

# **GENERAL PROJECT NOTES:**

- ALL PERMITS, LICENSES, APPROVALS, FEES, TAXES, REVIEWS AND INSPECTIONS NECESSARY FOR THE LEGAL EXECUTION O THE WORK INCLUDING THE COMPLETION OF SUCH WORK SHALL BE SECURED BY AND PAID FOR BY THE CONTRACTOR. ALL PERMITS AND APPROVALS SHALL BE OBTAINED PRIOR TO THE COMMENCEMENT OF ANY WORK. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL CONSTRUCTION DOCUMENTS AS APPROVED BY ALL AUTHORITIES HAVING JURISDICTION. CONTRACTOR SHALI COORDINATE ALL NECESSARY INSPECTIONS AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION FOR THE SUBJECT PROJECT.
- 2. ALL WORK SHALL COMPLY WITH FEDERAL, STATE, & LOCAL LAWS, REGULATIONS, ORDINANCES AND CODES. ALL WORK SHALL BE IN COMPLIANCE WITH THE FEMA CONSENSUS-BASED CODES, FP-104-009-11 VERSION 2.1 PRIOR TO, AND AS A CONDITION OF BIDDING, ALL CONTRACTORS AND SUBCONTRACTORS SHALL BE REQUIRED TO VISIT THE SITE TO FULLY AND THOROUGHLY APPRISE THEMSELVES OF THE EXISTING CONDITIONS, ACCESS REQUIREMENTS,
- AVAILABLE STORAGE AND LAY-DOWN AREAS, AND OTHER CONDITIONS PARTICULAR TO THE PROJECT, AND SHALL MA ALLOWANCES FOR THE SAME IN THEIR BID PROPOSAL PRIOR TO BIDDING, THE CONTRACTOR SHALL VISIT AND INSPECT THE
- INCLUDING THE AREAS IN AROUND ON AND ADJACENT TO THOSE BUILDINGS ALL ROOF AREAS. PARKING AREAS DRIVES SIDEWALKS AND THE GRASS AREAS ASSOCIATED WITH THOSE BUILDINGS. TO DETERMINE THE QUANTITY ( DEBRIS WHICH SHALL BE REMOVED. THE CONTRACTOR SHALL INCLUDE IN HIS BID PROPOSAL THE COMPLETE REMOVAL OF ALL DEBRIS, OF WHATEVER TYPE OR ORIGIN, FROM THOSE AREAS, AND SHALL DISPOSE OF THE SAME IN A LAWEL
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXTENT. NATURE AND SCOPE OF WORK DESCRIBED IN THES DOCUMENTS AND SHALL COORDINATE WITH THE ARCHITECT WORK SHOWN AND DESCRIBED IN THESE DOCUMENTS. CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION, DELIVERY, HANDLING, SERVICES SUPERVISION AND QUALITY CONTROL NECESSARY TO EXECUTE ALL WORK AS SHOWN ON THE DRAWINGS EXCEPT SPECIFICALLY NOTED AS NOT IN CONTRACT (NIC). THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING H WORK WITH THAT OF ALL TRADES INCLUDING THOSE OPERATING UNDER SEPARATE CONTRACTS WITH THE OWNER (I ANY). ALL WORK SHALL BE BY SKILLED AND QUALIFIED WORKERS IN ACCORDANCE WITH THE BEST PRACTICES OF THE TRADES INVOLVED.
- THE CONTRACTOR SHALL SECURE FROM THE ARCHITECT ANY ADDITIONAL INFORMATION, IF NECESSARY, THAT MAY REQUIRED FOR A COMPLETE CLEAR AND FULL UNDERSTANDING OF THE WORK, TO ESTABLISH THE COMPLETE SCOPE OF WORK, AND TO ACHIEVE CLOSE COORDINATION BETWEEN ALL TRADES. EACH TRADE SHALL COMPLETELY REVIEW ALL DRAWINGS, NOT ONLY THE DRAWINGS FOR HIS RESPECTIVE TRADE, BUT ALSO FOR THE WORK OF ALL OTHER TRADES AS WELL. NO TRADE SHALL PROCEED WITH ORDERING OR INSTALLATION OF ANY MATERIALS AND/OR EQUIPMENT WITHOUT FIRST COORDINATING WITH ALL OTHER TRADES, CONTRACTOR SHALL COORDINATE SUBCONTRACTOR'S WORK REQUIREMENTS TO ENSURE THAT WORK CAN PROCEED CONTINUOUSLY AND EXPEDITIOUSLY AND WILL PROVIDE THE BEST RESULTS FOR THE COMPLETED WORK. TITLES AND NAMES ON DRAWINGS ARE PROVIDED MERELY FOR CONVENIENCE AND
- SHALL NOT BE CONSTRUED AS A SEGREGATION OF THE UNITS OF MATERIALS AND/OR LABOR INTO TRADES. ALL DIMENSIONS, ANGLES, ELEVATIONS, CONDITIONS AND PHYSICAL CONFIGURATIONS RELATIVE TO EXISTING CONDITIONS SHALL BE VERIFIED IN FIELD BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION, BEFORE ORDERING ANY MATERIAL OR DOING ANY WORK, THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THE SITE AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. ANY DIFFERENCES FOUND BETWEEN ACTUAL AND THOSE INDICATED ON DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR CONSIDERATION PRIOR TO BID.
- 8 DO NOT SCALE ANY DRAWINGS WITHOUT SPECIFIC PERMISSION OF THE ARCHITECT, WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE, UNLESS OTHERWISE NOTED. CONSULT ARCHITECT FOR DIMENSIONS NOT SHOWN 9. ANY DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT FOR INTERPRETATION
- OR CORRECTION BEFORE WORK IS EXECUTED. HOWEVER, IN THE EVENT A DISCREPANCY IS FOUND, THE CONTRACTOR SHALL PROVIDE THE MORE EXPENSIVE ITEM. 10. THE CONSTRUCTION DOCUMENTS FOR THE SUBJECT PROJECT SHALL BE PRESENT ON THE SITE AT ALL TIMES. STATE FIRE
- MARSHAL STAMPED CONSTRUCTION DOCUMENTS SHALL BE STORED IN A SECURE LOCATION BY THE CONTRACTOR AND SHALL BE PRESENT AT THE SITE AT THE TIME OF THE STATE FIRE MARSHAL'S FINAL WALK-THROUGH. 11. CONTRACTOR SHALL CONDUCT ALL WORK IN AN ORDERLY AND PROFESSIONAL MANNER SO AS NOT TO DISRUPT THE OWNER'S ACTIVITY, ANY ADJACENT LANDOWNERS OR PUBLIC WAYS.

VICINITY MAP:

- 12. THE CONSTRUCTION DOCUMENTS ARE INTENDED TO DEFINE THE GENERAL DESIGN AND SCOPE OF THE WORK REQUIRED TO COMPLETE THE SUBJECT PROJECT. IT IS THE INTENT OF THESE DOCUMENTS TO PROVIDE FOR COMPLE AND FINISHED WORK AND SYSTEMS. ANY OMISSIONS IN THESE NOTES OR IN THE CONSTRUCTION DOCUMENTS SHALL NOT BE CONSTRUED AS RELIEVING THE CONTRACTOR OF SUCH RESPONSIBILITIES IMPLIED BY THE SCOPE C WORK EXCEPT FOR ITEMS SPECIFICALLY NOTED
- 13. ALL MISCELLANEOUS COMPONENTS, PARTS, ANCHORS, ACCESSORIES, MEANS OF INSTALLATION, AND OTHE INCIDENTAL ITEMS REQUIRED FOR COMPLETE ASSEMBLY/INSTALLATION OF AN ITEM OR SYSTEM SHALL BE PROVID WHETHER OR NOT SPECIFICALLY NOTED OR SPECIFIED. THE CONTRACTOR SHALL INCLUDE ALL COMPONENTS WHIC ARE NORMALLY INCIDENTAL TO THE WORK. THOSE COMPONENTS WHICH ARE REQUIRED AS AN ESSENTIAL AESTHET FUNCTIONAL, OR CODE REQUIRED ELEMENT OF THE WORK ARE TO BE INCLUDED, ANY WORK OR MATERIAL THAT IS NOT DIRECTLY OR INDIRECTLY NOTED ON THE DRAWINGS BUT IS NECESSARY FOR THE PROPER CARRYING OUT OF THI OBVIOUS INTENTION IS TO BE UNDERSTOOD AS "IMPLIED" AND IS TO BE PROVIDED BY THE CONTRACTOR AS FULLY A SPECIFICALLY DESCRIBED OR DELINEATED HEREIN
- 14. ALL ELECTRICAL WORK SHALL CONFORM TO THE APPLICABLE ELECTRICAL CODE, DONE TO THE HIGHEST COMMERCIAL STANDARDS, ALL ELECTRICAL WORK SHALL CONFORM TO LOCA REQUIREMENTS: ALL ELECTRICAL WORK SHALL BE PERFORMED BY LICENSED ELECTRICIANS, PROPERLY LICENSED TO DO COMMERCIAL WORK WITHIN THE STATE IN WHICH THE WORK IS BEING PERFORMED. ALL ELECTRICAL MATERIALS AND EQUIPMENT SHALL BE UL APPROVED AND LABELED FOR THE INTENDED USE. 15. THE CONTRACTOR SHALL FULLY COMPLY WITH EPA AND LOCAL STORM WATER REGULATIONS, POLLUTION PREVENTIO
- PLAN AND LAND DISTURBANCE PLAN. 16. THE CONTRACTOR SHALL COORDINATE ALL STAGING AND PARKING WITH THE OWNER'S REPRESENTATIVE REPRESENTATIVE SHALL BE PRESENT AT THE PRE-CONSTRUCTION MEETING. THE CONSTRUCTION OPERATIONS OF TH CONTRACT MAY NOT CAUSE ANY OBSTRUCTION TO THE FREE FLOW OF TRAFFIC ON THE CAMPUS WITHOUT THE PRIOR AUTHORITY OF THE OWNER
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIR AND/OR REPLACEMENT OF EXISTING LAWNS. DITCHES. CONCRETE SIDEWALKS, FENCING OR ANY OTHER STRUCTURES, INCLUDING UTILITIES DAMAGED BY THE CONTRACTORS OPERATIONS. THE CONTRACTOR SHALL CONDUCT A PRE-CONSTRUCTION SITE SURVEY WITH OWNER'S REPRESENTATIVE SO THAT ANY SUCH ELEMENTS NEEDING REPAIR OR WHICH ARE ALREADY DAMAGED IN AN' MANNER, MAY BE PROPERLY IDENTIFIED, DESCRIBED, AND RECORDED WITH THE OWNER. IF NO SUCH DAMAGE IS RECORDED, THEN ANY STRUCTURES OVER WHICH THE CONTRACTOR HAS CROSSED DURING CONSTRUCTION WHICH ARE LATER FOUND TO BE DAMAGED, SHALL BE CONSIDERED DAMAGED BY THE CONTRACTOR AND SHALL BE REPAIRED AND/OR REPLACED BY THE CONTRACTOR AS NECESSARY TO RETURN DAMAGED ITEMS TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE OWNER AT NO COST TO THE OWNER.
- 18. THE CONTRACTOR SHALL NOT PERMIT TRASH AND DEBRIS TO ACCUMULATE IN THE BUILDING OR ON THE GROUND IN THE VICINITY OF THE BUILDING. GC SHALL ESTABLISH AND MAINTAIN A REGULAR DAILY ROUTINE FOR REMOVING TRASH AND DEBRIS AND HAULING IT AWAY FROM THE PREMISES.
- PROJECT. IMMEDIATELY REMOVE ANY MUD OR DEBRIS CONTAMINATION FOR THE DURATION OF THE PROJECT. IMMEDIATELY REMOVE ANY MUD OR DEBRIS DEPOSITED ON ROADS OR SIDEWALKS OUTSIDE THE WORK ZONE. 20. HAZARDOUS MATERIALS SHALL BE DEMOLISHED AND DISPOSED BY A QUALIFIED DEMOLITION CONTRACTOR.
- DEMOLITION AND DISPOSAL SHALL BE IN STRICT ACCORDANCE OF THE HAZARDOUS MATERIALS SPECIFICATION REQUIREMENTS, RE: SPECS. 21. AT BUILDINGS COVERED BY EXISTING ROOF WARRANTIES WHERE NEW WORK TIES IN WITH EXISTING, CONTRACTOR
- SHALL PERFORM NEW WORK TO COMPLY WITH THE REQUIREMENTS OF THE WARRANTY HOLDER SO AS NOT TO VOID THAT WARRANTY. CONTRACTOR SHALL BE REQUIRED TO OBTAIN NECESSARY WARRANTY HOLDER INSPECTIONS (BOTH BEFORE AND AFTER PERFORMANCE OF THE WORK) IN ORDER TO DETERMINE A COMPLETE SCOPE OF WORK AND SHALL PROVIDE WRITTEN COPIES OF WARRANTY HOLDER'S INSPECTIONS AND RECOMMENDATIONS TO THE OWNER AND DESIGN TEAM FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.

BUILDING CODE:			
	2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC) 2018 INTERNATIONAL BUILDING CODE (IBC)	INTERNATIONAL EXISTING BUILDIING CODE 2018	"WORK AREA COMPLIANCE METH NO ALTERATIONS OR ADDITIONS /
IFE SAFETY CODE: PRINKLER CODE: DTHER CODES:	NFPA 101 - 2018 EDITION NFPA 13 - 2018 EDITION ADA STANDARDS FOR ACCESSIBLE DESIGN FEMA CONSENSUS-BASED CODES AND STANDARDS	IEBC 2018 - 603 - FIRE PROTECTION	REPAIRS SHALL BE DONE IN A MAT PROTECTION PROVIDED
DRIGINAL BUILDING CODE:	2012 INTERNATIONAL BUILDING CODE 2012 LOUISIANA STATE PLUMBING CODE	IEBC 2018 - 604 - MEANS OF EGRESS	REPAIRS SHALL BE DONE IN A MAT PROTECTION FOR THE MEANS OF
	2012 INTERNATIONAL MECHANICAL CODE 2012 INTERNATIONAL FUEL GAS CODE 2012 NFPA 101 LIFE SAFTEY CODE	IEBC 2018 - 605 - ACCESSIBILITY	REPAIRS SHALL BE DONE IN A MAT ACCESSIBILITY PROVIDED
EXISTING TOTAL BUILDING AREA: Main Building Covered Entrance FREEZER & Cooler (Main Scope of Work)	168,955 SQUARE FEET 161,096 SQUARE FEET 3,148 SQUARE FEET <b>4,711 SQUARE FEET</b>	IEBC 2018 - 606.2.1 - STRUCTURAL	<u>REPAIRS FOR LESS THAN SUBSTANT</u> FOR DAMAGE LESS THAN <i>SUBSTAN</i> ELEMENTS SHALL BE PERMITTED TO CONDITION
		IEBC 2018 - 607 - ELECTRICAL	EXISTING ELECTRICAL WIRING ANE ALLOWED TO BE REPAIRED OR REP
<u>EBC:</u> BUILDING OCCUPANCY:	MIXED NON-SEPARATED BUSINESS, ASSEMBLY A-2, LOW-HAZARD STORAGE S-2	IEBC 2018 - 608 - MECHANICAL	EXISTING MECHANICAL SYSTEMS U BUILDING LESS CONFORMING TH/ UNDERTAKEN.
CONSTRUCTION TYPE:	II B	IEBC 2018 - 609 - PLUMBING	PLUMBING MATERIALS AND SUPPLI ARE PROHIBITED IN THE INTERNATI
SPRINKLERS:	SPRINKLERED		
FIRE ALARM:	YES	FEMA CONSENSUS BASED CODES AND STANDARDS	NOTE: FEMA CONSENSUS-BASED LATEST PUBLISHED EDITIONS OF RI SPECIFICATIONS, AND STANDARDS
BUILDING WIND SPEED REQUIREMENTS (ASCE7-16):	RISK CATEGORY III (141MPH)		RESISTANT DESIGN AND ESTABLISH IMPLEMENTED. THE GC IS TO FOLL
ELOOD ZONE:	AE		BETWEEN THE LOCALLY ADOPTED POLICY.



