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The information included is proprietary and not to be utilized or shared with others without the written consent of Cordogan Clark. This Construction Site Management Plan outlines the operations and procedures that will take place at SWC Simpson Court and Ashland Ave in Evanston, IL.

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## **EXHIBITS:**

**EXHIBIT A: TRUCK ROUTES** 

**EXHIBIT B: SITE STAGING & LOGISTICS PLAN** 

**EXHIBIT C: BID GROUP 1 PLANS** 

**EXHIBIT D: PROJECT SCHEDULE** 





## CONSTRUCTION MANAGEMENT PLAN

## 1. CONSTRUCTION SCHEDULE

Site Mobilization: Ground Improvements, Site Demolitions, Site Clearing and Enabling

Construction will begin with the installation of a temporary construction fence as well as the construction of a temporary haul road extending from the existing apron off Ashland Ave. (see Exhibit A – Site Staging Plan). Upon securing the site we will begin Clearing and Grubbing as well as General Site Demolitions. Topsoil will be stockpiled on site for re-use and all demolition debris will be hauled off site and taken to licensed waste management facilities. Following site clearing, the ground improvement process and installation of Controlled Modulus Columns (CMC's) along the perimeter foundations of the new Foster School will commence.

We anticipate closing the sidewalks along the east and west property lines to facilitate the installation of the CMC's. Sidewalks to be closed include the west side of Ashland Ave. and east side of Dewey Ave. Sidewalks along Simpson and Foster Streets to remain open. All required permits have been applied for and no work will commence within the public ROW until they have been obtained.

## **Project Schedule:**

Total Estimated Construction Schedule Project Duration: 24 months (July 2024 Through July 2026).

Important Milestone Dates:

- Mobilization 7/26/24
- Ground Improvements and Enabling 7/26/24 thru 9/30/24
- Foundations and Shell 11/8/24 thru 3/25/25
- Site Utilities and New Parking (Excludes Fleetwood Parking Lot) 10/1/24 thru 6/20/25
- Interior Build Out 5/28/25 thru 7/6/26
- Complete Site Improvements (Includes Existing Fleetwood Parking Lot): 3/23/26 6/1/26
- Project Completion: 7/6/26
- See attached Project Schedule Exhibit C.

### **Construction Hours:**

Construction and noise limitation hours for this project will be as follows per the City of Evanston requirements:

- Monday Friday: 7:00 AM 7:00 PM
- Saturday: 8:00 AM 5:00 PM (As Needed)
- Sunday: No work permitted unless previously approved by the City of Evanston





## 2. SITE LOGISTICS

## **Site Logistics Plan:**

The attached Site Staging Plan will be utilized for the project (Site Staging Plan - Exhibit A). Below is a description of the site staging and construction logistics that will be utilized for the project.

### **Contractor Parking:**

Cordogan Clark is proposing utilizing the property North of the Fleetwood Jourdain Center that is schedule for demolition. We will install the construction fencing along the north edge of the existing paved road to secure the area of demolition as required. We will fence around the existing Cell Phone Tower and the proposed Tower equipment expansion area as required. This will allow the construction of temporary parking onsite for all Contractor Parking while keeping the project site secure. We anticipate allowing for 20 total contractor parking spaces. Upon the completion of site demolition, we will utilize the future parking area to allow for additional overflow contractor parking and material storage as required. See the attached Staging Plan for further clarification.

### **Delivery Routes and Material Staging:**

- All Deliveries will be off the existing Ashland Avenue apron. We will utilize approved haul routes for all deliveries as required. (See attached Haul Route Map – Exhibit C).
- All subcontractors will be required to abide by the Local Jurisdictions as well as the City
  of Evanston and State of Illinois Truck Routes and permit all loads as required for all
  deliveries.
- The fenced off construction area will be utilized for delivery and unloading of materials and equipment. Material will be stored both in the fenced area as well as inside the building.
- Staging of trucks on City Streets will not be allowed.

### **Site Security:**

- Security fence will be an 8' high, post driven, screened fence along the property line.
- Gates will be locked at the end of every workday to prevent any after-hours access.
- Cordogan Clark will provide full-time field personnel to monitor work during the times that
  work is commencing. We will monitor all site conditions and ensure the site stays secure
  throughout the duration of the project.

### **Temporary Facilities:**

- Cordogan Clark will have an onsite office trailer in the location as shown on the Site Staging Plan.
- Porta-Potties will be staged on-site for all contractors' use (location as indicated on Site Staging Plan Exhibit B). These will be maintained on a weekly basis or as needed.





- We anticipate that water will be needed for construction. There will be a Water Truck onsite at the onset of the project. As water is needed, and prior to having the permanent water lines installed, we will utilize the Hydrant located at the corner of Simpson and Ashland Ave. to fill the truck as required. Cordogan Clark will obtain a meter from the City of Evanston as required to monitor all water usage.
- Temporary Power is currently being coordinated with ComEd.
- All other temporary facilities will be the responsibility of each prime contractor to provide.

## **Right of Way Work:**

- For the ease of the project Cordogan Clark is requesting Sidewalk Closures along Ashland and Dewey. This will remain in place throughout the duration of the project. See attached Site Staging Plan. All appropriate permits will be obtained prior to this work commencing.
- Work within the right-of-way will be required along Foster Ave., Ashland, Dewey and Foster. Work required includes new utility connections, replacement of City Sidewalks/Curb and Gutters and improvement to the existing parkway. This work is not anticipated until the Spring of 2026. We will submit necessary permits and provide any required bonds/fees as required prior to commencing this work.

### **Waste Management:**

- All soil removal and demolition debris to be disposed of at a certified CCDD Facility.
- All Contractors to utilize approved City of Evanston waste hauler for any required roll off dumpsters. Contractors must use the City of Evanston Commercial Franchised Waste Hauler – LRS. Visit <u>Home | LRS Waste Management Services - LRS (Irsrecycles.com)</u>: <a href="https://www.lrsrecycles.com/">https://www.lrsrecycles.com/</a> for more information.

## **Existing Conditions and Salvaging of Lighting:**

- Cordogan Clark will construct the temporary construction fence to allow for future expansion of the existing cell tower located north of the Fleetwood Jourdain Center. Clear access will be provided through the project site and along the existing paved drive. Any coordination required for this work will be handled by our full time Site Representative.
- If the City of Evanston desires to salvage the existing Musco Lighting, we will utilize the paved (former Basketball court) area located to the east of the Fleetwood Jourdain Center for temporary storage.
- See attached Site Staging Plan Exhibit B, for clarification

## **Fire Prevention Plan:**

- Cordogan Clark will obtain the required Knox Box from the City of Evanston Fire Department. This will be mounted on the proposed construction gate and accessible to the Fire Department.
- The Project will have all Fire Extinguishers as required throughout construction within the new building during the construction duration.





- An evacuation plan will be established and implemented throughout construction. This plan will be reviewed by all Contractor's weekly.
- All Emergency Contact Information will be posted as required by OSHA. This will be reviewed and discussed in weekly Contractor Meetings.

## 3. EROSION CONTROL, TREE PROTECTION, SITE MAINTENANCE & TESTING/MONITORING OF WORK

### **Erosion Control:**

- All erosion control measures to be per the approved Erosion Control Plan and as per the SWPP Permit. (See Exhibit C – Bid Group 1 Plans)
- All Temporary stockpiles to be seeded, stabilized and protected with silt fence.
- Cordogan Clark will have a water truck on-site to mitigate any dust through the project.
- Cordogan Clark anticipates a Street Sweeper on site throughout major construction activities to maintain all local roads as required.

## Survey, Testing and Monitoring of Work:

- Cordogan Clark will contract with a Third-Party Testing Contractor to monitor, observe and report on all new work. This scope of work will include Vibration Monitoring to verify no construction activities are impacting surrounding properties.
- All erosion control measures will be inspected and logged. Reports will be generated as required per the contract SWPP documents.
- Cordogan Clark will contract with a Third-Party Survey Company to establish control on the project site. We will utilize the surveyor to monitor and log any potential settlement to the surrounding areas.

### **Existing Tree Protection:**

 All Existing Trees to remain within the parkway, will be fenced off and protected as detailed in the project documents. (See Exhibit C – Bid Group 1 Documents). All root/tree pruning will commence prior to any required excavations within the drip lines as defined in the permit documents.

## **Snow Removal:**

• Cordogan Clark will contract with a licensed Snow Removal contractor to keep the site and surrounding public areas clear as needed.

### **Rodent Control**

- A contract will be issued to a licensed pest control contractor before the start of construction.
- Because there are no existing buildings being demolished with the project, pest control is expected to be minimal.





## 4. PROJECT COMMUNICATION:

## **Project Communication:**

Cordogan Clark will utilize Autodesk Construction Cloud for all project correspondence. This will include all submittals, RFI, and Daily reporting/site photos. This will be available to the entire project team.

We will also create and distribute a Monthly Executive Summary that will summarize work progress, the current Project Financials, and an updated CPM Schedule. This will be distributed via email to the project team as well as saved to the project share point folder located here:

### ESSD65 Foster School:

https://cordoganclark.sharepoint.com/sites/ESSD65FosterSchool?e=1%3A0dd39b8996c7499da32ea625f3687533

## Site Signage:

Required signage with site contact information will be present during all phases of construction. Signage containing the following information will be posted at the project entrance:

- All state and federal legal posters and safety signs
- Site superintendent contact information including name and phone number
- Emergency phone numbers
- "No trespassing" signs

## **Project Contacts:**

Brian Kronewitter, Executive Vice President, President of Construction

- E-mail: bkronewitter@cordoganclark.com
- Mobile: 630-209-7525

Mike Gora, Director of Operations

- E-mail: mgora@cordoganclark.com
- Mobile: 630-740-4382

Paul Maurer, Site Superintendent

- E-mail: pmaurer@cordoganclark.com
- Mobile: 630-360-5636

Ben Nelson, Project Manager

- E-mail: bnelson@cordoganclark.com
- Mobile: 847-651-5020

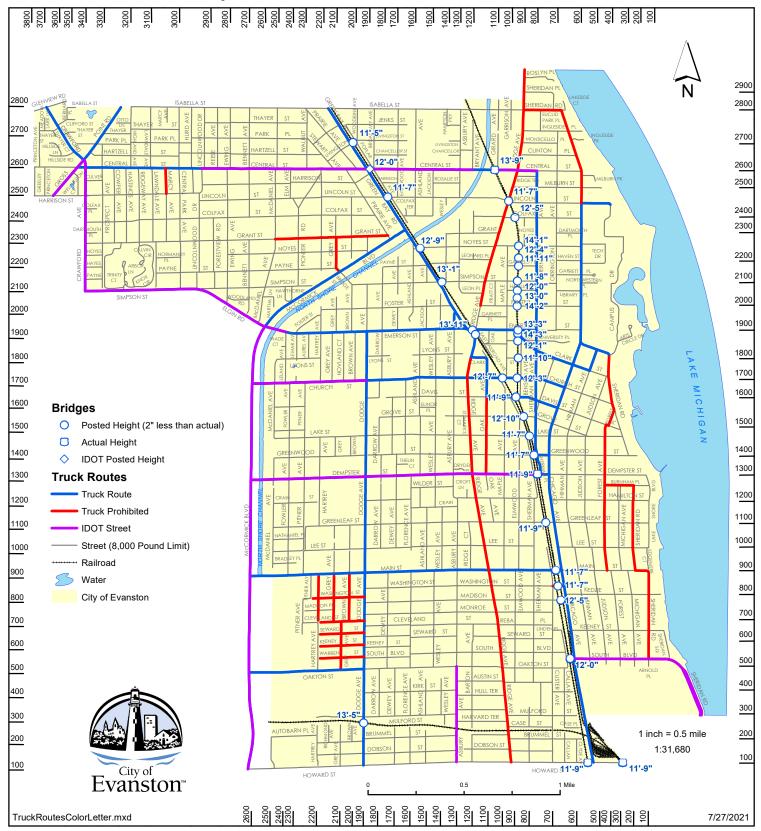
Cari Compton, Project Administrator

- E-mail: ccompton@cordoganclark.com
- Mobile: 630-403-8546

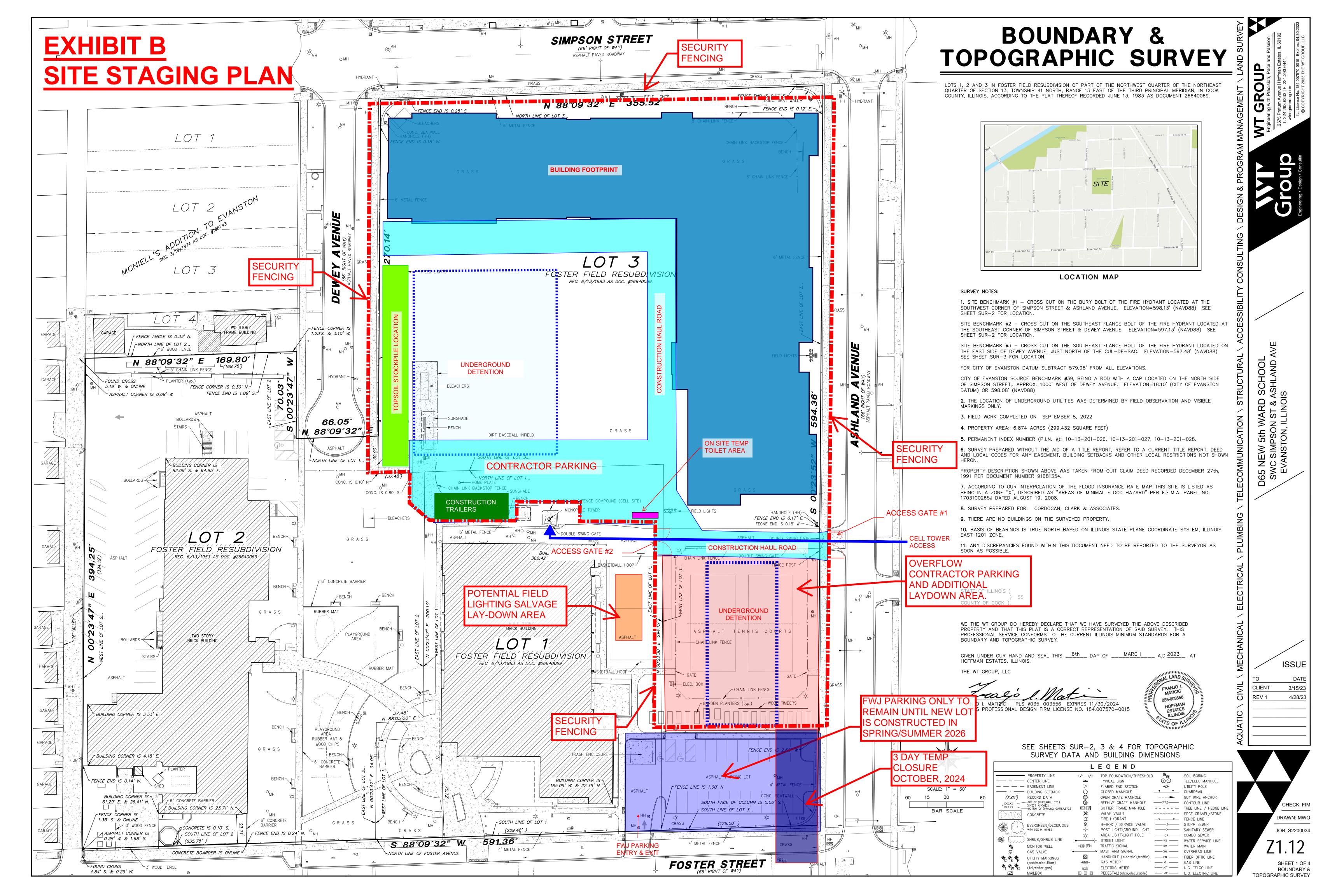
Additional contacts will be shared with the City of Evanston as requested.

## **EXHIBIT A**

## City of Evanston Truck Routes



This map is provided "as is" without warranties of any kind. See <a href="https://www.cityofevanston.org/mapdisclaimers.htm">www.cityofevanston.org/mapdisclaimers.htm</a> for more information.





# EVANSTON SKOKIE SD65

# NEW FOSTER SCHOOL - BID GROUP 1



# 1600 SIMPSON ST, EVANSTON, IL 60201

# GROUND IMPROVEMENTS & SITE CLEARING

OWNER:

**EVANSTON SKOKIE** SD65

1500 MCDANIEL AVE, EVANSTON, IL 60201

ARCHITECT:

STRUCTURAL, MECHANICAL, PLUMBING, & ELECTRICAL ENGINEER:

CORDOGAN CLARK

960 RIDGEWAY AVENUE AURORA, IL 60506

(630) 896-4678

**CIVIL ENGINEER:** 

WT GROUP

2675 PRATUM AVENUE HOFFMAN ESTATES, IL 60192 (224) 293-6333

RENDERING

THIS RENDERING IS PROVIDED FOR INFORMATION ONLY AND MAY NOT REFLECT THE FINAL INTENDED DESIGN. IF ANY DISCREPANCY OCCURS BETWEEN THIS RENDERING AND THE CONSTRUCTION DRAWINGS, THE INTENT OF THE CONSTRUCTION DRAWINGS SHALL APPLY.

