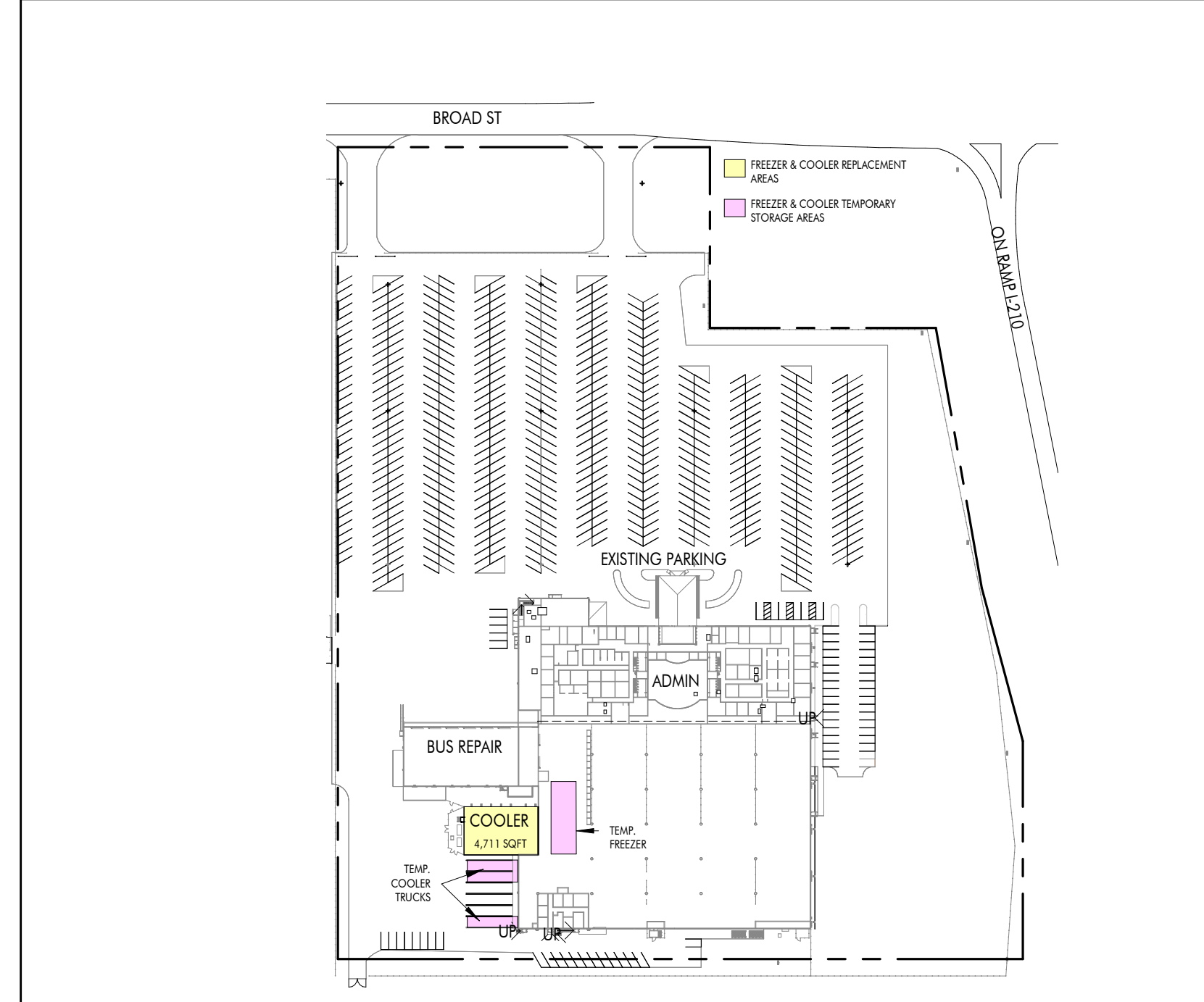


MARK	DESCRIPTION
T1	CONTRACTOR TO PROVIDE TEMPORARY PRE-MANUFACTURED FREEZER BOX TO MATCH CURRENT VOLUME OF EXISTING FREEZER. TEMPORARY FREEZER TO INCLUDE TEMPORARY UTILITIES TO OPERATE THE TEMPORARY STORAGE UNIT. CONTRACTOR SHALL COORDINATE TIMELINES ACCORDINGLY WITH OWNER FOR PLACEMENT AND REMOVAL OF PRODUCT BASED ON DEMOLITION AND NEW WORK. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
T2	CONTRACTOR TO PROVIDE TEMPORARY REFRIGERATED TRAILERS AND PARK IN THE ASSOCIATED LOADING DOCK BAYS SHOWN. TEMPORARY COOLERS TO INCLUDE TEMPORARY UTILITIES TO RUN THE TEMPORARY STORAGE UNIT. CONTRACTOR SHALL COORDINATE TIMELINES ACCORDINGLY WITH OWNER FOR PLACEMENT AND REMOVAL OF PRODUCT BASED ON DEMOLITION AND NEW WORK. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.