19. PROTECT ALL SITE DRAINAGE STRUCTURES FROM SOIL OR DEBRIS CONTAMINATION FOR THE DURATION OF THE

THOD - REPAIRS" NS ARE PART OF THIS SCOPE OF WORK

NATTER THAT MAINTAINS THE LEVEL OF FIRE

AATTER THAT MAINTAINS THE LEVEL OF OF EGRESS AATTER THAT MAINTAINS THE LEVEL OF

ANTIAL STRUCTURAL DAMAGE: ANTIAL STRUCTURAL DAMAGE, THE DAMAGED TO BE RESTORED TO THEIR PRE-DAMAGE

AND EQUIPMENT UNDERGOING REPAIR SHALL BE REPLACED WITH LIKE MATERIAL.

UNDERGOING REPAIR SHALL NOT MAKE THE HAN IT WAS BEFORE THE REPAIR WAS

PPLIES SHALL NOT BE USED FOR REPAIRS THAT ATIONAL PLUMBING CODE.

ED CODES AND STANDARDS REQUIRE "THE RELEVANT CONSENSUS-BASED CODES, RDS THAT INCORPORATE THE LATEST HAZARD LISH MINIMUM ACCEPTABLE CRITERIA" TO BE OLLOW WHATEVER IS MORE STRINGENT ED CODES AND THOSE APPROVED BY THE FEMA Construction Document Pack tor

# Hurricane Laura Building Repairs Calcasieu Parish School Board Administration Building Freezer & Cooler Replacement

3310 Broad Street Lake Charles, Louisiana

# Project Number: HL-799-03 CPSB



# Issued: 04-11-2022

Karl Bruchhaus Superintendent

## **School Board Members**

Aaron Natali District 1

Annette Ballard District 4

Mack Dellafosse District 7

Alvin Smith District 10

Billy Breaux District 13

Fredman Hardy

District 2

Mark Young District 5

Eric Tarver District 8

Damon Hardesty District 9

Bliss Bujard District 11

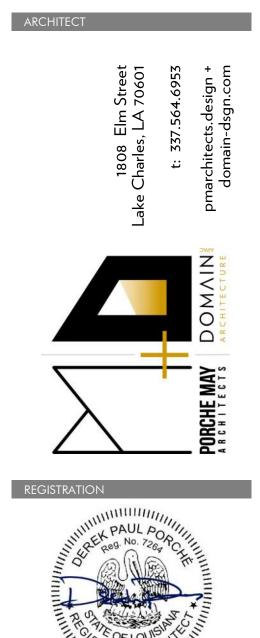
Russell Castille District 12

Desmond Wallace District 14

John Duhon District 15

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SHEET NUMBER SHEET NAME			
GENERAL			
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DEMOLITION			
D2.01	FIRST FLOOR DEMOLITION PLAN & RCP		
D2.02	DAMAGE PHOTO KEYPLAN		
D6.01	EXTERIOR ELEVATIONS DEMOLITION		
ARCHITECTUR	E		
A2.01	STAGING PLAN AND ALTERNATE #1 TEMPORARY STORAGE		
A2.02	COOLER/FREEZER PLAN & DETAILS		
A5.01	COOLER/FREEZER REFLECTED CEILING PLAN		
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.ED2.01	ELECTRICAL FIRST FLOOR DEMOLITION PLAN		
E2.01	ELECTRICAL OVERALL FIRST FLOOR STAGING PLAN		
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personal supervision, and to the best of our knowledge comply wit

state and local codes. We will generally administer construction

APAC and are not to be reproduced in whole or in part. They a only to be used for the project and site specifically identified he Scales stated hereon are valid on the original drawings only. Contractor shall carefully review all dimensions and condit ind report to the architect any errors, inconsistencies, or discovered. These plans were prepared in this office under ou

Glenda Gay District 3

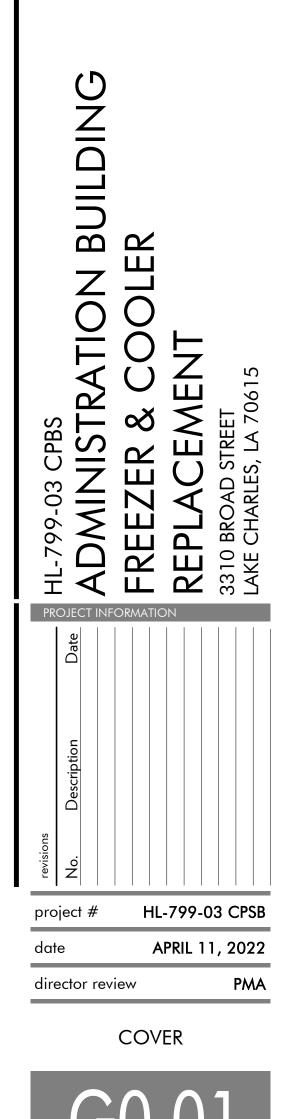
Dean Roberts District 6

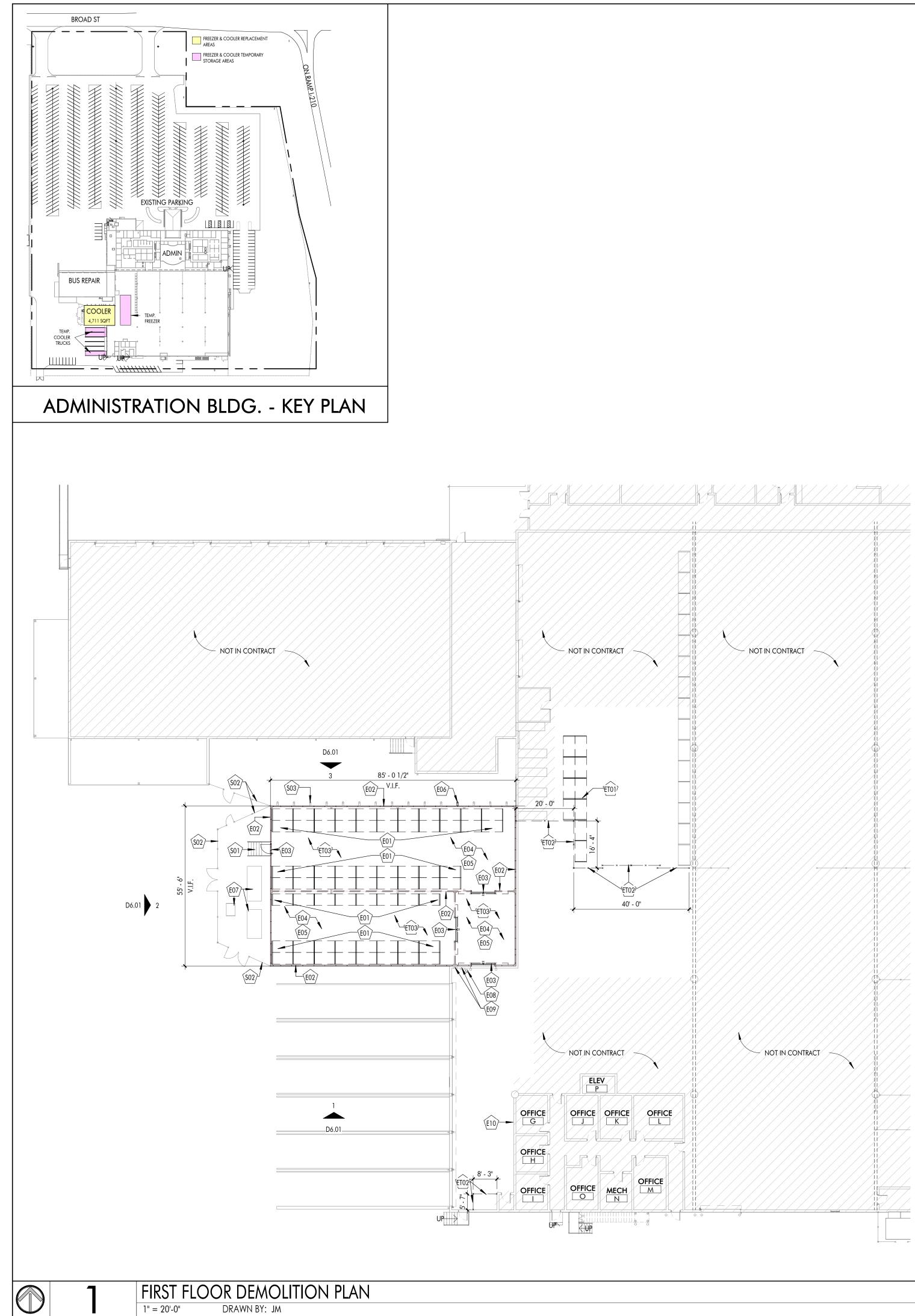
# ARCHITECT

PORCHE MAY ARCHITECTS + DOMAIN ARCHITECTURE 1808 ELM STREET LAKE CHARLES, LA 70601 337.564.6953

# MEP ENGINEERS

SALAS O'BRIEN 2380 TOWN CENTER BLVD STE 1210 BATON ROUGE, LA 70806 225.766.8002





	DEMOLITION
Mark	
E01	CONTRACTOR TO COORDINATE WITH OWNER PRIOR TO START C RACKS AND RELOCATE AS REQUIRED INTO TEMPORARY STORAGE CONTRACTOR SHALL STORE AND PROTECT FOR INSTALL IN NEW
E02	COMPLETELY REMOVE ALL COOLER & FREEZER PANEL WALLS. CON DURING CONSTRUCTION.
E03	COMPLETELY REMOVE ALL ELECTRIC OPERATED COOLER & FREEZE DRAWINGS FOR ASSOCIATED CONTROLS.
E04	EXISTING FREEZER/COOLER SHEEL FRAME, ANCHOR BOLTS, STEEL EXISTING TO BE REUSED AND SHALL BE PROTECTED THROUGHOL
E05	CONTRACTOR TO PROTECT EXISTING FLOORING AND CONCRET
E06	COMLETELY REMOVE PORTION OF DAMAGED 4" PVC VENT AND P
E07	REFER TO MEP DRAWINGS FOR DETAILS REGARDING CONDENSO CONTROLS.
E08	REFER TO MEP DRAWINGS FOR DETAILS REGARDING SPRINKLER RIS
E09	REFER TO MEP DRAWINGS FOR DETAILS ASSOCIATED WITH FIRE AL
E10	REFER TO MEP DRAWINGS FOR DETAILS ASSOCIATED WITH POWE
E11	REFER TO MEP DRAWINGS FOR DETAILS ASSOCIATED WITH EVAPO REGARDING RE-USE VS. REMOVE.
E12	REFER TO MEP DRAWINGS FOR RE-USE DETAILS ASSOCIATED WITH
E13	REFER TO MEP DRAWINGS FOR DETAILS ASSOCIATED WITH LIGHTI
E14	COMPLETELY REMOVE EXISTING EXTERIOR CANOPY PROVIDED IN NEW WORK.
E15	COMPLETELY REMOVE EXISTING COOLER /FREEZER PANEL CEILING
E16	CAREFULLY REMOVE EXISTING MAIN BUILDING EXTERIOR METAL P, RAKES FOR ASSOCIATED DEMOLITION OF COOLER/FREEZER COM WORK. CONTRACTOR SHALL TAKE GREAT CARE DURING REMOVA
E17	REFER TO MEP DRAWINGS FOR DETAILS ASSOCIATED WITH EXTERI
ET01	TEMPORARY STORAGE WORK: CONTRACTOR TO COORDINATE REWORK. CONTRACTOR TO DISASSEMBLE PALLET STORAGE RACKS A LOCATIONS. CONTRACTOR TO PLACE BACK UNDAMAGED IN SAME REMOVAL OF TEMPORARY STORAGE COMPONENTS.
ET02	TEMPORARY STORAGE WORK: CONTRACTOR TO TEMPORARILY RE HARDWARE AND STORE AS REQUIRED. CONTRACTOR TO PLACE B COMPLETION OF WORK.
ET03	COMPLETELY REMOVE EXISTING EPOXY PAINTED FLOOR FINISH TH FOR NEW FINISH.
S01	EXISTING STAIR AND ASSOCIATED RAILING TO REMAIN. CONTRAC
S02	EXISTING SITE FENCING AND GATES TO REMAIN. CONTRACTOR T
S03	EXISTING 4" PVC SLAB VENTS TO BE CAREFULLY PROTECTED THRO LOCATIONS.
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$\frac{10}{(1.)}$	KEYNOTES (ET 1& 2) TEMPORARY STORAGE WOR





