

City of New Britain

Historic Resources Inventory

November, 2023

For the
**New Britain Department of
Planning and Development**
and
**New Britain Historic Preservation
Commission**

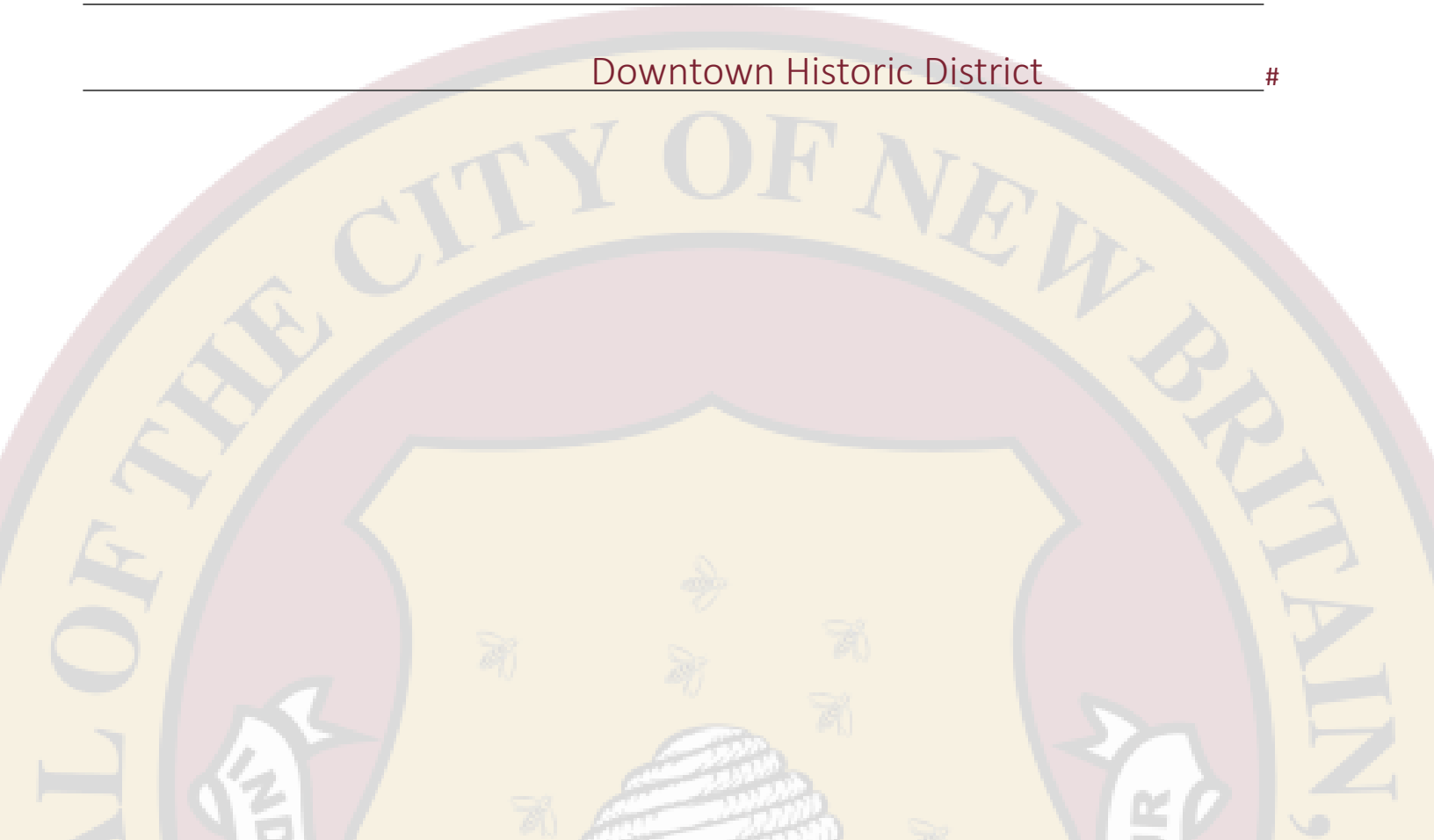


Acknowledgements

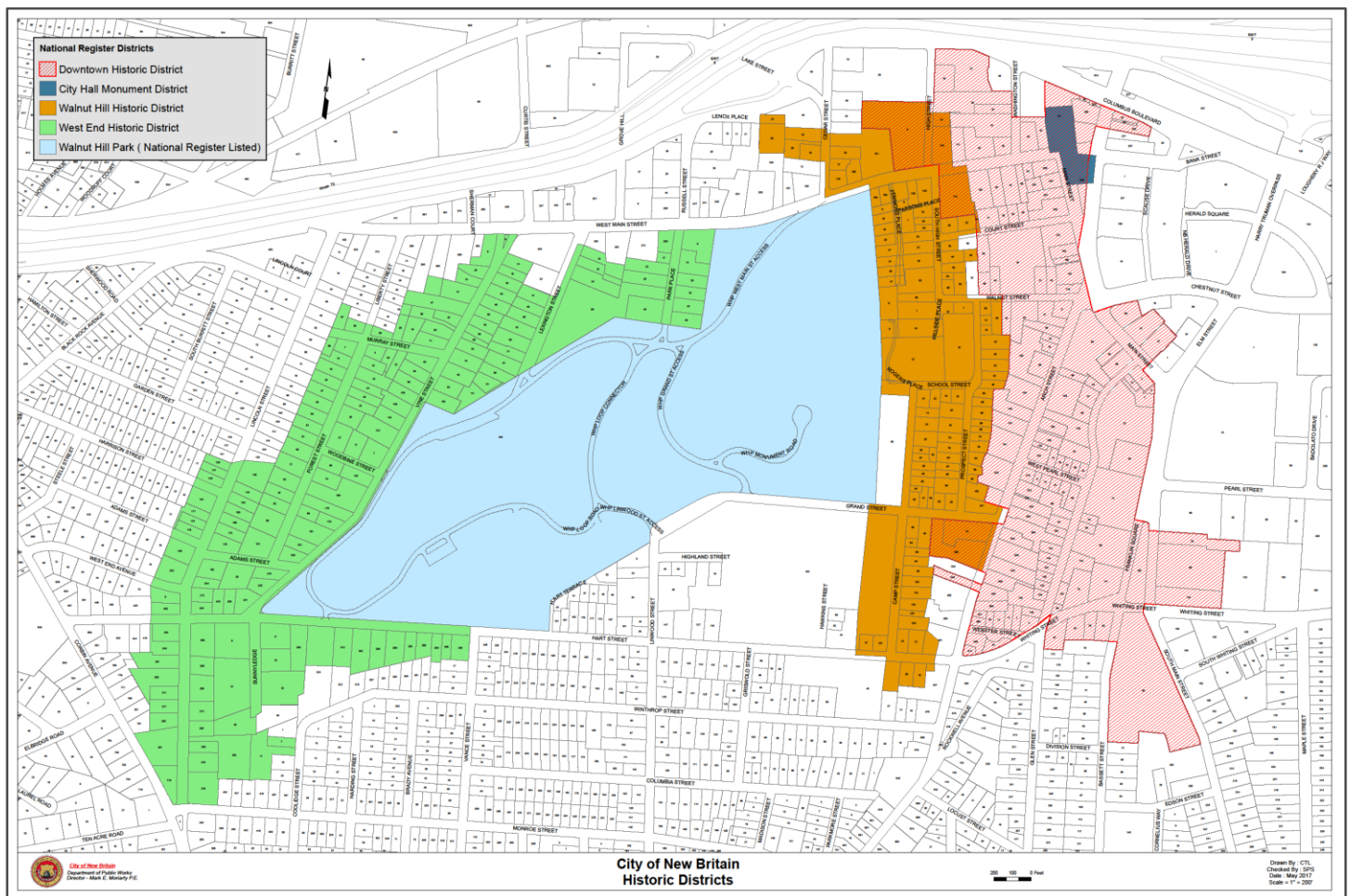
Adapted from the 1996 New Britain Citywide Historic Properties
Survey

Table of Contents

Mayor’s Welcome Letter	#
Historic Commission Letter	#
Map of New Britain Historic Districts	#
Listing of Historic Properties	#
National Register – Individually Listed Properties	#
City Hall Monument Historic District	#
Walnut Hill Historic District	#
West End Historic District	#
Downtown Historic District	#



Map of Historic Districts



Historic Property List

Individually Listed – National Register

241 ARCH STREET
140 BASSETT STREET
41 BEAVER STREET
530 EAST STREET
321 ELLIS STREET
322 ELLIS STREET
77 FRANKLIN SQUARE
27 GROVE HILL
60 HARTFORD ROAD
370 HIGH STREET
37 LENOX PLACE
69 MAIN STREET
90 MAIN STREET
608 MAIN STREET
349 ROCKY HILL AVENUE
1615 STANLEY STREET
1928 STANLEY STREET
1939 STANLEY STREET
2134 STANLEY STREET
2162 STANLEY STREET
265 WEST MAIN STREET
76 WINTER STREET

City Hall Monument Historic District

230 MAIN STREET
27 WEST MAIN STREET
51 WEST MAIN STREET*
67 WEST MAIN STREET *
114 WEST MAIN STREET *

Walnut Hill Historic District

295 ARCH STREET
10 CAMP STREET
14 CAMP STREET
24 CAMP STREET
32 CAMP STREET
36 CAMP STREET
40 CAMP STREET
42 CAMP STREET
46 CAMP STREET
48 CAMP STREET
50 CAMP STREET
54 CAMP STREET
84 CAMP STREET
88 CAMP STREET
94 CAMP STREET
98 CAMP STREET
104 CAMP STREET
110 CAMP STREET
118 CAMP STREET
120 CAMP STREET
126 CAMP STREET
137 CAMP STREET
12-14 CEDAR STREET
17 CEDAR STREET
18 CEDAR STREET
23 CEDAR STREET
26 CEDAR STREET
30 CEDAR STREET
32 CEDAR STREET
57 COURT STREET
8 EMMONS PLACE
11 EMMONS PLACE
15 EMMONS PLACE
19 EMMONS PLACE
25 EMMONS PLACE
27 EMMONS PLACE
31 EMMONS PLACE
35 EMMONS PLACE
41 EMMONS PLACE
10 GRAND STREET
25 GRAND STREET
35 GRAND STREET

40 GRAND STREET
18 HART STREET
21 HART STREET
26 HART STREET
27 HART STREET
47 HART STREET
8 HIGH STREET
31 HIGH STREET
1 HILLSIDE PLACE
15 HILLSIDE PLACE
27 HILLSIDE PLACE
1 PROSPECT STREET
14 PROSPECT STREET
15 PROSPECT STREET
16 PROSPECT STREET
28-30 PROSPECT STREET
34 PROSPECT STREET
42 PROSPECT STREET
50 PROSPECT STREET
51 PROSPECT STREET
56 PROSPECT STREET
57 PROSPECT STREET
60 PROSPECT STREET
64-66 PROSPECT STREET
67 PROSPECT STREET
68 PROSPECT STREET
73 PROSPECT STREET
74 PROSPECT STREET
76 PROSPECT STREET
79 PROSPECT STREET
83 PROSPECT STREET
84 PROSPECT STREET
87 PROSPECT STREET
88 PROSPECT STREET
92 PROSPECT STREET
99 PROSPECT STREET
6 ROGERS PLACE
9 ROGERS PLACE
10 SCHOOL STREET
22 SCHOOL STREET

* Listed additionally in the
Downtown Historic District

Historic Property List

6

Walnut Hill Historic District

19 SOUTH HIGH STREET
25 SOUTH HIGH STREET
29 SOUTH HIGH STREET
33 SOUTH HIGH STREET
37 SOUTH HIGH STREET
40 SOUTH HIGH STREET
44 SOUTH HIGH STREET
45 SOUTH HIGH STREET
46 SOUTH HIGH STREET
50 SOUTH HIGH STREET
53 & 59 SOUTH HIGH STREET
54 SOUTH HIGH STREET
65 SOUTH HIGH STREET
50 WALNUT STREET
63 WALNUT STREET
69 WALNUT STREET
70 WALNUT STREET
114 WEST MAIN STREET *
119 WEST MAIN STREET
130 WEST MAIN STREET
136 WEST MAIN STREET
144 WEST MAIN STREET
150 WEST MAIN STREET
151 WEST MAIN STREET
165 WEST MAIN STREET
175 WEST MAIN STREET

West End Historic District

26 ADAMS STREET
1 COOLIDGE STREET
11 COOLIDGE STREET
4 FOREST STREET
7 FOREST STREET
10 FOREST STREET
13 FOREST STREET
16 FOREST STREET
19 FOREST STREET
24 FOREST STREET
25 FOREST STREET
28 FOREST STREET
31 FOREST STREET
32 FOREST STREET

38 FOREST STREET
49 FOREST STREET
53 FOREST STREET
57 FOREST STREET
61 FOREST STREET
65 FOREST STREET
66 FOREST STREET
74 FOREST STREET
77 FOREST STREET
83 FOREST STREET
87 FOREST STREET
93 FOREST STREET
96 FOREST STREET
99 FOREST STREET
123 FOREST STREET
246 HART STREET
256 HART STREET
260 HART STREET
268 HART STREET
282 HART STREET
286 HART STREET
296 HART STREET
302 HART STREET
312 HART STREET
324 HART STREET
330 HART STREET
339 HART STREET
343 HART STREET
388 HART STREET
404 HART STREET
405 HART STREET
10 LEXINGTON STREET
18 LEXINGTON STREET
24 LEXINGTON STREET
41 LEXINGTON STREET
49 LEXINGTON STREET
55 LEXINGTON STREET
56 LEXINGTON STREET
61 LEXINGTON STREET
69 LEXINGTON STREET
77 LEXINGTON STREET
81 LEXINGTON STREET
85 LEXINGTON STREET
91 LEXINGTON STREET
111 LEXINGTON STREET

53 LIBERTY STREET
138 LINCOLN STREET
139 LINCOLN STREET
141 LINCOLN STREET
144 LINCOLN STREET
149 LINCOLN STREET
154 LINCOLN STREET
160 LINCOLN STREET
161 LINCOLN STREET
166 LINCOLN STREET
171 LINCOLN STREET
172 LINCOLN STREET
173 LINCOLN STREET
175 LINCOLN STREET
178 LINCOLN STREET
185 LINCOLN STREET
192 LINCOLN STREET
203 LINCOLN STREET
204 LINCOLN STREET
220 LINCOLN STREET
243 LINCOLN STREET
251 LINCOLN STREET
256 LINCOLN STREET
259 LINCOLN STREET
266 LINCOLN STREET
271 LINCOLN STREET
274 LINCOLN STREET
277 LINCOLN STREET
285 LINCOLN STREET
290 LINCOLN STREET
291 LINCOLN STREET
292 LINCOLN STREET
300 LINCOLN STREET
310 LINCOLN STREET
318 LINCOLN STREET
19 MURRAY STREET
22 MURRAY STREET
25 MURRAY STREET
28 MURRAY STREET
56 MURRAY STREET
57 MURRAY STREET

* Listed additionally in the City Hall
Monument / Downtown Historic District

Historic Property List

West End Historic District

6 PARK PLACE
14 PARK PLACE
22 PARK PLACE
23 PARK PLACE
28 PARK PLACE
29 PARK PLACE
32 PARK PLACE
42 PARK PLACE
45 PARK PLACE
48 PARK PLACE
8 SUNNYLEDGE STREET
9 SUNNYLEDGE STREET
22 SUNNYLEDGE STREET
31 SUNNYLEDGE STREET
32 SUNNYLEDGE STREET
9 VINE STREET
14 VINE STREET
18 VINE STREET
25 VINE STREET
28 VINE STREET
30 VINE STREET
31 VINE STREET
41 VINE STREET
47 VINE STREET
48 VINE STREET
50 VINE STREET
52 VINE STREET
57 VINE STREET
59 VINE STREET
60 VINE STREET
63 VINE STREET
66 VINE STREET
70 VINE STREET
71 VINE STREET
74 VINE STREET
82 VINE STREET
83 VINE STREET
92 VINE STREET
93 VINE STREET
99 VINE STREET
102 VINE STREET
105 VINE STREET
109 VINE STREET

115 VINE STREET
123 VINE STREET
149 VINE STREET
169 VINE STREET
175 VINE STREET
179 VINE STREET
191 VINE STREET
201 VINE STREET
209 VINE STREET
219 VINE STREET
225 VINE STREET
241 VINE STREET
8 WEST END AVENUE
7 WOODBINE STREET
17 WOODBINE STREET
27 WOODBINE STREET

Downtown Historic District

5 ARCH STREET
41 ARCH STREET
59 ARCH STREET
67 ARCH STREET
73 ARCH STREET
85 ARCH STREET
96 ARCH STREET
100 ARCH STREET
105 ARCH STREET
139 ARCH STREET
140 ARCH STREET
145 ARCH STREET
150 ARCH STREET
161 ARCH STREET
168 ARCH STREET
176 ARCH STREET
184 ARCH STREET
191 ARCH STREET
210 ARCH STREET
222 ARCH STREET
225 ARCH STREET
228 ARCH STREET
232 ARCH STREET
250 ARCH STREET
266 ARCH STREET
282 ARCH STREET

295 ARCH STREET
296 ARCH STREET
310 ARCH STREET
336 ARCH STREET
340 ARCH STREET
345 ARCH STREET
352 ARCH STREET
368 ARCH STREET
374 ARCH STREET
380 ARCH STREET
406 ARCH STREET
414 ARCH STREET
50 BASSETT STREET
27 COLUMBUS BOULEVARD
53 COLUMBUS BOULEVARD
25 COURT STREET
33 COURT STREET
35 COURT STREET
40 COURT STREET
41 COURT STREET
50 COURT STREET
51 COURT STREET
3 FRANKLIN SQUARE
7 FRANKLIN SQUARE
19 FRANKLIN SQUARE
45 FRANKLIN SQUARE
77 FRANKLIN SQUARE*
78 FRANKLIN SQUARE
98 FRANKLIN SQUARE
99 FRANKLIN SQUARE
105 FRANKLIN SQUARE
110 FRANKLIN SQUARE
111 FRANKLIN SQUARE

* Additionally individually listed

Historic Property List

8

Downtown Historic District

12 GLEN STREET
23 GLEN STREET
27 GLEN STREET
35 GLEN STREET
61 GLEN STREET
94 GLEN STREET
95 GLEN STREET
97 GLEN STREET
98 GLEN STREET
103 GLEN STREET
115 GLEN STREET
116 GLEN STREET
119 GLEN STREET
122 GLEN STREET
123 GLEN STREET
129 GLEN STREET
132 GLEN STREET
133 GLEN STREET
139 GLEN STREET
145 GLEN STREET
149 GLEN STREET
10 GRAND STREET
8 HIGH STREET
31 HIGH STREET
43 HIGH STREET
2 MAIN STREET
27 MAIN STREET
38 MAIN STREET
47 MAIN STREET
52 MAIN STREET
69 MAIN STREET
90 MAIN STREET
116 MAIN STREET
132 MAIN STREET
160 MAIN STREET
162 MAIN STREET
178 MAIN STREET
200 MAIN STREET
222 MAIN STREET
230 MAIN STREET
232 MAIN STREET
242 MAIN STREET

250 MAIN STREET
283 MAIN STREET
300 MAIN STREET
302 MAIN STREET
15 WALNUT STREET
21 WALNUT STREET
34 WALNUT STREET
40 WALNUT STREET
43 WALNUT STREET
49 WALNUT STREET
10 WASHINGTON STREET
24 WASHINGTON STREET
30 WASHINGTON STREET
3 WEBSTER STREET
7 WEBSTER STREET
11 WEBSTER STREET
17 WEBSTER STREET
19 WEBSTER STREET
27 WEST MAIN STREET*
51 WEST MAIN STREET *
54 WEST MAIN STREET
66 WEST MAIN STREET
67 WEST MAIN STREET *
70 WEST MAIN STREET
75 WEST MAIN STREET
87 WEST MAIN STREET
94 WEST MAIN STREET
102 WEST MAIN STREET
111 WEST MAIN STREET
114 WEST MAIN STREET *
119 WEST MAIN STREET
9 WEST PEARL STREET
13 WEST PEARL STREET
14 WEST PEARL STREET
18 WEST PEARL STREET
19 WEST PEARL STREET
22 WEST PEARL STREET
23 WEST PEARL STREET
26 WEST PEARL STREET
29 WEST PEARL STREET
32 WEST PEARL STREET
22 WHITING STREET
56 WHITING STREET
57 WHITING STREET
67 WHITING STREET

70 WHITING STREET
75 WHITING STREET
83 WHITING STREET

* Listed additionally in the
City Hall Monument Historic District

Individually Listed – National Register



Individually listed historic properties on the National Register are properties which have been deemed historically significant by both the State Historic Preservation Office and the National Parks Service. These properties are individually listed because they do not fit within geographical boundaries any of the City's historic districts. Or they are deemed to have enough historical significance to warrant being listed on their own. Listing on the National Register requires prospective properties to meet three conditions, Age, Significance, and Integrity. Age is generally straight forward, with properties which are at least 50 years old usually being considered old enough to be historic. Significance is determined by a property being deemed significant in at least one of four categories. The first possible category is association with important historical events. The second category is association with the lives of

significant historical persons. The third category is architectural or design significance in including craftwork. The fourth and final category is archeological significance, whether past, present, or future. The last condition is integrity, meaning whether or not the property still looks much the same as it did in the past. If a property meets these conditions then it would be considered eligible to be listed on the National Register of Historic Properties.

241 Arch Street

The Grand
Individually Listed –
National Register



Structure

Year Built: 1925

Style: Colonial Revival / Adamesque

Alterations: Store fronts blocked up, distorted

2022 Appraised Value: \$976,700

Materials: Brick, concrete

Structural System: Load bearing masonry

Roof Type: Flat

Roof Material: Built Up

of Stories: 3

Dimensions: 75' x 76'

Use

Current Use: Charitable

Historical Use: Commercial/Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Continues commercial mixed use of the area.



Significance

Israel Bronstein and Harry Shor, of 754 Asylum Ave, in Hartford were contracted the build The Grand for \$40,000. The use of the tripart Chicago windows created a modern aspect to this revival design.

140 Bassett Street

Erwin Women's Home

Individually Listed –
National Register



Structure

Year Built: 1891

Style: Queen Anne / Tudor

Alterations: 1894 Annex, 1914 Addition, 1971 Renovation & Wing, 1973 Addition

2022 Appraised Value: \$5,627,600

Materials: Brick, Wood Shingle, Half Timbering

Structural System: Wood Frame, Load bearing masonry

Roof Type: Gable, Conical tower, Rectilinear Tower

Roof Material: Asphalt Shingle

of Stories: 2 1/2

Dimensions: L-shaped 200' x 100'

Use

Current Use: Multiple Dwelling

Historical Use: Multiple Dwelling / Charitable

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Residential Neighborhood and two schools. Landscaped with mature trees.

Significance

The Erwin Women's home was established with an \$80,000 bequest from the will of local industrialist and benefactor Cornelius B. Erwin. Erwin's will provided, among many benefactions, the money to establish a residence "for use of worthy but indigent women of the town of New Britain, who sustain a good moral character, and are of good disposition, and who desire to do something for their own support" The funds were left to the Pastor and Standing Committee of South Presbyterian Church, trustees. Erwin had been a member of the church. The will



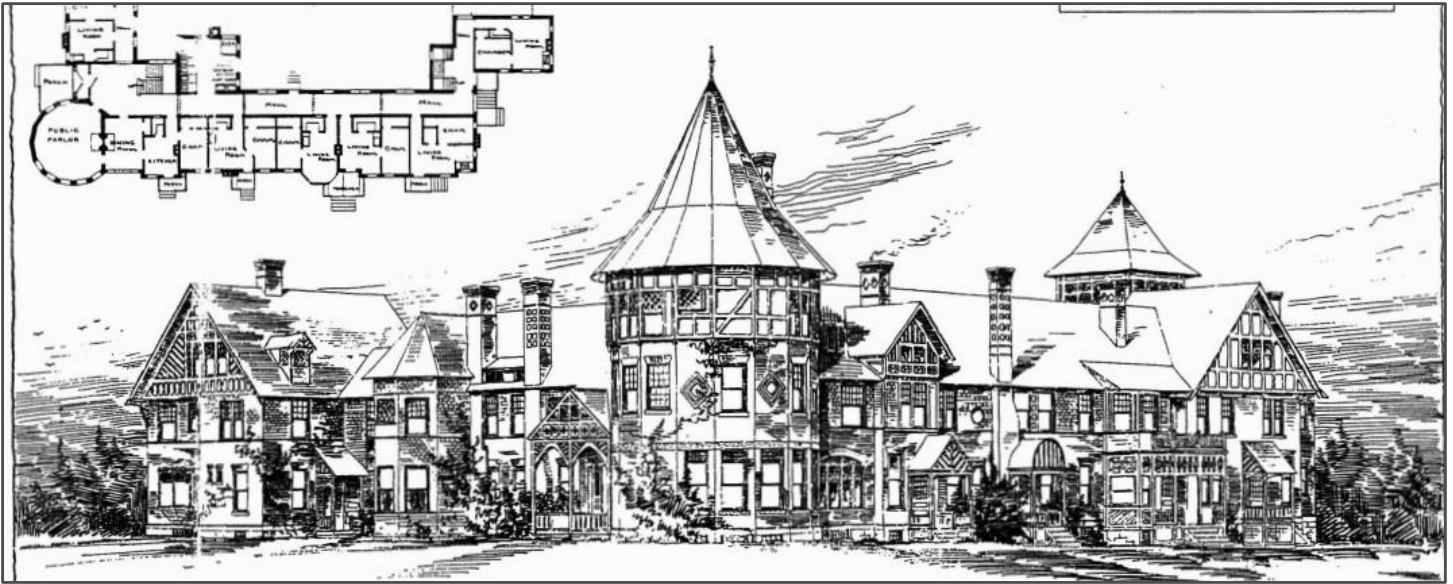
provided that the Pastor and Standing Committee appoint a Board of Managers, to exercise active oversight of The Erwin Home.

Erwin during his life founded, with Henry Russell, the Russell & Erwin Manufacturing Company, of which Erwin was president to his death. He was also president of the New Britain National Bank from its organization in 1860, and a member of the boards of directors of many companies, including the Stanley Works, Landers, Frary & Clark, and New Britain Savings Bank. Erwin was a leader in bringing the community to its decision to build New Britain's first waterworks and was one of the largest contributors to the fund which brought the State Normal School to New Britain. With Henry Russell, he commissioned McKim, Mead & White, Joseph Wells (1853-1890), partner in charge, to design the Russwin Hotel in

140 Bassett Street *(continued)*

Erwin Women's Home

Individually Listed –
National Register



Significance

1884-1885. The hotel became the New Britain City Hall and continues to serve in that capacity.

The Erwin Home was designed by architectural firm Cook, Hapgood & Co. as one of their first major joint projects. Melvin H. Hapgood was the designer on the project and The Erwin Home amply reflects his strong training in the basics of contemporary styles and historic forms as well as his talent for ingenuity and innovation. His mixture of Gothic Revival details such as pointed arches and quatrefoils with classical crosses, from his schooling, with totally innovative banks of windows along the two main staircases from contemporary Queen Anne developments in England is exceptional in central Connecticut. His interpretation of the English Queen Anne for the Erwin Home was more scrupulous than that in the contemporary Hartford examples of the Mark Twain House and James J. Goodwin mansion. When it was built, The Erwin Home was acclaimed for its avoidance of

the appearance of repetitive row houses in what was essentially a series of almost identical apartments. In this solution it is likely that Hapgood was influenced by the work of George Keller (1842-1935), Hartford's leading 19th-century architect, who had done something similar on Columbia Street and Park Terrace in Hartford in 1888 and 1889. It is to be noted, however, that Hapgood's Erwin Home went beyond its predecessors in important ways. For instance, while Keller designed row houses that did not look like row houses, he did stay with basic planning forms and some degree of symmetry. For example, his Columbia Street rows are organized A-B-C-B-A. At The Erwin Home nothing is treated. No sequence is repeated. No basket of details is repeated. The components are always individual, but clearly related to each other. The parts work together with great success as a whole.

41 Beaver Street

St. Mary's Parochial School

Individually Listed –
National Register



Structure

Year Built: 1904

Style: Classical Revival / Colonial Revival

Alterations: Yes, Interior, Roof?

2022 Appraised Value: \$2,813,300

Materials: Brick, Brownstone, Terra cotta

Structural System: Load bearing masonry

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2 1/2

Dimensions: approx. 160' x 88'

Use

Current Use: Apartments

Historical Use: School

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Residential Neighborhood and Church.

Significance

Designed by prominent New Britain architect and engineer William H. Cadwell, and built by B. H. Hibbard for \$61,000. This building was the first brick parochial school in the city, a continuation of St. Mary's history of firsts. Being the first Roman Catholic church and parochial school in New Britain. This school and associated church served 1400 students in 24 classrooms, with 29 teachers. Students came from the immigrant communities of Irish, Polish, and Italians.



Though these communities founded their own churches, St. Mary's was the only parochial school in New Britain until 1938. The building operated as a school up to 1972, after which it served as an afterschool and community space until the building was closed entirely in 1974.

530 East Street

Ezra Belden House

Individually Listed –
National Register



Structure

Year Built: 1746

Style: Colonial

Alterations: Front door, side lights, windows

2022 Appraised Value: \$250,200

Materials: Clapboard, cut stone foundation

Structural System: Post and beam

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: 40' x 30' (main house), 40'x16' (rear ell)

Use

Current Use: Single Dwelling

Historical Use: Single Dwelling

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Setback on lawn from sidewalk and East Street. Many colonial revival buildings nearby, as well as a late 19th century home.



Significance

Built in the mid 18th century for Ezra Belden, it is known as the oldest surviving house in New Britain. The house is located in what was known as the "East Street Settlement", south of the Stanley Quarter.

321 Ellis Street

Landers, Frary & Clark Ellis Street
Individually Listed –
National Register
Plant



Structures

Year Built: 1916-1936

Style: Astylistic, Industrial

Alterations: Additions, Aluminum Windows, Renovated Interior

2022 Appraised Value: \$1,816,200

Materials: Brick

Structural System: Structural Steel, Wooden Post and Beam

Roof Type: Flat, Gabled (No. 832)

Roof Material: Rubber, Metal (No. 832)

of Stories: 5

Dimensions: 181' x 67' (No. 831)

210' x 62' (No. 832)

210' x 62' (No. 835)

217' x 60' (No. 836)

Use

Current Use: Apartments

Historical Use: Manufacturing

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Route 9 borders to the west. Residential properties are to the East. To the north is the second and older part of the facility. To the south is continuing industry until South Street.

Description

Building No. 835 is the oldest of the buildings on this plot built in 1916. It is now sandwiched between Building No. 831 (built in 1924) to the north and Building No. 836 (built in 1936) to the south. The three buildings are attached to one another. The fourth and final building on the lot, Building No. 832, was built in 1919 and is a one story brick and metal gable roofed building.



Significance

Building No. 835 was originally constructed for use by the Barnes and Kavell Company. However by 1949 it was operated by the Landers, Frary & Clark company for the storage of manufacturing equipment and finished electric ranges, washing machines, and percolators. As well as a worksite for the their manufacture and assembly. Building No. 832 was also built for the Barnes and Kavell Company but in 1949 it was used for the salvage and treatment of metals by Landers, Frary & Clark. Building No. 831 was built for Landers, Frary & Clark, in 1949 there was a maintenance shop on the ground floor, an office on the first floor, and the remaining floors being associated with appliance assembly. Building No. 836 was built for Landers, Frary & Clark. The first floor was used for

321 Ellis Street *(continued)*

Landers, Frary & Clark Ellis Street
Individually Listed –
National Register



Significance

shipping, the second and third floors were used for storage of finished products, including electric ranges, washing machines, percolators, irons, and thermos jugs. The top two floors were used for assembly of electric ranges and washing machines.

This property is significant for its association with Landers, Frary & Clark's Universal brand of housewares and for military items. Landers, Frary & Clark were one of only a handful of producers of electrical appliances in Connecticut based upon surveys of historic engineering and industrial sites within the state in 1981 and 2017 (Roth, Clouette and Darnell 1981; Making Places: Historic Mills of Connecticut 2017). The company patented the first electrical socket for a percolator in 1908 and subsequently invented numerous other electronic components for irons, ranges, percolators, and other household electrical appliances in the 1920s and 1930s. They also invented a new life saving filter for gas masks that was

effective against poisonous mustard gas with the U.S. Army and designed the machinery that manufactured them during World War I, thereby helping to save countless lives. The Ellis Street plant is also significant at the local level in the area of Architecture as a collection of brick industrial buildings designed in the early twentieth century in a linear-fashion and reflecting the evolution of industrial production technology and factory construction methods in the early twentieth century and as a remarkably intact large early-twentieth-century industrial complex, of which only four (including the Ellis Street plant) remain extant in New Britain.

The Ellis Street plant saw production during both World War 1 and World War 2 and was converted from the normal manufacture of household goods to various wartime products.

322 Ellis Street

Landers, Frary & Clark Ellis Street
Individually Listed –
National Register
Plant



Structure

Year Built: 1908-1954

Style: Industrial

Alterations: Windows or doors on some structures

2022 Appraised Value: \$3,493,500

Materials: Brick

Structural System: Post and beam (No. 807, No. 806, No. 816, No. 818, No. 820, No. 825), Structural Steel (No. 817, No. 821, No. 822, No. 823, No. 819, No. 824, No. 805, No. 815, No. 804), Concrete beam (No. 808)

Roof Type: Flat (No. 806, No. 816, No. 818, No. 820, No. 821, No. 822, No. 823, No. 819, No. 824, No. 825, No. 808, No. 805, No. 815), Sawtooth (No. 807), Gable (No. 817, No. 804)

Roof Material: T&G/Rubber (No. 806, No. 816, No. 817, No. 818, No. 820, No. 821, No. 822, No. 823, No. 819, No. 824, No. 825, No. 808, No. 805, No. 815), Corrugated Metal (No. 807), Asphalt Shingle (No. 804)

of Stories: 1 (No. 807, No. 806, No. 817, No. 821, No. 822, No. 823, No. 819, No. 824, No. 808, No. 815, No. 804), 2 (No. 805), 4 (No. 816, No. 820, No. 825), 6 (No. 818)

Dimensions: 104' x 123' (No. 807), 104' x 48' (No. 806), 65' x 154' (No. 816), 50' x 154' (No. 817), 80' x 154' (No. 818), 80' x 167' (No. 820), 129' x 30' (No. 821), 200' x 123' (No. 822), 101' x 123' (No. 823), 64' x 24' (No. 819), 103' x 123' (No. 824), 82' x 123' (No. 825), 198' x 230' (No. 808), 62' x 113' (No. 805), 234' x 30' (No. 815), 200' x 50' (No. 804)

Use

Current Use: Industrial

Historical Use: Industrial

Private Ownership

Public Accessibility: Exterior from road



Surrounding Environment

Industrial to the west, north, and south. Residential to the east.

Description

An assemblage of 20 brick industrial buildings and structures. Many are interconnected by shared walls or walkways.

Significance

This site contains the first building of the Landers, Frary & Clark Company Ellis Street plant, building no. 807 built in 1908. Landers, Frary & Clark was a major manufacturer in New Britain of a range

322 Ellis Street *(continued)*

Landers, Frary & Clark Ellis Street Plant
Individually Listed –
National Register



Significance

of manufactured goods such as appliances silverware, and wartime goods during both World War 1 and 2.

The Ellis Street plant was one of several major facilities that the Landers, Frary & Clark owned and operated in Connecticut at its peak in the twentieth century. The facilities included one in Plainville, one in New Hartford, and three in New Britain. In New Britain, the company had their headquarters and cutlery division at the Aetna Works on Center Street and their Hardware Works on East Main Street. The Ellis Street plant produced electrical appliances. Both the Aetna Works and the Hardware Works have been demolished, and the Ellis Street plant is the only major Landers, Frary & Clark complex in New Britain that remains extant.

The Landers, Frary & Clark Ellis Street Plant is significant under architecturally at the local level as a substantial and intact collection of industrial buildings in the City of New Britain that represent

the evolution of factory architecture building technologies in the early to mid-twentieth century. The Ellis Street Plant is also significant for its scale within the City, formerly called the "Hardware Capitol of the World," it is a former industrial city; however, only four large industrial complexes (defined as those greater than 10 acres) have been documented in the city as currently extant, including the Landers, Frary & Clark Ellis Street Plant. The buildings exhibit typical industrial building techniques, materials and forms that were popular within the period of significance. Utilitarian in design with limited architectural details yet some have Italianate-style influences as applied to industrial buildings including corbelled cornices, segmental arched windows, and decorative brickwork. Buildings constructed after the late 1920s relied less on wood and utilized steel reinforcing, reinforced concrete post and beams, and later steel beams. The Landers, Frary & Clark Ellis Street Plant exemplifies the distinctive architectural and engineering characteristics of a large-scale early to mid-twentieth-century manufacturing facility arranged in a linear plan, which facilitated production.

77 Franklin Square

First Lutheran Church

Individually Listed –
National Register



Structure

Year Built: 1906

Style: Neo-Gothic

Alterations: No

2022 Appraised Value: \$7,220,900

Materials: Granite (smooth and rough cut)

Structural System: Iron or Steel

Roof Type: Gable

Roof Material: Slate

of Stories: 4

Dimensions: 57' x 103'

Use

Current Use: Religious

Historical Use: Religious

Private Ownership

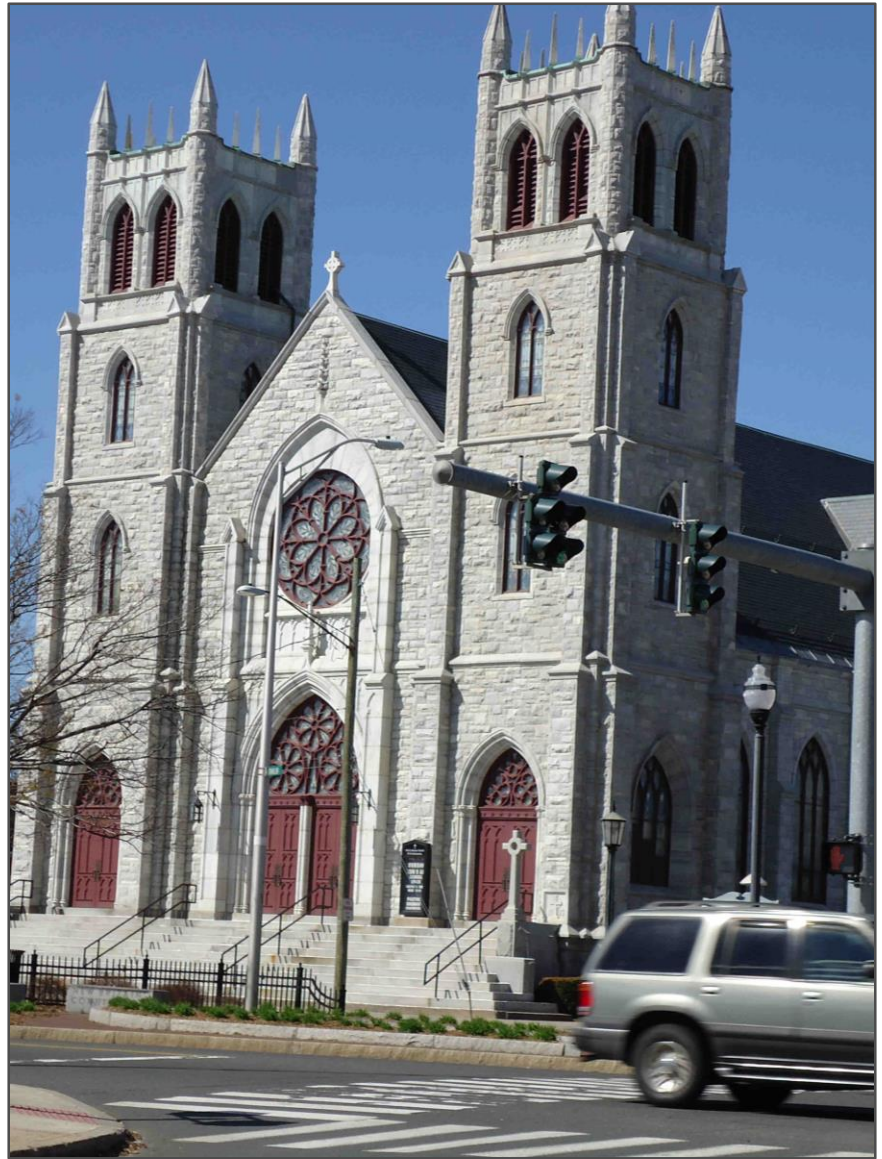
Public Accessibility: Exterior from road,
Interior during services

Surrounding Environment

Church is surrounded by other churches.
Faces the park of Franklin square.

Significance

The Church was originally organized on March 15, 1881 when twenty-eight Swedish immigrants established the Swedish Evangelical "Maria" Church in New Britain. Services were held wherever space could be found often borrowing space from existing churches. Two small churches built or acquired were quickly outgrown. In 1902, the congregation finished paying for the property on Franklin Square, architects were retained, and ground was broken in 1903. Much of the early spade work, literally, was done by the members of the church at the end of their shifts in New Britain factories. The contractor, Murphy Brothers of Norwich, was paid \$64,586 to erect the building.



Dedication took place on the afternoon of Sunday, May 20, 1906 following a "Great Day of the Feast" in the morning. An increasing number of services began to be held in English. In 1924, the church name became First Lutheran Church of New Britain. In 1974 First Lutheran merged with Reformation Lutheran Church, a New Britain church established in 1906, leading to the present name of First Lutheran Church of the Reformation

First Lutheran Church of the Reformation was designed by William H. Cadwell, a well-respected local architect. Cadwell designed FLCR as a modified cross. All known Cadwell-designed buildings are distinguished by his use of elaborate stone carving and stained glass. In the 77 Franklin Square building, he also used the design technique of repeating major shapes and motifs throughout. The

77 Franklin Square *(continued)*

First Lutheran Church

Individually Listed –
National Register



Significance

most evident of these is the Gothic arch, which is echoed in the top of every door and window, inside and out. The arch-topped column appears on all the carved wooden doors inside and out, and is repeated in the carved panels in the curved wooden balcony parapet and in the paneling in the walls of the narthex and stairways. The distinctive carved finial appears on the carving above the central door and on the corners of the roof. The carved wood tracery around the rose windows repeats the rose symbol depicted in many of the stained glass windows and appears again in the tin ceiling in the lower level.

It is clear from the original designs that Architect Cadwell carefully planned every element of the building and envisioned it as a harmonious cohesive whole.

27 Grove Hill

Individually Listed –
National Register



Structure

Year Built: 1895

Style: Queen Anne

Alterations: No

2022 Appraised Value: \$292,800

Materials: Brick, terra cotta tile, wood shingle, brownstone foundation

Structural System: Load bearing masonry

Roof Type: Cross gable dormers

Roof Material: Asphalt Shingle

of Stories: 2 1/2

Dimensions: 42' x 62'

Use

Current Use: Charitable/Cultural

Historical Use: Single Dwelling

Private Ownership

Public Accessibility: Exterior from road, Interior during services

Surrounding Environment

Route 72 to the north. Nearby Churches, commercial area, and a Queen Anne house which has burnt.

Significance

This house was the residence of Andrew Jackson Sloper (1849-1933). At the time of his death, Sloper was director of the New Britain National Bank, treasurer and directory of the New Britain Gas Light Company, director and one of the founders of the American Hardware Company, director of Landers, Frary & Clark Company, and director of the New Britain Machine Company. For many years Sloper was president of the New Britain Institute. Mr. Sloper died at his home on Grove Hill.



The structure is architecturally significant due to its Queen Anne massing and unusually predominant use of brick.

60 Hartford Road

Individually Listed –
National Register



Structure

Year Built: 1945

Style:

Alterations: Unknown

2022 Appraised Value: \$197,700

Materials: Clapboard

Structural System: Possibly wooden frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 80' x 30'

Use

Current Use: Multi-family Dwelling

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior Visible from Road

Surrounding Environment

Shares lot with New Britain Fire Station #7. Residential and apartment buildings are in the surround area. Stanley AW Park is to the North.



Significance

Listed on city's list of individually listed properties on the National Register but is not found on the National Register database.

370 High Street

Washington School

Individually Listed –
National Register



Structure

Year Built: 1922

Style: Tudor, Neo-Gothic

Alterations: Interior

2022 Appraised Value: \$2,663,500

Materials: Brick, Concrete

Structural System: Load bearing masonry, structural steel

Roof Type: Flat

Roof Material: Built Up

of Stories: 3

Dimensions: 274' x 92'

Use

Current Use: Apartments

Historical Use: School

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Washington Park to the west. Residential neighborhoods on other sides.



Significance

Designed by prolific architect Delbert K. Perry of New Britain, the Washington School features many of the trends in school design at the time. Appealing to the growing urban population, the buildings were much larger and aimed to improve ventilation, lighting, fireproofing, and amenities. Built in response to the cities population boom in the early 20th century the school featured not only a technologically advanced structure, but also the latest in teaching techniques. The decorated appearance of the school brought conflict among officials, which led to the setting of more restrictive standards for schools in the future.

37 Lenox Place

Individually Listed –
National Register



Structure

Year Built: 1915

Style: Colonial Revival

Alterations: Vinyl siding

2022 Appraised Value: \$395,300

Materials: Brick, Vinyl siding

Structural System: Unknown (possibly load bearing masonry and wooden frame)

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 45' x 61'

Use

Current Use: Multi-family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Large paved lot to the east.

Neighborhood contains commercial and residential houses of varying styles.



Significance

Built in 1915. An example of a colonial revival style home. Listed on city's list of individually listed properties on the National Register but is not found on the National Register database.

69 Main Street

Trinity United Methodist Church

Individually Listed –
National Register



Structure

Year Built: 1889-1891

Style: Romanesque Revival

Alterations: Some windows filled in

2022 Appraised Value: \$2,661,900

Materials: Rough cut gray granite

Structural System: Load bearing masonry

Roof Type: Hipped

Roof Material: Slate

of Stories: 2

Dimensions: approx. 58' x 130'

Use

Current Use: Religious

Historical Use: Religious

Private Ownership

Public Accessibility: Exterior from road,
Interior during services

Surrounding Environment

Sited on the corner of Chestnut and Main Street. Near downtown mixed use and South Church another significant downtown church.

Significance

Dedicated in 1891 this church was the third Methodist church built in New Britain moved to its current site from the site of the earlier two churches just across the street. The building features finely carved Byzantine decorative motifs, and art glass windows, unique in New Britain. Among the contractors was John Pinches, a locally noted woodworker. He furnished all mill work, the chancel rail, and the wood work in the galleries.

Amos P. Cutting was approaching the end of his career when he was chosen to



design Trinity United Methodist Church. Just five years after the building was completed The American Architect & Building News would report his death in Los Angeles. The obituary states, "Although a man of quiet ways, he had a very large practice, and is known to have built seventy-five churches in and about Massachusetts." These include churches like the Harvard-Epworth United Methodist Church in Cambridge, Massachusetts (1891), which bears a striking resemblance to Trinity-on-Main. Cutting is also known to have designed the C. A. Dresser House, in Southbridge, Massachusetts (1872); New Hampshire State Library (1889); and the Kellogg-Hubbard Library in Montpelier, Vermont (1894/95). His designs were also published in Bicknell's Cottage and Villa Architecture (New York: William T. Comstock, 1881).

69 Main Street *(continued)*

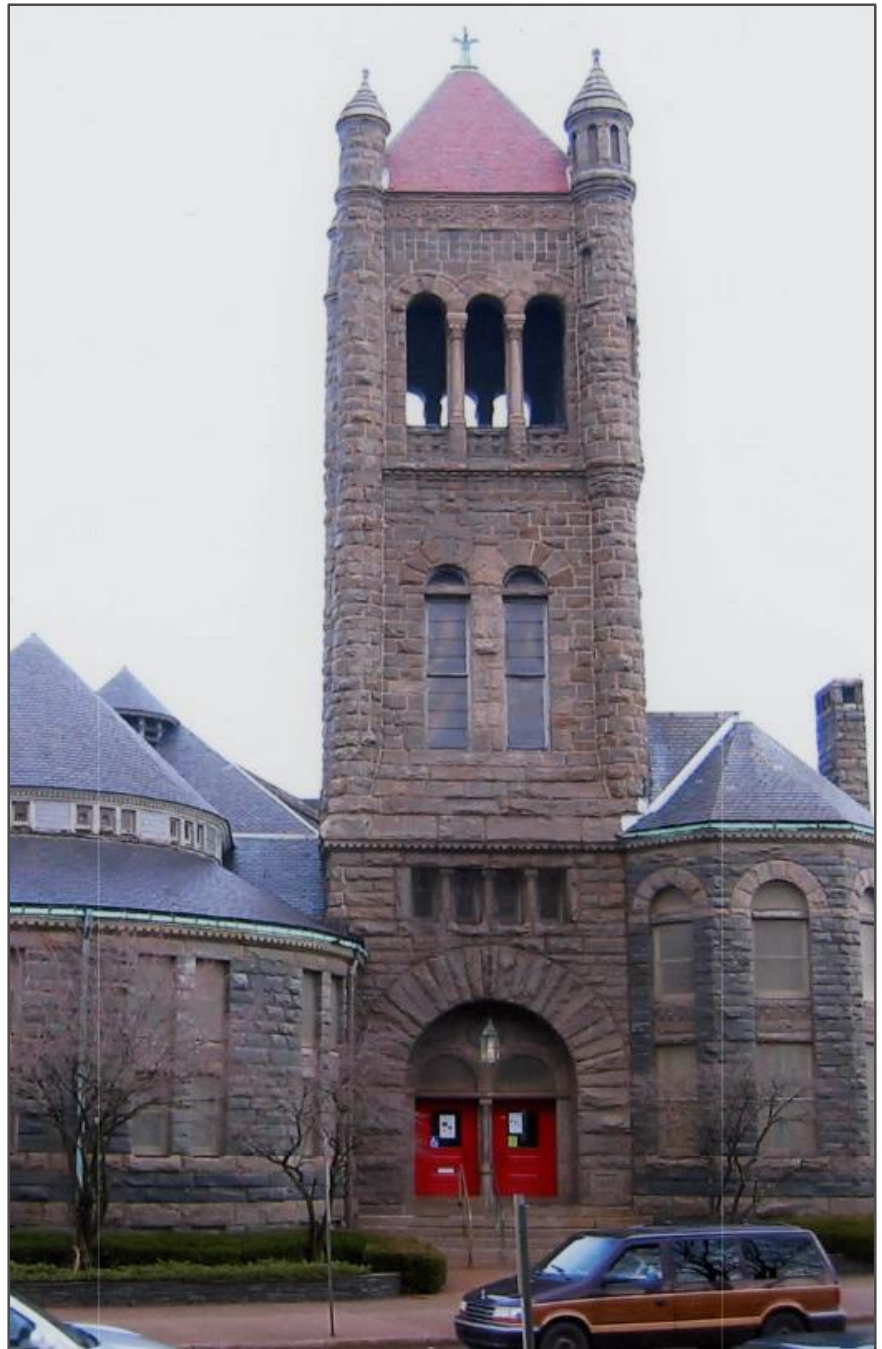
Trinity United Methodist Church

Individually Listed –
National Register



Significance

The construction of the building was undertaken by a group of local workmen led by general contractors Alexander Dallas and George and Cornelius Tracy of Waterbury. Forman H. Young of New Britain provided much of the woodwork, while John Pinches, also of New Britain, provided all the mill work, built the stairs, chancel rail, and the woodwork of the galleries. John Boyle of New Britain was responsible for the painting and varnishing and F.H. Sneath of Farmington was the contractor for the slate roof.



90 Main Street

South Congregational Ecclesiastical Society
Individually Listed –
National Register



Structure

Year Built: 1865

Style: English Parish Gothic

Alterations: Some entrances for handicap access

2022 Appraised Value: \$10,876,100

Materials: Rough cut brownstone

Structural System: Load bearing masonry

Roof Type: Gable

Roof Material: Slate

of Stories: 2

Dimensions: approx. 77' x 104'

Use

Current Use: Religious

Historical Use: Religious

Private Ownership

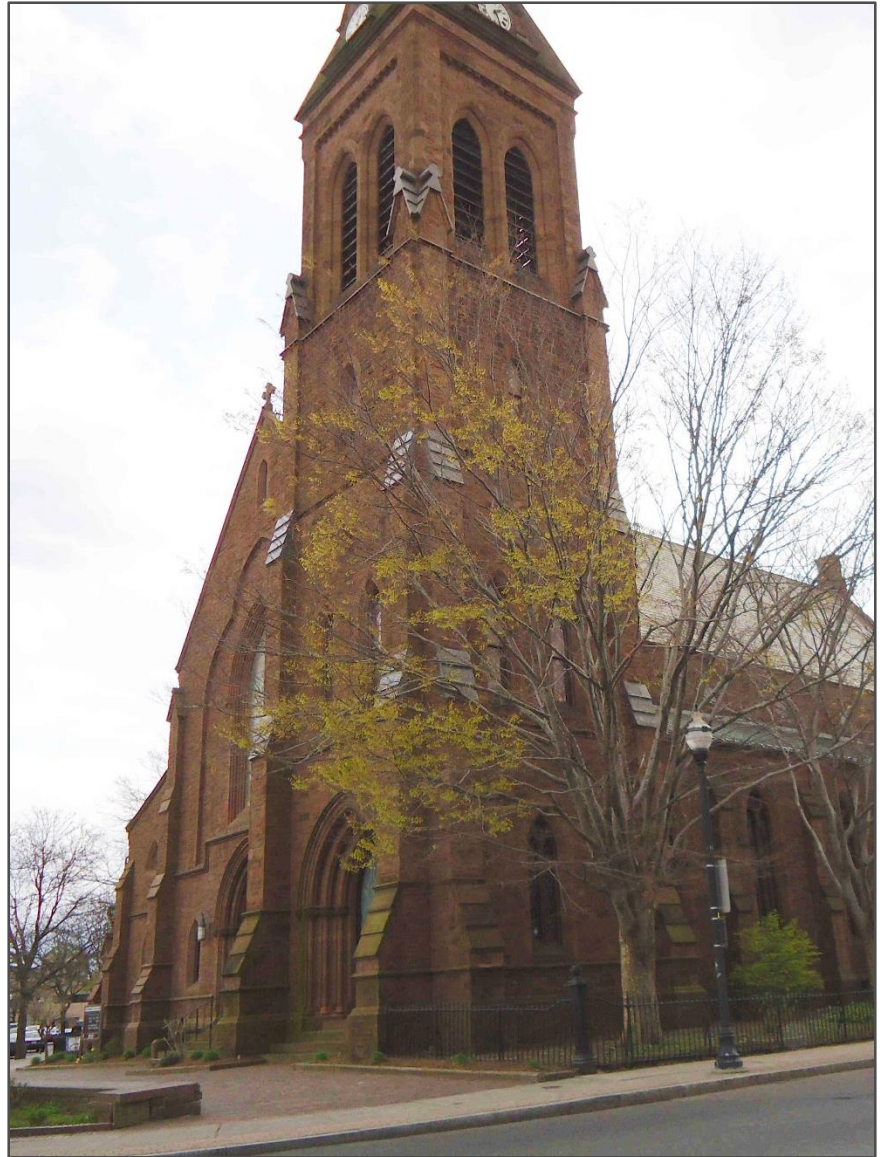
Public Accessibility: Exterior from road,
Interior to parishioners

Surrounding Environment

Sited on the corner of Arch and Main Street. Near downtown mixed use and Trinity United Methodist Church another significant downtown church.

Significance

The present church was Designed by George F. Meacham, a Boston architect, in the Early English Gothic Style. Built with brownstone hauled by ox-team from Portland, Connecticut the structure cost \$143,170 to build including furnishings and an organ. Architectural features such as the steep gable roofs, pointed-arch openings, and medieval details such as stepped buttresses, floriated carved capitals, quatrefoil motifs, and arched roof trusses are representative of the Gothic style. Although Gothic architecture had cultural and religious significance for



Roman Catholic and Episcopal churches, the use of the style for a Congregational parish (one which allowed the use of clerical robes only in 1909) had little liturgical meaning. Rather, the choice of Gothic architecture for South Church illustrates how an aesthetic of richly detailed ornament and a Romantic fascination with the past had thoroughly permeated American culture in the Victorian period.

The first church on the site was built as a result of the splitting of the "North Church" due to population growth, and possibly over political ideals in the time leading up to the Civil War. The name "South Church" likely comes from its position relative to the previous church, further south on main street. Beginning with 120 members, by 1885 it had 703 members, 1000 Sunday School

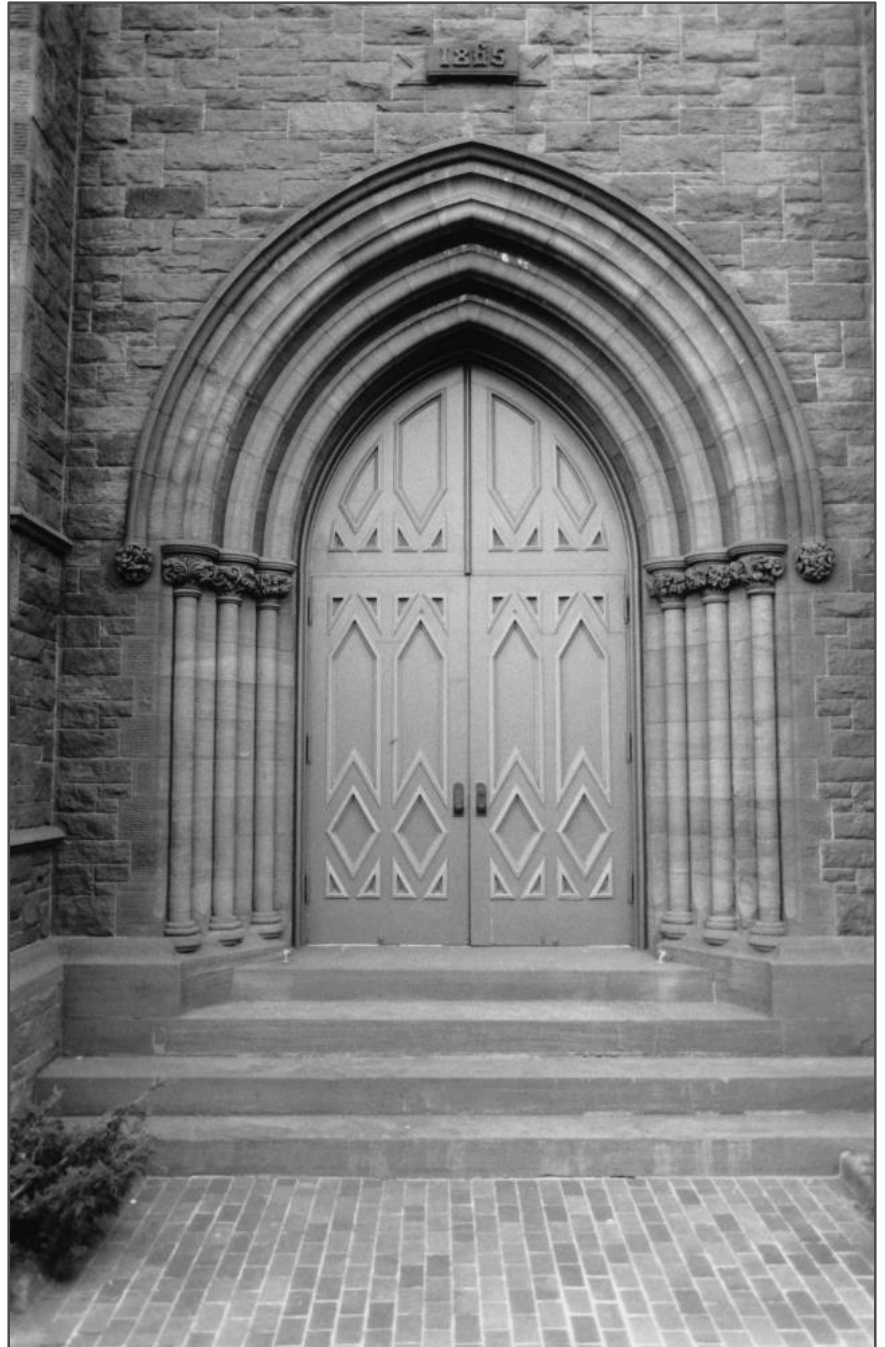
90 Main Street *(continued)*

South Congregational Ecclesiastical Society
Individually Listed –
National Register



Significance

students, and an 1800 volume library. Making it potentially one of Connecticut's largest congregational churches. In the late 19th and early 20th century the church provided services in other languages to serve New Britain's immigrant community. The original structure built in 1842 was a small wooden Greek-style church painted white with four columns and a belfry at the front.



608 Main Street

Berkowitz Block

Individually Listed –
National Register



Structure

Year Built: around 1915

Style: Late 19th Century Commercial

Alterations: Storefront changes

2022 Appraised Value: \$2,516,400

Materials: Brick, cast stone, pressed metal

Structural System: Load bearing masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 4

Dimensions: approx. 145' x 61'

Use

Current Use: Mixed
Commercial/Residential

Historical Use: Mixed
Commercial/Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

To the north east is a small wedge shaped park. To the south is St. Mary's church complex.



Significance

Appears on the city directory in 1916 with one vacant store and six residents. It is a good example of typical late 19th century commercial architecture designed for mixed use. Though aspects have been modernized many original features are intact.

349 Rocky Hill Avenue

Francis H. Holmes House

Individually Listed –
National Register



Structure

Year Built: 1908

Style: Jacobethan, Shingle, Classical, Contemporary

Alterations: Ionic capitals replaced by cushion capitals, removal of a porch column (original owner), removal of blacksmith shed

2022 Appraised Value: \$288,800

Materials: Brick, Brownstone

Structural System: Load bearing masonry

Roof Type: Hipped

Roof Material: Slate, Red Tile, Metal

of Stories: 2

Dimensions: approx. 47' x 48'

Use

Current Use: Single Residential

Historical Use: Single Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Residential on all sides, with some industry to the south west.

Significance

Designed by New Britain architect Walter P. Crabtree Sr. utilizing an eclectic collection of popular early 20th century architectural styles, The Francis H. Holmes house stands out as a residential property in the city of New Britain. Its use of symmetry and asymmetry around a central block creates a sense of monumentality for a house which is relatively modest in scale. In following with the Craftsman movement emphasis was placed on using natural finishes and handcrafted detailing. It was built with locally manufactured brick from the company Holmes oversaw himself,



brownstone from Portland, and hardware from the Corbin Lock Company of New Britain.

Holmes was an important figure in the Central Connecticut brick industry. Large deposits of natural resources for brickmaking in the central valley were exploited during the 19th and early 20th centuries. Francis Holmes' father John W. Holmes, was a partner in the Holmes and Dennis Brick Company, where Francis was a superintendent before taking over complete operation of the brickyard. The two were instrumental in the creation of the Central Connecticut Brick Company made up of a dozen individuals and firms. Francis H. Holmes was an innovator in the brick industry, developing a conveyor system for the automatic handling of brick pallets and utilizing workshop in the basement of the home to improve the brickmaking process.

