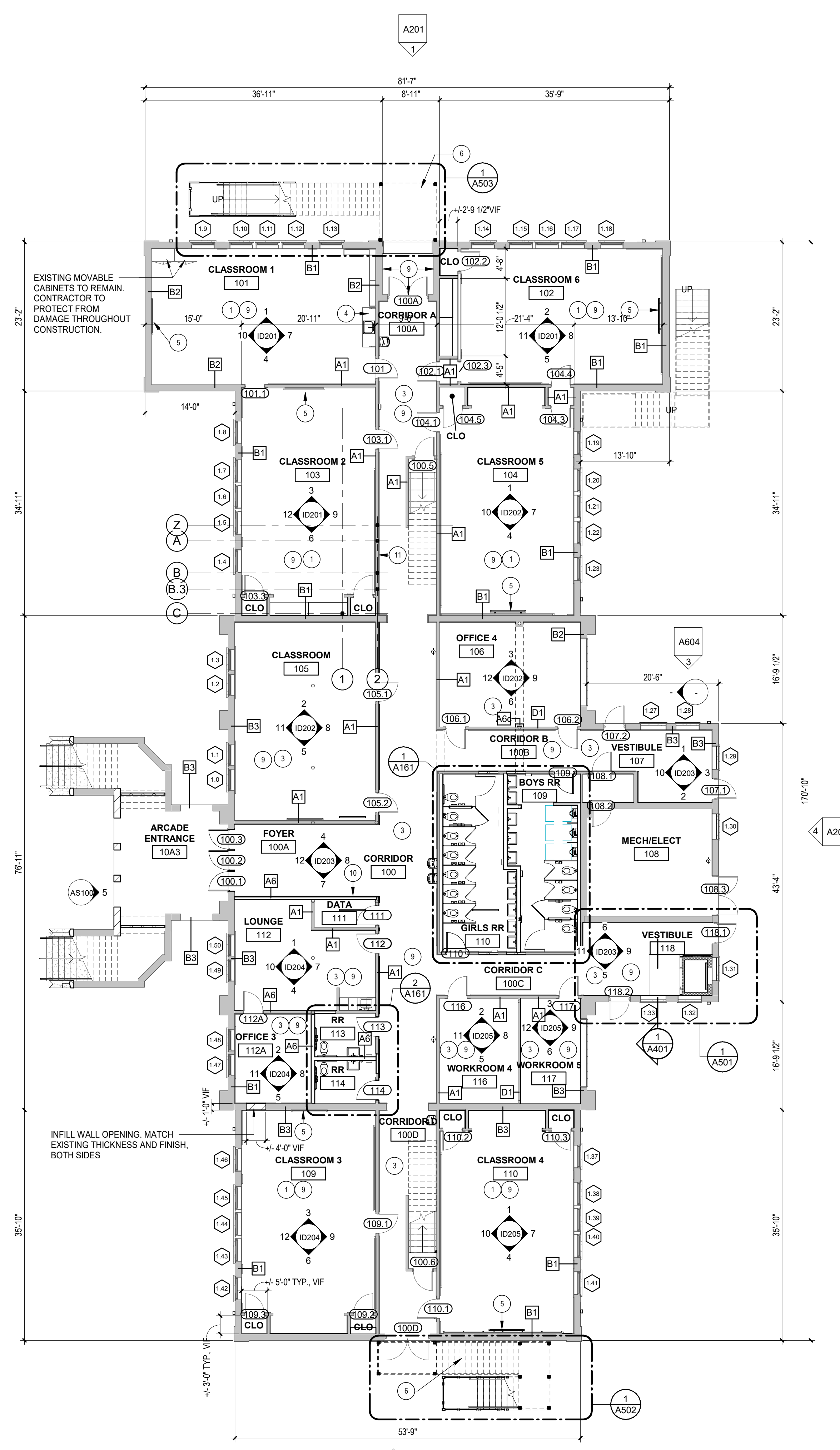


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1 FLOOR PLAN - FIRST FLOOR
3/32" = 1'-0"

FLOOR PLAN KEYNOTES

- 1 INSTALL NEW 3/4" OAK WOOD FLOORING, RE INTERIOR FINISH PLAN. PREPARE EXISTING CONCRETE SLAB ACCORDING TO MANUFACTURERS RECOMMENDATIONS AND INSTALL FLUID APPLIED MOISTURE BARRIER PRIOR TO INSTALLATION OF NEW FLOOR. NEW FLOOR FINISH TO BE FLUSH WITH ADJACENT ROOM FLOOR FINISH.
- 2 INSTALL NEW 3/4" WOOD FLOOR. PATCH AND REPAIR 3/4" PLANK TONGUE AND GROOVE SUBFLOOR AS NEEDED. CONTRACTOR TO INCLUDE 25% SUBFLOOR REPLACEMENT IN BASE BID.
- 3 INSTALL NEW VCT FLOORING. PREPARE EXISTING CONCRETE SLAB ACCORDING TO MANUFACTURER'S RECOMMENDATIONS AND INSTALL CRYSTALLINE WATERPROOFING PRIOR TO INSTALLATION OF NEW FLOOR. NEW FLOOR FINISH TO BE FLUSH WITH ADJACENT ROOM FLOOR FINISH.
- 4 EXISTING MILLWORK TO REMAIN. CONTRACTOR TO PROTECT MILLWORK FROM DAMAGE DURING CONSTRUCTION.
- 5 PROPOSED LOCATION OF OWNER PROVIDED PROMETHEAN BOARD. VERIFY WITH OWNER/ARCHITECT PRIOR TO INSTALLATION. PROVIDE BLOCKING, ELECTRICAL DATA, AND INSTALL HARDWARE AS REQUIRED.
- 6 CONTRACTOR TO INSTALL POWDER COATED PRE-ENGINEERED METAL STAIR WITH PRECAST CONCRETE TREADS.
- 7 REPAIR EXISTING WOOD WALL HUNG CORBELS. SEE FLOORPLAN FOR LOCATIONS.
- 8 REFRESH EXISTING WOOD FLOORS THROUGHOUT ROOM.
- 9 REPAINT ALL PLASTER WALL SURFACES AND ALL WOOD WAINSCOT & TRIM THROUGHOUT ROOM
- 10 CONTRACTOR TO REMOVED VINTAGE WALL HUNG ANALOG CLOCK, REPAIR, AND REINSTALL AT THIS LOCATION. SEE REFERENCE PHOTO 1.
- 11 CONTRACTOR TO REPAIR IN-KIND VINTAGE SURFACE MOUNTED WALL CLOCK. SEE REFERENCE PHOTO 2

REFERENCE PHOTOGRAPHS



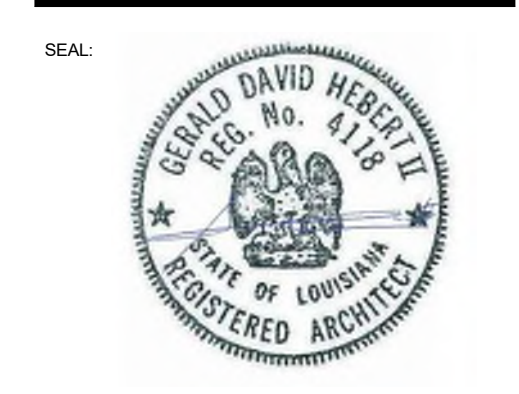
REFERENCE PHOTO 1 REFERENCE PHOTO 2

LEGEND

- EXISTING WALL TO REMAIN - REFER TO PARTITION TYPES FOR MORE INFORMATION
- NEW WALL - REFER TO PARTITION TYPES FOR MORE INFORMATION



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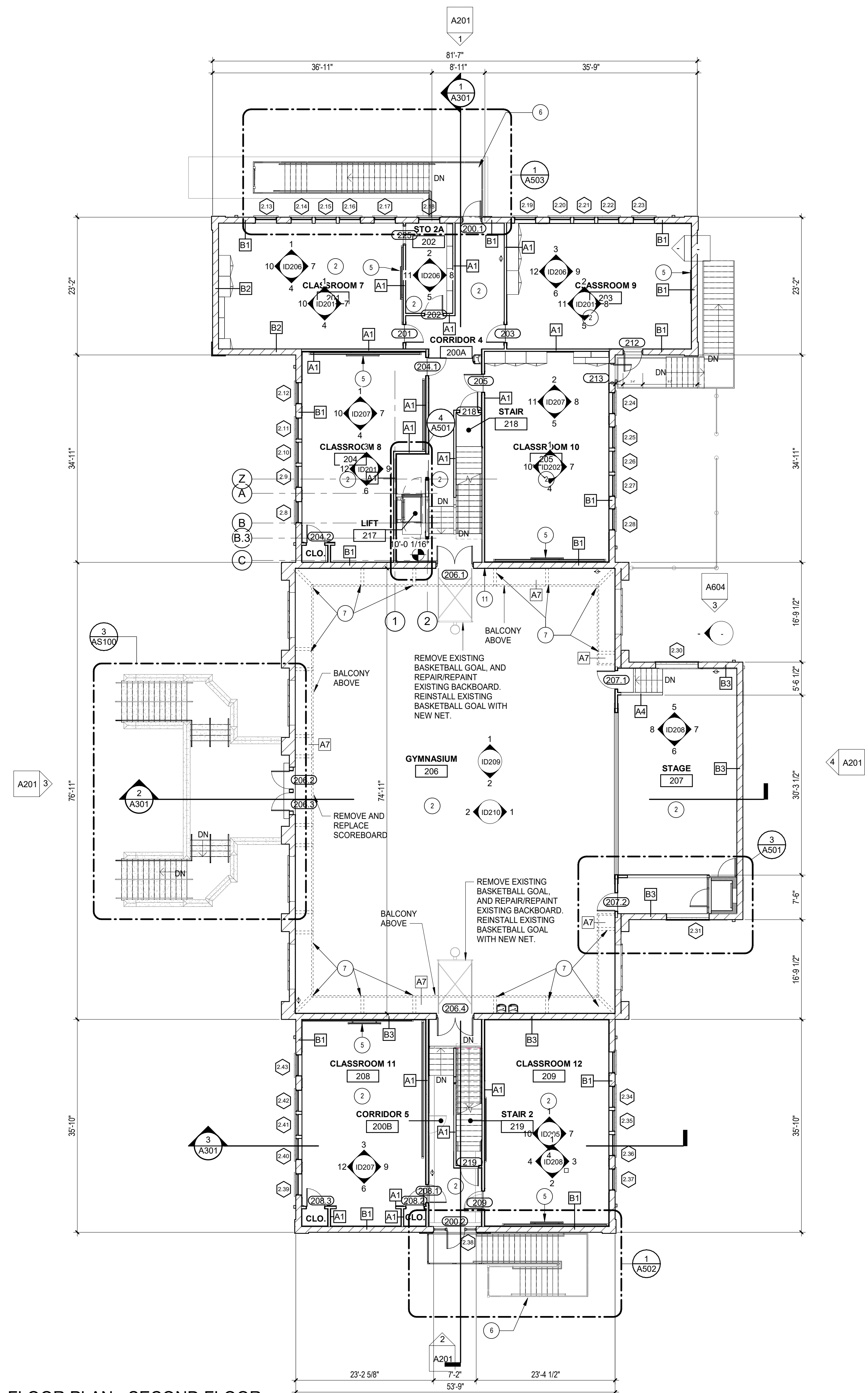
J.I. WATSON HISTORICAL BUILDING - HURRICANE REPAIRS (HL-060-03)
CALCASIEU PARISH SCHOOL BOARD
201 E 1ST ST., IOWA, LA 70647

No.	Description	Date

DATE: 08/23/2024
PHASE: BID DOCUMENTS
ISSUED FOR:
PROJECT NO.: 3221105

FIRST FLOOR PLAN
sheet number
A101

8/26/2024 8:31:25 AM



1 FLOOR PLAN - SECOND FLOOR
3/32" = 1'-0"

FLOOR PLAN KEYNOTES

- 1 INSTALL NEW 3/4" OAK WOOD FLOORING, RE INTERIOR FINISH PLAN. PREPARE EXISTING CONCRETE SLAB ACCORDING TO MANUFACTURERS RECOMMENDATIONS AND INSTALL FLUID APPLIED MOISTURE BARRIER PRIOR TO INSTALLATION OF NEW FLOOR. NEW FLOOR FINISH TO BE FLUSH WITH ADJACENT ROOM FLOOR FINISH.
- 2 INSTALL NEW 3/4" WOOD FLOOR. PATCH AND REPAIR 3/4" PLANK TONGUE AND GROOVE SUBFLOOR AS NEEDED. CONTRACTOR TO INCLUDE 25% SUBFLOOR REPLACEMENT IN BASE BID.
- 3 INSTALL NEW VCT FLOORING. PREPARE EXISTING CONCRETE SLAB ACCORDING TO MANUFACTURER'S RECOMMENDATIONS AND INSTALL CRYSTALLINE WATERPROOFING PRIOR TO INSTALLATION OF NEW FLOOR. NEW FLOOR FINISH TO BE FLUSH WITH ADJACENT ROOM FLOOR FINISH.
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- 6 CONTRACTOR TO INSTALL POWDER COATED PRE-ENGINEERED METAL STAIR WITH PRECAST CONCRETE TREADS.
- 7 REPAIR EXISTING WOOD WALL HUNG CORBELS. SEE FLOORPLAN FOR LOCATIONS.
- 8 REFRESH EXISTING WOOD FLOORS THROUGHOUT ROOM.
- 9 REPAIR ALL PLASTER WALL SURFACES AND ALL WOOD WAINSCOT & TRIM THROUGHOUT ROOM.
- 10 CONTRACTOR TO REMOVED VINTAGE WALL HUNG ANALOG CLOCK, REPAIR, AND REINSTALL AT THIS LOCATION. SEE REFERENCE PHOTO 1.
- 11 CONTRACTOR TO REPAIR IN-KIND VINTAGE SURFACE MOUNTED WALL CLOCK. SEE REFERENCE PHOTO 2.

LEGEND

- EXISTING WALL TO REMAIN - REFER TO PARTITION TYPES FOR MORE INFORMATION
- NEW WALL - REFER TO PARTITION TYPES FOR MORE INFORMATION



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J.I. WATSON HISTORICAL BUILDING - HURRICANE REPAIRS (HL-060-03)

CALCASIEU PARISH SCHOOL BOARD
201 E 1ST ST., IOWA, LA 70647

No.	Description	Date

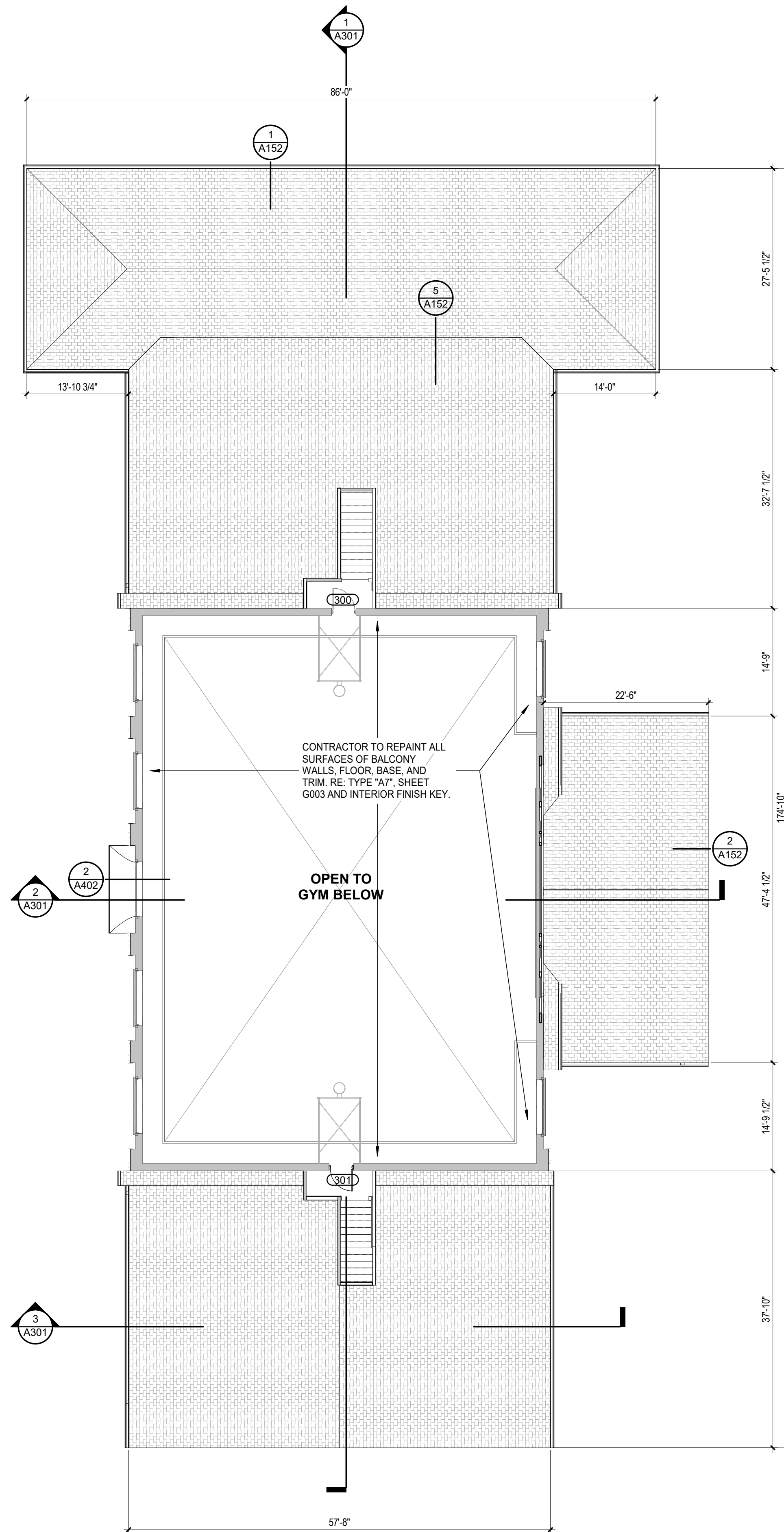
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PROJECT NO. 3221105

SECOND FLOOR PLAN

sheet number
A102

8/26/2024 8:31:27 AM

1 FLOOR PLAN - BALCONY
3/32" = 1'-0"



KEYNOTES

- 1 INSTALL NEW 3/4" OAK WOOD FLOORING, RE: INTERIOR FINISH PLAN. PREPARE EXISTING CONCRETE SLAB ACCORDING TO MANUFACTURER'S RECOMMENDATIONS AND INSTALL FLUID APPLIED MOISTURE BARRIER PRIOR TO INSTALLATION OF NEW FLOOR. NEW FLOOR FINISH TO BE FLUSH WITH ADJACENT ROOM FLOOR FINISH.
- 2 INSTALL NEW 3/4" WOOD FLOOR, PATCH AND REPAIR 3/4" PLANK TONGUE AND GROOVE SUBFLOOR AS NEEDED. CONTRACTOR TO INCLUDE 25% SUBFLOOR REPLACEMENT IN BASE BID.
- 3 INSTALL NEW VCT FLOORING. PREPARE EXISTING CONCRETE SLAB ACCORDING TO MANUFACTURER'S RECOMMENDATIONS AND INSTALL CRYSTALLINE WATERPROOFING PRIOR TO INSTALLATION OF NEW FLOOR. NEW FLOOR FINISH TO BE FLUSH WITH ADJACENT ROOM FLOOR FINISH.
- 4 EXISTING MILLWORK TO REMAIN. CONTRACTOR TO PROTECT MILLWORK FROM DAMAGE DURING CONSTRUCTION.
- 5 PROPOSED LOCATION OF OWNER PROVIDED PROMETHEAN BOARD. VERIFY WITH OWNER/ARCHITECT PRIOR TO INSTALLATION. PROVIDE BLOCKING, ELECTRICAL DATA, AND INSTALL HARDWARE AS REQUIRED.
- 6 CONTRACTOR TO INSTALL POWDER COATED PRE-ENGINEERED METAL STAIR WITH PRECAST CONCRETE TREADS.
- 7 REPAINT EXISTING WOOD WALL HUNG CORBELS. SEE FLOORPLAN FOR LOCATIONS.
- 8 REFINISH EXISTING WOOD FLOORS THROUGHOUT ROOM.
- 9 REPAINT ALL PLASTER WALL SURFACES AND ALL WOOD WAINSCOT & TRIM THROUGHOUT ROOM.
- 10 CONTRACTOR TO REMOVED VINTAGE WALL HUNG ANALOG CLOCK, REPAIR, AND REINSTALL AT THIS LOCATION. SEE REFERENCE PHOTO 1.
- 11 CONTRACTOR TO REPAIR IN-KIND VINTAGE SURFACE MOUNTED WALL CLOCK. SEE REFERENCE PHOTO 2.

LEGEND

- EXISTING WALL TO REMAIN - REFER TO PARTITION TYPES FOR MORE INFORMATION
- NEW WALL - REFER TO PARTITION TYPES FOR MORE INFORMATION



GRACE HEBERT CURTIS ARCHITECTS, APAC

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**J.I. WATSON HISTORICAL BUILDING -
HURRICANE REPAIRS (HL-060-03)**

CALCASIEU PARISH SCHOOL BOARD
201 E 1ST ST., IOWA, LA 70647

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DATE 08/23/2024
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 PROJECT NO. 3221105

BALCONY FLOOR PLAN

sheet number

A103



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REFLECTED CEILING PLAN NOTES

- CUT ALL PARTIAL ACOUSTICAL CEILING PANELS WITH REGULAR EDGE TO MATCH MANUFACTURERS' EDGE AS REQUIRED.
- CENTER LIGHT FIXTURES, EXIT LIGHTS, SPRINKLER HEADS, SPEAKERS AND OTHER CEILING MOUNTED FIXTURES IN PANELS.
- ALL GYPSUM BOARD CEILING SHALL BE 5/8" WITH METAL FURRING @ 16" O.C.
- DO NOT ATTACH ANY PORTION OF CEILING OR PARTITION SYSTEMS TO OVERHEAD MECHANICAL SYSTEM COMPONENTS. COORDINATE WITH MECHANICAL AND PROVIDE ALTERNATE BRACING OR SUPPORT FOR ANY PARTITION OR CEILING SYSTEM IN CONFLICT WITH DUCTWORK OR MECHANICAL ITEMS.
- CENTER CEILING GRID IN ROOM IN BOTH DIRECTIONS UNLESS INDICATED OTHERWISE.
- ALL LIGHT FIXTURES IN GYPSUM BOARD CEILING SHALL BE CENTERED IN ROOM UNLESS INDICATED OTHERWISE.
- ALL GYPSUM BOARD SOFFITS ARE TO BE FINISHED WITH NO EXPOSED EDGES OR VIEWS INTO THE PLENUM SPACE.
- ALL CEILING NOTES AS "EXPOSED" OR "NO CEILING" TO BE FINISHED PER RCP, UNLESS NOTED OTHERWISE.
- ALL CEILING ACCESS PANELS & PLATES SHALL BE PAINTED TO MATCH ADJACENT CEILING.
- ALL GYPSUM CEILINGS TO BE PAINTED P-XX UNLESS OTHERWISE NOTED.
- ALL FURR-DOWNS TO BE PAINTED ADJACENT WALL COLOR UNLESS OTHERWISE NOTED.

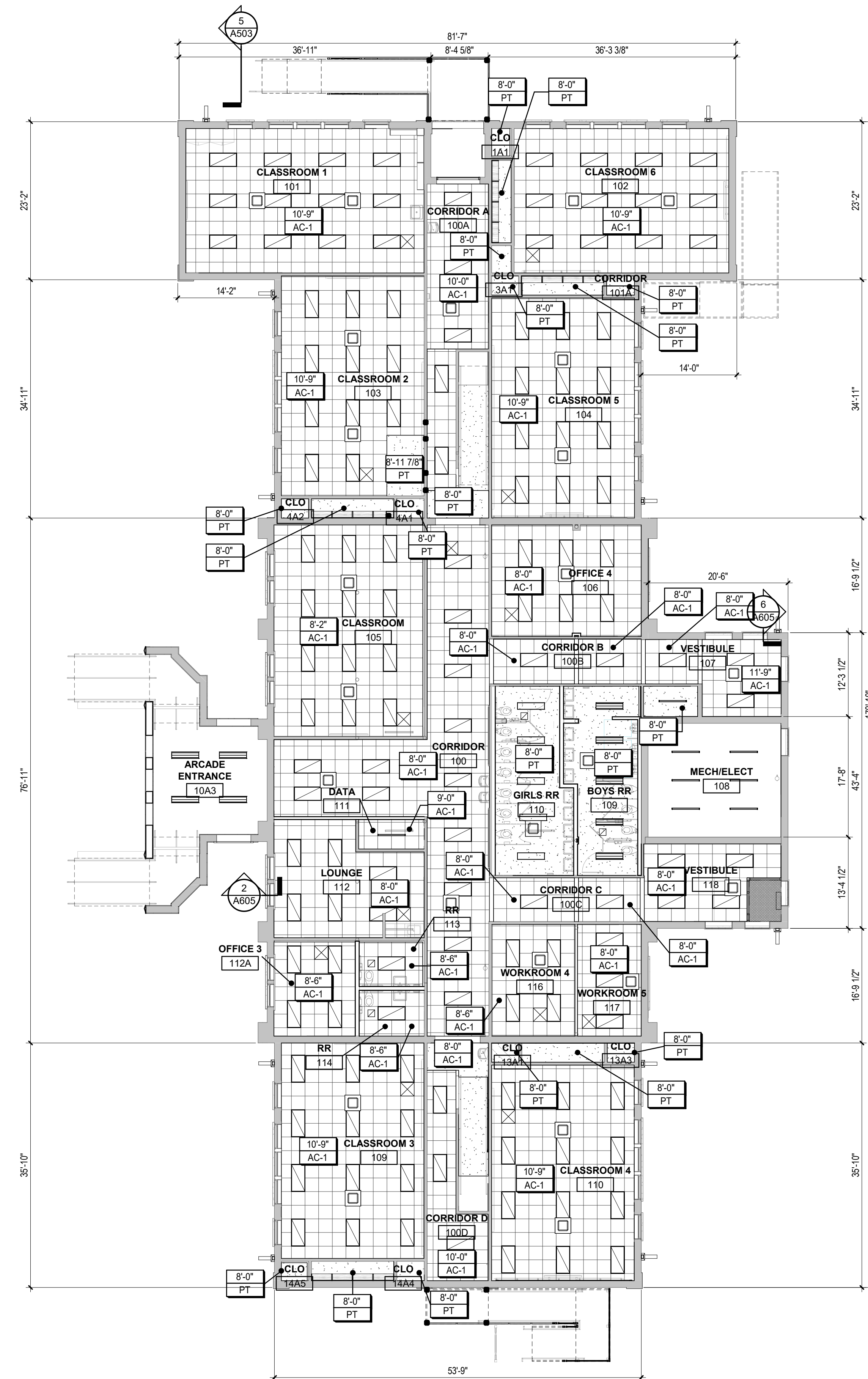
REFLECTED CEILING PLAN LEGEND

CEILING FINISH LEGEND

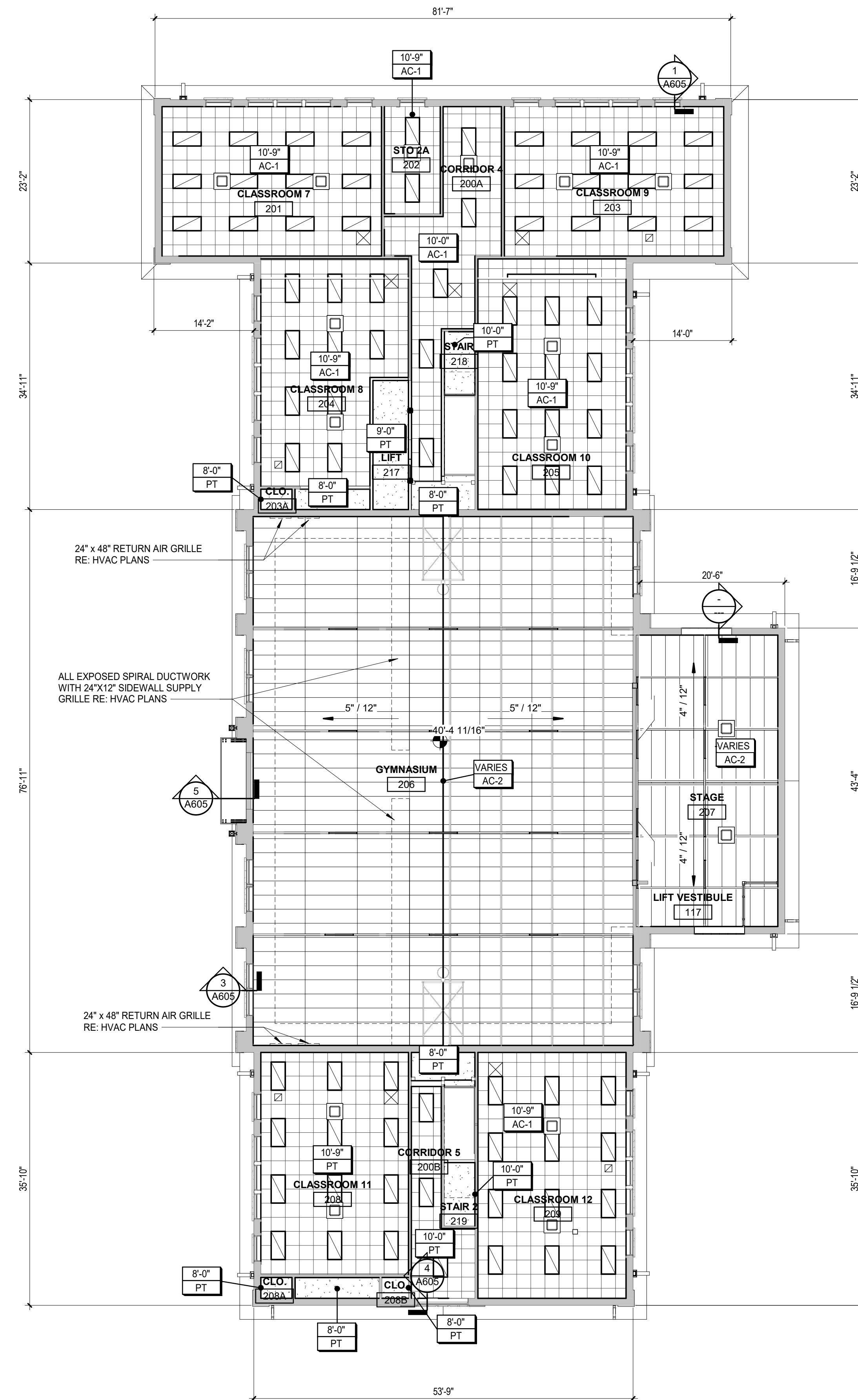
- GYPSUM BOARD CEILING SYSTEM
- AC-1 ACOUSTICAL CEILING TILE, REFER TO FINISH KEY FOR PRODUCT INFORMATION
- AC-2 ACOUSTICAL CEILING PANEL, REFER TO FINISH KEY FOR PRODUCT INFORMATION

CEILING SYMBOL LEGEND

- 00'-00" - CEILING HEIGHT
- XX-00" - CEILING FINISH
- RECESSED DOWNLIGHT
- PENDANT LIGHTING
- 2' X 4' RECESSED LIGHT
- PENDANT LIGHTING
- RECESSED LINEAR LIGHT
- ILLUMINATED EXIT SIGN
- 1' X 4' RECESSED LIGHT



1 1ST FLOOR RCP
3/32" = 1'-0"



2 2ND FLOOR RCP
3/32" = 1'-0"

J.I. WATSON HISTORICAL BUILDING - HURRICANE REPAIRS (HL-060-03)

CALCASIEU PARISH SCHOOL BOARD
201 E 1ST ST., IOWA, LA 70647

No.	Description	Date

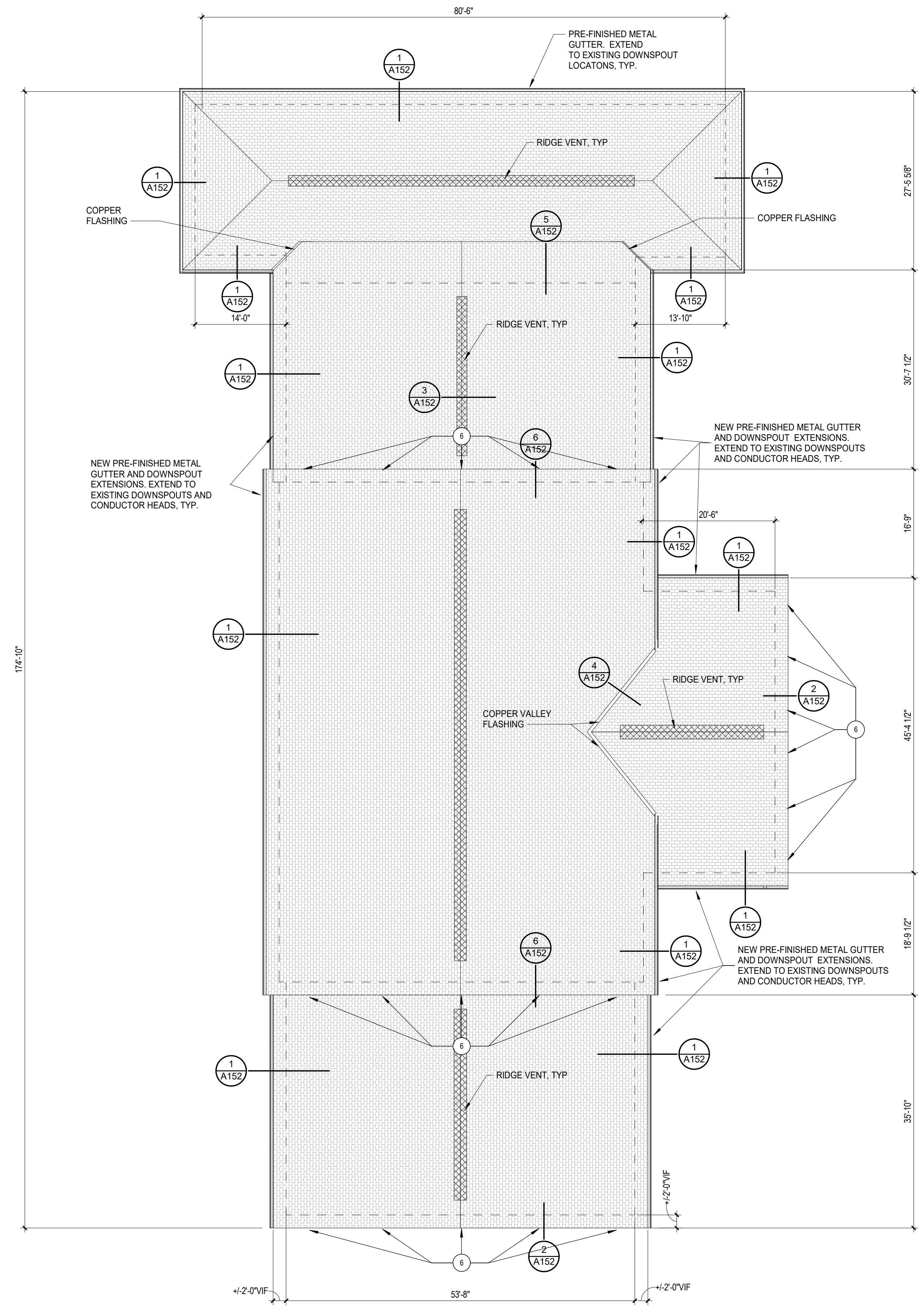
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 PHASE: BID DOCUMENTS
 ISSUED FOR:
 PROJECT NO.: 3221105