CORDOGAN CLARK

960 RIDGEWAY AVENUE

AURORA, IL 60506

(630) 896-4678

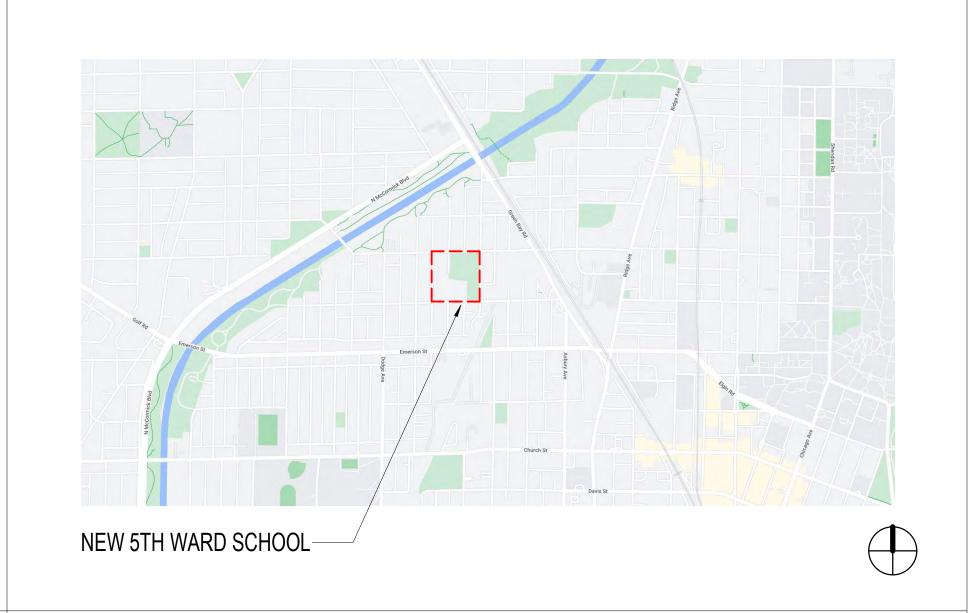




# **VICINITY MAP**



## LOCATION MAP



## STATEMENT OF COMPLIANCE "I have prepared, or caused to be prepared under my direct supervision, the attached plans and specifications and state that, to the best of my knowledge and belief and to the extent of my contractual obligation, they are in compliance with the Environmental Barriers Act (410 ILCS 25) and the Illinois Accessibility Code (71 III. Adm. Code 400)." ILLINOIS DESIGN FIRM'S REGISTRATION NO.: 184.000 595-0007 NOT FOR CONSTRUCTION SEAL ILLINOIS REGISTRATION NO 001-010114 - JOHN G. CORDOGAN, AIA "I hereby certify these drawings have been prepared under my direct supervision and to the best of my knowledge comply with all applicable codes of \_\_\_\_\_, IL" DATE: XX.XX.XXXX

## **DRAWINGS**

1 - GENERAL

1\_G1.0 COVER SHEET

1\_G1.1 GENERAL NOTES, ABBREVIATIONS & SYMBOLS LEGEND SITE DEMOLITION PLAN C-1.2 SITE DEMOLITION PLAN STORMWATER POLLUTION PROTECTION PLAN DETAILS
BOUNDARY AND TOPOGRAPHIC SURVEY 1\_S1.1 STRUCTURAL GENERAL NOTES AND SCHEDULES S2.1 FOUNDATION PLAN - OVERALL I\_S2.1A FOUNDATION PLAN - AREA A 1\_S2.1B FOUNDATION PLAN - AREA B 1\_S2.1C FOUNDATION PLAN - AREA C

22-1026

6/7/2024

(E) EXISTING

**EB EXPANSION BOLT** 

EJ EXPANSION JOINT

EF EACH FACE

EL ELEVATION

ELEC ELECTRIC

ELEV ELEVATOR

EMER EMERGENCY

ENCL ENCLOSURE

ESC ESCALATOR

EXCA EXCAVATE

EXIST EXISTING

EXH EXHAUST

FXP EXPOSED

EXPAN EXPANSION

EXT EXTERIOR

FA FIRE ALARM

FAS FASTENER

FB FACE BRICK

FBD FIBERBOARD

FBRK FIRE BRICK

FD FLOOR DRAIN

FE FIRE EXTINGUISHER

FF FACTORY FINISH

FGL FIBERGLASS

FIN FINISH

FIXT FIXTURE

FJT FLUSH JOINT

FL FLASHING

FLR FLOOR

FN FENCE

FLX FLEXIBLE

FFL FINISHED FLOOR LINE

FHC FIRE HOSE CABINET

FHWS FLATHEAD WOOD SCREW

FHS FIRE HOSE STATION

FLCO FLOOR CLEANOUT

FLUOR FLUORESCENT

FND FOUNDATION

FO FINISHED OPENING

FOF FACE OF FINISH

FOS FACE OF STUDS

FP FIREPROOF

FPL FIREPLACE

FR FRAME

FPL FLOOR PLATE

FRA FRESH AIR

FRG FORGED

FS FULL SIZE

FTG FOOTING

FUR FURRED (-ING)

GC GENERAL CONTRACTOR

GCMU GLAZED CONCRETE MASONRY UNITS

FT FEET

G GRAM

GA GAUGE

GD GRADE

GF GROUND FACE

GKT GASKET

GLF GLASS FIBER

GL GLASS

GI GALVANIZED IRON

GLB GLASS BLOCK

GP GALVANIZED PIPE

GPL GYPSUM LATH

GPT GYPSUM TILE

GRL GRILLE

GRN GRANITE

GRND GROUND

GV GALVANIZED

GVL GRAVEL

GYP GYPSUM

HB HOSE BIBB

GYPBDGYPSUM BOARD

HBD HARDBOARD

HC HOLLOW CORE

HDN HARDENER

HDW HARDWARE

HDWD HARDWOOD

HES HIGH EARLY STRENGTH CEMENT

HD HEAVY DUTY

HDR HEADER

HH HANDHOLE

HJT HEAD JOINT

HM HOLLOW METAL

HP HIGH PRESSURE

HP HIGH POINT

HR HAND RAIL

HTG HEATING

HTR HEATER

HW HOT WATER

HX HEXAGONAL

ILK INTERLOCK

INCL

INSC

INSF

IPS IRON PIPE SIZE

INSUL INSULATION

INTM INTERMEDIATE

INT INTERIOR

INV INVERT

JAN JANITOR

JT JOINT

JST JOIST

JF JOINT FILLER

HWH HOT WATER HEATER

INSIDE DIAMETER

INCINERATOR

INSULATING FILL

INSULATING CONCRETE

INCLUDE

HT HEIGHT

HORIZ HORIZONTAL

HK HOOK

GRD GRID

GPPL GYPSUM PLASTER

GSS GALVANIZED STEEL SHEET

GST GLAZED STRUCTURAL TILE

GWB GYPSUM WALL BOARD

FOC FACE OF CONCRETE

FOM FACE OF MASONRY

FRC FIRE-RESISTANT COATING

FRT FIRE-RETARDANT TREATED

FBO FURNISHED BY OTHERS

FFE FINISHED FLOOR ELEVATION

FHMS FLATHEAD MACHINE SCREW

FEC FIRE EXTINGUISHER CABINET

EXS EXTRA STRONG

EP ELECTRICAL PANEL BOARD

EQ EQUAL EQUIP EQUIPMENT

ETR EXISTING TO REMAIN

EWC ELECTRIC WATER COOLER

EXMP EXPANDED METAL PLATE

EA EACH

ABC AGGREGATE BASE COURSE ACOUSTICAL ACC ACCESS ACFL ACCESS FLOOR ACPL ACOUSTICAL PLASTER ACR ACRYLIC PLASTIC

ACT ACOUSTICAL CEILING TILE AIR CONDITIONING AREA DRAIN ADA AMERICANS WITH DISABILITIES ACT ADD ADDENDUM ADD'N ADDITION ADH ADHESIVE ADJ ADJACENT ADJT ADJUSTABLE AFC ABOVE FINISHED CEILING ABOVE FINISHED FLOOR

AFG ABOVE FINISHED GRADE AGG AGGREGATE AL ALUMINUM ALT ALTERNATE ANC ANCHOR (-AGE) ANOD ANODIZED AP ACCESS PANEI APPROX APPROXIMATE ARCH ARCHITECT ASB ASBESTOS ASC ABOVE SUSPENDED CEILING ASPH ASPHALT

AT ASPHALT TILE AUTO AUTOMATIC BBD BULLETIN BOARD BD BOARD BEL BELOW BET BETWEEN BIT BITUMINOUS BJT BED JOINT BLKG BLOCKING BLDG BUILDING BM BFAM BM BENCHMARK B/O BOTTOM OF

BOT BOTTOM BP BACK PLASTER **BPL BEARING PLATE** BRG BEARING BRK BRICK BRZ BRONZE BS BOTH SIDES BSMT BASEMENT BUR BUILT-UP ROOFING BW BOTH WAYS CAB CABINET

CAD CADMIUM CB CATCH BASIN CER CERAMIC CFL COUNTERFLASHING CFT CUBIC FOOT CG CORNER GUARD CI CAST IRON CIP CAST IN PLACE CIPC CAST IN PLACE CONCRETE CIR CIRCLE

CIRC CIRCUMFERENCE CHAM CHAMFER CHAN CHANNEL CHBD CHALKBOARD CHT CEILING HEIGHT CHAN CHANNEL CJ CONTROL JOINT CK CAULK (-ING) CL CENTER LINE CLL CONTRACT LIMIT LINE CLOS CLOSET

CM CENTIMETER CMT CERAMIC MOSAIC TILE CMU CONCRETE MASONRY UNIT CO CLEAN OUT COL COLUMN COMB COMBINATION COMPTCOMPARTMENT COMPOCOMPOSITION COMP COMPRESS CONTR CONTRACTOR CONC CONCRETE CONN CONNECTION CONST CONSTRUCTION CONT CONTINUOUS CORR CORRUGATED

CLS CLOSURE

CPL CEMENT PLASTER CPR COPPER CPT CARPET CR CHROMIUM CRG CROSS GRAIN CRS COURSE CS COUNTERSINK CSMT CASEMENT CST CAST STONE CSTJ CONSTRUCTION JOINT CT CERAMIC TILE CTR COUNTER CTSK COUNTERSUNK CYD CUBIC YARD

D DRAIN DA DOUBLEACTING DB DECIBEL DEM DEMOLISH DEP DEPRESSED DE DRINKING FOUNTAIN DH DOUBLE HUNG DIAG DIAGONAL DIAM DIAMETER DIM DIMENSION DISP DISPENSER DIV DIVISION DL DEAD LOAD

DMT DEMOUNTABLE DN DOWN DP DAMP PROOFING DPR DAMPER DR DOOR DRB DRAINBOARD DS DOWNSPOUT DSPR DISPENSER DT DRAIN TILF DTA DOVETAIL ANCHOR DTL DETAIL DTS DOVETAIL ANCHOR SLOT

DW DUMBWAITER, DISHWASHER

K THOUSAND EDF ELECTRIC DRINKING FOUNTAIN

KA CYLINDER LOCKS KEYED ALIKE KB KNEE BRACE KC KITCHEN CABINET KD KNOCKED DOWN KIP THOUSAND POUNDS KIP FT THOUSAND FOOT/ POUNDS KIT KITCHEN KLF KIPS PER LINEAR FOOT KO KNOCKOUT KOP KNOCKOUT PANEL kPa KILOPASCAL KPL KICKPLATE KSF KIPS PER SQUARE FOOT KSI KIPS PER SQUARE INCH L LENGTH LAB LABORATORY

RADIUS

ROUND

**ROOF DRAIN** 

REINFORCE

REFERENCE

REFR REFRIGERATOR

REG REGISTER

REQ'D REQUIRED

REM REMOVE

RES RESILIENT

RET RETURN

REV REVISION

RFG ROOFING

RFH ROOF HATCH

RIGHT HAND

ROUGH OPENING

RWC RAINWATER CONDUCTOR

SCJ STUCCO CONTROL JOINT

SCT STRUCTURAL CLAY TILE

RAILING

ROOM

ROW RIGHT OF WAY

RVS REVERSE

RVT RIVET

SC SOLID CORE

SCR SCREW

SCRN SCREEN

SD STORM DRAIN

SDG SIDING

SEC SECTION

SEL SELECT

SECT SECTION

SG SHEET GLASS

SHT SHEET

SHO SHORE

SIM SIMILAR

SKL SKYLIGHT

SM SMOOTH

SLDG SLIDING

SNT SEALANT

SP SOUND PROOF

SPC SPACER

SPK SPEAKER

SS STAINLESS STEEL

SSK SERVICE SINK

S&S STAIN & SEAL

STD STANDARD

STSTL STAINLESS STEEL

STG SEATING

STO STORAGE

STR STRUCTURAL

SUSP SUSPENDED

SWBD SWITCHBOARD

SYM SYMMETRICAL

SYN SYNTHETIC

SYS SYSTEM

TB TOWEL BAR

TC TERRA COTTA

T/C TOP OF CURB

THK THICK

TEL TOP OF STEEL DECK

T&G TONGUE AND GROOVE

TPD TOILET PAPER DISPENSER

UNO UNLESS NOTED OTHERWISE

TPTN TOILET PARTITION

TSD TOP OF STEEL DECK

T/SL TOP OF SLAB

T/STL TOP OF STEEL

TG TEMPERED GLASS

THR THRESHOLD

TKBD TACKBOARD

TKS TACKSTRIP

TOL TOLERANCE

TR TRANSOM

TV TELEVISION

TYP TYPICAL

TZ TERRAZZO

UC UNDERCUT

UR URINAL

V VENT

UNF UNFINISHED

VAR VARNISH

VB VINYL BASE

VERT VERTICAL

VEST VESTIBULE

VG VERTICAL GRAIN

VF VINYL FABRIC

VNR VENEER

VT VINYL TILE

W WIDTH, WIDE

WB WOOD BASE

WDW WINDOW

WF WIDE FLANGE

WG WIRED GLASS

WH WALL HUNG

WHTR WATER HEATER

WHB WHEEL BUMPER

WI WROUGHT IRON

WP WATER PROOFING

WPT WORKING POINT

WR WATER REPELLANT

WTW WALL TO WALL

WWF WELDED WIRE FABRIC

WWM WELDED WIRE MESH

WS WATER STOP

WW WINDOW WALL

WM WIRE MESH

W/O WITHOUT

WD WOOD

WC WATER CLOSET

W WEST

VRM VERMICULITE

VIN VINYL

VJ V-JOINT

VB VAPOR BARRIER

VAT VINYL ASBESTOS TILE

VCT VINYL COMPOSITION TILE

VCP VITREOUS CLAY PIPE

T/W TOP OF WALL

TO TOP OF

T TREAD

SQ SQUARE

ST STEEL

STA STATION

SPEC SPECIFICATION

SL SLEEVE

SFGL SAFETY GLASS

SH SHELF, SHELVING

SHTH SHEATHING

SFRM SPRAY-APPLIED FIRE RESISTIVE MATERIAL

SCH SCHEDULE

S SOUTH

RETURN AIR

RUBBER BASE

RUBBLE STONE

RUBBER FLOOR

RCP REINFORCED CONCRETE PIPE

LAD LADDER LAM LAMINATED LAV LAVATORY LB LAG BOLT LBL LABEL LC LIGHT CONTROL LDG LANDING LG LENGTH LH LEFT HAND LL LIVE LOAD LMS LIMESTONI LOC LOCATION LP LIGHTPROOF LPT LOW POINT LT LIGHT LTL LINTEL LVR LOUVER

LW LIGHTWEIGHT LWC LIGHT WEIGHT CONCRETE M METER MAS MASONRY MAT'L MATERIAL MAX MAXIMUM MB MACHINE BOLT MBR MEMBER MC MEDICINE CABINET MCJ MASONRY CONTROL JOINT

MECH MECHANICAL MED MEDIUM MET METAL MFD METAL FLOOR DECKING MFR MANUFACTURER MH MANHOLF MI MALLEABLE IRON MIN MINIMUM MIR MIRROR MISC MISCELLANEOUS ML METAL LATH MLDG MOULDING MM MILLIMETER MMB MEMBRANE MO MASONRY OPENING MOD MODULAR MOV MOVABLE MR MOP RECEPTOR MRR MARRIF MRD METAL ROOF DECK MT MOUNT (-ED) MTFR METAL FURRING MULL MULLION

MWK MILLWORK NAT NATURAL NG NATURAL GRADE NI NICKEL NIC NOT IN CONTRACT NL NAILABLE No NUMBER NOM NOMINAL NMT NON-METALLIC NR NOISE REDUCTION NRC NOISE REDUCTION COEFFICIENT NTS NOT TO SCALE

OBS OBSERVE OC ON CENTER OD OUTSIDE DIAMETER OFD OVERFLOW DRAIN OFS OVERFLOW SCUPPER OH OVERHEAD OHMSOVERHEAD MACHINE SCREW OHWSOVERHEAD WOOD SCREW OJ OPEN-WEB JOIST OP OPAQUE OPG OPENING OPP OPPOSITE OPH OPPOSITE HAND OPS OPPOSITE SURFACE PAR PARALLEL PB PANIC BAR PBD PARTICLE BOARD PC PRECAST PCC PRECAST CONCRETE PCF POUNDS PER CUBIC FOOT PCP PRECAST PANEL

PE PORCELAIN ENAMEL PED PEDESTAL PERF PERFORATED PERI PERIMETER PFB PREFABRICATE PFN PREFINISHED PG PAGE PG PLATE GLASS

PL PROPERTY LINE HVAC HEATING/VENTILATING/ AIR CONDITIONING PLAM PLASTIC LAMINATE PLAS PLASTER PLF POUNDS PER LINEAL FOOT PLBG PLUMBING PLYWD PLYWOOD PR PAIR PRF PREFORMED PSC PRESTRESSED CONCRETE PSI POUNDS PER SQUARE INCH PSF POUNDS PER SQUARE FOOT PTC POST-TENSIONED CONCRETE PTD PAPER TOWEL DISPENSER PTR PAPER TOWEL RECEPTOR PTN PARTITION PV PAVE PVC POLYVINYL CHLORIDE

PVMT PAVEMENT

QT QUARRY TILE

QTY QUANTITY

GENERAL CONDITIONS: 1. ALL CONTRACTORS SHALL BE RESPONSIBLE TO INSTALL ALL ITEMS SPECIFIED USING CONSTRUCTION THAT WILL PROTECT AT ALL TIMES, PROPERTY AND PREVENT BODILY INJURY AND/ OR DEATH. SPECIAL ATTENTION AND PRECAUTION SHALL BE PAID BY THE CONTRACTORS IN SELECTING THE SAFEST METHODS OR MEANS FOR THE INSTALLATION.

