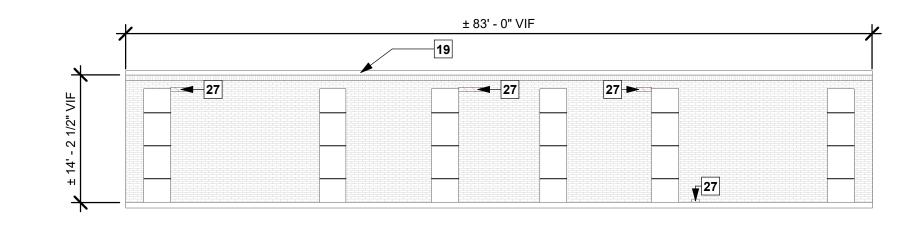


NOTE: RED FILLED REGION REPRESENTS MAJOR

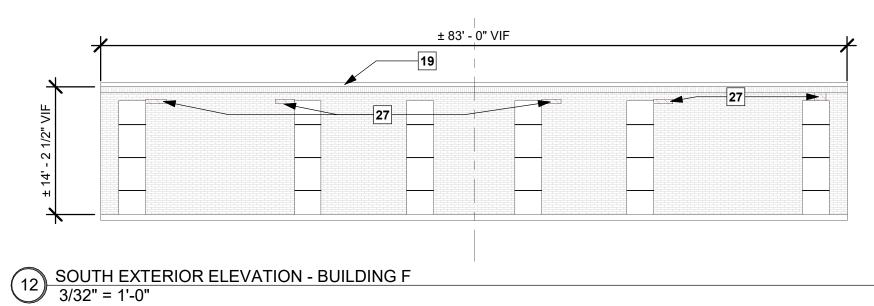
2 EAST EXTERIOR ELEVATION - BUILDING F 3/32" = 1'-0"

NORTH EXTERIOR ELEVATION - BUILDING F











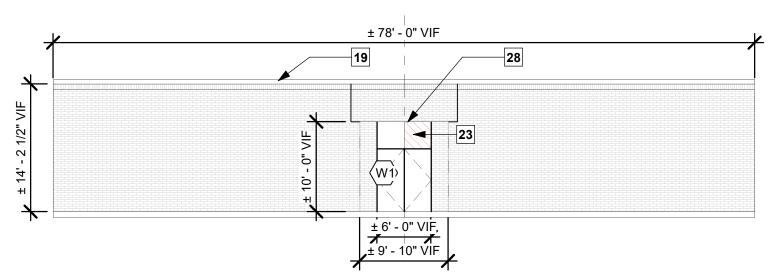
CONDITIONS IN THE FIELD.

CONTRACTOR SHALL CONFIRM

CURRENT CONDITIONS IN THE FIELD

PRIOR TO BIDDING - TYPICAL.

NOTE: IMAGES ARE FOR VISUAL REFERENCES TO HELP UNDERSTAND DAMAGES. THEY DO NOT REPRESENT THE ENTIRE SCOPE OF WORK AND SHOULD BE USED IN CONJUNCTION WITH THE DRAWINGS AND CURRENT



WEST EXTERIOR ELEVATION - BUILDING F

<u>HAZARDOUS MATERIAL GENERAL NOTES</u>

- ALL WORK INDICATED AS HAZARDOUS MATERIALS SHALL BE REMOVED BY ABATEMENT CONTRACTOR CONTRACTOR IS TO COORDINATE WITH ABATEMENT CONTRACTOR FOR ABATEMENT WORK TO BE PERFORMED IN CONJUNCTION WITH THIS
- CONTRACT. COORDINATE SCHEDULED WORK WITH ABATEMENT CONTRACTOR AS TO NOT EXPOSE ANY EXTERIOR COMPONENTS TO THE WEATHER MORE THAN REQUIRED FOR REPAIRS.
- ABATEMENT OF INTERIOR COMPONENTS WILL NEED TO BE COORDINATED WITH CONTRACTOR'S PHASING PLAN FOR INTERIOR REPAIRS. CONTRACTOR IS RESPONSIBLE FOR PROTECTING BUILDING STRUCTURE AND INTERIOR FINISHES FROM ANY INCLIMATIC WEATHER AT ALL TIMES.

KEYNOTES

PASSIVE AIR ROOF VENT REPLACEMENT: EXISTING PASSIVE AIR ROOF VENT TO BE REMOVED.

ROOF ASSEMBLY REPLACEMENT: SHADED REGION INDICATES EXISTING ROOFING ASSEMBLY TO BE REMOVED TO EXISTING METAL ROOF DECKING SUBSTRATE BELOW, AND NEW ROOFING INSTALLED. ALL DEBRIS IS TO BE REMOVED FROM THE SITE. SEE SPECIFICATIONS FOR EXTENT OF DEMOLITION AND SITE CONSTRAINTS. RIGID CONDUIT REPAIR (VIF): INDICATES EXISTING RIGID CONDUIT RUNS EXPOSED ON EXISTING ROOF, CONTRACTOR SHALL MAKE VISUAL INSPECTIONS ON SITE TO VERIFY THE EXTENT OF WORK WHICH BE REQUIRED TO MOVE AND RELOCATE THESE CONDUIT RUNS DURING THE

ROOFING SYMBOL LEGEND

EXISTING SKYLIGHT

SEE KEYNOTE 11

SEE KEYNOTE 9

SEE KEYNOTE 12

- ROOF FAN / VENT

SEE KEYNOTE 12

SEE KEYNOTE 30

SEE KEYNOTE 12

SEE KEYNOTE 12

- EXPANSION JOINT

SEE KEYNOTE 28

SEE DETAIL 3 / A-00.4

SEE DETAIL 15 / A-00.4

ONE-WAY ROOF VENT TO BE

REMOVED W/ ROOFING

CONDUIT/PIPING RUNS

SEE KEYNOTE 3

SCUPPER/OPENING FOR DRAINAGE

SEE KEYNOTE 8

- DOWNSPOUT

- MISC MEP

TURBINE VENT

ROOF FAN / VENT

SEE DETAIL 19 / A-00.4

ROOF DRAIN LOCATION SEE

ROOF PIPING PENETRATION

KEYNOTE 5 SEE DETAIL 16 / A-00.4

PROCESS OF RE-ROOFING AND TO ENSURE THAT THE NEW ROOF SLOPES ARE INTEGRATED AND ACCOUNTED FOR WHERE EXTENSIONS OF THESE CONDUITS AND WIRING IS REQUIRED. ROOF CURB REPLACEMENT: ALL EXISTING ROOF CURBS TO BE REMOVED AND REPLACED IN AREAS BEING RE-ROOFED. ROOF DRAIN REPAIR (VIF): APPROXIMATE LOCATION OF EXISTING ROOF

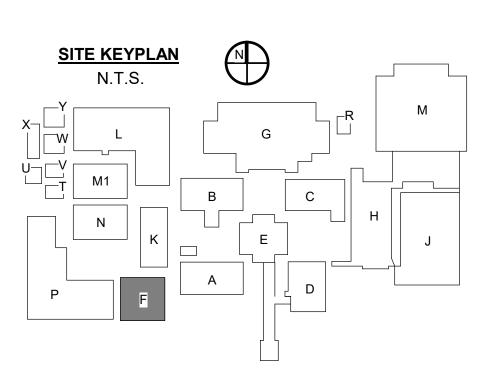
DRAIN, CONTRACTOR SHALL VISUALLY INSPECT ALL CONDITIONS REPLACE DAMAGED COMPONENTS AND ADJUST TO NEW ROOF SLOPE. FLASHING VIF: SEE DETAILS FOR FLASHING AND COUNTERFLASHING WHICH IS TO TIE INTO THE EXISTING BUILDING ENVELOPE. VERIFY CLEARANCES AND LOCATIONS FOR INSTALLATION OF ALL FLASHING AND TERMINATION BARS AS DETAILED.

RUNNER CURB INSTALLMENT: PROVIDE NEW "RUNNER CURBS" FOR SUPPORT OF ALL HARD PIPING WHICH IS TO REMAIN ON ROOF AFTER NEW INSTALLATION. SPACE CURBS AS REQUIRED SO CONDUIT AND PIPING DOES NOT SAG BETWEEN THESE LOCATIONS. INSTALL AS DETAILED. ROOF EXPANSION JOINT REPAIR (VIF): INDICATES APPROXIMATE AREA AND LOCATION OF ROOF EXPANSION JOINT. CONTRACTOR SHALL VISUALLY INSPECT THE EXISTING CONDITIONS AT THE SITE AND PROVIDE A NEW EXPANSION JOINT AS DETAILED WITHIN THESE DOCUMENTS. THE INSTALLER SHOULD ASSUME THAT ALL EXISTING WOOD BLOCKING SHALL BE REPLACED WITH NEW TREATED WOOD BLOCKING AS PER DETAILS. PROVIDE NEW CANT STRIP, FLASHING, PRE-FINISHED EXPANSION JOINT COVER, VINYL BELLOWS, AND BASE FLASHING AS DETAILED. VERIFY EXACT ROUTING AND AREA WHERE THIS EJ IS TO BE REMOVED AND REPLACED, VERIFY ALL EXISTING CONDITIONS, ESPECIALLY ANY PIPING, AND CONDUIT WHICH MIGHT INTERSECT OR CROSS OVER THIS JOINT PLUMBING VENT REPLACEMENT (VIF): CONTRACTOR SHALL VISUALLY INSPECT ALL EXISTING ROOFING PLUMBING VENTS WHICH ARE TO REMAIN.

CONFIRM HEIGHTS OF VENT PIPING AND EXTEND WHERE REQUIRED DUE TO INSTALLATION OF NEW TAPERED INSULATION. EXTEND ALL VENTS AS REQUIRED TO MAINTAIN VERTICAL CLEARANCES CALLED FOR ON EACH RELATED CONSTRUCTION DETAIL. REPLACE ALL LEAD VENT & PIPE FLASHING. TYPICAL ALL LOCATIONS.

FLASHING REPLACEMENT: REMOVE AND REPLACE FLASHING, COUNTER-FLASHING AND PRE-FINISHED METAL FASCIA FLASHING AS DETAILED. SKYLIGHT REPLACEMENT: INSTALL NEW ALUMINUM SKYLIGHT GUARD TO

HVAC REPAIR (VIF): INDICATES EXISTING HVAC EQUIPMENT AT EXISTING ROOF WHICH IS TO REMAIN. COORDINATE WORK INVOLVED WITH THIS



EQUIPMENT AND NEW ROOFING ASSEMBLY SO AS TO NOT DISRUPT SERVICE TO THE EXISTING BUILDING. IF SERVICE IS REQUIRED TO BE TEMPORARILY SUSPENDED WHILE NEW WORK IS TAKING PLACE, THE CONTRACTOR SHALL COORDINATE ANY AND ALL OUTAGES WITH THE OWNER AND WILL BE REQUIRED TO ONLY PERFORM THIS WORK AT TIMES WHEN SUSPENSION OF THIS SERVICE MINIMALLY AFFECTS THE OWNERS USE OF THE BUILDING. IF THE SERVICE CANNOT BE SUSPENDED DURING OWNER'S OPERATING HOURS, WORK MAY HAVE TO BE PERFORMED AFTER HOURS, OR ON WEEKENDS. **SATELLITE INSTALLATION:** SEE DETAILS FOR SATELLITE MOUNTING UNIT.

