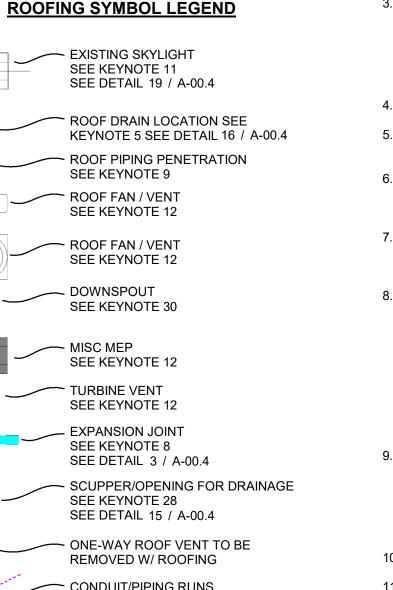


SEE KEYNOTE 3



**KEYNOTES** PASSIVE AIR ROOF VENT REPLACEMENT: EXISTING PASSIVE AIR ROOF EQUIPMENT AND NEW ROOFING ASSEMBLY SO AS TO NOT DISRUPT SERVICE TO VENT TO BE REMOVED. THE EXISTING BUILDING. IF SERVICE IS REQUIRED TO BE TEMPORARILY ROOF ASSEMBLY REPLACEMENT: SHADED REGION INDICATES EXISTING SUSPENDED WHILE NEW WORK IS TAKING PLACE, THE CONTRACTOR SHALL COORDINATE ANY AND ALL OUTAGES WITH THE OWNER AND WILL BE REQUIRED ROOFING ASSEMBLY TO BE REMOVED TO EXISTING METAL ROOF DECKING SUBSTRATE BELOW, AND NEW ROOFING INSTALLED. ALL DEBRIS IS TO BE TO ONLY PERFORM THIS WORK AT TIMES WHEN SUSPENSION OF THIS SERVICE REMOVED FROM THE SITE. SEE SPECIFICATIONS FOR EXTENT OF MINIMALLY AFFECTS THE OWNERS USE OF THE BUILDING. IF THE SERVICE DEMOLITION AND SITE CONSTRAINTS. CANNOT BE SUSPENDED DURING OWNER'S OPERATING HOURS, WORK MAY HAVE RIGID CONDUIT REPAIR (VIF): INDICATES EXISTING RIGID CONDUIT RUNS TO BE PERFORMED AFTER HOURS, OR ON WEEKENDS. EXPOSED ON EXISTING ROOF, CONTRACTOR SHALL MAKE VISUAL **SATELLITE INSTALLATION:** SEE DETAILS FOR SATELLITE MOUNTING UNIT. INSPECTIONS ON SITE TO VERIFY THE EXTENT OF WORK WHICH BE "A" METAL PANEL REPLACEMENT: METAL WALL PANEL "E" - REMOVE AND REQUIRED TO MOVE AND RELOCATE THESE CONDUIT RUNS DURING THE REPLACE DAMAGED/MISSING METAL WALL PANEL AS SPECIFIED. SEE BUILDING PROCESS OF RE-ROOFING AND TO ENSURE THAT THE NEW ROOF SLOPES ARE INTEGRATED AND ACCOUNTED FOR WHERE EXTENSIONS OF THESE **SIGNAGE INSTALLATION:** INSTALL MISSING LETTERING TO MATCH EXISTING. CONDUITS AND WIRING IS REQUIRED. ROOF ACCESSORY REPLACEMENT: REPLACE DAMAGED ROOF ACCESSORIES. ROOF CURB REPLACEMENT: ALL EXISTING ROOF CURBS TO BE REMOVED MATCH EXISTING TYPE, MATERIAL, AND STYLE. AND REPLACED IN AREAS BEING RE-ROOFED. DOWNSPOUT AND GUTTER CLEANING: DOWNSPOUT/COLLECTOR LOCATIONS, SEE ELEVATIONS. CONTRACTOR IS TO REMOVE ALL DEBRIS FROM GUTTERS AND ROOF DRAIN REPAIR (VIF): APPROXIMATE LOCATION OF EXISTING ROOF DRAIN, CONTRACTOR SHALL VISUALLY INSPECT ALL CONDITIONS REPLACE DAMAGED COMPONENTS AND ADJUST TO NEW ROOF SLOPE. SATELLITE REMOVAL: REMOVE ALL SATELLITE COMPONENTS. THESE ARE NO FLASHING VIF: SEE DETAILS FOR FLASHING AND COUNTERFLASHING LONGER IN USE. WHICH IS TO TIE INTO THE EXISTING BUILDING ENVELOPE. VERIFY **COPING:** SEE ROOFING SHEETS FOR COPING, OVERHANG & ROOFING SCOPES -CLEARANCES AND LOCATIONS FOR INSTALLATION OF ALL FLASHING AND TERMINATION BARS AS DETAILED. TEMPORARY CHAIN LINK FENCING - PROVIDE 6' TEMPORARY CHAIN LINK FENCING RUNNER CURB INSTALLMENT: PROVIDE NEW "RUNNER CURBS" FOR TO PROTECT STUDENT TRAFFIC DURING CONSTRUCTION. PROVIDE ACCESS TO SUPPORT OF ALL HARD PIPING WHICH IS TO REMAIN ON ROOF AFTER NEW THE GREATEST EXTENT POSSIBLE. COORDINATE WITH PHASING AND SCHOOL INSTALLATION. SPACE CURBS AS REQUIRED SO CONDUIT AND PIPING PRINCIPAL.

DOES NOT SAG BETWEEN THESE LOCATIONS. INSTALL AS DETAILED.

LOCATION OF ROOF EXPANSION JOINT. CONTRACTOR SHALL VISUALLY

INSPECT THE EXISTING CONDITIONS AT THE SITE AND PROVIDE A NEW

BE REPLACED WITH NEW TREATED WOOD BLOCKING AS PER DETAILS.

PROVIDE NEW CANT STRIP, FLASHING, PRE-FINISHED EXPANSION JOINT

PLUMBING VENT REPLACEMENT (VIF): CONTRACTOR SHALL VISUALLY

ROUTING AND AREA WHERE THIS EJ IS TO BE REMOVED AND REPLACED,

VERIFY ALL EXISTING CONDITIONS, ESPECIALLY ANY PIPING, AND CONDUIT

INSPECT ALL EXISTING ROOFING PLUMBING VENTS WHICH ARE TO REMAIN.

CONFIRM HEIGHTS OF VENT PIPING AND EXTEND WHERE REQUIRED DUE

TO INSTALLATION OF NEW TAPERED INSULATION. EXTEND ALL VENTS AS

REQUIRED TO MAINTAIN VERTICAL CLEARANCES CALLED FOR ON EACH

RELATED CONSTRUCTION DETAIL. REPLACE ALL LEAD VENT & PIPE

FLASHING REPLACEMENT: REMOVE AND REPLACE FLASHING, COUNTER-

SKYLIGHT REPLACEMENT: INSTALL NEW ALUMINUM SKYLIGHT GUARD TO

FLASHING AND PRE-FINISHED METAL FASCIA FLASHING AS DETAILED.

HVAC REPAIR (VIF): INDICATES EXISTING HVAC EQUIPMENT AT EXISTING

ROOF WHICH IS TO REMAIN. COORDINATE WORK INVOLVED WITH THIS

EXPANSION JOINT AS DETAILED WITHIN THESE DOCUMENTS. THE

WHICH MIGHT INTERSECT OR CROSS OVER THIS JOINT.

FLASHING. TYPICAL ALL LOCATIONS.

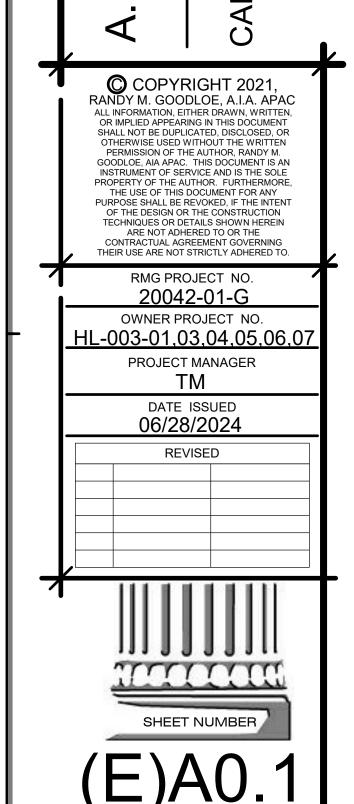
WIND TURBINE REPLACEMENT: REMOVE AND REPLACE WIND TURBINE TO MATCH ROOF EXPANSION JOINT REPAIR (VIF): INDICATES APPROXIMATE AREA AND EXISTING. PAINTING EXTERIOR: CLEAN, PREP & RE-PAINT WALLS AND ARTWORK TO COVER SCUFFS AND DAMAGE FROM STORM DEBRIS. COLOR TO MATCH EXISTING AS APPROVED BY ARCHITECT. INSTALLER SHOULD ASSUME THAT ALL EXISTING WOOD BLOCKING SHALL GLASS REPLACEMENT: REMOVE AND REPLACE DAMAGED GLASS (OR PLYWOOD WHERE APPLICABLE) TO MATCH EXISTING. PROVIDE CAULKING AND GASKETING. STUCCO SOFFIT REPLACEMENT: SOFFIT REMOVED BY OTHERS (HAZARDOUS COVER, VINYL BELLOWS, AND BASE FLASHING AS DETAILED. VERIFY EXACT

