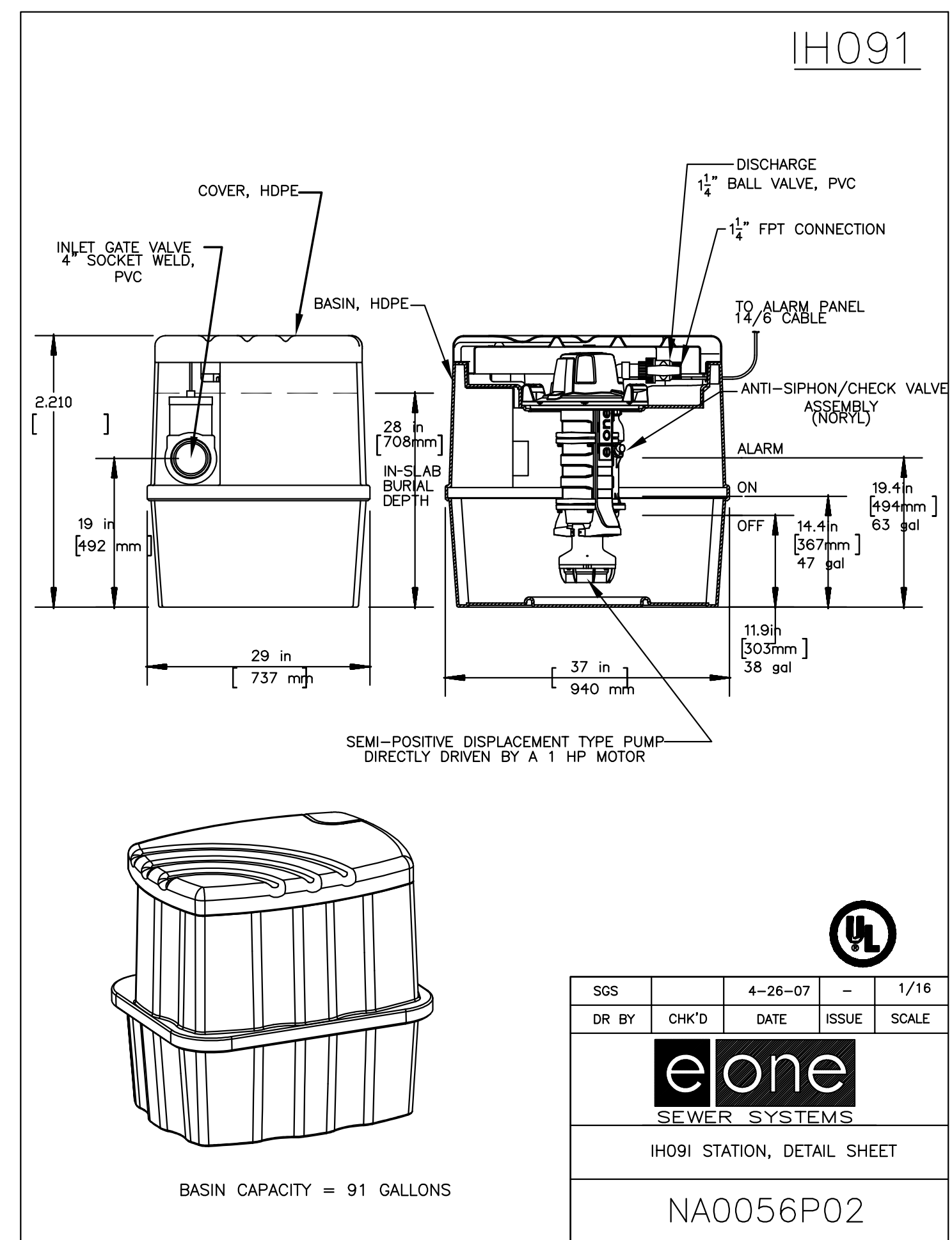
TEMPORARY SEEDING IS NOT LIMITED TO THE SPECIES SHOWN. OTHER SPECIES RECOMMENDED BY THE SCS OR AS LIMITED BY SITE CONDITIONS MAY BE USED.

STRAW MULCH IS TO BE APPLIED TO SEEDBED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE. 70 TO 90 LBS. PER 1000 SQ. FT.

FINAL SEEDING SCHEDULE:

PROVIDE 4 INCHES OF TOPSOIL MINIMUM, FREE OF ROOTS, LARGE STONES, AND OTHER OBJECTS.

| SPECIES | LBS/ACRE | LBS/1000SF | SEEDING DATES |
|---------------------|----------|------------|----------------------|
| KENTUCKY BLUEGRASS | 40 | 0.90 | 4/15-6/15, 8/15-9/15 |
| CREeping RED FESCUE | 120 | 2.75 | |
| PERENNIAL RYEGRASS | 40 | 0.90 | |



EROSION & SEDIMENTATION CONTROL PLAN

DETAIL SHEET
 PREPARED FOR
STEPHEN D. WILLIAMS
 APN: 169-019-0000
 37 WENDELL ROAD
 ELLINGTON, CONNECTICUT

GARDNER & PETERSON ASSOCIATES, LLC
 178 HARTFORD TURNPIKE
 TOLLAND, CONNECTICUT

PROFESSIONAL ENGINEERS LAND SURVEYORS

| | | | | |
|---------------------------|-------|------------|-----------|---------|
| REVISIONS | SCALE | DATE | SHEET NO. | MAP NO. |
| 01-30-2024 | NONE | 02-23-1996 | 2 OF 2 | 9169A |
| 05-14-2024 | | | | |
| 06-04-2024 NCDHD COMMENTS | | | | |
| 08-28-2024 IWC COMMENTS | | | | |
| 09-13-2024 STAFF COMMENTS | | | | |

BY: S.E.J./M.A.P.

Town of Ellington Inland Wetlands and Watercourses Agency Application

Application # IW 202414
Date Submitted 8-1-2024

Notices associated with this application will be sent to the applicant unless otherwise requested.

Owner's Information

Name: Steve Quatrocelli
Mailing Address: 24 Ellridge Place
Ellington, CT 06029
Email: squatrocelli@aol.com

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No

Primary Contact Phone #: (860) 712-7113

Secondary Contact Phone #: _____

Owner's Signature: *Steve P. Quatrocelli* Date: 7/25/2024

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Agency have been submitted. Moreover, by signing above I/we expressly provide written consent to the filing of the application and access to the site by the Agency or its staff.

Notices associated with this application will be sent to the applicant unless otherwise requested.

Applicant's Information (if different than owner)

Name: Eric Peterson
Mailing Address: Gardner & Peterson Assoc, LLC
178 Hartford Turnpike
Tolland, CT 06084
Email: epeterson@gardnerpeterson.com

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No

Primary Contact Phone #: (860) 871-0808

Secondary Contact Phone #: _____

Applicant's Signature: *Eric R. Peterson* Date: 7/25/2024

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Agency have been submitted.

RECEIVED

AUG - 1 2024

TOWN OF ELLINGTON
PLANNING DEPARTMENT

Street Address: 10 East Shore Road

Assessor's Parcel Number (APN): 149 - 097 - 0000

Proposed upland review area affected in square feet: 10,640 SQ. FT.

Proposed wetlands/watercourses affected in square feet and linear feet (as applicable): none

Total area of wetlands/watercourses on parcel in square feet or acres: none

Public Water: Yes No Public Sewer: Yes No *If not served by public water and sewer, applicant shall make application to North Central District Health Department (Enfield Office) if required.*

Is the project in a public water supply watershed area? Yes No
If YES, applicant is required to notify the Connecticut Water Company and Commissioner of Public Health by certified mail, return receipt within 7 days of this application (Conn. Gen Stat. Sec 22a-42f). Copy of application, plans, and supporting documents must accompany notice. Applicant can email the Commissioner of Public Health using their approved form. Proof of notice (return receipt and sent email) must be provided to the Planning Department.

Describe the nature of proposed regulated activity, request for acceptance of a permitted use as of right or a nonregulated use, map or regulation amendment, or other activity requiring review by the Agency or its Agent:
See attached Application Checklist and Appendix D for guidance when preparing application

Demolish existing house. Remove existing lake wall and re-stabilize shoreline. Renovate existing lake side deck. Construct new storage shed, retaining walls, steps and landscaping downhill of house.
Construct new house, driveway and finish landscaping. See attached narrative for more details.

Applicant shall provide certification in accordance with Wetlands Regulation, Section 7.4e, Application Requirements:

Whether or not any portion of the property on which the regulated activity is proposed is located within 500 feet of an adjoining town. Yes No

Whether or not a significant portion of the traffic to the completed project will use streets within an adjoining town to exit or enter the site. Yes No

Whether or not a significant portion of the sewer or water drainage from the project will flow through and significantly impact the sewer or water drainage system of an adjoining town. Yes No

Whether water run-off from the improved site will impact streets or other municipal/private property within an adjoining town. Yes No

FOR OFFICE USE ONLY

If YES to any of the above, the Agency shall, in accordance with CGS 8-7d(f) notify the clerk of any adjoining municipality of the pendency of any application, petition, appeal, request or plan concerning any project on any site. Notice of the pendency of such application shall be made by certified mail, return receipt requested, and shall be mailed within seven (7) days of the date of receipt of the application, petition, appeal, request or plan. **(See Agency requirements Section 8.4)**

Type of Project: (check one)

Commercial/Industrial Residential Mixed Use Timber Agricultural
 Other, explain: _____

Type of Application: (check one)

- Notification for Non-Regulated Use (Section 4.2)
- Notification of Permitted Use as of Right (Section 4.1)
- Administrative Permit (Section 6.4)
- Agency Permit (**TWELVE COPIES REQUIRED**)
- Permit Modification
- Permit Extension
- Regulation Amendment
- Map Amendment
- Appeal of Administrative Permit

Application Submittals:

- Completed Application Form (Section 7.4a)
- Application Fee (Section 7.4b)
- Abutters List (Section 7.4c)
- Certification as to Adjacent Towns (See above)
- Certification as to Connecticut Water Company & Commissioner of Public Health (See above)
- Notification Narrative and Supporting Documentation (If applicable, Appendix D)
- Project Narrative and Supporting Documentation (Section 7.4g, 1-11 inclusive, as deemed applicable)
- Project Site Plan - circle one: Administrative (Section 7.4h1) / Agency (Section 7.4h2)
- Supplemental Information (Section 7.5a-j, inclusive, as deemed applicable)

Inland Wetland Agency Permit Application Narrative

Steve and Patti Quatrocelli
10 East Shore Road
Ellington, CT

The homeowners, Steve and Patti Quatrocelli, request a permit for construction activities associated with building a new permanent home on their property on the east side of Crystal Lake. Construction will occur in 3 stages. The first being to demolish the existing house which, due to the small parcel size, will allow construction vehicles to access the lake side of the property. The second stage will be to restore the lake wall, deck and access to the deck. Once that area is constructed and stabilized the house will be constructed along with the final grading and exterior finishes around the house. In order to have the first two stages completed by winter, demolition of the house will commence in October.

Demolition of the Existing Structure

- Install silt fence and hay bale barrier downhill of house
- Protect sewer pump with 1" thick steel plate
- Disconnect water service from well and reconnect neighbor's service to well
- Disconnect utilities and demolish house
- Load debris into trucks and remove from site
- Remove existing foundation with excavator and load into trucks
- Flatten slopes in and around foundation hole
- Stabilize disturbed areas with seed

Lakefront Renovation

The existing deck on the edge of Crystal lake and the stairs leading down to it are rotting and need to be replaced. The current steps are also narrow, steep and are often slippery - safety is a major concern. The concrete lake wall under the deck is cracked and no longer level. It is not suitable as a foundation for any structure attached to it. The slope between the house and the lake is steep, making it difficult to navigate and maintain. Bahler Brothers has been retained to install a set of stone steps that work with the slope to connect the house with the waterfront; and renovate the lower deck and clean up the edge of the lake to make it safer and more sustainable.

Bahler Brothers will follow the construction sequence below for the first phase of the project:

- Create a temporary gravel access ramp to the lake for site access and material staging during construction. A skid steer and mini-excavator will be used throughout the project.
- Maintain all sedimentation and erosion controls.
- Demolition and disposal of existing 780 SF deck, wooden steps, existing retaining walls, and remove plants. Any excess materials will be removed from the site using trucks and roll-off dumpsters.

- Immediately behind existing lake wall stabilize the shoreline using a mix of a gabion wall and large boulders working with the existing rock and ledge in the lake. Place riprap on the gentler slopes under the future deck area. Remove concrete lake wall.
- Build geo-grid reinforced natural stone retaining walls by hand using locally sourced materials.
- Replace deck with a new 670 SF deck using Silca Grate system and permeable pavers. Concrete piers will be anchored to the rock ledge.
- Stone steps will be installed on the hillside. They will be placed with a mini-excavator.

Storage Shed

- Build a 15' by 10' storage shed

Build the New House

- Maintain and/or install silt fencing and haybales downhill of house construction at the uphill edge of the completed work described above
- Excavate for foundation
- Excess earth shall be loaded on a truck and removed from the site
- Construct foundation and house
- Make utility connections
- Inspect and repair erosion controls as needed

Final Stabilization / Hardscape and Landscape Project

Once the new house is built, Bahler Brothers has been retained to install some additional steps, boulder retaining walls, a permeable patio with a fire pit, a permeable front walkway, a permeable driveway, and a permeable parking area. Finally, the landscaping and low voltage lighting will be installed.

- Boulder Walls
- Permeable Patio Area and Fire Feature
- Lower Deck
- Pergolas
- Stone steps will be installed on the hillside. They will be placed with a mini-excavator
- Topsoil and seed disturbed areas
- Permeable Front Walkway
- Permeable Driveway
- Permeable Parking Area
- Landscaping
- Landscape Lighting

Previous Inland Wetland Agency Applications

- IW-2010-06: Issued May 17, 2010 for a 10'x12' two-story addition set on piers
- IW-2007-0014: Issued May 9, 2007 to enclose the area under the existing sunroom / four season porch at ground level for a 15'x10.5' sun porch with a foam & deck base.

ILW 202414

RECEIVED

AUG 30 2024

TOWN OF ELLINGTON
PLANNING DEPARTMENT

DRAINAGE CALCULATIONS

**10 East Shore Road
Ellington, Connecticut**

August 30, 2024

PREPARED FOR: Stephen & Patty Quatrocelli
10 East Shore Road
Ellington, Connecticut

PREPARED BY: Gardner & Peterson Associates, LLC
178 Hartford Turnpike
Tolland, CT 06084

pg 1 of 6

TR55 Tc Worksheet

Hyd. No. 2

CB 2

| <u>Description</u> | <u>A</u> | | <u>B</u> | | <u>C</u> | | <u>Totals</u> | |
|------------------------------------|---------------|----------|-------------|----------|-------------|----------|---------------|-----------------|
| Sheet Flow | | | | | | | | |
| Manning's n-value | = 0.240 | | 0.011 | | 0.011 | | | |
| Flow length (ft) | = 100.0 | | 0.0 | | 0.0 | | | |
| Two-year 24-hr precip. (in) | = 3.27 | | 0.00 | | 0.00 | | | |
| Land slope (%) | = 11.00 | | 0.00 | | 0.00 | | | |
| Travel Time (min) | = 7.14 | + | 0.00 | + | 0.00 | = | 7.14 | |
| Shallow Concentrated Flow | | | | | | | | |
| Flow length (ft) | = 287.00 | | 53.00 | | 0.00 | | | |
| Watercourse slope (%) | = 23.00 | | 3.00 | | 0.00 | | | |
| Surface description | = Unpaved | | Paved | | Paved | | | |
| Average velocity (ft/s) | = 7.74 | | 3.52 | | 0.00 | | | |
| Travel Time (min) | = 0.62 | + | 0.25 | + | 0.00 | = | 0.87 | |
| Channel Flow | | | | | | | | |
| X sectional flow area (sqft) | = 0.00 | | 0.00 | | 0.00 | | | |
| Wetted perimeter (ft) | = 0.00 | | 0.00 | | 0.00 | | | |
| Channel slope (%) | = 0.00 | | 0.00 | | 0.00 | | | |
| Manning's n-value | = 0.015 | | 0.015 | | 0.015 | | | |
| Velocity (ft/s) | = 0.00 | | 0.00 | | 0.00 | | | |
| Flow length (ft) | = 0.0 | | 0.0 | | 0.0 | | | |
| Travel Time (min) | = 0.00 | + | 0.00 | + | 0.00 | = | 0.00 | |
| Total Travel Time, Tc | | | | | | | = | 8.01 min |

Pg 2 of 6

GARDNER & PETERSON ASSOCIATES, LLC
 178 HARTFORD TURNPIKE
 TOLLAND, CT 06084
 TEL: 860-871-0808
 www.GardnerPeterson.com

JOB 8913 - Quatrocelli
 SHEET NO. 2 OF 4
 CALCULATED BY ERP DATE 8/30/2024
 CHECKED BY _____ DATE _____

GUTTER FLOW ANALYSIS

| | | | | | | | | | | | | | | | | | | | |
|--------------------------------|--|--------------|--------------|--------------|--------------|--|--|--|--|--|--|--|--|--|--|--|--|--|--|
| AI Entering Catch Basin | | 0.02 | 0.15 | 0.02 | 0.02 | | | | | | | | | | | | | | |
| AI Bypassing Inlet | | 0 | 0 | 0 | 0 | | | | | | | | | | | | | | |
| Q Bypassing Inlet (cfs) | | | | | | | | | | | | | | | | | | | |
| Width of Flow (ft) | | At Low Point | At Low Point | At Low Point | At Low Point | | | | | | | | | | | | | | |
| Depth of Flow at Gutter (ft) | | | | | | | | | | | | | | | | | | | |
| Cross Slope fo Shoulder | | | | | | | | | | | | | | | | | | | |
| Grade of Gutter (ft/ft) | | | | | | | | | | | | | | | | | | | |
| Q To Inlet (cfs) | | 0.1 | 0.8 | 0.1 | 0.1 | | | | | | | | | | | | | | |
| 10yr Rainfall Intensity(in/hr) | | 6.0 | 5.3 | 6.0 | 6.0 | | | | | | | | | | | | | | |
| Total AI | | 0.02 | 0.15 | 0.02 | 0.02 | | | | | | | | | | | | | | |
| Sum AI | | 0 | 0 | 0 | 0 | | | | | | | | | | | | | | |
| AI | | 0.02 | 0.15 | 0.02 | 0.02 | | | | | | | | | | | | | | |
| Runoff Coeficient | | 0.72 | 0.31 | 0.90 | 0.72 | | | | | | | | | | | | | | |
| Area (Acres) | | 0.03 | 0.49 | 0.02 | 0.03 | | | | | | | | | | | | | | |
| Time To Inlet (Min) | | 5 | 8 | 5 | 5 | | | | | | | | | | | | | | |
| Inlet Number | | YD 1 | CB 2 | YD 3 | YD 4 | | | | | | | | | | | | | | |