1615 Stanley Street

Teacher's College of Connecticut
Individually Listed –
National Register



Structure

Year Built: 1922-1927

Style: New Georgian, Colonial Revival

Alterations: Interior, Marcus White Annex

2022 Appraised Value: \$34,711,300

Materials: Brick, Marble, Concrete, Wood

Structural System: Load bearing masonry

Roof Type: Gable (Davidson Hall), Mansard (Marcus White)

Roof Material: Slate

of Stories: 2 (Davidson Hall), 3 (Marcus White Hall)

Dimensions: approx. 364' x 137' (Davidson Hall)
approx. 239' x 211' (Marcus White Hall)

Use

Current Use: Education

Historical Use: Education

Public Ownership

Public Accessibility: Exterior from road, Interior during school hours

Surrounding Environment

Fits into Central Connecticut State University campus, Stanley Quarter Park to the north west, residential properties to the west. Business and residential to the south.

Description

The first building on the Stanley Quarter site was built in 1922 after the outgrowing the previous site of the Normal School on Hillside Place as a combined classroom and administration building. It is now known as Davidson Hall. The second building which began construction at the same time as the first was a combined heating and power



plant. The original structure remains but has been significantly altered. The third building was built in 1927 as a women's dormitory. It is now named after the former principal as Marcus White Hall.

Significance

Beginning as the New Britain Normal School in 1849 it was first normal school in the state for the education of teachers. The original site of the school was located in downtown New Britain at the corner of Chestnut and Main Street. This building was outgrown in 1881 and moved to Hillside Place. The school at Hillside Place was outgrown 40 years later. 25 acres of land were acquired in the Stanley Quarter of New Britain and the

1615 Stanley Street *(continued)*

Teacher's College of Connecticut

Individually Listed –
National Register



Significance

current site of the school was developed. Three name changes have occurred in the history of the school, once from the New Britain Normal School to the Teacher's College of Connecticut, then to Central Connecticut State College, and again to the present Central Connecticut State University.

These buildings were designed by the firm of Guilbert and Betelle of Newark, New Jersey. Ernest F. Guilbert had been in charge of leading New York architectural firms before he and James D. Betelle, a formally trained architect who also worked for Cass Gilbert and John Russel Pope, started their firm in the early 1900's. Guilbert died in 1916, before the contest to design the normal school was announced. But the firm now solely headed by Betelle still retained much of Guilbert's influence. The firm of Guilbert and Betelle was a leader in school architecture, receiving more than \$100,000,000 dollars in

commissions between the years 1910 and 1932 designing hundreds of schools. Both Guilbert and Betelle also lectured at Columbia University and drew audiences of school faculty and architects, continuing their influence beyond the firms likely end after Betelle's retiring in 1932.

Their design was as the winner of a competition put on by the State Board of Education to build the new school. The design was for a Neo-Georgian style main building arranged in a quadrangle with a central courtyard. The original design included the dormitory to the east of the main building but the funding was not able to be obtained to build both at the same time. The dormitory building was arranged in a semi hexagonal shape aligned with the main educational building and followed many of the same design elements as the first. The heat plant and superintendent's quarters were located to the north east of these two buildings.

1928 Stanley Street

Noah Stanley Tavern

Individually Listed –
National Register



Structure

Year Built: c. 1754

Style: Federal, colonial

Alterations: Replaced windows, porch in early 20th century

2022 Appraised Value: \$439,700

Materials: Clapboard

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: 48' x 73'

Use

Current Use: Single Residential

Historical Use: Tavern / Single Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Two churches to the north and south.

Suburban houses to the east across Stanley Street.

Significance

The late 18th century style of the house may indicate that an earlier building on the site was updated to its current federal style. The home was originally owned by Noah Stanley, one of four sons of Thomas Stanley, the others being Gad, Thomas and Timothy. The family originally settled in the area in the early to mid 18th century.



Noah operated a tavern in the property through the mid 18th century. The home was passed down to his grandchildren

Descendants of the Stanley family later formed the Stanley Works, and the Stanley Rule and Level company, which is now Stanley Black and Decker, one of the major companies in New Britain's present and past.

1939 Stanley Street

Francis Barbour House

Individually Listed –
National Register



Structure

Year Built: 1750

Style: Colonial

Alterations: Vinyl Siding

2022 Appraised Value: \$337,400

Materials: Vinyl Siding, Brownstone foundation

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 48' x 28'

Use

Current Use: Single Residential

Historical Use: Single Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Suburban houses to the north, south, and east. To the west across Stanley Street is a church.



Significance

Previously known as the George Francis House, the building is an example of the 18th Century center chimney type, including the typical jetty.

2134 Stanley Street

Gad Stanley House

Individually Listed –
National Register



Structure

Year Built: c. 1750

Style: Federal

Alterations: Vinyl siding, windows, doors

2022 Appraised Value: \$448,700

Materials: Vinyl Siding, Brownstone foundation

Structural System: Wood Frame, post and beam

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: 50' x 55'

Use

Current Use: Single Residential

Historical Use: Single Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Stanley park to the south and east.

Residential to the north. Holmes

Elementary School to the west.

Significance

Despite many alterations, the Gad Stanley House is a fine example of the federal style, and one of the oldest and most sophisticated extant houses in New Britain. The focal point of the design is the front entrance portico, in the elaborate embellishment displays the delicacy of detailing characterizing the Federal style.



An unusual feature of the portico, adding distinction to the design, is the compound paneling in the soffit.

Descendants of the Stanley family later formed the Stanley Works, and the Stanley Rule and Level company, which is now Stanley Black and Decker, one of the major companies in New Britain's present and past.

2162 Stanley Street

Gad Stanley II House

Individually Listed –
National Register



Structure

Year Built: c. 1797

Style: Federal

Alterations: Vinyl siding, side deck

2022 Appraised Value: \$413,900

Materials: Vinyl Siding, Brownstone foundation

Structural System: Wood frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: 42' x 52'

Use

Current Use: Single Residential

Historical Use: Single Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Faces east to A.W. Stanley Park across Stanley Street. Holmes School property to the south. More residential properties to the north.



Significance

Built for Gad Stanley II, early settler in New Britain and member of the notable Stanley family. Frederick T. Stanley, the first mayor of New Britain is said to have been born and raised in this house.

Descendants of the Stanley family later formed the Stanley Works, and the Stanley Rule and Level company, which is now Stanley Black and Decker, one of the major companies in New Britain's present and past.

190 West Main Street

Walnut Hill Park

Individually Listed –
National Register



John Phelan, September 14 2013 (CC BY-SA 3.0)

Structure

Year Built: ~1870

Style: Park

Alterations: 1928 WWI monument

2022 Appraised Value: \$6,525,000

Materials: N/A

Structural System: N/A

Roof Type: N/A

Roof Material: N/A

of Stories: N/A

Dimensions: approx. .75mi x .31mi'

Use

Current Use: Park

Historical Use: Park

Public Ownership

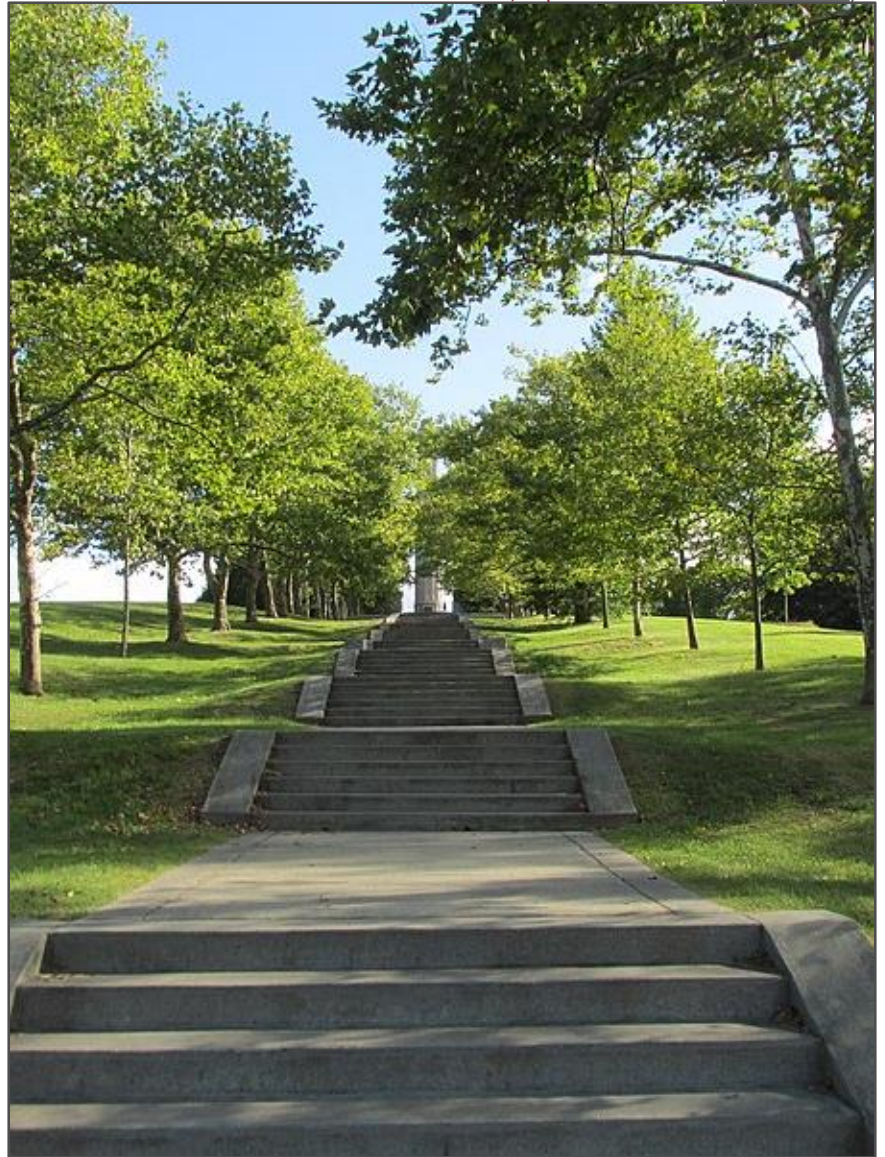
Public Accessibility: Fully Accessible

Surrounding Environment

Surrounded mostly by residential properties. New Britain Museum of American Art sits on the north side and the Hospital of Central Connecticut is to the south.

Significance

Walnut Hill Park is an early example of the work of Frederick Law Olmsted, America's Innovative 19th century landscape architect and leading park designer. His work in New Britain later provided a fine setting for an Art Deco World War I memorial designed by the architect, H. Van Buren Magonigle. Other buildings, including a music shell designed by Harold Field Kellogg, together with the picturesque vistas and irregular spaces planned by Olmsted contribute to the significance of this important open space in the heart of New Britain. In mid 19th century America, the development of urban open spaces, often cemeteries or parks,



in a picturesque manner became a strong movement. Olmsted by his design for Central Park in New York City, became a leader of this movement. His work at Walnut Hill gave New Britain an early example of a picturesque park designed by the leading landscape architect of the century.

The group that originally purchased 34 acres of the land that became Walnut Hill Park was a group of prominent New Britain industrialists including, Henry E. Russell, Cornelius B. Erwin, George M. Landers, and Frederick T. Stanley. The group bought the land under the company of Walnut Hill Park Co., the name that the park now bears. The remaining 56 acres came from 8 other parties and was obtained at the recommendation of Olmsted. \$50,000 was established in a trust by Cornelius B. Erwin for maintenance of the park.

265 West Main Street

Temple B’Nai Israel / Masonic
Individually Listed –
National Register
Temple



Structure

Year Built: 1927

Style: Neo-Classical Revival

Alterations: None

2022 Appraised Value: \$2,621,000

Materials: Concrete, brick, limestone

Structural System: Load bearing masonry

Roof Type: Flat

Roof Material: T&G / Rubber

of Stories: 2

Dimensions: approx. 108' x 64'

Use

Current Use: Church

Historical Use: Masonic Hall

Private Ownership

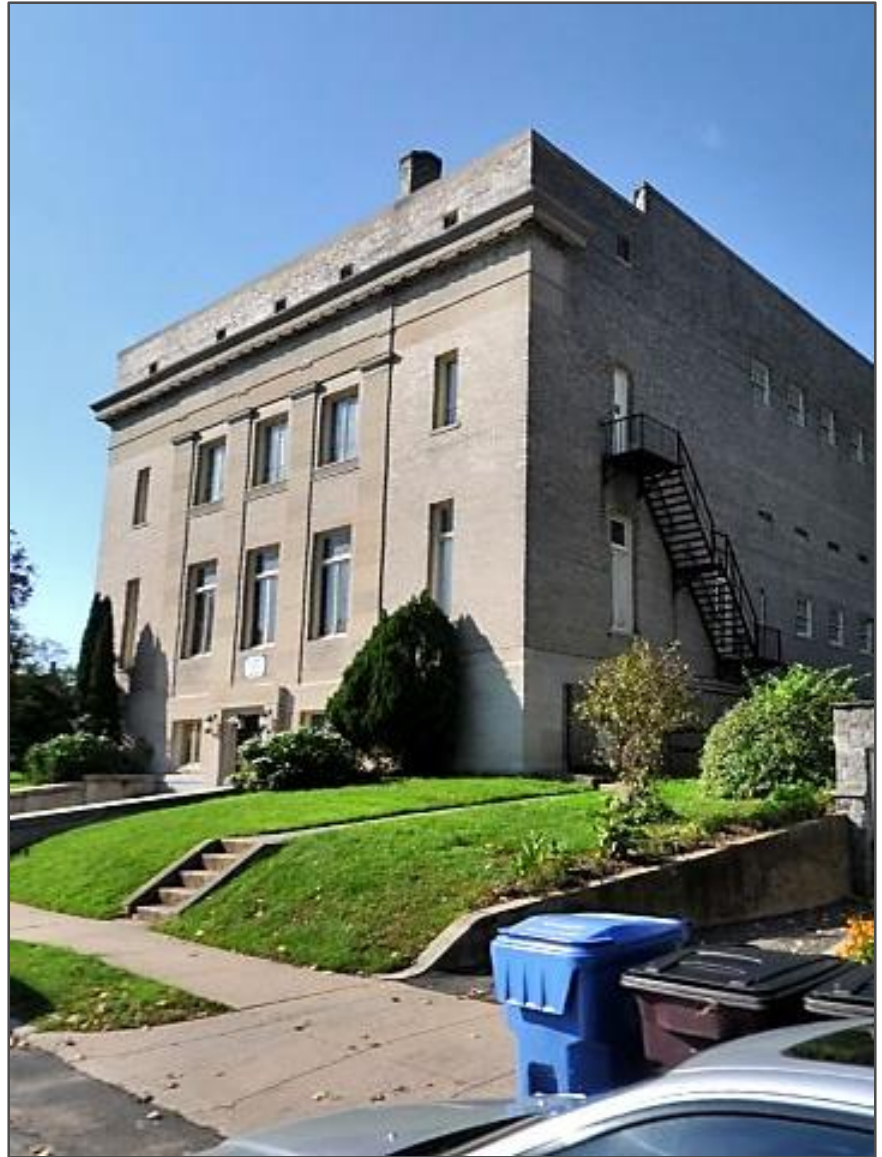
Public Accessibility: Exterior from road,
Interior During Services

Surrounding Environment

Businesses to the east and south. A church to the west. Community organizations and residential homes to the north.

Significance

Temple B'Nai Israel is significant architecturally because it is a fine example of the Neo-Classical Revival style in the Beaux-Arts mode. While the building is lacking the paired columns and roof-line statuary often associated with the Beaux-Arts, its largescale, generous proportions, and colossal columns reflect the generations of training experienced by American architects in the Paris École des Beaux-Arts. The Beaux-Arts influence spread through American architects who studied there. The quality of the design and materials of these buildings, as a class, tends to be high. Temple B'Nai



Israel is no exception; the stone blocks in its foundation, for example, are tooled, indicating a high degree of attention to craftsmanship and finish.

The architect of B'Nai Israel, Walter P. Crabtree (1873-1962), was born in Rochester, New York. Information on Crabtree's architectural education is not at hand, but there is no indication that Crabtree studied at the École des Beaux-Arts. He was employed from 1901-1904 in the office of William C. Cadwell, New Britain, before beginning independent practice in New Britain and in Hartford by himself and later with his son, Walter P. Crabtree, Jr., continuing for almost half a century, to 1950. Architect Walter P. Crabtree designed the building at 265 West Main Street as a Masonic hall in 1927. It was completed in the spring of 1929, just



Significance

prior to the onset of the Great Depression of the 1930s. The financial burden proved to be heavy for the Masons, leading them in 1940 to sell the structure for \$40,000 to the Brethren congregation. Since both uses were institutional, with need for meeting rooms and large assembly space, the building well accommodated the change of function. While change of use between church and synagogue is not uncommon, other changes of use are rare; this building at 235 West Main Street is an example of an unusual change of use that was carried out successfully.

Temple B'Nai Israel (Sons of Israel) is significant historically because of its association with an early New Britain Jewish congregation and because it is an example of changing function in an architecturally significant building. The Orthodox congregation was organized in 1889 as Aheyu B'Nai Israel (Brethren Sons of Israel). Services were held first in a theater, then in the Talmud Torah on Elm Street before the congregation bought the former Swedish Lutheran Church at Chestnut and Elm streets, c.1908. In 1924 the congregation reorganized as Conservative, in the wing of American Judaism known as the United Synagogue of America. At that time, George A. Zunner of Hartford designed alterations to the church for synagogue use, original drawings for which exist (in a private collection). Other members of the congregation who held to the Orthodox conviction withdrew, and in 1925 built Tephareth Israel Synagogue

76 Winter Street

Tephereth Israel Synagogue

Individually Listed –
National Register



Structure

Year Built: 1925

Style: Romanesque Revival / Colonial Revival

Alterations: Interior repaired after fire in 1962

2022 Appraised Value: \$1,440,900

Materials: Concrete, Brick

Structural System: Load bearing masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 2

Dimensions: approx. 66' x 108'

Use

Current Use: Synagogue

Historical Use: Synagogue

Private Ownership

Public Accessibility: Exterior from road,
Interior during services

Surrounding Environment

Business plaza to the south, Ukrainian Orthodox Church to the west, multi-family residential properties to the east and north.

Significance

Tephereth Israel Synagogue is significant architecturally because it combines traditional Romanesque Revival and Colonial Revival features. The towers under segmental roof lines projecting on either side of the entrance, and the corbeling at the roof line over the entrance are strong Romanesque Revival features. On the other hand, the round-arched windows and overall effect of red brick with white trim, strengthened by quoins at the corners, reference the Classical Revival and Colonial Revival



The architect, Adolf Feinberg (7-1958) of Hartford, was born and educated in Austria, where he served in the army during World War I. He held both architectural and engineering degrees, having graduated from the Vienna and Lamberg polytechnic institutes. After arriving in the United States in 1921, Feinberg first appeared in Hartford city directories as a partner in Storrs & Feinberg during the years 1924-1927. Subsequently, he practiced by himself to his death in 1958. While much of his work was residential, associated with the development of Hartford's South End and Blue Hills area, in the Colonial Revival and Tudor Revival styles, Feinberg carried on a diversified practice. In New Britain he designed what may have been the state's first ramp garage. His other synagogue and church commissions include Beth David Synagogue, West Hartford; Mt. Calvary Baptist Church, Windsor;

76 Winter Street *(continued)*

Tephereth Israel Synagogue

Individually Listed –
National Register



Significance

and Grace Episcopal Church Parish House, Windsor.

Tephereth Israel Synagogue has a long association with an early Orthodox congregation in New Britain. The first Jews to arrive in New Britain in the 1860s and 1870s came from Austria and Germany. They formed Congregation Aheyu B'Nai Israel (Brethren Sons of Israel) in 1889. Services were held first in a theater, then in the Talmud Torah on Elm Street (built in 1896), before the congregation bought the former Swedish Lutheran Church at Chestnut and Elm streets, c. 1908. In 1924 the congregation reorganized as Conservative, in the wing of American Judaism known as the United Synagogue of America.

At that time, George A. Zunner of Hartford designed alterations to the church for synagogue use, original drawings for which exist in a private collection. Other members of the congregation, who had emigrated near the turn of the century largely from the area around Vilnius, Lithuania, and held to the Orthodox conviction, withdrew in 1925 to form Congregation Tephereth Israel.

City Hall Monument Historic District

42

Kenneth C. Zirkel, August 14 2020 (CC BY-SA 4.0)



The four structures and Central Park included in this district form a grouping and provide graphic testimony of the increasing affluence and cultural and architectural sophistication of the beginning New England city in the latter half of the 19th century. Ten years before the first of these buildings was completed, New Britain was a small farming and mill community of about 3,000 people. At that time the village center was about half a mile away, where the Congregational Church and parsonage and some commercial buildings overlooked what was then the town green. By the time the National Bank Building was constructed in 1860-61, a railroad line and several small factories had been completed immediately to the north of the bank. The bank was the first financial institution in the young industrial community. During the next two and one half decades, as larger

manufacturing establishments developed in the vicinity, the commercial center of the city shifted to the present downtown square and the city began its period of growth. The former hotels included in this district (the Russwin Hotel and Burritt Hotel) also signify the growing city, being built with the objective to accommodate those visiting the city on business and to display the class of the city.

230 Main Street

Central Park / Soldiers Monument

City Hall Monument
Historic District



Structure

Year Built: c. 1854, 1900 (Monument)

Style: Park

Alterations: 1990 Renovation /
Monument Relocations

2022 Appraised Value: \$198,200

Materials: Concrete, Brick

Structural System: N/A

Roof Type: N/A

Roof Material: N/A

of Stories: N/A

Dimensions: approx. 140' x 280'

Use

Current Use: Park/Commemorative

Historical Use: Park/Commemorative

Public Ownership

Public Accessibility: Fully Accessible

Surrounding Environment

Sits at the intersections of Main and West Main Streets. Mixed use and business surrounds on all sides.

Significance

The area of Central Park has existed in the city center as a public space for hundreds of years. Though the space has changed significantly from its original form, taking its current form in the 1990s, it has always existed a public space and shares many functions with its past, such as being concert venue.



The monument was designed by Ernest Flagg, a New York architect and designer of a number of buildings in Connecticut. The monument is in remembrance of those in New Britain who served in the Civil War.

27 West Main Street

Russwin Hotel (City Hall)

City Hall Monument
Historic District



Structure

Year Built: 1882

Style: Venetian Palazzo

Alterations: 1909 City Hall Conversion

2022 Appraised Value: \$28,594,500

Materials: Brick, Brownstone, Terra cotta

Structural System: Load bearing masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 5

Dimensions: approx. 126' x 167'

Use

Current Use: City Hall

Historical Use: Hotel

Public Ownership

Public Accessibility: Exterior from road,
Interior during hours

Surrounding Environment

Sits on West Main Street near main street. Central Park is across the street. Mixed use residential and commercial is to the east and west.

Significance

The Russwin Hotel was a joint venture by Henry E. Russell and Cornelius B. Erwin, two prominent industrialists of 19th century New Britain. The building was designed by the architectural firm of McKim, Meade, & White, and specifically by Joseph Morrill Wells, Stanford White's principal assistant. The building operated as a hotel for nearly 30 years before in 1909 it was converted into the City Hall in a design again by McKim, Meade & White.

The design of the building is significant for both its execution of the Palazzo style and its use of terra cotta, a rarity for the



time. Also attached to this building to the east is the former New Britain National Bank Building built in 1860 in a Romanesque style with red brick and brownstone details. Since the 1920s this building has been incorporated into city hall. To the west is the old Post Office Building also now incorporated into city hall, which was built in 1871 in a renaissance revival style with brownstone and light masonry.

51 West Main Street

The Anvil Bank

City Hall Monument
Historic District



Structure

Year Built: 1927

Style: Neo Italian Palazzo

Alterations: Lettering on front of building, 1983 Rennovations

2022 Appraised Value: \$2,348,200

Materials: Brick, Cut white stone

Structural System: Load bearing masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 7

Dimensions: approx. 54' x 140'

Use

Current Use: Apartments

Historical Use: Bank

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sits on West Main Street near main street. City Hall to the east, commercial mixed use to the west and south.

Significance

The Commercial Trust Co. built this building for its use in 1927, however shortly after it was abandoned in 1929 due to the stock market crash. It remained empty for several years until the New Britain National Bank, previously down the street, moved into this site.



It design is comparable to its neighbors but with a modern element on the carved brick.

67 West Main Street

Burritt Hotel
City Hall Monument
Historic District



Structure

Year Built: 1924

Style: Georgian Revival

Alterations: Storefronts

2022 Appraised Value: \$6,023,400

Materials: Brick, Concrete

Structural System: Steel

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 6

Dimensions: approx. 150' x 88'

Use

Current Use: Mixed use

Commercial/Apartments

Historical Use: Hotel

Private Ownership

Public Accessibility: Exterior from road,
Interior of shops during hours

Surrounding Environment

On the corner of Washington Street and West Main Street, commercial and mixed use buildings are on the sides.

Significance

In the early 1920s New Britain business leaders were concerned that their city was losing commercial opportunities to other Connecticut cities with better hotel facilities. Together with civic organizations such as the Lions and Rotary Club, the leaders of New Britain's major industrial and mercantile enterprises banded together to form a corporation to build a large, modern hotel. The hotel was intended not only to accommodate visitors to the city, but also to be an imposing symbol of New Britain as a progressive community. The hotel was given the name Burritt early in the planning stages as a way of honoring

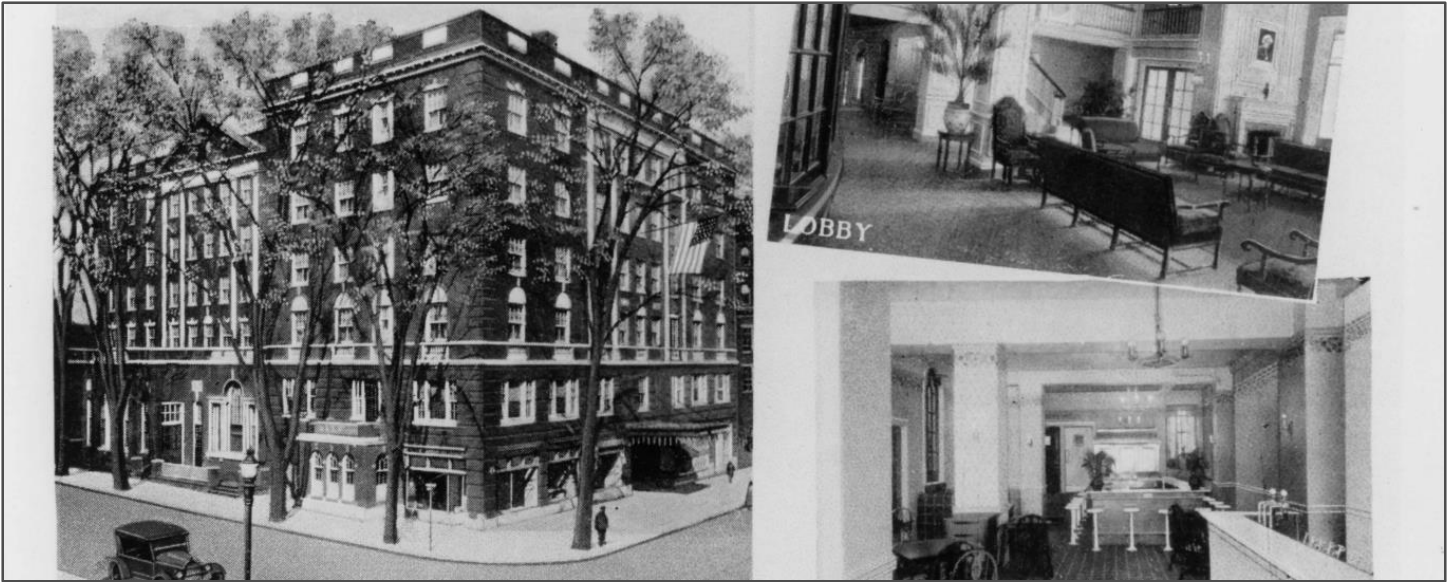


New Britain's most famous native son, Elihu Burritt, the nineteenth-century blacksmith and scholar who became a world-renown peace advocate.

The city's leaders contracted with the H.L. Stevens Company to build a hotel that would be both modern and stylish. H.L. Stevens, which both prepared the plans and constructed the building, was a New York firm specializing in hotel construction. The Burritt was very up-to-date for 1924. It was constructed with all its materials fire-proof, including the strong and almost indestructible reinforced concrete structural system. Interior partitions of concrete and tile also reflected fire-proof design, a key consideration in an age when hotel fires were justifiably a great fear. Beyond its safety, however, the Burritt offered all the modern

67 West Main Street *(continued)*

Burritt Hotel
Individually Listed –
National Register



Significance

amenities of the time, including separate freight and passenger elevators, complete plumbing in every room, and separately piped-in iced drinking water.

The architecture of the Burritt was intended to illustrate its role as the leading hotel in the city. Large and imposing, it immediately became a downtown landmark. By the year 1924 the Georgian Revival, along with Neo-Classicism and to a lesser extent, the Renaissance Revival style, had become the standard mode for large quasi-public buildings where a visual impression was important: banks, high schools, government buildings, and hotels were commonly designed with Georgian detailing in that period. In the case of the Burritt Hotel, however, the use of Georgian architecture went beyond the simple function of creating a monumental appearance

As New Britain's largest and most stylish hotel, the Burritt became a center for the city's social affairs. The New Britain Club had its headquarters on the mezzanine level, and the Burritt was the locus of numerous dinners, dances, and other formal occasions. Nor did the hotel simply serve New Britain "society:" its restaurant and coffee shop were frequented by generations of New Britainites from all walks of life.

114 West Main Street

Post Office
City Hall Monument
Historic District



Structure

Year Built: 1920

Style: Neoclassical, Beaux Arts

Alterations: None

2022 Appraised Value: \$697,100

Materials: Limestone

Structural System: Load bearing masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 2

Dimensions: approx. 95' x 138'

Use

Current Use: Offices

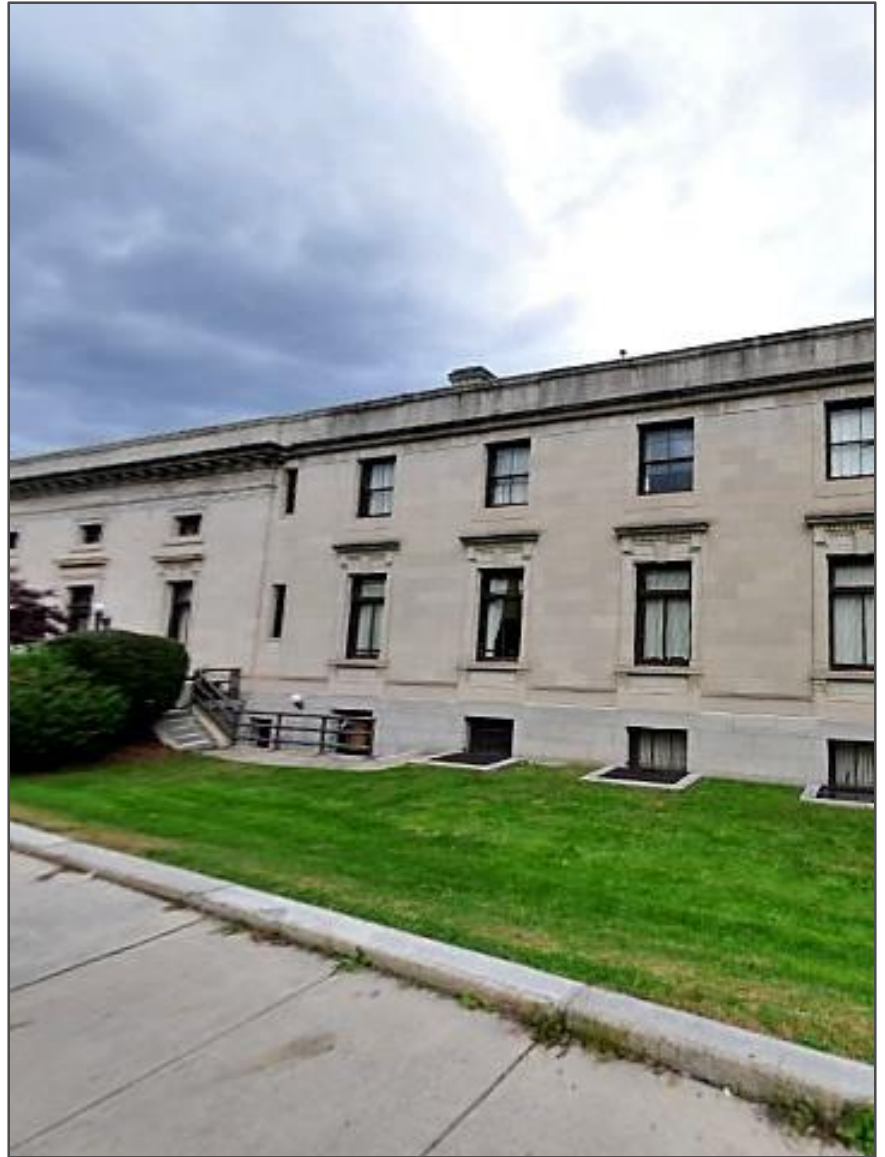
Historical Use: Post office

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

On the corner of West Main Street and South High Street. Nearby commercial and residential mixed use. Churches, and the New Britain public library across West Main to the north.



Significance

This Neoclassical style building operated as a post office for the city in the early to mid 20th century.

Walnut Hill Historic District

49



The Walnut Hill Historic District is approximately two city blocks wide and five city blocks long, located immediately southwest of the central business district. The district is oriented in a north-south axis which centers around Camp, Prospect, South High and High streets. Approximately 145 buildings are included. Building uses today (as during the last 140 years) include institutions, offices, and multiple or single family dwellings. The buildings, the majority of frame construction, represent a homogeneous blend of 19th-century styles typifying the urban residential character of the city, especially in the period 1850-1900 when New Britain emerged as a city of international industrial significance

The boundaries of the historic district are clearly defined by the building types and land-uses which surround it. The west side of the district is, in part,

established by the boundary of Walnut Hill Park. The southwest and northwest corners of the historic district are anchored respectively by the Hospital of Central Connecticut and the state highway right-of-way for Route 72. The north boundary of the historic district is well defined by the existence of various large institutional buildings which do not conform to district character. The east boundary line has been fixed at approximately the point of demarcation between 19th-century residential development and later commercial structures which were built along West Main, Main, and Arch streets as the central business district expanded. The south boundary has been extended along the south rear lot lines on Hart Street to include all historical properties located between the commercial development on Arch Street.

The district typifies the residential styles of professional persons in New Britain during the nineteenth century. Houses were often both homes and businesses to craftsmen, tradesmen, educators, and others. Also included are two school buildings and a college campus, three churches, two libraries, an armory, and a post office that all date from the late 19th to early twentieth centuries. The predominant architecture in the district, however, dates from the mid-to-late 19th century.

295 Arch Street

St John's Lutheran Church

Walnut Hill
Historic District



Structure

Year Built: 1897

Style: Gothic

Alterations: None

2022 Appraised Value: \$2,064,900

Materials: Brick, Brownstone

Structural System: Load bearing masonry

Roof Type: Gable

Roof Material: Slate

of Stories: 1

Dimensions: approx. 51' x 68'

Use

Current Use: Church

Historical Use: Church

Private Ownership

Public Accessibility: Exterior from road,
Interior during services

Surrounding Environment

Sited on Arch Street among commercial and mixed use buildings. Some of them are of early 20th and late 19th century design.



Significance

Originally founded in 1892 by the German immigrant community of New Britain. The church was built five years later and has served the community ever since.

10 Camp Street

Walnut Hill
Historic District



Structure

Year Built: 1880

Style: Italianate-Villa

Alterations: Siding, Porch

2022 Appraised Value: \$165,000

Materials: Wood clapboards, vinyl siding

Structural System: Wood Frame

Roof Type: Hipped

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 26' x 36'

Use

Current Use: Multi Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of residential homes on camp street. Near the old Normal School building.



Significance

An example of Italianate architectural design.

14 Camp Street

Walnut Hill
Historic District



Structure

Year Built: 1880

Style: Vernacular Queen Anne

Alterations: Siding, Porch enclosure

2022 Appraised Value: \$154,000

Materials: Clapboard, brick

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 24' x 32'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of residential homes on camp street.



Significance

An example of Vernacular Queen Anne Style.

24 Camp Street

Walnut Hill
Historic District



Structure

Year Built: 1880

Style: Italianate

Alterations: Siding

2022 Appraised Value: \$275,800

Materials: Clapboard, brick

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 28' x 43'

Use

Current Use: Multi Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of residential homes on camp street.



Significance

An example of Italianate architecture.

32 Camp Street

Walnut Hill
Historic District



Structure

Year Built: 1861

Style: Gothic Cottage

Alterations: Siding, enclosed side porch

2022 Appraised Value: \$155,000

Materials: Aluminum siding, brick

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 1.5

Dimensions: approx. 31' x 31'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of residential homes on camp street.



Significance

An example of a gothic cottage style.

36 Camp Street

Walnut Hill
Historic District



Structure

Year Built: 1890

Style: Queen Anne Double House

Alterations: Siding, porch

2022 Appraised Value: \$203,200

Materials: Aluminum siding, brick

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 25' x 42'

Use

Current Use: Multi Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of residential homes on camp street.



Significance

An example of a Queen Anne double house.

40 Camp Street

Walnut Hill
Historic District



Structure

Year Built: 1890

Style: Italianate

Alterations: Siding, porch

2022 Appraised Value: \$136,900

Materials: Vinyl siding, brick

Structural System: Wood Frame

Roof Type: Hipped

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 22' x 25'

Use

Current Use: Single Family Residential

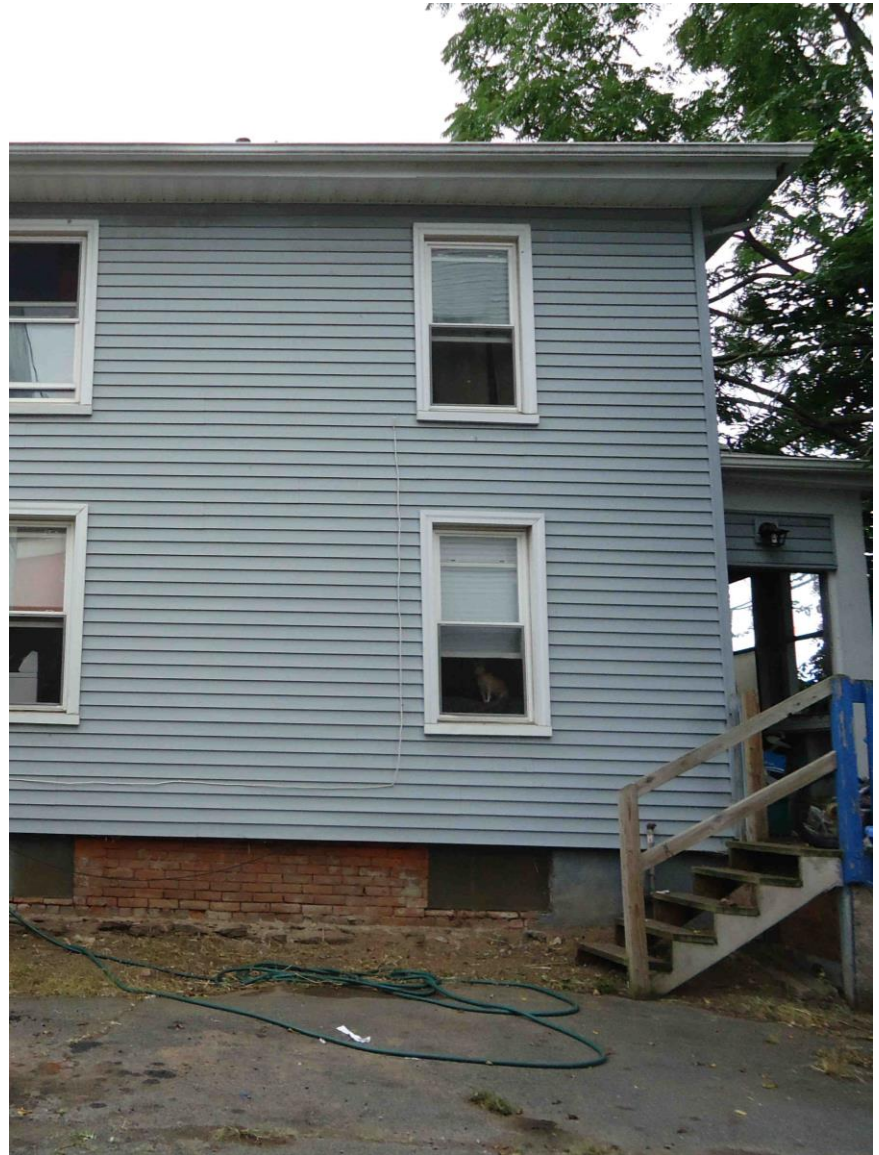
Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of residential homes on camp street.



Significance

An example of Italianate architecture.

42 Camp Street

Walnut Hill
Historic District



Structure

Year Built: 1890

Style: Georgian Revival

Alterations: Siding, porch

2022 Appraised Value: \$226,200

Materials: Vinyl siding, brick

Structural System: Wood Frame

Roof Type: Hipped

Roof Material: Asphalt Shingle

of Stories: 2.25

Dimensions: approx. 27' x 42'

Use

Current Use: Multi Family Residential

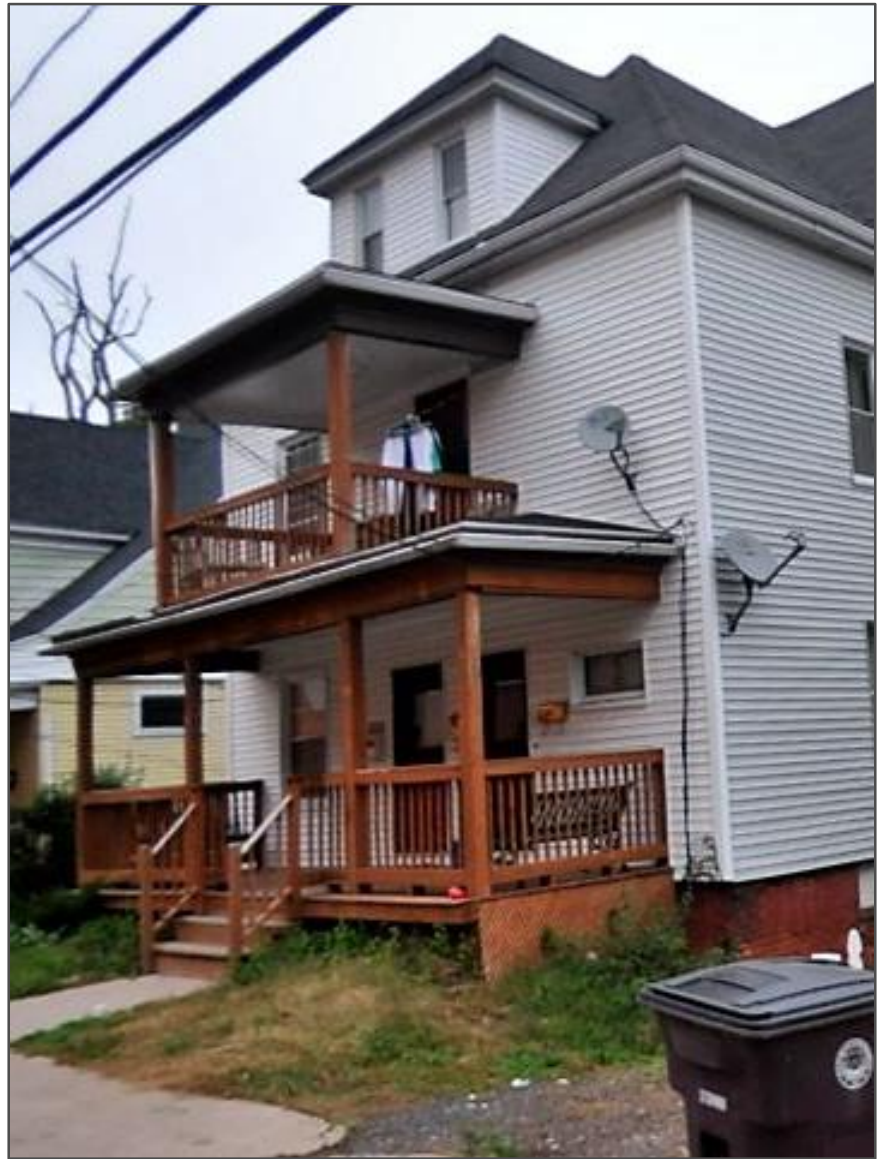
Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of residential homes on camp street.



Significance

An example of Georgian Revival architecture.

46 Camp Street

Walnut Hill
Historic District



Structure

Year Built: 1880

Style: Queen Anne Cottage

Alterations: Siding

2022 Appraised Value: \$333,800

Materials: Vinyl siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 36' x 44'

Use

Current Use: Multi Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of residential homes on camp street.



Significance

An example of a Queen Anne cottage.

48 Camp Street

Walnut Hill
Historic District



Structure

Year Built: 1873

Style: Queen Anne

Alterations: None

2022 Appraised Value: \$135,100

Materials: Clapboards

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 1.75

Dimensions: approx. 36' x 44'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of residential homes on camp street.



Significance

An example of a Queen Anne architectural design.

50 Camp Street

Walnut Hill
Historic District



Structure

Year Built: 1875

Style: Queen Anne Double House

Alterations: Siding, porch

2022 Appraised Value: \$222,700

Materials: Aluminum Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 26' x 51'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of residential homes on camp street.



Significance

An example of a Queen Anne double house design.

54 Camp Street

Walnut Hill
Historic District



Structure

Year Built: 1902

Style: Georgian Revival

Alterations: Siding, porch

2022 Appraised Value: \$222,700

Materials: Aluminum Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 24' x 30'

Use

Current Use: Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of residential homes on camp street.



Significance

An example of a Queen Anne double house design.

84 Camp Street

Walnut Hill
Historic District



Structure

Year Built: 1890

Style: Italianate

Alterations: Siding

2022 Appraised Value: \$182,800

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Flat Hip

Roof Material: Roll Roofing

of Stories: 2

Dimensions: approx. 22' x 41'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of residential homes on camp street. Hospital of Central Connecticut to the East.



Significance

An example of Italianate design.

88 Camp Street

Walnut Hill
Historic District



Structure

Year Built: 1900

Style: Queen Anne

Alterations: Siding, Porch

2022 Appraised Value: \$261,500

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2.5

Dimensions: approx. 31' x 40'

Use

Current Use: Three Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of residential homes on camp street. Hospital of Central Connecticut to the East.



Significance

An example of Queen Anne design.

94 Camp Street

Walnut Hill
Historic District



Structure

Year Built: 1890

Style: Italianate

Alterations: Siding

2022 Appraised Value: \$202,900

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Flat Hip

Roof Material: Roll Roofing

of Stories: 2

Dimensions: approx. 31' x 44'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of residential homes on camp street. Hospital of Central Connecticut to the East.



Significance

An example of an Italianate design.

98 Camp Street

Walnut Hill
Historic District



Structure

Year Built: 1875

Style: Italianate

Alterations: None

2022 Appraised Value: \$169,800

Materials: Clapboards

Structural System: Wood Frame

Roof Type: Flat

Roof Material: Roll Roofing

of Stories: 2

Dimensions: approx. 27' x 31'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of residential homes on camp street. Hospital of Central Connecticut to the East.



Significance

An example of an Italianate design.

104 Camp Street

Walnut Hill
Historic District



Structure

Year Built: 1880

Style: Italianate

Alterations: Siding, Porch

2022 Appraised Value: \$223,000

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 25' x 56'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of residential homes on camp street. Hospital of Central Connecticut to the East.



Significance

An example of Greek Revival architecture.

110 Camp Street

Walnut Hill
Historic District



Structure

Year Built: 1875

Style: Vernacular Italianate

Alterations: None

2022 Appraised Value: \$207,500

Materials: Clapboards

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 23' x 56'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of residential homes on Camp Street. Hospital of Central Connecticut to the East.



Significance

An example of an Italianate home.

118 Camp Street

Walnut Hill
Historic District



Structure

Year Built: 1880

Style: Italianate

Alterations: Siding

2022 Appraised Value: \$194,700

Materials: Clapboards

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 24' x 58'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of residential homes on camp street. Hospital of Central Connecticut to the East.



Significance

An example of an Italianate home.

120 Camp Street

Walnut Hill
Historic District



Structure

Year Built: 1915

Style: Bungalow

Alterations: Siding

2022 Appraised Value: \$150,000

Materials: Aluminum Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 1

Dimensions: approx. 24' x 46'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of residential homes on camp street. Hospital of Central Connecticut to the East.



Significance

An example of an bungalow style house.

126 Camp Street

Walnut Hill
Historic District



Structure

Year Built: 1880

Style: Italianate

Alterations: Siding

2022 Appraised Value: \$207,500

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Flat

Roof Material: Roll Roofing

of Stories: 2

Dimensions: approx. 29' x 46'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of residential homes on camp street. Hospital of Central Connecticut to the East.



Significance

An example of an Italianate style house.

137 Camp Street

Walnut Hill
Historic District



Structure

Year Built: 1880

Style: Greek Revival, Italianate

Alterations: Siding, Porch

2022 Appraised Value: \$223,000

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 27' x 30'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

On the corner of East and Hart Streets.
Hospital of Central Connecticut to the north.



Significance

An example of an Greek Revival style house.

12-14 Cedar Street

Walnut Hill
Historic District



Structure

Year Built: c. 1900

Style: Greek Revival

Alterations: Siding, Porch

2022 Appraised Value: \$220,200

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 41' x 57'

Use

Current Use: Commercial Residential
Mixed Use

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Surrounded by other residential style
offices of mixed styles, including Queen
Anne and Italianate.



Significance

An example of an Greek Revival style house.

17 Cedar Street

Walnut Hill
Historic District



Structure

Year Built: 1880

Style: Second Empire

Alterations: Siding

2022 Appraised Value: \$205,100

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Mansard

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 43' x 47'

Use

Current Use: Office

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Surrounded by other residential style offices of mixed styles, including Queen Anne and Italianate.



Significance

An example of second empire architecture.

18 & 24 Cedar Street

Walnut Hill
Historic District



Structure

Year Built: c. 1850

Style: Greek Revival

Alterations: Siding, connecting unit

2022 Appraised Value: \$228,200

Materials: Aluminum Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 78' x 63'

Use

Current Use: Office

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Surrounded by other residential style offices of mixed styles, including Queen Anne and Italianate.



Significance

An example of Greek Revival architecture.

23 Cedar Street

Walnut Hill
Historic District



Structure

Year Built: 1860

Style: Shingle, Italianate

Alterations: Siding

2022 Appraised Value: \$275,700

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 32' x 63'

Use

Current Use: Office

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Surrounded by other residential style offices of mixed styles, including Queen Anne and Italianate.



Significance

An architectural blend of mid 19th century styles.

26 Cedar Street

Walnut Hill
Historic District



Structure

Year Built: 1925

Style: Neo classical

Alterations: Unknown

2022 Appraised Value: \$288,400

Materials: Clapboards

Structural System: Wood Frame

Roof Type: Gambrel

Roof Material: Asphalt Shingle

of Stories: 2.25

Dimensions: approx. 37' x 31'

Use

Current Use: Office

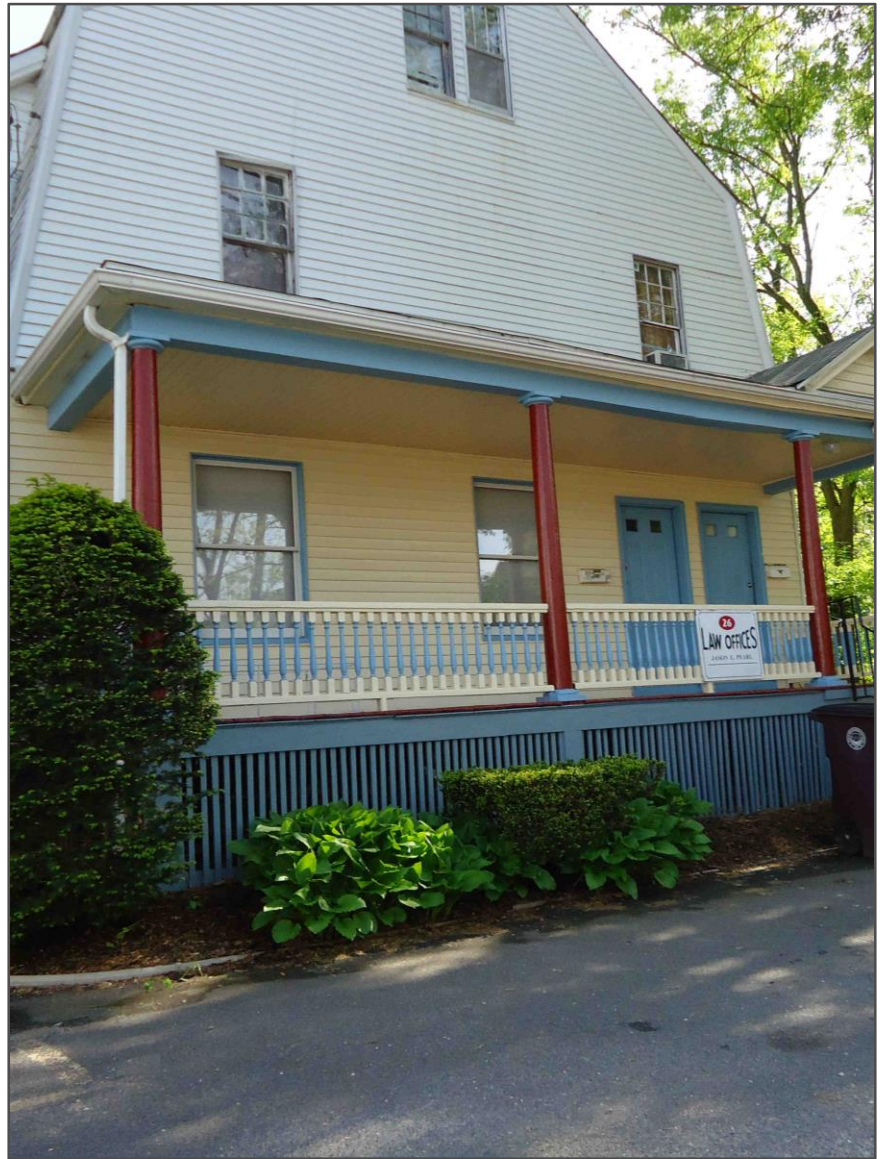
Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Set back behind 18 and 24 Cedar Street.
Mix of 19th century styles in the surrounding buildings.



Significance

An example of neo classical influence on architecture.

30 Cedar Street

Walnut Hill
Historic District



Structure

Year Built: 1870

Style: Queen Anne

Alterations: None

2022 Appraised Value: \$364,900

Materials: Clapboards

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 1.75

Dimensions: approx. 53' x 73'

Use

Current Use: Art Gallery

Historical Use: Barn/Stable

Private Ownership

Public Accessibility: Exterior from road,
Interior During Hours

Surrounding Environment

Set back behind 32 Cedar Street and down a hill from 37 Lennox Place. Mix of 19th century styles in the surrounding buildings.

Needs image

Significance

Queen Anne Style barn. Previously known as the George Post Stable and Carriage Barn.

32 Cedar Street

Walnut Hill
Historic District



Structure

Year Built: 1855

Style: Italianate

Alterations: Siding, Porch Enclosure, Appendages

2022 Appraised Value: \$156,600

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Flat Hip

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 33' x 48'

Use

Current Use: Office

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Surrounded by other residential style offices of mixed 19th century styles.

Parking lot the north



Significance

An example of an Italianate style building.

57 Court Street

Courtland Arms

Walnut Hill
Historic District



Structure

Year Built: 1925

Style: Renaissance Revival

Alterations: Windows, Façade renovation

2022 Appraised Value: \$1,517,400

Materials: Brick, Stone

Structural System: Load bearing masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 4

Dimensions: approx. 88' x 66'

Use

Current Use: Apartments

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Near main street and downtown.

Residential and office use buildings are nearby.



Significance

An example of Renaissance Revival architecture.

8 Emmons Place

Walnut Hill
Historic District



Structure

Year Built: 1900

Style: Queen Anne

Alterations: Porch removed

2022 Appraised Value: \$273,100

Materials: Brick

Structural System: Load bearing masonry

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 29' x 42'

Use

Current Use: Three Family Residential

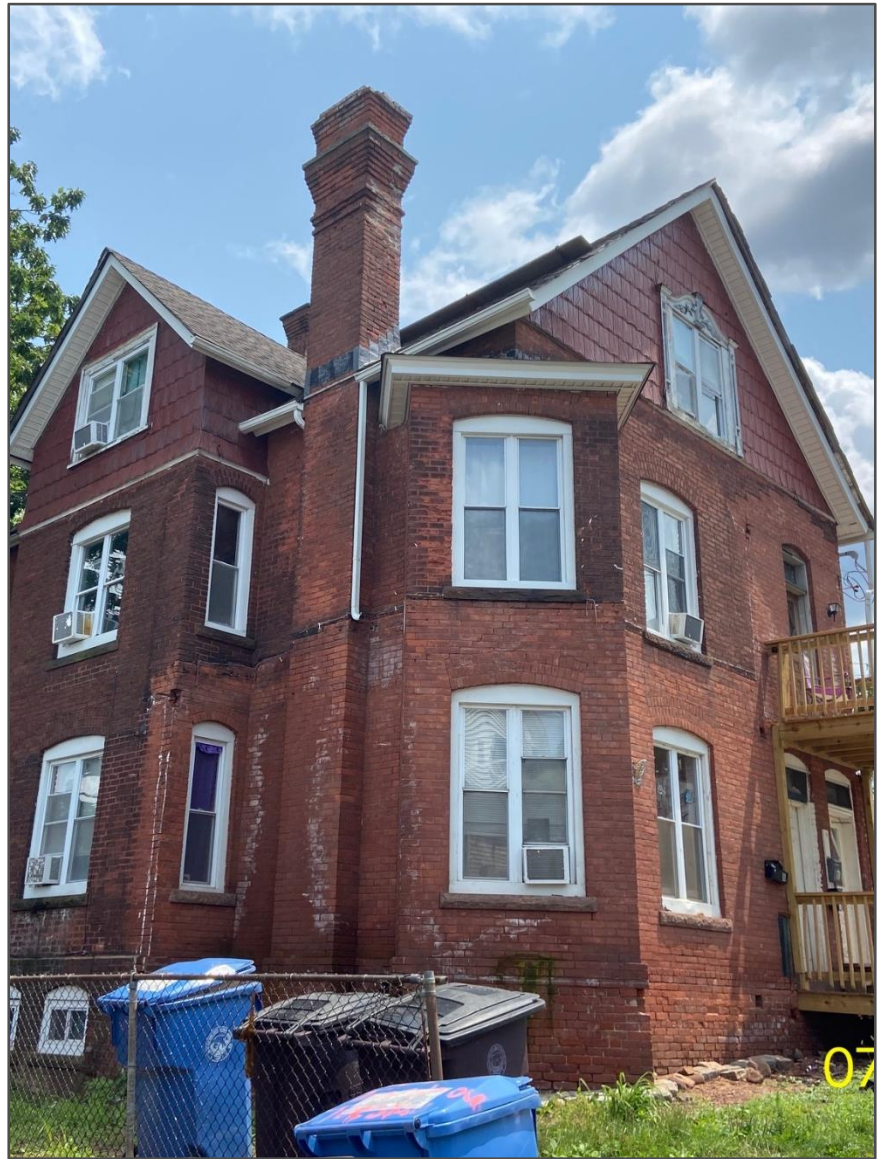
Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Residential and office use buildings are nearby.



Significance

A Queen Anne style home from the turn of the century.

11 Emmons Place

Walnut Hill
Historic District



Structure

Year Built: 1895

Style: Greek Revival

Alterations: Siding

2022 Appraised Value: \$200,600

Materials: Vinyl Shingle

Structural System: Wood frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 28' x 41'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Residential and office use buildings are nearby.



Significance

An example of Greek Revival architecture.

15 Emmons Place

Walnut Hill
Historic District



Structure

Year Built: 1885

Style: Queen Anne

Alterations: Siding, Rear enclosure

2022 Appraised Value: \$255,200

Materials: Aluminum Shingle

Structural System: Wood frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 29' x 39'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Residential buildings of varying architectural styles are nearby.



Significance

An example of Queen Anne architecture.

19 Emmons Place

Walnut Hill
Historic District



Structure

Year Built: 1895

Style: Queen Anne

Alterations: Stucco, Porch enclosure, Masonry

2022 Appraised Value: \$246,400

Materials: Stucco/Masonry

Structural System: Wood frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 30' x 45'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Residential buildings of varying architectural styles are nearby.



Significance

An example of Queen Anne architecture.

25 Emmons Place

Walnut Hill
Historic District



Structure

Year Built: 1895

Style: Queen Anne, Shingle

Alterations: Unknown

2022 Appraised Value: \$190,700

Materials: Wood Shingles

Structural System: Wood frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 37' x 31'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Residential buildings of varying architectural styles are nearby.



Significance

An example of a Queen Anne style home.

27 Emmons Place

Walnut Hill
Historic District



Structure

Year Built: 1850

Style: Second Empire

Alterations: 1900's remodel

2022 Appraised Value: \$197,400

Materials: Stucco/Masonry

Structural System: Wood frame

Roof Type: Mansard

Roof Material: Asphalt Shingle

of Stories: 2.75

Dimensions: approx. 52' x 56'

Use

Current Use: Single Family Residential

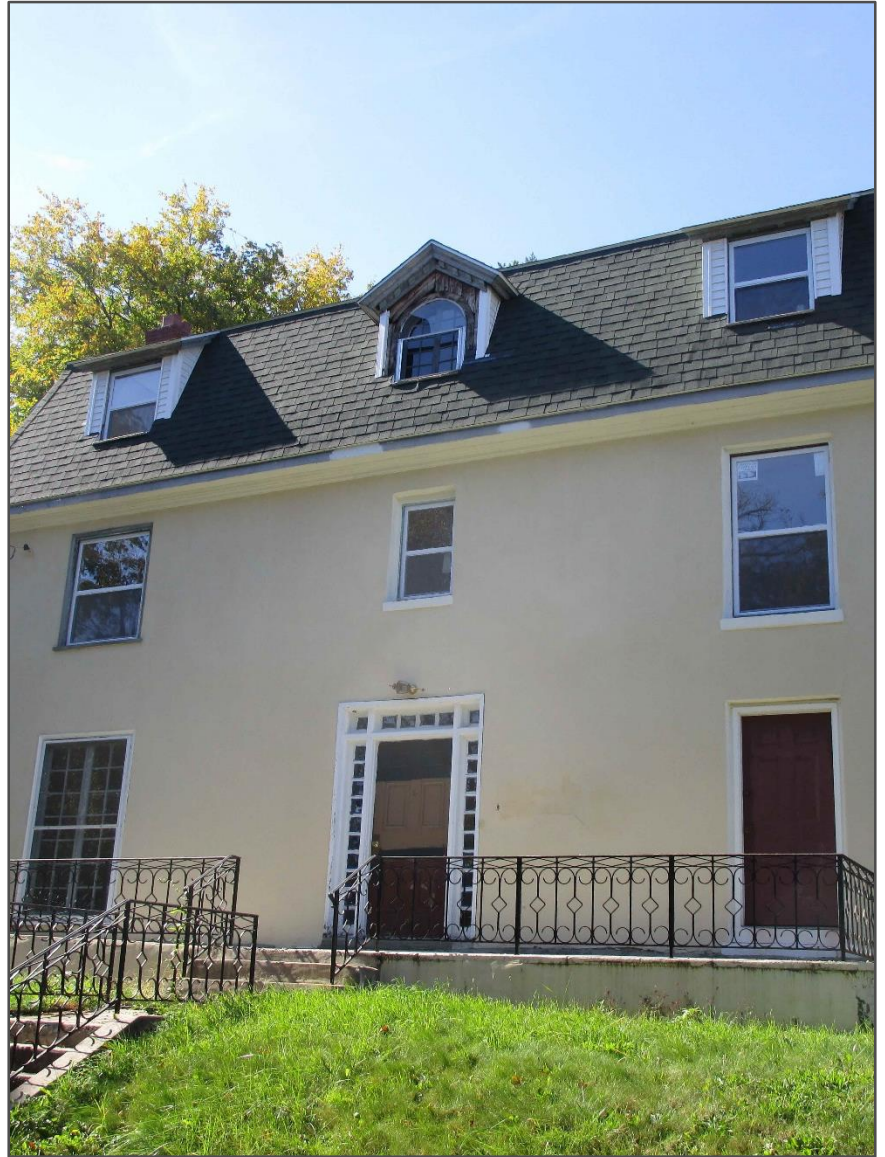
Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Residential buildings of varying late 19th century architectural styles are nearby.



