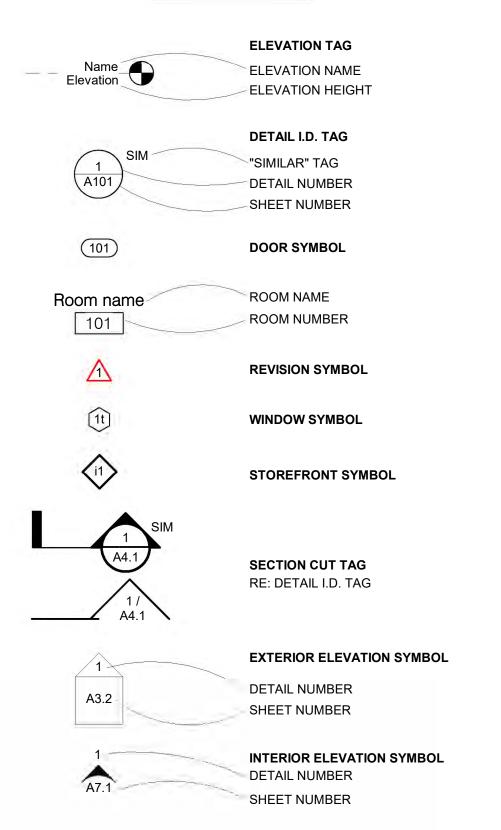
## SYMBOLS LEGEND



EPDM ETHYLENE PROPYLENE

EQUIPMENT

**EXHAUST** 

**EXISTING** 

**EXPANSION** 

FACE BRICK

DEPARTMENT

CONNECTION

FINISH FLOOR

ELEVATION

TREATED

FEET/FOOT

**FURNITURE** 

GALVANIZED

CONTRACT(OR)

REINFORCED CONCRETE

REINFORCED GYPSUM

GYPSUM WALL BOARD

**GLASS FIBER** 

GRAB BAR

GENERAL

GLAZING

GYPSUM

HOSE BIB

HEIGHT

HARDWOOD

HARDWARE

HORIZONTAL

HOT WATER

INSIDE DIAMETER

INCH/INCHES

INFORMATION

**INSULATED OR** 

**INSULATION** 

INTERIOR

INTERM INTERMEDIATE

INVERT

**HOLLOW METAL** 

HEATING VENTILATION

AND AIR CONDITIONING

GRANULAR

**GLASS FIBER** 

GLAZ

GRAN

HDWR

HORIZ

GAUGE

FIRE DEPARTMENT

FIRE PROTECTION

FIRE RESISTANT

FIRE RETARDANT

FLOOR DRAIN OR FIRE

EXIST

EXP

DIENE M-CLASS

JOINT

LAMINATE

POUNDS

MAXIMUM

MINIMUM

MOUNTED

MULLION

NORTH

NOMINAL

NOT TO SCALE

ON CENTER

NOT APPLICABLE

NOISE CRITERIA

NOT IN CONTRACT

NON COMBUSTIBLE

OUTSIDE DIAMETER

OWNER FURNISHED.

OWNER FURNISHED,

OWNER INSTALLED

PARTICLE BOARD

POUNDS PER LINEAR

CONTRACTOR

INSTALLED

OVERHEAD

OPNG OPENING

PAINT

PERIM PERIMETER

PLBG PLUMBING

PLYWD PLYWOOD

POL POLISHED

PROJ PROJECT

PNL PANEL

PAVING

PERP PERPENDICULAR

PLAM PLASTIC LAMINATE

PNT PAINT OR PAINTED

PREFAB PREFABRICATED

MOUNTING

MANUFACTURER

MISCELLANEOUS

MASONRY OPENING

MOISTURE RESISTANT

LIGHT

MFR

MTG

MTL

NOM

NON

OC

LAVATORY

POUNDS PER SQUARE

PRESSURE TREATED

POLYVINYL CHLORIDE

PAINTED

PVC

RBR

RCP

REFR

REINF

RESIL

RM

RTG

RWL

SECT

SHR

SHT

PARTITION

QUARRY TILE

RADIUS/RISER

RESILIENT BASE

REFLECTED CEILING

RETURN AIR

**ROOF DRAIN** 

REFERENCE

REGISTER

REINFORCED

REINFORCED

REMOVABLE

REQUIRE/REQUIRED

REVISION/REVISED

RAIN WATER LEADER

**ROUGH OPENING** 

REOOM RECOMMENDED

RESILIENT

ROOM

RATED

RATING

SOUTH

SUPPLY AIR

FLASHING

SOLID CORE

SECTION

SHOWER

SHEET

SIMILAR

SHEET METAL

STANDPIPE

SPECIFICATION

SPECIFIED OR

**SPECIFICATION** 

STORM DRAIN

SQUARE FEET/FOOT

SURFACE MOUNTED

SPRINKLER OR SPEAKER WC

SPRINKLER HEAD

SCHED SCHEDULE

**SELF ADHERED** 

REQD REQUIRED

REINFORCING

REFRIGERATOR

RECESSED

RADIUS

RUBBER

PLAN

RECPT RECEPTACLE

QUANTITY

**SQUARE** 

STATION

STOR STORAGE

STRG STRINGER

STRUCT STRUCTURAL

STRUCT STRUCTURE OR

SUBCAT SUBCATEGORY

SYSTEM

TREAD

SUSP SUSPENDED

STC

STL

SYM

SYS

TLT

TOC

TOS

TYP

UNFIN

VR

VT

W/O

TS

STAINLESS STEEL

SOUND TRANSMISSION

SERVICE SINK

COEFFICIENT

STRUCTURAL

SYMMETRICAL

TOP AND BOTTOM

TOWEL BAR

**TELEPHONE** 

THICKNESS

TOP OF BEAM

TOP OF STEEL

TUBE STEEL

TYPICAL

UNFINISHED

OTHERWISE

NOTED

URINAL

VARIES

TILE

VERTICAL

VESTIBULE

VINYL TILE

WIDE/WEST

WATER CLOSET

WITHOUT

**VERIFY IN FIELD** 

VERIFY ON JOBSITE

VAPOR RETARDER

VINYL WALL COVERING

UNLESS NOTED

UNLESS OTHERWISE

VINYL COMPOSITION

TOP OF CONCRETE

**THROUGH** 

TOILET

TOP OF

TEMPORARY OR

TEMPERATURE

**TONGUE AND GROOVE** 

TELEPHONE/TELECOM

TYPICAL ABBREVIATIONS-

**ADJACENT** 

AGGREGATE

ALTERNATE

ALUMINUM

ANODIZED

ASPHALT

AUTOMATIC

BUILDING

BOTTOM OF

CATCH BASIN

CENTERLINE

CEILING

CLEANOUT

CONCRETE

CARPET

DOUBLE

DEGREE

DEMOLISH OR

DEMOLITION

DIMENSION(S

DISPENSER

DETAIL

EACH

DRAWING

ELECTRICAL

ELEVATOR

ENGINEER

EXPANSION JOINT

DIAMETER

DRINKING FOUNTAIN

CONSTRUCTION

CONTINUOUS

CLEAR

CONTROL JOINT

CONCRETE MASONRY

BEAM

BRICK

**AUDIOVISUAL** 

ARCHITECTURAL

APPROX APPROXIMATE

ALUM

ANOD

AUTO

BLDG

CLG

CMU

CONC

CONST

CONT

CTR

DEMO

DIM(S)

DISP

ELEV

AIR CONDITIONING

ACOUSTIC CEILING TILE

ABOVE FINISHED FLOOR

# A.M. BARBE HIGH SCHOOL

# A.M. BARBE HIGH SCHOOL CPSB PROJECT #HL-003-01,03,04,05,06,07

RMG PROJECT #20042-01-G

# SHANNON LAFARGUE

**DEAN ROBERTS** - BOARD MEMBER PATRICK FONTENOT - PRINCIPAL JEROME GOODLY - ASSISTANT PRINCIPAL

WOOD

WINDOW

OOFING

WIRE MESH

WATERPROOF

WATER VALVE

MEMBRANE

WAINSCOT

WEIGHT

# HURRICANE LAURA REPAIRS TO

# CALCASIEU PARISH SCHOOL BOARD

# 2200 W. McNEESE ST., LAKE CHARLES, LA 70605

# 06/28/2024

**SUPERINTENDENT** 

# WATERPROOF/WATERPR WEATHER-STRIPPING WELDED WIRE FABRIC WELDED WIRE MESH

	NDEX OF DRAWINGS	INDEX OF DRAWINGS				
SHEET NUMBER	SHEET NAME	SHEET NUMBER	SHEET NAME			
C-1	EXISTING DRAINAGE SITE PLAN	(L)A1.1	BLDG L 1ST FLOOR PLAN			
A-000	COVER SHEET	(L)A1.2	BLDG L 1ST FLOOR PLAN			
A-00.0	DECOMMISSIONING PLAN	(L)A1.3	BLDG L 1ST FLOOR PLAN			
A-00.1	ROOF & SOFFIT PLANS	(L)A1.4	BLDG L 1ST FLOOR PLAN			
A-00.2	WALL SECTIONS & DETAILS	(L)A1.5	BLDG L 1ST FLOOR PLAN			
A-00.3	WALL SECTIONS & DETAILS	(M)A1.1	POD BLDG M			
A-00.4	ROOF DETAILS	(N)A1.1	POD BLDG N			
A-00.5	ENTRY CANOPY	(P)A0.1	BLDG P ROOF			
A-00.6	ALTERNATE 2 - COURTYARD WALL	(P)A0.2	BLDG P ELEVATIONS			
A-00.7	PHASING PLAN	(P)A1.1	BLDG P 1ST FLOOR PLAN			
(A)A0.1	BUILDING A ROOF & ELEVATIONS	(T-Y)A1.1	TEMP BLDG DRAWINGS			
(A)A0.2	BUILDING A REFERENCE IMAGES	(T-Y)A1.2	TEMP BLDG T-Y			
(A)A1.1	BLDG A 1ST FLOOR	S-1	ROOF REPAIR PLAN			
(A)A1.2	BLDG A 1ST FLOOR	S-2	ROOF REPAIR DETAILS			
(A)A2.1	BLDG A 2ND FLOOR	S-3	ENCLOSED BALCONY WALL REPAIRS			
(A)A2.2	BLDG A 2ND FLOOR	S-4	ENCLOSED BALCONY WALL REPAIRS			
(B)A0.1	BUILDING B ROOF & ELEVATIONS	S-5	NE CORNER WALL REPAIR - BLDG "C"			
(B)A0.2	BUILDING B REFERENCE IMAGES	S-6	NE CORNER WALL REPAIR - BLDG "C"			
(B)A1.1	BLDG B 1ST FLOOR	S-7	STAIR LANDING CONCRETE REPAIRS			
(B)A1.2	BLDG B 1ST FLOOR	S-8	STAIR REMOVAL & REPAIRS AT BLDG B			
(B)A2.1	BLDG B 2ND FLOOR	(1)E1.0	ZONE 1 - ELECTRICAL SITE PLAN			
(B)A2.2	BLDG B 2ND FLOOR	(A)E0.1	BUILDING A ROOF PLAN			
(C)A0.1	BUILDING C ROOF & ELEVATIONS	(A)E1.1	ZONE 1 - BUILDING A ELECTRICAL PLANS			
(C)A0.2	BUILDING C REFERENCE IMAGES	(A)M0.1	BUILDING A ROOF PLAN			
(C)A0.3	BLDG C SCHEDULES	(A)M1.1	ZONE 1 - BUILDING A MECHANICAL PLANS			
(C)A1.1	BLDG C 1ST FLOOR PLAN	(B)E0.1	BUILDING B ROOF PLAN			
(C)A1.2	BLDG C 1ST FLOOR PLAN	(B)E1.1	ZONE 1 - BUILDING B ELECTRICAL PLANS			
(C)A2.1	BLDG C 2ND FLOOR	(B)M0.1	BUILDING B ROOF PLAN			
(E)A0.1	BLDG E ROOF	(B)M1.1	ZONE 1 - BUILDING B MECHANICAL PLANS			
(E)A0.2	BLDG E ELEVATIONS	(C)E0.1	BUILDING C ROOF PLAN			
(E)A0.3	BUILDING E REFERENCE IMAGES	(C)E1.1	ZONE 1 - BUILDING C ELETRICAL PLANS			
(E)A1.1	BLDG E 1ST FLOOR PLAN	(C)M0.1	BUILDING C ROOF PLAN			
(E)A1.2	BLDG E 1ST FLOOR PLAN	(C)M1.1	ZONE 1 - BUILDING C MECHANICAL PLANS			
(E)A2.1	BLDG E 2ND FLOOR PLAN	(E)E0.1	BUILDING E ROOF PLAN			
(E)A2.2	BLDG E 2ND FLOOR PLAN	(E)E1.1	ZONE 1 - BUILDING E ELECTRICAL PLANS			
(E)A3.1	BLDG E 3RD FLOOR PLAN	(E)M0.1	BUILDING E ROOF PLAN			
(E)A3.2	BLDG E 3RD FLOOR PLAN	(E)M1.1	ZONE 1 - BUILDING E MECHANICAL PLANS			
(E)A3.3	BLDG E 3RD FLOOR PLAN	(F)E0.1	BUILDING F ROOF PLAN			
(F)A0.1	BLDG F ELEVATIONS	(F)E1.1	ZONE 1 - BUILDING F ELECTRICAL PLANS			
(F)A1.1	BLDG F 1ST FLOOR PLAN	(F)M0.1	BUILDING F ROOF PLAN			
(F)A1.2	BLDG F 1ST FLOOR PLAN	(F)M1.1	ZONE 1 - BUILDING F MECHANICAL PLANS			
(G)A0.1	BLDG G ROOF	(G)E0.1	BUILDING G ROOF PLAN			
(G)A0.2	BLDG G ELEVATIONS	(G)E1.1	ZONE 1 - BUILDING G ELECTRICAL PLANS			
(G)A0.3	BLDG G REFERENCE IMAGES	(G)M0.1	BUILDING G ROOF PLAN			
(G)A0.4	BLDG G REFERENCE IMAGES	(G)M1.1	ZONE 1 - BUILDING G MECHANICAL PLANS			
(G)A1.1	BLDG G 1ST FLOOR PLAN	(K)E0.1	BUILDING K ROOF PLAN			
(G)A1.2	BLDG G 1ST FLOOR PLAN	(K)E1.1	ZONE 1 - BUILDING K ELECTRICAL PLANS			
(G)A1.3	BLDG G 1ST FLOOR PLAN	(K)M0.1	BUILDILING K ROOF PLAN			
(G)A1.4	BLDG G 1ST FLOOR PLAN	(K)M1.1	ZONE 1 - BUILDING K MECHANICAL PLANS			
(G)A1.5	BLDG G 1ST FLOOR PLAN	(L)E0.1	BUILDING L ROOF PLAN			
(G)A1.6	BLDG G 1ST FLOOR PLAN	(L)E1.1	ZONE 1 - BUILDING L ELECTRICAL PLANS			
(G)A1.7	BLDG G 1ST FLOOR PLAN	(L)M0.1	BUILDING L ROOF PLAN			
(K)A0.1	BLDG K ROOF	(L)M1.1	ZONE 1 - BUILDING L MECHANICAL PLANS			
(K)A1.1	BLDG K 1ST FLOOR PLAN	(P)E1.1	ZONE 1 - BUILDING P ELECTRICAL PLANS			
(K)A1.2	BLDG K 1ST FLOOR PLAN	(P)M1.1	ZONE 1 - BUILDING P MECHANICAL PLANS			
(L)A0.1	BLDG L ROOF					
(L)A0.2	BLDG L REFERENCE IMAGES					
	<u> </u>	<del></del>				

- DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY. NOTIFY
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY EXISTING
- THE CONTRACTOR WILL PROVIDE ALL NECESSARY BARRICADES. SIGNAGE, REFLECTORS, LIGHTS, ETC. DURING CONSTRUCTION AND
- CONTRACTOR'S PARKING OF CARS, TRUCKS, EQUIPMENT, AND
- THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND
- EXCAVATION WITH ARCHITECT, OWNER AND/OR RESPECTIVE
- THE CONTRACTOR SHALL VERIFY DIMENSIONS OF EXISTING
- ASSURE ORDERLY SEQUENCE OF INSTALLATION
- CONSTRUCTION. COORDINATE WITH OWNER AND/OR PROPERTY

**BUILDING TOTAL AREA** 

INTERNATIONAL BUILDING CODE:

INTERNATIONAL EXISTING BUILDING CODE:

2021 EDITION

2021 EDITION

2015 EDITION

**EDUCATION** 

BUILDING N - 6,100 SF

**BUILDING P - 18.400 SF** 

BUILDING R - 750 SF

BUILDING T - 770 SF

BUILDING U - 880 SF

BUILDING V - 780 SF

BUILDING W - 1120 SF

BUILDING X - 1250 SF

BUILDING Y -1300 SF

ASCE 7-16 (142MPH)

**BUILDING CODES:** 

WIND SPEED:

OCCUPANCY:

**RISK CATEGORY:** 

NFPA 101 LIFE SAFETY:

**CONSTRUCTION TYPE:** 

**BUILDING A - 14,768 SF** 

**BUILDING B - 14,768 SF** 

**BUILDING C - 14,768 SF** 

BUILDING E - 27,684 SF

BUILDING F - 6,474 SF

BUILDING G - 25,949 SF

BUILDING K - 5,700 SF

**BUILDING L - 18,590 SF** 

BUILDING M1 - 6,100 SF

**ENGINEERING** 

5393 BIG LAKE RD.

TEL: 337.564.5918

**ENGINEERING** 

LAFAYETTE, LA 70501

TEL: 337.234.5710

STRUCTURAL

**DUHON & PLEASANT** 

LAKE CHARLES, LA 70605

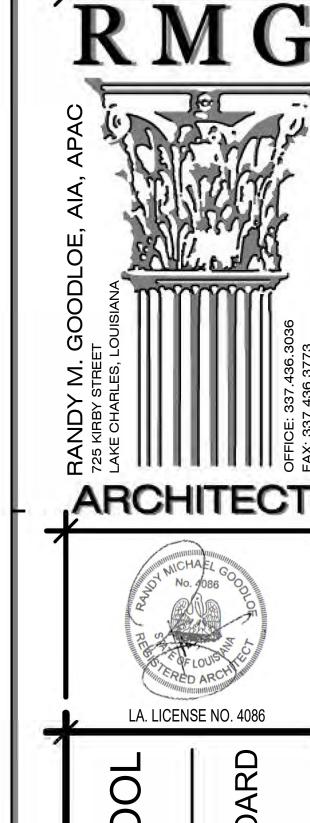
ASSOCIATED DESIGN GROUP

MECHANICAL - ELECTRICAL - PLUMBING

3903 WEST CONGRESS STREET, SUITE 201

Vicinity Map

MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES, AND ALARMS IN CONFORMANCE WITH APPLICABLE CODES AND



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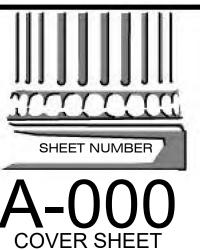
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PROJECT MANAGER

DATE ISSUED 06/28/2024 REVISED



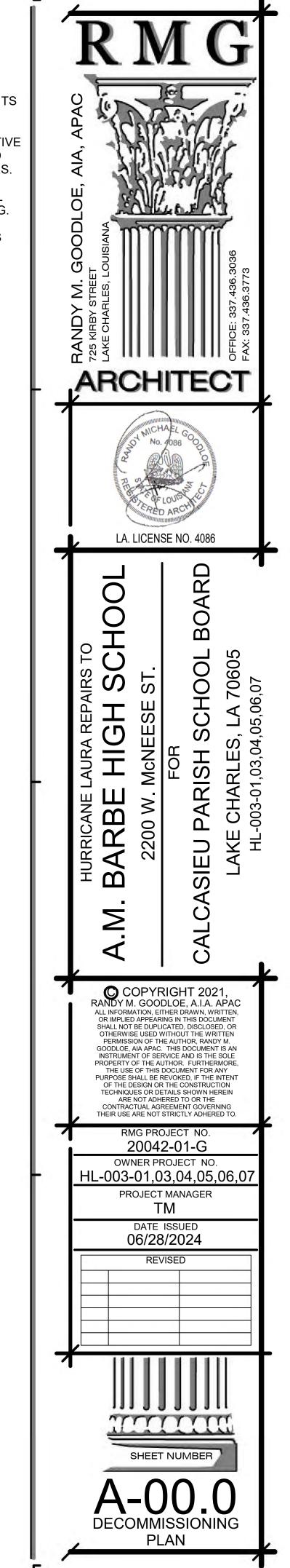
SITE PLAN - BARBE CAMPUS

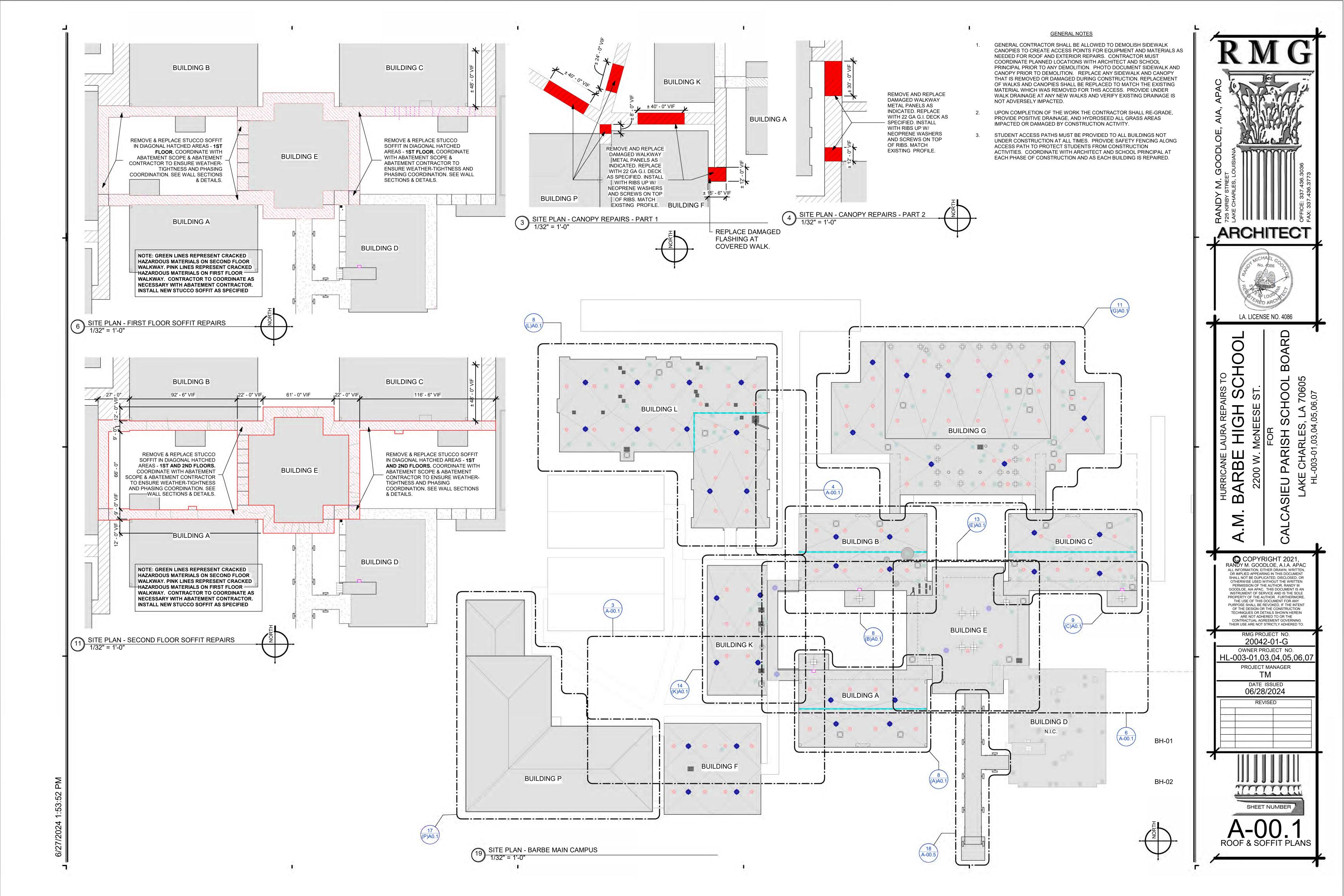
1" = 50'-0"

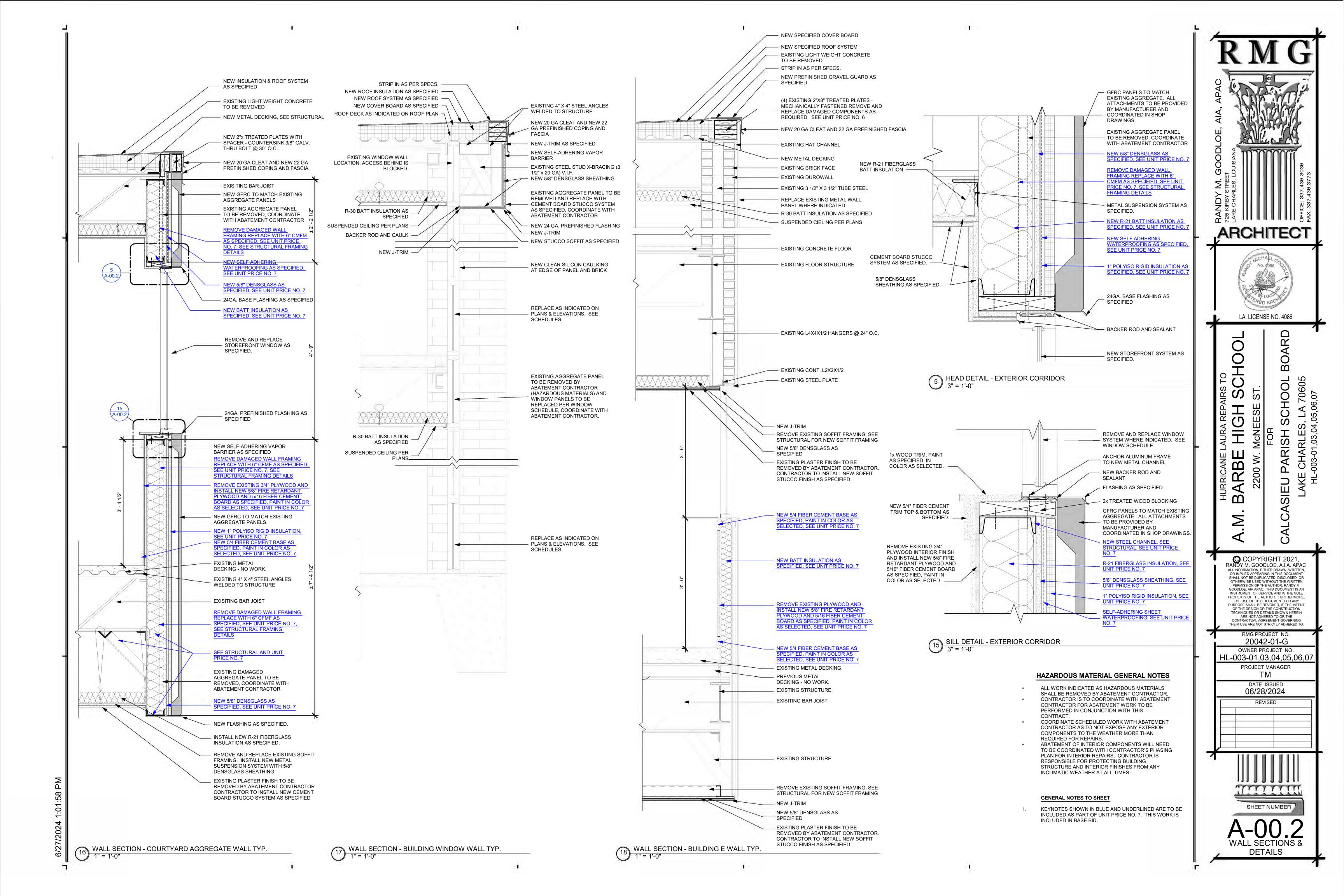


## **KEYNOTES TO SHEET**

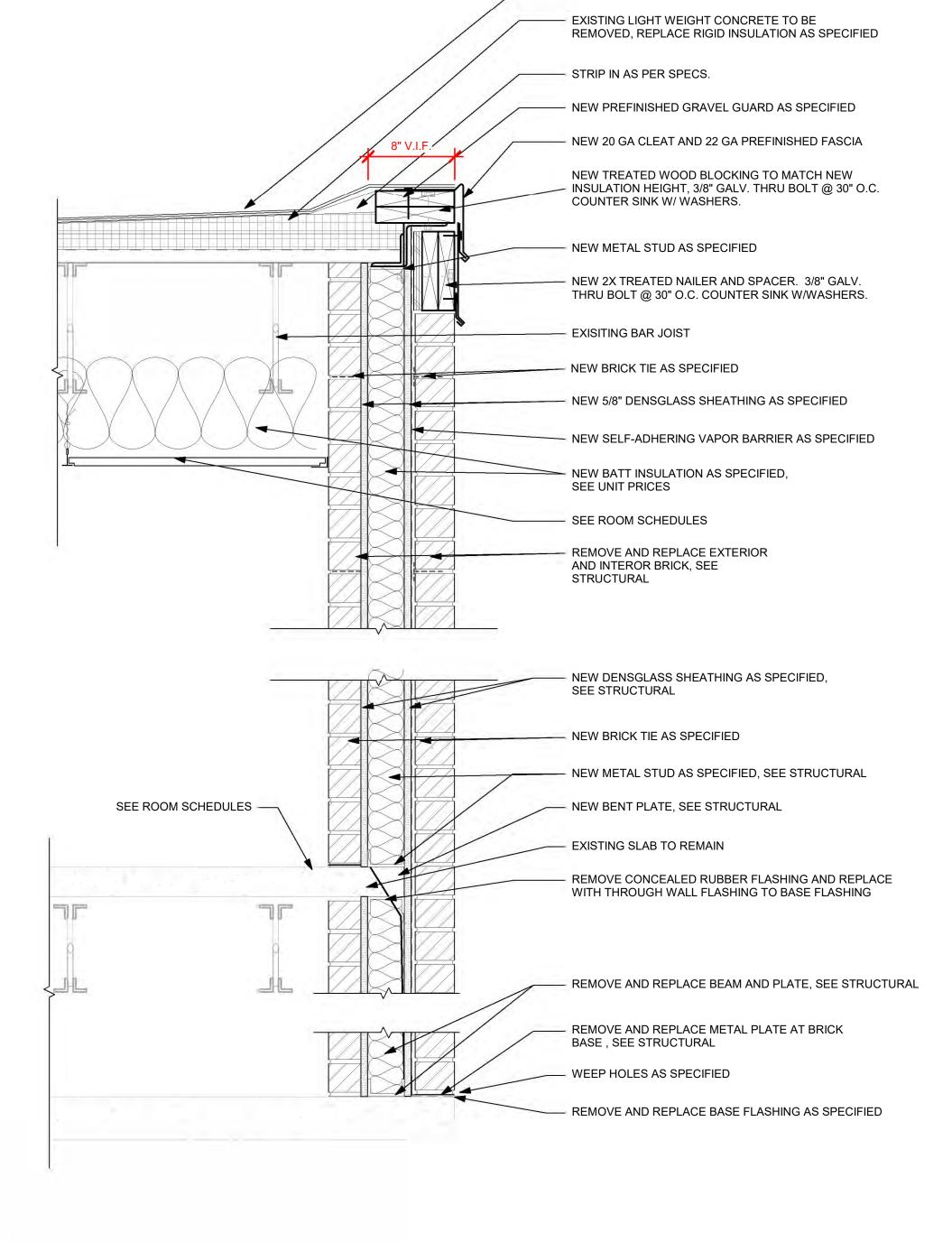
- 1. EXISTING TEMPORARY MODULAR BUILDINGS, SEE MEP SHEET FOR UTILITY DECOMMISSION PLAN. REMOVE ALL ASSOCIATED WALKS, RAMPS, CANOPIES AND STEPS IN THEIR ENTIRETY AS INDICATED. MODULAR BUILDING UNITS AND BLOCKING WILL BE REMOVED BY OTHERS COORDINATE WITH OWNERS REP. ONCE REMOVED, REGRADE ALL EFFECTED GROUNDS TO PROVIDE POSSITIVE DRAINAGE, FILL AND COMPACT ANY VOIDS. HYDROSEED ALL DISTURBED GRASS AREAS, MATCH EXISTING SPECIES.
- 2. REMOVE CHAINLINK FENCE SURROUND FOR ELECTRICAL SERVICE DURING DECOMMISSION OF MODULAR BUILDING.
- 3. THIS SECTION OF EXISTING CANOPY TO BE REMOVED AS REQUIRED FOR REMOVAL OF THE MODULAR BUILDING UNITS. REINSTALL ONCE REMOVAL IS COMPLETE.



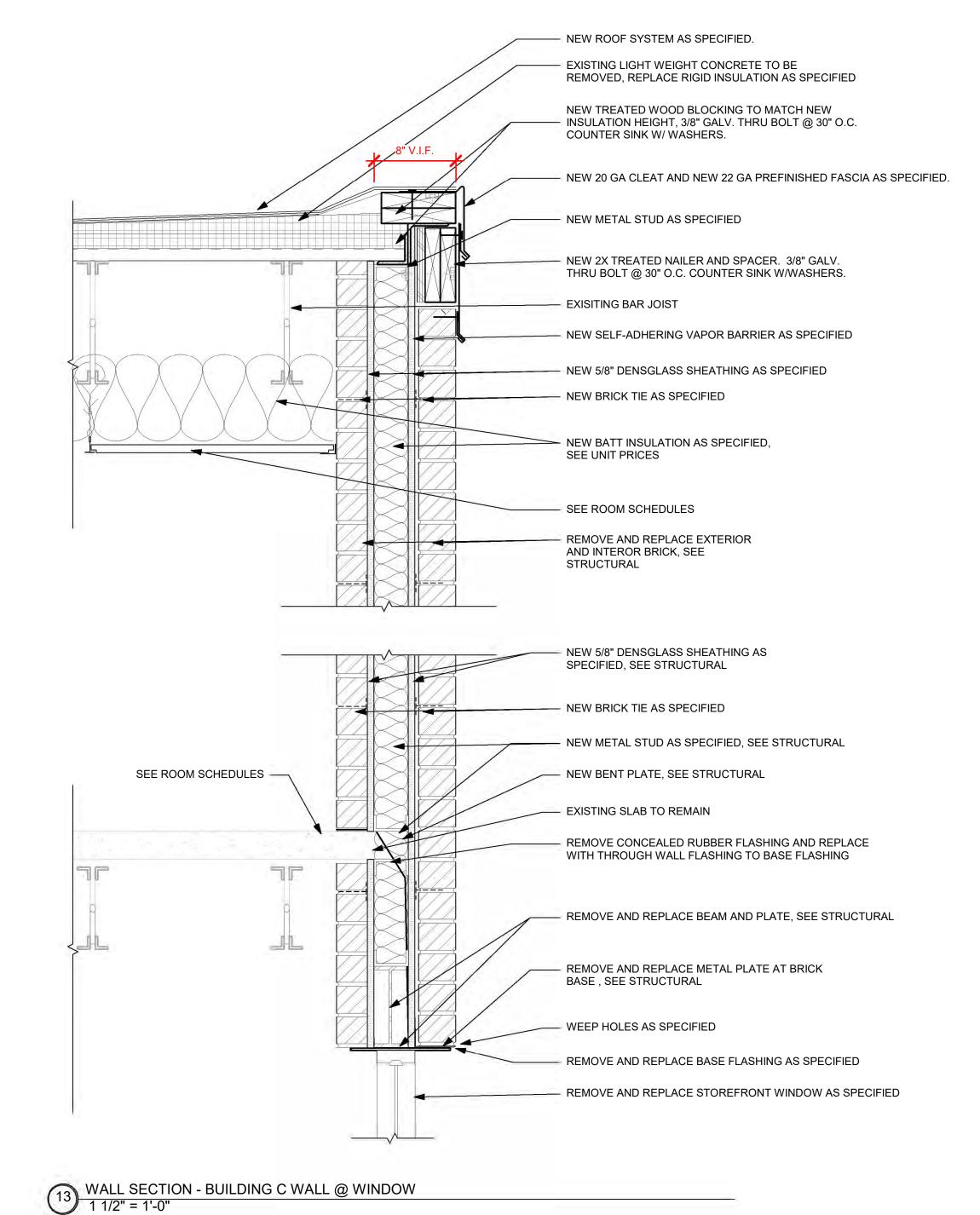


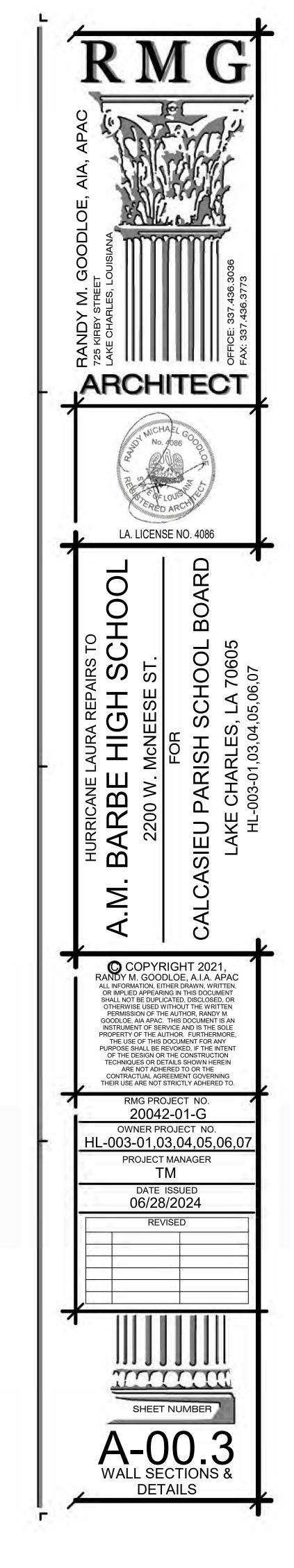


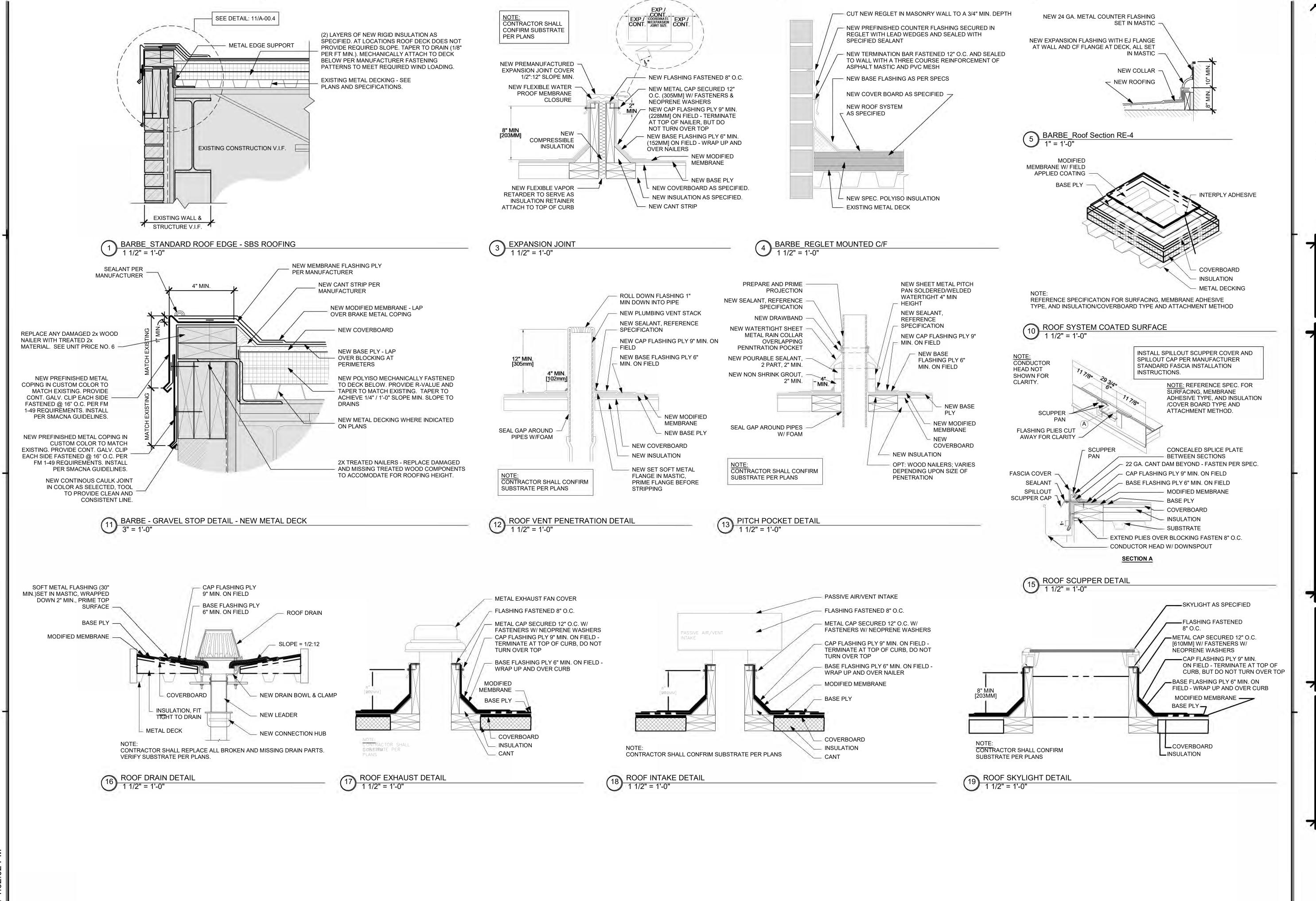
WALL SECTION - BUILDING C WALL
1 1/2" = 1'-0"