"A" METAL PANEL REPLACEMENT: METAL WALL PANEL "E" - REMOVE AND REPLACE DAMAGED/MISSING METAL WALL PANEL AS SPECIFIED. SEE BUILDING

SIGNAGE INSTALLATION: INSTALL MISSING LETTERING TO MATCH EXISTING. ROOF ACCESSORY REPLACEMENT: REPLACE DAMAGED ROOF ACCESSORIES. MATCH EXISTING TYPE, MATERIAL, AND STYLE. DOWNSPOUT AND GUTTER CLEANING: DOWNSPOUT/COLLECTOR LOCATIONS, SEE ELEVATIONS. CONTRACTOR IS TO REMOVE ALL DEBRIS FROM GUTTERS AND

SATELLITE REMOVAL: REMOVE ALL SATELLITE COMPONENTS. THESE ARE NO

LONGER IN USE. **COPING:** SEE ROOFING SHEETS FOR COPING, OVERHANG & ROOFING SCOPES -

TEMPORARY CHAIN LINK FENCING - PROVIDE 6' TEMPORARY CHAIN LINK FENCING TO PROTECT STUDENT TRAFFIC DURING CONSTRUCTION. PROVIDE ACCESS TO THE GREATEST EXTENT POSSIBLE. COORDINATE WITH PHASING AND SCHOOL PRINCIPAL

WIND TURBINE REPLACEMENT: REMOVE AND REPLACE WIND TURBINE TO MATCH EXISTING. PAINTING EXTERIOR: CLEAN, PREP & RE-PAINT WALLS AND ARTWORK TO COVER

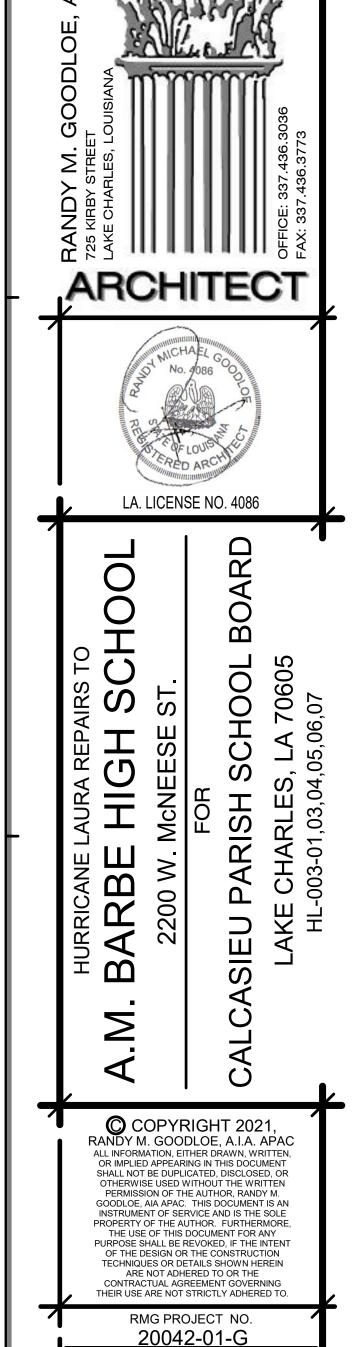
SCUFFS AND DAMAGE FROM STORM DEBRIS. COLOR TO MATCH EXISTING AS APPROVED BY ARCHITECT. GLASS REPLACEMENT: REMOVE AND REPLACE DAMAGED GLASS (OR PLYWOOD WHERE APPLICABLE) TO MATCH EXISTING. PROVIDE CAULKING AND GASKETING.

STUCCO SOFFIT REPLACEMENT: SOFFIT REMOVED BY OTHERS (HAZARDOUS MATERIAL). COORDINATE AND INSTALL NEW STUCCO SOFFIT. COORDINATE REMOVAL OF **AGGREGATE PANELS (HAZARDOUS MATERIAL)** WITH ABATEMENT SCOPE AND ABATEMENT CONTRACTOR. COORDINATE AND INSTALL NEW GFRC FACADE PANELS AS SPECIFIED. REMOVE AND REPLACE DAMAGED WALL FRAMING - SEE STRUCTURAL AND WALL SECTIONS. SALVAGE AND

REINSTALL MEP COMPONENTS AT SAME LOCATIONS - COORDINATE WITH MEP. **DOWNSPOUT AND GUTTER REPLACEMENT:** REMOVE REMAINING ATTACHMENTS AND COMPONENTS OF DOWNSPOUT, GUTTER AND CONDUCTOR HEADS AND INSTALL NEW TO MATCH EXISTING COLOR, DIMENSION, GAUGE, AND MATERIAL. GROUT HOLES AT OLD STRAPS PRIOR TO NEW INSTALLATION & ATTACH AT INTERVALS EQUAL TO EXISTING SPACING. SALVAGE AND PREP REMAINING COMPONENTS FOR NEW INSTALLATION. CONTRACTOR IS TO REMOVE ALL DEBRIS

ROM GUTTERS AND DOWN SPOUTS BRICK REPAIR: REMOVE AND REPLACE BRICK FACADE AS INDICATED. DISPOSE OF OLD BRICK, MATCH NEW BRICK AND MORTAR TO EXISTING AS APPROVED BY ARCHITECT. PRESERVE SUBSTRATE. REMOVE OLD BRICK TIES AND WATER PROOFING, INSTALL NEW WATERPROOFING AND BRICK TIES AT A MIN. OF 24" O.C. VERTICAL AND HORIZONTAL

PLASTER SOFFIT REPLACEMENT: REMOVE REMAINING VINYL SOFFIT AND REPLACE TO MATCH EXISTING - PRESERVE LIGHT & REINSTALL AS NECESSARY.



OWNER PROJECT NO.

HL-003-01.03.04.05.06.07

PROJECT MANAGER

TM

DATE ISSUED

06/28/2024

REVISED

SHEET NUMBER

Date 2



KEYNOTES

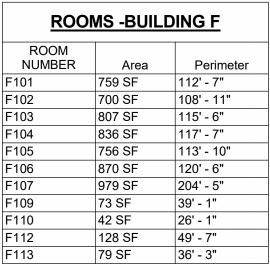
- SUSPENDED ACOUSTIC CEILING REPLACEMENT: REMOVE AND REPLACE DAMAGED CEILING GRID AND CEILING TILE AS SPECIFIED.
- CEILING GRID: REMOVE AND REPLACE DAMAGED CEILING GRID. MATCH
- EXISTING. SEE UNIT PRICE NO. 5 VCT FLOORING REPAIRS: REMOVE AND REPLACE VCT FLOORING AS SPECIFIED
- IN AREAS WHERE INDICATED. SEE UNIT PRICE NO. 3. WINDOW REPAIRS: REPLACE BROKEN WINDOW PANES, BLOCKS, AND GASKETS
- TO MATCH EXISTING. ALL SEALANTS SHALL BE REMOVED AND REPLACED AS SPECIFIED TO ENSURE WEATHER TIGHT SEAL. SEE ELEVATIONS.
- STRUCTURAL CLAY BLOCK: GLAZED STRUCTURAL CLAY BLOCK TO BE REMOVED AND REPLACED AS SPECIFIED TO MATCH EXISTING. CLEAN ALL CHALKING RESIDUE FROM EFFERVESCENCE.
- VINYL BASE REPLACEMENT: REPLACE DAMAGED OR MISSING BASE AS SPECIFIED TO MATCH EXISTING. SEE UNIT PRICE NO. 4
- CARPET REPAIRS: DAMAGED CARPET HAS BEEN REMOVED. CLEAN FLOOR AND INSTALL NEW CARPET TILE AS SPECIFIED.
- PAINTING: WALL SURFACE IS TO BE SANDED, PREPARED, AND REPAINT TO MATCH EXISTING CORNER TO CORNER. WATER STAINED WALL FROM ROOF PAINTED CEILING STRUCTURE: CEILING INCLUDING METAL TRUSSES ARE TO
- BE CLEANED, PREPPED, AND REPAINTED END TO END TO MATCH EXISTING VCT FLOORING CLEANING: CLEAN WATER STAINS FROM VCT FLOORING TO
- REMOVE ANY DISCOLORATION WHERE INDICATED. MOP AND WAX ALL VCT FLOORING AT THE END OF CONSTRUCTION. **SKYLIGHT REPAIRS:** REMOVE AND REPLACE SKYLIGHT TO MATCH EXISTING.
- FLOORING. REFER TO ROOM SCHEDULE FOR CLARITY. CEILING TILE REPLACEMENT: REMOVE AND REPLACE DAMAGED OR MISSING ACOUSTIC CEILING TILE WITH NEW CEILING TILE AS SPECIFIED IN AREAS INDICATED. MATCH EXISTING TYPE AND SIZE. SEE UNIT PRICE NO. 1. INSTALL