Significance

An example of the Second Empire architectural style.

31 Emmons Place

Walnut Hill
Historic District



Structure

Year Built: 1905

Style: Queen Anne

Alterations: Siding

2022 Appraised Value: \$220,400

Materials: Vinyl Siding

Structural System: Wood frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 32' x 35'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Residential buildings of varying late 19th century architectural styles are nearby.



Significance

An example of the Queen Anne architectural style.

35 Emmons Place

Walnut Hill
Historic District



Structure

Year Built: 1900

Style: Queen Anne

Alterations: Unknown

2022 Appraised Value: \$224,500

Materials: Clapboards

Structural System: Wood frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 32' x 35'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Residential buildings of varying late 19th century architectural styles are nearby.



Significance

An example of the Queen Anne architectural style.

41 Emmons Place

Walnut Hill
Historic District



Structure

Year Built: 1905

Style: Queen Anne

Alterations: Siding, Porch

2022 Appraised Value: \$224,700

Materials: Vinyl Siding

Structural System: Wood frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 32' x 35'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Residential buildings of varying late 19th century architectural styles are nearby.



Significance

An example of the Queen Anne architectural style.

10 Grand Street

New Britain Armory

Walnut Hill
Historic District



Structure

Year Built: 1886-1887

Style: Romanesque Revival

Alterations: Dormers, Tower Roof, Rear entryway

2022 Appraised Value: \$2,109,400

Materials: Brick, Stone

Structural System: Load Bearing Masonry

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 1.5

Dimensions: approx. 80' x 164'

Use

Current Use: Apartments

Historical Use: Armory

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Located at the corner of Arch and Grand Streets in an older mixed commercial / residential neighborhood near the city center.

Significance

One of only two extant buildings of its type remaining from Connecticut's first great era of military construction. In this period seven large facilities arose in the state's largest cities following the nationwide strikes and riots of 1877. Pressure from significant land owners, industrialists, and military leaders led to the appropriation of funding to build National Guard armories.

The New Britain Armory was designed by Robert Wakeman Hill, a Waterbury native, alongside the Norwalk armory. Hill apprenticed with noted New Haven architect Henry Austin, and A.C. Nash of



Milwaukee, before returning to Connecticut in 1858. Hill designed a number of public buildings, and served as state Architect under Bigelow, Waller, Harrison, and Lounsbury. Hill also designed other state armories yet in a different fashion to the New Britain and Norwalk facilities.

By the time the structure was built in 1887 New Britain housed three National Guard units, with the entire First Regiment shifting temporarily to that facility upon its completion. The number of units that trained at the New Britain armory fluctuated throughout its life, and the facility was soon out grown, with complaints arising as early as 1909. However, it remained in use until 1982 when a new facility was constructed.

25 Grand Street

Walnut Hill
Historic District



Structure

Year Built: 1900

Style: Queen Anne

Alterations: Unknown

2022 Appraised Value: \$319,600

Materials: Clapboards

Structural System: Wooden Frame

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 36' x 60'

Use

Current Use: Multi Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Located at the corner of Prospect and Grand Streets. Other residential properties nearby, Hospital of Central Connecticut within view to the east.



Significance

An example of Queen Anne architectural design.

35 Grand Street

Walnut Hill
Historic District



Structure

Year Built: 1860

Style: Italianate

Alterations: Porch

2022 Appraised Value: \$185,700

Materials: Clapboards

Structural System: Wooden Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 40' x 44'

Use

Current Use: Multi Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Fronts on Grand Street. Other residential properties nearby, Hospital of Central Connecticut within view to the east.



Significance

An example of Italianate architectural design.

40 Grand Street

Walnut Hill
Historic District



Structure

Year Built: 1890

Style: Italianate

Alterations: Siding

2022 Appraised Value: \$296,100

Materials: Aluminum Siding

Structural System: Wooden Frame

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 31' x 46'

Use

Current Use: Two Family Residential

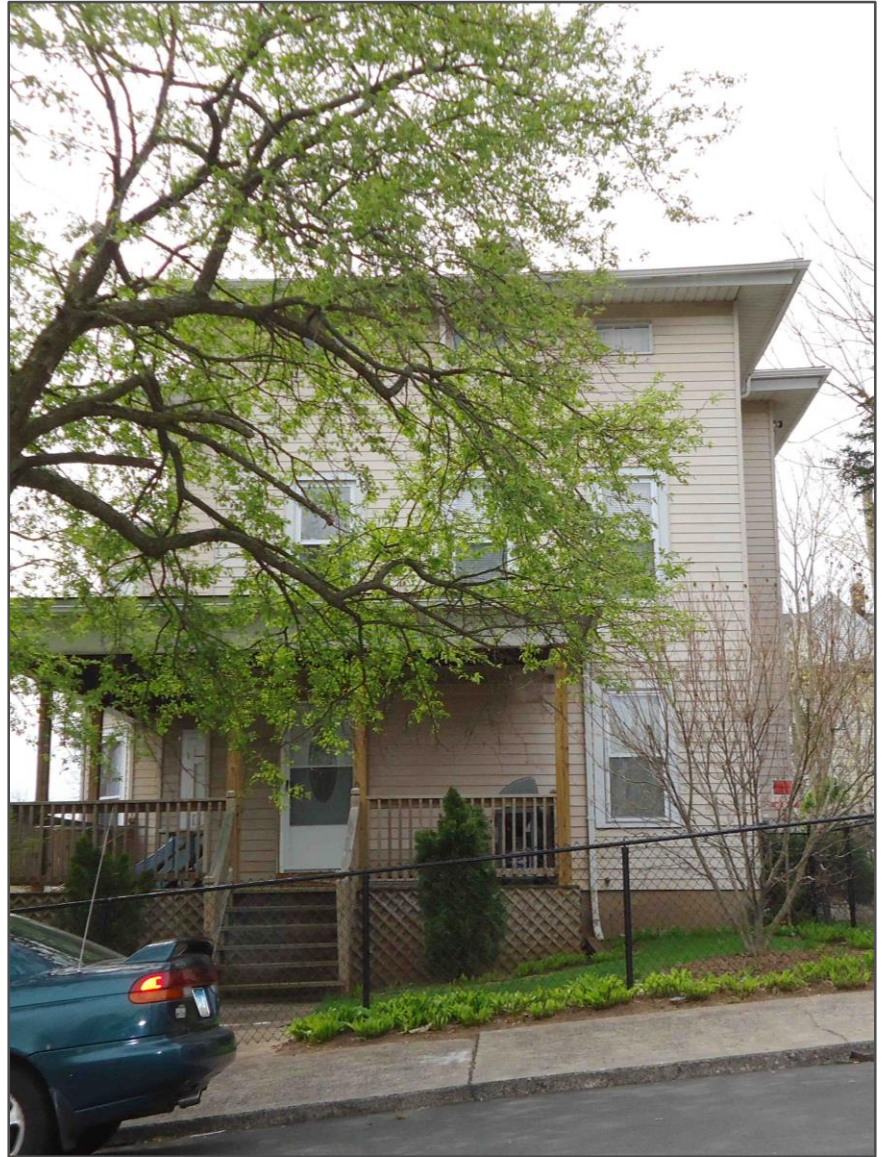
Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Fronts on Grand Street. Other residential properties nearby, Hospital of Central Connecticut within view to the east.



Significance

An example of Italianate architectural design.

18 Hart Street

Walnut Hill
Historic District



Structure

Year Built: c. 1820

Style: Second Empire

Alterations: Unknown

2022 Appraised Value: \$350,500

Materials: Wood Shingles

Structural System: Wooden Frame

Roof Type: Mansard

Roof Material: Asphalt Shingle

of Stories: 2.75

Dimensions: approx. 40' x 53'

Use

Current Use: Office

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

On Hart Street with other residential style offices, and apartments nearby.



Significance

An example of Second Empire architecture.

21 Hart Street

Walnut Hill
Historic District



Structure

Year Built: c. 1900

Style: Second Empire

Alterations: Siding, Porch Enclosure

2022 Appraised Value: \$366,500

Materials: Aluminum Siding

Structural System: Wooden Frame

Roof Type: Mansard

Roof Material: Asphalt Shingle

of Stories: 2.75

Dimensions: approx. 34' x 62'

Use

Current Use: Three Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

On Hart Street with other residential style offices, and apartments nearby.



Significance

An example of Second Empire architecture.

26 Hart Street

Walnut Hill
Historic District



Structure

Year Built: 1895

Style: Queen Anne

Alterations: Siding, Porch

2022 Appraised Value: \$271,200

Materials: Vinyl Siding

Structural System: Wooden Frame

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 58' x 62'

Use

Current Use: Office

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

On Hart Street with other residential style offices, and apartments nearby.



Significance

An example of Queen Anne architecture.

27 Hart Street

Walnut Hill
Historic District



Structure

Year Built: c. 1880

Style: Italianate

Alterations: Porch appendage, Siding

2022 Appraised Value: \$252,500

Materials: Vinyl Siding

Structural System: Wooden Frame

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 36' x 50'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

On the corner of Hart and Camp Streets with other residential style offices, and apartments nearby.



Significance

An example of an Italianate home.

47 Hart Street

Walnut Hill
Historic District



Structure

Year Built: c. 1883

Style: Italianate

Alterations: Rear enclosed porch, Siding

2022 Appraised Value: \$253,200

Materials: Vinyl Siding, Shingle

Structural System: Wooden Frame

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 39' x 45'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

On Hart Street with other residential properties nearby. Across Hart Street to the south is a walk in clinic.



Significance

An example of an Italianate home.

8 High Street

New Britain Public Library

Walnut Hill
Historic District



Structure

Year Built: 1901

Style: Beaux Arts

Alterations: Additions

2022 Appraised Value: \$18,812,100

Materials: Stone

Structural System: Load Bearing

Masonry

Roof Type: Hip

Roof Material: Slate

of Stories: 3

Dimensions: approx. 251' x 103'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

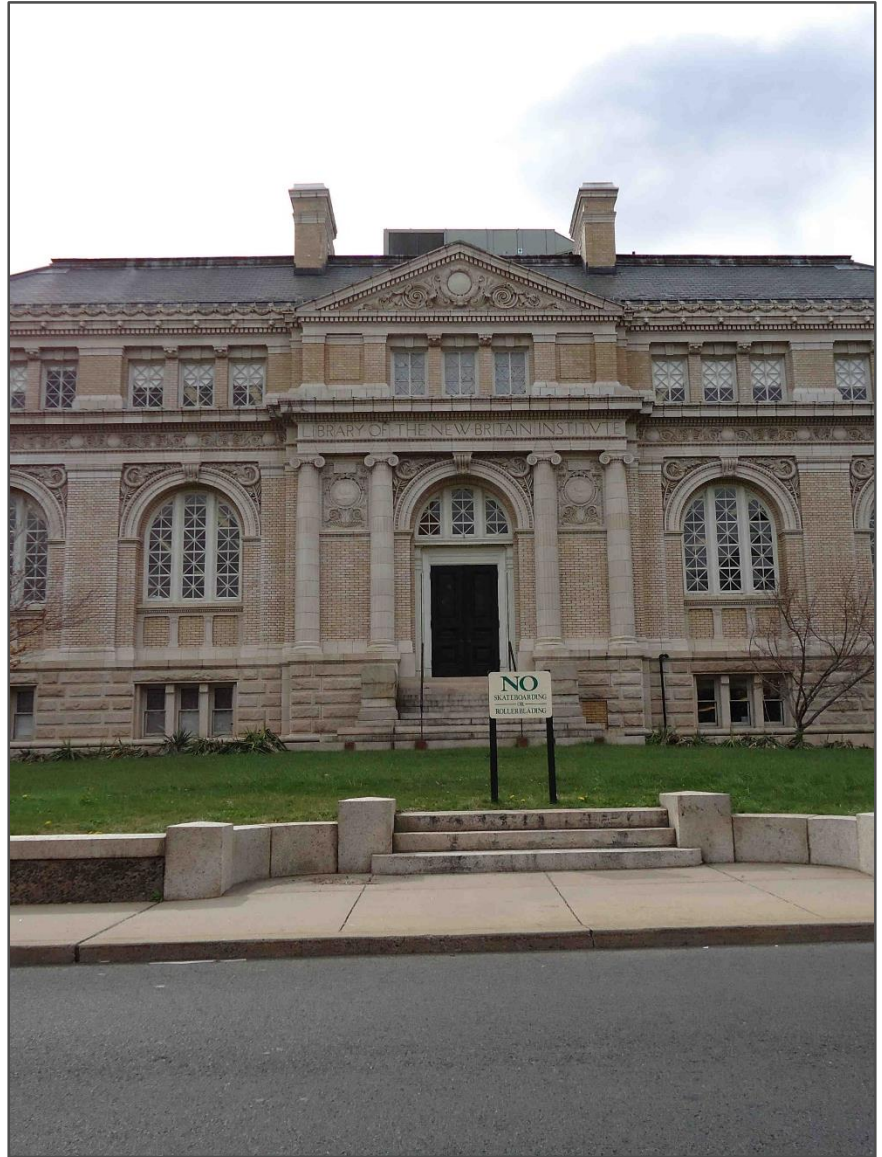
Surrounding Environment

Located on the corner of High Street and West Main Street. Offices, organizational buildings and churches are nearby, some of notable 19th and early 20th century styles such as Queen Anne and Second Empire.

Significance

Originally built by the New Britain Institute an organization founded with the intention of building a library in 1853. In 1892 the Institute received a of over \$195,000 from the estate of Cornelius B Erwin for the purpose of building a library.

After holding a design competition the firm of Davis and Brooks was selected for the library. William Brooks, who had recently settled in New Britain, would go on to become a prominent architect in the city.



Construction of the library cost nearly \$105,000 of the bequest leaving \$90,000 for operation and income generation. This proved to be too little and the Institute entered an agreement with the City to operate the building as a free public library with the addition of public funding. This arrangement continues to this day.

31 High Street

Walnut Hill
Historic District



Structure

Year Built: c. 1855

Style: Italianate

Alterations: Unknown

2022 Appraised Value: \$372,700

Materials: Clapboards

Structural System: Wood Frame

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2.5

Dimensions: approx. 47' x 60'

Use

Current Use: Office

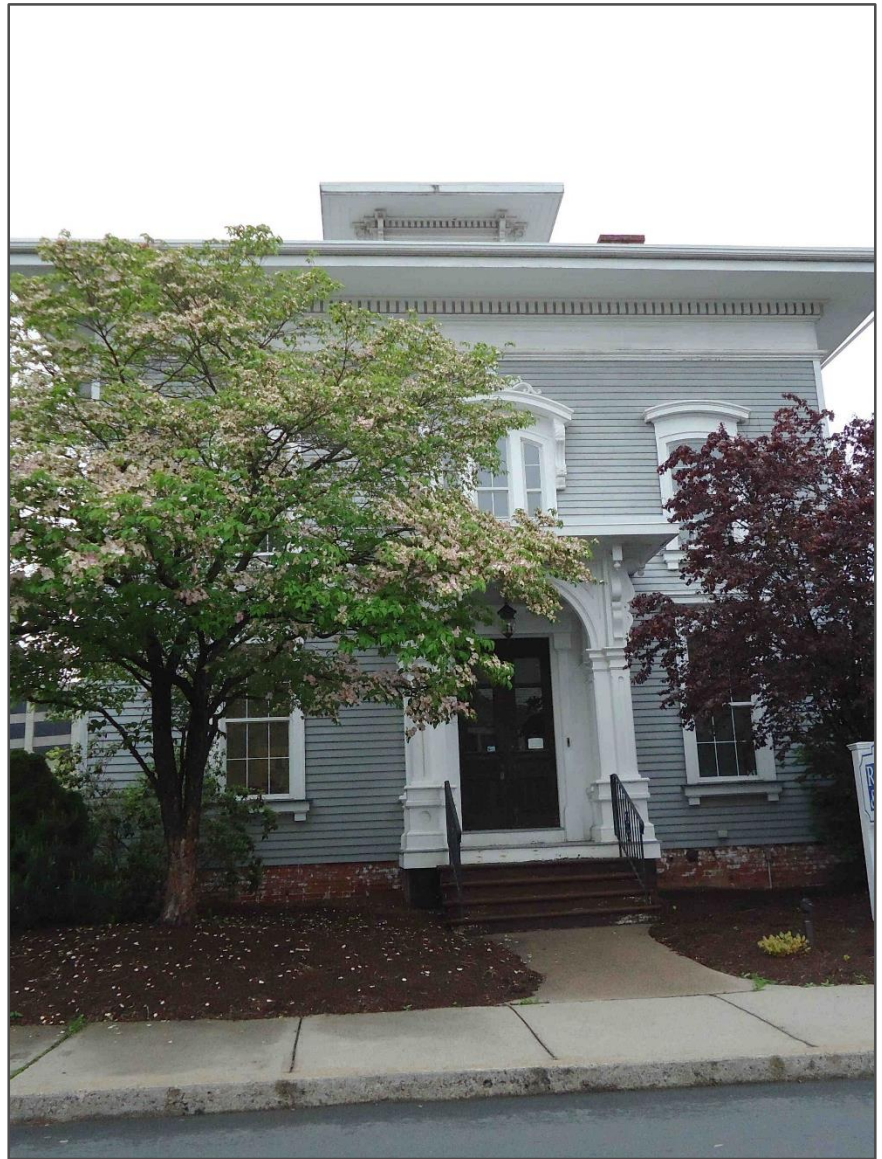
Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Located on High Street. Offices, the New Britain Library, organizational buildings and churches are nearby, some of notable 19th and early 20th century styles such as Queen Anne and Second Empire.



Significance

An example of Italianate architectural style.

1 Hillside Place

Walnut Hill
Historic District



Structure

Year Built: c. 1880

Style: Victorian Gothic

Alterations: Unknown

2022 Appraised Value: \$386,300

Materials: Clapboards

Structural System: Wood Frame

Roof Type: Mansard

Roof Material: Asphalt Shingle

of Stories: 2.25

Dimensions: approx. 47' x 43'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Located on High Street overlooking downtown. Apartments and multifamily homes of various styles are nearby. The old normal school building is to the south.



Significance

An example of a Victorian Gothic style home.

15 Hillside Place

Walnut Hill
Historic District



Structure

Year Built: c. 1888

Style: Queen Anne

Alterations: Porch

2022 Appraised Value: \$278,700

Materials: Clapboards

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2.25

Dimensions: approx. 45' x 55'

Use

Current Use: Single Family Residential

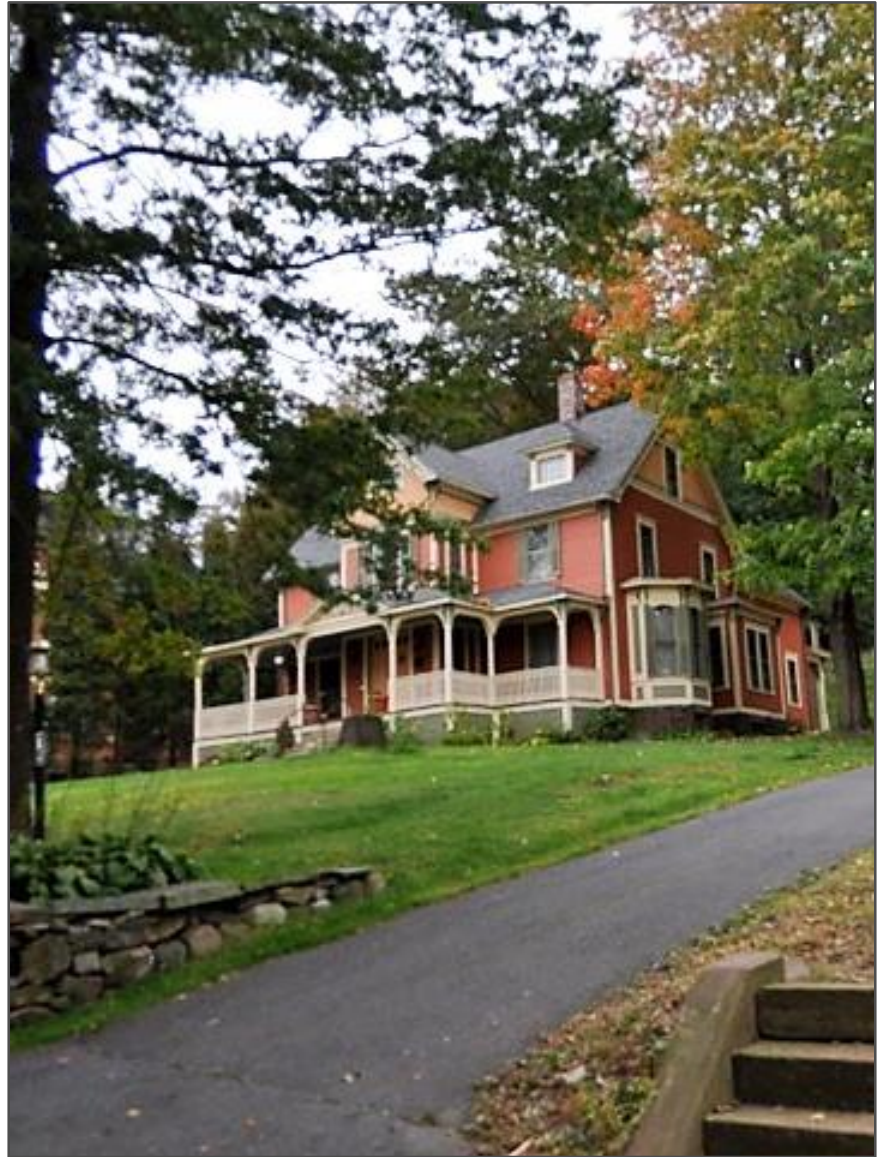
Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Located on High Street overlooking downtown. Apartments and multifamily homes of various styles are nearby. The old normal school building is to the south.



Significance

An example of a Queen Anne home.

27 Hillside Place

State Normal School

Walnut Hill
Historic District



Structure

Year Built: c. 1882

Style: Victorian Gothic

Alterations: Interior

2022 Appraised Value: Condos:
\$3,252,300 (total)

Materials: Brick, Stone

Structural System: Load Bearing
Masonry

Roof Type: Gable

Roof Material: Slate

of Stories: 3

Dimensions: approx. 131' x 88'

Use

Current Use: Condominiums

Historical Use: School

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Located on High Street overlooking downtown. Apartments and multifamily homes of various styles are nearby. Walnut Hill Park is to the west.

Significance

Originally built in 1882 as a new expanded teaching building for the State Normal School, previously located in a different downtown location of New Britain. Funding for the new building was obtained by both the state and the city for the land and building.

The building was designed by Warren R. Briggs, a prominent Connecticut architect. The State Normal School in New Britain was one of a number of educational buildings he designed.



Forty years later the building was replaced by the new campus in the Stanley Quarter of New Britain, where it remains today as Central Connecticut State University

1 Prospect Street

Walnut Hill
Historic District



Structure

Year Built: 1966

Style: Office

Alterations: Unknown

2022 Appraised Value: \$548,100

Materials: Brick, Vinyl Siding

Structural System: Load Bearing

Masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 2

Dimensions: approx. 56' x 42'

Use

Current Use: Multi family Residential

Historical Use: Office

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

North of the former Camp School on the corner of Prospect and Walnut Streets.

Residential buildings and apartments surround this property.



Significance

Located within the Walnut Hill Historic District.

14 Prospect Street

Walnut Hill
Historic District



Structure

Year Built: 1855

Style: Triple Decker

Alterations: Siding, Fenestration

2022 Appraised Value: \$306,800

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2.5

Dimensions: approx. 30' x 44'

Use

Current Use: Multi family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

To the west is the former Camp School.
In a row of residential properties on the east side of Prospect Street.



Significance

An example of a triple decker house located within the Walnut Hill Historic District.

15 Prospect Street

Camp School

Walnut Hill
Historic District



Structure

Year Built: c. 1890

Style: Jacobethan Revival

Alterations: Unknown

2022 Appraised Value: Condos:
\$1,293,000 (total)

Materials: Brick, Vinyl Siding

Structural System: Load Bearing
Masonry

Roof Type: Mansard

Roof Material: Slate

of Stories: 3

Dimensions: approx. 216' x 90'

Use

Current Use: Condominiums

Historical Use: School

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

North of the former Camp School on the corner of Prospect and Walnut Streets. Residential buildings and apartments surround this property.



Significance

Former school building located within the Walnut Hill Historic District.

16 Prospect Street

Walnut Hill
Historic District



Structure

Year Built: c. 1880

Style: Italianate

Alterations: Siding

2022 Appraised Value: \$217,300

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 35' x 32'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

To the west is the former Camp School.
In a row of residential properties on the east side of Prospect Street.



Significance

An example of Italianate architectural design.

28-30 Prospect Street

Walnut Hill
Historic District



Structure

Year Built: c. 1880

Style: Italianate, Queen Anne

Alterations: Siding, Second story addition

2022 Appraised Value: \$182,100

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 34' x 45'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

To the west is the former Camp School. In a row of residential properties on the east side of Prospect Street.



Significance

An example of Italianate architectural design with Queen Anne influences.

34 Prospect Street

Walnut Hill
Historic District



Structure

Year Built: c. 1890

Style: Italianate

Alterations: Siding

2022 Appraised Value: \$229,700

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 30' x 65'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

To the west is the former Camp School.
In a row of residential properties on the
east side of Prospect Street.



Significance

An example of Italianate architecture.

42 Prospect Street

Walnut Hill
Historic District



Structure

Year Built: c. 1890

Style: Italianate

Alterations: Siding, brick

2022 Appraised Value: \$173,800

Materials: Aluminum Siding, brick

Structural System: Wood Frame

Roof Type: Flat

Roof Material: Roll Roofing

of Stories: 2

Dimensions: approx. 34' x 42'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of residential properties on the east side of Prospect Street.



Significance

An example of Italianate architecture.

50 Prospect Street

Walnut Hill
Historic District



Structure

Year Built: c. 1875

Style: Italianate

Alterations: Siding

2022 Appraised Value: \$203,500

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt shingle

of Stories: 2

Dimensions: approx. 26' x 39'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of residential properties on the east side of Prospect Street.



Significance

An example of Italianate architecture.

51 Prospect Street

Walnut Hill
Historic District



Structure

Year Built: c. 1860

Style: Italianate

Alterations: Porch

2022 Appraised Value: \$316,200

Materials: Brick, Masonry

Structural System: Wood Frame

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 2

Dimensions: approx. 37' x 57'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of residential properties on the west side of Prospect Street.



Significance

An example of Italianate architecture with masonry façade.

56 Prospect Street

Walnut Hill
Historic District



Structure

Year Built: c. 1885

Style: Queen Anne

Alterations: Siding, Porch

2022 Appraised Value: \$228,800

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2.25

Dimensions: approx. 41' x 39'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of residential properties on Prospect Street.



Significance

An example of Queen Anne architectural design.

57 Prospect Street

Walnut Hill
Historic District



Structure

Year Built: c. 1840

Style: Greek Revival

Alterations: Siding, Entrance Portal, Addition

2022 Appraised Value: \$210,900

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 41' x 39'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of residential properties on Prospect Street.



Significance

An example of Greek Revival architectural design.

60 Prospect Street

Walnut Hill
Historic District



Structure

Year Built: c. 1880

Style: Second Empire

Alterations: Siding

2022 Appraised Value: \$281,600

Materials: Asbestos Shingle

Structural System: Wood Frame

Roof Type: Mansard

Roof Material: Asphalt Shingle

of Stories: 3

Dimensions: approx. 36' x 48'

Use

Current Use: Four Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of residential properties on Prospect Street.



Significance

An example of Second Empire architectural design.

64-66 Prospect Street (64)

Walnut Hill
Historic District



Structure

Year Built: c. 1920

Style: Italianate

Alterations: Siding, Façade

2022 Appraised Value: \$329,700

Materials: Asbestos Shingle

Structural System: Wood Frame

Roof Type: Flat

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 30' x 30'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Set back behind a triple decker on Prospect Street in a row of residential properties.



Significance

An example of Italianate architectural design.

64-66 Prospect Street (66)

Walnut Hill
Historic District



Structure

Year Built: c. 1920

Style: Queen Anne

Alterations: Siding

2022 Appraised Value: \$329,700

Materials: Asbestos Shingle

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 3

Dimensions: approx. 28' x 49'

Use

Current Use: Three Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of residential properties on Prospect Street.



Significance

An example of Queen Anne architectural design.

67 Prospect Street

Walnut Hill
Historic District



Structure

Year Built: c. 1880

Style: Italianate

Alterations: Siding, Porch

2022 Appraised Value: \$213,500

Materials: Asbestos Shingle

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 27' x 47'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of residential properties on Prospect Street.



Significance

An example of Italianate architecture.

68 Prospect Street

Walnut Hill
Historic District



Structure

Year Built: c. 1865

Style: Italianate

Alterations: Siding, Fenestration

2022 Appraised Value: \$141,900

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 21' x 28'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of residential properties on Prospect Street.



Significance

An example of Italianate architecture.

73 Prospect Street

Walnut Hill
Historic District



Structure

Year Built: c. 1880

Style: Second Empire

Alterations: Siding, porch

2022 Appraised Value: \$260,200

Materials: Aluminum Siding

Structural System: Wood Frame

Roof Type: Mansard

Roof Material: Asphalt Shingle

of Stories: 3

Dimensions: approx. 26' x 44'

Use

Current Use: Three Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of residential properties on Prospect Street.



Significance

An example of Second Empire architecture.

74 Prospect Street

Walnut Hill
Historic District



Structure

Year Built: c. 1880

Style: Italianate

Alterations: Siding

2022 Appraised Value: \$248,200

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 32' x 41'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of residential properties on Prospect Street.



Significance

An example of Italianate architecture.

76 Prospect Street

Walnut Hill
Historic District



Structure

Year Built: c. 1890

Style: Italianate

Alterations: Siding, side appendage

2022 Appraised Value: \$177,500

Materials: Asbestos shingle

Structural System: Wood Frame

Roof Type: Flat

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 30' x 35'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of residential properties on Prospect Street.



Significance

An example of Italianate architecture.

79 Prospect Street

Walnut Hill
Historic District



Structure

Year Built: c. 1880

Style: Italianate

Alterations: Siding, porch

2022 Appraised Value: \$270,900

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 3

Dimensions: approx. 26' x 53'

Use

Current Use: Three Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of residential properties on Prospect Street.



Significance

An example of Italianate architecture.

83 Prospect Street

Walnut Hill
Historic District



Structure

Year Built: c. 1865

Style: Italianate

Alterations: Siding

2022 Appraised Value: \$208,800

Materials: Aluminum Siding

Structural System: Wood Frame

Roof Type: Flat

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 27' x 54'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of residential properties on Prospect Street.



Significance

An example of Italianate architecture.

84 Prospect Street

Walnut Hill
Historic District



Structure

Year Built: c. 1850

Style: Italianate

Alterations: Siding

2022 Appraised Value: \$181,800

Materials: Asbestos shingle

Structural System: Wood Frame

Roof Type: Flat

Roof Material: Roll Roofing

of Stories: 2.25

Dimensions: approx. 40' x 32'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of residential properties on Prospect Street.



Significance

An example of Italianate architecture.

87 Prospect Street

Walnut Hill
Historic District



Structure

Year Built: c. 1875

Style: Italianate

Alterations: Siding

2022 Appraised Value: \$331,300

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 25' x 61'

Use

Current Use: Three Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of residential properties on Prospect Street.



Significance

An example of Italianate architecture.

88 Prospect Street

Walnut Hill
Historic District



Structure

Year Built: c. 1935

Style: Brick Industrial

Alterations: Unknown

2022 Appraised Value: \$303,200

Materials: Brick

Structural System: Load bearing masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 1

Dimensions: approx. 40' x 60'

Use

Current Use: City Health Department

Historical Use: Commercial

Public Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of residential properties on Prospect Street.



Significance

Located within the Walnut Hill Historic District. A 1930's brick structure.

92 Prospect Street

Walnut Hill
Historic District



Structure

Year Built: c. 1870

Style: Italianate

Alterations: Siding, Side Appendage

2022 Appraised Value: \$145,700

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 28' x 32'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of residential properties on Prospect Street.



Significance

An example of Italianate architectural design.

99 Prospect Street

Walnut Hill
Historic District



Structure

Year Built: c. 1870

Style: Italianate

Alterations: Siding, Side Appendage

2022 Appraised Value: \$303,900

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 28' x 32'

Use

Current Use: Three Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of residential properties on Prospect Street.



Significance

An example of Italianate architectural design.

6 Rogers Place

Walnut Hill
Historic District



Structure

Year Built: c. 1900

Style: Shingle Style

Alterations: Unknown

2022 Appraised Value: \$265,400

Materials: Clapboards

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2.25

Dimensions: approx. 48' x 39'

Use

Current Use: Single Family Residential

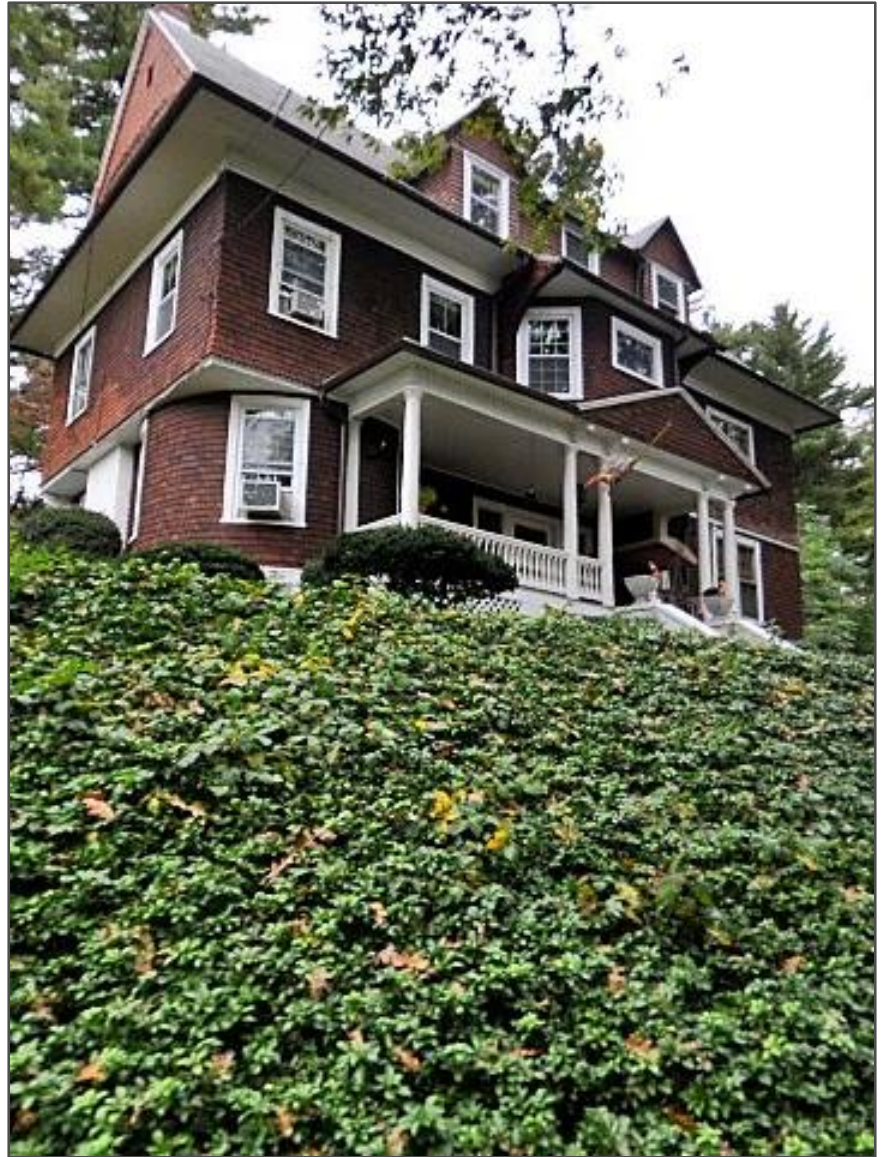
Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Walnut Hill Park to the west and Queen Anne and Victorian houses to the east down a hill. neighbored by another noteworthy late 19th to early 20th century home.



Significance

An example of a shingle style house.

9 Rogers Place

Walnut Hill
Historic District



Structure

Year Built: 1901

Style: Country villa, Adamesque Revival

Alterations: Unknown

2022 Appraised Value: \$300,100

Materials: Clapboards

Structural System: Wood Frame

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2.25

Dimensions: approx. 36' x 48'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Walnut Hill Park to the west and Queen Anne and Victorian houses to the east down a hill. neighbored by another noteworthy late 19th to early 20th century home.



Significance

An example of a blend of early 20th and late 19th century architectural styles.

10 School Street

Walnut Hill
Historic District



Structure

Year Built: 1903

Style: Victorian, Queen Anne

Alterations: Siding, Porch

2022 Appraised Value: \$266,100

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2.25

Dimensions: approx. 30' x 37'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sits in a row of 18th and 19th century houses on school street. The old Camp School and State Normal School buildings are across School Street to the north.



Significance

An example of a blend of early 20th and late 19th century architectural styles.

22 School Street

Walnut Hill
Historic District



Structure

Year Built: 1962

Style: Cape Cod

Alterations: Unknown

2022 Appraised Value: \$190,400

Materials: Wood Shingles

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 1.5

Dimensions: approx. 42' x 28'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sits in a row of 18th and 19th century houses on school street. The old Camp School and State Normal School buildings are across School Street to the north.



Significance

Located within the Walnut Hill Historic District.

19 South High Street

Walnut Hill
Historic District



Structure

Year Built: c. 1870

Style: Italianate

Alterations: Siding

2022 Appraised Value: \$275,200

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Flat

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 28' x 45'

Use

Current Use: Three Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of 19th and 20th century style houses. Old post office building is across South High Street to the east.



Significance

An example of the Italianate architectural style.

25 South High Street

Walnut Hill
Historic District



Structure

Year Built: c. 1845

Style: Greek Revival

Alterations: Siding

2022 Appraised Value: \$207,200

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 32' x 46'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of 19th and 20th century style houses.



Significance

An example of the Greek Revival architectural style.

29 South High Street

Walnut Hill
Historic District



Structure

Year Built: c. 1870

Style: Queen Anne

Alterations: Unknown

2022 Appraised Value: \$255,200

Materials: Clapboards

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2.5

Dimensions: approx. 29' x 49'

Use

Current Use: Three Family Residential

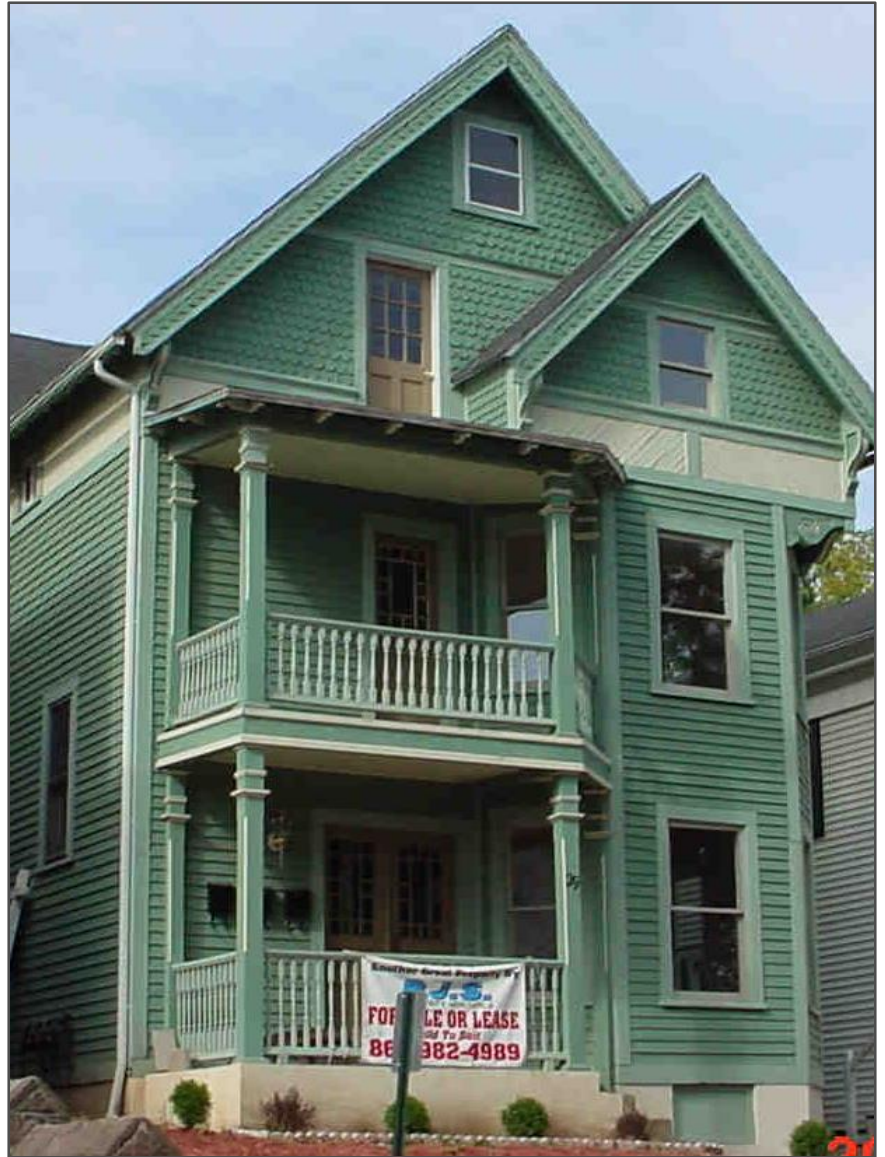
Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of 19th and 20th century style houses.



Significance

An example of the Queen Anne architectural style.

33 South High Street

Walnut Hill
Historic District



Structure

Year Built: c. 1870

Style: Italianate, Victorian

Alterations: Unknown

2022 Appraised Value: \$449,300

Materials: Brick, Masonry

Structural System: Load Bearing
Masonry

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 36' x 57'

Use

Current Use: Four Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of 19th and 20th century style houses.



Significance

A brick blend of architectural styles that stands out from the rest of the neighborhood both in material and design. Originally an Italianate structure that was remodeled after 1926.

37 South High Street

Walnut Hill
Historic District



Structure

Year Built: c. 1860

Style: Style less

Alterations: 1950 Remodel

2022 Appraised Value: \$409,000

Materials: Brick, Masonry

Structural System: Wood Frame

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 48' x 42'

Use

Current Use: Four Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of 19th and 20th century style houses.



Significance

Located in the Walnut Hill Historic District.

40 South High Street

Walnut Hill
Historic District



Structure

Year Built: 1893

Style: Queen Anne

Alterations: Siding

2022 Appraised Value: \$231,200

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 32' x 46'

Use

Current Use: Office

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby 19th and 20th century style houses.



Significance

An example of the Queen Anne architectural style.

44 South High Street

Walnut Hill
Historic District



Structure

Year Built: c. 1865

Style: Italianate

Alterations: Siding

2022 Appraised Value: \$202,300

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Flat Hip

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 35' x 44'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby 19th and 20th century style houses.



Significance

An example of the Italianate architectural style.

45 South High Street

Walnut Hill
Historic District



Structure

Year Built: c. 1855

Style: Italianate

Alterations: Siding

2022 Appraised Value: \$282,500

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Flat Hip

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 24' x 54'

Use

Current Use: Four Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby 19th and 20th century style houses.



Significance

An example of the Italianate architectural style.

46 South High Street

Walnut Hill
Historic District



Structure

Year Built: c. 1855

Style: Italianate

Alterations: Siding

2022 Appraised Value: \$116,500

Materials: Aluminum Siding, Brick

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 1.5

Dimensions: approx. 28' x 37'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Set back behind 44 South High Street. Nearby apartments, and 19th and 20th century homes.



Significance

An example of the Italianate architectural style.

50 South High Street

Walnut Hill
Historic District



Structure

Year Built: c. 1880 (demolished)

Style: Italianate

Alterations: Demolished

2022 Appraised Value: \$69,700

Materials: N/A

Structural System: N/A

Roof Type: N/A

Roof Material: N/A

of Stories: N/A

Dimensions: approx. 24' x 27'

Use

Current Use: Vacant

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby 19th and 20th century style houses.



Significance

In the Walnut Hill Historic District.

53 & 59 South High Street

Walnut Hill
Historic District



Structure

Year Built: c. 1925

Style: Neo Classical

Alterations: Unknown

2022 Appraised Value: \$1,119,200

Materials: Brick, Stone

Structural System: Load Bearing

Masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 3

Dimensions: approx. 51' x 56'

Use

Current Use: Apartments

Historical Use: Apartments

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby 19th and 20th century style houses.



Significance

An example of a Neo Classical style apartment building.

54 South High Street

Walnut Hill
Historic District



Structure

Year Built: c. 1855

Style: Italianate

Alterations: Siding

2022 Appraised Value: \$209,400

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 31' x 46'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby 19th and 20th century style houses.



Significance

An example of a Italianate style house.

65 South High Street

Walnut Hill
Historic District



Structure

Year Built: c. 1880

Style: Italianate, Queen Anne

Alterations: Brick Appendage

2022 Appraised Value: \$246,000

Materials: Clapboards

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 30' x 62'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby 19th and 20th century style houses.



Significance

An example of a Italianate and Queen Anne blend in a house.

50 Walnut Street

Walnut Hill
Historic District



Structure

Year Built: c. 1880

Style: Stick Style, Queen Anne

Alterations: Siding

2022 Appraised Value: \$232,100

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2.25

Dimensions: approx. 30' x 45'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

On the corner of Prospect and Walnut Streets, brick apartment buildings nearby.



Significance

An example of a Queen Anne and Stick Style transitional design in a house.

63 Walnut Street

Walnut Hill
Historic District



Structure

Year Built: 1868

Style: Italianate

Alterations: Siding, Porch

2022 Appraised Value: \$234,400

Materials: Clapboards

Structural System: Wood Frame

Roof Type: Flat

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 26' x 64'

Use

Current Use: Four Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

On Walnut Street near South High Street, 19th and 20th century homes nearby.



Significance

An example of Italianate style architecture.

69 Walnut Street

Walnut Hill
Historic District



Structure

Year Built: 1867

Style: Italianate

Alterations: Siding, Porch

2022 Appraised Value: \$155,400

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Flat hip

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 27' x 54'

Use

Current Use: Office

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

On the corner of Walnut Street and South High Street, 19th and 20th century homes nearby.



Significance

An example of Italianate style architecture.

70 Walnut Street

Walnut Hill
Historic District



Structure

Year Built: c. 1920

Style: Georgian Revival

Alterations: Enclosed Porch

2022 Appraised Value: \$364,200

Materials: Brick, Masonry

Structural System: Wood Frame

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 3

Dimensions: approx. 50' x 47'

Use

Current Use: Apartments

Historical Use: Apartments

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

On the corner of Walnut Street and South High Street, 19th and 20th century homes nearby.



Significance

An example of Georgian Revival apartment building.

114 West Main Street

Post Office
Walnut Hill
Historic District



Structure

Year Built: 1920

Style: Neoclassical, Beaux Arts

Alterations: None

2022 Appraised Value: \$697,100

Materials: Limestone

Structural System: Load bearing masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 2

Dimensions: approx. 95' x 138'

Use

Current Use: Offices

Historical Use: Post office

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

On the corner of West Main Street and South High Street. Nearby commercial and residential mixed use. Churches, and the New Britain public library across West Main to the north.



Significance

This Neoclassical style building operated as a post office for the city in the early to mid 20th century.

119 West Main Street

First Baptist Church

Walnut Hill
Historic District



Structure

Year Built: 1908

Style: Gothic Revival

Alterations: Unknown

2022 Appraised Value: \$1,941,100

Materials: Brick, Masonry

Structural System: Load Bearing

Masonry

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 1

Dimensions: approx. 58' x 85'

Use

Current Use: Church

Historical Use: Church

Private Ownership

Public Accessibility: Exterior from road,
Interior during services

Surrounding Environment

On the corner of West Main and High Street. Downtown commercial buildings to the east, public library to the west. Across West Main Street to the south is the old post office.



Significance

An early 20th Gothic Revival church.

130 West Main Street

Cadwell House

Walnut Hill
Historic District



Structure

Year Built: 1880

Style: Queen Anne, Chateausque

Alterations: Unknown

2022 Appraised Value: \$296,300

Materials: Brick, Masonry

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Slate

of Stories: 2

Dimensions: approx. 64' x 57'

Use

Current Use: Office

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

On the corner of West Main and South High Street. Downtown commercial buildings to the east, public library to the north across West Main Street. To the east is the old post office.



Significance

An elaborate example of a Queen Anne style house.

Designed and lived in by the prominent New Britain architect William Cadwell.

136 West Main Street

Walnut Hill
Historic District



Structure

Year Built: 1927

Style: Neo Classical

Alterations: Unknown

2022 Appraised Value: \$431,800

Materials: Brick, Masonry

Structural System: Load Bearing
Masonry

Roof Type: Mansard

Roof Material: T&G/Rubber, Metal

of Stories: 2.75

Dimensions: approx. 32' x 84'

Use

Current Use: Office

Historical Use: Bank

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

On West Main Street. Downtown commercial buildings to the east, public library to the north across West Main Street. To the east is the Cadwell House.



Significance

An early 20th century example of a Neo Classical building.

144 West Main Street

Walnut Hill
Historic District



Structure

Year Built: 1959

Style: Colonial Revival

Alterations: Unknown

2022 Appraised Value: \$276,200

Materials: Brick

Structural System: Load Bearing
Masonry

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 70' x 29'

Use

Current Use: Office

Historical Use: Office

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

On West Main Street, Church and Public Library to the north across West Main Street. To the 19th and 20th century homes to the south on Emmons Place.



Significance

Located within the Walnut Hill Historical District.

150 West Main Street

Walnut Hill
Historic District



Structure

Year Built: c. 1900

Style: Queen Anne

Alterations: Siding

2022 Appraised Value: \$331,800

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2.5

Dimensions: approx. 36' x 47'

Use

Current Use: Multi Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

On the corner of Emmons Place and West Main Street. Walnut Hill Park to the west, church to the north across West Main Street. To the south are 19th and 20th century homes.



Significance

An example of a Queen Anne style house.

151 West Main Street

St. Mark's Episcopal Church

Walnut Hill
Historic District



Structure

Year Built: 1921

Style: Gothic

Alterations: Unknown

2022 Appraised Value: \$4,011,700

Materials: Stone

Structural System: Load Bearing

Masonry

Roof Type: Gable

Roof Material: Slate

of Stories: 1

Dimensions: approx. 36' x 47'

Use

Current Use: Church

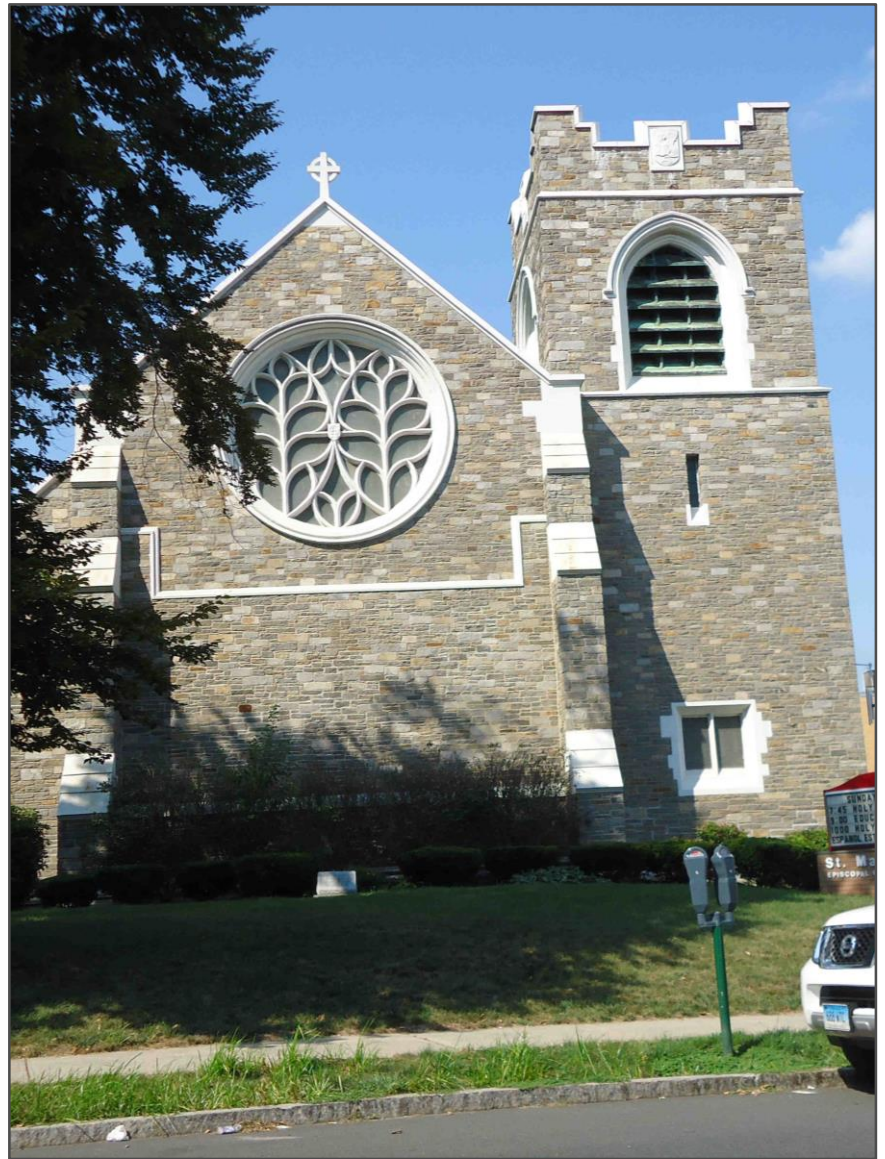
Historical Use: Church

Private Ownership

Public Accessibility: Exterior from road,
Interior During Services

Surrounding Environment

On West Main Street. Queen Anne residential style offices to the west. Walnut Hill Park to the north across West Main Street. To the east is the New Britain Public Library.



Significance

An example of a gothic style church.

St. Mark's Church originally organized in New Britain as the first Episcopal Church in the city in 1836. Since then they have utilized two other buildings before this current one.

Also on the property is a Queen Anne style house built around the same time.

165 West Main Street

Walnut Hill
Historic District



Structure

Year Built: c. 1880

Style: Queen Anne

Alterations: Unknown

2022 Appraised Value: \$210,400

Materials: Clapboards

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 38' x 63'

Use

Current Use: Office

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

On West Main Street across from Walnut Hill Park to the south. A 20th century church and another Queen Anne style house are on either side.



Significance

An example of a Queen Anne style house.

175 West Main Street

Walnut Hill
Historic District



Structure

Year Built: 1899

Style: Queen Anne

Alterations: Unknown

2022 Appraised Value: \$229,400

Materials: Wood Shingles, Clapboards

Structural System: Wood Frame

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 55' x 51'

Use

Current Use: Office

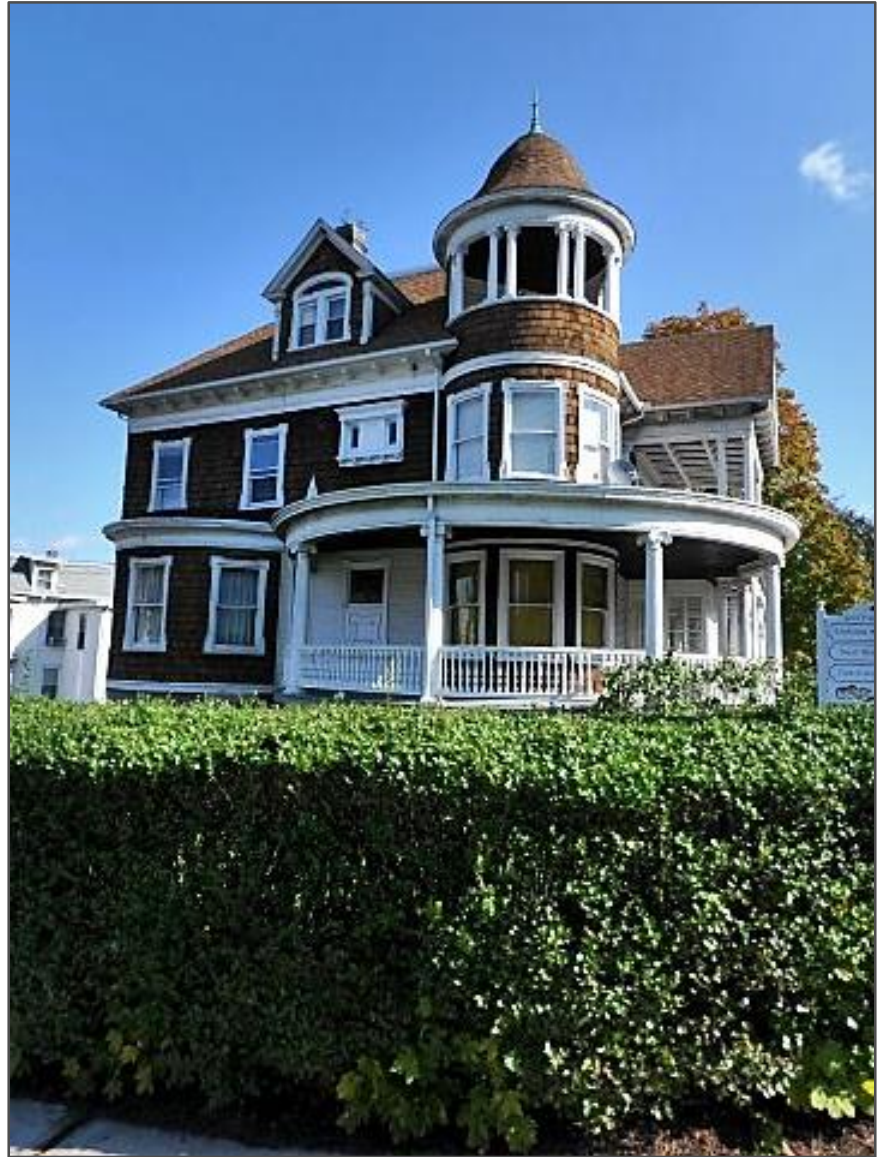
Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

On the corner of West Main Street and Cedar Street across from Walnut Hill Park. Another Queen Anne style house neighbors to the east and other 19th and 20th century homes are to the north.



Significance

An example of a Queen Anne style house.

West End Historic District

159



The architecture of the West End Historic District represents a valuable collection of intact examples of domestic design during the period of significance. Located along tree-lined streets with generous setbacks, the houses of the district are individually representative of the sophisticated and restrained taste of their owners as well as collectively important in number and integrity for their representation of model neighborhood character and site planning at the turn of the century. Several regionally known architects were employed within the district to design houses for affluent clients who were connected to popular currents in exterior and interior architectural tastes through their affiliations with building hardware design, both functional and decorative. The architecture of the district, as a whole, reflects a refined sense of simplicity and understatement marking the district's development

within the early years of the twentieth century. The district contains many dwellings designed in transitional Colonial Revival styles as well as Tudor, Foursquare, and Craftsman designs. It represents one of the largest concentrations of domestic architecture of the period within Connecticut's Central Valley region comparable to neighborhoods in Hartford (Prospect Avenue Historic District) and New Haven (Prospect Hill Historic District). Many of the houses feature the most stylistically advanced interior and exterior decorative hardware of the period which, corresponding to a growing trend away from Victorian decorative tastes, is in a simplistic and refined Aesthetic, Colonial Revival, Georgian Revival, or Federal Revival style. Much of the hardware was manufactured locally in factories operated by house owners.

The district was laid out in a series of streets parallel to the edges of Walnut Hill Park with an intersecting grid providing access to various park entry points. The houses were built to ideal setbacks from sidewalks and within treed streetscapes which remain intact, now with the maturity in vegetation envisioned by the area's original developers and homeowners. This landscape context further enhances the concentration of domestic architecture within the district as a designed neighborhood with considerable integrity.

26 Adams Street

West End
Historic District



Structure

Year Built: c. 1915

Style: Colonial Revival

Alterations: Siding

2022 Appraised Value: \$371,400

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2.25

Dimensions: approx. 55' x 40'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Within view of the south west corner of Walnut Hill Park. Nearby are single family 18th and 19th century style homes.

Significance

City directories record that the house was resided in by Frederick M. Holmes, vice president and treasurer of North & Judd Manufacturing Company in 1920. Holmes began his career at North & Judd as a bookkeeper in 1900. He later became chairman of the board of directors of the firm, and became president in 1930. North & Judd was one of New Britain's leading manufacturers producing small metal parts for saddlery and harness gear, and later apparel, shoe trimmings, and clothing accessories.



The house is a example of the Colonial Revival architectural style.

1 Coolidge Street

West End
Historic District



Structure

Year Built: 1968

Style: Raised Ranch, Neo Classical

Alterations: Unknown

2022 Appraised Value: \$239,300

Materials: Aluminum Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 1.25

Dimensions: approx. 52' x 44'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a suburban neighborhood with nearby single family homes.



Significance

Located within the West End Historic District. House has some neo classical influences.

11 Coolidge Street

West End
Historic District



Structure

Year Built: 1990

Style: Contemporary

Alterations: Unknown

2022 Appraised Value: \$322,800

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 1.5

Dimensions: approx. 50' x 51'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a suburban neighborhood with nearby single family homes.



Significance

Located within the West End Historic District.

4 Forest Street

West End
Historic District



Structure

Year Built: c. 1905

Style: Shingle Style, Colonial Revival

Alterations: Unknown

2022 Appraised Value: \$207,500

Materials: Wood Shingles

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2.25

Dimensions: approx. 51' x 32'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a suburban neighborhood near Walnut Hill Park with many nearby single family homes in notable 19th and 20th century styles.



Significance

House was occupied by Clayton E. Goodwin, the assistant treasurer and superintendent of the Hart & Cooley Company, manufacturers of heating registers.

An example of the shingle style and the shift in tastes following the Queen Anne period.

7 Forest Street

West End
Historic District



Structure

Year Built: c. 1905

Style: Mission

Alterations: Unknown

2022 Appraised Value: \$333,100

Materials: Stucco/Masonry

Structural System: Wood Frame

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2.25

Dimensions: approx. 56' x 48'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a suburban neighborhood near Walnut Hill Park with many nearby single family homes in notable 19th and 20th century styles.



Significance

Was occupied by Frank Slater in 1915, then President of the New Britain Paper Box Company. Slater was also a consulting engineer and architect.

This house exhibits many popular 20th century design styles, such as Colonial Revival and Mission elements. The use of a garden pergola as a front entry porch is note worthy.