- NEW SPECIFIED ROOF SYSTEM



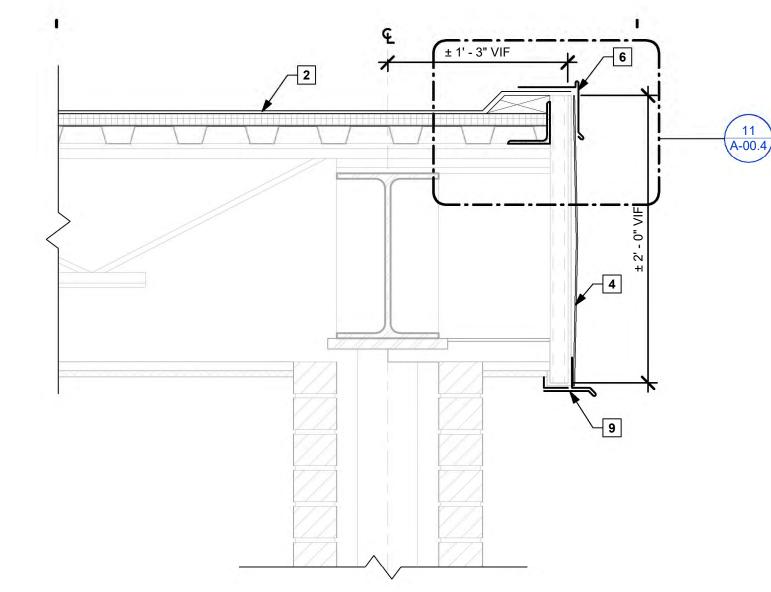




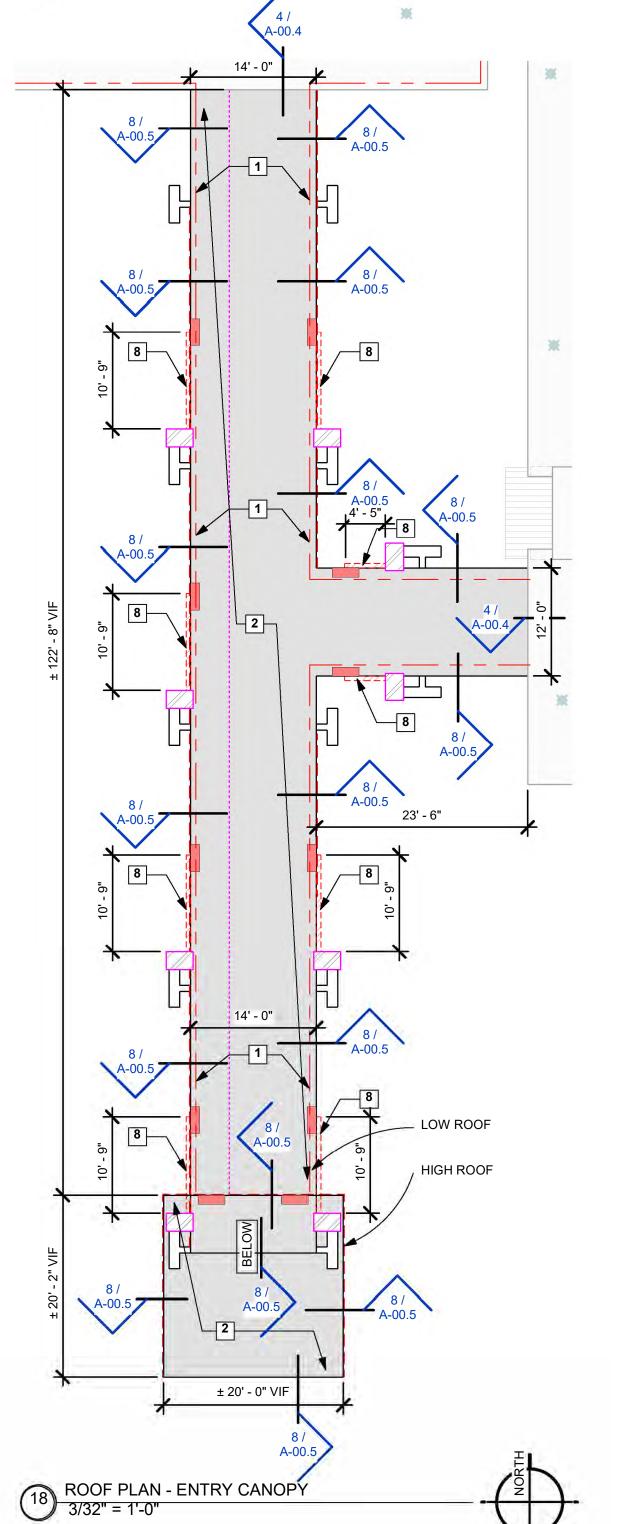
ARCHITECT LA. LICENSE NO. 4086 C COPYRIGHT 2021, RANDY M. GOODLOE, A.I.A. APAC ALL INFORMATION, EITHER DRAWN, WRITTEN, OR IMPLIED APPEARING IN THIS DOCUMENT SHALL NOT BE DUPLICATED, DISCLOSED, OR OTHERWISE USED WITHOUT THE WRITTEN PERMISSION OF THE AUTHOR, RANDY M. GOODLOE, AIA APAC. THIS DOCUMENT IS AN INSTRUMENT OF SERVICE AND IS THE SOLE PROPERTY OF THE AUTHOR. FURTHERMORE
THE USE OF THIS DOCUMENT FOR ANY PURPOSE SHALL BE REVOKED, IF THE INTENT OF THE DESIGN OR THE CONSTRUCTION TECHNIQUES OR DETAILS SHOWN HEREIN ARE NOT ADHERED TO OR THE CONTRACTUAL AGREEMENT GOVERNING THEIR USE ARE NOT STRICTLY ADHERED TO RMG PROJECT NO. 20042-01-G OWNER PROJECT NO. HL-003-01.03.04.05.06.07 PROJECT MANAGER TM DATE ISSUED 06/28/2024 REVISED SHEET NUMBER



NOTE: IMAGES ARE FOR VISUAL REFERENCES TO HELP UNDERSTAND DAMAGES. THEY DO NOT REPRESENT THE ENTIRE SCOPE OF WORK AND SHOULD BE USED IN CONJUNCTION WITH THE DRAWINGS AND CURRENT CONDITIONS IN THE FIELD. CONTRACTOR SHALL CONFIRM CURRENT CONDITIONS IN THE FIELD PRIOR TO BIDDING - TYPICAL



8 ENTRY CANOPY FASCIA DETAIL 1 1/2" = 1'-0"



ROOFING SYMBOL LEGEND

SEE KEYNOTE 13

SEE KEYNOTE 10

SEE DETAIL 15/A00.4

CONDUIT/PIPING RUNS

SEE KEYNOTE 3

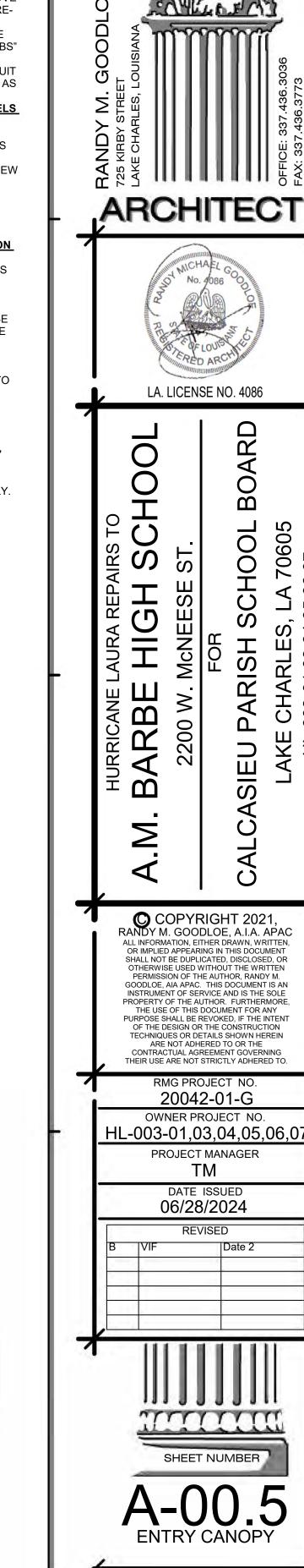
- SCUPPER/OPENING FOR DRAINAGE

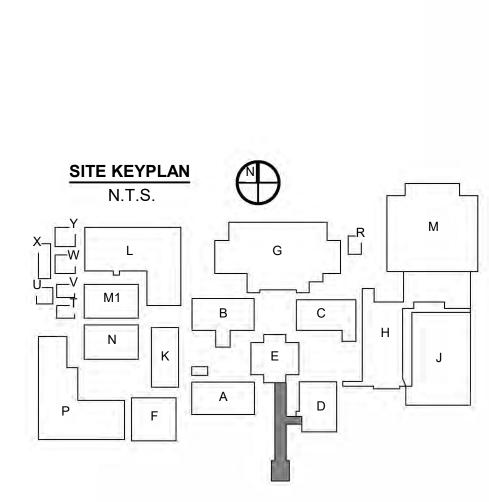
\_\_\_ DOWNSPOUT

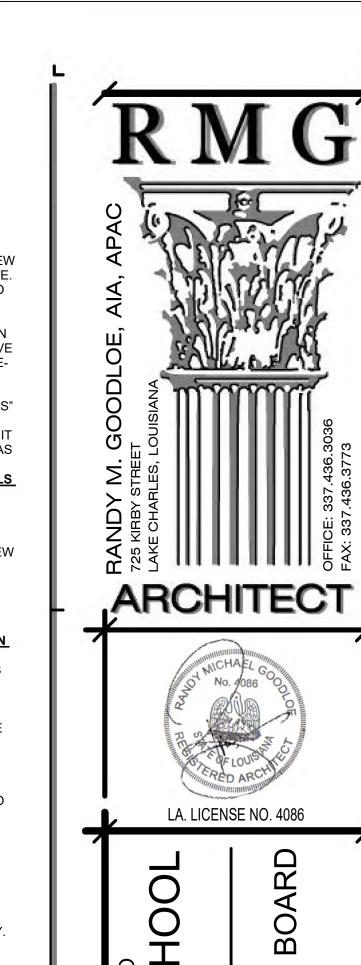
TEMPORARY CHAIN LINK FENCING - PROVIDE 6' TEMPORARY CHAIN LINK FENCING AT SOFFIT EDGE TO PROTECT STUDENT TRAFFIC DURING CONSTRUCTION. PROVIDE ACCESS TO THE GREATEST EXTENT POSSIBLE. COORDINATE WITH PHASING AND SCHOOL PRINCIPAL.

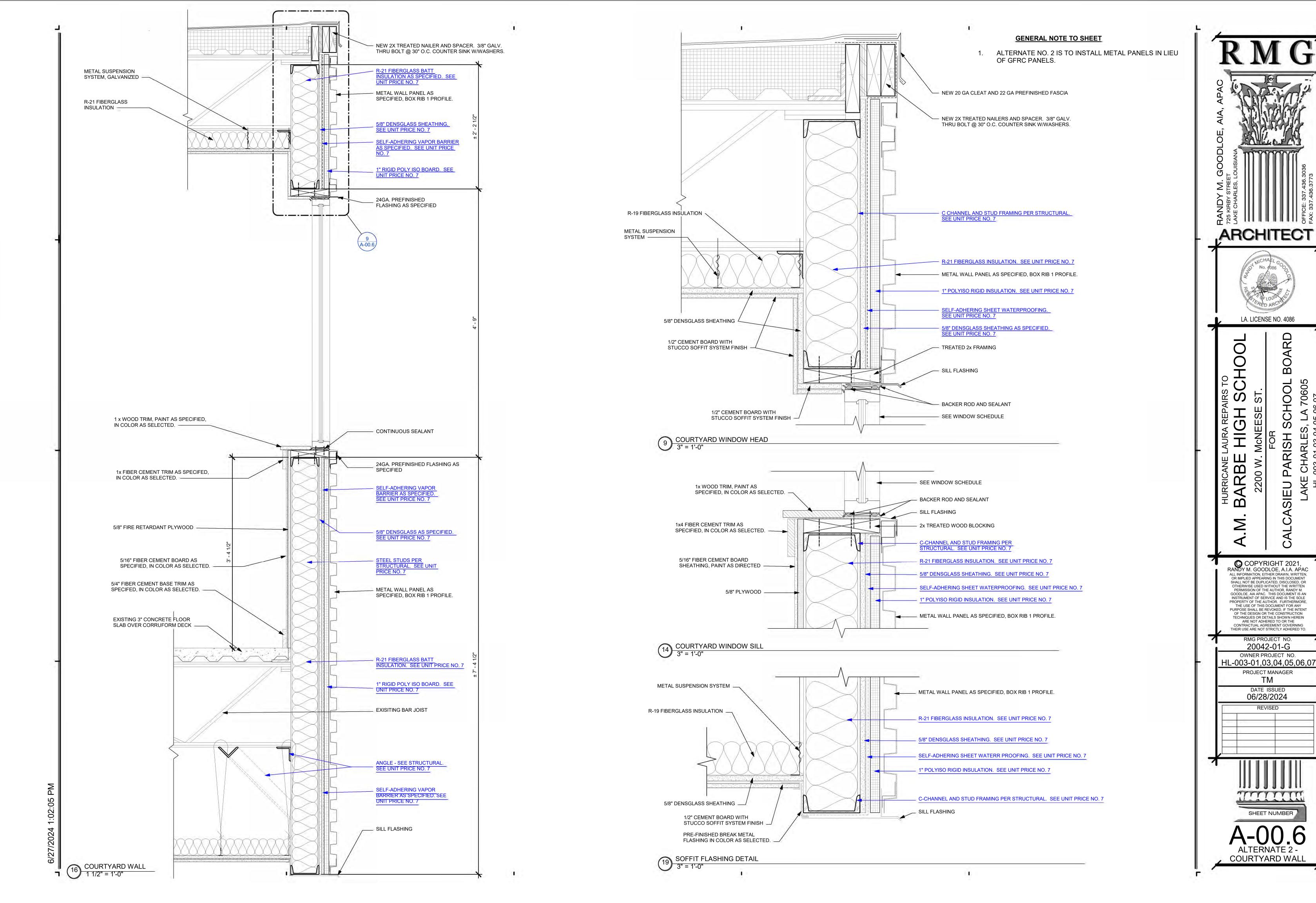
**KEYNOTES TO SHEET** 

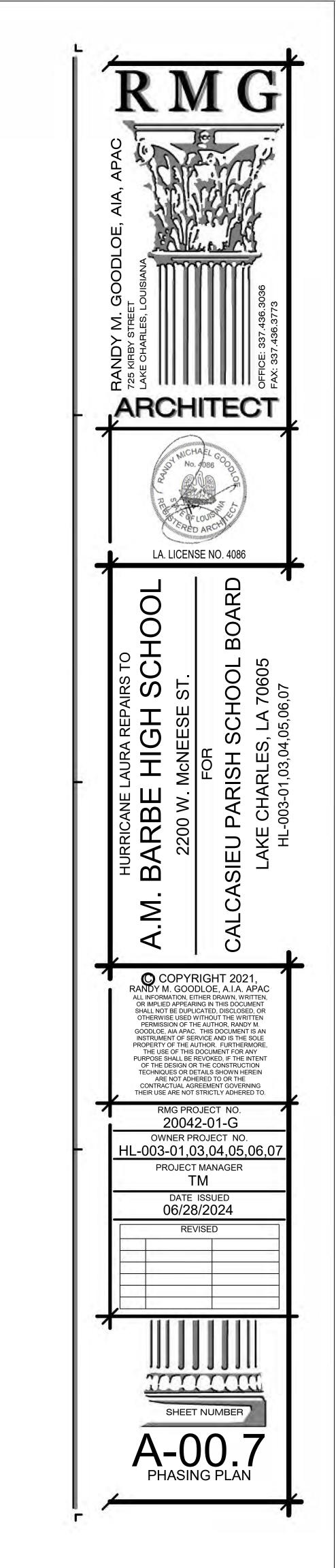
- SHADED REGION INDICATES EXISTING ROOFING ASSEMBLY TO BE REMOVED TO EXISTING ROOF DECKING SUBSTRATE BELOW, AND NEW ROOFING INSTALLED. ALL DEBRIS IS TO BE REMOVED FROM THE SITE. SEE SPECIFICATIONS. ROOFTOP PENETRATIONS AND EQUIPMENT TO BE VERIFIED BY CONTRACTOR IN THE FIELD.
- INDICATES <u>EXISTING RIGID CONDUIT/PIPING RUNS</u> EXPOSED ON EXISTING ROOF, CONTRACTOR SHALL MAKE VISUAL INSPECTIONS ON SITE TO VERIFY THE EXTENT OF WORK WHICH BE REQUIRED TO MOVE AND RELOCATE THESE CONDUIT RUNS DURING THE PROCESS OF RE-ROOFING AND TO ENSURE THAT THE NEW ROOF SLOPES ARE INTEGRATED AND ACCOUNTED FOR WHERE EXTENSIONS OF THESE CONDUITS AND WIRING IS REQUIRED. PROVIDE NEW "RUNNER CURBS" FOR SUPPORT OF ALL HARD PIPING WHICH IS TO REMAIN ON ROOF AFTER NEW INSTALLATION. SPACE CURBS AS REQUIRED SO CONDUIT AND PIPING DOES NOT SAG BETWEEN THESE LOCATIONS. INSTALL AS
- COORDINATE <u>REMOVAL OF METAL PANELS AND AGGREGATE PANELS</u>
  BEHIND WITH ABATEMENT SCOPE AND ABATEMENT CONTRACTOR. PROVIDE <u>NEW METAL PANEL "B"</u> AS SPECIFIED. PROVIDE 3/4" PLYWOOD WITH ICE AND WATER SHIELD LAPPED FOR DRAINAGE. AS DETAILED.
- REMOVE AND REPLACE PRE-FINISHED METAL DOWNSPOUT WITH NEW TO MATCH EXISTING COLOR, GAUGE, SIZE, & PROFILE. REMOVE PREVIOUS ATTACHMENTS AND FASTENERS & REPLACE WITH NEW. GROUT FILL ALL HOLES.
- REMOVE AND REPLACE FLASHING, COUNTER-FLASHING AND PRE-FINISHED METAL FASCIA FLASHING AS DETAILED.
- INDICATES APPROXIMATE AREA AND LOCATION OF **ROOF EXPANSION** JOINT. CONTRACTOR SHALL VISUALLY INSPECT THE EXISTING CONDITIONS AT THE SITE AND PROVIDE A NEW EXPANSION JOINT AS DETAILED. THE INSTALLER SHOULD ASSUME THAT ALL EXISTING WOOD BLOCKING SHALL BE REPLACED WITH NEW TREATED WOOD BLOCKING AS PER DETAILS. PROVIDE NEW CANT STRIP. FLASHING. PRE-FINISHED EXPANSION JOINT COVER, VINYL BELLOWS, AND BASE FLASHING AS DETAILED. VERIFY EXACT ROUTING AND AREA WHERE THIS EJ IS TO BE REMOVED AND REPLACED, VERIFY ALL EXISTING CONDITIONS, ESPECIALLY ANY PIPING, AND CONDUIT WHICH MIGHT INTERSECT OR CROSS OVER THIS JOINT.
- REMOVE AND REPLACE PRE-FINISHED METAL GUTTER WITH NEW TO MATCH EXISTING COLOR, GAUGE, SIZE, & PROFILE. REMOVE PREVIOUS ATTACHMENTS AND FASTENERS & REPLACE WITH NEW. GROUT FILL ALL HOLES.
- METAL PANEL MANUFACTURER TO PROVIDE BOTTOM TRACK AND FLASHING AS REQUIRED FOR WEATHER TIGHTNESS.
- PROVIDE SCUPPER THROUGH ROOF EDGE. SLOPE ROOFING AT 1/4"
  PER 1'-0" MIN. TO ENSURE POSITIVE DRAINAGE. COORDINATE LOCATIONS AND SIZES WITH EXISTING. NEW SCUPPERS TO BE PROVIDED AS DETAILED AND ROOF TAPER PROVIDED ACCORDINGLY.











**LEGEND** 

**EXISTING CONCRETE** 

EXISTING CATCH BASIN

ARCHITECT

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DATE ISSUED 06/28/2024 REVISED

SHEET NUMBER

PLAN

**EXISTING DRAINAGE** 

SITE PLAN -- EXISTING SUBSURFACE DRAINAGE

# **GENERAL CIVIL NOTES**

- WHERE PHYSICAL JOB SITE MEASUREMENTS ARE REQUIRED BEFORE FABRICATION, IT IS THE SOLE DUTY OF THE CONTRACTOR TO DETERMINE ACTUAL CONSTRUCTION DETAILS PRIOR TO FABRICATION.
- ANY DISCREPANCIES OR CONFLICTS IN THE CONSTRUCTION DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT. ALL DIMENSIONS ARE TO BE VERIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION BEGINS.
- ANY MODIFICATIONS MADE IN THE CONSTRUCTION DOCUMENTS TO ACCOMPLISH THE REQUIRED WORK SHALL BE REPORTED TO THE ARCHITECT BEFORE WORK IS DONE.
- CONTRACTOR IS RESPONSIBLE FOR NOTIFYING LA AUTHORITIES TO IDENTIFY ALL UTILITIES PRIOR TO BEGINNING ANY WORK AT THE SITE. (LA ONE CALL 811). CAP OFF AND SEAL DISCONTINUED UTILITY SERVICES AND REMOVE PORTIONS OF LINES WITHIN EXCAVATED AREAS.
- CONTRACTOR TO LOCATE ALL UTILITIES AND VERIFY NO CONFLICTS EXIST WITH ANY PROPOSED STORMWATER AND/OR UTILITY ROUTING PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES. IF ANY CONFLICTS ARE IDENTIFIED THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR RESOLUTION PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR SHALL EMPLOY A LA. LICENSED SURVEYOR TO PROVIDE THE CONSTRUCTION LAYOUT BOUNDARIES AND/OR BASE LINES. SURVEYOR TO SET PROJECT T.B.M. FOR USE DURING CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE OWNER WITH AS-BUILT DRAWINGS OF THE SITE AND UTILITIES INSTALLED AND UNCOVERED AT THE END OF THE PROJECT.
- CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES, EQUIPMENT, UTILITIES, PAVING, ETC THAT ARE TO REMAIN FROM DAMAGE DURING CONSTRUCTION OPERATIONS. REPAIR / REPLACE DAMAGED ITEMS WITH NEW AT NO ADDITIONAL COST TO OWNER.
- 9. CONTRACTOR SHALL DISPOSE OF ALL EXCESS CONSTRUCTION MATERIALS, DEBRIS, AND/OR SOIL FROM JOB SITE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.

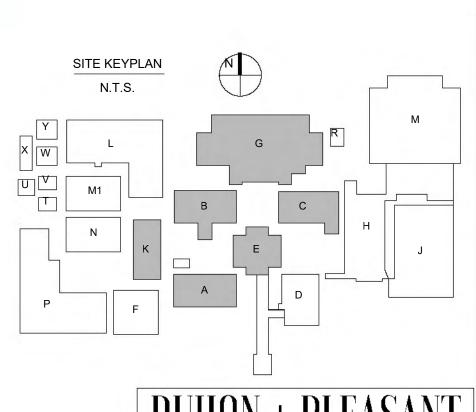
CONTRACTOR MUST THOROUGHLY CLEAN, VACUUM, AND HYDROFLUSH THE EXISTING CATCH BASINS/DRAINAGE PIPING AS LISTED BELOW WITHIN THE BARBE HIGH SCHOOL FACILITY/CAMPUS (MINIMUM 58 BASINS AND 4,0DD LINEAR FEET OF SUBSURFACE

EXCLUDING BASIN #'s: 54, 56, 57, 58, 59, 60, & 61

DRAINAGE SYSTEMS MUST BE FREE OF ALL DEBRIS, SOILS, TRASH, ETC. AND HAVE FREE FLOWING CONDITIONS. CONTRACTOR TO PERFORM INSPECTIONS USING PRIOR APPROVED CAMERA DEVICES (CCTV ROBOTIC CRAWLER, PUSH CAMERAS, ETC.) AND PROVIDE VIDEO DOCUMENTATION OF ALL DRAINAGE STRUCTURES IN ELECTRONIC FORMAT TO THE ARCHITECT/ENGINEER.

CONTRACTOR TO VERIFY LOCATION OF EXISTING CATCH BASINS AND SIZE, MATERIAL, AND ROUTING OF EXISTING SUBSURFACE PIPING.

ALL COSTS TO HYDROFLUSH, CLEAN, AND VACUUM THE EXISTING CATCH BASINS/DRAINAGE PIPING AS REFERENCED ON THIS SHEET AND ELSEWHERE WITHIN THE CONSTRUCTION DOCUMENTS SHALL BE INCLUDED IN ADDITIVE ALTERNATE #1



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**DUHON + PLEASANT** CIVIL & STRUCTURAL ENGINEERS 337 564 5918 5393 BIG LAKE ROAD

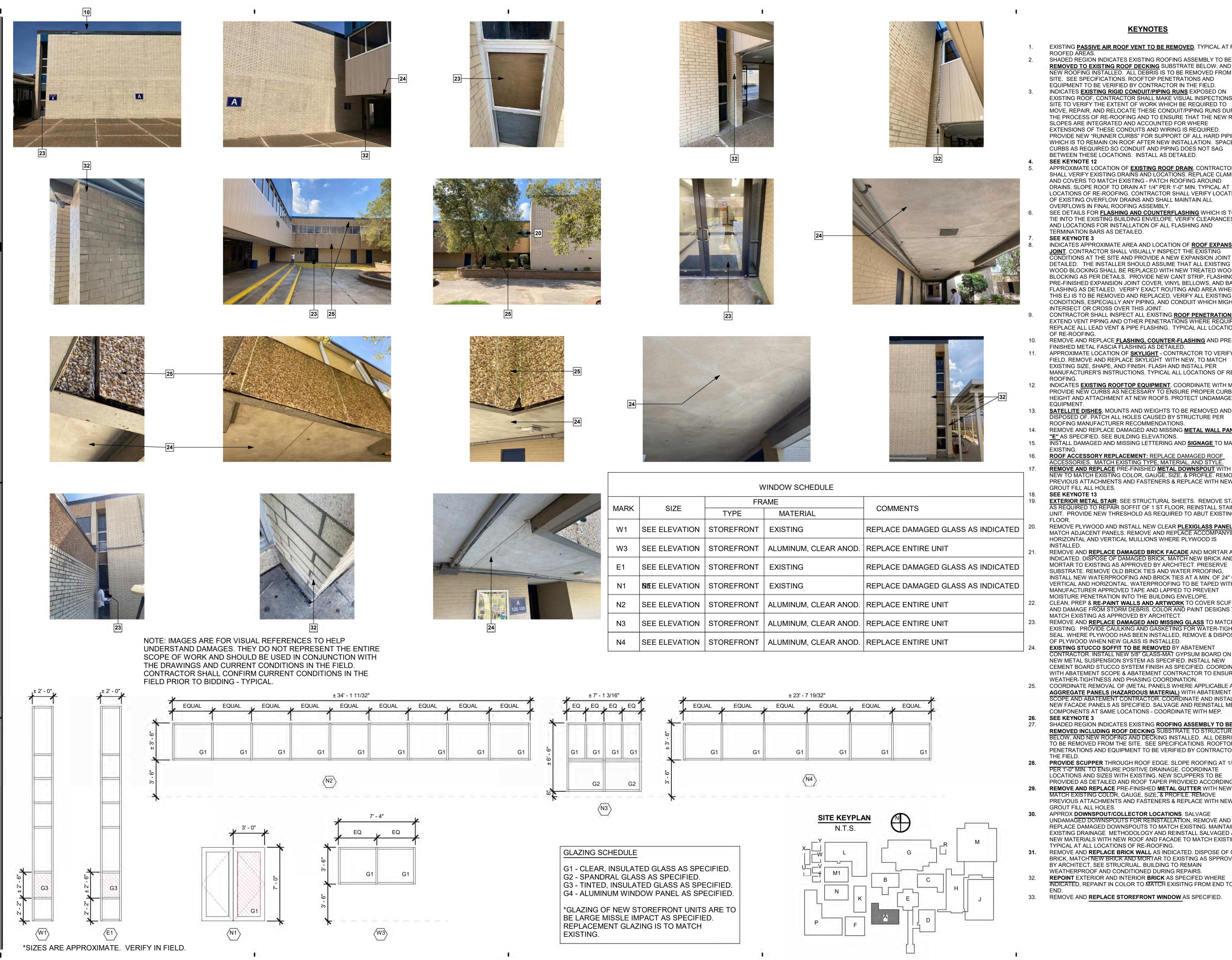
LAKE CHARLES LA 70605

SCALE: 1" = 60-0"

LAKE CHARLES, LA 70605

HL-003-01,03,04,05,06,07

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## **KEYNOTES**

EXISTING **PASSIVE AIR ROOF VENT TO BE REMOVED**. TYPICAL AT RE-SHADED REGION INDICATES EXISTING ROOFING ASSEMBLY TO BE REMOVED TO EXISTING ROOF DECKING SUBSTRATE BELOW, AND NEW ROOFING INSTALLED. ALL DEBRIS IS TO BE REMOVED FROM THE SITE. SEE SPECIFICATIONS. ROOFTOP PENETRATIONS AND EQUIPMENT TO BE VERIFIED BY CONTRACTOR IN THE FIELD. INDICATES **EXISTING RIGID CONDUIT/PIPING RUNS** EXPOSED ON EXISTING ROOF, CONTRACTOR SHALL MAKE VISUAL INSPECTIONS ON SITE TO VERIFY THE EXTENT OF WORK WHICH BE REQUIRED TO MOVE, REPAIR, AND RELOCATE THESE CONDUIT/PIPING RUNS DURING THE PROCESS OF RE-ROOFING AND TO ENSURE THAT THE NEW ROOF

SLOPES ARE INTEGRATED AND ACCOUNTED FOR WHERE EXTENSIONS OF THESE CONDUITS AND WIRING IS REQUIRED. PROVIDE NEW "RUNNER CURBS" FOR SUPPORT OF ALL HARD PIPING WHICH IS TO REMAIN ON ROOF AFTER NEW INSTALLATION. SPACE CURBS AS REQUIRED SO CONDUIT AND PIPING DOES NOT SAG BETWEEN THESE LOCATIONS. INSTALL AS DETAILED.

APPROXIMATE LOCATION OF **EXISTING ROOF DRAIN**, CONTRACTOR SHALL VERIFY EXISTING DRAINS AND LOCATIONS. REPLACE CLAMPS AND COVERS TO MATCH EXISTING - PATCH ROOFING AROUND DRAINS. SLOPE ROOF TO DRAIN AT 1/4" PER 1'-0" MIN. TYPICAL AT LOCATIONS OF RE-ROOFING. CONTRACTOR SHALL VERIFY LOCATION OF EXISTING OVERFLOW DRAINS AND SHALL MAINTAIN ALL OVERFLOWS IN FINAL ROOFING ASSEMBLY.

SEE DETAILS FOR <u>FLASHING AND COUNTERFLASHING</u> WHICH IS TO TIE INTO THE EXISTING BUILDING ENVELOPE. VERIFY CLEARANCES AND LOCATIONS FOR INSTALLATION OF ALL FLASHING AND TERMINATION BARS AS DETAILED. **SEE KEYNOTE 3** 

INDICATES APPROXIMATE AREA AND LOCATION OF **ROOF EXPANSION JOINT**. CONTRACTOR SHALL VISUALLY INSPECT THE EXISTING CONDITIONS AT THE SITE AND PROVIDE A NEW EXPANSION JOINT AS DETAILED. THE INSTALLER SHOULD ASSUME THAT ALL EXISTING WOOD BLOCKING SHALL BE REPLACED WITH NEW TREATED WOOD BLOCKING AS PER DETAILS. PROVIDE NEW CANT STRIP, FLASHING, PRE-FINISHED EXPANSION JOINT COVER, VINYL BELLOWS, AND BASE FLASHING AS DETAILED. VERIFY EXACT ROUTING AND AREA WHERE THIS EJ IS TO BE REMOVED AND REPLACED, VERIFY ALL EXISTING CONDITIONS, ESPECIALLY ANY PIPING, AND CONDUIT WHICH MIGHT INTERSECT OR CROSS OVER THIS JOINT. CONTRACTOR SHALL INSPECT ALL EXISTING ROOF PENETRATIONS.

EXTEND VENT PIPING AND OTHER PENETRATIONS WHERE REQUIRED REPLACE ALL LEAD VENT & PIPE FLASHING. TYPICAL ALL LOCATIONS OF RE-ROOFING.

REMOVE AND REPLACE <u>FLASHING</u>, <u>COUNTER-FLASHING</u> AND PRE-FINISHED METAL FASCIA FLASHING AS DETAILED. APPROXIMATE LOCATION OF **SKYLIGHT** - CONTRACTOR TO VERIFY IN

FIELD. REMOVE AND REPLACE SKYLIGHT WITH NEW, TO MATCH EXISTING SIZE, SHAPE, AND FINISH. FLASH AND INSTALL PER MANUFACTURER'S INSTRUCTIONS. TYPICAL ALL LOCATIONS OF RE-

INDICATES <u>EXISTING ROOFTOP EQUIPMENT</u>. COORDINATE WITH MEP - PROVIDE NEW CURBS AS NECESSARY TO ENSURE PROPER CURB HEIGHT AND ATTACHMENT AT NEW ROOFS. PROTECT UNDAMAGED EQUIPMENT.

SATELLITE DISHES, MOUNTS AND WEIGHTS TO BE REMOVED AND DISPOSED OF. PATCH ALL HOLES CAUSED BY STRUCTURE PER ROOFING MANUFACTURER RECOMMENDATIONS. REMOVE AND REPLACE DAMAGED AND MISSING METAL WALL PANEL

"E" AS SPECIFIED. SEE BUILDING ELEVATIONS. INSTALL DAMAGED AND MISSING LETTERING AND **SIGNAGE** TO MATCH

ROOF ACCESSORY REPLACEMENT: REPLACE DAMAGED ROOF ACCESSORIES. MATCH EXISTING TYPE, MATERIAL, AND STYLE.
REMOVE AND REPLACE PRE-FINISHED METAL DOWNSPOUT WITH V TO MATCH EXISTING COLOR, GAUGE, SIZE, & PROFILE. REMOVE PREVIOUS ATTACHMENTS AND FASTENERS & REPLACE WITH NEW.

GROUT FILL ALL HOLES. **SEE KEYNOTE 13 EXTERIOR METAL STAIR**: SEE STRUCTURAL SHEETS. REMOVE STAIRS AS REQUIRED TO REPAIR SOFFIT OF 1 ST FLOOR, REINSTALL STAIR

UNIT. PROVIDE NEW THRESHOLD AS REQUIRED TO ABUT EXISTING

REMOVE PLYWOOD AND INSTALL NEW CLEAR **PLEXIGLASS PANEL** TO MATCH ADJACENT PANELS. REMOVE AND REPLACE ACCOMPANYING HORIZONTAL AND VERTICAL MULLIONS WHERE PLYWOOD IS

REMOVE AND **REPLACE DAMAGED BRICK FACADE** AND MORTAR AS INDICATED. DISPOSE OF DAMAGED BRICK, MATCH NEW BRICK AND MORTAR TO EXISTING AS APPROVED BY ARCHITECT, PRESERVE SUBSTRATE. REMOVE OLD BRICK TIES AND WATER PROOFING, INSTALL NEW WATERPROOFING AND BRICK TIES AT A MIN. OF 24" O.C. VERTICAL AND HORIZONTAL. WATERPROOFING TO BE TAPED WITH MANUFACTURER APPROVED TAPE AND LAPPED TO PREVENT

MOISTURE PENETRATION INTO THE BUILDING ENVELOPE. CLEAN, PREP & RE-PAINT WALLS AND ARTWORK TO COVER SCUFFS AND DAMAGE FROM STORM DEBRIS. COLOR AND PAINT DESIGNS TO MATCH EXISTING AS APPROVED BY ARCHITECT.