TERRAZZO FLOORING CLEANING: CLEAN AND POLISH EXISTING TERRAZZO

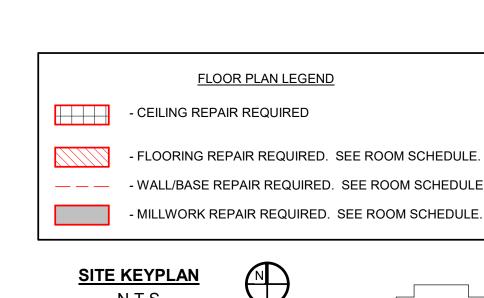
- R-30 BATT INSULATION OVER TILE. SEE UNIT PRICE NO. 2
- EXTERIOR WINDOWS AND DOORS: CAULK AND RESEAL PERIMETER OF EXISTING WINDOWS AND DOORS.
- CMU REPAIR: RE-POINT DAMAGED CMU JOINTS AS SHOWN. PAINT WALL FROM END TO END IN COLOR TO MATCH EXISTING AS SPECIFIED. SEE PHOTOS. BRICK REPAIR: CAULK CRACKED AREAS AND REPAINT.
- LOCKERS: REPLACE DAMAGED UNITS AS SHOWN. MATCH EXISTING STYLE, SIZE AND COLORS.
- BRICK WALLS: CLEAN ALL WATER STAINS FROM ENTIRE BRICK WALL. SHELVING REPLACEMENT: REMOVE AND REPLACE DAMAGED SHELVING UNITS WITH <u>GLASS DOORS</u>. MATCH EXISTING MATERIALS, FINISHES AND
- CONSTRUCTION STYLE. BASE CABINET: REMOVE AND REPLACE DAMAGED BASE CABINET. MATCH EXISTING STYLE, SIZE, AND CONSTRUCTION. SALVAGE AND REINSTALL
- SECTIONAL DOOR: REMOVE AND REPLACE OVERHEAD SECETIONAL DOOR AS SPECIFIED. CONTRACTOR TO PROVIDE ANY ADDITIONAL SUPPORT REQUIRED BY THE MANUFACTURER.
- GYPSUM BOARD: REMOVE AND REPLACE DAMAGED GYPSUM BOARD TO NEAREST FRAMING MEMBER. FINISH AND RE-PAINT WALL CORNER TO
- PREFINISHED GYPSUM BOARD WITH VINYL WALL COVER AND CORNER TRIM: REMOVE AND REPLACE DAMAGED VINYL COVERED GYPSUM BOARD FROM FLOOR TO CEILING WHERE INDICATED ON FLOOR PLAN.
- STOREFRONT WINDOW: REMOVE AND REPLACE STOREFRONT WINDOW AS
- STUCCO SOFFIT: REMOVE & REPLACE STUCCO SOFFIT. COORDINATE WITH ABATEMENT SCOPE & ABATEMENT CONTRACTOR TO ENSURE WEATHER-
- TIGHTNESS AND PHASING COORDINATION. SEE WALL SECTIONS & DETAILS. GYPSUM CEILING REPAIRS: REMOVE AND REPLACE DAMAGED GYPSUM CEILING BOARD TO NEAREST FRAMING MEMBER WHERE INDICATED, FINISH TO
- METAL ROOF PANEL REPAIRS: REMOVE AND REPLACE DEFORMED OR MISSING METAL ROOF PANELS TO MATCH EXISTING.
- CONCRETE FLOOR CLEANING: CLEAN AND RESEAL FLOOR AS SPECIFIED. BASE CABINET: REMOVE AND REPLACE DAMAGED BASE CABINET. MATCH EXISTING STYLE, SIZE, AND CONSTRUCTION. SALVAGE AND REINSTALL
- COUNTERTOP. PROTECT ALL MECHANICAL CONNECTIONS. TILE CLEANING: CLEAN STAINS FROM WALL TILE TO REMOVE ANY

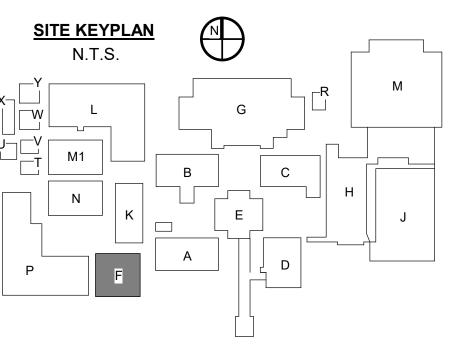
MATCH EXISTING AS SPECIFIED.

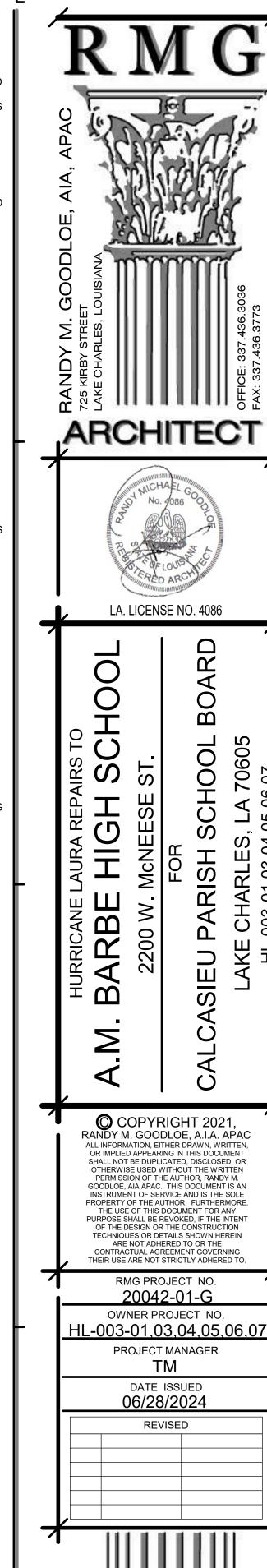
- DISCOLORATION WHERE INDICATED. CLEAN/REPAINT MASONRY WALL: MECHANICALLY REMOVE ALL LOOSE OR PEELING PAINT AND ALL CHALKING RESIDUE FROM EFFERVESCENCE FROM CORNER TO CORNER. PERFORM REQUIRED MOISTURE TESTING PRIOR TO REPAINTING WALL AS SPECIFIED.
- PLASTER CEILING REPAIRS: REMOVED AND REPLACE DAMAGED PLASTER CEILING WHERE INDICATED AS SPECIFIED, PAINT IN COLOR TO MATCH
- MEP DAMAGES: SEE MECHANICAL, PLUMBING AND ELECTRICAL PLANS. FURNITURE SETTING AND RESETING: RELOCATE ALL EXISTING FURNITURE TO TEMPORARY ROOM IN MODULAR BUILDINGS WHILE EXISTING SPACE IS BEING REPAIRED. REINSTALL AND RESET FURNITURE ONCE REPAIRS ARE
- COMPLETE. SEE PHASING PLAN. SUSPENDED CEILING INSULATION: INSTALL R-19 BATT INSULATION AS SPECIFIED ABOVE PREVIOUSLY INSTALLED SUSPENDED CEILING TILE. SEE UNIT PRICE NO. 2.
- BRICK WALL REPLACEMENT: REMOVE AND REPLACE BRICK WALL AS INDICATED. DISPOSE OF OLD BRICK, MATCH NEW BRICK AND MORTAR TO EXISTING AS APPROVED BY ARCHITECT, SEE STRUCTURAL. BUILDING TO REMAIN WEATHERPROOF AND CONDITIONED DURING REPAIRS.
- DOOR REPAIR: CLEAN, PREP AND RE-PAINT DOOR FRAME SEE DOOR SCHEDULE.
- CORRIDOR WALL REPAIR: REMOVE DAMAGED STOREFRONT WINDOW AND EXISTING 3/4" PLYWOOD SHEATHING BELOW WINDOW. INSTALL NEW WINDOW PER SCHEDULE AND NEW 3/4" PLYWOOD SHEATHING. PAINT AS SPECIFIED, IN COLOR AS SELECTED. SEE DETAILS.
- GLAZING REPAIR: REMOVE AND REPLACE BROKEN GLASS. MATCH EXISTING TINT. PROVIDE SAFETY GLASS AS REQUIRED. DOOR REPAIR: REMOVE AND REPLACE EXISTING LEFT DOOR LEAF. PROVIDE
- AN INSULATED HOLLOW METAL DOOR WITH VISION PANEL TO MATCH RIGHT DOOR LEAF. REINSTALL EXISTING DOOR HARDWARE. PAINT AS DIRECTED.



*THESE MEASUREMENTS ARE APPROXIMATE TO BE USED AS GUIDELINES ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL FINAL MEASUREMENTS.



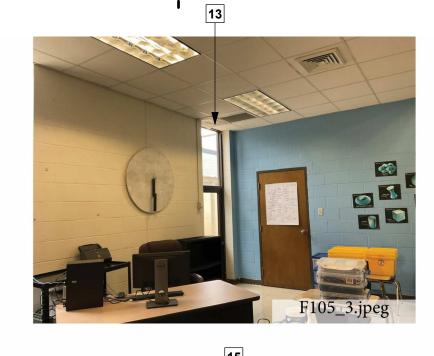


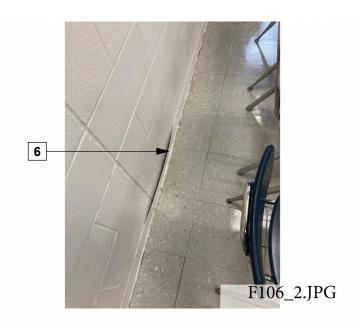


SHEET NUMBER



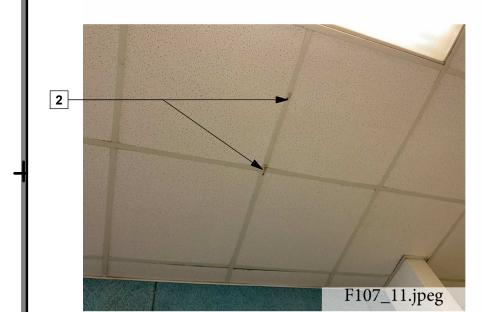






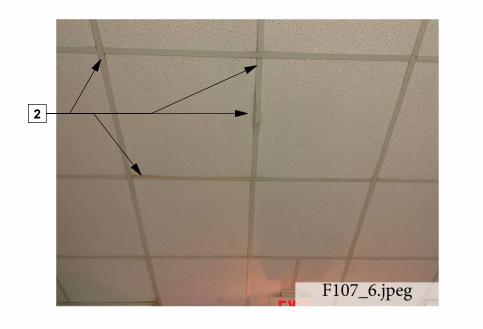
























DOOR SCHEDULE - BUILDING F										
	OPENING SIZE			DOOR			FRAME			
MARK	WIDTH	HEIGHT	HARDWARE	TYPE	MATERIAL	FINISH	MATERIAL FINISH		COMMENTS	
F101A	3' - 0"	7' - 0"		FLUSH	EXISTING	MATCH EXISTING	EXISTING - H.M.	REPAINT		
F102A	3' - 0"	7' - 0"		FLUSH	EXISTING	MATCH EXISTING	EXISTING - H.M.	REPAINT		
F103A	3' - 0"	7' - 0"		FLUSH	EXISTING	EXISTING	EXISTING - H.M.	REPAINT		
F104A	3' - 0"	7' - 0"		FLUSH	EXISTING	EXISTING	EXISTING - H.M.	REPAINT		
F105A	3' - 0"	7' - 0"		FLUSH	EXISTING	EXISTING	EXISTING - H.M.	REPAINT		
F106A	3' - 0"	7' - 0"		FLUSH	EXISTING	EXISTING	EXISTING - H.M.	REPAINT		
F107A	5' - 8"	6' - 8"		FLUSH	EXISTING	EXISTING	EXISTING - STOREFRONT	ANODIZED - DK BRONZE		
F107B	5' - 8"	6' - 8"	H-1	FLUSH	EXISTING	EXISTING	EXISTING - STOREFRONT	ANODIZED - DK BRONZE	REPLACE LEAF INDACATED, TO MATCH EXISTING. PROVIDE VISION PANEL	
F109A	3' - 0"	7' - 0"		FLUSH	EXISTING	EXISTING	EXISTING - H.M.	REPAINT		
F110A	3' - 0"	7' - 0"		FLUSH	EXISTING	EXISTING	EXISTING - H.M.	REPAINT		
F112A	3' - 0"	7' - 0"		FLUSH	EXISTING	EXISTING	EXISTING - H.M.	REPAINT		