2. THE ARCHITECT/ ENGINEER HAS NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND SHALL NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.

3. ALL WORK SHALL BE EXECUTED IN A WORKMAN LIKE MANNER AND IN STRICT ACCORDANCE WITH FEDERAL, STATE AND LOCAL CODES AND ORDINANCES AND ALL AUTHORITIES HAVING JURISDICTION AND ACCEPTED BY THE ARCHITECT AND LEFT IN PERFECT OPERATING CONDITION.

4. ALL CONTRACTORS SHALL VISIT THE SITE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PRIOR TO SUBMITTING THE FINAL BID. IF THERE ARE ANY DISCREPANCIES, NOTIFY THE ARCHITECT AT

5. ALL CONTRACTORS SHALL CAREFULLY REVIEW THE DRAWINGS AND OTHER CONTRACT DOCUMENTS PRIOR TO SUBMITTING THE FINAL BID. IF THERE ARE ANY DISCREPANCIES, EACH CONTRACTOR SHALL NOTIFY THE ARCHITECT AT ONCE.

ALL WORK SHALL BE PERFORMED IN A WORKMAN LIKE MANNER. EACH CONTRACTOR SHALL INCLUDE LABOR, MATERIALS, TOOLS, EQUIPMENT, ETC., FOR THE COMPLETE CONSTRUCTION OF WORK INDICATED AND SPECIFIED BY THE DRAWINGS AND SPECIFICATION. MATERIALS AS SPECIFIED ON DRAWINGS SHALL BE USED. SUBSTITUTIONS OF MATERIALS WILL NOT BE ALLOWED WITHOUT THE WRITTEN CONSENT OF THE OWNER. CONTRACTOR SHALL AMEND AND MAKE GOOD AT THEIR OWN COST, ANY DEFECTS OR OTHER FAULTS IN THEIR WORKMANSHIP AND/ OR MATERIAL. CONTRACTOR IS TO CLEAN UP DEBRIS INSIDE AND OUTSIDE THE BUILDING SITE WHICH HAS BEEN CAUSED BY THEIR WORK.

NON-BEARING PARTITIONS ARE TO BE LAID OUT SO THAT STOCK COMPONENTS WILL FIT EXACTLY WITHIN INDICATED DIMENSIONS. THE GENERAL TRADES CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH WORK AND NOTIFY ARCHITECT AT ONCE OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.

8. PLUMBING SCHEMATIC DRAWINGS, HVAC DRAWINGS, SEWER MAINS, ELECTRICAL OUTLETS, SWITCHES, LIGHT LOCATIONS FOR ROUTING ALL PLUMBING, MECHANICAL AND ELECTRICAL WORK IS TO BE COORDINATED BETWEEN THE TRADES AFFECTED BY THE WORK AS PART OF THEIR INSTALLATION LAYOUT. NO PLUMBING, MECHANICAL OR ELECTRICAL INFORMATION IS TO BE SCALED FROM THE DRAWINGS. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR.

9. DO NOT SCALE DRAWINGS

GENERAL CONSTRUCTION NOTES

 PROJECT COORDINATOR SHALL PROVIDE A LOGISTICS PLAN TO THE ARCHITECT AND OWNER FOR REVIEW AND APPROVAL PRIOR TO COMMENCING WORK. THE LOGISTICS PLAN IS TO INCLUDE ALL ROUTING OF VEHICLES, EQUIPMENT, DELIVERY LOCATIONS, FENCING, SECURITY MEASURES, ETC. ANY EXISTING CONDITIONS TO REMAIN THAT ARE DAMAGED DUE TO CONSTRUCTION ARE TO BE RESTORED TO THEIR ORIGINAL CONDITION. THIS INCLUDES, BUT IS NOT LIMITED TO, SIDEWALKS, LANDSCAPING, IRRIGATION, ROADS, PARKING LOTS, BUILDING CONSTRUCTION, ETC.

EACH CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AT THE BUILDING SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK. WRITTEN DIMENSIONS ON DRAWINGS SHALL HAVE PRECEDENCE OVER

3. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR UNLOADING, STORING, INSPECTION FOR DAMAGE WHEN RECEIVED AND LOSS FROM SITE AND/ OR DAMAGE AFTER RECEIPT FOR ALL MATERIALS FURNISHED

4. NO PRODUCT SUBSTITUTION WILL BE ALLOWED WITHOUT THE WRITTEN APPROVAL OF THE OWNER OR OWNER'S REPRESENTATIVE.

5. ALL WORK TO BE NEW EXCEPT WHERE INDICATED AS EXISTING. 6. EACH CONTRACTOR SHALL INSURE THAT ALL BUILDING WORK WILL COMPLY WITH APPLICABLE

NATIONAL, STATE AND LOCAL CODES GOVERNING AUTHORITIES AND UNDERWRITER REGULATIONS. 7. ALL OPENINGS AND OTHER PROVISIONS NECESSARY FOR INSTALLATION OF ARCHITECTURAL, PLUMBING, MECHANICAL, FIRE PROTECTION, ELECTRICAL OR OWNER'S APPARATUS AND EQUIPMENT.

MUST BE VERIFIED WITH THE SPECIFIC TRADES INVOLVED AND WITH OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION AND MUST BE OF SIZE, LOCATION, CONFIGURATION, ETC., REQUIRED. 8. ALL CONTRACTORS MUST EXERCISE EXTREME CARE SO AS NOT TO DAMAGE EXISTING CONSTRUCTION ITEMS AND SHALL BE RESPONSIBLE FOR INITIATING. MAINTAINING AND SUPERVISING ALL

SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. 9. ALL NEW PARTITIONS WHICH ARE TO EXTEND TIGHT UP TO THE FLOOR OR ROOF CONSTRUCTION ABOVE, ARE TO BE CUT TO FIT AROUND BEAMS, JOISTS, DUCTS, CONDUITS, PIPES, HANGERS, ETC. ALL

SUCH CUTS SHALL BE ACCURATE AND STRAIGHT AND BE SEALED WITH MORTAR OR TAPE AND COMPOUND 10. AT ALL LOCATIONS WHERE FLOOR SLAB IS TO BE CUT TO PROVIDE FOR NEW FLOOR POWER OR

PLUMBING, SLAB IS TO BE REPAIRED FLUSH WITH AND TO MATCH EXISTING ADJACENT FLOOR SLAB

GENERAL DEMOLITION NOTES (REMOVE IF ALL NEW CONSTRUCTION):

INTERFERENCE OF DEMOLITION

ALL CONTRACTORS: IF THE DEMOLITION CANNOT PROCEED BECAUSE OF UNFORESEEN EXISTING STRUCTURAL OR MECHANICAL, ETC. CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY REPORT THE CONDITION TO THE ARCHITECT.

2. <u>FIRE PROTECTION DURING DEMOLITION AND NEW CONSTRUCTION</u>

ALL CONTRACTORS: THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL FIRE PROTECTION MEASURES AND EQUIPMENT DURING DEMOLITION AND NEW CONSTRUCTION AT THE DIRECTION OF THE FIRE PREVENTION OFFICER AT THE FIRE PROTECTION DISTRICT OFFICE.

3. COORDINATION OF DEMOLITION

ALL CONTRACTORS SHALL PROCEED WITH THE DEMOLITION IN A LOGICAL ORDER AND SHALL COORDINATE THE DEMOLITION WITH OTHER TRADES. EACH PHASE OF THE DEMOLITION SHALL BE PRECEDED BY INVESTIGATION OF THE AREA FOR REMOVAL, RELOCATION, DISCONNECTION OR REROUTING OF EXISTING ELEMENTS. PRIORITY OF DEMOLITION SHOULD BE:

A. GENERAL TRADES CONTRACTOR: ARCHITECTURAL

B. HEATING, A/C AND VENTILATION CONTRACTORS: MECHANICAL WORK

C. FIRE PROTECTION CONTRACTOR: FIRE PROTECTION WORK

D. ELECTRICAL CONTRACTOR: ELECTRICAL WORK

E. PLUMBING CONTRACTOR: PLUMBING WORK

GENERAL DEMOLITION NOTES (CONTINUED- REMOVE IF ALL NEW CONSTRUCTION):

SALVAGED ITEMS

WHERE INDICATED ON THE DRAWINGS, "SALVAGE", ITEMS MUST BE CAREFULLY REMOVED, CLEANED AND STORED IN SUCH A WAY AS TO PREVENT DAMAGE. TRANSPORT AND STORE ITEMS OFF SITE OR WITHIN THE AREA OF WORK IN A LEGAL MANNER, UNLESS DIRECTED BY OWNER TO TRANSPORT SAID MATERIALS TO OWNER'S STORAGE AREA.

5. REMOVAL OF EXISTING DOORS AND FRAMES

A. GENERAL TRADES CONTRACTOR: DOORS AND FRAMES THAT ARE TO BE REMOVED ARE INDICATED BY DASHED LINES ON THE DRAWINGS.

B. GENERAL TRADES CONTRACTOR: ANY EXISTING DOORS & FRAMES TO BE REMOVED, TO ALLOW THE OPENING TO BE FILLED AS PER THE NEW CONSTRUCTION DRAWINGS, SHALL BE REMOVED WITH THE ENTIRE FRAME, ANCHORS AND SILLS.

6. EXISTING WALL OR PARTITION DEMOLITION

A. GENERAL TRADES CONTRACTOR: WHEN REMOVING PORTIONS OR COMPLETE INTERIOR WALLS, INVESTIGATION MUST BE MADE TO DETERMINE IF THE WALL IS BEARING STRUCTURAL LOADS. IF IT IS DETERMINED THAT THE WALL IS BEARING, NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH DEMOLITION. IF THE WALL IS NON-BEARING, PROCEED WITH DEMOLITION TAKING CARE THAT INTERACTING WALLS OR REMAINING WALLS ARE CUT CLEAN TO MINIMIZE FILLING AND PATCHING OF THE REMAINING PARTITION.

B. GENERAL TRADES CONTRACTOR: IF THE REMOVAL OF AN INTERIOR PARTITION DISTURBS THE EXISTING CEILING THAT IS TO REMAIN, CARE MUST BE TAKEN TO REMOVE AS LITTLE OF THE CEILING AS POSSIBLE AND PROTECT THE ADJACENT CEILING FROM DAMAGE. (UNLESS NOTED OTHERWISE)

C. GENERAL TRADES CONTRACTOR: IF THE PARTITION DEMOLITION INVOLVES DEMOLITION OF THE FLOORING IN THE AREA, CARE IS TO BE TAKEN TO MINIMIZE DAMAGE TO THE EXISTING FLOORING.

D. ELECTRICAL CONTRACTOR: INVESTIGATE ALL EXISTING WIRING IN THE AREAS OF DEMOLITION TO DETERMINE WHICH CIRCUITS CAN BE ABANDONED, AND IF ANY CIRCUITS MUST BE MAINTAINED TO SUPPLY OTHER AREAS. REMOVE ALL WIRING AND CONDUITS TO BE ABANDONED. RELOCATE ALL CIRCUITS TO BE MAINTAINED OR CLEAR NEW CONSTRUCTION.

E. ALL CONTRACTORS: ALL FINISHES SHALL BE PATCHED TO MATCH FROM IMPLEMENTATION OF

7. PARTIAL REMOVAL OF EXISTING WALLS OR PARTITIONS

A. GENERAL TRADES CONTRACTOR: WHEN REMOVING PART OF A MASONRY WALL OR PARTITION TO ALLOW FOR THE INSTALLATION OF A NEW DOOR, CUTTING OF THE NEW MASONRY OPENING SHOULD BE ACCOMPLISHED IN A MANNER THAT RESULTS IN AS SMOOTH AN OPENING AS POSSIBLE.

B. GENERAL TRADES CONTRACTOR: PROVIDE TEMPORARY SHORING, BRACING AND OTHER SUPPORT NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, COLLAPSE OR OTHER DAMAGE TO THE STRUCTURE OR ADJACENT WALLS.

8. DEMOLITION OF MECHANICAL/ PLUMBING/ ELECTRICAL SYSTEMS

A. IT WILL BE THE ASSOCIATED CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THE CONDITION OF ALL REMAINING PIPING, CONDUIT, EQUIPMENT, ETC. WITHIN THEIR SCOPE OF WORK DURING DEMOLITION.

B. ALL CONTRACTORS: NOTIFY OWNER PRIOR TO ANY DEMOLITION OF UTILITIES OR SERVICES WHICH MAY AFFECT REMAINING OCCUPIED AREAS.

C. ALL CONTRACTORS: MAKE NECESSARY MODIFICATIONS AND ADJUSTMENTS TO ALL MECHANICAL, PLUMBING, AND ELECTRICAL ITEMS AND EQUIPMENT, BOTH NEW AND EXISTING, AS MAY BE REQUIRED BY THESE ALTERATIONS AND ADDITIONS.

D. PLUMBING CONTRACTOR: CAP ALL PLUMBING ABANDONED DURING DEMOLITION EITHER BELOW FINISH FLOOR LEVEL, ABOVE CEILING OR BEHIND FINISH WALL SURFACE. REROUTE PLUMBING THAT IS TO REMAIN IN SERVICE, AS REQUIRED, TO CLEAR NEW CONSTRUCTION.

E. HEATING & A/C, VENTILATION, ELECTRICAL, PLUMBING, AND FIRE PROTECTION CONTRACTORS: DISCONNECT AT SOURCE AND REMOVE EXISTING ELECTRICAL MATERIALS AND EQUIPMENT AND ALL OTHER MECHANICAL/PLUMBING ITEMS WHICH ARE RENDERED OBSOLETE BY THESE ALTERATIONS AND ADDITIONS. THESE ARE THE PROPERTY OF THE OWNER AND SHALL EITHER BE REMOVED FROM THE SITE

OR RETURNED TO THE OWNER'S STOCK AT THE DISCRETION OF THE OWNER. F. HEATING & A/C AND VENTILATION CONTRACTORS: DISCONNECT, REMOVE AND RELOCATE EXISTING MECHANICAL MATERIALS AND EQUIPMENT, AND ALL OTHER MECHANICAL ITEMS WHICH INTERFERE OR ARE INTERFERED WITH. OBSTRUCT OR ARE OBSTRUCTED BY THESE LOCATIONS AS

DIRECTED. RECONNECT SUCH ITEMS IN PROPER OPERATING CONDITION AT NEW LOCATIONS.

G. ALL CONTRACTORS: ALL CUTTING AND PATCHING AS REQUIRED FOR WORK IS TO BE INCLUDED IN ASSOCIATED SCOPE OF WORK. FINISH WORK SHALL BE BY FINISHING CONTRACTOR BUT UNDER THE GENERAL CONTRACTORS CONTRACT.

9. GENERAL ALL CONTRACTORS

ARCHITECT IMMEDIATELY.