Pg 3 of 6

STORM SEWER DESIGN

| N' | 0.011 | 0.011 | 0.011 | 0.011 |
|----------------------------------|-------|-------|-------|-------|
| Headwater (ft) | 0.1 | 0.6 | 0.6 | 0.7 |
| Full Capacity (cfs) | 4.9 | 3.4 | 4.3 | 13.9 |
| Average Velocity (fps) | 8.9 | 6.2 | 8 | 25.5 |
| Slope (%) | 3.5 | 1.7 | 2.8 | 28.6 |
| Length of Pipe (ft) | 13 | 27 | 39 | 38 |
| Pipe Size (in) | 10 | 10 | 10 | 10 |
| Q In System (cfs) | 0.1 | 0.9 | 1.0 | 1.1 |
| 10 yr Rainfall Intensity (in/hr) | 6.0 | 5.3 | 5.3 | 5.3 |
| Sum AI In System | 0.02 | 0.17 | 0.19 | 0.21 |
| AI Entering Catch Basin | 0.02 | 0.15 | 0.02 | 0.02 |
| Accumulated Time (min) | 5 | 8 | 8 | 8 |
| Time In Pipe (sec) | 1 | 4 | 5 | 1 |
| Time To Inlet (Min) | 5 | 8 | 5 | 5 |
| Line Segment | 1-2 | 2-3 | 3-4 | 4-END |

GARDNER & PETERSON ASSOCIATES, LLC

178 HARTFORD TURNPIKE
TOLLAND, CT 06084
TEL: 860-871-0808
www.GardnerPeterson.com

| | | | |
|----------------|--------------------|------|------------|
| Job: | 8913 - Quatrocelli | | |
| Sheet No: | 4 | of | 4 |
| Calculated By: | ERP | Date | 08/30/2024 |
| Checked By: | Rev | | |

APRON REQUIREMENTS FOR OUTLET PROTECTION:

- 10" SDR:

$$Q = 1.1 \text{ cfs}$$

Critical Depth $D_c = 0.5$ ft (Concrete Pipe Design Manual - Figure 28)

Approximate Tailwater (TW)

$$TW \approx (D_c + dia)/2 = (0.5 + 0.8)/2 = 0.65 \text{ ft}$$

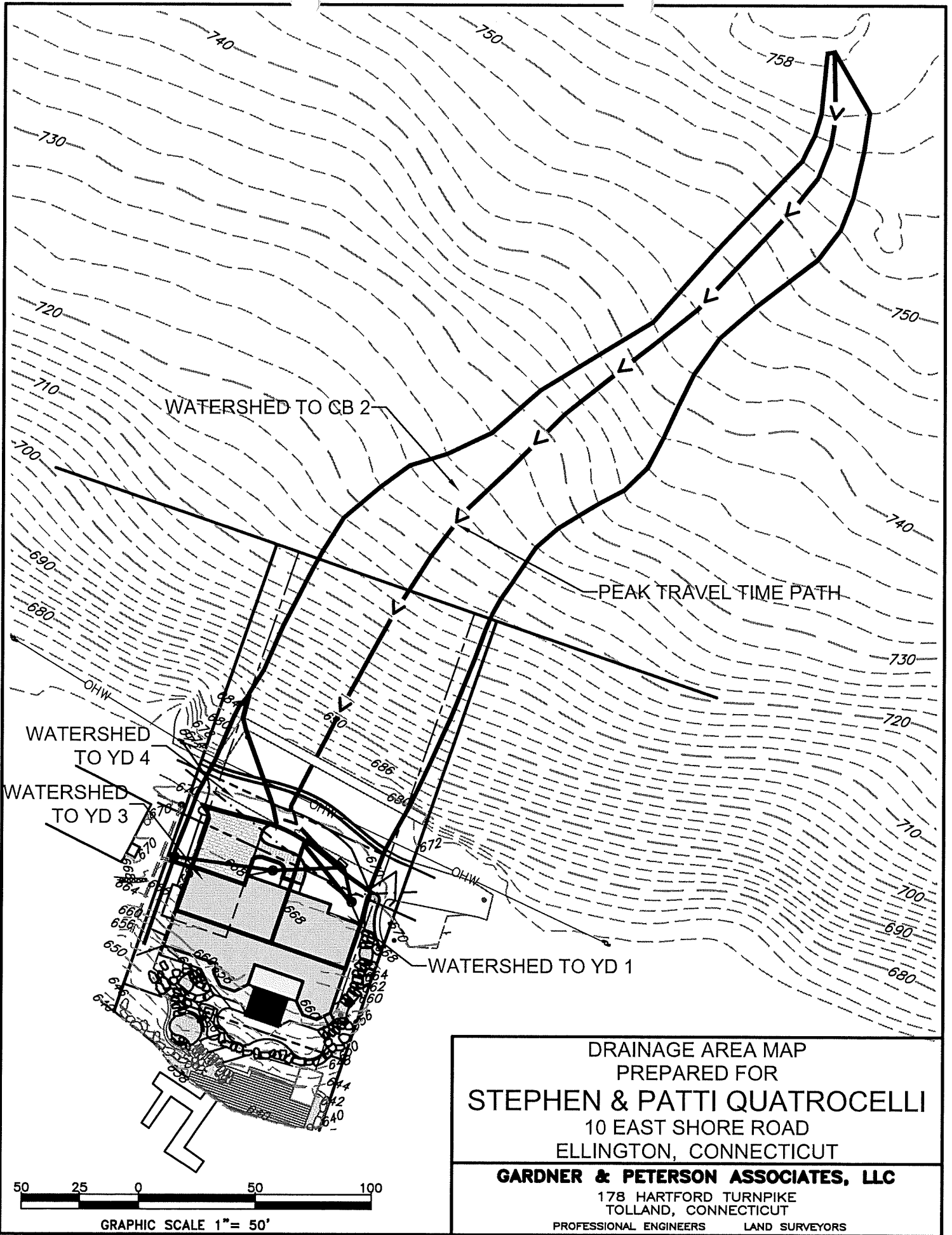
Median Stone Diameter:

$$d_{50} = (0.0125 R_p^2 / TW) \times (Q / R_p^{2.5})^{1.33}$$

$$d_{50} = (0.0125 \times 0.83^2 / 0.65) \times (1.1 / 0.83^{2.5})^{1.33}$$

$$d_{50} = 0.03 \text{ ft}$$

For $d_{50} < 0.42$ ft → Use Modified Riprap



Pg 6066

From: [Dana Steele](#)
To: [John Colonese](#)
Cc: [Barbra Galovich](#)
Subject: RE: IW202414 - 10 East Shore Road
Date: Wednesday, September 4, 2024 4:54:25 PM
Attachments: [image001.png](#)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

John,

I've reviewed the revised plans and calculations for 10 East Shore Road. The drainage has been revised to remain on the subject property. Pervious pavement is proposed where hard surfaces would otherwise exceed lot coverage limits. Appropriate erosion controls are proposed. The plans call for the existing wall to remain until the new wall is installed, thus limiting impacts to the lake. I take no exception to the plans or calculations as submitted.

Dana P. Steele, P.E.
Ellington Town Engineer



J.R. RUSSO & ASSOCIATES, LLC
P.O. Box 938, 1 Shoham Road
East Windsor, CT 06088
(CT) 860.623.0569 (MA) 413.785.1158
dsteele@jrusso.com | www.jrusso.com

From: Barbra Galovich <bgalovich@ELLINGTON-CT.GOV>
Sent: Tuesday, September 3, 2024 8:53 AM
To: Dana Steele <dsteele@jrusso.com>
Subject: IW202414 - 10 East Shore Road

Dana,

Hope you had a great weekend. Please see the below email and attachments for 10 East Shore Road. Let me know if you would like a copy of each and I can have them ready for your meeting with Lisa, John and Tom tomorrow morning.

Take care,
Barbra

From: Eric Peterson <epeterson@gardnerpeterson.com>

Sent: Friday, August 30, 2024 12:21 PM

To: John Colonese <jcolonese@ELLINGTON-CT.GOV>; Barbra Galovich <bgalovich@ELLINGTON-CT.GOV>

Subject: 10 East Shore Road

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

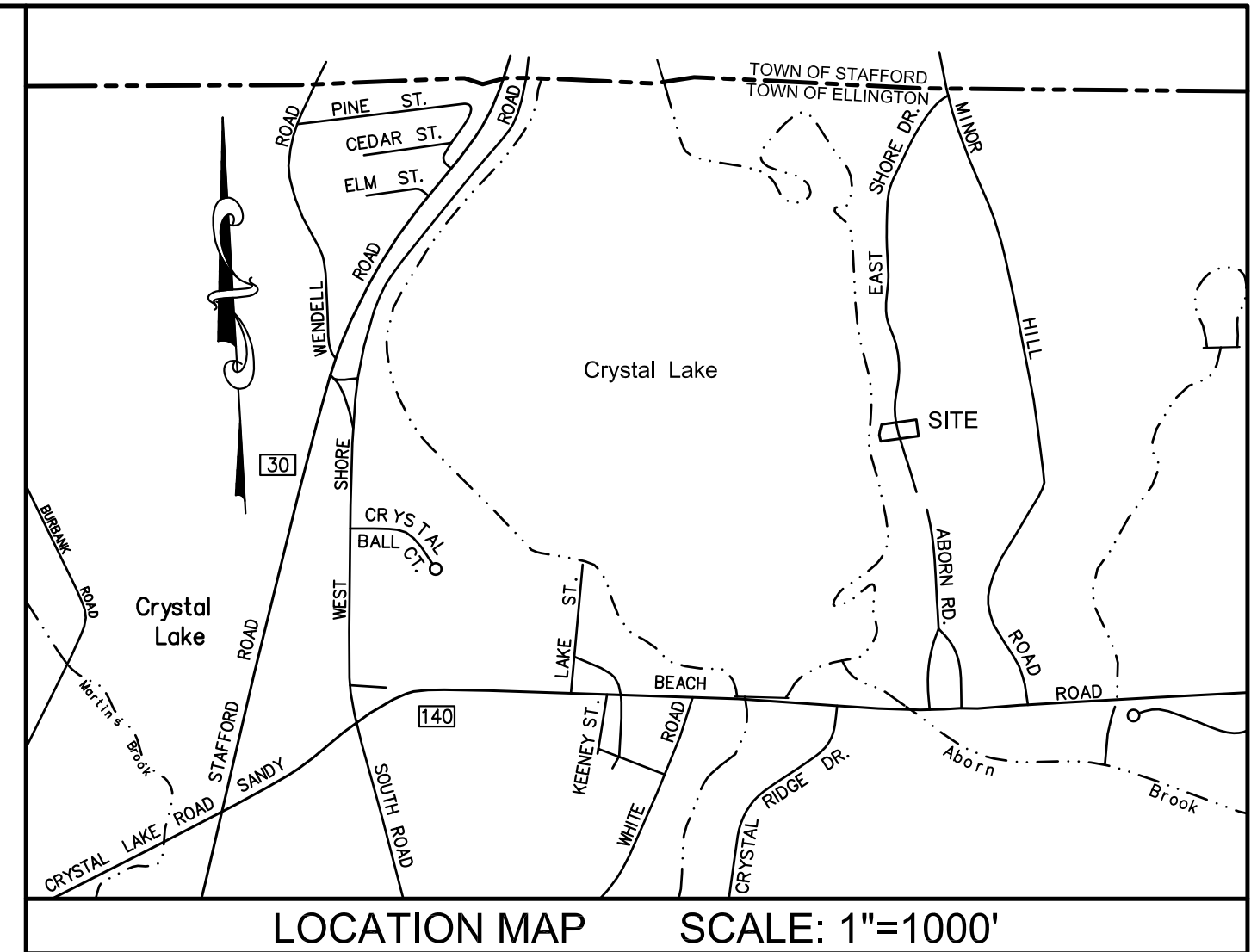
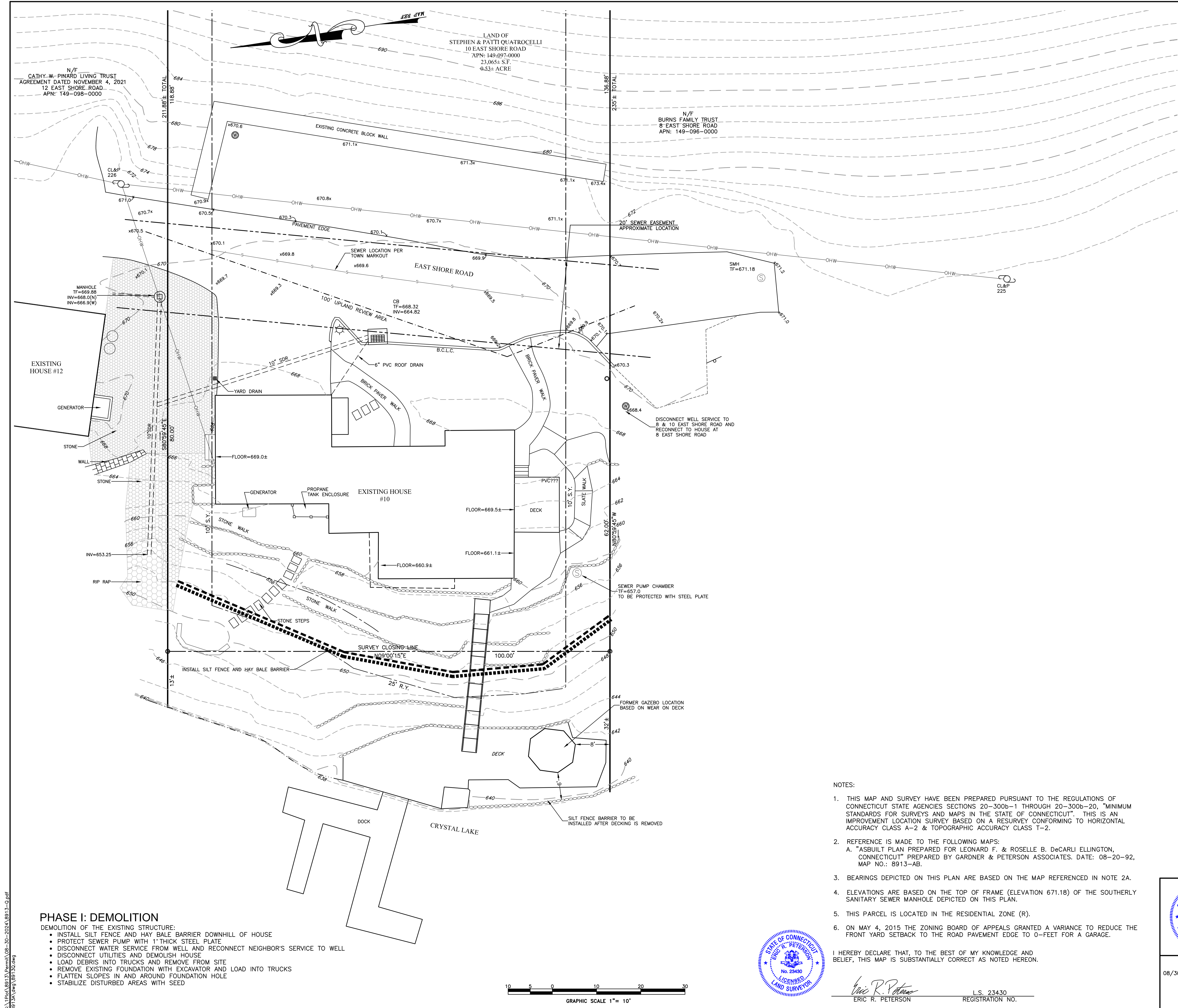
John / Barb:

Attached you will find revised plans and drainage calculations for the wetland application at 10 East Shore Road. Currently the drainage from this site connects to the drainage on 12 East Shore Road but the two property owners decided it would be best to separate them. The purpose of this revision is to show a new drainage outlet and show that the drainage system can handle the flow.

Please let me know if you need anything further at this time.