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DTES	GENERAL PLAN NOTES	ARCHITECT
ON WORK. CONTRACTOR TO DISASSEMBLE PALLET STORAGE OCATIONS. IF ALTERNATE #1 IS NOT ACCEPTED ORK. PACTOR TO PROTECT INSULATED CONCRETE FLOOR AREAS	A. THE FOLLOWING PLANS WERE THE RESULT OF ONSITE INVESTIGATION AND ONSITE SURVEYING BY THE DESIGN TEAM. AS-BUILT DOCUMENTATION DOES NOT EXIST ON ANY OF THE EXISTING BUILDINGS.	1808 Elm Street Lake Charles, LA 70601 t: 337.564.6953 narchitects.design domain-dsgn.com
DOORS AND ALL ASSOCIATED HARDWARE. REFER TO MEP	B. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VISIT THE SITE AND RECORD OBSERVATIONS PRIOR TO THE START OF CONSTRUCTION. SHOULD EXISTING CONDITIONS DEVIATE FROM	28 Elm ce Charl 337.56/ hitects.o
AME HARDWARE, AND FOUNDATION SHALL REMAIN THE DURATION OF CONSTRUCTION. AB THROUGHOUT DURING CONSTRUCTION.	WHAT IS SHOWN IN THESE DOCUMENTS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND ARCHITECT.	1808 Lake t: 33 pmarchit domaii
PARE TO MATCH ADJACENT DESIGN WITH NEW.		<u>0</u>
AND ASSOCIATED CONDENSOR LINES, POWER, AND	DEMOLITION NOTES	w vevc
M ITEMS. ANELS. TORS, DRAIN LINES, POWER, AND CONTROLS.NOTE ITEMS R SCREEN POWER AND CONTROLS.	A. VISUAL RECORDING OF DAMAGE AND ITEMS TO BE DEMOLISHED WERE DONE TO THE BEST ABILITY OF THE DESIGN TEAM, HOWEVER IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE CONDITION AND NATURE OF THE EXISTING CONSTRUCTION AND HURRICANE-INFLICTED DAMAGE. ANY AND ALL DISCREPANCIES FROM THESE DOCUMENTS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.	
5, LIFE SAFETEY FIXTURES, AND FIRE SUPRESSION. ASE 1 DAMAGE REPLACEMENT AND STORE FOR RE-USE IN	B. THE DOCUMENTS ARE NOT AS-BUILT DRAWINGS AND SHOULD NOT BE TREATED AS SUCH. THE CONTRACTOR SHALL FULLY EXAMINE THE PROJECT SITE PRIOR TO BIDDING AND VERIFY ALL DIMENSIONS.	
ND ASSOCIATED TPO ROOF COMPONENTS. ELS, INSULATION, GUTTERS, AND/OR ASSOCIATED END INENTS. THESE ITEMS SHALL BE STORED FOR RE-USE IN NEW OF THESE ITEMS. LIGHTING AND SECURITY DEVICES.	<ul> <li>C. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL STRUCTURAL COLUMNS, BEAMS AND WALLS PRIOR TO THE START OF DEMOLITION. NO STRUCTURAL COLUMNS OR WALLS ARE TO BE REMOVED UNLESS NOTED IN THE DRAWINGS.</li> </ul>	REGISTRATION
OVAL OF FOOD PRODUCT WITH OWNER PRIOR TO START OF D RELOCATE AS REQUIRED INTO TEMPORARY STORAGE MANNER AS EXISTING UPON COMPLETION OF WORK AND	D. THE OWNER HAS FIRST RIGHT TO SALVAGE OF DEMOLISHED MATERIALS. THE OWNER SHALL IDENTIFY ITEMS TO BE SALVAGED PRIOR TO THE START OF DEMOLITION. THE CONTRACTOR SHALL REMOVE AND STORE IN A SECURE LOCATION, ITEMS IDENTIFIED TO	ENTITUTION NO. 7264 CHILL
DVE CHAIN LINK FENCING, POSTS, GATES AND ASSOCIATED K UNDAMAGED IN NEW WORK IN SAME FASHION UPON	TURN OVER TO THE OWNER. E. IN AREAS WHERE DEMOLITION IS REQUIRED, IT IS THE RESPONSIBILITY	
DUGHOUT AND PREPARE INSULATED CONCRETE SUBSTRATE	OF THE CONTRACTOR TO PROTECT ADJACENT FINISHES TO REMAIN FROM DAMAGE, DUST AND DEBRIS FOR THE DURATION OF	ROTE OF LOUGHT
OR TO PROTECT THROUGOUT CONSTRUCTION.	CONSTRUCTION.	
PROTECT THROUGOUT CONSTRUCTION. HOUT CONSTRUCTION FROM DAMAGE.TYPICAL FOR ALL	F. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND CONFIRMING EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND TO TAG ALL ACTIVE UTILITIES TO REMAIN THAT RUN THROUGH AREA OF WORK. THIS INCLUDES, BUT IS NOT	These drawings are the property of DOMAIN ARCHITECTURE APAC and are not to be reproduced in whole or in part. They are only to be used for the project and site specifically identified herein. Scales stated hereon are valid on the original drawings only.
I <u>S ALTERNATE #1</u> TE #2	LIMITED TO: SEWER LINES, DOMESTIC WATER, HOT WATER, ELECTRICAL CONDUITS, CONTROL WIRING AND TELECOMMUNICATIONS/DATA. G. GENERAL CONTRACTOR IS TO REMOVE ALL UTILITIES SCHEDULED FOR DEMOLITION BACK TO SERVICE ORIGIN. DO NOT ABANDON IN	Contractor shall carefully review all dimensions and conditions shown and report to the architect any errors, inconsistencies, or omissions discovered. These plans were prepared in this office under our personal supervision, and to the best of our knowledge comply with state and local CLIENT
	<ul> <li>PLACE.</li> <li>H. REMOVE AND LEGALLY DISPOSE OF DEBRIS, RUBBISH AND OTHER DEMOLITION WASTE MATERIALS FROM THE SITE.</li> </ul>	

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RATION BUILDIN COOLER

**VISTR** 

ADMIN

CPBS

-03

HL-799.

project #

director

date

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REP

HL-799-03 CPSB

APRIL 11, 2022

FIRST FLOOR

DEMOLITION PLAN & RCP

PMA

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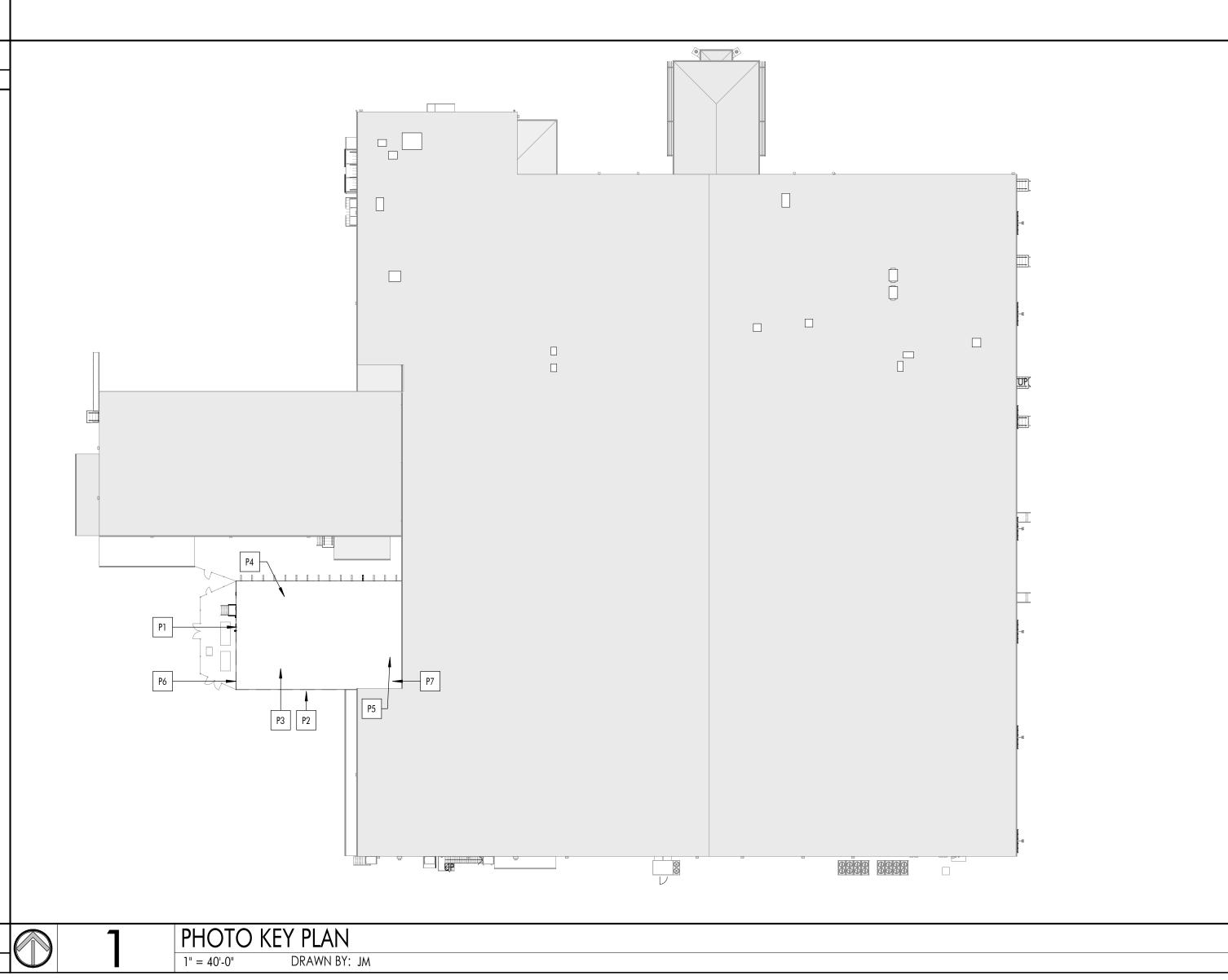
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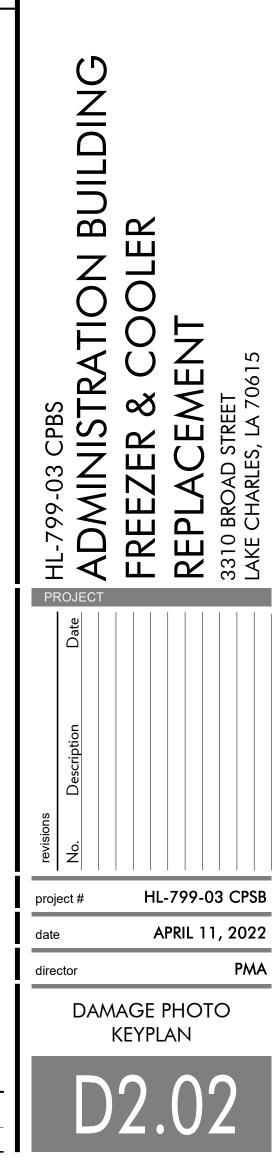
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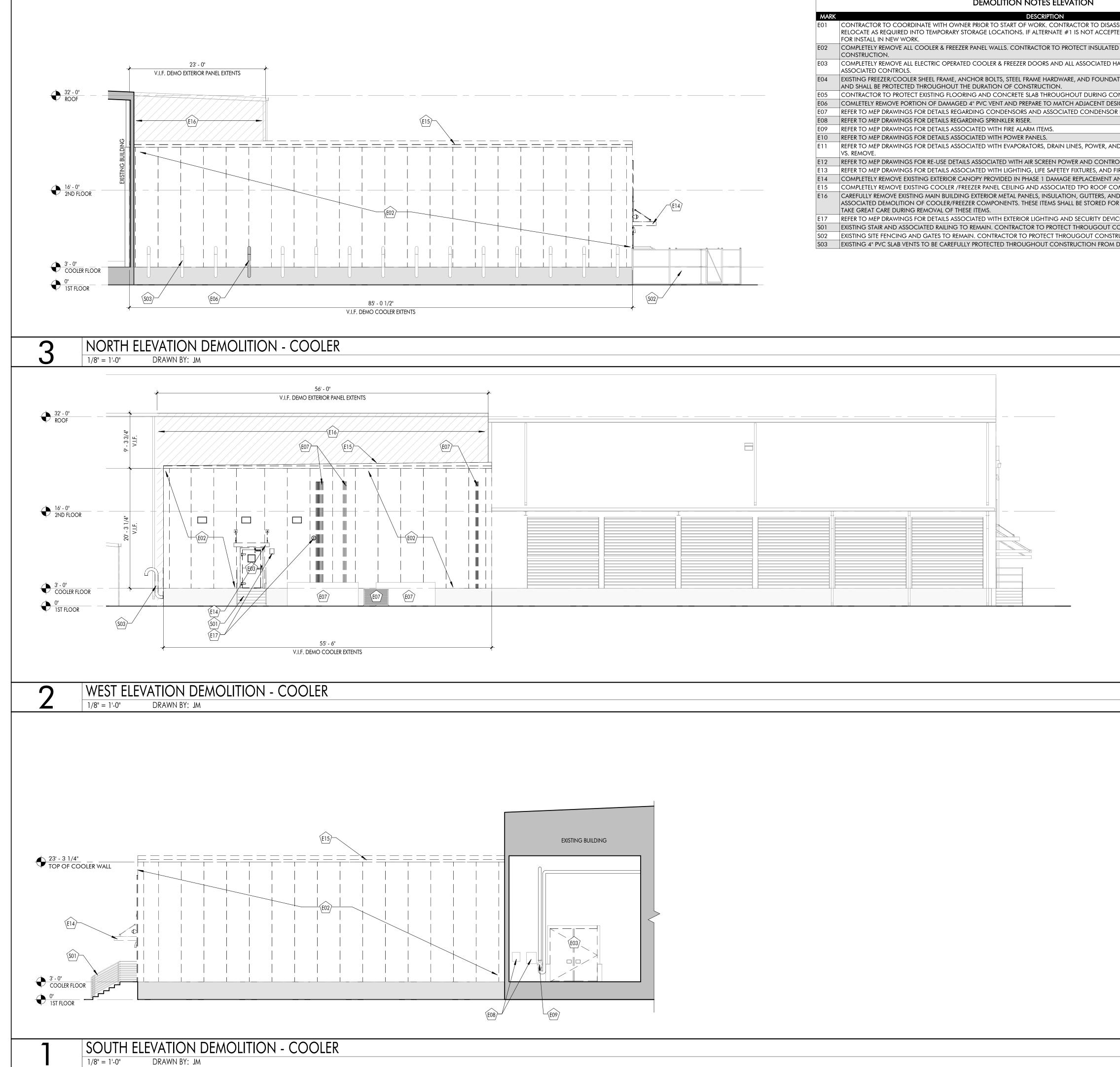
	DEMOLITION NOTES
MARK	DESCRIPTION
E01	CONTRACTOR TO COORDINATE WITH OWNER PRIOR TO START OF WORK. CONTRACTOR TO DISASSEMBLE PALLET STORAGE RACKS AND RELOCATE AS REQUIRED INTO TEMPORARY STORAGE LOCATIONS. IF ALTERNATE #1 IS NOT ACCEPTED CONTRACTOR SHALL STORE AND PROTECT FOR INSTALL IN NEW WORK.
E02	COMPLETELY REMOVE ALL COOLER & FREEZER PANEL WALLS. CONTRACTOR TO PROTECT INSULATED CONCRETE FLOOR AF DURING CONSTRUCTION.
E03	COMPLETELY REMOVE ALL ELECTRIC OPERATED COOLER & FREEZER DOORS AND ALL ASSOCIATED HARDWARE. REFER TO MI DRAWINGS FOR ASSOCIATED CONTROLS.
E04	EXISTING FREEZER/COOLER SHEEL FRAME, ANCHOR BOLTS, STEEL FRAME HARDWARE, AND FOUNDATION SHALL REMAIN EXISTING TO BE REUSED AND SHALL BE PROTECTED THROUGHOUT THE DURATION OF CONSTRUCTION.
E05	CONTRACTOR TO PROTECT EXISTING FLOORING AND CONCRETE SLAB THROUGHOUT DURING CONSTRUCTION.
E06	COMLETELY REMOVE PORTION OF DAMAGED 4" PVC VENT AND PREPARE TO MATCH ADJACENT DESIGN WITH NEW.
E07	REFER TO MEP DRAWINGS FOR DETAILS REGARDING CONDENSORS AND ASSOCIATED CONDENSOR LINES, POWER, AND CONTROLS.
E08	REFER TO MEP DRAWINGS FOR DETAILS REGARDING SPRINKLER RISER.
E09	REFER TO MEP DRAWINGS FOR DETAILS ASSOCIATED WITH FIRE ALARM ITEMS.
E10	REFER TO MEP DRAWINGS FOR DETAILS ASSOCIATED WITH POWER PANELS.
E11	REFER TO MEP DRAWINGS FOR DETAILS ASSOCIATED WITH EVAPORATORS, DRAIN LINES, POWER, AND CONTROLS.NOTE ITE REGARDING RE-USE VS. REMOVE.
E12	REFER TO MEP DRAWINGS FOR RE-USE DETAILS ASSOCIATED WITH AIR SCREEN POWER AND CONTROLS.
E13	REFER TO MEP DRAWINGS FOR DETAILS ASSOCIATED WITH LIGHTING, LIFE SAFETEY FIXTURES, AND FIRE SUPRESSION.
E14	COMPLETELY REMOVE EXISTING EXTERIOR CANOPY PROVIDED IN PHASE 1 DAMAGE REPLACEMENT AND STORE FOR RE-USE NEW WORK.
E15	COMPLETELY REMOVE EXISTING COOLER /FREEZER PANEL CEILING AND ASSOCIATED TPO ROOF COMPONENTS.
E16	CAREFULLY REMOVE EXISTING MAIN BUILDING EXTERIOR METAL PANELS, INSULATION, GUTTERS, AND/OR ASSOCIATED END RAKES FOR ASSOCIATED DEMOLITION OF COOLER/FREEZER COMPONENTS. THESE ITEMS SHALL BE STORED FOR RE-USE IN WORK. CONTRACTOR SHALL TAKE GREAT CARE DURING REMOVAL OF THESE ITEMS.
E17	REFER TO MEP DRAWINGS FOR DETAILS ASSOCIATED WITH EXTERIOR LIGHTING AND SECURITY DEVICES.
ET01	TEMPORARY STORAGE WORK: CONTRACTOR TO COORDINATE REMOVAL OF FOOD PRODUCT WITH OWNER PRIOR TO STA WORK. CONTRACTOR TO DISASSEMBLE PALLET STORAGE RACKS AND RELOCATE AS REQUIRED INTO TEMPORARY STORAGE LOCATIONS. CONTRACTOR TO PLACE BACK UNDAMAGED IN SAME MANNER AS EXISTING UPON COMPLETION OF WORK A REMOVAL OF TEMPORARY STORAGE COMPONENTS.
ET02	TEMPORARY STORAGE WORK: CONTRACTOR TO TEMPORARILY REMOVE CHAIN LINK FENCING, POSTS, GATES AND ASSOCI HARDWARE AND STORE AS REQUIRED. CONTRACTOR TO PLACE BACK UNDAMAGED IN NEW WORK IN SAME FASHION UPC COMPLETION OF WORK.
ET03	COMPLETELY REMOVE EXISTING EPOXY PAINTED FLOOR FINISH THROUGHOUT AND PREPARE INSULATED CONCRETE SUBST FOR NEW FINISH.
S01	EXISTING STAIR AND ASSOCIATED RAILING TO REMAIN. CONTRACTOR TO PROTECT THROUGOUT CONSTRUCTION.
S02	EXISTING SITE FENCING AND GATES TO REMAIN. CONTRACTOR TO PROTECT THROUGOUT CONSTRUCTION.
S03	EXISTING 4" PVC SLAB VENTS TO BE CAREFULLY PROTECTED THROUGHOUT CONSTRUCTION FROM DAMAGE.TYPICAL FOR A