A. ALL CONTRACTORS ARE RESPONSIBLE TO VISIT THE SITE TO DETERMINE THE EXTENT OF DEMOLITION AND PATCHING AS REQUIRED TO INSTALL THEIR PORTION OF WORK. B. REFER TO ALL DRAWINGS FOR FULL EXTENT OF DEMOLITION WORK, GENERAL TRADES

CONTRACTOR TO INSURE ALL WALL OR FLOOR MOUNTED OBJECTS TO BE REMOVED AND EXISTING TO BE PREPARED FOR NEW FINISHES. C. ALL CONTRACTORS SHALL VISIT AND INSPECT THE EXISTING BUILDING AND SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ACTUAL JOB CONDITIONS BEFORE SIGNING CONTRACTS. NO EXTRAS

WILL BE ALLOWED FOR WORK WHICH MIGHT HAVE BEEN REASONABLY FORESEEN BY AN INSPECTION OF THESE PREMISES. D. WHILE THE SIZE AND LOCATION OF NEW WORK AND EQUIPMENT IN THE EXISTING BUILDING HAS BEEN INDICATED ON THE DRAWINGS AS ACCURATELY AS POSSIBLE, ALL PRIME CONTRACTORS SHALL

ADJUST THEIR WORK AS REQUIRED TO AVOID EXISTING DUCTS, PIPES, CONDUITS AND BEAMS NOT SHOWN ON PLANS. ALL CONTRACTORS SHALL ADAPT THEIR WORK TO MEET ALL ACTUAL CONDITIONS ON THE EXISTING PREMISES.

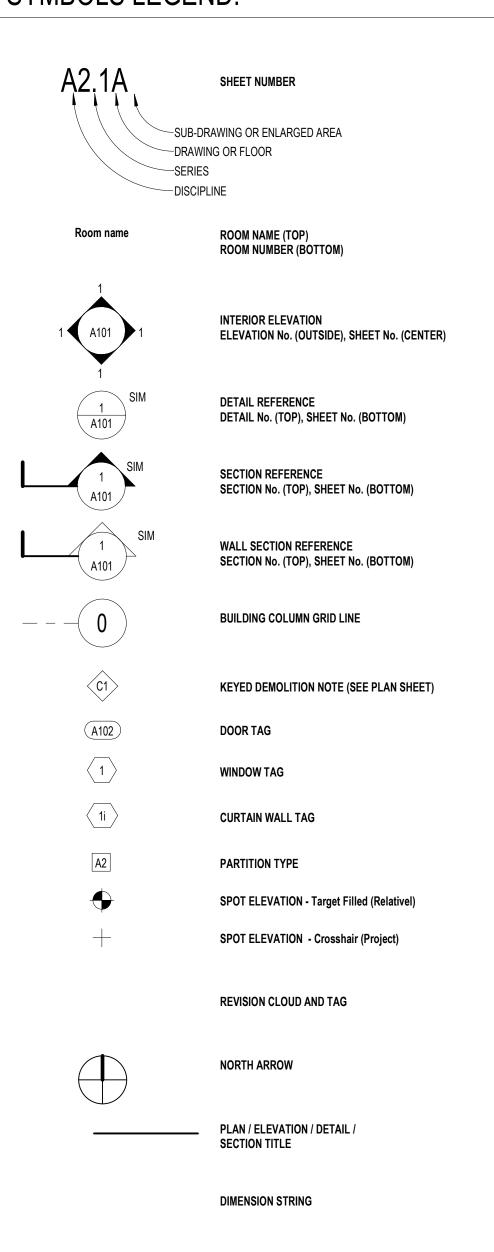
E. ALL CONTRACTORS SHALL INSPECT THE PREMISES AND MAKE A DETAILED EXAMINATION OF ALL LOCATIONS WHERE NEW WORK IS TO BE INSTALLED AND SHALL EXAMINE EXISTING PIPING, CONDUITS, STRUCTURAL SUPPORTING BEAMS, ETC.

F. ALL CONTRACTORS AFTER INSPECTING THE PREMISES AND THE DRAWINGS SHALL CALL TO THE ATTENTION OF THE ARCHITECT ANY LACK OF ANY NECESSARY SPACE OR CLEARANCE REQUIRED BY THE VARIOUS EQUIPMENT BEFORE CONTRACT IS SIGNED. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR ALL CHANGES NECESSARY IF THEY NEGLECT TO DO SO.

H. IF ASBESTOS OR HAZARDOUS MATERIALS ARE FOUND AT THE SITE, CONTACT THE OWNER AND

G. ALL CONTRACTORS ARE TO PROVIDE TEMPORARY MEANS TO KEEP EXISTING BUILDING WEATHER TIGHT DURING DEMOLITION AND CONSTRUCTION.

SYMBOLS LEGEND:



1-HOUR RATED WALL

— ♦ ♦ — • • 2-HOUR RATED WALL

— → ◆ ◆ → — 2-HOUR RATED & SMOKE WALL

EXHIBIT C - SITE CLEARING AND ENABLING PACKAGE

승

JOB NUMBER

591.60' AT TOP OF 6" DIP N/S

RIM=596.98' (COMBINATION) INV=589.03' (12" PVC S) INV=588.95' (48" DIP E & W) INV=589.03' (18" PVC N) 588.95' AT BOTTOM OF STRUCTURE

RIM=596.84' (WATER) √ 60" CONCRETE STRUCTURE 591.30' AT TOP OF 12" DIP E/W RIM=596.62' (WATER)

√ 48" CONCRETE STRUCTURE 591.99' AT TOP OF 6" DIP

RIM=596.96' (WATER) 2\ 60" CONCRETE STRUCTURE 591.14' AT TOP OF 12" DIP E/W

RIM=595.93' (STORM) 48" CONCRETE STRUCTURE 593.62' AT TOP OF SNORKEI 593.16' AT WATER LEVEL

RIM=595.89' (STORM) 48" CONCRETE STRUCTURE 593.70' AT TOP OF SNORKEI 593.46' AT WATER LEVEL 590.54' AT BOTTOM OF STRUCTURE

588.77' AT BOTTOM OF STRUCTURE

48" CONCRETE STRUCTURE 590.27' (12" PVC S) RIM=595.79' (STORM) 48" CONCRETE STRUCTURE INV=592.62' (8" DIP F) 593.34' AT TOP OF SNORKEL 8" DIP SE 592.98' AT WATER LEVEL

RIM=596.74' (WATER)

RIM=596.27' (WATER)

√ 48" CONCRETE STRUCTURE

48" CONCRETE STRUCTURE

590.99' AT TOP OF 12" DIP E/W

591.93' AT TOP OF 6" DIP N/S

RIM=597.12' (COMBINATION)

72" CONCRETE STRUCTURE

INV=589.07' (48" DIP N/E)

INV=590.18' (12" DIP NE)

48" CONCRETE STRUCTURE

48" CONCRETE STRUCTURE

RIM=596.23' (COMBINATION)

591.08' AT TOP OF 12" DIP E/W

589.70' AT TOP OF 6" DIP N/S

589.57' AT BOTTOM OF STRUCTURE

INV=589.81' (8" DIP W)

RIM=597.06' (WATER)

RIM=595.91' (WATER)

RIM=595.44' (STORM) 24" CONCRETE STRUCTURE INV=592.80' (8" DIP SW)

RIM=595.91' (STORM) \ 24" CONCRETE STRUCTURE INV=592.93' (8" DIP E) RIM=597.09' (STORM)

\ 36" BRICK STRUCTURE 591.66' AT BOTTOM OF ELBOW 8" CLAY N INV=592.43' (4" CLAY S)

RIM=596.62' (STORM) 36" CONCRETE STRUCTURE

BOTH ENDS WHERE ALLOWED. (20) EXISTING METAL POST AND FOUNDATION TO BE INV=592.07' (8" CLAY WSW)

(21.) NEW FULL DEPTH SAWCUT OF EXISTING CURB/CONCRETE TO PROVIDE CLEAN CONSTRUCTION BREA. 22. EXISTING CONCRETE SEATWALL TO REMAIN.

II. EXISTING FLAG POLE TO REMAIN

EXISTING BENCH TO REMAIN.

12. EXISTING BASKETBALL HOOP TO REMAIN.

13. EXISTING BARRIER/FLUSH CURB TO REMAIN.

15. EXISTING GAS LINE PER RECORD TO REMAIN.

16. EXISTING DETECTABLE WARNING PLATE TO REMAIN.

17. EXISTING CELL TOWER AND ASSOCIATED ITEMS TO

REMAIN. SEE ELECTRICAL PLANS FOR DETAILS.

(19.) ABANDON EXISTING STORM SEWER IN PLACE. PROVIDE

MIN. 2 FOOT NON-SHRINK CONCRETE MORTAR. PLUG AT

14. EXISTING LANDSCAPE TIMBER TO REMAIN.

(23) NEW FULL DEPTH SAWCUT OF EXISTING ASPHALT PAYEMENT TO PROVIDE CLEAN CONSTRUCTION BREAK. 24. NOT USED.

(25) EXISTING ASPHALT PAVEMENT TO BE REMOVED FULL DEPTH TO MEET THE BOTTOM OF THE NEW PAVEMENT CROSS SECTIONS (NEW SUBGRADE ELEVATION), SEE THE SITE GRADING PLAN FOR NEW FINISHED ELEVATIONS AND DETAIL SHEETS FOR NEW PAVEMENT CROSS SECTIONS.

(26) EXISTING CONCRETE TO BE REMOVED FULL DEPTH TO MEET THE BOTTOM OF THE NEW PAVEMENT CROSS SECTIONS (NEW SUBGRADE ELEVATION). SEE THE SITE GRADING PLAN FOR NEW FINISHED ELEVATIONS AND DETAIL SHEETS FOR NEW PAVEMENT CROSS SECTIONS. (27) EXISTING SHADE STRUCTURE AND ASSOCIATED ITEMS TO

BE REMOVED BY CITY PRIOR TO DEMOLITION WORK.

(34) EXISTING STORM SEWER TO BE REMOVED. (35) CONTRACTOR SHALL TRACE UTILITY PRIOR TO CONSTRUCTION. NOTIFY ENGINEER IMMEDIATELY IF CONFLICT EXIST. 36. EXISTING TENNIS COURT LIGHT AND ASSOCIATED ITEMS

TO REMAIN. (37) EXISTING FENCE, GATES AND POST FOUNDATIONS TO BE REMOVED. (38) EXISTING PANEL FENCE TO BE REMOVED AND SALVAGED TO CITY PRIOR TO DEMOLITION WORK.

39 EXISTING STORM STRUCTURE TO BE REMOVED. (40): EXISTING SHRUB TO BE REMOVED. 41.) EXISTING WOOD TIMBER TO BE REMOVED. (42) EXISTING BLEACHER TO BE REMOVED BY CITY PRIOR TO DEMOLITION WORK. 43) TEMPORARY CONSTRUCTION FENCE AND GATE.

44. EXISTING STORM STRUCTURE AND ASSOCIATED PIPING TO REMAIN. 45. EXISTING STORM SEWER TO REMAIN. 46. EXISTING COMBINED STRUCTURE AND ASSOCIATED

PIPING TO REMAIN. 47. EXISTING COMBINED SEWER TO REMAIN.

48. EXISTING SHADE STRUCTURE TO REMAIN. 49. EXISTING SANITARY STRUCTURE AND ASSOCIATED PIPING TO REMAIN. 50. EXISTING SANITARY SEWER TO REMAIN.

(51.) EXISTING UNDERGROUND ELECTRIC TO BE DISCONNECTED AND REMOVED. 52. EXISTING VALVE VAULT AND ASSOCIATED PIPING TO

53. EXISTING WATER MAIN TO REMAIN.

54. EXISTING GAS LINE TO REMAIN. 55. EXISTING ELECTRICAL BOX TO REMAIN. 56. EXISTING UNDERGROUND ELECTRIC LINE TO REMAIN. 57. EXISTING HANDHOLE AND ASSOCIATED ITEMS TO

65. EXISTING GAS METER AND ASSOCIATED PIPING TO REMAIN. 66. EXISTING UNKNOWN STRUCTURE TO REMAIN.

67. EXISTING B-BOX AND ASSOCIATED PIPING TO REMAIN. 68. EXISTING WATER SERVICE TO REMAIN. 69. EXISTING CLEAN OUT AND ASSOCIATED PIPING TO REMAIN. (70) NEW SILT FENCE TO BE INSTALLED.

ATT.) NEW SUGGESTED TEMPORARY TOPSOIL STOCKPILE AREA. PROVIDE STABILIZATION MEASURES. 72. EXISTING METAL POST TO REMAIN. 73. EXISTING BRICK COLUMN TO REMAIN. 74. EXISTING RUBBER MAT TO REMAIN.

(75) NEW INLET PROTECTION. (76) TEMPORARY CONCRETE WASHOUT FACILITY. (TT) EXISTING POST AND ASSOCIATED FOUNDATIONS TO BE REMOVED AND PROPERLY DISPOSED OF. (78) EXISTING HANDHOLE AND ASSOCIATED ITEMS TO BE

## **ALTERNATES**

REMOVED.

#I. TEMPORARY IO" CA-6 AGGREGATE BASE ROAD FOR ACCESS TO EXISTING CELL TOWER.

#2. ITEMS WITHIN THIS DOUBLE-DOT DASHED AREA TO BE REMOVED ON FLEETWOOD-JOURDAIN PROPERTY. VERIFY WITH THE OWNER AND CITY WHAT ITEMS TO BE

#3. EXISTING MUSCO LIGHTS TO BE DISCONNECTED AND SALVAGED. EXISTING POLE AND ASSOCIATED ITEMS TO BE REMOVED.

EXISTING GAS LINE EXISTING UNDERGROUND ELECTRIC LINE

EXISTING UNDERGROUND TELCO LINE EXISTING OVERHEAD LINES

EXISTING CLOSED MANHOLE EXISTING OPEN GRATE MANHOLE EXISTING BEEHIVE GRATE MANHOLE

EXISTING CURB INLET EXISTING FIRE HYDRANT EXISTING VALVE VAULT EXISTING STREET LIGHT

— UGE — UGE — UGE —

— DHL —— DHL —

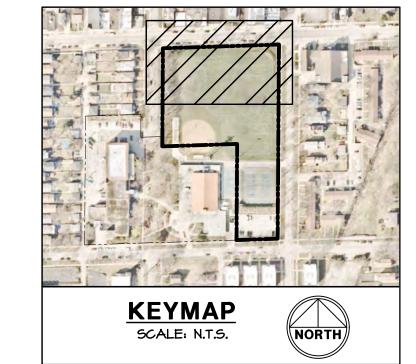
EXISTING AREA LIGHT EXISTING B-BOX EXISTING GAS VALVE

ROOT ZONE PROTECTION FENCE



TEMPORARY CONCRETE WASHOUT FACILIT

SOIL BORING



ARK

CORDOGAN

## HATCH LEGEND

ASPHALT PAVEMENT TO BE REMOVED FULL DEPTH

CONCRETE TO BE REMOVED FULL DEPTH

SUGGESTED LOCATION OF THE TEMPORARY

STOCKPILE AREA. GENERAL GRASS SEED MIX TO BE APPLIED TO TOPSOIL STOCK PILE IF TOPSOIL STOCK PILE IS DORMANT FOR MORE THAN 3 DAYS.

TEMPORARY STABLIZIED CONSTRUCTION ENTRANCE

## SITE DEMOLITION NOTES:

A. CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS. B. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND

COORDINATE ALL DEMOLITION WITH THE MUNICIPALITY AND OWNERS REPRESENTATIVE TO ENSURE PROTECTION AND MAINTENANCE OF SANITARY AND WATER UTILITIES AS NECESSARY AND TO PROVIDE STORM WATER CONVEYANCE UNTIL NEW FACILITIES ARE CONSTRUCTED, TESTED, AND PLACED IN OPERATION. CONTRACTOR SHALL DEVELOP AND IMPLEMENT A DAILY PROGRAM OF DUST CONTROL

PROCEDURES PRIOR TO DEMOLITION OF ANY STRUCTURES. MODIFICATION OF DUST CONTROL PROCEDURES SHALL BE PERFORMED BY THE CONTRACTOR TO THE SATISFACTION OF THE MUNICIPALITY AND COMPLY WITH THE NPDES II REQUIREMENTS OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY AND THE INDIVIDUAL STORM WATER POLLUTION PREVENTION PLAN FOR THIS PROJECT. D. ALL EXISTING TREES, BRUSH AND MISCELLANEOUS VEGETATION TO BE REMOVED OR DEMOLISHED SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF BY THE

E. VOIDS LEFT BY ANY ITEM REMOVED UNDER ANY PROPOSED BUILDING, PAVEMENT, OR WALK OR WITHIN 24" THEREOF SHALL BE BACKFILLED WITH ENGINEERED FILL ACCORDING TO THE GEOTECHNICAL REPORT.