Thank you,

Eric Peterson, P.E., P.L.S.
Gardner & Peterson Associates, LLC
178 Hartford Turnpike
Tolland, Connecticut 06084
(860) 871-0808
www.GardnerPeterson.com

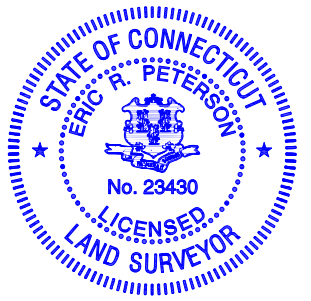


PHASE I: DEMOLITION

- DEMOLITION OF THE EXISTING STRUCTURE:
- INSTALL SILT FENCE AND HAY BALE BARRIER DOWNHILL OF HOUSE
 - PROTECT SEWER PUMP WITH 1" THICK STEEL PLATE
 - DISCONNECT WATER SERVICE FROM WELL AND RECONNECT NEIGHBOR'S SERVICE TO WELL
 - DISCONNECT UTILITIES AND DEMOLISH HOUSE
 - LOAD DEBRIS INTO TRUCKS AND REMOVE FROM SITE
 - REMOVE EXISTING FOUNDATION WITH EXCAVATOR AND LOAD INTO TRUCKS
 - FLATTEN SLOPES IN AND AROUND FOUNDATION HOLE
 - STABILIZE DISTURBED AREAS WITH SEED

- NOTES:
1. THIS MAP AND SURVEY HAVE BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20, "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT". THIS IS AN IMPROVEMENT LOCATION SURVEY BASED ON A RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 & TOPOGRAPHIC ACCURACY CLASS T-2.
 2. REFERENCE IS MADE TO THE FOLLOWING MAPS:
A. "ASBUILT PLAN PREPARED FOR LEONARD F. & ROSELLE B. DeCARLI ELLINGTON, CONNECTICUT" PREPARED BY GARDNER & PETERSON ASSOCIATES. DATE: 08-20-92. MAP NO.: 8913-AB.
 3. BEARINGS DEPICTED ON THIS PLAN ARE BASED ON THE MAP REFERENCED IN NOTE 2A.
 4. ELEVATIONS ARE BASED ON THE TOP OF FRAME (ELEVATION 671.18) OF THE SOUTHERLY SANITARY SEWER MANHOLE DEPICTED ON THIS PLAN.
 5. THIS PARCEL IS LOCATED IN THE RESIDENTIAL ZONE (R).
 6. ON MAY 4, 2015 THE ZONING BOARD OF APPEALS GRANTED A VARIANCE TO REDUCE THE FRONT YARD SETBACK TO THE ROAD PAVEMENT EDGE TO 0- FEET FOR A GARAGE.

I HEREBY DECLARE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.



Eric R. Peterson
L.S. 23430
REGISTRATION NO.

LEGEND

| | |
|--|------------------------------|
| | PROPERTY LINE |
| | ZONING SETBACK |
| | IRON PIPE/REBAR FOUND |
| | SIGN |
| | CURBING |
| | STORM CULVERT |
| | CATCH BASIN |
| | FENCE |
| | UTILITY POLE |
| | OVERHEAD WIRES |
| | SANITARY MANHOLE |
| | APPROXIMATE SANITARY SERVICE |
| | CONTOUR |
| | ELEVATION |
| | WELL |

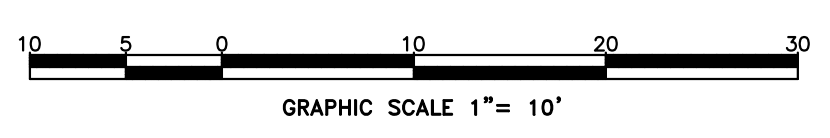
IMPROVEMENT LOCATION SURVEY
EXISTING CONDITIONS
PREPARED FOR
STEPHEN & PATTI QUATROCELLI
10 EAST SHORE ROAD
ELLINGTON, CONNECTICUT

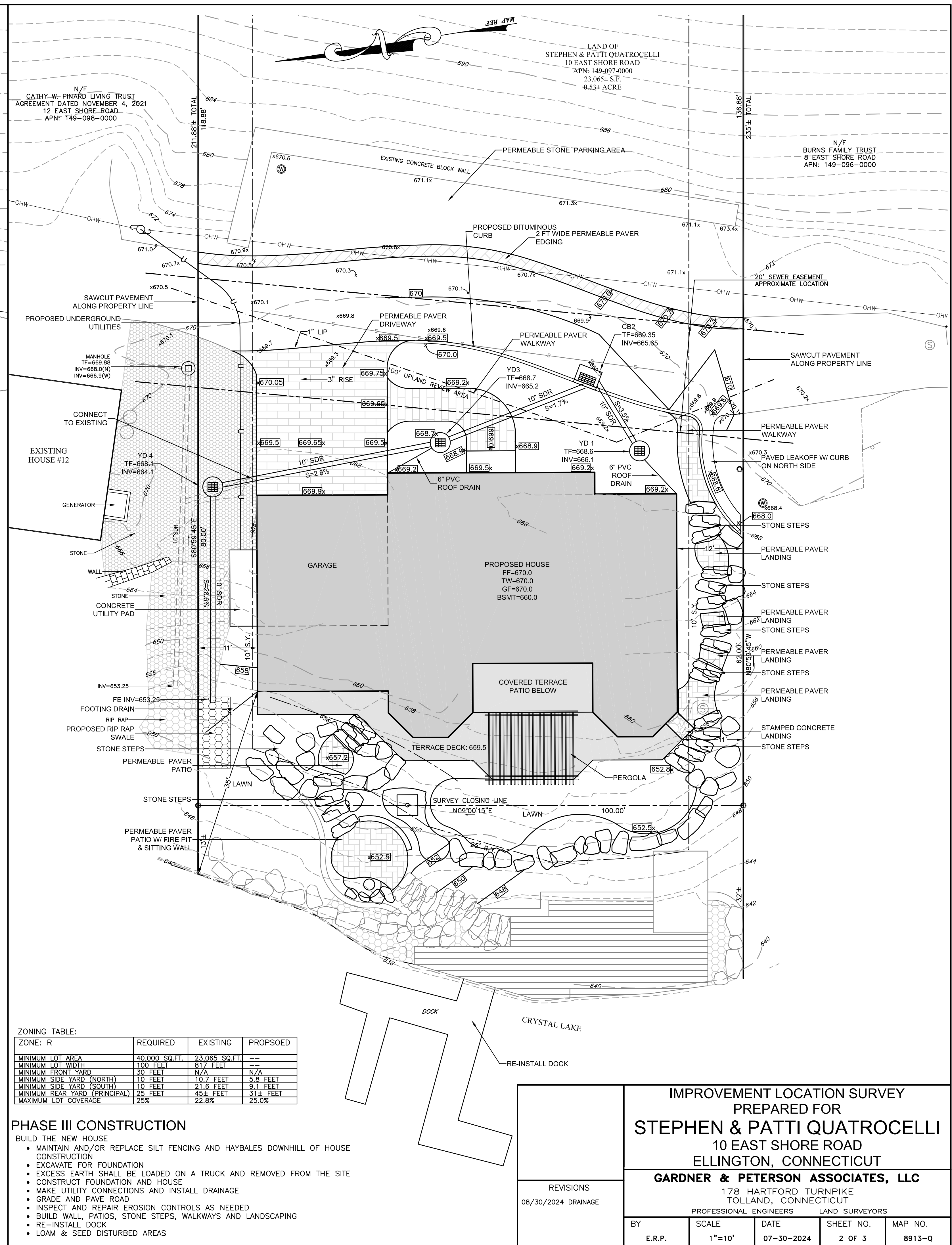
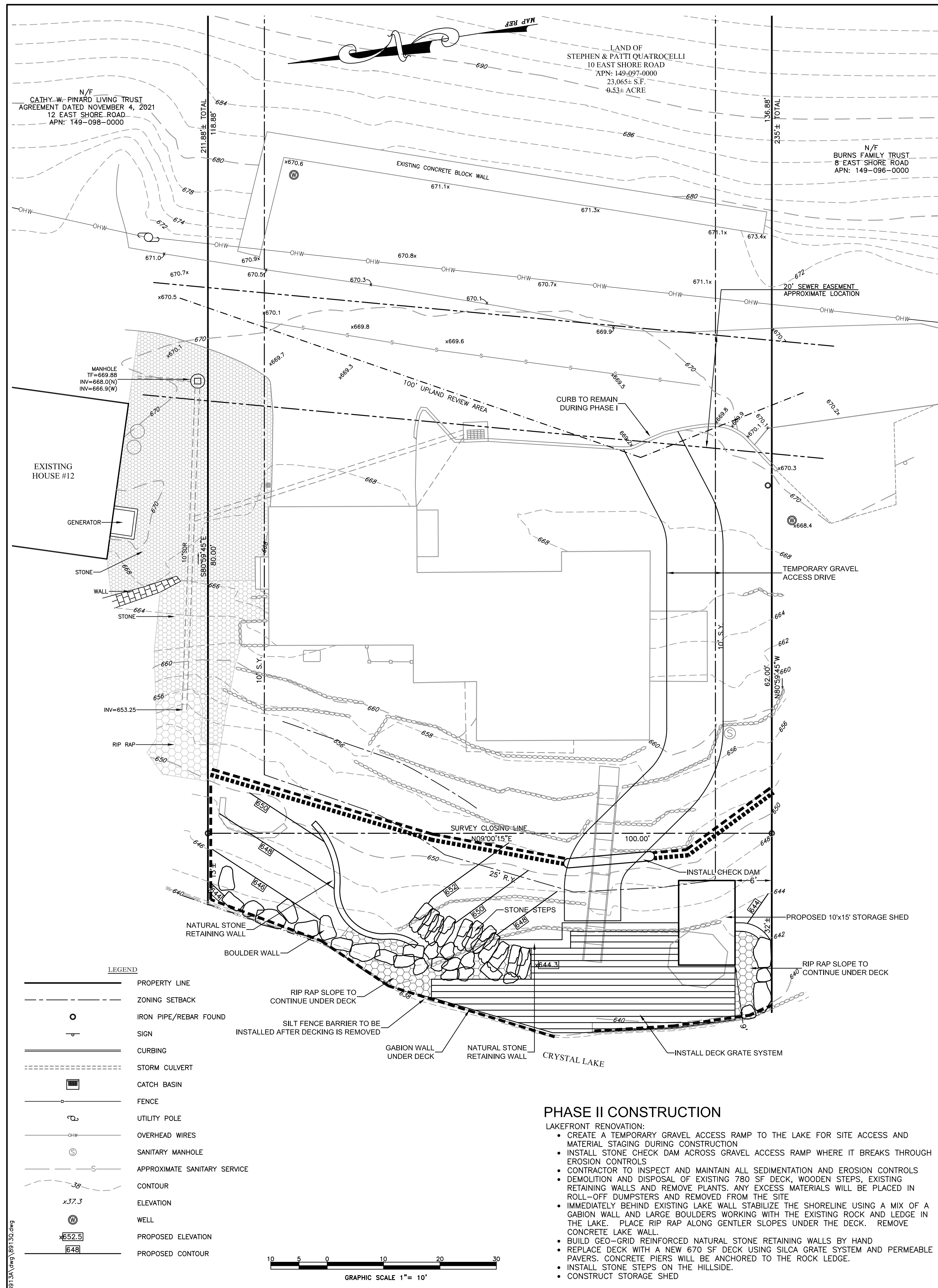
GARDNER & PETERSON ASSOCIATES, LLC
178 HARTFORD TURNPIKE
TOLLAND, CONNECTICUT



REVISIONS
08/30/2024 DRAINAGE

| BY | SCALE | DATE | SHEET NO. | MAP NO. |
|--------|--------|------------|-----------|---------|
| E.R.P. | 1"=10' | 07-30-2024 | 1 OF 3 | 8913-Q |





IMPROVEMENT LOCATION SURVEY
 PREPARED FOR
STEPHEN & PATTI QUATROCELLI
 10 EAST SHORE ROAD
 ELLINGTON, CONNECTICUT

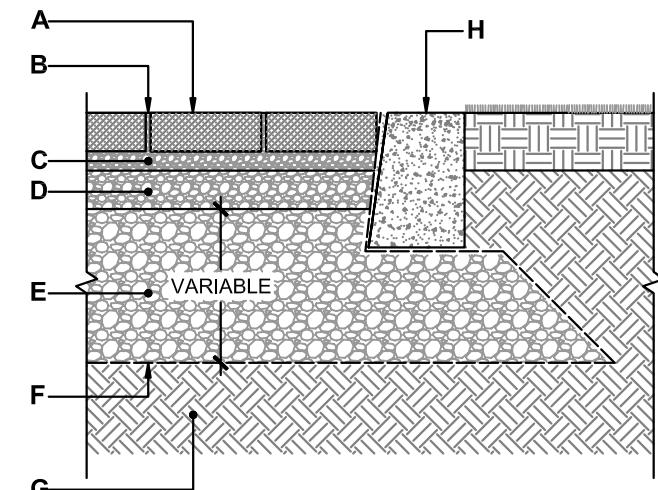
GARDNER & PETERSON ASSOCIATES, LLC
 178 HARTFORD TURNPIKE
 TOLLAND, CONNECTICUT

PROFESSIONAL ENGINEERS LAND SURVEYORS

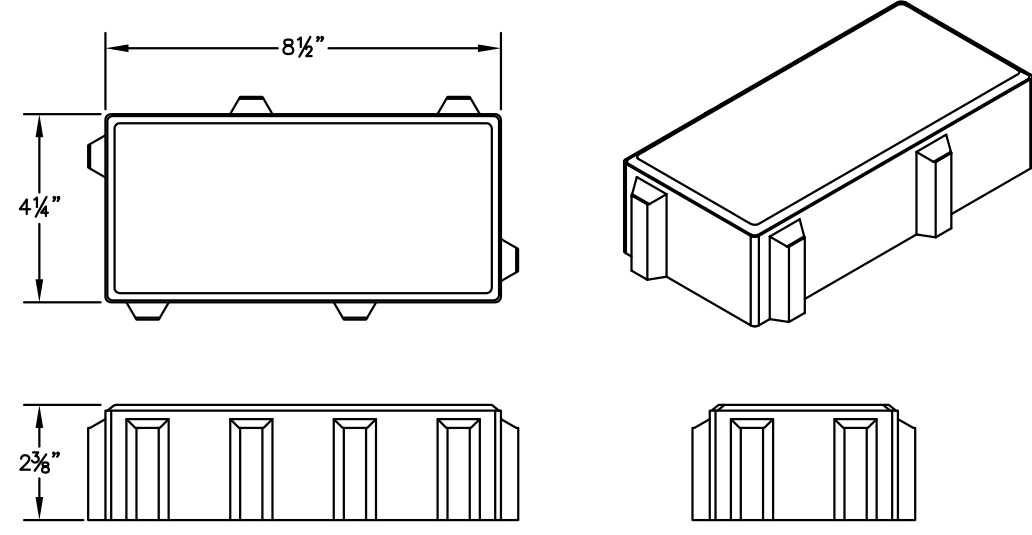
REVISIONS
 08/30/2024 DRAINAGE

| BY | SCALE | DATE | SHEET NO. | MAP NO. |
|--------|--------|------------|-----------|---------|
| E.R.P. | 1"=10' | 07-30-2024 | 2 OF 3 | 8913-Q |

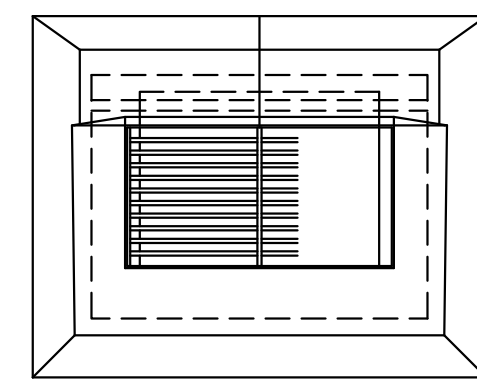
- A. PERMEABLE PAVER
- B. JOINT FILLING MATERIAL
ASTM No 8 (CSA 2.5-10 mm) AGGREGATE
- C. BEDDING COURSE 1 1/2" TO 2" (40 TO 50 mm)
ASTM No 8 (CSA 2.5-10 mm) AGGREGATE
- D. BASE COURSE 4" (100 mm)
ASTM No. 57 (CSA 5-28 mm) AGGREGATE
- E. SUBBASE COURSE
ASTM No. 2 (CSA 40-80 mm) AGGREGATE
- F. GEOTEXTILE
- G. SUBGRADE
- H. CONCRETE OR SECURED PLASTIC EDGING



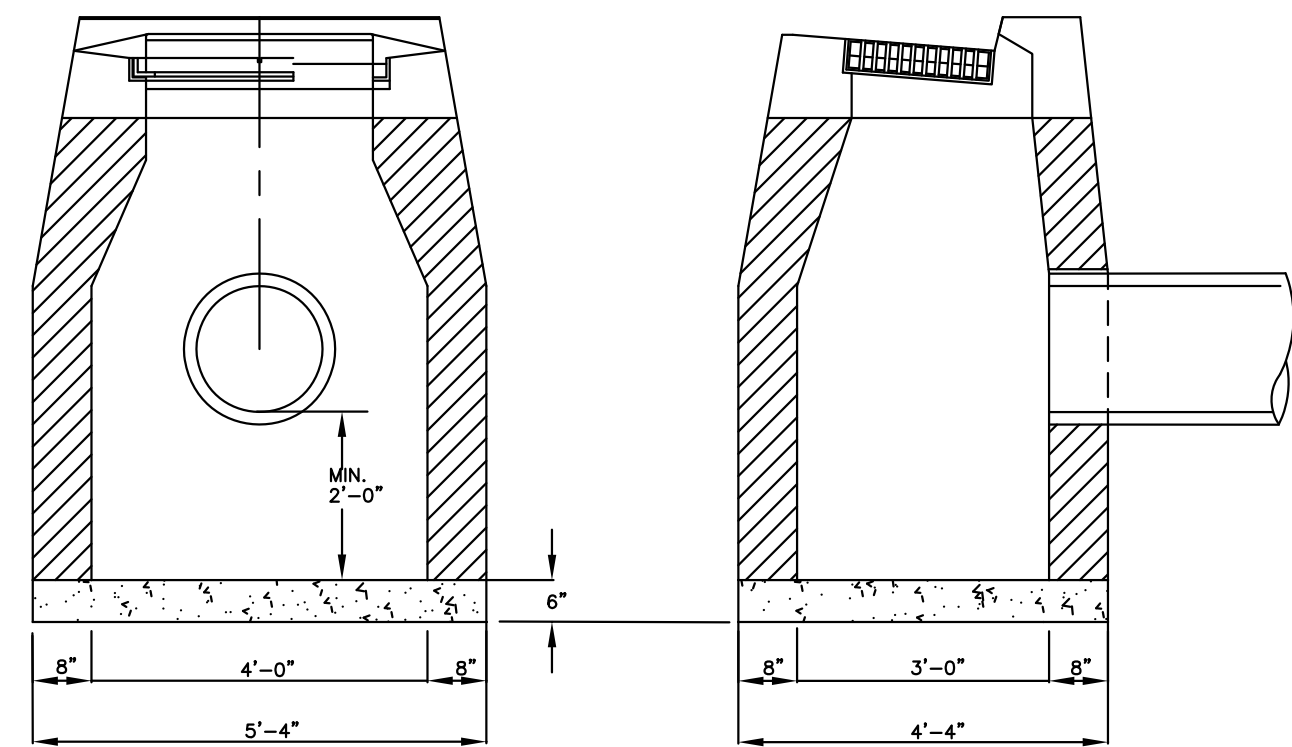
PERMEABLE PAVER INSTALLATION DETAIL
NOT TO SCALE (PROVIDED BY TECO-BLOC)