REMOVE AND **REPLACE DAMAGED AND MISSING GLASS** TO MATCH EXISTING. PROVIDE CAULKING AND GASKETING FOR WATER-TIGHT SEAL. WHERE PLYWOOD HAS BEEN INSTALLED, REMOVE & DISPOSE OF PLYWOOD WHEN NEW GLASS IS INSTALLED. EXISTING STUCCO SOFFIT TO BE REMOVED BY ABATEMENT

NEW METAL SUSPENSION SYSTEM AS SPECIFIED. INSTALL NEW CEMENT BOARD STUCCO SYSTEM FINISH AS SPECIFIED. COORDINATE WITH ABATEMENT SCOPE & ABATEMENT CONTRACTOR TO ENSURE WEATHER-TIGHTNESS AND PHASING COORDINATION. COORDINATE REMOVAL OF (METAL PANELS WHERE APPLICABLE AND)

AGGREGATE PANELS (HAZARDOUS MATERIAL) WITH ABATEMENT SCOPE AND ABATEMENT CONTRACTOR. COORDINATE AND INSTALL NEW FACADE PANELS AS SPECIFIED. SALVAGE AND REINSTALL MEP COMPONENTS AT SAME LOCATIONS - COORDINATE WITH MEP. SEE KEYNOTE 3 SHADED REGION INDICATES EXISTING ROOFING ASSEMBLY TO BE

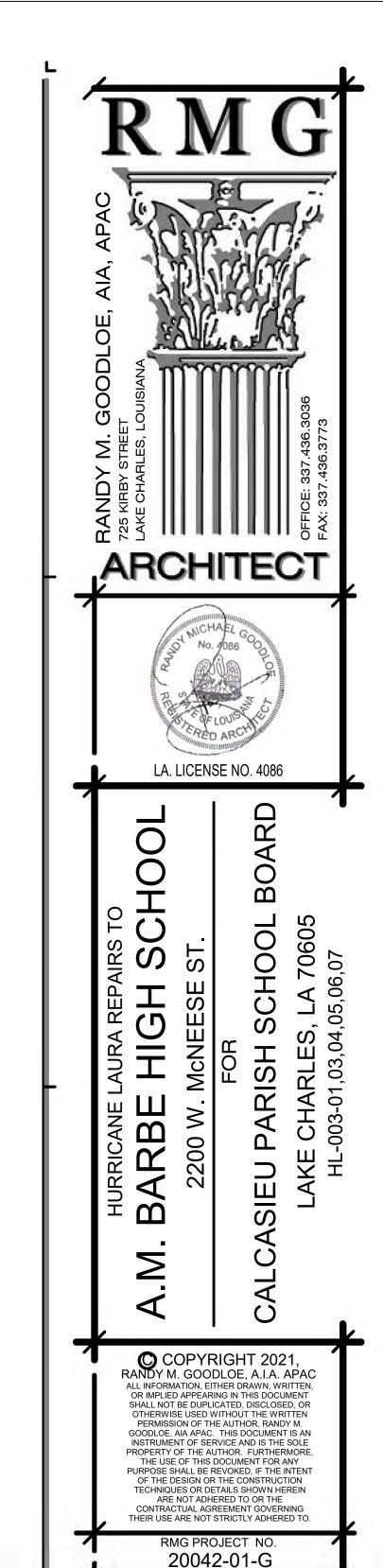
REMOVED INCLUDING ROOF DECKING SUBSTRATE TO STRUCTURE BELOW, AND NEW ROOFING AND DECKING INSTALLED. ALL DEBRIS IS TO BE REMOVED FROM THE SITE. SEE SPECIFICATIONS. ROOFTOP PENETRATIONS AND EQUIPMENT TO BE VERIFIED BY CONTRACTOR IN THE FIELD. PROVIDE SCUPPER THROUGH ROOF EDGE. SLOPE ROOFING AT 1/4"

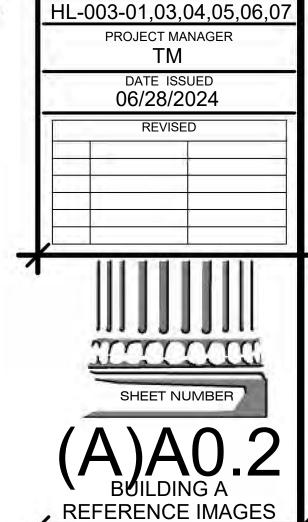
PER 1'-0" MIN. TO ENSURE POSITIVE DRAINAGE. COORDINATE LOCATIONS AND SIZES WITH EXISTING. NEW SCUPPERS TO BE PROVIDED AS DETAILED AND ROOF TAPER PROVIDED ACCORDINGLY. REMOVE AND REPLACE PRE-FINISHED METAL GUTTER WITH NEW TO MATCH EXISTING COLOR, GAUGE, SIZE, & PROFILE. REMOVE PREVIOUS ATTACHMENTS AND FASTENERS & REPLACE WITH NEW. GROUT FILL ALL HOLES.

APPROX DOWNSPOUT/COLLECTOR LOCATIONS. SALVAGE UNDAMAGED DOWNSPOUTS FOR REINSTALLATION, REMOVE AND REPLACE DAMAGED DOWNSPOUTS TO MATCH EXISTING. MAINTAIN EXISTING DRAINAGE METHODOLOGY AND REINSTALL SALVAGED AND NEW MATERIALS WITH NEW ROOF AND FACADE TO MATCH EXISTING. TYPICAL AT ALL LOCATIONS OF RE-ROOFING REMOVE AND **REPLACE BRICK WALL** AS INDICATED. DISPOSE OF OLD BRICK, MATCH NEW BRICK AND MORTAR TO EXISTING AS SPPROVED

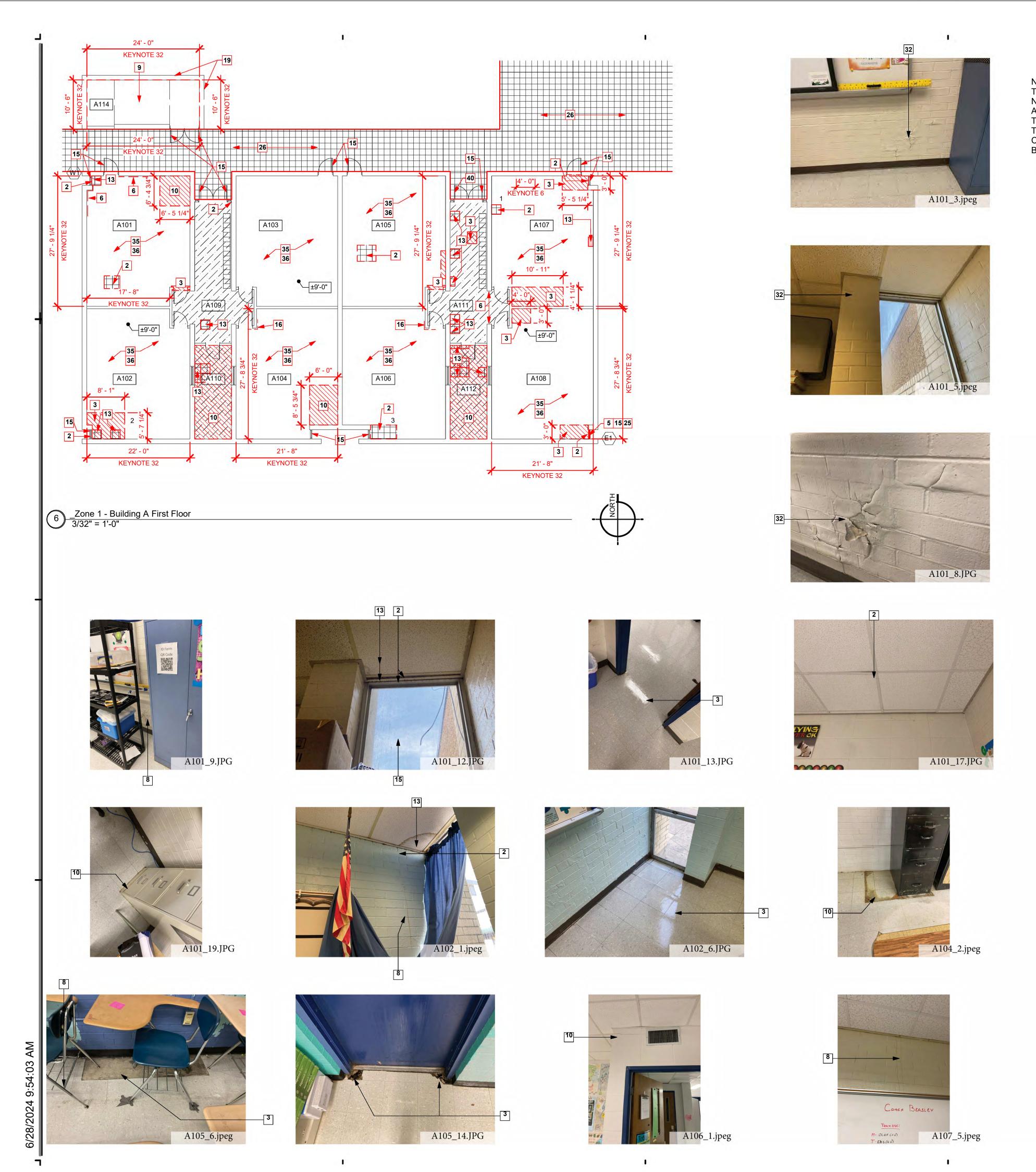
BY ARCHITECT, SEE STRUCRUAL. BUILDING TO REMAIN WEATHERPROOF AND CONDITIONED DURING REPAIRS. REPOINT EXTERIOR AND INTERIOR BRICK AS SPECIFED WHERE INDICATED, REPAINT IN COLOR TO MATCH EXISITING FROM END TO

REMOVE AND REPLACE STOREFRONT WINDOW AS SPECIFIED.





OWNER PROJECT NO.



NOTE: IMAGES ARE FOR VISUAL REFERENCES TO HELP UNDERSTAND DAMAGES. THEY DO NOT REPRESENT THE ENTIRE SCOPE OF WORK AND SHOULD BE USED IN CONJUNCTION WITH THE DRAWINGS AND CURRENT CONDITIONS IN THE FIELD. CONTRACTOR SHALL CONFIRM CURRENT CONDITIONS IN THE FIELD PRIOR TO **BIDDING - TYPICAL.** 

# **KEYNOTES**

SUSPENDED ACOUSTIC CEILING REPLACEMENT: REMOVE AND REPLACE DAMAGED CEILING GRID AND CEILING TILE AS SPECIFIED. CEILING GRID: REMOVE AND REPLACE DAMAGED CEILING GRID. MATCH

EXISTING. SEE UNIT PRICE NO. 5

VCT FLOORING REPAIRS: REMOVE AND REPLACE VCT FLOORING AS SPECIFIED IN AREAS WHERE INDICATED. SEE UNIT PRICE NO. 3. WINDOW REPAIRS: REPLACE BROKEN WINDOW PANES, BLOCKS, AND GASKETS TO MATCH EXISTING. ALL SEALANTS SHALL BE REMOVED AND REPLACED AS SPECIFIED TO ENSURE WEATHER TIGHT SEAL. SEE ELEVATIONS. STRUCTURAL CLAY BLOCK: GLAZED STRUCTURAL CLAY BLOCK TO BE

REMOVED AND REPLACED AS SPECIFIED TO MATCH EXISTING. CLEAN ALL CHALKING RESIDUE FROM EFFERVESCENCE. VINYL BASE REPLACEMENT: REPLACE DAMAGED OR MISSING BASE AS SPECIFIED TO MATCH EXISTING. SEE UNIT PRICE NO. 4

CARPET REPAIRS: DAMAGED CARPET HAS BEEN REMOVED. CLEAN FLOOR AND INSTALL NEW CARPET TILE AS SPECIFIED. PAINTING: WALL SURFACE IS TO BE SANDED, PREPARED, AND REPAINT TO MATCH EXISTING CORNER TO CORNER. WATER STAINED WALL FROM ROOF

PAINTED CEILING STRUCTURE: CEILING INCLUDING METAL TRUSSES ARE TO BE CLEANED, PREPPED, AND REPAINTED END TO END TO MATCH EXISTING

VCT FLOORING CLEANING: CLEAN WATER STAINS FROM VCT FLOORING TO REMOVE ANY DISCOLORATION WHERE INDICATED. MOP AND WAX ALL VCT

FLOORING AT THE END OF CONSTRUCTION. SKYLIGHT REPAIRS: REMOVE AND REPLACE SKYLIGHT TO MATCH EXISTING. TERRAZZO FLOORING CLEANING: CLEAN AND POLISH EXISTING TERRAZZO

FLOORING. REFER TO ROOM SCHEDULE FOR CLARITY. CEILING TILE REPLACEMENT: REMOVE AND REPLACE DAMAGED OR MISSING ACOUSTIC CEILING TILE WITH NEW CEILING TILE AS SPECIFIED IN AREAS INDICATED. MATCH EXISTING TYPE AND SIZE. SEE UNIT PRICE NO. 1. INSTALL R-30 BATT INSULATION OVER TILE. SEE UNIT PRICE NO. 2

EXTERIOR WINDOWS AND DOORS: CAULK AND RESEAL PERIMETER OF EXISTING WINDOWS AND DOORS.

CMU REPAIR: RE-POINT DAMAGED CMU JOINTS AS SHOWN. PAINT WALL FROM END TO END IN COLOR TO MATCH EXISTING AS SPECIFIED. SEE PHOTOS. BRICK REPAIR: CAULK CRACKED AREAS AND REPAINT.

LOCKERS: REPLACE DAMAGED UNITS AS SHOWN. MATCH EXISTING STYLE, BRICK WALLS: CLEAN ALL WATER STAINS FROM ENTIRE BRICK WALL

SHELVING REPLACEMENT: REMOVE AND REPLACE DAMAGED SHELVING UNITS WITH **GLASS DOORS**. MATCH EXISTING MATERIALS, FINISHES AND CONSTRUCTION STYLE. BASE CABINET: REMOVE AND REPLACE DAMAGED BASE CABINET. MATCH

EXISTING STYLE, SIZE, AND CONSTRUCTION. SALVAGE AND REINSTALL

SECTIONAL DOOR: REMOVE AND REPLACE OVERHEAD SECETIONAL DOOR AS SPECIFIED. CONTRACTOR TO PROVIDE ANY ADDITIONAL SUPPORT REQUIRED BY THE MANUFACTURER. GYPSUM BOARD: REMOVE AND REPLACE DAMAGED GYPSUM BOARD TO

NEAREST FRAMING MEMBER. FINISH AND RE-PAINT WALL CORNER TO

PREFINISHED GYPSUM BOARD WITH VINYL WALL COVER AND CORNER TRIM: REMOVE AND REPLACE DAMAGED VINYL COVERED GYPSUM BOARD FROM FLOOR TO CEILING WHERE INDICATED ON FLOOR PLAN. STOREFRONT WINDOW: REMOVE AND REPLACE STOREFRONT WINDOW AS

STUCCO SOFFIT: REMOVE & REPLACE STUCCO SOFFIT. COORDINATE WITH ABATEMENT SCOPE & ABATEMENT CONTRACTOR TO ENSURE WEATHER-TIGHTNESS AND PHASING COORDINATION. SEE WALL SECTIONS & DETAILS. GYPSUM CEILING REPAIRS: REMOVE AND REPLACE DAMAGED GYPSUM

CEILING BOARD TO NEAREST FRAMING MEMBER WHERE INDICATED, FINISH TO MATCH EXISTING AS SPECIFIED. METAL ROOF PANEL REPAIRS: REMOVE AND REPLACE DEFORMED OR MISSING

METAL ROOF PANELS TO MATCH EXISTING. CONCRETE FLOOR CLEANING: CLEAN AND RESEAL FLOOR AS SPECIFIED. BASE CABINET: REMOVE AND REPLACE DAMAGED BASE CABINET. MATCH

EXISTING STYLE, SIZE, AND CONSTRUCTION. SALVAGE AND REINSTALL COUNTERTOP. PROTECT ALL MECHANICAL CONNECTIONS.

TILE CLEANING: CLEAN STAINS FROM WALL TILE TO REMOVE ANY DISCOLORATION WHERE INDICATED. CLEAN/REPAINT MASONRY WALL: MECHANICALLY REMOVE ALL LOOSE OR PEELING PAINT AND ALL CHALKING RESIDUE FROM EFFERVESCENCE FROM CORNER TO CORNER. PERFORM REQUIRED MOISTURE TESTING PRIOR TO

REPAINTING WALL AS SPECIFIED. PLASTER CEILING REPAIRS: REMOVED AND REPLACE DAMAGED PLASTER CEILING WHERE INDICATED AS SPECIFIED, PAINT IN COLOR TO MATCH

MEP DAMAGES: SEE MECHANICAL, PLUMBING AND ELECTRICAL PLANS. FURNITURE SETTING AND RESETING: RELOCATE ALL EXISTING FURNITURE TO TEMPORARY ROOM IN MODULAR BUILDINGS WHILE EXISTING SPACE IS BEING REPAIRED. REINSTALL AND RESET FURNITURE ONCE REPAIRS ARE

COMPLETE. SEE PHASING PLAN. **36. SUSPENDED CEILING INSULATION:** INSTALL R-19 BATT INSULATION AS SPECIFIED ABOVE PREVIOUSLY INSTALLED SUSPENDED CEILING TILE. SEE UNIT PRICE NO. 2.

BRICK WALL REPLACEMENT: REMOVE AND REPLACE BRICK WALL AS INDICATED. DISPOSE OF OLD BRICK, MATCH NEW BRICK AND MORTAR TO EXISTING AS APPROVED BY ARCHITECT, SEE STRUCTURAL. BUILDING TO

REMAIN WEATHERPROOF AND CONDITIONED DURING REPAIRS. **DOOR REPAIR:** CLEAN, PREP AND RE-PAINT DOOR FRAME - SEE DOOR SCHEDULE.

CORRIDOR WALL REPAIR: REMOVE DAMAGED STOREFRONT WINDOW AND EXISTING 3/4" PLYWOOD SHEATHING BELOW WINDOW. INSTALL NEW WINDOW PER SCHEDULE AND NEW 3/4" PLYWOOD SHEATHING. PAINT AS SPECIFIED, IN COLOR AS SELECTED. SEE DETAILS. GLAZING REPAIR: REMOVE AND REPLACE BROKEN GLASS. MATCH EXISTING

**ROOMS -BUILDING A1** 

Area

Perimeter

105' - 9"

106' - 7"

106' - 5" 108' - 10"

104' - 10"

105' - 0"

105' - 10"

102' - 3"

104' - 3"

NUMBER

A101 656 SF

A102 666 SF

A103 680 SF

A104 673 SF A105 657 SF

A106 650 SF A107 656 SF

A108 665 SF

A109 331 SF

A110 181 SF A111 339 SF

A112 173 SF A114 416 SF

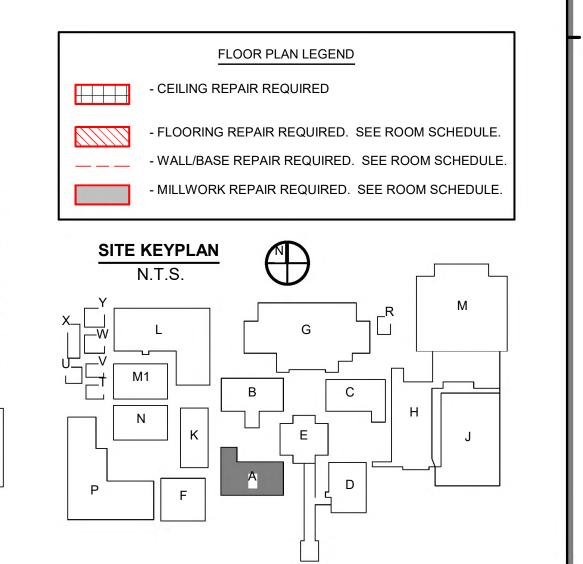
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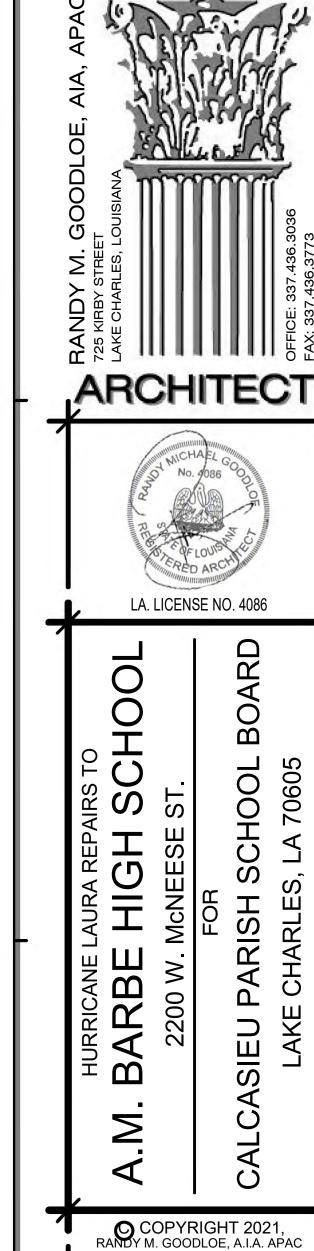
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CONTRACTOR IS RESPONSIBLE FOR ALL FINAL MEASUREMENTS.

TINT. PROVIDE SAFETY GLASS AS REQUIRED. DOOR REPAIR: REMOVE AND REPLACE EXISTING LEFT DOOR LEAF. PROVIDE AN INSULATED HOLLOW METAL DOOR WITH VISION PANEL TO MATCH RIGHT DOOR LEAF. REINSTALL EXISTING DOOR HARDWARE. PAINT AS DIRECTED.





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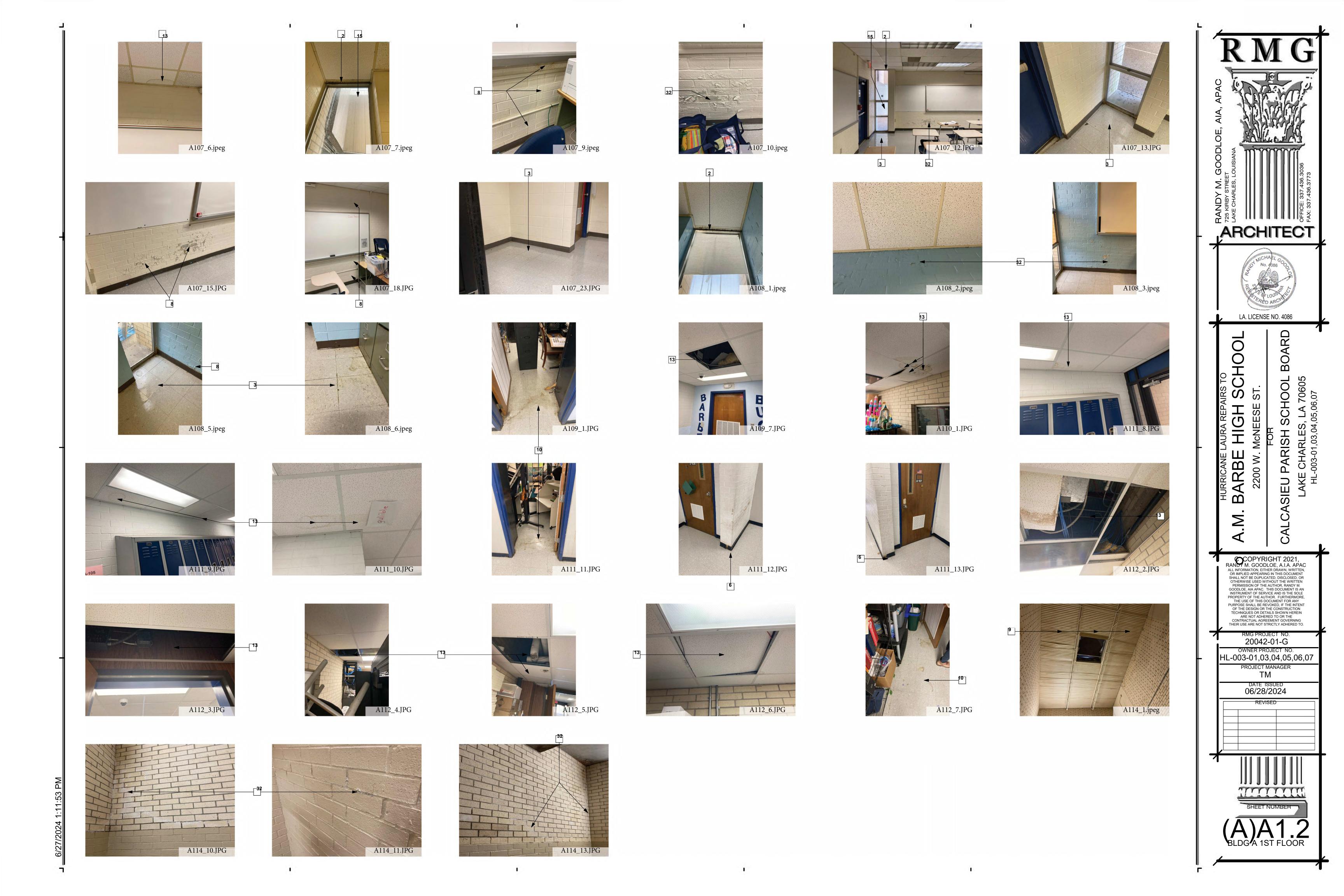
20042-01-G OWNER PROJECT NO. HL-003-01,03,04,05,06,07

> PROJECT MANAGER TM

> > DATE ISSUED

06/28/2024

SHEET NUMBER





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UNIT PRICE NO. 2. SCHEDULE.

**ROOMS -BUILDING A2** 

Perimeter

105' - 9"

106' - 7'

106' - 5" 108' - 10" 104' - 10"

107' - 4"

105' - 0"

105' - 10"

104' - 3"

59' - 1"

280' - 8"

86' - 6"

Area

656 SF

173 SF

1399 SF

\*THESE MEASUREMENTS ARE APPROXIMATE TO BE USED AS

CONTRACTOR IS RESPONSIBLE FOR ALL FINAL MEASUREMENTS.

GUIDELINES ONLY.

416 SF

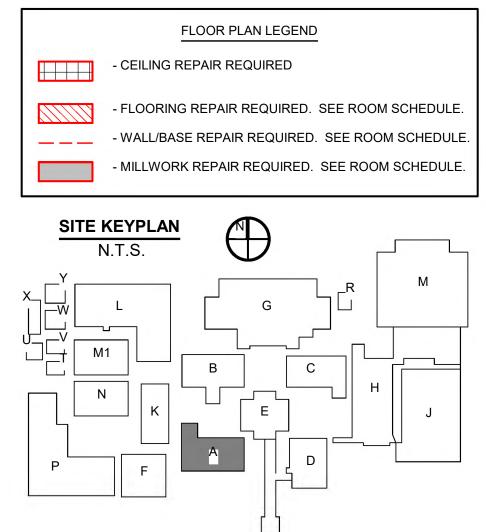
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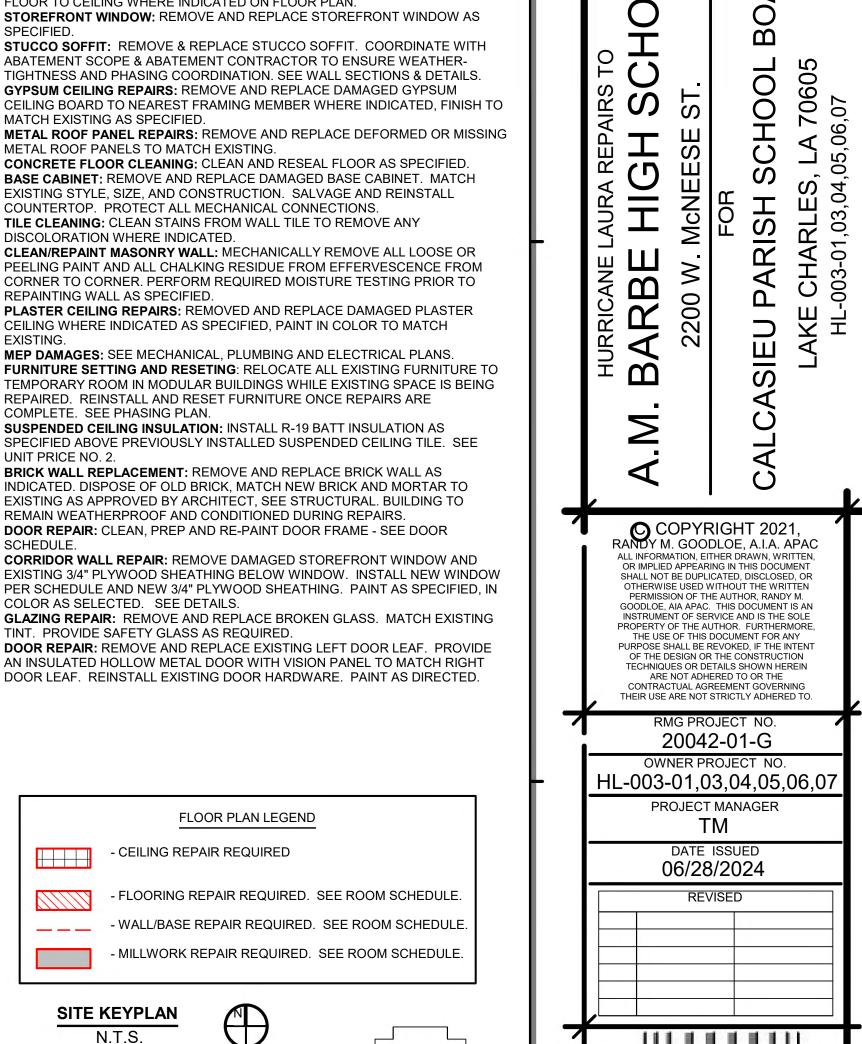
A206

A207

A208

A213





SHEET NUMBER

ARCHITECT

LA. LICENSE NO. 4086

**KEYNOTES** SUSPENDED ACOUSTIC CEILING REPLACEMENT: REMOVE AND REPLACE DAMAGED CEILING GRID AND CEILING TILE AS SPECIFIED. CEILING GRID: REMOVE AND REPLACE DAMAGED CEILING GRID. MATCH

EXISTING. SEE UNIT PRICE NO. 5 VCT FLOORING REPAIRS: REMOVE AND REPLACE VCT FLOORING AS SPECIFIED

IN AREAS WHERE INDICATED. SEE UNIT PRICE NO. 3. WINDOW REPAIRS: REPLACE BROKEN WINDOW PANES, BLOCKS, AND GASKETS TO MATCH EXISTING. ALL SEALANTS SHALL BE REMOVED AND REPLACED AS SPECIFIED TO ENSURE WEATHER TIGHT SEAL. SEE ELEVATIONS. STRUCTURAL CLAY BLOCK: GLAZED STRUCTURAL CLAY BLOCK TO BE REMOVED AND REPLACED AS SPECIFIED TO MATCH EXISTING. CLEAN ALL CHALKING RESIDUE FROM EFFERVESCENCE.

VINYL BASE REPLACEMENT: REPLACE DAMAGED OR MISSING BASE AS SPECIFIED TO MATCH EXISTING. SEE UNIT PRICE NO. 4 INSTALL NEW CARPET TILE AS SPECIFIED.

CARPET REPAIRS: DAMAGED CARPET HAS BEEN REMOVED. CLEAN FLOOR AND **PAINTING:** WALL SURFACE IS TO BE SANDED, PREPARED, AND REPAINT TO

MATCH EXISTING CORNER TO CORNER. WATER STAINED WALL FROM ROOF

PAINTED CEILING STRUCTURE: CEILING INCLUDING METAL TRUSSES ARE TO BE CLEANED, PREPPED, AND REPAINTED END TO END TO MATCH EXISTING VCT FLOORING CLEANING: CLEAN WATER STAINS FROM VCT FLOORING TO

REMOVE ANY DISCOLORATION WHERE INDICATED. MOP AND WAX ALL VCT FLOORING AT THE END OF CONSTRUCTION. **SKYLIGHT REPAIRS:** REMOVE AND REPLACE SKYLIGHT TO MATCH EXISTING. TERRAZZO FLOORING CLEANING: CLEAN AND POLISH EXISTING TERRAZZO FLOORING. REFER TO ROOM SCHEDULE FOR CLARITY.

CEILING TILE REPLACEMENT: REMOVE AND REPLACE DAMAGED OR MISSING ACOUSTIC CEILING TILE WITH NEW CEILING TILE AS SPECIFIED IN AREAS INDICATED. MATCH EXISTING TYPE AND SIZE. SEE UNIT PRICE NO. 1. INSTALL R-30 BATT INSULATION OVER TILE. SEE UNIT PRICE NO. 2

EXTERIOR WINDOWS AND DOORS: CAULK AND RESEAL PERIMETER OF EXISTING WINDOWS AND DOORS.

CMU REPAIR: RE-POINT DAMAGED CMU JOINTS AS SHOWN. PAINT WALL FROM END TO END IN COLOR TO MATCH EXISTING AS SPECIFIED. SEE PHOTOS. BRICK REPAIR: CAULK CRACKED AREAS AND REPAINT. LOCKERS: REPLACE DAMAGED UNITS AS SHOWN. MATCH EXISTING STYLE,

BRICK WALLS: CLEAN ALL WATER STAINS FROM ENTIRE BRICK WALL SHELVING REPLACEMENT: REMOVE AND REPLACE DAMAGED SHELVING UNITS WITH <u>GLASS DOORS</u>. MATCH EXISTING MATERIALS, FINISHES AND

BASE CABINET: REMOVE AND REPLACE DAMAGED BASE CABINET. MATCH EXISTING STYLE, SIZE, AND CONSTRUCTION. SALVAGE AND REINSTALL

SECTIONAL DOOR: REMOVE AND REPLACE OVERHEAD SECETIONAL DOOR AS SPECIFIED. CONTRACTOR TO PROVIDE ANY ADDITIONAL SUPPORT REQUIRED BY THE MANUFACTURER.

GYPSUM BOARD: REMOVE AND REPLACE DAMAGED GYPSUM BOARD TO NEAREST FRAMING MEMBER. FINISH AND RE-PAINT WALL CORNER TO

PREFINISHED GYPSUM BOARD WITH VINYL WALL COVER AND CORNER TRIM: REMOVE AND REPLACE DAMAGED VINYL COVERED GYPSUM BOARD FROM FLOOR TO CEILING WHERE INDICATED ON FLOOR PLAN.

STOREFRONT WINDOW: REMOVE AND REPLACE STOREFRONT WINDOW AS

STUCCO SOFFIT: REMOVE & REPLACE STUCCO SOFFIT. COORDINATE WITH ABATEMENT SCOPE & ABATEMENT CONTRACTOR TO ENSURE WEATHER-TIGHTNESS AND PHASING COORDINATION. SEE WALL SECTIONS & DETAILS. GYPSUM CEILING REPAIRS: REMOVE AND REPLACE DAMAGED GYPSUM CEILING BOARD TO NEAREST FRAMING MEMBER WHERE INDICATED, FINISH TO MATCH EXISTING AS SPECIFIED.

METAL ROOF PANEL REPAIRS: REMOVE AND REPLACE DEFORMED OR MISSING METAL ROOF PANELS TO MATCH EXISTING.

CONCRETE FLOOR CLEANING: CLEAN AND RESEAL FLOOR AS SPECIFIED. BASE CABINET: REMOVE AND REPLACE DAMAGED BASE CABINET. MATCH

EXISTING STYLE, SIZE, AND CONSTRUCTION. SALVAGE AND REINSTALL COUNTERTOP. PROTECT ALL MECHANICAL CONNECTIONS. TILE CLEANING: CLEAN STAINS FROM WALL TILE TO REMOVE ANY

DISCOLORATION WHERE INDICATED. CLEAN/REPAINT MASONRY WALL: MECHANICALLY REMOVE ALL LOOSE OR

PEELING PAINT AND ALL CHALKING RESIDUE FROM EFFERVESCENCE FROM REPAINTING WALL AS SPECIFIED.

CORNER TO CORNER. PERFORM REQUIRED MOISTURE TESTING PRIOR TO PLASTER CEILING REPAIRS: REMOVED AND REPLACE DAMAGED PLASTER CEILING WHERE INDICATED AS SPECIFIED, PAINT IN COLOR TO MATCH

MEP DAMAGES: SEE MECHANICAL, PLUMBING AND ELECTRICAL PLANS.

FURNITURE SETTING AND RESETING: RELOCATE ALL EXISTING FURNITURE TO TEMPORARY ROOM IN MODULAR BUILDINGS WHILE EXISTING SPACE IS BEING REPAIRED. REINSTALL AND RESET FURNITURE ONCE REPAIRS ARE COMPLETE. SEE PHASING PLAN.