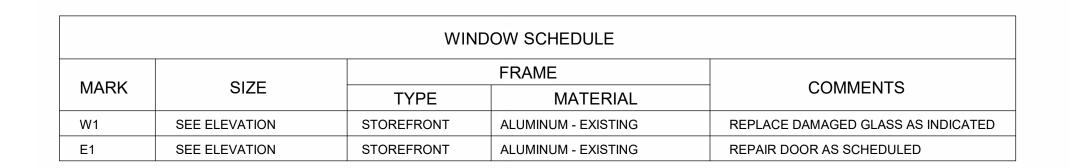
GLAZING SCHEDULE

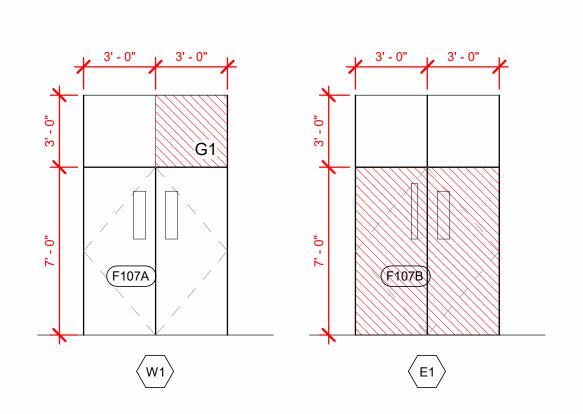
G1 - CLEAR, INSULATED GLASS AS SPECIFIED.
G2 - SPANDRAL GLASS AS SPECIFIED.
G3 - TINTED, INSULATED GLASS AS SPECIFIED.
G4 - ALUMINUM WINDOW PANEL AS SPECIFIED.

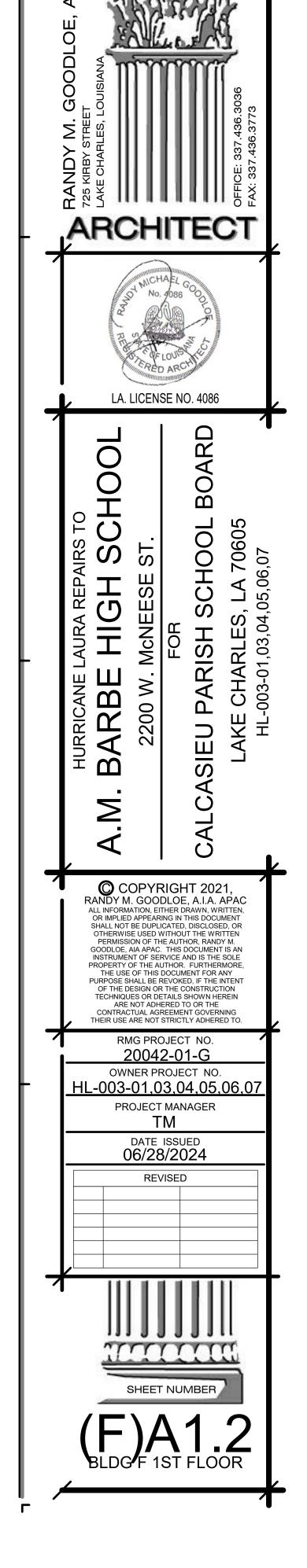
*GLAZING OF NEW STOREFRONT UNITS ARE TO BE LARGE MISSLE IMPACT AS SPECIFIED. REPLACEMENT GLAZING IS TO MATCH EXISTING.

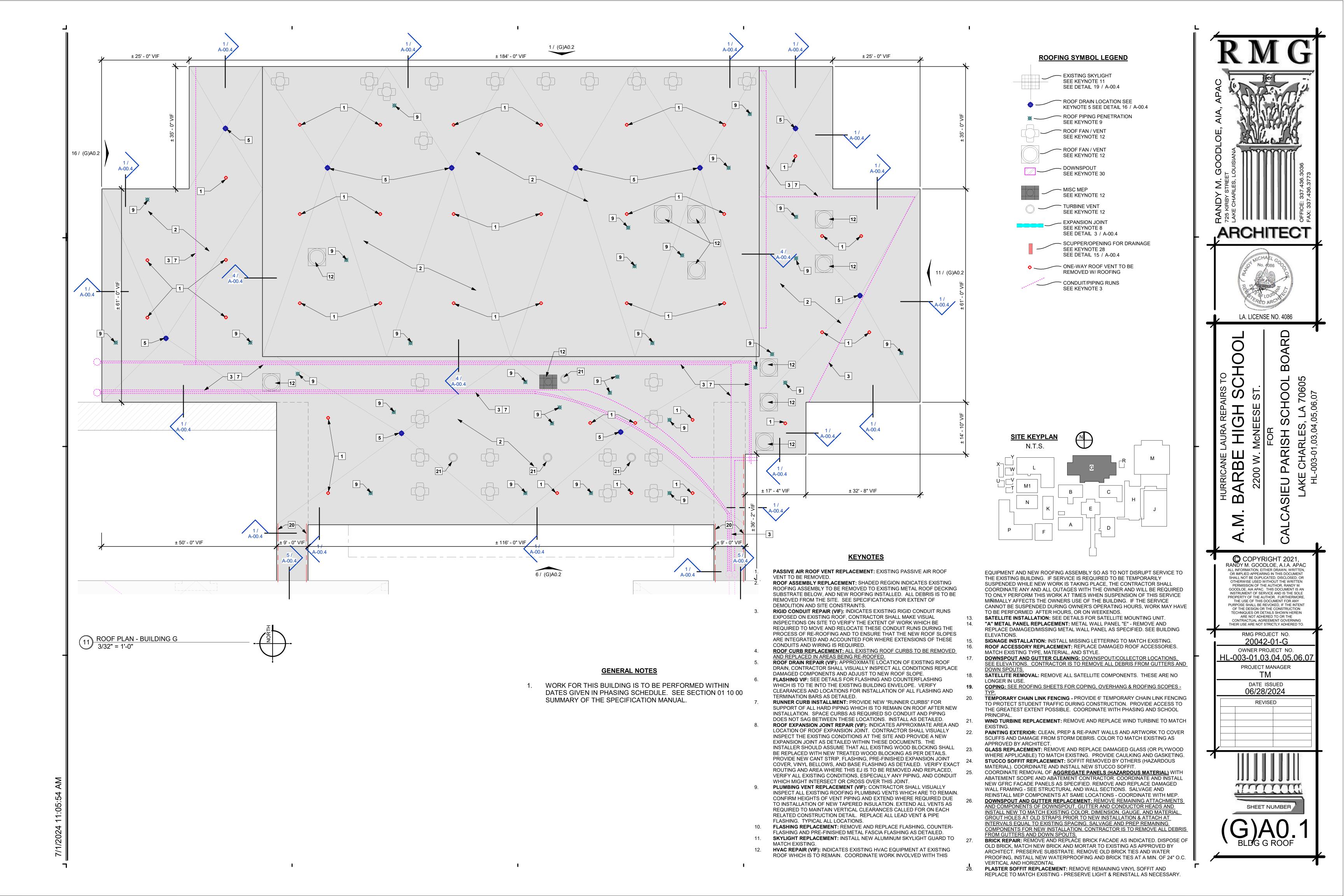
<u>HARDWARE</u>

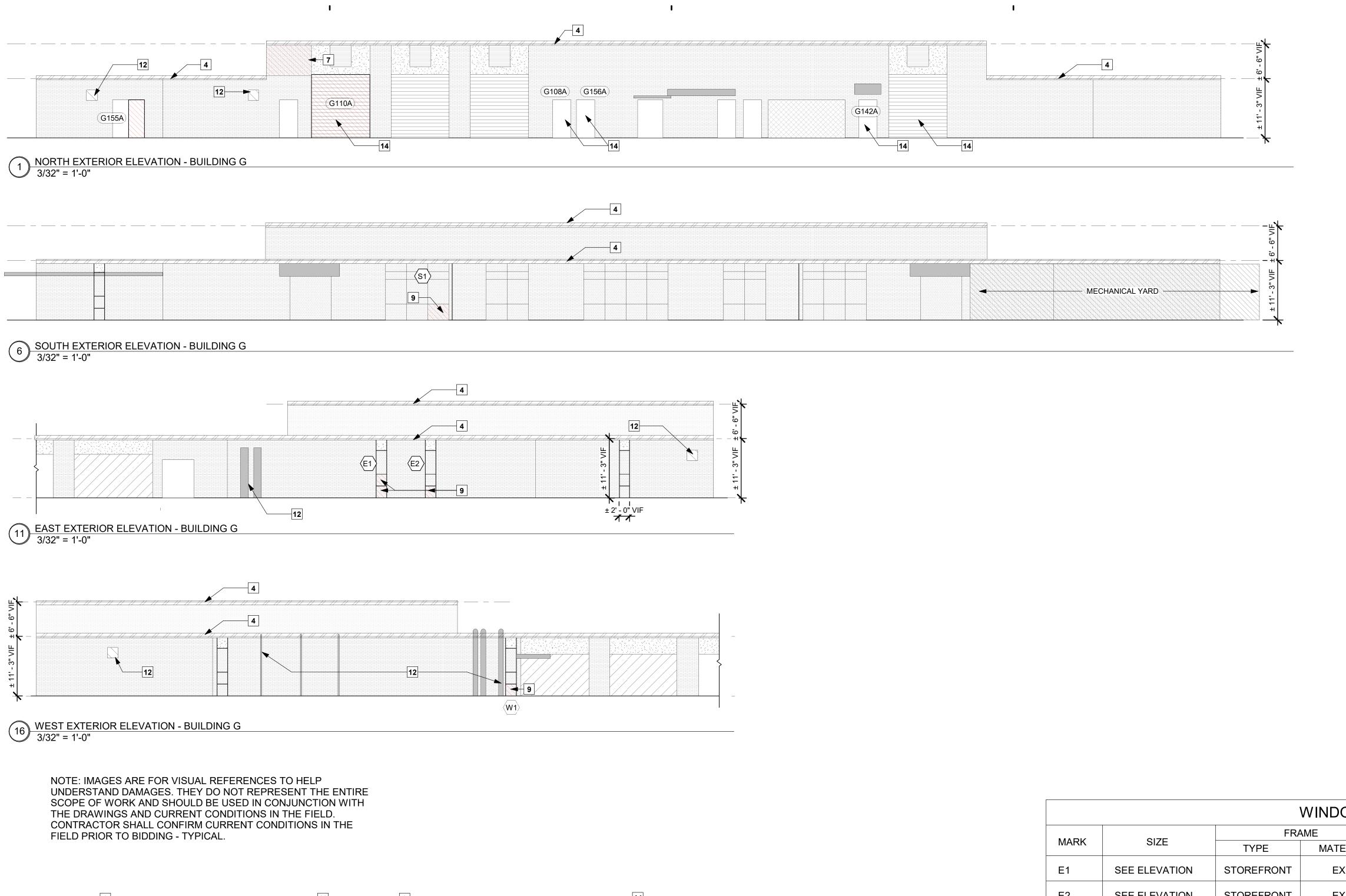
<u>H-1</u> - PROVIDE NEW HINGES, WEATHER STRIPPING & SILENCERS. SALVAGE REMAINING HARDWARE AND REINSTALL ON NEW DOOR.