***NOTE: TEMPORARY STORAGE IS ALTERNATE #1**

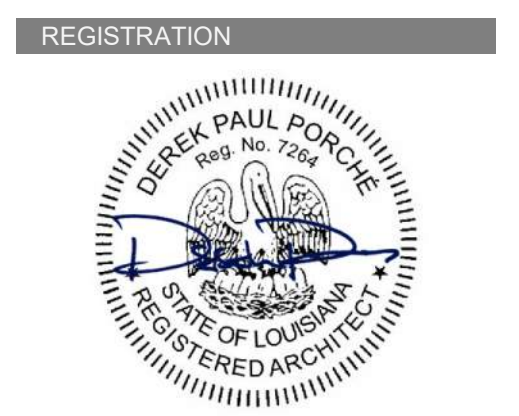
- ### GENERAL FLOOR PLAN NOTES
- THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING TO FIELD VERIFY ALL EXISTING CONDITIONS, VERIFY QUANTITIES, MEASUREMENTS AND DETERMINE THE EXTENT OF DAMAGES AND REPAIRS REQUIRED.
 - NO AS-BUILT DOCUMENTS WERE PROVIDED AND DRAWINGS WITHIN WERE TAKEN FROM ON-SITE MEASUREMENTS FROM THE DESIGN TEAM.
 - ALL WORK SHALL COMPLY WITH THE LATEST PUBLISHED EDITION CONSENSUS CODE AS APPROVED BY FEMA (2018) OF THE INTERNATIONAL BUILDING CODE, NFPA 101, NEC, AS WELL AS ANY APPLICABLE STATE, PARISH, OR LOCAL REGULATIONS.
 - THE CONTRACTOR IS TO PROTECT ALL EXISTING FINISHES AND MATERIALS TO REMAIN DURING BOTH THE DEMOLITION AND CONSTRUCTION PROCESS. IN THE EVENT THAT DAMAGES OCCUR, THE CONTRACTOR SHALL REPAIR OR REPLACE TO A LIKE NEW CONDITION.

- ### GENERAL NOTES:
- REFER TO SPECIFICATIONS FOR STUD GAUGE AND BRIDGING REQUIREMENTS.
 - ALL DIMENSIONS ARE TO FACE OF STUD, FACE OF CMU, OR FACE OF BRICK, UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL PROVIDE ALL METAL STUD BLOCKING / BRACING FOR ALL WALL HUNG OR WALL MOUNTED ARCHITECTURAL ITEMS INSTALLED ON STUD WALLS, INCLUDING BUT NOT LIMITED TO: MILLWORK, COUNTERTOPS, TOILET ACCESSORIES, GRAB BARS, MARKER BOARDS, TACK BOARDS, CLOCKS, SPEAKERS, ETC...
 - ALL ITEMS ARE CONTRACTOR FURNISHED AND CONTRACTOR INSTALLED, UNLESS NOTED OTHERWISE.
 - ALL DRYWALL CONTROL JOINT PLACEMENT SHALL CONFORM WITH ASTM C840, UNLESS NOTED OTHERWISE. INSTALL CONTROL JOINTS AS SHOWN.
 - IF NOT SHOWN, CONTROL JOINTS TO BE INSTALLED PER THE FOLLOWING:
 - ALL CONTROL JOINTS SHALL BE INSTALLED WHERE SPECIFIED BY THE ARCHITECT OR DESIGNER AS A DESIGN ACCENT OR ARCHITECTURAL FEATURE.
 - A CONTROL JOINT SHALL BE INSTALLED WHERE A PARTITION, WALL, OR CEILING TRAVERSES A CONSTRUCTION JOINT.
 - CONTROL JOINT SHALL BE INSTALLED WHERE A WALL OR PARTITION RUNS IN AN UNINTERRUPTED STRAIGHT PLANE EXCEEDING 30 LINEAR FEET.
 - CONTROL JOINTS IN INTERIOR CEILINGS WITH A PERIMETER RELIEF SHALL BE INSTALLED SO THAT LINEAR DIMENSIONS BETWEEN CONTROL JOINTS DO NOT EXCEED 50'-0" AND TOTAL BETWEEN CONTROL JOINTS DOES NOT EXCEED 2500 SQ. FT.
 - CONTROL JOINTS IN INTERIOR CEILINGS WITHOUT PERIMETER RELIEF AND EXTERIOR CEILINGS AND SOFFITS SHALL BE INSTALLED SO THAT LINEAR DIMENSIONS BETWEEN CONTROL JOINTS DO EXCEED 30'-0" AND TOTAL AREA BETWEEN CONTROL JOINTS DOES NOT EXCEED 900 SQ. FT.
 - A CONTROL JOINT OR INTERMEDIATE BLOCKING SHALL BE INSTALLED WHERE CEILING FRAMING MEMBERS CHANGE DIRECTION.
 - WHERE A CONTROL JOINT OCCURS IN AN ACOUSTICAL OR FIRE-RATED SYSTEM, BLOCKING SHALL BE PROVIDED BEHIND THE CONTROL JOINT BY USING A BACKING MATERIAL SUCH AS 5/8" TYPE X GYPSUM BOARD, MINERAL FIBER, OR OTHER TESTED EQUIVALENT.
 - WHERE CONTROL JOINTS ARE INSTALLED IN NON-RATED ASSEMBLIES AND ARE PARALLEL TO THE FRAMING MEMBERS, A FRAMING MEMBER IS REQUIRED ON EACH SIDE OF THE OPENING. THIS REQUIREMENT IS FOR ATTACHMENT OF GYPSUM BOARD.
 - CONTRACTOR SHALL INCLUDE IN BID FOR CONTROL JOINTS AS OUTLINED ABOVE, AND FOR A CONTROL JOINT TO BE INSTALLED AT BOTH JAMBS OF OPENINGS, WINDOWS, AND DOORS (1) AT EACH JAMB FULL HEIGHT / TOP AND BOTTOM OF OPENING & WITHIN 30 FEET OF CORNER OR PREVIOUS CONTROL JOINT.
 - AT ALL CERAMIC / PORCELAIN WALL TILE LOCATIONS, CONTRACTOR SHALL USE CEMENT BACKER BOARD, MINIMUM 5/8-INCH THICK, UNLESS OTHERWISE NOTED.
 - AT ALL WALLS (FULL HEIGHT) WITHIN TOILET ROOMS, SHOWERS, RESTROOMS AND/OR SIMILAR USE ROOMS NOT TILED, SHALL RECEIVE MINIMUM 5/8-INCH MOISTURE RESISTANCE GYPSUM.
 - AT ALL PLUMBING FIXTURES NOT WITHIN A ROOM DESCRIBED ABOVE, USE MINIMUM 5/8-INCH MOISTURE RESISTANCE GYPSUM FOR A DISTANCE OF 96-INCHES FROM THE CENTERLINE OF THE FIXTURE IN ALL DIRECTIONS.