SUSPENDED CEILING INSULATION: INSTALL R-19 BATT INSULATION AS SPECIFIED ABOVE PREVIOUSLY INSTALLED SUSPENDED CEILING TILE. SEE

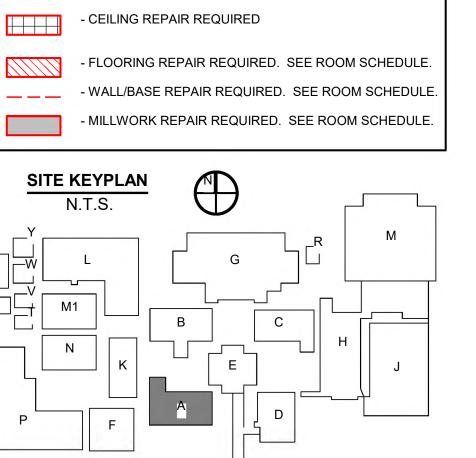
BRICK WALL REPLACEMENT: REMOVE AND REPLACE BRICK WALL AS

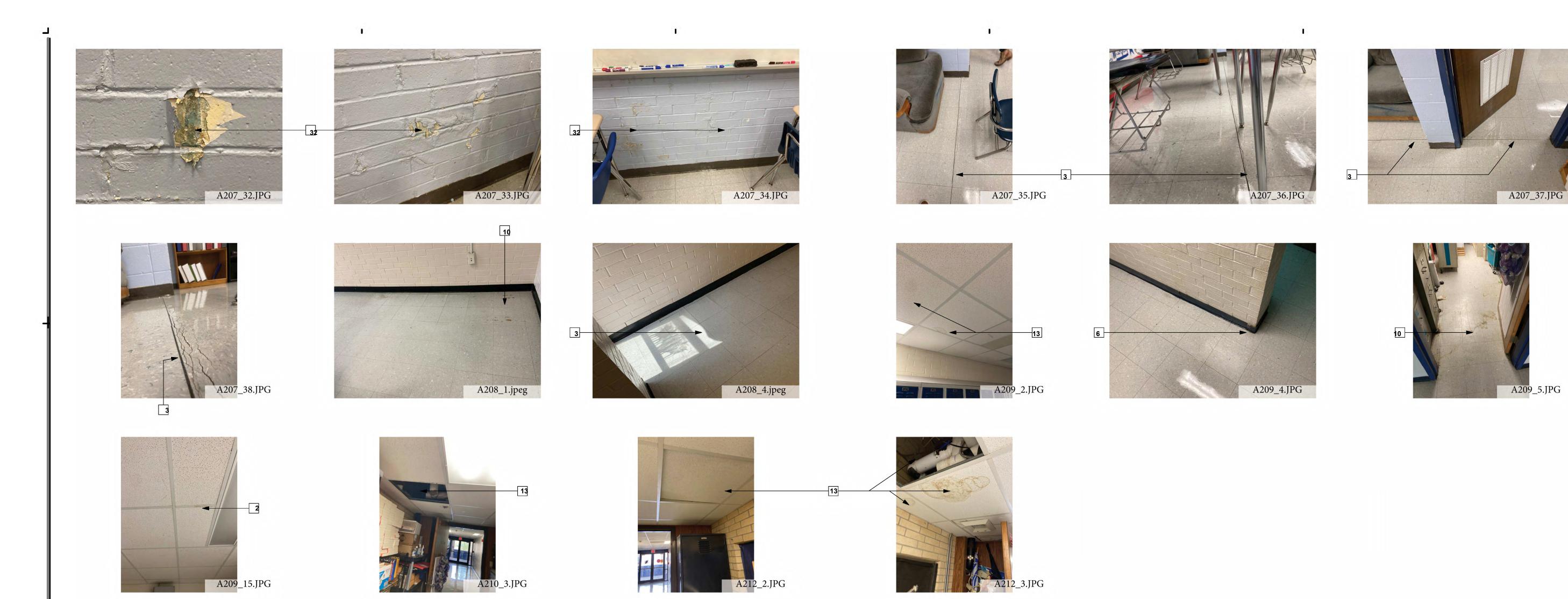
INDICATED. DISPOSE OF OLD BRICK, MATCH NEW BRICK AND MORTAR TO

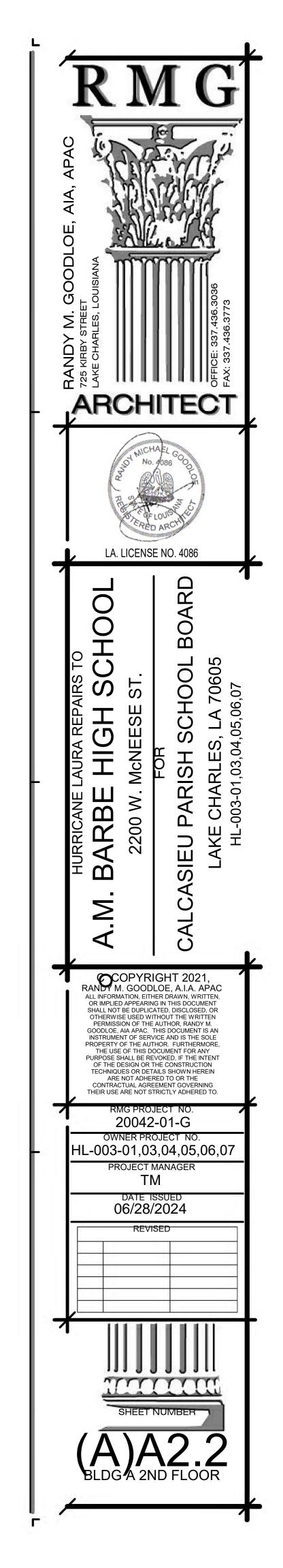
EXISTING AS APPROVED BY ARCHITECT, SEE STRUCTURAL. BUILDING TO REMAIN WEATHERPROOF AND CONDITIONED DURING REPAIRS. **DOOR REPAIR:** CLEAN, PREP AND RE-PAINT DOOR FRAME - SEE DOOR CORRIDOR WALL REPAIR: REMOVE DAMAGED STOREFRONT WINDOW AND

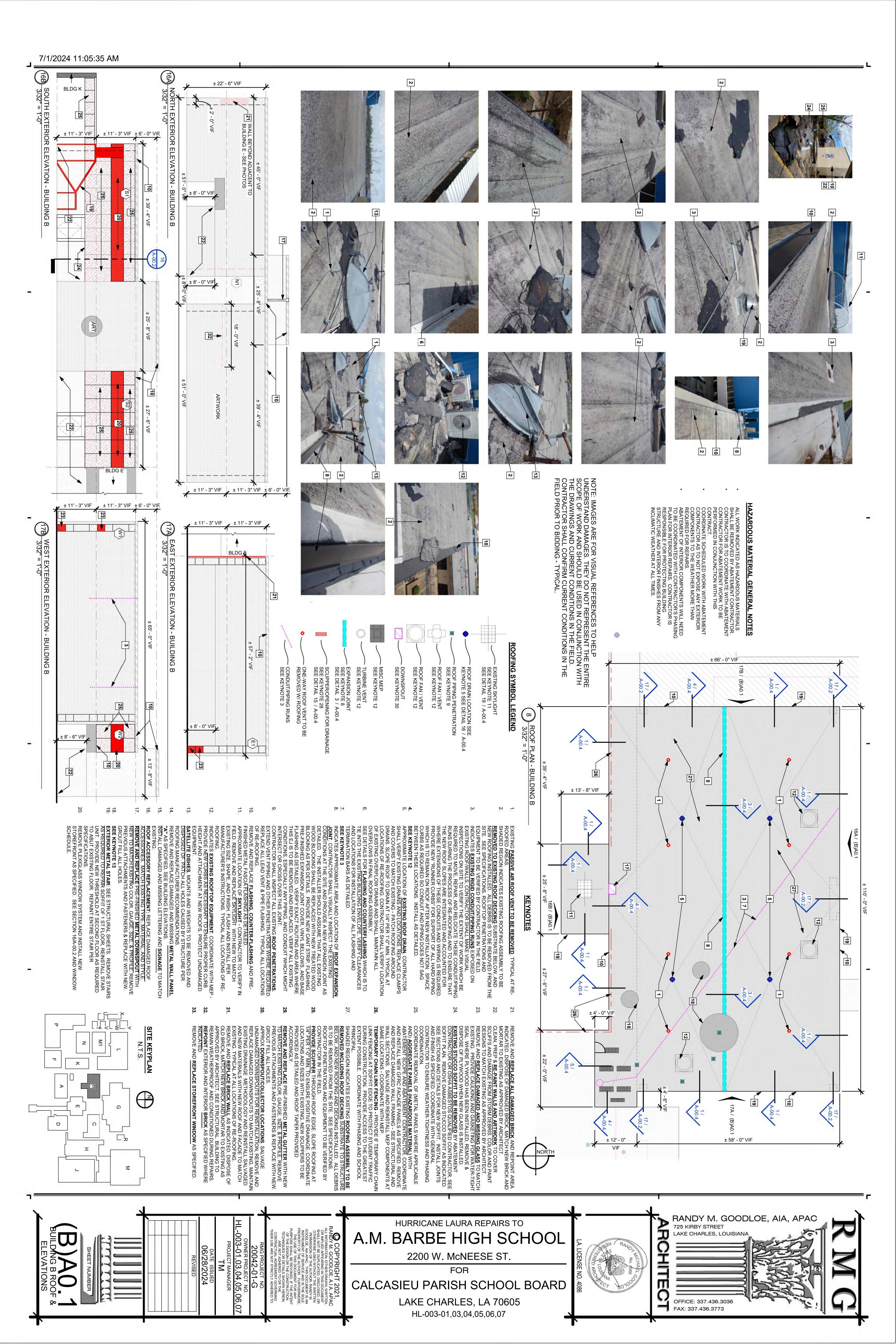
EXISTING 3/4" PLYWOOD SHEATHING BELOW WINDOW. INSTALL NEW WINDOW PER SCHEDULE AND NEW 3/4" PLYWOOD SHEATHING. PAINT AS SPECIFIED, IN COLOR AS SELECTED. SEE DETAILS. GLAZING REPAIR: REMOVE AND REPLACE BROKEN GLASS. MATCH EXISTING

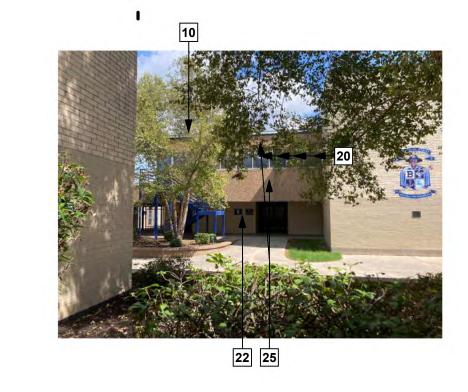
TINT. PROVIDE SAFETY GLASS AS REQUIRED. DOOR REPAIR: REMOVE AND REPLACE EXISTING LEFT DOOR LEAF. PROVIDE



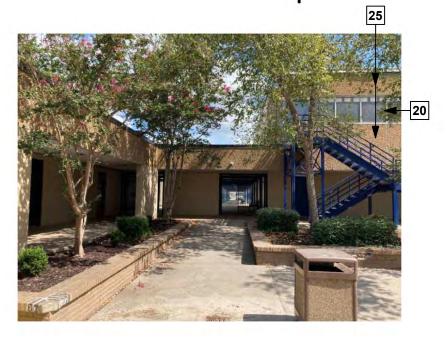






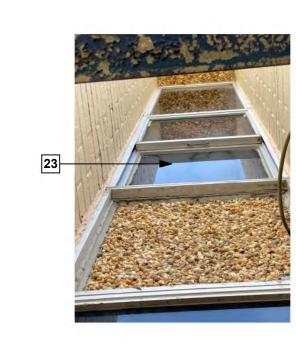


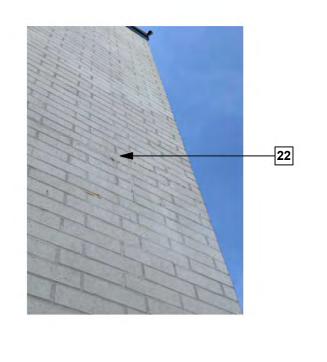






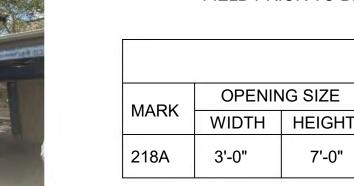






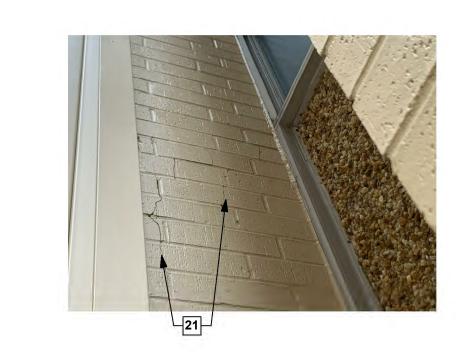


NOTE: IMAGES ARE FOR VISUAL REFERENCES TO HELP UNDERSTAND DAMAGES. THEY DO NOT REPRESENT THE ENTIRE SCOPE OF WORK AND SHOULD BE USED IN CONJUNCTION WITH THE DRAWINGS AND CURRENT CONDITIONS IN THE FIELD. CONTRACTOR SHALL CONFIRM CURRENT CONDITIONS IN THE FIELD PRIOR TO BIDDING - TYPICAL.

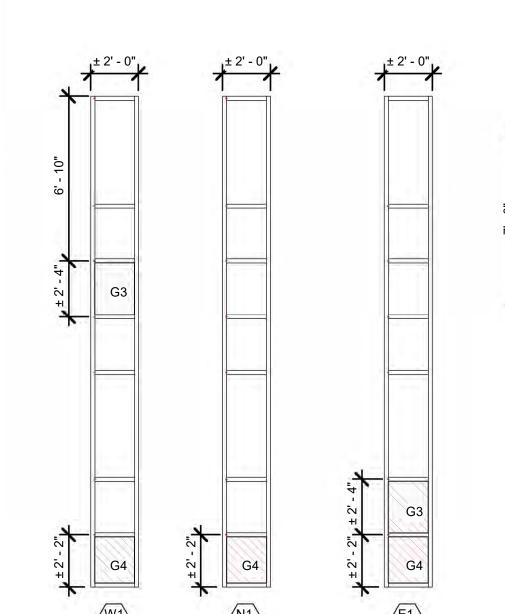


					DOOR SCHEDULE				
MARK	OPENIN	IG SIZE	DOOD TYPE	DOOR MATERIAL	DOOR FINISH	FRAME MATERIAL	FRAME FINISH	GLASS TYPE	COMMENTS
IVIAINN	WIDTH	HEIGHT	DOOK TIPE	DOOK WATERIAL	DOOK FINISH	FRAIVIE WATERIAL	FRANC FINISH	GLASS TIFE	COMMENTS
218A	3'-0"	7'-0"	TYPE A	ALUMINUM	CLEAR ANODIZED	ALUMINUM	CLEAR ANODIZED	G3	REPLACE UNIT

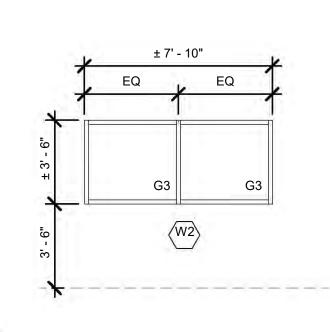




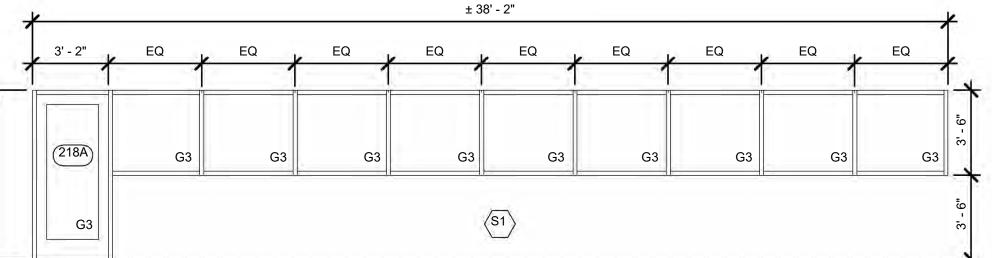
WINDOW SCHEDULE								
MARK	SIZE		FRAME	COMMENTS				
		TYPE	MATERIAL					
W1	SEE ELEVATION	STOREFRONT	EXISTING	REPLACE DAMAGED GLASS AS INDICATED				
W2	SEE ELEVATION	STOREFRONT	ALUMINUM, CLEAR ANODIZED	REPLACE ENTIRE UNIT				
N1	SEE ELEVATION	STOREFRONT	EXISTING	REPLACE DAMAGED GLASS AS INDICATED				
E1	SEE ELEVATION	STOREFRONT	EXISTING	REPLACE DAMAGED GLASS AS INDICATED				
S1	SEE ELEVATION	STOREFRONT	ALUMINUM, CLEAR ANODIZED	REPLACE ENTIRE UNIT				
S2	SEE ELEVATION	STOREFRONT	ALUMINUM, CLEAR ANODIZED	REPLACE ENTIRE UNIT				



\*SIZES ARE APPROXIMATE. VERIFY IN FIELD.



TYPE A



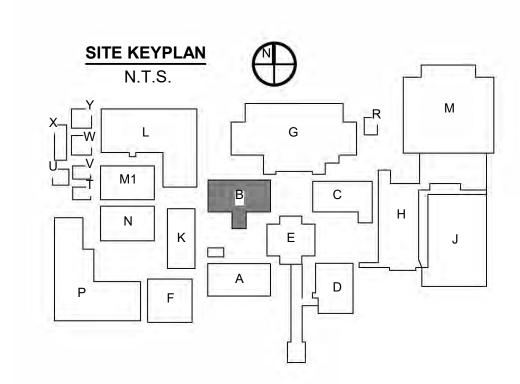
GLAZING SCHEDULE

G1 - CLEAR, INSULATED GLASS AS SPECIFIED.
G2 - SPANDRAL GLASS AS SPECIFIED.

\*GLAZING OF NEW STOREFRONT UNITS ARE TO BE LARGE MISSLE IMPACT AS SPECIFIED. REPLACEMENT GLAZING IS TO MATCH EXISTING.

G3 - TINTED, INSULATED GLASS AS SPECIFIED.

G4 - ALUMINUM WINDOW PANEL AS SPECIFIED.



EQ

G3

EQ

G3 |

EQ

± 26' - 10"

EQ

G3

EQ

## **KEYNOTES**

- EXISTING <u>PASSIVE AIR ROOF VENT TO BE REMOVED</u>. TYPICAL AT RE-ROOFED AREAS.
  SHADED REGION INDICATES EXISTING ROOFING ASSEMBLY TO BE
- REMOVED TO EXISTING ROOF DECKING SUBSTRATE BELOW, AND NEW ROOFING INSTALLED. ALL DEBRIS IS TO BE REMOVED FROM THE SITE. SEE SPECIFICATIONS. ROOFTOP PENETRATIONS AND EQUIPMENT TO BE VERIFIED BY CONTRACTOR IN THE FIELD.
- INDICATES **EXISTING RIGID CONDUIT/PIPING RUNS** EXPOSED ON EXISTING ROOF, CONTRACTOR SHALL MAKE VISUAL INSPECTIONS ON SITE TO VERIFY THE EXTENT OF WORK WHICH BE REQUIRED TO MOVE, REPAIR, AND RELOCATE THESE CONDUIT/PIPING RUNS DURING THE PROCESS OF RE-ROOFING AND TO ENSURE THAT THE NEW ROOF SLOPES ARE INTEGRATED AND ACCOUNTED FOR WHERE EXTENSIONS OF THESE CONDUITS AND WIRING IS REQUIRED. PROVIDE NEW "RUNNER CURBS" FOR SUPPORT OF ALL HARD PIPING
- PROVIDE NEW "RUNNER CURBS" FOR SUPPORT OF ALL HARD PIPING WHICH IS TO REMAIN ON ROOF AFTER NEW INSTALLATION. SPACE CURBS AS REQUIRED SO CONDUIT AND PIPING DOES NOT SAG BETWEEN THESE LOCATIONS. INSTALL AS DETAILED.

  SEE KEYNOTE 12
- APPROXIMATE LOCATION OF **EXISTING ROOF DRAIN**, CONTRACTOR SHALL VERIFY EXISTING DRAINS AND LOCATIONS. REPLACE CLAMPS AND COVERS TO MATCH EXISTING PATCH ROOFING AROUND DRAINS. SLOPE ROOF TO DRAIN AT 1/4" PER 1'-0" MIN. TYPICAL AT LOCATIONS OF RE-ROOFING. CONTRACTOR SHALL VERIFY LOCATION OF EXISTING OVERFLOW DRAINS AND SHALL MAINTAIN ALL OVERFLOWS IN FINAL ROOFING ASSEMBLY.
- SEE DETAILS FOR <u>FLASHING AND COUNTERFLASHING</u> WHICH IS TO TIE INTO THE EXISTING BUILDING ENVELOPE. VERIFY CLEARANCES AND LOCATIONS FOR INSTALLATION OF ALL FLASHING AND TERMINATION BARS AS DETAILED.

  SEE KEYNOTE 3
- INDICATES APPROXIMATE AREA AND LOCATION OF ROOF EXPANSION JOINT. CONTRACTOR SHALL VISUALLY INSPECT THE EXISTING CONDITIONS AT THE SITE AND PROVIDE A NEW EXPANSION JOINT AS DETAILED. THE INSTALLER SHOULD ASSUME THAT ALL EXISTING WOOD BLOCKING SHALL BE REPLACED WITH NEW TREATED WOOD BLOCKING AS PER DETAILS. PROVIDE NEW CANT STRIP, FLASHING, PRE-FINISHED EXPANSION JOINT COVER, VINYL BELLOWS, AND BASE FLASHING AS DETAILED. VERIFY EXACT ROUTING AND AREA WHERE THIS EJ IS TO BE REMOVED AND REPLACED, VERIFY ALL EXISTING CONDITIONS, ESPECIALLY ANY PIPING, AND CONDUIT WHICH MIGHT INTERSECT OR CROSS OVER THIS JOINT.
- 9. CONTRACTOR SHALL INSPECT ALL EXISTING **ROOF PENETRATIONS**.
  EXTEND VENT PIPING AND OTHER PENETRATIONS WHERE REQUIRED.
  REPLACE ALL LEAD VENT & PIPE FLASHING. TYPICAL ALL LOCATIONS
  OF RE-ROOFING.
- 10. REMOVE AND REPLACE <u>FLASHING</u>, <u>COUNTER-FLASHING</u> AND PRE-FINISHED METAL FASCIA FLASHING AS DETAILED.
- 11. APPROXIMATE LOCATION OF <u>SKYLIGHT</u> CONTRACTOR TO VERIFY IN FIELD. REMOVE AND REPLACE SKYLIGHT WITH NEW, TO MATCH EXISTING SIZE, SHAPE, AND FINISH. FLASH AND INSTALL PER MANUFACTURER'S INSTRUCTIONS. TYPICAL ALL LOCATIONS OF REPROPRING
- 12. INDICATES <u>EXISTING ROOFTOP EQUIPMENT</u>. COORDINATE WITH MEP PROVIDE NEW CURBS AS NECESSARY TO ENSURE PROPER CURB HEIGHT AND ATTACHMENT AT NEW ROOFS. PROTECT UNDAMAGED EQUIPMENT.
- SATELLITE DISHES, MOUNTS AND WEIGHTS TO BE REMOVED AND DISPOSED OF. PATCH ALL HOLES CAUSED BY STRUCTURE PER ROOFING MANUFACTURER RECOMMENDATIONS.
  REMOVE AND REPLACE DAMAGED AND MISSING METAL WALL PANEL
- "E" AS SPECIFIED. SEE BUILDING ELEVATIONS.
  INSTALL DAMAGED AND MISSING LETTERING AND SIGNAGE TO MATCH
- EXISTING.

  ROOF ACCESSORY REPLACEMENT: REPLACE DAMAGED ROOF
- ACCESSORIES. MATCH EXISTING TYPE, MATERIAL, AND STYLE.

  7. REMOVE AND REPLACE PRE-FINISHED METAL DOWNSPOUT WITH NEW TO MATCH EXISTING COLOR, GAUGE, SIZE, & PROFILE. REMOVE
- PREVIOUS ATTACHMENTS AND FASTENERS & REPLACE WITH NEW.
  GROUT FILL ALL HOLES.
  SEE KEYNOTE 13
- EXTERIOR METAL STAIR: SEE STRUCTURAL SHEETS. REMOVE STAIRS
  AS REQUIRED TO REPAIR SOFFIT OF 1 ST FLOOR, REINSTALL STAIR
  UNIT. PROVIDE NEW THRESHOLD AS REQUIRED TO ABUT EXISTING
- REMOVE PLYWOOD AND INSTALL NEW CLEAR **PLEXIGLASS PANEL** TO MATCH ADJACENT PANELS. REMOVE AND REPLACE ACCOMPANYING HORIZONTAL AND VERTICAL MULLIONS WHERE PLYWOOD IS INSTALLED.
- 21. REMOVE AND REPLACE DAMAGED BRICK FACADE AND MORTAR AS INDICATED. DISPOSE OF DAMAGED BRICK, MATCH NEW BRICK AND MORTAR TO EXISTING AS APPROVED BY ARCHITECT. PRESERVE SUBSTRATE. REMOVE OLD BRICK TIES AND WATER PROOFING, INSTALL NEW WATERPROOFING AND BRICK TIES AT A MIN. OF 24" O.C. VERTICAL AND HORIZONTAL. WATERPROOFING TO BE TAPED WITH MANUFACTURER APPROVED TAPE AND LAPPED TO PREVENT MOISTURE PENETRATION INTO THE BUILDING ENVELOPE.
- 22. CLEAN, PREP & **RE-PAINT WALLS AND ARTWORK** TO COVER SCUFFS AND DAMAGE FROM STORM DEBRIS. COLOR AND PAINT DESIGNS TO MATCH EXISTING AS APPROVED BY ARCHITECT.
- 23. REMOVE AND REPLACE DAMAGED AND MISSING GLASS TO MATCH EXISTING. PROVIDE CAULKING AND GASKETING FOR WATER-TIGHT SEAL. WHERE PLYWOOD HAS BEEN INSTALLED, REMOVE & DISPOSE OF PLYWOOD WHEN NEW GLASS IS INSTALLED.
- 4. EXISTING STUCCO SOFFIT TO BE REMOVED BY ABATEMENT CONTRACTOR. INSTALL NEW 5/8" GLASS-MAT GYPSUM BOARD ON NEW METAL SUSPENSION SYSTEM AS SPECIFIED. INSTALL NEW CEMENT BOARD STUCCO SYSTEM FINISH AS SPECIFIED. COORDINATE WITH ABATEMENT SCOPE & ABATEMENT CONTRACTOR TO ENSURE WEATHER-TIGHTNESS AND PHASING COORDINATION.
- 25. COORDINATE REMOVAL OF (METAL PANELS WHERE APPLICABLE AND)

  AGGREGATE PANELS (HAZARDOUS MATERIAL) WITH ABATEMENT

  SCOPE AND ABATEMENT CONTRACTOR. COORDINATE AND INSTALL

  NEW FACADE PANELS AS SPECIFIED. SALVAGE AND REINSTALL MEP

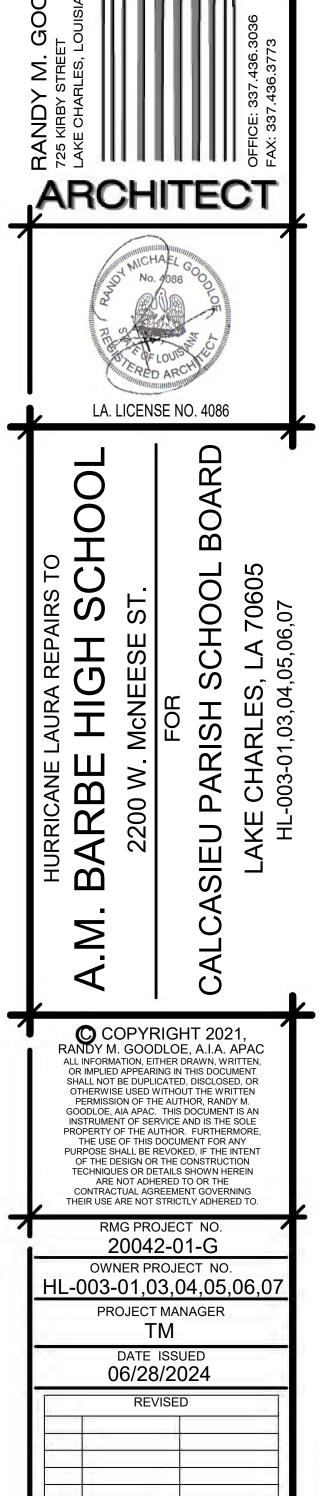
  COMPONENTS AT SAME LOCATIONS COORDINATE WITH MEP.

  SEE KEYNOTE 3
- SHADED REGION INDICATES EXISTING ROOFING ASSEMBLY TO BE REMOVED INCLUDING ROOF DECKING SUBSTRATE TO STRUCTURE BELOW, AND NEW ROOFING AND DECKING INSTALLED. ALL DEBRIS IS TO BE REMOVED FROM THE SITE. SEE SPECIFICATIONS. ROOFTOP PENETRATIONS AND EQUIPMENT TO BE VERIFIED BY CONTRACTOR IN THE FIELD.
- 28. PROVIDE SCUPPER THROUGH ROOF EDGE. SLOPE ROOFING AT 1/4"
  PER 1'-0" MIN. TO ENSURE POSITIVE DRAINAGE. COORDINATE
  LOCATIONS AND SIZES WITH EXISTING. NEW SCUPPERS TO BE
  PROVIDED AS DETAILED AND ROOF TAPER PROVIDED ACCORDINGLY.
- PROVIDED AS DETAILED AND ROOF TAPER PROVIDED ACCORDINGLY.

  29. REMOVE AND REPLACE PRE-FINISHED METAL GUTTER WITH NEW TO MATCH EXISTING COLOR, GAUGE, SIZE, & PROFILE. REMOVE PREVIOUS ATTACHMENTS AND FASTENERS & REPLACE WITH NEW. GROUT FILL ALL HOLES.
- 30. APPROX DOWNSPOUT/COLLECTOR LOCATIONS. SALVAGE
  UNDAMAGED DOWNSPOUTS FOR REINSTALLATION, REMOVE AND
  REPLACE DAMAGED DOWNSPOUTS TO MATCH EXISTING. MAINTAIN
  EXISTING DRAINAGE METHODOLOGY AND REINSTALL SALVAGED AND
  NEW MATERIALS WITH NEW ROOF AND FACADE TO MATCH EXISTING.
- NEW MATERIALS WITH NEW ROOF AND FACADE TO MATCH EXISTING.
  TYPICAL AT ALL LOCATIONS OF RE-ROOFING.

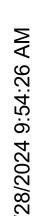
  31. REMOVE AND REPLACE BRICK WALL AS INDICATED. DISPOSE OF OLD BRICK, MATCH NEW BRICK AND MORTAR TO EXISTING AS SPPROVED BY ARCHITECT, SEE STRUCRUAL. BUILDING TO REMAIN
  - WEATHERPROOF AND CONDITIONED DURING REPAIRS.

    REPOINT EXTERIOR AND INTERIOR BRICK AS SPECIFED WHERE INDICATED, REPAINT IN COLOR TO MATCH EXISITING FROM END TO
- 33. REMOVE AND **REPLACE STOREFRONT WINDOW** AS SPECIFIED.



SHEET NUMBER

REFERENCE IMAGES





ROOMS -BUILDING B1							
ROOM NUMBER	Area	Perimeter					
B101	647 SF	103' - 10"					
B102	660 SF	104' - 11"					
B103	640 SF	103' - 6"					
B104	634 SF	104' - 7"					
B105	648 SF	103' - 10"					
B106	639 SF	104' - 11"					
B107	681 SF	105' - 7"					
B108	179 SF	59' - 6"					
B109	342 SF	101' - 6"					
B110	473 SF	125' - 3"					
B111	217 SF	68' - 1"					
B112	37 SF	24' - 7"					
B115	404 SF	82' - 3"					
	-	•					

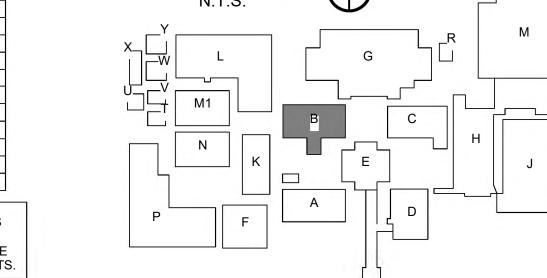
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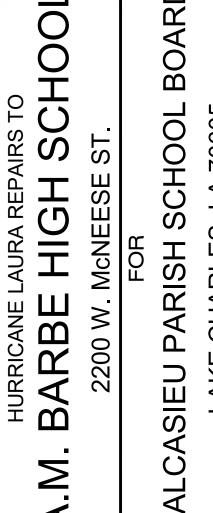
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\*THESE MEASUREMENTS ARE APPROXIMATE TO BE USED AS GUIDELINES ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL FINAL MEASUREMENTS.





LA. LICENSE NO. 4086

**KEYNOTES** SUSPENDED ACOUSTIC CEILING REPLACEMENT: REMOVE AND REPLACE DAMAGED CEILING GRID AND CEILING TILE AS SPECIFIED. CEILING GRID: REMOVE AND REPLACE DAMAGED CEILING GRID. MATCH EXISTING. SEE UNIT PRICE NO. 5

VCT FLOORING REPAIRS: REMOVE AND REPLACE VCT FLOORING AS SPECIFIED IN AREAS WHERE INDICATED. SEE UNIT PRICE NO. 3. WINDOW REPAIRS: REPLACE BROKEN WINDOW PANES, BLOCKS, AND GASKETS TO MATCH EXISTING. ALL SEALANTS SHALL BE REMOVED AND REPLACED AS SPECIFIED TO ENSURE WEATHER TIGHT SEAL. SEE ELEVATIONS. STRUCTURAL CLAY BLOCK: GLAZED STRUCTURAL CLAY BLOCK TO BE REMOVED AND REPLACED AS SPECIFIED TO MATCH EXISTING. CLEAN ALL CHALKING RESIDUE FROM EFFERVESCENCE. VINYL BASE REPLACEMENT: REPLACE DAMAGED OR MISSING BASE AS SPECIFIED TO MATCH EXISTING. SEE UNIT PRICE NO. 4 CARPET REPAIRS: DAMAGED CARPET HAS BEEN REMOVED. CLEAN FLOOR AND INSTALL NEW CARPET TILE AS SPECIFIED. **PAINTING:** WALL SURFACE IS TO BE SANDED, PREPARED, AND REPAINT TO MATCH EXISTING CORNER TO CORNER. WATER STAINED WALL FROM ROOF PAINTED CEILING STRUCTURE: CEILING INCLUDING METAL TRUSSES ARE TO BE CLEANED, PREPPED, AND REPAINTED END TO END TO MATCH EXISTING 10. **VCT FLOORING CLEANING:** CLEAN WATER STAINS FROM VCT FLOORING TO REMOVE ANY DISCOLORATION WHERE INDICATED. MOP AND WAX ALL VCT FLOORING AT THE END OF CONSTRUCTION. SKYLIGHT REPAIRS: REMOVE AND REPLACE SKYLIGHT TO MATCH EXISTING. TERRAZZO FLOORING CLEANING: CLEAN AND POLISH EXISTING TERRAZZO FLOORING. REFER TO ROOM SCHEDULE FOR CLARITY. 13. **CEILING TILE REPLACEMENT:** REMOVE AND REPLACE DAMAGED OR MISSING ACOUSTIC CEILING TILE WITH NEW CEILING TILE AS SPECIFIED IN AREAS INDICATED. MATCH EXISTING TYPE AND SIZE. SEE UNIT PRICE NO. 1. INSTALL R-30 BATT INSULATION OVER TILE. SEE UNIT PRICE NO. 2 **ARCHITECT** CMU REPAIR: RE-POINT DAMAGED CMU JOINTS AS SHOWN. PAINT WALL FROM

EXTERIOR WINDOWS AND DOORS: CAULK AND RESEAL PERIMETER OF EXISTING WINDOWS AND DOORS.

END TO END IN COLOR TO MATCH EXISTING AS SPECIFIED. SEE PHOTOS. BRICK REPAIR: CAULK CRACKED AREAS AND REPAINT.

LOCKERS: REPLACE DAMAGED UNITS AS SHOWN. MATCH EXISTING STYLE, BRICK WALLS: CLEAN ALL WATER STAINS FROM ENTIRE BRICK WALL. SHELVING REPLACEMENT: REMOVE AND REPLACE DAMAGED SHELVING UNITS WITH **GLASS DOORS**. MATCH EXISTING MATERIALS, FINISHES AND

BASE CABINET: REMOVE AND REPLACE DAMAGED BASE CABINET. MATCH EXISTING STYLE, SIZE, AND CONSTRUCTION. SALVAGE AND REINSTALL

SECTIONAL DOOR: REMOVE AND REPLACE OVERHEAD SECETIONAL DOOR AS SPECIFIED. CONTRACTOR TO PROVIDE ANY ADDITIONAL SUPPORT REQUIRED BY THE MANUFACTURER. NEAREST FRAMING MEMBER. FINISH AND RE-PAINT WALL CORNER TO

GYPSUM BOARD: REMOVE AND REPLACE DAMAGED GYPSUM BOARD TO 24. PREFINISHED GYPSUM BOARD WITH VINYL WALL COVER AND CORNER TRIM:

REMOVE AND REPLACE DAMAGED VINYL COVERED GYPSUM BOARD FROM FLOOR TO CEILING WHERE INDICATED ON FLOOR PLAN.

STOREFRONT WINDOW: REMOVE AND REPLACE STOREFRONT WINDOW AS

STUCCO SOFFIT: REMOVE & REPLACE STUCCO SOFFIT. COORDINATE WITH ABATEMENT SCOPE & ABATEMENT CONTRACTOR TO ENSURE WEATHER-TIGHTNESS AND PHASING COORDINATION. SEE WALL SECTIONS & DETAILS. GYPSUM CEILING REPAIRS: REMOVE AND REPLACE DAMAGED GYPSUM MATCH EXISTING AS SPECIFIED.

CEILING BOARD TO NEAREST FRAMING MEMBER WHERE INDICATED, FINISH TO METAL ROOF PANEL REPAIRS: REMOVE AND REPLACE DEFORMED OR MISSING METAL ROOF PANELS TO MATCH EXISTING.

CONCRETE FLOOR CLEANING: CLEAN AND RESEAL FLOOR AS SPECIFIED. BASE CABINET: REMOVE AND REPLACE DAMAGED BASE CABINET. MATCH

EXISTING STYLE, SIZE, AND CONSTRUCTION. SALVAGE AND REINSTALL COUNTERTOP. PROTECT ALL MECHANICAL CONNECTIONS.

TILE CLEANING: CLEAN STAINS FROM WALL TILE TO REMOVE ANY DISCOLORATION WHERE INDICATED. CLEAN/REPAINT MASONRY WALL: MECHANICALLY REMOVE ALL LOOSE OR

PEELING PAINT AND ALL CHALKING RESIDUE FROM EFFERVESCENCE FROM CORNER TO CORNER. PERFORM REQUIRED MOISTURE TESTING PRIOR TO REPAINTING WALL AS SPECIFIED. 33. PLASTER CEILING REPAIRS: REMOVED AND REPLACE DAMAGED PLASTER

CEILING WHERE INDICATED AS SPECIFIED, PAINT IN COLOR TO MATCH

MEP DAMAGES: SEE MECHANICAL, PLUMBING AND ELECTRICAL PLANS. FURNITURE SETTING AND RESETING: RELOCATE ALL EXISTING FURNITURE TO TEMPORARY ROOM IN MODULAR BUILDINGS WHILE EXISTING SPACE IS BEING

REPAIRED. REINSTALL AND RESET FURNITURE ONCE REPAIRS ARE COMPLETE. SEE PHASING PLAN. **36. SUSPENDED CEILING INSULATION:** INSTALL R-19 BATT INSULATION AS SPECIFIED ABOVE PREVIOUSLY INSTALLED SUSPENDED CEILING TILE. SEE

UNIT PRICE NO. 2. 37. BRICK WALL REPLACEMENT: REMOVE AND REPLACE BRICK WALL AS

INDICATED. DISPOSE OF OLD BRICK, MATCH NEW BRICK AND MORTAR TO EXISTING AS APPROVED BY ARCHITECT, SEE STRUCTURAL. BUILDING TO REMAIN WEATHERPROOF AND CONDITIONED DURING REPAIRS.

**DOOR REPAIR:** CLEAN, PREP AND RE-PAINT DOOR FRAME - SEE DOOR SCHEDULE. CORRIDOR WALL REPAIR: REMOVE DAMAGED STOREFRONT WINDOW AND EXISTING 3/4" PLYWOOD SHEATHING BELOW WINDOW. INSTALL NEW WINDOW

PER SCHEDULE AND NEW 3/4" PLYWOOD SHEATHING. PAINT AS SPECIFIED, IN COLOR AS SELECTED. SEE DETAILS. GLAZING REPAIR: REMOVE AND REPLACE BROKEN GLASS. MATCH EXISTING TINT. PROVIDE SAFETY GLASS AS REQUIRED.