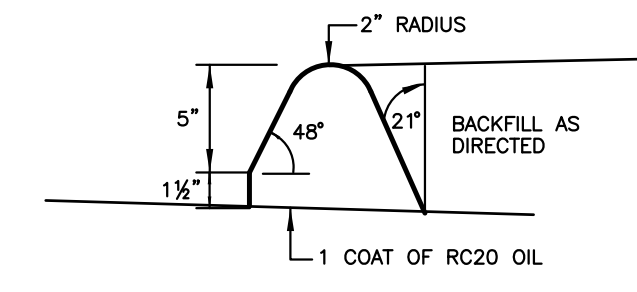
PERMEABLE PAVER BLOCK DETAIL
NOT TO SCALE (PROVIDED BY TECO-BLOC)



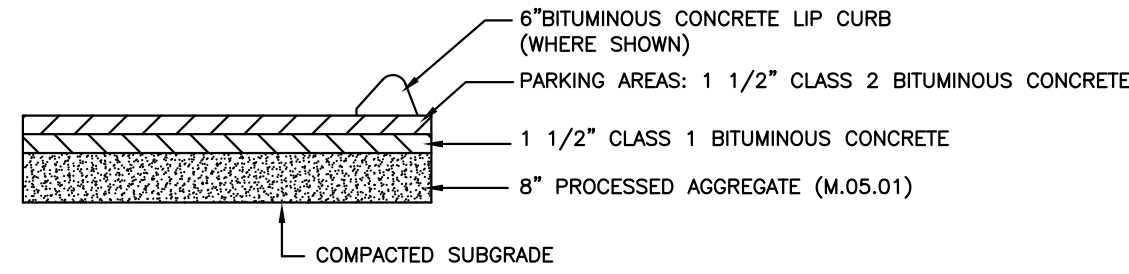
- NOTES:
- TYPE "C" CATCH BASIN TOPS SHALL CONFORM TO CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION M. 08. 02-4.
 - STRUCTURE TO BE PRECAST CLASS "A" CONCRETE, OR MASONRY CONCRETE UNITS. WHERE MASONRY CONCRETE UNITS ARE USED CORRELLING WILL BE PERMITTED. MAXIMUM CORBEL TO BE 3".
 - SUMPS TO BE PRECAST CONCRETE OR CONSTRUCTED ON A CONCRETE SLAB. WHERE PRECAST UNIT IS USED FOR SUMP, THE TOP OF THE UNIT SHALL BE AT LEAST 6" BELOW THE BOTTOM OF THE PIPE OUTLET FROM THE CATCH BASIN.
 - WHERE CATCH BASIN IS CONSTRUCTED ON A SLOPE, OUTER TO MATCH PAVEMENT SLOPE.



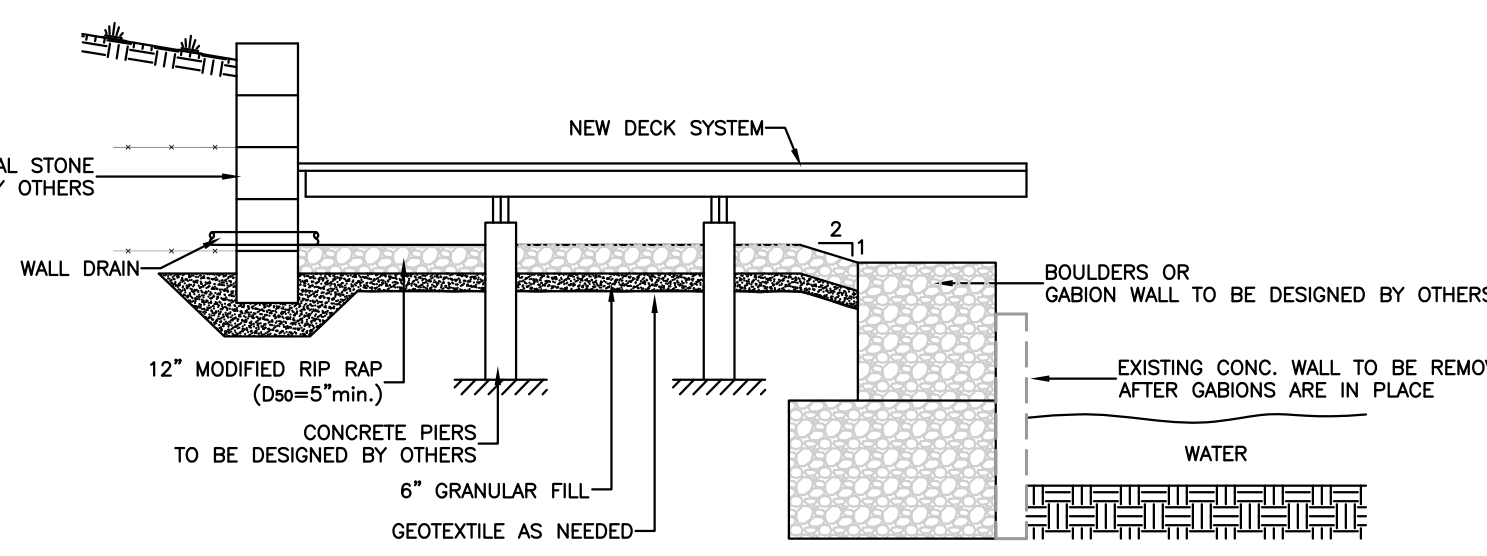
TYPE "C" CATCH BASIN



BIT. CONC. CURB

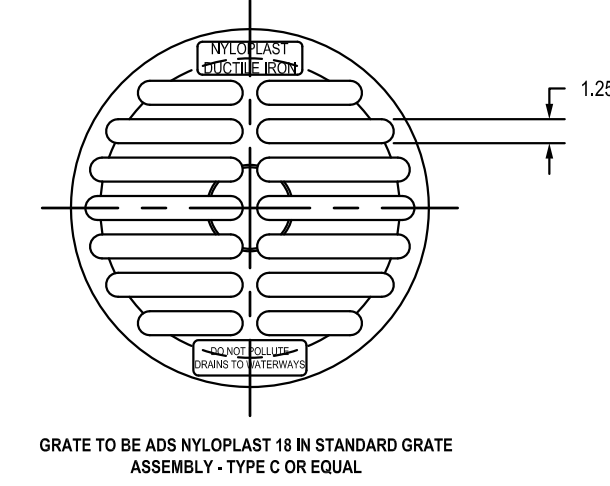
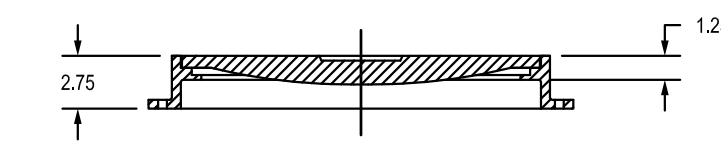


BITUMINOUS PAVEMENT CROSS SECTION

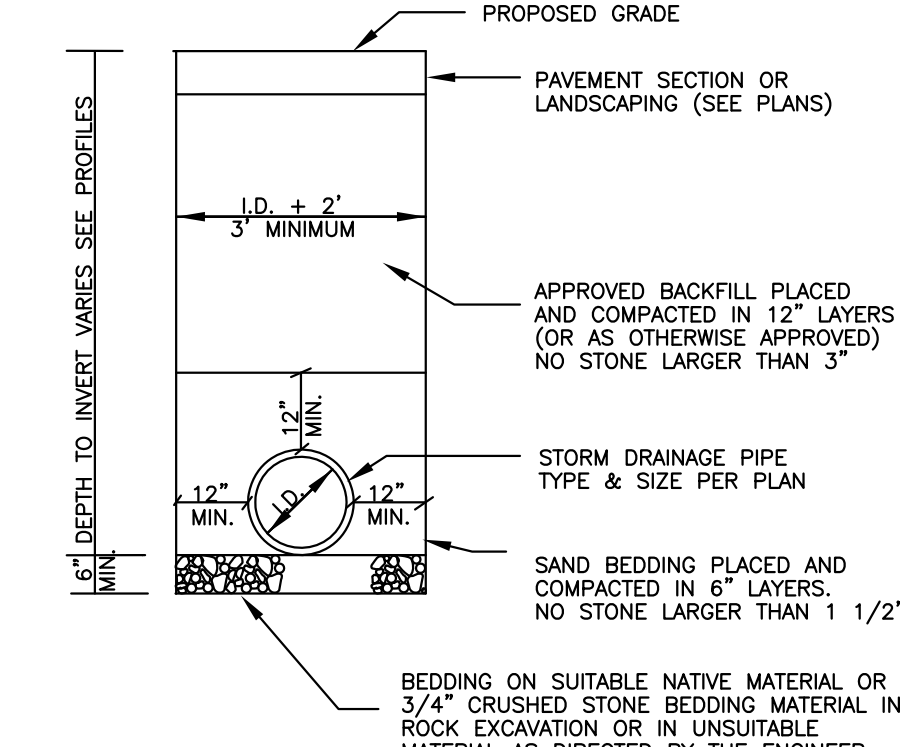


- NOTES:
- INSTALL SEDIMENT CONTROL STRUCTURES NEEDED TO CONTROL RUNOFF INTO THE AREA TO BE COVERED WITH STONE.
 - PREPARE SLOPE TO FINAL GRADE.
 - SPREAD STONE BY ANY SUITABLE MEANS WHICH WILL NOT CRUSH THE STONE.
 - SHAPE THE STONE TO A SMOOTH UNIFORM FINISHED GRADE.
 - PROVIDE 100% COVERAGE OF THE DISTURBED SOIL WITH THE STONE.

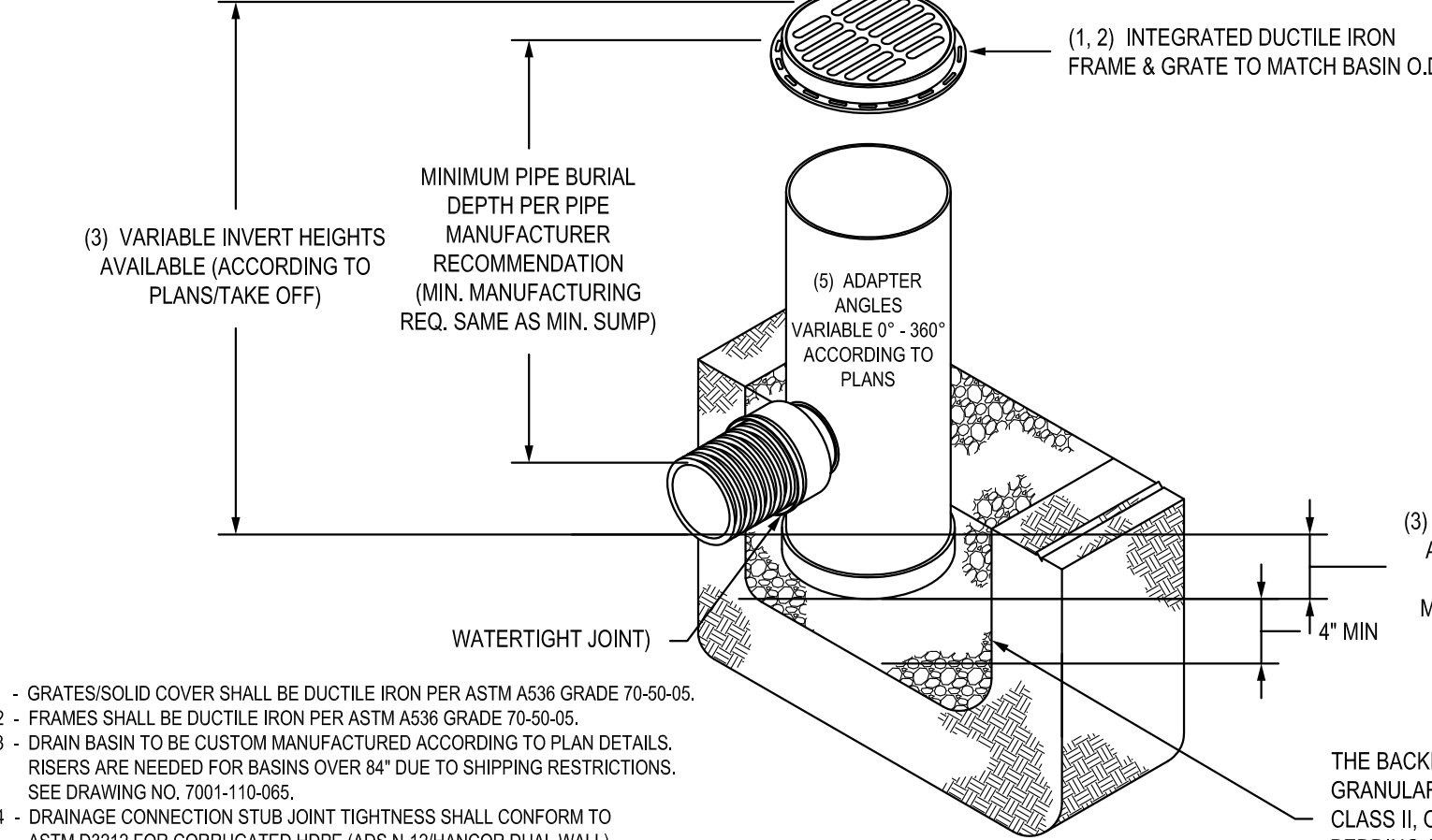
LAKE WALL DETAIL



GRATE TO BE ADS NYLOPLAST 18 IN STANDARD GRATE ASSEMBLY - TYPE C OR EQUAL

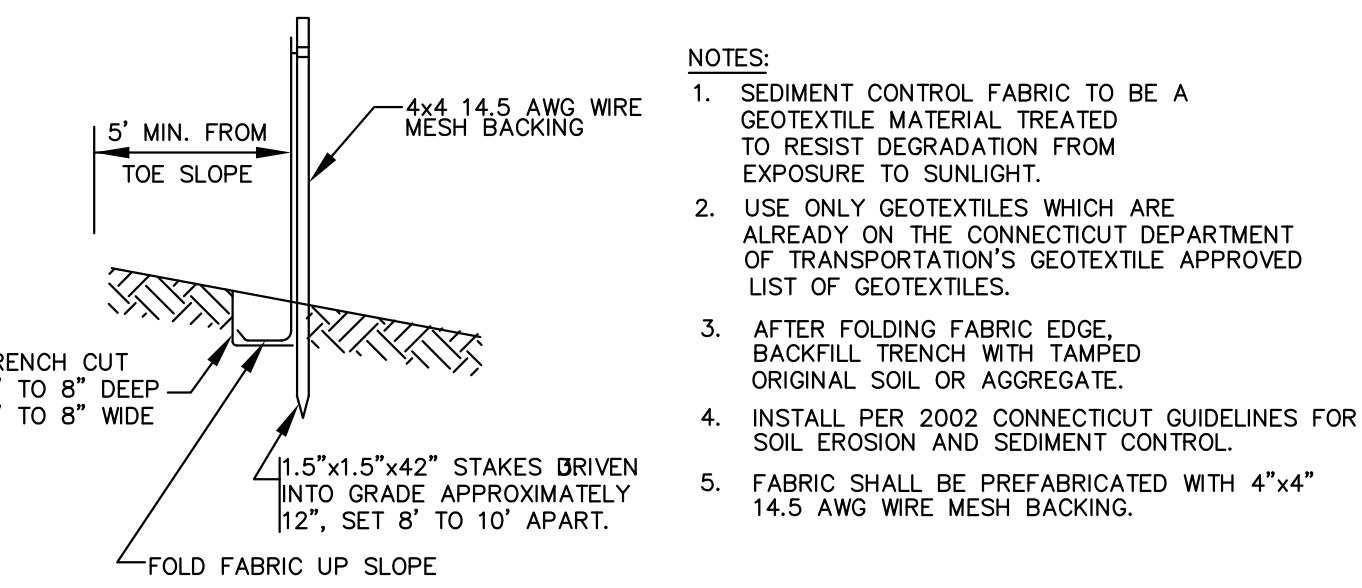


STORM DRAIN TRENCH DETAIL



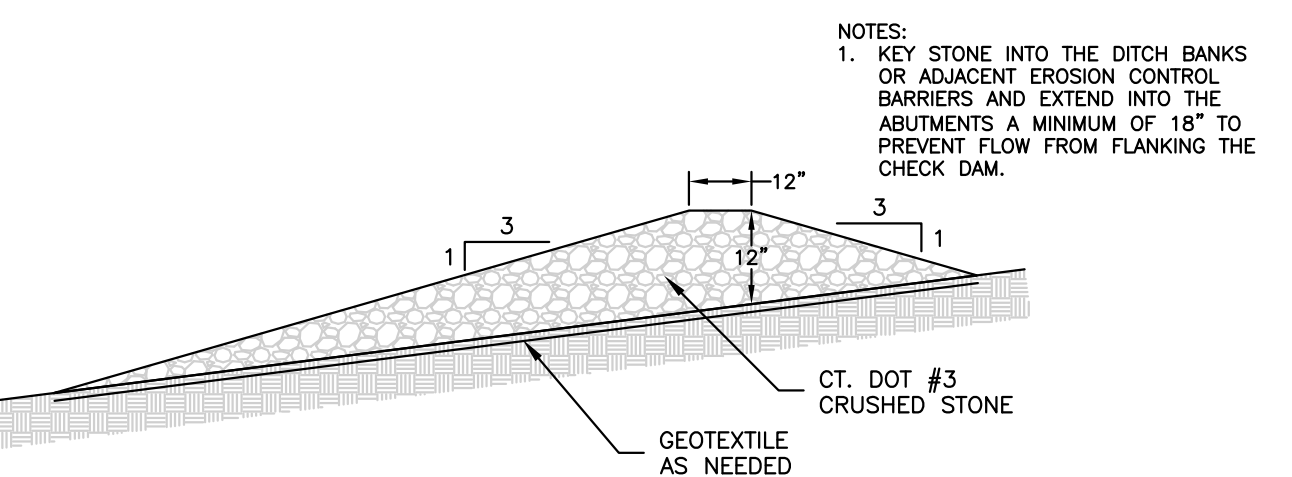
- GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
- DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 700-110-065.
- DRAINAGE CONNECTION STUD JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12HANCOR DUAL WALL, N-12 HP, & PVC SEWER).
- ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°, TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 700-110-012.