10 Forest Street

West End
Historic District



Structure

Year Built: c. 1910

Style: Colonial Revival

Alterations: Siding

2022 Appraised Value: \$201,900

Materials: Aluminum Siding

Structural System: Wood Frame

Roof Type: Gambrel

Roof Material: Asphalt Shingle

of Stories: 2.75

Dimensions: approx. 39' x 38'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a suburban neighborhood near Walnut Hill Park with many nearby single family homes in notable 19th and 20th century styles.



Significance

Occupied in 1910 by James B. Thomson. An example of a colonial revival home.

13 Forest Street

West End
Historic District



Structure

Year Built: c. 1910

Style: Craftsman, Tudor Revival

Alterations: Unknown

2022 Appraised Value: \$243,400

Materials: Stucco/Masonry, Wood Shingles

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2.25

Dimensions: approx. 32' x 51'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a suburban neighborhood near Walnut Hill Park with many nearby single family homes in notable 19th and 20th century styles.



Significance

Occupied in 1913 by Carlton D. Noble, sales manager with North & Judd Manufacturing Company, makers of apparel, hardware, fasteners, saddlery and harness gear, buckles, and zippers.

An example of the Tudor Revival and Craftsman architectural styles, popular in the post Queen Anne period.

16 Forest Street

West End
Historic District



Structure

Year Built: c. 1910

Style: American Foursquare

Alterations: Unknown

2022 Appraised Value: \$315,000

Materials: Wood Shingles

Structural System: Wood Frame

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2.25

Dimensions: approx. 33' x 66'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a suburban neighborhood near Walnut Hill Park with many nearby single family homes in notable 19th and 20th century styles.



Significance

Occupied in 1910 by Robert S. Brown, secretary of the New Britain Machine Company, makers of automotive and hardware hand tools, chucking machines, and machine shop furniture.

This house is a popular American Foursquare design known for its practicality and simplicity. This utilitarian design from the Craftsman tradition was a very practical alternative to the more decorated house styles of the late 19th century.

19 Forest Street

West End
Historic District



Structure

Year Built: c. 1905

Style: Queen Anne

Alterations: Unknown

2022 Appraised Value: \$323,400

Materials: Clapboards, Wood Shingles

Structural System: Wood Frame

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2.25

Dimensions: approx. 42' x 75'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a suburban neighborhood near Walnut Hill Park with many nearby single family homes in notable 19th and 20th century styles.



Significance

This house was occupied in 1907 by Abraham Buol, the then superintendent of the New Britain Machine Company, makers of automotive and hand tools, chucking machines, and machine shop furniture. The secretary and assistant secretary of the firm lived nearby on Forest Street.

The house is a late and conservative expression of the Queen Anne Style and displays the characteristic corner tower.

24 Forest Street

West End
Historic District



Structure

Year Built: 1906

Style: Colonial Revival, Shingle Style

Alterations: Unknown

2022 Appraised Value: \$218,000

Materials: Clapboards, Wood Shingles

Structural System: Wood Frame

Roof Type: Gambrel

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 30' x 56'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a suburban neighborhood near Walnut Hill Park with many nearby single family homes in notable 19th and 20th century styles.



Significance

This house was by Herbert E. Erwin, the assistant secretary of the New Britain Machine Company, makers of automotive and hardware hand tools, chucking machines, and machine shop furniture.

This house combines elements of various styles gaining popularity at the time including the Colonial Revival and Shingle Styles.

25 Forest Street

West End
Historic District



Structure

Year Built: c. 1905

Style: Queen Anne

Alterations: Siding

2022 Appraised Value: \$251,800

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2.25

Dimensions: approx. 30' x 56'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a suburban neighborhood near Walnut Hill Park with many nearby single family homes in notable 19th and 20th century styles.



Significance

City Directories record that this house was occupied in 1909 by George Swain.

The house is similar to the Homestead house type with very simple lines and influences of the American Foursquare and the late Queen Anne. The extended porch to the drive is a vestige of the use of carriages.

28 Forest Street

West End
Historic District



Structure

Year Built: c. 1905

Style: Craftsman

Alterations: Unknown

2022 Appraised Value: \$253,200

Materials: Clapboards

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2.25

Dimensions: approx. 28' x 57'

Use

Current Use: Single Family Residential

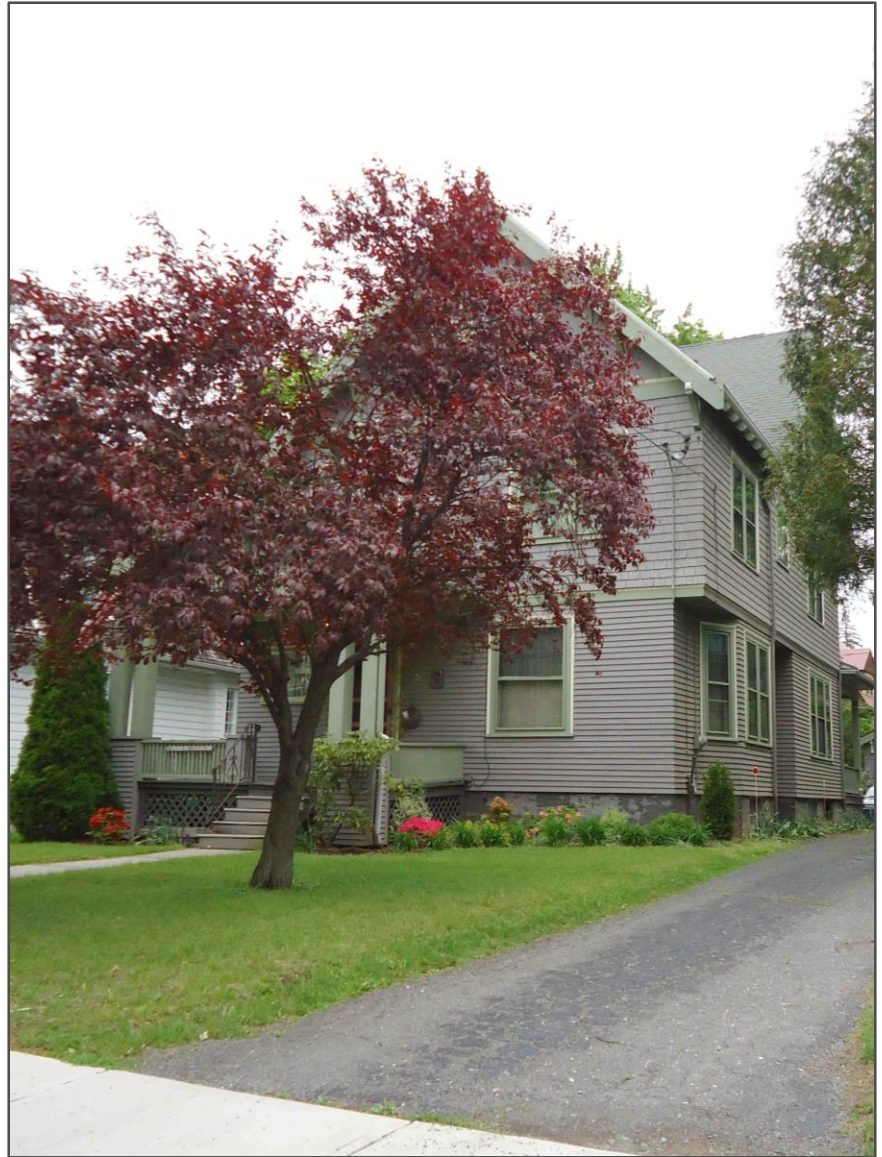
Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a suburban neighborhood near Walnut Hill Park with many nearby single family homes in notable 19th and 20th century styles.



Significance

This house was occupied in 1910 by Herbert H. Wheeler, the secretary of Union Manufacturing Company, makers of gray iron castings, cast butt hinges, and other hardware such as hitching posts, coil door springs, machine chucks, hoists, and planes.

This house displays features typical Craftsman features of the transitional vernacular architecture of the time.

31 Forest Street

West End
Historic District



Structure

Year Built: 1914

Style: Craftsman

Alterations: Stucco half-timbering covered with asbestos siding

2022 Appraised Value: \$229,000

Materials: Wood Shingle, Stucco, Asbestos Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2.5

Dimensions: approx. 35' x 46'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a suburban neighborhood near Walnut Hill Park with many nearby single family homes in notable 19th and 20th century styles.



Significance

In 1909 this house was occupied by Frank N. Wells, the treasurer of the Humanson and Beckley Manufacturing Company, then an established New Britain industry.

The house is a combination of early 20th century styles, most influence comes from the Craftsman style.

32 Forest Street

West End
Historic District



Structure

Year Built: c. 1900

Style: Colonial Revival, Shingle Style, Mission

Alterations: Unknown

2022 Appraised Value: \$350,900

Materials: Wood Shingle

Structural System: Wood Frame

Roof Type: Gambrel

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 45' x 72'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a suburban neighborhood near Walnut Hill Park with many nearby single family homes in notable 19th and 20th century styles.



Significance

This house was occupied in 1910 by William E. Hine. Who was at the time, the President of the Central Realty Co., as well as a carpenter and builder.

This house displays the blending of Craftsman elements and Colonial Revival forms in an eclectic design.

38 Forest Street

West End
Historic District



Structure

Year Built: 1828

Style: 19th Century Vernacular
Farmhouse

Alterations: Unknown

2022 Appraised Value: \$298,000

Materials: Wood Shingle, Clapboards

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2.25

Dimensions: approx. 35' x 63'

Use

Current Use: Single Family Residential

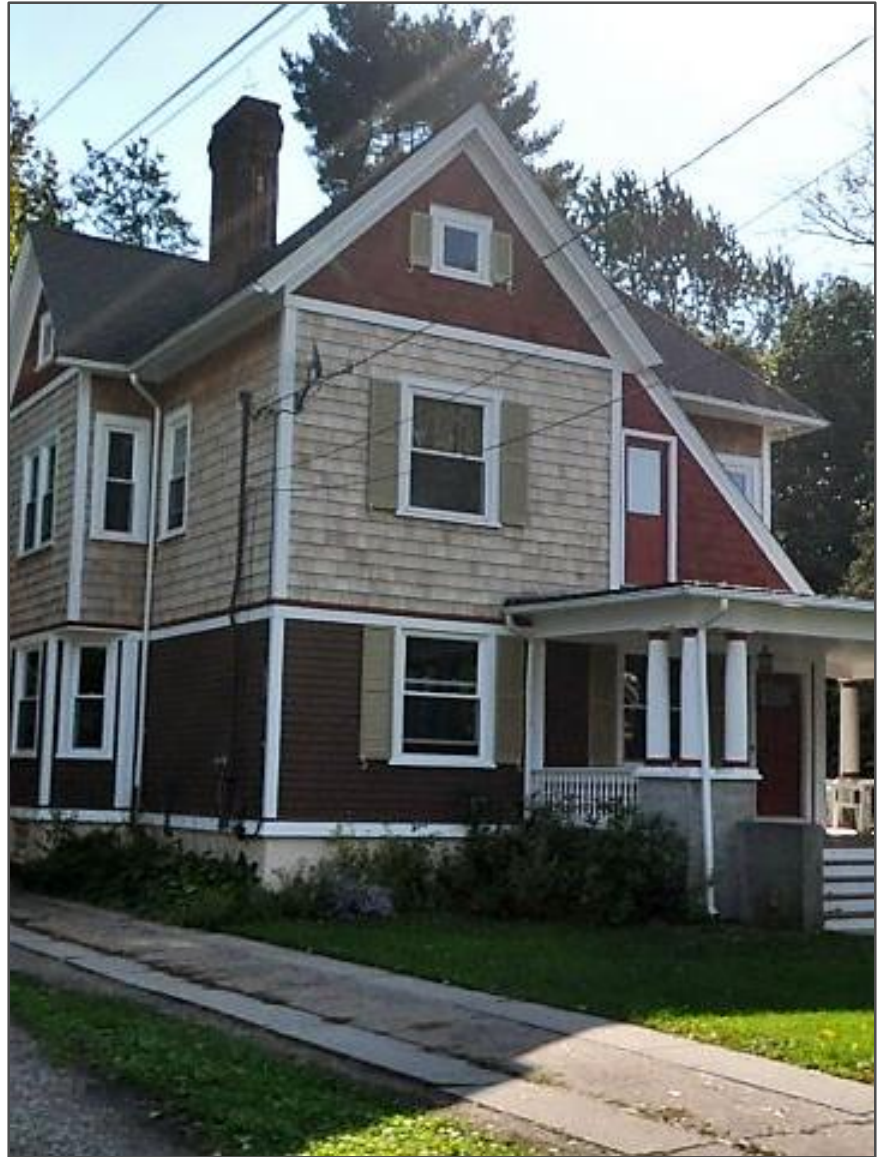
Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a suburban neighborhood near Walnut Hill Park with many nearby single family homes in notable 19th and 20th century styles.



Significance

This house was occupied in 1912 by Charles W. Nichols, the advertising manager for Stanley Rule and Level Company.

The house is characterized by its cottage type sweeping roofline and wrap around porch evoking a picturesque quality to an otherwise conventional post-Victorian house type.

49 Forest Street

West End
Historic District



Structure

Year Built: c. 1900

Style: Late 19th Century Vernacular
Farmhouse

Alterations: Vinyl Siding

2022 Appraised Value: \$285,400

Materials: Wood Shingle, Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 35' x 63'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a suburban neighborhood near Walnut Hill Park with many nearby single family homes in notable 19th and 20th century styles.



Significance

This house was occupied in 1904 by Dugold McMillan, owner of a locally successful dry and fancy goods store in New Britain.

This house is a variant on the post-Victorian Colonial Revival and "Homestead House" type.

53 Forest Street

West End
Historic District



Structure

Year Built: c. 1900

Style: Queen Anne

Alterations: Unknown (Possible conversion of second house on property to residential)

2022 Appraised Value: \$285,400

Materials: Wood Shingle, Clapboards

Structural System: Wood Frame

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 36' x 59'

Use

Current Use: Multi House Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a suburban neighborhood near Walnut Hill Park with many nearby single family homes in notable 19th and 20th century styles.

The second house set back on the property is a similar style to the one on the street



Significance

This house was occupied in 1905 by Herman Strasser, M.D., a local physician and surgeon.

This house is one of the few highly decorated Queen Anne style houses on Forest Street.

57 Forest Street

West End
Historic District



Structure

Year Built: c. 1900

Style: Queen Anne

Alterations: Unknown

2022 Appraised Value: \$313,400

Materials: Wood Shingle, Brick, Brownstone

Structural System: Load Bearing Masonry

Roof Type: Gambrel, Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 38' x 59'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a suburban neighborhood near Walnut Hill Park with many nearby single family homes in notable 19th and 20th century styles.



Significance

City Directories record that the house was occupied in 1912 by Valentine B. Chamberlain Jr., foreman at the Stanley Works.

An example of a brick Queen Anne house.

61 Forest Street

West End
Historic District



Structure

Year Built: c. 1900

Style: Queen Anne

Alterations: Unknown

2022 Appraised Value: \$242,300

Materials: Wood Shingles, Clapboards

Structural System: Wood Frame

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2.25

Dimensions: approx. 36' x 60'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a suburban neighborhood near Walnut Hill Park with many nearby single family homes in notable 19th and 20th century styles.



Significance

The house was occupied in 1904 by George Rapelye, a dealer in stones and plumbing.

An embellished "Homestead-type" with a Tuscan columned porch reminiscent of the Queen Anne period.

65 Forest Street

West End
Historic District



Structure

Year Built: c. 1900

Style: Colonial Revival

Alterations: Garage Wing

2022 Appraised Value: \$274,200

Materials: Wood Shingles, Clapboards

Structural System: Wood Frame

Roof Type: Gambrel

Roof Material: Slate

of Stories: 2.25

Dimensions: approx. 60' x 81'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a suburban neighborhood near Walnut Hill Park with many nearby single family homes in notable 19th and 20th century styles.



Significance

This house was occupied in 1903 by Frederick Stanley Chamberlain, who became president of the New Britain National Bank, one of the city's leading financial institutions. Chamberlain was also President of the New Britain Gas Light Company, a city councilman and city treasurer.

This house is an example of a elongated gambrel-roofed Dutch Colonial Revival house.

66 Forest Street

West End
Historic District



Structure

Year Built: c. 1900

Style: Colonial Revival, Homestead

Alterations: Vinyl Siding

2022 Appraised Value: \$287,800

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2.5

Dimensions: approx. 46' x 68'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a suburban neighborhood near Walnut Hill Park with many nearby single family homes in notable 19th and 20th century styles.



Significance

Carlisle H. Baldwin, then treasurer of the Corbin Cabinet Lock Company, occupied the house in 1905. Corbin Cabinet Lock Company incorporated in 1882 and became a division of the American Hardware Corporation when Russell & Erwin Manufacturing merged with P & F Corbin. Baldwin became president of Corbin in 1908.

The house is a large post-Victorian structure with the form of the colonial Revival and Homestead type.

74 Forest Street

West End
Historic District



Structure

Year Built: c. 1905

Style: Colonial Revival

Alterations: Unknown

2022 Appraised Value: \$236,100

Materials: Wood Shingles, Brick

Structural System: Wood Frame

Roof Type: Gambrel

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 59' x 46'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a suburban neighborhood near Walnut Hill Park with many nearby single family homes in notable 19th and 20th century styles.



Significance

City Directories record that the house was occupied in 1911 by Edwards D. Case. The cashier of Stanley Rule & Level.

This house is a fine example of the Dutch type Colonial Revival and is markedly similar to a house built for James E. Cooper and designed by Davis and Brooks. The variation in the case of this house is the use of brick on the first floor.

77 Forest Street

West End
Historic District



Structure

Year Built: c. 1911

Style: Colonial Revival

Alterations: Unknown

2022 Appraised Value: \$354,500

Materials: Wood Clapboards

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 49' x 44'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a suburban neighborhood near Walnut Hill Park with many nearby single family homes in notable 19th and 20th century styles.



Significance

This house was occupied in 1915 by Ernest W. Pelton, then superintendent of the Stanley Works. Pelton later became vice-president of the firm.

Designed by Davis and Brooks, this house is an unusual adaptation of the Colonial Revival style with a highly refined central entrance of columns in antis surmounted by a Palladian window.

83 Forest Street

West End
Historic District



Structure

Year Built: c. 1903

Style: Colonial Revival

Alterations: Unknown

2022 Appraised Value: \$364,300

Materials: Wood Clapboards

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2.25

Dimensions: approx. 53' x 59'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a suburban neighborhood near Walnut Hill Park with many nearby single family homes in notable 19th and 20th century styles.



Significance

In 1911 this house was occupied by Frederick G. Searle, the assistant treasurer of Landers, Frary, and Clark. Searle later became Vice President of the firm. He was also involved in banking, as an incorporator of the Savings Bank of New Britain and a bank auditor.

The house is a large Colonial Revival with the refined classical elements that gained popularity in the early 20th century as an alternative to other post-Victorian styles.

87 Forest Street

West End
Historic District



Structure

Year Built: c. 1901

Style: Colonial Revival

Alterations: Unknown

2022 Appraised Value: \$299,400

Materials: Wood Clapboards

Structural System: Wood Frame

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2.25

Dimensions: approx. 46' x 53'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a suburban neighborhood near Walnut Hill Park with many nearby single family homes in notable 19th and 20th century styles.



Significance

This house was occupied in 1913 by William H. Booth, assistant general manager of the Corbin Cabinet Lock Company.

The house is a good example of the transitional early Colonial Revival house embellished with late Queen Anne Details.

93 Forest Street

West End
Historic District



Structure

Year Built: c. 1900

Style: Colonial Revival, Shingle Style

Alterations: Vinyl Siding

2022 Appraised Value: \$104,900

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gambrel

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 33' x 60'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a suburban neighborhood near Walnut Hill Park with many nearby single family homes in notable 19th and 20th century styles.



Significance

City Directories record that in 1906 the house was occupied by Reuben C. Twickell, secretary of the Hart and Cooley Company.

Architecturally, the house is an end gable version of the gambrel roofed Dutch Colonial Revival form which became popular in New Britain in the early 20th century.

96 Forest Street

West End
Historic District



Structure

Year Built: c. 1907

Style: Colonial Revival

Alterations: Unknown

2022 Appraised Value: \$220,200

Materials: Wood Shingles, Stucco

Structural System: Wood Frame, Load Bearing Masonry

Roof Type: Gambrel

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 45' x 37'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a suburban neighborhood near Walnut Hill Park with many nearby single family homes in notable 19th and 20th century styles.



Significance

In 1909 the house was occupied by Arthur S. Walker, who was employed by the Russell and Erwin Manufacturing Company.

The house is significant architecturally as a L shaped gambrel roofed Dutch Colonial Revival style home.

99 Forest Street

West End
Historic District



Structure

Year Built: c. 1912

Style: Colonial Revival

Alterations: Bay window

2022 Appraised Value: \$336,200

Materials: Stucco, Masonry

Structural System: Load Bearing
Masonry

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 45' x 37'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a suburban neighborhood near Walnut Hill Park with many nearby single family homes in notable 19th and 20th century styles.



Significance

This house was designed for Marcus White by Davis and Brooks. Mr. White was the principal of the State Normal School in 1910.

The house is a transitional Colonial Revival which demonstrates the architect's versatility within the taste of the period.

123 Forest Street

West End
Historic District



Structure

Year Built: c. 1912

Style: Colonial Revival, Georgian

Alterations: Windows and Doors
Boarded Up

2022 Appraised Value: \$169,500

Materials: Wide Beveled Clapboards

Structural System: Wood Frame

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2.25

Dimensions: approx. 64' x 56'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a suburban neighborhood near Walnut Hill Park with many nearby single family homes in notable 19th and 20th century styles.



Significance

In 1907 Clarence F. Bennett, superintendent of the Stanley Works, lived in the house.

The home was designed by Davis and Brooks and is representative of the eclectic Colonial Revival taste.

246 Hart Street

West End
Historic District



Structure

Year Built: c. 1900

Style: Tudor, Craftsman

Alterations: Skylights, Vinyl Siding

2022 Appraised Value: \$314,100

Materials: Vinyl Siding, Stucco

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 39' x 62'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a line of houses across Hart Street from Walnut Hill Park with many in notable 19th and 20th century styles.



Significance

This house contributes to the southern edge of Walnut Hill Park. In 1917 Augustus W. Wessolek, superintendent at Corbin Screw Corporation lived here. Contributing to the areas demographic of industrial management.

This house is a mixture of the popular Tudor Revival and Craftsman styles of this period.

256 Hart Street

West End
Historic District



Structure

Year Built: c. 1927

Style: Colonial Revival

Alterations: Aluminum Siding

2022 Appraised Value: \$196,700

Materials: Aluminum Siding

Structural System: Wood Frame

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 32' x 37'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a line of houses across Hart Street from Walnut Hill Park with many in notable 19th and 20th century styles.



Significance

This house contributes to the southern edge of Walnut Hill Park. The house is an American Foursquare typical of the early 20th century with simplistic Colonial Revival details.

260 Hart Street

West End
Historic District



Structure

Year Built: 1941

Style: Cape Cod

Alterations: Unknown

2022 Appraised Value: \$229,000

Materials: Wood Shingles

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 1.25

Dimensions: approx. 39' x 66'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a line of houses across Hart Street from Walnut Hill Park with many in notable 19th and 20th century styles.



Significance

This house contributes to the southern edge of Walnut Hill Park. Within the geographical bounds of the West End Historic District but does not fit in with the early 20th century development or architectural style.

268 Hart Street

West End
Historic District



Structure

Year Built: c. 1926

Style: Dutch Colonial Revival

Alterations: Aluminum Siding

2022 Appraised Value: \$251,200

Materials: Aluminum Siding, Brick

Structural System: Wood Frame, Load bearing masonry

Roof Type: Gambrel

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 49' x 38'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a line of houses across Hart Street from Walnut Hill Park with many in notable 19th and 20th century styles.



Significance

In 1928 Jacob S. Silverman, president of Pheonix Finance Corporation lived in the property. Contributing to the management demographic of the area. The Dutch Colonial style is typical for the area.

282 Hart Street

West End
Historic District



Structure

Year Built: c. 1915

Style: Tudor Cottage

Alterations: Vinyl Siding

2022 Appraised Value: \$259,500

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 39' x 66'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a line of houses across Hart Street from Walnut Hill Park with many in notable 19th and 20th century styles.



Significance

This Tudor Cottage or English Cottage style contributes to the architectural collective of the neighborhood.

286 Hart Street

West End
Historic District



Structure

Year Built: c. 1920

Style: Tudor Revival

Alterations: Glassed in side porch

2022 Appraised Value: \$263,200

Materials: Brick

Structural System: Load Bearing
Masonry

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 58' x 39'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a line of houses across Hart Street from Walnut Hill Park with many in notable 19th and 20th century styles.



Significance

A Tudor style home which is common for the district and its other 20th century buildings. The irregular and uneven brickwork is unusual for the style and contributes to this structures uniqueness.

In 1922 William H. Hart Jr., treasurer of Hart & Cooley Company lived at this address.

296 Hart Street

West End
Historic District



Structure

Year Built: c. 1925

Style: Tudor Revival

Alterations: Unknown

2022 Appraised Value: \$309,400

Materials: Brick, Stucco, Half-Timbering, Clapboards

Structural System: Wood Frame, Load Bearing Masonry

Roof Type: Gable

Roof Material: Slate

of Stories: 2

Dimensions: approx. 48' x 57'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a line of houses across Hart Street from Walnut Hill Park with many in notable 19th and 20th century styles.



Significance

In 1928 Alexander Leventhal, co-owner of Davidson & Leventhal and owner of The Fair department store, lived at this address.

The house is built in a Tudor Revival style which is popular for the early 20th century

302 Hart Street

West End
Historic District



Structure

Year Built: c. 1908

Style: Tudor Revival

Alterations: Unknown

2022 Appraised Value: \$318,200

Materials: Stucco, Half-Timbering

Structural System: Load Bearing
Masonry

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 62' x 40'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a line of houses across Hart Street from Walnut Hill Park with many in notable 19th and 20th century styles.



Significance

In 1917 Charles B. Parsons, general manager of P. & F. Corbin, and vice president of American Hardware lived at this address. Parsons later became president and chairman of the board of the American Hardware Corporation.

This Tudor Revival home fits in with the 20th century architecture common to this neighborhood.

312 Hart Street

West End
Historic District



Structure

Year Built: c. 1900

Style: Tudor Revival

Alterations: Unknown

2022 Appraised Value: \$330,300

Materials: Stucco, Wood Shingles, Clapboards

Structural System: Wood Frame, Load Bearing Masonry

Roof Type: Gable

Roof Material: Asphalt shingle

of Stories: 2

Dimensions: approx. 61' x 52'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a line of houses across Hart Street from Walnut Hill Park with many in notable 19th and 20th century styles.



Significance

In 1910 the property was occupied by Mary Richardson Hawley. The New Britain Children's Library was dedicated in her name after a dedication from her son Benjamin A. Hawley. Benjamin Hawley was the vice president of the American Hardware Corporation and the general manager of the Russell & Erwin Division in New Britain. He occupied the house after his mother's death in 1916.

The house is a strong example of the Tudor Revival style and fits in the other 20th century styled homes of the district.

324 Hart Street

West End
Historic District



Structure

Year Built: c. 1909

Style: Tudor Revival

Alterations: Unknown

2022 Appraised Value: \$537,400

Materials: Stucco

Structural System: Load Bearing
Masonry

Roof Type: Gable

Roof Material: Slate

of Stories: 2

Dimensions: approx. 87' x 60'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a line of houses across Hart Street from Walnut Hill Park with many in notable 19th and 20th century styles.



Significance

This house was originally the residence of Howard S. Hart, founder of New Britain's Hart and Cooley Manufacturing Company, and Fafnir Bearing Company.

The house has the general characteristics of the English Country Style, but is atypical.

330 Hart Street

West End
Historic District



Structure

Year Built: c. 1905

Style: Craftsman, Mission

Alterations: Unknown

2022 Appraised Value: \$395,100

Materials: Stucco

Structural System: Load Bearing
Masonry

Roof Type: Gambrel

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 50' x 30'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a line of houses across Hart Street from Walnut Hill Park with many in notable 19th and 20th century styles.



Significance

This house was originally occupied in 1910 by Norman P. Cooley, a founder of Hart & Cooley Manufacturing Company and the Fafnir Bearing Company.

The house represents a blend of the Colonial Revival and Craftsman/Mission style popular at the time.

339 Hart Street

West End
Historic District



Structure

Year Built: c. 1890

Style: Late 19th Century Vernacular

Alterations: Vinyl Siding, Windows

2022 Appraised Value: \$258,700

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 44' x 46'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

To the east is the intersection of Vine and Hart Streets; to the west are similar houses. Walnut Hill Park is close by to the east.



Significance

An early structure in the development in the West End Historic district. This house still retains many of the late 19th century architectural themes.

In 1914 the house was occupied by Robert T. Frisbie, who was at the time a clerk at the New Britain Machine Company.

343 Hart Street

West End
Historic District



Structure

Year Built: c. 1890

Style: Late 19th Century Vernacular

Alterations: Sleeping porch and enclosure

2022 Appraised Value: \$209,000

Materials: Clapboards

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 31' x 52'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

To the south across Hart Street is a large Colonial Revival house; to the east and west are similarly scaled and styled houses. Walnut Hill Park is close by to the east.



Significance

An early structure in the development in the West End Historic district. This house still retains many of the late 19th century architectural themes.

This house was home to Russel C. Germond in 1912, who was at the time a foreman for the Stanley Works.

388 Hart Street

West End
Historic District



Structure

Year Built: c. 1915

Style: Colonial Revival

Alterations: Sunroom/Greenhouse

2022 Appraised Value: \$392,500

Materials: Wood Shingle

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 80' x 46'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

The house is on the corner of Lincoln and Hart Streets. To the north across Hart Street are smaller late 19th century vernacular houses. To the east is a very large colonial revival house. To the west across Lincoln Street is a large Tudor House.



Significance

City Directories indicate that the house was occupied in 1916 by Howard L. Platt, an executive of the New Britain Lumber and Coal Company, and may have been built for him around this time.

Architecturally the house is an exuberant example of the popular Colonial Revival style and may have been designed for Platt by prominent local architect William F. Brooks. The signature portico and use of monumental classical elements appear on substantial Brooks designed residences nearby.

404 Hart Street

West End
Historic District



Structure

Year Built: c. 1929

Style: Tudor Revival

Alterations: Attaching Garage

2022 Appraised Value: \$239,800

Materials: Stucco, Brick

Structural System: Load Bearing
Masonry

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 87' x 39'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

The house is on the corner of Lincoln and Hart Streets. Large Colonial Revival houses to the east.



Significance

This structure is a good example of the Tudor Revival style and harmonizes with its predominantly early 20th century neighborhood.

405 Hart Street

West End
Historic District



Structure

Year Built: c. 1930

Style: Colonial Revival, Georgian

Alterations: Porch Enclosures

2022 Appraised Value: \$244,900

Materials: Stucco

Structural System: Load Bearing
Masonry

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 87' x 34'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

The house is at the intersection of Lincoln and Hart Streets. To the south, across Hart Street, is a large Tudor Revival house.



Significance

This is a good example of the Colonial Revival style which was very popular in the early 20th century. The house fits well into the character of the neighborhood.

10 Lexington Street

West End
Historic District



Structure

Year Built: c. 1890

Style: Queen Anne

Alterations: Unknown

2022 Appraised Value: \$317,200

Materials: Clapboards, Wood Shingles

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2.25

Dimensions: approx. 40' x 70'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

House is at the north end of Lexington Street next to a parking lot. On the south side is a similarly scaled residence from the same period. To the west is a modern bank.



Significance

City Directories indicated that the house was owned in 1895 by Howard L. Noble, who was at the time the treasurer of north and Judd Manufacturing Company. Noble was later the president of the company.

Architecturally this house is a substantial example of the late Queen Anne style popular within the neighborhood. The recessed attic level porch is distinctive.

18 Lexington Street

West End
Historic District



Structure

Year Built: c. 1879

Style: Queen Anne, Shingle Style

Alterations: Aluminum Siding

2022 Appraised Value: \$260,400

Materials: Aluminum Siding

Structural System: Wood Frame

Roof Type: Gambrel

Roof Material: Asphalt Shingle

of Stories: 2.25

Dimensions: approx. 51' x 58'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

To the north is a Queen Anne house, to the south there is a single story commercial building. To the west across Lexington Street is a commercial bank.



Significance

In 1903 the house was occupied by Reverend Harry I. Bodley, who was the rector of St. Mark's Episcopal Church, the house was known as the rectory.

This house has some unusual architectural features such as the squat corner tower and the end gable chimney.

24 Lexington Street

West End
Historic District



Structure

Year Built: c. 1965

Style: Classical, Modern commercial

Alterations: Aluminum Siding

2022 Appraised Value: \$521,500

Materials: Aluminum Siding

Structural System: Wood Frame

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 1

Dimensions: approx. 50' x 90'

Use

Current Use: Office

Historical Use: Office

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

To the north is a Queen Anne house, to the south is the New Britain Museum of American Art. To the west across Lexington Street are late 19th century style homes.



Significance

This building is located in the geographical bounds of the West End Historic District.

41 Lexington Street

West End
Historic District



Structure

Year Built: c. 1874

Style: Queen Anne, Early Colonial Revival

Alterations: Wood Shingles

2022 Appraised Value: \$330,900

Materials: Aluminum Siding

Structural System: Wood Frame

Roof Type: Gambrel

Roof Material: Asphalt Shingle

of Stories: 2.5

Dimensions: approx. 41' x 72'

Use

Current Use: Office

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

To the north is a parking lot, to the south is a row of Queen Anne houses. Across Lexington Street to the east is the New Britain Museum of American Art.



Significance

City Directories record that in 1897 the house was occupied by A. Howard Abbe, a local merchant and owner of A.H. & E.W. Abbe Company which sold hardware, woodenware, bicycles and cutlery. At the time of his death in 1915, Abbe was one of the best known hardware dealers in the city and was an organizer of the New Britain Businessman's Association.

Architecturally the house is a blending of a large Dutch Colonial with Queen Anne features.

49 Lexington Street

West End
Historic District



Structure

Year Built: c. 1885

Style: Queen Anne

Alterations: Wood Shingles

2022 Appraised Value: \$442,500

Materials: Brick

Structural System: Load Bearing
Masonry, Wood Frame Roof

Roof Type: Gable

Roof Material: Slate

of Stories: 2.25

Dimensions: approx. 49' x 70'

Use

Current Use: Office

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of Queen Anne houses on the west side of Lexington Street. Across Lexington Street to the east is the New Britain Museum of American Art.



Significance

In 1902 the property was owned by George W. Corbin, secretary of the Corbin Cabinet Lock Company.

The house is an example of a brick masonry Queen Anne style.

55 Lexington Street

West End
Historic District



Structure

Year Built: c. 1885

Style: Queen Anne

Alterations: Wood Shingles

2022 Appraised Value: \$442,500

Materials: Brick, Wooden
Shingles/Framing

Structural System: Load Bearing
Masonry, Wood Frame Roof

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 44' x 63'

Use

Current Use: Office

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of Queen Anne houses on the west side of Lexington Street. Across Lexington Street to the east is the New Britain Museum of American Art.



Significance

The house is an end gable late Queen Anne style house with a characteristic corner tower. Artistic treatment of the end gable screen in the Tudor style signals a growing taste for a revival of this medieval character in the post Victorian period.

56 Lexington Street

New Britain Museum of American
West End
Historic District



Structure

Year Built: c.1910

Style: Spanish, Mission

Alterations: 1957, 1977, 2006, 2016
Addition

2022 Appraised Value: \$11,353,500

Materials: Stone/Masonry

Structural System: Load Bearing

Masonry, Wood Frame Roof

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 249' x 228'

Use

Current Use: Museum

Historical Use: Single Family Residential

Private Ownership

Public Accessibility: Exterior from road,
Interior during business hours.

Surrounding Environment

Sits on Walnut Hill Park. Across Lexington Street to the west is a row of Queen Anne houses.



Significance

The original building for the museum, which is still in use today, was owned and occupied by the Landers family, and was known as the Landers mansion. The property was given as a bequest by Grace Judd Landers to the New Britain Institute and became their art museum. In 1959 the name of the museum was changed from the "Art Museum of the New Britain Institute" to the "New Britain Museum of American Art".

The original house although modified, is an example of the Spanish Mission style.

61 Lexington Street

West End
Historic District



Structure

Year Built: c. 1895

Style: Colonial Revival

Alterations: Vinyl Siding, Partial porch enclosure

2022 Appraised Value: \$393,300

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2.25

Dimensions: approx. 50' x 74'

Use

Current Use: Three Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of Queen Anne houses on the west side of Lexington Street. Across Lexington Street to the east is the New Britain Museum of American Art.



Significance

City Directories record that the house was occupied in 1913 by Arthur G. Kimball, at the time vice president of Landers, Frary & Clark, a leading maker of kitchen hardware, including the "Universal" line. In 1901 the house appears to have been owned by Charles B. Stanley, treasurer of the Stanley Rule & Level Company.

This house is an example of the transitional Queen Anne/Colonial Revival house.

69 Lexington Street

West End
Historic District



Structure

Year Built: c. 1880

Style: Colonial Revival, Queen Anne

Alterations: Unknown

2022 Appraised Value: \$371,500

Materials: Clapboards

Structural System: Wood Frame

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2.25

Dimensions: approx. 44' x 74'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of Queen Anne houses on the west side of Lexington Street. Across Lexington Street to the east is Walnut Hill Park.

Significance

City Directories and the 1902 Atlas record that the house was owned and occupied in 1898 and 1902 by New Britain banker Edward N. Stanley, a scion of New Britain's well-known Stanley family and a directory of The Stanley Works, New Britain National Bank, the Savings Bank of New Britain, the Fafnir Bearing Company, New Britain Gas Light Company, Hart & Cooley, and Landers, Frary & Clark. The house appears to have been designed and built for him.



Architecturally the house is a formal composite of the late Queen Anne and the Colonial Revival and represents a highly ornamented example, possibly designed by Davis and Brooks, prominent New Britain architects.

77 Lexington Street

West End
Historic District



Structure

Year Built: c. 1895

Style: Colonial Revival, Shingle Style

Alterations: Unknown

2022 Appraised Value: \$274,700

Materials: Wood Shingles

Structural System: Wood Frame

Roof Type: Gambrel

Roof Material: Asphalt Shingle

of Stories: 2.5

Dimensions: approx. 36' x 60'

Use

Current Use: Office

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of Queen Anne houses on the west side of Lexington Street. Across Lexington Street to the east is Walnut Hill Park



Significance

This residence is first listed in the City Directory under J. Frank Porter, of B.C. Porter & Sons. Porter was a prominent New Britain Businessman and was president and treasurer of his family's furniture store, B.C. Porter & Sons. He was also director of the Union Manufacturing Company for 30 years and trustee of the New Britain Trust Company.

This modest Colonial Revival dwelling with shingle style elements is a good example of late 19th century popular tastes.

81 Lexington Street

West End
Historic District



Structure

Year Built: c. 1890

Style: Queen Anne

Alterations: Vinyl Siding

2022 Appraised Value: \$315,200

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2.25

Dimensions: approx. 38' x 66'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of Queen Anne houses on the west side of Lexington Street. Across Lexington Street to the east is Walnut Hill Park



Significance

This early Queen Anne, although it has lost some integrity, has character-defining features left and blends well with the general character of this neighborhood.

85 Lexington Street

West End
Historic District



Structure

Year Built: c. 1948

Style: Colonial Revival

Alterations: Vinyl Siding

2022 Appraised Value: \$232,900

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 32' x 36'

Use

Current Use: Office

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of Queen Anne houses on the west side of Lexington Street. Across Lexington Street to the east is Walnut Hill Park



Significance

This house is located within the West End Historic District.

91 Lexington Street

West End
Historic District



Structure

Year Built: c. 1910

Style: Craftsman, Shingle Style

Alterations: Unknown

2022 Appraised Value: \$406,800

Materials: Wood Shingles

Structural System: Wood Frame

Roof Type: Cross Gambrel

Roof Material: Asphalt Shingle

of Stories: 3

Dimensions: approx. 39' x 57'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of houses on the west side of Lexington Street. Across Lexington Street to the east is Walnut Hill Park



Significance

City Directories record that in 1909 the house was occupied by Denis Riordan, the owner of the New York Store at the time.

This manifestation of the Craftsman and Shingle style facing Walnut Hill Park is an appropriate symbol for the affluence and taste of one of New Britain's leading merchants. The use of oversized columns and asymmetrical massing give the building a heavy, imposing and distinctive character.

111 Lexington Street

West End
Historic District



Structure

Year Built: c. 1907

Style: Colonial Revival

Alterations: Unknown

2022 Appraised Value: \$368,200

Materials: Wood Shingles

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 37' x 45'

Use

Current Use: Single Family

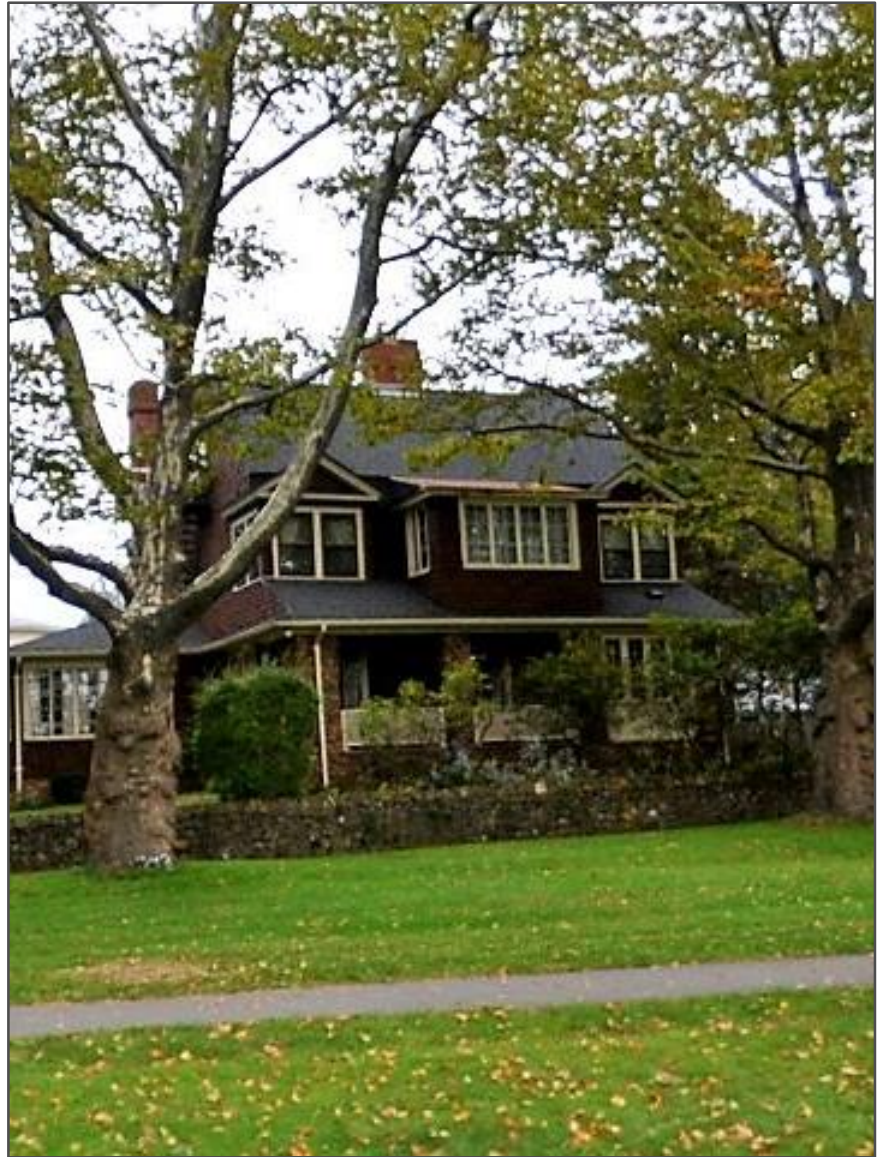
Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of houses on the west side of Lexington Street. Across Lexington Street to the east is Walnut Hill Park



Significance

City Directories record that this house was occupied in 1908 by Rufus N. Hemenway, a salesman for P. & F. Corbin, one of New Britain's leading hardware makers.

This artistic house is an example of the post-Victorian trend to the medieval style with its shingled exterior and central chimney. The cobblestone piers provide a Craftsman character.

53 Liberty Street

West End
Historic District



Structure

Year Built: c. 1908

Style: American Four Square

Alterations: Aluminum Siding

2022 Appraised Value: \$368,200

Materials: Aluminum Siding

Structural System: Wood Frame

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2.25

Dimensions: approx. 36' x 47'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

On the corner of Murray and Liberty Streets. In a row of residential homes continuing to West Main Street.



Significance

This address is first listed in the City Directory in 1908, with Ernest W. Christ, a purchasing agent at the Stanley Works, as resident at the time. He became vice-president and secretary of the Stanley Works.

This is a good example of a typical American Four Square with Colonial Revival details which was very popular in the early 20th century.

138 Lincoln Street

West End
Historic District



Structure

Year Built: c. 1890

Style: Queen Anne

Alterations: Unknown

2022 Appraised Value: \$287,000

Materials: Clapboards, Wood Shingles

Structural System: Wood Frame

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2.25

Dimensions: approx. 39' x 59'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of houses on Lincoln Street.

Many feature popular late 19th and early 20th century styles.



Significance

This property is first listed in the City Directory in 1909 under Mortimer C. North, superintendent of the Corbin Screw Corp. Mr. North was associated with the Corbin Screw Corp for 55 years.

The home is an example of the Queen Anne style which was popular in the late 19th century.

139 Lincoln Street

West End
Historic District



Structure

Year Built: c. 1900

Style: Late Queen Anne

Alterations: Wrought Iron Porch Columns, Rear Deck

2022 Appraised Value: \$232,200

Materials: Clapboards

Structural System: Wood Frame

Roof Type: Cross Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 44' x 39'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of houses on Lincoln Street.

Many feature popular late 19th and early 20th century styles.



Significance

The property was occupied by Frank H. Dohrenwend, a local builder, in 1908. Advertisements in the City Directories indicate that Dohrenwend had his business and residence at 139 Lincoln Street at this time.

Architecturally the house is a large vernacular interpretation of the Queen Anne and Shingle styles and is representative of popular local building traditions from the time.

141 Lincoln Street

West End
Historic District



Structure

Year Built: c. 1910

Style: Tudor Revival

Alterations: Unknown

2022 Appraised Value: \$206,000

Materials: Clapboards, Stucco

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 30' x 57'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of houses on Lincoln Street.

Many feature popular late 19th and early 20th century styles.



Significance

This house is built in the Tudor style which was a popular early 20th century style for the area.

144 Lincoln Street

West End
Historic District



Structure

Year Built: c. 1910

Style: Shingle Style, Colonial Revival

Alterations: Unknown

2022 Appraised Value: \$215,300

Materials: Wood Shingles, Clapboards

Structural System: Wood Frame

Roof Type: Gambrel

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 29' x 50'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of houses on Lincoln Street.

Many feature popular late 19th and early 20th century styles.



Significance

This lot was undeveloped and owned by Anson Johnson in 1902. The property is first listed in the City Directory in 1910 with Andrew S. Parsons, assistant cashier and teller of the New Britain National Bank, as resident.

This house is an example of high Shingle/Colonial Revival style with character defining features intact.

149 Lincoln Street

West End
Historic District



Structure

Year Built: c. 1900

Style: Queen Anne Transitional

Alterations: Vinyl Siding

2022 Appraised Value: \$420,900

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Cross Gable

Roof Material: Asphalt Shingle

of Stories: 2.5

Dimensions: approx. 36' x 55'

Use

Current Use: Three Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of houses on Lincoln Street.

Many feature popular late 19th and early 20th century styles.



Significance

This house is an example of a turn of the century Queen Anne style.

154 Lincoln Street

West End
Historic District



Structure

Year Built: c. 1910

Style: Colonial Revival

Alterations: Unknown

2022 Appraised Value: \$366,700

Materials: Clapboards

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Slate

of Stories: 2.5

Dimensions: approx. 44' x 63'

Use

Current Use: Two Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of houses on Lincoln Street.

Many feature popular late 19th and early 20th century styles.



Significance

This lot owned by Anson Johnson in 1902 and was subdivided, but undeveloped. The property first appears in the City Directory in 1910 under Joseph S. Bennett, president and treasurer of the Union Laundry Corporation. Mr. Bennett was born in Germany and moved to New Britain in 1902.

The house is an example of a formal Colonial Revival style.

160 Lincoln Street

West End
Historic District



Structure

Year Built: c. 1905

Style: Colonial Revival

Alterations: Unknown

2022 Appraised Value: \$255,900

Materials: Wood Shingles

Structural System: Wood Frame

Roof Type: Cross Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 40' x 53'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of houses on Lincoln Street.

Many feature popular late 19th and early 20th century styles.



Significance

This lot owned by Anson Johnson in 1902 and was subdivided, but undeveloped. The property is first listed in the City Directory in 1907 under William K. Henry, foreman at P. & F. Corbin.

An intact example of early 20th century Colonial Revival style.

161 Lincoln Street

West End
Historic District



Structure

Year Built: c. 1915

Style: Craftsman, Prairie

Alterations: Unknown

2022 Appraised Value: \$262,600

Materials: Wood Shingles

Structural System: Wood Frame

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 46' x 45'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of houses on Lincoln Street.

Many feature popular late 19th and early 20th century styles.

Significance

In 1902 this site was owned by Horace Booth and was not yet subdivided or developed. The property first appears in City Directories in 1909 under Louis J. Muller, a cigar manufacturer whose shop was located at 86 Arch Street. Mr. Muller was born in Germany and came to New Britain in 1870. He owned much real estate in New Britain including the Muller Block on Arch Street.



This house is architecturally notable as an example of the Craftsman and Prairie styles, which are not common in this neighborhood but still fit well.

166 Lincoln Street

West End
Historic District



Structure

Year Built: c. 1908

Style: Dutch Colonial Revival

Alterations: Window Replacement

2022 Appraised Value: \$236,800

Materials: Wood Shingles

Structural System: Wood Frame

Roof Type: Gambrel

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 36' x 52'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of houses on Lincoln Street.

Many feature popular late 19th and early 20th century styles.

Significance

In 1902 this lot was owned by Anson Johnson and was laid out but not yet developed. It first appears in City Directories in 1909 with Dana L. Vibberts as resident. Vibberts was assistant superintendent of North & Judd, as well as being president of the Vibberts Company. The Vibberts were a prominent New Britain family.



The Dutch Colonial Revival style featured in this house was one of the many forms of Revival styles that was popular in the early 20th century.

171 Lincoln Street

West End
Historic District



Structure

Year Built: c. 1905

Style: Craftsman

Alterations: Vinyl Siding

2022 Appraised Value: \$300,300

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Cross Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 34' x 49'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of houses on Lincoln Street.

Many feature popular late 19th and early 20th century styles.

Significance

In 1902 this lot was owned by Horace Booth and was not laid out. The property first appears in City Directories in 1913 under George B. Germond. Germond was originally from New York, where he worked for the Russell and Erwin Manufacturing Company. During the Civil War Germond was a member of the 7th New York Regiment. In 1903 he moved to New Britain and again worked for Russell and Erwin, and later the P. & F. Corbin division of the American Hardware Corporation.



This house is an example of the Craftsman architectural style.

172 Lincoln Street

West End
Historic District



Structure

Year Built: c. 1905

Style: Colonial Revival

Alterations: Unknown

2022 Appraised Value: \$238,300

Materials: Wood Shingles

Structural System: Wood Frame

Roof Type: Gambrel

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 42' x 42'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of houses on Lincoln Street.

Many feature popular late 19th and early 20th century styles.

Significance

In 1902 this lot was owned and laid out by Anson Johnson. It is first listed in the City Directory in 1906 under Luther B. Williams, a teller at the New Britain Trust.



The house is a good example of the Dutch Colonial Revival style. The style was one of the many popular Revival styles of the early 20th century.

173 Lincoln Street

West End
Historic District



Structure

Year Built: c. 1910

Style: Craftsman, Arts & Crafts

Alterations: Unknown

2022 Appraised Value: \$259,400

Materials: Wood Shingles, Stucco

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2.25

Dimensions: approx. 39' x 53'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of houses on Lincoln Street.

Many feature popular late 19th and early 20th century styles.

Significance

In 1902 this lot was owned by Horace Booth. It first appears in the City Directory in 1911 under Alexander L. MacKay, who worked at the Corbin Cabinet Lock Company.



This house is a well preserved example of the Craftsman style with Arts & Crafts elements.

175 Lincoln Street

West End
Historic District



Structure

Year Built: c. 1908

Style: Colonial Revival

Alterations: Vinyl Siding

2022 Appraised Value: \$230,700

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gambrel

Roof Material: Asphalt Shingle

of Stories: 2.25

Dimensions: approx. 35' x 46'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of houses on Lincoln Street.

Many feature popular late 19th and early 20th century styles.

Significance

In 1902 this lot was owned by Horace Booth. It first appears in the City Directory in 1911 under Mrs. Emma Allderidge, widow of Frederick W. Allderidge.



This house is an example of Dutch Colonial Revival architecture, with major character defining features intact.

178 Lincoln Street

West End
Historic District



Structure

Year Built: c. 1905

Style: Colonial Revival

Alterations: Unknown

2022 Appraised Value: \$235,700

Materials: Wood Shingles, Clapboards

Structural System: Wood Frame

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 51' x 44'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of houses on Lincoln Street.

Many feature popular late 19th and early 20th century styles.

Significance

In 1902 this lot was owned and laid out by Anson Johnson. It appears in the City Directory in 1906 for the first time under Mrs. Elizabeth B. Sampson, widow of Arthur A. Sampson, who was associated with the Public Market and Grocery House.



This house is an example of late Queen Anne architectural style.

185 Lincoln Street

West End
Historic District



Structure

Year Built: c. 1905

Style: Colonial Revival, Shingle Style

Alterations: Unknown

2022 Appraised Value: \$322,100

Materials: Wood Shingles, Clapboards

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 42' x 61'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of houses on Lincoln Street.

Many feature popular late 19th and early 20th century styles.

Significance

In 1902 this lot was owned and not laid out by Horace Booth. It first appears in the 1912 City Directory under Orlando E. Swift, president and treasurer of Swift & Upson Lumber Company.



This dwelling is an example of architecture influenced by both the Shingle Style and Colonial Revival style.

192 Lincoln Street

West End
Historic District



Structure

Year Built: c. 1910

Style: American Four Square

Alterations: Unknown

2022 Appraised Value: \$302,900

Materials: Wood Shingles, Clapboards

Structural System: Wood Frame

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 46' x 57'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of houses on Lincoln Street.

Many feature popular late 19th and early 20th century styles.

Significance

In 1902 this lot was owned and laid out by E.M. Griswold. It is first listed in the City Directory in 1911, William S. Bacon, a clerk, was the resident.



This is a good example of an American Four Square with Colonial Revival details, popular in the early 20th century.

203 Lincoln Street

West End
Historic District



Structure

Year Built: c. 1920

Style: Colonial Revival

Alterations: Aluminum Siding

2022 Appraised Value: \$380,700

Materials: Aluminum Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2.25

Dimensions: approx. 76' x 36'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of houses on Lincoln Street.

Many feature popular late 19th and early 20th century styles.

Significance

In 1902 this lot was owned by Horace Booth. It is first listed in the City Directory under Mrs. Bridget Dobson, widow of Francis Dobson.



This house is a formal example of the Colonial Revival style, popular in the early 20th century.

204 Lincoln Street

West End
Historic District



Structure

Year Built: c. 1910

Style: Craftsman, Tudor Revival

Alterations: Vinyl Siding

2022 Appraised Value: \$268,700

Materials: Stucco, Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 36' x 59'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of houses on Lincoln Street.

Many feature popular late 19th and early 20th century styles.

Significance

In 1901 this lot was owned and laid out by E.M. Griswold. It is first listed in the City Directory in 1910 with Stuart S. Parsons as resident. In 1910, Parsons was a foreman at the Stanley Works.



This house is an example of a blend of popular early 20th century influences being Craftsman and Tudor Revival styles.

220 Lincoln Street

West End
Historic District



Structure

Year Built: c. 1895

Style: Late 19th Century Vernacular

Alterations: Vinyl Siding

2022 Appraised Value: \$195,400

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 27' x 64'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of houses on Lincoln Street.

Many feature popular late 19th and early 20th century styles.

Significance

In 1902 this lot was developed and owned by Mr. Munson. It first appears in the City Directory in 1913 under R. Clifford Merwin, a foreman at the Stanley Works.



This house showcases many late 19th century character defining architectural features, and is one of the earlier buildings on the street.

243 Lincoln Street

West End
Historic District



Structure

Year Built: c. 1930

Style: Colonial Revival

Alterations: Unknown

2022 Appraised Value: \$388,200

Materials: Brick Veneer

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 56' x 38'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of houses on Lincoln Street.

Many feature popular late 19th and early 20th century styles.



Significance

This house is an example of the Colonial Revival style, its use of brick is notable.

251 Lincoln Street

West End
Historic District



Structure

Year Built: c. 1920

Style: Colonial Revival

Alterations: Unknown

2022 Appraised Value: \$312,800

Materials: Clapboards

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 53' x 53'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of houses on Lincoln Street.

Many feature popular late 19th and early 20th century styles.



Significance

This house is an example of the Colonial Revival style popular for the neighborhood.

256 Lincoln Street

West End
Historic District



Structure

Year Built: c. 1930

Style: Dutch Colonial Revival

Alterations: Unknown

2022 Appraised Value: \$297,000

Materials: Wood Shingles,
Stone/Masonry

Structural System: Wood Frame

Roof Type: Gambrel

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 56' x 45'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of houses on Lincoln Street.

Many feature popular late 19th and early 20th century styles.



Significance

This house is an example of the Dutch Colonial Revival style popular for the time.

259 Lincoln Street

West End
Historic District



Structure

Year Built: c. 1925

Style: Colonial Revival

Alterations: Unknown

2022 Appraised Value: \$278,800

Materials: Clapboards

Structural System: Wood Frame

Roof Type: Gambrel

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 48' x 37'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of houses on Lincoln Street.

Many feature popular late 19th and early 20th century styles.



Significance

This house is an example of the Colonial Revival style popular for the time.

266 Lincoln Street

West End
Historic District



Structure

Year Built: c. 1965

Style: Ranch

Alterations: Unknown

2022 Appraised Value: \$304,500

Materials: Brick Veneer

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 57' x 52'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of houses on Lincoln Street.

Many feature popular late 19th and early 20th century styles.



Significance

This house is located within the geographical boundaries of the West End Historic District.

271 Lincoln Street

West End
Historic District



Structure

Year Built: c. 1941

Style: Colonial Revival

Alterations: Unknown

2022 Appraised Value: \$272,600

Materials: Wood Shingles

Structural System: Wood Frame

Roof Type: Gambrel

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 37' x 50'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of houses on Lincoln Street.

Many feature popular late 19th and early 20th century styles.



Significance

This house is located within the geographical boundaries of the West End Historic District. It is in a colonial revival style.

274 Lincoln Street

West End
Historic District



Structure

Year Built: c. 1910

Style: Colonial Revival

Alterations: Unknown

2022 Appraised Value: \$246,200

Materials: Clapboards

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 40' x 45'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of houses on Lincoln Street.

Many feature popular late 19th and early 20th century styles.



Significance

This house is located within the geographical boundaries of the West End Historic District. It is in a colonial revival style.

277 Lincoln Street

West End
Historic District



Structure

Year Built: c. 1927

Style: Dutch Colonial Revival

Alterations: Unknown

2022 Appraised Value: \$258,800

Materials: Wood Shingles

Structural System: Wood Frame

Roof Type: Gambrel

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 60' x 39'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of houses on Lincoln Street.

Many feature popular late 19th and early 20th century styles.



Significance

This house is located within the geographical boundaries of the West End Historic District. It is in a Dutch colonial revival style.

285 Lincoln Street

West End
Historic District



Structure

Year Built: c. 1927

Style: Tudor, Craftsman

Alterations: Unknown

2022 Appraised Value: \$230,000

Materials: Brick Veneer, Stucco/Masonry

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 1.75

Dimensions: approx. 59' x 31'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of houses on Lincoln Street.

Many feature popular late 19th and early 20th century styles.



Significance

This house is located within the geographical boundaries of the West End Historic District. This house displays elements of Tudor and Craftsman architectural design.

290 Lincoln Street

West End
Historic District



Structure

Year Built: c. 1951

Style: Dutch Colonial

Alterations: Vinyl Siding

2022 Appraised Value: \$226,300

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gambrel

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 34' x 26'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of houses on Lincoln Street.

Many feature popular late 19th and early 20th century styles.



Significance

This house is located within the geographical boundaries of the West End Historic District. This house is in a Dutch Colonial style.

291 Lincoln Street

West End
Historic District



Structure

Year Built: c. 1915

Style: Colonial Revival

Alterations: Vinyl Siding

2022 Appraised Value: \$413,200

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 51' x 67'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of houses on Lincoln Street.

Many feature popular late 19th and early 20th century styles.



Significance

City Directories record that in 1913 the house was occupied by William H. English, assistant foreman at the Stanley Works.

The house is a well preserved and crafted example of the Colonial Revival style. The siting of the house on the lot amid entry court and terraced garden is particularly noteworthy.

292 Lincoln Street

West End
Historic District



Structure

Year Built: c. 1922

Style: Colonial Revival

Alterations: Unknown

2022 Appraised Value: \$451,100

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 72' x 38'

Use

Current Use: Single Family

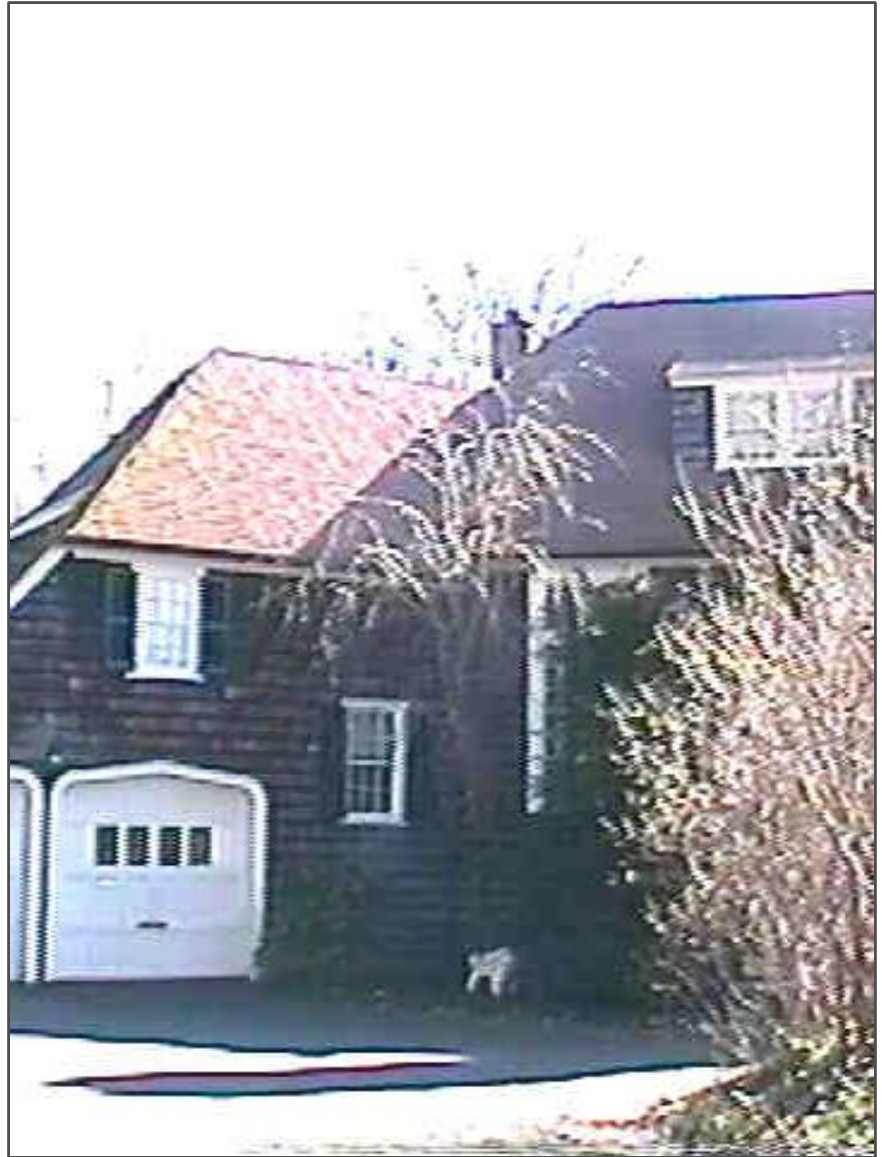
Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Set back on a long driveway off of Lincoln Street behind two other houses in colonial styles.