ADMINISTRATION BLDG. - KEY PLAN

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HL-799-03 CPBS
**ADMINISTRATION BUILDING
 FREEZER & COOLER
 REPLACEMENT**
 3310 BROAD STREET
 LAKE CHARLES, LA 70615

revisions	No.	Description	Date

project # HL-799-03 CPSB
 date APRIL 11, 2022
 director PMA

STAGING PLAN AND
 ALTERNATE #1
 TEMPORARY STORAGE

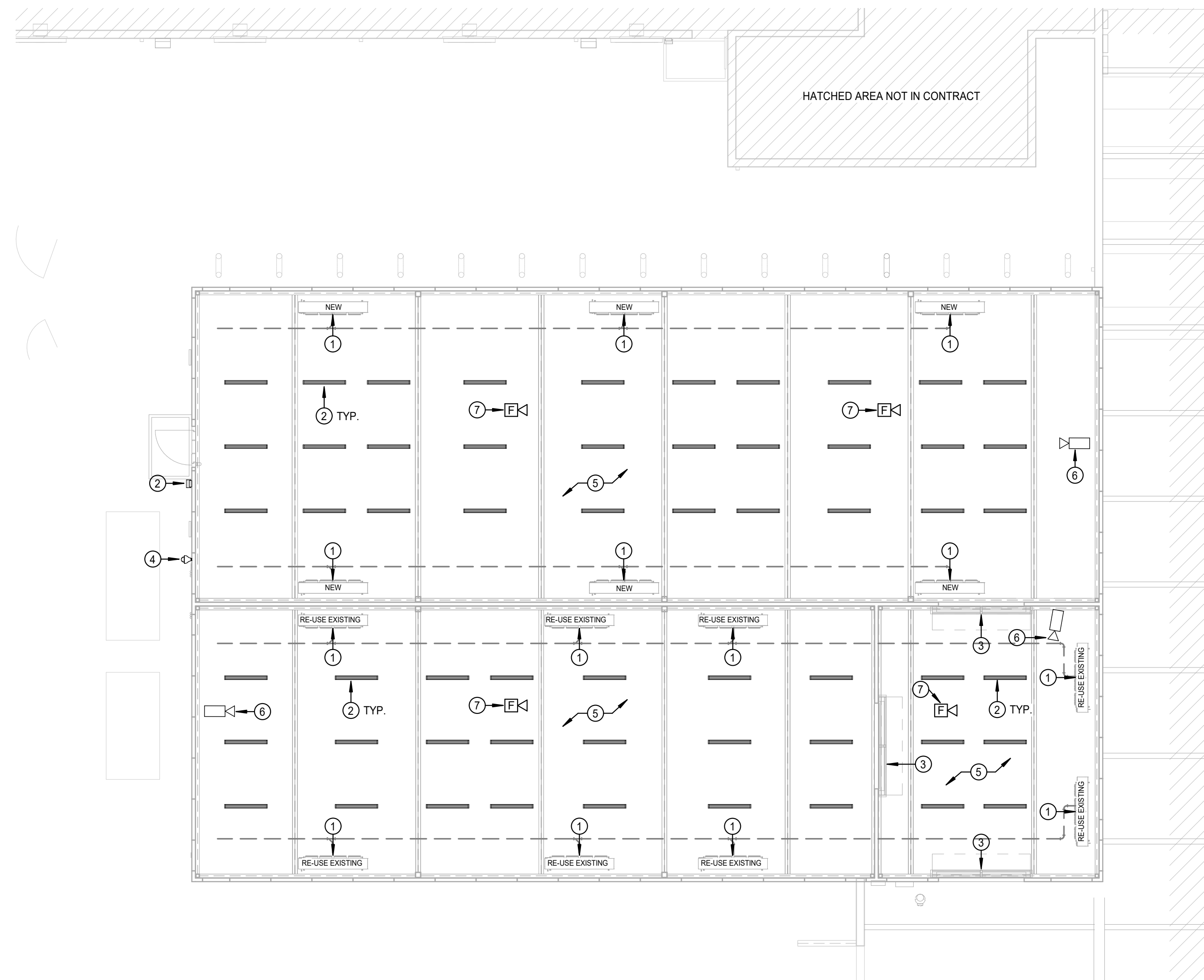
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ELECTRICAL GENERAL NOTES:

1. FOR ALL RE-CONNECTIONS REQUIRED FOR THE NEW COOLER/FREEZER, EXTEND EXISTING CIRCUITS AS REQUIRED TO THE NEW TERMINATION POINTS. PROVIDE NEW BOXES, CONDUIT, CONDUCTORS AND SPLICING MATERIALS AS REQUIRED.

ELECTRICAL KEYED NOTES:

- 1 RE-CONNECT EVAPORATOR TO EXISTING ASSOCIATED EVAPORATOR CIRCUIT.
- 2 RE-INSTALL LIGHT FIXTURES AND RE-CONNECT EXISTING LIGHTING CIRCUIT, TYPICAL FOR ALL.
- 3 RE-CONNECT EXISTING AIR CURTAIN CIRCUIT TO EXISTING ASSOCIATED AIR CURTAIN CIRCUIT.
- 4 RE-INSTALL EXISTING SECURITY CAMERA AND RE-CONNECT ELECTRICAL CIRCUITS AND COMMUNICATIONS CABLING.
- 5 RE-INSTALL AND RE-CONNECT ALL HEAT TRACE TO EXISTING CIRCUITS.
- 6 RE-INSTALL AND RE-CONNECT ALL CAMERAS. RE-UTILIZE EXISTING ELECTRICAL CIRCUITS AND COMMUNICATIONS CABLING.
- 7 RE-INSTALL AND RE-CONNECT FIRE ALARM NOTIFICATION DEVICE. RE-UTILIZE EXISTING FIRE ALARM CABLING.



1 COOLER & FREEZER REFLECTED CEILING PLAN
Scale: 1/8" = 1'-0"

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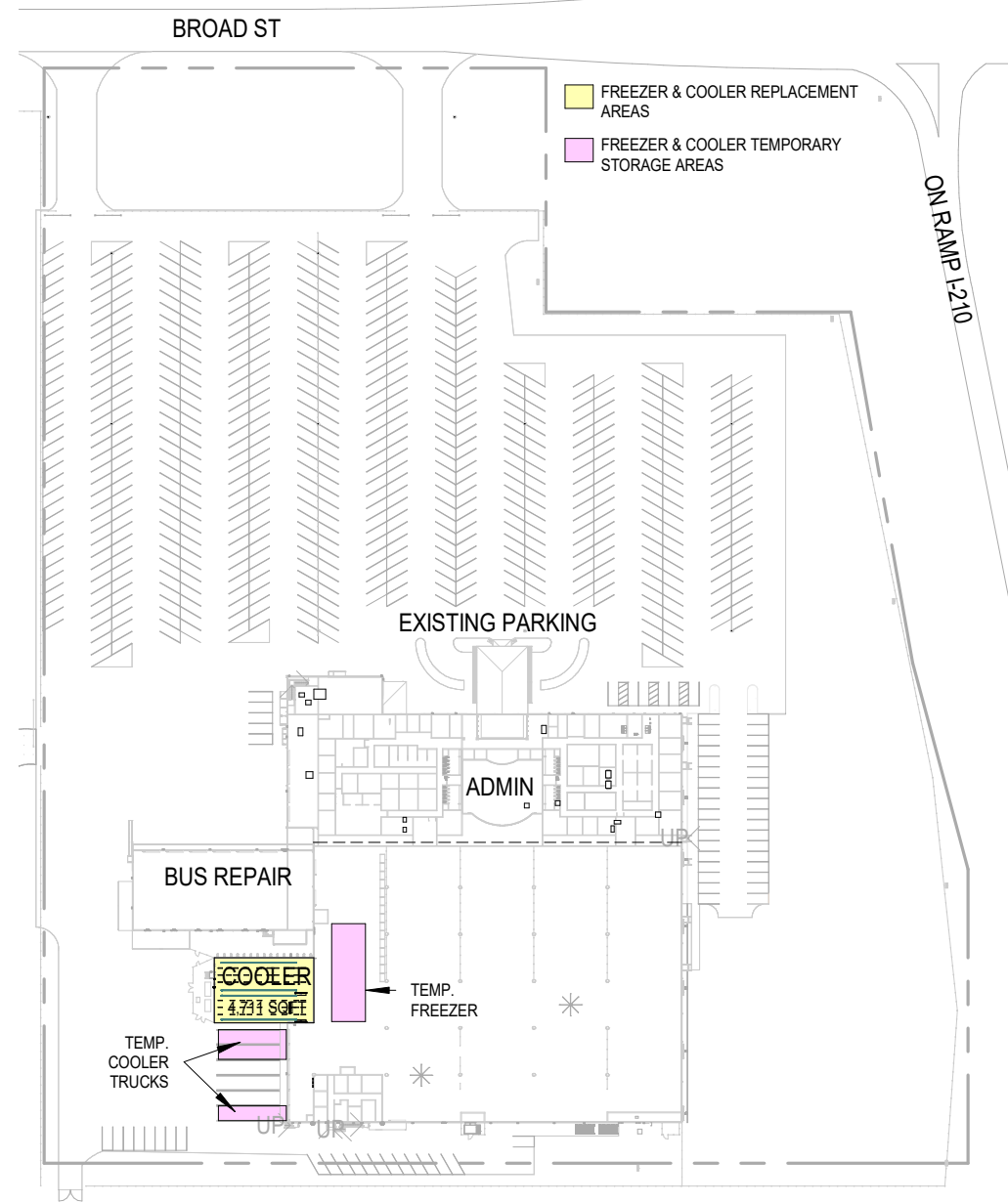
PROJECT INFORMATION