YARD DRAIN DETAIL

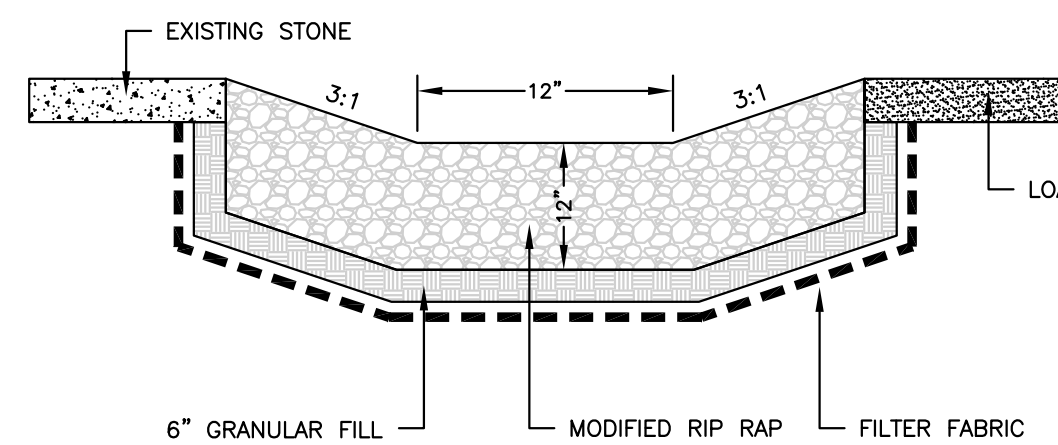


SILT FENCE INSTALLATION
NOT TO SCALE

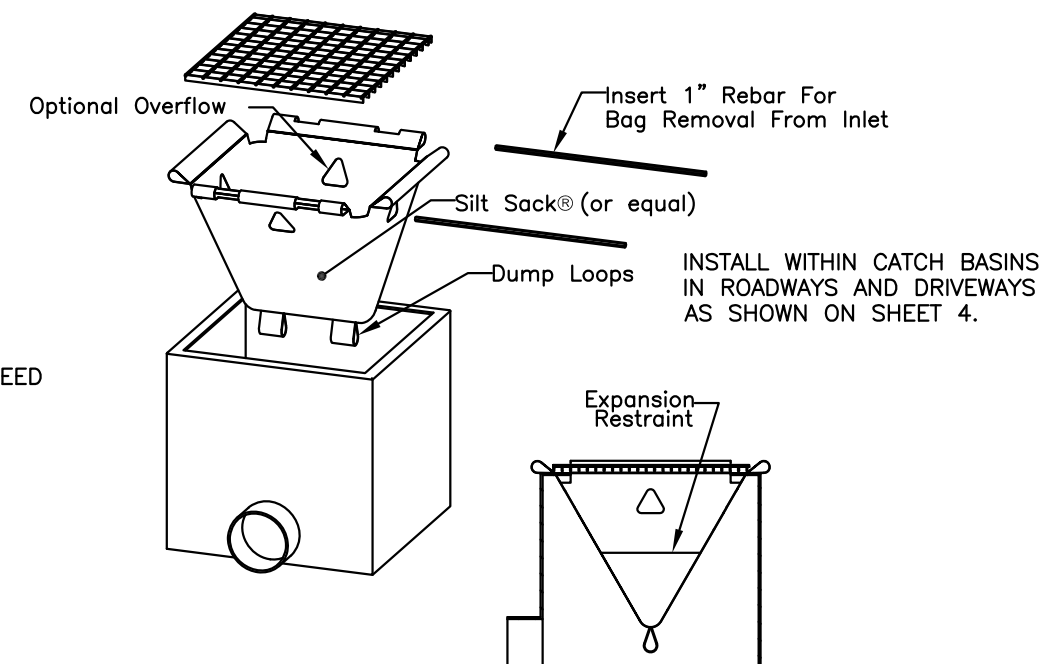
- HAY BALE APPLICATIONS
- Bales shall be placed in a single row, lengthwise on the contour, with ends of adjacent bales tightly abutting one another.
 - All bales shall be either wire-bound or string-tied. Bales shall be installed so that bindings are oriented around the sides rather than along the tops and bottoms of the bales to prevent deterioration of the bindings.
 - The barrier shall be entrenched and backfilled. A trench shall be excavated the width of a bale and the length of the proposed barrier to a minimum depth of 4 inches. After the bales are staked and chinked, the excavated soil shall be backfilled against the barrier. Backfill soil shall conform to the ground level on the downhill side and shall be built up to 4 inches against the uphill side of the barrier.
 - Each bale shall be securely anchored by at least two stakes or rebar driven through the bale. The first stake in each bale shall be driven toward the previously laid bale to force the bales together. Stakes or re-bar shall be driven deep enough into the ground to securely anchor the bales.
 - The gaps between bales shall be chinked (filled by wedging) with straw to prevent water from escaping between the bales.
 - Inspection shall be frequent and repair or replacement shall be made promptly as needed.



CHECK DAM DETAIL



RIP RAP SWALE DETAIL



CATCH BASIN INLET PROTECTION

GENERAL EROSION AND SEDIMENT CONTROL NOTES

- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION.
- ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN THE AMOUNT NECESSARY TO COMPLETE THE FINISHED GRADING OF ALL EXPOSED AREAS.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO MINIMIZE EROSION, SLIPPAGE, AND SETTLEMENT. FILL INTENDED TO SUPPORT STRUCTURES, DRAINAGE, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH THE APPROPRIATE STATE AND/OR LOCAL SPECIFICATIONS.
- FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBISH, LARGE ROCKS, LOGS, STUMPS, BUILDING MATERIAL, COMPRESSIBLE MATERIAL, AND OTHER MATERIALS WHICH MAY INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIAL OR SOFT MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON A FROZEN FOUNDATION.
- ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH SOUND CONSTRUCTION PRACTICE.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISH GRADING. IF FINISH GRADING IS TO BE DELAYED FOR MORE THAN 30 DAYS AFTER DISTURBANCE IS COMPLETE, TEMPORARY SOIL STABILIZATION MEASURES SHALL BE APPLIED. AREAS LEFT OVER 30 DAYS SHALL BE CONSIDERED "LONG TERM" AND SHALL RECEIVE TEMPORARY SEEDING WITHIN THE FIRST 15 DAYS.
- SITE IS TO BE GRADED TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCHING, AND MAINTENANCE UNLESS OTHERWISE SPECIFIED IN THE PLANS.
- CUT AND FILL SLOPES SHALL NOT BE STEEPER THAN 2:1. TOPSOIL SHALL BE SPREAD TO A MINIMUM DEPTH OF 4". ADDITIONAL TOPSOIL MAY BE REQUIRED TO MEET MINIMUM DEPTHS. NO TOPSOIL SHALL BE REMOVED FROM THIS SITE.
- APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL CULTIPACKER TYPE SEEDER, OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER). NORMAL SEEDING DEPTH IS FROM 1/4" TO 1/2" INCH. HYDROSEEDING WHICH IS MULCHED MAY BE LEFT ON THE SOIL SURFACE.
- WHERE FEASIBLE, EXCEPT WHERE EITHER A CULTIPACKER TYPE SEEDER OR HYDROSEEDER IS USED, THE SEEDBED SHOULD BE FIRMED FOLLOWING SEEDING WITH A ROLLER OR LIGHT DRAG.
- FERTILIZER AND LIME ARE TO BE WORKED INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISC OPERATION SHOULD BE ALONG THE CONTOUR.
- REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER. REMOVE ALL OTHER DEBRIS SUCH AS WIRE, TREE ROOTS, PIECES OF CONCRETE, OR OTHER UNSUITABLE MATERIALS.
- INSPECT SEEDBED BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED BEFORE SEEDING, THEN FIRMED AS DESCRIBED ABOVE.
- WHERE GRASSES PREDOMINATE, FERTILIZE ACCORDING TO SOIL ANALYSIS, OR SPREAD 300 POUNDS OF 10-10-10 OR EQUIVALENT PER ACRE (7.5 POUNDS PER 1000 S.F.).
- CALCIUM CHLORIDE WILL BE AVAILABLE FOR DUST CONTROL ON GRAVEL TRAVEL SURFACES.

CONSTRUCTION SCHEDULE & EROSION & SEDIMENT CONTROL CHECKLIST

PROJECT NAME: QUATROCELLI RESIDENCE
LOCATION: 10 EAST SHORE ROAD ELLINGTON, CT
PROJECT DESCRIPTION: SINGLE FAMILY HOUSE AND HARDSCAPE/LANDSCAPE PROJECT
PARCEL AREA: 0.53 ACRES
RESPONSIBLE PERSONNEL: STEPHEN QUATROCELLI

| WORK DESCRIPTION | EROSION & SEDIMENT CONTROL MEASURES | DATE INSTALLED | INITIALS |
|--|---|----------------|----------|
| PHASE I: (DEMOLITION) DISCONNECT ALL UTILITIES | INSTALL SILT FENCE AND HAY BALES DOWNHILL OF HOUSE | | |
| DEMOLISH HOUSE | LOAD DEBRIS INTO TRUCKS AND HAUL OFF-SITE | | |
| FLATTEN SLOPES AROUND FOUNDATION HOLE | STABILIZE DISTURBED AREAS WITH SEED AND MULCH | | |
| PHASE II: (LAKESIDE RENOVATION) CONSTRUCT TEMPORARY GRAVEL ACCESS TO LAKE AREA | INSPECT/REPAIR E&S MEASURES INSTALL SILT FENCE BARRIER DOWNHILL OF CONSTRUCTION INSTALL STONE CHECK DAM OVER GRAVEL DRIVE | | |
| REMOVE DECK, WOODEN STEPS, EXISTING WALLS AND PLANTS | | | |
| CONSTRUCT NEW LAKE WALL IMMEDIATELY BEHIND EXISTING CONCRETE WALL. | | | |
| REMOVE EXISTING WALL ONCE NEW WALL IS IN PLACE | | | |
| BUILD REINFORCED NATURAL STONE RETAINING WALLS | | | |
| CONSTRUCT DECK GRATE SYSTEM | | | |
| CONSTRUCT STORAGE SHED | INSPECT E&S MEASURES BEFORE ANTICIPATED STORMS AND AFTER-MAINTAIN E&S MEASURES AS NECESSARY SWEEP SEDIMENT FROM ROAD | | |
| PHASE III: HOUSE CONSTRUCTION EXCAVATE FOR FOUNDATION | INSPECT/REPAIR E&S MEASURES EXCESS EXCAVATED MATERIAL TO BE HAULED OFF-SITE | | |
| CONSTRUCT HOUSE | | | |
| UTILITY CONNECTIONS AND DRAINAGE | | | |
| GRADE AND PAVE ROAD | | | |
| CONSTRUCT WALL, PATIOS, STEPS, WALKWAYS AND LANDSCAPING | SAW-CUT EX. PAVEMENT SWEEP SEDIMENT OFF ROAD TOPSOIL AND SEED DISTURBED AREAS REMOVE EROSION CONTROLS WHEN SITE IS STABILIZED | | |

PROJECT DATES:

| | |
|--|-------------|
| DATE OF PHASE I CONSTRUCTION START | FALL 2024 |
| DATE OF PHASE I CONSTRUCTION COMPLETION | END 2024 |
| DATE OF PHASE II CONSTRUCTION START | SPRING 2025 |
| DATE OF PHASE II CONSTRUCTION COMPLETION | END 2025 |

EROSION AND SEDIMENT CONTROL PROCEDURES SHALL ESSENTIALLY BE IN ACCORDANCE WITH THESE PLANS, AS REQUIRED BY TOWN REGULATIONS, AND THE MANUAL, "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" FOR CONNECTICUT, BY THE COUNCIL ON SOIL AND WATER CONSERVATION, 1985, REVISED TO 2002.

TEMPORARY SEEDING SCHEDULE:

| SPECIES | LBS/ACRE | LBS/1000SF | SEEDING DATES |
|-----------------|----------|------------|----------------------|
| ANNUAL RYEGRASS | 40 | 0.9 | 3/1-6/15, 8/1-10/1 |
| WINTER RYE | 40 | 0.9 | 4/15-6/15, 8/15-10/1 |
| SUDANGRASS | 11 | 0.25 | 5/15-8/15 |

TEMPORARY SEEDING IS NOT LIMITED TO THE SPECIES SHOWN. OTHER SPECIES RECOMMENDED BY THE SCS OR AS LIMITED BY SITE CONDITIONS MAY BE USED.
STRAW MULCH IS TO BE APPLIED TO SEEDED AREA AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE, 70 TO 90 LBS. PER 1000 SQ. FT.

FINAL SEEDING SCHEDULE:

PROVIDE 4 INCHES OF TOPSOIL MINIMUM, FREE OF ROOTS, LARGE STONES, AND OTHER OBJECTS.

| SPECIES | LBS/ACRE | LBS/1000SF | SEEDING DATES |
|---------------------|----------|------------|----------------------|
| KENTUCKY BLUEGRASS | 40 | 0.90 | 4/15-6/15, 8/15-9/15 |
| CREeping RED FESCUE | 120 | 2.75 | |
| PERENNIAL RYEGRASS | 40 | 0.90 | |

| CONSTRUCTION DETAILS PREPARED FOR STEPHEN & PATTI QUATROCELLI 10 EAST SHORE ROAD ELLINGTON, CONNECTICUT GARDNER & PETERSON ASSOCIATES, LLC | | | | |
|---|--------|------------------------|----------------|---------|
| REVISIONS | | PROFESSIONAL ENGINEERS | LAND SURVEYORS | |
| BY | SCALE | DATE | SHEET NO. | MAP NO. |
| E.R.P. | N.T.S. | 07-30-2024 | 3 OF 3 | 8913-Q |

Town of Ellington Inland Wetlands and Watercourses Agency Application

Application # TW202415
Date Submitted 8/5/2024

Notices associated with this application will be sent to the applicant unless otherwise requested.

Owner's Information

Name: Windermere Village Homeowners Association

Mailing Address: c/o KP Management, LLC PO Box 1221
Glastonbury, CT 06033

Email: email@kpmanagementllc.com

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS
MAY NOTICES BE EMAILED TO YOU? Yes No

Primary Contact Phone #: 860-659-3802

Secondary Contact Phone #: 860-836-4404

Owner's Signature:  Date: 08/02/24

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Agency have been submitted. Moreover, by signing above I/we expressly provide written consent to the filing of the application and access to the site by the Agency or its staff.

Notices associated with this application will be sent to the applicant unless otherwise requested.

Applicant's Information (if different than owner)

Name: _____

Mailing Address: Same as owner

Email: _____

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS
MAY NOTICES BE EMAILED TO YOU? Yes No

Primary Contact Phone #: _____

Secondary Contact Phone #: _____

Applicant's Signature: _____ Date: _____

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Agency have been submitted.

Street Address: Windermere Villlage Road

Assessor's Parcel Number (APN): 017 - 024 - 0000

Proposed upland review area affected in square feet: 450 sf +/-

Proposed wetlands/watercourses affected in square feet and linear feet (as applicable): 450 sf +/-

Total area of wetlands/watercourses on parcel in square feet or acres: 3 acres +/-

Public Water: Yes No Public Sewer: Yes No *If not served by public water and sewer, applicant shall make application to North Central District Health Department (Enfield Office) if required.*

Is the project in a public water supply watershed area? Yes No
If YES, applicant is required to notify the Connecticut Water Company and Commissioner of Public Health by certified mail, return receipt within 7 days of this application (Conn. Gen Stat. Sec 22a-42f). Copy of application, plans, and supporting documents must accompany notice. Applicant can email the Commissioner of Public Health using their approved form. Proof of notice (return receipt and sent email) must be provided to the Planning Department.

Describe the nature of proposed regulated activity, request for acceptance of a permitted use as of right or a nonregulated use, map or regulation amendment, or other activity requiring review by the Agency or its Agent:
See attached Application Checklist and Appendix D for guidance when preparing application

The Homeowners Association is seeking a permit to routinely maintain the retention pond on the property.

This pond, by design, overflows into the wetlands area. This area has become overgrown with vegetation.

The permit would allow the Association to engage a licensed contractor to remove this overgrown vegetation which is prohibiting the rainwater from reaching the wetlands. Instead it is backing up in the pond and catch basin system.