Significance

Located within the geographical bounds of the West End Historic District, the house is an example of the Colonial Revival style.

300 Lincoln Street

West End
Historic District



Structure

Year Built: c. 1925

Style: Colonial Revival

Alterations: Unknown

2022 Appraised Value: \$236,600

Materials: Clapboards

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 43' x 36'

Use

Current Use: Single Family

Historical Use: Residential

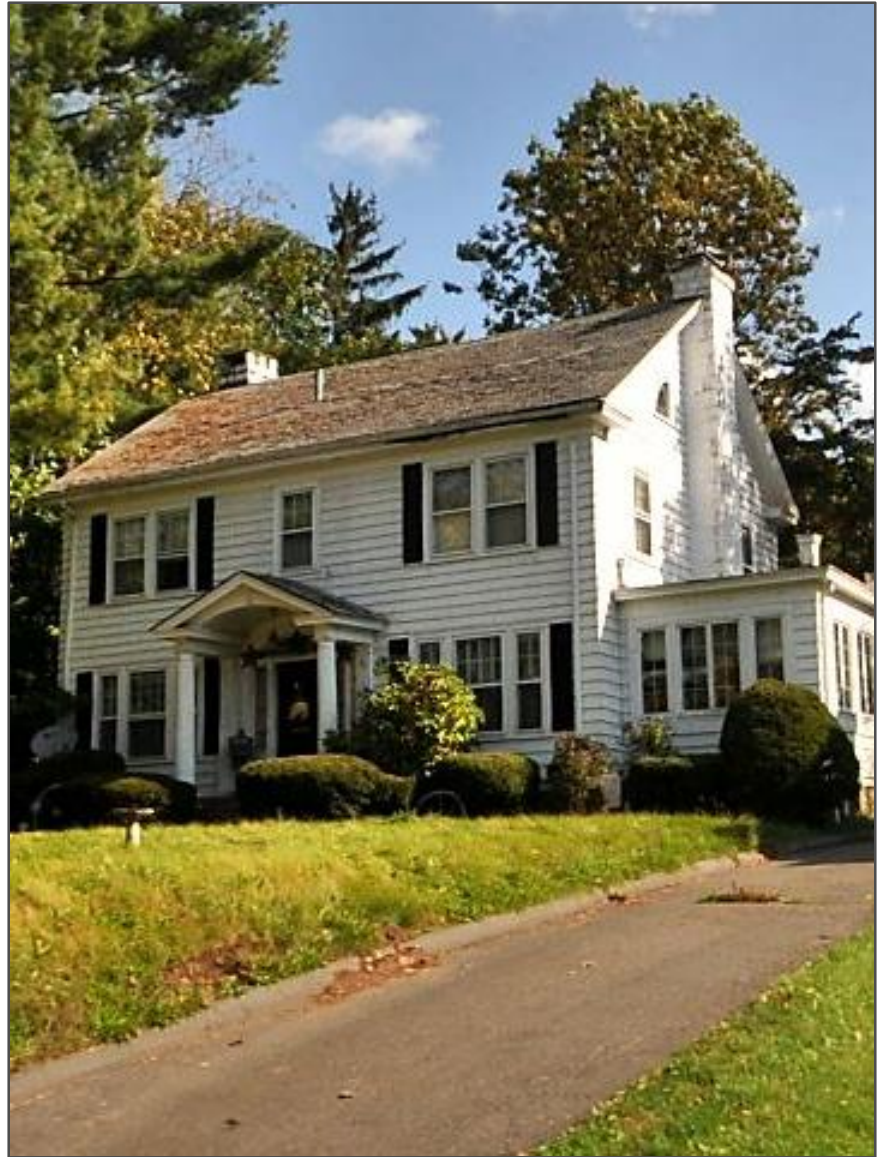
Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of houses on Lincoln Street.

Many feature popular late 19th and early 20th century styles.



Significance

This house is located within the geographical boundaries of the West End Historic District.

Architecturally it is an example of the Colonial Revival style with some influences from the Greek Revival.

310 Lincoln Street

West End
Historic District



Structure

Year Built: c. 1929

Style: Colonial Revival

Alterations: Unknown

2022 Appraised Value: \$304,600

Materials: Wood Shingles

Structural System: Wood Frame

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 40' x 46'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of houses on Lincoln Street.

Many feature popular late 19th and early 20th century styles.



Significance

This house is located within the geographical boundaries of the West End Historic District.

It is a good example of the Colonial Revival style.

318 Lincoln Street

West End
Historic District



Structure

Year Built: c. 1928

Style: Colonial Revival

Alterations: Unknown

2022 Appraised Value: \$312,000

Materials: Clapboards

Structural System: Wood Frame

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 56' x 54'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

In a row of houses on Lincoln Street.

Many feature popular late 19th and early 20th century styles.



Significance

This house is located within the geographical boundaries of the West End Historic District.

It is an example of the Colonial Revival style.

19 Murray Street

West End
Historic District



Structure

Year Built: c. 1910

Style: Queen Anne

Alterations: Unknown

2022 Appraised Value: \$328,900

Materials: Clapboards, Wood Shingles

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2.5

Dimensions: approx. 38' x 70'

Use

Current Use: Two Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Located on Murray Street in a suburban neighborhood. Walnut Hill Park is nearby. Many houses are in popular early 20th and late 19th century styles.



Significance

In 1902 this lot was not laid out or developed and was owned by L.L. Norton. The property first appears in the City Directory in 1912 under Raymond Mazeine, a dentist. Dr. Mazeine practiced dentistry in New Britain for 40 years.

This house is a good example of the late Queen Anne style.

22 Murray Street

West End
Historic District



Structure

Year Built: c. 1910

Style: American Four Square

Alterations: Unknown

2022 Appraised Value: \$235,300

Materials: Brick, Wood Shingles

Structural System: Wood Frame, Load Bearing Masonry

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2.5

Dimensions: approx. 32' x 39'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Located on Murray Street in a suburban neighborhood. Walnut Hill Park is nearby. Many houses are in popular early 20th and late 19th century styles.



Significance

In 1902 this lot was laid out, but undeveloped, and owned by Walker and Sloper. The property first appears in the City Directory in 1914 under A.E. Weiant, a plumber.

This house is an example of a simple American Foursquare typical for the late period of development in the neighborhood.

25 Murray Street

West End
Historic District



Structure

Year Built: c. 1908

Style: Craftsman, Tudor

Alterations: Unknown

2022 Appraised Value: \$226,500

Materials: Clapboards, Wood Shingles

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 33' x 48'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Located on Murray Street in a suburban neighborhood. Walnut Hill Park is nearby. Many houses are in popular early 20th and late 19th century styles.



Significance

This lot was not laid out or developed in 1902 but was owned by L.L. Norton & wife. The property first appeared in the City Directory in 1909 under William H. Judd, a discount clerk. Judd later became president and chairman of the New Britain National Bank and was for many years a member of the city's Finance Board.

This house is a good example of early 20th century vernacular architecture with Craftsman style detailing.

28 Murray Street

West End
Historic District



Structure

Year Built: c. 1905

Style: Queen Anne

Alterations: Second story porch infill

2022 Appraised Value: \$275,800

Materials: Clapboards, Wood Shingles

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2.5

Dimensions: approx. 32' x 60'

Use

Current Use: Two Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Located on Murray Street in a suburban neighborhood. Walnut Hill Park is nearby. Many houses are in popular early 20th and late 19th century styles.



Significance

In 1902 Walker & Sloper, owners of the lot, had laid it out but not developed it. The City Directory first lists this property in 1909 under George Ashley Jr., A clerk at Union Manufacturing.

This house is a good example of typical early 20th century architecture.

56 Murray Street

West End
Historic District



Structure

Year Built: c. 1900

Style: Queen Anne

Alterations: Vinyl Siding

2022 Appraised Value: \$313,800

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2.25

Dimensions: approx. 32' x 60'

Use

Current Use: Three Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Located on Murray Street in a suburban neighborhood. Walnut Hill Park is nearby. Many houses are in popular early 20th and late 19th century styles.



Significance

This house is an example of Queen Anne architecture.

57 Murray Street

West End
Historic District



Structure

Year Built: c. 1900

Style: Queen Anne

Alterations: Vinyl Siding

2022 Appraised Value: \$248,100

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2.25

Dimensions: approx. 26' x 60'

Use

Current Use: Two Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Located on Murray Street in a suburban neighborhood. Walnut Hill Park is nearby. Many houses are in popular early 20th and late 19th century styles.



Significance

This house is an example of Queen Anne architecture, yet has had significant modification.

6 Park Place

West End
Historic District



Structure

Year Built: 1981

Style: Asytlistic Commerical

Alterations: Unknown

2022 Appraised Value: \$352,200

Materials: Brick

Structural System: Load Bearing
Masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 1

Dimensions: approx. 90' x 73'

Use

Current Use: Office Condo

Historical Use: Office

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Located on the corner of West Main Street and Park Place. South down Park Place are commercial and residential buildings in a variety of styles.



Significance

This building is located with in the geographic boundaries of the West End Historic District.

14 Park Place

West End
Historic District



Structure

Year Built: 1964

Style: Colonial, Georgian

Alterations: Unknown

2022 Appraised Value: \$224,000 (Total)

Materials: Brick

Structural System: Load Bearing

Masonry

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 52' x 25'

Use

Current Use: Residential Condo

Historical Use: Residential Condo

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Located on Park Place near commercial and residential buildings in a variety of styles.



Significance

This building is located within the geographic boundaries of the West End Historic District.

22 Park Place

West End
Historic District



Structure

Year Built: 1964

Style: Colonial, Georgian

Alterations: Unknown

2022 Appraised Value: \$1,146,000
(Total)

Materials: Brick

Structural System: Load Bearing
Masonry

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 3

Dimensions: approx. 50' x 95'

Use

Current Use: Residential Condo

Historical Use: Residential Condo

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Located on Park Place near commercial and residential buildings in a variety of styles. Shares lot with 14 Park Place.



Significance

This building is located within the geographic boundaries of the West End Historic District.

23 Park Place

West End
Historic District



Structure

Year Built: c. 1900

Style: Queen Anne

Alterations: Unknown

2022 Appraised Value: \$128,500

Materials: Wood Shingles, Clapboards

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 40' x 60'

Use

Current Use: Vacant

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Located on Park Place near commercial and residential buildings in a variety of styles.



Significance

This building is located within the geographic boundaries of the West End Historic District.

It is an example of the Queen Anne architectural style.

28 Park Place

West End
Historic District



Structure

Year Built: c. 1880

Style: Italianate

Alterations: Aluminum Siding

2022 Appraised Value: \$348,800

Materials: Aluminum Siding

Structural System: Wood Frame

Roof Type: Flat

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 35' x 67'

Use

Current Use: Boarding House

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Located on Park Place near commercial and residential buildings in a variety of styles.



Significance

This building is located within the geographic boundaries of the West End Historic District.

It is an example of the Italianate architectural style.

29 Park Place

West End
Historic District



Structure

Year Built: c. 1915

Style: Queen Anne

Alterations: Vinyl Siding

2022 Appraised Value: \$320,100

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 3

Dimensions: approx. 42' x 67'

Use

Current Use: Charitable Organization

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Located on Park Place near commercial and residential buildings in a variety of styles.



Significance

This building is located within the geographic boundaries of the West End Historic District.

It is an example of the Queen Anne architectural style.

32 Park Place

West End
Historic District



Structure

Year Built: c. 1927

Style: Mission

Alterations: Unknown

2022 Appraised Value: \$1,425,600

Materials: Brick/Masonry

Structural System: Load Bearing

Masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 3

Dimensions: approx. 48' x 98'

Use

Current Use: Apartment Building

Historical Use: Apartment Building

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Located on Park Place near commercial and residential buildings in a variety of styles.



Significance

This building is located within the geographic boundaries of the West End Historic District.

42 Park Place

West End
Historic District



Structure

Year Built: c. 1885

Style: Greek Revival

Alterations: Unknown

2022 Appraised Value: \$469,000

Materials: Stucco/Masonry

Structural System: Load Bearing
Masonry

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 42' x 101'

Use

Current Use: Three Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Located on Park Place near commercial and residential buildings in a variety of styles.



Significance

This building is located within the geographic boundaries of the West End Historic District. It is an example of the Greek Revival style.

45 Park Place

West End
Historic District



Structure

Year Built: c. 1965

Style: Contemporary

Alterations: Unknown

2022 Appraised Value: \$2,652,700
(Total)

Materials: Brick

Structural System: Load Bearing
Masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 4

Dimensions: approx. 75' x 135'

Use

Current Use: Residential Condos

Historical Use: Residential Condos

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Located on Park Place near commercial and residential buildings in a variety of styles.



Significance

This building is located within the geographic boundaries of the West End Historic District.

48 Park Place

West End
Historic District



Structure

Year Built: c. 1875

Style: Dutch Colonial Revival

Alterations: Unknown

2022 Appraised Value: \$294,400

Materials: Wood Shingles

Structural System: Wood Frame

Roof Type: Gambrel

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 32' x 59'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Located on Park Place near commercial and residential buildings in a variety of styles.



Significance

This building is located within the geographic boundaries of the West End Historic District.

It is a good example of a Dutch Colonial style home.

8 Sunnylege Street

West End
Historic District



Structure

Year Built: c. 1920

Style: Dutch Colonial Revival

Alterations: Vinyl Siding

2022 Appraised Value: \$333,300

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gambrel

Roof Material: Asphalt Shingle

of Stories: 2.25

Dimensions: approx. 33' x 48'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Located on the corner of Hart and Sunnylege Streets. Faces Walnut Hill Park. Many residential homes of late 19th and early 20th century styles are nearby.



Significance

This property first appears in the City Directory in 1925.

It is a good example of a Dutch Colonial style one of the popular early 20th century revival styles for the neighborhood.

9 Sunnyleg Street

West End
Historic District



Structure

Year Built: c. 1913

Style: Colonial Revival

Alterations: Unknown

2022 Appraised Value: \$602,400

Materials: Stucco/Masonry

Structural System: Load Bearing
Masonry

Roof Type: Hip

Roof Material: Slate

of Stories: 2.5

Dimensions: approx. 82' x 57'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Located on the corner of Hart and Sunnyleg Streets. Within sight of Walnut Hill Park. Many residential homes of late 19th and early 20th century styles are nearby.



Significance

The house was designed by regionally significant architectural firm Davis and Brooks. It was designed for James S. North, superintendent of the New Britain General Hospital and prominent figure in the manufacturing life in New Britain. North was a descendant of the original settlers of New Britain.

The house is a fine example of the Colonial Revival style in a scale larger than many of its contemporaries in the city. There is a mix of Mediterranean and Colonial influences, including Chinoiserie, and medieval as well as classical detailing.

22 Sunnyledge Street

West End
Historic District



Structure

Year Built: c. 1907

Style: Tudor, Craftsman

Alterations: Unknown

2022 Appraised Value: \$359,800

Materials: Wood Shingles, Half Timbering

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 42' x 53'

Use

Current Use: Single Family

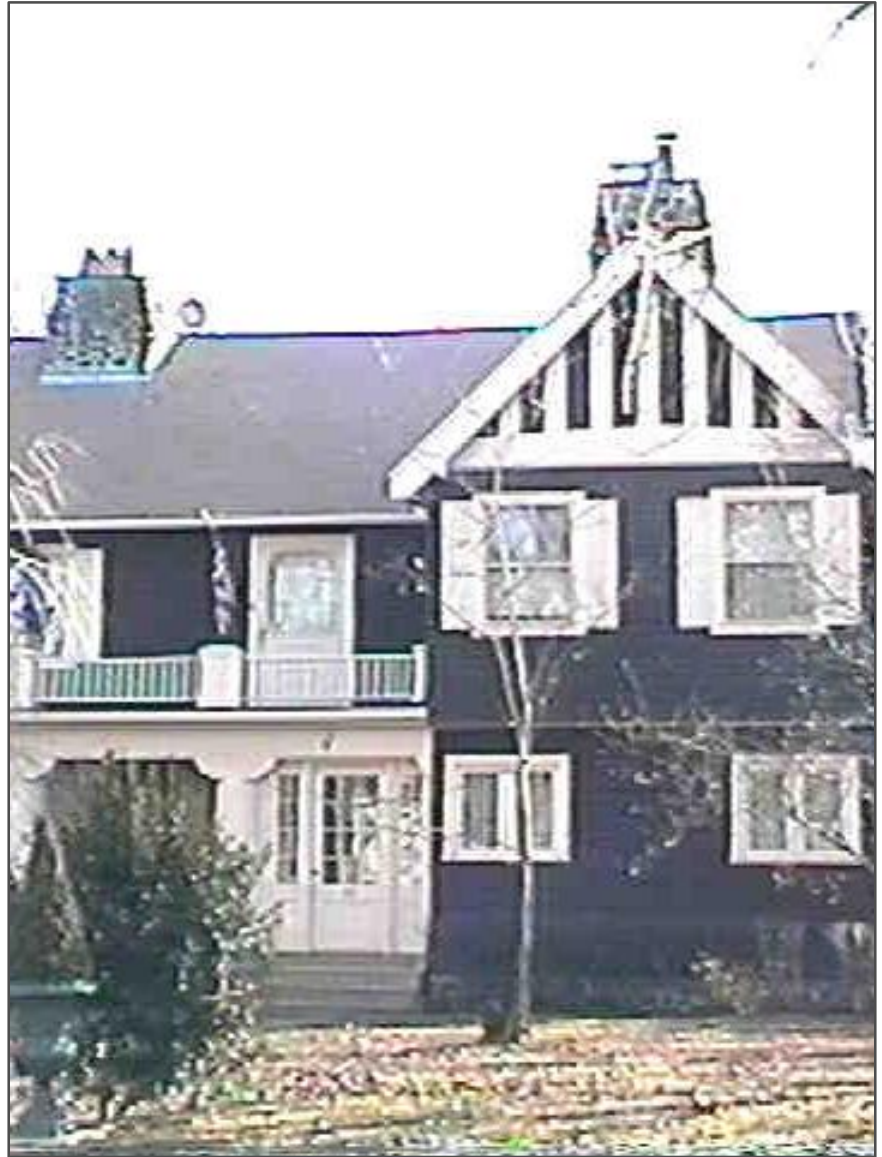
Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby Walnut Hill Park. Many residential homes of late 19th and early 20th century styles are nearby.



Significance

In 1902, this lot was laid out but undeveloped, and was owned by Walter H. Hart. It is first listed in the City Directory under Frank G. Vibbens, secretary and treasurer of the New Britain Trust Company.

This house is an eclectic blend of popular architectural styles of the time.

31 Sunnyledge Street

West End
Historic District



Structure

Year Built: c. 1900

Style: Georgian Revival

Alterations: Entry Pavilion

2022 Appraised Value: \$613,500

Materials: Clapboards

Structural System: Wood Frame

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2.25

Dimensions: approx. 65' x 45'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby Walnut Hill Park. Significant residential homes of late 19th and early 20th century styles are nearby.



Significance

This property is first listed in the City Directory in 1910, under E. Allen Moore, vice president of Stanley Works. Moore eventually became chairman of the board of Stanley Works. Moore donated land for the Martha E. Hart park, of his wife's name.

An excellent refined high style example of the Georgian Revival style.

32 Sunnyledge Street

West End
Historic District



Structure

Year Built: c. 1905

Style: Tudor Revival

Alterations: Unknown

2022 Appraised Value: \$428,800

Materials: Stucco, Half Timbering

Structural System: Load bearing masonry

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2.25

Dimensions: approx. 81' x 41'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby Walnut Hill Park. Significant residential homes of late 19th and early 20th century styles are nearby.



Significance

This property is first listed in the City Directory in 1920 under Emma C. Rogers, widow of Daniel O. Rogers, who was president of Rogers Sash and Door Company, and vice president and treasurer of the Skinner Chuck Company.

This house is an excellent high style example of Tudor Revival architecture which was popular in the early 20th century.

9 Vine Street

West End
Historic District



Structure

Year Built: c. 1927

Style: Tudor Revival

Alterations: Unknown

2022 Appraised Value: \$1,575,600

Materials: Brick, Stucco, Half Timbering

Structural System: Load bearing masonry

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 3

Dimensions: approx. 145' x 71'

Use

Current Use: Apartment

Historical Use: Apartment

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

On the corner of West Main Street and Vine Street. Nearby on Vine Street are many residential style properties in notable 19th and 20th century styles.



Significance

This property is a good example of the Tudor Revival style in an apartment type building. It retains much of its integrity.

14 Vine Street

West End
Historic District



Structure

Year Built: c. 1887

Style: Late 19th Century Queen Anne

Alterations: Unknown

2022 Appraised Value: \$210,600

Materials: Clapboards

Structural System: Wood Frame

Roof Type: Cross Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 31' x 49'

Use

Current Use: Commercial

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby on Vine Street are many residential style properties in notable 19th and 20th century styles.



Significance

According to City Directories in 1887-88 the house was occupied by John D. Renahan, a timekeeper with Russell & Erwin, in 1902 Renahan was a foreman at Russell & Erwin.

The house is a good example of the late Queen Anne style.

18 Vine Street

West End
Historic District



Structure

Year Built: c. 1888

Style: Queen Anne

Alterations: Unknown

2022 Appraised Value: \$247,100

Materials: Clapboards

Structural System: Wood Frame

Roof Type: Cross Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 36' x 53'

Use

Current Use: Commercial

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby on Vine Street are many residential style properties in notable 19th and 20th century styles.



Significance

The 1902 Miller Atlas shows the owners as Baldwin and Goodwin, The City Directory of that year has Carlisle Bladwin, clerk at the Corbin Cabinet Lock Company, living at this address.

This house is a good example of the Queen Anne style with Eastlake features.

25 Vine Street

West End
Historic District



Structure

Year Built: c. 1888

Style: Victorian Gothic, Eastlake

Alterations: Unknown

2022 Appraised Value: \$318,100

Materials: Clapboards

Structural System: Wood Frame

Roof Type: Cross Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 34' x 64'

Use

Current Use: Three Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby on Vine Street are many residential style properties in notable 19th and 20th century styles.



Significance

In the 1897 City Directory, this dwelling was resided in by George F. Tyler, a machinist at Russell and Erwin.

Architecturally this is a good example of the Queen Anne Style with Eastlake features.

28 Vine Street

West End
Historic District



Structure

Year Built: c. 1880

Style: Stick Style

Alterations: Unknown

2022 Appraised Value: \$213,100

Materials: Clapboards

Structural System: Wood Frame

Roof Type: Cross Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 30' x 58'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby on Vine Street are many residential style properties in notable 19th and 20th century styles.



Significance

In 1902 this house was owned by C. Pfeiffer, a foreman at the Stanley Works. In 1915, Frank A. Porter was in the home. Porter was the general manager of the National Spring Bed Company.

The house is a intact example of the Stick Style.

30 Vine Street

West End
Historic District



Structure

Year Built: c. 1870

Style: Italianate

Alterations: Vinyl/Aluminum Siding

2022 Appraised Value: \$281,900

Materials: Vinyl/Aluminum Siding

Structural System: Wood Frame

Roof Type: Flat

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 37' x 61'

Use

Current Use: Two Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby on Vine Street are many residential style properties in notable 19th and 20th century styles.



Significance

This house was most likely one of the first structures built in this neighborhood, which is predominantly late 19th century. The 1893 directory shows Thomas W. Mitchell, owner of the T.W. Mitchell & Co. Furniture, residing here.

The house is a fine example of the Italianate style. Though this neighborhood does not extensively feature Italianate properties, the style is frequently found throughout New Britain.

31 Vine Street

West End
Historic District



Structure

Year Built: c. 1870

Style: Queen Anne

Alterations: Unknown

2022 Appraised Value: \$182,600

Materials: Clapboards

Structural System: Wood Frame

Roof Type: Cross Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 46' x 22'

Use

Current Use: Two Family

Historical Use: Carriage House

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Set back behind 25 Vine Street. Nearby on Vine Street are many residential style properties in notable 19th and 20th century styles.



Significance

This house is the original carriage house for 25 Vine Street, but has been converted into two units.

41 Vine Street

West End
Historic District



Structure

Year Built: c. 1890

Style: Late 19th Century Vernacular

Alterations: Vinyl Siding, Rear wing

2022 Appraised Value: \$344,400

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 40' x 108'

Use

Current Use: Four Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby on Vine Street are many residential style properties in notable 19th and 20th century styles.



Significance

The house in 1891 by Judge John Coats. Coats came to New Britain in 1889 and developed a law practice. He was named town attorney prior to 1890. In 1890 and 1891 he served as a councilman from the Third Ward (the Walnut Hill Park area). In 1895 he was appointed probate judge for the Town of Berlin, and in 1901 judge of the court of common pleas.

The late 19th century style of the house fits well into the surrounding neighborhood.

47 Vine Street

West End
Historic District



Structure

Year Built: c. 1902

Style: Queen Anne

Alterations: Unknown

2022 Appraised Value: \$280,200

Materials: Wood Shingles

Structural System: Wood Frame

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 38' x 50'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby on Vine Street are many residential style properties in notable 19th and 20th century styles.



Significance

This house was owned and occupied by Attorney Bernard F. Gaffney in 1902. Gaffney was a prominent member within New Britain's legal profession in the early 20th century. He was elected probate judge in 1904 and held the position until 1934. He had a large law practice and acted as town solicitor for neighboring communities. In 1926, he was elected president of the County Bar Association. He was also a director of the People's Bank and served as the bank's vice president.

The style of the house represents a simplification of the Queen Anne form to a hip roofed box with some elaboration.

48 Vine Street

West End
Historic District



Structure

Year Built: c. 1870

Style: Italianate

Alterations: Unknown

2022 Appraised Value: \$260,600

Materials: Clapboards

Structural System: Post & Beam

Roof Type: Flat

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 34' x 51'

Use

Current Use: Two Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby on Vine Street are many residential style properties in notable 19th and 20th century styles.



Significance

This dwelling was likely one of the first to be developed along Vine Street. The 1884 City Directory shows Elizabeth W. Walter, widow of Peter, who was a shoemaker, residing in this house. The 1902 Miller Atlas shows Frederick W. Scheidler, a foreman at P. & F. Corbin, residing in the house.

The house is a good example of the Italianate style. This form of Italianate though not characteristic of this neighborhood is found throughout New Britain and occasionally within the neighborhood.

50 Vine Street

West End
Historic District



Structure

Year Built: c. 1890

Style: Queen Anne

Alterations: Porch Enclosures

2022 Appraised Value: \$451,600

Materials: Clapboards, Wood Shingles

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2.5

Dimensions: approx. 32' x 67'

Use

Current Use: Three Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby on Vine Street are many residential style properties in notable 19th and 20th century styles.



Significance

The house was occupied in 1891 by Cyrus Damon, a commercial agent for Belden Brothers & Company of New York. The home may have been built for him.

The Queen Anne style of this house was very popular for the time.

52 Vine Street

West End
Historic District



Structure

Year Built: c. 1880

Style: Queen Anne

Alterations: Vinyl Siding

2022 Appraised Value: \$257,100

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 33' x 61'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby on Vine Street are many residential style properties in notable 19th and 20th century styles.



Significance

The City Directory first shows this house occupied by Charles C. Rossberg, owner of CC & WB Rossberg Dry Goods.

The Queen Anne style of the structure is largely intact and fits well with the common styles of the neighborhood.

57 Vine Street

West End
Historic District



Structure

Year Built: c. 1860

Style: Late Greek Revival

Alterations: Porch Supports, Side Chimney

2022 Appraised Value: \$237,600

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 36' x 45'

Use

Current Use: Two Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby on Vine Street are many residential style properties in notable 19th and 20th century styles.



Significance

This Greek Revival structure is an example of both the early Victorian period and the early development of this neighborhood.

59 Vine Street

West End
Historic District



Structure

Year Built: c. 1984

Style: Colonial

Alterations: Unknown

2022 Appraised Value: \$293,600

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 26' x 46'

Use

Current Use: Two Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Set back on a long driveway behind 57 Vine Street. Nearby on Vine Street are many residential style properties in notable 19th and 20th century styles.



Significance

This building is located within the geographical boundaries of the West End Historic District.

60 Vine Street

West End
Historic District



Structure

Year Built: c. 1900

Style: Queen Anne

Alterations: Vinyl Siding

2022 Appraised Value: \$255,200

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Cross Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 36' x 55'

Use

Current Use: Two Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby on Vine Street are many residential style properties in notable 19th and 20th century styles.



Significance

This building is located within the geographical boundaries of the West End Historic District. It is an example of the Queen Anne architectural style although it has lost some integrity.

63 Vine Street

West End
Historic District



Structure

Year Built: c. 1885

Style: Italianate

Alterations: Vinyl Siding, Soffit Brackets

2022 Appraised Value: \$260,400

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Flat

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 40' x 54'

Use

Current Use: Two Family

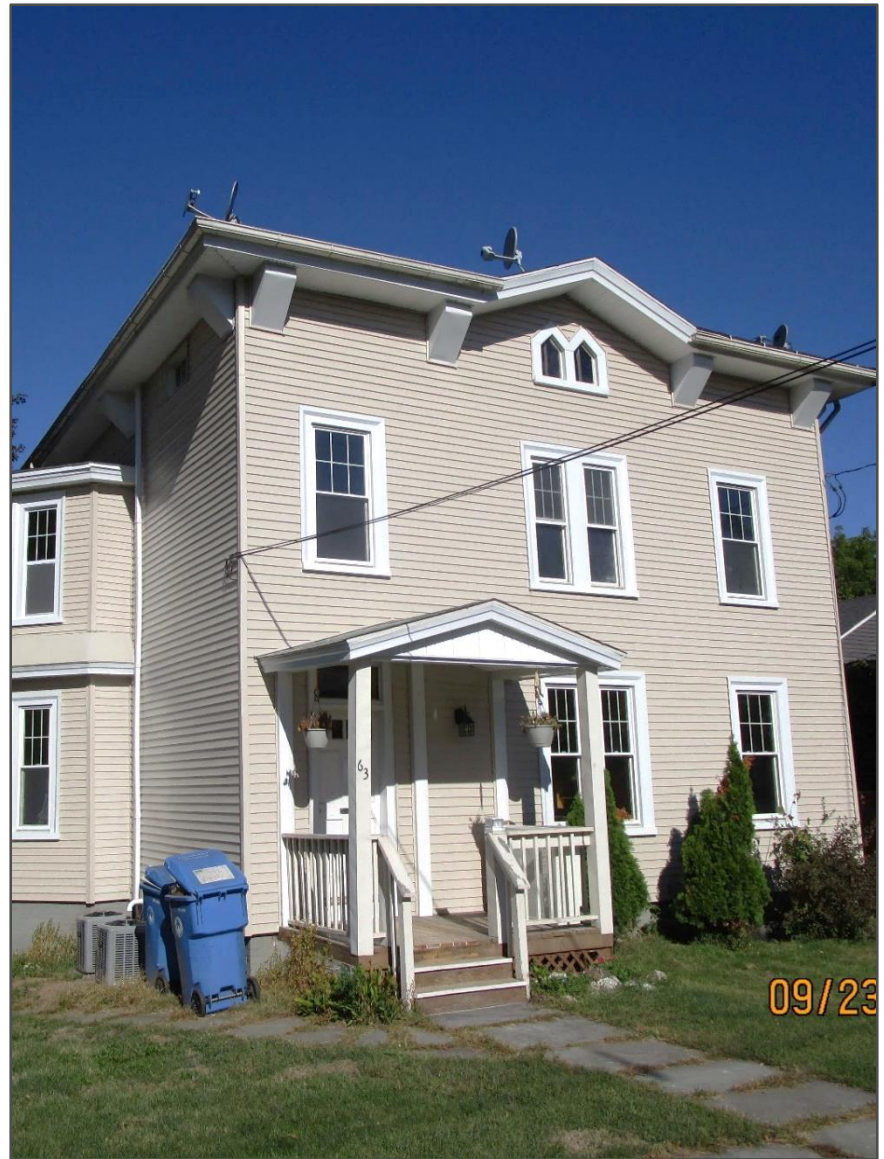
Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby on Vine Street are many residential style properties in notable 19th and 20th century styles.



Significance

This dwelling was most likely one of the first to be developed on Vine Street along with the other Italianate structures in this neighborhood. The property first appears in the City Directory in 1889 when Timothy Burns, a plumber, resided there.

This house is a fair example of the Italianate style, and of the particular form with a central wall gable.

66 Vine Street

West End
Historic District



Structure

Year Built: c. 1885

Style: Queen Anne

Alterations: Vinyl Siding

2022 Appraised Value: \$188,700

Materials: Vinyl Siding, Wood Shingles

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 23' x 60'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby on Vine Street are many residential style properties in notable 19th and 20th century styles.



Significance

In 1902, the Miller Atlas lists C.H. Moore as the owner of the property. Mr. Moore owned and lived in the house next door to the north (60 Vine Street). This property is first listed in the City Directory in 1910 with Dr. Charles E. Swain, a dentist, residing in the structure.

This house is a compact and narrow example of the Queen Anne style with its stylistic elements largely intact.

70 Vine Street

West End
Historic District



Structure

Year Built: c. 1885

Style: Late 19th Century Vernacular

Alterations: Rear Addition

2022 Appraised Value: \$306,900

Materials: Brick, Vinyl Siding

Structural System: Load Bearing
Masonry

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2.25

Dimensions: approx. 40' x 65'

Use

Current Use: Office

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby on Vine Street are many residential style properties in notable 19th and 20th century styles.



Significance

According to the City Directory, Cornelius Henn, an inspector for Russell & Erwin, resided on this property in 1886.

This is a simplistic and fairly unique brick structure with some Queen Anne details.

71 Vine Street

West End
Historic District



Structure

Year Built: c. 1892

Style: Late 19th Century Vernacular

Alterations: Rear Addition

2022 Appraised Value: \$423,400

Materials: Clapboards, Wood Shingles

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 41' x 63'

Use

Current Use: Three Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby on Vine Street are many residential style properties in notable 19th and 20th century styles.



Significance

This structure is a good example of a large Queen Anne structure which has many surviving character-defining features.

74 Vine Street

West End
Historic District



Structure

Year Built: 1987

Style: Queen Anne Vernacular

Alterations: Unknown

2022 Appraised Value: \$641,900

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 3

Dimensions: approx. 60' x 46'

Use

Current Use: Office

Historical Use: Office

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby on Vine Street are many residential style properties in notable 19th and 20th century styles.



Significance

This structure is recently built but borrows elements from the Queen Anne style.

It is located within the geographical boundaries of the West End Historic District.

82 Vine Street

West End
Historic District



Structure

Year Built: c. 1870

Style: Italianate

Alterations: Vinyl Siding, Fire Repair, Side addition

2022 Appraised Value: \$379,000

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Flat Hip

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 67' x 76'

Use

Current Use: Three Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby on Vine Street are many residential style properties in notable 19th and 20th century styles.



Significance

This Italianate dwelling was most likely built in the first phase of development on Vine Street with the other remaining Italianate homes on this street. The property first appears in the 1878 City Directory when William Kiesewetter, a moulder, lived there.

This house is a fairly intact example of the particular Italianate form with a central wall gable. The building sustained fire damage in 2020 but has since been repaired.

83 Vine Street

West End
Historic District



Structure

Year Built: c. 1895

Style: American 4 Square, Colonial Revival

Alterations: Minor Rear Porch and Landing Alterations

2022 Appraised Value: \$343,400

Materials: Clapboards

Structural System: Wood Frame

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 38' x 64'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby on Vine Street are many residential style properties in notable 19th and 20th century styles.

Significance

This property is listed in the 1895-96 City Directory as being resided in by Charles B. Odgershaw and Mrs. Maria P. Nourse, widow of Albert G. Nourse, a traveling agent for John McGraw & Co. Wholesale Lumber Dealers. Mr. Odgershaw was the secretary and assistant treasurer of the Savings Bank of New Britain for 60 years and had been connected with the bank for 69 years. From 1882 to 1891, he held the position of municipal auditor for New Britain before the office was discontinued.



The house has intact elements of the American Foursquare and Colonial revival style.

92 Vine Street

West End
Historic District



Structure

Year Built: N/A

Style: N/A

Alterations: Demolition after fire

2022 Appraised Value: \$52,000

Materials: N/A

Structural System: N/A

Roof Type: N/A

Roof Material: N/A

of Stories: N/A

Dimensions: .26 Acres

Use

Current Use: Vacant Lot

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby on Vine Street are many residential style properties in notable 19th and 20th century styles.



Significance

This lot was formerly home to a late 19th century Colonial Revival home which was destroyed by a fire. The home was the residence of Mortimer Judd, who was the secretary of North and Judd Manufacturing Company.

93 Vine Street

West End
Historic District



Structure

Year Built: c. 1895

Style: Colonial Revival

Alterations: Unknown

2022 Appraised Value: \$252,100

Materials: Wood Shingles

Structural System: Wood Frame

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 40' x 56'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby on Vine Street are many residential style properties in notable 19th and 20th century styles.



Significance

This property was first listed in the City Directory in 1897 under A. Wolcott Abbe, a clerk. Later, in Schenectady, NY, Abbe was in the hardware business with his brother.

This house is a good example of a typical informal Colonial Revival dwelling.

99 Vine Street

West End
Historic District



Structure

Year Built: c. 1895

Style: Late Queen Anne, Colonial Revival

Alterations: Vinyl Siding, Details Removed

2022 Appraised Value: \$319,900

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 45' x 52'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby on Vine Street are many residential style properties in notable 19th and 20th century styles.



Significance

The City Directory lists Albert F. Corbin as the resident of this property in 1897. In 1897, Mr. Corbin was the superintendent of Corbin Cabinet Lock. He went on to become president of the Union Manufacturing Company in 1908 and remained in that position for 21 years.

The house is an example of the Colonial Revival style with simple details.

102 Vine Street

West End
Historic District



Structure

Year Built: c. 1890

Style: Dutch Colonial, Colonial Revival

Alterations: Unknown

2022 Appraised Value: \$319,900

Materials: Stucco

Structural System: Load Bearing
Masonry

Roof Type: Gable

Roof Material: Slate

of Stories: 2.25

Dimensions: approx. 39' x 51'

Use

Current Use: Single Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby on Vine Street are many residential style properties in notable 19th and 20th century styles. Walnut Hill Park is to the east.

Significance

According to City Directories, the house was owned and occupied by Mary Schulz as early as 1890 and may have been built for Herman Schulz prior to this date. It was later occupied by Albert A. Herman, who was employed by the New Britain manufacturer Landers, Frary & Clark.



This large stuccoed house in the Colonial Revival style is located strategically overlooking Walnut Hill Park, which was being developed in the late 19th century. The formalizing of the architecture is reinforced by the central entry and unifying porch roof. Considered to be early for the period this taste became popular for many houses built in subsequent years on nearby streets.

105 Vine Street

West End
Historic District



Structure

Year Built: c. 1900

Style: Late 19th Century Vernacular

Alterations: Vinyl Siding, Shed roofed front addition (Possible porch enclosure)

2022 Appraised Value: \$542,100

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2.5

Dimensions: approx. 44' x 67'

Use

Current Use: Nursing Home

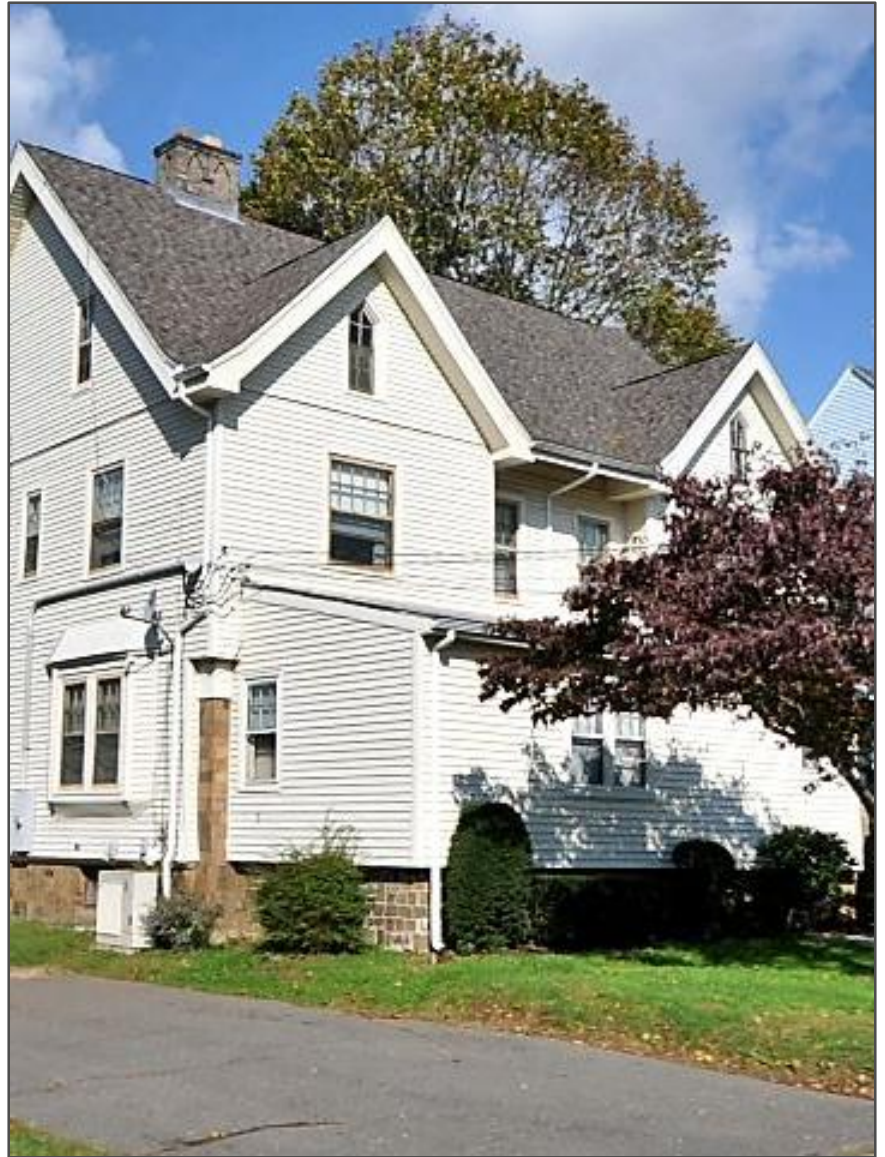
Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby on Vine Street are many residential style properties in notable 19th and 20th century styles. Walnut Hill Park is to the east.



Significance

This property is listed in the 1909 City Directory under Clayton A. Parker. At the time, Parker was a paymaster at P. & F. Corbin. In 1915, he became assistant treasurer of Farmington Savings Bank.

This structure is an example of a late 19th century home with Queen Anne details

109 Vine Street

West End
Historic District



Structure

Year Built: c. 1900

Style: Shingle Style, Colonial Revival

Alterations: Unknown

2022 Appraised Value: \$328,900

Materials: Wood Shingles

Structural System: Wood Frame

Roof Type: Gambrel

Roof Material: Metal Shingle

of Stories: 2

Dimensions: approx. 39' x 59'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby on Vine Street are many residential style properties in notable 19th and 20th century styles. Walnut Hill Park is to the east.



Significance

In 1902 Albert N. Abbe is listed as the owner of this property. The property first appears in the 1909 City Directory under Albert N. Abbe. At the time, Abbe was the secretary of P. & F. Corbin and a purchasing agent at the American Hardware Corporation. He later became director and president of the American Hardware Corporation.

The house is an excellent example of the Shingle Style with Colonial Revival details.

115 Vine Street

West End
Historic District



Structure

Year Built: c. 1898

Style: Colonial Revival

Alterations: Vinyl Siding

2022 Appraised Value: \$297,500

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gambrel

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 48' x 53'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby on Vine Street are many residential style properties in notable 19th and 20th century styles. Walnut Hill Park is to the east.



Significance

This house was designed for James E. Cooper by regionally known architects Davis and Brooks. Cooper was a vice president and legal counsel for the Stanley Works and a former president of the Burritt Savings Bank. He was known as an outstanding lawyer and served as judge of the police court.

The house is a simple expression of the mix of Colonial Revival and Shingle Style elements.

123 Vine Street

West End
Historic District



Structure

Year Built: c. 1895

Style: Colonial Revival, Neo Classical

Alterations: Unknown

2022 Appraised Value: \$425,900

Materials: Stucco

Structural System: Wood Frame, Load Bearing Masonry

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 58' x 67'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby on Vine Street are many residential style properties in notable 19th and 20th century styles. Walnut Hill Park is to the east.

Significance

According to City Directories, the house was owned by Joseph R. Andrews as early as 1894-95 and may have been built for him. Andrews as a partner in the New Britain wholesale provisioning firm of Andrews, Swift & Co. He was also president of the local Chamber of Commerce and held positions on various public boards and commissions, including the New Britain Welfare Association.



The house is a fine and intact example of the stuccoed classical style derived from Colonial Revival and Italian Renaissance taste which became increasingly popular in the late 19th and early 20th century.

149 Vine Street

West End
Historic District



Structure

Year Built: c. 1904

Style: Colonial Revival, American Four Square

Alterations: Aluminum Siding

2022 Appraised Value: \$342,800

Materials: Aluminum Siding

Structural System: Wood Frame

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 38' x 65'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby on Vine Street are many residential style properties in notable 19th and 20th century styles. Walnut Hill Park is to the east.

Significance

According to city atlas maps and directories, the property was owned by Levi W. Wells in the late 19th century. Wells was from Wethersfield and married into New Britain's Hart family. There was no building on the property in 1889 or in 1902. By 1905 however, the property was occupied by Alfred H. Clark, a veteran of the Civil War and a commercial agent for Russel & Erwin, one of New Britain's leading manufactural concerns. Clark had married Levi W. Well's daughter, Emma Adeline Wells, and presumably, the house was built for this couple.



The house is an interpretation of the American Four Square style popular in the early 20th century nationwide. Overlooking Walnut Hill Park, the property and its occupants indicate the popularity of the neighborhood for investment and home building by New Britain's leading families and businessmen.

169 Vine Street

West End
Historic District



Structure

Year Built: c. 1910

Style: Shingle Style

Alterations: Unknown

2022 Appraised Value: \$467,000

Materials: Wood Shingles

Structural System: Wood Frame

Roof Type: Gambrel, Cross Hipped

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 64' x 71'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby on Vine Street are many residential style properties in notable 19th and 20th century styles. Walnut Hill Park is to the east.

Significance

The house was originally designed by William F. Brooks, prominent local architect, for William F. Felt. In about 1911, the house was purchased by Elisha H. Cooper, chairman of the board of the Fafnir Bearing Company. Under Cooper's ownership, the house was substantially enlarged to Brook's designs. Following Cooper's death in 1947, the house was purchased by William F. Brooks, who resided there until his death in 1950.



This substantial dwelling is representative of Brooks' work in the Colonial Revival and Shingle Style taste. The addition, with Tudor Revival interior, also represents the architect's appreciation of the medieval. Brooks' ownership of the house may indicate his fondness for this particular work.

175 Vine Street

West End
Historic District



Structure

Year Built: c. 1901

Style: Queen Anne

Alterations: Vinyl siding, Porch supports and railings replaced, Sliding glass door added to porch

2022 Appraised Value: \$269,700

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 35' x 65'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby on Vine Street are many residential style properties in notable 19th and 20th century styles. Walnut Hill Park is to the east.

Significance

In 1902 R.R. Porter, a clerk at Stanley Works, owned this dwelling. The 1906 city directory lists William E. Atwood as resident. Atwood was the president of Mechanics National Bank and would go on to become president of the Burrill Mutual Savings Bank in 1937.



The house is a simple design in the Queen Anne vernacular.

179 Vine Street

West End
Historic District



Structure

Year Built: c. 1900

Style: Tudor Vernacular

Alterations: Unknown

2022 Appraised Value: \$323,600

Materials: Wood Shingles, Stucco on Wood, Half Timbering

Structural System: Wood Frame

Roof Type: Cross Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 40' x 58'

Use

Current Use: Single Family Residential

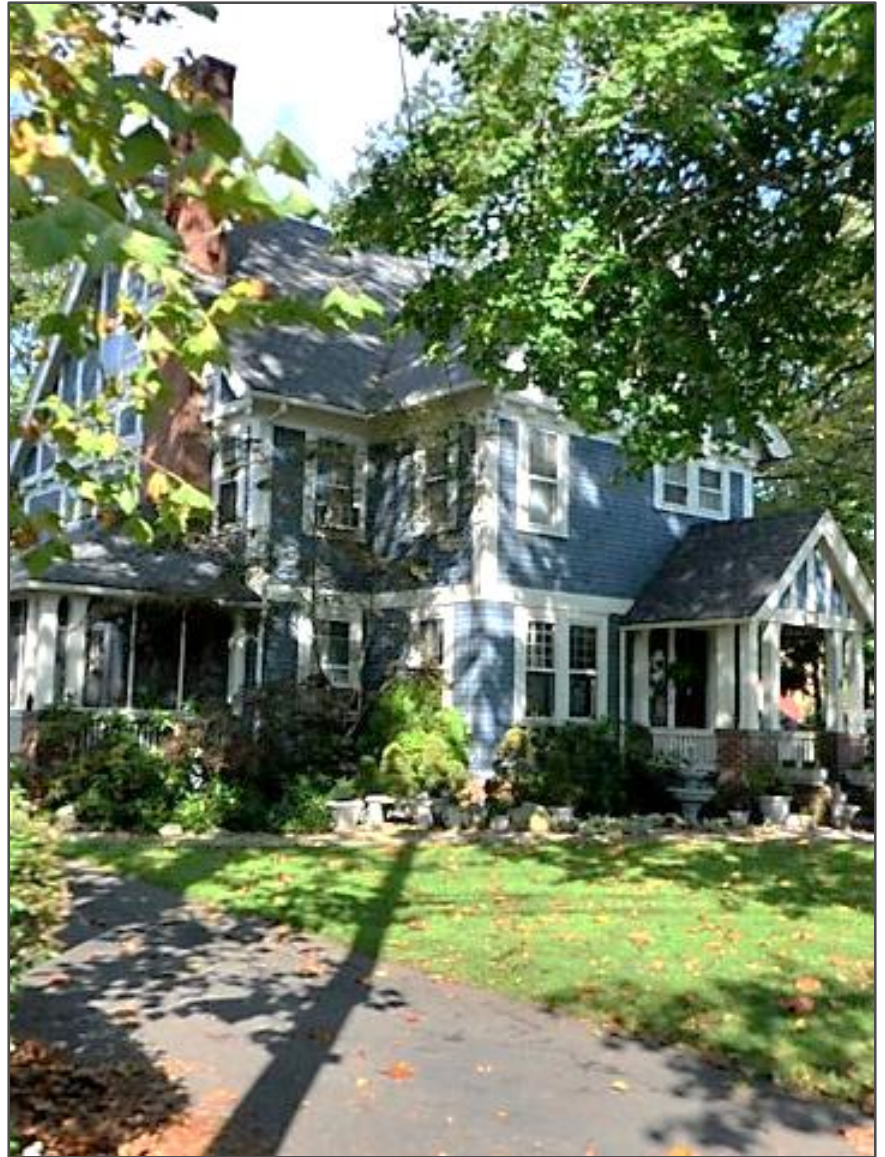
Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby on Vine Street are many residential style properties in notable 19th and 20th century styles. Walnut Hill Park is to the east.



Significance

According to the 1902 Miller Atlas, this property was owned by A.S. Walker. The property first appears in the City Directory in 1908 under Anna I. Chamberlain, widow of Valentine B. Chamberlain, a judge and Civil War veteran.

The house is a good example of early 20th century architecture and a Tudor/Craftsman blend.

191 Vine Street

West End
Historic District



Structure

Year Built: c. 1914

Style: Colonial Revival

Alterations: Central dormer and trim details

2022 Appraised Value: \$623,200

Materials: Wood Shingles

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 82' x 49'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby on Vine Street are many residential style properties in notable 19th and 20th century styles. Walnut Hill Park is to the east.

Significance

This property is first listed in the city directory in 1914 under Herbert H. Pease, president of the New Britain Machine Company. Mr. Pease, a native of the city, was prominent member of the New Britain business community. At one time his father was Mayor of New Britain. Mr. Pease served as president and director of various community organizations. He was also appointed by President Truman to a committee to draft recommendations for the rehabilitation of foreign trade.



This is a high style example of the Colonial Revival style. The house is prominently located overlooking Walnut Hill Park.

201 Vine Street

West End
Historic District



Structure

Year Built: c. 1900

Style: Stick Vernacular

Alterations: Unknown

2022 Appraised Value: \$274,500

Materials: Clapboards, Wood Shingles

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 40' x 64'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby on Vine Street are many residential style properties in notable 19th and 20th century styles. Walnut Hill Park is to the east.

Significance

This property first appears in the City Directory in 1900 listed under Harris B. Humanson, a native of New Britain and paymaster of the Stanley Works and vice president & treasurer of Humanson & Beckley Manufacturing Company. Humanson became assistant secretary of Stanley Works in 1905 and secretary in 1913.



This house still has many of its Stick Style features intact.

209 Vine Street

West End
Historic District



Structure

Year Built: 1993

Style: Queen Anne esque

Alterations: Unknown

2022 Appraised Value: \$251,300

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 42' x 40'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby on Vine Street are many residential style properties in notable 19th and 20th century styles. Walnut Hill Park is to the east.



Significance

This property was built recently and borrows some elements from the late 19th and early 20th century styles prominent in the neighborhood.

It is located within the geographic boundaries of the West End Historic District and overlooks Walnut Hill Park.

219 Vine Street

West End
Historic District



Structure

Year Built: c. 1916

Style: Colonial Revival

Alterations: Porch enclosed, Vinyl Siding

2022 Appraised Value: \$295,800

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 35' x 64'

Use

Current Use: Single Family Residential

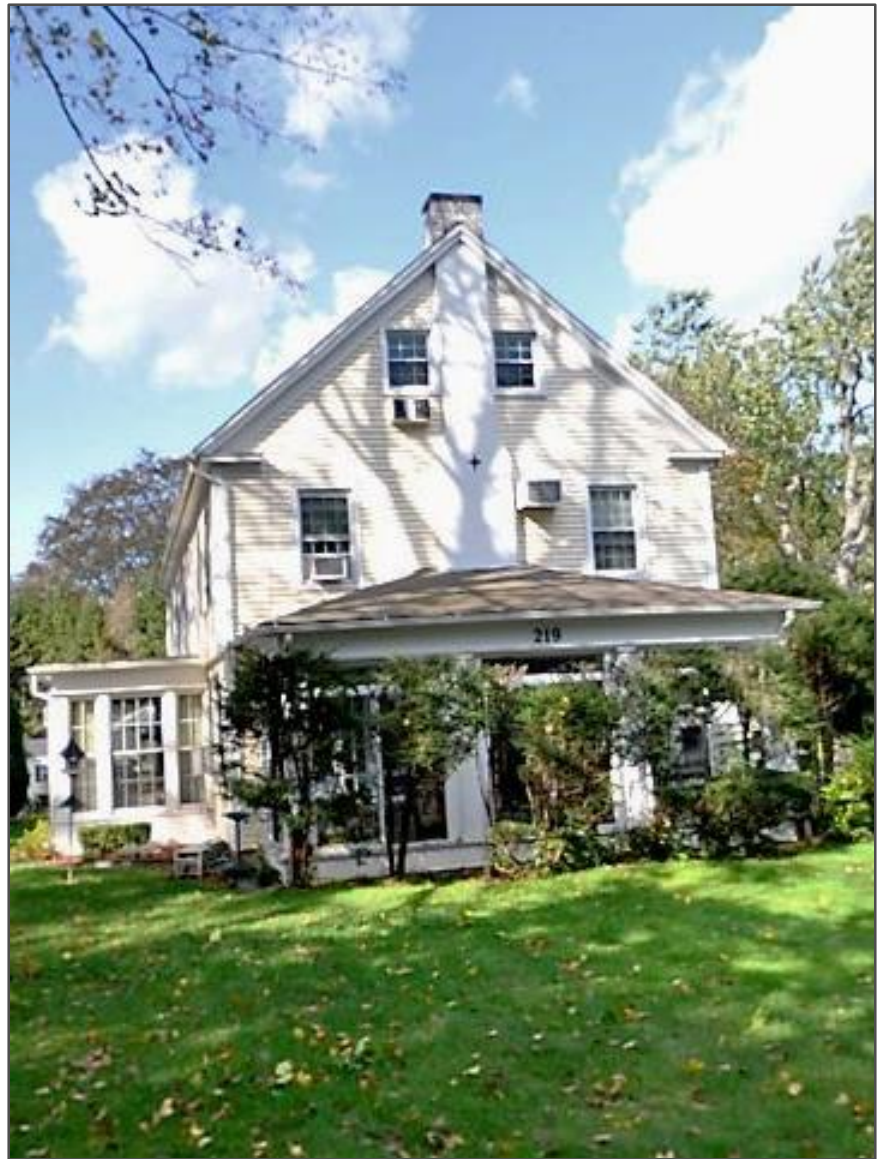
Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby on Vine Street are many residential style properties in notable 19th and 20th century styles. Walnut Hill Park is to the east.



Significance

In 1902, this property was undeveloped and owned by E.W. Schultz. It first appears in the 1917 City Directory under the ownership of Dr. John L. Kelly, physician.

The house is a good example of a formal Colonial Revival style.

225 Vine Street

West End
Historic District



Structure

Year Built: c. 1905

Style: Colonial Revival, American Four Square

Alterations: Vinyl Siding

2022 Appraised Value: \$278,900

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 42' x 48'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby on Vine Street are many residential style properties in notable 19th and 20th century styles. Walnut Hill Park is to the east.

Significance

This site was undeveloped in 1902 and was owned by E.M. Griswold. The property is first listed in the City Directory in 1907 under George B. Grocock, owner of George B. Grocock Market. Grocock was a native of England and a long time resident of New Britain associated with the New Britain Knitting Company and the American Hosiery Company.



The house is an example of an American Foursquare which were typical in the early 20th century. Many of this structure's Colonial Revival details are intact.

241 Vine Street

West End
Historic District



Structure

Year Built: c. 1905

Style: Shingle, Tudor Revival

Alterations: Unknown

2022 Appraised Value: \$266,100

Materials: Brick, Wood Shingles

Structural System: Wood Frame

Roof Type: Cross Gable, Hip-roofed wing

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 59' x 43'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby on Vine Street are many residential style properties in notable 19th and 20th century styles. Walnut Hill Park is to the east.

Significance

In 1902, this site was undeveloped and owned by W.B. Ives Jr. The property is first listed in the City Directory in 1909 under Hedley Carter, a book keeper at Stanley Works.



This structure, a mixture of the Tudor and Shingle styles, represents the popularities of medieval revival styles for the time period.

8 West End Avenue

West End
Historic District



Structure

Year Built: c. 1925

Style: Colonial Revival

Alterations: Aluminum Siding

2022 Appraised Value: \$411,300

Materials: Aluminum Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 62' x 32'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

On the corner of West End Avenue and Lincoln Street. Nearby are many houses in late 19th and early 20th century styles.

Significance

This lot is not laid out or developed in 1902. The address first appeared in the city directory in 1925 under Annie Byrne, widow of Andrew J. Byrne, a bottler.



The house is a simplified version of the Colonial Revival and stresses in its form the medieval house with a steeply pitched roof, end gable chimneys, and a projecting entrance bay.

7 Woodbine Street

West End
Historic District



Structure

Year Built: c. 1865

Style: Colonial Revival

Alterations: Small ell

2022 Appraised Value: \$278,100

Materials: Clapboards

Structural System: Wood Frame

Roof Type: Gambrel

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 50' x 56'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sits on the corner of Woodbine and Vine Streets among houses in many popular late 19th and early 20th century styles. To the east is Walnut Hill Park.

Significance

According to city directories, the house was formerly 137 Vine Street and occupied as early as 1889-90 by George P. Hart, a prominent New Britain businessman associated with the Stanley Works. Starting out in sales, Hart became a Director of the Stanley Works in 1892 and president of the company in 1915. He served as Chairman of the Board until 1923. He also helped organize Hart & Cooley Corporation and the Fafnir Bearing Company. Two important New Britain industries in the 20th century.



The house is a unusual and strong expression of the Colonial Revival style and remains as one of the earliest examples in the area of the use of a steeply pitched gambrel roof with its end to the street.

17 Woodbine Street

West End
Historic District



Structure

Year Built: 1952

Style: Cape

Alterations: Unknown

2022 Appraised Value: \$217,600

Materials: Aluminum Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 1.5

Dimensions: approx. 34' x 52'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sits in the middle of Woodbine Street among houses in many popular late 19th and early 20th century styles. To the east is Walnut Hill Park.



Significance

This house is more modern in both style and age. It is located within the geographical boundaries of the West End Historic District.

27 Woodbine Street

West End
Historic District



Structure

Year Built: 1952

Style: Dutch Colonial Revival

Alterations: Unknown

2022 Appraised Value: \$225,300

Materials: Clapboards

Structural System: Wood Frame

Roof Type: Gambrel

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 46' x 48'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sits in the middle of Woodbine Street among houses in many popular late 19th and early 20th century styles. To the east is Walnut Hill Park.



Significance

This house is more modern age but is a good representation of the Dutch Colonial Revival Style seen at times in the surrounding neighborhood. It is located within the geographical boundaries of the West End Historic District.

Downtown Historic District

319



The Downtown New Britain Historic District is the City's urban, civic, and commercial core, which developed from the wealth and population generated by a robust industrial economy from the mid nineteenth through the early twentieth century. It is located between two state highways (Routes 9 and 72) in the southern section of New Britain. Five streets comprise the main corridors of the district, which include West Main Street, its intersection with Main Street around Central Park, Arch Street, Glen Street and Franklin Square/Elm Street. Main and South Main Streets provide the eastern border, Columbus Boulevard on the north, Arch Street, Main Street and Washington Street on the west, and Franklin Square to Whiting Street on the South. This approximately 80-acre area, which includes businesses, social and civil services, office buildings, mixed-use and multi-family residences, has 173 resources in total, 135 of which are

contributing. Predominantly high-style, low-rise, early twentieth century commercial, civic, religious, and multi-family residential buildings formed a nexus of social activity and supported the various needs of the city's diverse population range in date of construction from 1860 to 1963. The district features multiple buildings designed by distinguished local architects including William Cadwell, Frederick Teich, Walter Crabtree, and George Zunner, as well as the firms Davis and Brooks and Perry and Bishop. Most of the resources are made of stone, brick, and concrete construction, reflecting late nineteenth to mid- twentieth century styles, including Beaux Arts, Romanesque Revival, Gothic Revival, Sullivanesque, Queen Anne, Italianate, and Art Deco. Two properties are small, urban public parks. It envelops 17 properties that are already listed on the National Register individually or as part of other districts. While several of the properties have been altered or demolished over the years, contributing buildings maintain their integrity of form and the resources in the district continue to convey evidence of a prosperous, early-mid-twentieth century commercial and civic center.