REFLECTED CEILING PLAN - FIRST AND SECOND FLOOR

sheet number

A141

8/28/2024 8:31:30 AM



1 ROOF PLAN
3/32" = 1'-0"

ROOF PLAN KEYNOTES

- 6 REMOVE, REPAIR, REPAINT, AND REINSTALL DAMAGED WOOD CORBEL AT EXISTING LOCATION. CONTRACTOR TO REPLACE CORBEL IN-KIND IF MISSING OR DAMAGED BEYOND REPAIR. RE: 18 / AD206 & 5 / A201



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J.I. WATSON HISTORICAL BUILDING - HURRICANE REPAIRS (HL-060-03)

CALCASIEU PARISH SCHOOL BOARD
201 E 1ST ST., IOWA, LA 70647

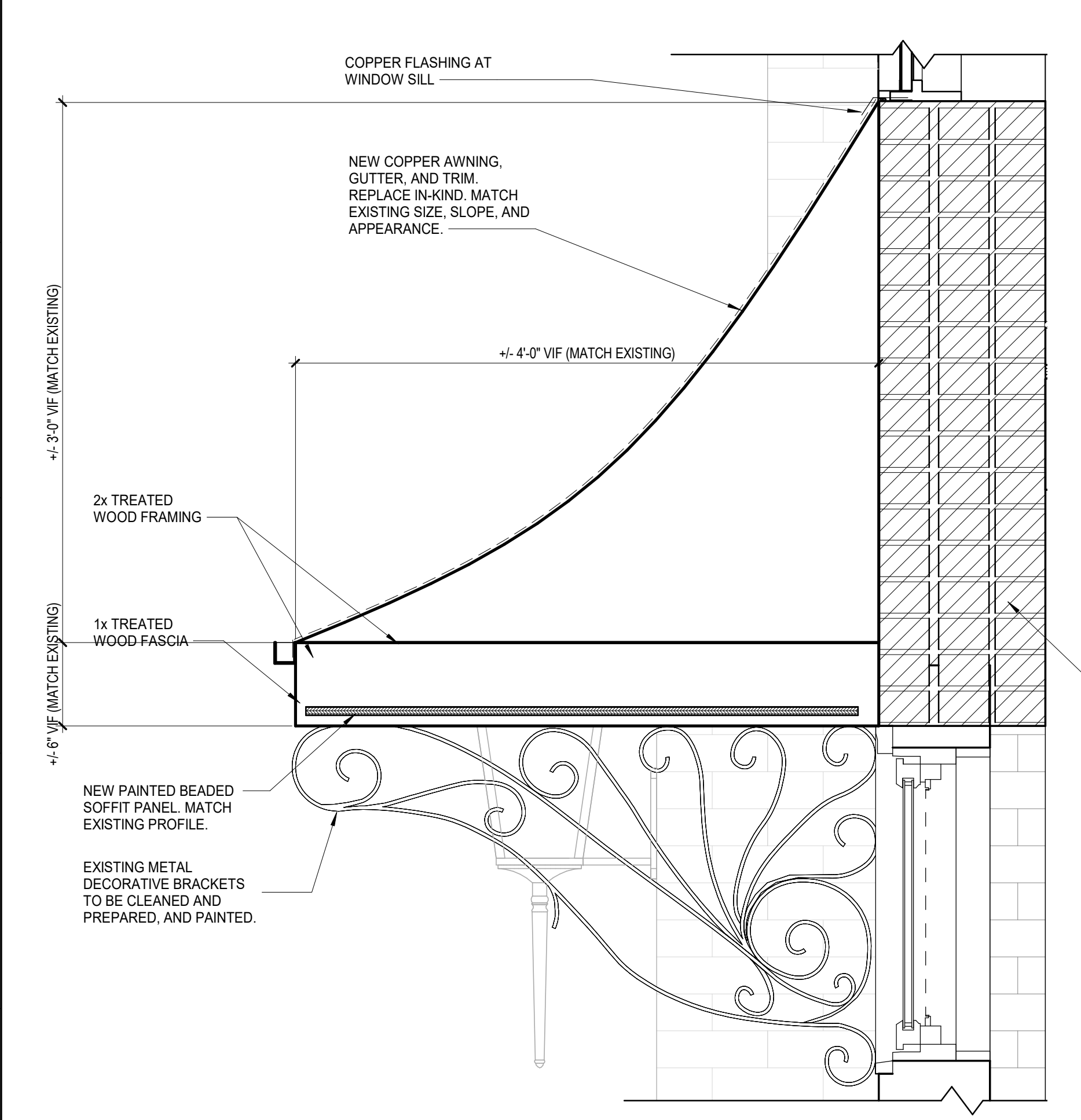
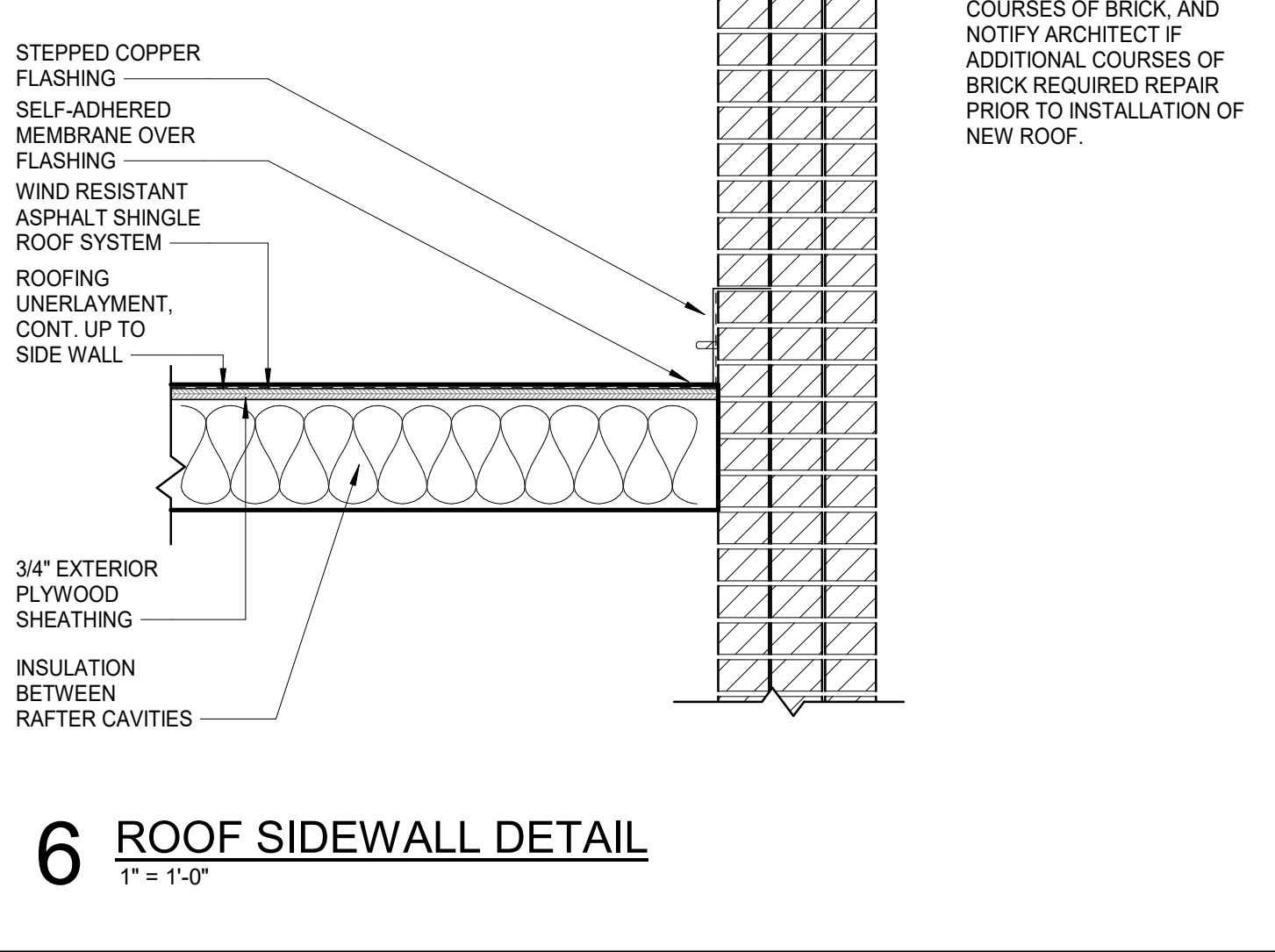
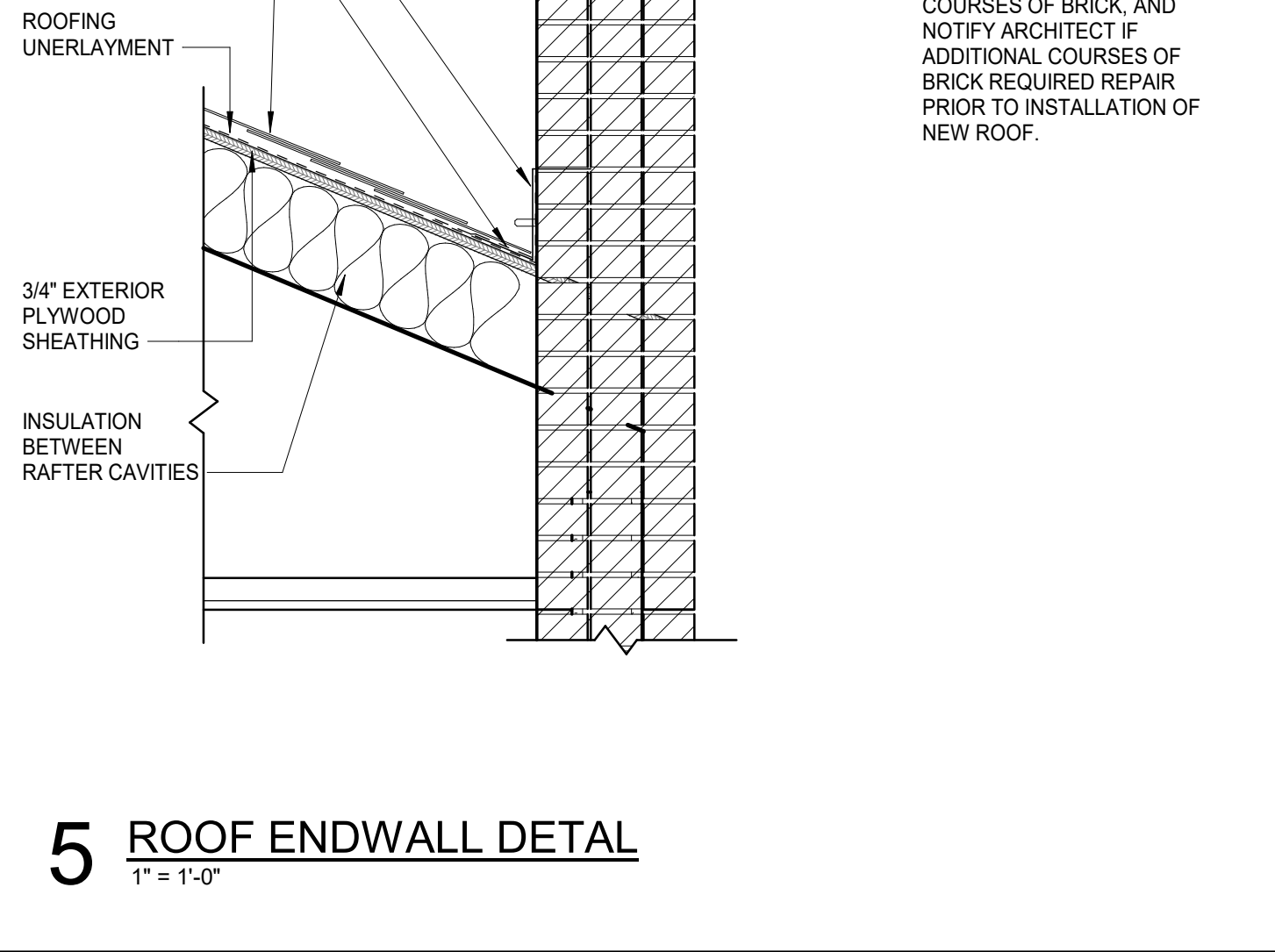
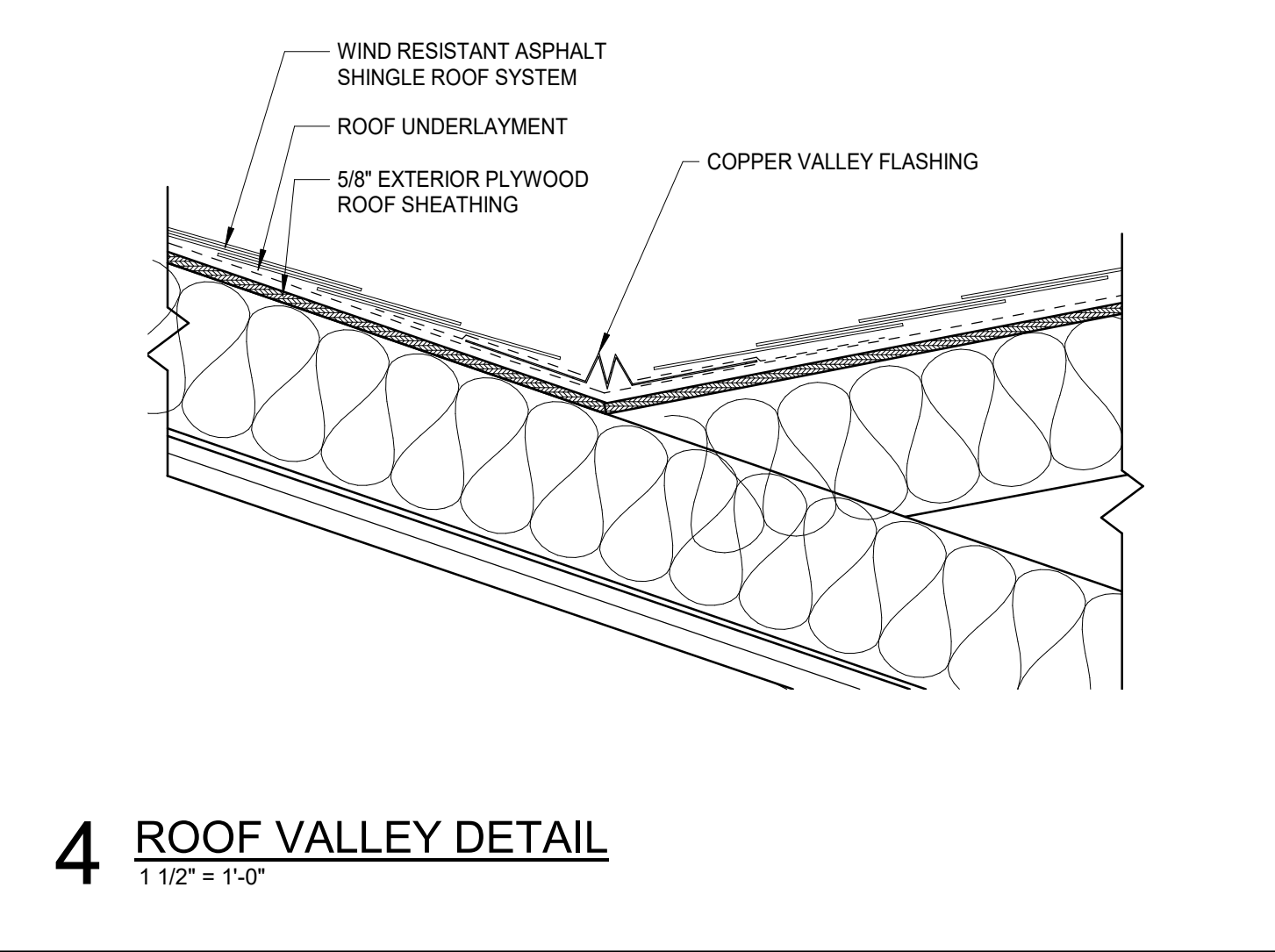
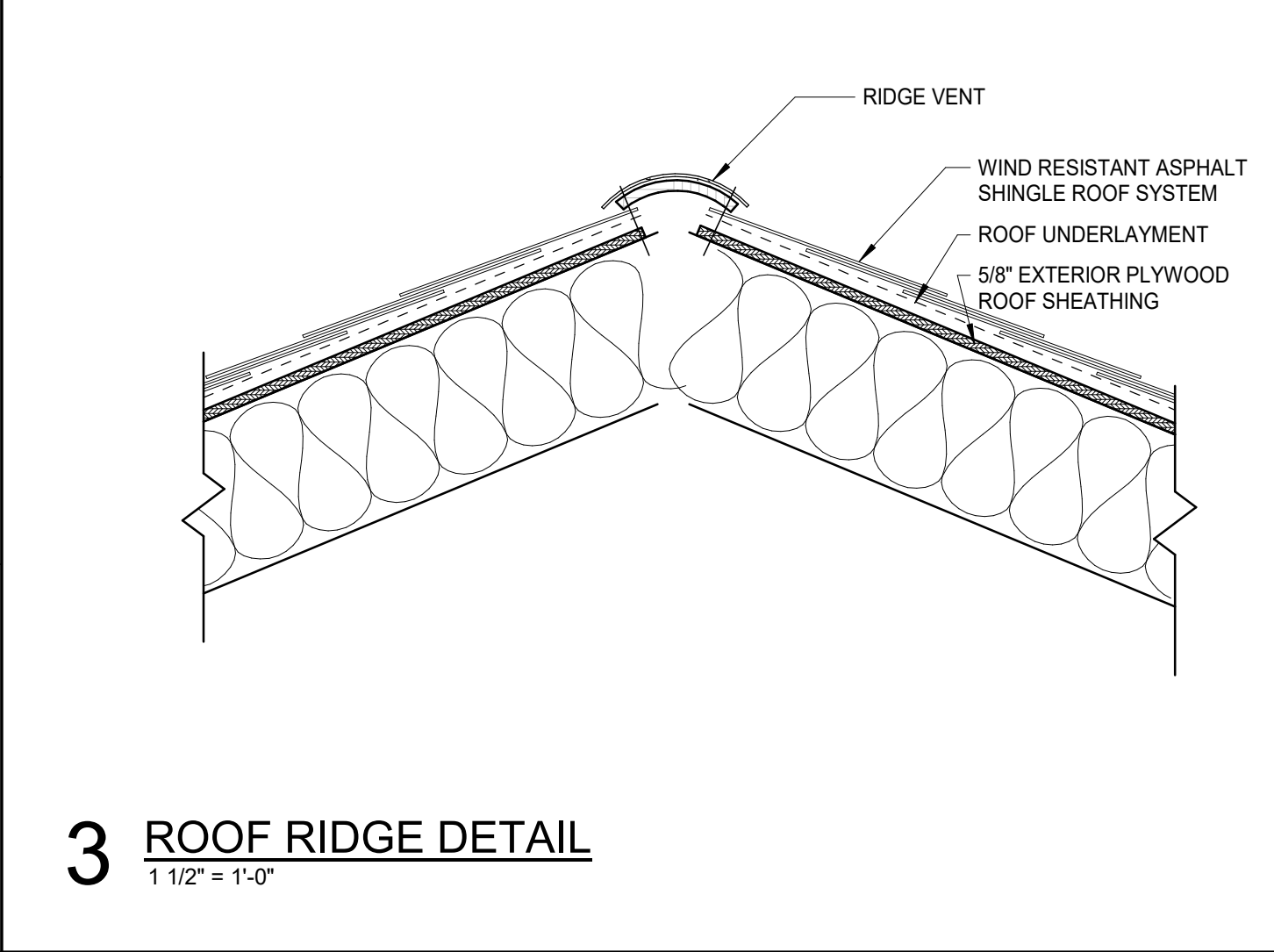
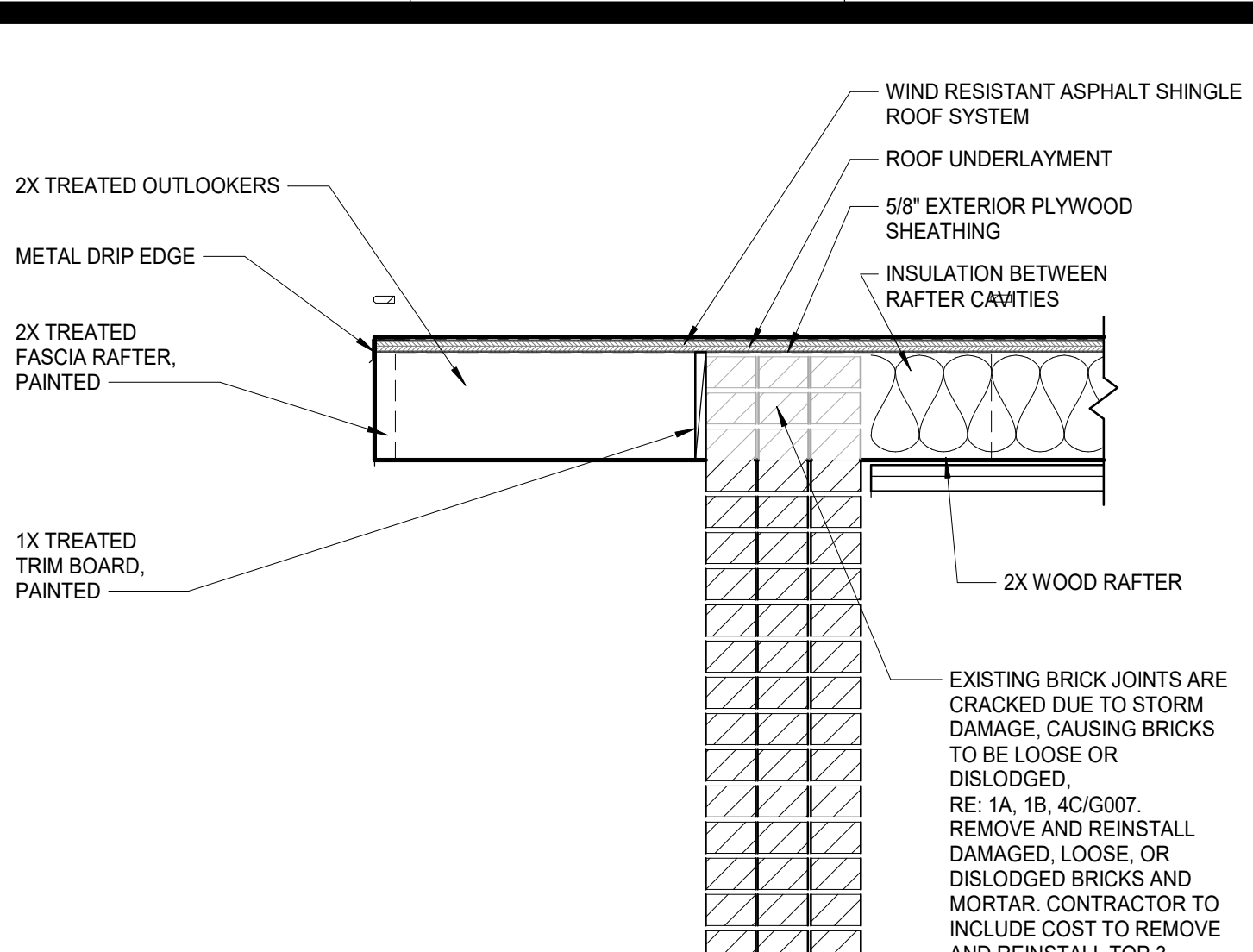
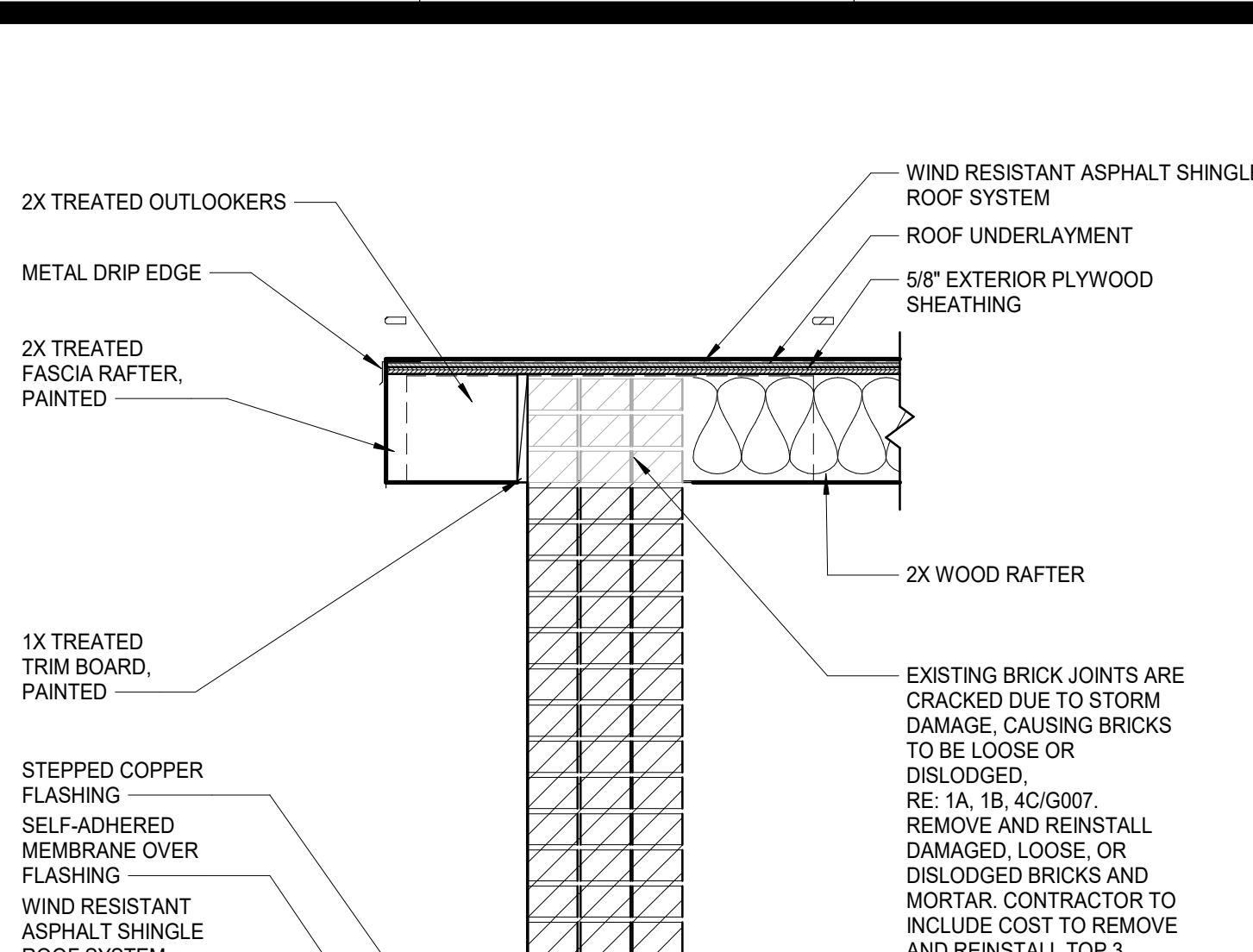
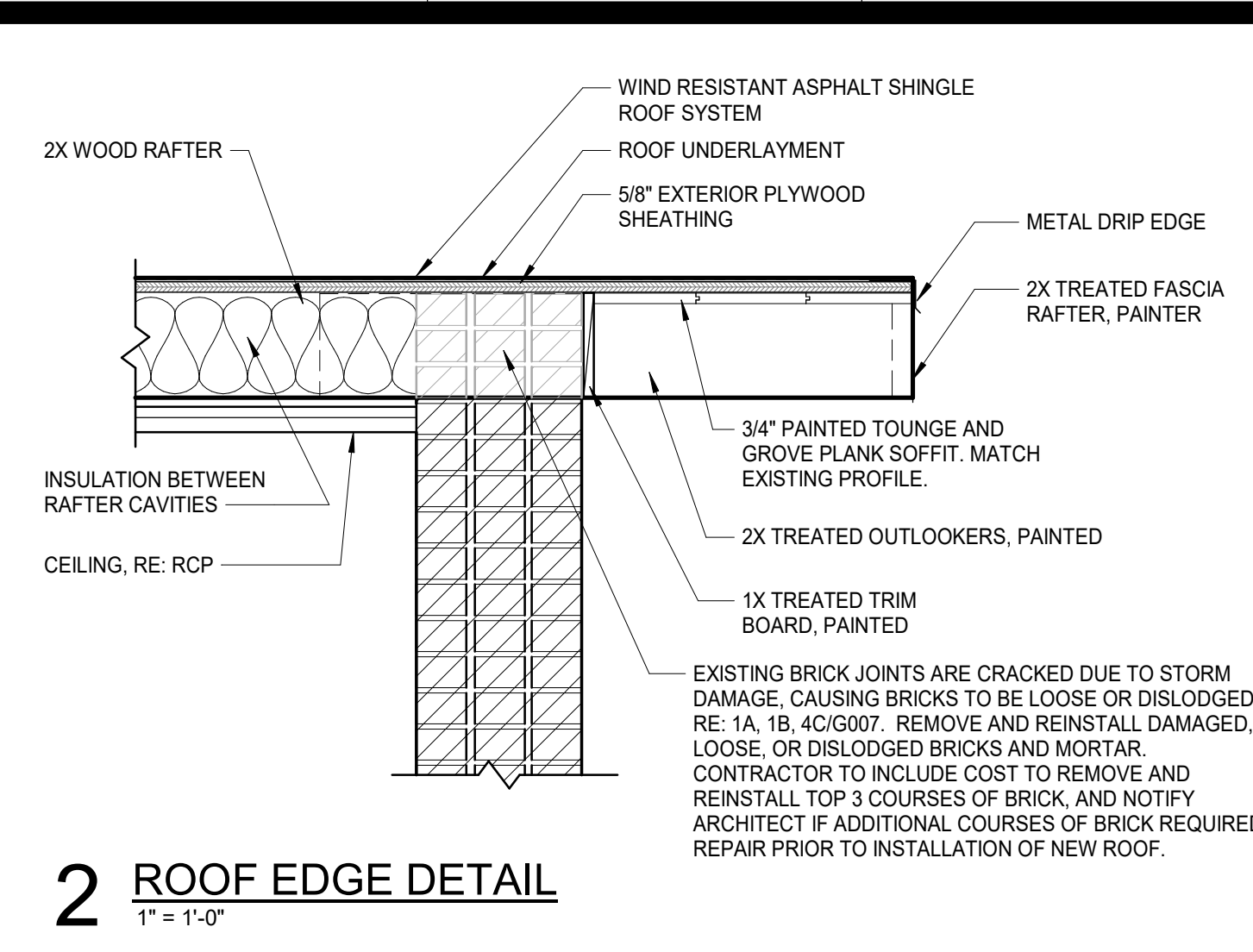
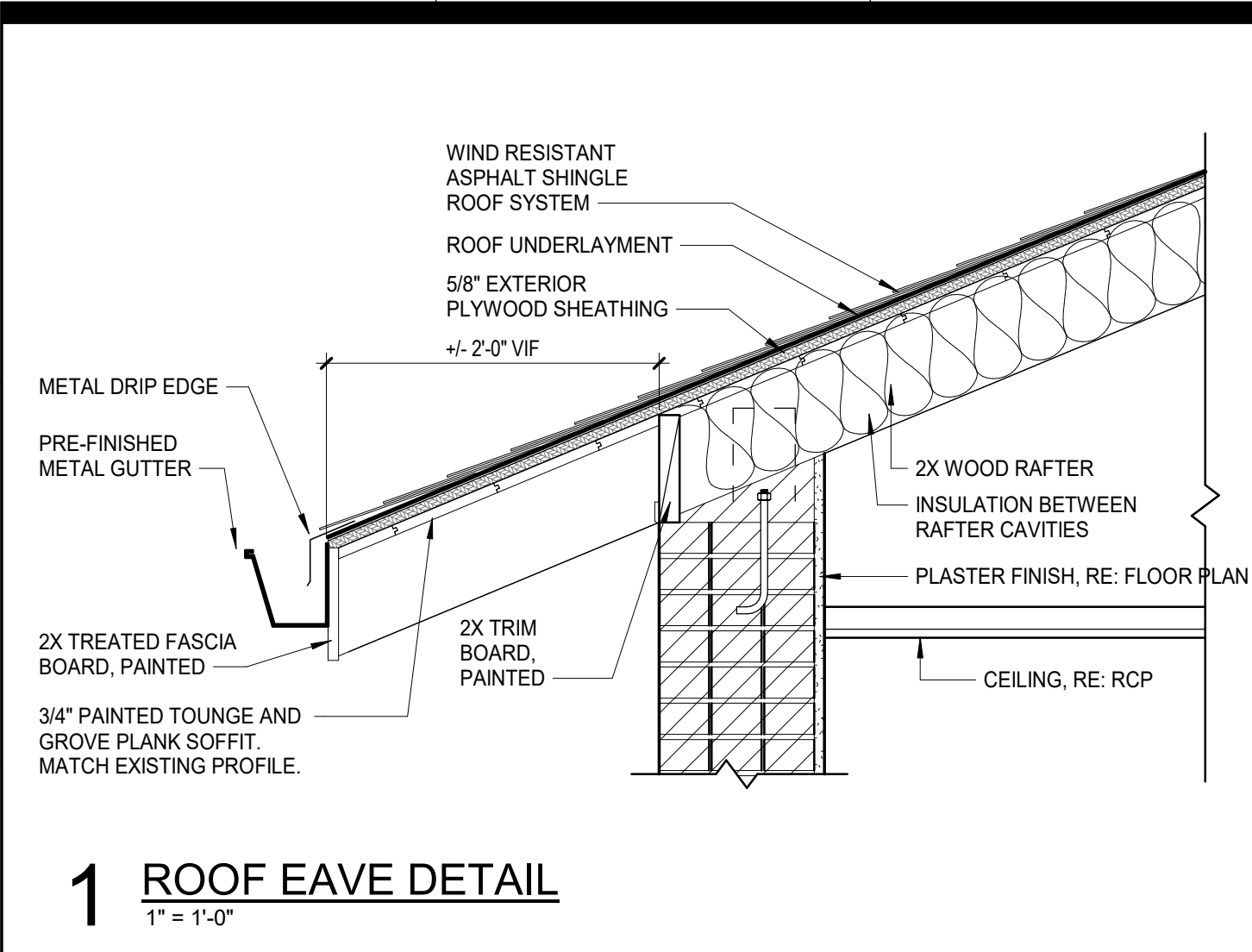
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ROOF PLAN

sheet number

A151



7 COPPER AWNING @ MAIN ENTRY
1 1/2" = 1'-0"

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SEAL: GERALD DAVID HERBERT, REG. NO. 4178, STATE OF LOUISIANA, REGISTERED ARCHITECT