revisions	No.	Description	Date

project # **HL-799-03 CPBS**
date **APRIL 11, 2022**
director review

**COOLER/FREEZER
ELECTRICAL REFLECTED
CEILING PLAN**

E5.01



ADMINISTRATION BLDG. - KEY PLAN

PLUMBING SPECIFICATIONS

GENERAL

- A. PERFORM WORK IN ACCORDANCE WITH APPLICABLE STATUTES, ORDINANCES, CODES AND REGULATIONS OF GOVERNMENTAL AUTHORITIES HAVING JURISDICTION.
- B. OBTAIN ALL PERMITS REQUIRED.
- C. CONTRACT DRAWINGS ARE DIAGRAMMATIC ONLY AND DO NOT GIVE FULLY DIMENSIONED LOCATIONS OF VARIOUS ELEMENTS OF WORK. DETERMINE EXACT LOCATIONS FROM FIELD MEASUREMENTS.
- D. GUARANTEE WORK FOR 1 YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION OF THE PROJECT. DURING THAT PERIOD MAKE GOOD ANY FAULTS OR IMPERFECTIONS THAT MAY ARISE DUE TO DEFECTS OR OMISSIONS IN MATERIAL, EQUIPMENT OR WORKMANSHIP. AT THE OWNER'S OPTION, REPLACEMENT OF FAILED PARTS OR EQUIPMENT SHALL BE PROVIDED.
- E. PROVIDE FINISHES TO MATCH APPROVED SAMPLES. ALL EXPOSED FINISHES SHALL BE APPROVED BY THE ARCHITECT. SUBMIT COLOR SAMPLES AS REQUIRED.
- F. COMPLY WITH INSTRUCTIONS IN FULL DETAIL, INCLUDING EACH STEP IN SEQUENCE. SHOULD INSTRUCTION CONFLICT WITH CONTRACT DOCUMENTS, REQUEST CLARIFICATION FROM ARCHITECT / ENGINEER BEFORE PROCEEDING.
- G. SECURE PRODUCTS IN PLACE WITH POSITIVE ANCHORAGE DEVICES DESIGNED AND SIZED TO WITHSTAND STRESSES, VIBRATION, AND RACKING. UNDER NO CONDITIONS SHALL MATERIAL OR EQUIPMENT BE SUSPENDED FROM STRUCTURAL BRIDGING.
- H. MAINTAIN QUALITY CONTROL OVER SUPERVISION, SUBCONTRACTORS, SUPPLIERS, MANUFACTURERS, PRODUCTS, SERVICES, SITE CONDITIONS AND WORKMANSHIP TO PRODUCE WORK IN ACCORDANCE WITH CONTRACT DOCUMENTS.
- I. COMPLY WITH INDUSTRY STANDARDS EXCEPT WHEN MORE RESTRICTIVE TOLERANCES OR SPECIFIED REQUIREMENTS INDICATE MORE RIGID STANDARDS OR MORE PRECISE WORKMANSHIP.
- J. PERFORM WORK BY PERSONS QUALIFIED TO PRODUCE WORKMANSHIP OF SPECIFIED QUALITY.