KEYNOTES

- 1. "A" METAL PANEL REPLACEMENT: METAL WALL PANEL "A" REMOVE AND REPLACE DAMAGED/MISSING METAL WALL PANEL AS SPECIFIED. SEE BUILDING ELEVATIONS.
- SIGNAGE INSTALLATION: INSTALL MISSING LETTERING TO MATCH EXISTING.

 DOWNSPOUT AND GUTTER REPLACEMENT: REMOVE REMAINING
 ATTACHMENTS AND COMPONENTS OF DOWNSPOUT, GUTTER AND
 CONDUCTOR HEADS AND INSTALL NEW TO MATCH EXISTING COLOR,
 DIMENSION, GAUGE, AND MATERIAL. GROUT HOLES AT OLD STRAPS PRIOR
 TO NEW INSTALLATION & ATTACH AT INTERVALS EQUAL TO EXISTING
 SPACING. SALVAGE AND PREP REMAINING COMPONENTS FOR NEW
- AND DOWN SPOUTS.

 COPING: SEE ROOFING SHEETS FOR COPING, OVERHANG & ROOFING
- **EXISTING LIGHT FIXTURE -** CONTRACTOR IS TO WEATHER SEAL FIXTURE AT METAL WALL PANEL.

INSTALLATION. CONTRACTOR IS TO REMOVE ALL DEBRIS FROM GUTTERS

- NOT USED.
- 7. BRICK REPAIR: REMOVE AND REPLACE BRICK FACADE AS INDICATED.
 DISPOSE OF OLD BRICK, MATCH NEW BRICK AND MORTAR TO EXISTING AS
 APPROVED BY ARCHITECT. PRESERVE SUBSTRATE. REMOVE OLD BRICK TIES
 AND WATER PROOFING, INSTALL NEW WATERPROOFING AND BRICK TIES AT
 A MIN. OF 24" O.C. VERTICAL AND HORIZONTAL
- PAINTING EXTERIOR: CLEAN, PREP & RE-PAINT WALLS AND ARTWORK TO COVER SCUFFS AND DAMAGE FROM STORM DEBRIS. COLOR TO MATCH EXISTING AS APPROVED BY ARCHITECT.
- . **GLASS REPLACEMENT**: REMOVE AND REPLACE DAMAGED GLASS (OR PLYWOOD WHERE APPLICABLE) TO MATCH EXISTING. PROVIDE CAULKING
- AND GASKETING.
 STUCCO SOFFIT REPLACEMENT: SOFFIT REMOVED BY OTHERS (HAZARDOUS
- MATERIAL). COORDINATE AND INSTALL NEW STUCCO SOFFIT.

 1. AGGREGATE PANEL REPLACEMENT: DELAMINATED & DAMAGED AGGREGATE PANELS REMOVED BY OTHERS (HAZARDOUS MATERIAL). COORDINATE AND INSTALL NEW FACADE PANEL AS SPECIFIED. REINSTALL MEP COMPONENTS AT SAME LOCATIONS.
- 12. **CONDUIT REPAIR:** REPAIR CONDUIT AND MEP EQUIPMENT TO WORKING ORDER PER MEP DOCUMENTS
 - ORDER PER MEP DOCUMENTS.

 GLAZING REPLACEMENT:REMOVE DAMAGED GLAZING SYSTEM AND
- REPLACE WITH NEW TO MATCH EXISTING AS SPECIFIED. PROVIDE NEW CONTINUOUS 4X4 STEEL ANGLE WELDED TO STRUCTURE FOR SUPPORT.

 14. DOOR REPLACEMENT: REMOVE REMAINING DOOR DEBRIS AND COVERINGS
- AND REPLACE TO MATCH EXISTING, INCLUDING FRAMES, HARDWARE, AND GASKETING. SEE DOOR SCHEDULE.

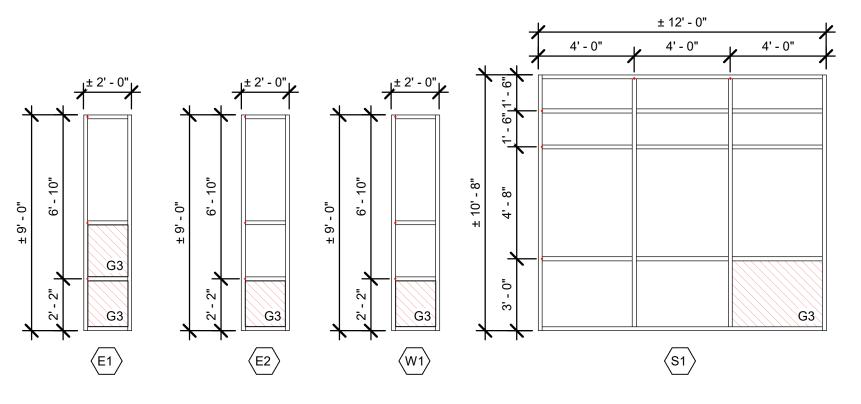
 METAL PANEL REPLACEMENT: REMOVE REMAINING DAMAGED METAL PANEL
- ASSEMBLY AND REPLACE WITH NEW SYSTEM TO MATCH EXISTING.
 COORDINATE REMOVAL AND INSTALLATION TO PREVENT WEATHER
- 16. SOFFIT PANEL REPLACEMENT: REMOVE AND REPLACE SOFFIT PANELS TO MATCH EXISTING APPROX. 3'X3' PANELS.

 17. GLASS AND GLAZING PERLACEMENT: REMOVE AND DISPOSE OF MESH
- 17. GLASS AND GLAZING REPLACEMENT: REMOVE AND DISPOSE OF MESH, BROKEN & REMAINING GLASS AND GLAZING REPLACE WITH SOLID PANELS AS SPECIFIED.
- 18. **DOWNSPOUT AND GUTTER CLEANING:** DOWNSPOUT/COLLECTOR LOCATIONS. CONTRACTOR IS TO REMOVE ALL DEBRIS FROM GUTTERS AND DOWN SPOUTS.
- 9. GUTTER REPAIR RESEAL ALL JOINTS; PROVIDE ALL RIVETS

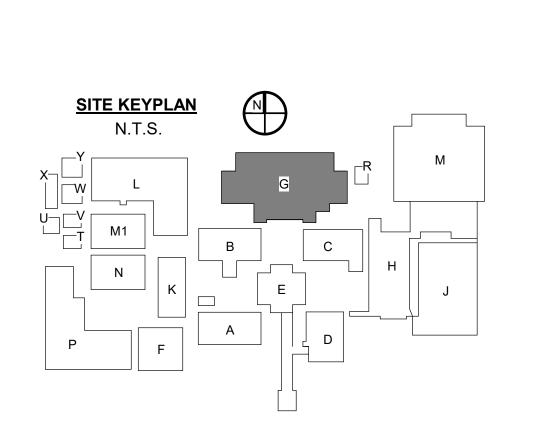
GLAZING SCHEDULE

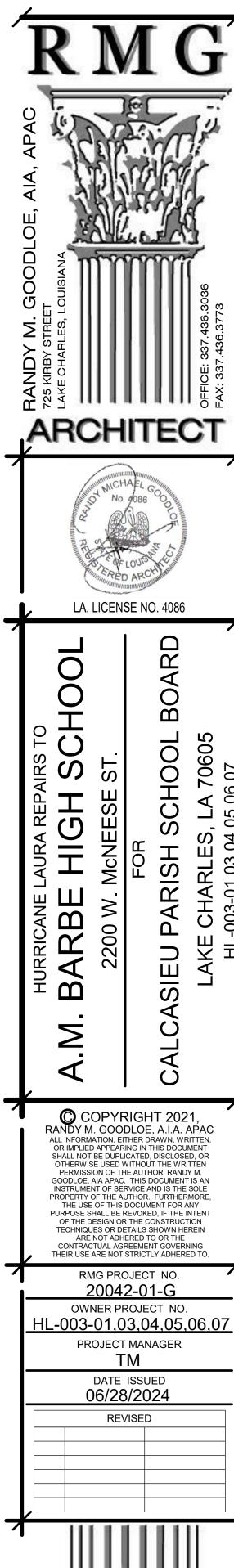
- G1 CLEAR, INSULATED GLASS AS SPECIFIED. G2 - SPANDRAL GLASS AS SPECIFIED.
- G3 TINTED, INSULATED GLASS AS SPECIFIED. G4 - ALUMINUM WINDOW PANEL AS SPECIFIED.
- *GLAZING OF NEW STOREFRONT UNITS ARE TO BE LARGE MISSLE IMPACT AS SPECIFIED. REPLACEMENT GLAZING IS TO MATCH EXISTING.