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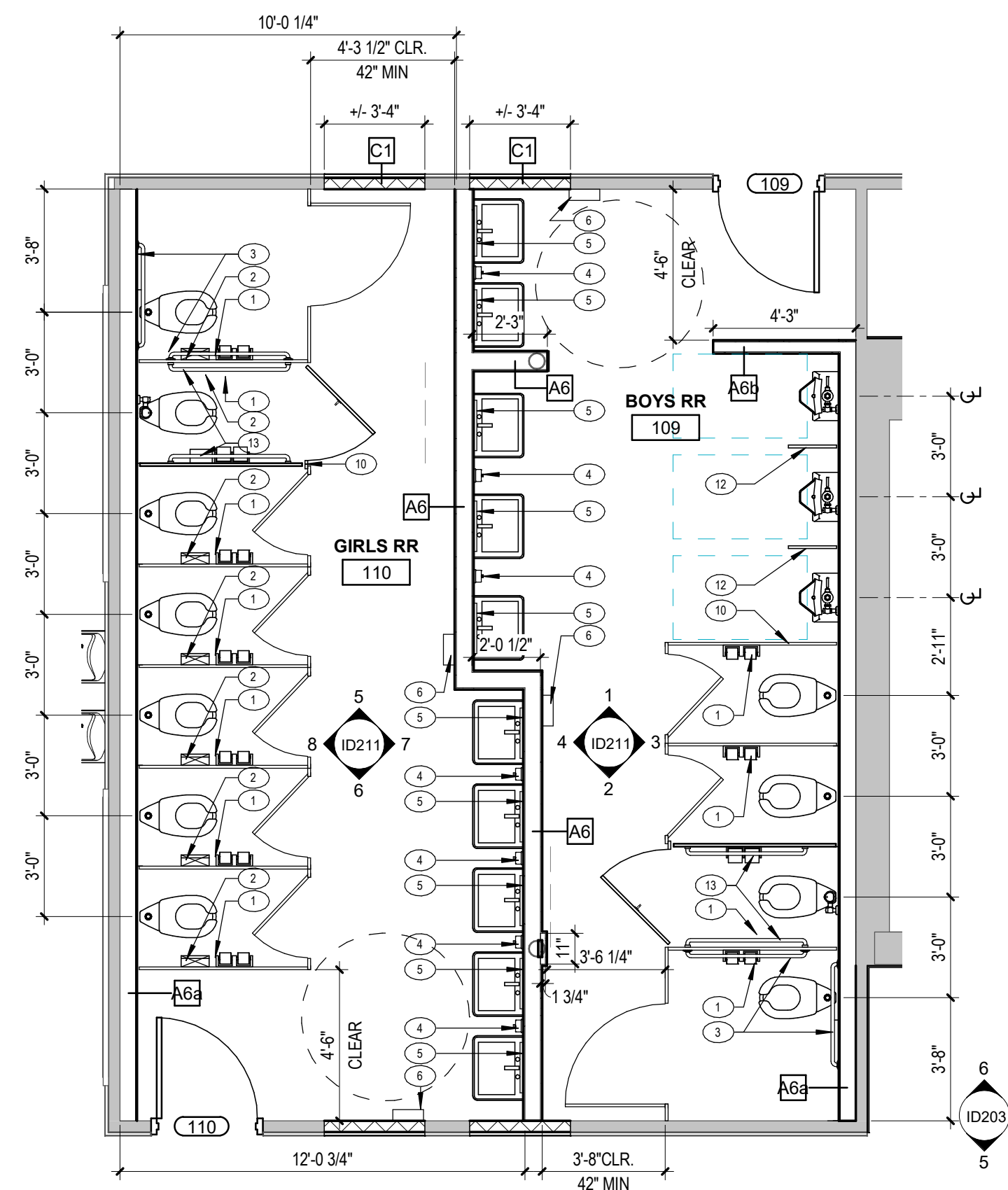
J.I. WATSON HISTORICAL BUILDING - HURRICANE REPAIRS (HL-060-03)
CALCASIEU PARISH SCHOOL BOARD
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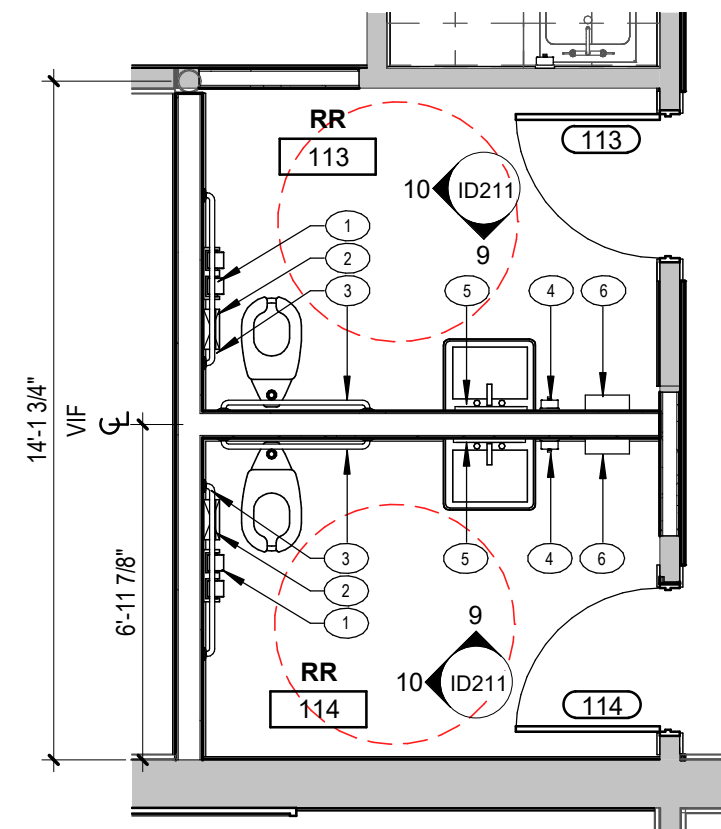
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ISSUED FOR:
PROJECT NO.: 3221105

ROOF DETAILS - TYP.

sheet number
A152



1 STUDENT RESTROOMS
1/4" = 1'-0"



2 STAFF RESTROOMS
1/4" = 1'-0"

TOILET ACCESSORY SCHEDULE

ITEM	DESCRIPTION	ADULT	SUPPLIED BY
1	SURFACE MOUNTED MULTI-ROLL TOILET TISSUE DISPENSER	29" TO C.L.	CFCI
2	SURFACE MOUNTED SANITARY NAPKIN RECEPTACLE (FEMALE TLTS ONLY)	31" TO TOP	CFCI
3	36" & 42" SS GRAB BARS (BACK & SIDE RESPECTIVELY)	35" TO TOP	CFCI
4	SURFACE MOUNTED SOAP DISPENSER	42" BTM OF DISP	CFCI
5	SURFACE MOUNTED FRAMED MIRROR (ABOVE SINK OR COUNTER)	40" MAX REFL SUR	CFCI
6	SURFACE MOUNTED "C" FOLD PAPER TOWEL DISPENSER	46" TO BTM	CFCI
7	EWIC1 B-H LEVEL (ADA HI-LO) RE-PLUMB SCHEDULE	34"- 36" TOP LO SPOUT	CFCI
8	EWIC2 B-H LEVEL W/ BOTTLE FILLER (ADA HI-LO) RE-PLUMB SCHEDULE	34"- 36" TOP LO SPOUT	CFCI
9	MOP BASIN RE- PLUMBING		CFCI
10	TOILET PARTITION TYP 112" MIN TOE CLR) RE-SPEC 10.2113.13		CFCI
11	UTILITY SHELF W/ MOP BROOM HOLDERS AND RAG HOOKS. B-239 BOBRICK		CFCI
12	URINAL SIDE SCREEN TYP (12" MIN TOE CLR)		CFCI
13	42" SS GRAB BARS + 18" VERTICAL SS GRAB BARS (BOTH SIDES)		CFCI

GENERAL NOTES:

- TOILET ACCESSORIES ARE STANDARD AND **MAY NOT ALL BE USED**
- REFER TO ENLARGED TOILET PLANS FOR LEFT OR RIGHT HAND PLACEMENT OF TOILET ACCESSORIES WITHIN INDIVIDUAL STALLS, ROOMS, ETC.
- REFER TO TOILET ACCESSORIES ELEVATIONS FOR RELATIVE MOUNTING LOCATIONS.
- MOUNTING HEIGHTS ARE FROM TOP OF FINISHED FLOOR TO TOP OF UNIT U.N.O.
- ALL EXPOSED DRAIN & HOT SUPPLY LINES TO BE INSULATED.
- CONTRACTOR TO PROVIDE BLOCKING @ ALL NEW GRAB BAR LOCATIONS IN EXISTING RESTROOMS. REPAIR & RESTORE ANY DAMAGE TO MATCH ADJACENT FINISHES.
- REFER TO SPECS FOR BASIS OF DESIGN

ABBREVIATIONS:

- CFCI - CONTRACTOR FURNISHED & CONTRACTOR INSTALLED
- OFCI - OWNER FURNISHED & CONTRACTOR INSTALLED
- OFOI - OWNER FURNISHED & OWNER INSTALLED



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J.I. WATSON HISTORICAL BUILDING - HURRICANE REPAIRS (HL-060-03)

CALCASIEU PARISH SCHOOL BOARD
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ENLARGED PLANS

sheet number

A161

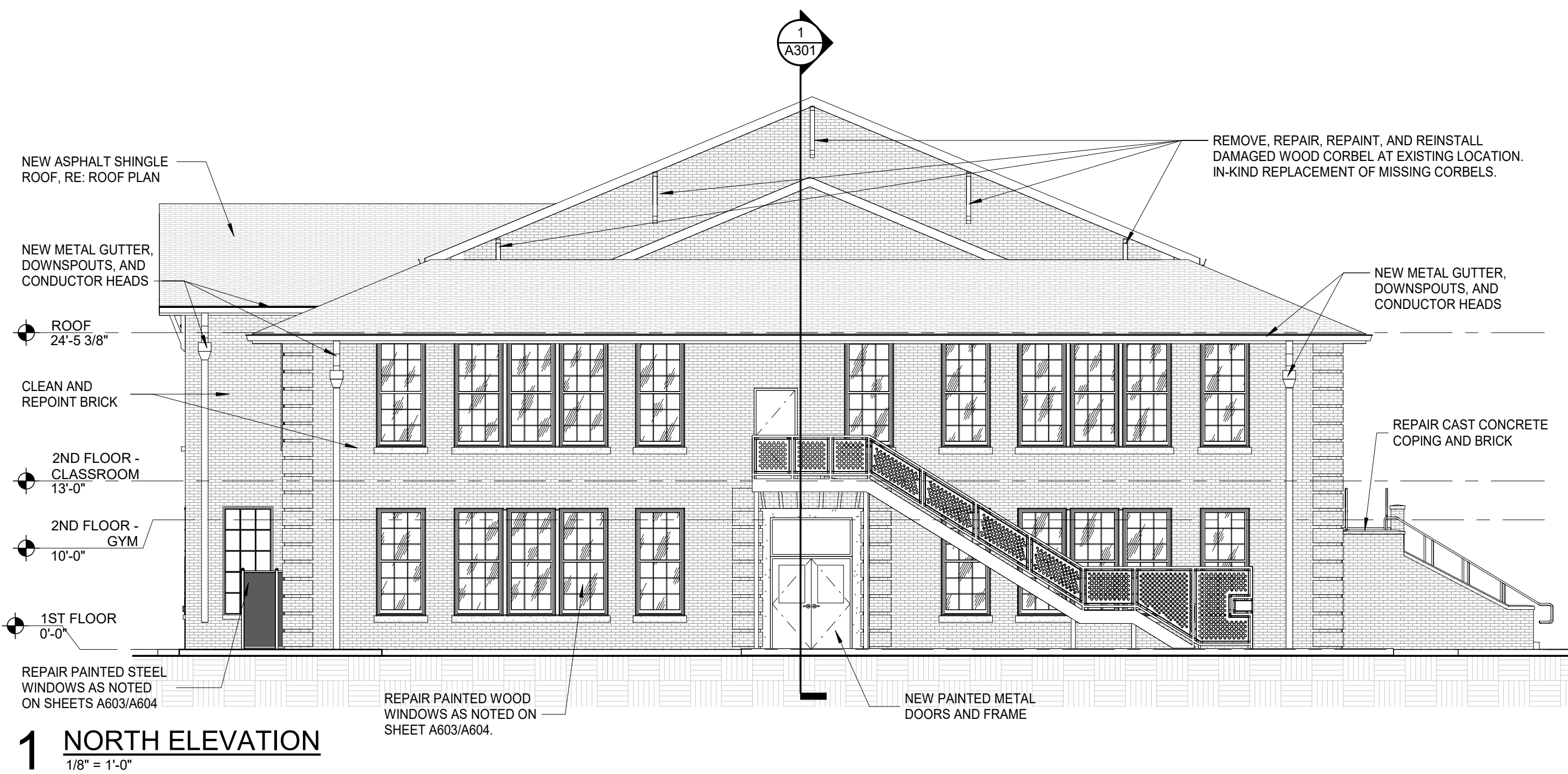


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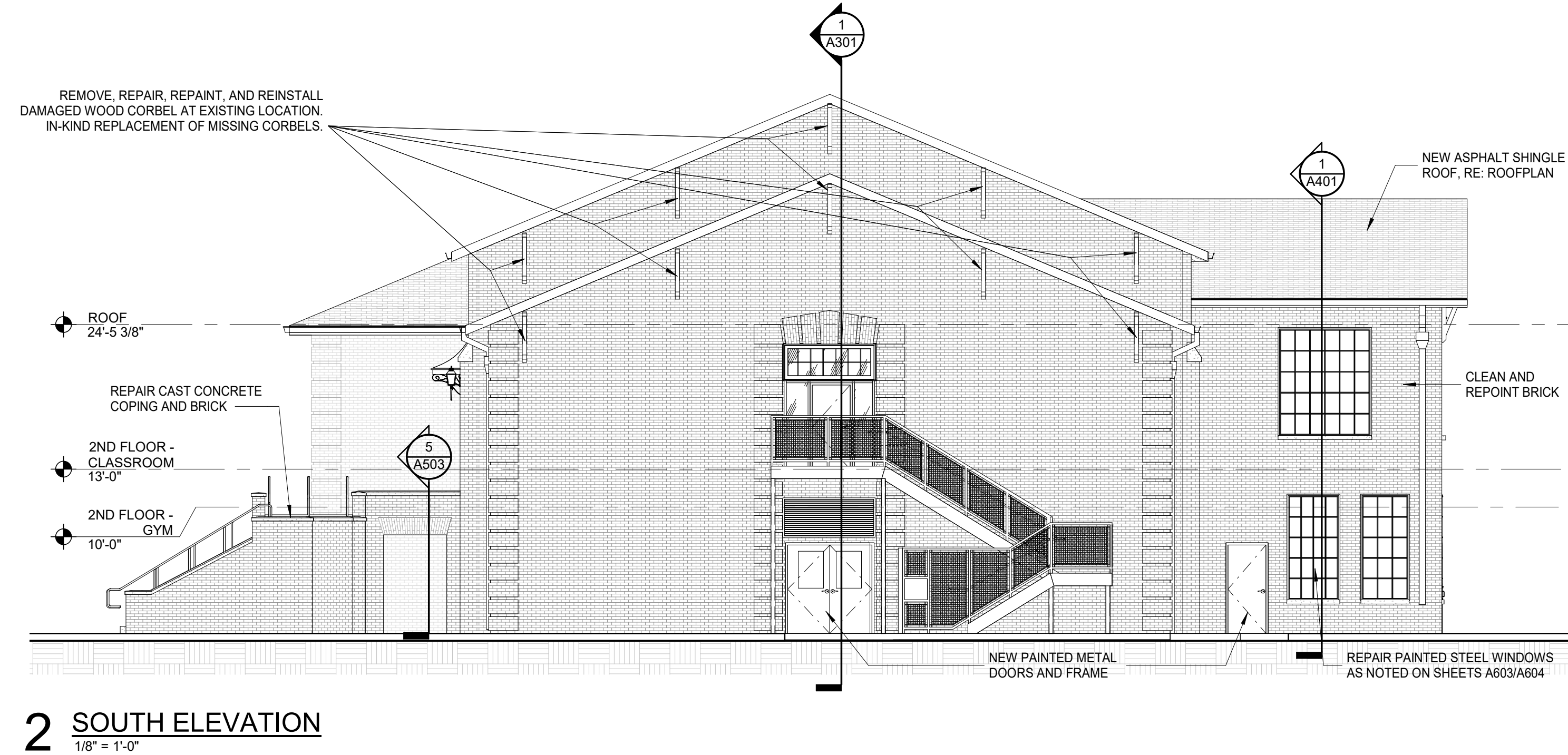
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1 NORTH ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION
1/8" = 1'-0"

NOTES:

CONTRACTOR TO CLEAN 100% OF EXTERIOR BRICK FACES WITH A NEAR NEUTRAL PH CARBON AND POLLUTION REMOVER, USING NO MORE THAN 450 LBS OF PRESSURE. PROTECT BRICK FROM DAMAGE DURING CLEANING, AND REPORT ANY INSTANCE OF DAMAGE TO EXISTING BRICK IMMEDIATELY.

AFTER CLEANING, RE-POINT BRICK MORTAR PER BRICK MANUFACTURER'S WRITTEN INSTRUCTIONS. CONTRACTOR TO INCLUDE COST TO RE-POINT 50% OF THE EXTERIOR BRICK SURFACES IN BASE BID, AND PROVIDE UNIT COST FOR ADDITIONAL RE-POINTING AS DIRECTED IN SPECIFICATIONS. BRICK MORTAR MIX TO MATCH EXISTING MORTAR TYPES ORIGINAL TO BUILDING.

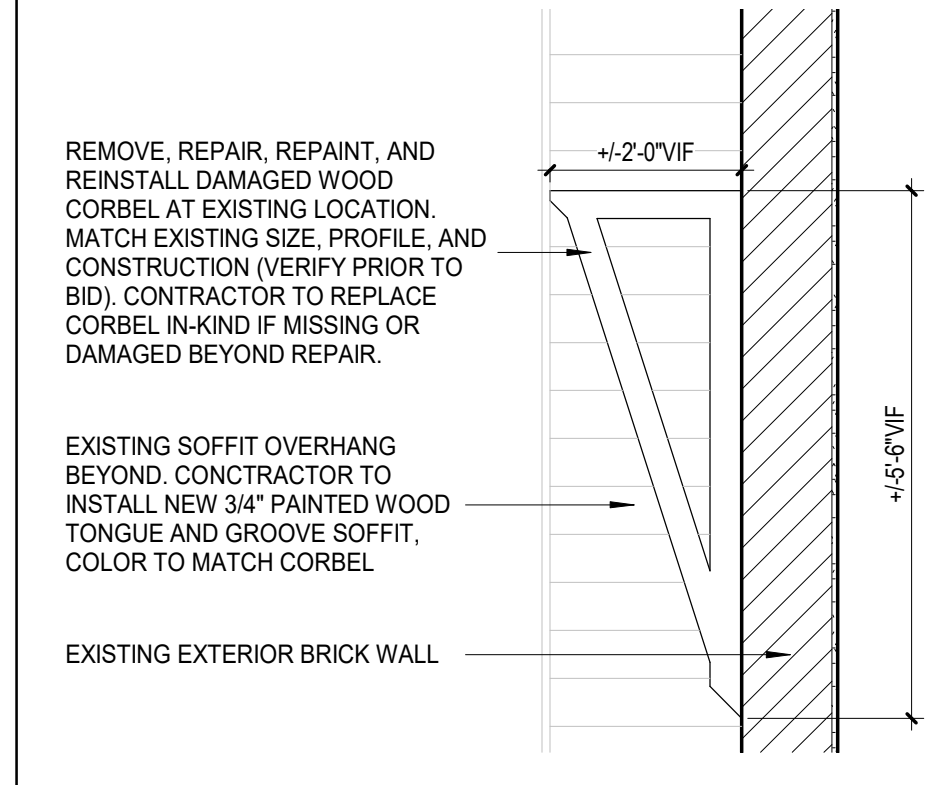


3 WEST ELEVATION
1/8" = 1'-0"

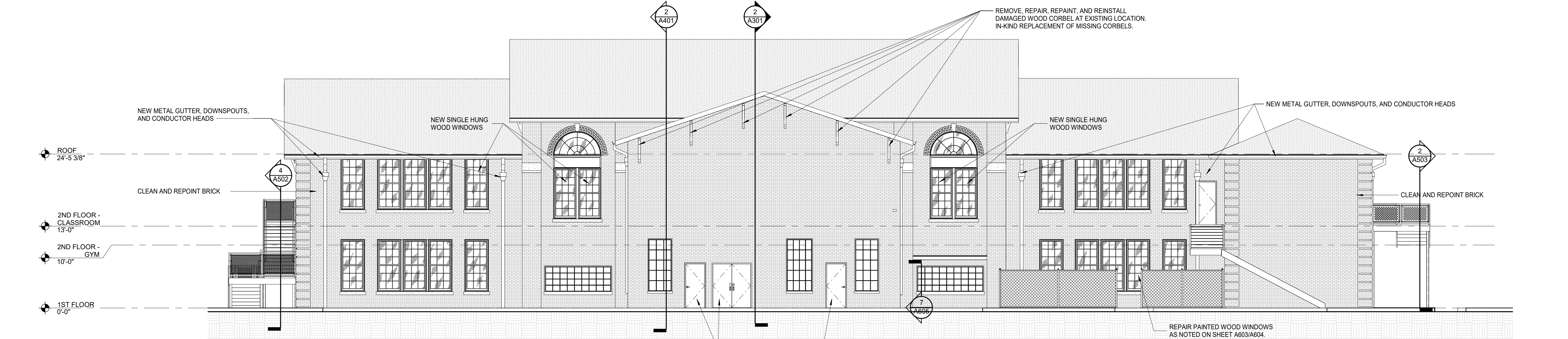
NOTE TO CONTRACTOR:

CONTRACTOR TO CLEAN 100% OF EXTERIOR BRICK FACES WITH A NEAR NEUTRAL PH CARBON AND POLLUTION REMOVER, USING NO MORE THAN 450 LBS OF PRESSURE. PROTECT BRICK FROM DAMAGE DURING CLEANING, AND REPORT ANY INSTANCE OF DAMAGE TO EXISTING BRICK IMMEDIATELY.

AFTER CLEANING, RE-POINT BRICK MORTAR PER BRICK MANUFACTURER'S WRITTEN INSTRUCTIONS. CONTRACTOR TO INCLUDE COST TO RE-POINT 50% OF THE EXTERIOR BRICK SURFACES IN BASE BID, AND PROVIDE UNIT COST FOR ADDITIONAL RE-POINTING AS DIRECTED IN SPECIFICATIONS. BRICK MORTAR MIX TO MATCH EXISTING MORTAR TYPES ORIGINAL TO BUILDING.



5 TYPICAL ROOF CORBEL DETAIL
1/2" = 1'-0"



4 EAST ELEVATION
1/8" = 1'-0"

J.I. WATSON HISTORICAL BUILDING - HURRICANE REPAIRS (HL-060-03)
CALCASIEU PARISH SCHOOL BOARD
201 E 1ST ST., IOWA, LA 70647

No.	Description	Date

DATE	08/23/2024
PHASE	BID DOCUMENTS
ISSUED FOR	
PROJECT NO.	3221105

BUILDING ELEVATIONS

sheet number

A201

8/28/2024 8:31:45 AM

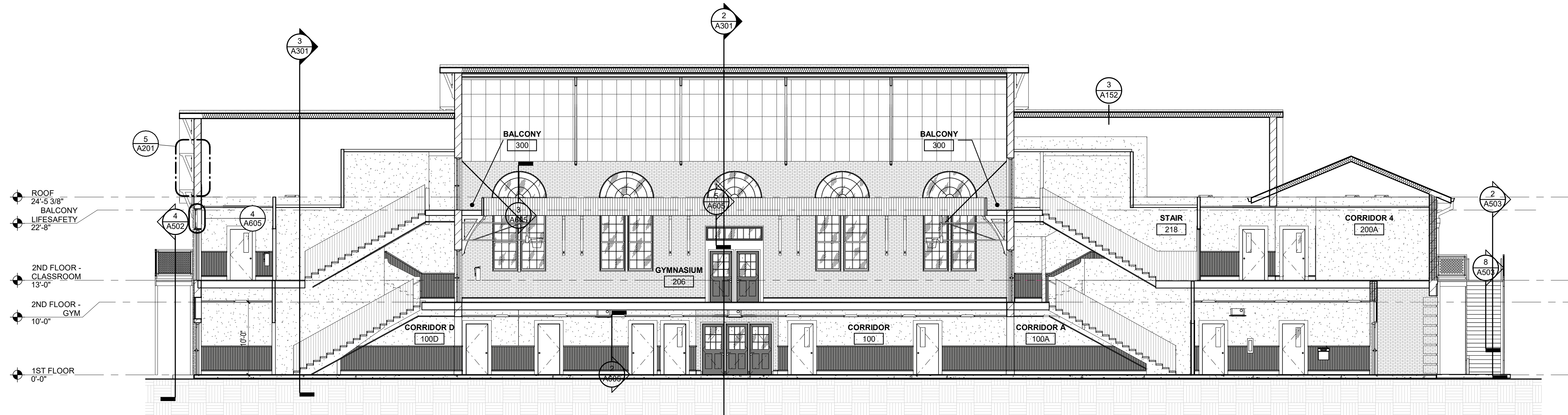


GRACE HERBERT CURTIS ARCHITECTS, APAC

SEAL:

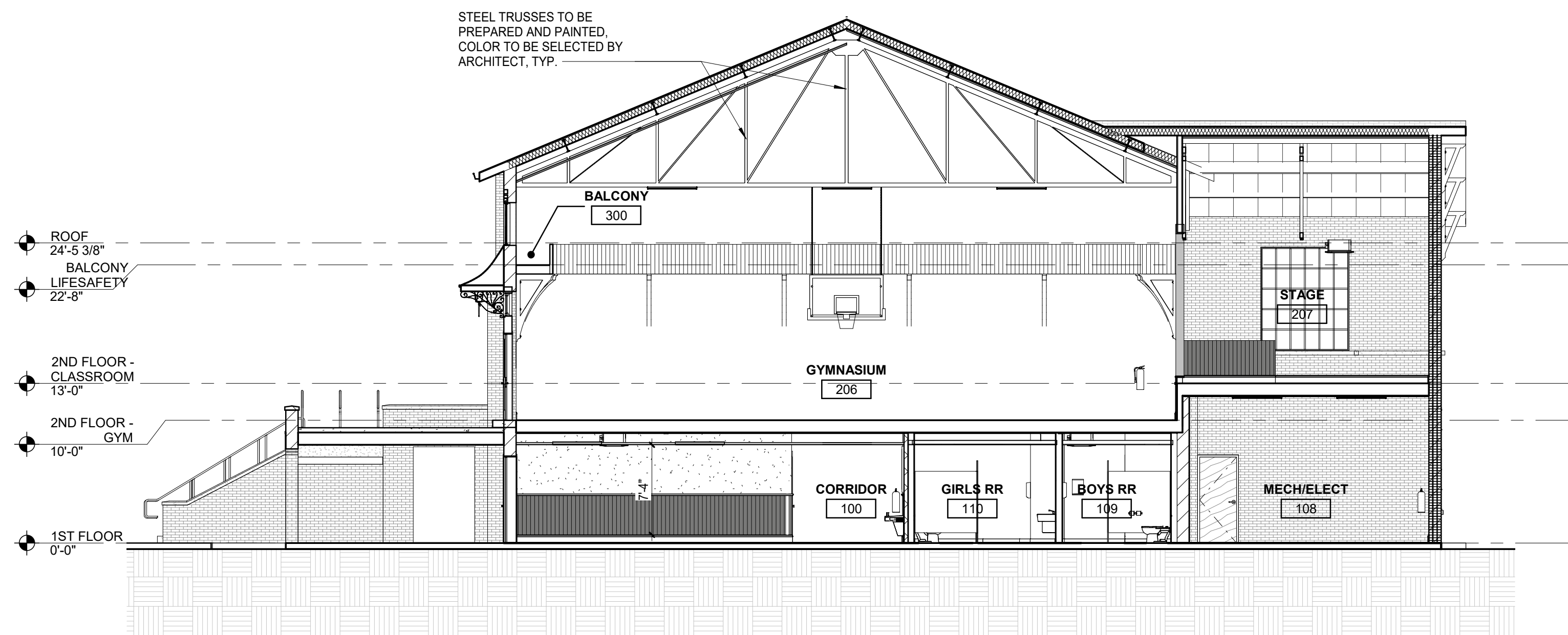


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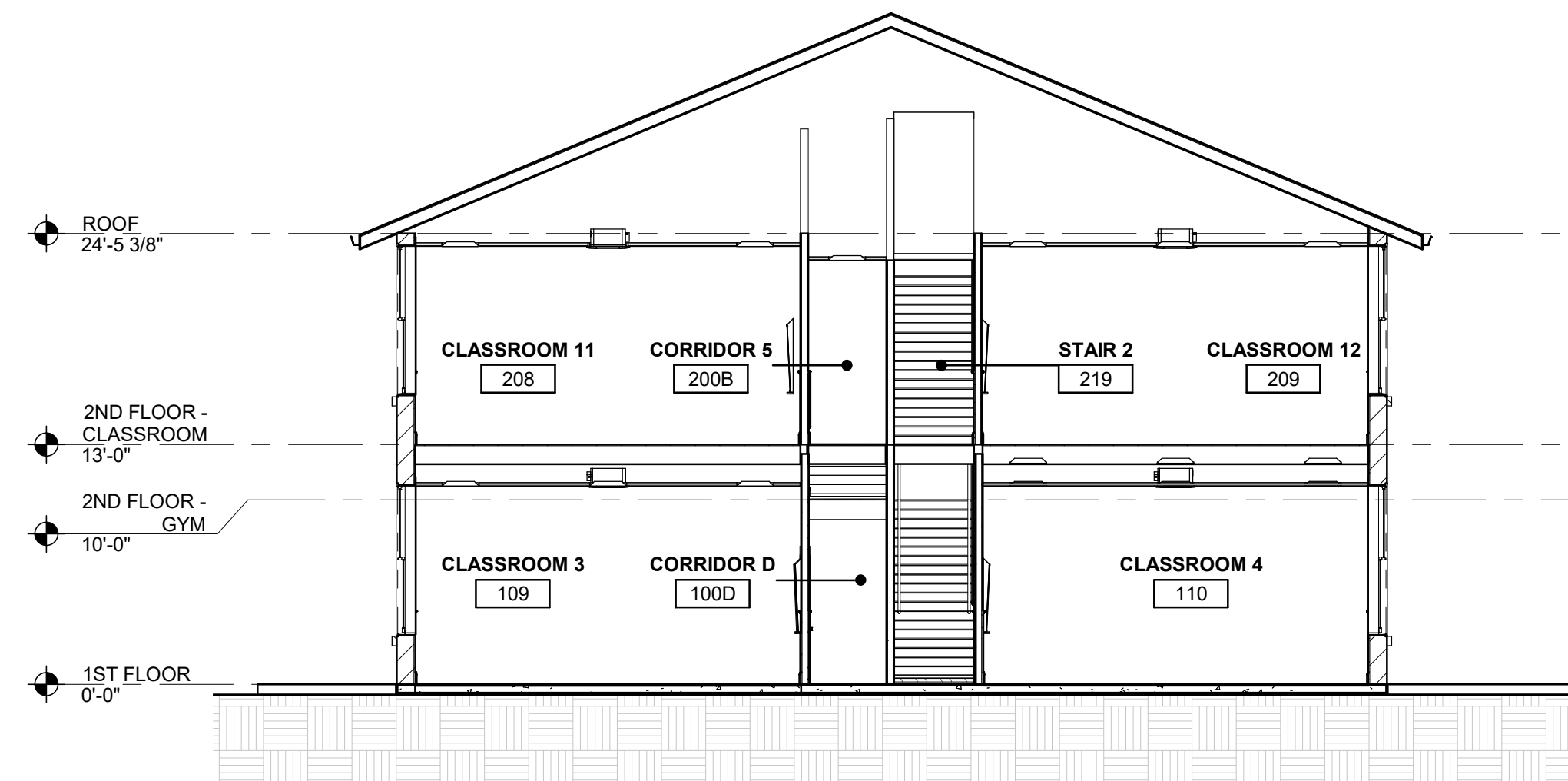


1 BLDG SECTION - LONGITUDINAL
1/8" = 1'-0"

STEEL TRUSSES TO BE PREPARED AND PAINTED. COLOR TO BE SELECTED BY ARCHITECT, TYP.