- CEILING REPAIR REQUIRED

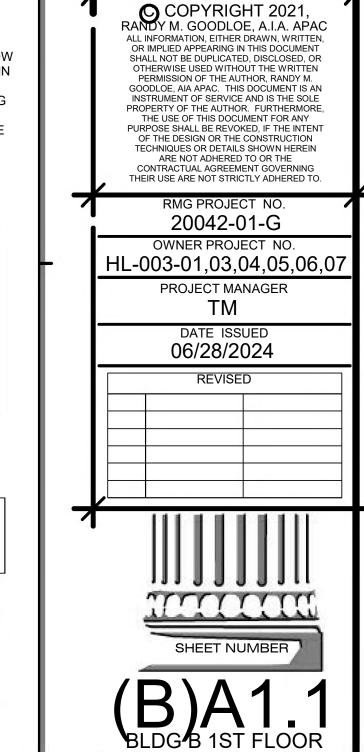
DOOR REPAIR: REMOVE AND REPLACE EXISTING LEFT DOOR LEAF. PROVIDE AN INSULATED HOLLOW METAL DOOR WITH VISION PANEL TO MATCH RIGHT DOOR LEAF. REINSTALL EXISTING DOOR HARDWARE. PAINT AS DIRECTED.

FLOORING REPAIR REQUIRED. SEE ROOM SCHEDULE

- WALL/BASE REPAIR REQUIRED. SEE ROOM SCHEDULE.

- MILLWORK REPAIR REQUIRED. SEE ROOM SCHEDULE.

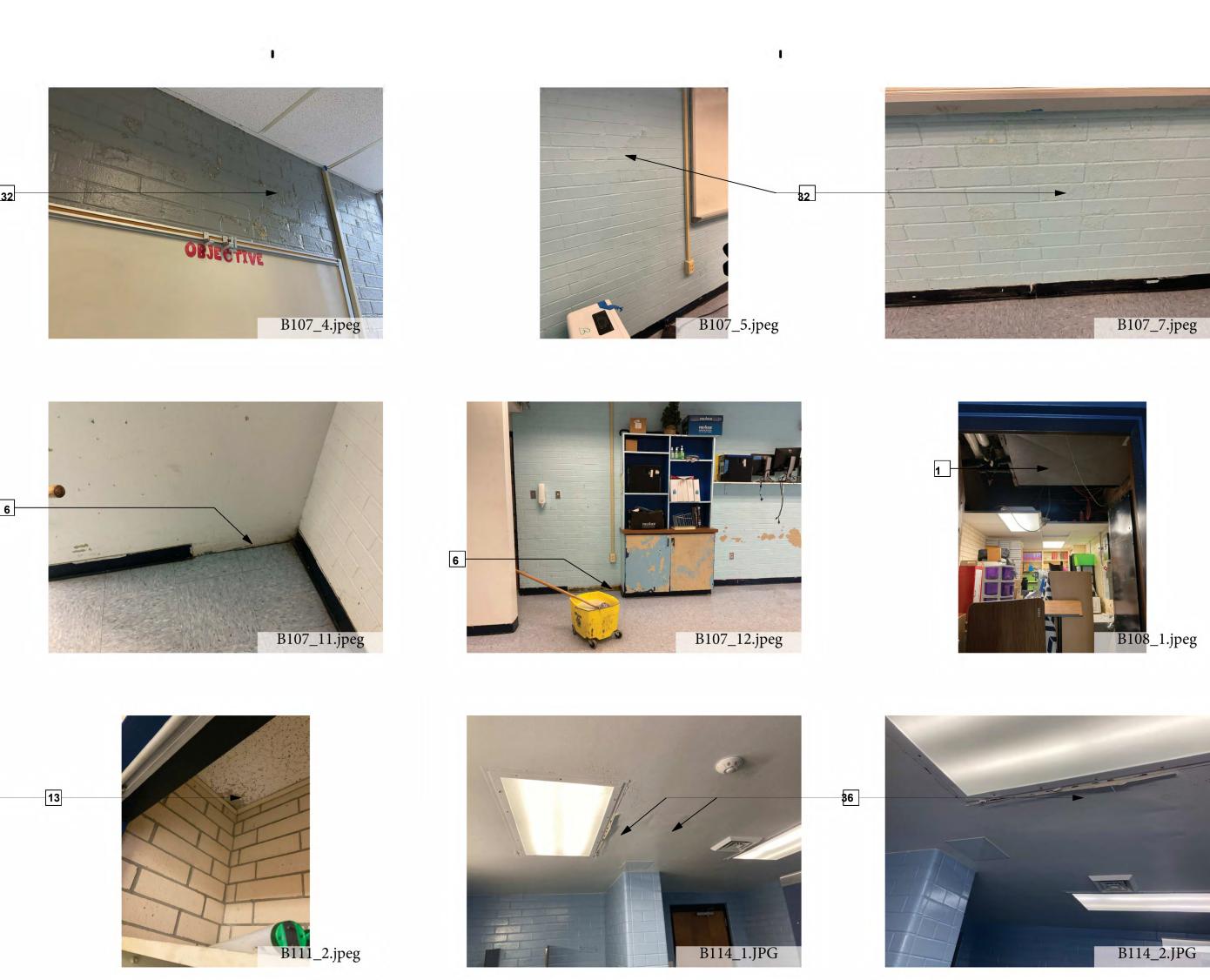
FLOOR PLAN LEGEND

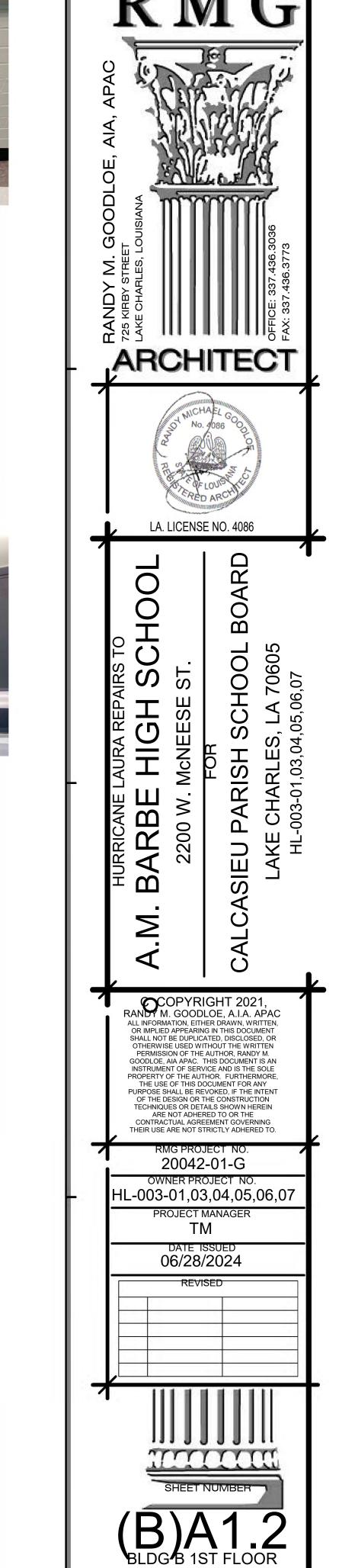




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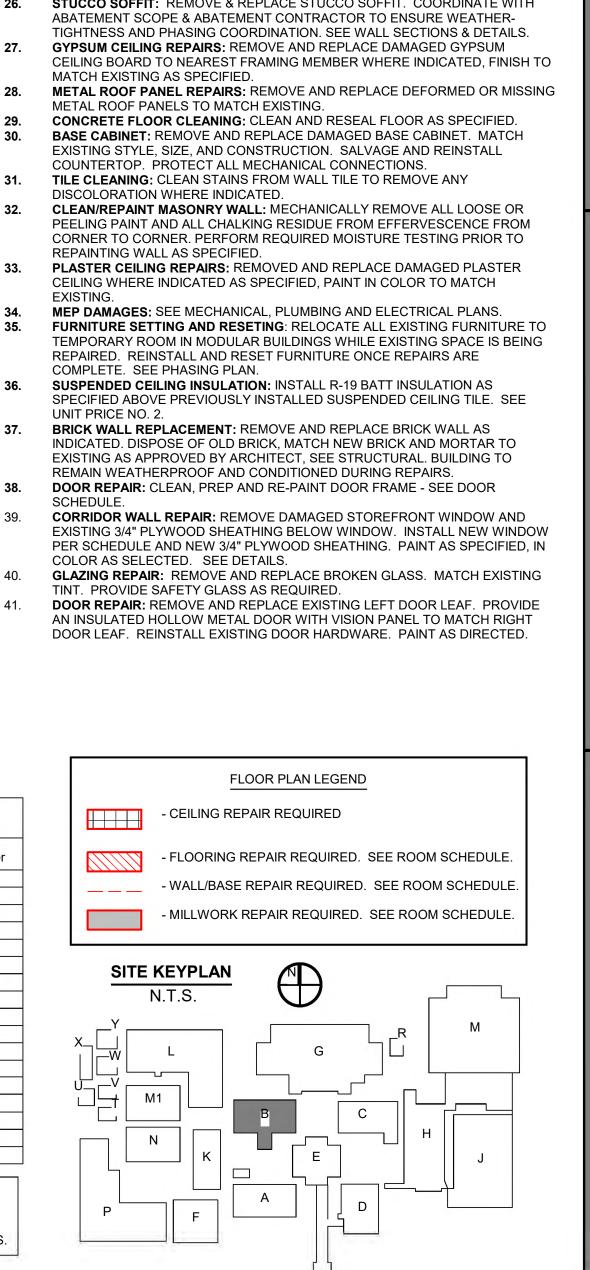


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ROOMS -BUILDING B2					
ROOM NUMBER	Area	Perimeter			
B201	646 SF	103' - 8"			
B202	661 SF	105' - 0"			
B203	640 SF	103' - 5"			
B204	635 SF	104' - 8"			
B205	663 SF	103' - 8"			
3206	658 SF	104' - 11"			
3207	635 SF	104' - 11"			
3208	224 SF	69' - 6"			
3209	41 SF	32' - 0"			
B210	7 SF	10' - 4"			
3211	311 SF	75' - 0"			
3212	4 SF	8' - 6"			
3213	121 SF	45' - 1"			
3214	284 SF	89' - 0"			
3215	314 SF	94' - 8"			
B216	210 SF	67' - 0"			
B217	74 SF	34' - 6"			

74 SF | 34' - 6" \*THESE MEASUREMENTS ARE APPROXIMATE TO BE USED AS GUIDELINES ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL FINAL MEASUREMENTS



**KEYNOTES** SUSPENDED ACOUSTIC CEILING REPLACEMENT: REMOVE AND REPLACE DAMAGED CEILING GRID AND CEILING TILE AS SPECIFIED.

CEILING GRID: REMOVE AND REPLACE DAMAGED CEILING GRID. MATCH EXISTING. SEE UNIT PRICE NO. 5 VCT FLOORING REPAIRS: REMOVE AND REPLACE VCT FLOORING AS SPECIFIED

ARCHITECT

LA. LICENSE NO. 4086

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IN AREAS WHERE INDICATED. SEE UNIT PRICE NO. 3. WINDOW REPAIRS: REPLACE BROKEN WINDOW PANES, BLOCKS, AND GASKETS

TO MATCH EXISTING. ALL SEALANTS SHALL BE REMOVED AND REPLACED AS

SPECIFIED TO ENSURE WEATHER TIGHT SEAL. SEE ELEVATIONS. STRUCTURAL CLAY BLOCK: GLAZED STRUCTURAL CLAY BLOCK TO BE REMOVED AND REPLACED AS SPECIFIED TO MATCH EXISTING. CLEAN ALL CHALKING RESIDUE FROM EFFERVESCENCE. SPECIFIED TO MATCH EXISTING. SEE UNIT PRICE NO. 4

VINYL BASE REPLACEMENT: REPLACE DAMAGED OR MISSING BASE AS CARPET REPAIRS: DAMAGED CARPET HAS BEEN REMOVED. CLEAN FLOOR AND INSTALL NEW CARPET TILE AS SPECIFIED. PAINTING: WALL SURFACE IS TO BE SANDED, PREPARED, AND REPAINT TO

MATCH EXISTING CORNER TO CORNER. WATER STAINED WALL FROM ROOF PAINTED CEILING STRUCTURE: CEILING INCLUDING METAL TRUSSES ARE TO BE CLEANED, PREPPED, AND REPAINTED END TO END TO MATCH EXISTING

VCT FLOORING CLEANING: CLEAN WATER STAINS FROM VCT FLOORING TO REMOVE ANY DISCOLORATION WHERE INDICATED. MOP AND WAX ALL VCT FLOORING AT THE END OF CONSTRUCTION.

**SKYLIGHT REPAIRS:** REMOVE AND REPLACE SKYLIGHT TO MATCH EXISTING. TERRAZZO FLOORING CLEANING: CLEAN AND POLISH EXISTING TERRAZZO FLOORING. REFER TO ROOM SCHEDULE FOR CLARITY. CEILING TILE REPLACEMENT: REMOVE AND REPLACE DAMAGED OR MISSING ACOUSTIC CEILING TILE WITH NEW CEILING TILE AS SPECIFIED IN AREAS INDICATED. MATCH EXISTING TYPE AND SIZE. SEE UNIT PRICE NO. 1. INSTALL R-30 BATT INSULATION OVER TILE. SEE UNIT PRICE NO. 2

EXTERIOR WINDOWS AND DOORS: CAULK AND RESEAL PERIMETER OF EXISTING WINDOWS AND DOORS.

CMU REPAIR: RE-POINT DAMAGED CMU JOINTS AS SHOWN. PAINT WALL FROM END TO END IN COLOR TO MATCH EXISTING AS SPECIFIED. SEE PHOTOS. BRICK REPAIR: CAULK CRACKED AREAS AND REPAINT.

LOCKERS: REPLACE DAMAGED UNITS AS SHOWN. MATCH EXISTING STYLE, BRICK WALLS: CLEAN ALL WATER STAINS FROM ENTIRE BRICK WALL SHELVING REPLACEMENT: REMOVE AND REPLACE DAMAGED SHELVING UNITS

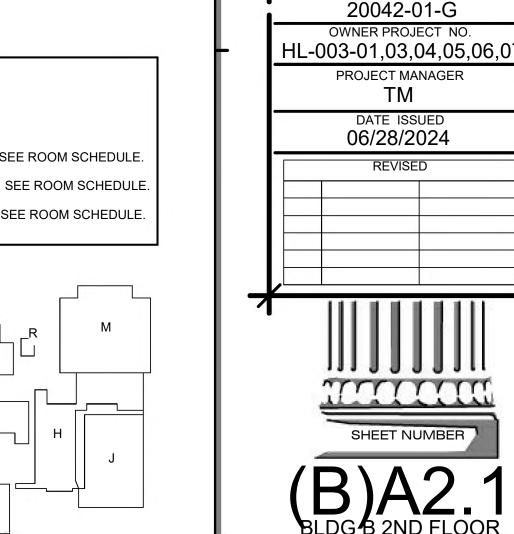
WITH **GLASS DOORS**. MATCH EXISTING MATERIALS, FINISHES AND CONSTRUCTION STYLE. 21. BASE CABINET: REMOVE AND REPLACE DAMAGED BASE CABINET. MATCH EXISTING STYLE, SIZE, AND CONSTRUCTION. SALVAGE AND REINSTALL

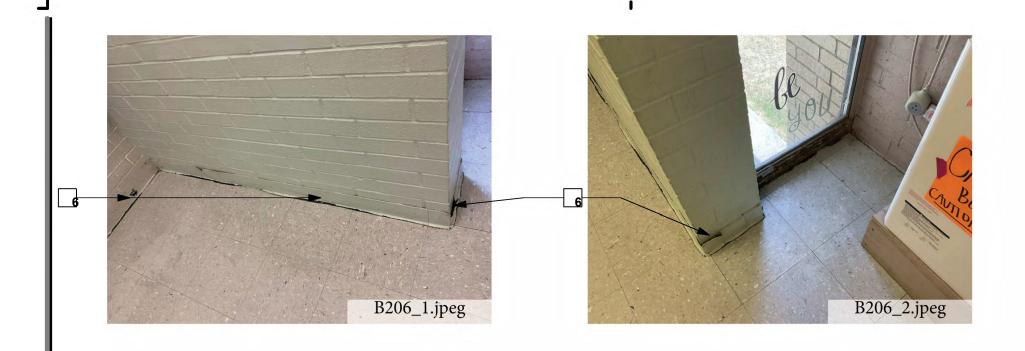
SECTIONAL DOOR: REMOVE AND REPLACE OVERHEAD SECETIONAL DOOR AS SPECIFIED. CONTRACTOR TO PROVIDE ANY ADDITIONAL SUPPORT REQUIRED BY THE MANUFACTURER. GYPSUM BOARD: REMOVE AND REPLACE DAMAGED GYPSUM BOARD TO NEAREST FRAMING MEMBER. FINISH AND RE-PAINT WALL CORNER TO

PREFINISHED GYPSUM BOARD WITH VINYL WALL COVER AND CORNER TRIM: REMOVE AND REPLACE DAMAGED VINYL COVERED GYPSUM BOARD FROM FLOOR TO CEILING WHERE INDICATED ON FLOOR PLAN.

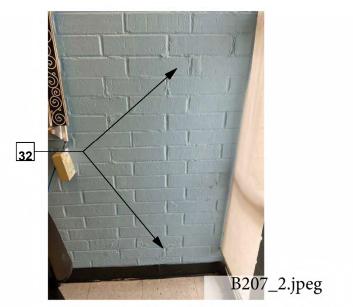
STOREFRONT WINDOW: REMOVE AND REPLACE STOREFRONT WINDOW AS

STUCCO SOFFIT: REMOVE & REPLACE STUCCO SOFFIT. COORDINATE WITH



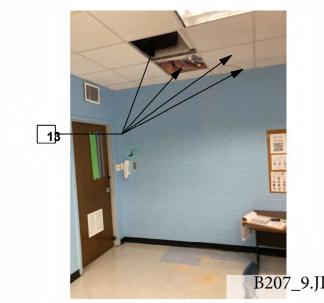


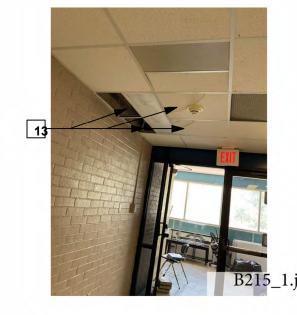


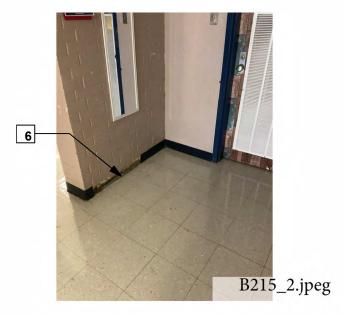


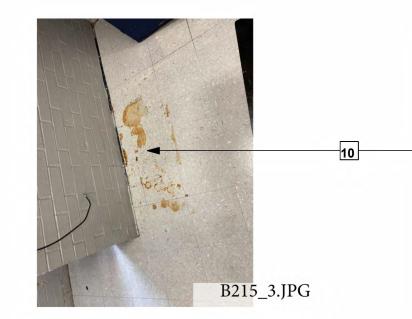


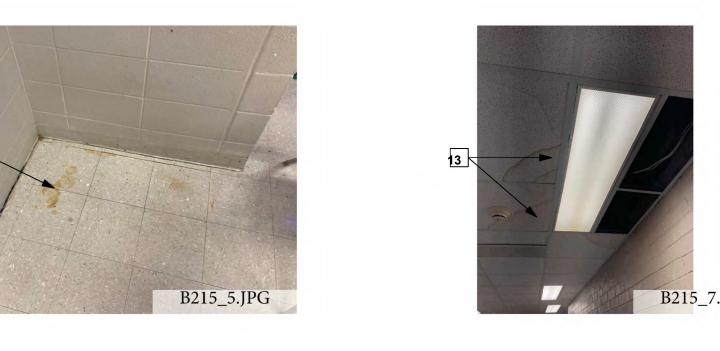


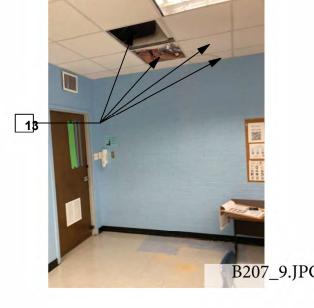




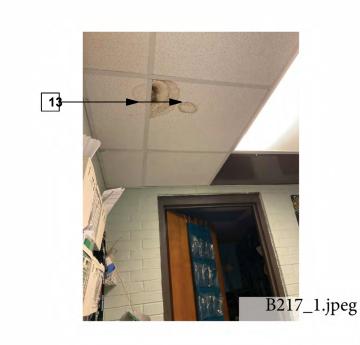


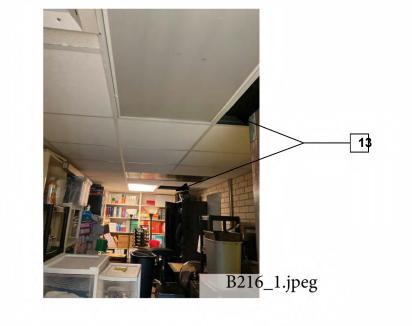


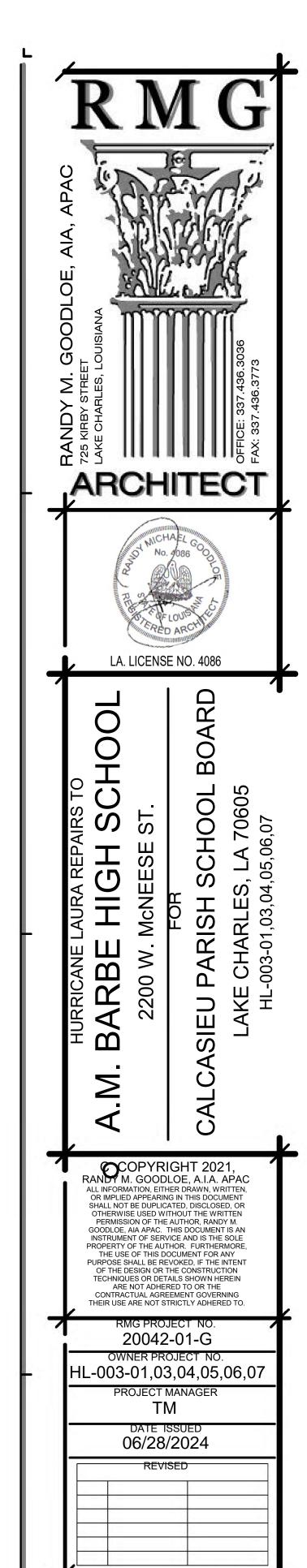


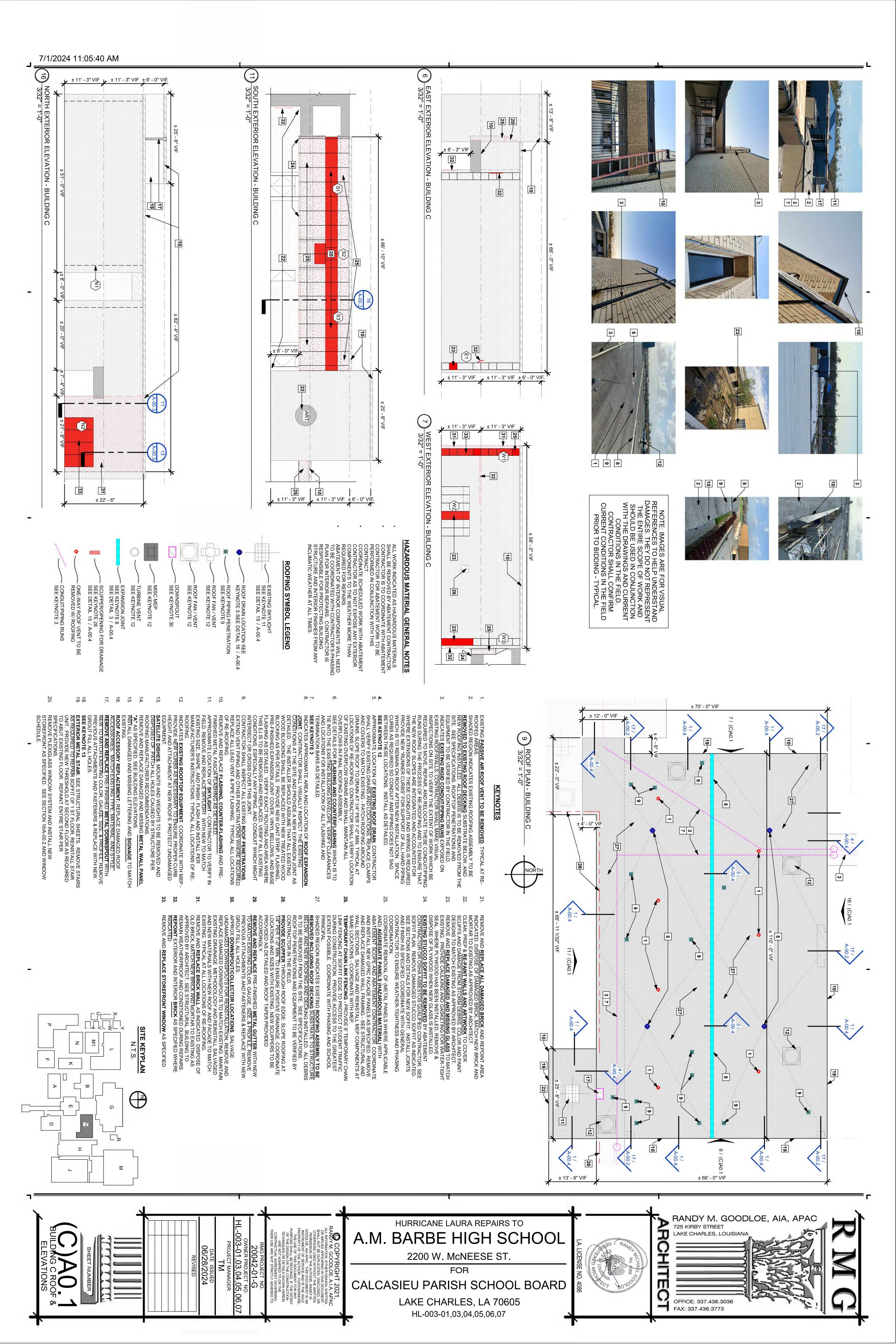


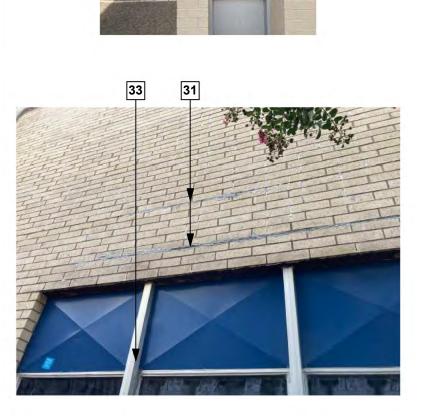




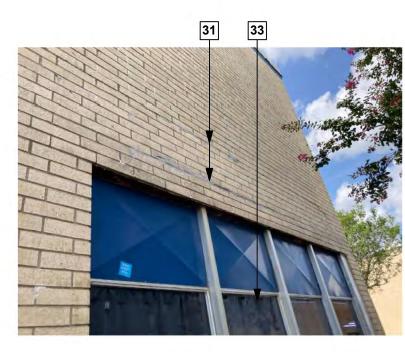






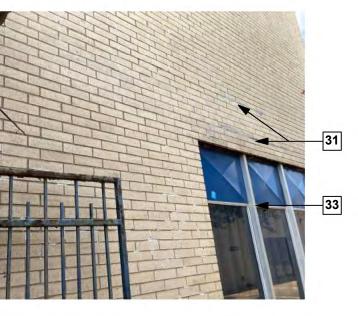




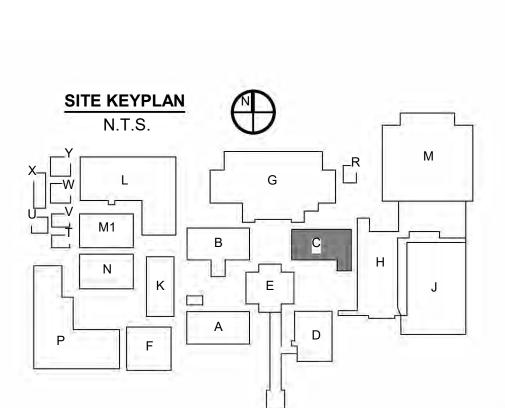














EXISTING **PASSIVE AIR ROOF VENT TO BE REMOVED**. TYPICAL AT RE-

SHADED REGION INDICATES EXISTING ROOFING ASSEMBLY TO BE REMOVED TO EXISTING ROOF DECKING SUBSTRATE BELOW, AND NEW ROOFING INSTALLED. ALL DEBRIS IS TO BE REMOVED FROM THE SITE. SEE SPECIFICATIONS. ROOFTOP PENETRATIONS AND EQUIPMENT TO BE VERIFIED BY CONTRACTOR IN THE FIELD.

INDICATES **EXISTING RIGID CONDUIT/PIPING RUNS** EXPOSED ON EXISTING ROOF, CONTRACTOR SHALL MAKE VISUAL INSPECTIONS ON SITE TO VERIFY THE EXTENT OF WORK WHICH BE REQUIRED TO MOVE, REPAIR, AND RELOCATE THESE CONDUIT/PIPING RUNS DURING THE PROCESS OF RE-ROOFING AND TO ENSURE THAT THE NEW ROOF

SLOPES ARE INTEGRATED AND ACCOUNTED FOR WHERE EXTENSIONS OF THESE CONDUITS AND WIRING IS REQUIRED. PROVIDE NEW "RUNNER CURBS" FOR SUPPORT OF ALL HARD PIPING WHICH IS TO REMAIN ON ROOF AFTER NEW INSTALLATION. SPACE CURBS AS REQUIRED SO CONDUIT AND PIPING DOES NOT SAG BETWEEN THESE LOCATIONS. INSTALL AS DETAILED. SEE KEYNOTE 12

APPROXIMATE LOCATION OF **EXISTING ROOF DRAIN**, CONTRACTOR SHALL VERIFY EXISTING DRAINS AND LOCATIONS. REPLACE CLAMPS AND COVERS TO MATCH EXISTING - PATCH ROOFING AROUND DRAINS. SLOPE ROOF TO DRAIN AT 1/4" PER 1'-0" MIN. TYPICAL AT LOCATIONS OF RE-ROOFING. CONTRACTOR SHALL VERIFY LOCATION OF EXISTING OVERFLOW DRAINS AND SHALL MAINTAIN ALL OVERFLOWS IN FINAL ROOFING ASSEMBLY.

SEE DETAILS FOR <u>FLASHING AND COUNTERFLASHING</u> WHICH IS TO TIE INTO THE EXISTING BUILDING ENVELOPE. VERIFY CLEARANCES AND LOCATIONS FOR INSTALLATION OF ALL FLASHING AND TERMINATION BARS AS DETAILED.

**SEE KEYNOTE 3** INDICATES APPROXIMATE AREA AND LOCATION OF **ROOF EXPANSION JOINT**. CONTRACTOR SHALL VISUALLY INSPECT THE EXISTING CONDITIONS AT THE SITE AND PROVIDE A NEW EXPANSION JOINT AS DETAILED. THE INSTALLER SHOULD ASSUME THAT ALL EXISTING WOOD BLOCKING SHALL BE REPLACED WITH NEW TREATED WOOD BLOCKING AS PER DETAILS. PROVIDE NEW CANT STRIP, FLASHING, PRE-FINISHED EXPANSION JOINT COVER, VINYL BELLOWS, AND BASE FLASHING AS DETAILED. VERIFY EXACT ROUTING AND AREA WHERE THIS EJ IS TO BE REMOVED AND REPLACED, VERIFY ALL EXISTING CONDITIONS, ESPECIALLY ANY PIPING, AND CONDUIT WHICH MIGHT INTERSECT OR CROSS OVER THIS JOINT.

CONTRACTOR SHALL INSPECT ALL EXISTING ROOF PENETRATIONS. EXTEND VENT PIPING AND OTHER PENETRATIONS WHERE REQUIRED. REPLACE ALL LEAD VENT & PIPE FLASHING. TYPICAL ALL LOCATIONS OF RE-ROOFING.

REMOVE AND REPLACE <u>FLASHING</u>, <u>COUNTER-FLASHING</u> AND PRE-FINISHED METAL FASCIA FLASHING AS DETAILED. APPROXIMATE LOCATION OF **SKYLIGHT** - CONTRACTOR TO VERIFY IN FIELD. REMOVE AND REPLACE SKYLIGHT WITH NEW, TO MATCH EXISTING SIZE, SHAPE, AND FINISH. FLASH AND INSTALL PER MANUFACTURER'S INSTRUCTIONS. TYPICAL ALL LOCATIONS OF RE-

INDICATES <u>EXISTING ROOFTOP EQUIPMENT</u>. COORDINATE WITH MEP - PROVIDE NEW CURBS AS NECESSARY TO ENSURE PROPER CURB HEIGHT AND ATTACHMENT AT NEW ROOFS. PROTECT UNDAMAGED EQUIPMENT. SATELLITE DISHES, MOUNTS AND WEIGHTS TO BE REMOVED AND DISPOSED OF. PATCH ALL HOLES CAUSED BY STRUCTURE PER

ROOFING MANUFACTURER RECOMMENDATIONS. REMOVE AND REPLACE DAMAGED AND MISSING METAL WALL PANEL **"E"** AS SPECIFIED. SEE BUILDING ELEVATIONS.

INSTALL DAMAGED AND MISSING LETTERING AND <u>SIGNAGE</u> TO MATCH

ROOF ACCESSORY REPLACEMENT: REPLACE DAMAGED ROOF
ACCESSORIES. MATCH EXISTING TYPE, MATERIAL, AND STYLE.
REMOVE AND REPLACE PRE-FINISHED METAL DOWNSPOUT WITH
NEW TO MATCH EXISTING COLOR, GAUGE, SIZE, & PROFILE. REMOVE PREVIOUS ATTACHMENTS AND FASTENERS & REPLACE WITH NEW. GROUT FILL ALL HOLES.

**SEE KEYNOTE 13** EXTERIOR METAL STAIR: SEE STRUCTURAL SHEETS. REMOVE STAIRS AS REQUIRED TO REPAIR SOFFIT OF 1 ST FLOOR, REINSTALL STAIR UNIT. PROVIDE NEW THRESHOLD AS REQUIRED TO ABUT EXISTING

REMOVE PLYWOOD AND INSTALL NEW CLEAR **PLEXIGLASS PANEL** TO MATCH ADJACENT PANELS. REMOVE AND REPLACE ACCOMPANYING

HORIZONTAL AND VERTICAL MULLIONS WHERE PLYWOOD IS REMOVE AND REPLACE DAMAGED BRICK FACADE AND MORTAR AS

INDICATED. DISPOSE OF DAMAGED BRICK, MATCH NEW BRICK AND MORTAR TO EXISTING AS APPROVED BY ARCHITECT, PRESERVE SUBSTRATE. REMOVE OLD BRICK TIES AND WATER PROOFING, INSTALL NEW WATERPROOFING AND BRICK TIES AT A MIN. OF 24" O.C. VERTICAL AND HORIZONTAL. WATERPROOFING TO BE TAPED WITH MANUFACTURER APPROVED TAPE AND LAPPED TO PREVENT MOISTURE PENETRATION INTO THE BUILDING ENVELOPE.

CLEAN, PREP & **RE-PAINT WALLS AND ARTWORK** TO COVER SCUFFS AND DAMAGE FROM STORM DEBRIS. COLOR AND PAINT DESIGNS TO MATCH EXISTING AS APPROVED BY ARCHITECT.

REMOVE AND <u>REPLACE DAMAGED AND MISSING GLASS</u> TO MATCH EXISTING. PROVIDE CAULKING AND GASKETING FOR WATER-TIGHT SEAL. WHERE PLYWOOD HAS BEEN INSTALLED, REMOVE & DISPOSE OF PLYWOOD WHEN NEW GLASS IS INSTALLED.

EXISTING STUCCO SOFFIT TO BE REMOVED BY ABATEMENT CONTRACTOR. INSTALL NEW 5/8" GLASS-MAT GYPSUM BOARD ON NEW METAL SUSPENSION SYSTEM AS SPECIFIED. INSTALL NEW CEMENT BOARD STUCCO SYSTEM FINISH AS SPECIFIED. COORDINATE WITH ABATEMENT SCOPE & ABATEMENT CONTRACTOR TO ENSURE WEATHER-TIGHTNESS AND PHASING COORDINATION. COORDINATE REMOVAL OF (METAL PANELS WHERE APPLICABLE AND) AGGREGATE PANELS (HAZARDOUS MATERIAL) WITH ABATEMENT

SCOPE AND ABATEMENT CONTRACTOR. COORDINATE AND INSTALL NEW FACADE PANELS AS SPECIFIED. SALVAGE AND REINSTALL MEP COMPONENTS AT SAME LOCATIONS - COORDINATE WITH MEP. **SEE KEYNOTE 3** 

SHADED REGION INDICATES EXISTING ROOFING ASSEMBLY TO BE REMOVED INCLUDING ROOF DECKING SUBSTRATE TO STRUCTURE BELOW, AND NEW ROOFING AND DECKING INSTALLED. ALL DEBRIS IS TO BE REMOVED FROM THE SITE. SEE SPECIFICATIONS. ROOFTOP PENETRATIONS AND EQUIPMENT TO BE VERIFIED BY CONTRACTOR IN PROVIDE SCUPPER THROUGH ROOF EDGE. SLOPE ROOFING AT 1/4"

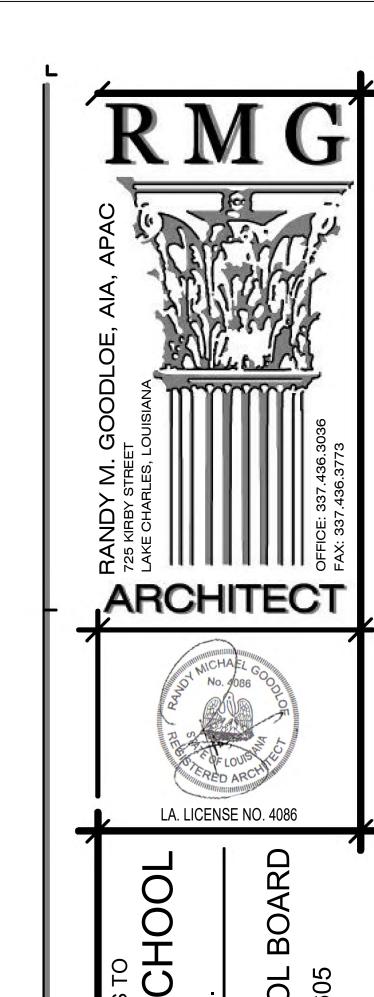
PER 1'-0" MIN. TO ENSURE POSITIVE DRAINAGE. COORDINATE LOCATIONS AND SIZES WITH EXISTING. NEW SCUPPERS TO BE PROVIDED AS DETAILED AND ROOF TAPER PROVIDED ACCORDINGLY. REMOVE AND REPLACE PRE-FINISHED METAL GUTTER WITH NEW TO MATCH EXISTING COLOR, GAUGE, SIZE, & PROFILE. REMOVE PREVIOUS ATTACHMENTS AND FASTENERS & REPLACE WITH NEW.