MATERIAL). COORDINATE AND INSTALL NEW STUCCO SOFFIT. COORDINATE REMOVAL OF **AGGREGATE PANELS (HAZARDOUS MATERIAL)** WITH ABATEMENT SCOPE AND ABATEMENT CONTRACTOR. COORDINATE AND INSTALL NEW GFRC FACADE PANELS AS SPECIFIED. REMOVE AND REPLACE DAMAGED WALL FRAMING - SEE STRUCTURAL AND WALL SECTIONS. SALVAGE AND REINSTALL MEP COMPONENTS AT SAME LOCATIONS - COORDINATE WITH MEP. **DOWNSPOUT AND GUTTER REPLACEMENT:** REMOVE REMAINING ATTACHMENTS AND COMPONENTS OF DOWNSPOUT, GUTTER AND CONDUCTOR HEADS AND INSTALL NEW TO MATCH EXISTING COLOR, DIMENSION, GAUGE, AND MATERIAL. GROUT HOLES AT OLD STRAPS PRIOR TO NEW INSTALLATION & ATTACH AT

INTERVALS EQUAL TO EXISTING SPACING. SALVAGE AND PREP REMAINING COMPONENTS FOR NEW INSTALLATION. CONTRACTOR IS TO REMOVE ALL DEBRIS FROM GUTTERS AND DOWN SPOUTS. BRICK REPAIR: REMOVE AND REPLACE BRICK FACADE AS INDICATED. DISPOSE OF OLD BRICK, MATCH NEW BRICK AND MORTAR TO EXISTING AS APPROVED BY

PROOFING, INSTALL NEW WATERPROOFING AND BRICK TIES AT A MIN. OF 24" O.C. VERTICAL AND HORIZONTAL PLASTER SOFFIT REPLACEMENT: REMOVE REMAINING VINYL SOFFIT AND REPLACE TO MATCH EXISTING - PRESERVE LIGHT & REINSTALL AS NECESSARY.

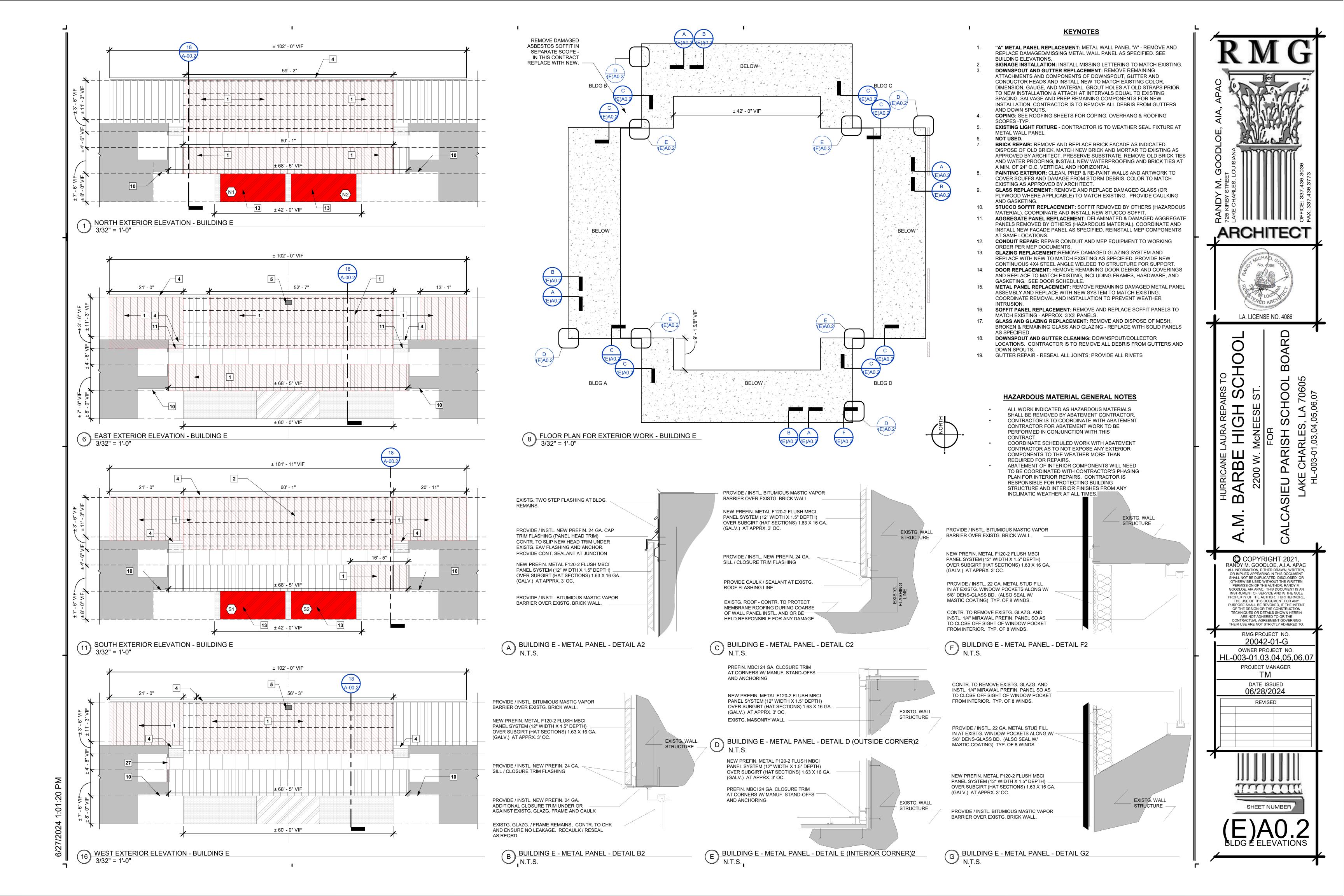
ARCHITECT. PRESERVE SUBSTRATE. REMOVE OLD BRICK TIES AND WATER



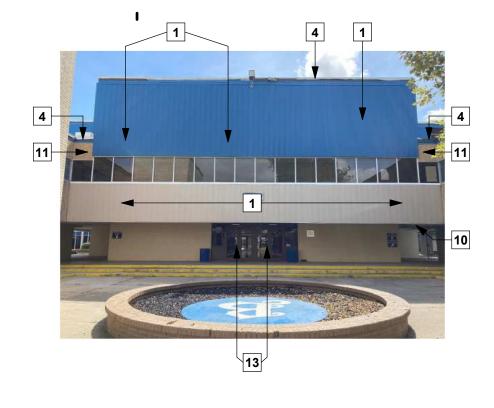
ARCHITECT

LA. LICENSE NO. 4086

















"A" METAL PANEL REPLACEMENT: METAL WALL PANEL "A" - REMOVE AND REPLACE DAMAGED/MISSING METAL WALL PANEL AS SPECIFIED. SEE BUILDING ELEVATIONS.
SIGNAGE INSTALLATION: INSTALL MISSING LETTERING TO MATCH EXISTING.

DOWNSPOUT AND GUTTER REPLACEMENT: REMOVE REMAINING
ATTACHMENTS AND COMPONENTS OF DOWNSPOUT, GUTTER AND
CONDUCTOR HEADS AND INSTALL NEW TO MATCH EXISTING COLOR,
DIMENSION, GAUGE, AND MATERIAL. GROUT HOLES AT OLD STRAPS PRIOR
TO NEW INSTALLATION & ATTACH AT INTERVALS EQUAL TO EXISTING
SPACING. SALVAGE AND PREP REMAINING COMPONENTS FOR NEW
INSTALLATION. CONTRACTOR IS TO REMOVE ALL DEBRIS FROM GUTTERS

AND DOWN SPOUTS.

COPING: SEE ROOFING SHEETS FOR COPING, OVERHANG & ROOFING SCOPES -TYP.

EXISTING LIGHT FIXTURE - CONTRACTOR IS TO WEATHER SEAL FIXTURE AT METAL PANEL.

BRICK REPAIR: REMOVE AND REPLACE BRICK FACADE AS INDICATED.

DISPOSE OF OLD BRICK, MATCH NEW BRICK AND MORTAR TO EXISTING AS APPROVED BY ARCHITECT. PRESERVE SUBSTRATE. REMOVE OLD BRICK TIES AND WATER PROOFING, INSTALL NEW WATERPROOFING AND BRICK TIES AT A MIN. OF 24" O.C. VERTICAL AND HORIZONTAL PAINTING EXTERIOR: CLEAN, PREP & RE-PAINT WALLS AND ARTWORK TO

8. PAINTING EXTERIOR: CLEAN, PREP & RE-PAINT WALLS AND ARTWORK TO COVER SCUFFS AND DAMAGE FROM STORM DEBRIS. COLOR TO MATCH EXISTING AS APPROVED BY ARCHITECT.

 GLASS REPLACEMENT: REMOVE AND REPLACE DAMAGED GLASS (OR PLYWOOD WHERE APPLICABLE) TO MATCH EXISTING. PROVIDE CAULKING AND GASKETING.

AND GASKETING.

O. STUCCO SOFFIT REPLACEMENT: SOFFIT REMOVED BY OTHERS (HAZARDOUS

MATERIAL). COORDINATE AND INSTALL NEW STUCCO SOFFIT.