CONDENSATE PIPING INSULATION

- A. COVER ALL PIPING WITH ELASTOMERIC INSULATION OVER PIPING AND TUBING. SEAMS AND BUTT JOINTS SHALL BE ADHERED AND SEALED USING FOSTER 85-75, CHILDERS CP-82 OR ARMSTRONG 520 ADHESIVE.
- B. ALL FITTINGS SHALL BE INSULATED WITH THE SAME INSULATION THICKNESS AS THE ADJACENT PIPING. ALL SEAMS AND MITERED JOINTS SHALL BE ADHERED WITH ADHESIVE.

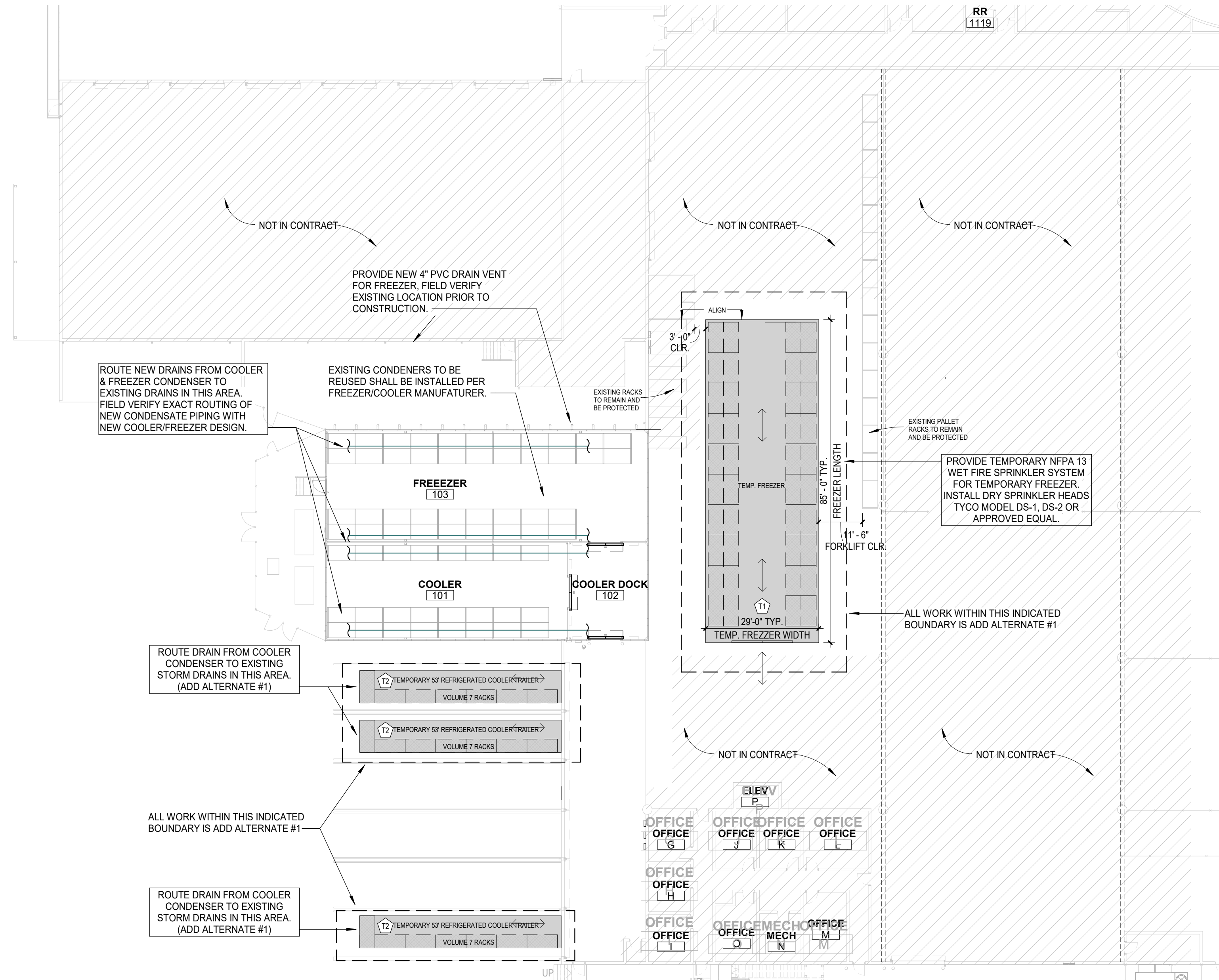
- C. OUTDOOR EXPOSED PIPING SHALL BE PAINTED WITH TWO COATS OF EITHER WB OR SB ARMAFLEX FINISH IR FOSTER 30-64 ELASTOMER FOAM COATING. ALL SEAMS SHALL BE LOCATED ON THE LOWER HALF OF THE PIPE.