2 BLDG SECTION @ GYM
1/8" = 1'-0"



3 BLDG SECTION @ WING
1/8" = 1'-0"

J.I. WATSON HISTORICAL BUILDING -
HURRICANE REPAIRS (HL-060-03)

CALCASIEU PARISH SCHOOL BOARD
201 E 1ST ST., IOWA, LA 70647

No.	Description	Date

DATE 08/23/2024
PHASE BID DOCUMENTS
ISSUED FOR EDUCATIONAL K-12
PROJECT NO. 3221105

BUILDING SECTIONS

sheet number

A301



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J.I. WATSON HISTORICAL BUILDING - HURRICANE REPAIRS (HL-060-03)

CALCASIEU PARISH SCHOOL BOARD
201 E 1ST ST., IOWA, LA 70647

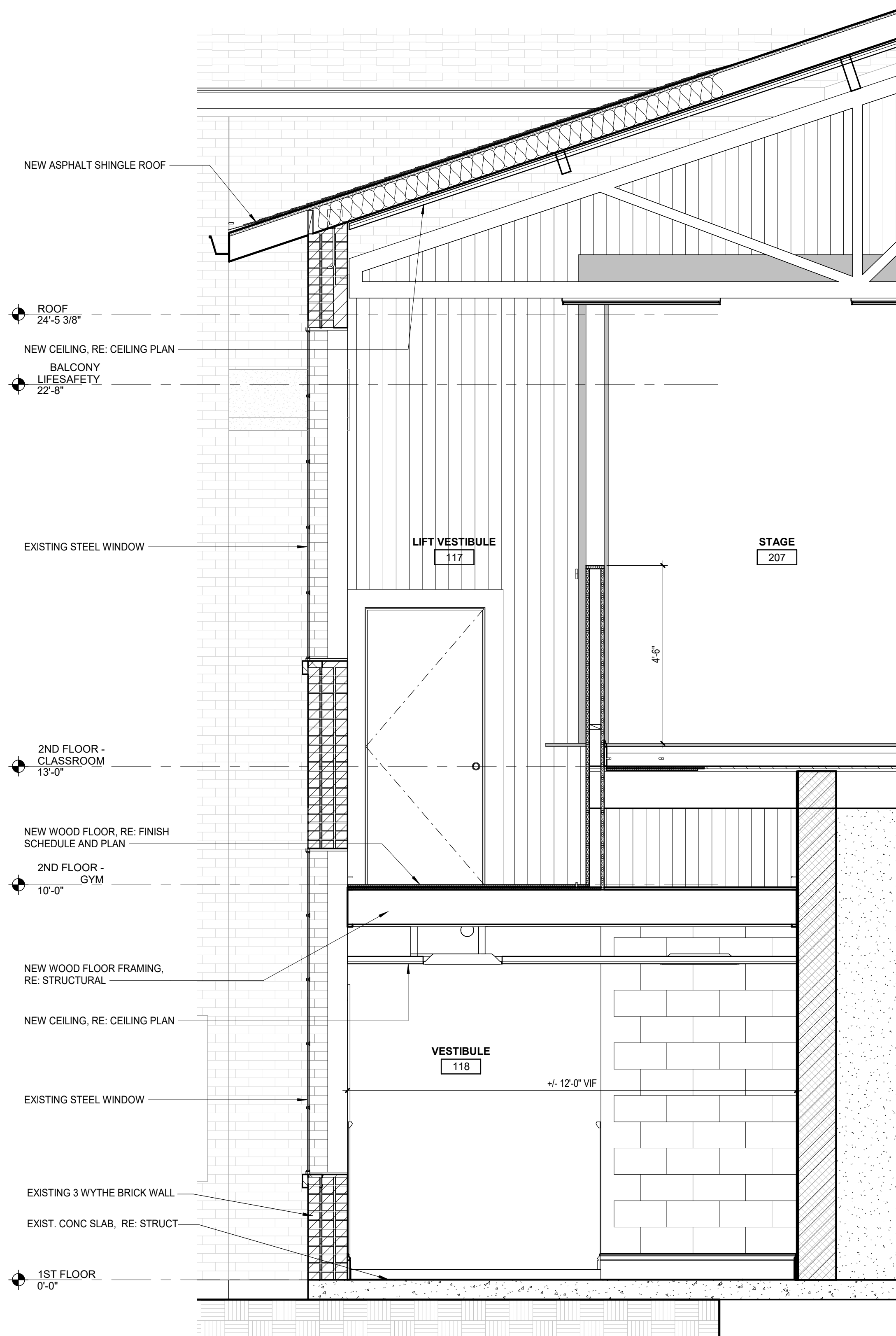
No.	Description	Date

DATE: 08/23/2024
 PHASE: BID DOCUMENTS
 ISSUED FOR:
 PROJECT NO.: 3221105

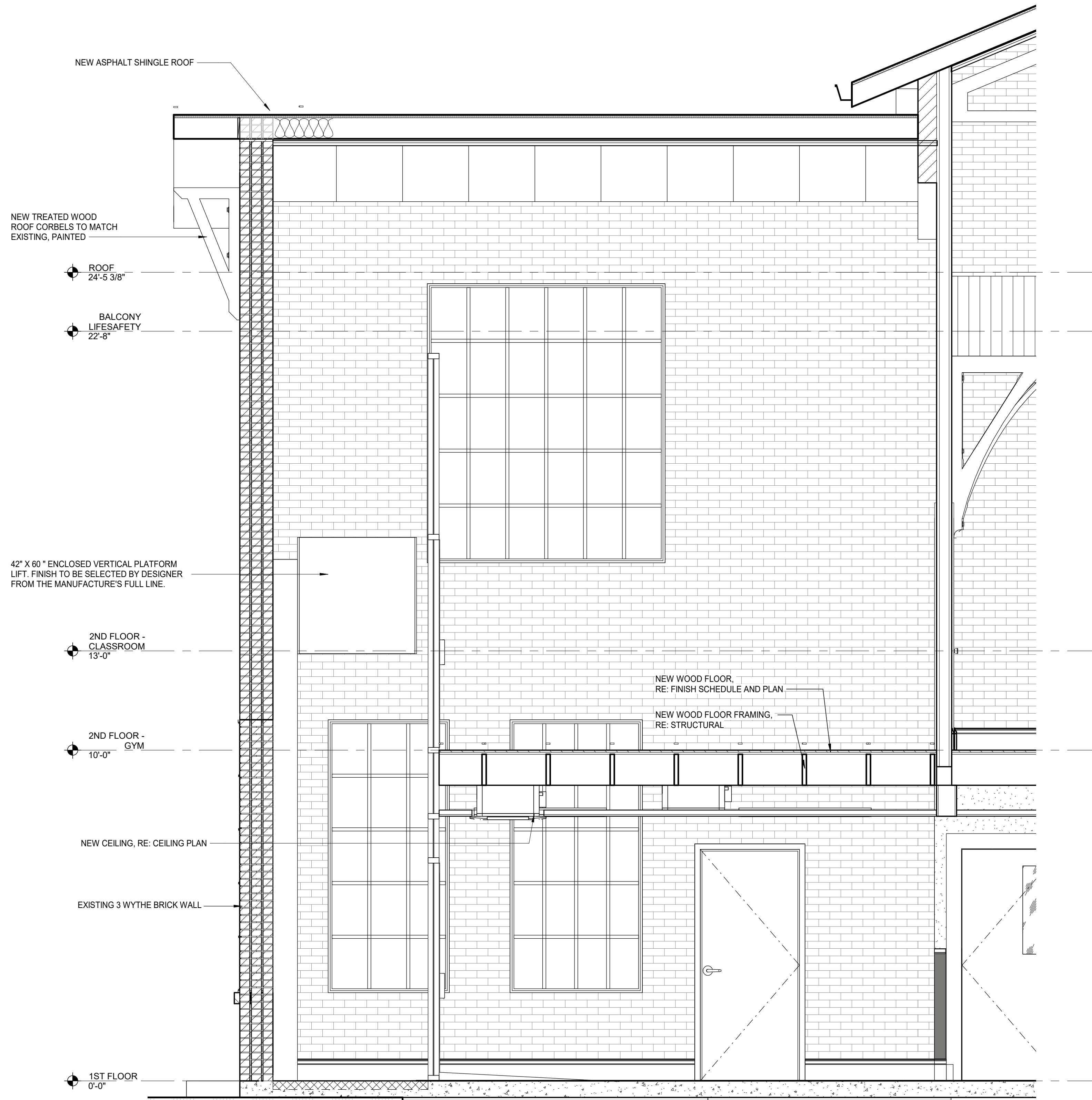
WALL SECTIONS

sheet number

A401



1 WALL SECTION AT STAGE LIFT
1/2" = 1'-0"



2 WALL SECTION AT STAGE LIFT
1/2" = 1'-0"

8/28/2024 8:31:52 AM



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CALCASIEU PARISH SCHOOL BOARD
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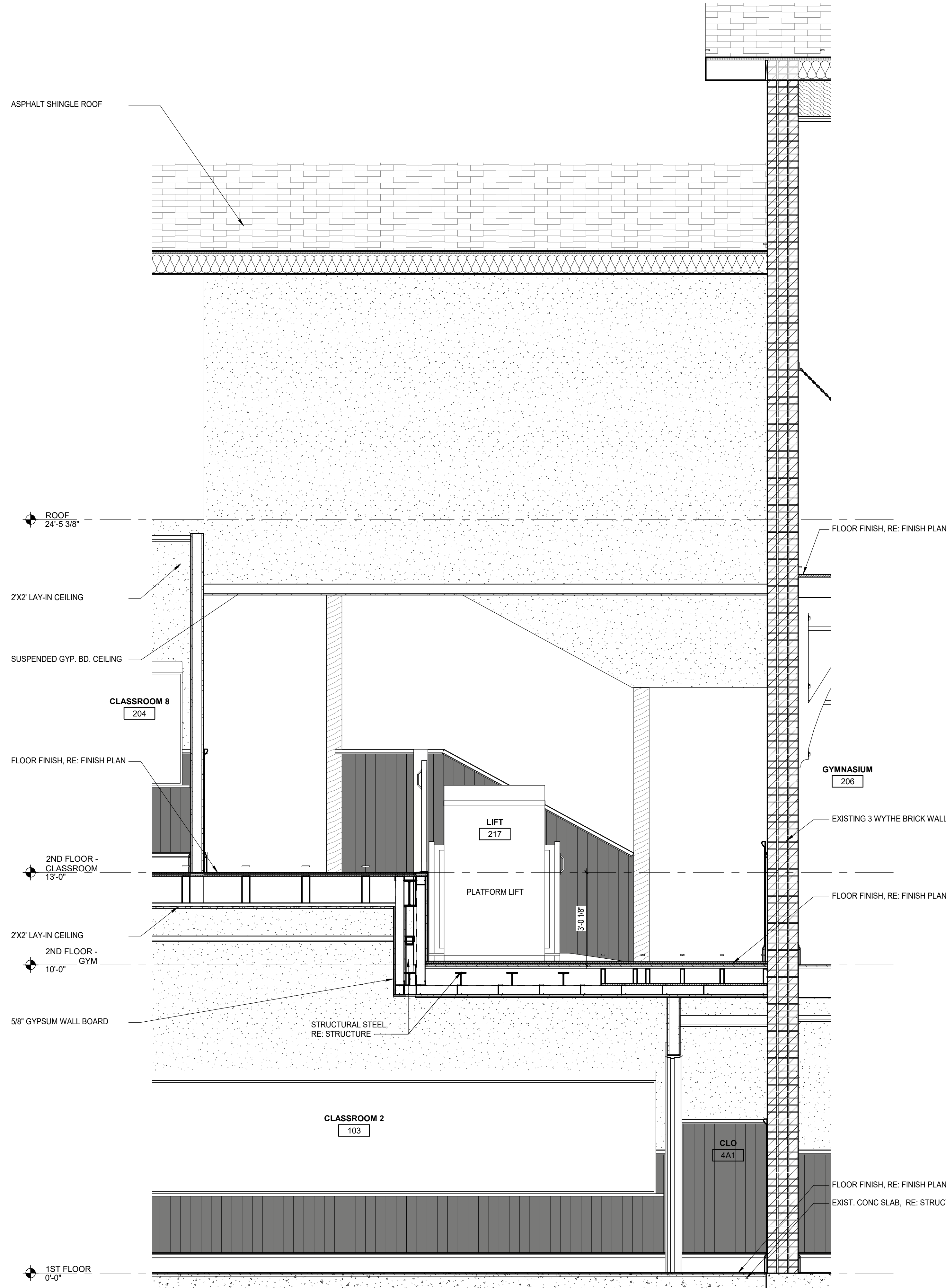
No.	Description	Date

DATE 08/23/2024
 PHASE BID DOCUMENTS
 ISSUED FOR
 PROJECT NO. 3221105

WALL SECTIONS

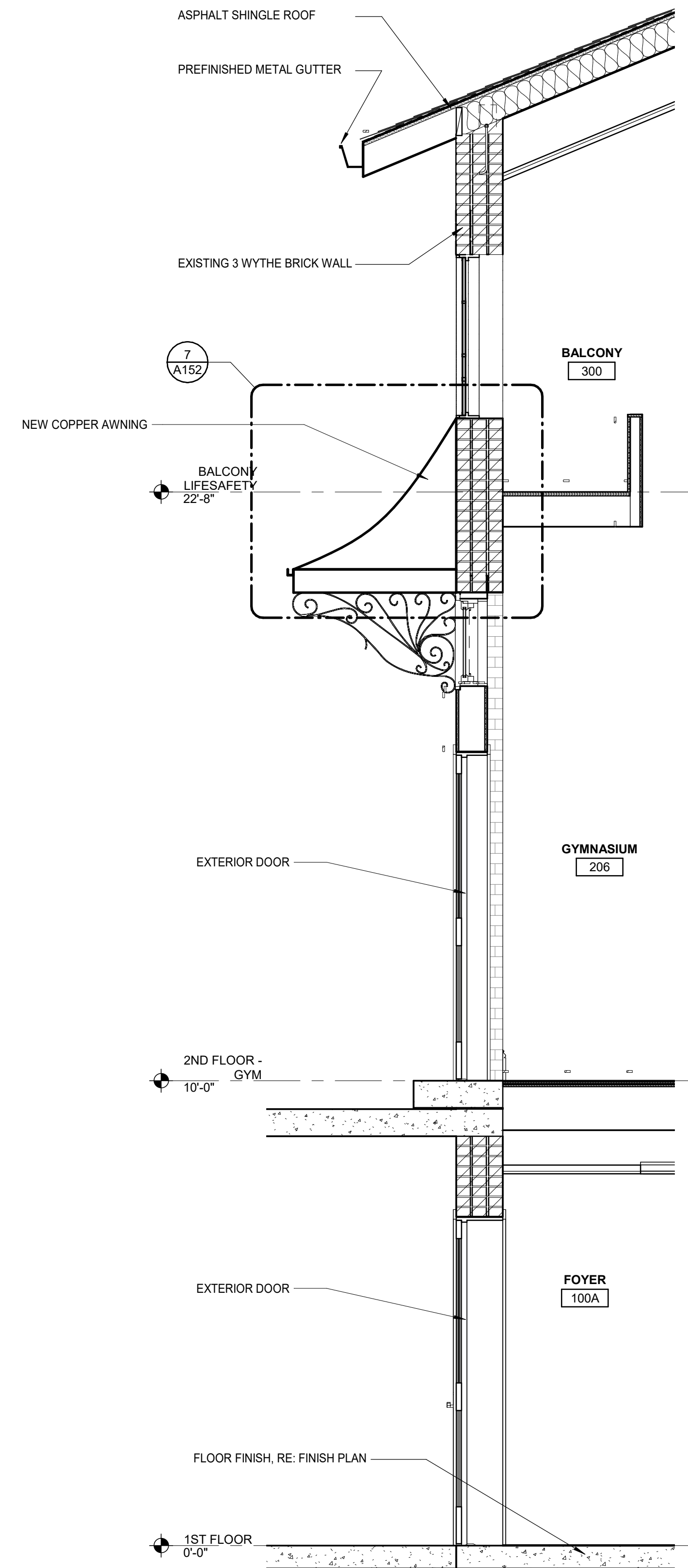
sheet number

A402



1 CORRIDOR 200A - PLATFORM LIFT - SECTION DETAIL

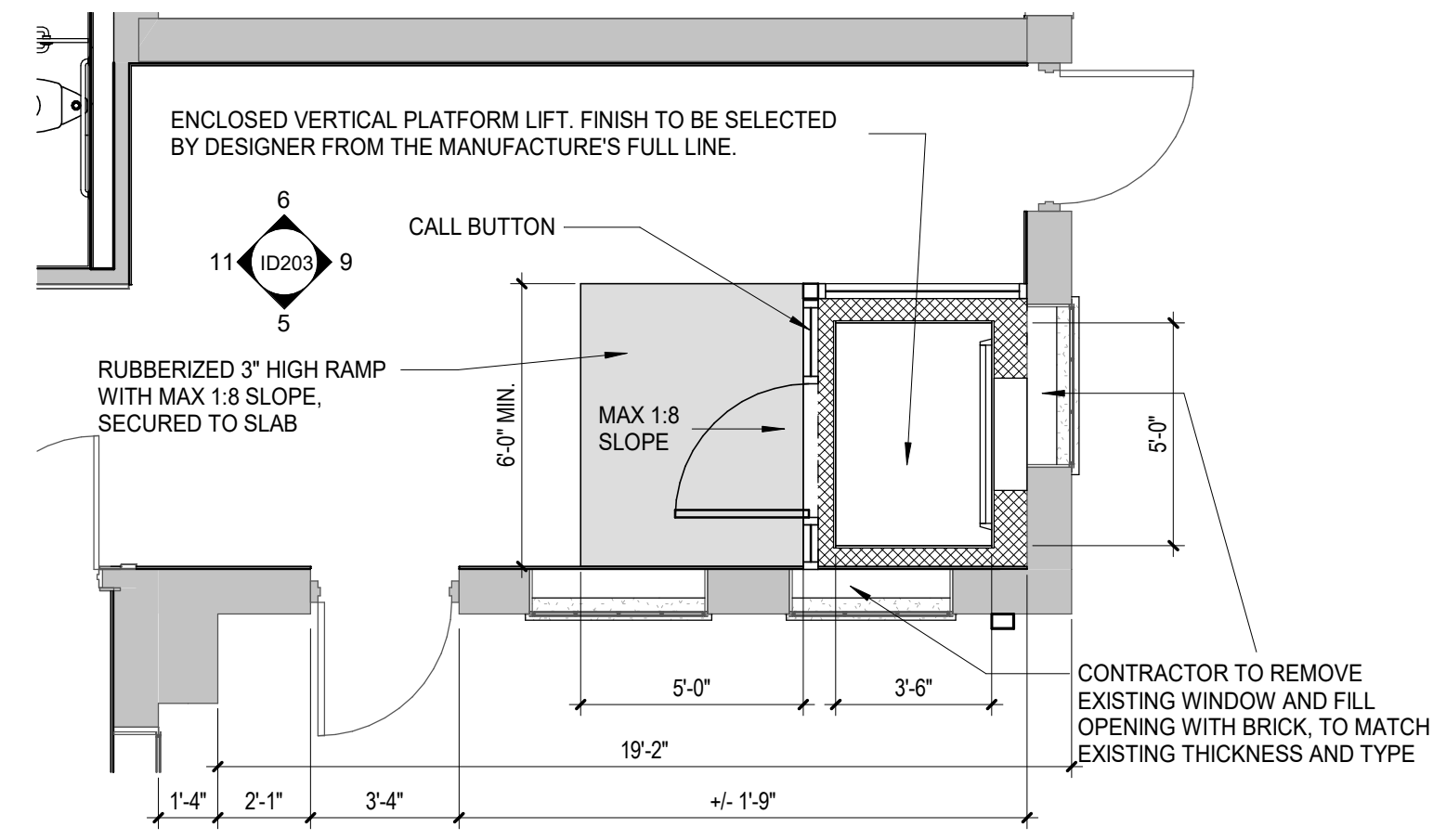
1/2" = 1'-0"



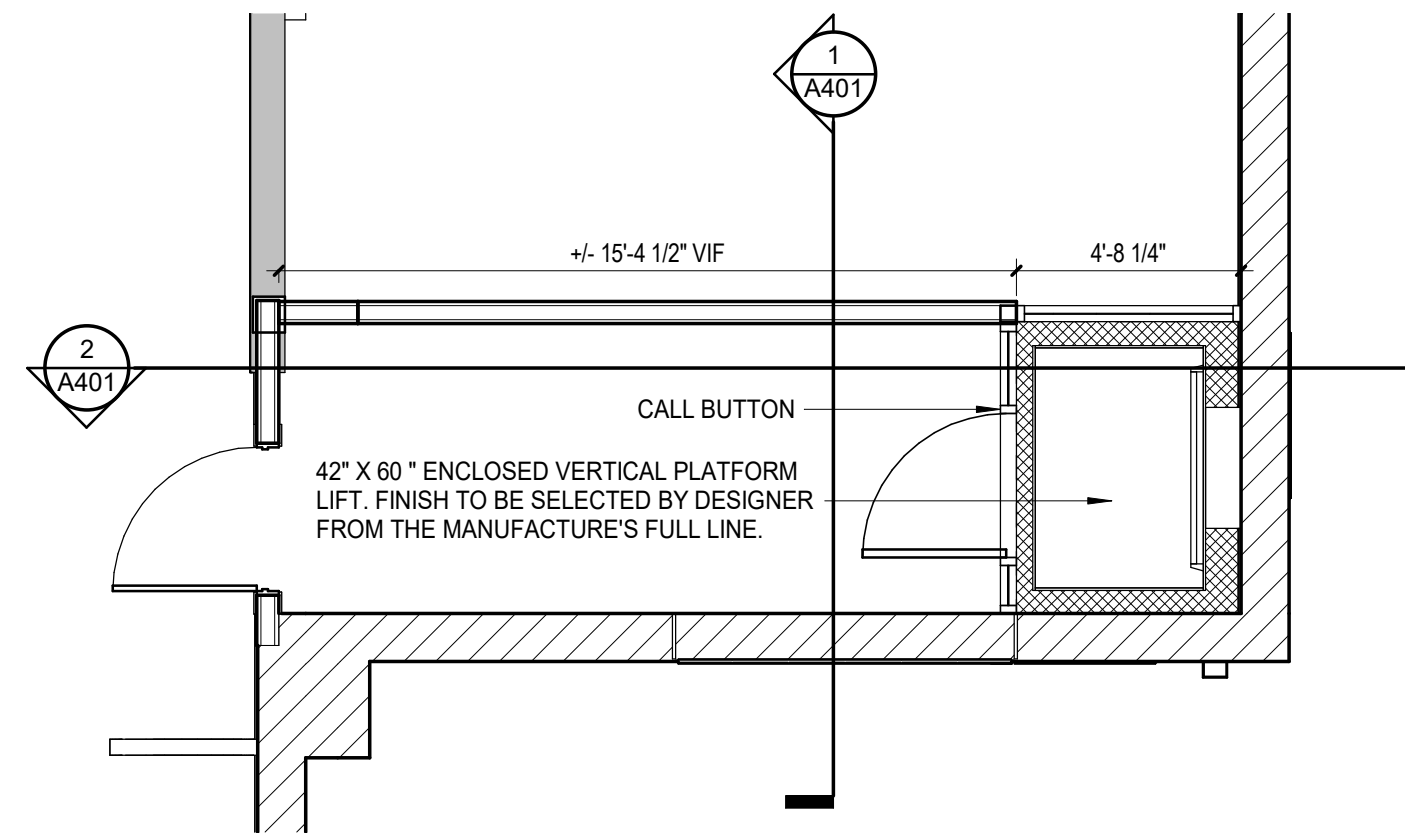
2 WALL SECTION

1/2" = 1'-0"

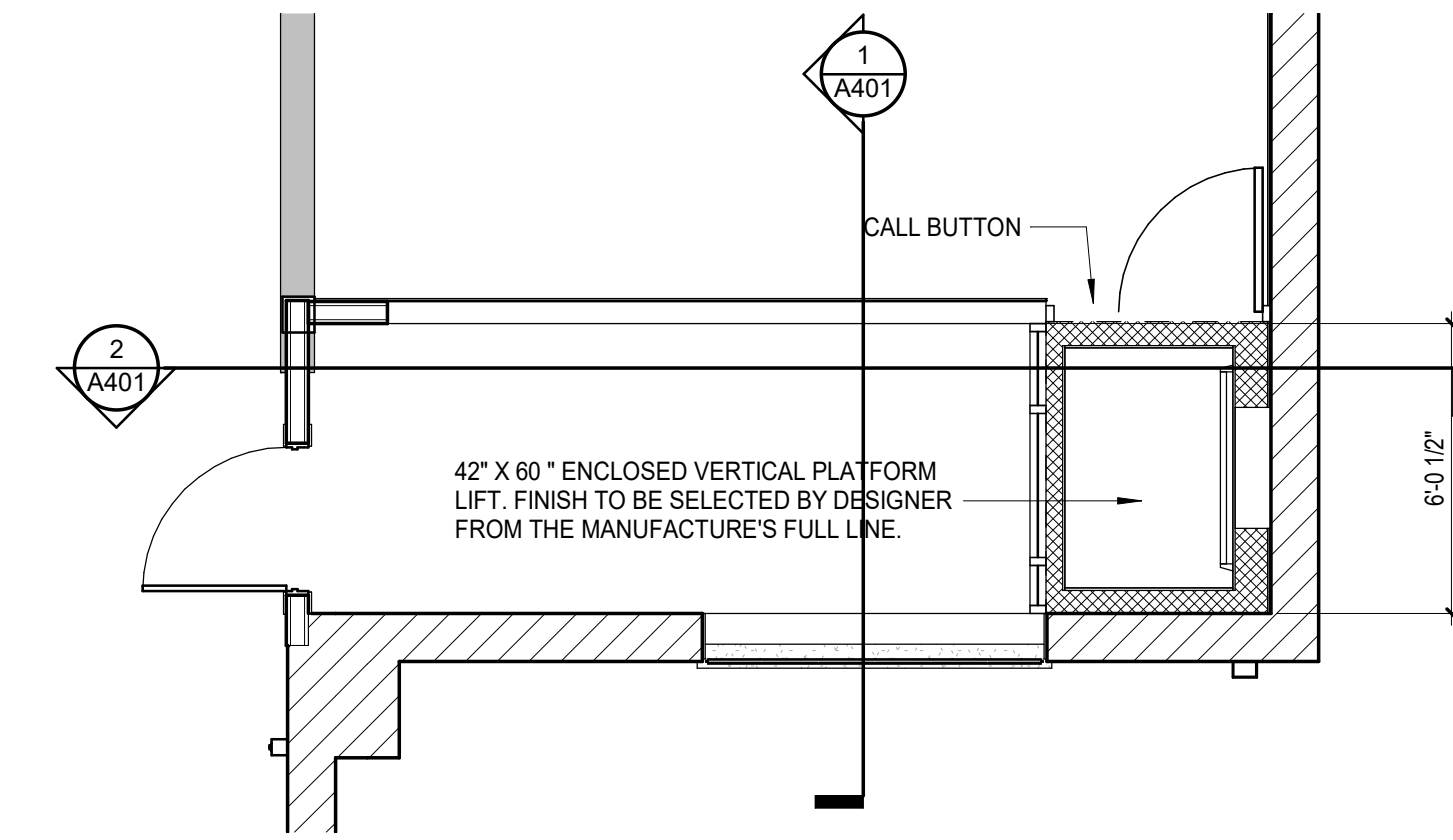
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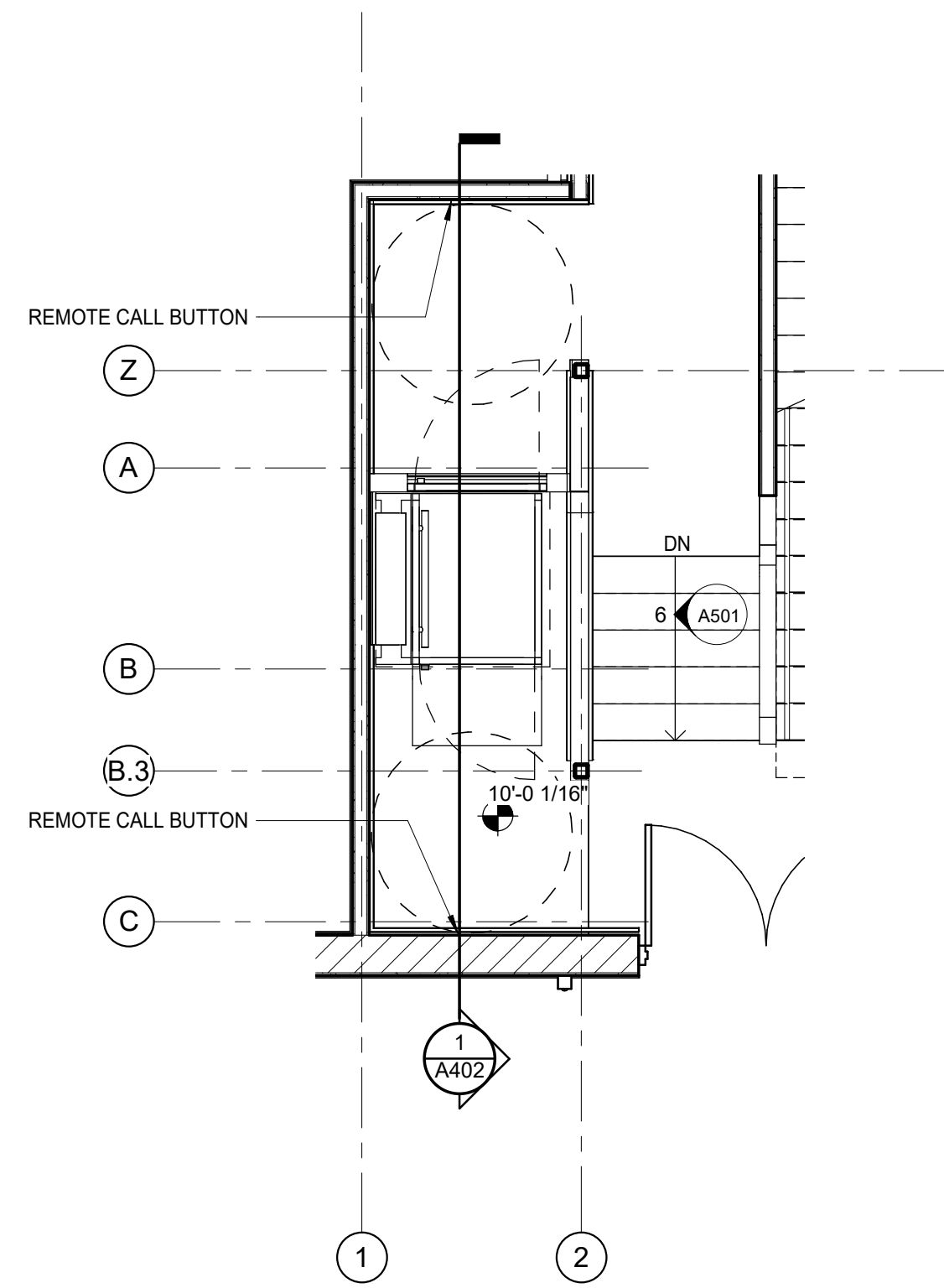
1 VESTIBULE 118 - PLATFORM LIFT - 1ST FLOOR
1/4" = 1'-0"



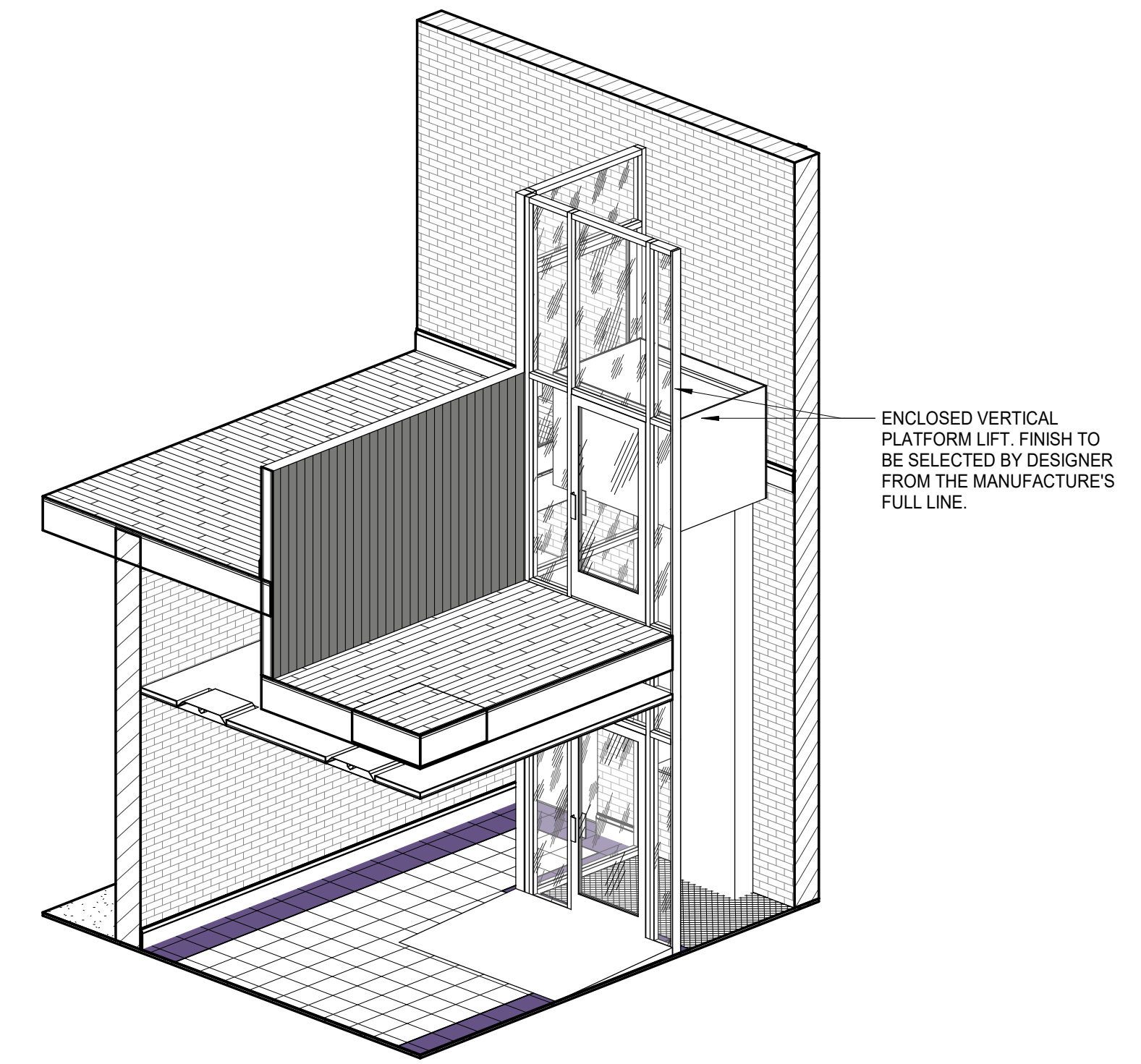
2 VESTIBULE 118 - PLATFORM LIFT - GYM FLOOR
1/4" = 1'-0"



3 VESTIBULE 118 - PLATFORM LIFT - STAGE FLOOR
1/4" = 1'-0"



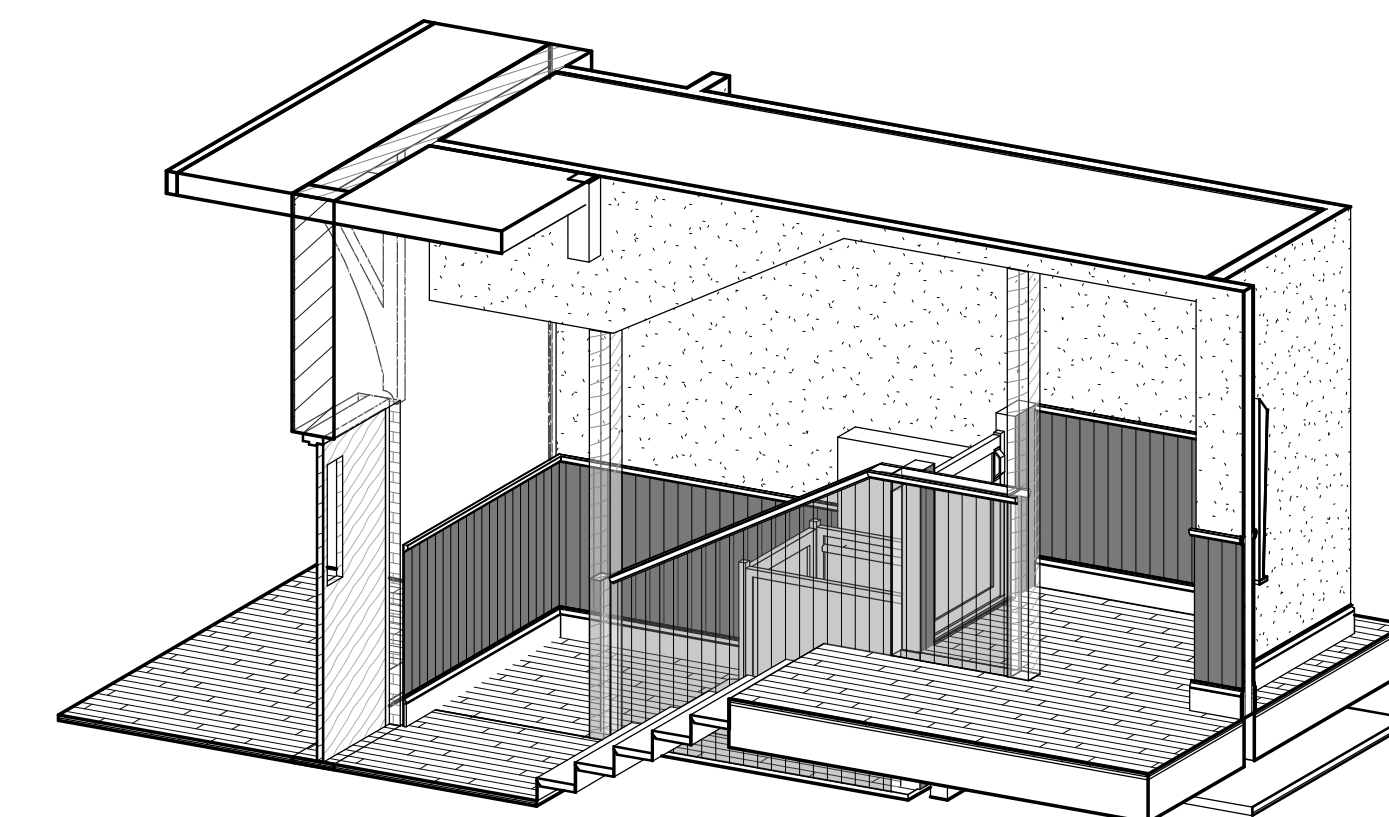
4 CORRIDOR 200A - PLATFORM LIFT
1/4" = 1'-0"