11. AGGREGATE PANEL REPLACEMENT: DELAMINATED & DAMAGED AGGREGATE PANELS REMOVED BY OTHERS (HAZARDOUS MATERIAL). COORDINATE AND INSTALL NEW FACADE PANEL AS SPECIFIED. REINSTALL MEP COMPONENTS AT SAME LOCATIONS.

12. **CONDUIT REPAIR:** REPAIR CONDUIT AND MEP EQUIPMENT TO WORKING ORDER PER MEP DOCUMENTS.

3. GLAZING REPLACEMENT: REMOVE DAMAGED GLAZING SYSTEM AND REPLACE WITH NEW TO MATCH EXISTING AS SPECIFIED. PROVIDE NEW CONTINUOUS 4X4 STEEL ANGLE WELDED TO STRUCTURE FOR SUPPORT.

4. DOOR REPLACEMENT: REMOVE REMAINING DOOR DEBRIS AND COVERINGS

AND REPLACE TO MATCH EXISTING, INCLUDING FRAMES, HARDWARE, AND GASKETING. SEE DOOR SCHEDULE.

15. METAL PANEL REPLACEMENT: REMOVE REMAINING DAMAGED METAL PANEL ASSEMBLY AND REPLACE WITH NEW SYSTEM TO MATCH EXISTING.

COORDINATE REMOVAL AND INSTALLATION TO PREVENT WEATHER INTRUSION.

16. SOFFIT PANEL REPLACEMENT: REMOVE AND REPLACE SOFFIT PANELS TO

MATCH EXISTING - APPROX. 3'X3' PANELS.

17. GLASS AND GLAZING REPLACEMENT: REMOVE AND DISPOSE OF MESH,
BROKEN & REMAINING GLASS AND GLAZING - REPLACE WITH SOLID PANELS

AS SPECIFIED.

18. DOWNSPOUT AND GUTTER CLEANING: DOWNSPOUT/COLLECTOR
LOCATIONS. CONTRACTOR IS TO REMOVE ALL DEBRIS FROM GUTTERS AND

DOWN SPOUTS.

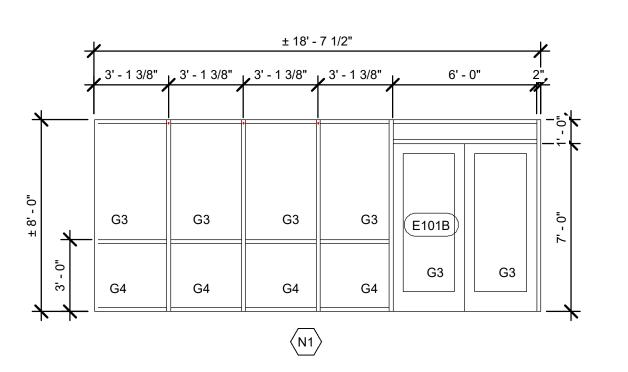
19. GUTTER REPAIR - RESEAL ALL JOINTS; PROVIDE ALL RIVETS

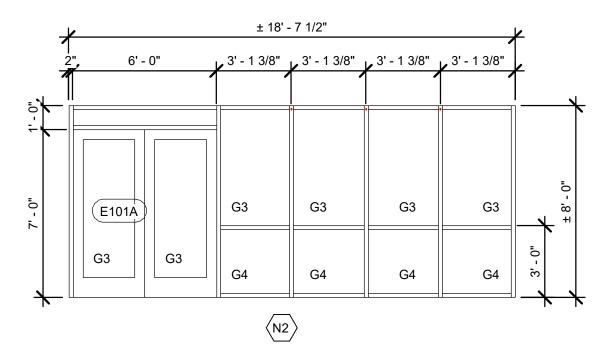


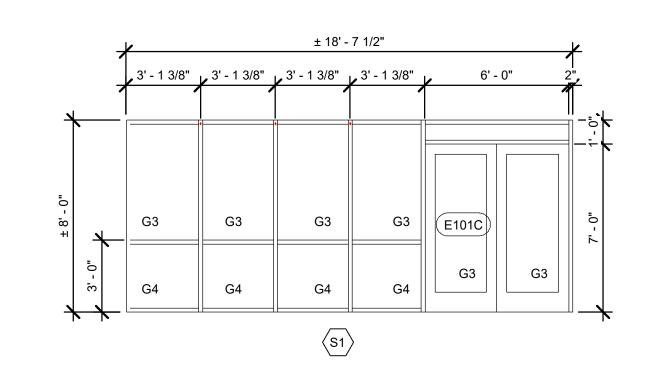


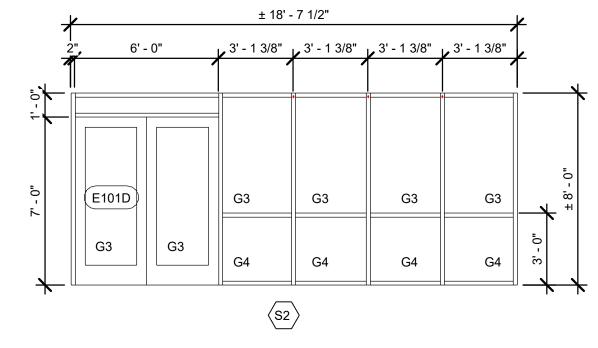


WINDOW SCHEDULE										
MADIC	SIZE		FRAME	COMMENTO						
MARK		TYPE	MATERIAL	COMMENTS						
N1	SEE ELEVATION	STOREFRONT	ALUMINUM, ANODIZED, DARK BRONZE	REPLACE ENTIRE UNIT						
N2	SEE ELEVATION	STOREFRONT	ALUMINUM, ANODIZED, DARK BRONZE	REPLACE ENTIRE UNIT						
S1	SEE ELEVATION	STOREFRONT	ALUMINUM, ANODIZED, DARK BRONZE	REPLACE ENTIRE UNIT						
S2	SEE ELEVATION	STOREFRONT	ALUMINUM, ANODIZED, DARK BRONZE	REPLACE ENTIRE UNIT						









					DO	OOR SCH	EDULE			
MARK W	OPEN	IING SIZE	HARDWARE	DOOR		FRAME		01.400	0014451450	
	WIDTH	HEIGHT		TYPE	MATERIAL	FINISH	MATERIAL	FINISH	GLASS	COMMENTS
E101A	6'-0"	7'-0"	H-1	STOREFRONT	ALUMINUM	DARK BRONZE	ALUMINUM	DARK BRONZE	G3	REPLACE ENTIRE UNIT
E101B	6'-0"	7'-0"	H-1	STOREFRONT	ALUMINUM	DARK BRONZE	ALUMINUM	DARK BRONZE	G3	REPLACE ENTIRE UNIT
E101C	6'-0"	7'-0"	H-1	STOREFRONT	ALUMINUM	DARK BRONZE	ALUMINUM	DARK BRONZE	G3	REPLACE ENTIRE UNIT
E101D	6'-0"	7'-0"	H-1	STOREFRONT	ALUMINUM	DARK BRONZE	ALUMINUM	DARK BRONZE	G3	REPLACE ENTIRE UNIT

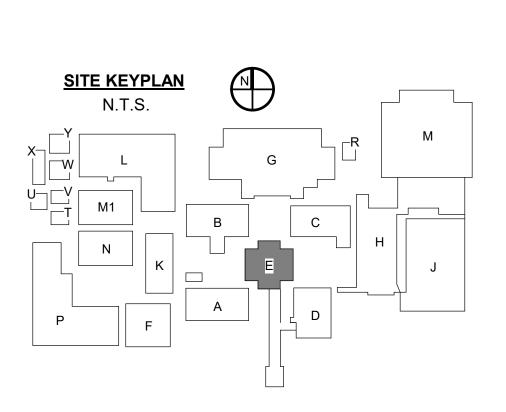
## DOOR HARDWARE

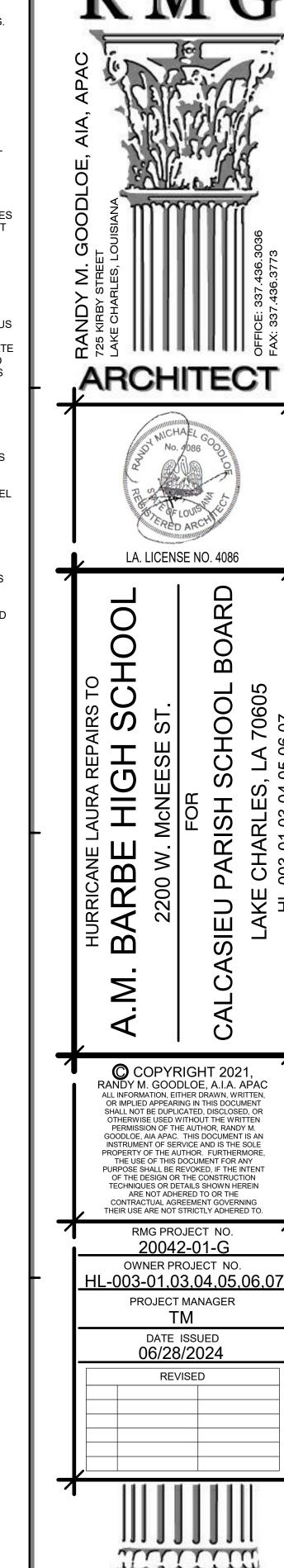
H-1 - STORM RATED UNIT - MUST BE SUPPLIED BY DOOR MANUFACTURER FROM TESTED UNITS AVAILABLE. CONTINUOUS HINGES, WEATHER STRIPPING, THRESHOLD, SILENCERS, HEAD/FOOT BOLT, FIRE EXIT DEVICE WITH LEVER SET, CLOSERS.