ALL EXISTING BUILDINGS, FOUNDATIONS, CONCRETE OR ASPHALT PAVEMENT OR WALKS, CURB AND GUTTER AND MISCELLANEOUS STRUCTURES (INCLUDING, BUT NOT LIMITED TO FENCES, POLES, YARD LIGHTS, ELECTRICAL PANELS, AND MISCELLANEOUS DEBRIS) INDICATED TO BE DEMOLISHED SHALL BE REMOVED OR DEMOLISHED AND REMOVED FROM THE SITE AND DISPOSED OF LEGALLY BY THE CONTRACTOR. G. CONTACT GAS COMPANY PRIOR TO DEMOLITION. LOCATION OF EXISTING GAS

SERVICES ARE UNKNOWN. H. ALL EXISTING TREES SHALL REMAIN UNLESS OTHERWISE NOTED. ALL EXISTING UTILITIES SHALL REMAIN UNLESS OTHERWISE NOTED

CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS. K. CONTRACTOR SHALL PROVIDE REMOVAL AND REPLACEMENT AND SHORING AS NECESSARY TO MEET OSHA AND LOCAL CODE, AS WELL AS MANUFACTURER'S

REQUIREMENTS. ALL FOUNDATIONS FOR ALL FENCES, SIGNS, ETC. NOTED FOR REMOVAL SHALL BE REMOVED AND LEGALLY DISPOSED OF OFFSITE M. PROOF-ROLLING SHALL BE PERFORMED FOR ALL SUBGRADE PRIOR TO CONSTRUCTION OF NEW PAVEMENT. ALL SUBGRADE PROOF-ROLLING SHALL BE WITNESSED AND APPROVED BY A MATERIALS TESTING AGENCY TO BE HIRED BY THE OWNER. CONTRACTOR TO COORDINATE ALL PROOF-ROLLING WITH THE MATERIALS TESTING AGENCY. CONTACT THE ENGINEER AND MATERIAL TESTING AGENCY SO THAT THEY

MAY WITNESS THE PROOF ROLL. PROOF ROLL SHALL BE PROVIDED FOR ALL PAVEMENT AREAS SPECIFIED FOR FULL DEPTH REMOVAL AND REPLACEMENT. I. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE BOUNDARY AND TOPOGRAPHIC SURVEY LAST DATED 3-6-23, PREPARED BY WT GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

O. SEE SHEETS SUR-I TO SUR-4 "BOUNDARY AND TOPOGRAPHIC SURVEY" FOR ALL EXISTING LOCATED UTILITY DATA.

CLEAR SITE AS NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS. Q. ALL ITEMS MARK "EXISTING OR EXISTING TO REMAIN" TO BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION.

R. CONTRACTOR TO PROVIDE SOIL TESTING SERVICES FOR COMPLETION OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY'S LPC-662 AND/OR LPC-663 FORMS AS PART OF THEIR CONTRACT.

S. ALL EXISTING UTILITIES TO BE ABANDONED IN PLACE SHALL BE CAPPED WITH 2' LONG (MIN.) NON-SHRINK CONCRETE MORTAR PLUGS AT BOTH ENDS.

BID GROUP

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**DEMOLITION** 

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SCF NEV

JOB NUMBER

ISSUED FOR BID 6/7/2024

I" = 20' 00 10 20

C2200042

Civil | Land Survey | Telecommunication | Aquatic ccessibility Consulting | Design & Program Managem Engineering with Precision, Pace & Passion. Group 2675 Pratum Avenue | Hoffman Estates, IL 60192 wtengineering.com IL License No: 184.007570-0015 | Exp: 04.30.202: © COPYRIGHT 2023 THE W-T GROUP, LLC

CORDOGAN

SUGGESTED LOCATION OF THE TEMPORARY STOCKPILE AREA. GENERAL GRASS SEED MIX TO BE APPLIED TO TOPSOIL STOCK PILE IF TOPSOIL STOCK PILE IS DORMANT FOR MORE THAN 3 DAYS.

## SITE DEMOLITION NOTES:

- A. CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.
- TO ENSURE PROTECTION AND MAINTENANCE OF SANITARY AND WATER UTILITIES AS JECESSARY AND TO PROVIDE STORM WATER CONVEYANCE UNTIL NEW FACILITIES ARE CONSTRUCTED, TESTED, AND PLACED IN OPERATION.
- PROCEDURES PRIOR TO DEMOLITION OF ANY STRUCTURES. MODIFICATION OF DUST SATISFACTION OF THE MUNICIPALITY AND COMPLY WITH THE NPDES II REQUIREMENTS WATER POLLUTION PREVENTION PLAN FOR THIS PROJECT.

- DEBRIS) INDICATED TO BE DEMOLISHED SHALL BE REMOVED OR DEMOLISHED AND
  - CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS.
- REQUIREMENTS
- PROOF-ROLLING SHALL BE PERFORMED FOR ALL SUBGRADE PRIOR TO CONSTRUCTION OF NEW PAVEMENT. ALL SUBGRADE PROOF-ROLLING SHALL BE WITNESSED AND APPROVED BY A MATERIALS TESTING AGENCY TO BE HIRED BY THE OWNER. CONTRACTOR TO COORDINATE ALL PROOF-ROLLING WITH THE MATERIALS TESTING AGENCY. CONTACT THE ENGINEER AND MATERIAL TESTING AGENCY SO THAT THEY MAY WITNESS THE PROOF ROLL. PROOF ROLL SHALL BE PROVIDED FOR ALL
- PAVEMENT AREAS SPECIFIED FOR FULL DEPTH REMOVAL AND REPLACEMENT. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE BOUNDARY AND TOPOGRAPHIC SURVEY LAST DATED 3-6-23, PREPARED BY MT GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY
- CLEAR SITE AS NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS.

- OF THEIR CONTRACT. S. ALL EXISTING UTILITIES TO BE ABANDONED IN PLACE SHALL BE CAPPED WITH 2' LONG

EXISTING COMBINATION SEWER

## HATCH LEGEND

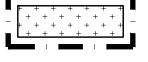
ASPHALT PAYEMENT TO BE REMOVED FULL DEPTH

- CONTRACTOR SHALL PROVIDE REMOVAL AND REPLACEMENT AND SHORING AS NECESSARY TO MEET OSHA AND LOCAL CODE, AS WELL AS MANUFACTURER'S
- REMOVED AND LEGALLY DISPOSED OF OFFSITE.

- SEE SHEETS SUR-I TO SUR-4 "BOUNDARY AND TOPOGRAPHIC SURVEY" FOR ALL EXISTING LOCATED UTILITY DATA.
- - DAMAGE FOR THE DURATION OF CONSTRUCTION
- ENVIRONMENTAL PROTECTION AGENCY'S LPC-662 AND/OR LPC-663 FORMS AS PART

CONCRETE TO BE REMOVED FULL DEPTH

TEMPORARY STABLIZIED CONSTRUCTION ENTRANCE



- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND
- ALL EXISTING TREES, BRUSH AND MISCELLANEOUS VEGETATION TO BE REMOVED OR

- Q. ALL ITEMS MARK "EXISTING OR EXISTING TO REMAIN" TO BE PROTECTED FROM
- R. CONTRACTOR TO PROVIDE SOIL TESTING SERVICES FOR COMPLETION OF THE ILLINOIS

(MIN.) NON-SHRINK CONCRETE MORTAR PLUGS AT BOTH ENDS.

**BID GROUP 1** 

SCHOO NEW F

**EMOLITION** 

SITE

JOB NUMBER

ISSUED FOR BID 6/7/2024

l" = 20' 10 40 80

C2200042

Civil | Land Survey | Telecommunication | Aquatic accessibility Consulting | Design & Program Managem Engineering with Precision, Pace & Passion. 2675 Pratum Avenue | Hoffman Estates, IL 60192 wtengineering.com IL License No: 184.007570-0015 | Exp: 04.30.2025 © COPYRIGHT 2023 THE W-T GROUP, LLC

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**EXHIBIT C - SITE CLEARING** 

AND ENABLING PACKAGE

ALTERNATE #1

**EXISTING UTILITY DATA** 

RIM=598.17' (STORM)

33\ 18" CONCRETÈ STRUCTURE

RIM=596.99' (STORM)

/34\ 36' CONCRETE STRUCTURE

INV=595.83' (2" DIP SW)

INV=592.96' (8" PVC SW)

RIM=597.17' (COMBINATION)

INV=592.67' (6" CLAY SE/S)

INV=592.60' (6" CLAY NW)

RIM=597.02' (COMBINATION)

INV=592.93' (8" PVC E)

INV=592.13' (8" CLAY SE/NW)

INV=592.29' (6" CLAY SW)

INV=592.82' (6" CLAY ENE)

INV=592.56' (4" CLAY SE)

INV=593.34' (6" CLAY NW)

INV=591.91' (4" CLAY ESE)

CHANGES AT SOME POINT TO

INV=594.62' (2" DIP SW)

RIM=596.57' (STORM)

/83\ 48" CONCRETE STRUCTURE

A 8" CLAY SE)

/36\ 36" CONCRETE STRUCTURE

RIM=597.19' (STORM)

√ 36" BLOCK STRUCTURE

36" CONCRETE STRUCTURE

593.13' AT BOTTOM OF STRUCTURE

593.67' AT TOP SNORKEL 8" PVC W

RIM=594.89' (STORM)

1 \ 48" CONCRETE STRUCTURE

RIM=595.12' (STORM)

RIM=594.85' (STORM)

RIM=595.67' (STORM)

INV=591.07' (10" DIP W)

INV=590.07' (12" DIP SW)

48" CONCRETE STRUCTURE

INV=598.95' (12" DIP NE)

24" CONCRETE STRUCTURE

INV=591.80' (10" DIP E)

48" CONCRETE STRUCTURE

INV=590.67' (8" PVC ESE)

INV=590.42' (12" DIP SE)

RIM=595.84' (COMBINATION)

48" CONCRETE STRUCTURE

RIM=596.83' (COMBINATION)

INV=589.96' (12" PVC N/S)

INV=591.69' (8" CLAY WNW)

RIM=596.95' (COMBINATION)

INV=589.96' (12" PVC N/S)

INV=590.17' (8" CLAY SE)

RIM=596.70' (COMBINATION)

WATER IN TROUGH @ 590.07

INV=589.74'(8" CLAY NW & SE)

592.65' AT BOTTOM OF STRUCTURE

36" BRICK STRUCTURE

36" BRICK STRUCTURE

RIM=598.25' (UNKNOWN)

NO LINES FOUND

18" CONCRETE STRUCTURE

48" CONCRETE STRUCTURE

INV=589.87' (12" PVC N/S)

INV=581.82' (48" RCP N/S)

INV=581.67' (48" RCP N/S)

#3. EXISTING MUSCO LIGHTS TO BE DISCONNECTED AND

- ACCESS TO EXISTING CELL TOWER.
- REMOVED ON FLEETWOOD-JOURDAIN PROPERTY. VERIFY WITH THE OWNER AND CITY WHAT ITEMS TO BE

# **ALTERNATES**

DENOTES ACTION ITEMS

PROPERLY DISPOSED OF.

60. EXISTING WOOD CHIPS TO REMAIN.

(6T.) EXISTING HOME PLATE TO BE REMOVED.

63. EXISTING STORM STRUCTURE TO REMAIN.

66. EXISTING UNKNOWN STRUCTURE TO REMAIN.

68. EXISTING WATER SERVICE TO REMAIN.

72. EXISTING METAL POST TO REMAIN.

73. EXISTING BRICK COLUMN TO REMAIN

74. EXISTING RUBBER MAT TO REMAIN.

(75) NEW INLET PROTECTION.

REMAIN.

REMAIN.

MATCHLINE (SEE SHEET C-1.0)

ALTERNATE #2

1

**GENERAL PROJECT NOTES:** 

(28) EXISTING CONCRETE SEATWALL AND ASSOCIATED

(29) PROVIDE ROOT ZONE PROTECTION FENCE.

(34) EXISTING STORM SEWER TO BE REMOVED.

(35) CONTRACTOR SHALL TRACE UTILITY PRIOR TO

(38) EXISTING PANEL FENCE TO BE REMOVED AND

39 EXISTING STORM STRUCTURE TO BE REMOVED.

(43) TEMPORARY CONSTRUCTION FENCE AND GATE.

46. EXISTING COMBINED STRUCTURE AND ASSOCIATED

49. EXISTING SANITARY STRUCTURE AND ASSOCIATED

52. EXISTING VALVE VAULT AND ASSOCIATED PIPING TO

56. EXISTING UNDERGROUND ELECTRIC LINE TO REMAIN.

57. EXISTING HANDHOLE AND ASSOCIATED ITEMS TO

41. EXISTING WOOD TIMBER TO BE REMOVED.

(40). EXISTING SHRUB TO BE REMOVED.

45. EXISTING STORM SEWER TO REMAIN.

47. EXISTING COMBINED SEWER TO REMAIN.

48. EXISTING SHADE STRUCTURE TO REMAIN.

50. EXISTING SANITARY SEWER TO REMAIN.

(51.) EXISTING UNDERGROUND ELECTRIC TO BE

DISCONNECTED AND REMOVED.

53. EXISTING WATER MAIN TO REMAIN.

55. EXISTING ELECTRICAL BOX TO REMAIN.

54. EXISTING GAS LINE TO REMAIN.

TO DEMOLITION WORK.

(30) NEW 14 FOOT WIDE , 6" CA-I AGGREGATE BASE.

CONSTRUCTION ENTRANCE ON TOP OF EXISTING

(31.) EXISTING MUSCO LIGHT AND POLE AND ASSOCIATED

(32) EXISTING BENCH TO BE REMOVED BY CITY PRIOR TO

CONSTRUCTION. NOTIFY ENGINEER IMMEDIATELY IF

36. EXISTING TENNIS COURT LIGHT AND ASSOCIATED ITEMS

(37) EXISTING FENCE, GATES AND POST FOUNDATIONS TO BE

SALVAGED TO CITY PRIOR TO DEMOLITION WORK.

(42) EXISTING BLEACHER TO BE REMOVED BY CITY PRIOR

44. EXISTING STORM STRUCTURE AND ASSOCIATED PIPING

DEMOLITION WORK.

ITEMS TO BE REMOVED.

DEMOLITION WORK.

CONFLICT EXIST.

TO REMAIN.

REMOVED.

TO REMAIN.

PIPING TO REMAIN.

PIPING TO REMAIN.

33. NOT USED.

FOUNDATION TO BE REMOVED BY CITY PRIOR TO

FLEETWOOD - JOURDAIN

CÉNTER (EXISTING)

EXISTING BUILDING TO REMAIN.

EXISTING CONCRETE TO REMAIN.

6. EXISTING FENCE TO REMAIN.

9. EXISTING SIGN TO REMAIN.

II. EXISTING FLAG POLE TO REMAIN.

EXISTING BENCH TO REMAIN.

BOTH ENDS WHERE ALLOWED.

24. NOT USED.

5. EXISTING CURB AND GUTTER TO REMAIN.

12. EXISTING BASKETBALL HOOP TO REMAIN.

13. EXISTING BARRIER/FLUSH CURB TO REMAIN.

15. EXISTING GAS LINE PER RECORD TO REMAIN.

16. EXISTING DETECTABLE WARNING PLATE TO REMAIN.

17. EXISTING CELL TOWER AND ASSOCIATED ITEMS TO

REMAIN. SEE ELECTRICAL PLANS FOR DETAILS.

②EXISTING METAL POST AND FOUNDATION TO BE

TO PROVIDE CLEAN CONSTRUCTION BREA.

(23) NEW FULL DEPTH SAWCUT OF EXISTING ASPHALT

22. EXISTING CONCRETE SEATWALL TO REMAIN.

(19.) ABANDON EXISTING STORM SEWER IN PLACE. PROVIDE

(21.) NEW FULL DEPTH SAWCUT OF EXISTING CURB/CONCRETE

(25) EXISTING ASPHALT PAVEMENT TO BE REMOVED FULL

AND DETAIL SHEETS FOR NEW PAVEMENT CROSS

(26) EXISTING CONCRETE TO BE REMOVED FULL DEPTH TO MEET THE BOTTOM OF THE NEW PAVEMENT CROSS

SECTIONS (NEW SUBGRADE ELEVATION). SEE THE SITE

GRADING PLAN FOR NEW FINISHED ELEVATIONS AND

DETAIL SHEETS FOR NEW PAVEMENT CROSS SECTIONS.

27) EXISTING SHADE STRUCTURE AND ASSOCIATED ITEMS TO

BE REMOVED BY CITY PRIOR TO DEMOLITION WORK.

MIN. 2 FOOT NON-SHRINK CONCRETE MORTAR. PLUG AT

PAVEMENT TO PROVIDE CLEAN CONSTRUCTION BREAK.

DEPTH TO MEET THE BOTTOM OF THE NEW PAVEMENT

SITE GRADING PLAN FOR NEW FINISHED ELEVATIONS

CROSS SECTIONS (NEW SUBGRADE ELEVATION). SEE THE

14. EXISTING LANDSCAPE TIMBER TO REMAIN.

EXISTING ASPHALT PAVEMENT TO REMAIN.

4. EXISTING HYDRANT AND ASSOCIATED PIPING TO

EXISTING AREA LIGHT AND ASSOCIATED WIRING TO

8. EXISTING STREET LIGHT AND ASSOCIATED WIRING TO

IO. EXISTING GROUND LIGHT AND ASSOCIATED WIRING TO

3 (31)

#I. TEMPORARY IO" CA-6 AGGREGATE BASE ROAD FOR

- APPROXIMATE ·

(58) EXISTING BACKSTOP FENCE TO BE REMOVED AND

SALVAGED TO CITY PRIOR TO DEMOLITION WORK.