PLUMBING ALTERATIONS

- A. INSPECT AND SERVICE EXISTING EQUIPMENT, FIXTURES AND MATERIALS THAT ARE TO REMAIN OR TO BE REUSED.
- B. DISPOSAL OF EQUIPMENT, FIXTURES, MATERIALS, OR HOUSEKEEPING PADS TO BE ABANDONED. PRIOR TO DISPOSAL, THE CONTRACTOR SHALL VERIFY WITH THE OWNER WHAT IS TO BE SALVAGED BY THE OWNER AND WHAT IS TO BECOME THE PROPERTY OF THE CONTRACTOR.
- C. HANDLING OF EQUIPMENT AND MATERIALS TO BE REMOVED.
- D. INSPECTION: EXISTING MATERIALS AND EQUIPMENT INDICATED ON THE DRAWINGS OR IN THE SPECIFICATIONS TO BE REUSED SHALL BE INSPECTED FOR DAMAGED OR MISSING PARTS. CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER, IN WRITING, ACCORDINGLY. IF USING MATERIALS SPECIFIED OR SHOWN ON THE DRAWING VOIDS OR DIMINISHES THE WARRANTY OR OPERATION OF REMAINING EQUIPMENT OR SYSTEMS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER, IN WRITING. DEMOLITION DRAWINGS ARE BASED ON CASUAL FIELD OBSERVATION, AND WHEN AVAILABLE, EXISTING RECORD DOCUMENTS. REPORT DISCREPANCIES TO ARCHITECT BEFORE DISTURBING EXISTING INSTALLATION, AND IMMEDIATELY AFTER SUCH DISCREPANCIES ARE DISCOVERED.
- E. APPLICATION: EXISTING MATERIALS AND EQUIPMENT INDICATED ON THE DRAWINGS OR IN THE SPECIFICATIONS TO BE REUSED SHALL BE CLEANED AND RECONDITIONED, INCLUDING CLEANING OF PIPING SYSTEMS AND HVAC COILS PRIOR TO INSTALLATION AND REUSE. MATERIAL AND EQUIPMENT REMOVED THAT IS NOT TO BE SALVAGED FOR OWNER'S USE OR FOR REUSE ON THE PROJECT SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND BE REMOVED FROM THE SITE. MATERIAL OR EQUIPMENT SALVAGED FOR OWNER'S USE SHALL BE CAREFULLY HANDLED AND STORED WHERE DIRECTED BY THE OWNER OR THE ARCHITECT / ENGINEER. RELOCATE MATERIAL AND / OR EQUIPMENT AS DIRECTED BY OWNER. MATERIALS AND EQUIPMENT NOT INDICATED TO BE REMOVED OR ABANDONED SHALL BE RECONNECTED TO THE NEW SYSTEM. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL WALK AREAS TO BE RENOVATED WITH OWNER TO IDENTIFY AND DOCUMENT ITEMS TO BE SALVAGED FOR OWNER'S USE.
- F. SEQUENCE AND SCHEDULE: COORDINATE UTILITY SERVICE OUTAGES WITH UTILITY COMPANY, ARCHITECT AND OWNER. REMOVE CONCRETE HOUSEKEEPING PAD WHERE MATERIALS OR EQUIPMENT HAVE BEEN REMOVED.

STANDPIPE AND SPRINKLER SYSTEMS

- A. A WET SYSTEM SHALL BE INSTALLED IN HEATED AREAS AND DRY PIPE SYSTEMS IN AREAS SUBJECT TO FREEZING.
- B. FURNISH ALL ARTICLES OF A COMPLETED SPRINKLER SYSTEM INCLUDING ALL MATERIALS, LABOR, TOOLS, EQUIPMENT, TRANSPORTATION SERVICES AND SUPERVISION FEES.
- C. STUDY THE GENERAL, STRUCTURAL, ELECTRICAL AND MECHANICAL DRAWINGS AND SPECIFICATIONS. IN ORDER TO BECOME FAMILIAR WITH THE BUILDING AND DETAILS AS THEY APPLY TO THE WORK OF THIS SECTION.
- D. PROVIDE INSULATION FOR WET PIPES EXPOSED TO FREEZING CONDITIONS.
- E. SPRINKLER HEAD: ALL HEADS SHALL BE UL LISTED AND FM APPROVED, AND COMPLY WITH THE LATEST REQUIREMENTS OF NFPA 13 WITH RESPECT TO ORIFICE SIZE UNLESS OTHERWISE NOTED. SPRINKLER HEADS WITH "O" RING DESIGN SHALL NOT BE ACCEPTABLE.
- F. EXPOSED AREAS: STANDARD UPRIGHT TYPE WITH BRASS FINISH WITH ESCUTCHEON, WITH 165 DEGREE F TEMPERATURE. TYCO MODEL B, FRB, OR APPROVED EQUAL.
- G. DRY SPRINKLERS HEADS AT FREEZERS AND COOLERS: TYCO MODEL DS-1, DS-2, OR APPROVED EQUAL.
- H. DESIGN: DESIGN, SPACING OF SPRINKLER HEADS AND SELECTION SIZES SHALL CONFORM TO THE REQUIREMENTS OF NFPA 13 FOR THE INDICATED OCCUPANCY. UNIFORM DISCHARGE DENSITY DESIGN SHALL BE BASED ON HYDRAULIC CALCULATIONS USING THE METHOD OUTLINED IN NFPA 13. DENSITY OF DISCHARGE FROM SPRINKLER HEADS SHALL CONFORM TO NFPA 13. FRICTION LOSSES IN PIPE WILL BE BASED ON A VALUE OF "C" = 120 IN THE HAZEN AND WILLIAMS FORMULA.
- I. LOCATION: LOCATE HEADS AS MAY BE REQUIRED FOR COORDINATED CEILING PATTERN, EVEN THROUGH NUMBER OF HEADS EXCEED MINIMUM CODE REQUIREMENTS. SPRINKLER HEADS LOCATED IN UTILITY OR MECHANICAL ROOMS, PENTHOUSES, SERVICE CORRIDORS, OR OTHER SUCH SPACES NOT SUBJECT TO PUBLIC VIEW NEED NOT BE CENTERED IN CEILING PATTERNS AND MAY USE A STRAIGHT DROP FROM BRANCH LINE.
- J. INSTALLATION: PROVIDE A MINIMUM 18-INCH RADIUS SWING JOINT FOR EACH DROP TO SPRINKLER HEADS LOCATED IN CEILINGS. PROVIDE SHIELD OR DEFLECTOR FOR SPRINKLERS OR EQUIPMENT WHERE ELECTRICAL SWITCHGEAR, SWITCHBOARDS AND MOTOR CONTROL CENTERS ARE IN SPRINKLER PROTECTED SPACES.