5 VESTIBULE 118 - PLATFORM LIFT - ISOMETRIC



6 CORRIDOR 4 LIFT
1/4" = 1'-0"



7 CORRIDOR 4 LIFT - ISOMETRIC



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CALCASIEU PARISH SCHOOL BOARD
201 E 1ST ST., IOWA, LA 70647

No.	Description	Date

DATE 08/23/2024

PHASE BID DOCUMENTS

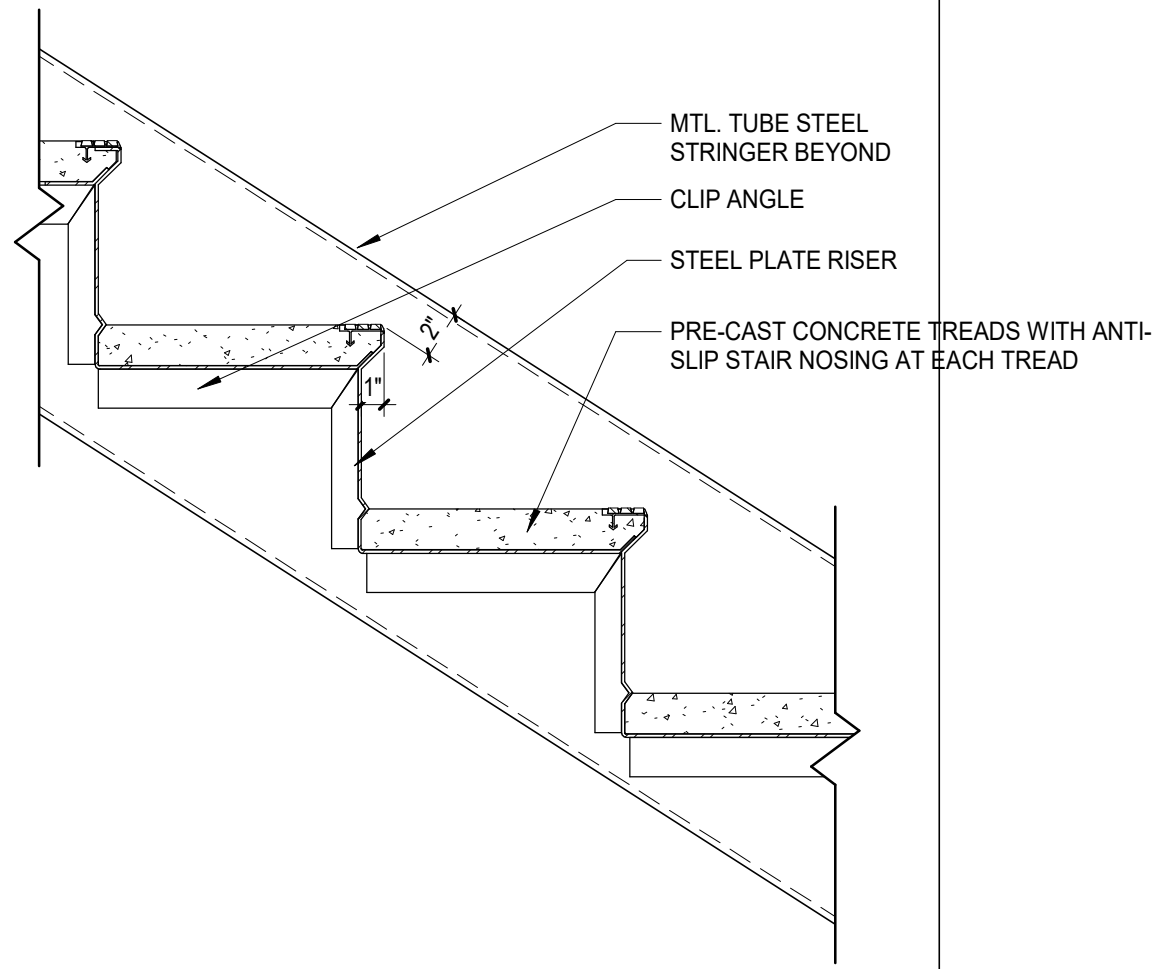
ISSUED FOR

PROJECT NO. 3221105

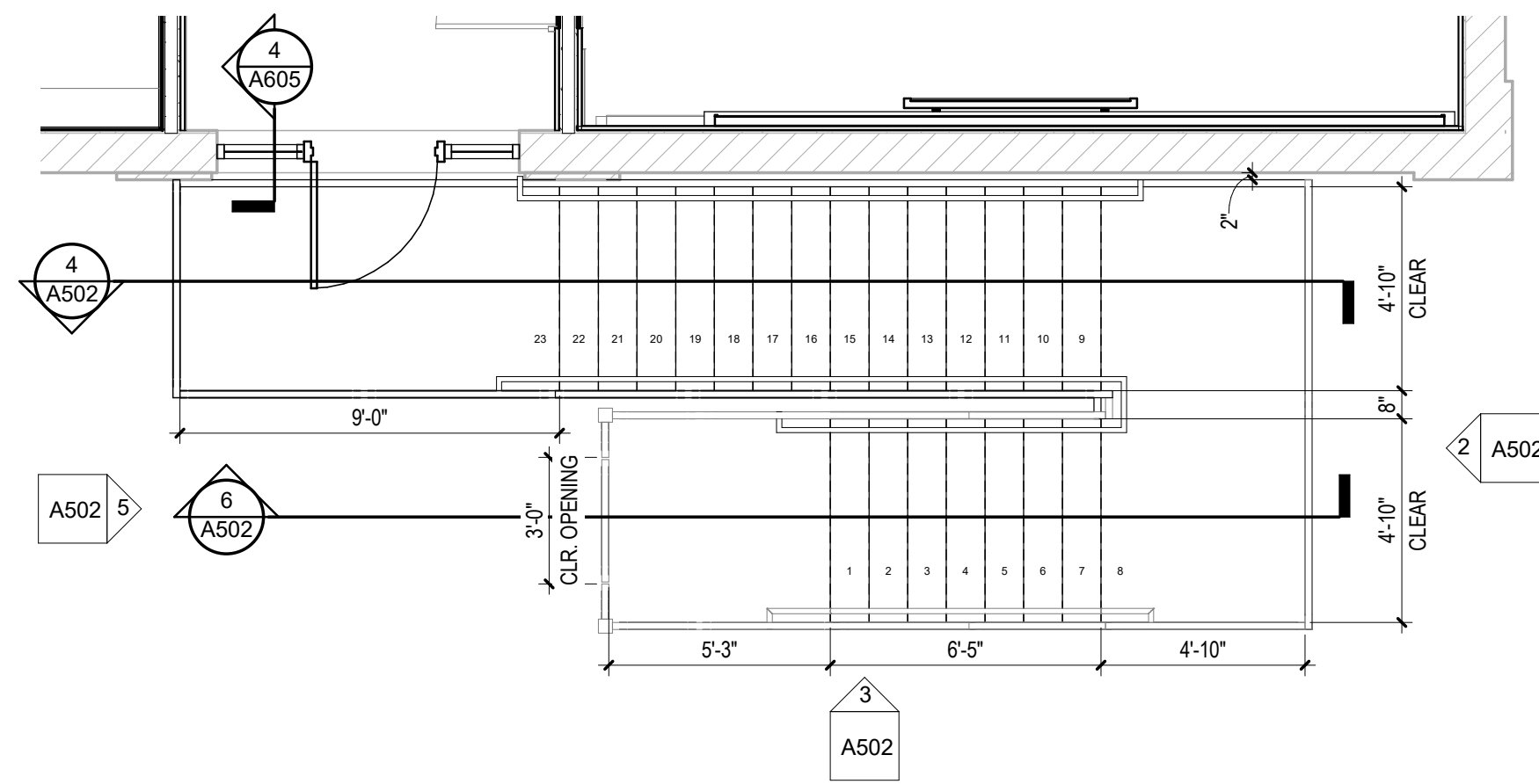
VERTICAL CIRCULATION

sheet number

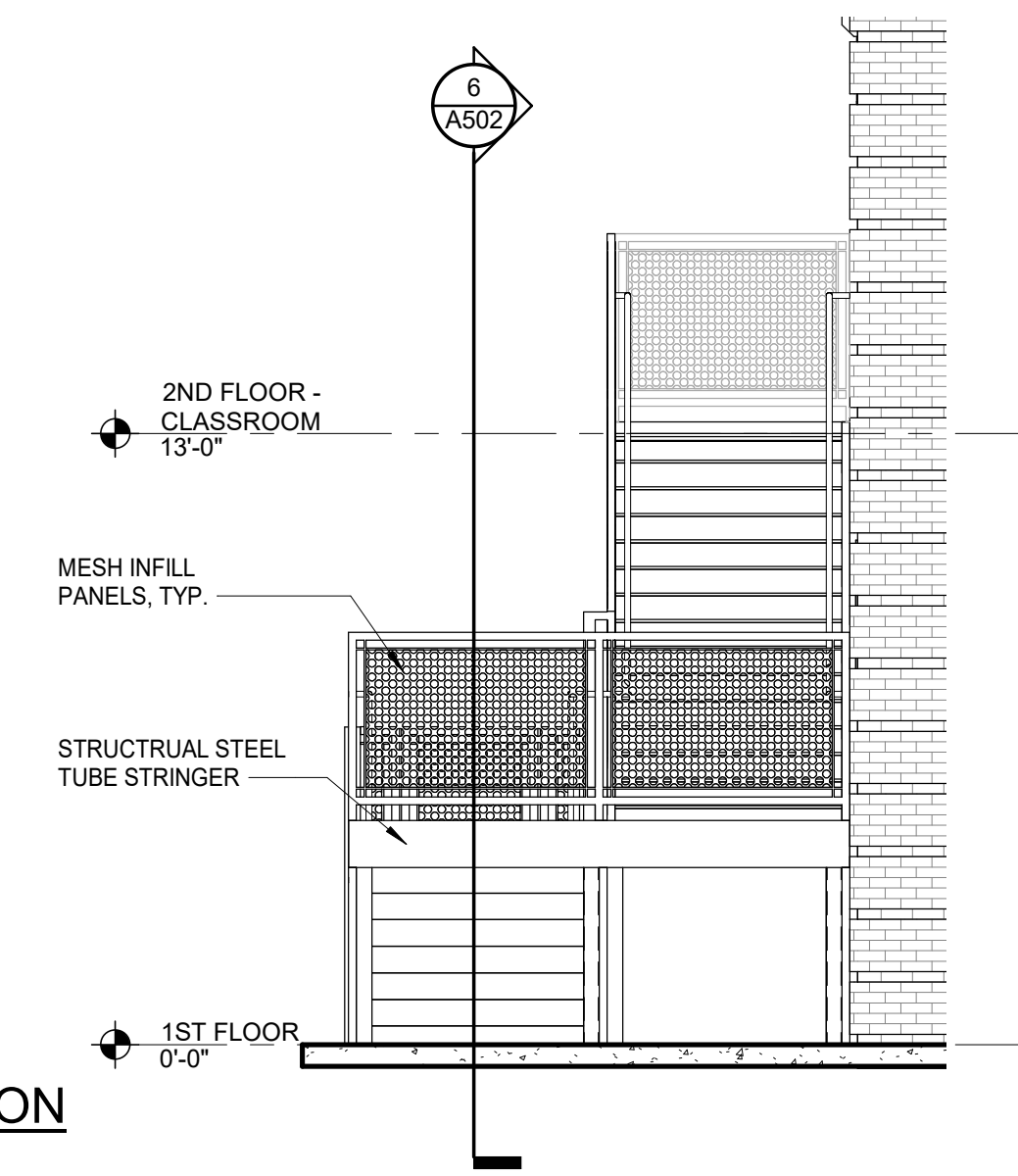
A501



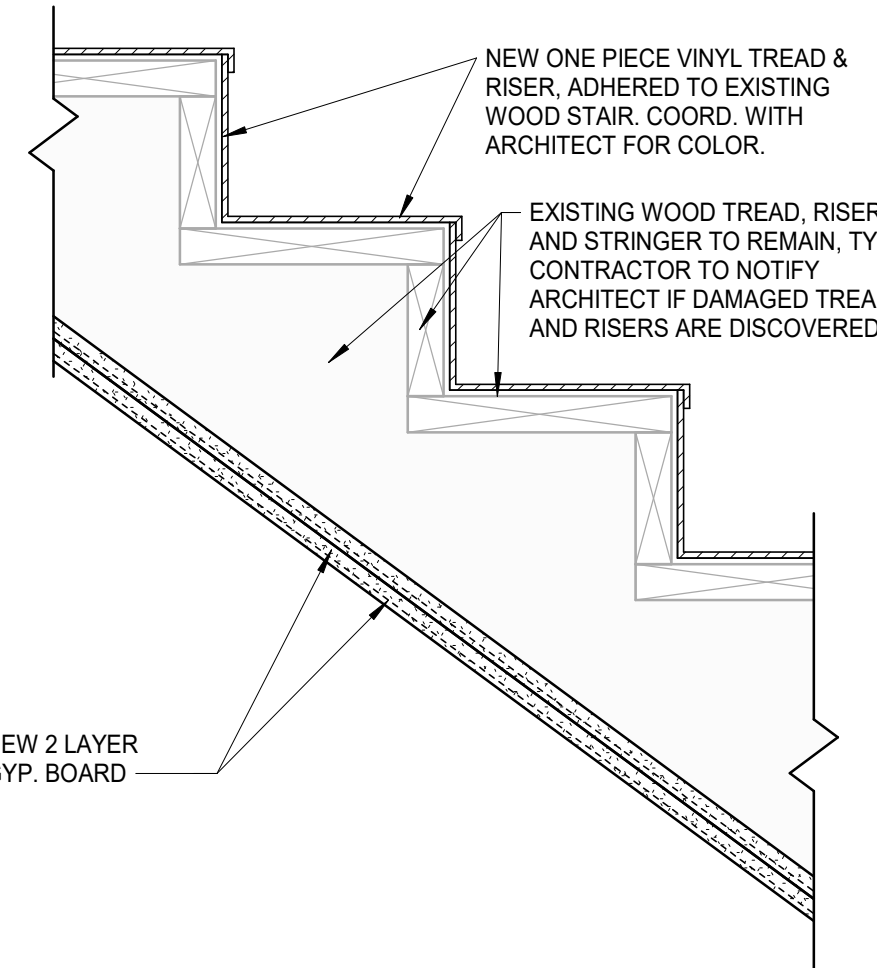
7 STAIR TREAD AND RISER DETAIL
1 1/2" = 1'-0"



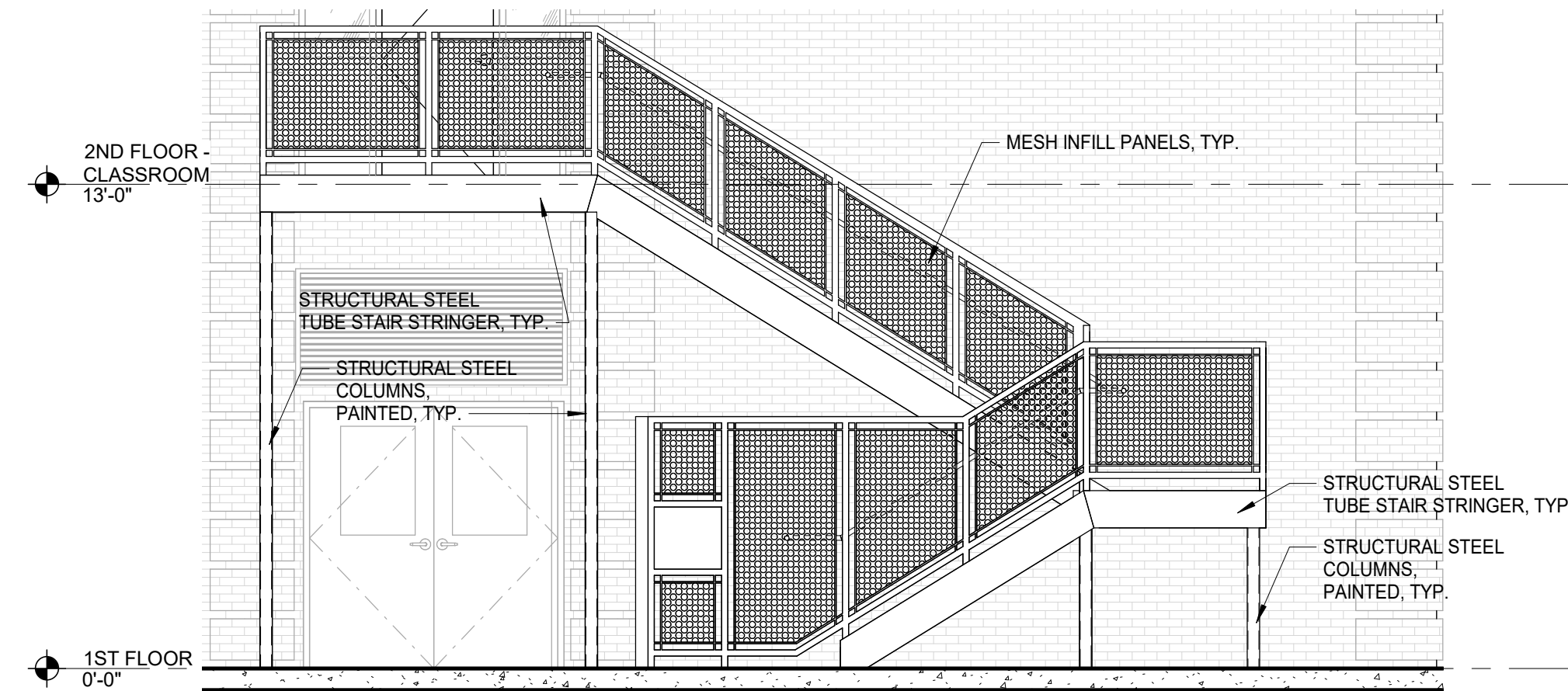
1 SOUTH STAIR - ENLARGED PLAN
1/4" = 1'-0"



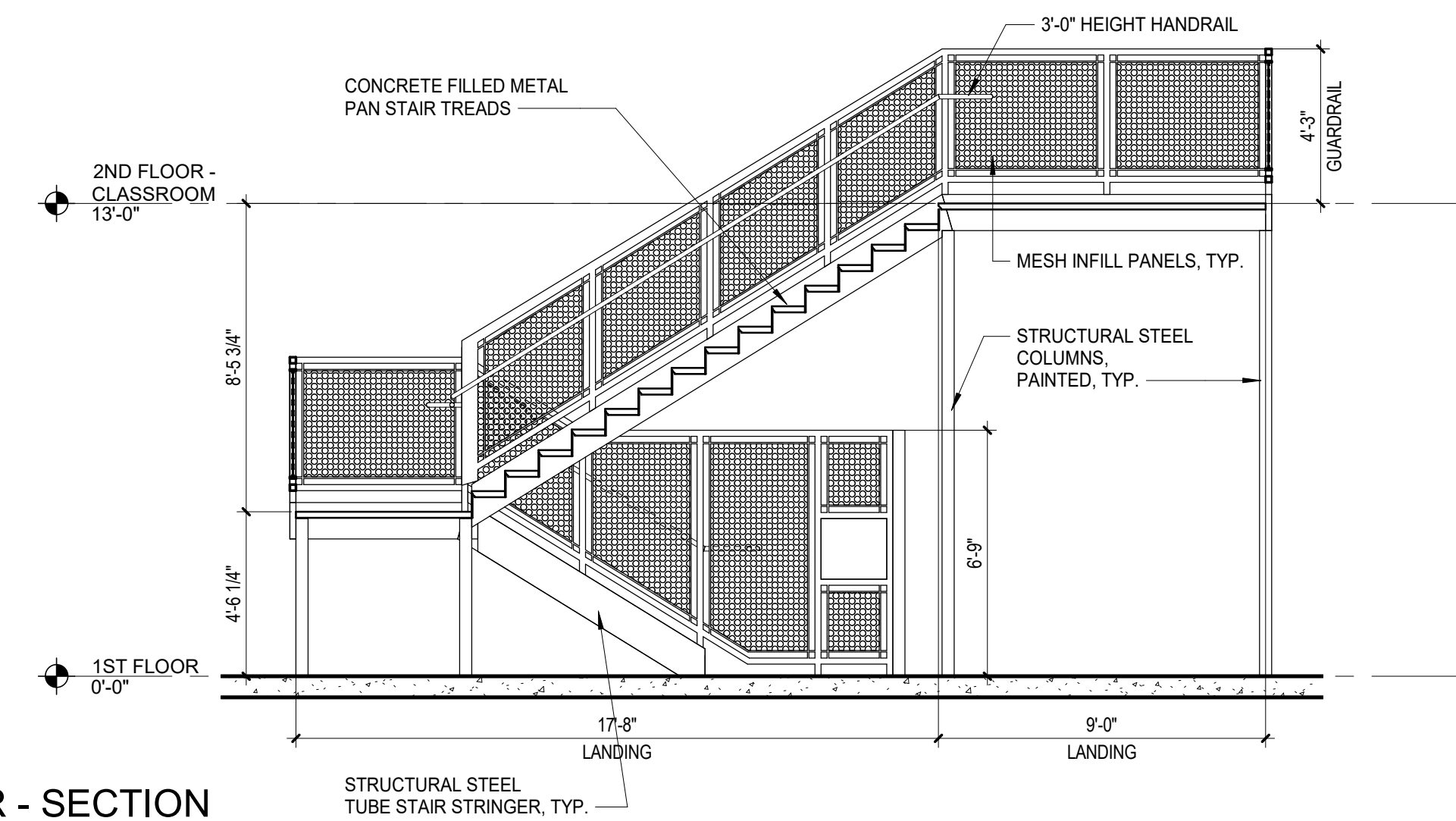
2 SOUTH STAIR - EAST ELEVATION
1/4" = 1'-0"



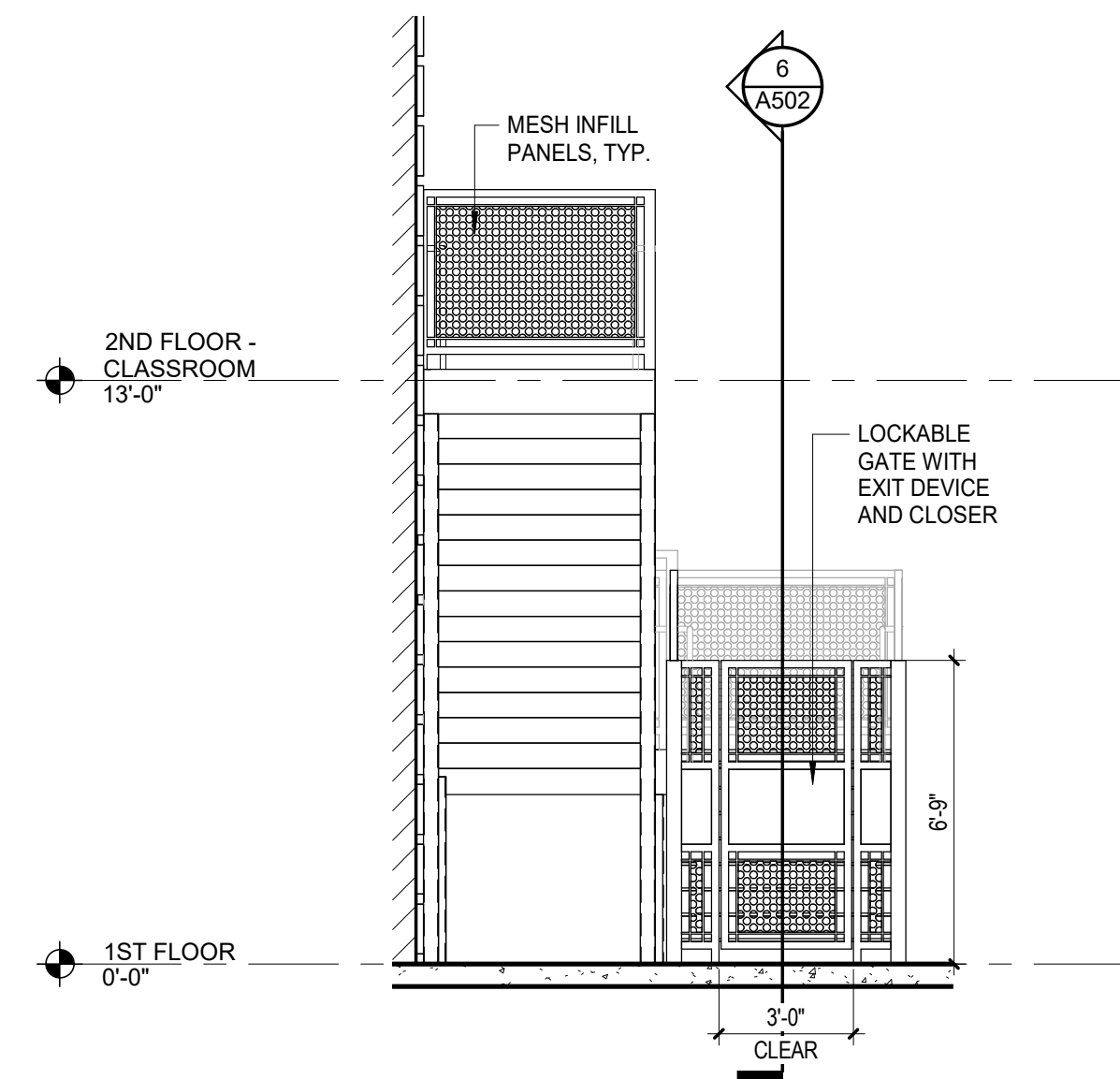
8 WOOD STAIR TREAD
1 1/2" = 1'-0"



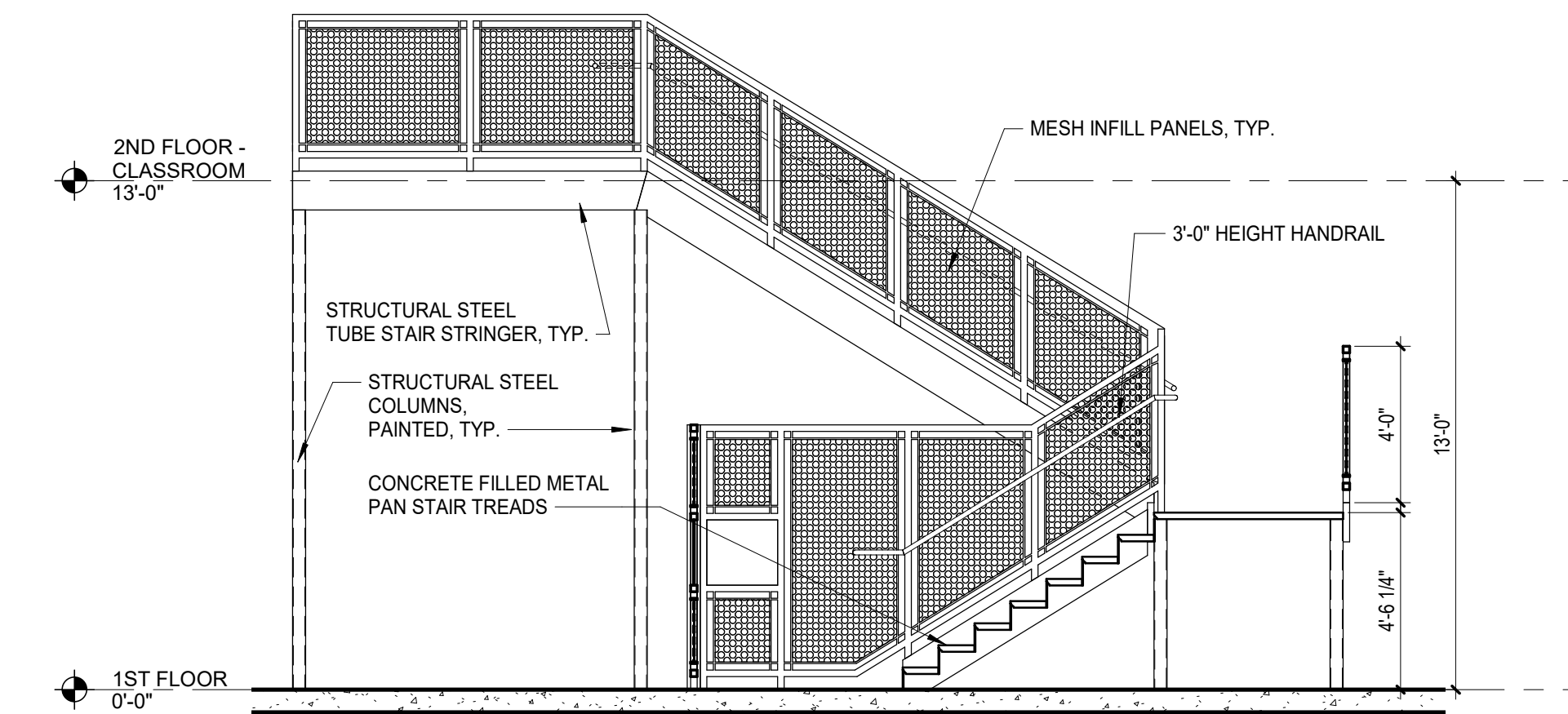
3 SOUTH STAIR - SOUTH ELEVATION
1/4" = 1'-0"



4 SOUTH STAIR - SECTION
1/4" = 1'-0"



5 SOUTH STAIR - WEST ELEVATION
1/4" = 1'-0"



6 SOUTH STAIR - SECTION
1/4" = 1'-0"



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J.I. WATSON HISTORICAL BUILDING - HURRICANE REPAIRS (HL-060-03)