# GLAZING SCHEDULE

G1 - CLEAR, INSULATED GLASS AS SPECIFIED. G2 - SPANDRAL GLASS AS SPECIFIED. G3 - TINTED, INSULATED GLASS AS SPECIFIED. G4 - ALUMINUM WINDOW PANEL AS SPECIFIED.

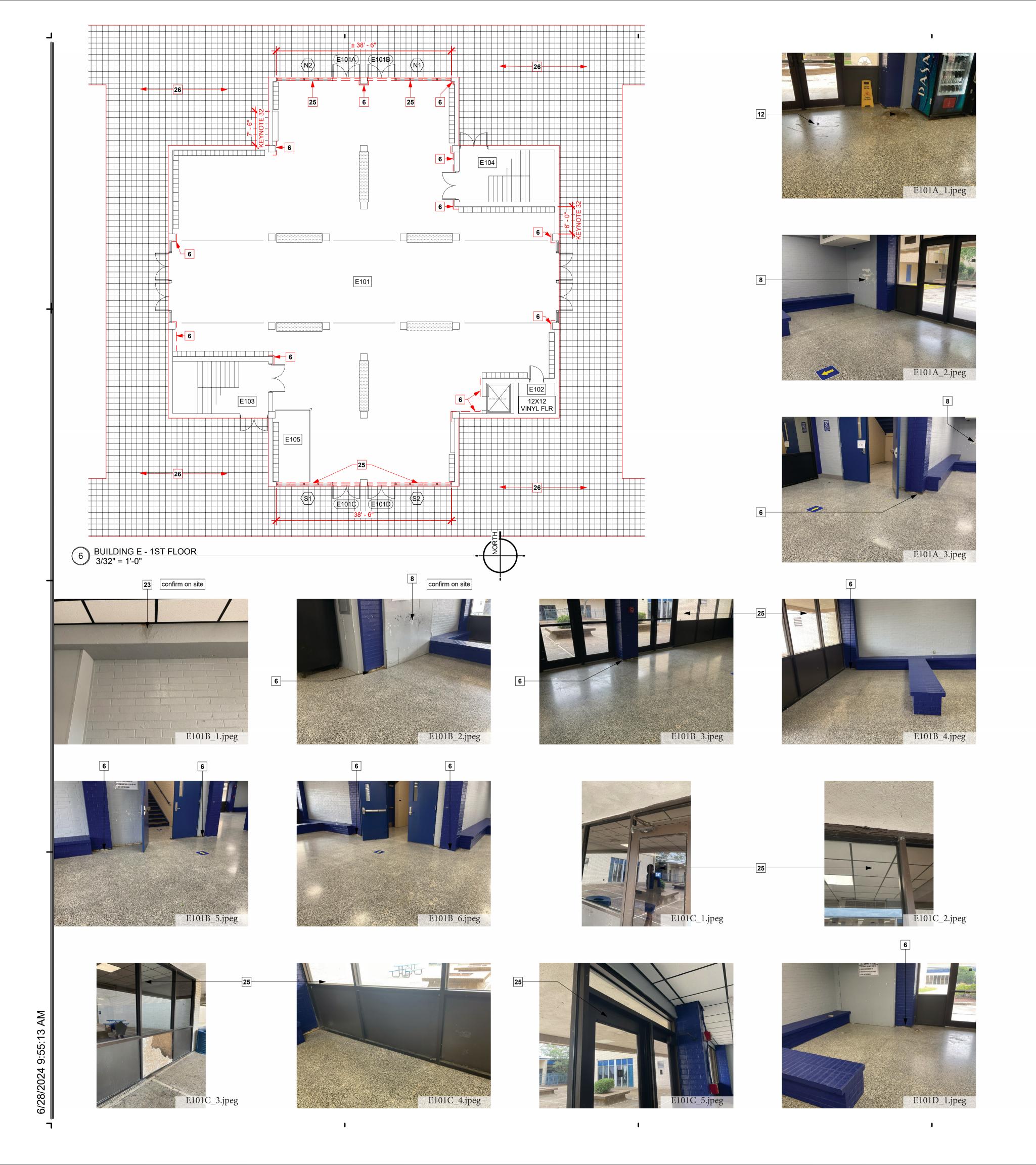
\*GLAZING OF NEW STOREFRONT UNITS ARE TO BE LARGE MISSLE IMPACT AS SPECIFIED. REPLACEMENT GLAZING IS TO MATCH EXISTING.