FENCE POST FOUNDATIONS TO BE REMOVED AND

(59) EXISTING PLANTERS AND ASSOCIATED ITEMS TO BE

62. EXISTING UNDERGROUND TELCO LINE TO REMAIN.

REMOVED BY CITY PRIOR TO DEMOLITION WORK.

(64) EXISTING DIRT IN FIELD TO BE REMOVED FULL DEPTH.

67. EXISTING B-BOX AND ASSOCIATED PIPING TO REMAIN.

65. EXISTING GAS METER AND ASSOCIATED PIPING TO

69. EXISTING CLEAN OUT AND ASSOCIATED PIPING TO

NEW SILT FENCE TO BE INSTALLED.

TI. NEW SUGGESTED TEMPORARY TOPSOIL STOCKPILE

(TT) EXISTING POST AND ASSOCIATED FOUNDATIONS TO BE

(78) EXISTING HANDHOLE AND ASSOCIATED ITEMS TO BE

AREA. PROVIDE STABILIZATION MEASURES.

(76) TEMPORARY CONCRETE WASHOUT FACILITY.

REMOVED AND PROPERLY DISPOSED OF.

**DEMOLITION LEGEND** 

\_\_\_\_ vs \_\_\_\_ vs \_\_\_\_

—— GAS ——— GAS ———

— UGE —— UGE —— UGE —

— UGT —— UGT —— UGT —

— DHL —— DHL —

EXISTING STORM SEWER

EXISTING WATER MAIN

EXISTING GAS LINE

EXISTING WATER SERVICE

EXISTING OVERHEAD LINES

EXISTING CLOSED MANHOLE

EXISTING CURB INLET

EXISTING FIRE HYDRANT

EXISTING VALVE VAULT

EXISTING STREET LIGHT

EXISTING AREA LIGHT

EXISTING GAS VALVE

ROOT ZONE PROTECTION FENCE

FLEXSTORM CATCH-IT INLET PROTECTION

TEMPORARY CONCRETE WASHOUT FACILITY

EXISTING B-BOX

SILT FENCE

SOIL BORING

EXISTING OPEN GRATE MANHOLE

EXISTING BEEHIVE GRATE MANHOLE

EXISTING UNDERGROUND ELECTRIC LINE

EXISTING UNDERGROUND TELCO LINE

EXISTING SANITARY SEWER

FOUNDATION LIMITS

FINISH FLOOR ELEV. 598.00'

- #2. ITEMS WITHIN THIS DOUBLE-DOT DASHED AREA TO BE
- SALVAGED. EXISTING POLE AND ASSOCIATED ITEMS TO BE REMOVED.

ARK

CORDOGAN

SCHOO NEW F

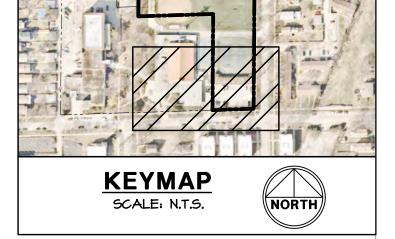
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**EMOLITION** 

**BID GROUP 1** 

ISSUED FOR BID 6/7/2024

JOB NUMBER





ASPHALT PAVEMENT TO BE REMOVED FULL DEPTH

SUGGESTED LOCATION OF THE TEMPORARY STOCKPILE AREA. GENERAL GRASS SEED MIX TO BE

## SITE DEMOLITION NOTES:

CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS.

THE CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND

CONTRACTOR SHALL DEVELOP AND IMPLEMENT A DAILY PROGRAM OF DUST CONTROL PROCEDURES PRIOR TO DEMOLITION OF ANY STRUCTURES. MODIFICATION OF DUST SATISFACTION OF THE MUNICIPALITY AND COMPLY WITH THE NPDES II REQUIREMENTS

ALL EXISTING TREES, BRUSH AND MISCELLANEOUS VEGETATION

SERVICES ARE UNKNOWN

ALL EXISTING UTILITIES SHALL REMAIN UNLESS OTHERWISE NOTED CONTRACTOR SHALL HIRE A PRIVATE UTILITY LOCATOR TO LOCATE UTILITIES PRIOR TO CONSTRUCTION AND SHALL CONTACT THE SITE ENGINEER IF A CONFLICT EXISTS. CONTRACTOR SHALL PROVIDE REMOVAL AND REPLACEMENT AND SHORING AS

M. PROOF-ROLLING SHALL BE PERFORMED FOR ALL SUBGRADE PRIOR TO CONSTRUCTION OF NEW PAVEMENT. ALL SUBGRADE PROOF-ROLLING SHALL BE WITNESSED AND APPROVED BY A MATERIALS TESTING AGENCY TO BE HIRED BY THE OWNER. CONTRACTOR TO COORDINATE ALL PROOF-ROLLING WITH THE MATERIALS TESTING AGENCY. CONTACT THE ENGINEER AND MATERIAL TESTING AGENCY SO THAT THEY MAY WITNESS THE PROOF ROLL. PROOF ROLL SHALL BE PROVIDED FOR ALL

PAVEMENT AREAS SPECIFIED FOR FULL DEPTH REMOVAL AND REPLACEMENT. EXISTING CONDITIONS AND TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS PER THE BOUNDARY AND TOPOGRAPHIC SURVEY LAST DATED 3-6-23, PREPARED BY WT GROUP. CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS AND CONDITIONS (INCLUDING BUT NOT LIMITED TO VERIFICATION OF CONTROL AND ALL UTILITIES WHETHER DEPICTED OR NOT) PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY

O. SEE SHEETS SUR-I TO SUR-4 "BOUNDARY AND TOPOGRAPHIC SURVEY" FOR ALL

Q. ALL ITEMS MARK "EXISTING OR EXISTING TO REMAIN" TO BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION.

S. ALL EXISTING UTILITIES TO BE ABANDONED IN PLACE SHALL BE CAPPED WITH 2' LONG

CONCRETE TO BE REMOVED FULL DEPTH

FEMPORARY STABLIZIED CONSTRUCTION ENTRANCE

APPLIED TO TOPSOIL STOCK PILE IF TOPSOIL STOCK PILE IS DORMANT FOR MORE THAN 3 DAYS.

ACCORDING TO THE GEOTECHNICAL REPORT

REMOVED FROM THE SITE AND DISPOSED OF LEGALLY BY THE CONTRACTOR.

NECESSARY TO MEET OSHA AND LOCAL CODE, AS WELL AS MANUFACTURER'S ALL FOUNDATIONS FOR ALL FENCES, SIGNS, ETC. NOTED FOR REMOVAL SHALL BE

REMOVED AND LEGALLY DISPOSED OF OFFSITE.

CLEAR SITE AS NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS.

R. CONTRACTOR TO PROVIDE SOIL TESTING SERVICES FOR COMPLETION OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY'S LPC-662 AND/OR LPC-663 FORMS AS PART

(MIN.) NON-SHRINK CONCRETE MORTAR PLUGS AT BOTH ENDS.

## **DEMOLITION LEGEND**

DEMOCITION LEGEND					
>_			EXISTING STORM SEWER S.		
>_	>		EXISTING SANITARY SEWER		
>	>		EXISTING COMBINATION SEMER		
wm	WM	— wm ——	EXISTING WATER MAIN		
vs	vs	— vs ——	EXISTING WATER SERVICE		
— GAS —	—— GAS ——	— GAS ——	EXISTING GAS LINE		
— UGE —	UGE	— UGE —	EXISTING UNDERGROUND ELECTRIC LINE		
— ибт —	—— UGT —	— UGT —	EXISTING UNDERGROUND TELCO LINE		
— DHL —	— DHL —	— DHL —	EXISTING OVERHEAD LINES		
	0		EXISTING CLOSED MANHOLE		
			EXISTING OPEN GRATE MANHOLE		
	<b>⊗</b>		EXISTING BEEHIVE GRATE MANHOLE		
	<b>2</b>		EXISTING CURB INLET		
	$\alpha$		EXISTING FIRE HYDRANT		
	$(\bigotimes)$		EXISTING VALVE VAULT		
•		<b></b> ∳-	EXISTING STREET LIGHT		
	$\Rightarrow$	•	EXISTING AREA LIGHT		
	8		EXISTING B-BOX		
	6		EXISTING GAS VALVE		
	$\int_{0}^{\infty}$	Լ	POOT ZONE PROTECTION SENCE		

## **ALTERNATES**

FOSTER STREET

DENOTES ACTION ITEMS

PROPERLY DISPOSED OF.

60. EXISTING WOOD CHIPS TO REMAIN.

(6T.) EXISTING HOME PLATE TO BE REMOVED.

63. EXISTING STORM STRUCTURE TO REMAIN.

66. EXISTING UNKNOWN STRUCTURE TO REMAIN.

68. EXISTING WATER SERVICE TO REMAIN.

(70) NEW SILT FENCE TO BE INSTALLED.

72. EXISTING METAL POST TO REMAIN.

73. EXISTING BRICK COLUMN TO REMAIN.

74. EXISTING RUBBER MAT TO REMAIN.

(75) NEW INLET PROTECTION.

(58) EXISTING BACKSTOP FENCE TO BE REMOVED AND

SALVAGED TO CITY PRIOR TO DEMOLITION WORK.

FENCE POST FOUNDATIONS TO BE REMOVED AND

REMOVED BY CITY PRIOR TO DEMOLITION WORK.

(64) EXISTING DIRT IN FIELD TO BE REMOVED FULL DEPTH.

67. EXISTING B-BOX AND ASSOCIATED PIPING TO REMAIN.

65. EXISTING GAS METER AND ASSOCIATED PIPING TO

69. EXISTING CLEAN OUT AND ASSOCIATED PIPING TO

TI. NEW SUGGESTED TEMPORARY TOPSOIL STOCKPILE

TT EXISTING POST AND ASSOCIATED FOUNDATIONS TO BE

(78) EXISTING HANDHOLE AND ASSOCIATED ITEMS TO BE

AREA. PROVIDE STABILIZATION MEASURES.

(76) TEMPORARY CONCRETE WASHOUT FACILITY.

REMOVED AND PROPERLY DISPOSED OF.

(59) EXISTING PLANTERS AND ASSOCIATED ITEMS TO BE

62. EXISTING UNDERGROUND TELCO LINE TO REMAIN.

REMAIN.

REMAIN.

#I. TEMPORARY IO" CA-6 AGGREGATE BASE ROAD FOR ACCESS TO EXISTING CELL TOWER.

#2. ITEMS WITHIN THIS DOUBLE-DOT DASHED AREA TO BE REMOVED ON FLEETWOOD-JOURDAIN PROPERTY. VERIFY WITH THE OWNER AND CITY WHAT ITEMS TO BE SALVAGED.

(2I)-

**GENERAL PROJECT NOTES:** 

FOUNDATION TO BE REMOVED BY CITY PRIOR TO

(28) EXISTING CONCRETE SEATWALL AND ASSOCIATED

PROVIDE ROOT ZONE PROTECTION FENCE.

(34) EXISTING STORM SEWER TO BE REMOVED.

(35) CONTRACTOR SHALL TRACE UTILITY PRIOR TO

(38) EXISTING PANEL FENCE TO BE REMOVED AND

39 EXISTING STORM STRUCTURE TO BE REMOVED.

(43) TEMPORARY CONSTRUCTION FENCE AND GATE.

(41.) EXISTING WOOD TIMBER TO BE REMOVED.

(40): EXISTING SHRUB TO BE REMOVED.

45. EXISTING STORM SEWER TO REMAIN.

DISCONNECTED AND REMOVED.

53. EXISTING WATER MAIN TO REMAIN.

55. EXISTING ELECTRICAL BOX TO REMAIN.

54. EXISTING GAS LINE TO REMAIN.

47. EXISTING COMBINED SEWER TO REMAIN.

48. EXISTING SHADE STRUCTURE TO REMAIN

D. EXISTING SANITARY SEWER TO REMAIN.

EXISTING UNDERGROUND ELECTRIC TO BE

TO DEMOLITION WORK.

(30) NEW 14 FOOT WIDE , 6" CA-1 AGGREGATE BASE.

CONSTRUCTION ENTRANCE ON TOP OF EXISTING

(31.) EXISTING MUSCO LIGHT AND POLE AND ASSOCIATED

32 EXISTING BENCH TO BE REMOVED BY CITY PRIOR TO

CONSTRUCTION. NOTIFY ENGINEER IMMEDIATELY IF

36. EXISTING TENNIS COURT LIGHT AND ASSOCIATED ITEMS

(37) EXISTING FENCE, GATES AND POST FOUNDATIONS TO BE

SALVAGED TO CITY PRIOR TO DEMOLITION WORK.

(42) EXISTING BLEACHER TO BE REMOVED BY CITY PRIOR

44. EXISTING STORM STRUCTURE AND ASSOCIATED PIPING

46. EXISTING COMBINED STRUCTURE AND ASSOCIATED

49. EXISTING SANITARY STRUCTURE AND ASSOCIATED

52. EXISTING VALVE VAULT AND ASSOCIATED PIPING TO

56. EXISTING UNDERGROUND ELECTRIC LINE TO REMAIN.

57. EXISTING HANDHOLE AND ASSOCIATED ITEMS TO

DEMOLITION WORK.

DEMOLITION WORK.

CONFLICT EXIST.

TO REMAIN.

REMOVED.

TO REMAIN.

PIPING TO REMAIN.

PIPING TO REMAIN.

ITEMS TO BE REMOVED.

ASPHALT.

33. NOT USED.

#3. EXISTING MUSCO LIGHTS TO BE DISCONNECTED AND SALVAGED. EXISTING POLE AND ASSOCIATED ITEMS TO BE REMOVED.

NORTH l" = 20'

00 10 20 40 80

> C2200042 WT GROUP 💢 Civil | Land Survey | Telecommunication| Aquatic Accessibility Consulting | Design & Program Manageme

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EXHIBIT C.- SITE CLEARING

GAS — GAS —

RIM=595.16' (STORM)
24" CONCRETE STRUCTURE
INV=591.81' (10" DIP E)

RIM=595.23' (STORM)
48" CONCRETE STRUCTURE
INV=590.63' (12" DIP NW)
INV=590.70' (10" DIP W)

RIM=595.95' (STORM)
48" CONCRETE STRUCTURE
INV=592.88' (6" PVC N)
DRY WELL

RIM=595.96' (WATER)

RIM=596.08' (STORM)
60" CONCRETE STRUCTURE
INV=584.00' (36" RCP E)

INV=584.00' (27" RCP S)

RIM=598.18' (STORM)
18" IN 24" CONCRETE STRUCTURE
FULL OF DEBRIS
NO LINES FOUND
592.75' AT TOP OF DEBRIS

RIM=596.29' (STORM)
48" CONCRETE STRUCTURE
INV=590.04' (18" PVC NE)
INV=589.74' (12" METAL
W/RESTRICTOR SW)

RIM=595.86' (STORM)
48" CONCRETE STRUCTURE
INV=591.73' (8" PVC NNE

INV=590.68' (18" PVC SW)

RIM=595.98' (COMBINATION)
48" CONCRETE STRUCTURE
INV=590.30' (12" PVC N/S)

INV=590.68' (8" CLAY E)

RIM=596.02' (STORM)
96" CONCRETE STRUCTURE
INV=582.24' (48" RCP N)
INV=591.30' (12" RCP SSE)
12" METAL SE UNABLE TO GET INVERT
INV=584.00' (24" RCP S)
10" METAL MSW UNABLE TO GET INVERT
INV=582.77' (36" RCP W)

INV=582.77' (36" RCP W)

RIM=595.61' (STORM)
48" CONCRETE STRUCTURE
INV=591.78' (12" METAL N)
INV=591.53' (12" METAL
W/RESTRICTOR NW)

48" CONCRETE STRUCTURE
590.51' AT TOP OF 8" DIP N/S/E)

**EXISTING UTILITY DATA** 

RIM=595.76' (STORM)
24" CONCRETE STRUCTURE
INV=592.51' (12" RCP N)

RIM=595.68' (STORM)
48" CONCRETE STRUCTURE
INV=592.53' (10" METAL ENE)
INV=592.53' (12" RCP S)

RIM=595.64' (WATER)
48" CONCRETE STRUCTURE
591.50' AT TOP OF 8" DIP E/W

RIM=595.00' (STORM)
24" CONCRETE STRUCTURE
INV=591.95' (6" PVC NNE)
INV=591.75' (10" METAL SSW)

AS CONCRETE STRUCTURE
INV=591.08' (12" METAL NE)
INV=591.08' (10" METAL NNE)

RIM=595.54' (STORM)
72" CONCRETE STRUCTURE
INV=583.47' (36" RCP E/W)

8" METAL NE UNABLE TO GET INVERT

RIM=595.48' (STORM)
72" CONCRETE STRUCTURE
INV=589.28' (10" METAL NE)
INV=583.51' (36" RCP E/W)
INV=590.48' (10" METAL SW)
INV=591.36' (10" PVC NW)

RIM=595.22' (STORM)
48" CONCRETE STRUCTURE
INV=590.47' (10" METAL NE
W/RESTRICTOR)

RIM=595.24' (STORM)
48" CONCRETE STRUCTURE
INV=591.24' (10" METAL SW

RIM=596.47' (STORM)
48" CONCRETE STRUCTURE
INV=591.94' (8" CLAY SE

RIM=598.11' (UNKNOWN)
UNABLE TO OPEN

W/ 6" HOLE HAS COMBINATION LID

DENABLING PACKAGE

FLEETWOOD - JOURDAIN

CENTER (EXISTING)

EXISTING BUILDING TO REMAIN.