5 Arch Street

Packard Building

Downtown Historic District



Structure

Year Built: 1927

Style: Neo Gothic

Alterations: None

2022 Appraised Value: \$721,000

Materials: Brick, cut stone, or formed concrete

Structural System: Load bearing masonry

Roof Type: Flat

Roof Material: Built Up

of Stories: 2

Dimensions: 85' x 105'

Use

Current Use: Retail/Residential

Historical Use: Commercial

Private Ownership

Public Accessibility: Exterior from road and interior during business hours

Surrounding Environment

Sited at the corner of Walnut and Arch, where they meet with Main Street. Continues commercial mixed use of the area.



Significance

The design formula of this building is repeated many times in this area of Connecticut. It is not known if they are all from the same design.

The neo gothic styling of the building is significant.

41 Arch Street

Downtown Historic District



Structure

Year Built: c. 1900

Style: Astylistic

Alterations: Facade

2022 Appraised Value: \$1,861,000

Materials: Brick, masonry

Structural System: Load bearing masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 2

Dimensions: 126' x 139' L Shape

Use

Current Use: Retail/Apartments

Historical Use: Commercial

Private Ownership

Public Accessibility: Exterior from road and interior during business hours

Surrounding Environment

Sited on Arch Street near Main Street. Continues commercial mixed use of the area.



Significance

The building appears to have lost much of its stylistic integrity, but remains as an example of the building use of the past.

59 Arch Street

Vega Building

Downtown Historic District



Structure

Year Built: c. 1897

Style: Sullivanesque

Alterations: Unknown

2022 Appraised Value: \$606,100

Materials: Brick, Terra Cotta

Structural System: Load bearing masonry, Structural Iron or Steel

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 3

Dimensions: 54' x 98'

Use

Current Use: Retail/Apartments

Historical Use: Commercial and Meeting Hall

Private Ownership

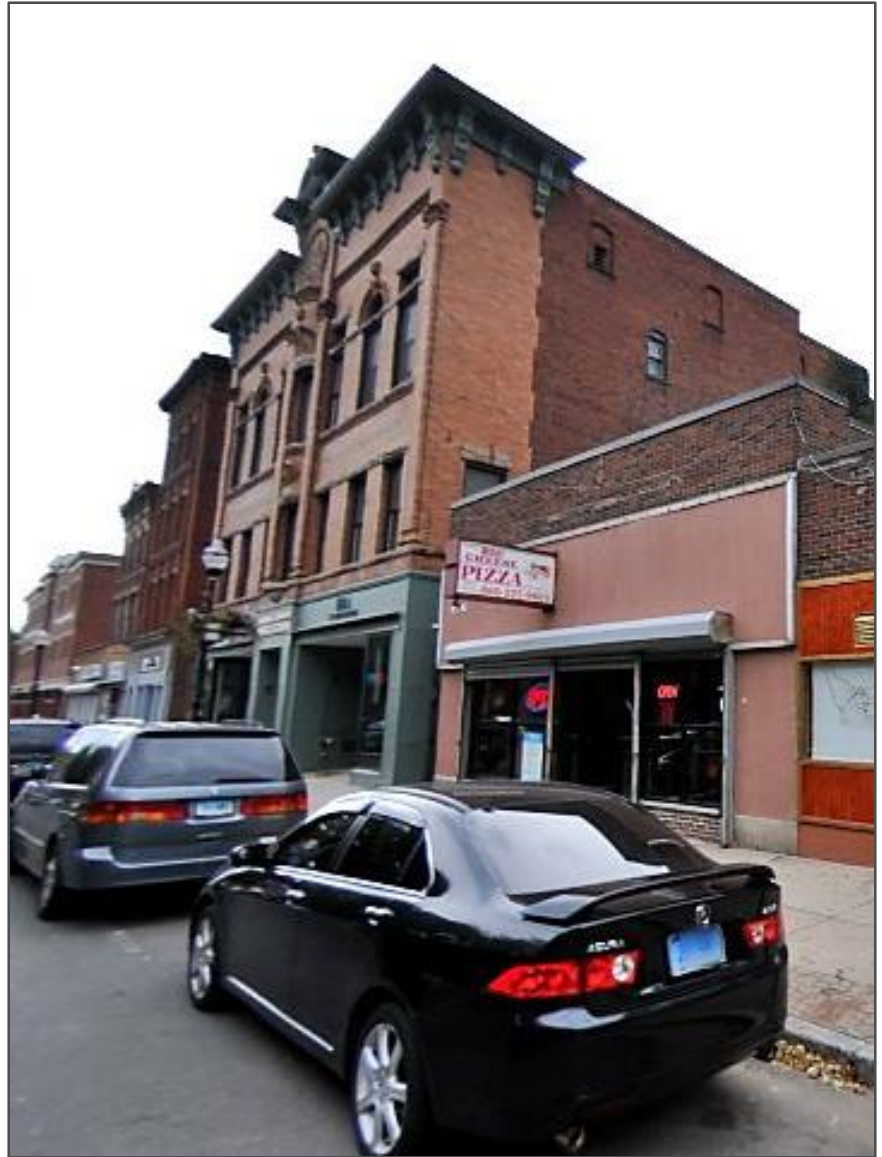
Public Accessibility: Exterior from road and interior during business hours

Surrounding Environment

Sited on Arch Street near Main Street. Continues commercial mixed use of the area.

Significance

The Vega Building was designed by the prominent New Britain Architect William H. Cadwell who started his career as an engineer and surveyor and then moved to architecture. His work is distinguished by the liberal use of the terra cotta decorative tiling, likely influence by Louis Sullivan, also known for his use of those elements.



This building was home to the Vega Benefit Society; one of the city's oldest Swedish organizations. It was initially founded as a welfare agency to assist in the location and settlement of Swedish-Americans in the late 19th century. Other organizations also had their meeting rooms in this building.

67 Arch Street

Goodrich's Block – McMillan's Block

Downtown Historic District



Structure

Year Built: c. 1890

Style: Victorian Commercial

Alterations: Unknown

2022 Appraised Value: \$463,500

Materials: Brick

Structural System: Load bearing masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 4

Dimensions: 24' x 92'

Use

Current Use: Office/Apartments

Historical Use: Commercial/Apartments

Private Ownership

Public Accessibility: Exterior from road and interior during business hours

Surrounding Environment

Sited on Arch Street near Main Street. Continues commercial mixed use of the area.



Significance

Brick work which may represent certain "gothic" structural forms, or English half timbering, developed in brick.

The building was first Goodrich's and by 1912 it was known as McMillan's. Later in 1923 it became Carlson's.

73 Arch Street

Parker's Block
Downtown Historic
District



Structure

Year Built: c. 1890

Style: Victorian Commercial with Arts & Crafts Details

Alterations: Store Fronts

2022 Appraised Value: \$387,000

Materials: Brick

Structural System: Load bearing masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 3

Dimensions: 56' x 92'

Use

Current Use: Office/Apartments

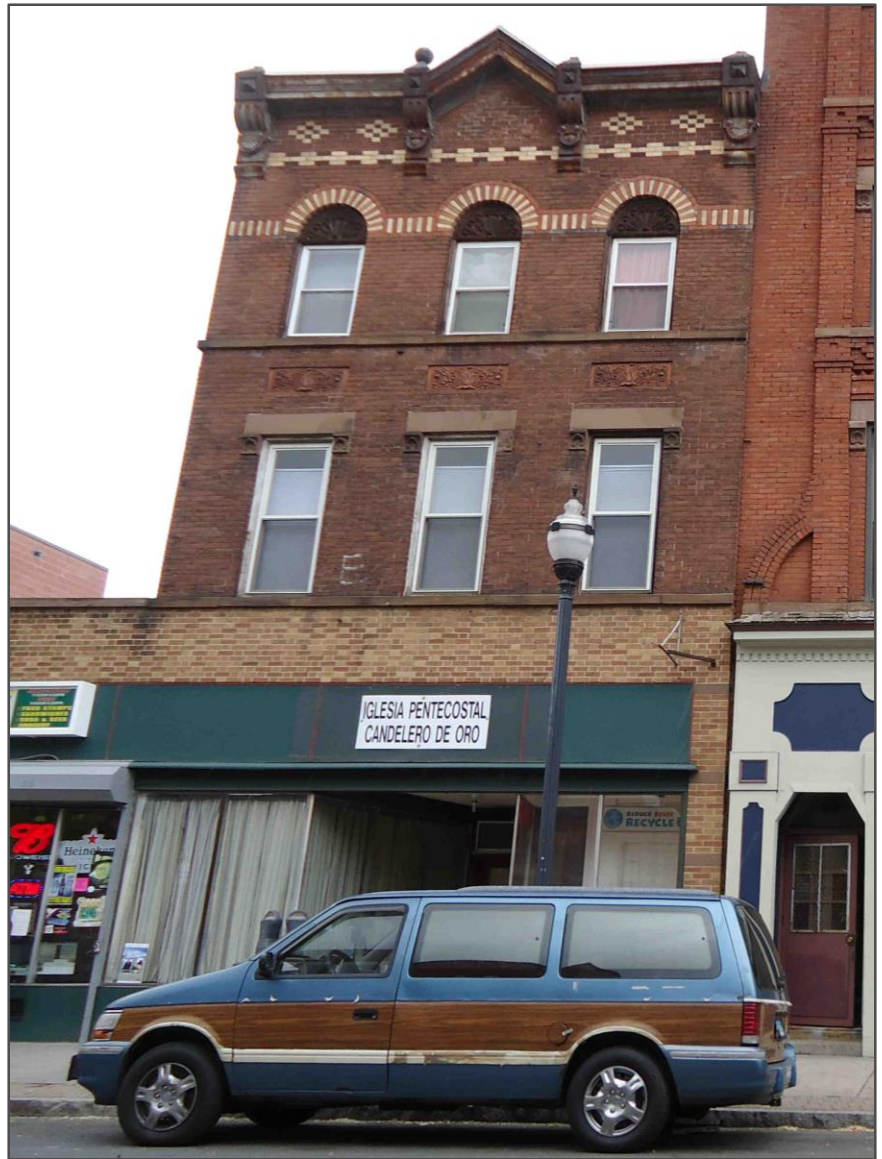
Historical Use: Commercial/Apartments

Private Ownership

Public Accessibility: Exterior from road and interior during business hours

Surrounding Environment

Sited on Arch Street near Main Street. Continues commercial mixed use of the area.



Significance

Façade has a interesting interpretation of fashionable elements for the period, using terra cotta and colored brick.

85 Arch Street

Williams' Brick Block / Judd's Block
Downtown Historic District



Structure

Year Built: c. 1890

Style: Commercial

Alterations: 2009 Façade changes

2022 Appraised Value: \$783,200

Materials: Brick, Concrete

Structural System: Load bearing masonry, Structural steel

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 3

Dimensions: 109' x 70'

Use

Current Use: Office/Apartments

Historical Use: Commercial/Apartments

Private Ownership

Public Accessibility: Exterior from road and interior during business hours

Surrounding Environment

Sited on Arch Street near Main Street. Continues commercial mixed use of the area.



Significance

This building provides an example of late 19th century commercial mixed use design. Though the original structure has been altered significantly by modern changes.

96 Arch Street

Alex Auto Supply Company

Downtown Historic District



Structure

Year Built: 1923

Style: Commercial

Alterations: Storefront

2022 Appraised Value: \$193,800

Materials: Brick

Structural System: Load bearing masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 2

Dimensions: 40' x 140'

Use

Current Use: Commercial

Historical Use: Auto Supply Shop

Private Ownership

Public Accessibility: Exterior from road and interior during business hours

Surrounding Environment

Sited on Arch Street. Continues commercial mixed use of the area.



Significance

The store front of this building was new and modern for its time.

The original owner was Harry Alex,,of Alex Auto Supply Company.

100 Arch Street

Downtown Historic District



Structure

Year Built: 1960

Style: Commercial

Alterations: Unknown

2022 Appraised Value: \$802,000

Materials: Brick

Structural System: Steel

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 2

Dimensions: 106' x 80'

Use

Current Use: Mosque

Historical Use: Office/Retail

Private Ownership

Public Accessibility: Exterior from road and interior during hours

Surrounding Environment

Sited on Arch Street among commercial and mixed use buildings. Some of them are of early 20th and late 19th century design.



Significance

This is a more modern building sited among more historic commercial buildings in the Downtown Historic District.

105 Arch Street

Downtown Historic District



Structure

Year Built: Unknown

Style: Parking Lot

Alterations: Unknown

2022 Appraised Value: \$142,300

Materials: Asphalt

Structural System: N/A

Roof Type: N/A

Roof Material: N/A

of Stories: N/A

Dimensions: 0.91 Acres

Use

Current Use: Parking Lot

Historical Use: Parking Lot

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sited on Arch Street among commercial and mixed use buildings. Some of them are of early 20th and late 19th century design.



Significance

Within the Downtown Historic District.

139 Arch Street

Downtown Historic District



Structure

Year Built: c. 1923

Style: Commercial, Auto Sales Room

Alterations: Unknown

2022 Appraised Value: \$346,600

Materials: Brick, Tile Decor

Structural System: Load bearing masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 1

Dimensions: 75' x 155'

Use

Current Use: Commercial Warehouse

Historical Use: Commercial

Private Ownership

Public Accessibility: Exterior from road and interior during business hours

Surrounding Environment

Sited on Arch Street. Continues commercial mixed use of the area.



Significance

This building was initially owned by M. D. Honeyman of Honeyman Auto Sales Company. Later in 1923 it was a grocery store owned by Max Berkowitz.

This type of building was constructed specifically for the display of new automobiles and was new for the 20th century.

Though the decoration of the façade is flat, it is representative of the modern ideal of the time.

140 Arch Street

Downtown Historic District



Structure

Year Built: Unknown

Style: Parking Lot

Alterations: Unknown

2022 Appraised Value: \$92,100

Materials: Asphalt

Structural System: N/A

Roof Type: N/A

Roof Material: N/A

of Stories: N/A

Dimensions: 0.56 Acres

Use

Current Use: Parking Lot

Historical Use: Parking Lot

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sited on Arch Street among commercial and mixed use buildings. Some of them are of early 20th and late 19th century design.



Significance

Within the Downtown Historic District.

145 Arch Street

Downtown Historic District



Structure

Year Built: c. 1920?

Style: Auto Service Shop

Alterations: Unknown

2022 Appraised Value: \$346,600

Materials: Brick, Concrete

Structural System: Load bearing masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 1

Dimensions: 39' x 110'

Use

Current Use: Service Shop

Historical Use: Service Shop

Private Ownership

Public Accessibility: Exterior from road and interior during business hours

Surrounding Environment

Sited on Arch Street. Many early 20th and late 19th century mixed use buildings are nearby.



Significance

This building is attached to 139 Arch Street and is located within the Downtown Historic District.

150 Arch Street

Downtown Historic District



Structure

Year Built: Unknown

Style: Parking Lot

Alterations: Unknown

2022 Appraised Value: \$40,200

Materials: Asphalt

Structural System: N/A

Roof Type: N/A

Roof Material: N/A

of Stories: N/A

Dimensions: 0.2 Acres

Use

Current Use: Parking Lot

Historical Use: Parking Lot

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sited on Arch Street among commercial and mixed use buildings. Some of them are of early 20th and late 19th century design.



Significance

Within the Downtown Historic District.

161 Arch Street

Downtown Historic District



Structure

Year Built: c. 1930

Style: Warehouse

Alterations: Unknown (Removal of upper stories?)

2022 Appraised Value: \$132,000

Materials: Brick, Masonry

Structural System: Load bearing masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 1

Dimensions: 71' x 63'

Use

Current Use: Warehouse

Historical Use: Retail/Apartments?

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sited on Arch Street. Many early 20th and late 19th century mixed use buildings are nearby.



Significance

This building is located within the Downtown Historic District.

168 Arch Street

Downtown Historic District



Structure

Year Built: 1906

Style: Beaux Arts, Neoclassical

Alterations: Store Fronts

2022 Appraised Value: \$784,000

Materials: Brick

Structural System: Load bearing masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 4

Dimensions: 65' x 138'

Use

Current Use: Retail/Apartments

Historical Use: Retail/Apartments

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sited on Arch Street. Many early 20th and late 19th century mixed use buildings are nearby.



Significance

Philip Bardeck, had a billiard hall and a wholesale ale and lager saloon on Arch Street before he built this structure. Presumably he continued this business. In 1912 the Nelson Café was in this building, ran by Hilding Nelson. The establishment included pool rooms and a bowling alley.

The exuberant and decorated façade was typical of the time.

176 Arch Street

Downtown Historic District



Structure

Year Built: 1906

Style: Beaux Arts, Neoclassical

Alterations: Store Fronts

2022 Appraised Value: \$31,100

Materials: Brick

Structural System: Load bearing masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 1

Dimensions: 25' x 75'

Use

Current Use: Vacant

Historical Use: Commercial

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sited on Arch Street. Many early 20th and late 19th century mixed use buildings are nearby.



Significance

This building is attached to 168 Arch Street, was built at the same time. It shares some design elements but details have been lost.

184 Arch Street

Downtown Historic District



Structure

Year Built: 1955

Style: Auto Shop

Alterations: Unknown

2022 Appraised Value: \$60,600

Materials: Concrete

Structural System: Load bearing masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 1

Dimensions: 45' x 31'

Use

Current Use: Vacant

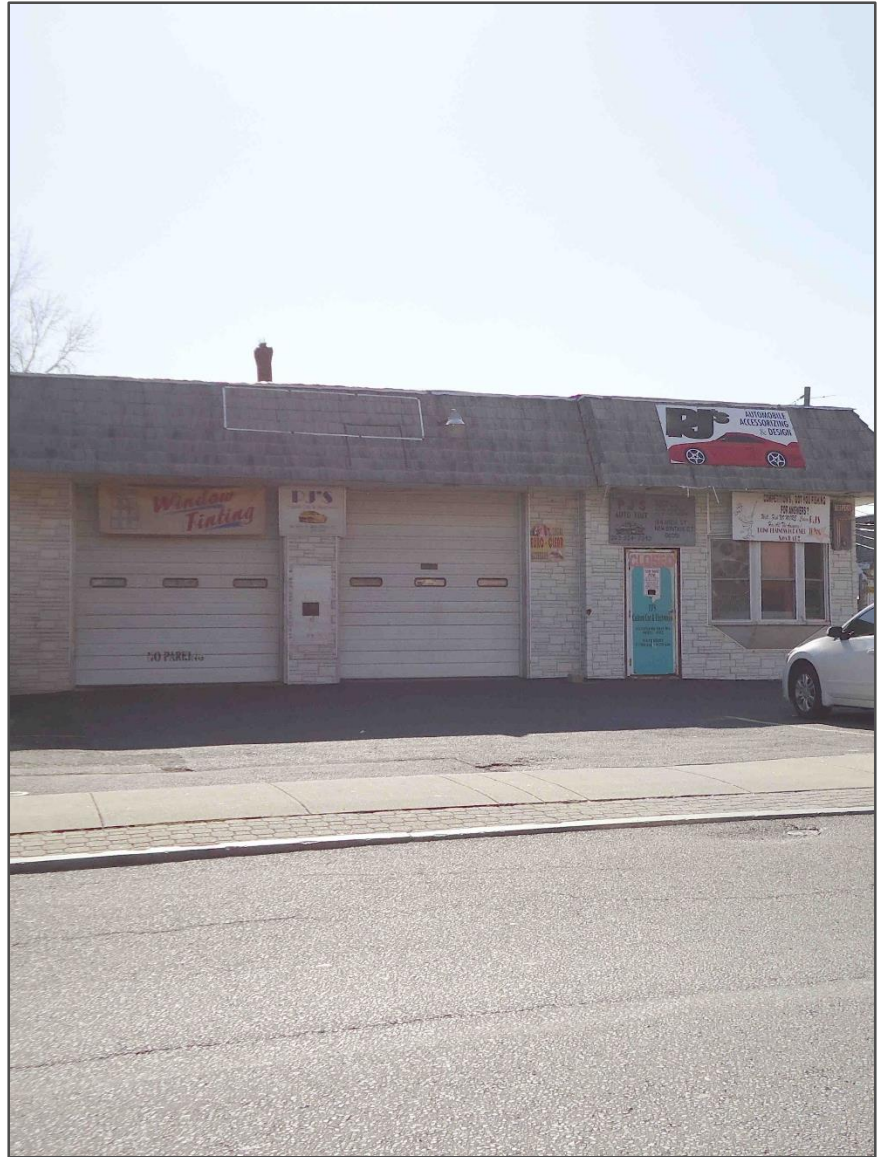
Historical Use: Service Shop

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sited on Arch Street. Many early 20th and late 19th century mixed use buildings are nearby.



Significance

This building was more recently built than some in the area. It is located within the Downtown Historic District.

191 Arch Street

Downtown Historic District



Structure

Year Built: 1900

Style: Sullivanesque Commercial

Alterations: Windows

2022 Appraised Value: \$1,420,900

Materials: Brick, Pressed Metal

Structural System: Load bearing masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 3

Dimensions: approx. 74' x 164'

Use

Current Use: Office

Historical Use: Offices, Meeting Hall

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sited on Arch Street. Many early 20th and late 19th century mixed use buildings are nearby.



Significance

This lot contains two buildings. A plainer red brick two story building and a more decorated three story building.

The three story buildings design is attributed to William Cadwell, prominent New Britain architect. Many stylistic details are similar to ones that are documented as being designed by Cadwell.

210 Arch Street

Downtown Historic District



Structure

Year Built: c. 1870

Style: Victorian Commercial

Alterations: Relieving arches filled in

2022 Appraised Value: \$974,700

Materials: Brick

Structural System: Load bearing masonry

Roof Type: Flat

Roof Material: Roll Roofing

of Stories: 4

Dimensions: approx. 69' x 52'

Use

Current Use: Apartments

Historical Use: Apartments

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sited on Arch Street. Many early 20th and late 19th century mixed use buildings are nearby.



Significance

Very possibly this is the first tenement or apartment house built on Arch Street. It is in remarkably good condition and preserves its architectonic message.

The brick store on the south side of the building was added by the owner D. Galati in 1922.

222 Arch Street

Downtown Historic District



Structure

Year Built: Unknown

Style: Parking Lot

Alterations: Unknown

2022 Appraised Value: \$40,200

Materials: Asphalt

Structural System: N/A

Roof Type: N/A

Roof Material: N/A

of Stories: N/A

Dimensions: 0.2 Acres

Use

Current Use: Parking Lot

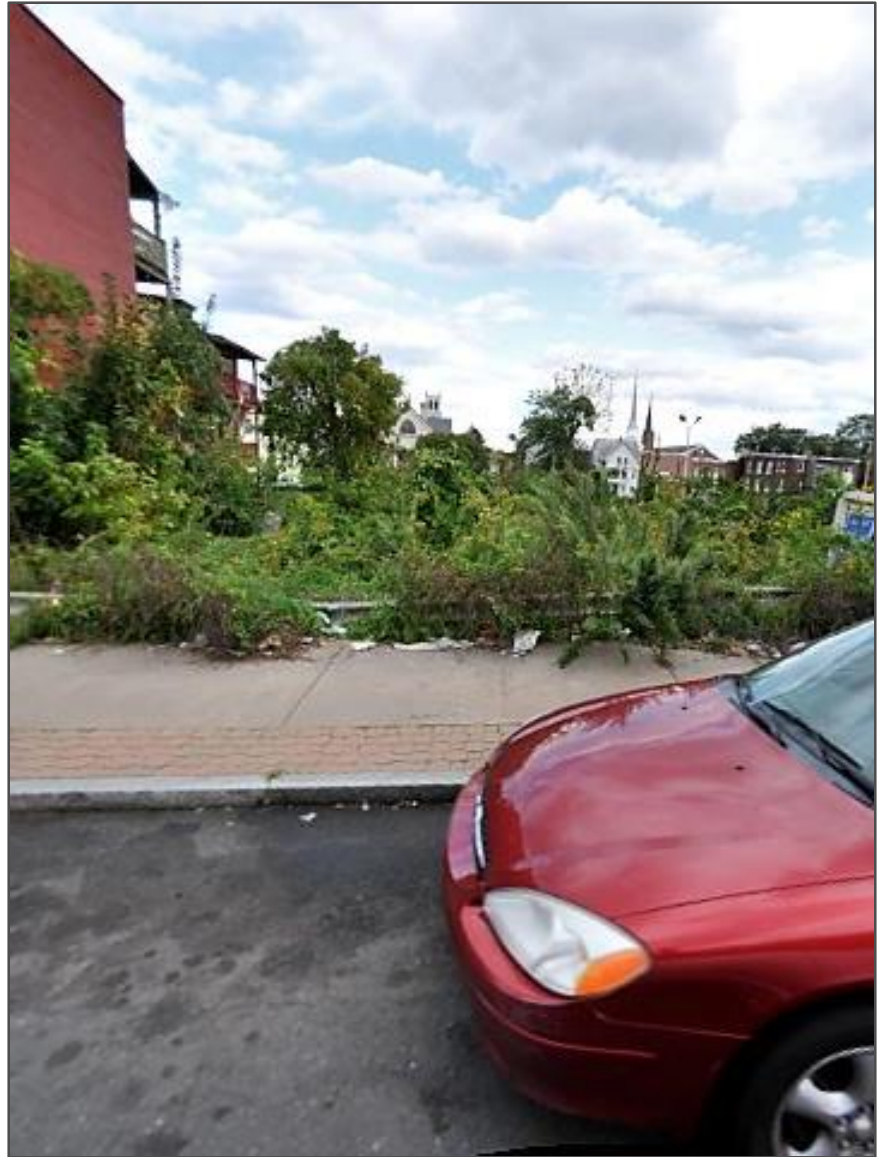
Historical Use: Parking Lot

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sited on Arch Street among commercial and mixed use buildings. Some of them are of early 20th and late 19th century design.



Significance

Within the Downtown Historic District.

225 Arch Street

Downtown Historic District



Structure

Year Built: 1928

Style: Commercial

Alterations: Windows, Stucco

2022 Appraised Value: \$2,970,900

Materials: Brick

Structural System: Load bearing masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 2

Dimensions: approx. 94' x 124'

Use

Current Use: Fire Station

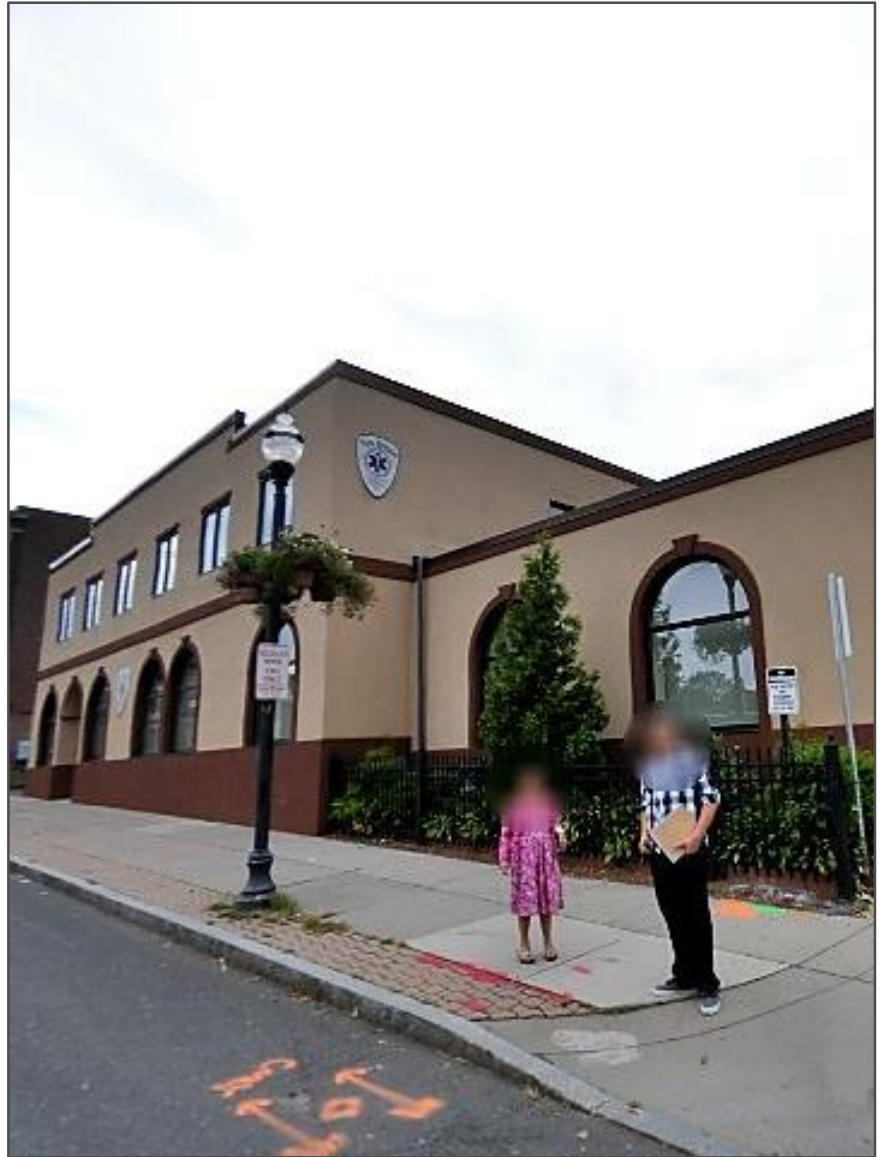
Historical Use: Store/Showroom

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sited on Arch Street. Many early 20th and late 19th century mixed use buildings are nearby.



Significance

This structure was originally a one store brick 30' x 51' showroom for Willard H. Eddy of Eddy Awning and Decoration Company. It was one of the few documented structures designed by Max J. Unkelbach, who started his career as first assistant to William H. Cadwell and by World War One had set up his own office.

Little remains of this original design.

228 Arch Street

Downtown Historic District



Structure

Year Built: Unknown

Style: Parking Lot

Alterations: Unknown

2022 Appraised Value: \$300

Materials: Asphalt

Structural System: N/A

Roof Type: N/A

Roof Material: N/A

of Stories: N/A

Dimensions: 0.02 Acres

Use

Current Use: Parking Lot

Historical Use: Parking Lot

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sited on Arch Street among commercial and mixed use buildings. Some of them are of early 20th and late 19th century design.



Significance

Within the Downtown Historic District.

232 Arch Street

Downtown Historic District



Structure

Year Built: c. 1916

Style: Parking Lot

Alterations: Store fronts

2022 Appraised Value: \$517,800

Materials: Brick, Concrete, Pressed Metal

Structural System: Load bearing masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 4

Dimensions: approx. 42' x 60'

Use

Current Use: Homeless Shelter

Historical Use: Commercial/Apartments

Private Ownership

Public Accessibility: Exterior from road, Interior during hours

Surrounding Environment

Sited on Arch Street among commercial and mixed use buildings. Some of them are of early 20th and late 19th century design.



Significance

This building is an example of Renaissance inspired architecture.

250 Arch Street

Downtown Historic District



Structure

Year Built: c. 1910

Style: Astylistic

Alterations: Unknown

2022 Appraised Value: \$918,000

Materials: Brick, Concrete, Pressed Metal

Structural System: Load bearing masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 1

Dimensions: approx. 60' x 100'

Use

Current Use: Church

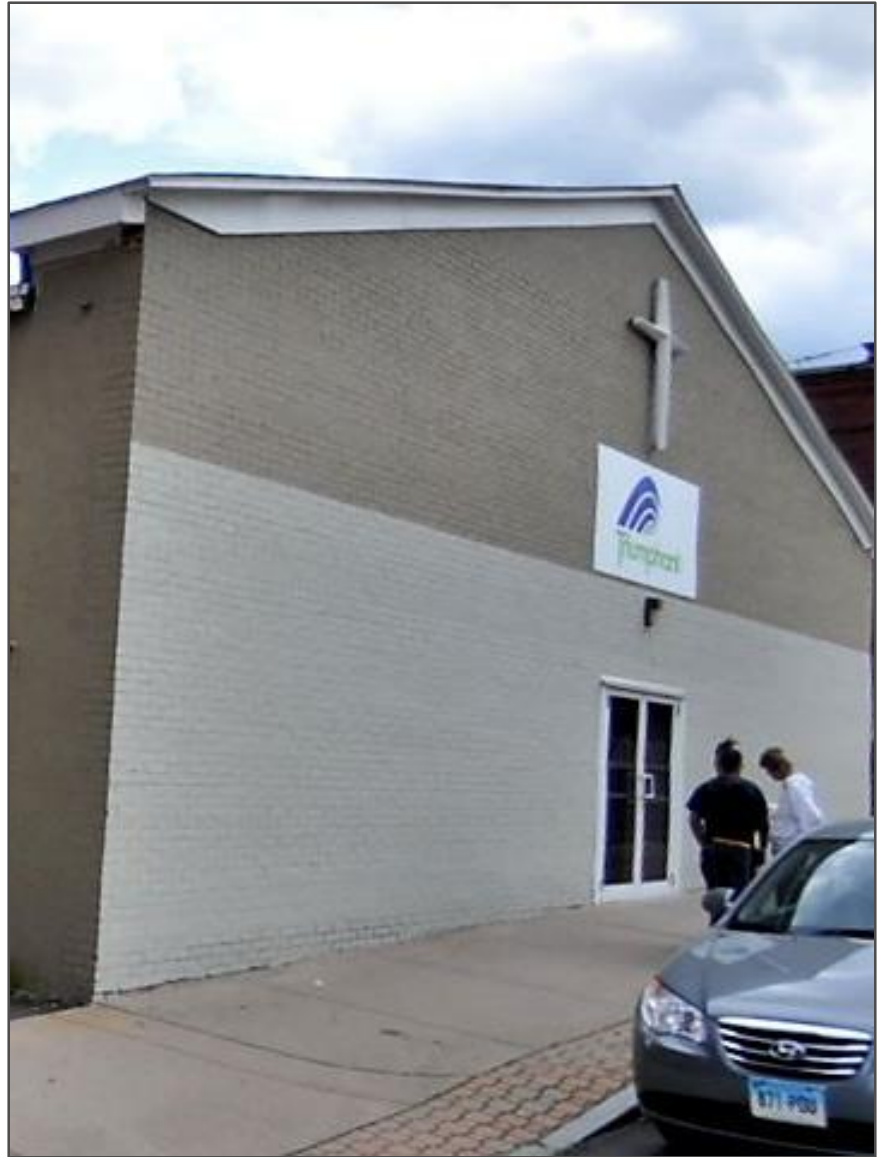
Historical Use: Unknown

Private Ownership

Public Accessibility: Exterior from road, Interior during services

Surrounding Environment

Sited on Arch Street among commercial and mixed use buildings. Some of them are of early 20th and late 19th century design.



Significance

This is an older construction in the Downtown Historic District.

266 Arch Street

Downtown Historic District



Structure

Year Built: 1911

Style: Beaux Arts

Alterations: Unknown

2022 Appraised Value: \$237,800

Materials: Brick, Pressed Metal

Structural System: Load bearing masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 2

Dimensions: approx. 40' x 200'

Use

Current Use: Commercial/Apartments

Historical Use: Union Laundry Business

Private Ownership

Public Accessibility: Exterior from road, Storefronts during business hours

Surrounding Environment

Sited on Arch Street among commercial and mixed use buildings. Some of them are of early 20th and late 19th century design.



Significance

This building was previously the location for the Union Laundry Corporation in 1912, of which Joseph S. Bennett was President & Treasurer. Later in 1923 it was the New Britain Shirt Manufacturing Company.

282 and 284 Arch Street

Downtown Historic District



Structure

Year Built: c. 1920

Style: Italianate

Alterations: Aluminum Siding, Storefronts

2022 Appraised Value: \$211,600

Materials: Brick, Aluminum Siding

Structural System: Load bearing masonry, Wood Frame

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 2

Dimensions: approx. 40' x 58'

Use

Current Use: Commercial/Apartments

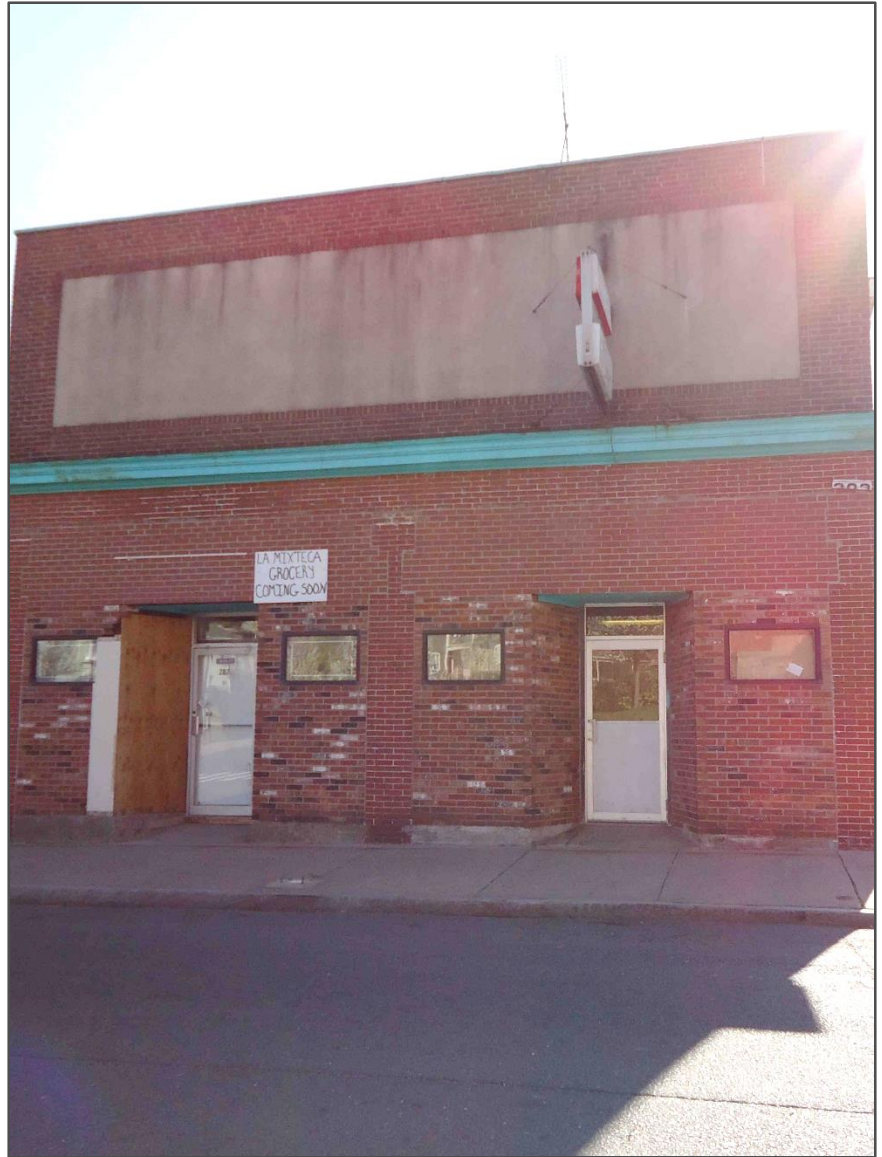
Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road, Storefronts during hours

Surrounding Environment

Sited on Arch Street among commercial and mixed use buildings. Some of them are of early 20th and late 19th century design.



Significance

Attached to the rear of these brick storefronts is an Italianate style home that is now apartments. Further back on the property is another Italianate style two family home.

On top of the building is an intact elaborate cupola.

295 Arch Street

Saint John's Lutheran Church

Downtown Historic District



Structure

Year Built: 1897

Style: Gothic

Alterations: None

2022 Appraised Value: \$2,064,900

Materials: Brick, Brownstone

Structural System: Load bearing masonry

Roof Type: Gable

Roof Material: Slate

of Stories: 1

Dimensions: approx. 51' x 68'

Use

Current Use: Church

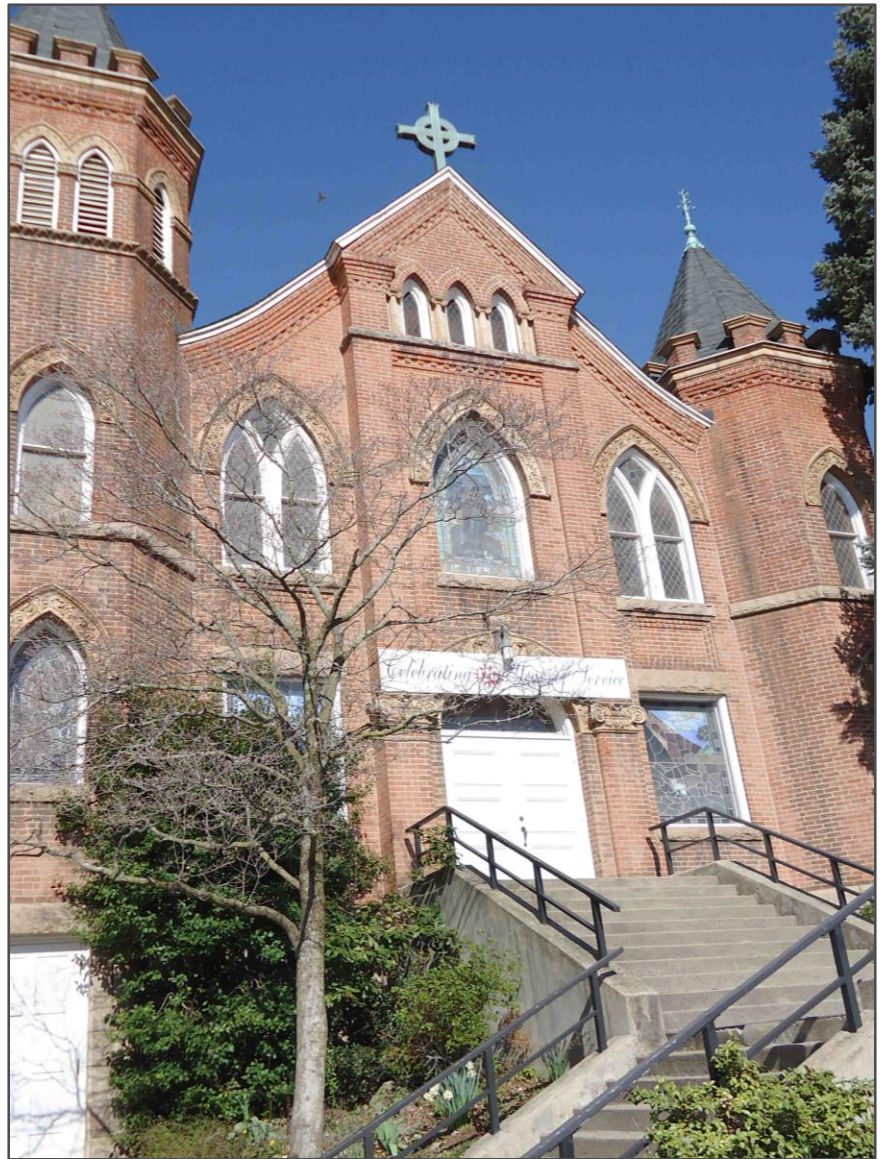
Historical Use: Church

Private Ownership

Public Accessibility: Exterior from road,
Interior during services

Surrounding Environment

Sited on Arch Street among commercial and mixed use buildings. Some of them are of early 20th and late 19th century design.



Significance

Originally founded in 1892 by the German immigrant community of New Britain. The church was built five years later and has served the community ever since.

296 Arch Street

Downtown Historic District



Structure

Year Built: c. 1940

Style: Retail

Alterations: Store front

2022 Appraised Value: \$543,500

Materials: Stucco, Concrete blocks

Structural System: Load bearing masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 1

Dimensions: approx. 72' x 132'

Use

Current Use: Church

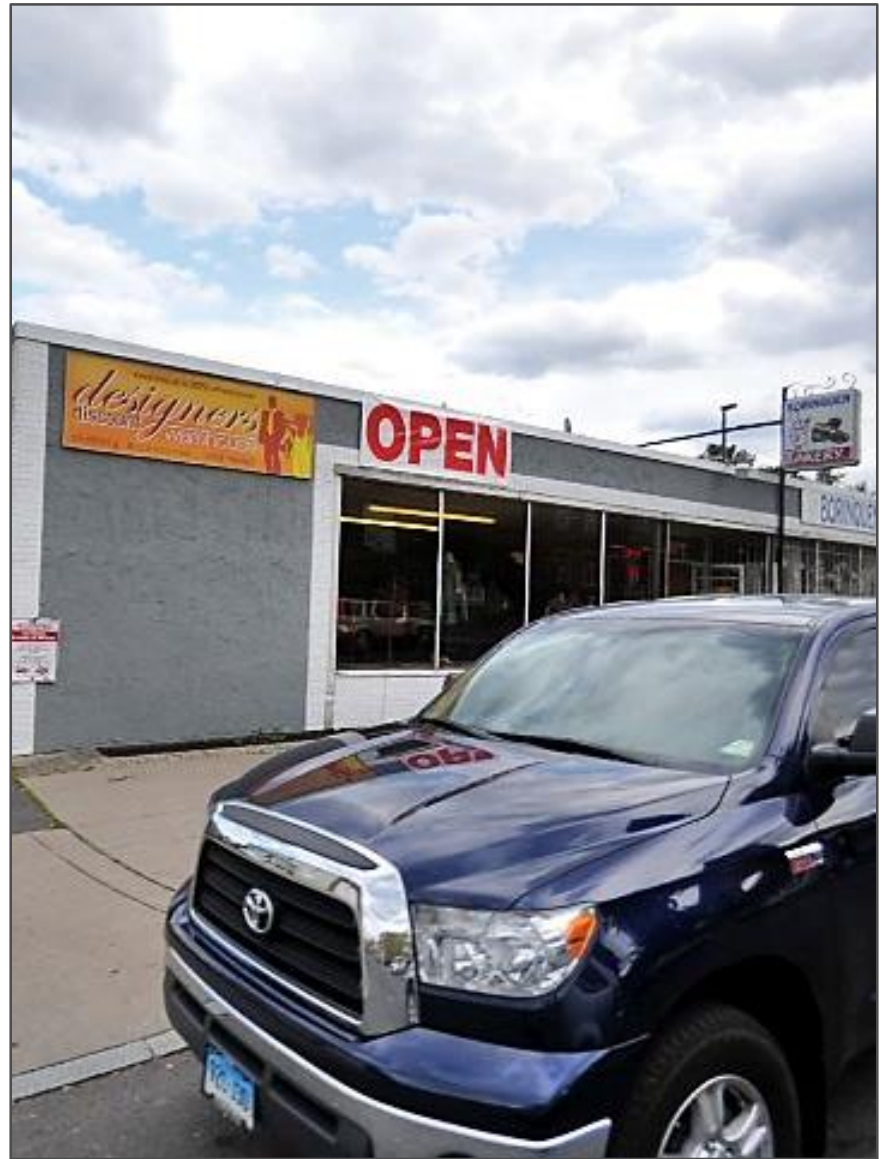
Historical Use: Commercial

Private Ownership

Public Accessibility: Exterior from road,
Interior during services

Surrounding Environment

Sited on Arch Street among commercial and mixed use buildings. Some of them are of early 20th and late 19th century design.



Significance

This building is an example of a 1940's contemporary retail style.

310 Arch Street

Downtown Historic District



Structure

Year Built: Unknown

Style: Parking Lot

Alterations: Unknown

2022 Appraised Value: \$51,200

Materials: Asphalt

Structural System: N/A

Roof Type: N/A

Roof Material: N/A

of Stories: N/A

Dimensions: 0.45 Acres

Use

Current Use: Parking Lot

Historical Use: Parking Lot

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sited on Arch Street among commercial and mixed use buildings. Some of them are of early 20th and late 19th century design.



Significance

Within the Downtown Historic District.

336 Arch Street

Downtown Historic District



Structure

Year Built: 1962

Style: Office Mixed Use

Alterations: Unknown

2022 Appraised Value: \$435,400

Materials: Vinyl Siding, Brick

Structural System: Load bearing masonry

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 62' x 102'

Use

Current Use: Office/Residential

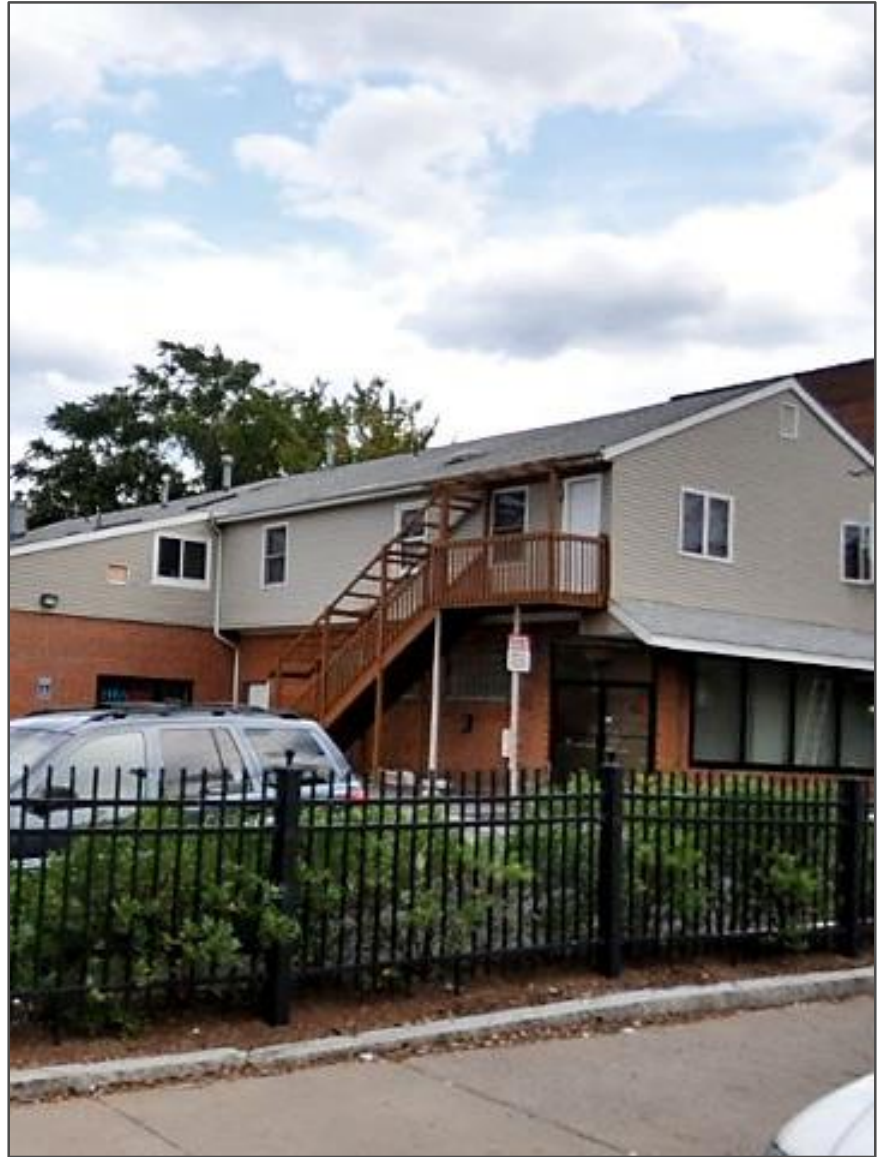
Historical Use: Office/Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sited on Arch Street among commercial and mixed use buildings. Some of them are of early 20th and late 19th century design.



Significance

A more recent construction for the neighborhood. Fits in to the mixed use character of the district.

340 Arch Street

Downtown Historic District



Structure

Year Built: c. 1920

Style: "moderne" commercial

Alterations: Store fronts

2022 Appraised Value: \$491,300

Materials: Brick

Structural System: Load bearing masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 3

Dimensions: approx. 31' x 73'

Use

Current Use: Retail/Apartments

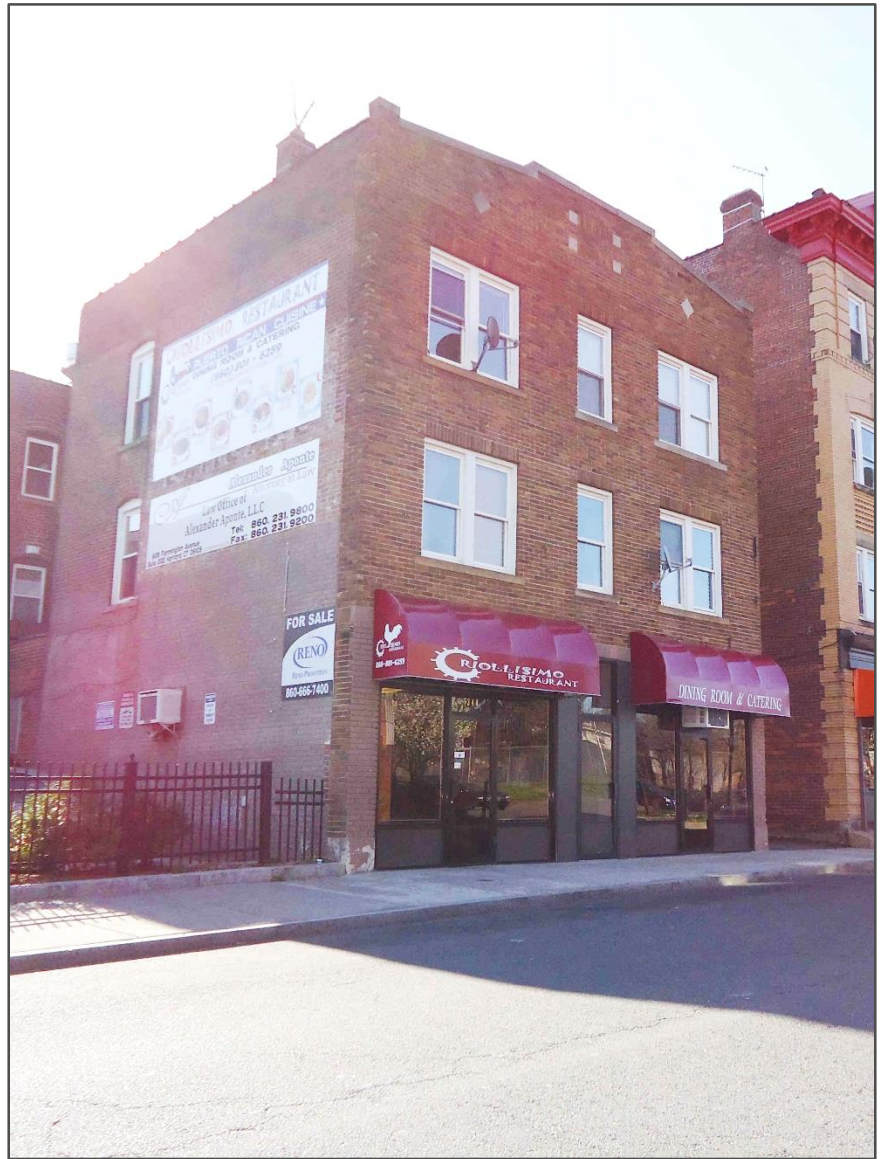
Historical Use: Retail/Apartments

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sited on Arch Street among commercial and mixed use buildings. Some of them are of early 20th and late 19th century design.



Significance

This building displays design elements typical of commercial structures of the time.

345 Arch Street

Downtown Historic District



Structure

Year Built: 1889

Style: Victorian Commercial Style

Alterations: Store front

2022 Appraised Value: \$389,900

Materials: Vinyl Siding, Brick

Structural System: Load bearing masonry

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 3

Dimensions: approx. 26' x 69'

Use

Current Use: Retail/Apartments

Historical Use: Retail/Apartments

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sited on Arch Street among commercial and mixed use buildings. Some of them are of early 20th and late 19th century design.



Significance

This building displays design elements typical of commercial structures of the time.

352 Arch Street

Downtown Historic District



Structure

Year Built: c. 1911

Style: Beaux Arts

Alterations: Store fronts

2022 Appraised Value: \$760,400

Materials: Brick, Pressed Metal Cornice

Structural System: Load bearing masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 4

Dimensions: approx. 53' x 67'

Use

Current Use: Retail/Apartments

Historical Use: Retail/Apartments

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sited on Arch Street among commercial and mixed use buildings. Some of them are of early 20th and late 19th century design.



Significance

This building has an intricate façade representative of the Beaux Arts style.

368 Arch Street

Downtown Historic District



Structure

Year Built: c. 1900

Style: Italianate

Alterations: Vinyl Siding, Entryway

2022 Appraised Value: \$239,100

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 3

Dimensions: approx. 27' x 41'

Use

Current Use: Three Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sited on Arch Street among commercial and mixed use buildings. Some of them are of early 20th and late 19th century design.



Significance

Though there have been alterations this building still maintains many of its characteristic Italianate features.

374 Arch Street

Downtown Historic District



Structure

Year Built: c. 1900

Style: Italianate

Alterations: Vinyl Siding, Entryway

2022 Appraised Value: \$185,600

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 20' x 33'

Use

Current Use: Three Family

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sited on Arch Street among commercial and mixed use buildings. Some of them are of early 20th and late 19th century design.



Significance

Though there have been alterations this building still maintains many of its characteristic Italianate features.

380 Arch Street

Downtown Historic District



Structure

Year Built: c. 1859

Style: Brick Mid 19th Century Vernacular

Alterations: Vinyl Siding, Entryway

2022 Appraised Value: \$348,500

Materials: Brick, Sandstone

Structural System: Load bearing masonry

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 34' x 50'

Use

Current Use: Retail/Apartments

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sited on Arch Street among commercial and mixed use buildings. Some of them are of early 20th and late 19th century design.



Significance

Store fronts are potentially still original from the original addition in 1921. The architect for said project was the well known New Britain professional Louis Oldershaw, it was built by Conrad Cianci, a well known new Britain builder.

The building still retains its original detailing.

406 Arch Street

Downtown Historic District



Structure

Year Built: Unknown

Style: Vacant Lot

Alterations: Unknown

2022 Appraised Value: \$51,200

Materials: N/A

Structural System: N/A

Roof Type: N/A

Roof Material: N/A

of Stories: N/A

Dimensions: 0.2 Acres

Use

Current Use: Vacant Lot

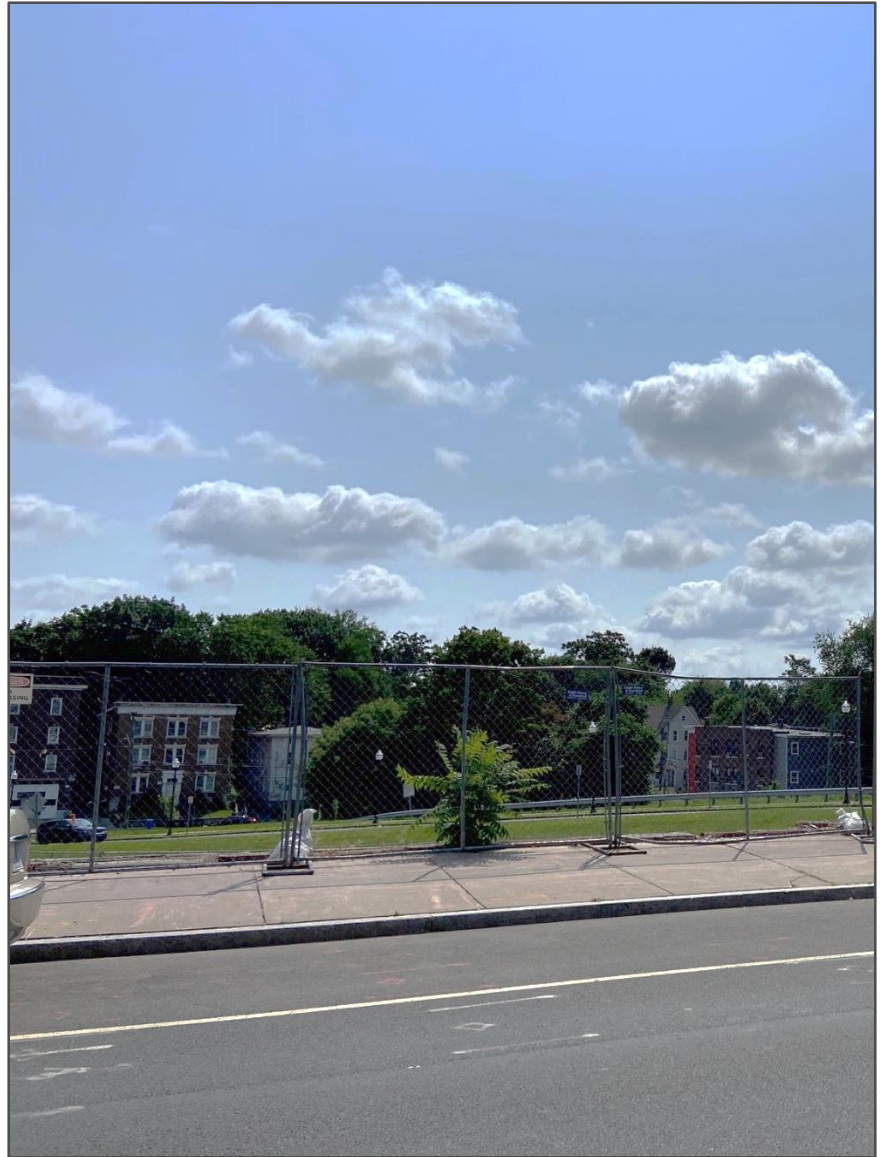
Historical Use: Retail/Apartments

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sited on Arch Street among commercial and mixed use buildings. Some of them are of early 20th and late 19th century design.



Significance

This site used to be the location of a 4 story mixed use building constructed around 1910. It is located within the Downtown Historic District.

414 Arch Street

Downtown Historic District



Structure

Year Built: Unknown

Style: Vacant Lot

Alterations: Unknown

2022 Appraised Value: \$1,200

Materials: N/A

Structural System: N/A

Roof Type: N/A

Roof Material: N/A

of Stories: N/A

Dimensions: 0.08 Acres

Use

Current Use: Vacant Lot

Historical Use: Unknown

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sited on Arch Street among commercial and mixed use buildings. Some of them are of early 20th and late 19th century design.



Significance

Located within the Downtown Historic District.

50 Bassett Street

New Britain High School

Downtown Historic District



Structure

Year Built: 1896

Style: Classical Revival, Tudor

Alterations: Additions (1916, 1923, 1930, 1934-39)

2022 Appraised Value: \$16,359,900

Materials: Brick, Cut stone

Structural System: Load Bearing Masonry

Roof Type: Flat, Hip

Roof Material: T&G/Rubber

of Stories: 3

Dimensions: approx. 485' x 166'

Use

Current Use: Apartments

Historical Use: School

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

On a very large lot between Bassett and South Main Streets. Nearby are many residential properties in mid to late 19th century styles.



Significance

This structure was New Britain's High School for over 70 years. It was built to replace the overcrowded previous school. The initial building had classrooms, a library, a gymnasium, laboratory and an assembly hall.

The design of the building in Classical Revival style the detailed brickwork as an example of local craftsmanship make this building architecturally significant.

27 Columbus Boulevard

National Wire Mattress Factory

Downtown Historic District



Structure

Year Built: Pre 1884

Style: 19th Century Factory

Alterations: Windows blocked, entrances changed, general alterations

2022 Appraised Value: \$707,100

Materials: Brick

Structural System: Load Bearing Masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 4

Dimensions: approx. 275' x 225'

Use

Current Use: Industrial

Historical Use: Factory

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sited in downtown with Route 72 bordering to the north. Nearby are various institutional properties in a variation of styles.