WINDOW SCHEDULE								
MARK	0175	FRA	AME	COMMENTO				
	SIZE	TYPE	MATERIAL	COMMENTS				
E1	SEE ELEVATION	STOREFRONT	EXISTING	REPLACE DAMAGED GLASS AS INDICATED				
E2	SEE ELEVATION	STOREFRONT	EXISTING	REPLACE DAMAGED GLASS AS INDICATED				
W1	SEE ELEVATION	STOREFRONT	EXISTING	REPLACE DAMAGED GLASS AS INDICATED				
S1	SEE ELEVATION	STOREFRONT	EXISTING	REPLACE DAMAGED GLASS AS INDICATED				

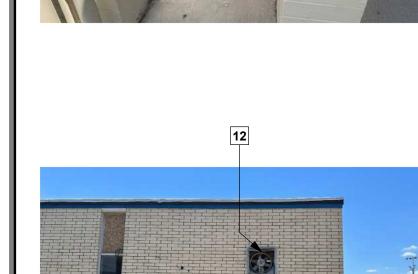


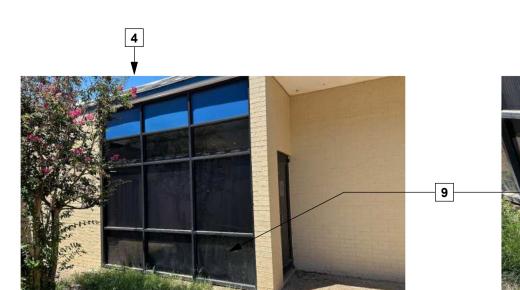






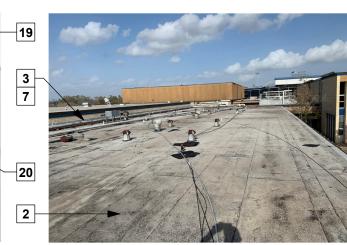
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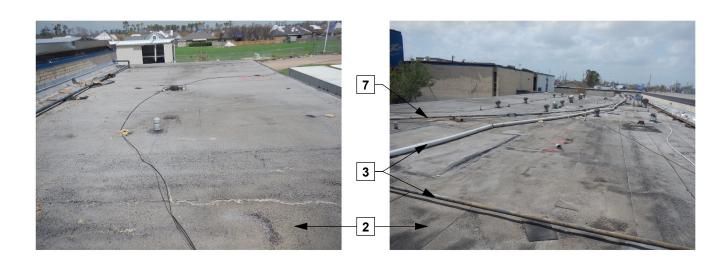










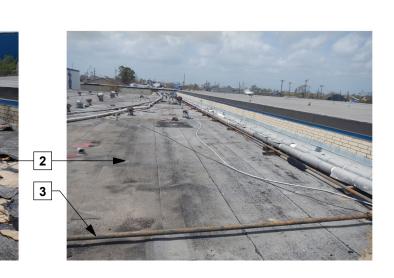










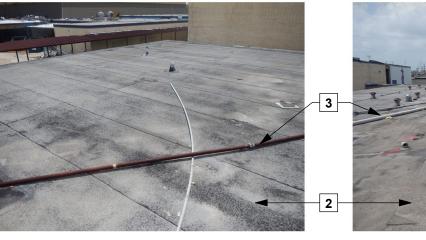








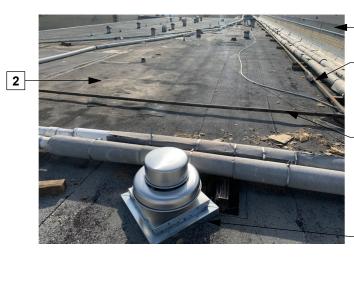


























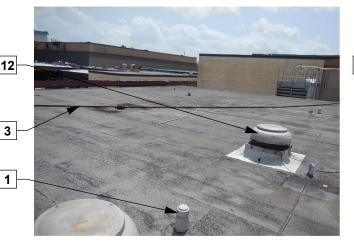












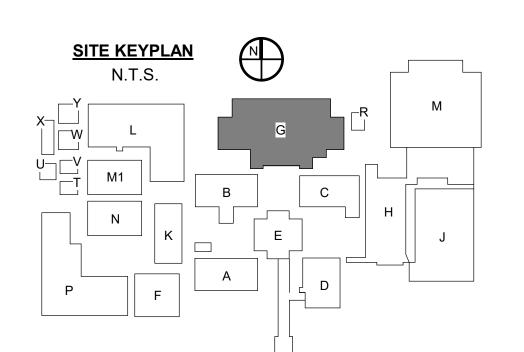


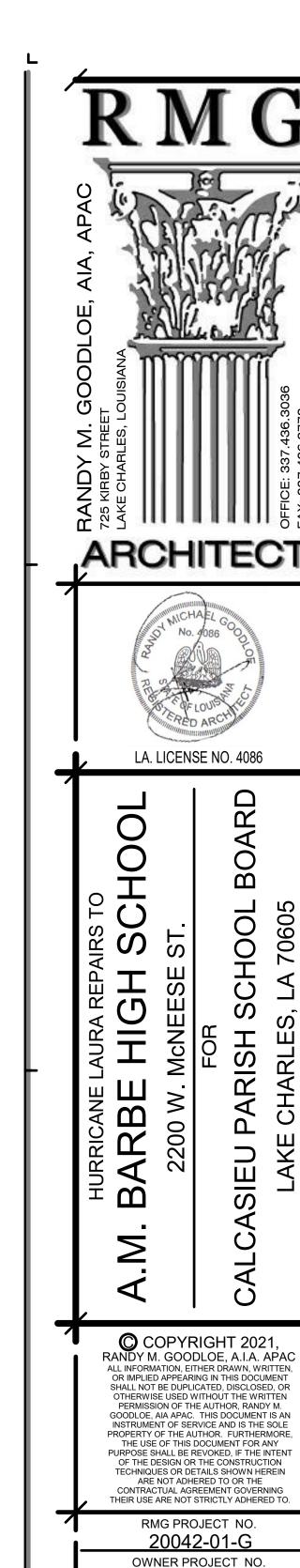


NOTE: IMAGES ARE FOR VISUAL REFERENCES TO HELP UNDERSTAND DAMAGES. THEY DO NOT REPRESENT THE ENTIRE SCOPE OF WORK AND SHOULD BE USED IN CONJUNCTION WITH THE DRAWINGS AND CURRENT CONDITIONS IN THE FIELD. CONTRACTOR SHALL CONFIRM CURRENT CONDITIONS IN THE FIELD PRIOR TO BIDDING - TYPICAL

KEYNOTES

- PASSIVE AIR ROOF VENT REPLACEMENT: EXISTING PASSIVE AIR ROOF VENT TO BE REMOVED.
- ROOF ASSEMBLY REPLACEMENT: SHADED REGION INDICATES EXISTING ROOFING ASSEMBLY TO BE REMOVED TO EXISTING METAL ROOF DECKING SUBSTRATE BELOW, AND NEW ROOFING INSTALLED. ALL DEBRIS IS TO BE REMOVED FROM THE SITE. SEE SPECIFICATIONS FOR EXTENT OF DEMOLITION AND SITE CONSTRAINTS.
- RIGID CONDUIT REPAIR (VIF): INDICATES EXISTING RIGID CONDUIT RUNS EXPOSED ON EXISTING ROOF, CONTRACTOR SHALL MAKE VISUAL INSPECTIONS ON SITE TO VERIFY THE EXTENT OF WORK WHICH BE REQUIRED TO MOVE AND RELOCATE THESE CONDUIT RUNS DURING THE PROCESS OF RE-ROOFING AND TO ENSURE THAT THE NEW ROOF SLOPES ARE INTEGRATED AND ACCOUNTED FOR WHERE EXTENSIONS OF THESE CONDUITS AND WIRING IS REQUIRED.
- ROOF CURB REPLACEMENT: ALL EXISTING ROOF CURBS TO BE REMOVED AND REPLACED IN AREAS BEING RE-ROOFED.
- ROOF DRAIN REPAIR (VIF): APPROXIMATE LOCATION OF EXISTING ROOF DRAIN, CONTRACTOR SHALL VISUALLY INSPECT ALL CONDITIONS REPLACE
- DAMAGED COMPONENTS AND ADJUST TO NEW ROOF SLOPE. FLASHING VIF: SEE DETAILS FOR FLASHING AND COUNTERFLASHING WHICH IS TO TIE INTO THE EXISTING BUILDING ENVELOPE. VERIFY CLEARANCES AND LOCATIONS FOR INSTALLATION OF ALL FLASHING AND TERMINATION BARS AS DETAILED.
- RUNNER CURB INSTALLMENT: PROVIDE NEW "RUNNER CURBS" FOR SUPPORT OF ALL HARD PIPING WHICH IS TO REMAIN ON ROOF AFTER NEW INSTALLATION. SPACE CURBS AS REQUIRED SO CONDUIT AND PIPING DOES NOT SAG BETWEEN THESE LOCATIONS. INSTALL AS DETAILED.
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- PLUMBING VENT REPLACEMENT (VIF): CONTRACTOR SHALL VISUALLY INSPECT ALL EXISTING ROOFING PLUMBING VENTS WHICH ARE TO REMAIN. CONFIRM HEIGHTS OF VENT PIPING AND EXTEND WHERE REQUIRED DUE TO INSTALLATION OF NEW TAPERED INSULATION. EXTEND ALL VENTS AS REQUIRED TO MAINTAIN VERTICAL CLEARANCES CALLED FOR ON EACH RELATED CONSTRUCTION DETAIL. REPLACE ALL LEAD VENT & PIPE FLASHING. TYPICAL ALL LOCATIONS.
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DATE ISSUED 06/28/2024 REVISED

SHEET NUMBER

HL-003-01.03.04.05.06.07

PROJECT MANAGER

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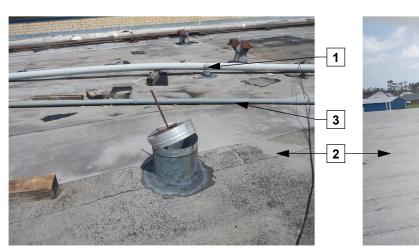