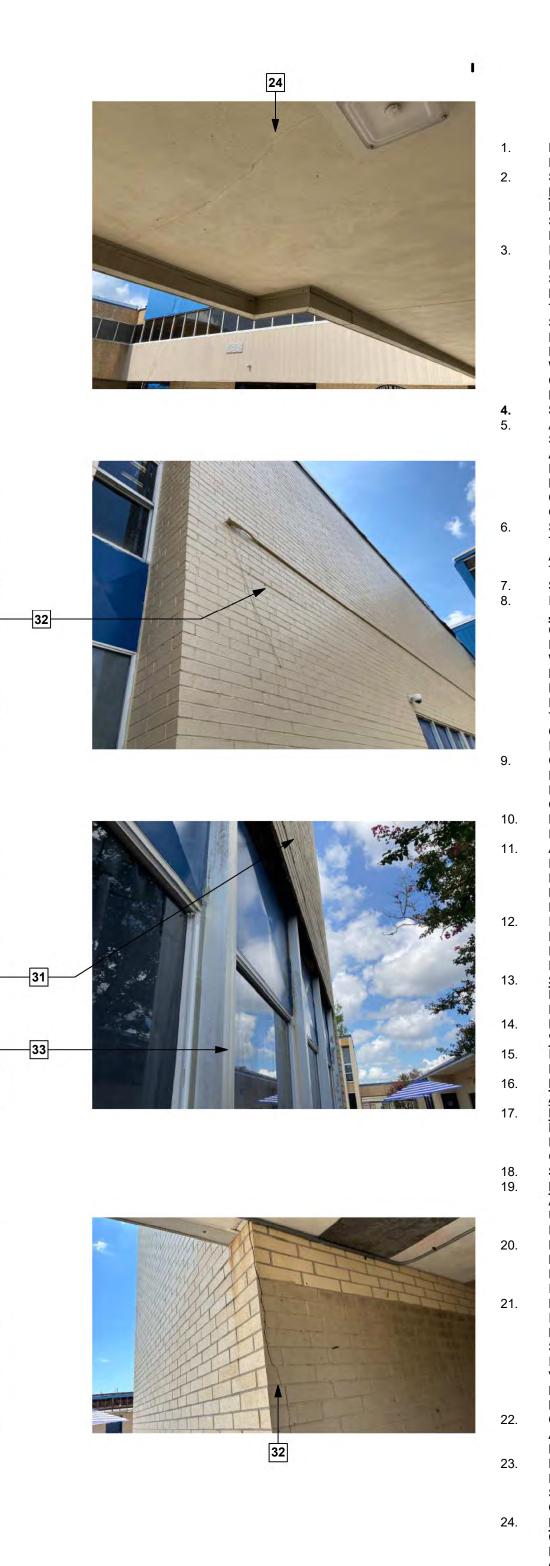
GROUT FILL ALL HOLES. **30.** APPROX **DOWNSPOUT/COLLECTOR LOCATIONS**. SALVAGE UNDAMAGED DOWNSPOUTS FOR REINSTALLATION, REMOVE AND REPLACE DAMAGED DOWNSPOUTS TO MATCH EXISTING. MAINTAIN EXISTING DRAINAGE METHODOLOGY AND REINSTALL SALVAGED AND NEW MATERIALS WITH NEW ROOF AND FACADE TO MATCH EXISTING.

TYPICAL AT ALL LOCATIONS OF RE-ROOFING. REMOVE AND REPLACE BRICK WALL AS INDICATED. DISPOSE OF OLD BRICK, MATCH NEW BRICK AND MORTAR TO EXISTING AS SPPROVED BY ARCHITECT, SEE STRUCRUAL. BUILDING TO REMAIN

WEATHERPROOF AND CONDITIONED DURING REPAIRS. REPOINT EXTERIOR AND INTERIOR BRICK AS SPECIFED WHERE INDICATED, REPAINT IN COLOR TO MATCH EXISITING FROM END TO

33. REMOVE AND REPLACE STOREFRONT WINDOW AS SPECIFIED.







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RMG PROJECT NO.

20042-01-G

OWNER PROJECT NO.

HL-003-01.03.04.05.06.07

PROJECT MANAGER

DATE ISSUED 06/28/2024

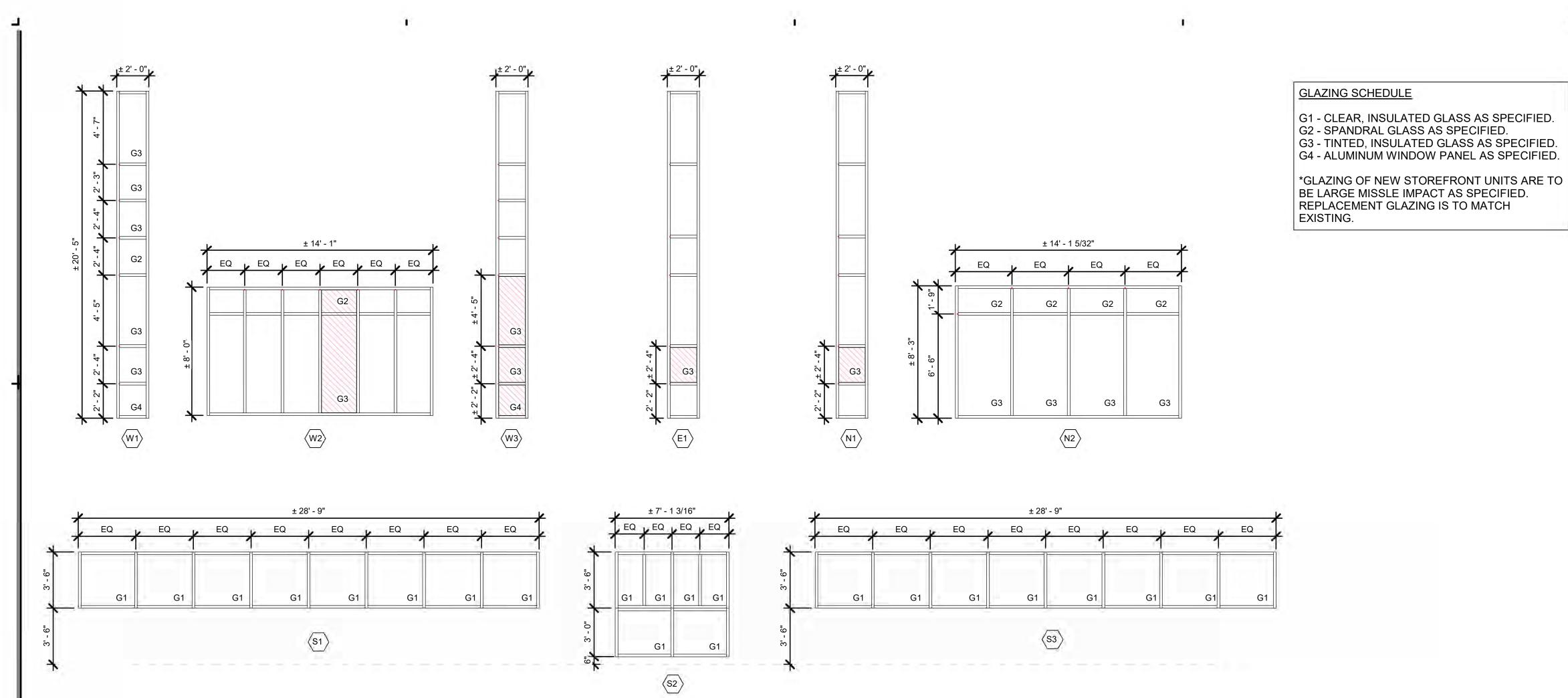
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SHEET NUMBER

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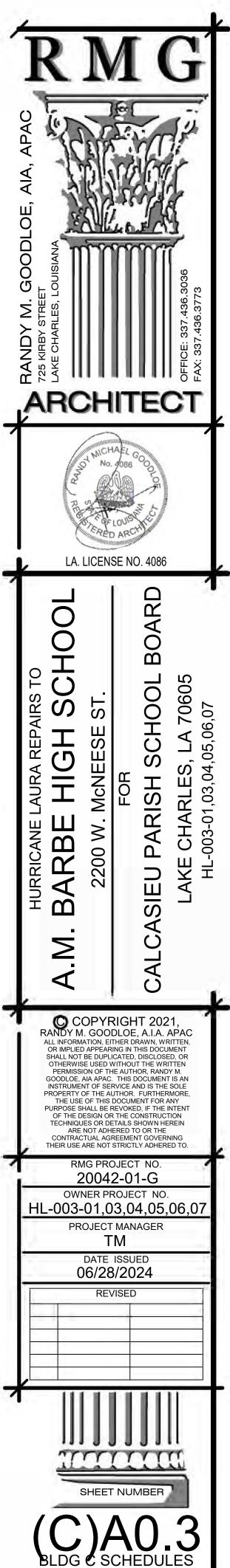
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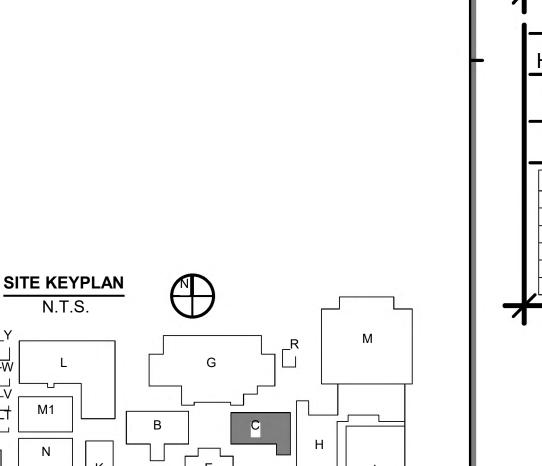
# FLOOR PLAN LEGEND

- CEILING REPAIR REQUIRED

FLOORING REPAIR REQUIRED. SEE ROOM SCHEDULE - WALL/BASE REPAIR REQUIRED. SEE ROOM SCHEDULE - MILLWORK REPAIR REQUIRED. SEE ROOM SCHEDULE.

0						
ROOMS -BUILDING C1						
ROOM	1					
NUMBER	Area	Perimeter				
C101	692 SF	107' - 3"				
C102	689 SF	108' - 3"				
C103	499 SF	89' - 5"				
C104	513 SF	90' - 7"				
C105	305 SF	75' - 9"				
C108	352 SF	106' - 3"				
C113	73 SF	34' - 4"				
C114	257 SF	80' - 3"				
C115	524 SF	91' - 8"				
C116	251 SF	78' - 10"				
C117	58 SF	30' - 7"				
C118	40 SE	26' - 10"				

43' - 5" 93 SF \*THESE MEASUREMENTS ARE APPROXIMATE TO BE USED AS GUIDELINES ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL FINAL MEASUREMENTS.



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SUSPENDED ACOUSTIC CEILING REPLACEMENT: REMOVE AND REPLACE DAMAGED CEILING GRID AND CEILING TILE AS SPECIFIED.

**KEYNOTES** 

CEILING GRID: REMOVE AND REPLACE DAMAGED CEILING GRID. MATCH EXISTING. SEE UNIT PRICE NO. 5 VCT FLOORING REPAIRS: REMOVE AND REPLACE VCT FLOORING AS SPECIFIED IN AREAS WHERE INDICATED. SEE UNIT PRICE NO. 3. WINDOW REPAIRS: REPLACE BROKEN WINDOW PANES, BLOCKS, AND GASKETS TO MATCH EXISTING. ALL SEALANTS SHALL BE REMOVED AND REPLACED AS SPECIFIED TO ENSURE WEATHER TIGHT SEAL. SEE ELEVATIONS.

CHALKING RESIDUE FROM EFFERVESCENCE.

STRUCTURAL CLAY BLOCK: GLAZED STRUCTURAL CLAY BLOCK TO BE VINYL BASE REPLACEMENT: REPLACE DAMAGED OR MISSING BASE AS SPECIFIED TO MATCH EXISTING. SEE UNIT PRICE NO. 4

REMOVED AND REPLACED AS SPECIFIED TO MATCH EXISTING. CLEAN ALL

CARPET REPAIRS: DAMAGED CARPET HAS BEEN REMOVED. CLEAN FLOOR AND INSTALL NEW CARPET TILE AS SPECIFIED.

PAINTING: WALL SURFACE IS TO BE SANDED, PREPARED, AND REPAINT TO MATCH EXISTING CORNER TO CORNER. WATER STAINED WALL FROM ROOF

PAINTED CEILING STRUCTURE: CEILING INCLUDING METAL TRUSSES ARE TO

BE CLEANED, PREPPED, AND REPAINTED END TO END TO MATCH EXISTING VCT FLOORING CLEANING: CLEAN WATER STAINS FROM VCT FLOORING TO REMOVE ANY DISCOLORATION WHERE INDICATED. MOP AND WAX ALL VCT

FLOORING AT THE END OF CONSTRUCTION.

**SKYLIGHT REPAIRS:** REMOVE AND REPLACE SKYLIGHT TO MATCH EXISTING. TERRAZZO FLOORING CLEANING: CLEAN AND POLISH EXISTING TERRAZZO FLOORING. REFER TO ROOM SCHEDULE FOR CLARITY. CEILING TILE REPLACEMENT: REMOVE AND REPLACE DAMAGED OR MISSING ACOUSTIC CEILING TILE WITH NEW CEILING TILE AS SPECIFIED IN AREAS INDICATED. MATCH EXISTING TYPE AND SIZE. SEE UNIT PRICE NO. 1. INSTALL

R-30 BATT INSULATION OVER TILE. SEE UNIT PRICE NO. 2 EXTERIOR WINDOWS AND DOORS: CAULK AND RESEAL PERIMETER OF EXISTING WINDOWS AND DOORS.

CMU REPAIR: RE-POINT DAMAGED CMU JOINTS AS SHOWN. PAINT WALL FROM END TO END IN COLOR TO MATCH EXISTING AS SPECIFIED. SEE PHOTOS. BRICK REPAIR: CAULK CRACKED AREAS AND REPAINT.

LOCKERS: REPLACE DAMAGED UNITS AS SHOWN. MATCH EXISTING STYLE, BRICK WALLS: CLEAN ALL WATER STAINS FROM ENTIRE BRICK WALL

SHELVING REPLACEMENT: REMOVE AND REPLACE DAMAGED SHELVING UNITS WITH **GLASS DOORS**. MATCH EXISTING MATERIALS, FINISHES AND CONSTRUCTION STYLE.

BASE CABINET: REMOVE AND REPLACE DAMAGED BASE CABINET. MATCH

EXISTING STYLE, SIZE, AND CONSTRUCTION. SALVAGE AND REINSTALL SECTIONAL DOOR: REMOVE AND REPLACE OVERHEAD SECETIONAL DOOR AS

SPECIFIED. CONTRACTOR TO PROVIDE ANY ADDITIONAL SUPPORT REQUIRED BY THE MANUFACTURER. GYPSUM BOARD: REMOVE AND REPLACE DAMAGED GYPSUM BOARD TO NEAREST FRAMING MEMBER. FINISH AND RE-PAINT WALL CORNER TO

24. PREFINISHED GYPSUM BOARD WITH VINYL WALL COVER AND CORNER TRIM: REMOVE AND REPLACE DAMAGED VINYL COVERED GYPSUM BOARD FROM FLOOR TO CEILING WHERE INDICATED ON FLOOR PLAN. STOREFRONT WINDOW: REMOVE AND REPLACE STOREFRONT WINDOW AS

STUCCO SOFFIT: REMOVE & REPLACE STUCCO SOFFIT. COORDINATE WITH ABATEMENT SCOPE & ABATEMENT CONTRACTOR TO ENSURE WEATHER-TIGHTNESS AND PHASING COORDINATION. SEE WALL SECTIONS & DETAILS. GYPSUM CEILING REPAIRS: REMOVE AND REPLACE DAMAGED GYPSUM

CEILING BOARD TO NEAREST FRAMING MEMBER WHERE INDICATED, FINISH TO MATCH EXISTING AS SPECIFIED. METAL ROOF PANEL REPAIRS: REMOVE AND REPLACE DEFORMED OR MISSING METAL ROOF PANELS TO MATCH EXISTING.

CONCRETE FLOOR CLEANING: CLEAN AND RESEAL FLOOR AS SPECIFIED. BASE CABINET: REMOVE AND REPLACE DAMAGED BASE CABINET. MATCH

EXISTING STYLE, SIZE, AND CONSTRUCTION. SALVAGE AND REINSTALL COUNTERTOP. PROTECT ALL MECHANICAL CONNECTIONS. TILE CLEANING: CLEAN STAINS FROM WALL TILE TO REMOVE ANY

DISCOLORATION WHERE INDICATED. CLEAN/REPAINT MASONRY WALL: MECHANICALLY REMOVE ALL LOOSE OR PEELING PAINT AND ALL CHALKING RESIDUE FROM EFFERVESCENCE FROM REPAINTING WALL AS SPECIFIED.

CORNER TO CORNER. PERFORM REQUIRED MOISTURE TESTING PRIOR TO

PLASTER CEILING REPAIRS: REMOVED AND REPLACE DAMAGED PLASTER CEILING WHERE INDICATED AS SPECIFIED, PAINT IN COLOR TO MATCH

MEP DAMAGES: SEE MECHANICAL, PLUMBING AND ELECTRICAL PLANS. FURNITURE SETTING AND RESETING: RELOCATE ALL EXISTING FURNITURE TO TEMPORARY ROOM IN MODULAR BUILDINGS WHILE EXISTING SPACE IS BEING REPAIRED. REINSTALL AND RESET FURNITURE ONCE REPAIRS ARE COMPLETE. SEE PHASING PLAN.

SUSPENDED CEILING INSULATION: INSTALL R-19 BATT INSULATION AS SPECIFIED ABOVE PREVIOUSLY INSTALLED SUSPENDED CEILING TILE. SEE UNIT PRICE NO. 2.

BRICK WALL REPLACEMENT: REMOVE AND REPLACE BRICK WALL AS INDICATED. DISPOSE OF OLD BRICK, MATCH NEW BRICK AND MORTAR TO

EXISTING AS APPROVED BY ARCHITECT, SEE STRUCTURAL. BUILDING TO REMAIN WEATHERPROOF AND CONDITIONED DURING REPAIRS. DOOR REPAIR: CLEAN, PREP AND RE-PAINT DOOR FRAME - SEE DOOR

SCHEDULE.

CORRIDOR WALL REPAIR: REMOVE DAMAGED STOREFRONT WINDOW AND EXISTING 3/4" PLYWOOD SHEATHING BELOW WINDOW. INSTALL NEW WINDOW PER SCHEDULE AND NEW 3/4" PLYWOOD SHEATHING. PAINT AS SPECIFIED, IN COLOR AS SELECTED. SEE DETAILS. GLAZING REPAIR: REMOVE AND REPLACE BROKEN GLASS. MATCH EXISTING TINT. PROVIDE SAFETY GLASS AS REQUIRED.

DOOR REPAIR: REMOVE AND REPLACE EXISTING LEFT DOOR LEAF. PROVIDE

AN INSULATED HOLLOW METAL DOOR WITH VISION PANEL TO MATCH RIGHT DOOR LEAF. REINSTALL EXISTING DOOR HARDWARE. PAINT AS DIRECTED.

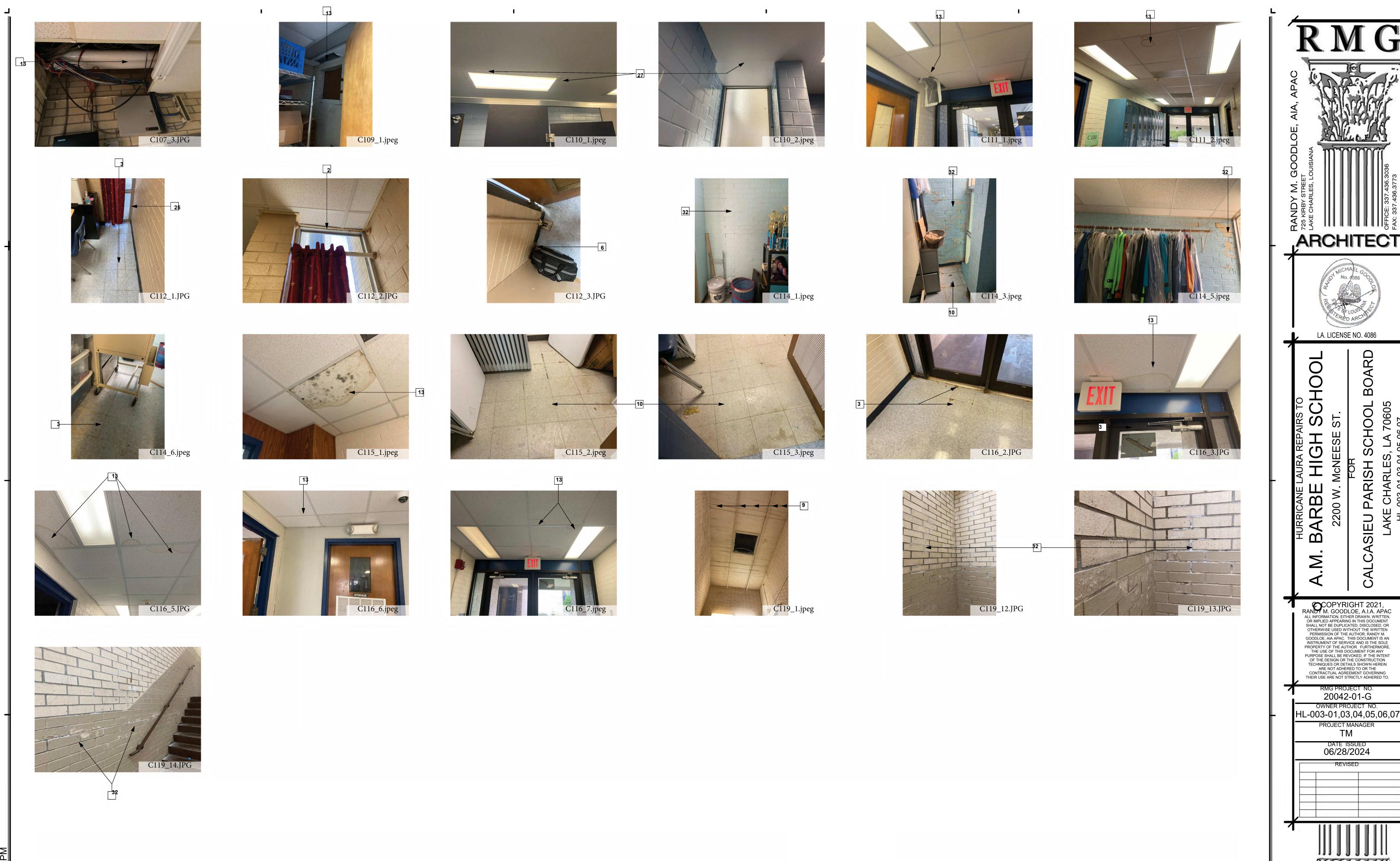
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HL-003-01,03,04,05,06,0 PROJECT MANAGER TM DATE ISSUED 06/28/2024

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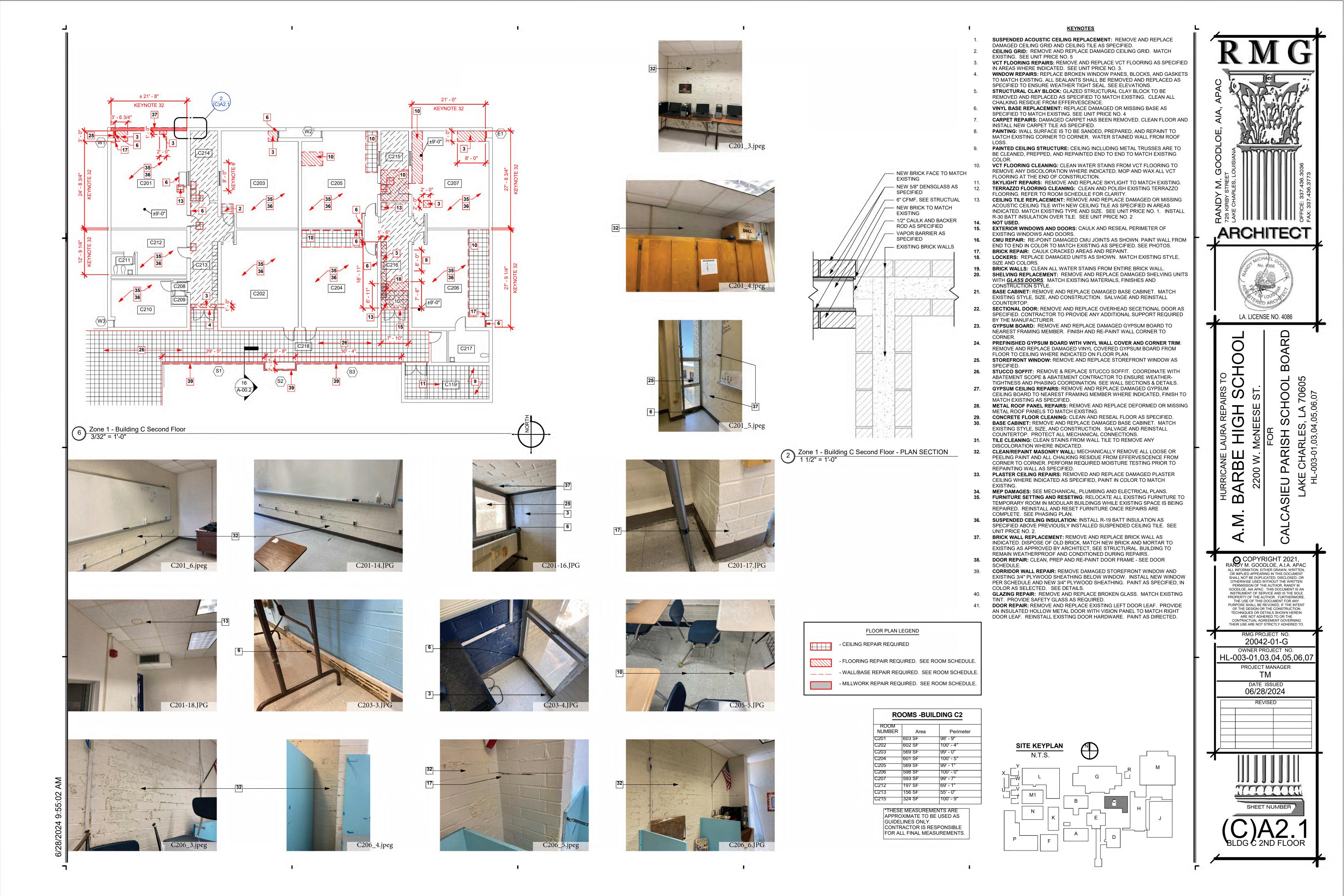
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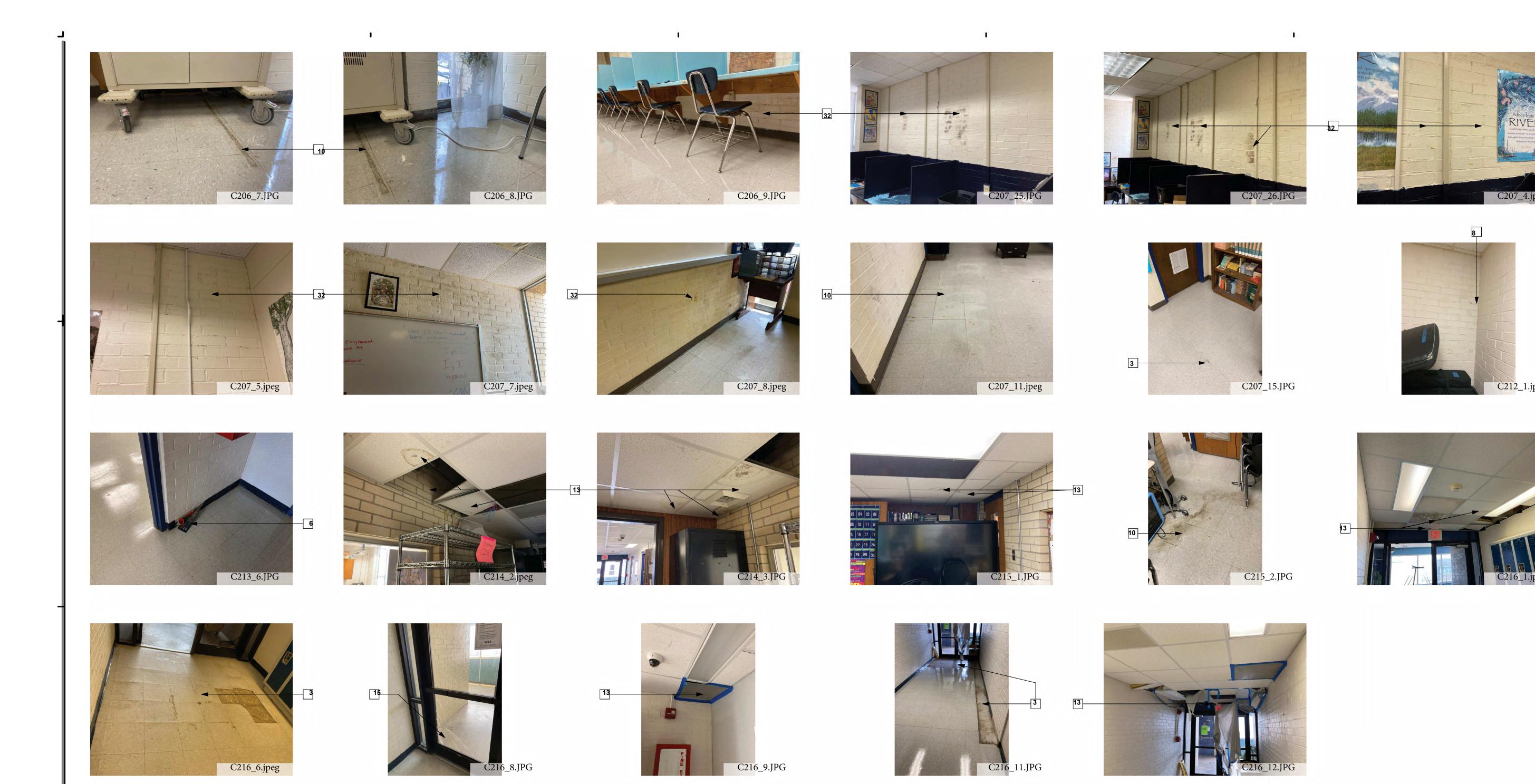
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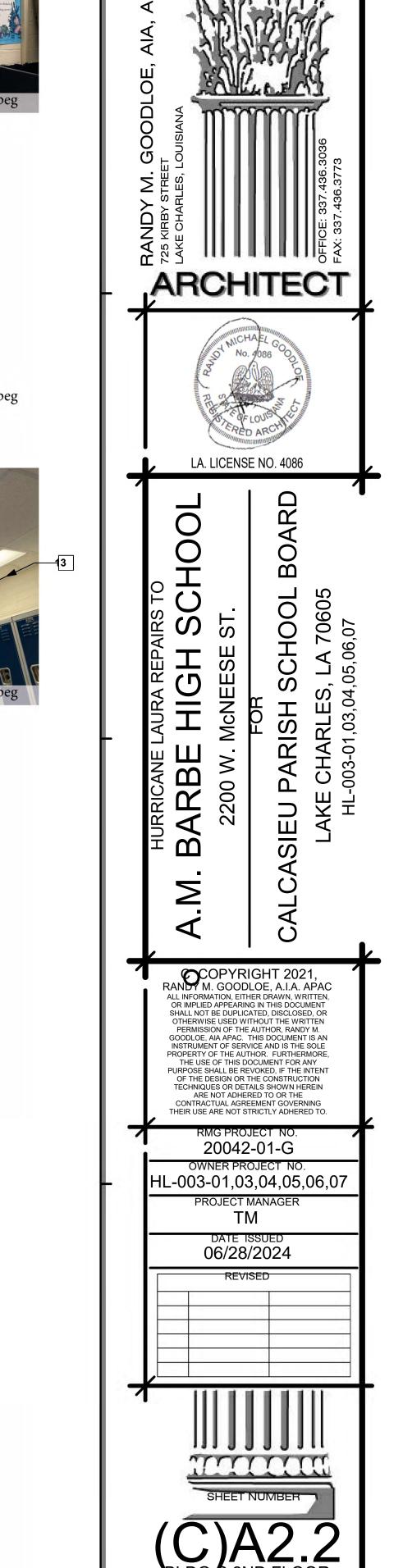
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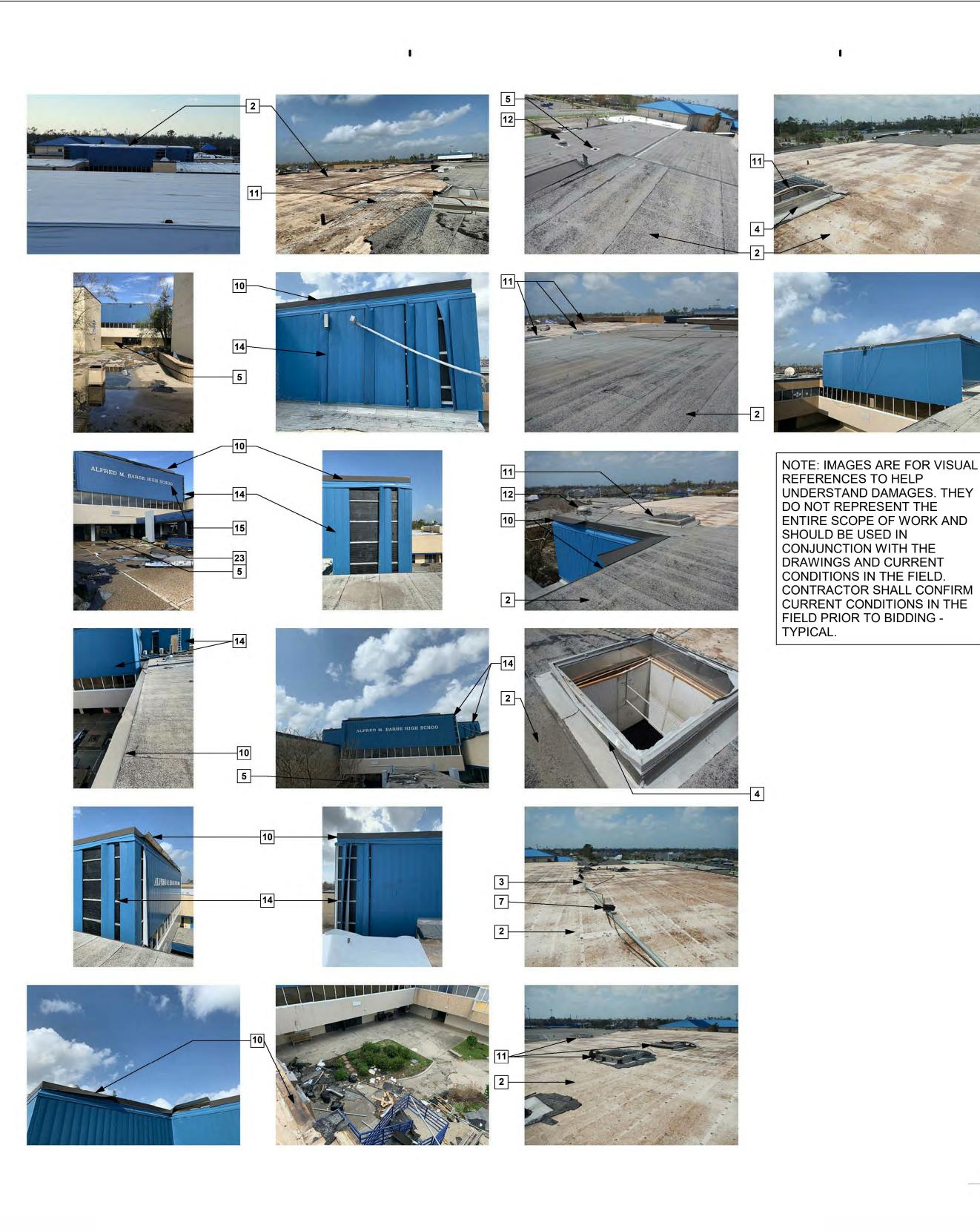
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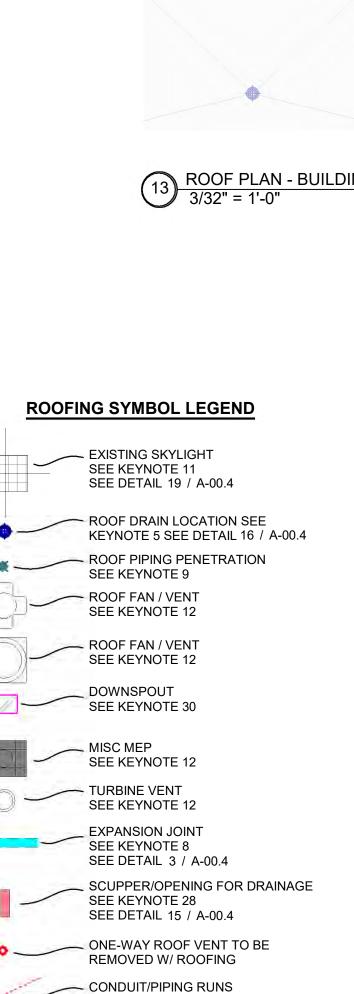
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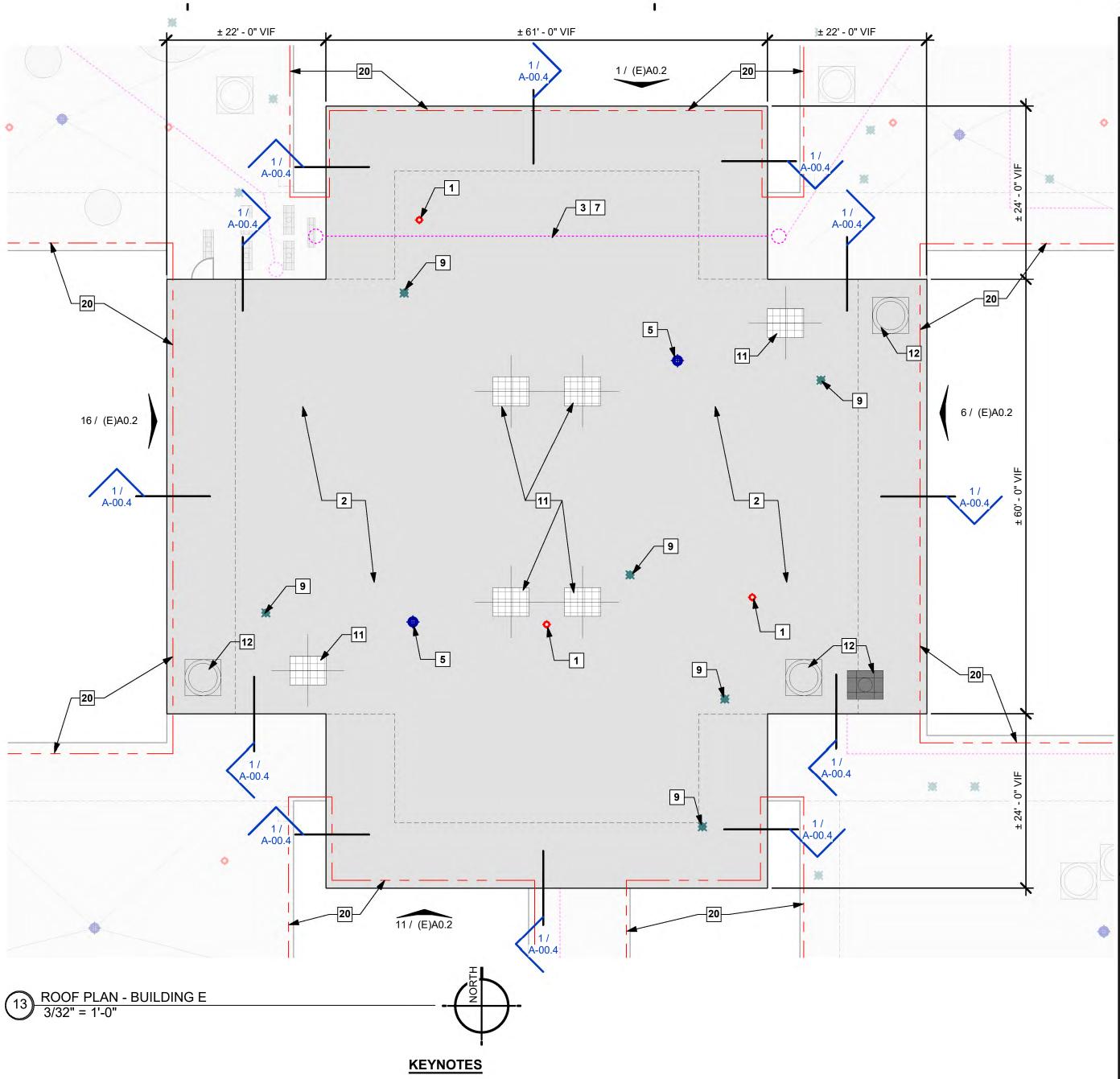








SEE KEYNOTE 3



PASSIVE AIR ROOF VENT REPLACEMENT: EXISTING PASSIVE AIR ROOF

REMOVED FROM THE SITE. SEE SPECIFICATIONS FOR EXTENT OF

EXPOSED ON EXISTING ROOF, CONTRACTOR SHALL MAKE VISUAL

INSPECTIONS ON SITE TO VERIFY THE EXTENT OF WORK WHICH BE

ROOF ASSEMBLY REPLACEMENT: SHADED REGION INDICATES EXISTING

RIGID CONDUIT REPAIR (VIF): INDICATES EXISTING RIGID CONDUIT RUNS

REQUIRED TO MOVE AND RELOCATE THESE CONDUIT RUNS DURING THE

ARE INTEGRATED AND ACCOUNTED FOR WHERE EXTENSIONS OF THESE

ROOF CURB REPLACEMENT: ALL EXISTING ROOF CURBS TO BE REMOVED

DRAIN, CONTRACTOR SHALL VISUALLY INSPECT ALL CONDITIONS REPLACE

CLEARANCES AND LOCATIONS FOR INSTALLATION OF ALL FLASHING AND

SUPPORT OF ALL HARD PIPING WHICH IS TO REMAIN ON ROOF AFTER NEW

ROOF EXPANSION JOINT REPAIR (VIF): INDICATES APPROXIMATE AREA AND

INSTALLER SHOULD ASSUME THAT ALL EXISTING WOOD BLOCKING SHALL

COVER, VINYL BELLOWS, AND BASE FLASHING AS DETAILED. VERIFY EXACT

ROUTING AND AREA WHERE THIS EJ IS TO BE REMOVED AND REPLACED,

PLUMBING VENT REPLACEMENT (VIF): CONTRACTOR SHALL VISUALLY

VERIFY ALL EXISTING CONDITIONS, ESPECIALLY ANY PIPING, AND CONDUIT

INSPECT ALL EXISTING ROOFING PLUMBING VENTS WHICH ARE TO REMAIN.