Significance

This building was the location of the National Wire Mattress Company. The National Wire Mattress Co. was organized in 1872 and turned wire, sheet, and bar stock into springs and underframes for mattresses. None of the initial factory buildings survive, but some late 19th century structures survive. The company failed in 1897 and was reorganized in 1898 as National Springbed Company, and more structures were added to the site. National Springbed lasted until 1918 and other manufacturers have used the buildings since.

53 Columbus Boulevard

Downtown Historic District



Structure

Year Built: 1975

Style: Brick Mixed Use

Alterations: Unknown

2022 Appraised Value: \$141,200

Materials: Brick

Structural System: Load Bearing Masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 2

Dimensions: approx. 60' x 21'

Use

Current Use: Office

Historical Use: Office/Apartments

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sited in downtown with Route 72 bordering to the north. Nearby are various institutional and commercial properties in a variation of styles.



Significance

This building is located in the heart of downtown in the historical district.

25 Court Street

Downtown Historic District



Structure

Year Built: c. 1880

Style: Gothic Revival

Alterations: Unknown

2022 Appraised Value: \$275,300

Materials: Brick

Structural System: Balloon

Roof Type: Flat topped hip, Gable

Roof Material: Asphalt Shingle

of Stories: 3

Dimensions: approx. 40' x 71'

Use

Current Use: Office

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sited in downtown near Main Street.

Nearby are various commercial and mixed use properties in a variation of styles.



Significance

This building is an example of Victorian Gothic with many bands of decoration and varied roofline.

It was built as the home of Frederick G. Platt. Platt was the Treasurer and then the President of New Britain Lumber and Coal Company, as well as being the Treasurer of J.T. Case Engine Company, and the President of New Britain Machine Company.

In 1895 it was the home of Harriet N. Merwin, the widow of Charles P. Merwin, a brick manufacturer and the owner of Berlin Steam Brick Works.

33 Court Street

Downtown Historic District



Structure

Year Built: c. 1883

Style: Second Empire

Alterations: Porch Removed

2022 Appraised Value: \$192,900

Materials: Brick

Structural System: Balloon

Roof Type: Mansard

Roof Material: Asphalt Shingle

of Stories: 3

Dimensions: approx. 33' x 58'

Use

Current Use: Office

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sited in downtown near Main Street. Nearby are various commercial and mixed use properties in a variation of styles.



Significance

This building is a good example of the Second Empire Style. It is typical of the type of housing the new wealth of the New Britain Manufacturers had built for themselves, within easy access of their plants.

Henry P. Strong, President of Railroad Block Company, and partner of neighbor F. G. Platt in that business.

35 Court Street

Downtown Historic District



Structure

Year Built: c. 1934

Style: 1930's commercial style

Alterations: Façade openings

2022 Appraised Value: \$286,500

Materials: Brick

Structural System: Load Bearing
Masonry, Balloon

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 2

Dimensions: approx. 45' x 65'

Use

Current Use: Office

Historical Use: Commercial/Offices

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sited in downtown near Main Street. Nearby are various commercial and mixed use properties in a variation of styles.



Significance

This building is an example of commercial style architecture around the time of 1930.

40 Court Street

Downtown Historic District



Structure

Year Built: 1941

Style: Art Deco, Art Moderne, Commercial Style

Alterations: Unknown

2022 Appraised Value: \$1,287,700

Materials: Brick

Structural System: Load Bearing Masonry, Balloon

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 3

Dimensions: approx. 116' x 91'

Use

Current Use: Office

Historical Use: Office

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sited in downtown near Main Street.

Nearby are various commercial and mixed use properties in a variation of styles.



Significance

This building was designed by prominent local architect Douglas Orr. It is one of 44 local telephone exchanges designed by the architect between 1926 and 1965.

41 Court Street

Downtown Historic District



Structure

Year Built: Unknown

Style: Parking Lot

Alterations: Unknown

2022 Appraised Value: \$84,300

Materials: Asphalt

Structural System: N/A

Roof Type: N/A

Roof Material: N/A

of Stories: N/A

Dimensions: 0.26 Acres

Use

Current Use: Parking Lot

Historical Use: Parking Lot

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sited in downtown near Main Street. Nearby are various commercial and mixed use properties in a variation of styles.



Significance

Within the Downtown Historic District.

50 Court Street

Downtown Historic District



Structure

Year Built: Unknown

Style: Parking Lot

Alterations: Unknown

2022 Appraised Value: \$86,200

Materials: Asphalt

Structural System: N/A

Roof Type: N/A

Roof Material: N/A

of Stories: N/A

Dimensions: 0.3 Acres

Use

Current Use: Parking Lot

Historical Use: Parking Lot

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sited in downtown near Main Street. Nearby are various commercial and mixed use properties in a variation of styles.



Significance

Within the Downtown Historic District.

51 Court Street

Downtown Historic District



Structure

Year Built: Unknown

Style: Parking Lot

Alterations: Unknown

2022 Appraised Value: \$3,200

Materials: Asphalt

Structural System: N/A

Roof Type: N/A

Roof Material: N/A

of Stories: N/A

Dimensions: 0.03 Acres

Use

Current Use: Parking Lot Easement

Historical Use: Unknown

Public Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sited in downtown near Main Street. Nearby are various commercial and mixed use properties in a variation of styles.



Significance

Within the Downtown Historic District.

3 Franklin Square

Downtown Historic District



Structure

Year Built: c. 1900

Style: Neo classical

Alterations: Unknown

2022 Appraised Value: \$210,000

Materials: Brick

Structural System: Load Bearing
Masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 2

Dimensions: approx. 54' x 52' Triangle

Use

Current Use: Office/Retail

Historical Use: Retail Mixed Use

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

At the corner where Main Street and Franklin Square meet. The corner site contains some of the furthest south mixed use buildings in the Historic District.



Significance

This building has some stylistic neo classical influences, and fits in to the mixed use character of its neighborhood.

7 Franklin Square

Downtown Historic District



Structure

Year Built: c. 1895

Style: Beaux Arts/ Sullivanesque

Alterations: Loss of details on façade

2022 Appraised Value: \$357,700

Materials: Brick, Stucco, Cut stone

Structural System: Load Bearing Masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 2

Dimensions: approx. 71' x 62'

Use

Current Use: Office/Retail

Historical Use: Retail Mixed Use

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

At the corner where Main Street and Franklin Square meet. The corner site contains some of the furthest south mixed use buildings in the Historic District.



Significance

This building's design is attributed to William Cadwell. It shares many similarities to the documented work of Cadwell. Such as the type of brick, now covered, and the use of terra cotta trim over the windows.

19 Franklin Square

Downtown Historic District



Structure

Year Built: 1962

Style: Contemporary Blend

Alterations: Additions

2022 Appraised Value: \$7,516,000

Materials: Brick

Structural System: Load Bearing
Masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 2

Dimensions: approx. 275' x 155'

Use

Current Use: Charitable

Historical Use: Charitable

Private Ownership

Public Accessibility: Exterior from road,
Interior during hours

Surrounding Environment

Sits on Franklin Square, religious buildings are to the south and mixed use buildings commercial buildings are to the north. Many buildings were built in the early 20th century.



Significance

This building is a more recent construction with several newer additions. It is located within the Downtown Historic District.

45 Franklin Square

Downtown Historic District



Structure

Year Built: 1861

Style: Italianate

Alterations: Enlarged

2022 Appraised Value: \$575,600

Materials: Clapboards, brick

Structural System: Balloon, Load bearing masonry

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 51' x 82'

Use

Current Use: Funeral Home

Historical Use: Parsonage

Private Ownership

Public Accessibility: Exterior from road, Interior during hours

Surrounding Environment

Sits on Franklin Square, religious buildings are to the south and mixed use buildings commercial buildings are to the north. Many buildings were built in the early 20th century.



Significance

This building was constructed in 1861 by the Vila Company, a group of South Church business men. It was built as a parsonage for the Reverend and Mrs. Constans L Goodell. It was a trend at the time for residential development in Franklin Square.

77 Franklin Square

First Lutheran Church

Downtown Historic District



Structure

Year Built: 1906

Style: Neo-Gothic

Alterations: No

2022 Appraised Value: \$7,220,900

Materials: Granite (smooth and rough cut)

Structural System: Iron or Steel

Roof Type: Gable

Roof Material: Slate

of Stories: 4

Dimensions: 57' x 103'

Use

Current Use: Religious

Historical Use: Religious

Private Ownership

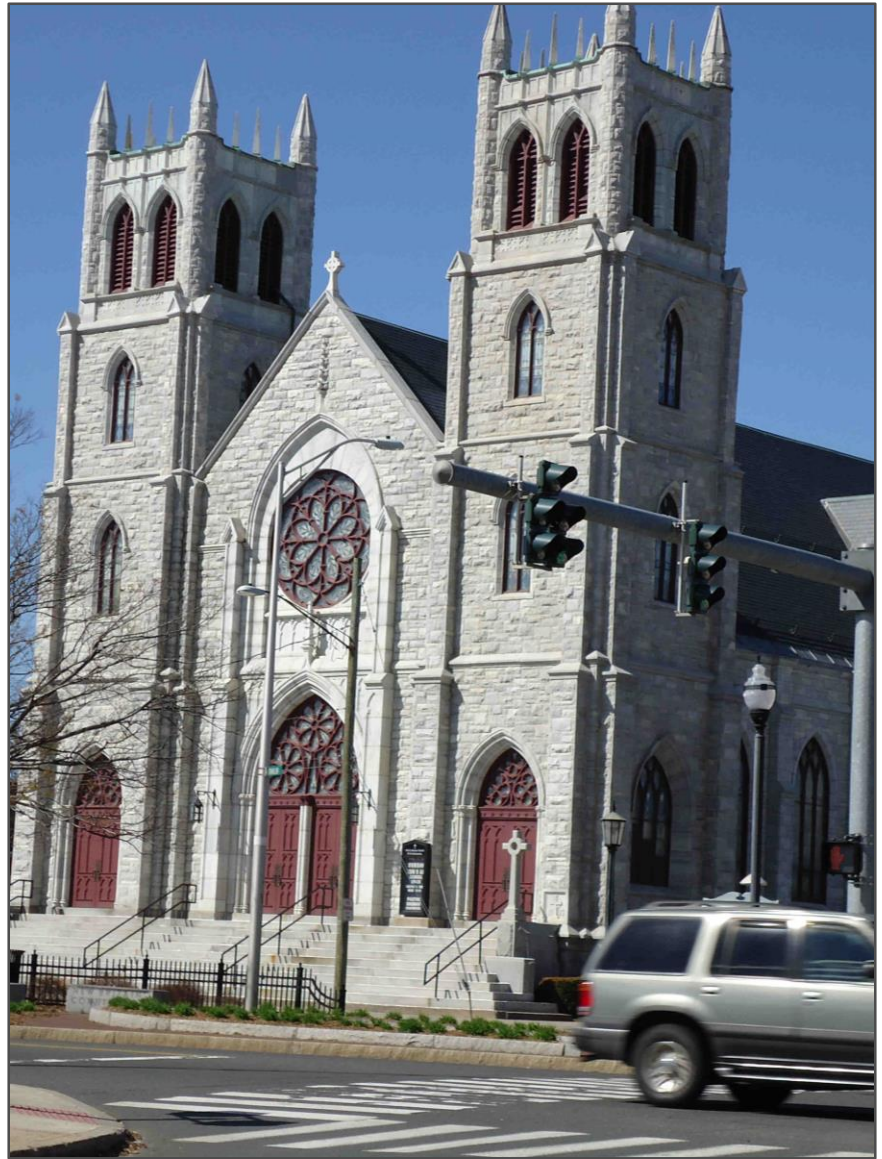
Public Accessibility: Exterior from road,
Interior during services

Surrounding Environment

Church is surrounded by other churches.
Faces the park of Franklin square.

Significance

The Church was originally organized on March 15, 1881 when twenty-eight Swedish immigrants established the Swedish Evangelical "Maria" Church in New Britain. Services were held wherever space could be found often borrowing space from existing churches. Two small churches built or acquired were quickly outgrown. In 1902, the congregation finished paying for the property on Franklin Square, architects were retained, and ground was broken in 1903. Much of the early spade work, literally, was done by the members of the church at the end of their shifts in New Britain factories. The contractor, Murphy Brothers of Norwich, was paid \$64,586 to erect the building.



Dedication took place on the afternoon of Sunday, May 20, 1906 following a "Great Day of the Feast" in the morning. An increasing number of services began to be held in English. In 1924, the church name became First Lutheran Church of New Britain. In 1974 First Lutheran merged with Reformation Lutheran Church, a New Britain church established in 1906, leading to the present name of First Lutheran Church of the Reformation

First Lutheran Church of the Reformation was designed by William H. Cadwell, a well-respected local architect. Cadwell designed FLCR as a modified cross. All known Cadwell-designed buildings are distinguished by his use of elaborate stone carving and stained glass. In the 77 Franklin Square building, he also used the design technique of repeating major shapes and motifs throughout. The

77 Franklin Square *(continued)*

First Lutheran Church

Downtown Historic
District



Significance

most evident of these is the Gothic arch, which is echoed in the top of every door and window, inside and out. The arch-topped column appears on all the carved wooden doors inside and out, and is repeated in the carved panels in the curved wooden balcony parapet and in the paneling in the walls of the narthex and stairways. The distinctive carved finial appears on the carving above the central door and on the corners of the roof. The carved wood tracery around the rose windows repeats the rose symbol depicted in many of the stained glass windows and appears again in the tin ceiling in the lower level.

It is clear from the original designs that Architect Cadwell carefully planned every element of the building and envisioned it as a harmonious cohesive whole.

78 Franklin Square

The Salvation Army

Downtown Historic District



Structure

Year Built: 1961

Style: Office

Alterations: Unknown

2022 Appraised Value: \$1,266,500

Materials: Brick

Structural System: Load Bearing

Masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 2

Dimensions: 52' x 70'

Use

Current Use: Charitable

Historical Use: Charitable

Private Ownership

Public Accessibility: Exterior from road,
Interior during hours

Surrounding Environment

Sits on Franklin Square, religious buildings are nearby. Many were built in the early 20th century or sooner. The lot contains two other buildings in the rear built around the same time.



Significance

This is a more recently built structure for the area. It is located within the Downtown Historic District.

98 Franklin Square

St. Peter's Church

Downtown Historic District



Structure

Year Built: c. 1890

Style: High Victorian Gothic

Alterations: Window replacements in rectory

2022 Appraised Value: \$2,345,800

Materials: Brick, brownstone, granite, ashlar

Structural System: Load Bearing Masonry

Roof Type: Gable

Roof Material: Slate

of Stories: 1

Dimensions: 60' x 107'

Use

Current Use: Church

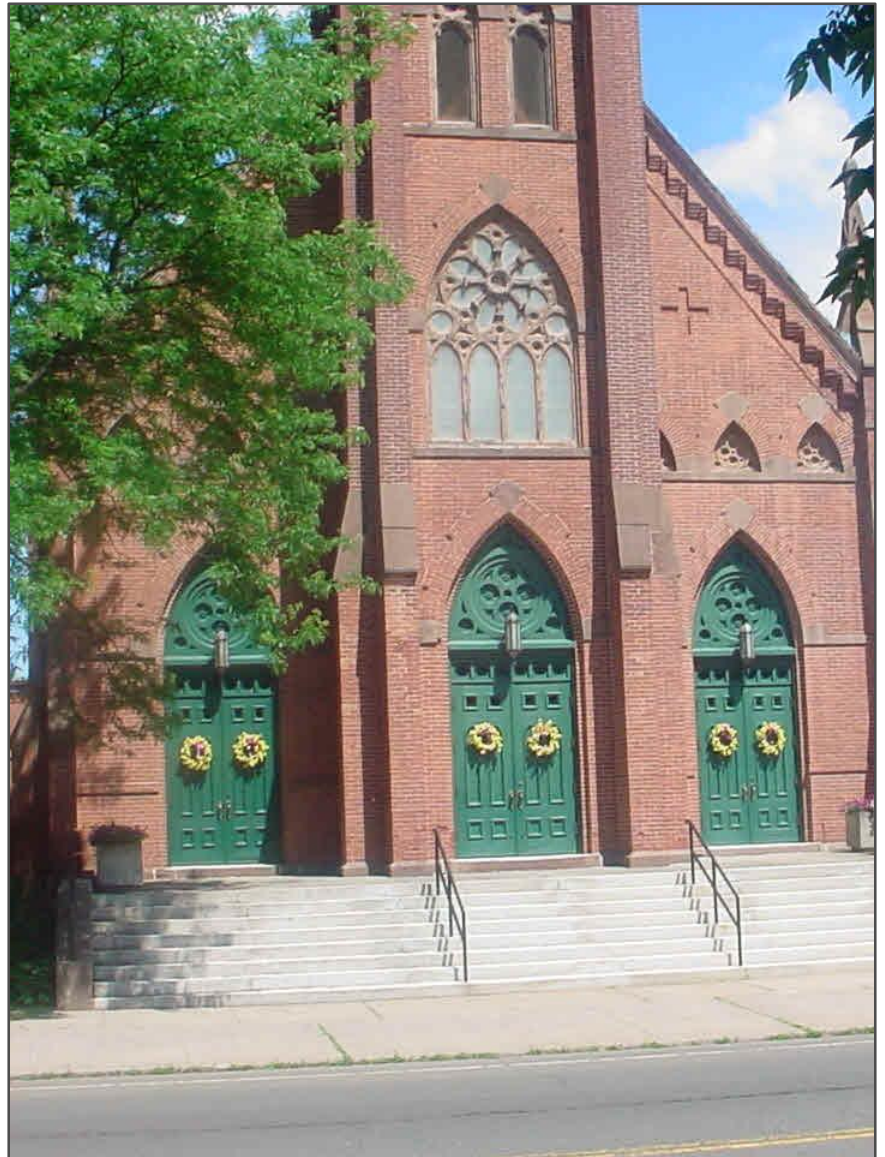
Historical Use: Church

Private Ownership

Public Accessibility: Exterior from road, Interior during services

Surrounding Environment

Sits on Franklin Square, other religious buildings are nearby. Many were built in the early 20th century or sooner. The lot contains a rectory as well.



Significance

This church is a good example of the late Victorian Gothic Style and the brick and stone work showcases local building skills.

Historically this church is German-American and French-American.

99 Franklin Square

Downtown Historic District



Structure

Year Built: 1960

Style: Classical Revival

Alterations: Unknown

2022 Appraised Value: \$6,461,600

Materials: Brick, concrete

Structural System: Load Bearing

Masonry

Roof Type: Flat, Gable

Roof Material: T&G/Rubber, Asphalt Shingle

of Stories: 2

Dimensions: approx. 157' x 160'

Use

Current Use: Church

Historical Use: Church

Private Ownership

Public Accessibility: Exterior from road,
Interior during services

Surrounding Environment

Sits on Franklin Square, other religious buildings are nearby. Many were built in the early 20th century or sooner.



Significance

This church is more recently built but exemplifies the colonial revival style and fits in with the other religious buildings around it.

It is located within the Downtown Historic District.

105 Franklin Square

Franklin Square

Downtown Historic District



Structure

Year Built: 1916

Style: Park

Alterations: Unknown

2022 Appraised Value: \$95,700

Materials: N/A

Structural System: N/A

Roof Type: N/A

Roof Material: N/A

of Stories: N/A

Dimensions: 0.72 acres

Use

Current Use: Park

Historical Use: Park

Public Ownership

Public Accessibility: Fully Accessible

Surrounding Environment

In between the split of Franklin Square forming a triangle. Nearby are churches from the late 19th and the 20th century. As well as the former courthouse.



Significance

The park was designed by Harold Van Buren Magonigle, who was with the locally significant firm of McKim, Mead, and White until 1909 when he set up his own office. Magonigle was a well known architect and designed many sites for sculptural memorials.

Robert Aitken was the winner of the design competition for this memorial. Aitken was an instructor in sculpture at the Art Students League of New York.

110 Franklin Square

Downtown Historic District



Structure

Year Built: c. 1880

Style: Italianate

Alterations: Brick Addition, Vinyl Siding

2022 Appraised Value: \$617,900

Materials: Vinyl Siding, Brick Veneer

Structural System: Wood Frame

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: 62' x 106'

Use

Current Use: Funeral Home

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road,
Interior during hours

Surrounding Environment

On the corner of Franklin Square and Whiting Street. Nearby are 19th and 20th century religious and institutional buildings.



Significance

This is an older structure for the area and still maintains some of the characteristic Italianate features despite the additions.

111 Franklin Square

Rockwell School, Old Courthouse

Downtown Historic District



Structure

Year Built: c. 1867

Style: Classical Revival

Alterations: Entrance changed

2022 Appraised Value: \$617,900

Materials: Brick

Structural System: Load bearing masonry

Roof Type: Hip, Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: 84' x 129'

Use

Current Use: Apartments

Historical Use: Courthouse, School

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

On the corner of Franklin Square and Whiting Street. Nearby are 19th and 20th century religious and institutional buildings.



Significance

This building was the former site of the Rockwell School, named after Reverend Samuel Rockwell. It was one of the first schools in which for student teachers were trained.

From 1953 to 1970 it served as a courthouse.

12 Glen Street

Downtown Historic District



Structure

Year Built: Unknown

Style: Parking Lot

Alterations: Unknown

2022 Appraised Value: \$16,800

Materials: Asphalt

Structural System: N/A

Roof Type: N/A

Roof Material: N/A

of Stories: N/A

Dimensions: 0.09 Acres

Use

Current Use: Parking Lot

Historical Use: Unknown

Public Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Behind a building fronting on Main Street. Sits in a historic area.



Significance

Within the Downtown Historic District.

23 Glen Street

Downtown Historic District



Structure

Year Built: c. 1909

Style: Perfect Six

Alterations: Porch Remodel

2022 Appraised Value: \$485,800

Materials: Brick

Structural System: Load bearing masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 3

Dimensions: 40' x 74'

Use

Current Use: Apartments

Historical Use: Apartments

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby are historic residential properties. It sits on Glen Street close to Main Street.



Significance

The "Perfect 6", a six tenement building was popular in Boston and other growing cities, for all classes of people throughout the latter half of the 19th century. This one may have been designed for upper middle class residents, as it is closer to downtown and the various churches.

The building was constructed for the New Britain Real Estate and Title Company, of which William H. Cadwell, notable New Britain Architect, was director.

27 Glen Street

Downtown Historic District



Structure

Year Built: c. 1924

Style: C Style Apartment Complex

Alterations: Unknown

2022 Appraised Value: \$1,490,600

Materials: Brick

Structural System: Structural Iron or Steel

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 3

Dimensions: 85' x 73'

Use

Current Use: Apartments

Historical Use: Apartments

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby are historic residential properties. It sits on Glen Street close to Main Street.



Significance

This building was designed by George Zunner a prominent Hartford Architect and was constructed by Conrad Cianci a leading mason contractor in New Britain.

The design is typical of Zunner and repeated in many of his Hartford apartment buildings. It's the only historic C shaped apartment building in New Britain.

35 Glen Street

Downtown Historic District



Structure

Year Built: c. 1926

Style: Beaux Arts

Alterations: Unknown

2022 Appraised Value: \$2,243,100

Materials: Brick

Structural System: Structural Iron or Steel

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 4

Dimensions: 82' x 76'

Use

Current Use: Apartments

Historical Use: Apartments

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby are historic residential properties. It sits on Glen Street close to Main Street.



Significance

This building was designed by the architect Frederick Teich with a very elaborate doorway design. It was built by William H. Allen Company.

The first owner of the Building Fred Rackliffe was secretary of Rackliffe Brothers Incorporated Sash and Blind Dealers. Rackliffe had previously built Hungerford Court #47 in 1924.

61 Glen Street

German Hall
Downtown Historic District



Structure

Year Built: c. 1869

Style: Mid 19th Century Barn/Meeting Hall

Alterations: Size reduced, Raised on brick

2022 Appraised Value: \$381,000

Materials: Clapboards

Structural System: Balloon

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 3

Dimensions: 63' x 152'

Use

Current Use: Auto Supply, Restaurant

Historical Use: Meeting Hall

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby are historic residential properties. It sits on Glen Street close to Main Street.



Significance

The New Britain Turner Society was organized in 1853. It was designed for those who use the German language and is connected with the North American Turnerbund. The organization met every Thursday evening in the building. The survival of this mid 19th century meeting hall is unusual.

In 1870 this hall was located on the east side of Arch Street and was moved to Glen Street sometime between 1911 and 1925, though Glen Street was not known as such in 1911.

94 Glen Street

Downtown Historic District



Structure

Year Built: c. 1885

Style: Queen Anne

Alterations: Roof, porches

2022 Appraised Value: \$264,900

Materials: Clapboards, Wood Shingles

Structural System: Balloon

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2.75

Dimensions: approx. 34' x 46'

Use

Current Use: Three Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby are historic residential properties and churches. It sits toward the middle of Glen Street.



Significance

This building sits next to a house of similar style. They were both likely built shortly after Glen Street opened and are the only two of this time period and style on the street.

It is also possible they had moved been moved to this site as they have modern foundations.

95 Glen Street

Downtown Historic District



Structure

Year Built: Unknown

Style: Parking Lot

Alterations: Unknown

2022 Appraised Value: \$25,800

Materials: Asphalt

Structural System: N/A

Roof Type: N/A

Roof Material: N/A

of Stories: N/A

Dimensions: 0.33 Acres

Use

Current Use: Parking Lot

Historical Use: Unknown

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Connects to a church on Arch Street.

Nearby are many historic structures.



Significance

Within the Downtown Historic District.

97 Glen Street

Downtown Historic District



Structure

Year Built: Unknown

Style: Vacant Land

Alterations: Unknown

2022 Appraised Value: \$18,100

Materials: N/A

Structural System: N/A

Roof Type: N/A

Roof Material: N/A

of Stories: N/A

Dimensions: 0.13 Acres

Use

Current Use: Vacant Lot

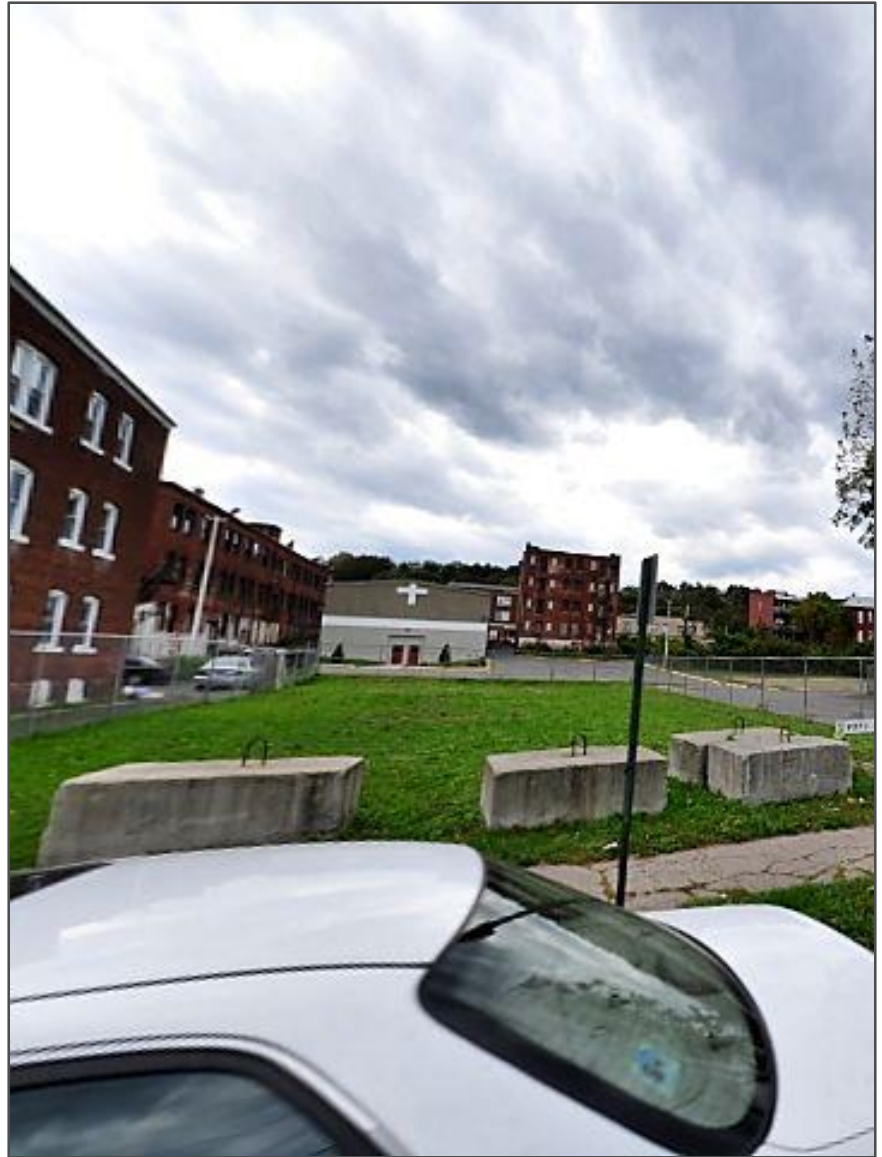
Historical Use: Unknown

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sits in the middle of Glen Street. Nearby are many historic structures.



Significance

Within the Downtown Historic District.

98 Glen Street

Downtown Historic District



Structure

Year Built: c. 1885

Style: Queen Anne

Alterations: Vinyl Siding

2022 Appraised Value: \$275,800

Materials: Clapboards, Wood Shingles

Structural System: Balloon

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2.75

Dimensions: approx. 29' x 51'

Use

Current Use: Three Family Residential

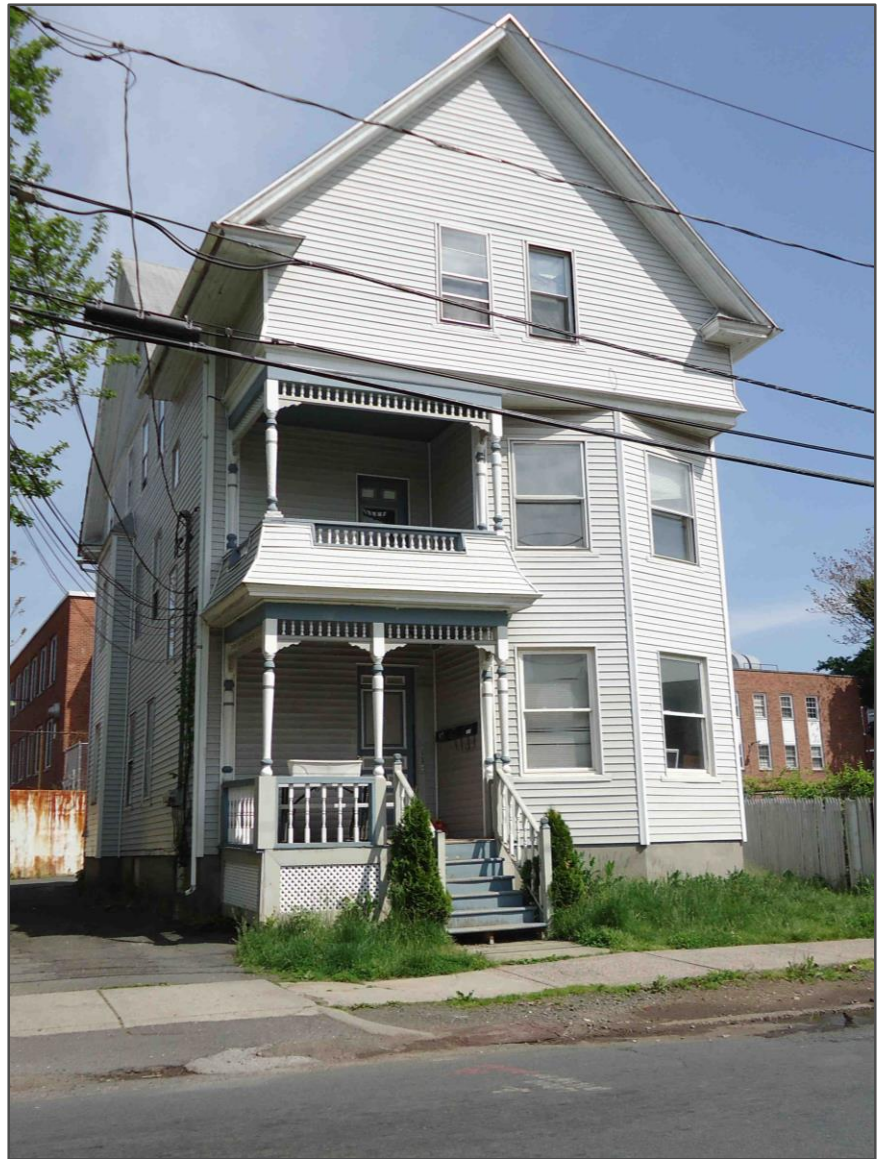
Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby are historic residential properties and churches. It sits toward the middle of Glen Street.



Significance

This building sits next to a house of similar style. They were both likely built shortly after Glen Street opened and are the only two of this time period and style on the street.

It is also possible they had moved been moved to this site as they have modern foundations.

Many of the original design elements of this Queen Anne house survive.

103 Glen Street

Downtown Historic District



Structure

Year Built: c. 1912

Style: Triple decker, Perfect 6

Alterations: Porch Removal

2022 Appraised Value: \$390,200

Materials: Bricks

Structural System: Balloon

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 3

Dimensions: approx. 34' x 60'

Use

Current Use: 6 Family Residential

Historical Use: 6 Family Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby are historic residential properties and churches. It sits toward the middle of Glen Street.



Significance

This building still retains many of the characteristic features of a Perfect 6 triple decker despite the porch removal.

115 Glen Street

Downtown Historic District



Structure

Year Built: c. 1913

Style: Vernacular Colonial Revival, Queen Anne

Alterations: Porch

Removal/Replacement

2022 Appraised Value: \$244,000

Materials: Bricks

Structural System: Balloon

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 33' x 48'

Use

Current Use: 2 Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby are historic residential properties and churches. It sits toward the middle of Glen Street.



Significance

This style of house is unusual for the Glen Street area but is typical of the period.

116 Glen Street

Downtown Historic District



Structure

Year Built: c. 1895

Style: Mid 19th Century Vernacular, Italianate

Alterations: Possible move, and remodel from barn to housing, Vinyl Siding

2022 Appraised Value: \$108,700

Materials: Vinyl Siding

Structural System: Balloon

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 29' x 42'

Use

Current Use: 2 Family Residential

Historical Use: Possibly a Barn

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby are historic residential properties and churches. It sits toward the middle of Glen Street.



Significance

This building was on the John Kunz family property. It potentially could have been a barn and been remodeled into a two family house sometime between 1914 and 1920.

Kunz owned much land on the side of Glen Street this building is on. John Kunz was a builder, contractor, and president and treasurer of John Kunz Contractors.

119 Glen Street

Downtown Historic District



Structure

Year Built: c. 1906

Style: Triple Decker

Alterations: Porch removal and replacement

2022 Appraised Value: \$293,700

Materials: Brick. Pressed tin gable

Structural System: Balloon

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2.5

Dimensions: approx. 35' x 57'

Use

Current Use: 3 Family Residential

Historical Use: 3 Family Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby are historic residential properties and churches. It sits toward the middle of Glen Street.



Significance

This building continues the typical multifamily structures of the area.

122 Glen Street

Downtown Historic District



Structure

Year Built: c. 1880

Style: Queen Anne

Alterations: 2 Family Remodel (c. 1914), Vinyl Siding

2022 Appraised Value: \$121,100

Materials: Vinyl Siding

Structural System: Balloon

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 43' x 30'

Use

Current Use: 2 Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby are historic residential properties and churches. It sits toward the middle of Glen Street.



Significance

Much property on the side of Glen Street that this building is on was owned by the Kunz family. John Kunz was a noted contractor and building who built several churches and schools.

This is one of only a few houses of this style in the area.

123 Glen Street

Downtown Historic District



Structure

Year Built: c. 1906

Style: Triple Decker

Alterations: Porch Removal

2022 Appraised Value: \$320,000

Materials: Brick

Structural System: Balloon

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 3

Dimensions: approx. 32' x 65'

Use

Current Use: 3 Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby are historic residential properties and churches. It sits toward the middle of Glen Street.



Significance

This is an example of a triple decker house.

It was possibly built by a New Britain builder for their own use. The same builder may have constructed other buildings nearby as well.

129 Glen Street

Downtown Historic District



Structure

Year Built: c. 1906

Style: Brick Vernacular

Alterations: Porch Removal

2022 Appraised Value: \$265,700

Materials: Brick, Pressed Tin

Structural System: Balloon

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 3

Dimensions: approx. 32' x 63'

Use

Current Use: 3 Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby are historic residential properties. It sits nearby to Whiting Street.



Significance

This house has an interesting treatment of its gable end with a large pressed tin area. It fits in with the multifamily character of the area.

132 Glen Street

Downtown Historic District



Structure

Year Built: c. 1928

Style: Early 20th Century Factory

Alterations: North end addition, Glass brick window in-fill

2022 Appraised Value: \$200,900

Materials: Brick

Structural System: Load Bearing Masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 2

Dimensions: approx. 117' x 38'

Use

Current Use: Industrial

Historical Use: Industrial

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby are historic residential properties. It sits nearby to Whiting Street.



Significance

This lot was laid out but not developed in 1902, in 1929 it is first listed in the City Directory as the home of the New Britain Welding Company.

The factory building is reminiscent of New Britain's industrial past and builds on the working class history of the neighborhood.

133 Glen Street

Downtown Historic District



Structure

Year Built: c. 1908

Style: Vernacular Brick

Alterations: Sandblasted, windows

2022 Appraised Value: \$252,400

Materials: Brick

Structural System: Balloon

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2.5

Dimensions: approx. 30' x 42'

Use

Current Use: Four Family Residential

Historical Use: Multi Family Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby are historic residential properties. It sits nearby to Whiting Street.



Significance

This building contributes to the multifamily character of the area.

139 Glen Street

Downtown Historic District



Structure

Year Built: c. 1906

Style: Triple Decker

Alterations: Porches removed

2022 Appraised Value: \$246,100

Materials: Brick, Pressed Tin

Structural System: Balloon

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2.5

Dimensions: approx. 33' x 48'

Use

Current Use: Four Family Residential

Historical Use: Multi Family Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby are historic residential properties. It sits nearby to Whiting Street.



Significance

This building contributes to the multifamily character of the area. The pressed tin element in the gable is notable and is seen in a few other buildings.

145 Glen Street

Downtown Historic District



Structure

Year Built: c. 1926

Style: Colonial Revival, Shingle Style

Alterations: Porches removed, doors infilled

2022 Appraised Value: \$282,700

Materials: Brick, Vinyl Siding

Structural System: Balloon

Roof Type: Gambrel

Roof Material: Asphalt Shingle

of Stories: 3

Dimensions: approx. 31' x 55'

Use

Current Use: Three Family Residential

Historical Use: Multi Family Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby are historic residential properties. It sits nearby to Whiting Street.



Significance

This building contributes to the multifamily character of the area. This interpretation of the shingle style in brick for multi family use is unusual.

149 Glen Street

Downtown Historic District



Structure

Year Built: c. 1910

Style: Triple Decker

Alterations: Siding

2022 Appraised Value: \$244,500

Materials: Brick, Asbestos Siding

Structural System: Balloon

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2.5

Dimensions: approx. 25' x 57'

Use

Current Use: Three Family Residential

Historical Use: Multi Family Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Nearby are historic residential properties. It sits nearby to Whiting Street.



Significance

This building contributes to the multifamily character of the area. Little of the original detailing is left but the gambrel dormers are notable.

10 Grand Street

New Britain Armory

Downtown Historic District



Structure

Year Built: 1886-1887

Style: Romanesque Revival

Alterations: Dormers, Tower Roof, Rear entryway

2022 Appraised Value: \$2,109,400

Materials: Brick, Stone

Structural System: Load Bearing Masonry

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 1.5

Dimensions: approx. 80' x 164'

Use

Current Use: Apartments

Historical Use: Armory

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Located at the corner of Arch and Grand Streets in an older mixed commercial / residential neighborhood near the city center.

Significance

One of only two extant buildings of its type remaining from Connecticut's first great era of military construction. In this period seven large facilities arose in the state's largest cities following the nationwide strikes and riots of 1877. Pressure from significant land owners, industrialists, and military leaders led to the appropriation of funding to build National Guard armories.

The New Britain Armory was designed by Robert Wakeman Hill, a Waterbury native, alongside the Norwalk armory. Hill apprenticed with noted New Haven architect Henry Austin, and A.C. Nash of



Milwaukee, before returning to Connecticut in 1858. Hill designed a number of public buildings, and served as state Architect under Bigelow, Waller, Harrison, and Lounsbury. Hill also designed other state armories yet in a different fashion to the New Britain and Norwalk facilities.

By the time the structure was built in 1887 New Britain housed three National Guard units, with the entire First Regiment shifting temporarily to that facility upon its completion. The number of units that trained at the New Britain armory fluctuated throughout its life, and the facility was soon out grown, with complaints arising as early as 1909. However, it remained in use until 1982 when a new facility was constructed.

8 High Street

New Britain Public Library

Downtown Historic District



Structure

Year Built: 1901

Style: Beaux Arts

Alterations: Additions

2022 Appraised Value: \$18,812,100

Materials: Stone

Structural System: Load Bearing

Masonry

Roof Type: Hip

Roof Material: Slate

of Stories: 3

Dimensions: approx. 251' x 103'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

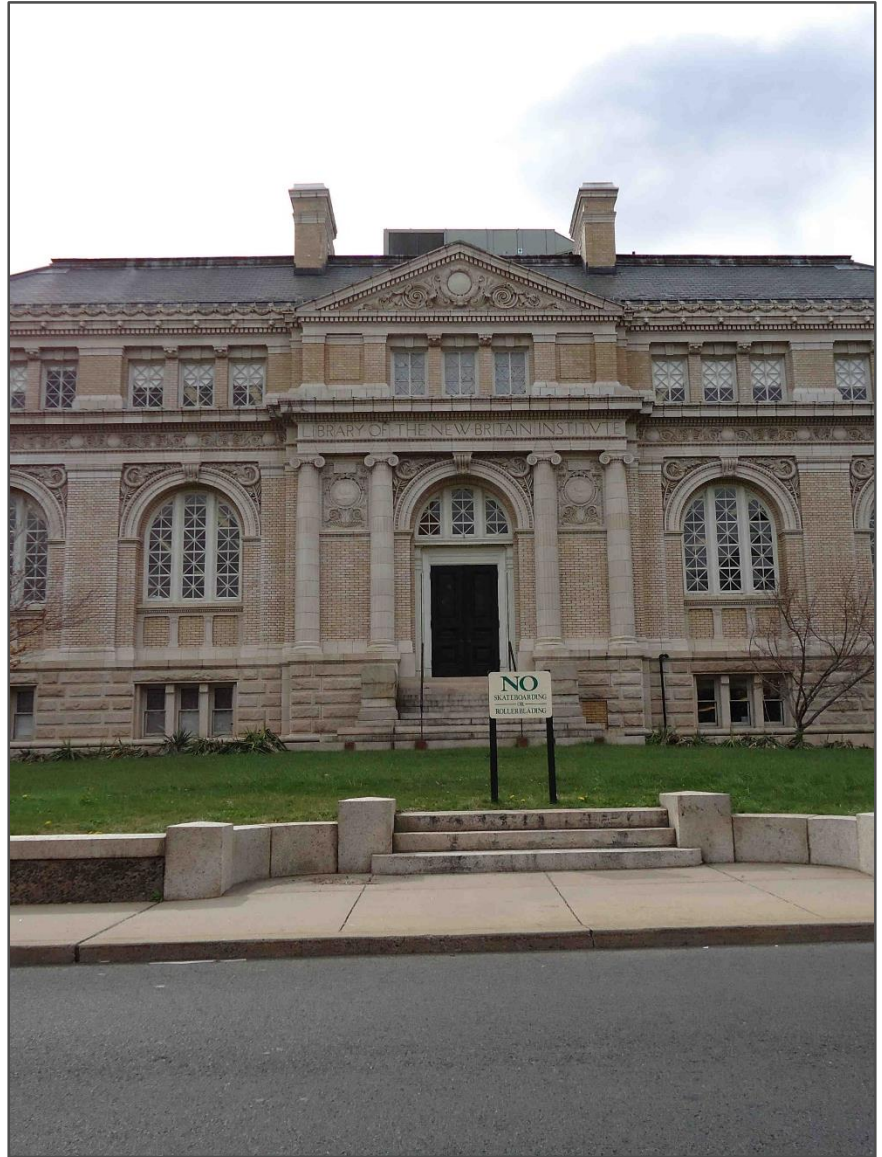
Surrounding Environment

Located on the corner of High Street and West Main Street. Offices, organizational buildings and churches are nearby, some of notable 19th and early 20th century styles such as Queen Anne and Second Empire.

Significance

Originally built by the New Britain Institute an organization founded with the intention of building a library in 1853. In 1892 the Institute received a of over \$195,000 from the estate of Cornelius B Erwin for the purpose of building a library.

After holding a design competition the firm of Davis and Brooks was selected for the library. William Brooks, who had recently settled in New Britain, would go on to become a prominent architect in the city.



Construction of the library cost nearly \$105,000 of the bequest leaving \$90,000 for operation and income generation. This proved to be too little and the Institute entered an agreement with the City to operate the building as a free public library with the addition of public funding. This arrangement continues to this day.

31 High Street

Downtown Historic District



Structure

Year Built: c. 1855

Style: Italianate

Alterations: Unknown

2022 Appraised Value: \$372,700

Materials: Clapboards

Structural System: Wood Frame

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2.5

Dimensions: approx. 47' x 60'

Use

Current Use: Office

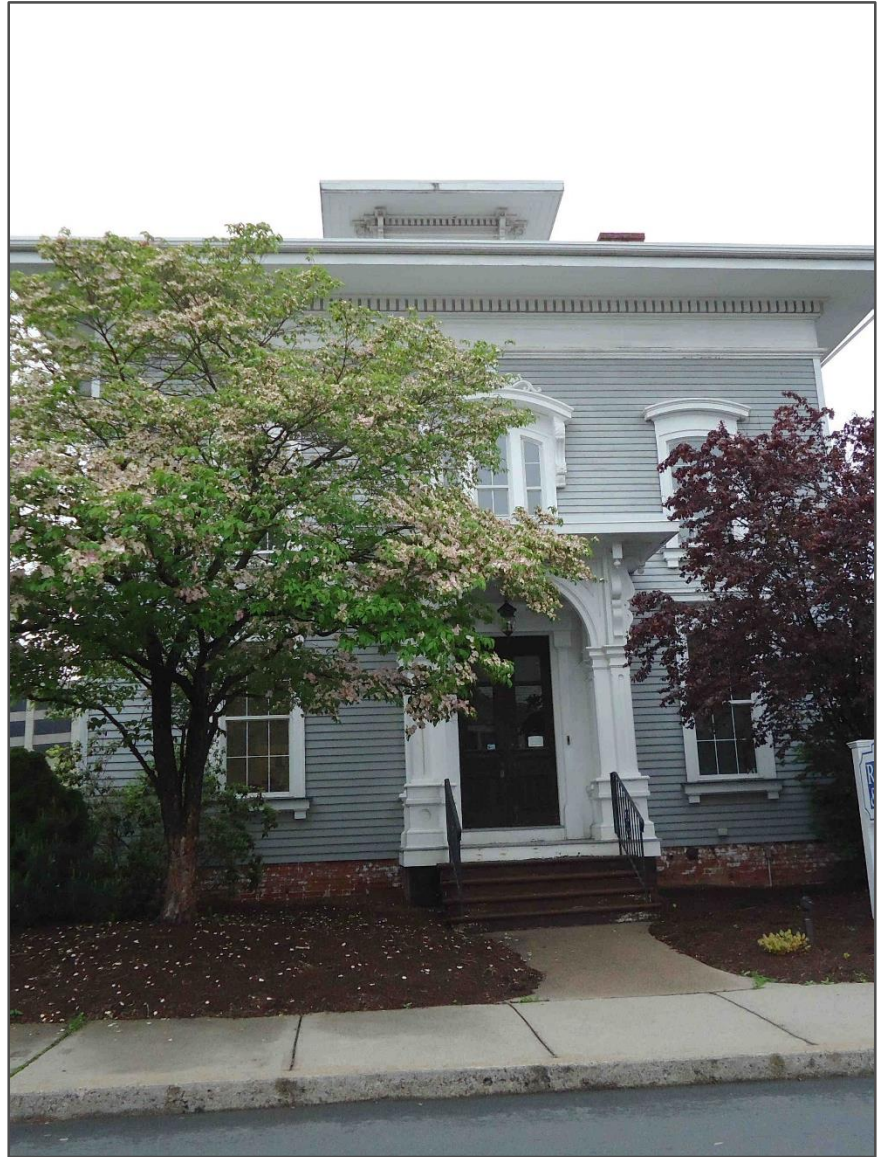
Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Located on High Street. Offices, the New Britain Library, organizational buildings and churches are nearby, some of notable 19th and early 20th century styles such as Queen Anne and Second Empire.



Significance

An example of Italianate architectural style with elaborate detailing.

43 High Street

Downtown Historic District



Structure

Year Built: c. 1920

Style: Perfect 6

Alterations: Unknown

2022 Appraised Value: \$251,700

Materials: Bricks

Structural System: Load Bearing
Masonry

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2.5

Dimensions: approx. 36' x 64'

Use

Current Use: Apartment Building

Historical Use: Apartment

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Located on High Street. Offices, the New Britain Library, organizational buildings and churches are nearby, some of notable 19th and early 20th century styles such as Queen Anne and Second Empire.



Significance

This building is an example of the Perfect 6 style.

2 Main Street

Downtown Historic District



Structure

Year Built: c. 1909

Style: Early 20th Century Commercial Style

Alterations: Unknown

2022 Appraised Value: \$1,030,400

Materials: Bricks

Structural System: Load Bearing Masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 2

Dimensions: approx. 131' x 63'

Use

Current Use: Commercial

Historical Use: Commercial

Private Ownership

Public Accessibility: Exterior from road, storefronts during hours

Surrounding Environment

Located on the south end of Main Street. Nearby are other commercial properties, some are mixed use with residential.



Significance

This building is attributed to well known New Britain architect William Cadwell due to the fact that he was on the board of the organization that had the building constructed. It is plainer than his other designs.

27 Main Street

Hotel Doris
Downtown Historic
District



Structure

Year Built: c. 1930

Style: Neo Tudor

Alterations: Storefronts

2022 Appraised Value: \$1,398,800

Materials: Bricks, Cast Concrete

Structural System: Load Bearing
Masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 3

Dimensions: approx. 103' x 89'

Use

Current Use: Retail/Apartments

Historical Use: Retail/Hotel

Private Ownership

Public Accessibility: Exterior from road,
storefronts during hours

Surrounding Environment

Located on the south end of Main Street.
Nearby are other commercial properties,
some are mixed use with residential.



Significance

This building features a vague use of tudor elements, which were popular in many suburbs and new shopping centers of the 1920s.

Originally this was the Hotel Doris, as the central element reads, by 1935 however the name was changed to the Glen-Main Hotel.

38 Main Street

Downtown Historic District



Structure

Year Built: c. 1910

Style: Commercial Style, C Apartment Building

Alterations: Store fronts

2022 Appraised Value: \$2,400,300

Materials: Brick, Pressed Metal

Structural System: Balloon (Upper floors), Structural iron or steel (Ground floor)

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 3

Dimensions: approx. 103' x 89'

Use

Current Use: Retail/Apartments

Historical Use: Retail/Apartments

Private Ownership

Public Accessibility: Exterior from road, storefronts during hours

Surrounding Environment

Located on the south end of Main Street. Nearby are other commercial properties, some are mixed use with residential.



Significance

Design of this building is attributed to notable New Britain architect William H. Cadwell. Cadwell's other buildings have similar themes to this one, such as the pressed metal trim and bay window units, the shouldered brick windows on side walls, and the yellow or white brick. This kind of brick was fashionable for the turn of the century period.

47 Main Street

Downtown Historic District



Structure

Year Built: 1971

Style: Commercial Style

Alterations: Unknown

2022 Appraised Value: \$1,245,000

Materials: Brick

Structural System: Steel

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 1

Dimensions: approx. 127' x 129'

Use

Current Use: Supermarket

Historical Use: Retail

Private Ownership

Public Accessibility: Exterior from road, storefronts during hours

Surrounding Environment

Located on the south end of Main Street. Nearby are other commercial properties, some are mixed use with residential.



Significance

This is a new building in the historic district. It differs from the multistory mixed use buildings found nearby.

52 Main Street

Downtown Historic District



Structure

Year Built: pre 1914

Style: Colonial Revival

Alterations: First floor façade windows enclosed

2022 Appraised Value: \$289,900

Materials: Brick, pressed metal

Structural System: Load Bearing Masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 2

Dimensions: approx. 40' x 39'

Use

Current Use: Office

Historical Use: Office

Private Ownership

Public Accessibility: Exterior from road, storefronts during hours

Surrounding Environment

Located on the south end of Main Street. Nearby are other commercial properties, some are mixed use with residential.



Significance

Despite small alterations this building still retains much of its Colonial Revival style.

69 Main Street

Trinity United Methodist Church

Downtown Historic District



Structure

Year Built: 1889-1891

Style: Romanesque Revival

Alterations: Some windows filled in

2022 Appraised Value: \$2,661,900

Materials: Rough cut gray granite

Structural System: Load bearing masonry

Roof Type: Hipped

Roof Material: Slate

of Stories: 2

Dimensions: approx. 58' x 130'

Use

Current Use: Religious

Historical Use: Religious

Private Ownership

Public Accessibility: Exterior from road,
Interior during services

Surrounding Environment

Sited on the corner of Chestnut and Main Street. Near downtown mixed use and South Church another significant downtown church.

Significance

Dedicated in 1891 this church was the third Methodist church built in New Britain moved to its current site from the site of the earlier two churches just across the street. The building features finely carved Byzantine decorative motifs, and art glass windows, unique in New Britain. Among the contractors was John Pinches, a locally noted woodworker. He furnished all mill work, the chancel rail, and the wood work in the galleries.

Amos P. Cutting was approaching the end of his career when he was chosen to



design Trinity United Methodist Church. Just five years after the building was completed The American Architect & Building News would report his death in Los Angeles. The obituary states, "Although a man of quiet ways, he had a very large practice, and is known to have built seventy-five churches in and about Massachusetts." These include churches like the Harvard-Epworth United Methodist Church in Cambridge, Massachusetts (1891), which bears a striking resemblance to Trinity-on-Main. Cutting is also known to have designed the C. A. Dresser House, in Southbridge, Massachusetts (1872); New Hampshire State Library (1889); and the Kellogg-Hubbard Library in Montpelier, Vermont (1894/95). His designs were also published in Bicknell's Cottage and Villa Architecture (New York: William T. Comstock, 1881).

69 Main Street *(continued)*

Trinity United Methodist Church Downtown Historic District



Significance

The construction of the building was undertaken by a group of local workmen led by general contractors Alexander Dallas and George and Cornelius Tracy of Waterbury. Forman H. Young of New Britain provided much of the woodwork, while John Pinches, also of New Britain, provided all the mill work, built the stairs, chancel rail, and the woodwork of the galleries. John Boyle of New Britain was responsible for the painting and varnishing and F.H. Sneath of Farmington was the contractor for the slate roof.



Structure

Year Built: 1865

Style: English Parish Gothic

Alterations: Some entrances for handicap access

2022 Appraised Value: \$10,876,100

Materials: Rough cut brownstone

Structural System: Load bearing masonry

Roof Type: Gable

Roof Material: Slate

of Stories: 2

Dimensions: approx. 77' x 104'

Use

Current Use: Religious

Historical Use: Religious

Private Ownership

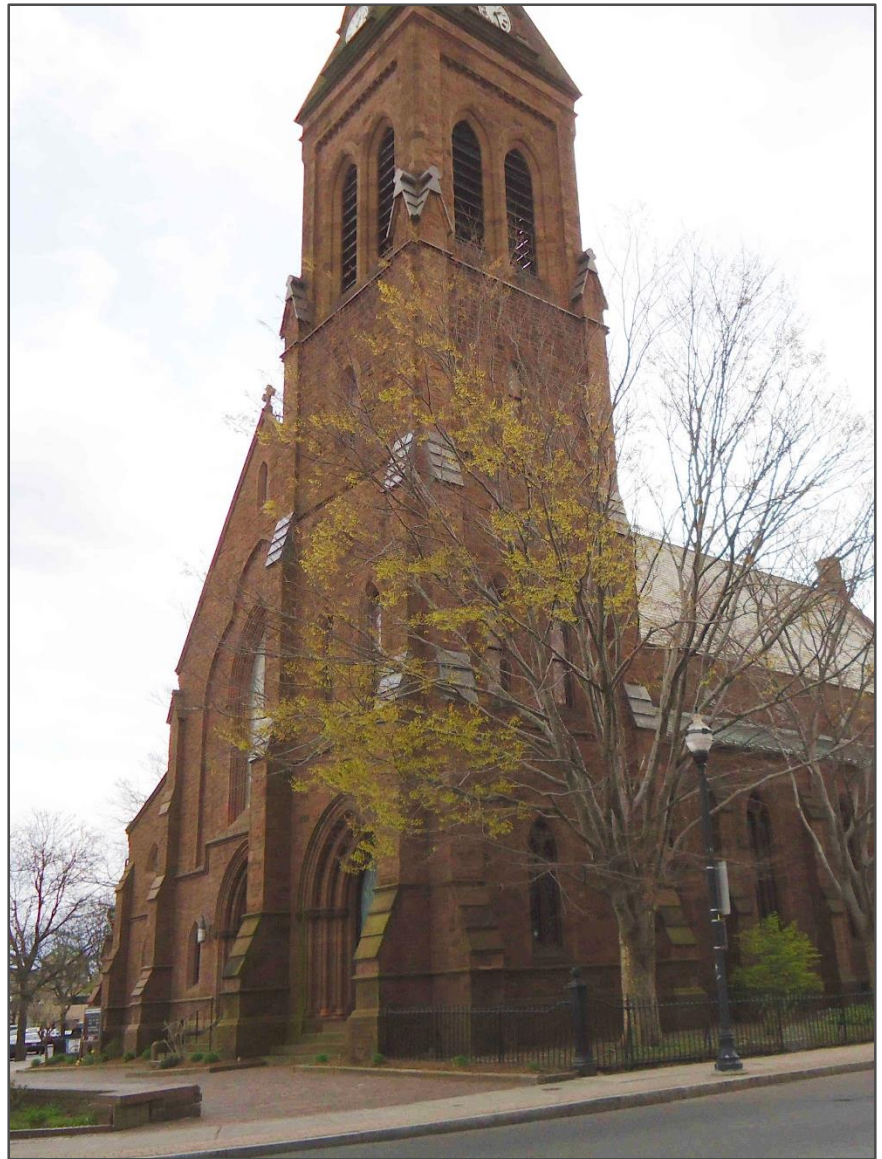
Public Accessibility: Exterior from road,
Interior to parishioners

Surrounding Environment

Sited on the corner of Arch and Main Street. Near downtown mixed use and Trinity United Methodist Church another significant downtown church.

Significance

The present church was Designed by George F. Meacham, a Boston architect, in the Early English Gothic Style. Built with brownstone hauled by ox-team from Portland, Connecticut the structure cost \$143,170 to build including furnishings and an organ. Architectural features such as the steep gable roofs, pointed-arch openings, and medieval details such as stepped buttresses, floriated carved capitals, quatrefoil motifs, and arched roof trusses are representative of the Gothic style. Although Gothic architecture had cultural and religious significance for

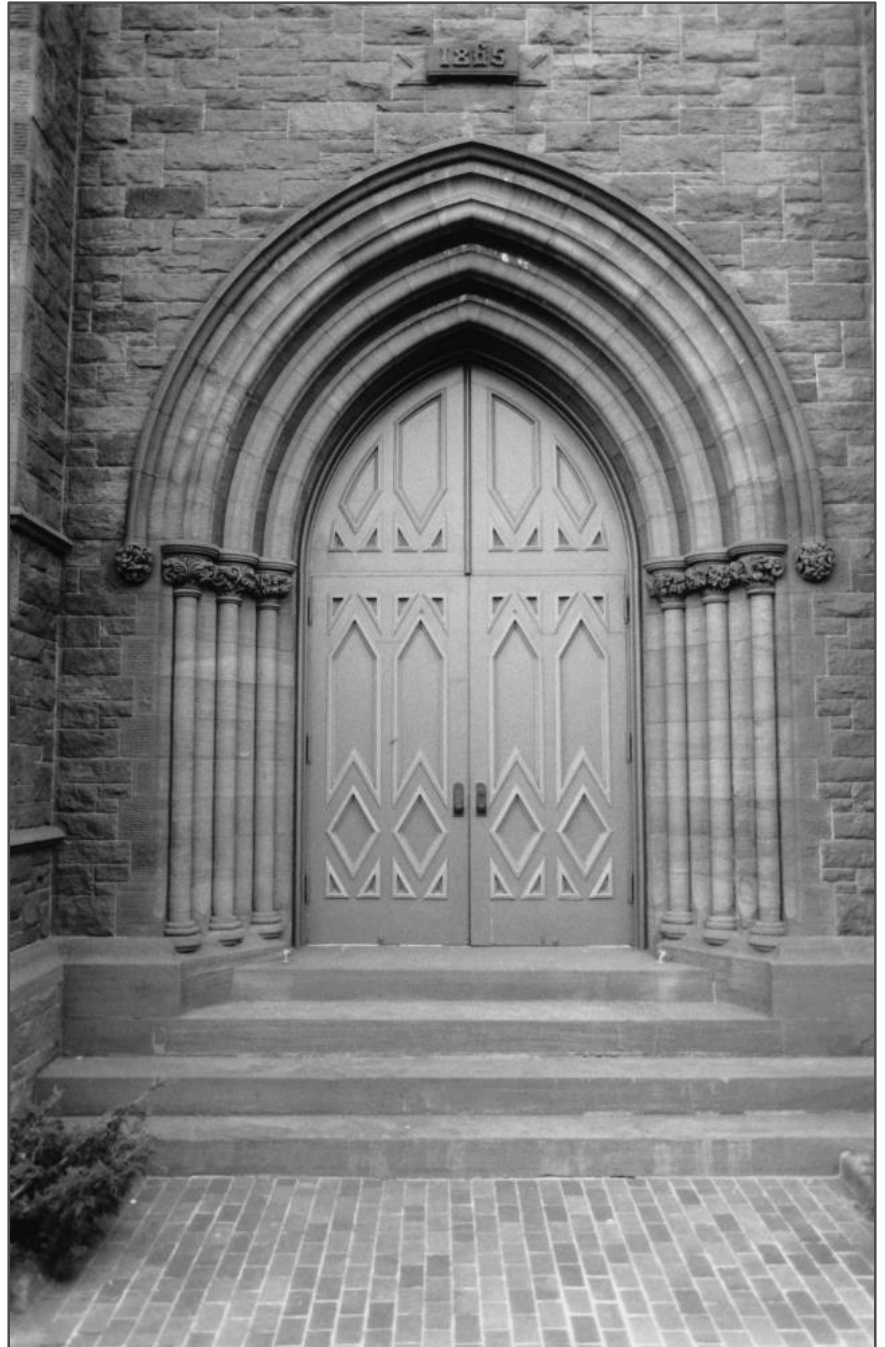


Roman Catholic and Episcopal churches, the use of the style for a Congregational parish (one which allowed the use of clerical robes only in 1909) had little liturgical meaning. Rather, the choice of Gothic architecture for South Church illustrates how an aesthetic of richly detailed ornament and a Romantic fascination with the past had thoroughly permeated American culture in the Victorian period.