EXISTING FENCE TO REMAIN.

9. EXISTING SIGN TO REMAIN.

REMAIN.

REMAIN.

REMOVED.

24. NOT USED.

EXISTING CONCRETE TO REMAIN.

EXISTING FLAG POLE TO REMAIN.

EXISTING BENCH TO REMAIN.

BOTH ENDS WHERE ALLOWED.

12. EXISTING BASKETBALL HOOP TO REMAIN.

13. EXISTING BARRIER/FLUSH CURB TO REMAIN.

14. EXISTING LANDSCAPE TIMBER TO REMAIN.

15. EXISTING GAS LINE PER RECORD TO REMAIN.

16. EXISTING DETECTABLE WARNING PLATE TO REMAIN.

17. EXISTING CELL TOWER AND ASSOCIATED ITEMS TO

REMAIN. SEE ELECTRICAL PLANS FOR DETAILS.

**EXISTING METAL POST AND FOUNDATION TO BE** 

TO PROVIDE CLEAN CONSTRUCTION BREA.

23) NEW FULL DEPTH SAWCUT OF EXISTING ASPHALT

(25) EXISTING ASPHALT PAVEMENT TO BE REMOVED FULL

22. EXISTING CONCRETE SEATMALL TO REMAIN.

(19.) ABANDON EXISTING STORM SEWER IN PLACE. PROVIDE

(21.) NEW FULL DEPTH SAWCUT OF EXISTING CURB/CONCRETE

PAVEMENT TO PROVIDE CLEAN CONSTRUCTION BREAK.

DEPTH TO MEET THE BOTTOM OF THE NEW PAVEMENT

SITE GRADING PLAN FOR NEW FINISHED ELEVATIONS

AND DETAIL SHEETS FOR NEW PAVEMENT CROSS

(26) EXISTING CONCRETE TO BE REMOVED FULL DEPTH TO

MEET THE BOTTOM OF THE NEW PAVEMENT CROSS

SECTIONS (NEW SUBGRADE ELEVATION). SEE THE SITE

GRADING PLAN FOR NEW FINISHED ELEVATIONS AND

DETAIL SHEETS FOR NEW PAVEMENT CROSS SECTIONS.

27) EXISTING SHADE STRUCTURE AND ASSOCIATED ITEMS TO

BE REMOVED BY CITY PRIOR TO DEMOLITION WORK.

CROSS SECTIONS (NEW SUBGRADE ELEVATION). SEE THE

MIN. 2 FOOT NON-SHRINK CONCRETE MORTAR. PLUG AT

2. EXISTING ASPHALT PAVEMENT TO REMAIN.

5. EXISTING CURB AND GUTTER TO REMAIN.

4. EXISTING HYDRANT AND ASSOCIATED PIPING TO

EXISTING AREA LIGHT AND ASSOCIATED WIRING TO

8. EXISTING STREET LIGHT AND ASSOCIATED WIRING TO

IO. EXISTING GROUND LIGHT AND ASSOCIATED WIRING TO

EXISTING LOCATED UTILITY DATA. OF THEIR CONTRACT.

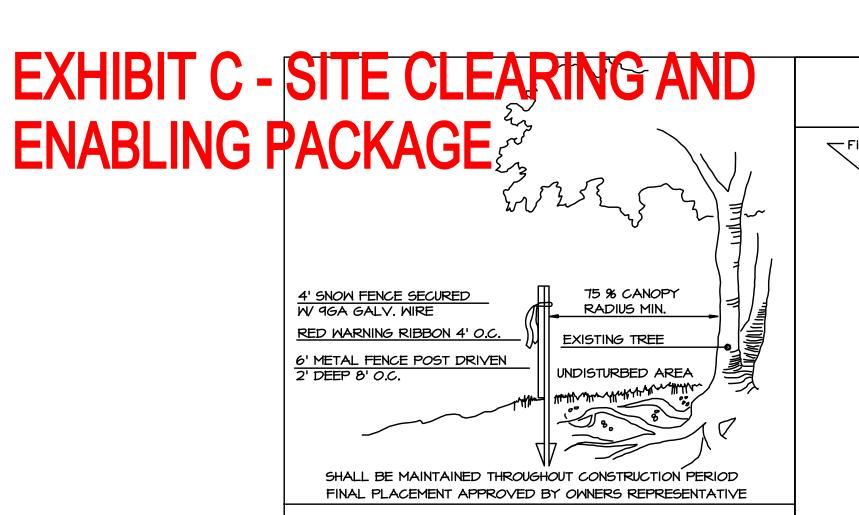
ROOT ZONE PROTECTION FENCE

SILT FENCE

FLEXSTORM CATCH-IT INLET PROTECTION TEMPORARY CONCRETE WASHOUT FACILITY

SOIL BORING

Group



**DETAIL - ROOT ZONE** 

PROTECTION FENCE

NOT TO SCALE

Project

Designed Checked

Approved

FLEXSTORM INLET FILTERS

PRODUCT SELECTION AND

STAINLESS STEEL ROUND INLET FILTERS for

NYLOPLAST CASTINGS CATCH-ITS SPECIFIED W/ FX or FX-S BAGS

Med Round (20.1" - 26.0" dia grates (A) up to 25" dia openings (B)) Large Round (26.1" - 32.0" dia grates (A) up to 30" openings (B))

XL Round (32.1" dia - 39" dia grates (A) up to 37" dia openings (B))

Small Rect / Square (up to 16" (B) x 16" (D) openings or 64" perimeter)

ed Rect / Square (up to 24" (B) x 24" (D) openings or 96" perimeter) Large Rect / Square (up to 36" (B) x 24" (D) openings or 120" perimeter)

Large Rect / Square (ref Rect sizing shipped with Magnetic Curb Flaps)

12" diameter Nyloplast castings (Stainless Steel Framing standard)

diameter Nyloplast castings (Stainless Steel Framing standard)

24" diameter Nyloplast castings (Stainless Steel Framing standard)

Open Throat Gutters - Curb Opening Size
Up to 4' (1 Filter and Mounting Hardware)

FROME PLATED FRAMING FOR HIGH SALT EXPOSURE

X+: Woven w/ MyCelx

XO: Woven w/ Oil Boom

: Litter and Leaf Bag

C: Post Construction Bag PC+: PC Bag w/ MyCelx

tween 4' and 8' (2 Filters and Mounting Hardware)

etween 12' and 16' (4 Filters and Mounting Hardware)

UPGRADED FRAMING MATERIAL OPTIONS (STANDARD IS ZINC PLATED)

Between 8' and 12' (3 Filters and Mounting Hardware)

XL Rect / Square (side by side 2 pc set to fit up to 48" (B) x 36" (D) openings) Small Rect / Square (ref Rect sizing; shipped with Magnetic Curb Flaps)
Med Rect / Square (ref Rect sizing; shipped with Magnetic Curb Flaps)

XL Rect / Square (ref Rect sizing; shipped with Magnetic Curb Flaps)

5" diameter Nyloplast castings (Stainless Steel Framing standard) 6215N

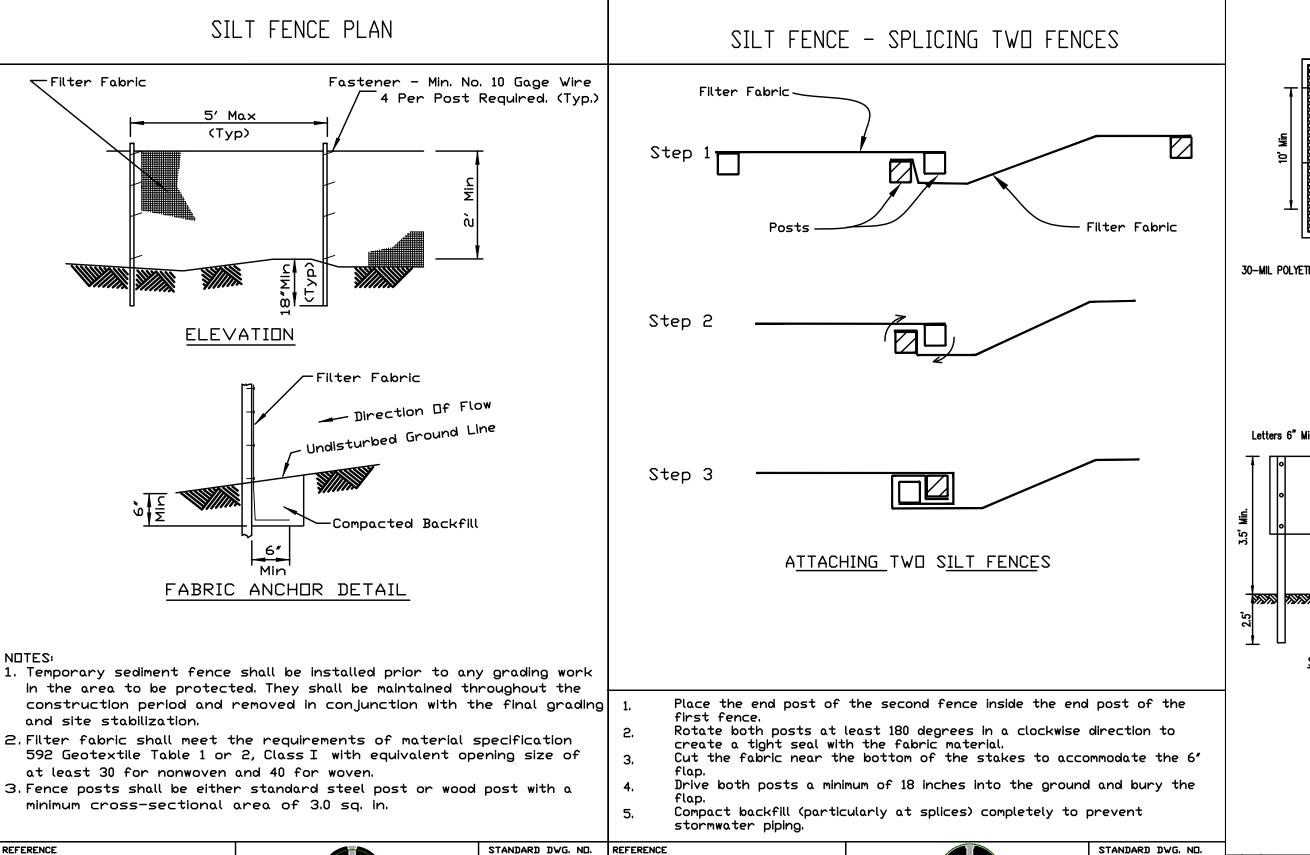
30" diameter Nyloplast castings (Stainless Steel Framing standard) 6230NY

Bag P/N Short Bag P/N Rate (GPM/SqFt) (US Sieve)

SPECIFICATION DRAWING

. Date .

\_ Date .



IUM-620A

OPEN THROAT GUTTERS

\* PC filter bag at 50% max adsorption capacity

TYPICAL RECTANGULAR INLET FILTER

3. CREATE YOUR FLEXSTORM INLET FILTER PART NUMBER

from Step 2.

Material

Frame P/N from Filter Bag P/N

**DETAIL - FLEXSTORM INLET PROTECTION** 

NOT TO SCALE

Step 1.

SHEET 1 DF 2

**DETAIL - SILT FENCE** 

NOT TO SCALE

TYPICAL ROUND INLET FILTER

Itered Flow Rate at 50% Max \* PC Oil \*\*PCP Oil

ALL PRODUCTS MANUFACTURED
BY INLET & PIPE PROTECTION, INC
DISTRIBUTED BY ADS
WWW.INLETFILTERS.COM
(866) 287-8655 PH
(630) 355-3477 FX
INFO@INLETFILTERS.COM

\*\* PC filter bag at 50% capacity and MyCelx skimmer at 100% capacity

Existing

Coarse Aggregate —

Operation.

Must Extend Full Width

Of Ingress And Egress

└ Existing Ground

REFERENCE

Pro iect

Designed .

Approved

Checked

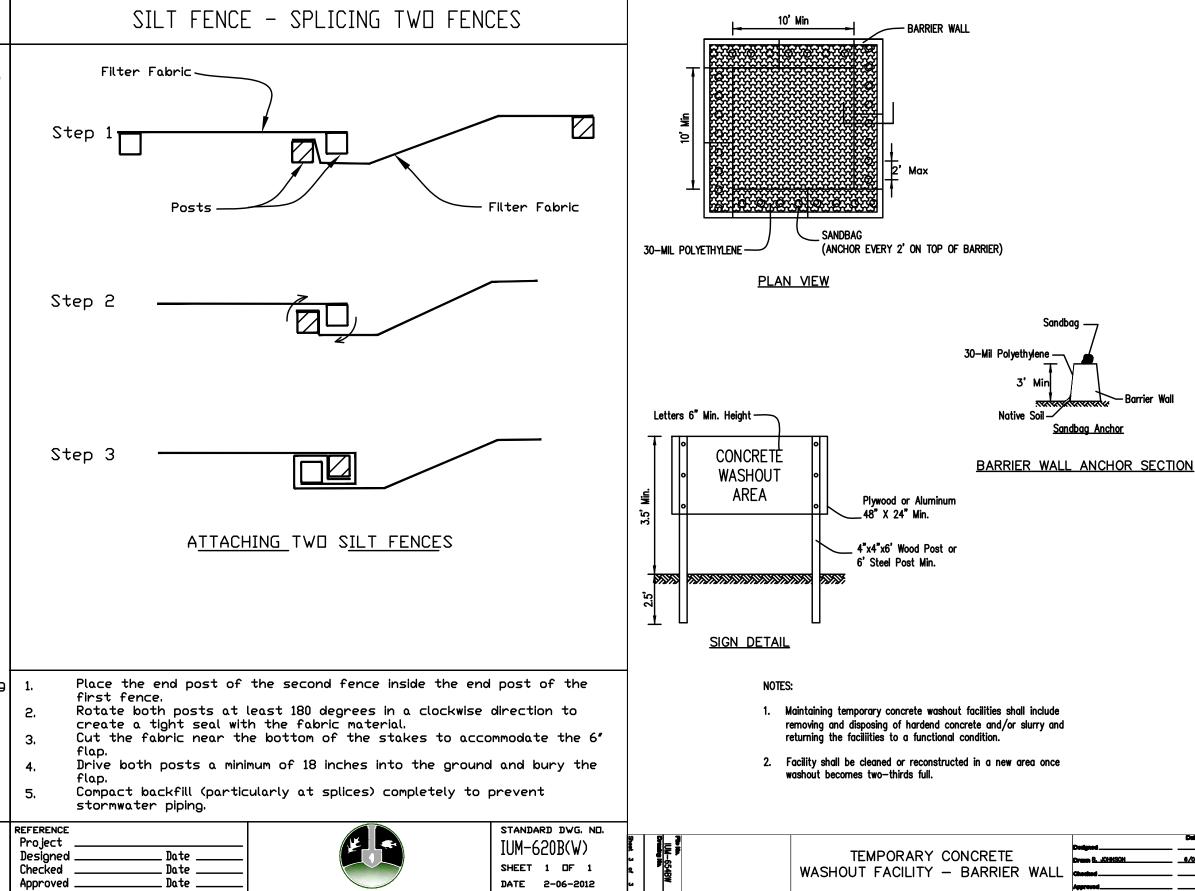
and Class III compaction.

manufactures specifications.

\_ Date \_

Ground -

DATE 3-16-12



-Existing

— Existing

STANDARD DWG. NO.

SHEET 1 DF 2

DATE 8-18-94

IL-630

Mountable Berm

(Optional)

pavement

Pavement

Filter Fabric

Reinforced

REFERENCE

Pro iect

Designed

Checked

DETAIL - STABILIZED CONSTRUCTION ENTRANCE

STABILIZED CONSTRUCTION ENTRANCE PLAN

\_ Wash Rack

(Optional)

LPositive Drainage

Trapping Device.

r5:1 Slope

To Sediment

PLAN VIEW

SIDE ELEVATION

over the cleared area prior to the placing of rock.