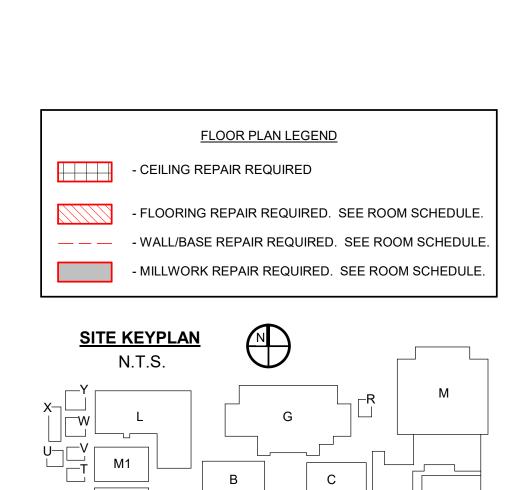
SHEET NUMBER

REFERENCE IMAGES



#### **KEYNOTES**

- SUSPENDED ACOUSTIC CEILING REPLACEMENT: REMOVE AND REPLACE DAMAGED CEILING GRID AND CEILING TILE AS SPECIFIED. CEILING GRID: REMOVE AND REPLACE DAMAGED CEILING GRID. MATCH
- EXISTING. SEE UNIT PRICE NO. 5 VCT FLOORING REPAIRS: REMOVE AND REPLACE VCT FLOORING AS SPECIFIED
- IN AREAS WHERE INDICATED. SEE UNIT PRICE NO. 3. WINDOW REPAIRS: REPLACE BROKEN WINDOW PANES, BLOCKS, AND GASKETS TO MATCH EXISTING. ALL SEALANTS SHALL BE REMOVED AND REPLACED AS
- SPECIFIED TO ENSURE WEATHER TIGHT SEAL. SEE ELEVATIONS. STRUCTURAL CLAY BLOCK: GLAZED STRUCTURAL CLAY BLOCK TO BE REMOVED AND REPLACED AS SPECIFIED TO MATCH EXISTING. CLEAN ALL
- CHALKING RESIDUE FROM EFFERVESCENCE. VINYL BASE REPLACEMENT: REPLACE DAMAGED OR MISSING BASE AS SPECIFIED TO MATCH EXISTING. SEE UNIT PRICE NO. 4
- CARPET REPAIRS: DAMAGED CARPET HAS BEEN REMOVED. CLEAN FLOOR AND INSTALL NEW CARPET TILE AS SPECIFIED.
- PAINTING: WALL SURFACE IS TO BE SANDED, PREPARED, AND REPAINT TO MATCH EXISTING CORNER TO CORNER. WATER STAINED WALL FROM ROOF
- PAINTED CEILING STRUCTURE: CEILING INCLUDING METAL TRUSSES ARE TO BE CLEANED, PREPPED, AND REPAINTED END TO END TO MATCH EXISTING
- VCT FLOORING CLEANING: CLEAN WATER STAINS FROM VCT FLOORING TO REMOVE ANY DISCOLORATION WHERE INDICATED. MOP AND WAX ALL VCT
- FLOORING AT THE END OF CONSTRUCTION. **SKYLIGHT REPAIRS:** REMOVE AND REPLACE SKYLIGHT TO MATCH EXISTING. TERRAZZO FLOORING CLEANING: CLEAN AND POLISH EXISTING TERRAZZO
- FLOORING. REFER TO ROOM SCHEDULE FOR CLARITY. CEILING TILE REPLACEMENT: REMOVE AND REPLACE DAMAGED OR MISSING ACOUSTIC CEILING TILE WITH NEW CEILING TILE AS SPECIFIED IN AREAS INDICATED. MATCH EXISTING TYPE AND SIZE. SEE UNIT PRICE NO. 1. INSTALL R-30 BATT INSULATION OVER TILE. SEE UNIT PRICE NO. 2
- EXTERIOR WINDOWS AND DOORS: CAULK AND RESEAL PERIMETER OF
- EXISTING WINDOWS AND DOORS. CMU REPAIR: RE-POINT DAMAGED CMU JOINTS AS SHOWN. PAINT WALL FROM END TO END IN COLOR TO MATCH EXISTING AS SPECIFIED. SEE PHOTOS.
- BRICK REPAIR: CAULK CRACKED AREAS AND REPAINT. LOCKERS: REPLACE DAMAGED UNITS AS SHOWN. MATCH EXISTING STYLE,
- SIZE AND COLORS. BRICK WALLS: CLEAN ALL WATER STAINS FROM ENTIRE BRICK WALL. SHELVING REPLACEMENT: REMOVE AND REPLACE DAMAGED SHELVING UNITS
- WITH <u>GLASS DOORS</u>. MATCH EXISTING MATERIALS, FINISHES AND BASE CABINET: REMOVE AND REPLACE DAMAGED BASE CABINET. MATCH EXISTING STYLE, SIZE, AND CONSTRUCTION. SALVAGE AND REINSTALL
- SECTIONAL DOOR: REMOVE AND REPLACE OVERHEAD SECETIONAL DOOR AS SPECIFIED. CONTRACTOR TO PROVIDE ANY ADDITIONAL SUPPORT REQUIRED BY THE MANUFACTURER.
- GYPSUM BOARD: REMOVE AND REPLACE DAMAGED GYPSUM BOARD TO NEAREST FRAMING MEMBER. FINISH AND RE-PAINT WALL CORNER TO
- PREFINISHED GYPSUM BOARD WITH VINYL WALL COVER AND CORNER TRIM: REMOVE AND REPLACE DAMAGED VINYL COVERED GYPSUM BOARD FROM FLOOR TO CEILING WHERE INDICATED ON FLOOR PLAN.
- STOREFRONT WINDOW: REMOVE AND REPLACE STOREFRONT WINDOW AS
- STUCCO SOFFIT: REMOVE & REPLACE STUCCO SOFFIT. COORDINATE WITH ABATEMENT SCOPE & ABATEMENT CONTRACTOR TO ENSURE WEATHER-TIGHTNESS AND PHASING COORDINATION. SEE WALL SECTIONS & DETAILS.
- GYPSUM CEILING REPAIRS: REMOVE AND REPLACE DAMAGED GYPSUM CEILING BOARD TO NEAREST FRAMING MEMBER WHERE INDICATED, FINISH TO
- MATCH EXISTING AS SPECIFIED. METAL ROOF PANEL REPAIRS: REMOVE AND REPLACE DEFORMED OR MISSING METAL ROOF PANELS TO MATCH EXISTING.
- CONCRETE FLOOR CLEANING: CLEAN AND RESEAL FLOOR AS SPECIFIED. BASE CABINET: REMOVE AND REPLACE DAMAGED BASE CABINET. MATCH
- EXISTING STYLE, SIZE, AND CONSTRUCTION. SALVAGE AND REINSTALL COUNTERTOP. PROTECT ALL MECHANICAL CONNECTIONS.
- TILE CLEANING: CLEAN STAINS FROM WALL TILE TO REMOVE ANY DISCOLORATION WHERE INDICATED. CLEAN/REPAINT MASONRY WALL: MECHANICALLY REMOVE ALL LOOSE OR PEELING PAINT AND ALL CHALKING RESIDUE FROM EFFERVESCENCE FROM
- CORNER TO CORNER. PERFORM REQUIRED MOISTURE TESTING PRIOR TO REPAINTING WALL AS SPECIFIED. PLASTER CEILING REPAIRS: REMOVED AND REPLACE DAMAGED PLASTER
- CEILING WHERE INDICATED AS SPECIFIED, PAINT IN COLOR TO MATCH
- MEP DAMAGES: SEE MECHANICAL, PLUMBING AND ELECTRICAL PLANS. FURNITURE SETTING AND RESETING: RELOCATE ALL EXISTING FURNITURE TO TEMPORARY ROOM IN MODULAR BUILDINGS WHILE EXISTING SPACE IS BEING REPAIRED. REINSTALL AND RESET FURNITURE ONCE REPAIRS ARE
- COMPLETE. SEE PHASING PLAN. SUSPENDED CEILING INSULATION: INSTALL R-19 BATT INSULATION AS SPECIFIED ABOVE PREVIOUSLY INSTALLED SUSPENDED CEILING TILE. SEE
- UNIT PRICE NO. 2. BRICK WALL REPLACEMENT: REMOVE AND REPLACE BRICK WALL AS INDICATED. DISPOSE OF OLD BRICK, MATCH NEW BRICK AND MORTAR TO
- EXISTING AS APPROVED BY ARCHITECT, SEE STRUCTURAL. BUILDING TO REMAIN WEATHERPROOF AND CONDITIONED DURING REPAIRS. **DOOR REPAIR:** CLEAN, PREP AND RE-PAINT DOOR FRAME - SEE DOOR
- SCHEDULE. CORRIDOR WALL REPAIR: REMOVE DAMAGED STOREFRONT WINDOW AND EXISTING 3/4" PLYWOOD SHEATHING BELOW WINDOW. INSTALL NEW WINDOW PER SCHEDULE AND NEW 3/4" PLYWOOD SHEATHING. PAINT AS SPECIFIED, IN
- COLOR AS SELECTED. SEE DETAILS. GLAZING REPAIR: REMOVE AND REPLACE BROKEN GLASS. MATCH EXISTING
- TINT. PROVIDE SAFETY GLASS AS REQUIRED. DOOR REPAIR: REMOVE AND REPLACE EXISTING LEFT DOOR LEAF. PROVIDE AN INSULATED HOLLOW METAL DOOR WITH VISION PANEL TO MATCH RIGHT DOOR LEAF. REINSTALL EXISTING DOOR HARDWARE. PAINT AS DIRECTED.



**ROOMS -BUILDING E1** 

Perimeter

NUMBER Area

E101 | 5578 SF | 356' - 4"

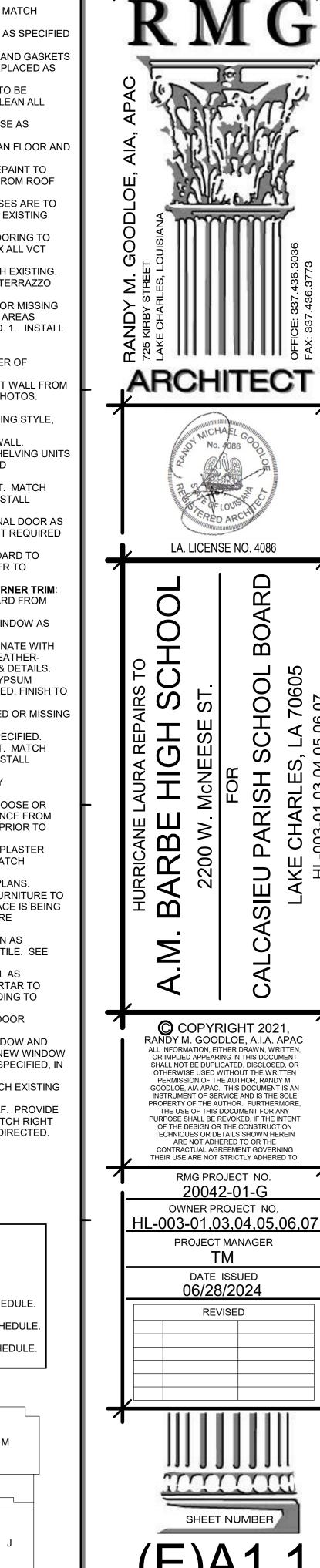
\*THESE MEASUREMENTS ARE APPROXIMATE TO BE USED AS