locations. <u>\*NOTE: KEYNOTES (ET) TEMPORARY STORAGE WORK IS ALTERNATE #1</u>



	GENERAL PLAN NOTES	ARCHITECT
AGE AREAS MEP	<ul> <li>A. THE FOLLOWING PLANS WERE THE RESULT OF ONSITE INVESTIGATION AND ONSITE SURVEYING BY THE DESIGN TEAM. AS-BUILT DOCUMENTATION DOES NOT EXIST ON ANY OF THE EXISTING BUILDINGS.</li> <li>B. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VISIT THE SITE AND RECORD OBSERVATIONS PRIOR TO THE START OF CONSTRUCTION. SHOULD EXISTING CONDITIONS DEVIATE FROM WHAT IS SHOWN IN THESE DOCUMENTS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND ARCHITECT.</li> </ul>	1808 Elm Street Lake Charles, LA 70601 t: 337.564.6953 pmarchitects.design domain-dsgn.com
	DEMOLITION NOTES	Z max
TEMS	A. VISUAL RECORDING OF DAMAGE AND ITEMS TO BE DEMOLISHED WERE DONE TO THE BEST ABILITY OF THE DESIGN TEAM, HOWEVER IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE CONDITION AND NATURE OF THE EXISTING CONSTRUCTION AND HURRICANE-INFLICTED DAMAGE. ANY AND ALL DISCREPANCIES FROM THESE DOCUMENTS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.	
SE IN	B. THE DOCUMENTS ARE NOT AS-BUILT DRAWINGS AND SHOULD NOT BE TREATED AS SUCH. THE CONTRACTOR SHALL FULLY EXAMINE THE PROJECT SITE PRIOR TO BIDDING AND VERIFY ALL DIMENSIONS.	
	C. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL STRUCTURAL COLUMNS, BEAMS AND WALLS PRIOR TO THE START OF DEMOLITION. NO STRUCTURAL COLUMNS OR WALLS ARE TO BE REMOVED UNLESS NOTED IN THE DRAWINGS.	REGISTRATION
TART OF SE ( AND CIATED PON	D. THE OWNER HAS FIRST RIGHT TO SALVAGE OF DEMOLISHED MATERIALS. THE OWNER SHALL IDENTIFY ITEMS TO BE SALVAGED PRIOR TO THE START OF DEMOLITION. THE CONTRACTOR SHALL REMOVE AND STORE IN A SECURE LOCATION, ITEMS IDENTIFIED TO TURN OVER TO THE OWNER.	DER Reg. No. 7267 CH
STRATE	E. IN AREAS WHERE DEMOLITION IS REQUIRED, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ADJACENT FINISHES TO REMAIN FROM DAMAGE, DUST AND DEBRIS FOR THE DURATION OF CONSTRUCTION.	ROTE OF LOUISING
RALL	F. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND CONFIRMING EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND TO TAG ALL ACTIVE UTILITIES TO REMAIN THAT RUN THROUGH AREA OF WORK. THIS INCLUDES, BUT IS NOT LIMITED TO: SEWER LINES, DOMESTIC WATER, HOT WATER, ELECTRICAL CONDUITS, CONTROL WIRING AND TELECOMMUNICATIONS/DATA.	These drawings are the property of DOMAIN ARCHITECTURE APAC and are not to be reproduced in whole or in part. They are only to be used for the project and site specifically identified herein. Scales stated hereon are valid on the original drawings only. Contractor shall carefully review all dimensions and conditions shown and report to the architect any errors, inconsistencies, or omissions discovered. These plans were prepared in this office under our personal supervision, and to
	G. GENERAL CONTRACTOR IS TO REMOVE ALL UTILITIES SCHEDULED FOR DEMOLITION BACK TO SERVICE ORIGIN. DO NOT ABANDON IN PLACE.	the best of our knowledge comply with state and local CLIENT
	H. REMOVE AND LEGALLY DISPOSE OF DEBRIS, RUBBISH AND OTHER DEMOLITION WASTE MATERIALS FROM THE SITE.	





IL 11, 2022

	DEMOLITION NOTES ELEVATION
MARK	DESCRIPTION
E01	CONTRACTOR TO COORDINATE WITH OWNER PRIOR TO START OF WORK. CONTRACTOR TO DISASSEMBI RELOCATE AS REQUIRED INTO TEMPORARY STORAGE LOCATIONS. IF ALTERNATE #1 IS NOT ACCEPTED CO FOR INSTALL IN NEW WORK.
E02	COMPLETELY REMOVE ALL COOLER & FREEZER PANEL WALLS. CONTRACTOR TO PROTECT INSULATED CON CONSTRUCTION.
E03	COMPLETELY REMOVE ALL ELECTRIC OPERATED COOLER & FREEZER DOORS AND ALL ASSOCIATED HARDW ASSOCIATED CONTROLS.
E04	EXISTING FREEZER/COOLER SHEEL FRAME, ANCHOR BOLTS, STEEL FRAME HARDWARE, AND FOUNDATION AND SHALL BE PROTECTED THROUGHOUT THE DURATION OF CONSTRUCTION.
E05	CONTRACTOR TO PROTECT EXISTING FLOORING AND CONCRETE SLAB THROUGHOUT DURING CONSTR
E06	COMLETELY REMOVE PORTION OF DAMAGED 4" PVC VENT AND PREPARE TO MATCH ADJACENT DESIGN V
E07	REFER TO MEP DRAWINGS FOR DETAILS REGARDING CONDENSORS AND ASSOCIATED CONDENSOR LINE
E08	REFER TO MEP DRAWINGS FOR DETAILS REGARDING SPRINKLER RISER.
E09	REFER TO MEP DRAWINGS FOR DETAILS ASSOCIATED WITH FIRE ALARM ITEMS.
E10	REFER TO MEP DRAWINGS FOR DETAILS ASSOCIATED WITH POWER PANELS.
E11	REFER TO MEP DRAWINGS FOR DETAILS ASSOCIATED WITH EVAPORATORS, DRAIN LINES, POWER, AND CO VS. REMOVE.
E12	REFER TO MEP DRAWINGS FOR RE-USE DETAILS ASSOCIATED WITH AIR SCREEN POWER AND CONTROLS.
E13	REFER TO MEP DRAWINGS FOR DETAILS ASSOCIATED WITH LIGHTING, LIFE SAFETEY FIXTURES, AND FIRE SU
E14	COMPLETELY REMOVE EXISTING EXTERIOR CANOPY PROVIDED IN PHASE 1 DAMAGE REPLACEMENT AND S
E15	COMPLETELY REMOVE EXISTING COOLER /FREEZER PANEL CEILING AND ASSOCIATED TPO ROOF COMPO
E16	CAREFULLY REMOVE EXISTING MAIN BUILDING EXTERIOR METAL PANELS, INSULATION, GUTTERS, AND/OR ASSOCIATED DEMOLITION OF COOLER/FREEZER COMPONENTS. THESE ITEMS SHALL BE STORED FOR RE-L TAKE GREAT CARE DURING REMOVAL OF THESE ITEMS.
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ABLE PALLET STORAGE RACKS AND
CONTRACTOR SHALL STORE AND PROTI
ONCRETE FLOOR AREAS DURING
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N WITH NEW.
NES, POWER, AND CONTROLS.

CONTROLS.NOTE ITEMS REGARDING RE-USE

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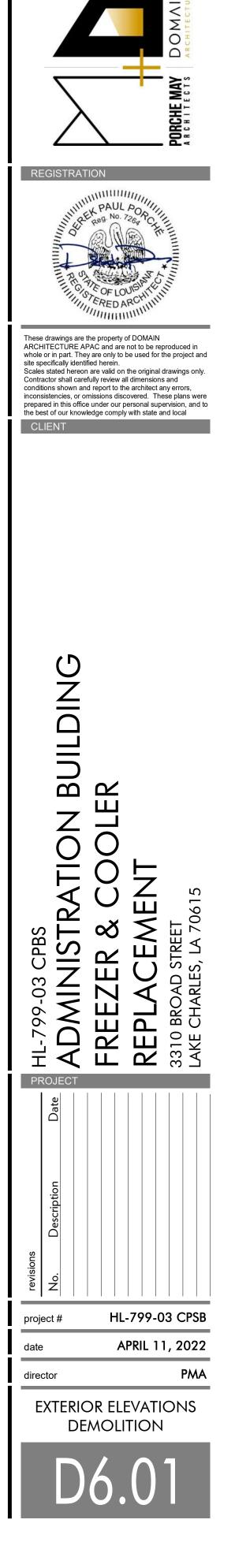
STORE FOR RE-USE IN NEW WORK. ONENTS.