CONFIRM HEIGHTS OF VENT PIPING AND EXTEND WHERE REQUIRED DUE

TO INSTALLATION OF NEW TAPERED INSULATION. EXTEND ALL VENTS AS

REQUIRED TO MAINTAIN VERTICAL CLEARANCES CALLED FOR ON EACH

RELATED CONSTRUCTION DETAIL. REPLACE ALL LEAD VENT & PIPE

FLASHING REPLACEMENT: REMOVE AND REPLACE FLASHING, COUNTER-

SKYLIGHT REPLACEMENT: INSTALL NEW ALUMINUM SKYLIGHT GUARD TO

FLASHING AND PRE-FINISHED METAL FASCIA FLASHING AS DETAILED.

HVAC REPAIR (VIF): INDICATES EXISTING HVAC EQUIPMENT AT EXISTING

ROOF WHICH IS TO REMAIN. COORDINATE WORK INVOLVED WITH THIS

LOCATION OF ROOF EXPANSION JOINT. CONTRACTOR SHALL VISUALLY

INSPECT THE EXISTING CONDITIONS AT THE SITE AND PROVIDE A NEW

BE REPLACED WITH NEW TREATED WOOD BLOCKING AS PER DETAILS.

PROVIDE NEW CANT STRIP, FLASHING, PRE-FINISHED EXPANSION JOINT

EXPANSION JOINT AS DETAILED WITHIN THESE DOCUMENTS. THE

WHICH MIGHT INTERSECT OR CROSS OVER THIS JOINT.

ROOF DRAIN REPAIR (VIF): APPROXIMATE LOCATION OF EXISTING ROOF

DAMAGED COMPONENTS AND ADJUST TO NEW ROOF SLOPE.

FLASHING VIF: SEE DETAILS FOR FLASHING AND COUNTERFLASHING

WHICH IS TO TIE INTO THE EXISTING BUILDING ENVELOPE. VERIFY

RUNNER CURB INSTALLMENT: PROVIDE NEW "RUNNER CURBS" FOR

INSTALLATION. SPACE CURBS AS REQUIRED SO CONDUIT AND PIPING

DOES NOT SAG BETWEEN THESE LOCATIONS. INSTALL AS DETAILED.

PROCESS OF RE-ROOFING AND TO ENSURE THAT THE NEW ROOF SLOPES

ROOFING ASSEMBLY TO BE REMOVED TO EXISTING METAL ROOF DECKING

SUBSTRATE BELOW, AND NEW ROOFING INSTALLED. ALL DEBRIS IS TO BE

VENT TO BE REMOVED.

DEMOLITION AND SITE CONSTRAINTS.

CONDUITS AND WIRING IS REQUIRED.

TERMINATION BARS AS DETAILED.

FLASHING. TYPICAL ALL LOCATIONS.

AND REPLACED IN AREAS BEING RE-ROOFED.

EQUIPMENT AND NEW ROOFING ASSEMBLY SO AS TO NOT DISRUPT SERVICE TO THE EXISTING BUILDING. IF SERVICE IS REQUIRED TO BE TEMPORARILY SUSPENDED WHILE NEW WORK IS TAKING PLACE, THE CONTRACTOR SHALL COORDINATE ANY AND ALL OUTAGES WITH THE OWNER AND WILL BE REQUIRED TO ONLY PERFORM THIS WORK AT TIMES WHEN SUSPENSION OF THIS SERVICE MINIMALLY AFFECTS THE OWNERS USE OF THE BUILDING. IF THE SERVICE CANNOT BE SUSPENDED DURING OWNER'S OPERATING HOURS, WORK MAY HAVE TO BE PERFORMED AFTER HOURS, OR ON WEEKENDS. **SATELLITE INSTALLATION:** SEE DETAILS FOR SATELLITE MOUNTING UNIT. "A" METAL PANEL REPLACEMENT: METAL WALL PANEL "E" - REMOVE AND REPLACE DAMAGED/MISSING METAL WALL PANEL AS SPECIFIED. SEE BUILDING

**SIGNAGE INSTALLATION:** INSTALL MISSING LETTERING TO MATCH EXISTING. ROOF ACCESSORY REPLACEMENT: REPLACE DAMAGED ROOF ACCESSORIES. MATCH EXISTING TYPE, MATERIAL, AND STYLE.

**DOWNSPOUT AND GUTTER CLEANING: DOWNSPOUT/COLLECTOR LOCATIONS** SEE ELEVATIONS. CONTRACTOR IS TO REMOVE ALL DEBRIS FROM GUTTERS AND

LONGER IN USE. COPING: SEE ROOFING SHEETS FOR COPING, OVERHANG & ROOFING SCOPES -

THE GREATEST EXTENT POSSIBLE. COORDINATE WITH PHASING AND SCHOOL PRINCIPAL. WIND TURBINE REPLACEMENT: REMOVE AND REPLACE WIND TURBINE TO MATCH EXISTING.

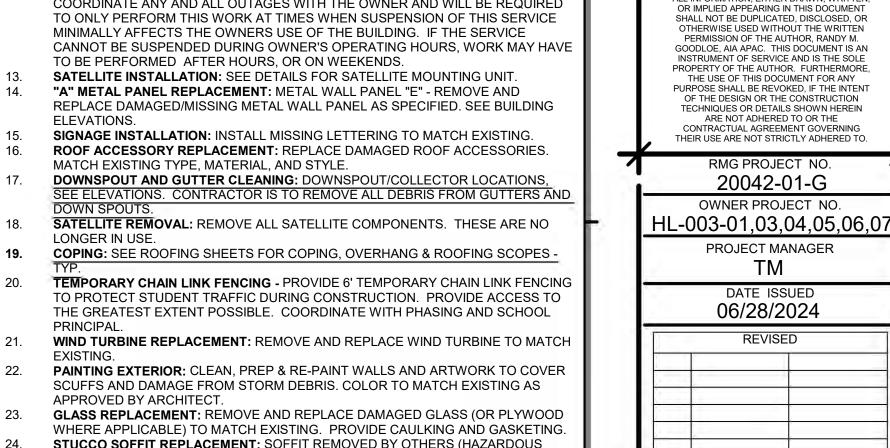
PAINTING EXTERIOR: CLEAN, PREP & RE-PAINT WALLS AND ARTWORK TO COVER SCUFFS AND DAMAGE FROM STORM DEBRIS. COLOR TO MATCH EXISTING AS APPROVED BY ARCHITECT.

GLASS REPLACEMENT: REMOVE AND REPLACE DAMAGED GLASS (OR PLYWOOD WHERE APPLICABLE) TO MATCH EXISTING. PROVIDE CAULKING AND GASKETING. STUCCO SOFFIT REPLACEMENT: SOFFIT REMOVED BY OTHERS (HAZARDOUS MATERIAL). COORDINATE AND INSTALL NEW STUCCO SOFFIT. COORDINATE REMOVAL OF AGGREGATE PANELS (HAZARDOUS MATERIAL) WITH

ABATEMENT SCOPE AND ABATEMENT CONTRACTOR. COORDINATE AND INSTALL NEW GFRC FACADE PANELS AS SPECIFIED. REMOVE AND REPLACE DAMAGED WALL FRAMING - SEE STRUCTURAL AND WALL SECTIONS. SALVAGE AND REINSTALL MEP COMPONENTS AT SAME LOCATIONS - COORDINATE WITH MEP. **DOWNSPOUT AND GUTTER REPLACEMENT:** REMOVE REMAINING ATTACHMENTS AND COMPONENTS OF DOWNSPOUT, GUTTER AND CONDUCTOR HEADS AND INSTALL NEW TO MATCH EXISTING COLOR, DIMENSION, GAUGE, AND MATERIAL GROUT HOLES AT OLD STRAPS PRIOR TO NEW INSTALLATION & ATTACH AT

INTERVALS EQUAL TO EXISTING SPACING. SALVAGE AND PREP REMAINING COMPONENTS FOR NEW INSTALLATION. CONTRACTOR IS TO REMOVE ALL DEBRIS FROM GUTTERS AND DOWN SPOUTS BRICK REPAIR: REMOVE AND REPLACE BRICK FACADE AS INDICATED. DISPOSE OF OLD BRICK, MATCH NEW BRICK AND MORTAR TO EXISTING AS APPROVED BY ARCHITECT. PRESERVE SUBSTRATE. REMOVE OLD BRICK TIES AND WATER

PROOFING, INSTALL NEW WATERPROOFING AND BRICK TIES AT A MIN. OF 24" O.C. VERTICAL AND HORIZONTAL PLASTER SOFFIT REPLACEMENT: REMOVE REMAINING VINYL SOFFIT AND REPLACE TO MATCH EXISTING - PRESERVE LIGHT & REINSTALL AS NECESSARY.



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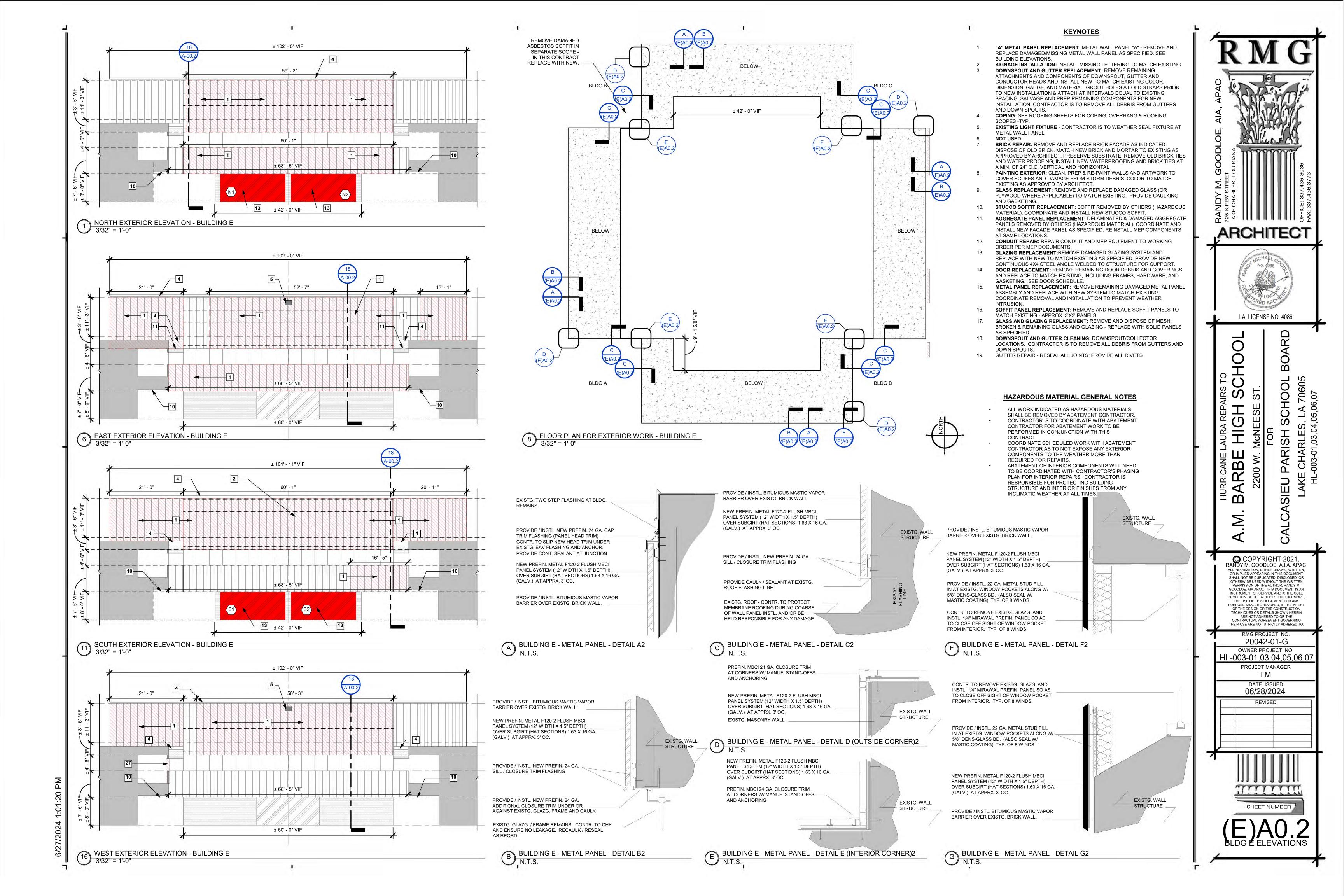
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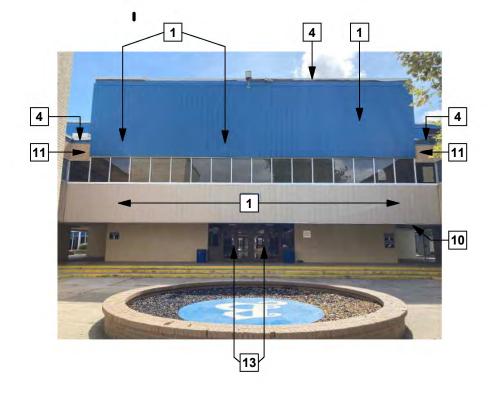
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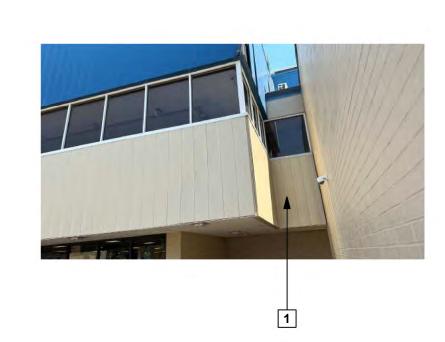
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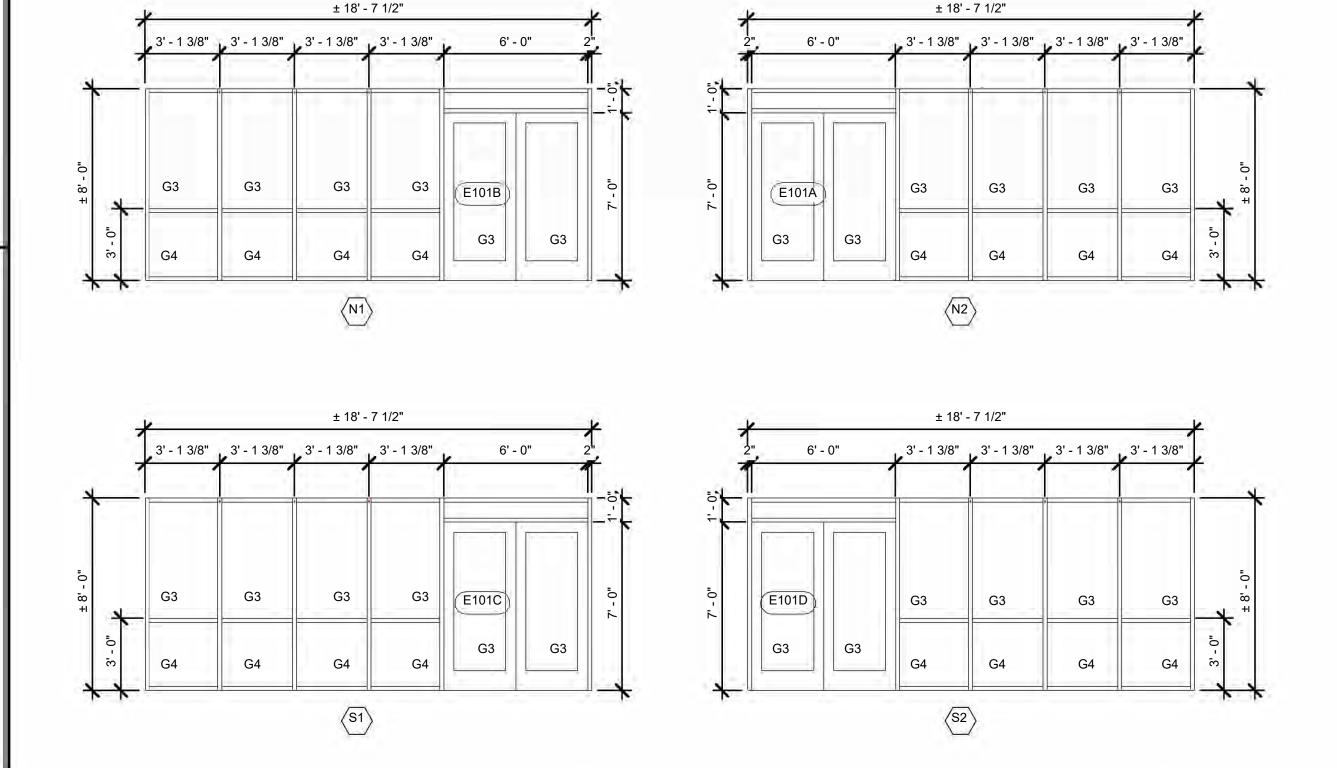




# **KEYNOTES**

- "A" METAL PANEL REPLACEMENT: METAL WALL PANEL "A" REMOVE AND REPLACE DAMAGED/MISSING METAL WALL PANEL AS SPECIFIED. SEE BUILDING ELEVATIONS. SIGNAGE INSTALLATION: INSTALL MISSING LETTERING TO MATCH EXISTING.
- **DOWNSPOUT AND GUTTER REPLACEMENT:** REMOVE REMAINING ATTACHMENTS AND COMPONENTS OF DOWNSPOUT, GUTTER AND CONDUCTOR HEADS AND INSTALL NEW TO MATCH EXISTING COLOR, DIMENSION, GAUGE, AND MATERIAL. GROUT HOLES AT OLD STRAPS PRIOR TO NEW INSTALLATION & ATTACH AT INTERVALS EQUAL TO EXISTING SPACING. SALVAGE AND PREP REMAINING COMPONENTS FOR NEW
- AND DOWN SPOUTS. **COPING:** SEE ROOFING SHEETS FOR COPING, OVERHANG & ROOFING
- SCOPES -TYP. **EXISTING LIGHT FIXTURE -** CONTRACTOR IS TO WEATHER SEAL FIXTURE AT METAL WALL PANEL.
- BRICK REPAIR: REMOVE AND REPLACE BRICK FACADE AS INDICATED. DISPOSE OF OLD BRICK, MATCH NEW BRICK AND MORTAR TO EXISTING AS APPROVED BY ARCHITECT. PRESERVE SUBSTRATE. REMOVE OLD BRICK TIES AND WATER PROOFING, INSTALL NEW WATERPROOFING AND BRICK TIES AT A MIN. OF 24" O.C. VERTICAL AND HORIZONTAL
- PAINTING EXTERIOR: CLEAN, PREP & RE-PAINT WALLS AND ARTWORK TO COVER SCUFFS AND DAMAGE FROM STORM DEBRIS. COLOR TO MATCH EXISTING AS APPROVED BY ARCHITECT.
- GLASS REPLACEMENT: REMOVE AND REPLACE DAMAGED GLASS (OR PLYWOOD WHERE APPLICABLE) TO MATCH EXISTING. PROVIDE CAULKING
- AND GASKETING. STUCCO SOFFIT REPLACEMENT: SOFFIT REMOVED BY OTHERS (HAZARDOUS
- MATERIAL). COORDINATE AND INSTALL NEW STUCCO SOFFIT. AGGREGATE PANEL REPLACEMENT: DELAMINATED & DAMAGED AGGREGATE PANELS REMOVED BY OTHERS (HAZARDOUS MATERIAL). COORDINATE AND INSTALL NEW FACADE PANEL AS SPECIFIED. REINSTALL MEP COMPONENTS AT SAME LOCATIONS.
- 12. **CONDUIT REPAIR:** REPAIR CONDUIT AND MEP EQUIPMENT TO WORKING ORDER PER MEP DOCUMENTS.
- GLAZING REPLACEMENT: REMOVE DAMAGED GLAZING SYSTEM AND REPLACE WITH NEW TO MATCH EXISTING AS SPECIFIED. PROVIDE NEW CONTINUOUS 4X4 STEEL ANGLE WELDED TO STRUCTURE FOR SUPPORT. DOOR REPLACEMENT: REMOVE REMAINING DOOR DEBRIS AND COVERINGS
- AND REPLACE TO MATCH EXISTING, INCLUDING FRAMES, HARDWARE, AND GASKETING. SEE DOOR SCHEDULE. METAL PANEL REPLACEMENT: REMOVE REMAINING DAMAGED METAL PANEL
- ASSEMBLY AND REPLACE WITH NEW SYSTEM TO MATCH EXISTING. COORDINATE REMOVAL AND INSTALLATION TO PREVENT WEATHER
- MATCH EXISTING APPROX. 3'X3' PANELS. GLASS AND GLAZING REPLACEMENT: REMOVE AND DISPOSE OF MESH, BROKEN & REMAINING GLASS AND GLAZING - REPLACE WITH SOLID PANELS
- AS SPECIFIED. **DOWNSPOUT AND GUTTER CLEANING: DOWNSPOUT/COLLECTOR** LOCATIONS. CONTRACTOR IS TO REMOVE ALL DEBRIS FROM GUTTERS AND
- DOWN SPOUTS. 19. GUTTER REPAIR - RESEAL ALL JOINTS; PROVIDE ALL RIVETS

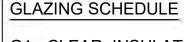
MARK	0175		FRAME	COMMENTS
	SIZE	TYPE	MATERIAL	COMMENTS
<b>N</b> 1	SEE ELEVATION	STOREFRONT	ALUMINUM, ANODIZED, DARK BRONZE	REPLACE ENTIRE UNIT
V2	SEE ELEVATION	STOREFRONT	ALUMINUM, ANODIZED, DARK BRONZE	REPLACE ENTIRE UNIT
S1	SEE ELEVATION	STOREFRONT	ALUMINUM, ANODIZED, DARK BRONZE	REPLACE ENTIRE UNIT
52	SEE ELEVATION	STOREFRONT	ALUMINUM, ANODIZED, DARK BRONZE	REPLACE ENTIRE UNIT



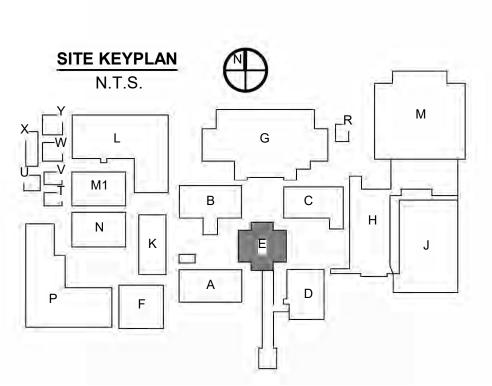
DOOR SCHEDULE										
NAADIC	OPEN	ING SIZE	LIADDIA/ADE	DOOR FRAME		01.400	00111515			
MARK	WIDTH	HEIGHT	HARDWARE	TYPE	MATERIAL	FINISH	MATERIAL	FINISH	GLASS	COMMENTS
E101A	6'-0"	7'-0"	H-1	STOREFRONT	ALUMINUM	DARK BRONZE	ALUMINUM	DARK BRONZE	G3	REPLACE ENTIRE UNIT
E101B	6'-0"	7'-0"	H-1	STOREFRONT	ALUMINUM	DARK BRONZE	ALUMINUM	DARK BRONZE	G3	REPLACE ENTIRE UNIT
E101C	6'-0"	7'-0"	H-1	STOREFRONT	ALUMINUM	DARK BRONZE	ALUMINUM	DARK BRONZE	G3	REPLACE ENTIRE UNIT
E101D	6'-0"	7'-0"	H-1	STOREFRONT	ALUMINUM	DARK BRONZE	ALUMINUM	DARK BRONZE	G3	REPLACE ENTIRE UNIT
	1	1								

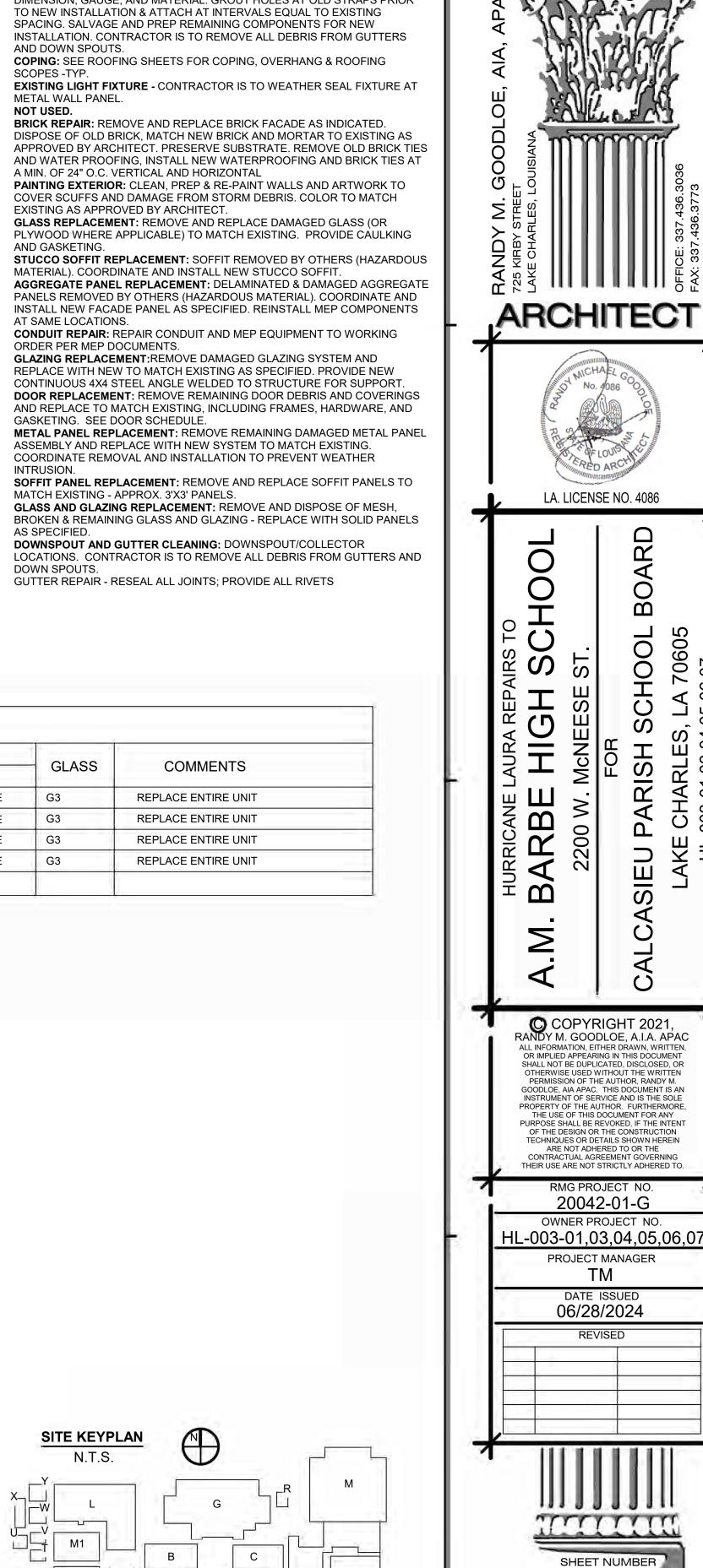
# DOOR HARDWARE

H-1 - STORM RATED UNIT - MUST BE SUPPLIED BY DOOR MANUFACTURER FROM TESTED UNITS AVAILABLE. CONTINUOUS HINGES, WEATHER STRIPPING, THRESHOLD, SILENCERS, HEAD/FOOT BOLT, FIRE EXIT DEVICE WITH LEVER SET, CLOSERS.



- G1 CLEAR, INSULATED GLASS AS SPECIFIED. G2 - SPANDRAL GLASS AS SPECIFIED.
- G3 TINTED, INSULATED GLASS AS SPECIFIED. G4 - ALUMINUM WINDOW PANEL AS SPECIFIED.
- \*GLAZING OF NEW STOREFRONT UNITS ARE TO BE LARGE MISSLE IMPACT AS SPECIFIED. REPLACEMENT GLAZING IS TO MATCH EXISTING.





REFERENCE IMAGES



**KEYNOTES** 

SUSPENDED ACOUSTIC CEILING REPLACEMENT: REMOVE AND REPLACE DAMAGED CEILING GRID AND CEILING TILE AS SPECIFIED.
 CEILING GRID: REMOVE AND REPLACE DAMAGED CEILING GRID. MATCH EXISTING. SEE UNIT PRICE NO. 5
 VCT FLOORING REPAIRS: REMOVE AND REPLACE VCT FLOORING AS SPECIFIED IN AREAS WHERE INDICATED. SEE UNIT PRICE NO. 3.
 WINDOW REPAIRS: REPLACE BROKEN WINDOW PANES, BLOCKS, AND GASKETS TO MATCH EXISTING. ALL SEALANTS SHALL BE REMOVED AND REPLACED AS SPECIFIED TO ENSURE WEATHER TIGHT SEAL. SEE ELEVATIONS.
 STRUCTURAL CLAY BLOCK: GLAZED STRUCTURAL CLAY BLOCK TO BE

REMOVED AND REPLACED AS SPECIFIED TO MATCH EXISTING. CLEAN ALL CHALKING RESIDUE FROM EFFERVESCENCE.

VINYL BASE REPLACEMENT: REPLACE DAMAGED OR MISSING BASE AS SPECIFIED TO MATCH EXISTING. SEE UNIT PRICE NO. 4

CARPET REPAIRS: DAMAGED CARPET HAS BEEN REMOVED. CLEAN FLOOR AND INSTALL NEW CARPET TILE AS SPECIFIED.
 PAINTING: WALL SURFACE IS TO BE SANDED, PREPARED, AND REPAINT TO

MATCH EXISTING CORNER TO CORNER. WATER STAINED WALL FROM ROOF LOSS.

PAINTED CEILING STRUCTURE: CEILING INCLUDING METAL TRUSSES ARE TO BE CLEANED, PREPPED, AND REPAINTED END TO END TO MATCH EXISTING

COLOR.

10. VCT FLOORING CLEANING: CLEAN WATER STAINS FROM VCT FLOORING TO REMOVE ANY DISCOLORATION WHERE INDICATED. MOP AND WAX ALL VCT

FLOORING AT THE END OF CONSTRUCTION.

SKYLIGHT REPAIRS: REMOVE AND REPLACE SKYLIGHT TO MATCH EXISTING.

TERRAZZO FLOORING CLEANING: CLEAN AND POLISH EXISTING TERRAZZO FLOORING. REFER TO ROOM SCHEDULE FOR CLARITY.

CEILING TILE REPLACEMENT: REMOVE AND REPLACE DAMAGED OR MISSING ACOUSTIC CEILING TILE WITH NEW CEILING TILE AS SPECIFIED IN AREAS INDICATED. MATCH EXISTING TYPE AND SIZE. SEE UNIT PRICE NO. 1. INSTALL R-30 BATT INSULATION OVER TILE. SEE UNIT PRICE NO. 2
 NOT USED.

15. EXTERIOR WINDOWS AND DOORS: CAULK AND RESEAL PERIMETER OF

EXISTING WINDOWS AND DOORS.

16. CMU REPAIR: RE-POINT DAMAGED CMU JOINTS AS SHOWN. PAINT WALL FROM END TO END IN COLOR TO MATCH EXISTING AS SPECIFIED. SEE PHOTOS.

BRICK REPAIR: CAULK CRACKED AREAS AND REPAINT.
 LOCKERS: REPLACE DAMAGED UNITS AS SHOWN. MATCH EXISTING STYLE, SIZE AND COLORS.

19. BRICK WALLS: CLEAN ALL WATER STAINS FROM ENTIRE BRICK WALL.
20. SHELVING REPLACEMENT: REMOVE AND REPLACE DAMAGED SHELVING UNITS

WITH <u>GLASS DOORS.</u> MATCH EXISTING MATERIALS, FINISHES AND CONSTRUCTION STYLE.

21. BASE CABINET: REMOVE AND REPLACE DAMAGED BASE CABINET. MATCH EXISTING STYLE, SIZE, AND CONSTRUCTION. SALVAGE AND REINSTALL

COUNTERTOP.

22. SECTIONAL DOOR: REMOVE AND REPLACE OVERHEAD SECETIONAL DOOR AS SPECIFIED. CONTRACTOR TO PROVIDE ANY ADDITIONAL SUPPORT REQUIRED BY THE MANUFACTURER.

23. GYPSUM BOARD: REMOVE AND REPLACE DAMAGED GYPSUM BOARD TO NEAREST FRAMING MEMBER. FINISH AND RE-PAINT WALL CORNER TO

24. PREFINISHED GYPSUM BOARD WITH VINYL WALL COVER AND CORNER TRIM:
 REMOVE AND REPLACE DAMAGED VINYL COVERED GYPSUM BOARD FROM
 FLOOR TO CEILING WHERE INDICATED ON FLOOR PLAN.
 25. STOREFRONT WINDOW: REMOVE AND REPLACE STOREFRONT WINDOW AS

SPECIFIED.

26. STUCCO SOFFIT: REMOVE & REPLACE STUCCO SOFFIT. COORDINATE WITH ABATEMENT SCOPE & ABATEMENT CONTRACTOR TO ENSURE WEATHER-

TIGHTNESS AND PHASING COORDINATION. SEE WALL SECTIONS & DETAILS.

GYPSUM CEILING REPAIRS: REMOVE AND REPLACE DAMAGED GYPSUM
CEILING BOARD TO NEAREST FRAMING MEMBER WHERE INDICATED, FINISH TO

MATCH EXISTING AS SPECIFIED.

METAL ROOF PANEL REPAIRS: REMOVE AND REPLACE DEFORMED OR MISSING METAL ROOF PANELS TO MATCH EXISTING.

CONCRETE FLOOR CLEANING: CLEAN AND RESEAL FLOOR AS SPECIFIED.
 BASE CABINET: REMOVE AND REPLACE DAMAGED BASE CABINET. MATCH EXISTING STYLE, SIZE, AND CONSTRUCTION. SALVAGE AND REINSTALL

COUNTERTOP. PROTECT ALL MECHANICAL CONNECTIONS.

TILE CLEANING: CLEAN STAINS FROM WALL TILE TO REMOVE ANY

DISCOLORATION WHERE INDICATED.

32. CLEAN/REPAINT MASONRY WALL: MECHANICALLY REMOVE ALL LOOSE OR PEELING PAINT AND ALL CHALKING RESIDUE FROM EFFERVESCENCE FROM CORNER TO CORNER. PERFORM REQUIRED MOISTURE TESTING PRIOR TO

REPAINTING WALL AS SPECIFIED.

PLASTER CEILING REPAIRS: REMOVED AND REPLACE DAMAGED PLASTER
CEILING WHERE INDICATED AS SPECIFIED, PAINT IN COLOR TO MATCH

EXISTING.

34. MEP DAMAGES: SEE MECHANICAL, PLUMBING AND ELECTRICAL PLANS.

55. FURNITURE SETTING AND RESETING: RELOCATE ALL EXISTING FURNITURE TO TEMPORARY ROOM IN MODULAR BUILDINGS WHILE EXISTING SPACE IS BEING REPAIRED. REINSTALL AND RESET FURNITURE ONCE REPAIRS ARE

COMPLETE. SEE PHASING PLAN.

36. SUSPENDED CEILING INSULATION: INSTALL R-19 BATT INSULATION AS SPECIFIED ABOVE PREVIOUSLY INSTALLED SUSPENDED CEILING TILE. SEE LINIT PRICE NO. 2

UNIT PRICE NO. 2.

BRICK WALL REPLACEMENT: REMOVE AND REPLACE BRICK WALL AS INDICATED. DISPOSE OF OLD BRICK, MATCH NEW BRICK AND MORTAR TO

EXISTING AS APPROVED BY ARCHITECT, SEE STRUCTURAL. BUILDING TO REMAIN WEATHERPROOF AND CONDITIONED DURING REPAIRS.