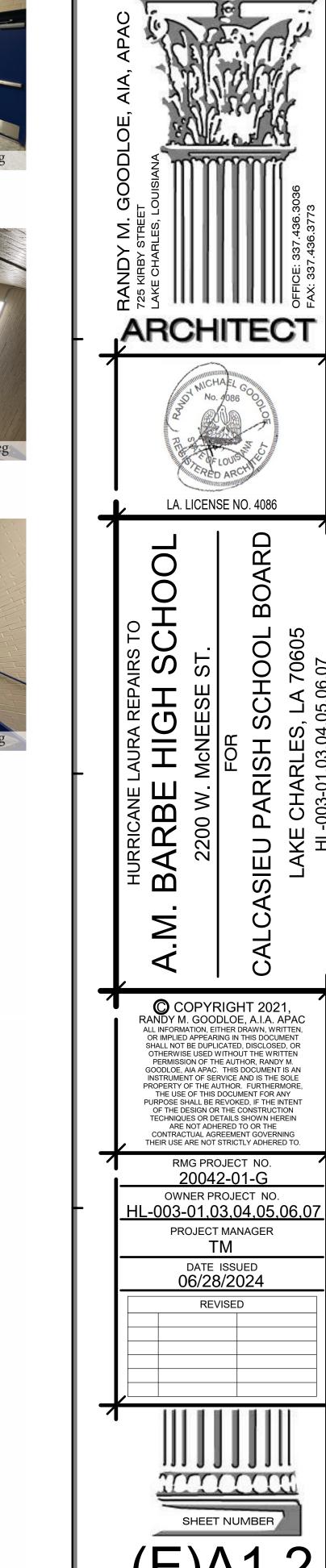
CONTRACTOR IS RESPONSIBLE

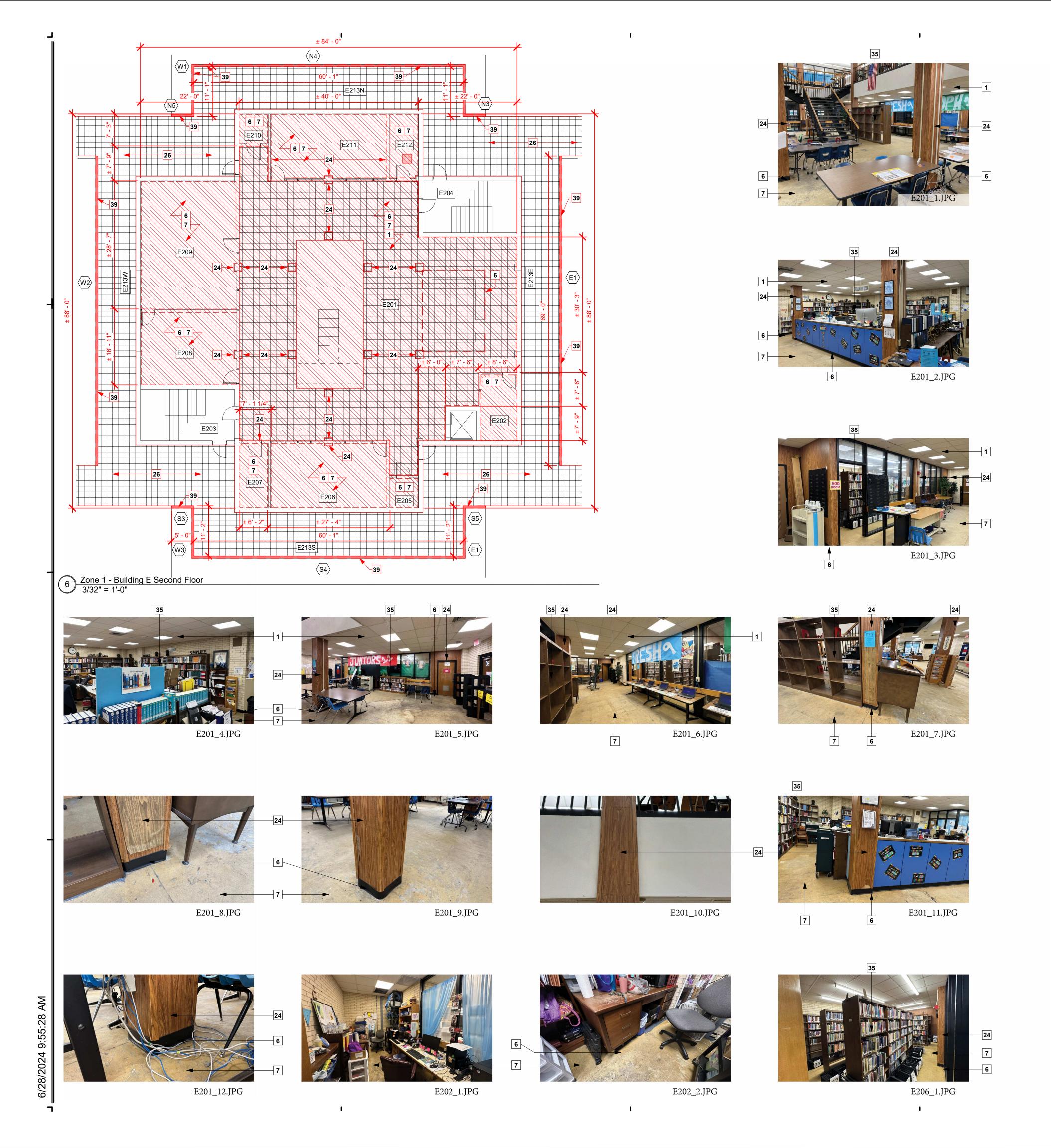
FOR ALL FINAL MEASUREMENTS.

E105 | 145 SF | 49' - 4"

GUIDELINES ONLY.







### **KEYNOTES**

SUSPENDED ACOUSTIC CEILING REPLACEMENT: REMOVE AND REPLACE DAMAGED CEILING GRID AND CEILING TILE AS SPECIFIED.
 CEILING GRID: REMOVE AND REPLACE DAMAGED CEILING GRID. MATCH EXISTING. SEE UNIT PRICE NO. 5
 VCT FLOORING REPAIRS: REMOVE AND REPLACE VCT FLOORING AS SPECIFIED IN AREAS WHERE INDICATED. SEE UNIT PRICE NO. 3.
 WINDOW REPAIRS: REPLACE BROKEN WINDOW PANES, BLOCKS, AND GASKETS TO MATCH EXISTING. ALL SEALANTS SHALL BE REMOVED AND REPLACED AS SPECIFIED TO ENSURE WEATHER TIGHT SEAL. SEE ELEVATIONS.
 STRUCTURAL CLAY BLOCK: GLAZED STRUCTURAL CLAY BLOCK TO BE

REMOVED AND REPLACED AS SPECIFIED TO MATCH EXISTING. CLEAN ALL CHALKING RESIDUE FROM EFFERVESCENCE.

VINYL BASE REPLACEMENT: REPLACE DAMAGED OR MISSING BASE AS SPECIFIED TO MATCH EXISTING. SEE UNIT PRICE NO. 4

CARPET REPAIRS: DAMAGED CARPET HAS BEEN REMOVED. CLEAN FLOOR AND INSTALL NEW CARPET TILE AS SPECIFIED.
 PAINTING: WALL SURFACE IS TO BE SANDED, PREPARED, AND REPAINT TO MATCH EXISTING CORNER TO CORNER. WATER STAINED WALL FROM ROOF

PAINTED CEILING STRUCTURE: CEILING INCLUDING METAL TRUSSES ARE TO BE CLEANED, PREPPED, AND REPAINTED END TO END TO MATCH EXISTING COLOR.

VCT FLOORING CLEANING: CLEAN WATER STAINS FROM VCT FLOORING TO

VCT FLOORING CLEANING: CLEAN WATER STAINS FROM VCT FLOORING TO REMOVE ANY DISCOLORATION WHERE INDICATED. MOP AND WAX ALL VCT FLOORING AT THE END OF CONSTRUCTION.

SKYLIGHT REPAIRS: REMOVE AND REPLACE SKYLIGHT TO MATCH EXISTING.

TERRAZZO FLOORING CLEANING: CLEAN AND POLISH EXISTING TERRAZZO FLOORING. REFER TO ROOM SCHEDULE FOR CLARITY.
 CEILING TILE REPLACEMENT: REMOVE AND REPLACE DAMAGED OR MISSING ACOUSTIC CEILING TILE WITH NEW CEILING TILE AS SPECIFIED IN AREAS INDICATED. MATCH EXISTING TYPE AND SIZE. SEE UNIT PRICE NO. 1. INSTALL R-30 BATT INSULATION OVER TILE. SEE UNIT PRICE NO. 2

14. NOT USED.
 15. EXTERIOR WINDOWS AND DOORS: CAULK AND RESEAL PERIMETER OF

EXISTING WINDOWS AND DOORS.

EXISTING WINDOWS AND DOORS.

CMU REPAIR: RE-POINT DAMAGED CMU JOINTS AS SHOWN. PAINT WALL FROM END TO END IN COLOR TO MATCH EXISTING AS SPECIFIED. SEE PHOTOS.

BRICK REPAIR: CAULK CRACKED AREAS AND REPAINT.
 LOCKERS: REPLACE DAMAGED UNITS AS SHOWN. MATCH EXISTING STYLE, SIZE AND COLORS.

19. BRICK WALLS: CLEAN ALL WATER STAINS FROM ENTIRE BRICK WALL.
20. SHELVING REPLACEMENT: REMOVE AND REPLACE DAMAGED SHELVING UNITS WITH GLASS DOORS. MATCH EXISTING MATERIALS, FINISHES AND

CONSTRUCTION STYLE.

21. BASE CABINET: REMOVE AND REPLACE DAMAGED BASE CABINET. MATCH EXISTING STYLE, SIZE, AND CONSTRUCTION. SALVAGE AND REINSTALL

SECTIONAL DOOR: REMOVE AND REPLACE OVERHEAD SECETIONAL DOOR AS SPECIFIED. CONTRACTOR TO PROVIDE ANY ADDITIONAL SUPPORT REQUIRED BY THE MANUFACTURER.
 GYPSUM BOARD: REMOVE AND REPLACE DAMAGED GYPSUM BOARD TO

NEAREST FRAMING MEMBER. FINISH AND RE-PAINT WALL CORNER TO CORNER.

REMOVE AND REPLACE DAMAGED VINYL COVERED GYPSUM BOARD FROM FLOOR TO CEILING WHERE INDICATED ON FLOOR PLAN.

STOREFRONT WINDOW: REMOVE AND REPLACE STOREFRONT WINDOW AS

26. STUCCO SOFFIT: REMOVE & REPLACE STUCCO SOFFIT. COORDINATE WITH ABATEMENT SCOPE & ABATEMENT CONTRACTOR TO ENSURE WEATHER-TIGHTNESS AND PHASING COORDINATION. SEE WALL SECTIONS & DETAILS.
27. GYPSUM CEILING REPAIRS: REMOVE AND REPLACE DAMAGED GYPSUM CEILING BOARD TO NEAREST FRAMING MEMBER WHERE INDICATED, FINISH TO

MATCH EXISTING AS SPECIFIED.

METAL ROOF PANEL REPAIRS: REMOVE AND REPLACE DEFORMED OR MISSING METAL ROOF PANELS TO MATCH EXISTING.