1. Filter fabric shall meet the requirements of material specification

592 GEOTEXTILE, Table I or 2, Class I, II or IV and shall be placed

2.Rock or reclaimed concrete shall meet one of the following IDOT coarse

to construction specification 25 ROCKFILL using placement Method 1

3. Any drainage facilities required because of washing shall be

4.If wash racks are used they shall be installed according to the

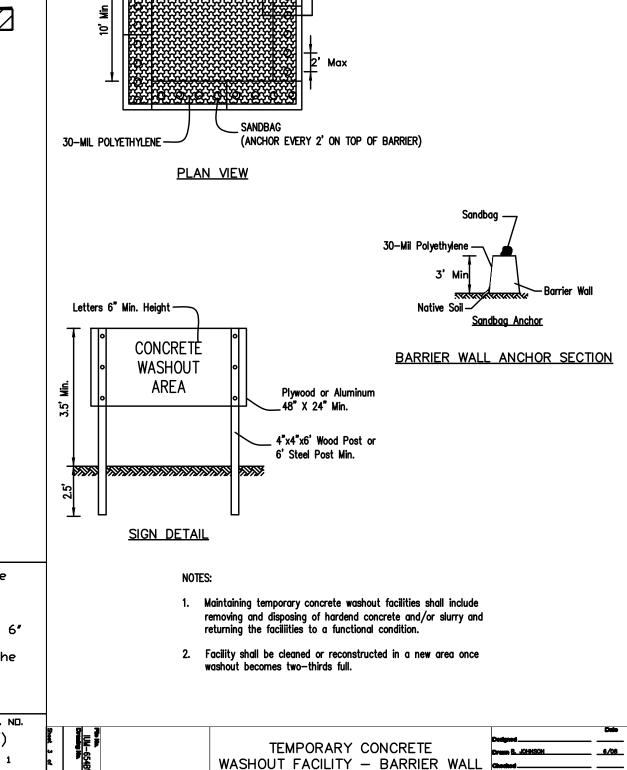
constructed according to manufacturers specifications.

aggregate gradation, CA-1, CA-2, CA-3 or CA-4 and be placed according

U.S. DEPARTMENT OF AGRICULTURE

\_ SOIL CONSERVATION SERVICE

70' Min



**CONCRETE WASHOUT FACILITY** 

STABILIZED CONSTRUCTION ENTRANCE PLAN

14' Min

SECTION A-A

SECTION B-B

U.S. DEPARTMENT OF AGRICULTURE

SOIL CONSERVATION SERVICE

SOIL EROSION AND SEDIMENT CONTROL **CONSTRUCTION SCHEDULE** OBTAIN NPDES AND OTHER APPLICABLE SITE PERMITS AND

**SWPPP NOTES:** 

SHOWN ON THE PLANS.

A. ALL DISTURBED GREEN SPACES ON THE SITE SHALL BE

RESTORED ACCORDING TO THE SEED BED PREPARATION

SPECIFICATIONS BELOW AND BLANKETED OR MATTED AS

B. TEMPORARY OR PERMANENT STABILIZATION SHALL OCCUR

IMMEDIATELY WHENEVER EARTH DISTURBING ACTIVITIES

HAVE PERMANENTLY OR TEMPORARILY CEASED ON ANY

PROJECT LIMITS MUST BE CLEANED IMMEDIATELY.

D. EROSION CONTROL BLANKETS AND TURF REINFORCEMENT MATS SHALL BE INSTALLED USING 6" BIO-STAKES AS

MAINTENANCE FOR THE SEDIMENT AND EROSION CONTROL

MANUFACTURED BY NORTH AMERICAN GREEN. METAL

FORMS, SWPPP AMENDMENT LOGS, SUBCONTRACTOR CERTIFICATIONS/AGREEMENTS, GRADING AND

CONTRACTOR SHALL PROVIDE COPIES OF ALL SWPPF

SITE HAS BEEN STABILIZED. THE CONTRACTOR SHALL

CONTRACTOR SHALL INITIATE STABILIZATION OF ALL

AND DELEGATION OF AUTHORITY FORMS FOR THE

FROM THE FINAL STABILIZATION OF THE SITE.

FOLLOWING THE REMOVAL OF THE SILT FENCE, THE CONTRACTOR SHALL RESTORE THE THE SILT FENCE

DISTURBED AREAS WITHIN ONE CALENDAR DAY.

STABILIZATION ACTIVITIES LOGS, SWPPP TRAINING LOGS,

REPORTS, FORMS, AND LOGS TO THE WT GROUP ONCE THE

MAINTAIN THESE DOCUMENTS FOR A PERIOD OF 3 YEARS

STAKES AND STAPLES ARE PROHIBITED.

DURATION OF THE PROJECT.

TRENCH WITH SOD.

CONTRACTOR SHALL PROVIDE ALL NECESSARY

MEASURES FOR THE DURATION OF THE PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL STORMWATER POLLUTION PREVENTION PLAN (SWPPP) INSPECTIONS, INSPECTION REPORTS, CORRECTIVE ACTION

PORTION OF THE SITE. TEMPORARY STABILIZATION SHALL CONSIST OF THE INSTALLATION OF TEMPORARY SEEDING. CONTRACTOR TO INSTALL TEMPORARY CONSTRUCTION ENTRANCES AS NECESSARY TO EXCAVATE AREAS AND HAUL SOILS ON-SITE, TRACKING OF DEBRIS ON SITE WILL NOT BE TOLERATED. ANY DEBRIS LEFT OUTSIDE OF THE

REVIEW PROJECT'S STORMWATER POLLUTION PREVENTION PLAN (SWPPP). CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND UPDATING THE SMPPP THROUGHOUT THE DURATION OF CONSTRUCTION AS NECESSARY UNTIL FINAL SITE STABILIZATION IS ACHIEVED.

INSTALL STABILIZED CONSTRUCTION ENTRANCE.

INSTALL PERIMETER SEDIMENT CONTROL MEASURES (E.G. SILT

INSTALL PROTECTION DEVICES FOR EXISTING DRAINAGE INLET AND OUTLET STRUCTURES, IF APPLICABLE.

PERFORM STORMWATER POLLUTION PREVENTION SITE INSPECTIONS ON A WEEKLY BASIS AND WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS 0.5 INCH OR GREATER (OR EQUIVALENT SNOWFALL). AT A MINIMUM, THE INSPECTIONS SHALL INCLUDE THE DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED, ALL STRUCTURAL CONTROL MEASURES, LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE, AND ANY ADDITIONAL BEST MANAGEMENT PRACTICES IDENTIFIED IN THE SWPPP.

5.I. ALL SITE EROSION AND SEDIMENT CONTROL MEASURES RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL BE CONTINUOUSLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION (SEE THE STORMWATER POLLUTION PREVENTION NOTES AND STORMWATER POLLUTION PREVENTION MAINTENANCE SCHEDULE FOR ADDITIONAL INFORMATION). CONTRACTOR SHALL MAKE AND COMPLETE THE REQUIRED REPAIRS WITHIN FORTY-EIGHT (48) HOURS OF THE INSPECTION.

5.2. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL STRUCTURAL CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE SITE INSPECTIONS.

5.3. PERFORM STREET CLEANING OPERATIONS AND OTHER BEST MANAGEMENT PRACTICES AS NEEDED.

PERFORM SITE CLEARING AND GRUBBING AND REMOVE EXISTING VEGETATION AS NEEDED FOR INITIAL SITE GRADING OPERATIONS. VEGETATED SITE AREAS THAT ARE NOT INCLUDED WITH THE INITIAL GRADING SHALL REMAIN UNDISTURBED. ALL TOPSOIL STOCKPILES SHALL BE SURROUNDED WITH SILT FENCE AND STABILIZED WITHIN THREE (3) DAYS OF FORMING THE STOCKPILE.

REMOVE ALL ITEMS NOTED FOR REMOVAL IN THE DEMOLITION

PERFORM ROUGH GRADING OPERATIONS, CONSTRUCT OVERFLOW ROUTES, AND STABILIZE ALL DISTURBED AREAS, INCLUDING BUT NOT LIMITED TO STEEP SLOPES, DRAINAGE CHANNELS AND SWALES (I.E. TEMPORARY AND PERMANENT SEEDING, EROSION CONTROL BLANKETS, RIP-RAP, CHECK DAMS, TEMPORARY DRAINAGE DIVERSIONS, ETC.).

9. INSTALL TEMPORARY CONCRETE WASHOUT FACILITY.

IO. INSTALL BUILDING FOUNDATIONS.

STANDARD DWG.

SHEET 2 OF a

DATE 8-18-94

IL-630

PROVIDE TEMPORARY SEEDING AND/OR MULCHING FOR ALL DISTURBED SITE AREAS THAT WILL NOT BE WORKED ON FOR MORE THAN FOURTEEN (14) DAYS.

12. REMOVE TEMPORARY SITE EROSION AND SEDIMENT CONTROL MEASURES WITHIN THIRTY (30) DAYS OF FINAL SITE STABILIZATION.

OOL DISTRICT 65 -FOSTER SCHOOL PSON ST, EVANSTON, IL 60201 SCHOON NEW F

ARK

CORDOGAN

Evanston / Skokie School District 65 Every Child, Every Day, Whatever it Takes.

POLLUTION PREVENTION PLAN DETAILS Ш 0

**BID GROUP 1** 

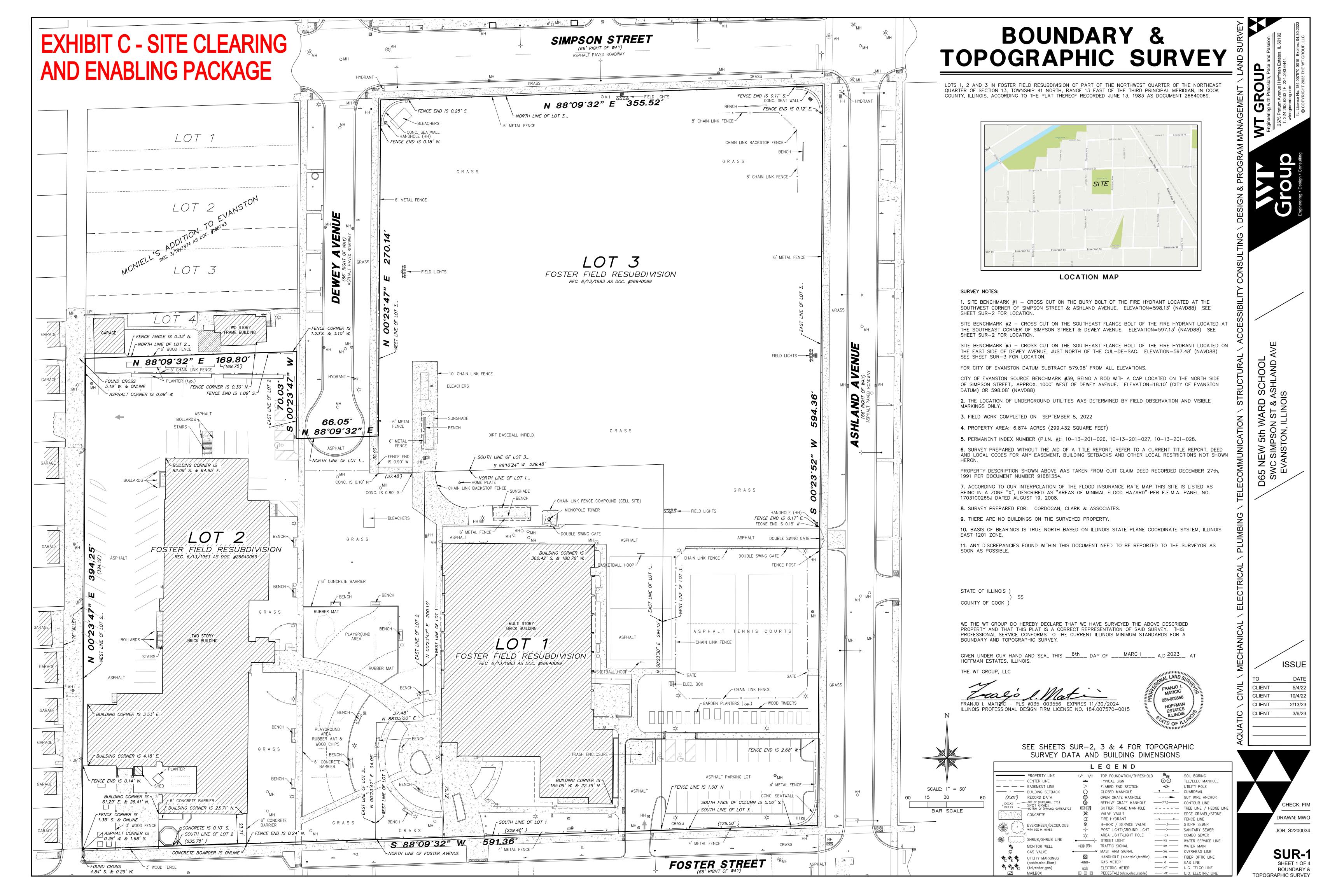
JOB NUMBER

ISSUED FOR BID 6/7/2024

C2200042 WT GROUP 💢 Civil | Land Survey | Telecommunication | Aquatic ccessibility Consulting | Design & Program Management P: 224.293.6333 | F: 224.293.6444

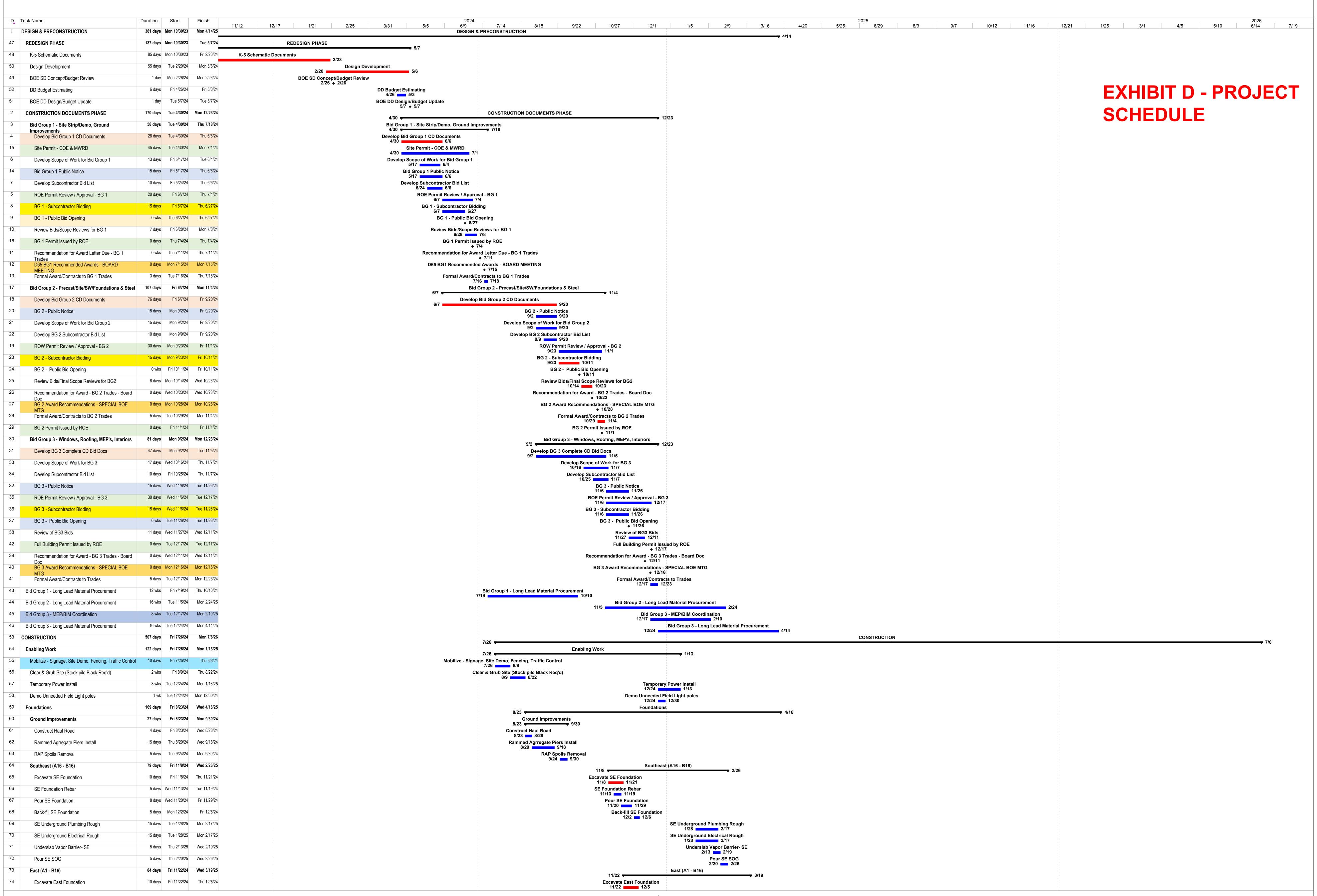
Engineering with Precision, Pace & Passion. 2675 Pratum Avenue | Hoffman Estates, IL 60192 wtengineering.com IL License No: 184.007570-0015 | Exp: 04.30.2025 © COPYRIGHT 2023 THE W-T GROUP, LLC

C-1.3



## SCHEDULE SCENARIO BG3 12/16/25 AWARD

# EVANSTON/SKOKIE D65 New 5th Ward School Project Schedule (Precast Structure)



# EVANSTON/SKOKIE D65 New 5th Ward School Project Schedule (Precast Structure)



# EVANSTON/SKOKIE D65 New 5th Ward School Project Schedule (Precast Structure) Thu 7/11/24