OR ASSOCIATED END RAKES FOR E-USE IN NEW WORK. CONTRACTOR SHALL

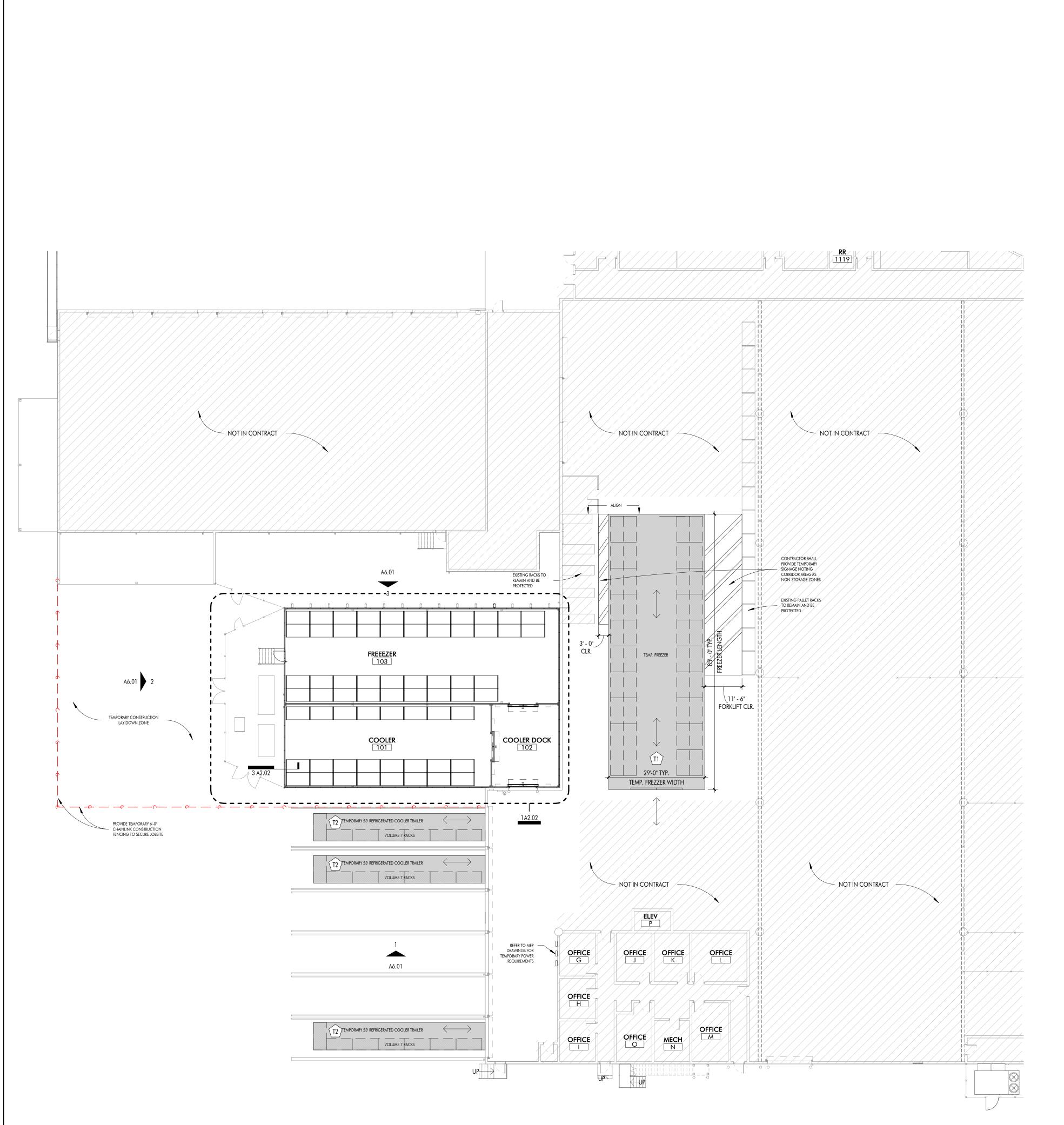
STRUCTION. TION.

MAGE.TYPICAL FOR ALL LOCATIONS.

	GENERAL PLAN NOTES
А.	THE FOLLOWING PLANS WERE THE RESULT OF ONSITE INVESTIGATION AND ONSITE SURVEYING BY THE DESIGN TEAM. AS-BUILT DOCUMENTATION DOES NOT EXIST ON ANY OF THE EXISTING BUILDINGS.
B.	IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VISIT THE SITE AND RECORD OBSERVATIONS PRIOR TO THE START OF CONSTRUCTION. SHOULD EXISTING CONDITIONS DEVIATE FROM WHAT IS SHOWN IN THESE DOCUMENTS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND ARCHITECT.
	DEMOLITION NOTES
А.	VISUAL RECORDING OF DAMAGE AND ITEMS TO BE DEMOLISHED WERE DONE TO THE BEST ABILITY OF THE DESIGN TEAM, HOWEVER IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE CONDITION AND NATURE OF THE EXISTING CONSTRUCTION AND HURRICANE-INFLICTED DAMAGE. ANY AND ALL DISCREPANCIES FROM THESE DOCUMENTS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.
B.	THE DOCUMENTS ARE NOT AS-BUILT DRAWINGS AND SHOULD NOT BE TREATED AS SUCH. THE CONTRACTOR SHALL FULLY EXAMINE THE PROJECT SITE PRIOR TO BIDDING AND VERIFY ALL DIMENSIONS.
C.	THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL STRUCTURAL COLUMNS, BEAMS AND WALLS PRIOR TO THE START OF DEMOLITION. NO STRUCTURAL COLUMNS OR WALLS ARE TO BE REMOVED UNLESS NOTED IN THE DRAWINGS.
D.	THE OWNER HAS FIRST RIGHT TO SALVAGE OF DEMOLISHED MATERIALS. THE OWNER SHALL IDENTIFY ITEMS TO BE SALVAGED PRIOR TO THE START OF DEMOLITION. THE CONTRACTOR SHALL REMOVE AND STORE IN A SECURE LOCATION, ITEMS IDENTIFIED TO TURN OVER TO THE OWNER.
E.	IN AREAS WHERE DEMOLITION IS REQUIRED, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ADJACENT FINISHES TO REMAIN FROM DAMAGE, DUST AND DEBRIS FOR THE DURATION OF CONSTRUCTION.
F.	THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND CONFIRMING EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK AND TO TAG ALL ACTIVE UTILITIES TO REMAIN THAT RUN THROUGH AREA OF WORK. THIS INCLUDES, BUT IS NOT LIMITED TO: SEWER LINES, DOMESTIC WATER, HOT WATER, ELECTRICAL CONDUITS, CONTROL WIRING AND TELECOMMUNICATIONS/DATA.
G.	GENERAL CONTRACTOR IS TO REMOVE ALL UTILITIES SCHEDULED FOR DEMOLITION BACK TO SERVICE ORIGIN. DO NOT ABANDON IN PLACE.
Н.	REMOVE AND LEGALLY DISPOSE OF DEBRIS, RUBBISH AND OTHER DEMOLITION WASTE MATERIALS FROM THE SITE.



ARCHITECT



BASEI PLUM INFO

MARK

## TEMPORARY STORAGE

DESCRIPTION

CONTRACTOR TO PROVIDE TEMPORARY PRE-MANUFACTURED FREEZER BOX TO MATCH CURRENT VOLUME OF EXISTING FREEZER. TEMPORARY FREEZER TO INCLUDE TEMPORARY UTILITIES TO OPERATE THE TEMPORARY STORAGE UNIT. CONTRACTOR SHALL COORDINATE TIMELINES ACCORDINGLY WITH OWNER FOR PLACEMENT AND REMOVAL OF PRODUCT BASED ON DEMOLITION AND NEW WORK. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.

CONTRACTOR TO PROVIDE TEMPORARY REFRIGERATED TRAILERS AND PARK IN THE ASSOCIATED LOADING DOCK BAYS SHOWN. TEMPORARY COOLERS TO INCLUDE TEMPORARY UTILITIES TO RUN THE TEMPORARY STORAGE UNIT. CONTRACTOR SHALL COORDINATE TIMELINES ACCORDINGLY WITH OWNER FOR PLACEMENT AND REMOVAL OF PRODUCT BASED DEMOLITION AND NEW WORK. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.

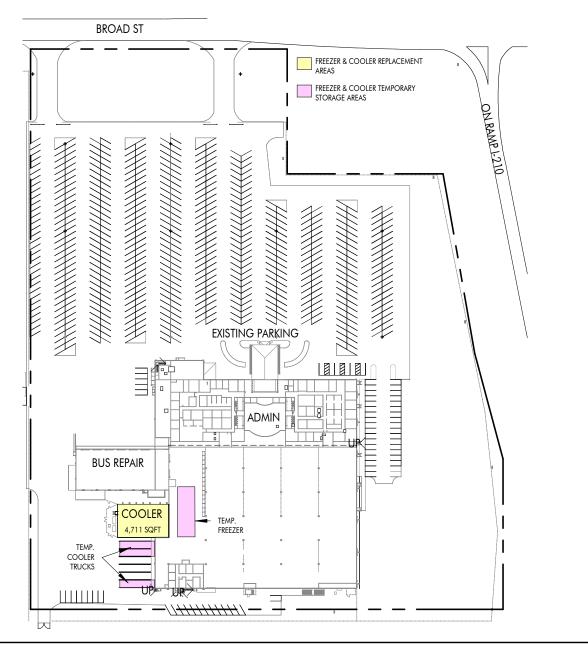
\*NOTE: TEMPORARY STORAGE IS ALTERNATE #1

## GENERAL FLOOR PLAN NOTES

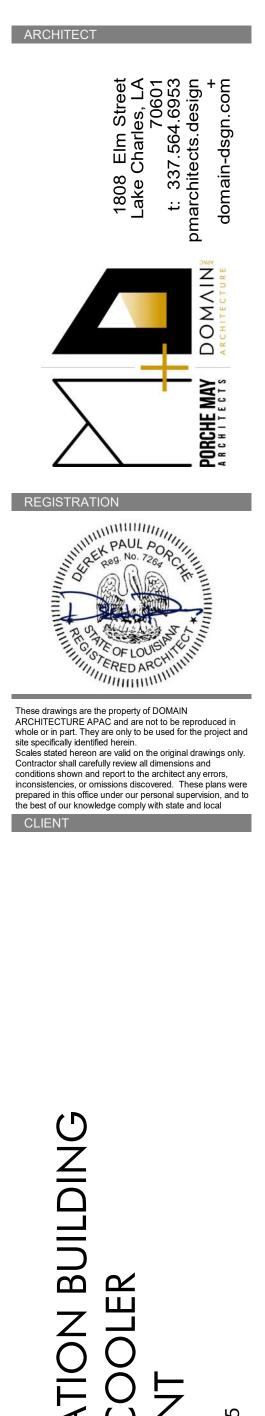
- A. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING TO FIELD VERIFY ALL EXISTING CONDITIONS, VERIFY QUANTITIES, MEASUREMENTS AND DETERMINE THE EXTENT OF DAMAGES AND REPAIRS REQUIRED.
- B. NO AS-BUILT DOCUMENTS WERE PROVIDED AND DRAWINGS WITHIN WERE TAKEN FROM ON-SITE MEASUREMENTS FROM THE DESIGN TEAM.
- C. ALL WORK SHALL COMPLY WITH THE LATEST PUBLISHED EDITION CONSESUS CODE AS APPROVED BY FEMA (2018) OF THE INTERNATIONAL BUILDING CODE, NFPA 101, NEC, AS WELL AS ANY APPLICABLE STATE, PARISH, OR LOCAL REGULATIONS.
- D. THE CONTRACTOR IS TO PROTECT ALL EXISTING FINISHES AND MATERIALS TO REMAIN DURING BOTH THE DEMOLITION AND CONSTRUCTION PROCESS. IN THE EVENT THAT DAMAGES OCCUR, THE CONTRACTOR SHALL REPAIR OR REPLACE TO A LIKE NEW CONDITION.

## GENERAL NOTES:

- REFER TO SPECIFICATIONS FOR STUD GAUGE AND BRIDGING
- REQUIREMENTS. 2. ALL DIMENSIONS ARE TO FACE OF STUD, FACE OF CMU, OR FACE OF
- BRICK, UNLESS OTHERWISE NOTED.
  CONTRACTOR SHALL PROVIDE ALL METAL STUD BLOCKING / BRACING FOR ALL WALL HUNG OR WALL MOUNTED ARCHITECTURAL ITEMS INSTALLED ON STUD WALLS, INCLUDING BUT NOT LIMITED TO: MILLWORK, COUNTERTOPS, TOILET ACCESSORIES, GRAB BARS, MARKER
- BOARDS, TACK BOARDS, CLOCKS, SPEAKERS, ETC...
  4. ALL ITEMS ARE CONTRACTOR FURNISHED AND CONTRACTOR INSTALLED, UNLESS NOTED OTHERWISE.
- 5. ALL DRYWALL CONTROL JOINT PLACEMENT SHALL CONFORM WITH ASTM C840, UNLESS NOTED OTHERWISE. INSTALL CONTROL JOINTS AS SHOWN.
- A. IF NOT SHOWN, CONTROL JOINTS TO BE INSTALLED PER THE FOLLOWING:
   a. ALL CONTROL JOINTS SHALL BE INSTALLED WHERE SPECIFIED
- BY THE ARCHITECT OR DESIGNER AS A DESIGN ACCENT OR ARCHITECTURAL FEATURE.b. A CONTROL JOINT SHALL BE INSTALLED WHERE A PARTITION, WALL OR CELLINE TRAVEREES A CONSTRUCTION JOINT
- WALL, OR CEILING TRAVERSES A CONSTRUCTION JOINT.
  c. CONTROL JOINT SHALL BE INSTALLED WHERE A WALL OR PARTITION RUNS IN AN UNINTERRUPTED STRAIGHT PLANE EXCEEDING 30 LINEAR FEET.
- d. CONTROL JOINTS IN INTERIOR CEILINGS WITH A PERIMETER RELIEF SHALL BE INSTALLED SO THAT LINEAR DIMENSIONS BETWEEN CONTROL JOINTS DO NOT EXCEED 50'-0" AND TOTAL BETWEEN CONTROL JOINTS DOES NOT EXCEED 2500 SQ FT.
- e. CONTROL JOINTS IN INTERIOR CEILINGS WITHOUT PERIMETER RELIEF AND EXTERIOR CEILINGS AND SOFFITS SHALL BE INSTALLED SO THAT LINEAR DIMENSIONS BETWEEN CONTROL JOINTS DO EXCEED 30'-0" AND TOTAL AREA BETWEEN CONTROL JOINTS DOES NOT EXCEED 900 SQ FT.
- f. A CONTROL JOINT OR INTERMEDIATE BLOCKING SHALL BE INSTALLED WHERE CEILING FRAMING MEMBERS CHANGE DIRECTION.
- g. WHERE A CONTROL JOINT OCCURS IN AN ACOUSTICAL OR FIRE-RATED SYSTEM, BLOCKING SHALL BE PROVIDED BEHIND THE CONTROL JOINT BY USING A BACKING MATERIAL SUCH AS 5/8" TYPE X GYPSUM BOARD, MINERAL FIBER, OR OTHER TESTED EQUIVALENT.
- h. WHERE CONTROL JOINTS ARE INSTALLED IN NON-RATED ASSEMBLIES AND ARE PARALLEL TO THE FRAMING MEMBERS, A FRAMING MEMBER IS REQUIRED ON EACH SIDE OF THE OPENING. this REQUIREMENT IS FOR ATTACHMENT OF GYPSUM BOARD.
- B. CONTRACTOR SHALL INCLUDE IN BID FOR CONTROL JOINTS AS OUTLINED ABOVE, AND FOR A CONTROL JOINT TO BE INSTALLED AT BOTH JAMBS OF OPENINGS, WINDOWS, AND DOORS (1 AT EACH JAMB FULL HEIGHT / TOP AND BOTTOM OF OPENING) & WITHIN 30 FEET OF CORNER OR PREVIOUS CONTROL JOINT.
- AT ALL CERAMIC / PORCELAIN WALL TILE LOCATIONS, CONTRACTOR SHALL USE CEMENT BACKER BOARD, MINIMUM 5/8-INCH THICK, UNLESS OTHERWISE NOTED.
   AT ALL WALLS (FULL HEIGHT) WITHIN TOILET ROOMS, SHOWERS,
- RESTROOMS AND/OR SIMILAR USE ROOMS NOT TILED, SHALL RECEIVE MINIMUM 5/8-INCH MOISTURE RESISTANCE GYPSUM. 8. AT ALL PLUMBING FIXTURES NOT WITHIN A ROOM DESCRIBED ABOVE,
- USE MINIMUM 5/8-INCH MOISTURE RESISTANCE GYPSUM FOR A DISTANCE OF 96-INCHES FROM THE CENTERLINE OF THE FIXTURE IN ALL DIRECTIONS.