DOOR REPAIR: CLEAN, PREP AND RE-PAINT DOOR FRAME - SEE DOOR

SCHEDULE.

39. CORRIDOR WALL REPAIR: REMOVE DAMAGED STOREFRONT WINDOW AND EXISTING 3/4" PLYWOOD SHEATHING BELOW WINDOW. INSTALL NEW WINDOW PER SCHEDULE AND NEW 3/4" PLYWOOD SHEATHING. PAINT AS SPECIFIED, IN COLOR AS SELECTED. SEE DETAILS.

40. **GLAZING REPAIR:** REMOVE AND REPLACE BROKEN GLASS. MATCH EXISTING TINT. PROVIDE SAFETY GLASS AS REQUIRED.

**ROOMS -BUILDING E1** 

Perimeter

NUMBER | Area |

GUIDELINES ONLY.

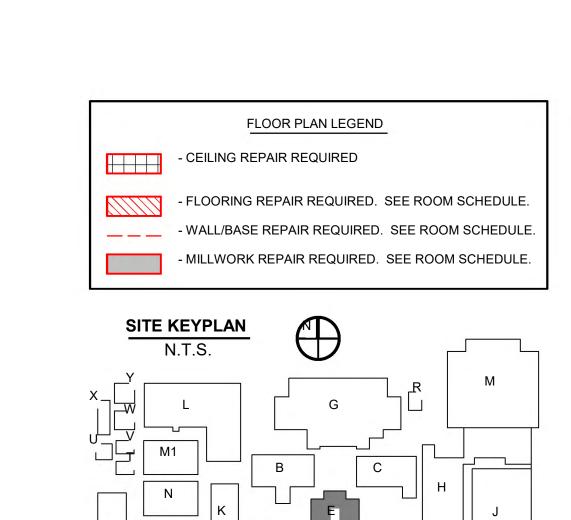
E101 5578 SF 356' - 4" E105 145 SF 49' - 4"

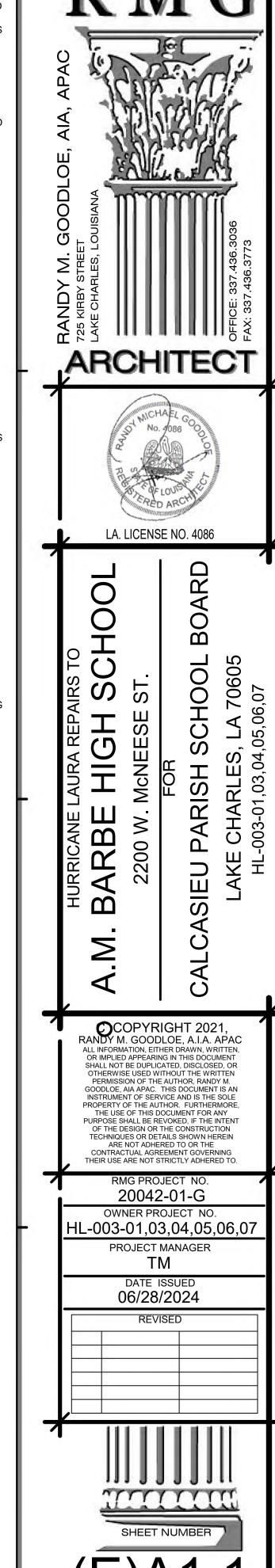
\*THESE MEASUREMENTS ARE APPROXIMATE TO BE USED AS

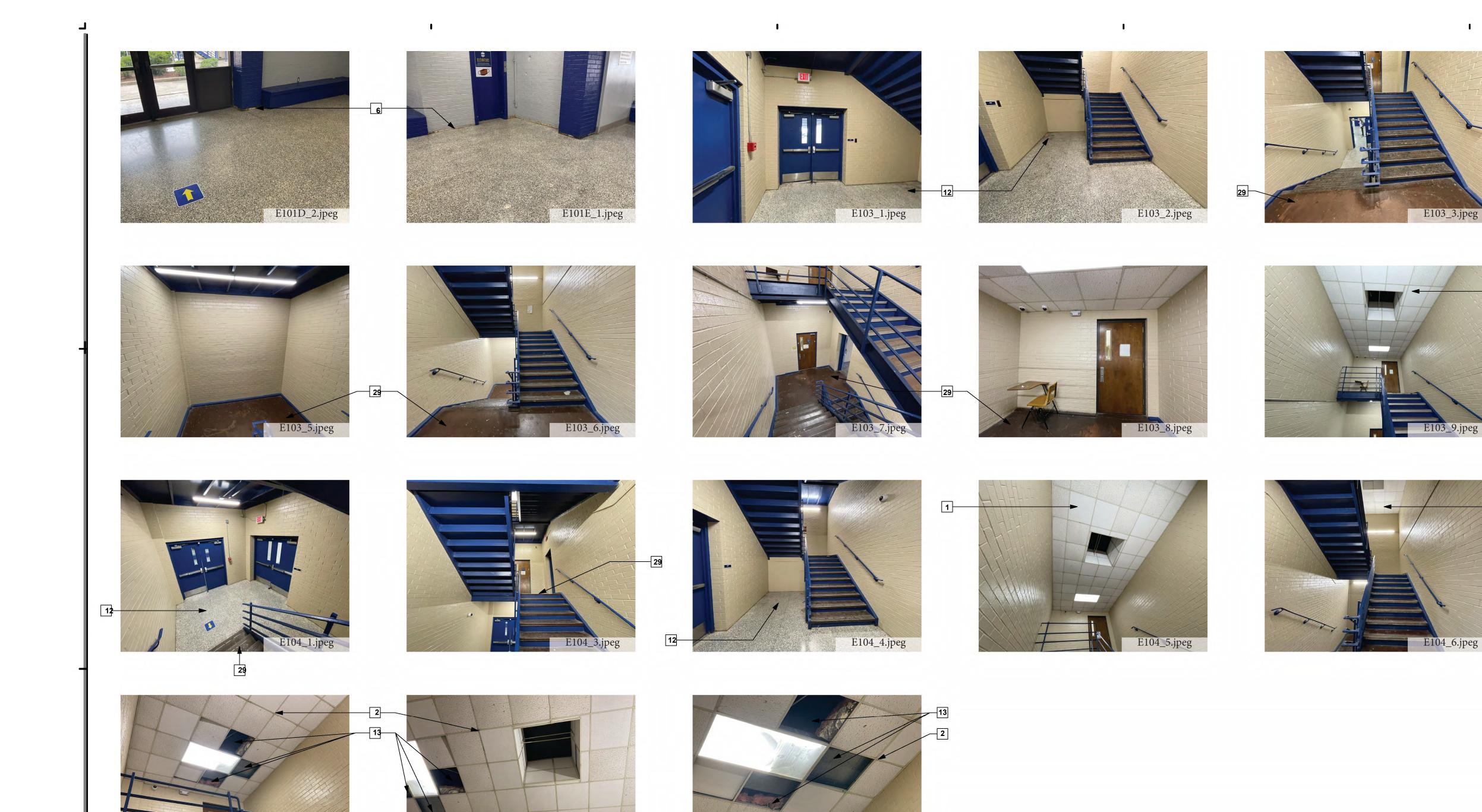
CONTRACTOR IS RESPONSIBLE

FOR ALL FINAL MEASUREMENTS.

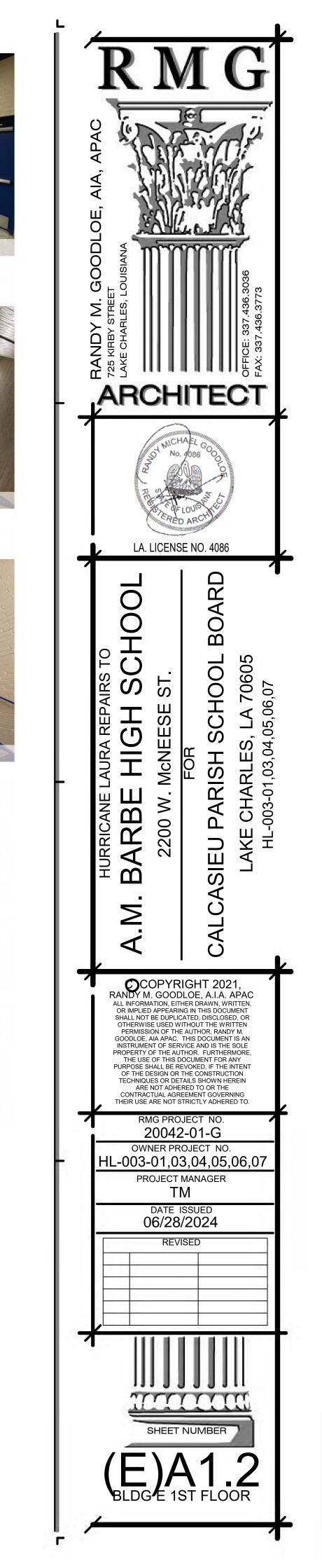
11NT. PROVIDE SAFETY GLASS AS REQUIRED.
41. DOOR REPAIR: REMOVE AND REPLACE EXISTING LEFT DOOR LEAF. PROVIDE AN INSULATED HOLLOW METAL DOOR WITH VISION PANEL TO MATCH RIGHT DOOR LEAF. REINSTALL EXISTING DOOR HARDWARE. PAINT AS DIRECTED.

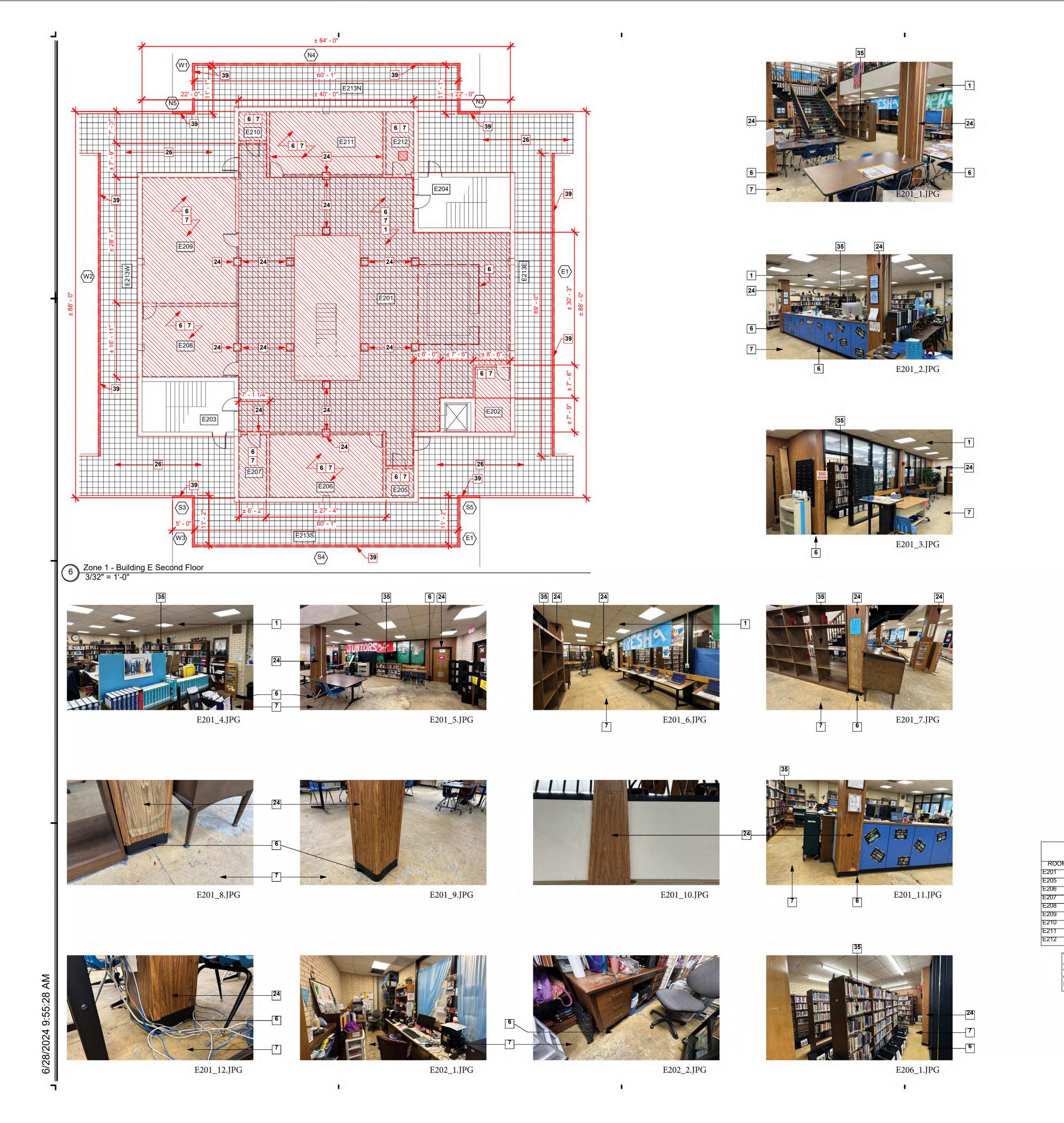






E104\_9.jpeg





105 SF 42' - 9" \*THESE MEASUREMENTS ARE APPROXIMATE TO BE USED AS GUIDELINES ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL FINAL MEASUREMENTS.

74' - 4"

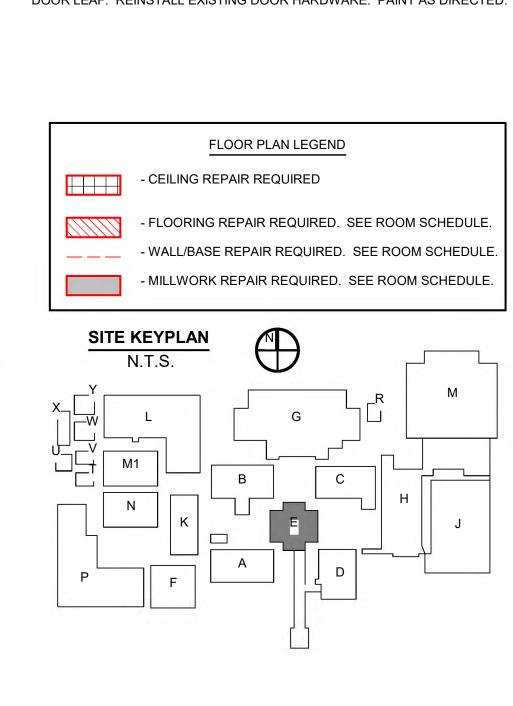
42' - 10"

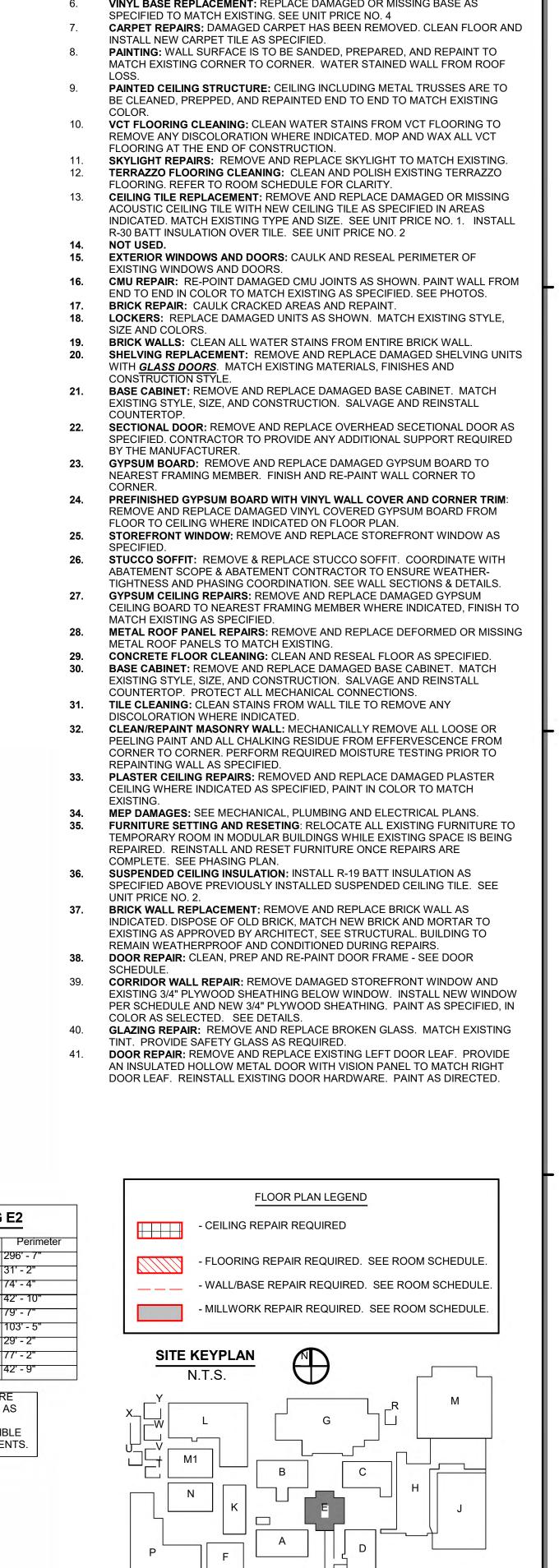
103' - 5"

**ROOMS -BUILDING E2** 

322 SF

Area







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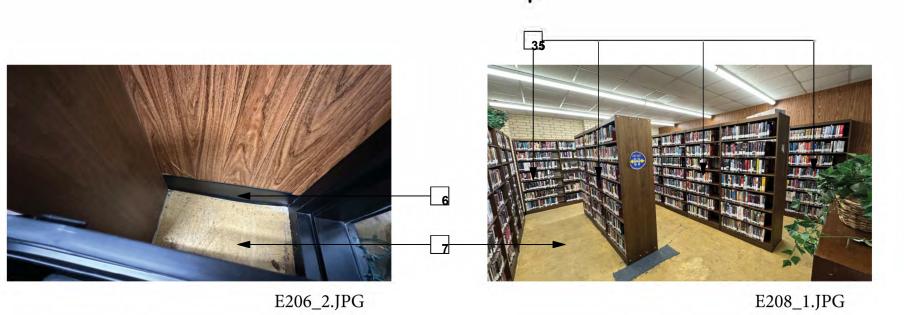
20042-01-G OWNER PROJECT NO. HL-003-01.03.04.05.06.07 PROJECT MANAGER

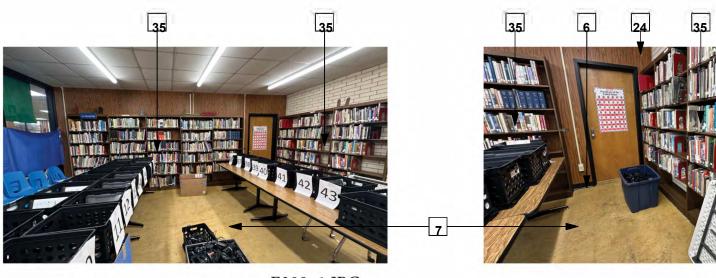
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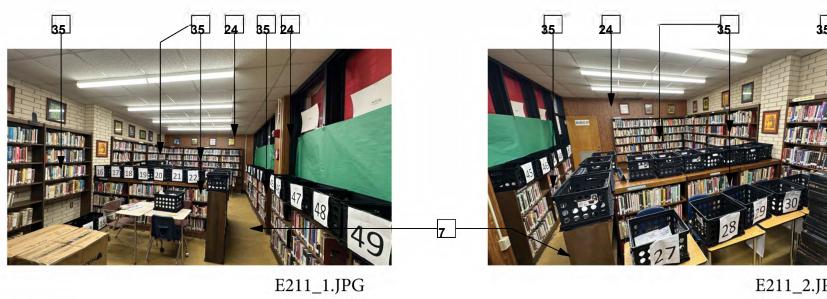
DATE ISSUED

06/28/2024

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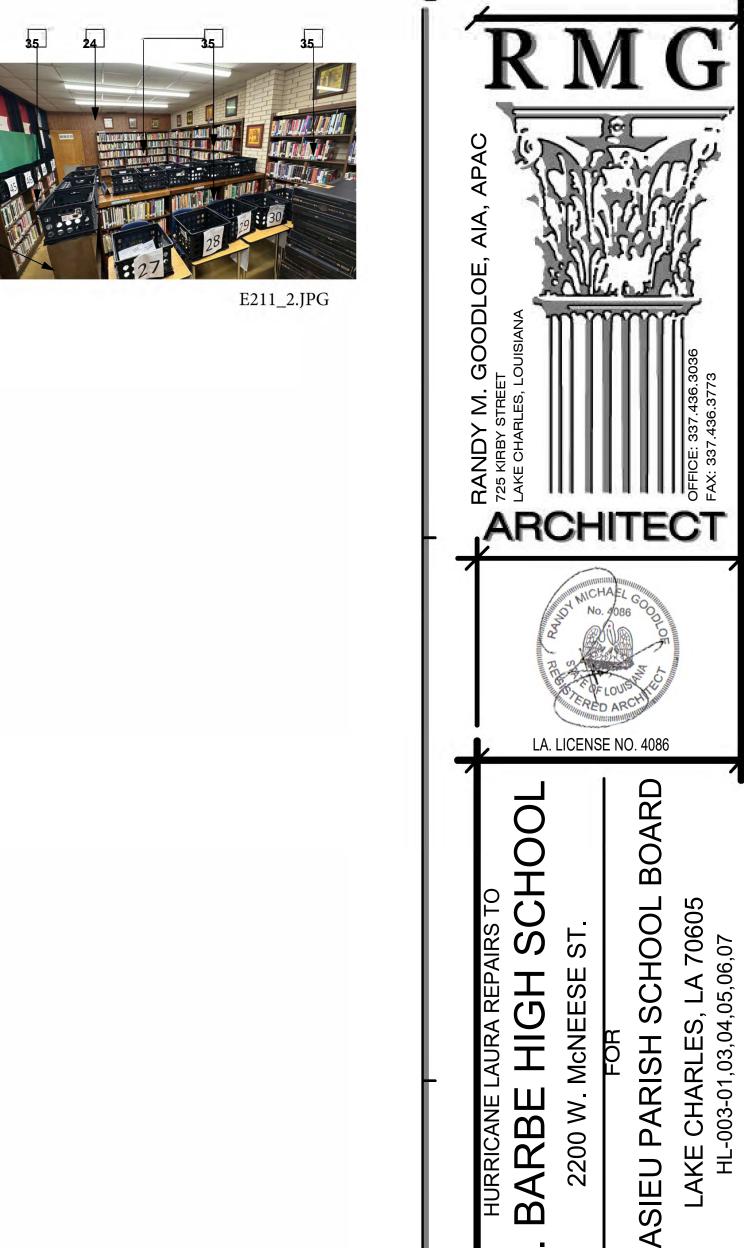




E208\_1.JPG

E209\_1.JPG

E209\_2.JPG

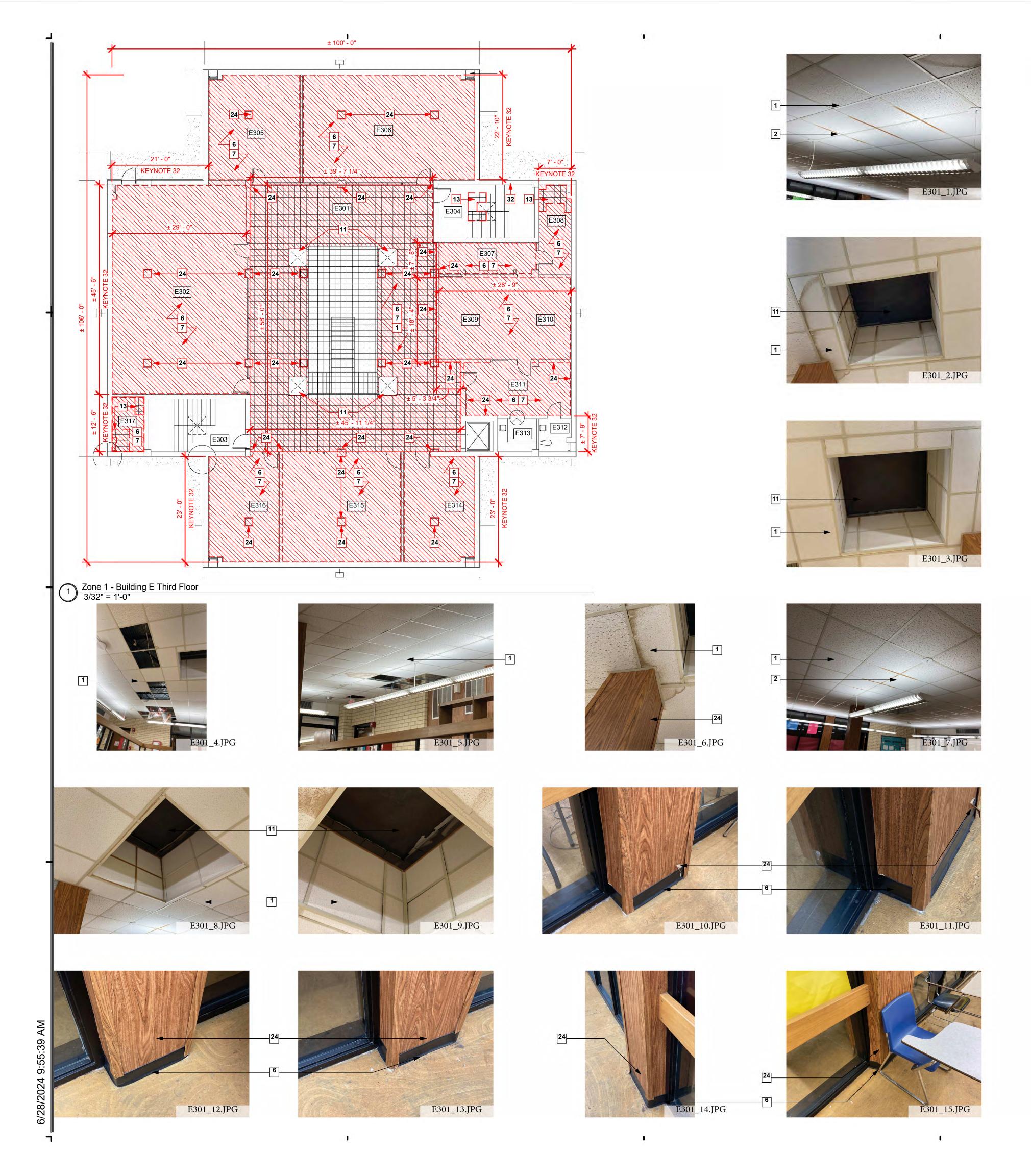


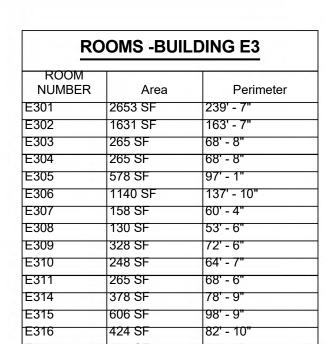
HURRICANE L.

BARBE
2200 W. N

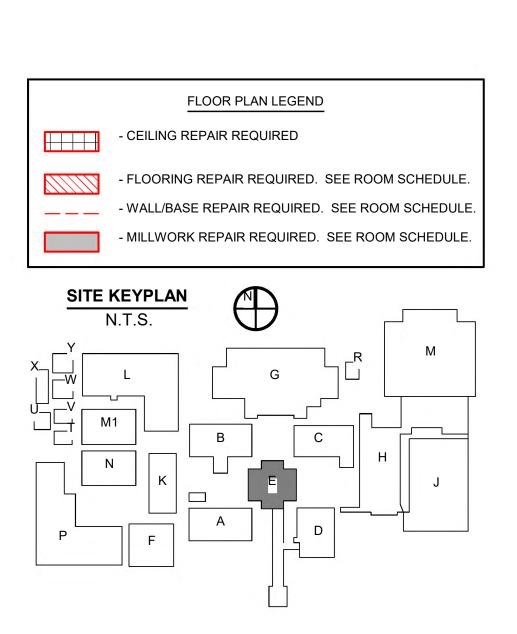
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20042-01-G OWNER PROJECT NO. HL-003-01,03,04,05,06,07 PROJECT MANAGER TM DATE ISSUED 06/28/2024





133 SF \*THESE MEASUREMENTS ARE APPROXIMATE TO BE USED AS GUIDELINES ONLY. CONTRACTOR IS RESPONSIBLE FOR ALL FINAL MEASUREMENTS



**KEYNOTES** SUSPENDED ACOUSTIC CEILING REPLACEMENT: REMOVE AND REPLACE DAMAGED CEILING GRID AND CEILING TILE AS SPECIFIED. CEILING GRID: REMOVE AND REPLACE DAMAGED CEILING GRID. MATCH EXISTING. SEE UNIT PRICE NO. 5 VCT FLOORING REPAIRS: REMOVE AND REPLACE VCT FLOORING AS SPECIFIED IN AREAS WHERE INDICATED. SEE UNIT PRICE NO. 3. WINDOW REPAIRS: REPLACE BROKEN WINDOW PANES, BLOCKS, AND GASKETS TO MATCH EXISTING. ALL SEALANTS SHALL BE REMOVED AND REPLACED AS SPECIFIED TO ENSURE WEATHER TIGHT SEAL. SEE ELEVATIONS. STRUCTURAL CLAY BLOCK: GLAZED STRUCTURAL CLAY BLOCK TO BE

REMOVED AND REPLACED AS SPECIFIED TO MATCH EXISTING. CLEAN ALL CHALKING RESIDUE FROM EFFERVESCENCE. VINYL BASE REPLACEMENT: REPLACE DAMAGED OR MISSING BASE AS SPECIFIED TO MATCH EXISTING. SEE UNIT PRICE NO. 4

CARPET REPAIRS: DAMAGED CARPET HAS BEEN REMOVED. CLEAN FLOOR AND

INSTALL NEW CARPET TILE AS SPECIFIED. PAINTING: WALL SURFACE IS TO BE SANDED, PREPARED, AND REPAINT TO MATCH EXISTING CORNER TO CORNER. WATER STAINED WALL FROM ROOF

PAINTED CEILING STRUCTURE: CEILING INCLUDING METAL TRUSSES ARE TO BE CLEANED, PREPPED, AND REPAINTED END TO END TO MATCH EXISTING

VCT FLOORING CLEANING: CLEAN WATER STAINS FROM VCT FLOORING TO REMOVE ANY DISCOLORATION WHERE INDICATED. MOP AND WAX ALL VCT FLOORING AT THE END OF CONSTRUCTION.

**SKYLIGHT REPAIRS:** REMOVE AND REPLACE SKYLIGHT TO MATCH EXISTING. TERRAZZO FLOORING CLEANING: CLEAN AND POLISH EXISTING TERRAZZO FLOORING. REFER TO ROOM SCHEDULE FOR CLARITY. CEILING TILE REPLACEMENT: REMOVE AND REPLACE DAMAGED OR MISSING ACOUSTIC CEILING TILE WITH NEW CEILING TILE AS SPECIFIED IN AREAS INDICATED. MATCH EXISTING TYPE AND SIZE. SEE UNIT PRICE NO. 1. INSTALL

R-30 BATT INSULATION OVER TILE. SEE UNIT PRICE NO. 2 EXTERIOR WINDOWS AND DOORS: CAULK AND RESEAL PERIMETER OF

15. EXISTING WINDOWS AND DOORS. CMU REPAIR: RE-POINT DAMAGED CMU JOINTS AS SHOWN. PAINT WALL FROM

BRICK REPAIR: CAULK CRACKED AREAS AND REPAINT. LOCKERS: REPLACE DAMAGED UNITS AS SHOWN. MATCH EXISTING STYLE, SIZE AND COLORS. BRICK WALLS: CLEAN ALL WATER STAINS FROM ENTIRE BRICK WALL.

END TO END IN COLOR TO MATCH EXISTING AS SPECIFIED. SEE PHOTOS.

SHELVING REPLACEMENT: REMOVE AND REPLACE DAMAGED SHELVING UNITS WITH **GLASS DOORS**. MATCH EXISTING MATERIALS, FINISHES AND CONSTRUCTION STYLE. BASE CABINET: REMOVE AND REPLACE DAMAGED BASE CABINET. MATCH

EXISTING STYLE, SIZE, AND CONSTRUCTION. SALVAGE AND REINSTALL SECTIONAL DOOR: REMOVE AND REPLACE OVERHEAD SECETIONAL DOOR AS SPECIFIED. CONTRACTOR TO PROVIDE ANY ADDITIONAL SUPPORT REQUIRED

BY THE MANUFACTURER. GYPSUM BOARD: REMOVE AND REPLACE DAMAGED GYPSUM BOARD TO

NEAREST FRAMING MEMBER. FINISH AND RE-PAINT WALL CORNER TO PREFINISHED GYPSUM BOARD WITH VINYL WALL COVER AND CORNER TRIM: REMOVE AND REPLACE DAMAGED VINYL COVERED GYPSUM BOARD FROM

FLOOR TO CEILING WHERE INDICATED ON FLOOR PLAN. STOREFRONT WINDOW: REMOVE AND REPLACE STOREFRONT WINDOW AS

STUCCO SOFFIT: REMOVE & REPLACE STUCCO SOFFIT. COORDINATE WITH ABATEMENT SCOPE & ABATEMENT CONTRACTOR TO ENSURE WEATHER-

TIGHTNESS AND PHASING COORDINATION. SEE WALL SECTIONS & DETAILS. GYPSUM CEILING REPAIRS: REMOVE AND REPLACE DAMAGED GYPSUM CEILING BOARD TO NEAREST FRAMING MEMBER WHERE INDICATED, FINISH TO MATCH EXISTING AS SPECIFIED.

METAL ROOF PANEL REPAIRS: REMOVE AND REPLACE DEFORMED OR MISSING METAL ROOF PANELS TO MATCH EXISTING. CONCRETE FLOOR CLEANING: CLEAN AND RESEAL FLOOR AS SPECIFIED.

BASE CABINET: REMOVE AND REPLACE DAMAGED BASE CABINET. MATCH EXISTING STYLE, SIZE, AND CONSTRUCTION. SALVAGE AND REINSTALL

COUNTERTOP. PROTECT ALL MECHANICAL CONNECTIONS. TILE CLEANING: CLEAN STAINS FROM WALL TILE TO REMOVE ANY

DISCOLORATION WHERE INDICATED. CLEAN/REPAINT MASONRY WALL: MECHANICALLY REMOVE ALL LOOSE OR PEELING PAINT AND ALL CHALKING RESIDUE FROM EFFERVESCENCE FROM CORNER TO CORNER. PERFORM REQUIRED MOISTURE TESTING PRIOR TO

REPAINTING WALL AS SPECIFIED. PLASTER CEILING REPAIRS: REMOVED AND REPLACE DAMAGED PLASTER CEILING WHERE INDICATED AS SPECIFIED, PAINT IN COLOR TO MATCH

EXISTING.

MEP DAMAGES: SEE MECHANICAL, PLUMBING AND ELECTRICAL PLANS.

FURNITURE SETTING AND RESETING: RELOCATE ALL EXISTING FURNITURE TO TEMPORARY ROOM IN MODULAR BUILDINGS WHILE EXISTING SPACE IS BEING REPAIRED. REINSTALL AND RESET FURNITURE ONCE REPAIRS ARE COMPLETE. SEE PHASING PLAN.

SUSPENDED CEILING INSULATION: INSTALL R-19 BATT INSULATION AS SPECIFIED ABOVE PREVIOUSLY INSTALLED SUSPENDED CEILING TILE. SEE UNIT PRICE NO. 2.

BRICK WALL REPLACEMENT: REMOVE AND REPLACE BRICK WALL AS INDICATED. DISPOSE OF OLD BRICK, MATCH NEW BRICK AND MORTAR TO

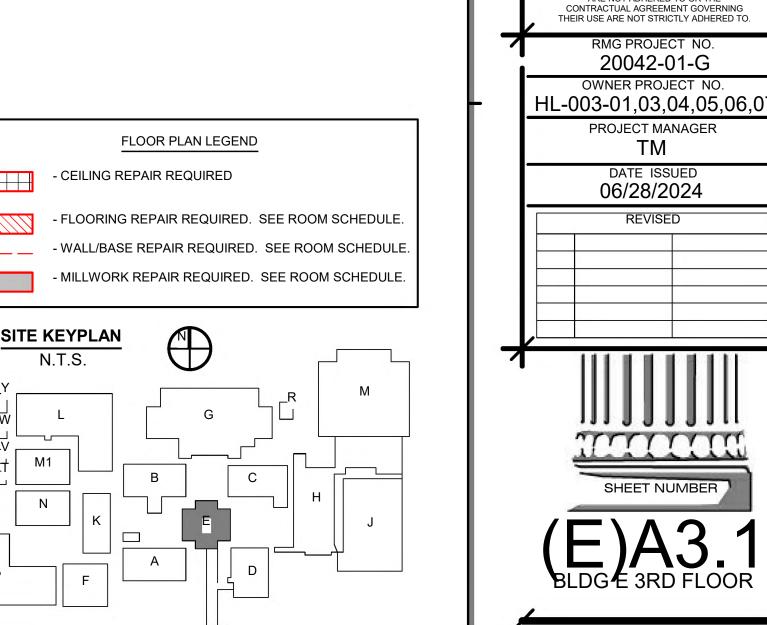
REMAIN WEATHERPROOF AND CONDITIONED DURING REPAIRS.

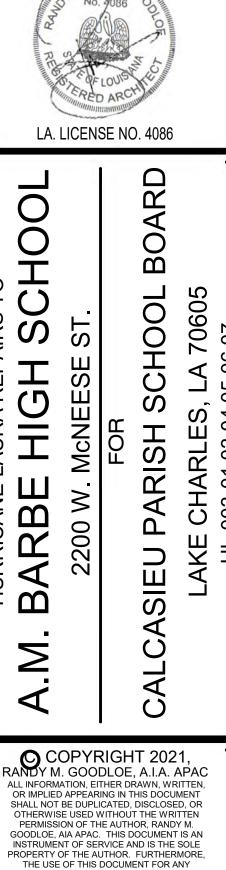
EXISTING AS APPROVED BY ARCHITECT, SEE STRUCTURAL. BUILDING TO DOOR REPAIR: CLEAN, PREP AND RE-PAINT DOOR FRAME - SEE DOOR SCHEDULE.

CORRIDOR WALL REPAIR: REMOVE DAMAGED STOREFRONT WINDOW AND EXISTING 3/4" PLYWOOD SHEATHING BELOW WINDOW. INSTALL NEW WINDOW PER SCHEDULE AND NEW 3/4" PLYWOOD SHEATHING. PAINT AS SPECIFIED, IN COLOR AS SELECTED. SEE DETAILS. GLAZING REPAIR: REMOVE AND REPLACE BROKEN GLASS. MATCH EXISTING

DOOR LEAF. REINSTALL EXISTING DOOR HARDWARE. PAINT AS DIRECTED.

TINT. PROVIDE SAFETY GLASS AS REQUIRED. DOOR REPAIR: REMOVE AND REPLACE EXISTING LEFT DOOR LEAF. PROVIDE AN INSULATED HOLLOW METAL DOOR WITH VISION PANEL TO MATCH RIGHT





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