CALCASIEU PARISH SCHOOL BOARD
201 E 1ST ST., IOWA, LA 70647

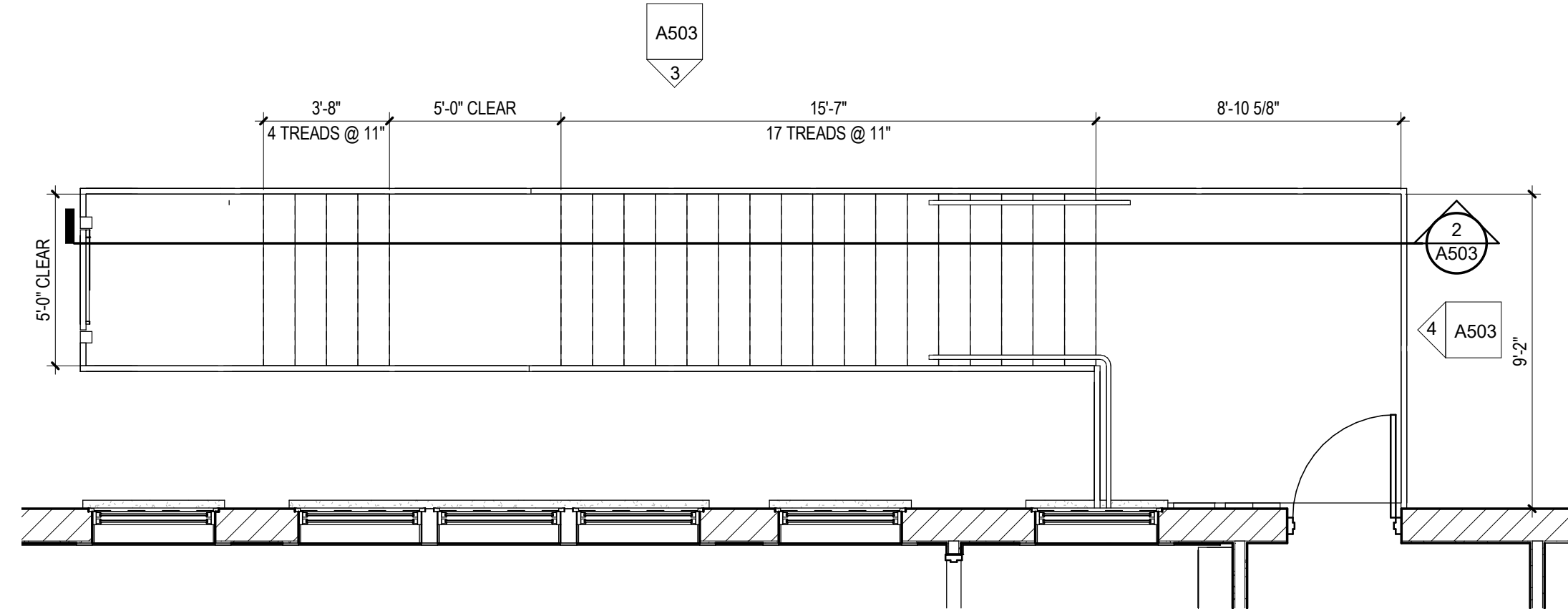
No.	Description	Date

DATE 08/23/2024
PHASE BID DOCUMENTS
ISSUED FOR OWNER REVIEW
PROJECT NO. 3221105

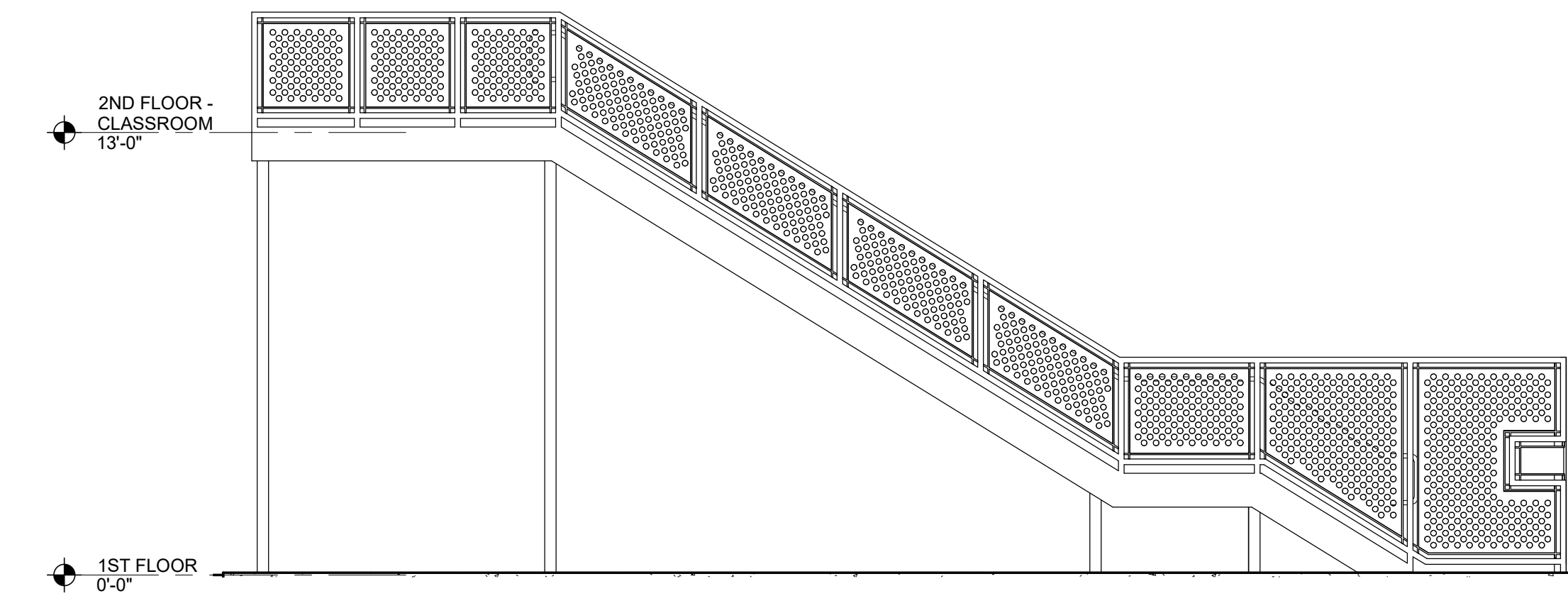
VERTICAL CIRCULATION

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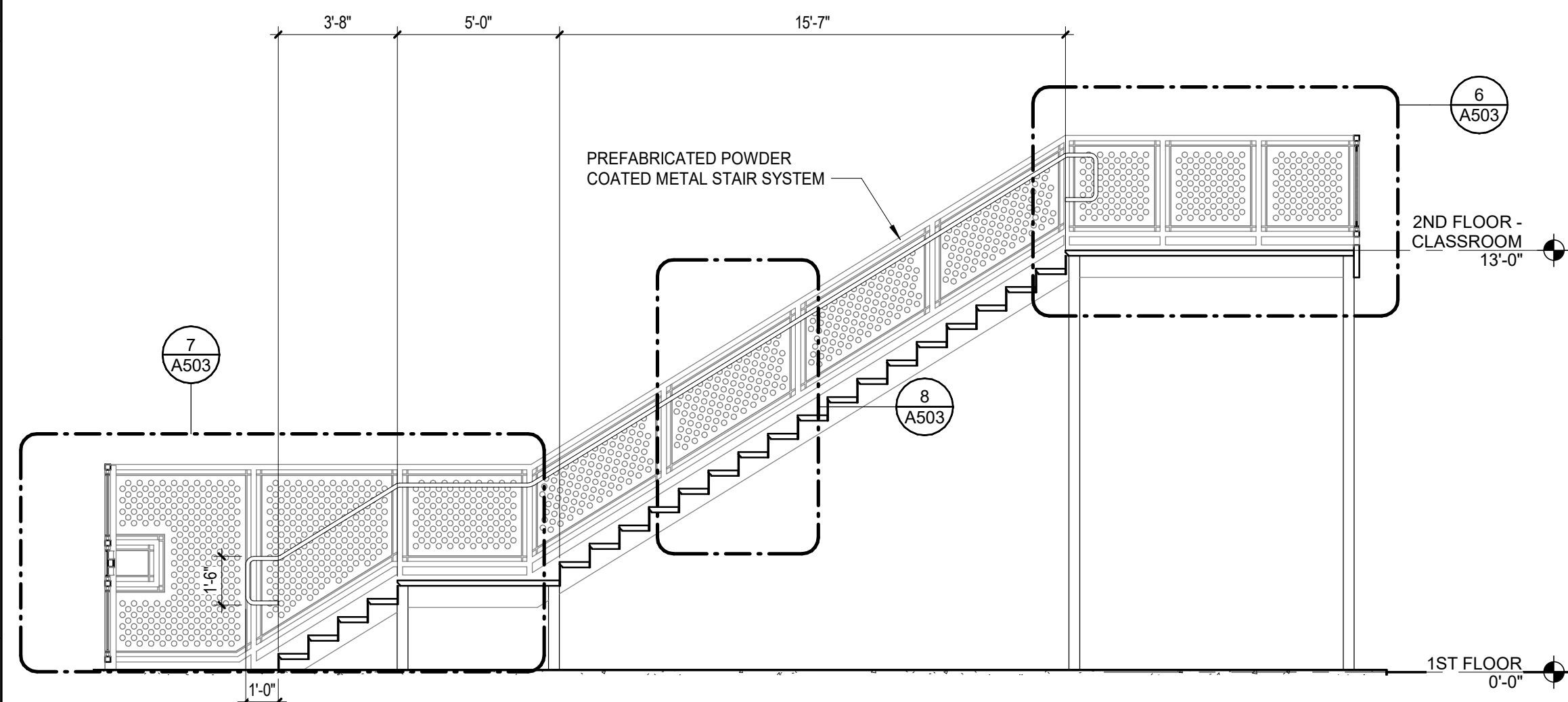
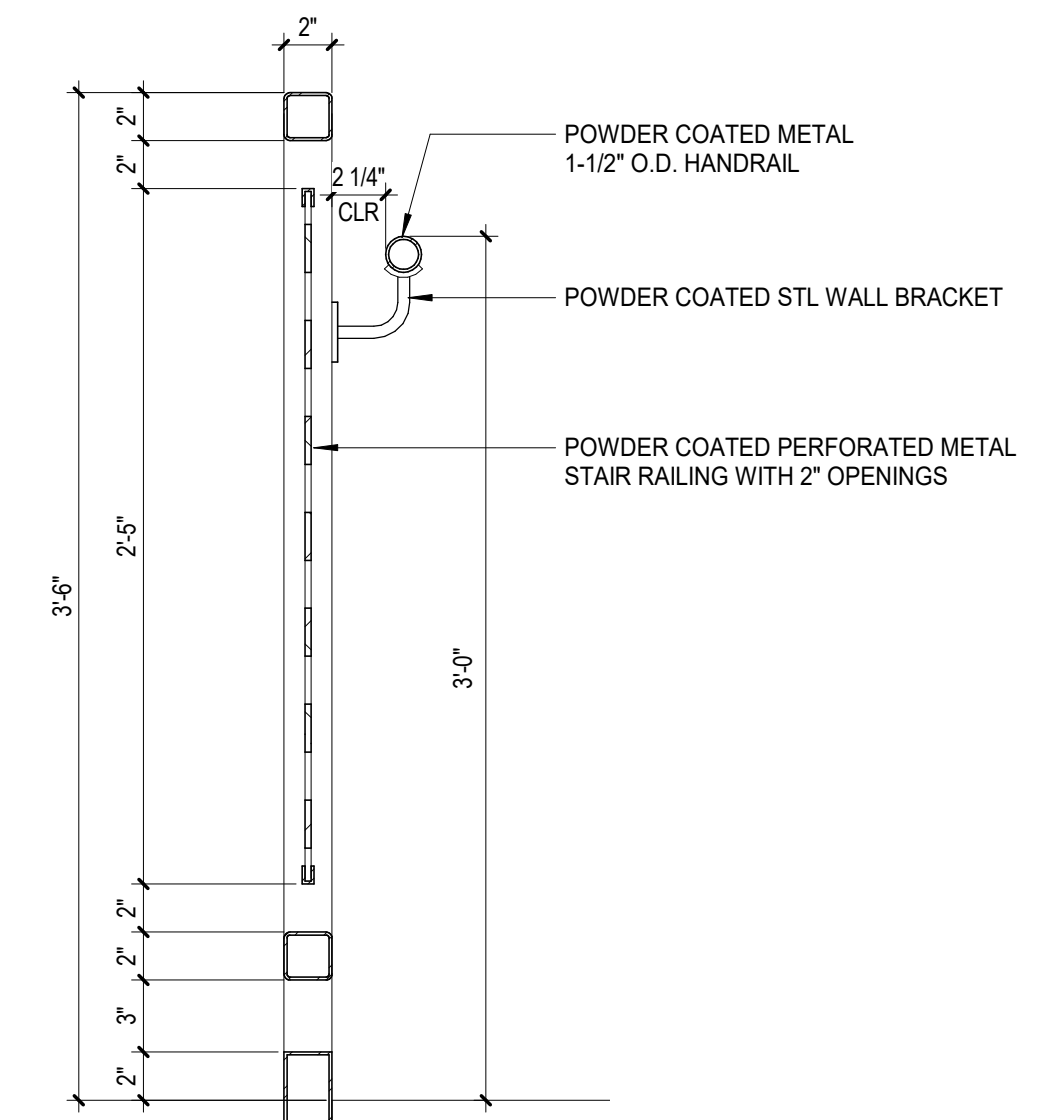
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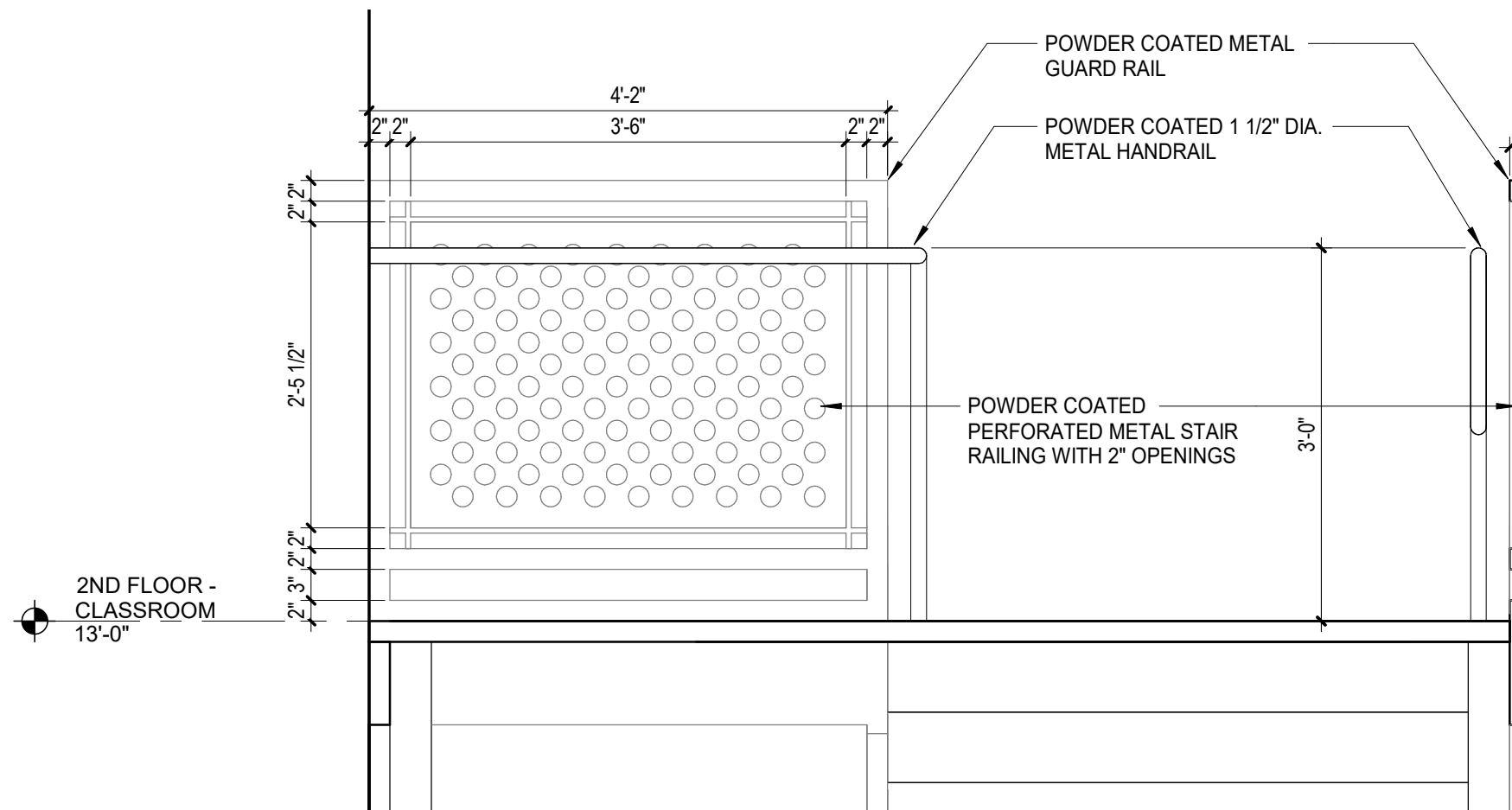
1 NORTH EXTERIOR STAIR - ENLARGED PLAN
1/4" = 1'-0"



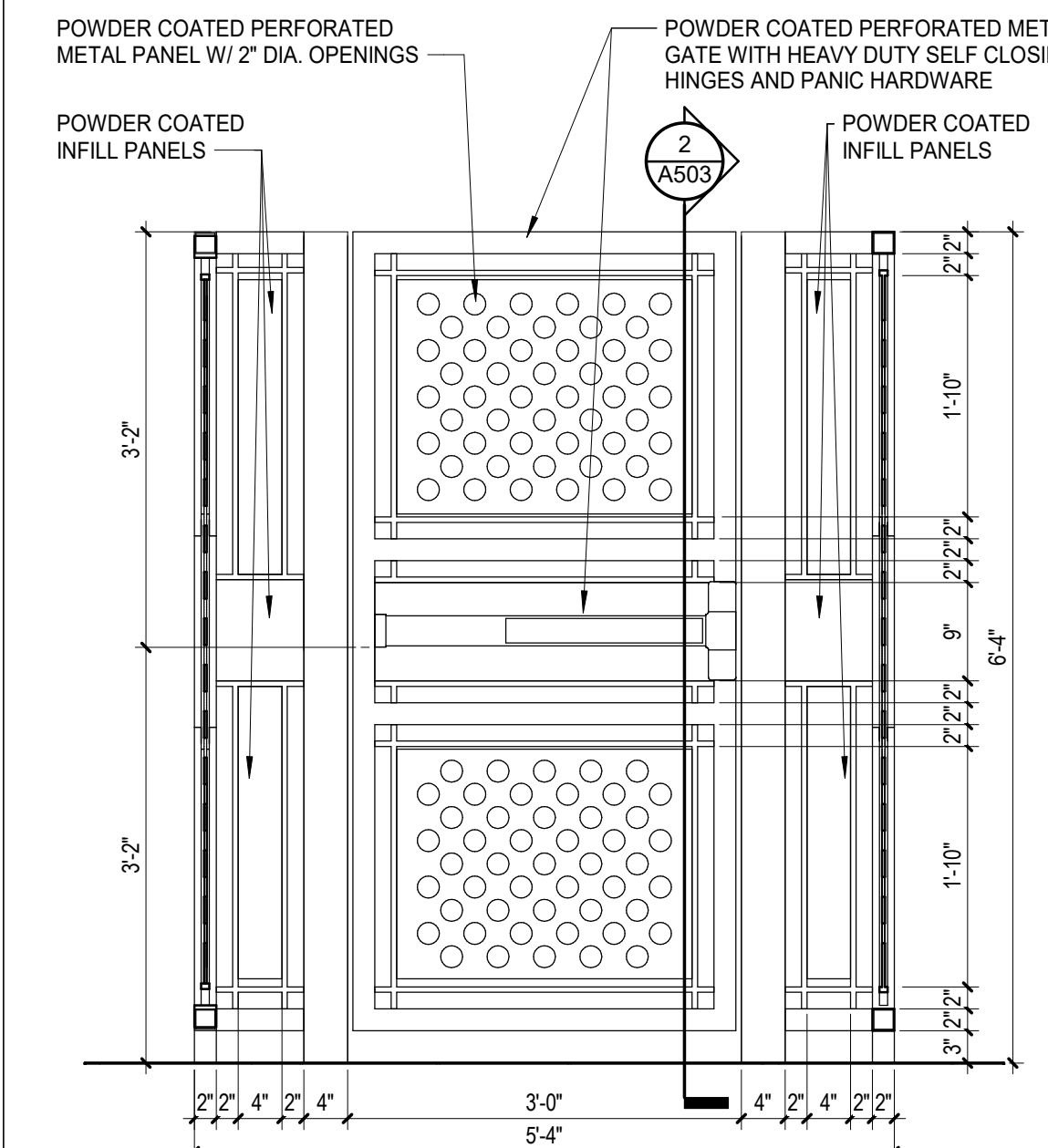
3 NORTH EXTERIOR STAIR - NORTH ELEVATION
1/4" = 1'-0"



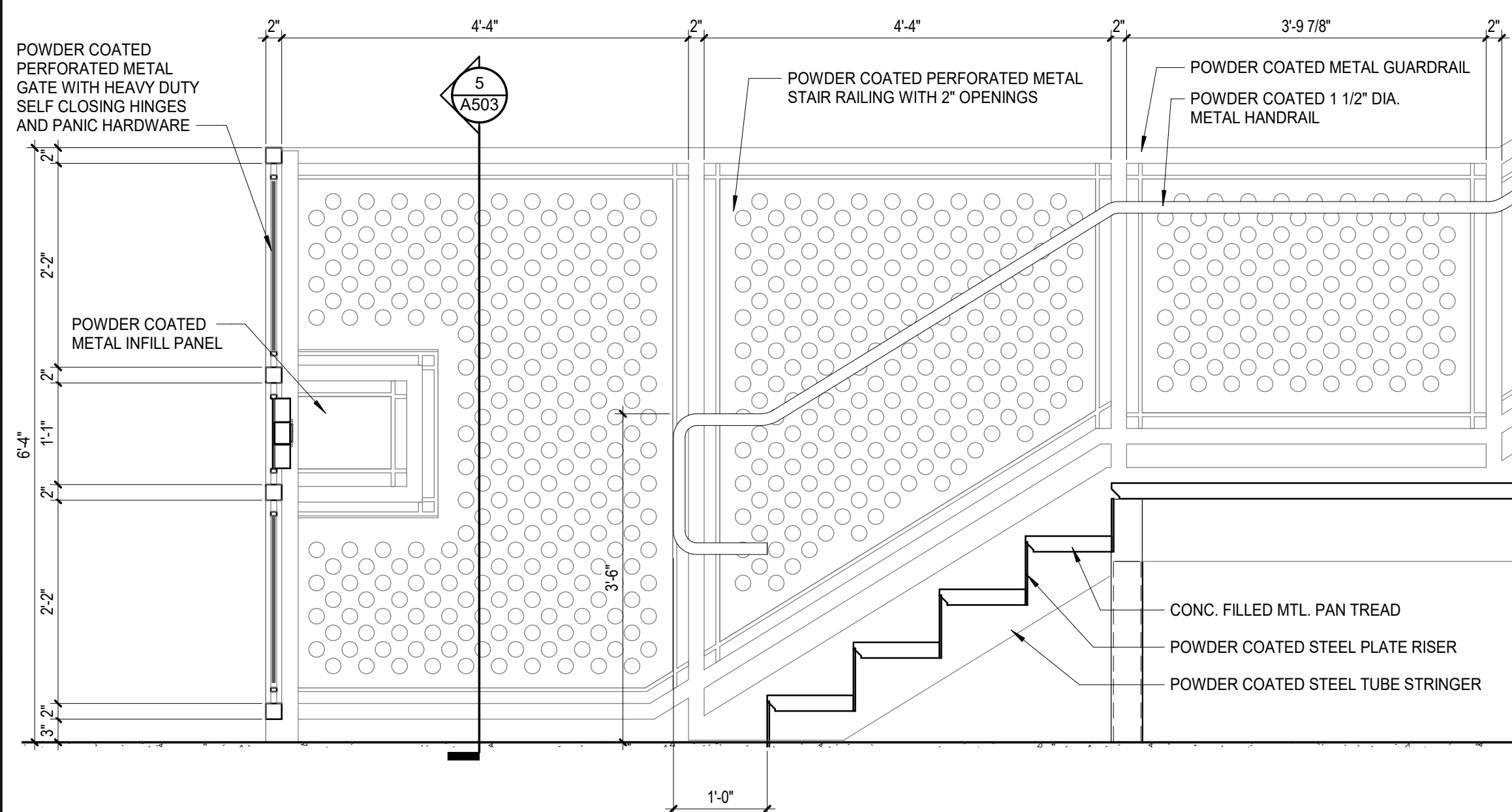
2 NORTH STAIR - SECTION 01
1/4" = 1'-0"



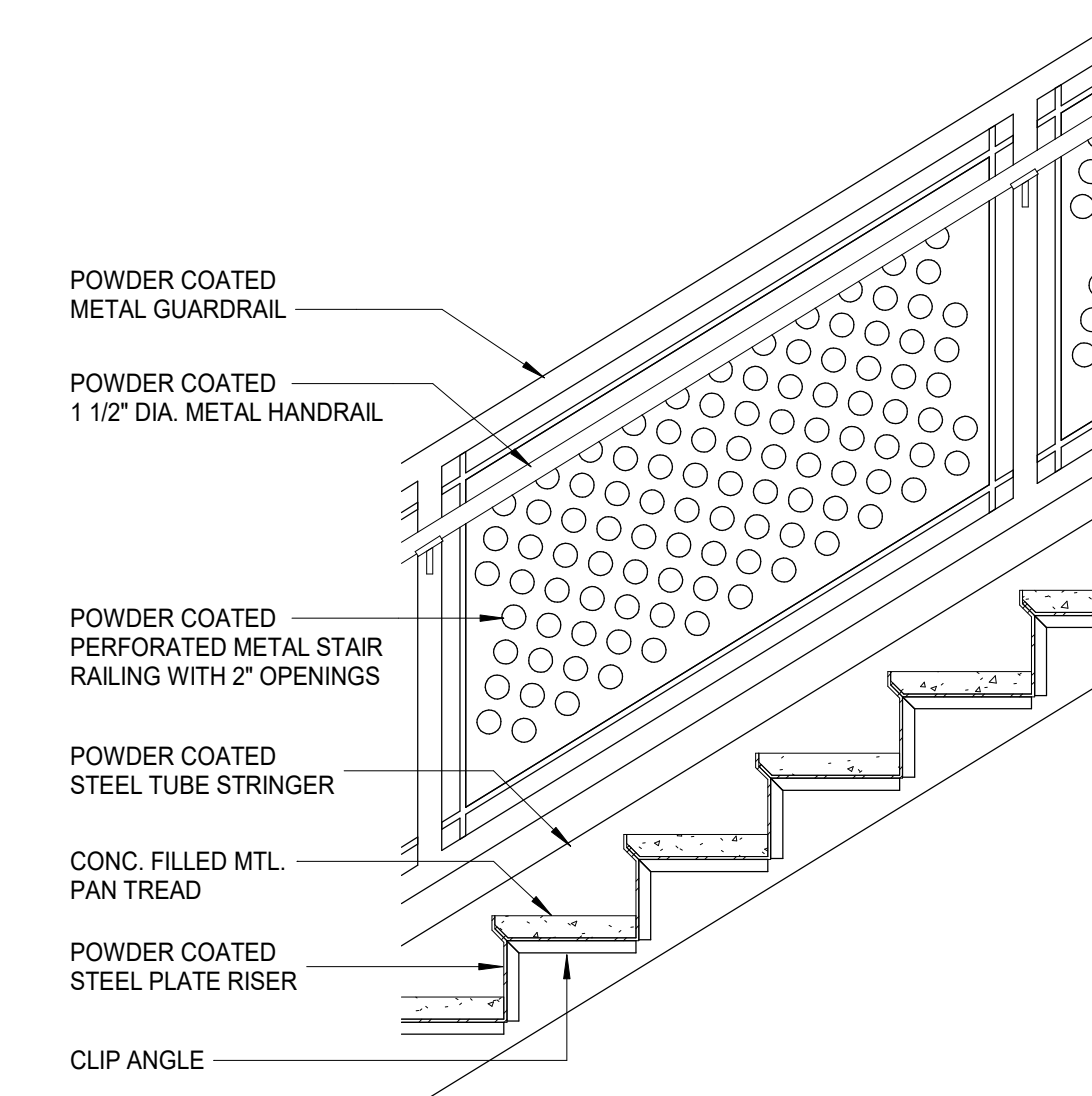
4 NORTH EXTERIOR STAIR - EAST ELEVATION
3/4" = 1'-0"



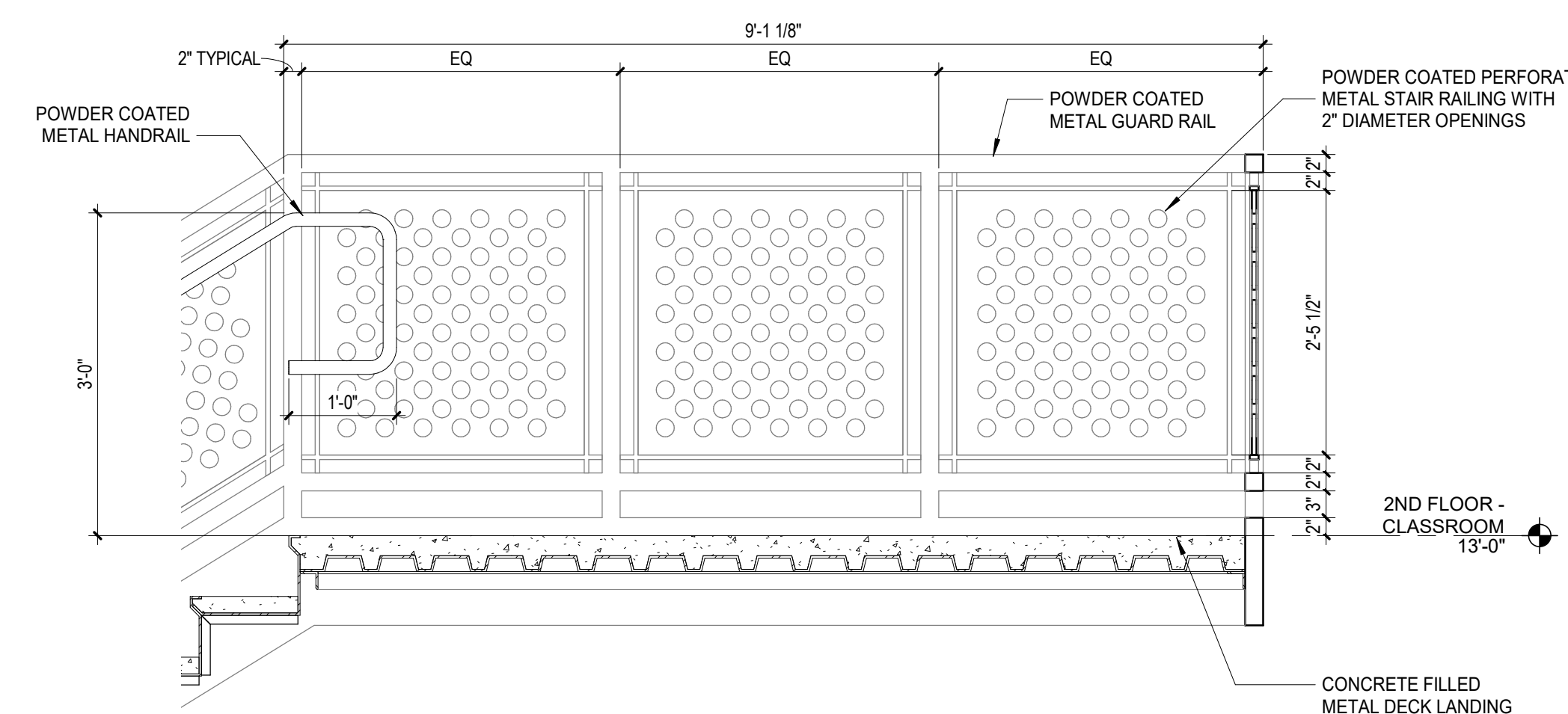
5 NORTH EXTERIOR STAIR - GATE
3/4" = 1'-0"



7 NORTH STAIR - SECTION 01 Callout 1
3/4" = 1'-0"



8 PREFABRICATED METAL STAIR SECTION DETAIL
3/4" = 1'-0"



6 PREFABRICATED METAL STAIR SECTION DETAIL
3/4" = 1'-0"



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J.I. WATSON HISTORICAL BUILDING - HURRICANE REPAIRS (HL-060-03)
CALCASIEU PARISH SCHOOL BOARD
201 E 1ST ST., IOWA, LA 70647

No.	Description	Date

DATE 08/23/2024

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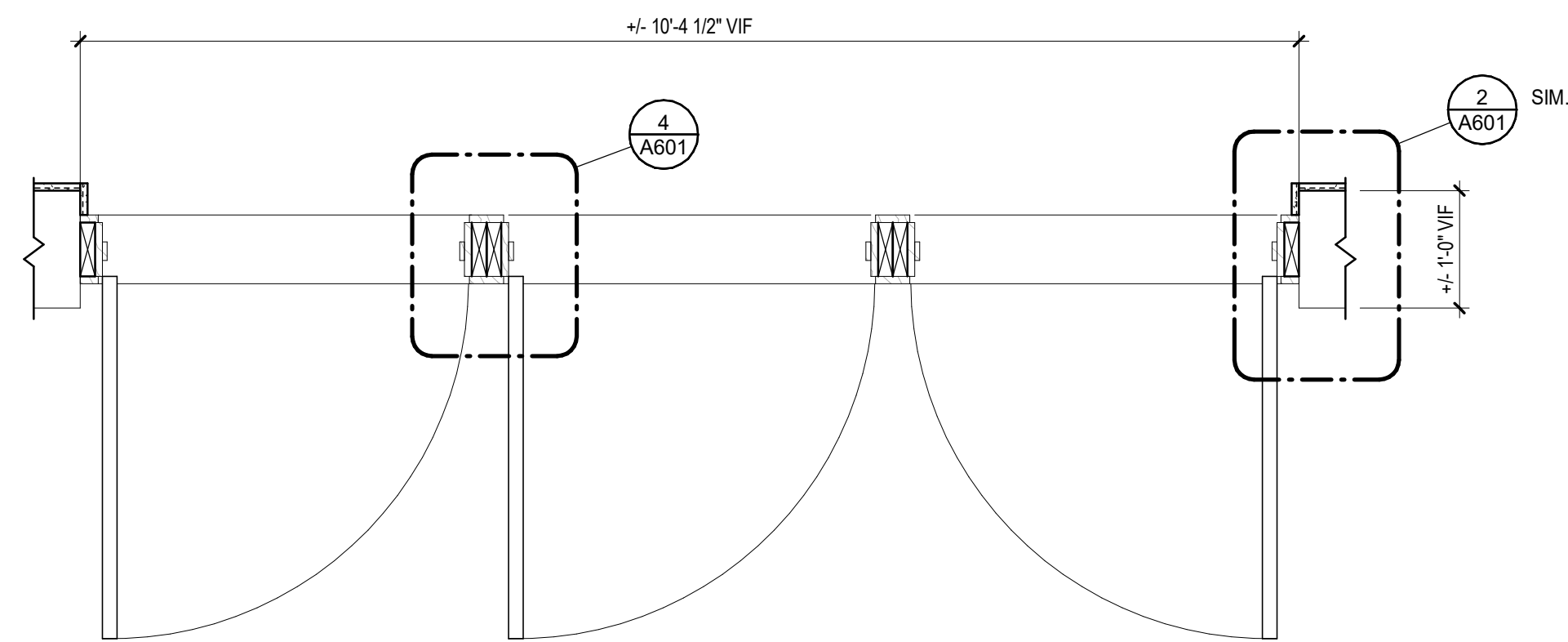
ISSUED FOR

PROJECT NO. 3221105

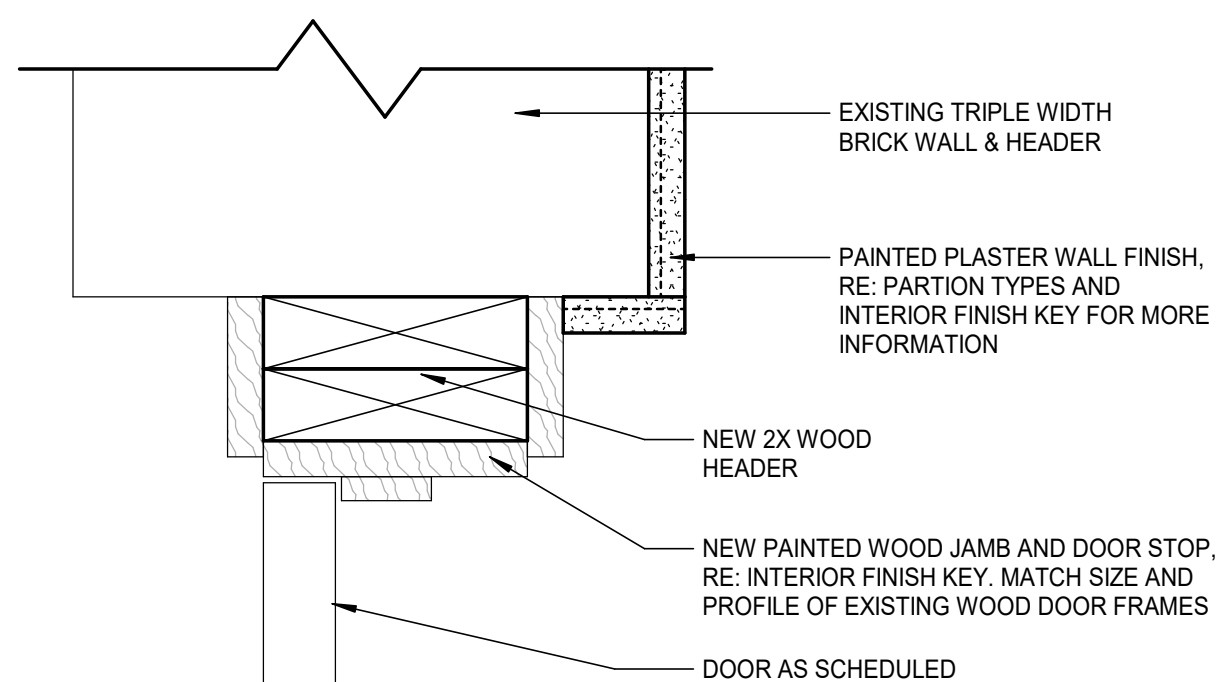
VERTICAL CIRCULATION

sheet number

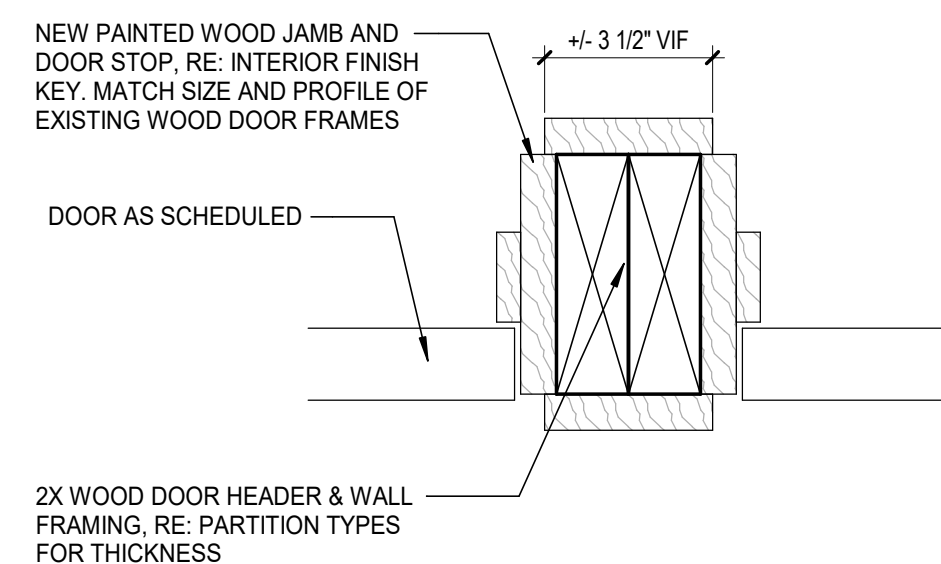
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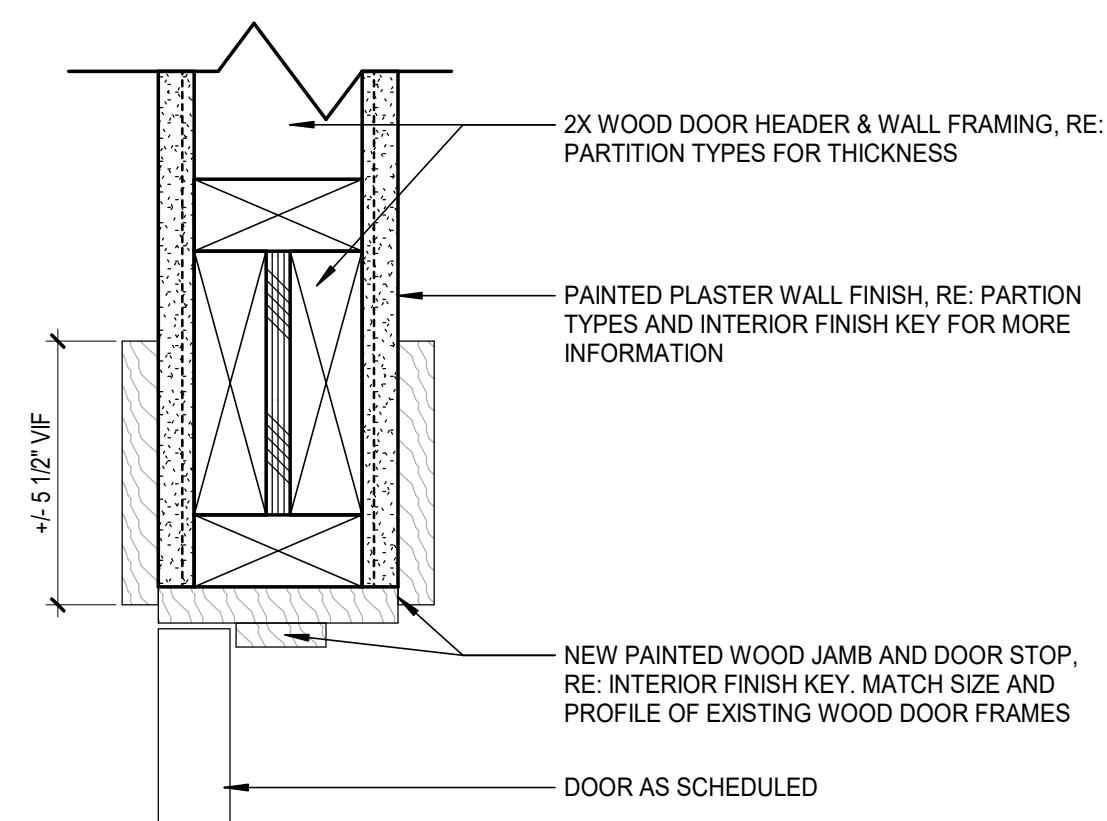
1 EXT. WOOD DOOR @ ARCADE ENTRANCE - PLAN DETAIL
3/4" = 1'-0"