Applicant shall provide certification in accordance with Wetlands Regulation, Section 7.4e, Application Requirements:

Whether or not any portion of the property on which the regulated activity is proposed is located within 500 feet of an adjoining town. Yes No

Whether or not a significant portion of the traffic to the completed project will use streets within an adjoining town to exit or enter the site. Yes No

Whether or not a significant portion of the sewer or water drainage from the project will flow through and significantly impact the sewer or water drainage system of an adjoining town. Yes No

Whether water run-off from the improved site will impact streets or other municipal/private property within an adjoining town. Yes No

FOR OFFICE USE ONLY

If YES to any of the above, the Agency shall, in accordance with CGS 8-7d(i) notify the clerk of any adjoining municipality of the pendency of any application, petition, appeal, request or plan concerning any project on any site. Notice of the pendency of such application shall be made by certified mail, return receipt requested, and shall be mailed within seven (7) days of the date of receipt of the application, petition, appeal, request or plan. (See Agency requirements Section 8.4)

Type of Project: (check one)

Commercial/Industrial Residential Mixed Use Timber Agricultural

Other, explain: _____

Type of Application: (check one)

Notification for Non-Regulated Use (Section 4.2)

Notification of Permitted Use as of Right (Section 4.1)

Administrative Permit (Section 6.4)

Agency Permit (**TWELVE COPIES REQUIRED**)

Permit Modification

Permit Extension

Regulation Amendment

Map Amendment

Appeal of Administrative Permit

Application Submittals:

Completed Application Form (Section 7.4a)

Application Fee (Section 7.4b)

Abutters List (Section 7.4c)

Certification as to Adjacent Towns (See above)

Certification as to Connecticut Water Company & Commissioner of Public Health (See above)

Notification Narrative and Supporting Documentation (If applicable, Appendix D)

Project Narrative and Supporting Documentation (Section 7.4g, 1-11 inclusive, as deemed applicable)

Project Site Plan - circle one: Administrative (Section 7.4h1) / Agency (Section 7.4h2)

Supplemental Information (Section 7.5a-j, inclusive, as deemed applicable)



Where Knowledge and Teamwork Equals Success

P.O. Box 1221
Glastonbury, CT 06033

Phone: (860) 659-3802
Fax: (860) 633-2499

Website Address:
email@kpmanagementllc.com

August 7, 2024

John D. Colonese, CZEO
Assistant Town Planner/Zoning & Wetlands Officer
57 Main Street
Ellington, CT 06029

Re: Windermere Village HOA – Retention Pond Maintenance

Retention Pond Maintenance Proposal

Work to be done at entrance of pipe from pond to pipe as follows:

- A) Clean out all grass, leaves, debris and obstructions to allow water to flow more free with less resistance
- B) Remove all debris offsite

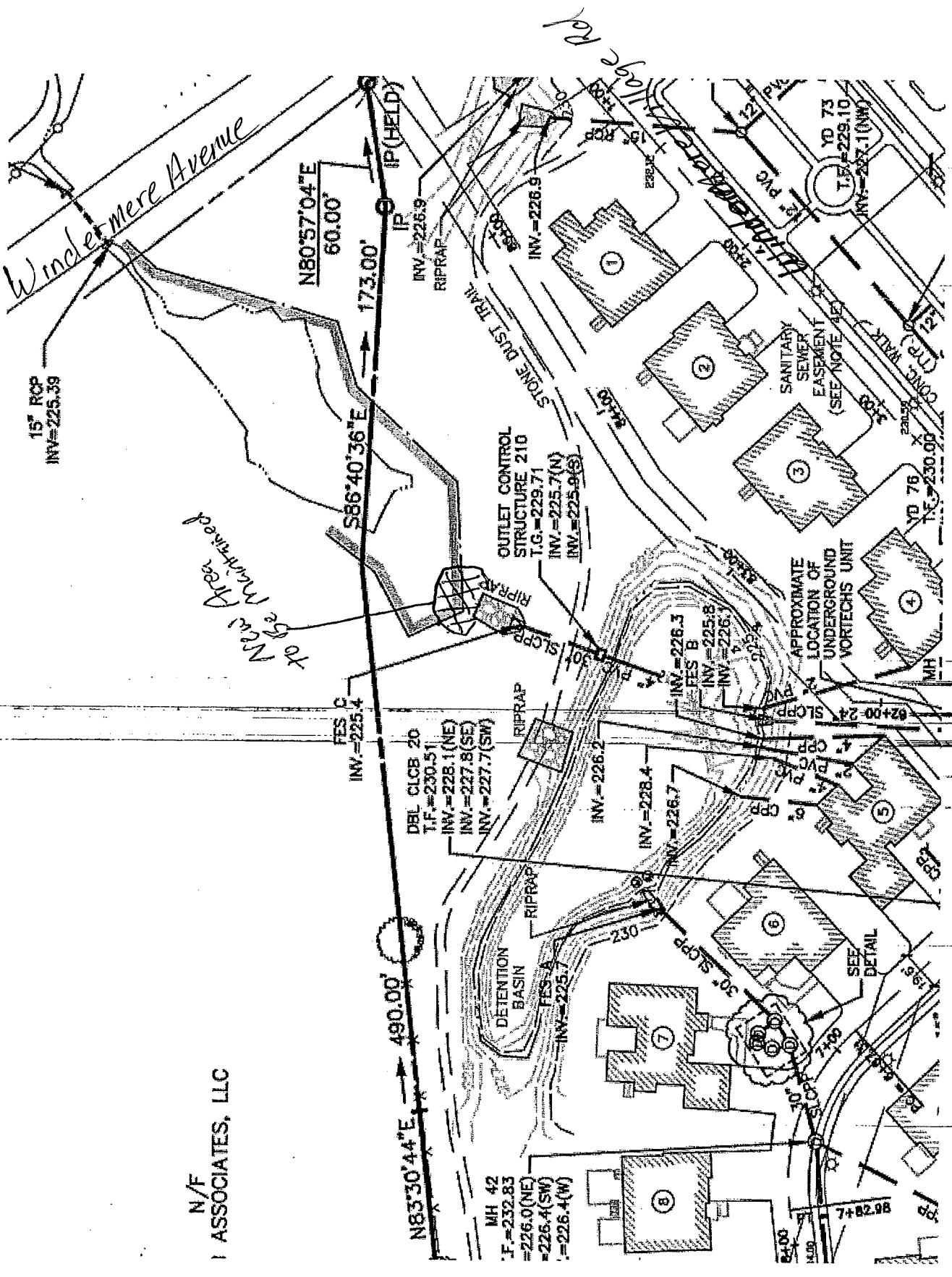
Work to be done where pipe exits to riprap retention pond

- A) Clean out all debris to allow water to flow more free with less resistance
- B) Remove all debris offsite

Work to be done from end of riprap retention pond into overgrown wooded area

- A) Area to be worked on will be approximately 30 ft wide (15ft left of center of retention pond and 15ft right of retention pond. The depth into the woods will be approximately 30ft.
- B) All debris in this area will be removed offsite. There are no trees in this area. Only a lot of brush.
- C) After all brush is removed the soil will be removed do the grade in this area is lower than the top of the riprap on the backside of the retention pond.
- D) All soil will be removed offsite.
- E) New cleared work area will be left dirt. In time weeds and brush will naturally fill back in and require occasional maintenance again.
- F) The purpose of the new maintained area is during heavy rainfall events when the retention pond fills up, the grade behind the retention pond/riprap is lower and will allow the water to naturally flow into the wooded area as originally designed. Currently the water backs up into the communities drainage system into Owners backyards and basements.
- G) There will be a disturbed area going from the stone walking path down to the retention pond caused by the small backhoe. Nothing in this area will be dug up but some disturbance will be done to brush being driven over by the machine.
- H) Please see the map attached for location of the proposed work area to be cleared/maintained.

Steven T. Anderson, CMCA
Community Manager
KP Management, LLC
860-659-3802



N/F
ASSOCIATES, LLC

*New Area
to be Maintained*

*Wing
09/26/19*

ELLINGTON PLANNING DEPARTMENT
STAFF REVIEW SHEET
Inland Wetland Agency

IW202415 – Windermere Village Homeowners Association, owner/applicant, request for a permit to conduct regulated activity to excavate and maintain area to improve retention pond function and drainage at Windermere Avenue and Windermere Village Road, APN 017-024-0000.

PUBLIC HEARING DATE: September 23, 2024

STAFF REVIEW RETURN DATE: September 13, 2024

| DEPARTMENT | COMMENTS AND/OR REQUIREMENTS |
|------------------------------------|---|
| Town Engineer | |
| Building Official | |
| North Central District Health Dept | |
| Fire Marshal | |
| Public Works Director/WPCA | <p>DPW- The application states: "New cleared work area will be left dirt". Recommend stabilizing all disturbed areas with a blown straw mat & seed at minimum.</p> <p>WPCA- No comment.</p> |
| Assessor | |
| Traffic Authority | |
| Ambulance | |

From: [Dana Steele](#)
To: [John Colonese](#)
Cc: [Barbra Galovich](#)
Subject: RE: Staff Review - IW202415 - Windermere Village Road
Date: Wednesday, September 4, 2024 5:15:06 PM
Attachments: [image001.png](#)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

John,

I've reviewed the plans for maintenance work downstream from the stormwater pond outlet at Windermere Village and it looks appropriate. I recommend any disturbed areas be seeded with a conservation seed mix or wetland mix rather than left to regrow over time. The narrative indicates this area will require occasional maintenance again. The wetland permit should clarify whether the permit covers this future maintenance as well or if they need to return for additional permits prior to each maintenance activity. As long as the maintenance activities are consistent with the current proposal it would seem appropriate to allow for future maintenance as well. But the Commission has authority to make this determination.

Dana P. Steele, P.E.
Ellington Town Engineer



J.R. RUSSO & ASSOCIATES, LLC
P.O. Box 938, 1 Shoham Road
East Windsor, CT 06088
(CT) 860.623.0569 (MA) 413.785.1158
dsteale@jrrusso.com | www.jrrusso.com

From: Barbra Galovich <bgalovich@ELLINGTON-CT.GOV>
Sent: Wednesday, August 21, 2024 10:24 AM
To: Dana Steele <dsteale@jrrusso.com>; James York <JYork@ELLINGTON-CT.GOV>; John Rainaldi <jrainaldi@ellington-ct.gov>; Matthew Reed <mreed@ellington-ct.gov>; Patrice Sulik <psulik@ncdhd.org>; Peter Hany Sr. <Peter.hany@ellingtonambulance.org>; Raymond Martin <Rmartin@ELLINGTON-CT.GOV>; Sydney Kern <skern@ELLINGTON-CT.GOV>; Tom Modzelewski <thmodzelewski@ELLINGTON-CT.GOV>; Westford Lirot <wlirot@ncdhd.org>
Subject: Staff Review - IW202415 - Windermere Village Road

Hi,

Hope you are doing well. Please see the attached documentation with Staff Review Sheet.

This application will be discussed at the IWA meeting on Monday, September 23, 2024.
Please provide your comments/concerns on or before Friday, September 13, 2024.

Thank you in advance for your review.
Barbra

Barbra Galovich, CZET
Ellington Planning Department
57 Main Street
Ellington, CT 06029
(860)870-3120, Option 1

Town of Ellington Inland Wetlands and Watercourses Agency Application

Application # IW202418
Date Submitted 8/8/2024

Notices associated with this application will be sent to the applicant unless otherwise requested.

Owner's Information

Name: Diane Shea
Mailing Address: 3 Holmes Road
Ellington, CT 06029
Email: dcm513@cox.net

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No

Primary Contact Phone #: 860-872-8596
Secondary Contact Phone #: 860-930-6034

Owner's Signature: Diane Shea Date: 8/8/2024

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Agency have been submitted. Moreover, by signing above I/we expressly provide written consent to the filing of the application and access to the site by the Agency or its staff.

Notices associated with this application will be sent to the applicant unless otherwise requested.

Applicant's Information (if different than owner)

Name: _____
Mailing Address: _____
Email: Same as owner

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No

Primary Contact Phone #: _____
Secondary Contact Phone #: _____

Applicant's Signature: _____ Date: _____

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Agency have been submitted.

RECEIVED

AUG - 8 2024

TOWN OF ELLINGTON
PLANNING DEPARTMENT

Street Address: 3 Holmes Road

Assessor's Parcel Number (APN): 169 - 027 - 0000

Proposed upland review area affected in square feet: 400 SF +/-

Proposed wetlands/watercourses affected in square feet and linear feet (as applicable): 100 +/- LF

Total area of wetlands/watercourses on parcel in square feet or acres: 0

Public Water: Yes No Public Sewer: Yes No *If not served by public water and sewer, applicant shall make application to North Central District Health Department (Enfield Office) if required.*

Is the project in a public water supply watershed area? Yes No
If YES, applicant is required to notify the Connecticut Water Company and Commissioner of Public Health by certified mail, return receipt within 7 days of this application (Conn. Gen Stat. Sec 22a-42f). Copy of application, plans, and supporting documents must accompany notice. Applicant can email the Commissioner of Public Health using their approved form. Proof of notice (return receipt and sent email) must be provided to the Planning Department.

Describe the nature of proposed regulated activity, request for acceptance of a permitted use as of right or a nonregulated use, map or regulation amendment, or other activity requiring review by the Agency or its Agent:
See attached Application Checklist and Appendix D for guidance when preparing application

See Attached

Applicant shall provide certification in accordance with Wetlands Regulation, Section 7.4e, Application Requirements:

Whether or not any portion of the property on which the regulated activity is proposed is located within 500 feet of an adjoining town. Yes No

Whether or not a significant portion of the traffic to the completed project will use streets within an adjoining town to exit or enter the site. Yes No

Whether or not a significant portion of the sewer or water drainage from the project will flow through and significantly impact the sewer or water drainage system of an adjoining town. Yes No

Whether water run-off from the improved site will impact streets or other municipal/private property within an adjoining town. Yes No

FOR OFFICE USE ONLY

If YES to any of the above, the Agency shall, in accordance with CGS 8-7d(f) notify the clerk of any adjoining municipality of the pendency of any application, petition, appeal, request or plan concerning any project on any site. Notice of the pendency of such application shall be made by certified mail, return receipt requested, and shall be mailed within seven (7) days of the date of receipt of the application, petition, appeal, request or plan. (See Agency requirements Section 8.4)

Type of Project: (check one)

Commercial/Industrial Residential Mixed Use Timber Agricultural
 Other, explain: _____

Type of Application: (check one)

- Notification for Non-Regulated Use (Section 4.2)
- Notification of Permitted Use as of Right (Section 4.1)
- Administrative Permit (Section 6.4)
- Agency Permit (TWELVE COPIES REQUIRED)
- Permit Modification
- Permit Extension
- Regulation Amendment
- Map Amendment
- Appeal of Administrative Permit

RECEIVED
AUG - 8 2024
TOWN OF ELLINGTON
PLANNING DEPARTMENT

Application Submittals:

- Completed Application Form (Section 7.4a)
- Application Fee (Section 7.4b)
- Abutters List (Section 7.4c)
- Certification as to Adjacent Towns (See above)
- Certification as to Connecticut Water Company & Commissioner of Public Health (See above)
- Notification Narrative and Supporting Documentation (If applicable, Appendix D)
- Project Narrative and Supporting Documentation (Section 7.4g, 1-11 inclusive, as deemed applicable)
- Project Site Plan - circle one: Administrative (Section 7.4h1) / Agency (Section 7.4h2)
- Supplemental Information (Section 7.5a-j, inclusive, as deemed applicable)

8-8-2024

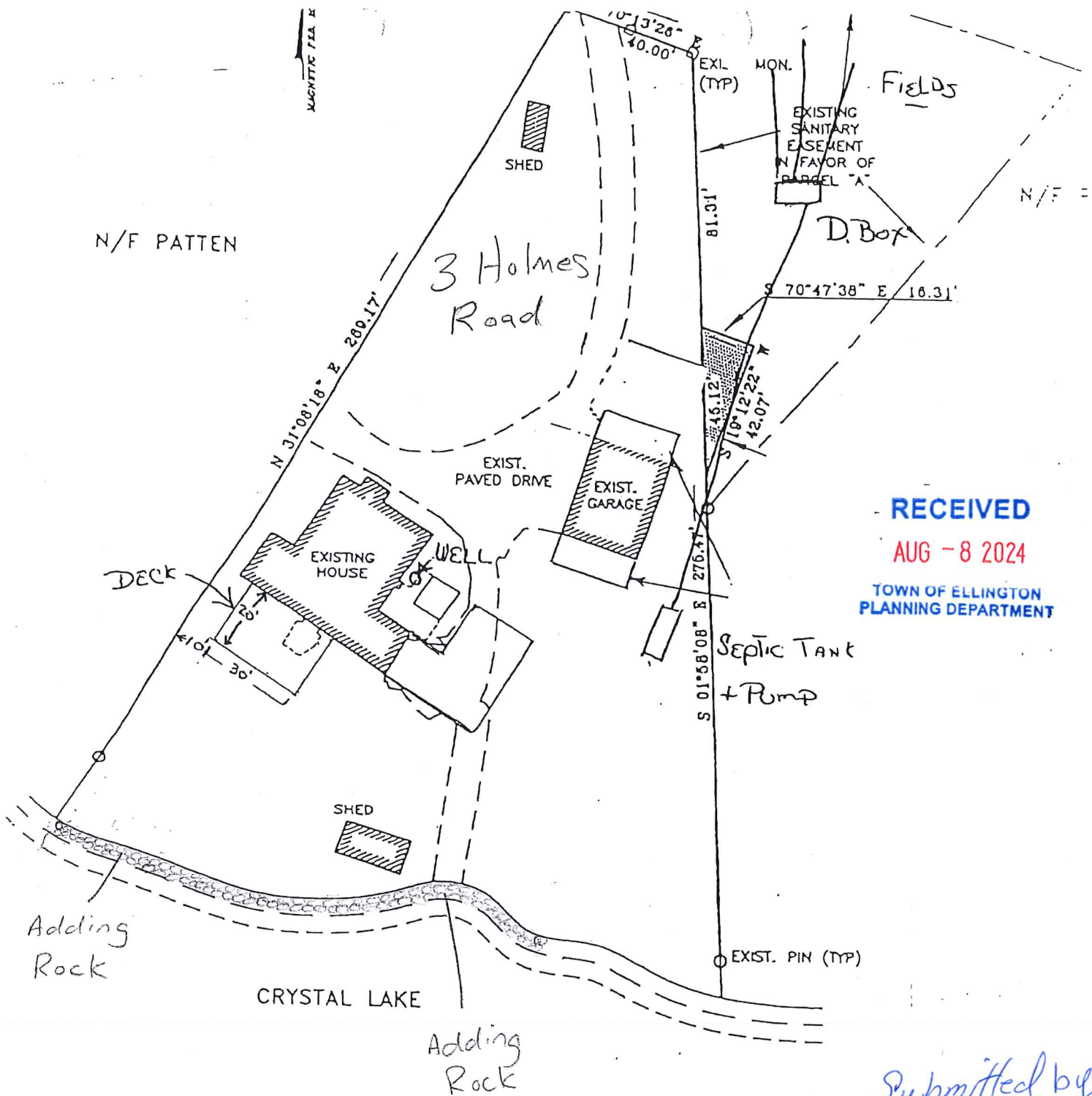
3 Holmes Rd.