The first church on the site was built as a result of the splitting of the "North Church" due to population growth, and possibly over political ideals in the time leading up to the Civil War. The name "South Church" likely comes from its position relative to the previous church, further south on main street. Beginning with 120 members, by 1885 it had 703 members, 1000 Sunday School

Significance

students, and an 1800 volume library. Making it potentially one of Connecticut's largest congregational churches. In the late 19th and early 20th century the church provided services in other languages to serve New Britain's immigrant community. The original structure built in 1842 was a small wooden Greek-style church painted white with four columns and a belfry at the front.



116 Main Street

Downtown Historic District



Structure

Year Built: c. 1870

Style: Commercial Style

Alterations: Façade alterations

2022 Appraised Value: \$313,500

Materials: Brick, stucco

Structural System: Load Bearing Masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 3

Dimensions: approx. 55' x 110'

Use

Current Use: Office

Historical Use: Office/Retail

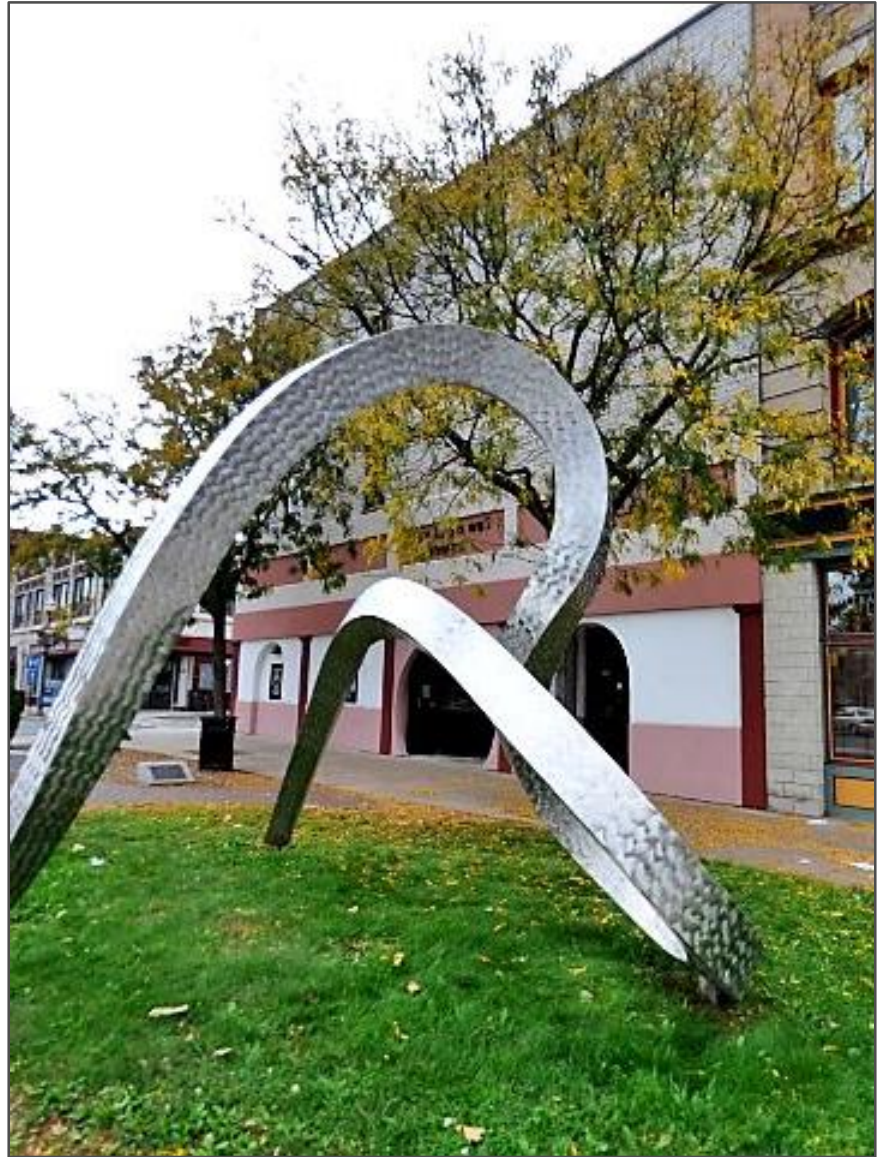
Private Ownership

Public Accessibility: Exterior from road, storefronts during hours

Surrounding Environment

Located in the middle of Main Street.

Nearby are other commercial properties, some are mixed use with residential.



Significance

The changes to the façade mask many of the original features of the building. The brickwork still fits in with the neighborhood.

132 Main Street

Downtown Historic District



Structure

Year Built: 1903

Style: Beaux Arts

Alterations: Storefronts

2022 Appraised Value: \$2,464,600

Materials: Brick, terra cotta

Structural System: Load Bearing

Masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 5

Dimensions: approx. 55' x 125'

Use

Current Use: Retail/Apartments

Historical Use: Furniture Display Store

Private Ownership

Public Accessibility: Exterior from road, storefronts during hours

Surrounding Environment

Located in the middle of Main Street.

Nearby are other commercial properties, some are mixed use with residential.



Significance

This building is a well documented work of the prominent New Britain architect William H. Cadwell. The use of yellow brick, terra cotta tiling, and the façade design are typical of his work. The building was constructed for John A. Andrews and Company, a major furniture store in New Britain. They used all five floors for their display.

160 Main Street

Sovereigns Trading Co. Building
Downtown Historic District



Structure

Year Built: 1904

Style: Sullivanesque

Alterations: Unknown

2022 Appraised Value: \$1,814,900

Materials: Brick, Pressed Metal

Structural System: Load Bearing
Masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 5

Dimensions: approx. 32' x 141'

Use

Current Use: Retail/Apartments

Historical Use: Grocery Warehouse and Store

Private Ownership

Public Accessibility: Exterior from road, storefronts during hours

Surrounding Environment

Located in the middle of Main Street.

Nearby are other commercial properties, some are mixed use with residential.



Significance

Sovereigns Trading Company organized in 1877, were "Dealers in choice groceries, provisions, flour, crockery and glassware, fresh and salt meats, vegetables in their season." In 1890 S. H. Stearns was president, Alfred Bean was treasurer, Silas Bromley was secretary, and F. O. Scripture was the manager.

This building is a well documented work by William H. Cadwell and demonstrates his typical use of prefabricated elements to develop and interesting façade. Cadwell was prominent in New Britain and worked as an architect, a civil engineer, sewer engineer for the city, and was on the board of directors of several New Britain companies.

162 Main Street

Downtown Historic District



Structure

Year Built: 1902

Style: Early 20th Century Commercial style

Alterations: Façade covering

2022 Appraised Value: \$855,900

Materials: Brick, Stucco

Structural System: Load Bearing Masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 2

Dimensions: approx. 66' x 129'

Use

Current Use: Offices

Historical Use: Retail/Offices

Private Ownership

Public Accessibility: Exterior from road, storefronts during hours

Surrounding Environment

Located in the middle of Main Street. Nearby are other commercial properties, some are mixed use with residential.



Significance

This building has lost much of its detailing on the façade when it was covered by stucco. This was likely done to match the look of its partnering bank building. Some elements still remain around the second story windows.

178 Main Street

Downtown Historic District



Structure

Year Built: 1902

Style: Early 20th Century Commercial style

Alterations: Façade covering

2022 Appraised Value: \$1,816,300

Materials: Stucco

Structural System: Load Bearing Masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 2

Dimensions: approx. 62' x 105'

Use

Current Use: Bank

Historical Use: Retail

Private Ownership

Public Accessibility: Exterior from road, business during hours

Surrounding Environment

Located in the middle of Main Street.

Nearby are other commercial properties, some are mixed use with residential.



Significance

This building has lost the detail of its façade when it was covered by stucco. It sits downtown near Central Park among many historic buildings.

200 Main Street

Downtown Historic District



Structure

Year Built: 1975

Style: Commercial style

Alterations: Unknown

2022 Appraised Value: \$1,114,300

Materials: Concrete, Brick

Structural System: Steel

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 4

Dimensions: approx. 100' x 120'

Use

Current Use: Office

Historical Use: Office

Private Ownership

Public Accessibility: Exterior from road, business during hours

Surrounding Environment

Located to the north of Main Street right on Central Park. Nearby are other commercial properties, some are mixed use with residential.



Significance

This is a newer construction in downtown for the historic district. Its uses fit in with the district.

222 Main Street

Porter's Block

Downtown Historic District



Structure

Year Built: 1885

Style: Victorian Commercial Style

Alterations: Unknown

2022 Appraised Value: \$5,145,800

Materials: Brick

Structural System: Load Bearing

Masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 5

Dimensions: approx. 50' x 185'

Use

Current Use: Retail/Apartments

Historical Use: Retail/Offices

Private Ownership

Public Accessibility: Exterior from road, businesses during hours

Surrounding Environment

Located to the north of Main Street right on Central Park. Nearby are other commercial properties, some are mixed use with residential.



Significance

This building is a notable downtown structure which has endured many changes over the years.

230 Main Street

Central Park / Soldiers Monument

City Hall Monument
Historic District



Structure

Year Built: c. 1854, 1900 (Monument)

Style: Park

Alterations: 1990 Renovation /
Monument Relocations

2022 Appraised Value: \$198,200

Materials: Concrete, Brick

Structural System: N/A

Roof Type: N/A

Roof Material: N/A

of Stories: N/A

Dimensions: approx. 140' x 280'

Use

Current Use: Park/Commemorative

Historical Use: Park/Commemorative

Public Ownership

Public Accessibility: Fully Accessible

Surrounding Environment

Sits at the intersections of Main and West Main Streets. Mixed use and business surrounds on all sides.

Significance

The area of Central Park has existed in the city center as a public space for hundreds of years. Though the space has changed significantly from its original form, taking its current form in the 1990s, it has always existed a public space and shares many functions with its past, such as being concert venue.



The monument was designed by Ernest Flagg, a New York architect and designer of a number of buildings in Connecticut. The monument is in remembrance of those in New Britain who served in the Civil War.

232 Main Street

Downtown Historic District



Structure

Year Built: Unknown

Style: Parking Lot

Alterations: Unknown

2022 Appraised Value: \$13,400

Materials: Asphalt

Structural System: N/A

Roof Type: N/A

Roof Material: N/A

of Stories: N/A

Dimensions: 0.12 Acres

Use

Current Use: Parking Lot

Historical Use: Unknown

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Behind 242 Main Street which is a part of a row of historic buildings sitting on Central Park.

Image Not Available

Significance

Within the Downtown Historic District.

242 Main Street

D.C. Judd's Block

Downtown Historic District



Structure

Year Built: 1885

Style: Victorian Commercial Style

Alterations: Store Fronts, Top floor removal on smaller unit

2022 Appraised Value: \$1,989,900 (Sum of Condo Units)

Materials: Brick, rough cut granite, pressed metal, terra cotta

Structural System: Load Bearing Masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 4

Dimensions: approx. 81' x 103'

Use

Current Use: Retail/Residential Condos

Historical Use: Retail/Offices

Private Ownership

Public Accessibility: Exterior from road, businesses during hours

Surrounding Environment

Located to the north of Main Street right on Central Park. Nearby are other commercial properties, some are mixed use with residential.



Significance

D.C. Judd was a leading grocer in New Britain. This building has a very intricate and detailed façade. The two attached buildings share an address though the smaller one was built later.

250 Main Street

Downtown Historic District



Structure

Year Built: 1943

Style: Commercial Style

Alterations: Store Fronts

2022 Appraised Value: \$806,900

Materials: Brick, Stucco

Structural System: Load Bearing Masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 1

Dimensions: approx. 132' x 84'

Use

Current Use: Retail

Historical Use: Retail

Private Ownership

Public Accessibility: Exterior from road, businesses during hours

Surrounding Environment

Located to the north of Main Street right on Central Park. Nearby are other commercial properties, some are mixed use with residential.



Significance

This is a somewhat newer construction for the district. Its façade has been simplified. The commercial use is typical for the district.

283 Main Street

Downtown Historic District



Structure

Year Built: 2023

Style: Unknown

Alterations: None

2022 Appraised Value: \$404,000

Materials: Unknown

Structural System: Unknown

Roof Type: Unknown

Roof Material: Unknown

of Stories: Unknown

Dimensions: Unknown

Use

Current Use: Under Construction

Historical Use: Retail/Offices

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Located to the north of Main Street near Central Park. Nearby are other commercial properties, some are mixed use with residential.



Significance

Under construction within the Downtown Historic District.

300 Main Street

Downtown Historic District



Structure

Year Built: 1928

Style: Beaux Arts

Alterations: Storefronts

2022 Appraised Value: \$404,000

Materials: Brick, Pink Marble

Structural System: Steel

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 5

Dimensions: 88' x 156'

Use

Current Use: Retail/Apartments

Historical Use: Department Store

Private Ownership

Public Accessibility: Exterior from road,
Businesses during hours

Surrounding Environment

Located to the north of Main Street near Central Park. Nearby are other commercial properties, some are mixed use with residential.



Significance

This is one of several buildings in downtown New Britain erected and financed by the Raphael family. This one has a plaque with the date in Roman numerals and "Erected by Louis R. Raphael" over the entrance.

The structure was designed as a department store, Raphael's.

302 Main Street

Downtown Historic District



Structure

Year Built: 1974

Style: Commercial Style

Alterations: Unknown

2022 Appraised Value: \$160,900

Materials: Brick

Structural System: Load Bearing
Masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 2

Dimensions: 22' x 52'

Use

Current Use: Offices

Historical Use: Offices

Private Ownership

Public Accessibility: Exterior from road,
Interior during hours

Surrounding Environment

Located to the north of Main Street where it intersects with Columbus Boulevard. Nearby are other commercial properties, some are mixed use with residential.



Significance

This is a newer construction in the Downtown Historic District.

15 Walnut Street

Downtown Historic District



Structure

Year Built: c. 1872

Style: Italianate

Alterations: Porch Enclosed

2022 Appraised Value: \$252,600

Materials: Brick, Clapboards

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: 38' x 56'

Use

Current Use: Offices

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road,
Interior during hours

Surrounding Environment

On Walnut Street near Main Street.
Nearby are many large mixed use
buildings in late 19th and early 20th
century designs.



Significance

Despite the porch enclosure this building still retains many of the details on its upper story. It is a good example of an intricate Italianate design.

21 Walnut Street

Downtown Historic District



Structure

Year Built: Unknown

Style: Parking Lot

Alterations: Unknown

2022 Appraised Value: \$67,400

Materials: Asphalt

Structural System: N/A

Roof Type: N/A

Roof Material: N/A

of Stories: N/A

Dimensions: 0.22 Acres

Use

Current Use: Parking Lot

Historical Use: Unknown

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sits nearby to historic residential and industrial buildings on Walnut Street.



Significance

Within the Downtown Historic District.

34 Walnut Street

Parker Shirt Factory

Downtown Historic District



Structure

Year Built: Pre 1884

Style: Brick Factory

Alterations: Windows filled in, entries blocked

2022 Appraised Value: \$507,100

Materials: Brick

Structural System: Load Bearing Masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 4

Dimensions: 127' x 112'

Use

Current Use: Warehouse

Historical Use: Shirt Factory

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

On Walnut Street near Main Street.

Nearby are many large buildings in late 19th and early 20th century designs.



Significance

This building still retains much of its original design character.

The Parker Shirt Company was started by Julius Parker making men's stocks in 1874. Stocks were pieces of silk or satin on bone or metal frames that attached around the neck and covered the chest and collar area. These bulky, unwieldy, and tight stocks fell from fashion in the 1850s, so Parker started making men's dress shirts. Parker Shirt Company continued successfully into the 20th century.

40 Walnut Street

The Georgian
Downtown Historic
District



Structure

Year Built: c. 1926

Style: Neo Classical

Alterations: Unknown

2022 Appraised Value: \$1,196,800

Materials: Brick, Concrete

Structural System: Structural Steel

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 3

Dimensions: 32' x 155'

Use

Current Use: Apartments

Historical Use: Apartments

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

On Walnut Street near Main Street.

Nearby are many large buildings in late 19th and early 20th century designs.



Significance

This building has a well done neoclassical style façade.

The builder of the structure was William H. Allen, who was also the owner.

43 Walnut Street

The Touraine
Downtown Historic
District



Structure

Year Built: c. 1903

Style: Perfect 6

Alterations: Unknown

2022 Appraised Value: \$530,800

Materials: Brick, Roughcut Granite

Structural System: Load Bearing
Masonry?

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 3

Dimensions: approx. 39' x 75'

Use

Current Use: Apartments

Historical Use: Apartments

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

On Walnut Street near Main Street.

Nearby are many large buildings in late 19th and early 20th century designs.



Significance

This building is a good example of the Perfect 6 building style.

The building was possibly named after the new Hotel Touraine, erected in Boston in 1899-1900 which became immediately famous.

49 Walnut Street

The Prospect House

Downtown Historic District



Structure

Year Built: c. 1925

Style: Neo Tudor

Alterations: Unknown

2022 Appraised Value: \$494,200

Materials: Brick, Concrete

Structural System: Load Bearing Masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 3

Dimensions: approx. 50' x 60'

Use

Current Use: Apartments

Historical Use: Apartments

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

On Walnut Street near Main Street.

Nearby are many large buildings in late 19th and early 20th century designs.



Significance

This is an example of a smaller apartment house with elements of neo Tudor style.

10 Washington Street

Miss Washington Diner

Downtown Historic District



Structure

Year Built: c. 1920

Style: 1960's Moderne Auto Roadside

Alterations: New Diner in 1960s

2022 Appraised Value: \$3,909,200

Materials: Aluminum Panels

Structural System: Structural Steel

Roof Type: Flat

Roof Material: Metal/Tin

of Stories: 1

Dimensions: approx. 27' x 73'

Use

Current Use: Restaurant

Historical Use: Restaurant

Private Ownership

Public Accessibility: Exterior from road,
Interior During Hours

Surrounding Environment

On Washington Street nearby
institutional buildings and downtown.



Significance

City Directories record that the property was occupied in 1932 by the Fellows Auburn Taxi Co. and the "Terminal Diner" of the Central Bus Terminal Co. was operated here. It is probable that the original diner was replaced by the present one in the late 1960's.

The building is a rare intact example of commercial roadside architecture influenced by the automobile and the use of mid 20th century building materials.

24 Washington Street

W. L. Hatch Company

Downtown Historic
District



Structure

Year Built: 1929

Style: Art Deco

Alterations: Unknown

2022 Appraised Value: \$572,700

Materials: Concrete, Cut Stone

Structural System: Structural Steel

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 2

Dimensions: approx. 50' x 96'

Use

Current Use: Office

Historical Use: Insurance and Real Estate
Company

Private Ownership

Public Accessibility: Exterior from road,
Interior During Hours

Surrounding Environment

On Washington Street nearby
institutional buildings and downtown.



Significance

This is a well detailed art deco work for the time. The birds on the facade were meant to have an allegorical meaning to "Hatch". The building was designed by the architectural firm Perry and Bishop. Hatch & Co. were incorporated on December 12, 1912.

30 Washington Street

Elks Club
Downtown Historic
District



Structure

Year Built: 1911

Style: Beaux Arts, Neoclassical

Alterations: Ionic colossal columns on corners of portico replaced by brick piers

2022 Appraised Value: \$387,100

Materials: Brick

Structural System: Structural Steel, Load Bearing Masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 2

Dimensions: approx. 56' x 130'

Use

Current Use: Clubhouse and Meeting Rooms

Historical Use: Clubhouse and Meeting Rooms

Private Ownership

Public Accessibility: Exterior from road, Interior to members and guests

Surrounding Environment

On Washington Street nearby institutional buildings and downtown.



Significance

Designed by Walter P. Crabtree, a notable New Britain Architect and former employee of the firm of William H. Cadwell. This Elks Club building is one of few documented buildings by Crabtree. In its Beaux Arts and Neo Classical style reflects contemporary building styles for semi-public edifices. Mostly unaltered it remains representative of the ideals and aspirations of the time.

3 Webster Street

Downtown Historic District



Structure

Year Built: c. 1900

Style: Italianate

Alterations: Unknown

2022 Appraised Value: \$109,900

Materials: Asbestos shingle

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 30' x 50'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sits on the cul de sac of Webster Street near Whiting Street. Some other Italianate homes are nearby.



Significance

This home is an example of the Italianate style with some alterations.

7 Webster Street

Downtown Historic District



Structure

Year Built: c. 1870

Style: Italianate

Alterations: Vinyl Siding, fenestration changes, possible addition to right side

2022 Appraised Value: \$190,100

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 32' x 44'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sits on the cul de sac of Webster Street near Whiting Street. Some other Italianate homes are nearby.



Significance

This home is an example of the Italianate style with many alterations.

11 Webster Street

Downtown Historic District



Structure

Year Built: c. 1900

Style: Italianate

Alterations: Aluminum Siding, possible additions

2022 Appraised Value: \$123,000

Materials: Aluminum Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 1.5

Dimensions: approx. 21' x 59'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sits on the cul de sac of Webster Street near Whiting Street. Some other Italianate homes are nearby.



Significance

This home is an example of the Italianate style with alterations.

17 Webster Street

Downtown Historic District



Structure

Year Built: 1988

Style: Raised Ranch

Alterations: Unknown

2022 Appraised Value: \$304,200

Materials: Aluminum Siding

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 42' x 36'

Use

Current Use: Four Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sits on the cul de sac of Webster Street near Whiting Street. Some Italianate homes are nearby.



Significance

This home is a more modern structure on Webster Street.

19 Webster Street

Downtown Historic District



Structure

Year Built: c. 1860

Style: Italianate

Alterations: Vinyl Siding

2022 Appraised Value: \$211,000

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 3

Dimensions: approx. 30' x 63'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sits on the cul de sac of Webster Street near Whiting Street. Some other Italianate homes are nearby.



Significance

This home is an example of the Italianate style with alterations.

27 West Main Street

Russwin Hotel (City Hall)

Downtown Historic District



Structure

Year Built: 1882

Style: Venetian Palazzo

Alterations: 1909 City Hall Conversion

2022 Appraised Value: \$28,594,500

Materials: Brick, Brownstone, Terra cotta

Structural System: Load bearing masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 5

Dimensions: approx. 126' x 167'

Use

Current Use: City Hall

Historical Use: Hotel

Public Ownership

Public Accessibility: Exterior from road,
Interior during hours

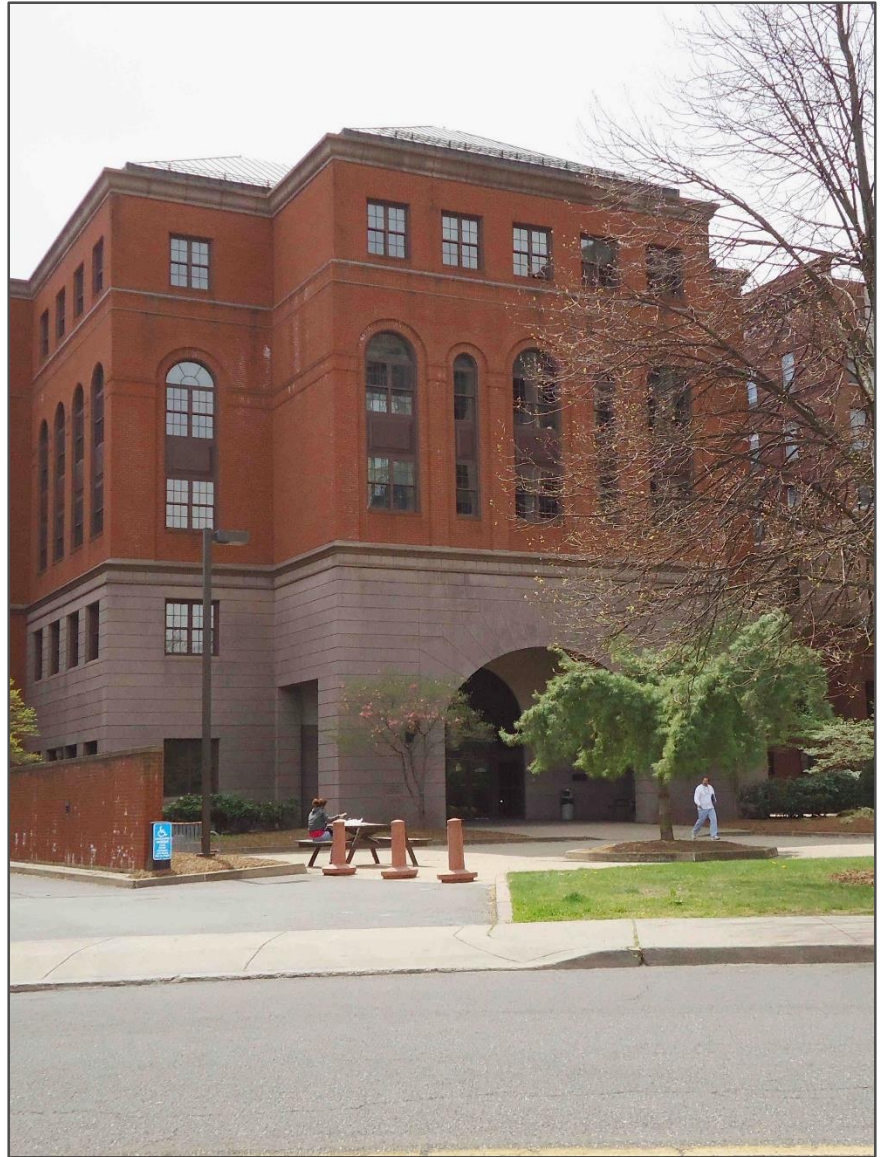
Surrounding Environment

Sits on West Main Street near main street. Central Park is across the street. Mixed use residential and commercial is to the east and west.

Significance

The Russwin Hotel was a joint venture by Henry E. Russell and Cornelius B. Erwin, two prominent industrialists of 19th century New Britain. The building was designed by the architectural firm of McKim, Meade, & White, and specifically by Joseph Morrill Wells, Stanford White's principal assistant. The building operated as a hotel for nearly 30 years before in 1909 it was converted into the City Hall in a design again by McKim, Meade & White.

The design of the building is significant for both its execution of the Palazzo style and its use of terra cotta, a rarity for the



time. Also attached to this building to the east is the former New Britain National Bank Building built in 1860 in a Romanesque style with red brick and brownstone details. Since the 1920s this building has been incorporated into city hall. To the west is the old Post Office Building also now incorporated into city hall, which was built in 1871 in a renaissance revival style with brownstone and light masonry.

51 West Main Street

The Anvil Bank

Downtown Historic District



Structure

Year Built: 1927

Style: Neo Italian Palazzo

Alterations: Lettering on front of building, 1983 Rennovations

2022 Appraised Value: \$2,348,200

Materials: Brick, Cut white stone

Structural System: Load bearing masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 7

Dimensions: approx. 54' x 140'

Use

Current Use: Apartments

Historical Use: Bank

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

Sits on West Main Street near Main Street. City Hall to the east, commercial mixed use to the west and south.

Significance

The Commercial Trust Co. built this building for its use in 1927, however shortly after it was abandoned in 1929 due to the stock market crash. It remained empty for several years until the New Britain National Bank, previously down the street, moved into this site.



It design is comparable to its neighbors but with a modern element on the carved brick.

54 West Main Street

Downtown Historic District



Structure

Year Built: c. 1927

Style: Art Moderne

Alterations: Store fronts

2022 Appraised Value: \$293,900

Materials: Concrete

Structural System: Load bearing masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 2

Dimensions: approx. 45' x 80'

Use

Current Use: Office/Retail

Historical Use: Retail

Private Ownership

Public Accessibility: Exterior from road,
Interior during hours

Surrounding Environment

Sits on West Main Street near Main Street. Commercial mixed use buildings are nearby.



Significance

The façade and style of this building with formed concrete are very compatible with the art deco tastes of the time.

66 West Main Street

Hick's Block
Downtown Historic
District



Structure

Year Built: c. 1871

Style: Victorian Commerical

Alterations: Store fronts

2022 Appraised Value: \$1,458,300

Materials: Brick, Brownstone, Terra cotta tiles

Structural System: Load bearing masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 5

Dimensions: approx. 35' x 107'

Use

Current Use: Retail/Apartments

Historical Use: Retail

Private Ownership

Public Accessibility: Exterior from road,
Interior during hours

Surrounding Environment

Sits on West Main Street near Main Street. Commercial mixed use buildings are nearby.



Significance

Prior to 1907, Hick's block was used as city offices. The building was designed by the architect Curtis L. Whaples, and built by Captain Ira E. Hicks. It was financed by George C. Pettis.

This is one of the only buildings in New Britain of this architectural character.

67 West Main Street

Burritt Hotel
Downtown Historic
District



Structure

Year Built: 1924

Style: Georgian Revival

Alterations: Storefronts

2022 Appraised Value: \$6,023,400

Materials: Brick, Concrete

Structural System: Steel

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 6

Dimensions: approx. 150' x 88'

Use

Current Use: Mixed use

Commercial/Apartments

Historical Use: Hotel

Private Ownership

Public Accessibility: Exterior from road,
Interior of shops during hours

Surrounding Environment

On the corner of Washington Street and West Main Street, commercial and mixed use buildings are on the sides.

Significance

In the early 1920s New Britain business leaders were concerned that their city was losing commercial opportunities to other Connecticut cities with better hotel facilities. Together with civic organizations such as the Lions and Rotary Club, the leaders of New Britain's major industrial and mercantile enterprises banded together to form a corporation to build a large, modern hotel. The hotel was intended not only to accommodate visitors to the city, but also to be an imposing symbol of New Britain as a progressive community. The hotel was given the name Burritt early in the planning stages as a way of honoring



New Britain's most famous native son, Elihu Burritt, the nineteenth-century blacksmith and scholar who became a world-renown peace advocate.

The city's leaders contracted with the H.L. Stevens Company to build a hotel that would be both modern and stylish. H.L. Stevens, which both prepared the plans and constructed the building, was a New York firm specializing in hotel construction. The Burritt was very up-to-date for 1924. It was constructed with all its materials fire-proof, including the strong and almost indestructible reinforced concrete structural system. Interior partitions of concrete and tile also reflected fire-proof design, a key consideration in an age when hotel fires were justifiably a great fear. Beyond its safety, however, the Burritt offered all the modern

67 West Main Street *(continued)*

Burritt Hotel
Downtown Historic
District



Significance

amenities of the time, including separate freight and passenger elevators, complete plumbing in every room, and separately piped-in iced drinking water.

The architecture of the Burritt was intended to illustrate its role as the leading hotel in the city. Large and imposing, it immediately became a downtown landmark. By the year 1924 the Georgian Revival, along with Neo-Classicism and to a lesser extent, the Renaissance Revival style, had become the standard mode for large quasi-public buildings where a visual impression was important: banks, high schools, government buildings, and hotels were commonly designed with Georgian detailing in that period. In the case of the Burritt Hotel, however, the use of Georgian architecture went beyond the simple function of creating a monumental appearance

As New Britain's largest and most stylish hotel, the Burritt became a center for the city's social affairs. The New Britain Club had its headquarters on the mezzanine level, and the Burritt was the locus of numerous dinners, dances, and other formal occasions. Nor did the hotel simply serve New Britain "society:" its restaurant and coffee shop were frequented by generations of New Britainites from all walks of life.

70 West Main Street

Downtown Historic District



Structure

Year Built: c. 1924

Style: Arte Moderne

Alterations: Store fronts

2022 Appraised Value: \$621,300

Materials: Brick, Concrete

Structural System: Structural Iron or Steel

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 5

Dimensions: approx. 73' x 90'

Use

Current Use: Retail/Office

Historical Use: Retail/Office

Private Ownership

Public Accessibility: Exterior from road,
Interior during hours

Surrounding Environment

Sits on West Main Street near Main Street. Commercial mixed use buildings are nearby.



Significance

This building contains main elements of the Arte Moderne style with its arches, window shapes, and lobby with a terrazzo floor and curved stair.

75 West Main Street

Downtown Historic District



Structure

Year Built: c. 1930

Style: Art Deco

Alterations: Store fronts

2022 Appraised Value: \$709,700

Materials: Brick, Cut Stone, Pressed metal

Structural System: Load bearing masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 2

Dimensions: approx. 88' x 100'

Use

Current Use: Retail/Office

Historical Use: Retail/Office

Private Ownership

Public Accessibility: Exterior from road,
Interior during hours

Surrounding Environment

Sits on West Main Street where it intersects with Washington Street. Commercial mixed use buildings are nearby.



Significance

This building is a good example of the use of Art Deco design elements.

87 West Main Street

Downtown Historic District



Structure

Year Built: c. 1920

Style: Art Moderne

Alterations: Store fronts

2022 Appraised Value: \$3,618,900

Materials: Brick, Cut Stone

Structural System: Load bearing masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 3

Dimensions: approx. 92' x 88'

Use

Current Use: Retail/Apartments

Historical Use: Unknown

Private Ownership

Public Accessibility: Exterior from road,
Interior during hours

Surrounding Environment

Sits on West Main Street between Washington Street and High Street. Commercial mixed use buildings are nearby.



Significance

This building is a good example of the use of Art Moderne design elements.

94 West Main Street

Downtown Historic District



Structure

Year Built: c. 1956

Style: Art Deco

Alterations: Unknown

2022 Appraised Value: \$473,400

Materials: Brick, Cut Stone

Structural System: Load bearing masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 2

Dimensions: approx. 54' x 80'

Use

Current Use: Office

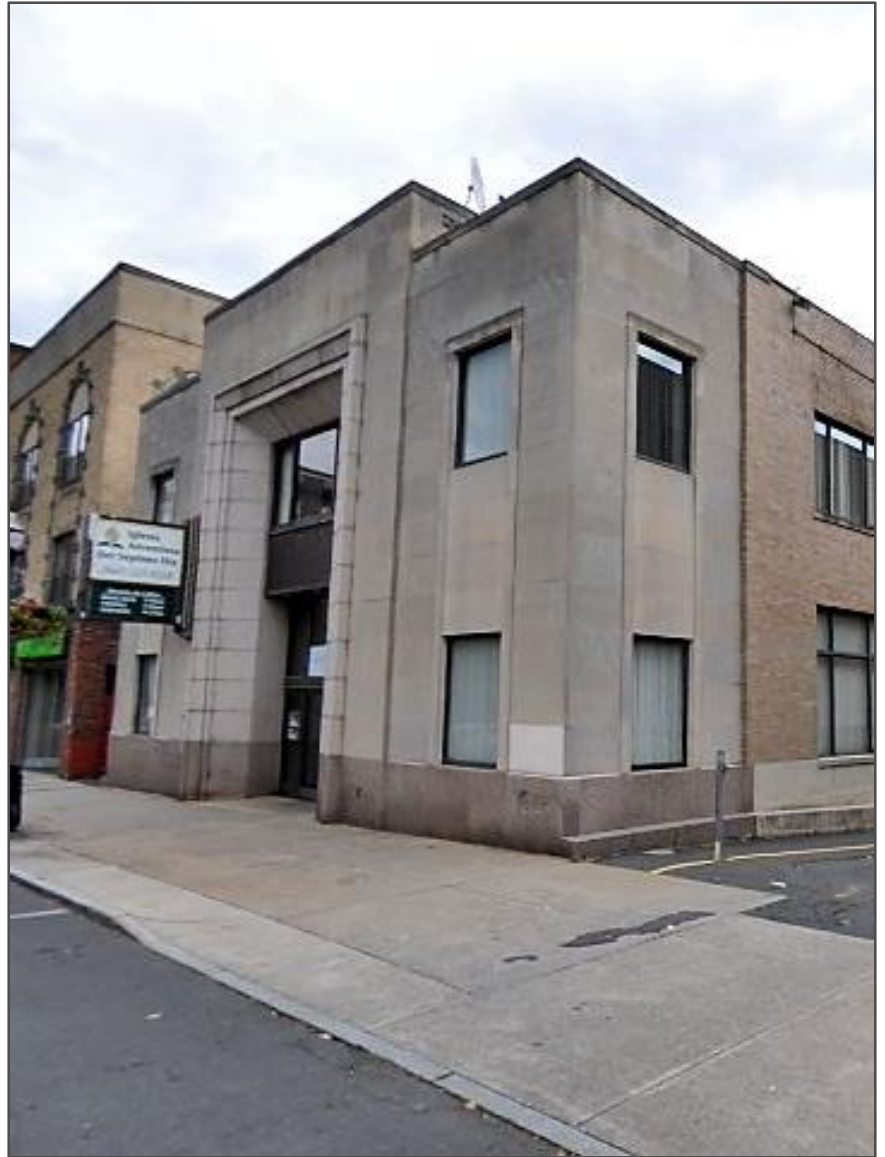
Historical Use: Unknown

Private Ownership

Public Accessibility: Exterior from road,
Interior during hours

Surrounding Environment

Sits on West Main Street between Washington Street and High Street. Commercial mixed use buildings are nearby.



Significance

This building is a good example of the Art Deco architectural style.

102 West Main Street

Downtown Historic District



Structure

Year Built: c. 1970

Style: Modern Brick Bank

Alterations: Unknown

2022 Appraised Value: \$1,527,400

Materials: Brick

Structural System: Load bearing masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 2

Dimensions: approx. 83' x 195'

Use

Current Use: Office

Historical Use: Bank

Private Ownership

Public Accessibility: Exterior from road,
Interior during hours

Surrounding Environment

Sits on West Main Street between Washington Street and High Street. Commercial mixed use buildings are nearby.



Significance

This building is a more recent construction for this section of West Main Street.

111 West Main Street

Downtown Historic District



Structure

Year Built: c. 1950

Style: 50's retail

Alterations: Unknown

2022 Appraised Value: \$589,100

Materials: Brick, Curt Stone

Structural System: Load bearing masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 1

Dimensions: approx. 66' x 180'

Use

Current Use: Retail

Historical Use: Retail

Private Ownership

Public Accessibility: Exterior from road,
Interior during hours

Surrounding Environment

Sits on West Main Street between Washington Street and High Street. Commercial mixed use buildings are nearby.



Significance

This building represents popular elements of mid century retail style.

114 West Main Street

Post Office
Downtown Historic
District



Structure

Year Built: 1920

Style: Neoclassical, Beaux Arts

Alterations: None

2022 Appraised Value: \$697,100

Materials: Limestone

Structural System: Load bearing masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 2

Dimensions: approx. 95' x 138'

Use

Current Use: Offices

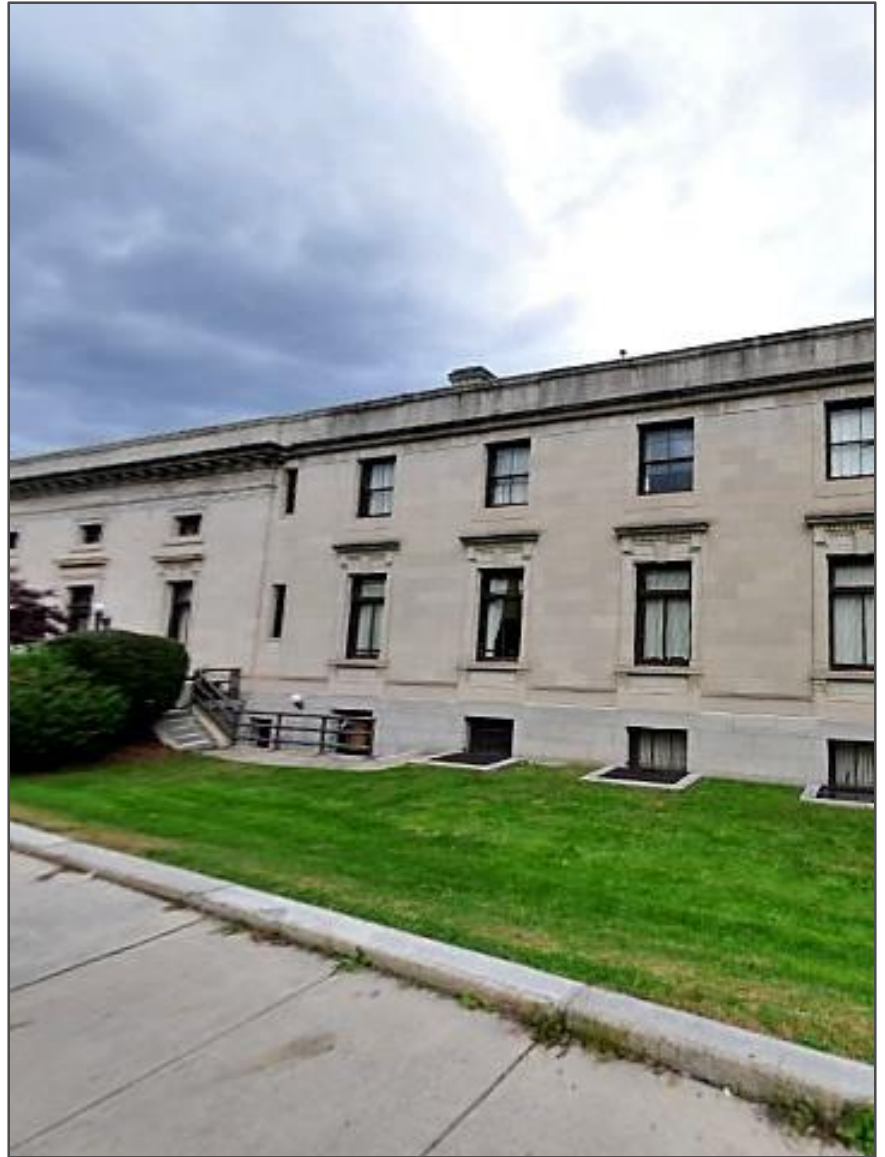
Historical Use: Post office

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

On the corner of West Main Street and South High Street. Nearby commercial and residential mixed use. Churches, and the New Britain public library across West Main to the north.



Significance

This Neoclassical style building operated as a post office for the city in the early to mid 20th century.

119 West Main Street

First Baptist Church

Downtown Historic District



Structure

Year Built: 1908

Style: Gothic Revival

Alterations: Unknown

2022 Appraised Value: \$1,941,100

Materials: Brick, Masonry

Structural System: Load Bearing

Masonry

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 1

Dimensions: approx. 58' x 85'

Use

Current Use: Church

Historical Use: Church

Private Ownership

Public Accessibility: Exterior from road,
Interior during services

Surrounding Environment

On the corner of West Main and High Street. Downtown commercial buildings to the east, public library to the west. Across West Main Street to the south is the old post office.



Significance

An early 20th Gothic Revival church.

9 West Pearl Street

Downtown Historic District



Structure

Year Built: 1902

Style: Brick Row Apartment Building

Alterations: Unknown

2022 Appraised Value: \$306,100

Materials: Brick

Structural System: Balloon

Roof Type: Hip

Roof Material: T&G/Rubber

of Stories: 3

Dimensions: approx. 32' x 50'

Use

Current Use: Three Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

On West Pearl Street near to other residential properties, some of them in historic styles.



Significance

This building is representative of the residential architectural styles of the time.

13 West Pearl Street

Downtown Historic District



Structure

Year Built: Unknown

Style: Parking Lot

Alterations: Unknown

2022 Appraised Value: \$3,100

Materials: N/A

Structural System: N/A

Roof Type: N/A

Roof Material: N/A

of Stories: N/A

Dimensions: 0.09 Acres

Use

Current Use: Parking Lot

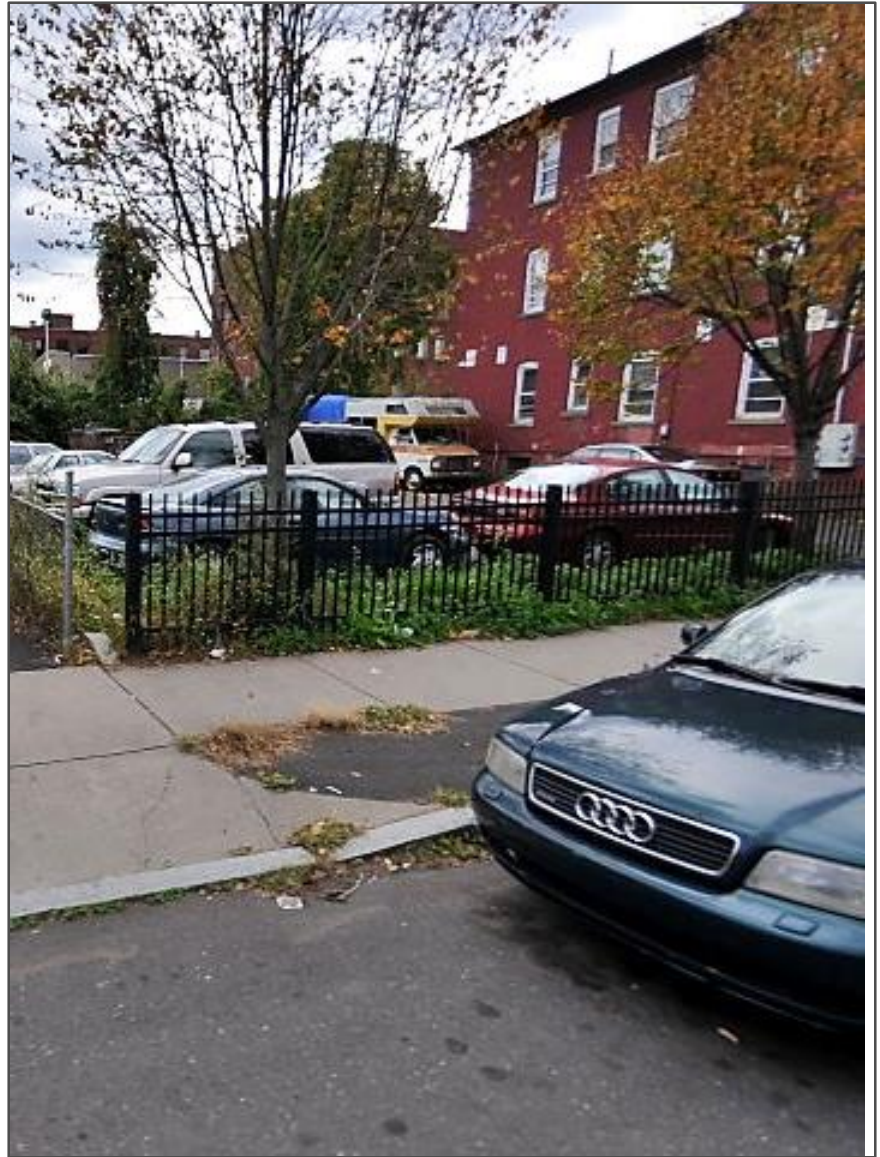
Historical Use: Unknown

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

On West Pearl Street near to residential properties, some of them in historic styles.



Significance

Within the Downtown Historic District.

14 West Pearl Street

Downtown Historic District



Structure

Year Built: 1896

Style: Queen Anne

Alterations: Unknown

2022 Appraised Value: \$244,300

Materials: Brick

Structural System: Unknown

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2.25

Dimensions: approx. 35' x 60'

Use

Current Use: Three Family Residential

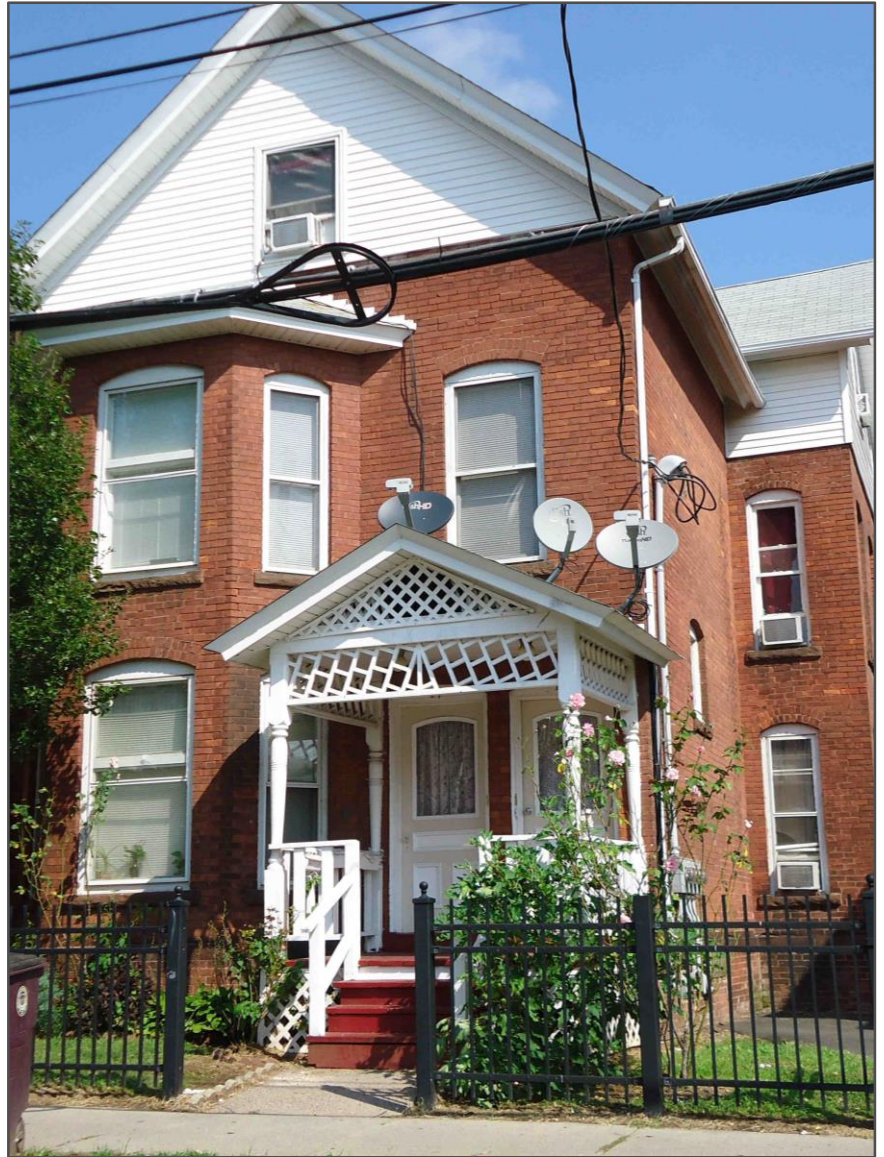
Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

On West Pearl Street near to other residential properties, some of them in historic styles.



Significance

This building is representative of the residential architectural styles of the time.

18 West Pearl Street

Downtown Historic District



Structure

Year Built: pre 1895

Style: Queen Anne, Stick Style

Alterations: Second story porch or wing removed

2022 Appraised Value: \$220,800

Materials: Brick

Structural System: Balloon

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2.5

Dimensions: approx. 28' x 46'

Use

Current Use: Three Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

On West Pearl Street near to other residential properties, some of them in historic styles.



Significance

This building is representative of the Queen Anne architectural style.

19 West Pearl Street

Downtown Historic District



Structure

Year Built: c. 1880

Style: Italianate

Alterations: Multiple additions and enclosures, Vinyl Siding

2022 Appraised Value: \$242,500

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Gable, Mansard

Roof Material: Asphalt Shingle, Slate

of Stories: 3

Dimensions: approx. 31' x 52'

Use

Current Use: Three Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

On West Pearl Street near to other residential properties, some of them in historic styles.



Significance

This building features elements of a few late 19th century styles, including Italianate.

22 West Pearl Street

Downtown Historic District



Structure

Year Built: c. 1890

Style: Italianate

Alterations: Asbestos shingle, Vinyl Siding

2022 Appraised Value: \$162,600

Materials: Vinyl Siding, Asbestos Shingle

Structural System: Wood Frame

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 25' x 40'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

On West Pearl Street near to other residential properties, some of them in historic styles.



Significance

This building is representative of the Italianate style despite alterations.

23 West Pearl Street

Downtown Historic District



Structure

Year Built: c. 1880

Style: Eastlake

Alterations: Unknown

2022 Appraised Value: \$225,900

Materials: Brick, Stickwork trusses

Structural System: Balloon

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 39' x 55'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

On West Pearl Street near to other residential properties, some of them in historic styles.



Significance

This structure is significant for its use of Vernacular Eastlake design characteristics, such as the trusses in the gable.

26 West Pearl Street

Downtown Historic District



Structure

Year Built: c. 1880

Style: Italianate

Alterations: Unknown

2022 Appraised Value: \$170,700

Materials: Clapboards

Structural System: Balloon

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 27' x 33'

Use

Current Use: Single Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

On West Pearl Street near to other residential properties, some of them in historic styles.



Significance

This structure is a good example of the Italianate architectural style.

29 West Pearl Street

Downtown Historic District



Structure

Year Built: c. 1890

Style: Italianate

Alterations: Vinyl Siding, Side Porches

2022 Appraised Value: \$234,200

Materials: Vinyl Siding

Structural System: Balloon

Roof Type: Flat

Roof Material: Roll Roofing

of Stories: 2

Dimensions: approx. 33' x 60'

Use

Current Use: Three Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

On West Pearl Street near to other residential properties, some of them in historic styles.



Significance

This structure is a good example of the Italianate architectural style.

32 West Pearl Street

Downtown Historic District



Structure

Year Built: c. 1890

Style: Queen Anne

Alterations: Side Porches, Dormers

2022 Appraised Value: \$234,200

Materials: Brick, Vinyl Siding

Structural System: Balloon

Roof Type: Gable

Roof Material: Asphalt Shingle

of Stories: 2.5

Dimensions: approx. 31' x 55'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

On West Pearl Street near to other residential properties, some of them in historic styles.



Significance

This structure is an example of the Queen Anne architectural style.

22 Whiting Street

Downtown Historic District



Structure

Year Built: N/A

Style: Vacant Land

Alterations: N/A

2022 Appraised Value: \$30,500

Materials: N/A

Structural System: N/A

Roof Type: N/A

Roof Material: N/A

of Stories: N/A

Dimensions: .15 Acres

Use

Current Use: Vacant Land

Historical Use: Commercial

Public Ownership

Public Accessibility: Open Land

Surrounding Environment

On Whiting Street near the end of Arch Street.



Significance

This property is located within the Downtown Historic District.

56 Whiting Street

Downtown Historic District



Structure

Year Built: c. 1915

Style: Late 19th Century Vernacular

Alterations: Windows Covered

2022 Appraised Value: \$196,000

Materials: Brick

Structural System: Load Bearing
Masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 3

Dimensions: approx. 26' x 57'

Use

Current Use: Apartments/Garage

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

On the corner of Whiting and Glen Streets. Nearby are other historic properties.



Significance

This structure is an example of late 19th Century Design.

57 Whiting Street

Downtown Historic District



Structure

Year Built: c. 1924

Style: Georgian Revival

Alterations: Store Fronts

2022 Appraised Value: \$1,256,900

Materials: Brick

Structural System: Load Bearing Masonry

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 4

Dimensions: approx. 200' x 56' L Shaped

Use

Current Use: Apartments/Retail

Historical Use: Apartments/Retail

Private Ownership

Public Accessibility: Exterior from road,
Interior during hours

Surrounding Environment

On the corner of Whiting and Glen Streets. Nearby are other historic properties.



Significance

This structure is an example of late 19th Century Design.

67 Whiting Street

Downtown Historic District



Structure

Year Built: c. 1900

Style: Italianate

Alterations: Vinyl Siding

2022 Appraised Value: \$250,200

Materials: Vinyl Siding

Structural System: Balloon

Roof Type: Flat

Roof Material: T&G/Rubber

of Stories: 2

Dimensions: approx. 30' x 64'

Use

Current Use: Two Family Residential

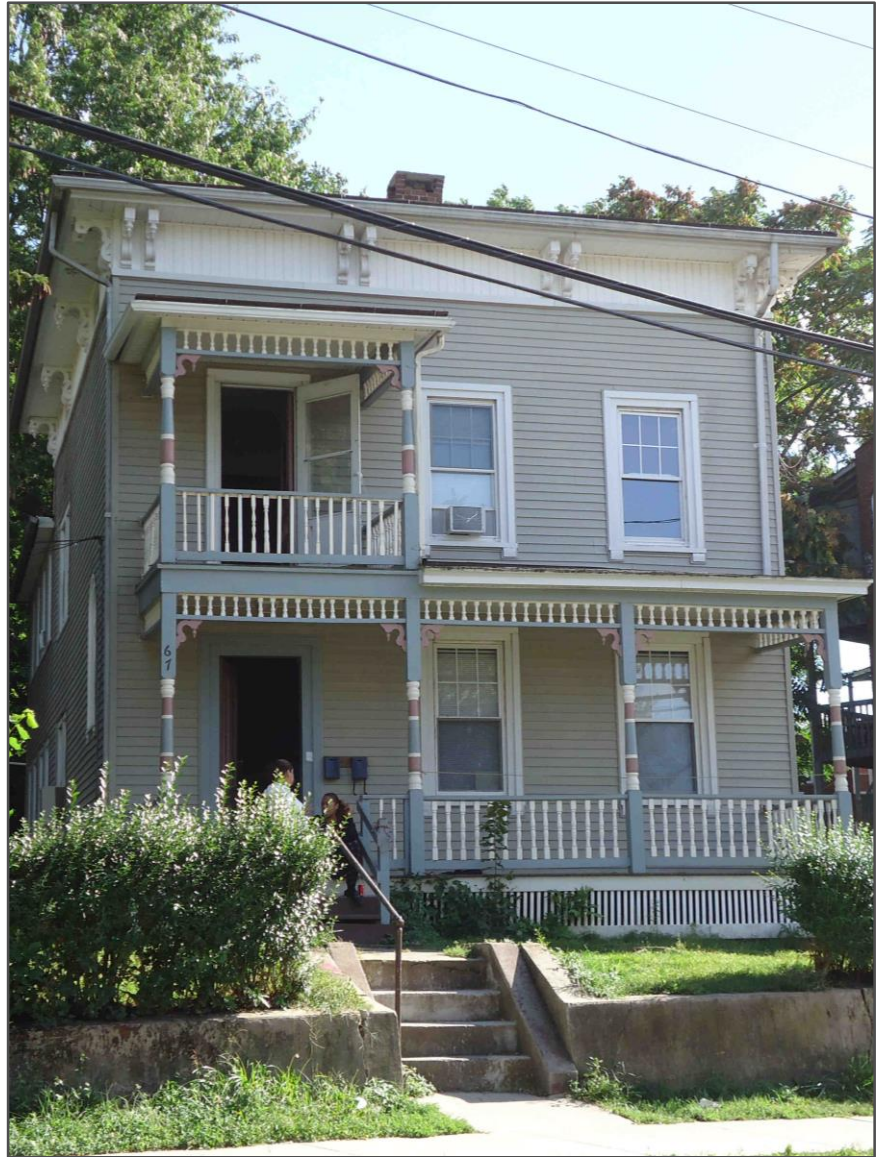
Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

On Whiting Street nearby to other historic properties. Some also in Italianate style.



Significance

This structure is a good example of Italianate architectural design.

70 Whiting Street

Downtown Historic District



Structure

Year Built: c. 1910

Style: Italianate

Alterations: Unknown

2022 Appraised Value: \$595,400

Materials: Clapboards

Structural System: Balloon

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 36' x 56'

Use

Current Use: Commercial

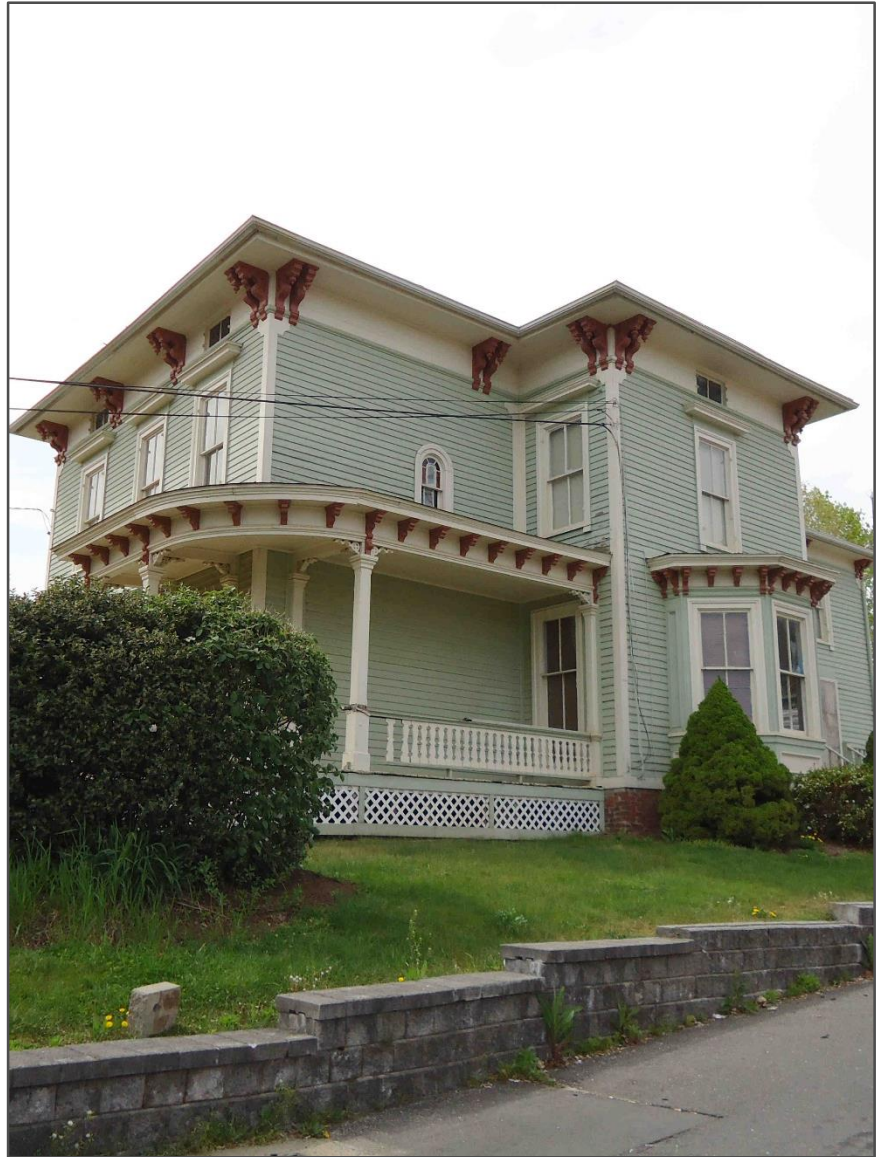
Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road,
Interior during hours

Surrounding Environment

On Whiting Street nearby to other historic properties. Some also in Italianate style.



Significance

This structure is a good example of Italianate architectural design.

75 Whiting Street

Downtown Historic District



Structure

Year Built: c. 1900

Style: Italianate

Alterations: Siding, Fenestration

2022 Appraised Value: \$219,600

Materials: Aluminum Siding, Brick Veneer

Structural System: Balloon

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 33' x 41'

Use

Current Use: Two Family Residential

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road

Surrounding Environment

On Whiting Street nearby to other historic properties. Some also in Italianate style.



Significance

This structure is an example of Italianate architectural design with many alterations.

83 Whiting Street

Downtown Historic District



Structure

Year Built: c. 1900

Style: Italianate

Alterations: Vinyl Siding

2022 Appraised Value: \$261,200

Materials: Vinyl Siding

Structural System: Wood Frame

Roof Type: Hip

Roof Material: Asphalt Shingle

of Stories: 2

Dimensions: approx. 30' x 52'

Use

Current Use: Commercial

Historical Use: Residential

Private Ownership

Public Accessibility: Exterior from road,
Interior during hours

Surrounding Environment

On Whiting Street nearby to other historic properties. Some also in Italianate style.



Significance

This structure is a good example of Italianate architecture.