1 PLUMBING OVERALL 1ST FLOOR STAGING PLAN
Scale: 1" = 20'-0"

PLUMBING GENERAL NOTES

1. IN AREAS WHERE THE FLOOR SLAB IS REMOVED, CONTRACTOR SHALL ALSO REMOVE UNDERSLAB WASTE AND VENT PIPING WHICH SERVES FIXTURES DESIGNATED FOR REMOVAL. PRIOR TO ANY REMOVAL, FIELD VERIFY THAT LINES TO BE REMOVED DO NOT SERVE ANY EXISTING FIXTURES TO REMAIN OR NEW FIXTURES TO BE INSTALLED.
2. IN AREAS WHERE THE FLOOR SLAB IS NOT REMOVED, CONTRACTOR SHALL ABANDON IN PLACE ANY UNDERSLAB WASTE AND VENT PIPING NO LONGER NEEDED, UNLESS THE PIPING MUST BE REMOVED TO ACCOMMODATE NEW CONSTRUCTION. IF NEW WORK DOES NOT NECESSITATE THEIR REMOVAL, CUT AND PLUG SUCH LINES BELOW SLAB, AND PATCH FLOOR TO MATCH EXISTING.
3. FIELD VERIFY EXACT LOCATION, SIZE, DEPTH, DIRECTION OF FLOW, CAPACITY, PIPE MATERIAL AND CONDITION OF EXISTING WASTE PIPING PRIOR TO BEGINNING CONSTRUCTION. ENSURE THAT PROPER CONNECTIONS TO AND EXTENSION OF SUCH UTILITIES CAN BE MADE.
4. WASTE LINES TO BE RE-USED OR RECONNECTED TO SHALL BE THOROUGHLY RODDED OUT AND FLUSHED TO ENSURE THEY ARE FREE FROM BLOCKAGES.
5. CONTRACTOR SHALL COORDINATE ROUTING OF PIPING IN CEILING SPACES WITH MECHANICAL AND ELECTRICAL EQUIPMENT, DUCTWORK AND CONDUIT. SHOULD A CONFLICT OCCUR THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER PRIOR TO INSTALLING AN ALTERNATE PIPING PLAN.
6. CONTRACTOR TO COORDINATE ALL REMODEL WORK WITH THE WORK OF OTHER TRADES TO AVOID CONFLICTS AND TO MINIMIZE INTERRUPTION OF SERVICES.
7. CONTRACTOR TO FIELD VERIFY AS NECESSARY THE EXACT ROUTING AND SIZES OF ALL PIPING.
8. ALL WORK, METHODS AND INSTALLATIONS INVOLVED IN THE PLUMBING DESIGN SHALL BE IN ACCORDANCE WITH THE CITY BUILDING CODE, INSPECTION REGULATIONS AND ALL OTHER OFFICIALS HAVING JURISDICTION.

FIRE SPRINKLER NOTE:
LICENSED SPRINKLER CONTRACTOR SHALL EXTEND THE AUTOMATIC FIRE SPRINKLER SYSTEM TO INCLUDE NEW ADDITION, AND MATCH NEW MATERIALS AND SPRINKLER HEADS TO EXISTING. EXISTING FIRE SPRINKLER SYSTEM TO BE MAINTAINED IN FULL OPERATING ORDER FOR ENTIRE BUILDING AT ALL TIMES.
LICENSED SPRINKLER ENGINEER OR LICENSED SPRINKLER CONTRACTOR TO PROVIDE DRAWINGS AND CALCULATIONS FOR UP DATE CHANGES TO EXISTING SYSTEM AND TO COMPLY WITH NEW SPACE LAYOUT, NFPA 13, ALL STATE AND LOCAL CODE REQUIREMENTS. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.

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4/11/22

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FIRST FLOOR
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