Working on 100' to 110' Feet of Lake Frontage, we will be hand Placing Stone on top of existing rock wall. Adding about 1' Feet of hight. Also we want to go about 3' Feet to 4' Feet into the water So that the waves of the boats will hit the rocks before it keeps undermining the ground. All the Project will be hand done no equipment will be in the water.

RECEIVED

AUG - 8 2024

TOWN OF ELLINGTON
PLANNING DEPARTMENT

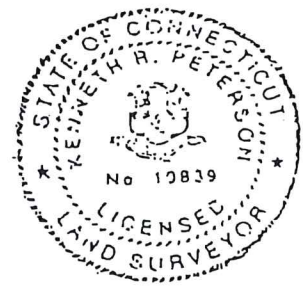


RECEIVED

AUG - 8 2024

TOWN OF ELLINGTON
PLANNING DEPARTMENT

Submitted by
Deane Shea
8/08/2024



1" = 40'

AND SURVEY HAVE BEEN PREPARED IN ACCORDANCE WITH THE
YS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1
7-300b-20. THIS IS AN IMPROVEMENT LOCATION SURVEY, BASED
VEY, CONFORMING TO HORIZONTAL ACCURACY CLASS A-2.

ED ON THIS PLAN ARE BASED ON MAGNETIC FEB. 2002.
TO THE FOLLOWING MAPS:

From: [Dana Steele](#)
To: [John Colonese](#)
Cc: [Barbra Galovich](#)
Subject: RE: Staff Review - IW202418 - 3 Holmes Road
Date: Wednesday, September 4, 2024 4:56:18 PM
Attachments: [image001.png](#)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

John,

I've revised the application for 3 Holmes Road and have no concerns with the proposed work. The photos show vegetation on top of the existing rock wall. If any vegetation is to be removed this should be noted on the wetland permit.

Dana P. Steele, P.E.
Ellington Town Engineer



J.R. RUSSO & ASSOCIATES, LLC
P.O. Box 938, 1 Shoham Road
East Windsor, CT 06088
(CT) 860.623.0569 (MA) 413.785.1158
dsteale@jrrusso.com | www.jrrusso.com

From: Barbra Galovich <bgalovich@ELLINGTON-CT.GOV>
Sent: Wednesday, August 21, 2024 11:14 AM
To: Dana Steele <dsteale@jrrusso.com>; James York <JYork@ELLINGTON-CT.GOV>; John Rainaldi <jrainaldi@ellington-ct.gov>; Matthew Reed <mreed@ellington-ct.gov>; Patrice Sulik <psulik@ncdhd.org>; Peter Hany Sr. <Peter.hany@ellingtonambulance.org>; Raymond Martin <Rmartin@ELLINGTON-CT.GOV>; Sydney Kern <skern@ELLINGTON-CT.GOV>; Tom Modzelewski <thmodzelewski@ELLINGTON-CT.GOV>; Westford Lirot <wlirot@ncdhd.org>
Subject: Staff Review - IW202418 - 3 Holmes Road

Hi,

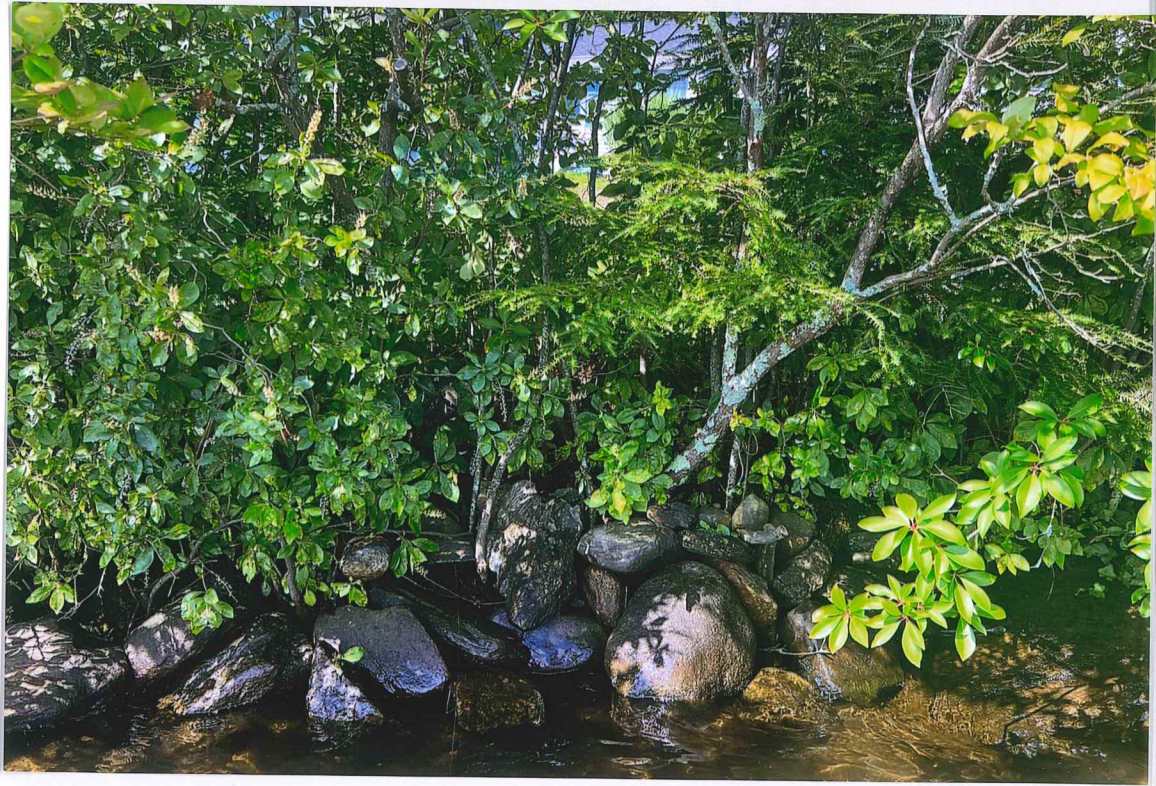
Hope you are doing well. Please see the attached documentation with Staff Review Sheet. This application will be discussed at the IWA meeting on Monday, September 23, 2024. **Please provide your comments/concerns on or before Friday, September 13, 2024.**

Thank you in advance for your review.
Barbra

Barbra Galovich, CZET
Ellington Planning Department
57 Main Street
Ellington, CT 06029
(860)870-3120, Option 1







Town of Ellington Inland Wetlands and Watercourses Agency Application

Application # IW202417
Date Submitted 8/6/2024

Notices associated with this application will be sent to the applicant unless otherwise requested.

Owner's Information

Name: Beadly + Amanda Bahler
Mailing Address: 353 Somers Rd
Ellington, CT 06029

Email: _____

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No

Primary Contact Phone #: 860-874-5738
Secondary Contact Phone #: 860-268-8241

Owner's Signature: [Signature] Date: 8/6/2024

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Agency have been submitted. Moreover, by signing above I/we expressly provide written consent to the filing of the application and access to the site by the Agency or its staff.

Notices associated with this application will be sent to the applicant unless otherwise requested.

Applicant's Information (if different than owner)

Name: _____
Mailing Address: _____
Email: _____

Same as owner

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No

Primary Contact Phone #: _____
Secondary Contact Phone #: _____

Applicant's Signature: _____ Date: _____

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Agency have been submitted.

RECEIVED
AUG - 6 2024

TOWN OF ELLINGTON
PLANNING DEPARTMENT

Street Address: 353 Somers Rd
Assessor's Parcel Number (APN): 105 - 007 - 6000
Proposed upland review area affected in square feet: 192 ±
Proposed wetlands/watercourses affected in square feet and linear feet (as applicable): ~~0~~
Total area of wetlands/watercourses on parcel in square feet or acres: .3 acres ±

Public Water: Yes No Public Sewer: Yes No *If not served by public water and sewer, applicant shall make application to North Central District Health Department (Enfield Office) if required.*

Is the project in a public water supply watershed area? Yes No
If YES, applicant is required to notify the Connecticut Water Company and Commissioner of Public Health by certified mail, return receipt within 7 days of this application (Conn. Gen Stat. Sec 22a-42f). Copy of application, plans, and supporting documents must accompany notice. Applicant can email the Commissioner of Public Health using their approved form. Proof of notice (return receipt and sent email) must be provided to the Planning Department.

Describe the nature of proposed regulated activity, request for acceptance of a permitted use as of right or a nonregulated use, map or regulation amendment, or other activity requiring review by the Agency or its Agent:
See attached Application Checklist and Appendix D for guidance when preparing application

Construction of 26' x 6' Bridge to clear span Hyde Brook. Brook measures 6' wide. Bridge to span 10' on both sides as not to affect or effect water flow. 4-12" concrete piers for foundation will be 10' away from water flow, installed up on top of embankment. Steel beam engineered to span 26' feet from pier so as not to effect water way.

Applicant shall provide certification in accordance with Wetlands Regulation, Section 7.4e, Application Requirements:

Whether or not any portion of the property on which the regulated activity is proposed is located within 500 feet of an adjoining town. Yes No

Whether or not a significant portion of the traffic to the completed project will use streets within an adjoining town to exit or enter the site. Yes No

Whether or not a significant portion of the sewer or water drainage from the project will flow through and significantly impact the sewer or water drainage system of an adjoining town. Yes No

Whether water run-off from the improved site will impact streets or other municipal/private property within an adjoining town. Yes No

FOR OFFICE USE ONLY

If YES to any of the above, the Agency shall, in accordance with CGS 8-7d(f) notify the clerk of any adjoining municipality of the pendency of any application, petition, appeal, request or plan concerning any project on any site. Notice of the pendency of such application shall be made by certified mail, return receipt requested, and shall be mailed within seven (7) days of the date of receipt of the application, petition, appeal, request or plan. (See Agency requirements Section 8.4)

Type of Project: (check one)

Commercial/Industrial Residential Mixed Use Timber Agricultural
 Other, explain: _____

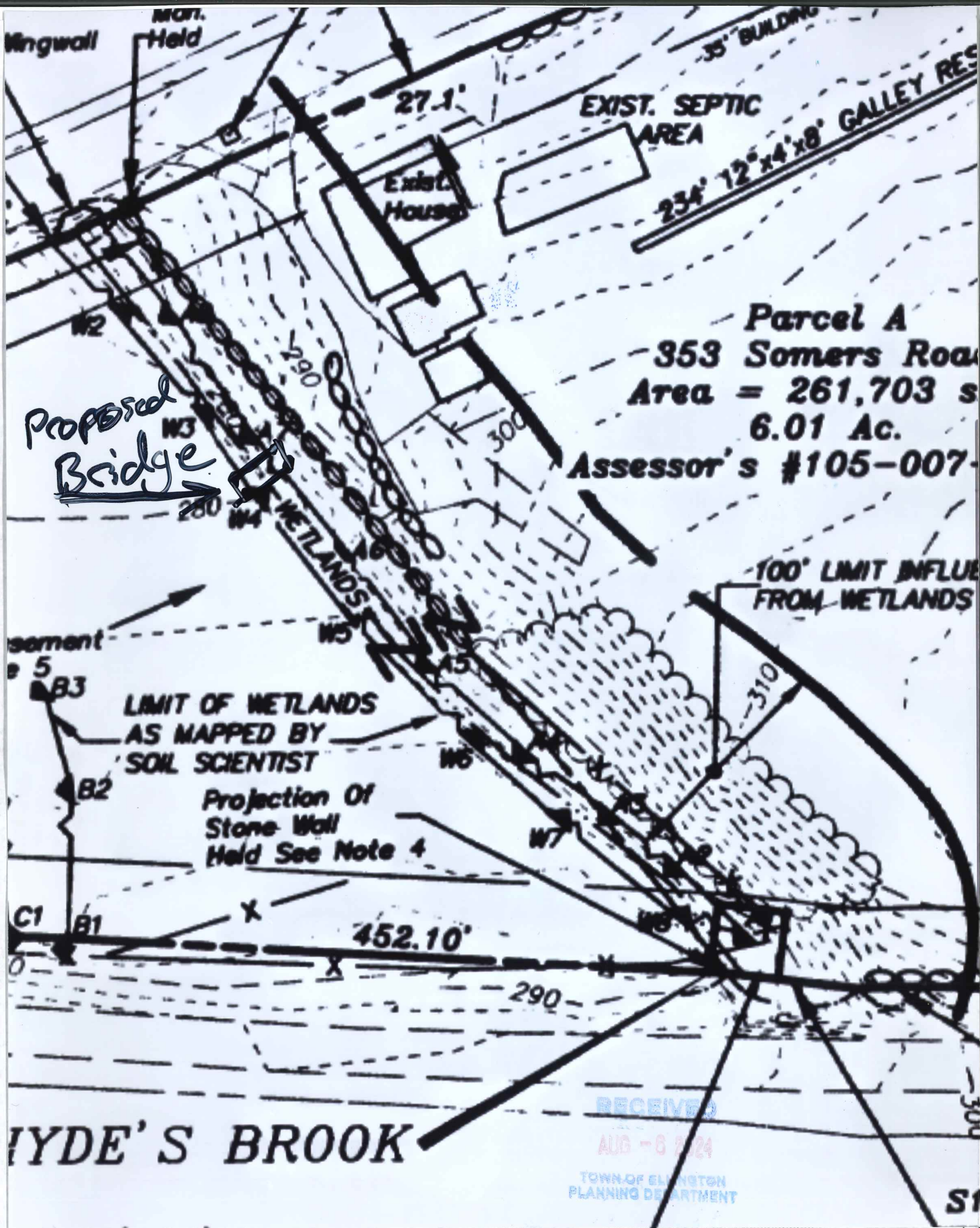
Type of Application: (check one)

- Notification for Non-Regulated Use (Section 4.2)
- Notification of Permitted Use as of Right (Section 4.1)
- Administrative Permit (Section 6.4)
- Agency Permit (**TWELVE COPIES REQUIRED**)
- Permit Modification
- Permit Extension
- Regulation Amendment
- Map Amendment
- Appeal of Administrative Permit

RECEIVED
AUG -6 2024
TOWN OF ELLINGTON
PLANNING DEPARTMENT

Application Submittals:

- Completed Application Form (Section 7.4a)
- Application Fee (Section 7.4b)
- Abutters List (Section 7.4c)
- Certification as to Adjacent Towns (See above)
- Certification as to Connecticut Water Company & Commissioner of Public Health (See above)
- Notification Narrative and Supporting Documentation (If applicable, Appendix D)
- Project Narrative and Supporting Documentation (Section 7.4g, 1-11 inclusive, as deemed applicable)
- Project Site Plan - circle one: Administrative (Section 7.4h1) / Agency (Section 7.4h2)
- Supplemental Information (Section 7.5a-j, inclusive, as deemed applicable)



Parcel A
 353 Somers Road
 Area = 261,703 s
 6.01 Ac.
 Assessor's #105-007-

Proposed Bridge

sement
 # 5
 B3
 B2
 C1 B1
 X
 452.10'
 290
 W2
 W3
 W4
 W5
 W6
 W7
 W8
 WETLANDS
 LIMIT OF WETLANDS
 AS MAPPED BY
 SOIL SCIENTIST
 Projection Of
 Stone Wall
 Held See Note 4

100' LIMIT INFLUE
 FROM WETLANDS

HYDE'S BROOK

RECEIVED
 AUG - 6 2024
 TOWN OF ELLINGTON
 PLANNING DEPARTMENT

RECEIVED

AUG - 6 2024

TOWN OF BEEHINGTON
PLANNING DEPARTMENT





RECEIVED
AUG 8 1984
TOWN OF BURLINGTON
PLANNING DEPARTMENT

10/1/84

From: [Dana Steele](#)
To: [John Colonese](#)
Cc: [Barbra Galovich](#)
Subject: RE: Staff Review - IW202417 - 353 Somers Road
Date: Wednesday, September 4, 2024 5:07:32 PM
Attachments: [image001.png](#)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

John,

I've reviewed the proposed bridge crossing at 353 Somers Road. My main concern is that the bridge abutments be placed sufficiently up the banks of the watercourse to prevent encroachment into the high water mark of the watercourse and avoid undermining of the footings from stream erosion. The proposed 10' setback seems reasonable.

The property owner should also maintain the stream flow by removing any debris caught by the bridge that might block the stream flow.

Dana P. Steele, P.E.
Ellington Town Engineer



J.R. RUSSO & ASSOCIATES, LLC
P.O. Box 938, 1 Shoham Road
East Windsor, CT 06088
(CT) 860.623.0569 (MA) 413.785.1158
dsteale@jrusso.com | www.jrusso.com

From: Barbra Galovich <bgalovich@ELLINGTON-CT.GOV>
Sent: Wednesday, August 21, 2024 10:29 AM
To: Dana Steele <dsteale@jrusso.com>; James York <JYork@ELLINGTON-CT.GOV>; John Rainaldi <jrainaldi@ellington-ct.gov>; Matthew Reed <mreed@ellington-ct.gov>; Patrice Sulik <psulik@ncdhd.org>; Peter Hany Sr. <Peter.hany@ellingtonambulance.org>; Raymond Martin <Rmartin@ELLINGTON-CT.GOV>; Sydney Kern <skern@ELLINGTON-CT.GOV>; Tom Modzelewski <thmodzelewski@ELLINGTON-CT.GOV>; Westford Lirot <wlirot@ncdhd.org>
Subject: Staff Review - IW202417 - 353 Somers Road

Hi,

Hope you are doing well. Please see the attached documentation with Staff Review Sheet. This application will be discussed at the IWA meeting on Monday, September 23, 2024.