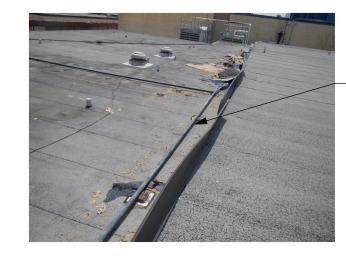










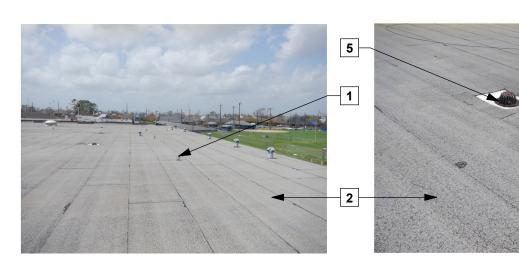




























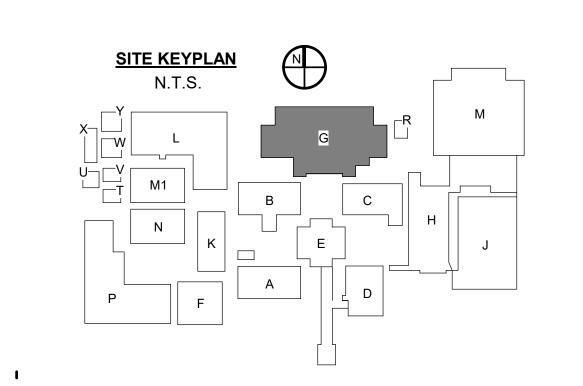


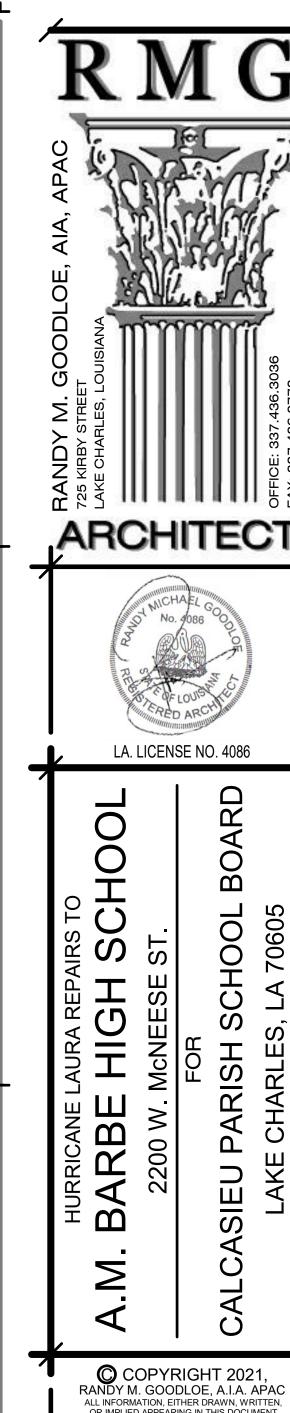


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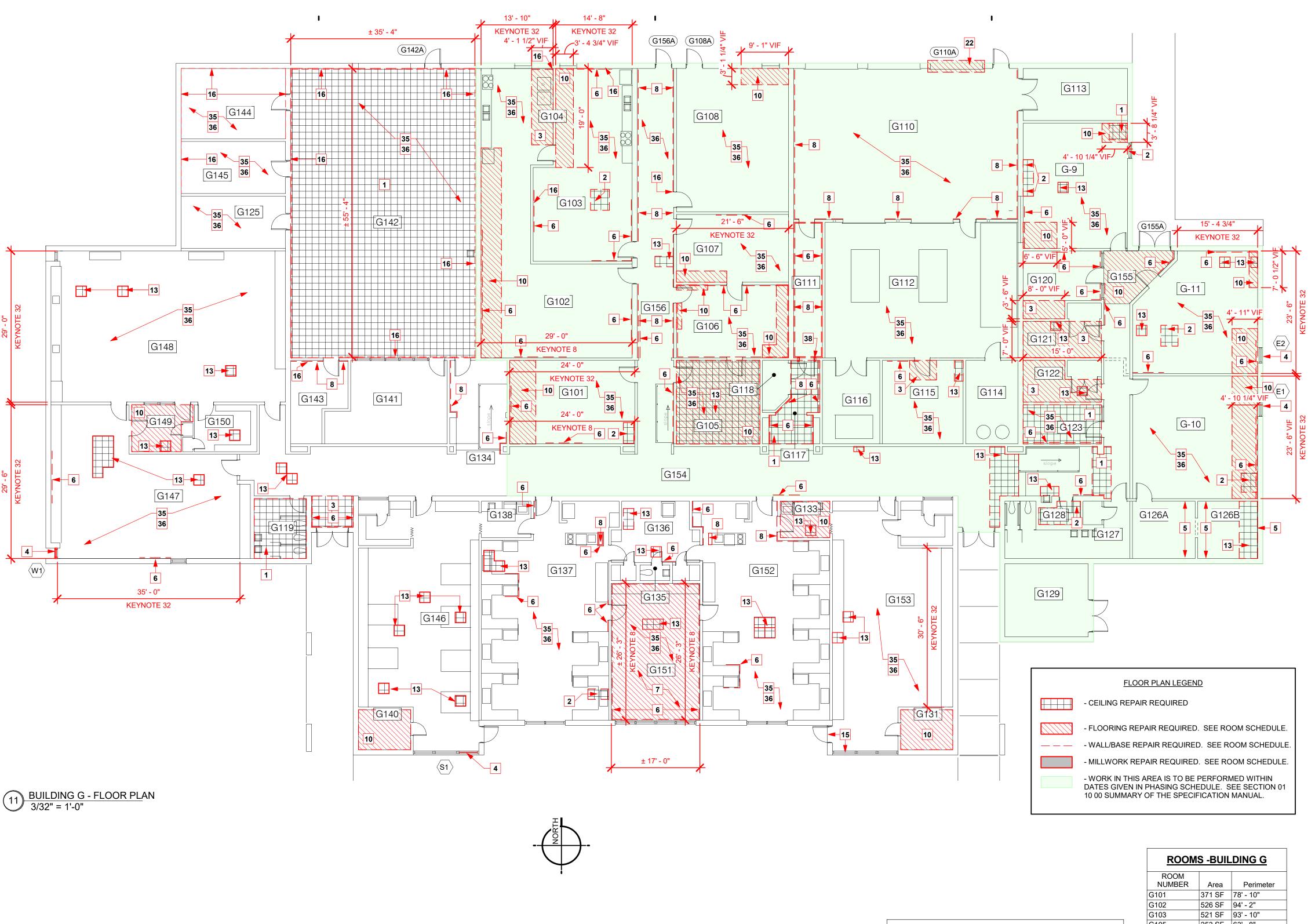
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THEIR USE ARE NOT STRICTLY ADHERED TO. RMG PROJECT NO. 20042-01-G

OWNER PROJECT NO.

HL-003-01.03.04.05.06.07

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PROJECT MANAGER TM DATE ISSUED 06/28/2024 REVISED SHEET NUMBER



GLAZING SCHEDULE

G1 - CLEAR, INSULATED GLASS AS SPECIFIED. G2 - SPANDRAL GLASS AS SPECIFIED. G3 - TINTED, INSULATED GLASS AS SPECIFIED. G4 - ALUMINUM WINDOW PANEL AS SPECIFIED.

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ROOM		
NUMBER	Area	Perimeter
G101	371 SF	78' - 10"
G102	526 SF	94' - 2"
G103	521 SF	93' - 10" 63' - 8"
G105	253 SF	
G106	295 SF	70' - 3"
G107	278 SF	68' - 8"
G111	141 SF	62' - 8"
G120	172 SF	56' - 3"
G121	129 SF	51' - 3"
G122	120 SF	46' - 0"
G123	113 SF	45' - 1"
G126B	130 SF	46' - 1"
G127	224 SF	87' - 0"
G128	30 SF	24' - 3"
G133	61 SF	31' - 11"
G134	1002 SF	235' - 1"
G136	214 SF	72' - 5"
G137	957 SF	150' - 2"
G146	931 SF	167' - 2"
G147	900 SF	136' - 0"
G148	1283 SF	146' - 10"
G149	106 SF	41' - 6"
G150	108 SF	42' - 1"
G151	426 SF	84' - 0"
G152	958 SF	149' - 7"
G153	929 SF	166' - 5"
G154	924 SF	212' - 0"
G155	318 SF	117' - 5"
G156	512 SF	157' - 5"
G-9	474 SF	87' - 6"
G-10	542 SF	87' - 6" 93' - 1"
G-11	507 SF	89' - 3"

|507 SF |89' - 3" *THESE MEASUREMENTS ARE APPROXIMATE TO BE USED AS GUIDELINES ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL FINAL MEASUREMENTS. <u>KEYNOTES</u>

SUSPENDED ACOUSTIC CEILING REPLACEMENT: REMOVE AND REPLACE DAMAGED CEILING GRID AND CEILING TILE AS SPECIFIED. **CEILING GRID:** REMOVE AND REPLACE DAMAGED CEILING GRID. MATCH

EXISTING. SEE UNIT PRICE NO. 5 VCT FLOORING REPAIRS: REMOVE AND REPLACE VCT FLOORING AS SPECIFIED IN AREAS WHERE INDICATED. SEE UNIT PRICE NO. 3.

WINDOW REPAIRS: REPLACE BROKEN WINDOW PANES, BLOCKS, AND GASKETS TO MATCH EXISTING. ALL SEALANTS SHALL BE REMOVED AND REPLACED AS SPECIFIED TO ENSURE WEATHER TIGHT SEAL. SEE ELEVATIONS. STRUCTURAL CLAY BLOCK: GLAZED STRUCTURAL CLAY BLOCK TO BE

REMOVED AND REPLACED AS SPECIFIED TO MATCH EXISTING. CLEAN ALL CHALKING RESIDUE FROM EFFERVESCENCE. VINYL BASE REPLACEMENT: REPLACE DAMAGED OR MISSING BASE AS

SPECIFIED TO MATCH EXISTING, SEE UNIT PRICE NO. 4 CARPET REPAIRS: DAMAGED CARPET HAS BEEN REMOVED. CLEAN FLOOR AND INSTALL NEW CARPET TILE AS SPECIFIED.

PAINTING: WALL SURFACE IS TO BE SANDED, PREPARED, AND REPAINT TO MATCH EXISTING CORNER TO CORNER. WATER STAINED WALL FROM ROOF PAINTED CEILING STRUCTURE: CEILING INCLUDING METAL TRUSSES ARE TO

BE CLEANED, PREPPED, AND REPAINTED END TO END TO MATCH EXISTING

VCT FLOORING CLEANING: CLEAN WATER STAINS FROM VCT FLOORING TO REMOVE ANY DISCOLORATION WHERE INDICATED. MOP AND WAX ALL VCT FLOORING AT THE END OF CONSTRUCTION.

SKYLIGHT REPAIRS: REMOVE AND REPLACE SKYLIGHT TO MATCH EXISTING. TERRAZZO FLOORING CLEANING: CLEAN AND POLISH EXISTING TERRAZZO FLOORING. REFER TO ROOM SCHEDULE FOR CLARITY.

CEILING TILE REPLACEMENT: REMOVE AND REPLACE DAMAGED OR MISSING ACOUSTIC CEILING TILE WITH NEW CEILING TILE AS SPECIFIED IN AREAS INDICATED. MATCH EXISTING TYPE AND SIZE. SEE UNIT PRICE NO. 1. INSTALL R-30 BATT INSULATION OVER TILE. SEE UNIT PRICE NO. 2

EXTERIOR WINDOWS AND DOORS: CAULK AND RESEAL PERIMETER OF

EXISTING WINDOWS AND DOORS. CMU REPAIR: RE-POINT DAMAGED CMU JOINTS AS SHOWN. PAINT WALL FROM END TO END IN COLOR TO MATCH EXISTING AS SPECIFIED. SEE PHOTOS.