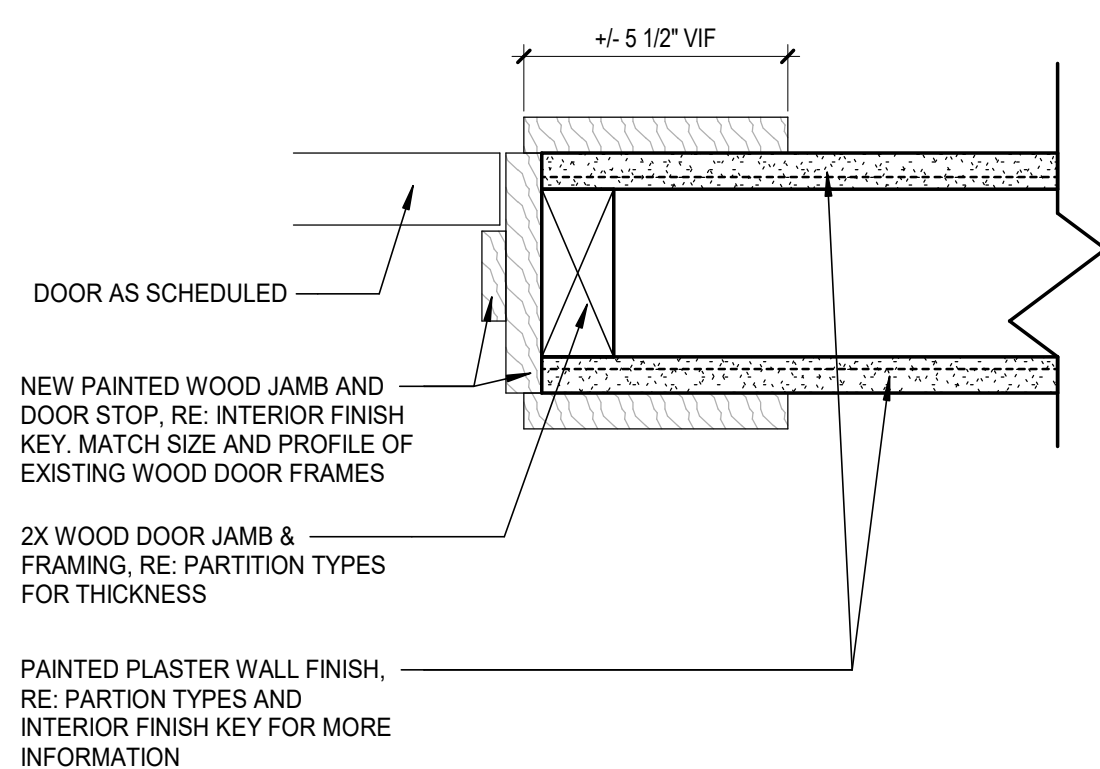
2 EXT. WOOD DOOR @ ARCADE ENTRANCE - HEAD
3" = 1'-0"



4 EXT. WOOD DOOR @ ARCADE ENTRANCE - JAMB
3" = 1'-0"



3 INT. WOOD DOOR - HEAD
3" = 1'-0"



5 INT. WOOD DOOR - JAMB
3" = 1'-0"

DOOR SCHEDULE

NO.	TYPE	WIDTH	HEIGHT	MATERIAL	FRAME	RATING	INSULATED	ACCESS CONTROL	NOTE	COMMENTS
L	L	3'-0"	6'-7"	AL	AL				1	
L	L	3'-0"	6'-3 11/32"	AL	AL				1	
L	L	4'-4"	6'-7"	AL	AL				1	
100.1	G	3'-0"	7'-0"	WD	HM					NEW
100.2	G	3'-0"	7'-0"	WD	HM					NEW
100.3	G	3'-0"	7'-0"	WD	HM					NEW
100.5	C	3'-0"	7'-0"	WD	HM					EXISTING TO REMAIN
100.6	A	3'-0"	7'-0"	WD	HM					EXISTING TO REMAIN
100A	F	6'-0"	7'-0"	HM	HM					EXISTING TO REMAIN
100D	F	6'-8"	7'-0"	HM	HM					EXISTING TO REMAIN
101	C	3'-0"	7'-0"	WD	WD					EXISTING TO REMAIN
101.1	J	3'-0"	7'-0"	WD	WD					EXISTING TO REMAIN, CASED OPENING
102.1	C	3'-0"	7'-0"	WD	WD					EXISTING TO REMAIN
102.2	A	3'-0"	7'-0"	WD	WD					EXISTING TO REMAIN
102.3	J	3'-0"	7'-0"	WD	WD					EXISTING TO REMAIN, CASED OPENING
103.1	C	3'-0"	7'-0"	WD	WD					EXISTING TO REMAIN
103.3	A	3'-0"	7'-0"	WD	WD					EXISTING TO REMAIN
104.1	C	3'-0"	7'-0"	WD	WD					EXISTING TO REMAIN
104.3	A	3'-0"	7'-0"	WD	WD					NEW, MATCH EXISTING DOOR AND HARDWARE
104.4	A	3'-0"	7'-0"	WD	WD					EXISTING TO REMAIN
104.5	A	3'-0"	7'-0"	WD	WD					EXISTING TO REMAIN
105.1	C	3'-0"	7'-0"	WD	WD					EXISTING TO REMAIN
105.2	C	3'-0"	7'-0"	WD	WD					NEW, MATCH EXISTING DOOR AND HARDWARE
106.1	C	3'-0"	7'-0"	WD	WD					EXISTING TO REMAIN
106.2	C	3'-0"	7'-0"	WD	WD					EXISTING TO REMAIN
107.1	C	3'-0"	7'-0"	HM	HM		Y			EXISTING TO REMAIN
107.2	C	3'-0"	7'-0"	HM	HM		Y			EXISTING TO REMAIN
108.1	A	3'-0"	7'-0"	WD	HM					EXISTING TO REMAIN
108.2	A	3'-0"	7'-0"	WD	HM					EXISTING TO REMAIN
108.3	E	6'-0"	7'-0"	HM	HM					EXISTING TO REMAIN
109	A	3'-0"	7'-0"	WD	HM					RELOCATED FROM EXISTING LOCATION
109.1	C	3'-0"	7'-0"	WD	WD					EXISTING TO REMAIN
109.2	A	3'-0"	7'-0"	WD	WD					EXISTING TO REMAIN
109.3	A	3'-0"	7'-0"	WD	WD					EXISTING TO REMAIN
110	A	3'-0"	7'-0"	WD	HM					RELOCATED FROM EXISTING LOCATION
110.1	C	3'-0"	7'-0"	WD	WD					EXISTING TO REMAIN
110.2	A	3'-0"	7'-0"	WD	WD					EXISTING TO REMAIN
110.3	A	3'-0"	7'-0"	WD	WD					EXISTING TO REMAIN
111	C	3'-0"	7'-0"	WD	WD					EXISTING TO REMAIN
112	A	3'-0"	7'-0"	WD	WD					EXISTING TO REMAIN
112A	A	3'-0"	7'-0"	WD	WD					EXISTING TO REMAIN
113	A	3'-0"	7'-0"	WD	WD					NEW, MATCH EXISTING DOOR AND HARDWARE
114	A	3'-0"	7'-0"	WD	WD					NEW, MATCH EXISTING DOOR AND HARDWARE
116	C	3'-0"	7'-0"	WD	WD					EXISTING TO REMAIN
117	C	3'-0"	7'-0"	WD	WD					EXISTING TO REMAIN
118.1	C	3'-0"	7'-0"	HM	HM		Y			EXISTING TO REMAIN
118.2	C	3'-0"	7'-0"	HM	HM		Y			EXISTING TO REMAIN
200.1	D	3'-0"	7'-0"	HM	HM		Y			EXISTING TO REMAIN
200.2	D	3'-0"	6'-8"	HM	HM		Y			EXISTING TO REMAIN
200.5	A	3'-0"	7'-0"	WD	WD					EXISTING TO REMAIN
201	C	3'-0"	7'-0"	WD	WD					EXISTING TO REMAIN
202	A	3'-0"	7'-0"	WD	WD					EXISTING TO REMAIN
203	C	3'-0"	7'-0"	WD	WD					EXISTING TO REMAIN
204.1	C	3'-0"	7'-0"	WD	WD					EXISTING TO REMAIN
204.2	A	3'-0"	7'-0"	WD	WD					EXISTING TO REMAIN
205	C	3'-0"	7'-0"	WD	WD					EXISTING TO REMAIN
206.1	B	6'-0"	7'-0"	WD	HM					EXISTING TO REMAIN
206.2	G	3'-0"	7'-0"	WD	HM					NEW, MATCH EXISTING DOOR AND HARDWARE
206.3	G	3'-0"	7'-0"	WD	HM					NEW, MATCH EXISTING DOOR AND HARDWARE
206.4	B	6'-0"	7'-0"	WD	HM					EXISTING TO REMAIN
207.1	A	3'-0"	7'-0"	WD	WD					EXISTING TO REMAIN
207.2	A	3'-0"	7'-0"	WD	WD					EXISTING TO REMAIN
208.1	C	3'-0"	7'-0"	WD	WD					EXISTING TO REMAIN
208.2	A	3'-0"	7'-0"	WD	WD					EXISTING TO REMAIN
208.3	A	3'-0"	7'-0"	WD	WD					EXISTING TO REMAIN
209	C	3'-0"	7'-0"	WD	WD					EXISTING TO REMAIN
212	C	3'-0"	7'-0"	HM	HM		Y			EXISTING TO REMAIN
213	C	3'-0"	7'-0"	HM	HM		Y			EXISTING TO REMAIN
218	A	3'-0"	7'-0"	WD	WD					EXISTING TO REMAIN
219	A	3'-0"	7'-0"	WD	WD					EXISTING TO REMAIN
225	A	3'-0"	7'-0"	WD	WD					NEW, CASED OPENING
300	A	3'-0"	7'-0"	WD	HM					EXISTING TO REMAIN
301	A	3'-0"	7'-0"	WD	HM					EXISTING TO REMAIN

GENERAL NOTES

- DOOR MANUFACTURER TO FIELD VERIFY ALL DOOR SIZES BASED ON JAMB OPENING
- ALL FIRE-RATED DOORS SHALL BEAR A LABEL FROM AN APPROVED AGENCY
- REFERENCE SPECIFICATIONS FOR DESCRIPTION OF DOOR HARDWARE SETS
- ALL GLASS IN FIRE-RATED DOORS SHALL BE FIRE RATED CERAMIC GLAZING

DOOR SCHEDULE NOTES

- DOOR AND FRAME ARE PART OF A STOREFRONT ASSEMBLY

ABBREVIATION LEGEND

AL ALUMINUM
AN ANODIZED
GL GLASS
HM HOLLOW METAL
PT PAINTED, RE: FINISH SCHEDULE
WD SOLID CORE WOOD
SF STOREFRONT
T TEMPERED

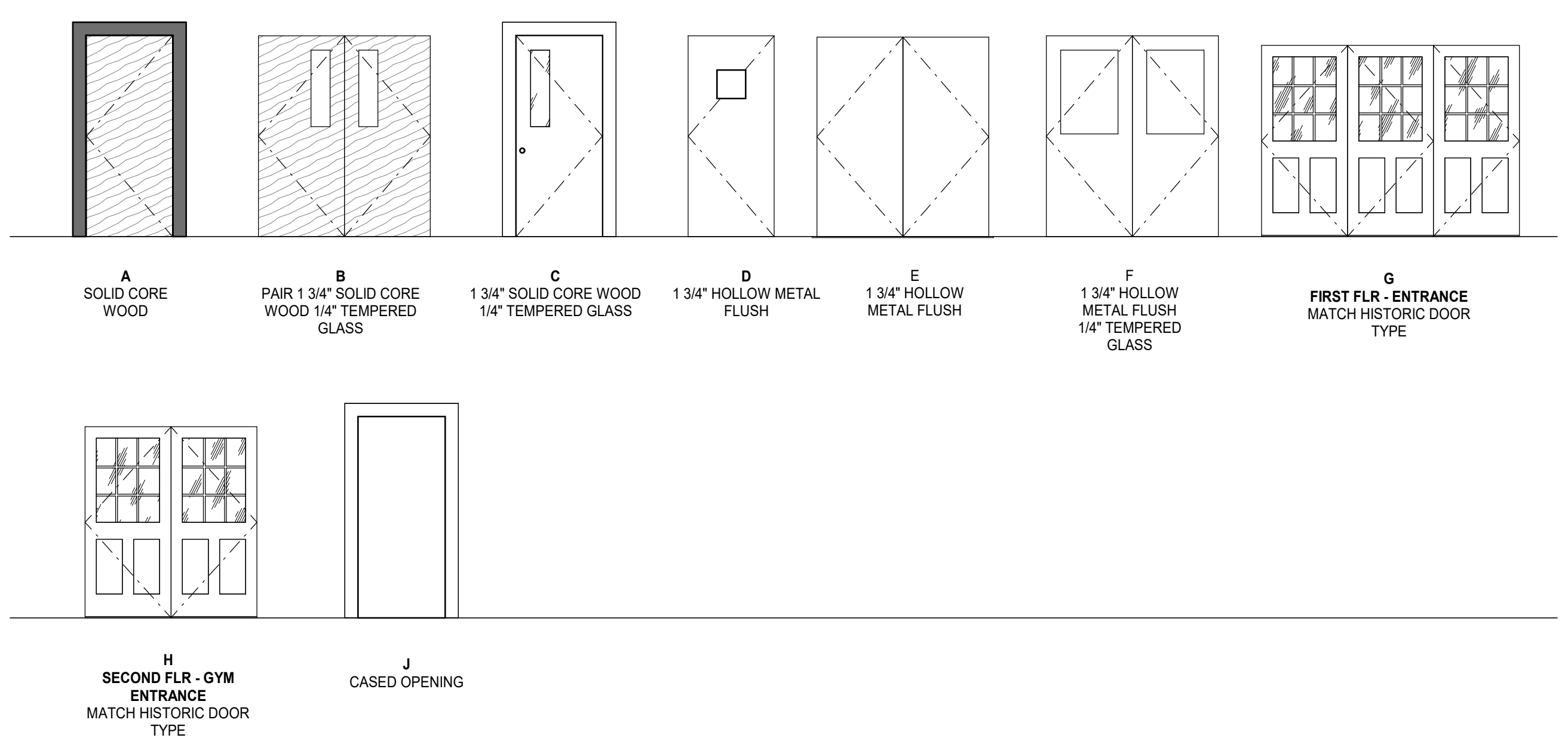
INSULATED GLASS (IG) TYPES

IG-1: LOW E-COATED, CLEAR INSULATING GLASS

INTERIOR GLAZING (GL) TYPES

GL-1: 1/4" INTERIOR GLAZING

DOOR FRAME TYPES			
Key Name	Frame Type	Finish	Comments
1	HOLLOW METAL		
2	STOREFRONT		



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J.I. WATSON HISTORICAL BUILDING - HURRICANE REPAIRS (HL-060-03)

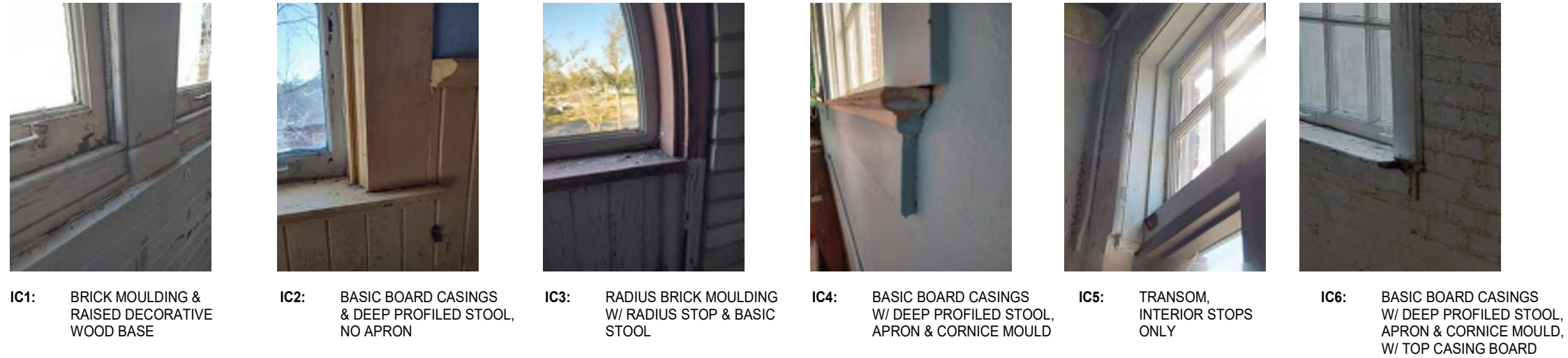
CALCASIEU PARISH SCHOOL BOARD
201 E 1ST ST., IOWA, LA 70647

No.	Description	Date

DATE: 08/23/2024
PHASE: BID DOCUMENTS
ISSUED FOR:
PROJECT NO.: 3221105

DOOR SCHEDULE
sheet number
A601

WINDOW TYPE LEGEND



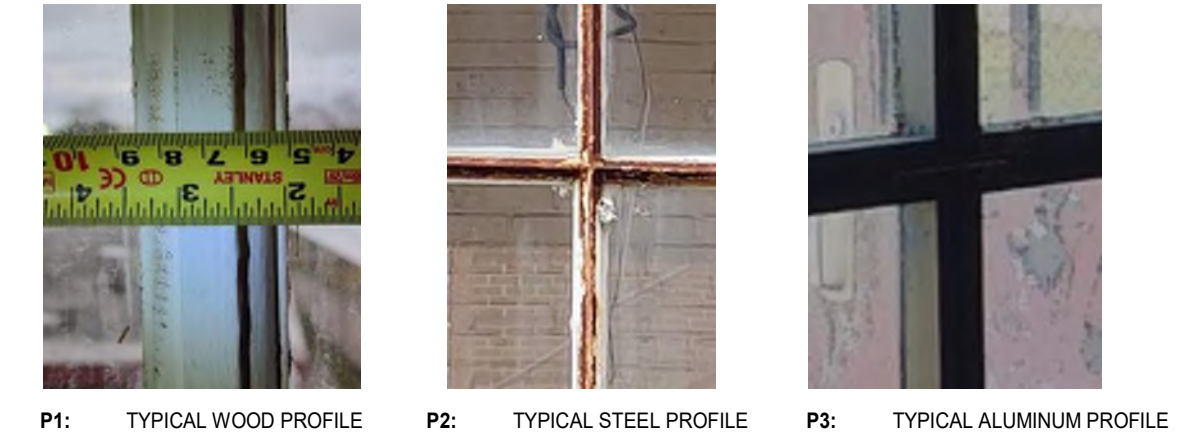
IC1: BRICK MOUNDING & RAISED DECORATIVE WOOD BASE
 IC2: BASIC BOARD CASINGS & DEEP PROFILED STOOL, NO APRON
 IC3: RADIUS BRICK MOUNDING W/ RADIUS STOP & BASIC STOOL
 IC4: BASIC BOARD CASINGS W/ DEEP PROFILED STOOL, APRON & CORNICHE MOULD
 IC5: TRANSOM, INTERIOR STOPS ONLY
 IC6: BASIC BOARD CASINGS W/ DEEP PROFILED STOOL, APRON & CORNICHE MOULD, W/ TOP CASING BOARD



EC1: BRICK MOUNDING @ AT HEAD & JAMBS
 EC2: BRICK MOUNDING @ AT HEAD & JAMBS W/ BASIC FLAT MULLION CASING DIVIDERS
 EC3: BRICK MOUNDING @ AT HEAD & JAMBS W/ DECORATIVE PANEL TYPE CASING DIVIDING PANEL, FROM WINDOWS BENEATH



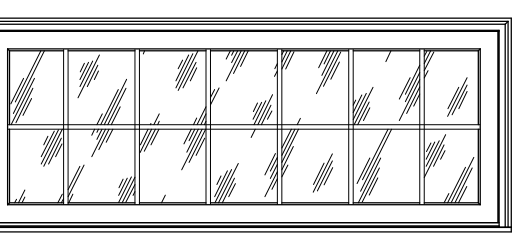
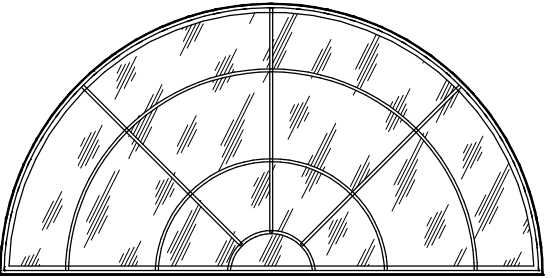
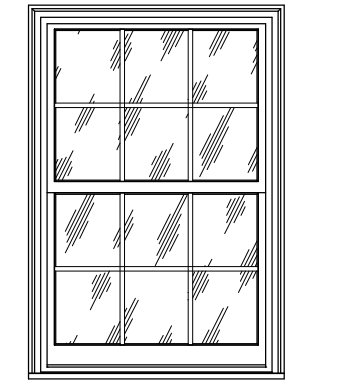
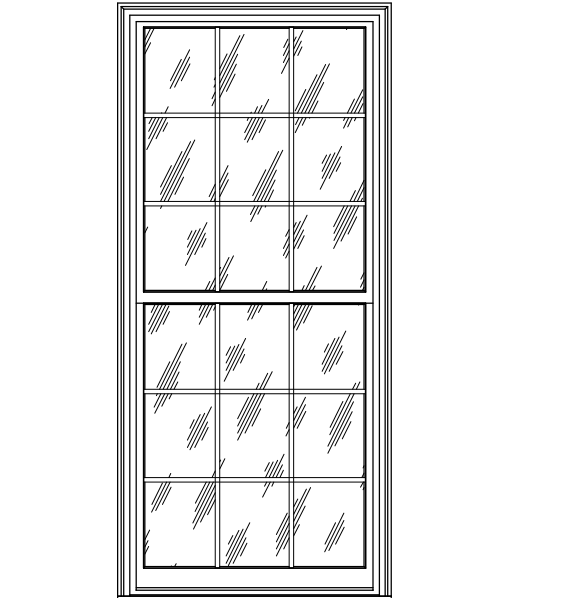
H1: LATCH LOCK, TAPE BALANCE, TWO LIFTS
 H2: STEEL HOPPER CASEMENT & LATCH
 H3: TRADITIONAL LOCK, TAPE BALANCE, TWO LIFTS
 WINDOW LIFT (TYPICAL)



P1: TYPICAL WOOD PROFILE
 P2: TYPICAL STEEL PROFILE
 P3: TYPICAL ALUMINUM PROFILE

WINDOW ABBREVIATIONS

SH: SINGLE HUNG DH: DOUBLE HUNG STH: STEEL + HOPPER WC: WOOD CASEMENT WS: WOOD STATIONARY SS: STEEL STATIONARY TS: TRANSOM HP: HOPPER BM: BRICK MOUNDING UD: UPPER SASH WD: WOOD	LS: LOWER SASH TR: TOP RAIL MR: MEETING RAIL BR: BOTTOM RAIL PT: PAINTED FAN LITE FL: FAN LITE AC: AIR CONDITIONER UNIT TB: TAPE BALANCE BS: BRID STOP AL: ALUMINUM
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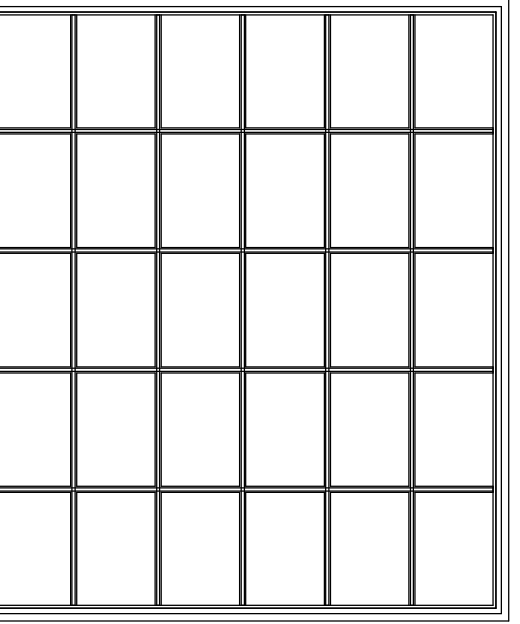
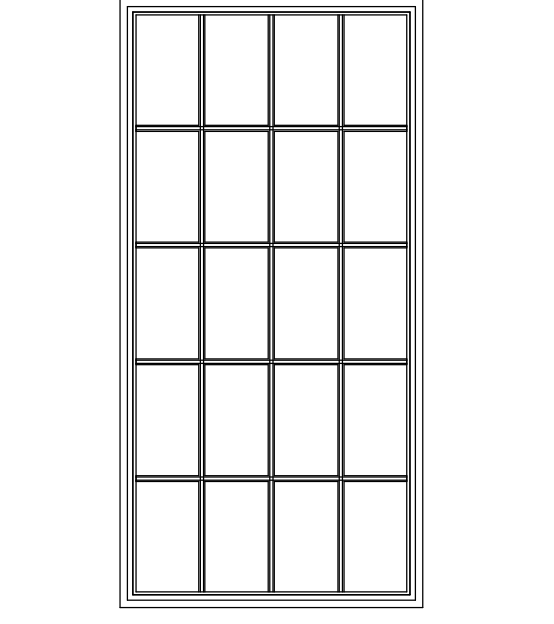
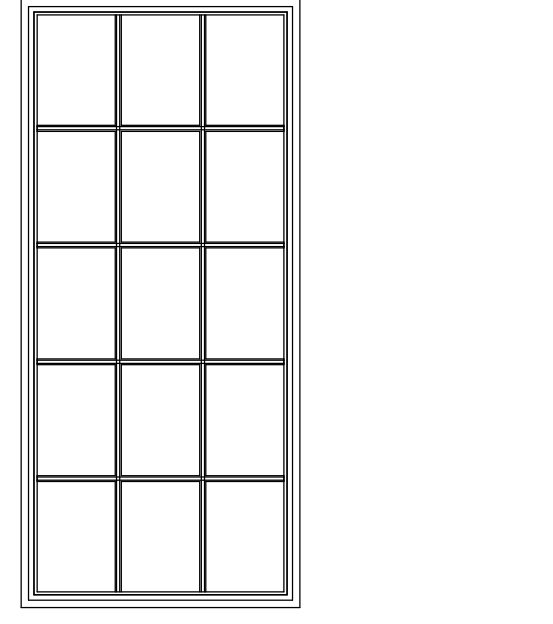
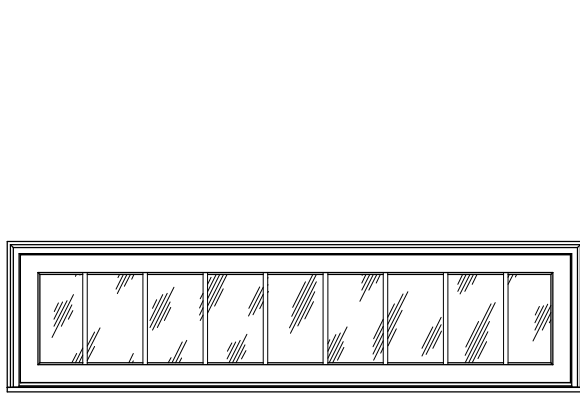


A
 DIMENSIONS: +/- 46" x 101" (V/F)
 TYPE: DH
 MATERIAL: PT / WD
 LITE DIMENSIONS: +/- 11" x 14" (V/F)
 GLASS TYPE: 3/16" ANNEALED
 PROFILE: P1
 FUNCTIONALITY: TB

B
 DIMENSIONS: +/- 45" x 65" (V/F)
 TYPE: DH
 MATERIAL: PT / WD
 LITE DIMENSIONS: +/- 11" x 14" (V/F)
 GLASS TYPE: 3/16" ANNEALED
 PROFILE: P1
 FUNCTIONALITY: TB

C
 DIMENSIONS: +/- 94" x 52" (V/F)
 TYPE: FL
 MATERIAL: PT / WD
 LITE DIMENSIONS: VARIES (V/F)
 GLASS TYPE: 3/16" ANNEALED
 PROFILE: P1
 FUNCTIONALITY: FIXED

D
 DIMENSIONS: +/- 86" x 34" (V/F)
 TYPE: TS
 MATERIAL: PT / WD
 LITE DIMENSIONS: +/- 11" x 14" (V/F)
 GLASS TYPE: 3/16" ANNEALED
 PROFILE: P1
 FUNCTIONALITY: FIXED

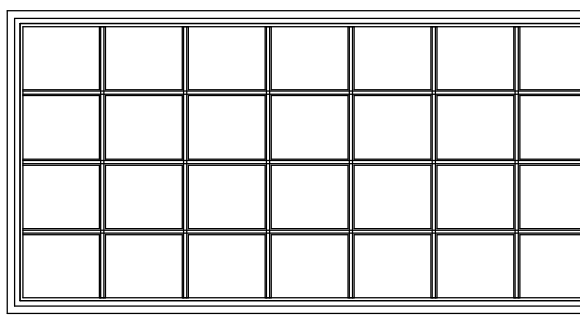


E
 DIMENSIONS: +/- 88" x 24" (V/F)
 TYPE: TS
 MATERIAL: PT / WD
 LITE DIMENSIONS: +/- 11" x 14" (V/F)
 GLASS TYPE: 3/16" ANNEALED
 PROFILE: P1
 FUNCTIONALITY: FIXED

F
 DIMENSIONS: +/- 44" x 103" (V/F)
 TYPE: STH
 MATERIAL: PT / STEEL
 LITE DIMENSIONS: +/- 11" x 14" (V/F)
 GLASS TYPE: 3/16" ANNEALED
 PROFILE: P2
 FUNCTIONALITY: HP

G
 DIMENSIONS: +/- 58" x 103" (V/F)
 TYPE: STH
 MATERIAL: PT / STEEL
 LITE DIMENSIONS: +/- 11" x 14" (V/F)
 GLASS TYPE: 3/16" ANNEALED
 PROFILE: P2
 FUNCTIONALITY: HP

H
 DIMENSIONS: +/- 87" x 102" (V/F)
 TYPE: STH
 MATERIAL: PT / STEEL
 LITE DIMENSIONS: +/- 11" x 14" (V/F)
 GLASS TYPE: 3/16" ANNEALED
 PROFILE: P2
 FUNCTIONALITY: TBHP



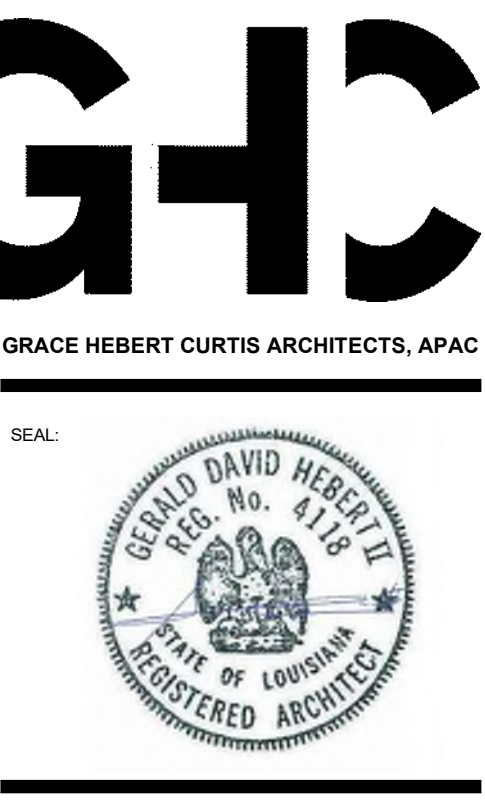
I
 DIMENSIONS: +/- 58" x 136" (V/F)
 TYPE: AL
 MATERIAL: ALUMINUM
 LITE DIMENSIONS: +/- 11" x 14" (V/F)
 GLASS TYPE: 3/16" ANNEALED
 PROFILE: P3
 FUNCTIONALITY: NA