ADMINISTRATION BLDG. - KEY PLAN



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STAGING PLAN AND

ALTERNATE #1 TEMPORARY STORAGE

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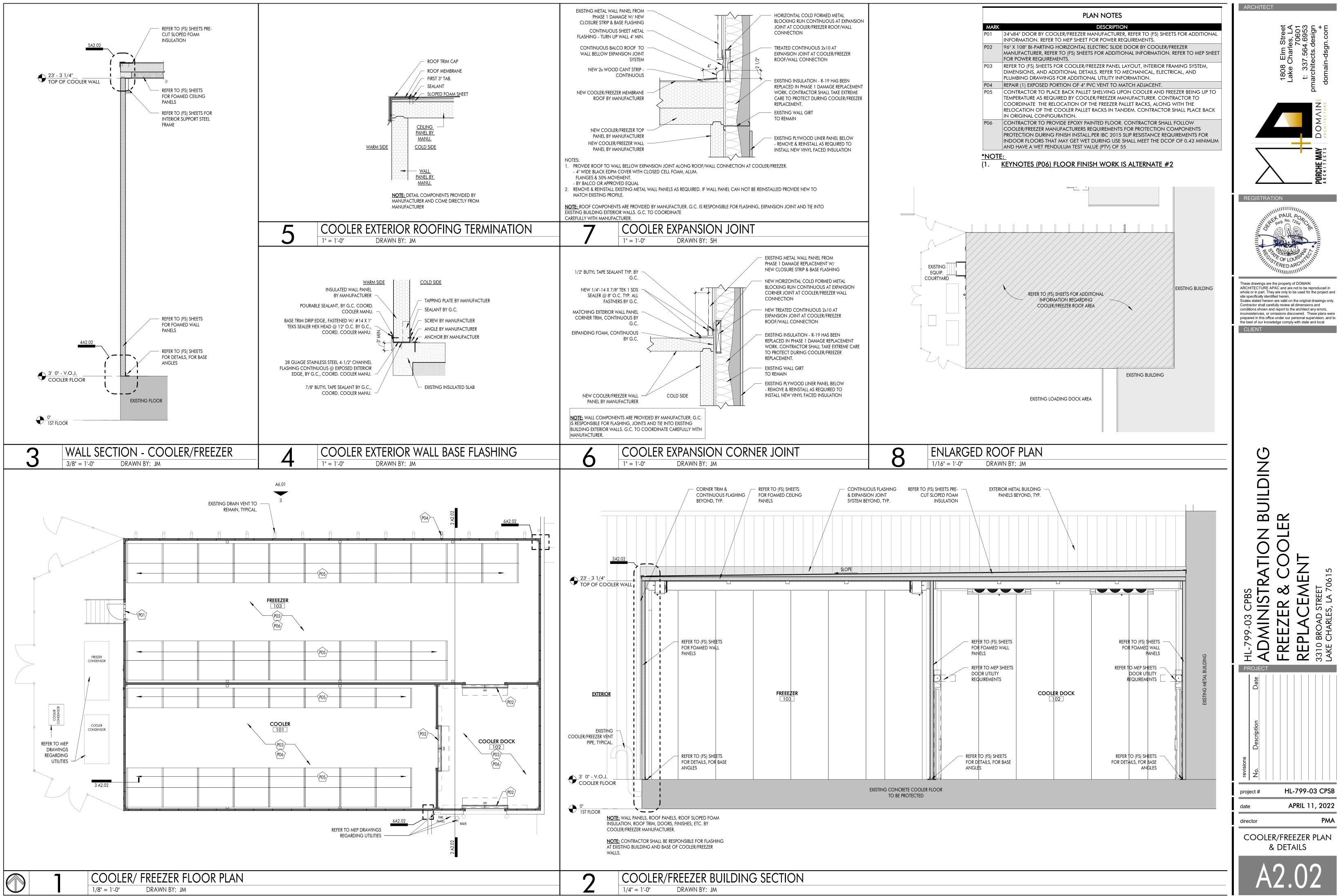
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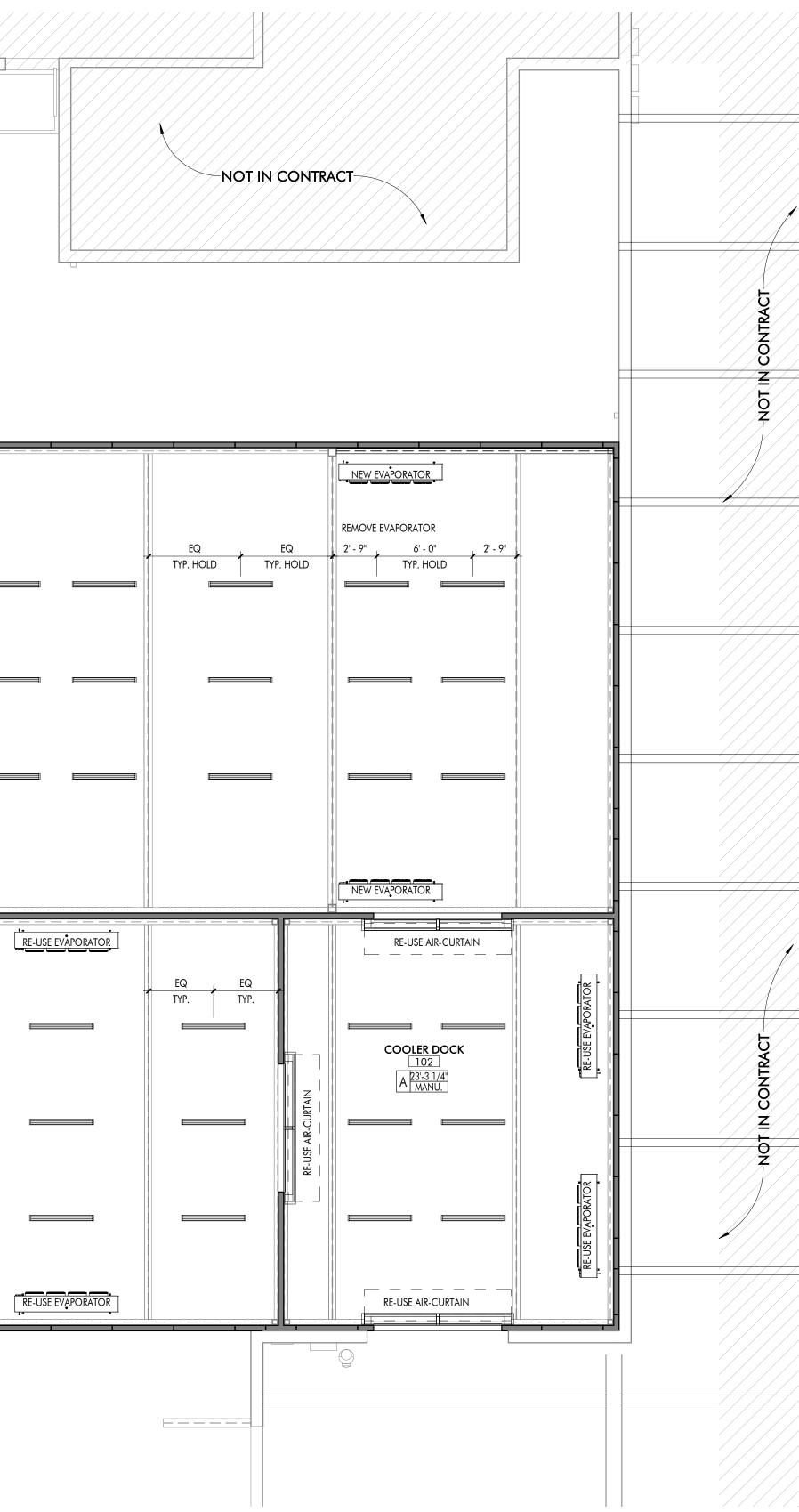
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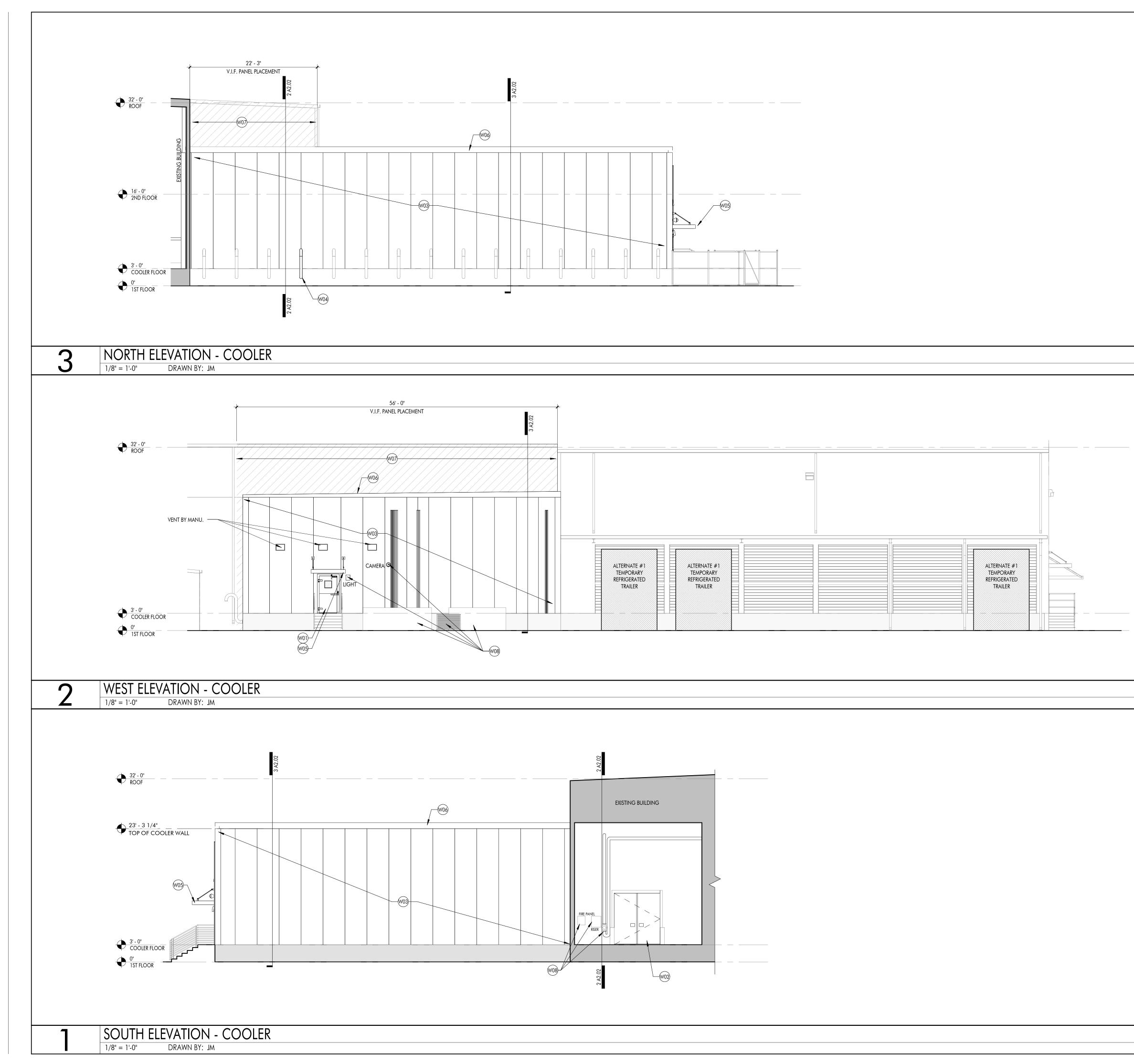
director



	NEW EVAPORATOR	8' - 6 1/2"	<u>NEW EVAPORATOR</u>	
		0 0 0	FREEEZER 103 A 23'-3 1/4" MANU.	
		0 - 0 0		
		8' - 6 1/2"		
	RE-USE EVAPORATOR	6 <sup>1</sup> - 8 1/2"	<u>RE-USE EVAPORATOR</u>	
			COOLER 101 A 23'-3 1/4" MANU.	
1		6' - 8 1/2"		