Please provide your comments/concerns on or before Friday, September 13, 2024.

Thank you in advance for your review.
Barbra

Barbra Galovich, CZET
Ellington Planning Department
57 Main Street
Ellington, CT 06029
(860)870-3120, Option 1



STATE OF CONNECTICUT – COUNTY OF TOLLAND
INCORPORATED 1786

TOWN OF ELLINGTON

55 MAIN STREET – PO BOX 187
ELLINGTON, CONNECTICUT 06029-0187
www.ellington-ct.gov

TEL. (860) 870-3120 TOWN PLANNER'S OFFICE FAX (860) 870-3122

INLAND WETLANDS AGENCY REGULAR MEETING MINUTES MONDAY, AUGUST 12, 2024, 7:00 P.M.

IN PERSON ATTENDANCE: TOWN HALL ANNEX, 57 MAIN STREET
REMOTE ATTENDANCE: ZOOM MEETING
(ATTENDEES BELOW WERE IN PERSON UNLESS OTHERWISE NOTED)

PRESENT: Chairman Jean Burns, Vice Chairman Katherine Heminway, Regular members Ken Braga, Steve Hoffman, Landon Barlow, and Alternate Jon Kaczmarek

ABSENT: Regular members Ron Brown, Hocine Baouche and Alternate Ryan Orszulak

STAFF

PRESENT: John Colonese, Assistant Town Planner/Wetland Enforcement Officer and Barbra Galovich, Land Use Assistant/Recording Clerk

I. CALL TO ORDER: Chairman Jean Burns called the Ellington Inland Wetlands Agency meeting to order at 7:00 pm.

II. PUBLIC COMMENTS (on non-agenda items): None

III. PUBLIC HEARINGS:

1. IW202413 – Stephen D. Williams, owner/applicant request for a permit to conduct regulated activity to construct a single-family home and associated improvements at 37 Wendell Road, APN 168-019-0000.

Time: 7:02 pm

Seated: Burns, Heminway, Braga, Hoffman, Barlow and Kaczmarek

Stephen D. Williams, 36 Buff Cap Road, Tolland, CT and George Logan, REMA Ecologic Services, LLC, 43 Blue Ridge Drive, Vernon, CT were present to represent the application.

George Logan stated this parcel is a relatively small lot at .21 acres. It's located at the intersection of Wendell Road and Pine Street. The lot is undeveloped, mostly wooded, contains wetlands and an intermittent watercourse. The wetlands were delineated back on February 9th and then again April 26th, when additional flags were placed. George Logan reviewed the Gardner & Peterson Assoc. Improvement Location Survey and pictures in the REMA Ecological Services report. George reviewed the soil types and invasive plants on the parcel and noted they will be removed as part of the mitigation plan, and a conservation seed mix will be used behind the proposed house. George noted the wetlands on the parcel are not highly functional. He added that in addition to removing the invasive plants, wetlands plantings will be installed as shown on the plan and noted in the handout Tables of Planting Materials for Wetland Enhancement.

George Logan reviewed the list of plantings species recommended for wetlands enhancement, noting the Japanese knotweed will be the hardest invasive species to remove from the site and could take three years to remove.

Commissioner Braga asked how far Wetland's Flag #5 is from the back corner of the proposed house. George Logan indicated that it was a couple of feet away according to the survey. Commissioner Braga asked how far Wetland's Flag #2 is from the back of the house. George confirmed it is about 5 to 6 feet away from the proposed house according to the survey. Commissioner Braga stated after hearing George Logan's report that a lot of items are proposed and asked if these stipulations could go with the title of the land. George noted the stipulations could go with the land and he noted the agency may want to consider some type of markers or posts to show where the wetlands boundary is located. Vice Chairman Heminway asked who would be responsible to maintain the wetlands, and asked how it is possible to not disturb the wetlands based on the site plan along with tree removal and grading. George Logan said no machinery needs to go into the wetland for the initial clearing as they can reach in from the upland area into the wetland area. George added that a construction protocol may help to describe this process.

John Colonese read the following two comments provided by Dana Steele, Town Engineer via email on August 6, 2024:

1. "The proposed 708 contour at the driveway does not reflect the 1" lip called for by notation at the curb line. In addition to the lip, I recommend the contour depict a slight hump in the paved apron.
2. It is not clear why a hatchway is shown on the west end of the house. The outside grade is only a foot higher than the crawl space slab elevation of 704.0. The engineer should clarify what is intended here.

These items are not directly related to wetland impacts so they do not need to be included as conditions but if the Commission prefers to include them as conditions, I don't see a problem with that."

John Colonese noted the Water Pollution Control Authority had comments for the applicant. John added that should a wetlands permit be approved; it could be filed on the land records so that someone doing a title search could find the approval and any conditions.

Kevin Paradis, 82 Country View Drive, South Windsor, was present on behalf of his son who lives at 39 Wendell Road. Kevin raised concern with who will maintain the wet meadow, and chemical treatment for the invasive plants. The proposed chemical treatment is close to the wells and the stream on the property.

Maura Heintz, 33 Pine Street, has concerns that the disturbance from the digging of the crawl space will be into the wetlands and referenced the site plan. Steve Williams stated they will use a mini excavator to perform the digging for the foundation for the crawl space without touching the wetlands. Chairman Burns liked the idea of the construction protocol on how they will avoid the wetlands. John Colonese stated the agency can request that the plan be revised to include a construction narrative.

Commissioner Barlow asked if the erosion and sedimentation controls as shown on the plan would be a boundary to the wetlands clearing limits. George Logan noted this would be a hard boundary and clearing limit, and added if there is an accidental disturbance this can be fixed as a temporary impact. They do not intend to do any filling in the area to the rear of the home in front of the silt fence. George recommended having the wetlands staked prior to construction. Commissioner Barlow asked George to review the wetlands line versus the silt fence line. George described the wetlands line and silt fence line as shown on the plan.

Commissioner Hoffman asked about the procedure to remove the invasive species. George Logan explained the protocols to remove invasive species. Removal can be done by mechanical removal or herbicide treatment and noted mechanical work will be done by hand, no heavy equipment, using a spade and shovel. George added that getting rid of Japanese knotweed will be challenging and added that it will need to be investigated further at the site. George also reviewed the different processes to remove the knotweed. Any herbicide treatment will follow Department of Energy and Environmental Protection guidelines and will be targeted at invasive plants. Vice Chairman Heminway asked how to ensure this will be monitored. George noted the monitoring requirement can be included as part of the permit. Chairman Burns confirmed with George that the individual performing any invasive species herbicide treatments will be licensed.

Maura Heintz raised concern about chemicals endangering the watershed. There is the Japanese Knotweed all along Pine Street on both sides and Maura doesn't feel that the removal at this location would have an impact.

John Colonese reviewed portions of Section 7.5 of the Wetlands Regulations for the agency members, noting if they would like to request additional information from the applicant such as a functional and qualitative analysis or a description of alternatives. John also has concerns with the proposed wet meadow directly to the rear of the house as it would not leave room for an owner to walk or mow around the house.

The agency decided that they would like to see more information from the applicant regarding a construction protocol. Commissioner Burns asked for more information on the chemicals to be used to control the invasive species.

MOVED (BRAGA) SECONDED (HEMINWAY) AND PASSED UNANIMOUSLY TO MAKE A DETERMINATION OF A SIGNIFICANT ACTIVITY FOR IW202413.

MOVED (BARLOW) SECONDED (HEMINWAY) AND PASSED (BRAGA - NAY) TO CONTINUE THE PUBLIC HEARING TO MONDAY, SEPTEMBER 23, 2023, TOWN HALL ANNEX, 57 MAIN STREET, ELLINGTON, CT FOR IW202413 – Stephen D. Williams, owner/applicant request for a permit to conduct regulated activity to construct a single-family home and associated improvements at 37 Wendell Road, APN 168-019-0000.

IV. OLD BUSINESS: None

V. NEW BUSINESS:

1. IW202415 – Daniel & Kristina Greenwood, owner/applicant request to accept notification for the construction of a farm pond permitted as of right at 73 School House Rd, APN 165-007-0000.

Rachel Dearborn, Landmark Surveys, LLC, 62 Lower Butcher Road, was present to represent the application.

Rachel Dearborn explained the property is located on the corner of East Porter Road, Webster Road and Schoolhouse Road. The owners are looking to construct an agricultural pond, including a swale, a pond drain, and outlet. The activity is permitted as of right and is located within 250' of a wetland area. Rachel Dearborn stated the wetlands that are located on the plan were obtained from the Town GIS. The owners are looking to add a 2" PVC pipe with a shut off valve to drain the pond as necessary. The pond will be utilized for agriculture. A berm will be created on the low side of the pond to direct water over the spillway to the swale. No farm animals will access the pond.

Commissioner Hoffman asked if the parcel is wet. Rachel noted there are areas where water is close to the surface which will feed the pond.

Commissioner Barlow asked about the Town Engineer's comments. John Colonese read Dana Steele's comments from an email dated August 6, 2024, as follows:

"I've reviewed the site plan revised 8/5/24 and offer the following comments:

1. The pond berm has been raised to include a 4' fill berm acting as a dam. The plans should include a cross-section detail for the embankment prepared by a CT PE to ensure proper construction and protection against breaching. Include material and compaction specifications on the detail. Fill material should be keyed into the existing grade to prevent sliding.
2. Provide a detail of the proposed riprap spillway.
3. Provide a detail of the proposed sump in the basin to protect the 2" drain from clogging.
4. Provide a maintenance schedule for inspecting and repairing erosion of the spillway and swale.

These items could be conditions of wetland approval."

John reviewed comment #1 with Rachel Dearborn and Dana Steele earlier today, and comment #1 is not required since the spillway will be at the existing grade. Rachel said she will provide details to address the remaining comments.

MOVED (BRAGA) SECONDED (HOFFMAN) AND PASSED UNANIMOUSLY TO ACCEPT IW202415 – Daniel & Kristina Greenwood, owner/applicant request to accept notification for the construction of a farm pond permitted as of right at 73 School House Rd, APN 165-007-0000.

2. Request from Calito Development Group to informally discuss a concept driveway configuration plan that crosses an intermittent watercourse on property on the west side of Route 83, APN 046-003-0002.

James Cassidy, PE, Hallisey, Person & Cassidy Engineering Associates, Inc., 630 Main Street, Cromwell, CT, and Attorney Robin Pearson, Alter & Pearson, LLC, 701 Hebron Avenue, Glastonbury, CT, were present for the informal discussion.

James Cassidy explained Calito Development Group, LLC is looking to subdivide and develop 3 acres of the 20.98-acre parcel currently used for agriculture. It was suggested by the Ellington Planning & Zoning Commission to request this informal discussion with the agency. James Cassidy noted the lot has 1,500' of frontage, has a drainage ditch running through it, and some wetland soils on the western side. James reviewed the concept site plan showing the proposed three driveways along the frontage. The drainage ditch, intermittent watercourse, was created on the site when the plaza across the street was developed. James stated the engineering design considers Ellington's Route 83 Access Management Plan, which was designed to connect parcels and provide internal access without vehicles having to enter onto Route 83.

James Cassidy stated the reason for this informal discussion is to get feedback from the agency about the possible creation of a bridge over the intermittent watercourse, noting the portion of land to the north would be developed first. James explained there are two 36" culverts flowing in a westerly direction onto the property, and the crossing would create roughly 1000 sf of disturbance.

Chairman Burns stated West Road is a state road and the developer will need to contact the Department of Transportation for any curb cuts. Commissioner Hoffman noted the Town will be installing sidewalks along West Road, John Colonese stated the sidewalk project will be on the opposite side of West Road. Commissioner Hoffman discussed the existing culvert drainage areas and recommended they maintain a 2:1 mitigation to disturbance ratio.

3. IW202414 – Stephen Quatrocelli, owner/applicant request for a permit to conduct regulated activity to demolish existing home, deck and existing lake wall, to construct new single-family home, retaining walls, steps, storage shed and associated improvements at 10 East Shore Road, APN 149-097-0000.

BY CONSENSUS, THE AGENCY RECEIVED AND SCHEDULED A PUBLIC HEARING FOR SEPTEMBER 23, 2024, 7PM, TOWN HALL ANNEX, 57 MAIN STREET, ELLINGTON, AND ZOOM VIDEO CONFERENCING FOR IW202414 – Stephen Quatrocelli, owner/applicant request for a permit to conduct regulated activity to demolish existing home, deck and existing lake wall, to construct new single-family home, retaining walls, steps, storage shed and associated improvements at 10 East Shore Road, APN 149-097-0000.

4. IW202417 – Bradly & Amanda Bahler, owner/applicant, request for a permit to conduct regulated activity to construct a 26'x6' bridge over Hydes Brook at 353 Somers Road, APN 105-007-0000.

BY CONSENSUS, THE AGENCY RECEIVED AND ADDED TO NEW BUSINESS FOR SEPTEMBER 23, 2024, 7PM, TOWN HALL ANNEX, 57 MAIN STREET, ELLINGTON, AND ZOOM VIDEO CONFERENCING FOR IW202417 – Bradly & Amanda Bahler, owner/applicant, request for a permit to conduct regulated activity to construct a 26'x6' bridge over Hydes Brook at 353 Somers Road, APN 105-007-0000.

5. IW202415 – Windermere Village Homeowners Association, owner/applicant, request for a permit to conduct regulated activity to excavate and maintain area to improve retention pond function and drainage at Windermere Avenue and Windermere Village Road, APN 017-024-0000.

BY CONSENSUS, THE AGENCY RECEIVED AND SCHEDULED A PUBLIC HEARING FOR SEPTEMBER 23, 2024, 7PM, TOWN HALL ANNEX, 57 MAIN STREET, ELLINGTON, AND ZOOM VIDEO CONFERENCING FOR IW202415 – Windermere Village Homeowners Association, owner/applicant, request for a permit to conduct regulated activity to excavate and maintain area to improve retention pond function and drainage at Windermere Avenue and Windermere Village Road, APN 017-024-0000.

6. IW202418 – Diane Shea, owner/applicant, request for a permit to conduct regulated activity to add stone to existing rock wall at the lake edge at 3 Holmes Road, APN 169-027-0000.

BY CONSENSUS, THE AGENCY RECEIVED AND SCHEDULED A PUBLIC HEARING FOR SEPTEMBER 23, 2024, 7PM, TOWN HALL ANNEX, 57 MAIN STREET, ELLINGTON, AND ZOOM VIDEO CONFERENCING FOR IW202418 – Diane Shea, owner/applicant, request for a permit to conduct regulated activity to add stone to existing rock wall at the lake edge at 3 Holmes Road, APN 169-027-0000.

VI. ADMINISTRATIVE BUSINESS:

1. Approval of the July 8, 2024, Regular Meeting Minutes.

MOVED (BRAGA) SECONDED (BARLOW) AND PASSED UNANIMOUSLY TO APPROVE THE JULY 8, 2024, REGULAR MEETING MINUTES AS WRITTEN.

2. Correspondence/Discussion:

- a. North Central District Health Dept. Ellington Annual Report July 1, 2023 – June 30, 2024.

VII. ADJOURNMENT:

MOVED (HEMINWAY) SECONDED (BRAGA) AND PASSED UNANIMOUSLY TO ADJOURN THE AUGUST 12, 2024, REGULAR MEETING OF THE INLAND WETLANDS AGENCY AT 8:29 PM.

Respectfully submitted,

Barbra Galovich, Recording Clerk

COMMENTARY

Flooding is destructive and we're making it worse

By Alicea Charamut

The footage of flooding in the Oxford and Southbury area on Sunday was heartbreaking. Portions of western Connecticut were slammed with 5-10 inches of rain — with more on the way on Monday. While my suburb didn't see as much rain, we still experienced significant local flooding and my local farm stand was underwater.

Yet, despite the flooding just the night before, on Monday morning a neighbor's lawn sprinkler was sending a steady stream of water 5 feet out into the street and down the road, adding more water to our already overtaxed stormwater system. Needless to say, I spent the rest of my morning walk stewing over it.

This incident highlights just how little attention many people give to how water is used and

where it ends up.

In planning and development — whether it's for private property, a larger project, or a new parking lot — the water that falls from the sky is often seen as something that needs to be directed elsewhere. It's runoff! But where should it run off to? Who cares? Just as long as it's not here.

When downhill or downstream neighbors find lakes in their yards, water in their basements, or flooded streets, they demand immediate action. The response is often to focus on getting rid of the water even faster — effectively making it someone else's problem.

Chances are, a local watershed group, concerned citizens, or inland wetlands commissioners raised alarms about these consequences when the land-use changes that led to the problem were first proposed. But too often,

their concerns are dismissed by local officials and developers chasing dollar signs.

When it comes to stormwater, we're creating issues faster than we can solve them — this is how our current system is set up. For the sake of our communities, local economies, and cherished places, we must take a proactive approach. Climate change must be integrated into planning and decision-making at every level. Local land-use commissions need the regulatory tools and support from the Department of Energy and Environmental Protection to address these threats at the local level.

Municipal leaders must understand that focusing solely on expanding the tax base by building on every available square inch will lead to stormwater infrastructure maintenance costs and flooding issues that



H John Voorhees III/Hearst Connecticut Media

A flooded baseball field at the Wilton Family Y on Monday.

they will not have the resources to manage; therefore, negating any increase in revenue. As we continue cutting down forests and even small wooded areas in our neighborhoods, we lose the natural sponges that absorb excessive rainfall. So where does that water end up? On Main Street. In your basement.

Enough is enough. We need real progress in addressing the impacts of

climate change. We must demand that our legislators and agency leaders prioritize integrating climate considerations into land-use decisions. We need consistent protections for riparian buffers. We need to increase capacity for DEEP and demand that it invest in supporting our local Inland Wetlands and Watercourses Commissions as well as local groups working on the ground to improve our

waterways. We need to fund an update to our state water plan with a strong focus on climate change. We need to preserve our forests as forests. And we need to recognize that we can't keep building on every piece of property without causing consequences for everyone in the community.

Alicea Charamut is executive director of Rivers Alliance of Connecticut.