BRICK REPAIR: CAULK CRACKED AREAS AND REPAINT. LOCKERS: REPLACE DAMAGED UNITS AS SHOWN. MATCH EXISTING STYLE,

BRICK WALLS: CLEAN ALL WATER STAINS FROM ENTIRE BRICK WALL SHELVING REPLACEMENT: REMOVE AND REPLACE DAMAGED SHELVING UNITS WITH <u>GLASS DOORS</u>. MATCH EXISTING MATERIALS, FINISHES AND

BASE CABINET: REMOVE AND REPLACE DAMAGED BASE CABINET. MATCH EXISTING STYLE, SIZE, AND CONSTRUCTION. SALVAGE AND REINSTALL SECTIONAL DOOR: REMOVE AND REPLACE OVERHEAD SECETIONAL DOOR AS

SPECIFIED. CONTRACTOR TO PROVIDE ANY ADDITIONAL SUPPORT REQUIRED BY THE MANUFACTURER. GYPSUM BOARD: REMOVE AND REPLACE DAMAGED GYPSUM BOARD TO

NEAREST FRAMING MEMBER. FINISH AND RE-PAINT WALL CORNER TO PREFINISHED GYPSUM BOARD WITH VINYL WALL COVER AND CORNER TRIM:

REMOVE AND REPLACE DAMAGED VINYL COVERED GYPSUM BOARD FROM FLOOR TO CEILING WHERE INDICATED ON FLOOR PLAN. STOREFRONT WINDOW: REMOVE AND REPLACE STOREFRONT WINDOW AS

STUCCO SOFFIT: REMOVE & REPLACE STUCCO SOFFIT. COORDINATE WITH ABATEMENT SCOPE & ABATEMENT CONTRACTOR TO ENSURE WEATHER-TIGHTNESS AND PHASING COORDINATION. SEE WALL SECTIONS & DETAILS. GYPSUM CEILING REPAIRS: REMOVE AND REPLACE DAMAGED GYPSUM

CEILING BOARD TO NEAREST FRAMING MEMBER WHERE INDICATED, FINISH TO METAL ROOF PANEL REPAIRS: REMOVE AND REPLACE DEFORMED OR MISSING

METAL ROOF PANELS TO MATCH EXISTING. CONCRETE FLOOR CLEANING: CLEAN AND RESEAL FLOOR AS SPECIFIED. BASE CABINET: REMOVE AND REPLACE DAMAGED BASE CABINET. MATCH EXISTING STYLE, SIZE, AND CONSTRUCTION. SALVAGE AND REINSTALL

COUNTERTOP. PROTECT ALL MECHANICAL CONNECTIONS TILE CLEANING: CLEAN STAINS FROM WALL TILE TO REMOVE ANY DISCOLORATION WHERE INDICATED. CLEAN/REPAINT MASONRY WALL: MECHANICALLY REMOVE ALL LOOSE OR

PEELING PAINT AND ALL CHALKING RESIDUE FROM EFFERVESCENCE FROM CORNER TO CORNER. PERFORM REQUIRED MOISTURE TESTING PRIOR TO REPAINTING WALL AS SPECIFIED.

PLASTER CEILING REPAIRS: REMOVED AND REPLACE DAMAGED PLASTER CEILING WHERE INDICATED AS SPECIFIED, PAINT IN COLOR TO MATCH

MEP DAMAGES: SEE MECHANICAL, PLUMBING AND ELECTRICAL PLANS. FURNITURE SETTING AND RESETING: RELOCATE ALL EXISTING FURNITURE TO TEMPORARY ROOM IN MODULAR BUILDINGS WHILE EXISTING SPACE IS BEING REPAIRED. REINSTALL AND RESET FURNITURE ONCE REPAIRS ARE

COMPLETE. SEE PHASING PLAN. **36.** SUSPENDED CEILING INSULATION: INSTALL R-19 BATT INSULATION AS SPECIFIED ABOVE PREVIOUSLY INSTALLED SUSPENDED CEILING TILE. SEE

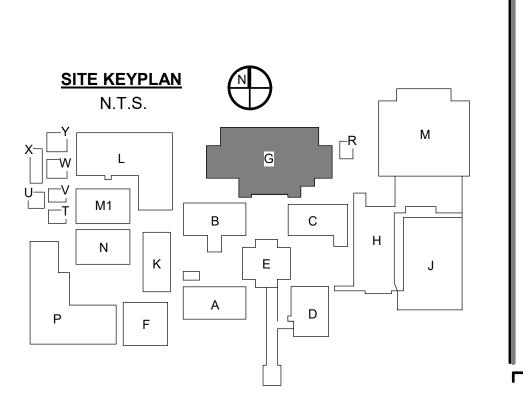
UNIT PRICE NO. 2. BRICK WALL REPLACEMENT: REMOVE AND REPLACE BRICK WALL AS INDICATED. DISPOSE OF OLD BRICK, MATCH NEW BRICK AND MORTAR TO

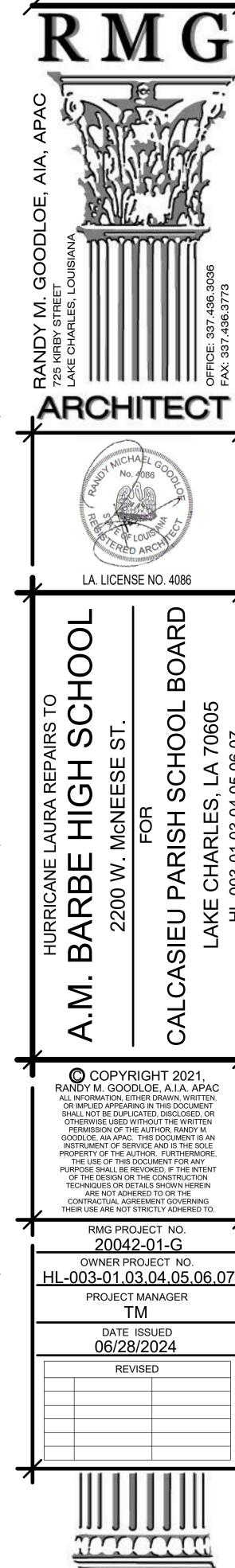
EXISTING AS APPROVED BY ARCHITECT, SEE STRUCTURAL. BUILDING TO REMAIN WEATHERPROOF AND CONDITIONED DURING REPAIRS. **DOOR REPAIR:** CLEAN, PREP AND RE-PAINT DOOR FRAME - SEE DOOR

SCHEDULE. CORRIDOR WALL REPAIR: REMOVE DAMAGED STOREFRONT WINDOW AND EXISTING 3/4" PLYWOOD SHEATHING BELOW WINDOW. INSTALL NEW WINDOW PER SCHEDULE AND NEW 3/4" PLYWOOD SHEATHING. PAINT AS SPECIFIED, IN COLOR AS SELECTED. SEE DETAILS.

TINT. PROVIDE SAFETY GLASS AS REQUIRED. DOOR REPAIR: REMOVE AND REPLACE EXISTING LEFT DOOR LEAF. PROVIDE

GLAZING REPAIR: REMOVE AND REPLACE BROKEN GLASS. MATCH EXISTING AN INSULATED HOLLOW METAL DOOR WITH VISION PANEL TO MATCH RIGHT DOOR LEAF. REINSTALL EXISTING DOOR HARDWARE. PAINT AS DIRECTED.





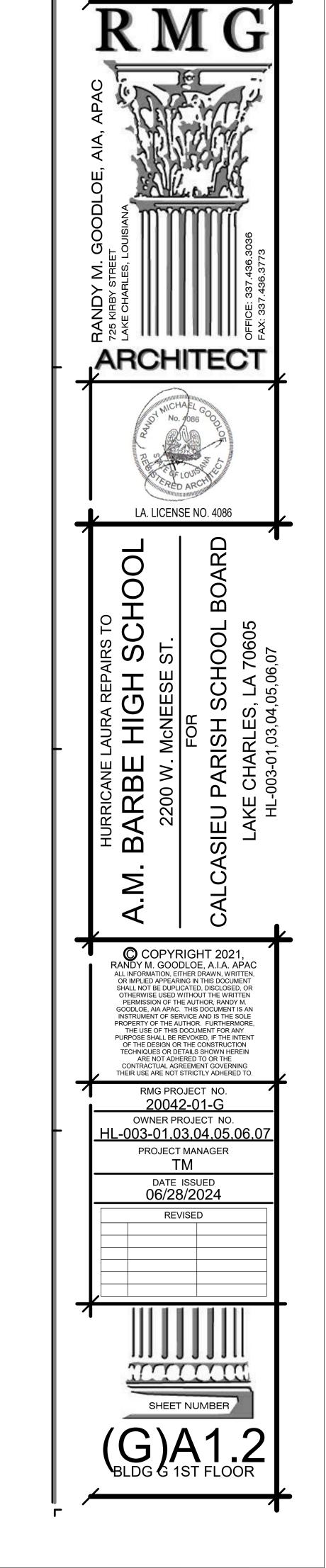
SHEET NUMBER

HARDWARE SCHEDULE

H-1 - REMOVE EXISTING HARDWARE AND REINSTALL ON NEW DOOR, PROVIDE NEW WEATHER STRIPPING, SILENCERS.

	DOOR SCHEDULE									
MADIC	OPENING SIZE			DOOR			FRAME		01.400	COMMENTO
MARK	WIDTH	HEIGHT	HARDWARE	TYPE	MATERIAL	FINISH	MATERIAL	FINISH	GLASS	COMMENTS
G108A	3'-0"	7'-0"	H-1	FLUSH	INSULATED H.M.	PAINTED	H.M.	PAINTED		REPLACE ENTIRE UNIT, MATCH EXISTING
G110A	11'-0"	12'-0"	MANUF.	OVERHEAD	SEE SPECS	SEE SPECS	MANUFACTURER	MANUFACTURER		REPLACE ENTIRE UNIT, MATCH EXISTING
G142A	3'-0"	7'-0"	H-1	FLUSH	INSULATED H.M.	PAINTED	H.M.	PAINTED		REPLACE ENTIRE UNIT, MATCH EXISTING
G155A	6'-0"	7'-0"	H-1	FLUSH	INSULATED H.M.	PAINTED	H.M.	PAINTED		REPLACE LEAF INDICATED, MATCH EXISTING
G156A	3'-0"	7'-0"	H-1	FLUSH	INSULATED H.M.	PAINTED	H.M.	PAINTED	G1	REPLACE ENTIRE UNIT, MATCH EXISTING





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