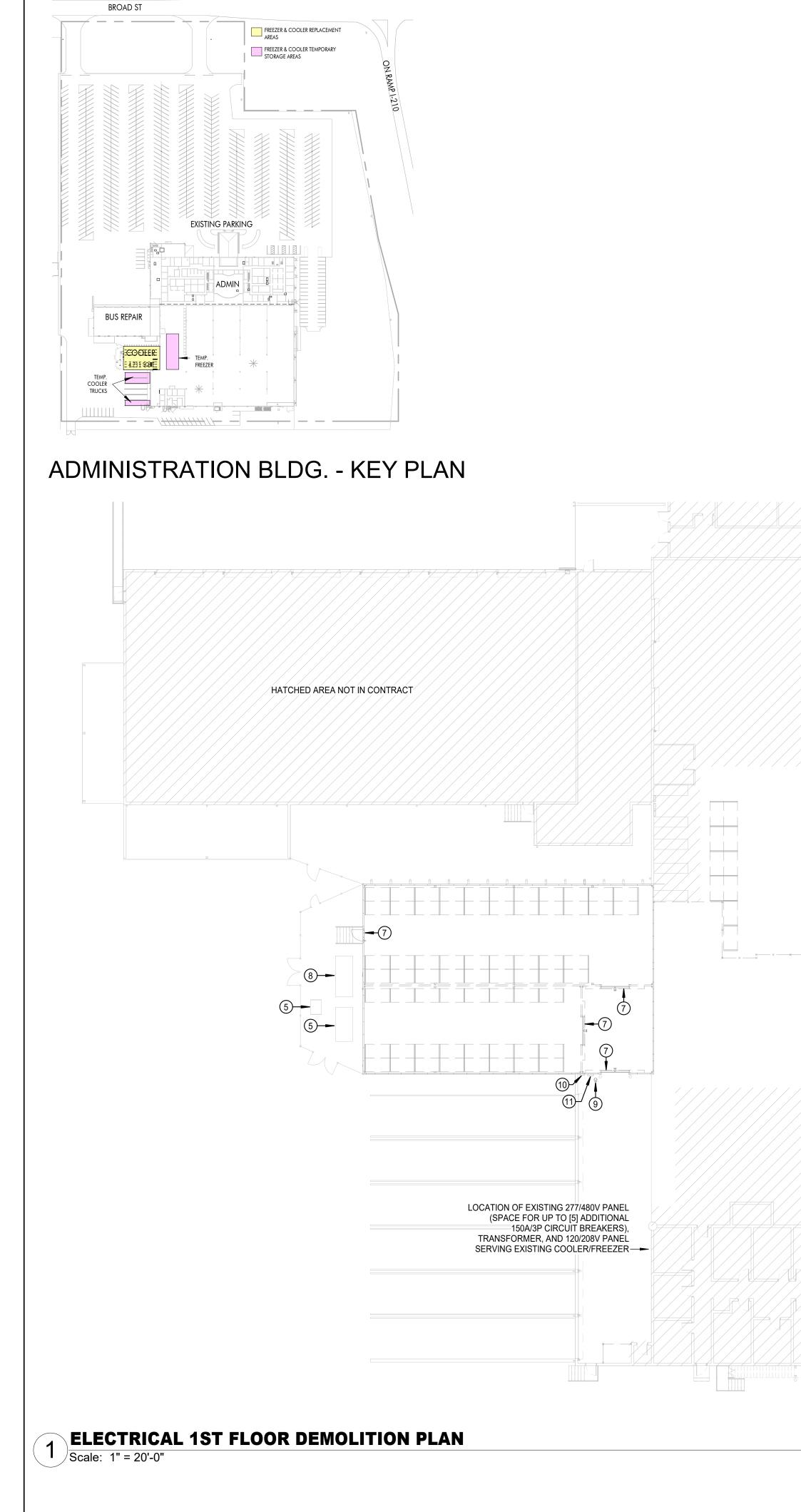


	CEILING PLAN LEGEND	ARCHITECT
A 9' - 0" PT-1	CEILING TYPE CEILING HEIGHT ABOVE FINISH FLOOR CEILING FINISH	1808 Elm Street Lake Charles, LA 70601 t: 337.564.6953 pmarchitects.design domain-dsgn.com
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	CEILING PLAN LEGEND	
	I LEGEND & SCHEDULE FOR FURTHER INFORMATION	
A	EXPOSED TO STRUCTURE COOLER/FREEZER PANELS	
	CEILING NOTES	REGISTRATION
CO2 REFER TO ME DRAWINGS F FIRE ALARM, S COMPONEN CO3 CONTRACTO CANOPYPRO WORK REMO RE-USE. CON	DESCRIPTION ) SHEETS FOR COOLER/FREEZER PANEL AND DETAILS FOR LAYOUT COMPONENTS. CCHANICAL, PLUMBING, AND ELECTRICAL COR ADDITIONAL COMPONENTS REGARDING SPRINKLER, ELECTRICAL WIRING, DOOR T CONTROLS, DRAIN LINES, ETC. OR TO RE-INSTALL EXISTING EXTERIOR MTL. WIDED IN PHASE 1 DAMAGE REPLACEMENT WED DURING DEMOLITION AND STORED FOR JTRACTOR TO COORDINATE RE-INSTALL WITH JRER'S WARRANTY.	REGISTRATION         Image: Additional additionadditionadditiona
		HL-799-03 CPBS ADMINISTRATION BUILDING FREEZER & COOLER REPLACEMENT 3310 BROAD STRET 3310 BROAD STRET AKE CHARLES, LA 70615
		Image: second



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	EXTERIOR ELEVATION NOTES	ARCHITECT
MARK	DESCRIPTION	eet 01 33 33 91
W01	34"x84" DOOR BY COOLER/FREEZER MANUFACTURER, REFER TO (FS) SHEETS FOR ADDITIONAL INFORMATION. REFER TO MEP SHEET FOR POWER REQUIREMENTS.	Stree es, L. 7060 .695 desig
W02	96" X 108" BI-PARTING HORIZONTAL ELECTRIC SLIDE DOOR BY COOLER/FREEZER MANUFACTURER, REFER TO (FS) SHEETS FOR ADDITIONAL INFORMATION. REFER TO MEP SHEET FOR POWER REQUIREMENTS.	1808 Elm Street Lake Charles, LA 70601 t: 337.564.6953 pmarchitects.design domain-dsgn.com
W03	REFER TO (FS) SHEETS FOR COOLER/FREEZER PANEL LAYOUT, INTERIOR FRAMING SYSTEM, DIMENSIONS, AND ADDITIONAL DETAILS. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL UTILITY INFORMATION.	180 tr dom dom
W04	REPAIR (1) EXPOSED PORTION OF 4" PVC VENT TO MATCH ADJACENT.	
W05	CONTRACTOR TO RE-INSTALL EXISTING EXTERIOR MTL. CANOPY REPLACED IN PHASE 1 DAMAGE REPLACEMENT REMOVED DURING DEMOLITION AND STORED FOR RE-USE.	
W06 W07	REFER TO (FS) SHEETS FOR COOLER/FREEZER INSULATED CEILING PANELS AND SLOPED FOAM TPO ROOF BY MANUFACTURER. CONTRACTOR TO RE-INSTALL MAIN BUILDING EXTERIOR METAL PANELS, INSULATION, GUTTERS, AND/OR ASSOCIATED END RAKES	
W08	FROM ASSOCIATED DEMOLITION OF COOLER/FREEZER COMPONENTS.CONTRACTOR SHALL REPLACE ANY DAMAGED COMPONENTS. REFER TO MEP DRAWINGS FOR UTILITY REQUIREMENTS.	
	KEI EK TO MET DIXWINGSTOK OTIETT REQUIREMENTS.	REGISTRATION
		Reg No. 726 PC
		These drawings are the property of DOMAIN
		ARCHITECTURE APAC and are not to be reproduced in whole or in part. They are only to be used for the project and site specifically identified herein. Scales stated hereon are valid on the original drawings only. Contractor shall carefully review all dimensions and conditions shown and report to the architect any errors, inconsistencies, or omissions discovered. These plans were
		inconsistencies, or omissions discovered. These plans were prepared in this office under our personal supervision, and to the best of our knowledge comply with state and local CLIENT
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		AD ST C
		HL-799-03 CPBS ADMINISTRATION BUILDI FREEZER & COOLER REPLACEMENT 3310 BROAD STREET 3310 BROAD STREET AKE CHARLES, LA 70615
		PROJECT
		Description
		revisions No.
		project # HL-799-03 CPSB
		date APRIL 11, 2022 director PMA
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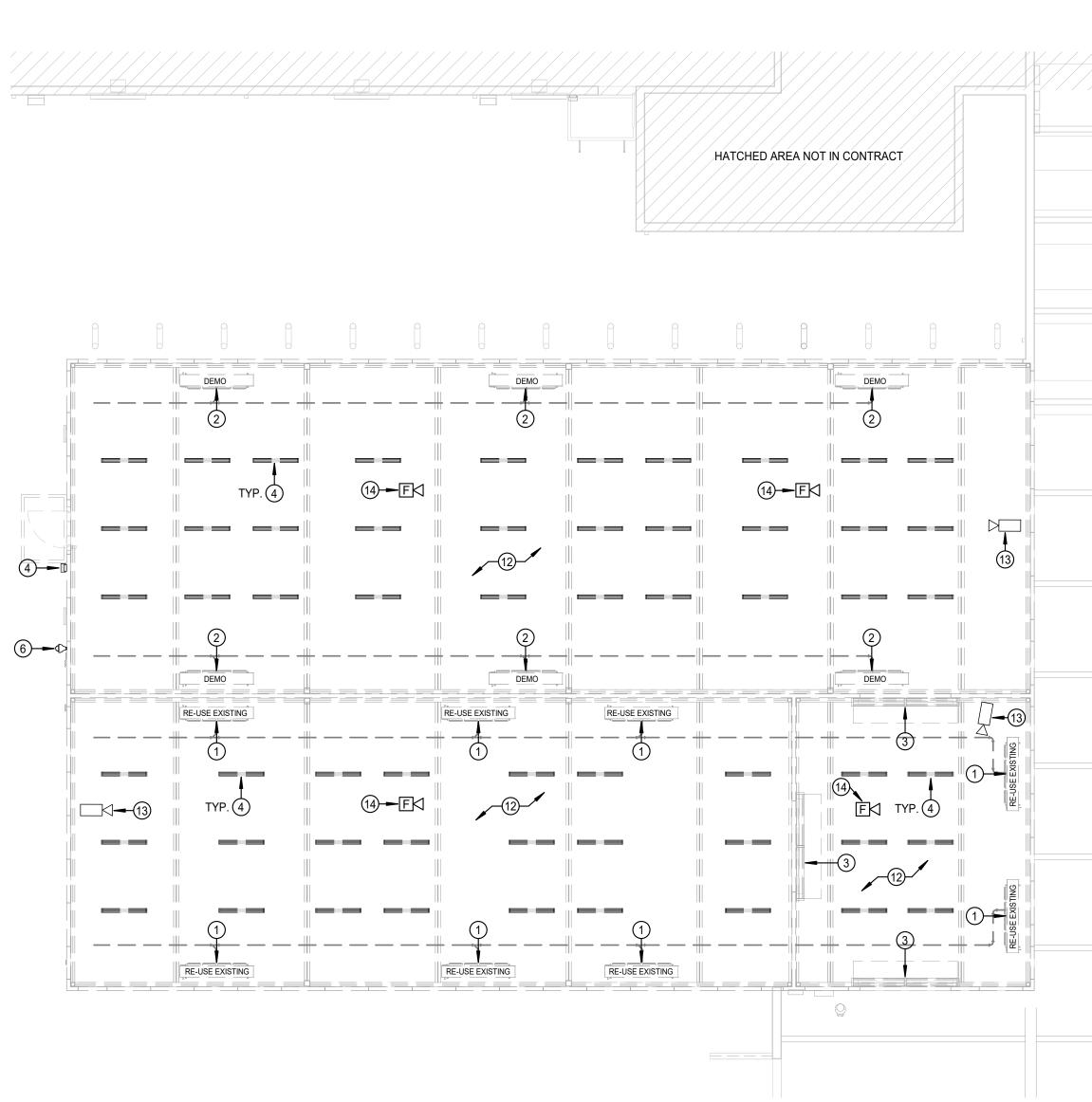


## **ELECTRICAL GENERAL NOTES:**

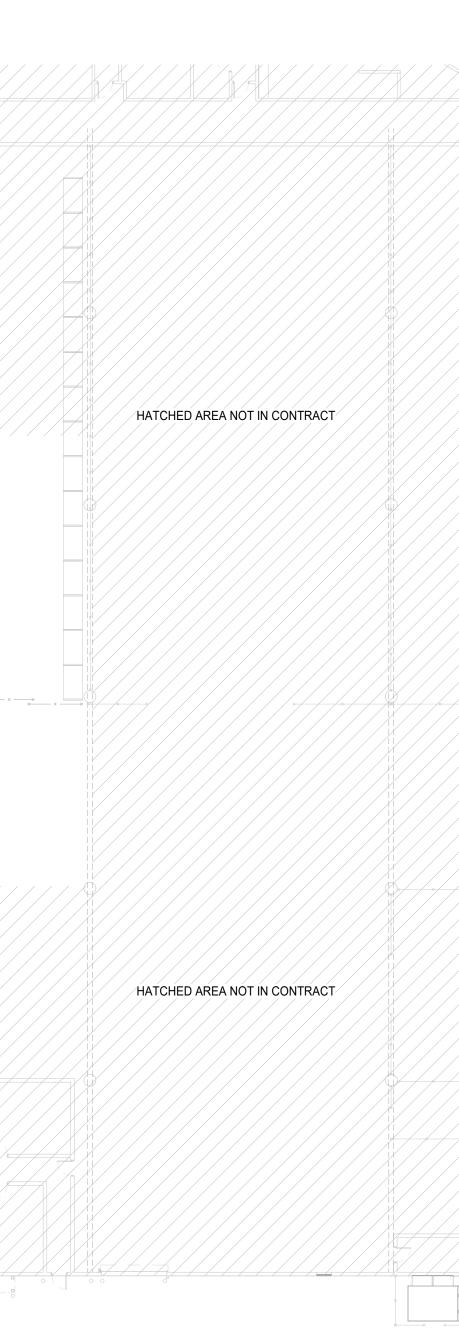
- 1. FOR ALL DEVICES AND EQUIPMENT INDICATED FOR FACILITATE THE REMOVAL OF THE EXISTING COOLER/FREEZER.
- REPLACEMENT.

## **ELECTRICAL KEYED NOTES:**

- 1 DISCONNECT ALL ELECTRICAL CIRCUITS FROM THE INDICATED EVAPORATOR. THE INDICATED EVAPORATOR IS TO BE RE-USED IN NEW COOLER/FREEZER.
- (2) DISCONNECT ALL ELECTRICAL CIRCUITS FROM THE INDICATED EVAPORATOR. THE INDICATED EVAPORATOR IS TO BE DEMO'D AND REPLACED WITH A NEW EVAPORATOR IN NEW COOLER/FREEZER.
- (3) DISCONNECT ALL ELECTRICAL CIRCUITS FROM THE INDICATED AIR CURTAIN. AIR CURTAIN IS TO BE RE-USED IN NEW COOLER/FREEZER.
- (4) DISCONNECT ALL LIGHT FIXTURES. TYPICAL LIGHT INDICATED BY KEYED NOTE. ALL LIGHT FIXTURES ARE TO BE RE-USED IN NEW COOLER/FREEZER.
- UNITS ARE TO BE RE-USED FOR NEW COOLER.
- (6) DISCONNECT ALL ELECTRICAL CIRCUITS AND COMMUNICATIONS CABLING FROM THE INDICATED SECURITY CAMERA. CAMERA IS TO BE RE-USED ON NEW COOLER/FREEZER.
- (7) DISCONNECT ALL ELECTRICAL CIRCUITS AND COMMUNICATIONS CABLING FROM ALL DOORS. ALL CONNECTIONS SHALL BE RE-MADE ON NEW COOLER/FREEZER.
- (8) DISCONNECT ALL ELECTRICAL CIRCUITS FROM THE IS TO BE RE-USED FOR NEW FREEZER.