WINDOW SCHEDULE

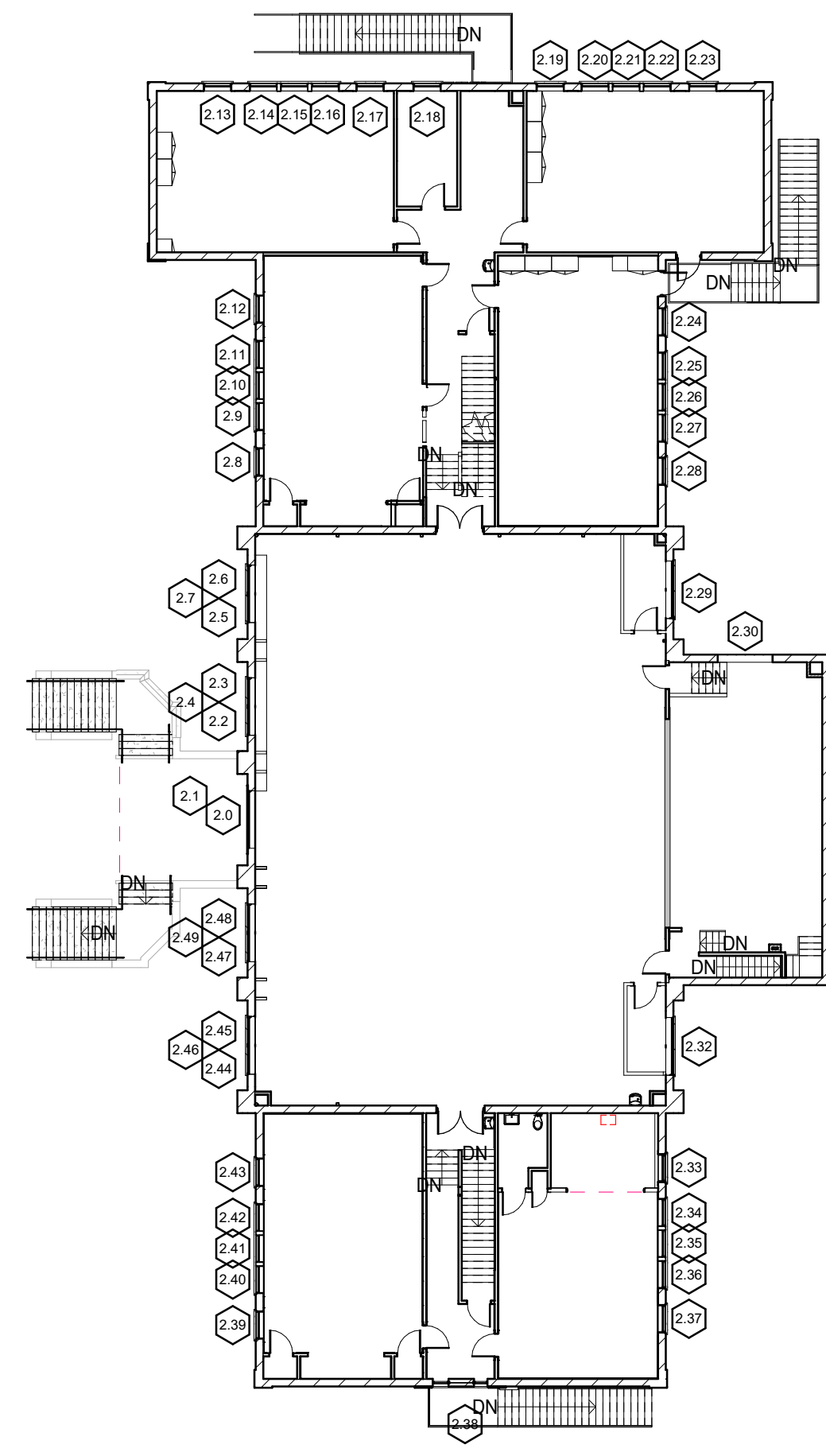
No.	Type	Frame Type	# of Glass Pane Replacement	Lockset/Latch Reproduction	Sash Reproduction	Wood Repairs	Muntin Reproduction	Stool Reproduction	Other Repairs
1.0	B	Wood	1						
1.1	B	Wood	1	Latch	Lower				remove existing AC Unit & infill opening to match existing window
1.2	B	Wood	1		Lower				remove existing AC Unit & infill opening to match existing window
1.3	B	Wood							
1.4	A	Wood	2	Lockset		7			
1.5	A	Wood	3			7			
1.6	A	Wood	2	Lockset	Lower	4			remove existing AC Unit & infill opening to match existing window
1.7	A	Wood	3			4	2		
1.8	A	Wood	3			5	2		
1.9	A	Wood	2			3			
1.10	A	Wood	2			2			
1.11	A	Wood	2			4			
1.12	A	Wood	2			2	2		
1.13	A	Wood	2	Lock	Lower	3	2	1	
1.14	A	Wood	2			1	2	1 Dutchman	
1.15	A	Wood	2	Latch		1			
1.16	A	Wood	1		Lower	1			remove existing AC Unit & infill opening to match existing window
1.17	A	Wood	2	Latch		2	1		
1.18	A	Wood	3			3	2		
1.19	A	Wood	2			1			
1.20	A	Wood	2	Lock		4			
1.21	A	Wood	2	Lock		3	1	1	remove existing AC Unit & infill opening to match existing window
1.22	A	Wood	5			4			
1.23	A	Wood	6	Lock		5	3		
1.27	G	Steel							
1.28	F	Steel							
1.29	F	Steel							Hopper refabrication; remove existing AC Unit & infill opening to match existing window
1.30	G	Steel							
1.31	F	Steel							Hopper refabrication; remove existing AC Unit & infill opening to match existing window
1.32	F	Steel							
1.33	G	Steel							
1.35	K	Aluminum							remove existing AC Unit & infill opening to match existing window
1.36	K	Aluminum							remove existing AC Unit & infill opening to match existing window
1.37	A	Wood	2	Lock		5		1 Dutchman	
1.38	A	Wood	3	Lock		3		1 Dutchman	
1.39	A	Wood	1	Lock	Lower	5			remove existing AC Unit & infill opening to match existing window
1.40	A	Wood	3	Lock		4			
1.41	A	Wood	2			5			
1.42	A	Wood	2	Lock		5	2		
1.43	A	Wood	2			5		1 Dutchman	
1.44	A	Wood	1	Lock		3			remove existing AC Unit & infill opening to match existing window
1.45	A	Wood	4			3			
1.46	A	Wood	4	Lock		5			remove existing AC Unit & infill opening to match existing window
1.47	B	Wood			Lower			1	
1.48	B	Wood	6						
1.49	B	Wood	2						
1.50	B	Wood	1					1	
1.51	A	Wood							Full reproduction - 9/9
2.0	D	Wood							
2.1	C	Wood	3						
2.2	A	Wood							
2.3	A	Wood							
2.4	C	Wood							
2.5	A	Wood							
2.6	A	Wood							
2.7	C	Wood							
2.8	A	Wood	2	Latch					
2.9	A	Wood	2	Latch					
2.10	A	Wood	2		Lower				remove existing AC Unit & infill opening to match existing window
2.11	A	Wood	2	Lift					
2.12	A	Wood	2	Latch					
2.13	A	Wood							TSP sash scrub
2.14	A	Wood	2						
2.15	A	Wood	1		Lower				remove existing AC Unit & infill opening to match existing window
2.16	A	Wood	2						
2.17	A	Wood	2						
2.18	A	Wood	2						
2.19	A	Wood	2						
2.20	A	Wood	3						
2.21	A	Wood	2		Lower				remove existing AC Unit & infill opening to match existing window
2.22	A	Wood	3						
2.23	A	Wood	2						
2.24	A	Wood	2						
2.25	A	Wood	2						
2.26	A	Wood	1	Latch	Lower				remove existing AC Unit & infill opening to match existing window
2.27	A	Wood	2					1 Dutchman	Replace sill
2.28	A	Wood	2	Latch					
2.29	C	Wood							
2.29a	A	Wood							
2.29b	A	Wood							
2.30	H	Steel							
2.31	H	Steel							Full reproduction
2.32	C	Wood							
2.32a	A	Wood							
2.32b	A	Wood							
2.33	A	Wood	2	Latch					Full reproduction - 9/9
2.34	A	Wood	2	Latch					
2.35	A	Wood	1		Lower			1	remove existing AC Unit & infill opening to match existing window
2.36	A	Wood	3					1 Dutchman	
2.37	A	Wood	3					1	
2.38	E	Wood	1						Epoxy repair. Remove moulding beneath exterior sill. Remove all caulking smear.
2.39	A	Wood	3	Latch					
2.40	A	Wood	2						
2.41	A	Wood	1		Lower			1	remove existing AC Unit & infill opening to match existing window
2.42	A	Wood	3						
2.43	A	Wood	2	Latch					
2.44	A	Wood							
2.45	A	Wood							
2.46	C	Wood							
2.47	A	Wood							
2.48	A	Wood							
2.49	C	Wood							
QQ	PP								

WINDOW GENERAL NOTES

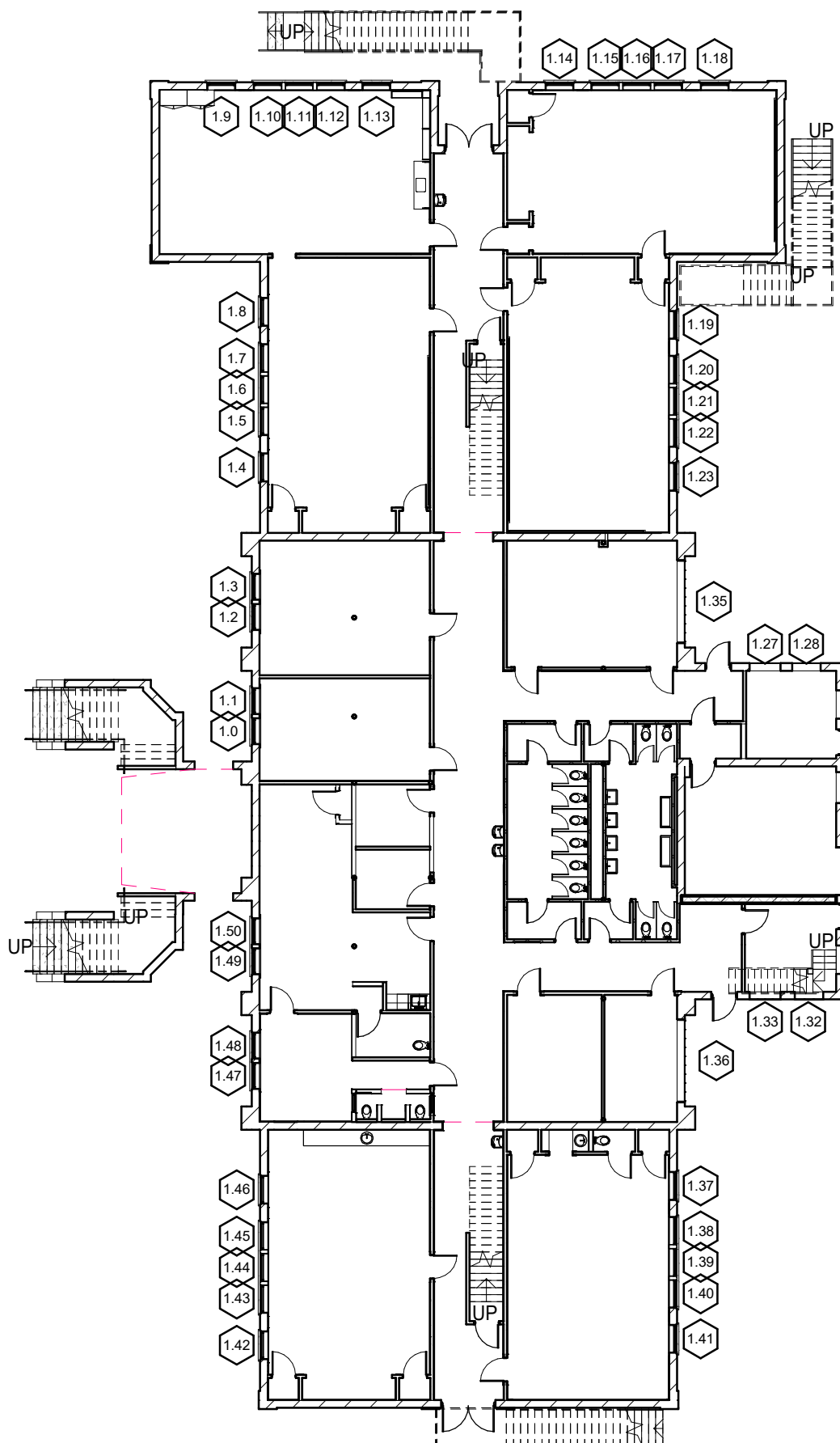
- CONTRACTOR TO COMPLETELY CLEAN, PREP, AND REPAINT ALL WOOD AND STEEL WINDOWS TO INCLUDE ALL RELATED TRIM, CASING, SILLS, ACCESSORIES OR OTHER PAINTED COMPONENTS. CONTRACTOR TO ENSURE THAT WINDOWS ARE PAINTED IN SUCH AS WAY THAT ALL OPERABLE PARTS ARE FUNCTIONAL.
- CONTRACTOR TO INSTALL NEW WEATHERSTRIPPING AT ALL WINDOWS
- CONTRACTOR TO CONDUCT "BASELINE RESTORATION" OF ALL EXISTING WOOD AND STEEL WINDOWS. REFER TO WINDOW SCHEDULE FOR ADDITIONAL REPAIR ITEMS BEYOND THAT OF THE BASELINE RESTORATION. BASELINE RESTORATION REPAIRS ARE TO INCLUDE THE FOLLOW SCOPE DESCRIPTION:
 - BASELINE RECOMMENDATIONS:** BASELINE RESTORATION COSTS ARE THE BASELINE COST ESTIMATES BEFORE ANY ADDITIONAL REPAIR ITEMS PER WINDOW. REFER TO ALL DRAWINGS AND SPECIFICATIONS AND COORDINATE TO IDENTIFY ADDITIONAL WORK TO THE ITEMS BELOW.
 - A. WOOD TRANSOMS AND STATIONARY FACILITIES** NOTE: WOOD TRANSOMS ARE ALL STATIONARY
 - CONTRACTOR TO REMOVE THE TRANSOM AND LABEL THE SASH AND INTERIOR STOPS.
 - ALL INTERIOR STOPS TO HAVE PAINT REMOVED TO BARE WOOD, SANDED, PRIMED, AND PAINTED.
 - REMOVE ALL TOP GLAZING, LABEL AND REMOVE ALL GLASS, AND CLEAR GLAZING RABBIT OF ALL OLD GLAZING (INCLUDING THE BED GLAZING).
 - REMOVE ALL PAINT TO BARE WOOD FROM THE TRANSOM (INSIDE AND OUT) AND SAND, BEING CAREFUL TO PRESERVE PROFILE DETAILS.
 - CONTRACTOR TO PRETREAT WOOD WITH A COMBINATION OF 1 PART TURPENTINE (OR NAPHTHA) WITH 1 PART PENETROL. ALLOW THE PRETREATMENT TO DRY FOR A MINIMUM OF 1 HOUR, AND APPLY AN OIL BASED PRIMER. AFTER PRIMER IS FULLY CURED, SAND SURFACE ACCORDING TO MANUFACTURER REQUIREMENTS IN PREPARATION TO PAINT.
 - THOROUGHLY CLEAN EXISTING INTACT GLASS WITH WATER SOAK AND DOUBLE SIDED SCRAPERS.
 - REPLACE MISSING OR BROKEN GLASS WITH 3/16" THICK (VERIFY IN FIELD TO MATCH EXISTING THICKNESS) ANNEALED GLASS.
 - RE-GLAZE SASH WITH A TRADITIONAL OIL BASED PUTTY (SUCH AS SARCO TYPE M), TO INCLUDE BED GLAZING AND TOP GLAZING. TOP GLAZING TO BE BEVELD.
 - ALLOW WINDOW GLAZING TO CURE (PER GLAZING MANUFACTURER'S REQUIREMENTS) AND HAND PAINT WITH (2) COATS OF ACRYLIC PAINT, AND WITHOUT THE USE OF PAINTERS TAPE OR GLASS FILMS. CONTRACTOR TO ENSURE THAT THE PAINT SEAL IS NOT BROKEN ON GLASS WITH THE REMOVAL OF PAINTERS TAPE OR GLASS FILMS.
 - ALL WOOD JAMBS, CASING AND SILL SHOULD RECEIVE THE SAME TREATMENT AS THE SASH.
 - CONTRACTOR TO AVOID USING ANY TYPE OF FILLER TO REPAIR ANY WINDOW COMPONENT. CONTRACTOR TO NOTIFY THE ARCHITECT IF CAVERNOUS CHECKS ON SILL ARE FOUND WHICH COULD HOLD WATER. IF APPROVED BY THE ARCHITECT, A LATEX SEALANT WILL BE USED TO FILL THESE CHECKS. ALL JOINTS IN THE JAMB SHOULD RECEIVE A HIGH QUALITY ACRYLIC CAULK SEAL.
 - CONTRACT TO SEAL TO THE TRANSOM ON THE INTERIOR SIDE ONLY. DO NOT SEAL THE EXTERIOR OF THE TRANSOM AS THIS COULD CAUSE MOISTURE ENTRAPMENT AND PREMATURE ROT.
 - B. DOUBLE HUNG WOOD WINDOWS**
 - CONTRACTOR TO REMOVE THE TRANSOM AND LABEL THE SASH AND INTERIOR STOPS.
 - ALL INTERIOR STOPS TO HAVE PAINT REMOVED TO BARE WOOD, SANDED, PRIMED, AND PAINTED.
 - REMOVE ALL TOP GLAZING, LABEL AND REMOVE ALL GLASS, AND CLEAR GLAZING RABBIT OF ALL OLD GLAZING (INCLUDING THE BED GLAZING).
 - REMOVE ALL PAINT TO BARE WOOD FROM THE (INSIDE AND OUT) AND SAND, BEING CAREFUL TO PRESERVE PROFILE DETAILS.
 - CONTRACTOR TO PRETREAT WOOD WITH A COMBINATION OF 1 PART TURPENTINE (OR NAPHTHA) WITH 1 PART PENETROL. ALLOW THE PRETREATMENT TO DRY FOR A MINIMUM OF 1 HOUR, AND APPLY AN OIL BASED PRIMER. AFTER PRIMER IS FULLY CURED, SAND SURFACE ACCORDING TO MANUFACTURER REQUIREMENTS IN PREPARATION TO PAINT.
 - THOROUGHLY CLEAN EXISTING INTACT GLASS WITH WATER SOAK AND DOUBLE SIDED SCRAPERS.
 - REPLACE MISSING OR BROKEN GLASS WITH 3/16" THICK (VERIFY IN FIELD TO MATCH EXISTING THICKNESS) ANNEALED GLASS.
 - RE-GLAZE SASH WITH A TRADITIONAL OIL BASED PUTTY (SUCH AS SARCO TYPE M), TO INCLUDE BED GLAZING AND TOP GLAZING. TOP GLAZING TO BE BEVELD.
 - ALLOW WINDOW GLAZING TO CURE (PER GLAZING MANUFACTURER'S REQUIREMENTS) AND HAND PAINT WITH (2) COATS OF ACRYLIC PAINT, AND WITHOUT THE USE OF PAINTERS TAPE OR GLASS FILMS. CONTRACTOR TO ENSURE THAT THE PAINT SEAL IS NOT BROKEN ON GLASS WITH THE REMOVAL OF PAINTERS TAPE OR GLASS FILMS.
 - ALL WOOD JAMBS, CASING AND SILL SHOULD RECEIVE THE SAME TREATMENT AS THE SASH.
 - CONTRACTOR TO AVOID USING ANY TYPE OF FILLER TO REPAIR ANY WINDOW COMPONENT. CONTRACTOR TO NOTIFY THE ARCHITECT IF CAVERNOUS CHECKS ON SILL ARE FOUND WHICH COULD HOLD WATER. IF APPROVED BY THE ARCHITECT, A LATEX SEALANT WILL BE USED TO FILL THESE CHECKS. ALL JOINTS IN THE JAMB SHOULD RECEIVE A HIGH QUALITY ACRYLIC CAULK SEAL.
 - CONTRACT TO SEAL TO THE TRANSOM ON THE INTERIOR SIDE ONLY. DO NOT SEAL THE EXTERIOR OF THE TRANSOM AS THIS COULD CAUSE MOISTURE ENTRAPMENT AND PREMATURE ROT.
 - ALL PARTING BEADS, JAMBS, CASING AND SILL SHOULD RECEIVE THE SAME TREATMENT AS THE SASH. INTERIOR SIDE OF SASH AND INTERIOR CASINGS WOULD NOT NEED THE PRETREATMENT. WORN AWAY WOOD GRAIN IS NOT TO BE FILLED - UNLESS THERE ARE MORE CAVERNOUS CHECKS ON SILL WHICH COULD HOLD WATER.
 - CONTRACTOR TO NOTIFY THE ARCHITECT IF CAVERNOUS CHECKS ON SILL ARE FOUND WHICH COULD HOLD WATER. IF APPROVED BY THE ARCHITECT, A LATEX SEALANT WILL BE USED TO FILL THESE CHECKS. ALL JOINTS IN THE JAMB SHOULD RECEIVE A HIGH QUALITY ACRYLIC CAULK SEAL.
 - ALL JOINTS IN THE JAMB TO RECEIVE A HIGH QUALITY ACRYLIC CAULK SEAL.
 - INTERIOR CASING ELEMENTS SHOULD HAVE PAINT REMOVED DOWN TO BARE WOOD DUE TO THE USE OF PAST OIL PAINTS WHICH ARE NOT APPROPRIATE FOR HIGH WEATHER AND HIGH EXPANSION ITEMS LIKE WINDOWS.
 - REMOVE PAINT FROM ALL WINDOW HARDWARE SUCH AS LATCHES, LOCKS, AND LIFTS CAN HAVE COATINGS REMOVED WITH A 24 HOUR CROCK POT SOAK, FOLLOWED BY WIRE WHEEL, BUFFING AND A SPRAYED LACQUER SEAL. BECAUSE OF THE LARGE NUMBER OF WINDOWS, AND DIFFICULTY WITH LABELING, WINDOW HARDWARE DOES NOT NEED TO NECESSARILY RETURN TO ITS ORIGINAL WINDOW.
 - CONTRACTOR TO REMOVE AND REPLACE ALL TAPE BALANCES WITH MATCHING TAPE BALANCES.
 - CONTRACTOR TO INSTALL NEW INTERLOCKING ZINC WEATHERSTRIPPING, WITH VINYL COMPRESSION BULBS KERFERD INTO EVERY BOTTOM RAIL. INSTALL WEATHER STRIPPING AT ALL FOUR SIDES OF EVERY SASH.
 - CONTRACT TO INSTALL PERIMETER SEALS AT ALL JOINTS OF CASING TO INTERIOR WALL MATERIAL USING ACRYLIC CAULKING.
 - SASH ARE INSTALLED WITH DOUBLE HUNG FUNCTIONALITY.
 - C. STEEL WINDOWS**
 - ALL STEEL WINDOW WORK TO BE PERFORMED ON SITE WITHOUT REMOVING THE STEEL UNITS FROM THE MASONRY WALL. THE ONLY ELEMENT OF THESE STEEL WINDOWS TO BE REMOVED ARE THE INTEGRAL HOPPERS.
 - ALL OLD GLAZING, PAINT, AND GLASS TO BE REMOVED FROM THE STEEL FRAMES. CONTRACTOR TO TRADITIONAL GLAZING FOR STEEL WINDOWS COULD HAVE HAZARDOUS MATERIALS LIKE ASBESTOS FOR INCREASED FIRE RESISTANCE, AND SHOULD BE TESTED PRIOR TO REMOVING.
 - AS GLAZING ORIGINAL TO THE PRODUCTION OF STEEL WINDOWS IS KNOWN TO BE DIFFICULT TO ACCOMPLISH WITHOUT BREAKING THE EXISTING GLASS, THE CONTRACTOR IS TO PROVIDE UNIT COST FOR REPLACEMENT OF (1) 15" x 18" LITE OF GLASS AT STEEL WINDOW TYPE FOR USE AS NEEDED THROUGHOUT THE PROJECT.
 - CONTRACTOR TO THOROUGHLY SAND STEEL FRAMES TO REMOVE ALL PAINT AND CORROSION, AND CLEAN WITH AN ACIDIC AGENT. APPLY INDUSTRIAL METAL OIL PRIMER, AND FILL ANY IMPERFECTIONS WITH AN EPOXY FILLER SPECIFIED FOR STEEL.
 - GLASS TO BE GLAZED INTO LITES USING SASH CLIPS WITH GLAZING APPROPRIATE FOR STEEL WINDOWS - SUCH AS SARCO DUAL GLAZE. THIS GLAZING TAKES MUCH LONGER TO SKIN, BUT CAN SKIN OUTDOORS (UNLIKE SARCO TYPE M FOR WOOD SASH).
 - PRIMED STEEL ELEMENTS ARE TO BE SANDED AGAIN PRIOR TO PAINTING AND RECEIVE TWO COATS OF ACRYLIC EXTERIOR PAINT BY HAND TO ENSURE A PROPER GLASS TO GLAZING SEAL. CONTRACTOR TO ENSURE THAT THE PAINT SEAL IS NOT BROKEN ON GLASS WITH THE REMOVAL OF PAINTERS TAPE OR GLASS FILMS.
 - ALL STEEL WINDOW PERIMETERS TO HAVE OLD CAULK PERIMETER SEALS REMOVED AND RECEIVE NEW CAULK SEAL WHICH IS APPROPRIATE FOR METAL TO MASONRY JOINTS.
 - WHERE HOPPER HARDWARE IS MISSING, THESE ELEMENTS ARE TO BE REPLACED IN KIND. IF EXACT TYPE IS UNAVAILABLE FOR SALE OR PRODUCTION, HOPPER HARDWARE IS TO BE CUSTOM FABRICATED.
 - D. ADDITIONAL NOTES**
 - WHERE APPLICABLE, IF THERE IS MUNTIN ABRASION, THIS ABRASION CAN BE FILLED IN WITH A TWO PART EPOXY SYSTEM (SUCH AS ABATRON) AND THEN SCULPTED BY HAND WITH SAND PAPER. CONTRACTOR IS CONSULT WITH ARCHITECT PRIOR TO COMMENCING THIS TYPE OF REPAIR.
 - WHERE DAMAGED OR MISSING MUNTIN ARE TO BE REPRODUCED, REPRODUCTIONS TO BE EXACT REPLICAS OF EXISTING MUNTINS. WOOD SPECIES TO BE ACCOYA, OR SIMILAR WOOD LONG LIFE WOOD SPECIES. WOOD SPECIES IS TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL. CONTRACTOR IS CONSULT WITH ARCHITECT PRIOR TO COMMENCING THIS TYPE OF REPAIR.
 - INTERIOR WOOD DUTCHMANS CAN BE PERFORMED WITH A TRADITIONAL SPECIES SUCH AS VERTICAL GRAIN DOUGLAS FIR. DUTCHMANS SHOULD ALWAYS BE ADHERED WITH AN EPOXY ADHESIVE AND ADHESIVE FILLERS CAN BE USED FOR GAP FILLING PURPOSES. CONTRACTOR IS CONSULT WITH ARCHITECT PRIOR TO COMMENCING THIS TYPE OF REPAIR.
 - MOST INTERIOR SMALL REPAIRS TO CASINGS OR STOPS CAN RECEIVE AN EPOXY FILL SCULPT. WHEN DUTCHMANS ARE NOT NEEDED, CONTRACTOR IS CONSULT WITH ARCHITECT PRIOR TO COMMENCING THIS TYPE OF REPAIR.
 - WHEN REPLACING MISSING HARDWARE ELEMENTS, THERE MAY HAVE TO BE THE USE OF SALVAGED HARDWARE TO AVOID HARDWARE FINISH INCONSISTENCIES. CONTRACTOR IS CONSULT WITH ARCHITECT PRIOR TO COMMENCING FABRICATION OF HARDWARE ELEMENTS.
 - WHERE WINDOWS OR WINDOW COMPONENTS ARE SCHEDULED FOR REPRODUCTION, ELEMENTS ARE TO BE REPRODUCED TO HIGH ACCURACY. REPRODUCTIONS ARE TO BE FABRICATED AND ASSEMBLED IN A MANNER CONSISTENT WITH WINDOWS ORIGINAL TO THE PERIOD. DEVIATIONS FROM THIS MANNER OF REPRODUCTION WILL NOT BE ACCEPTED WITHOUT PRIOR APPROVAL FROM THE ARCHITECT AND THE OWNER.
 - CONTRACTOR TO CONSULT WITH THE ARCHITECT PRIOR TO COMMENCING WORK RESULTING IN INCREASED CONSTRUCTION COST. CHANGE REQUEST FOR WORK COMPLETED WITHOUT THE PRIOR APPROVAL OF THE ARCHITECT AND THE OWNER WILL NOT BE CONSIDERED FOR APPROVAL.



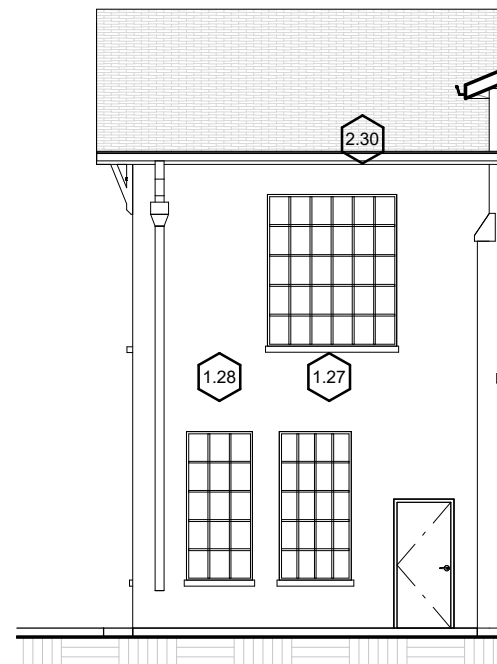
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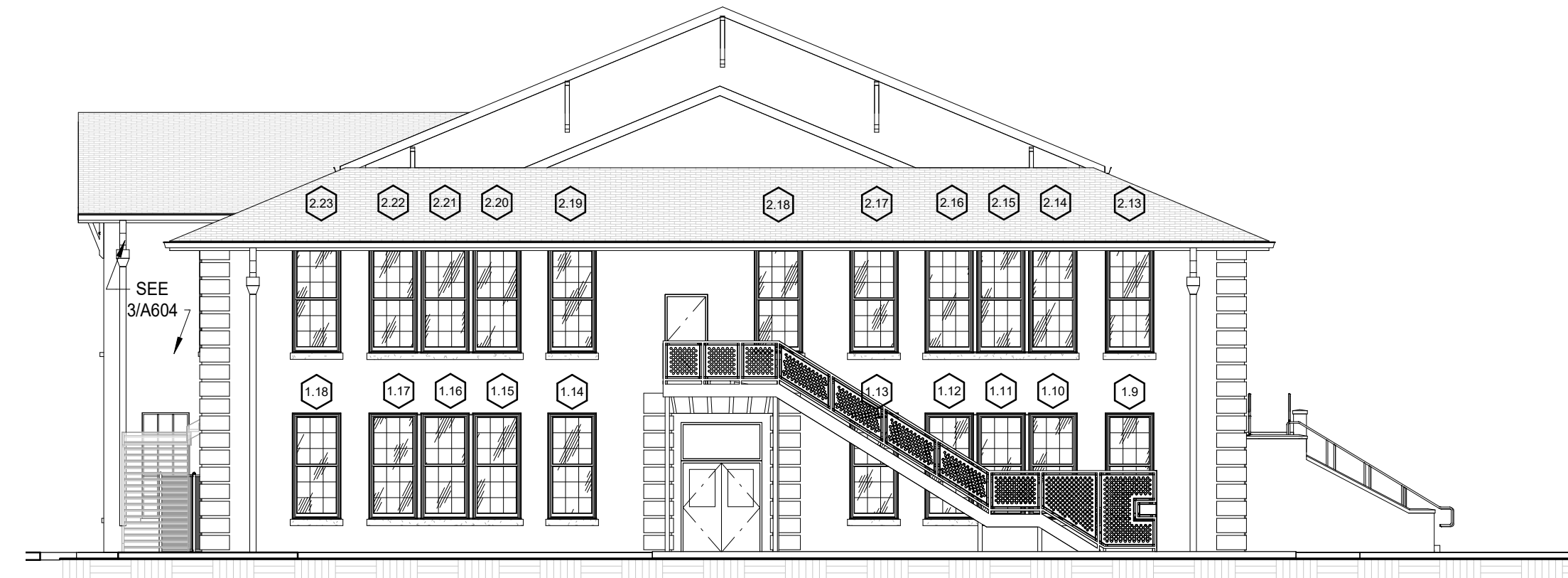
1 WINDOW NUMBER KEY - 2ND FLOOR PLAN
1" = 20'-0"



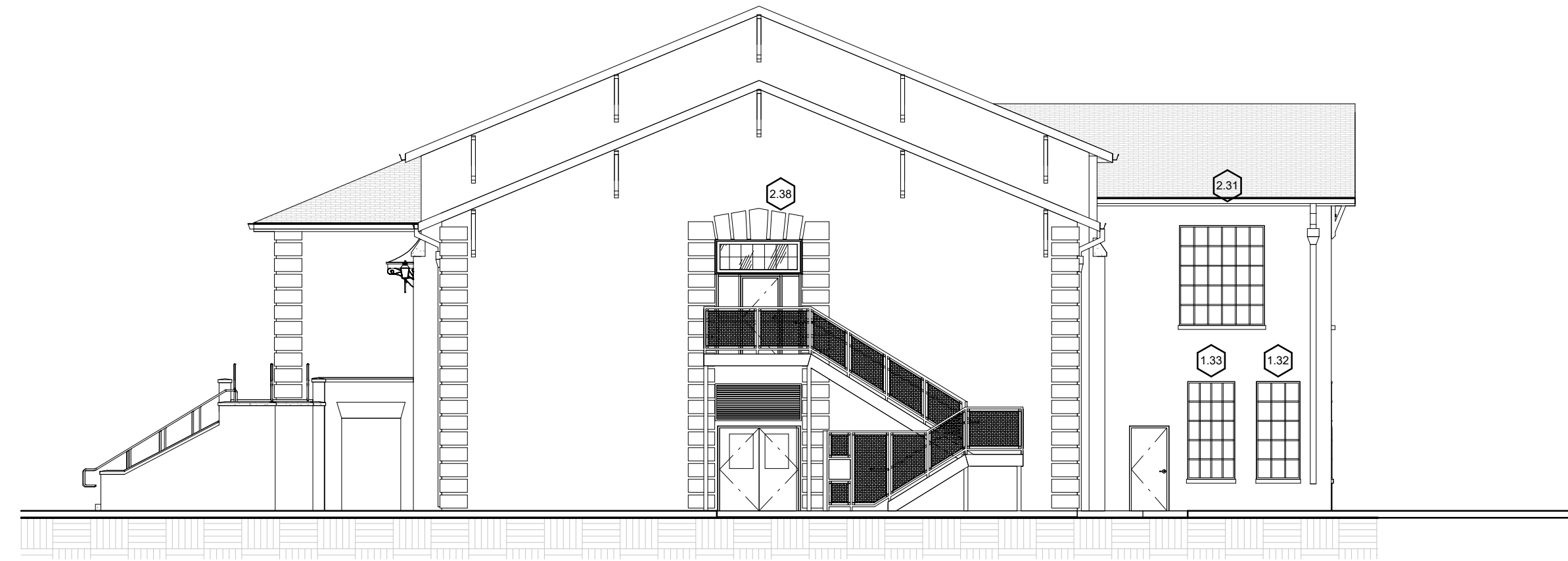
2 WINDOW NUMBER KEY - 1ST FLOOR PLAN
1" = 20'-0"



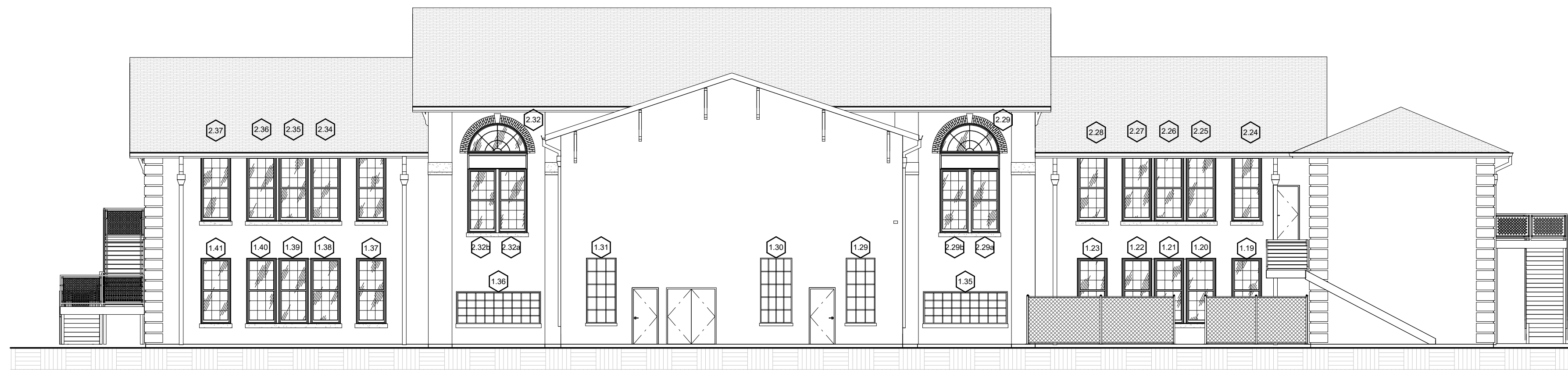
3 NORTH ELEVATION - WINDOW
3/32" = 1'-0"



4 NORTH ELEVATION - WINDOW SURVEY
3/32" = 1'-0"



5 SOUTH ELEVATION - WINDOW SURVEY
3/32" = 1'-0"



6 EAST ELEVATION - WINDOW SURVEY
3/32" = 1'-0"



7 WEST ELEVATION - WINDOW SURVEY
3/32" = 1'-0"



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SEAL:



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J.I. WATSON HISTORICAL BUILDING - HURRICANE REPAIRS (HL-060-03)
CALCASIEU PARISH SCHOOL BOARD
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No.	Description	Date

DATE: 08/23/2024
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WINDOW TYPE PLANS AND ELEVATIONS

sheet number
A604

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