29. CONCRETE FLOOR CLEANING: CLEAN AND RESEAL FLOOR AS SPECIFIED.
30. BASE CABINET: REMOVE AND REPLACE DAMAGED BASE CABINET. MATCH EXISTING STYLE, SIZE, AND CONSTRUCTION. SALVAGE AND REINSTALL COUNTERTOP. PROTECT ALL MECHANICAL CONNECTIONS.

1. TILE CLEANING: CLEAN STAINS FROM WALL TILE TO REMOVE ANY DISCOLORATION WHERE INDICATED.

DISCOLORATION WHERE INDICATED.

32. CLEAN/REPAINT MASONRY WALL: MECHANICALLY REMOVE ALL LOOSE OR PEELING PAINT AND ALL CHALKING RESIDUE FROM EFFERVESCENCE FROM CORNER TO CORNER. PERFORM REQUIRED MOISTURE TESTING PRIOR TO REPAINTING WALL AS SPECIFIED.

PLASTER CEILING REPAIRS: REMOVED AND REPLACE DAMAGED PLASTER
CEILING WHERE INDICATED AS SPECIFIED, PAINT IN COLOR TO MATCH
EXISTING

EXISTING.

34. MEP DAMAGES: SEE MECHANICAL, PLUMBING AND ELECTRICAL PLANS.

FURNITURE SETTING AND RESETING: RELOCATE ALL EXISTING FURNITURE TO TEMPORARY ROOM IN MODULAR BUILDINGS WHILE EXISTING SPACE IS BEING REPAIRED. REINSTALL AND RESET FURNITURE ONCE REPAIRS ARE COMPLETE. SEE PHASING PLAN.

6. SUSPENDED CEILING INSULATION: INSTALL R-19 BATT INSULATION AS SPECIFIED ABOVE PREVIOUSLY INSTALLED SUSPENDED CEILING TILE. SEE UNIT PRICE NO. 2.

37. BRICK WALL REPLACEMENT: REMOVE AND REPLACE BRICK WALL AS INDICATED. DISPOSE OF OLD BRICK, MATCH NEW BRICK AND MORTAR TO EXISTING AS APPROVED BY ARCHITECT, SEE STRUCTURAL. BUILDING TO REMAIN WEATHERPROOF AND CONDITIONED DURING REPAIRS.

REMAIN WEATHERPROOF AND CONDITIONED DURING REPAIRS.

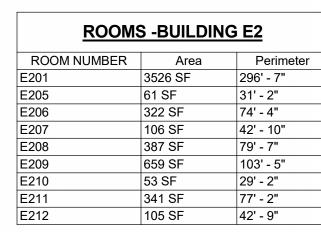
38. DOOR REPAIR: CLEAN, PREP AND RE-PAINT DOOR FRAME - SEE DOOR SCHEDULE.

39. CORRIDOR WALL REPAIR: REMOVE DAMAGED STOREFRONT WINDOW AI

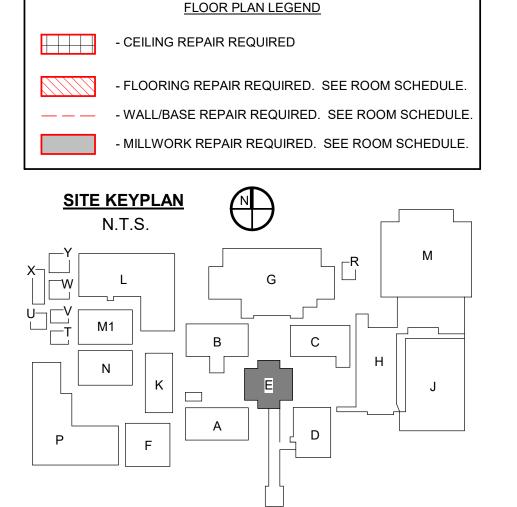
39. CORRIDOR WALL REPAIR: REMOVE DAMAGED STOREFRONT WINDOW AND EXISTING 3/4" PLYWOOD SHEATHING BELOW WINDOW. INSTALL NEW WINDOW PER SCHEDULE AND NEW 3/4" PLYWOOD SHEATHING. PAINT AS SPECIFIED, IN COLOR AS SELECTED. SEE DETAILS.
 40. GLAZING REPAIR: REMOVE AND REPLACE BROKEN GLASS. MATCH EXISTING

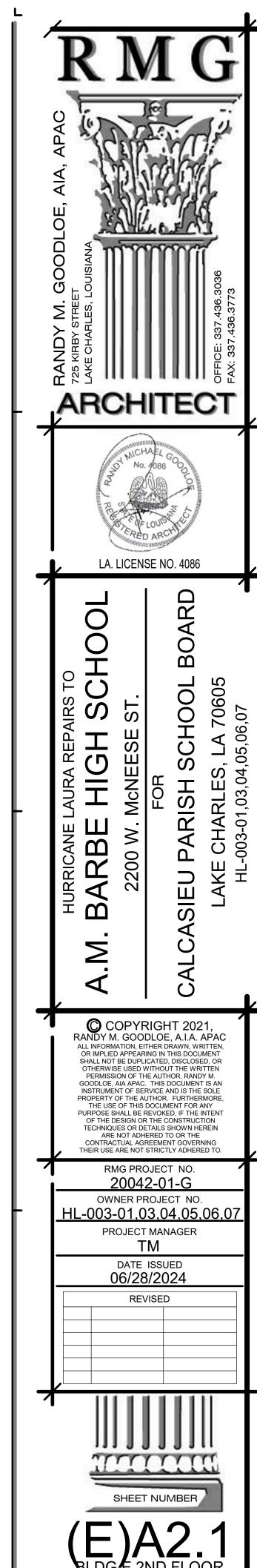
TINT. PROVIDE SAFETY GLASS AS REQUIRED.

1. DOOR REPAIR: REMOVE AND REPLACE EXISTING LEFT DOOR LEAF. PROVIDE AN INSULATED HOLLOW METAL DOOR WITH VISION PANEL TO MATCH RIGHT DOOR LEAF. REINSTALL EXISTING DOOR HARDWARE. PAINT AS DIRECTED.



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#### **KEYNOTES**

SUSPENDED ACOUSTIC CEILING REPLACEMENT: REMOVE AND REPLACE DAMAGED CEILING GRID AND CEILING TILE AS SPECIFIED. CEILING GRID: REMOVE AND REPLACE DAMAGED CEILING GRID. MATCH EXISTING. SEE UNIT PRICE NO. 5

VCT FLOORING REPAIRS: REMOVE AND REPLACE VCT FLOORING AS SPECIFIED

IN AREAS WHERE INDICATED. SEE UNIT PRICE NO. 3. WINDOW REPAIRS: REPLACE BROKEN WINDOW PANES, BLOCKS, AND GASKETS TO MATCH EXISTING. ALL SEALANTS SHALL BE REMOVED AND REPLACED AS

SPECIFIED TO ENSURE WEATHER TIGHT SEAL. SEE ELEVATIONS. STRUCTURAL CLAY BLOCK: GLAZED STRUCTURAL CLAY BLOCK TO BE REMOVED AND REPLACED AS SPECIFIED TO MATCH EXISTING. CLEAN ALL CHALKING RESIDUE FROM EFFERVESCENCE.

VINYL BASE REPLACEMENT: REPLACE DAMAGED OR MISSING BASE AS SPECIFIED TO MATCH EXISTING. SEE UNIT PRICE NO. 4

CARPET REPAIRS: DAMAGED CARPET HAS BEEN REMOVED. CLEAN FLOOR AND INSTALL NEW CARPET TILE AS SPECIFIED. PAINTING: WALL SURFACE IS TO BE SANDED, PREPARED, AND REPAINT TO

MATCH EXISTING CORNER TO CORNER. WATER STAINED WALL FROM ROOF PAINTED CEILING STRUCTURE: CEILING INCLUDING METAL TRUSSES ARE TO BE CLEANED, PREPPED, AND REPAINTED END TO END TO MATCH EXISTING

VCT FLOORING CLEANING: CLEAN WATER STAINS FROM VCT FLOORING TO REMOVE ANY DISCOLORATION WHERE INDICATED. MOP AND WAX ALL VCT

FLOORING AT THE END OF CONSTRUCTION. **SKYLIGHT REPAIRS:** REMOVE AND REPLACE SKYLIGHT TO MATCH EXISTING. TERRAZZO FLOORING CLEANING: CLEAN AND POLISH EXISTING TERRAZZO

FLOORING. REFER TO ROOM SCHEDULE FOR CLARITY. CEILING TILE REPLACEMENT: REMOVE AND REPLACE DAMAGED OR MISSING ACOUSTIC CEILING TILE WITH NEW CEILING TILE AS SPECIFIED IN AREAS INDICATED. MATCH EXISTING TYPE AND SIZE. SEE UNIT PRICE NO. 1. INSTALL R-30 BATT INSULATION OVER TILE. SEE UNIT PRICE NO. 2

EXTERIOR WINDOWS AND DOORS: CAULK AND RESEAL PERIMETER OF 15. EXISTING WINDOWS AND DOORS.

CMU REPAIR: RE-POINT DAMAGED CMU JOINTS AS SHOWN. PAINT WALL FROM END TO END IN COLOR TO MATCH EXISTING AS SPECIFIED. SEE PHOTOS.

BRICK REPAIR: CAULK CRACKED AREAS AND REPAINT. LOCKERS: REPLACE DAMAGED UNITS AS SHOWN. MATCH EXISTING STYLE, SIZE AND COLORS.

BRICK WALLS: CLEAN ALL WATER STAINS FROM ENTIRE BRICK WALL. SHELVING REPLACEMENT: REMOVE AND REPLACE DAMAGED SHELVING UNITS

WITH <u>GLASS DOORS</u>. MATCH EXISTING MATERIALS, FINISHES AND CONSTRUCTION STYLE. BASE CABINET: REMOVE AND REPLACE DAMAGED BASE CABINET. MATCH

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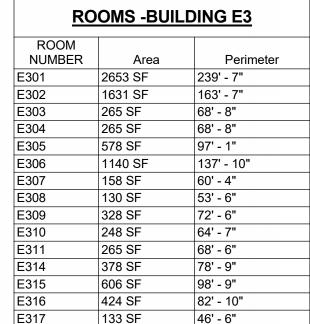
UNIT PRICE NO. 2. BRICK WALL REPLACEMENT: REMOVE AND REPLACE BRICK WALL AS INDICATED. DISPOSE OF OLD BRICK, MATCH NEW BRICK AND MORTAR TO

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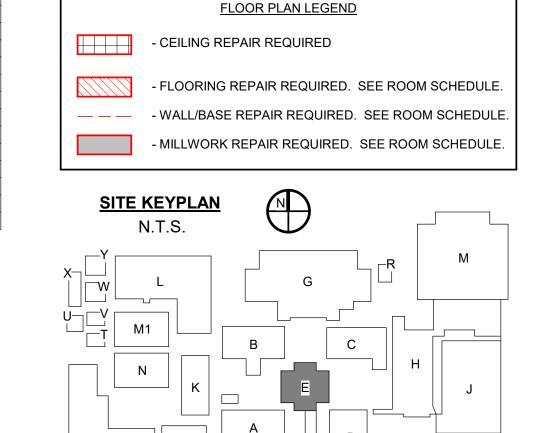
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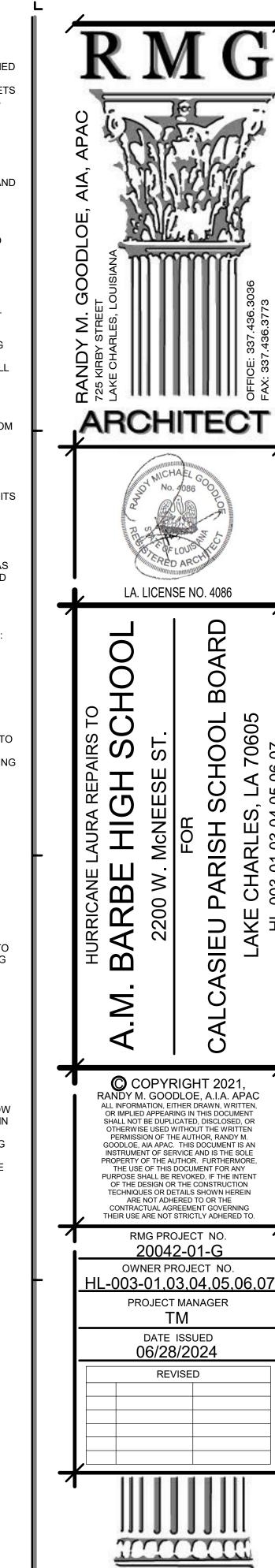
GLAZING REPAIR: REMOVE AND REPLACE BROKEN GLASS. MATCH EXISTING TINT. PROVIDE SAFETY GLASS AS REQUIRED.

DOOR REPAIR: REMOVE AND REPLACE EXISTING LEFT DOOR LEAF. PROVIDE AN INSULATED HOLLOW METAL DOOR WITH VISION PANEL TO MATCH RIGHT DOOR LEAF. REINSTALL EXISTING DOOR HARDWARE. PAINT AS DIRECTED.

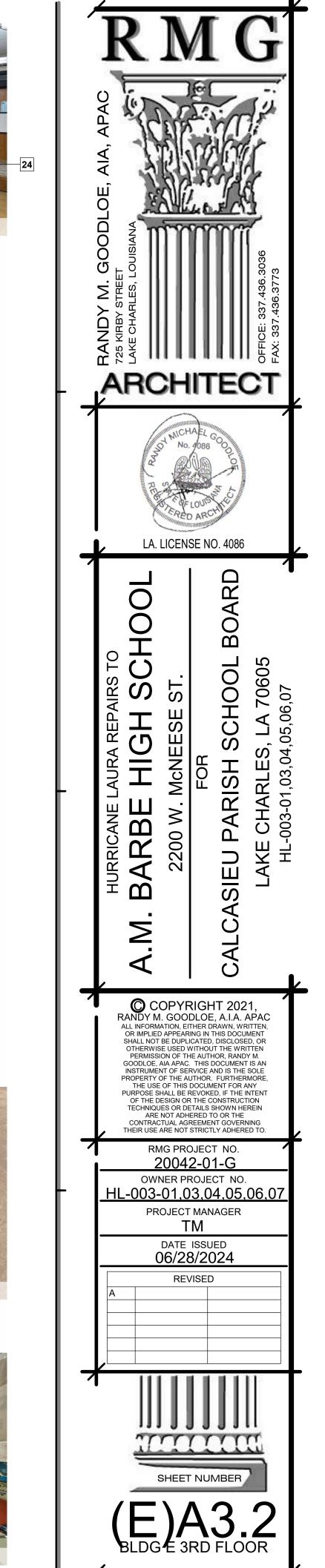


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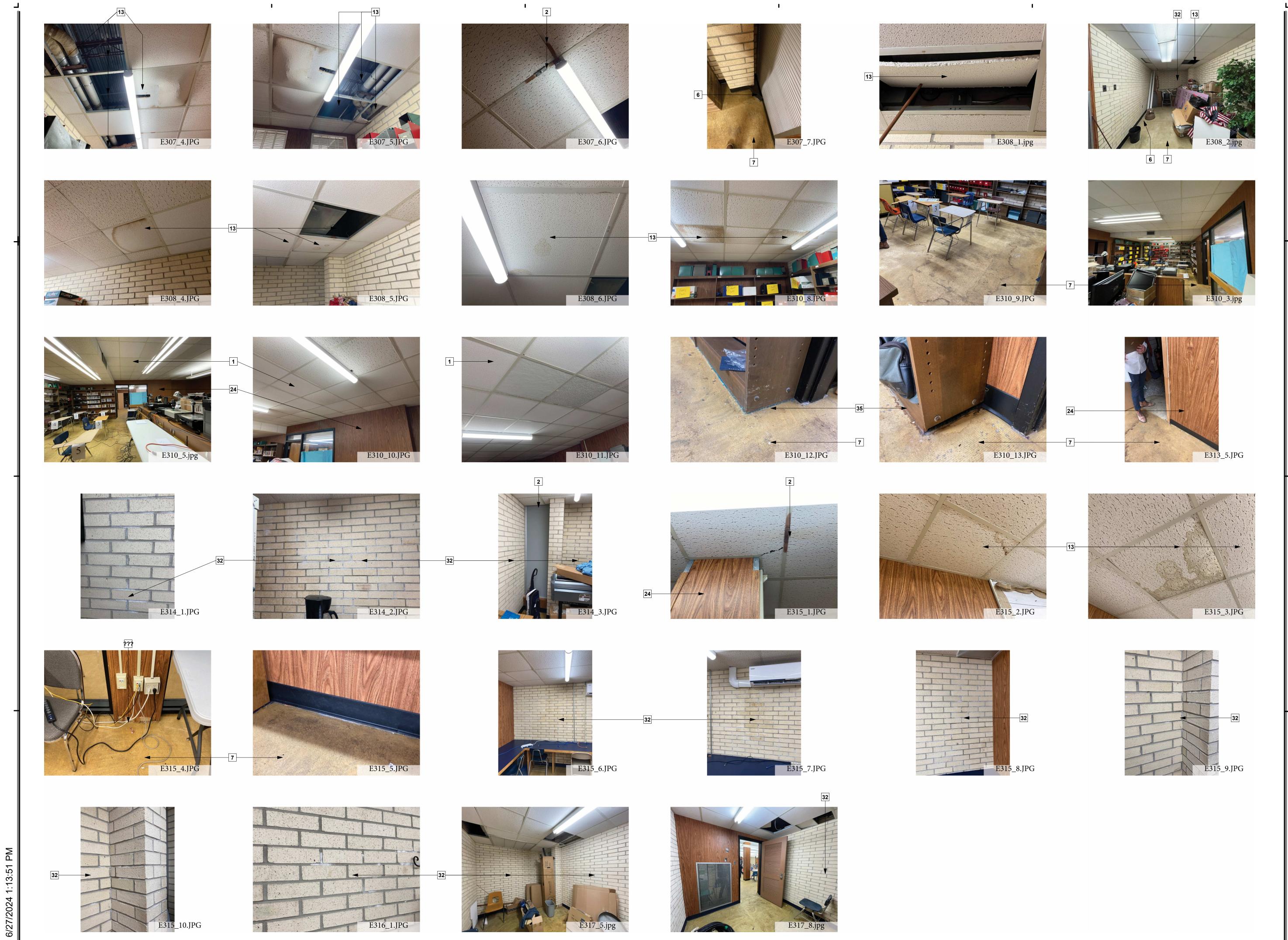




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