## **GENERAL DEMOLITION NOTES:**

- 1. ELECTRICAL CONTRACTOR SHALL REMOVE ELECTRICAL EQUIPMENT AS INDICATED BY KEY NOTES, AND AS REQUIRED BY SCOPE OF DEMOLITION WORK. REFER TO ARCHITECTURAL DRAWINGS FOR ALL WALLS DESIGNATED FOR REMOVAL AND PHASING OF THIS PROJECT AS TO TEMPORARY POWER ETC. TO MAINTAIN BUILDING OPERATIONS DURING DEMO AND CONSTRUCTION.
- 2. BEFORE ANY ELECTRICAL EQUIPMENT REMOVAL, IDENTIFY AND DISCONNECT POWER SUPPLY TO DEVICE.
- 3. ALL REMOVED EQUIPMENT IS PROPERTY OF OWNER AND SHALL BE STORED AT OWNER DESIGNATED LOCATION FOR INSPECTION. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND DISPOSAL OF EQUIPMENT OWNER DOES NOT INTEND TO KEEP, STORE, OR REUSE.
- 4. LIGHT FIXTURES SHALL BE REMOVED AS INDICATED ON THE REFLECTED CEILING PLANS. STORE ALL REMOVED FIXTURES AT OWNER DESIGNATED LOCATION. RE-USE FIXTURES AS INDICATED BY SCOPE OF WORK, OR DISPOSE OF ALL FIXTURES AND LAMPS OWNER DOES NOT INTEND TO REUSE OR KEEP. REMOVE ALL RELATED BRANCH CIRCUITING, WIRING, SWITCHES, OVER CURRENT PROTECTION DEVICES, AND ALL OTHER RELATED ELECTRICAL ITEMS AS REQUIRED WHERE NOT RE-USED.
- 5. REMOVE ALL EXISTING ABANDONED FEEDERS (CONDUITS AND WIRING) IN THEIR ENTIRETY IN AREA OF CONSTRUCTION.
- 6. ELECTRICAL CONTRACTOR SHALL INSPECT EXISTING ELECTRICAL FEEDERS INDICATED TO REMAIN IN SERVICE AND BE REUSED. CONTRACTOR SHALL PERFORM CONDUCTOR INSULATION TESTING ON ALL MAIN FEEDERS INTENDED TO BE REUSED IN ACCORDANCE WITH SPECIFICATION REQUIREMENTS. ALL CONDUCTORS FAILING TEST SHALL BE REPLACED WITH SAME SIZE AS EXISTING.
- 7. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY EXISTING CONDITIONS AND QUANTITIES BEFORE THE FINALIZATION OF BIDS.

DISCONNECTION FROM ELECTRICAL SYSTEM, PRESERVE CIRCUIT MATERIALS SUCH AS CONDUIT AND CONDUCTORS AND ALL FIRE ALARM AND COMMUNICATIONS CABLING FOR RE-CONNECTION IN THE NEW COOLER/FREEZER. PULL CIRCUIT MATERIALS BACK TO

2. FOR ALL DEVICES AND EQUIPMENT INDICATED TO BE RE-USED, DISCONNECT AND REMOVE THE EQUIPMENT CAREFULLY AND STORE ON SITE AS REQUIRED DURING COOLER/FREEZER

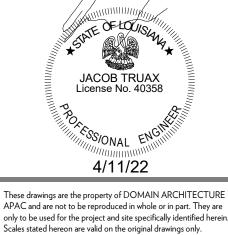
- (5) DISCONNECT ALL ELECTRICAL CIRCUITS FROM THE INDICATED COOLER CONDENSING UNITS. CONDENSING
- INDICATED FREEZER CONDENSING UNIT. CONDENSING UNIT

- (9) DISCONNECT ALL ELECTRICAL CIRCUITS ASSOCIATED WITH HEAT TRACE. PRESERVE CIRCUIT AND HEAT TRACE LINE FOR RE-INSTALLATION FOLLOWING COOLER/FREEZER REPLACEMENT.
- 10 DISCONNECT ALL ELECTRICAL CIRCUITS, FIRE ALARM AND COMMUNICATIONS CABLING FROM THE POTTER PFC RELEASING PANEL. PANEL TO BE RE-USED IN NEW COOLER/FREEZER.
- (1) DISCONNECT ALL ELECTRICAL CIRCUITS, FIRE ALARM AND COMMUNICATIONS CABLING FROM THE VIKING PRE-ACTION PANEL. PANEL TO BE RE-USED IN NEW COOLER/FREEZER.
- (12) DISCONNECT ALL ELECTRICAL CIRCUITS ASSOCIATED WITH HEAT TRACE ALONG COOLER/FREEZER CEILINGS. PRESERVE CIRCUITS AND HEAT TRACE LINES FOR RE-INSTALLATION FOLLOWING COOLER/FREEZER REPLACEMENT.
- (13) DISCONNECT ALL CAMERAS WITHIN THE COOLER/FREEZER. PRESERVE ELECTRICAL CIRCUITS AND COMMUNICATIONS CABLING FOR RE-CONNECTION IN NEW COOLER/FREEZER.
- (14) DISCONNECT ALL HORN/STROBES WITHIN THE COOLER/FREEZER. PRESERVE FIRE ALARM CABLING FOR RE-CONNECTION IN NEW COOLER/FREEZER.



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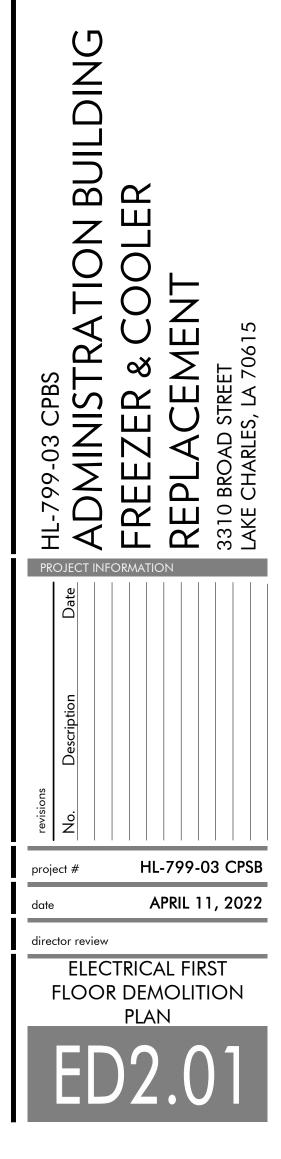


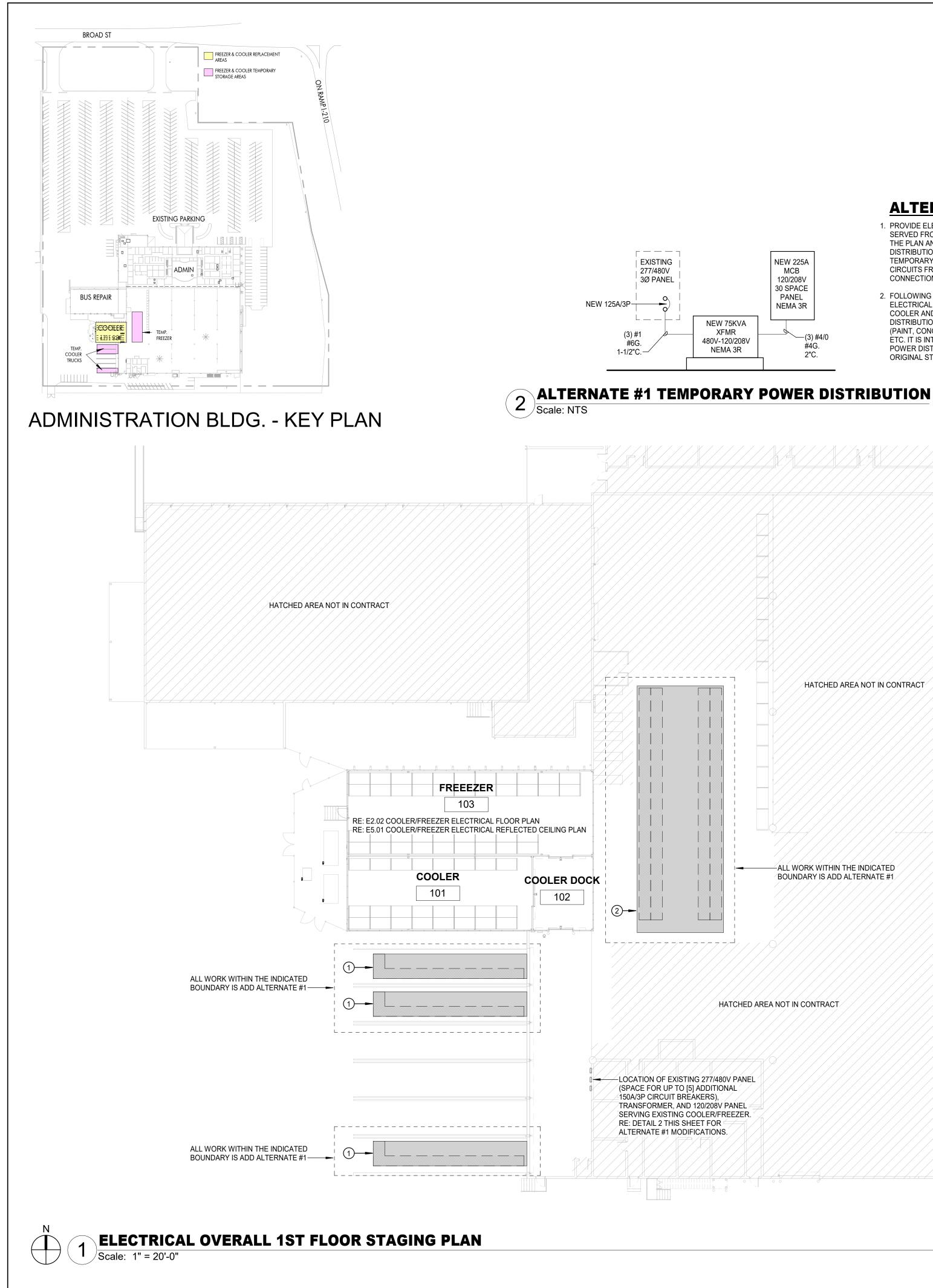
Contractor shall carefully review all dimensions and conditions shown

and report to the architect any errors, inconsistencies, or omissions discovered. These plans were prepared in this office under our

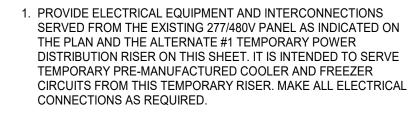
personal supervision, and to the best of our knowledge comply with state and local codes. We will generally administer construction.

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## **ALTERNATE #1 NOTES:**



2. FOLLOWING COMPLETION OF THE PROJECT, DISCONNECT ALL ELECTRICAL CIRCUITS FROM TEMPORARY PRE-MANUFACTURED COOLER AND FREEZER AND REMOVE ALL TEMPORARY POWER DISTRIBUTION EQUIPMENT, RESTORE ALL EXISTING FINISHES (PAINT, CONCRETE, ETC.), PROTECTIONS, SAFETY PRECAUTIONS ETC. IT IS INTENDED THAT THE AREA WHERE THE TEMPORARY POWER DISTRIBUTION IS INSTALLED IS TO BE RESTORED TO ITS ORIGINAL STATE.

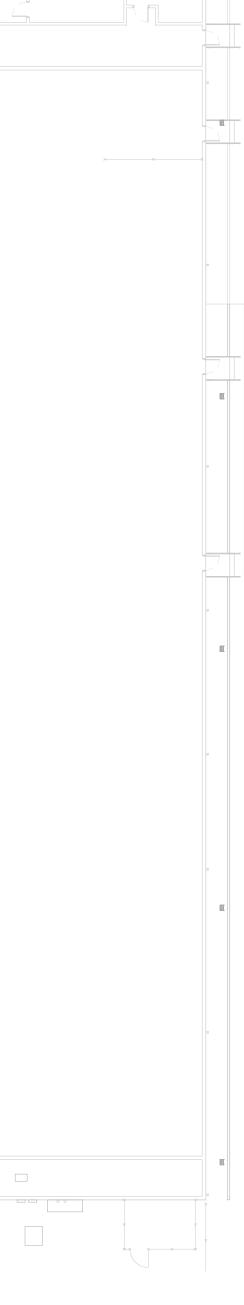
# /HATCHED AREA NOT IN CONTRACT/ -ALL WORK WITHIN THE INDICATED BOUNDARY IS ADD ALTERNATE #1/ HATCHED AREA NOT IN CONTRACT

## **ELECTRICAL KEYED NOTES:**

(1) PROVIDE ELECTRICAL POWER FOR TEMPORARY PRE-MANUFACTURED COOLER BOXES. PROVIDE CIRCUITS FOR CONDENSING UNITS FROM THE EXISTING 277/480V PANEL, AND EVAPORATORS, LIGHTING, DOOR LOCKS, ALARMS, ETC FROM THE EXISTING AND NEW TEMPORARY 120/208V PANELS. REFER TO PLANS FOR ELECTRICAL PANEL LOCATION FROM WHICH TO DRAW TEMPORARY BRANCH

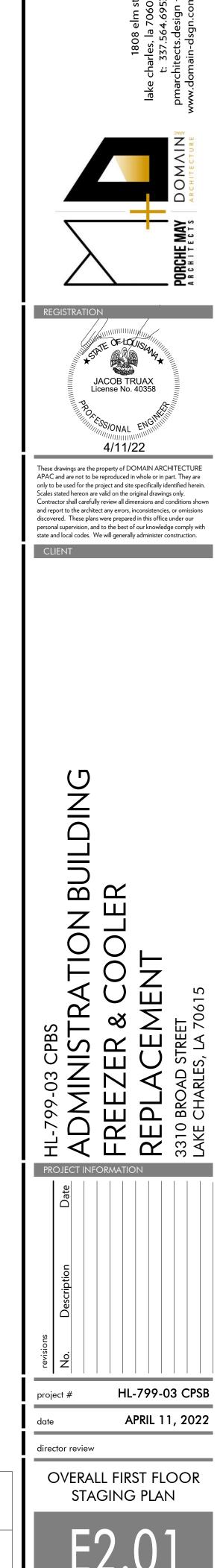
CIRCUITS.

(2) PROVIDE ELECTRICAL POWER FOR TEMPORARY PRE-MANUFACTURED FREEZER BOX. PROVIDE CIRCUIT FOR CONDENSING UNIT FROM THE EXISTING 277/480V PANEL, AND EVAPORATORS, LIGHTING, DOOR LOCKS, ALARMS, ETC FROM THE EXISTING AND NEW TEMPORARY 120/208V PANELS. REFER TO PLANS FOR ELECTRICAL PANEL LOCATION FROM WHICH TO DRAW TEMPORARY BRANCH CIRCUITS.





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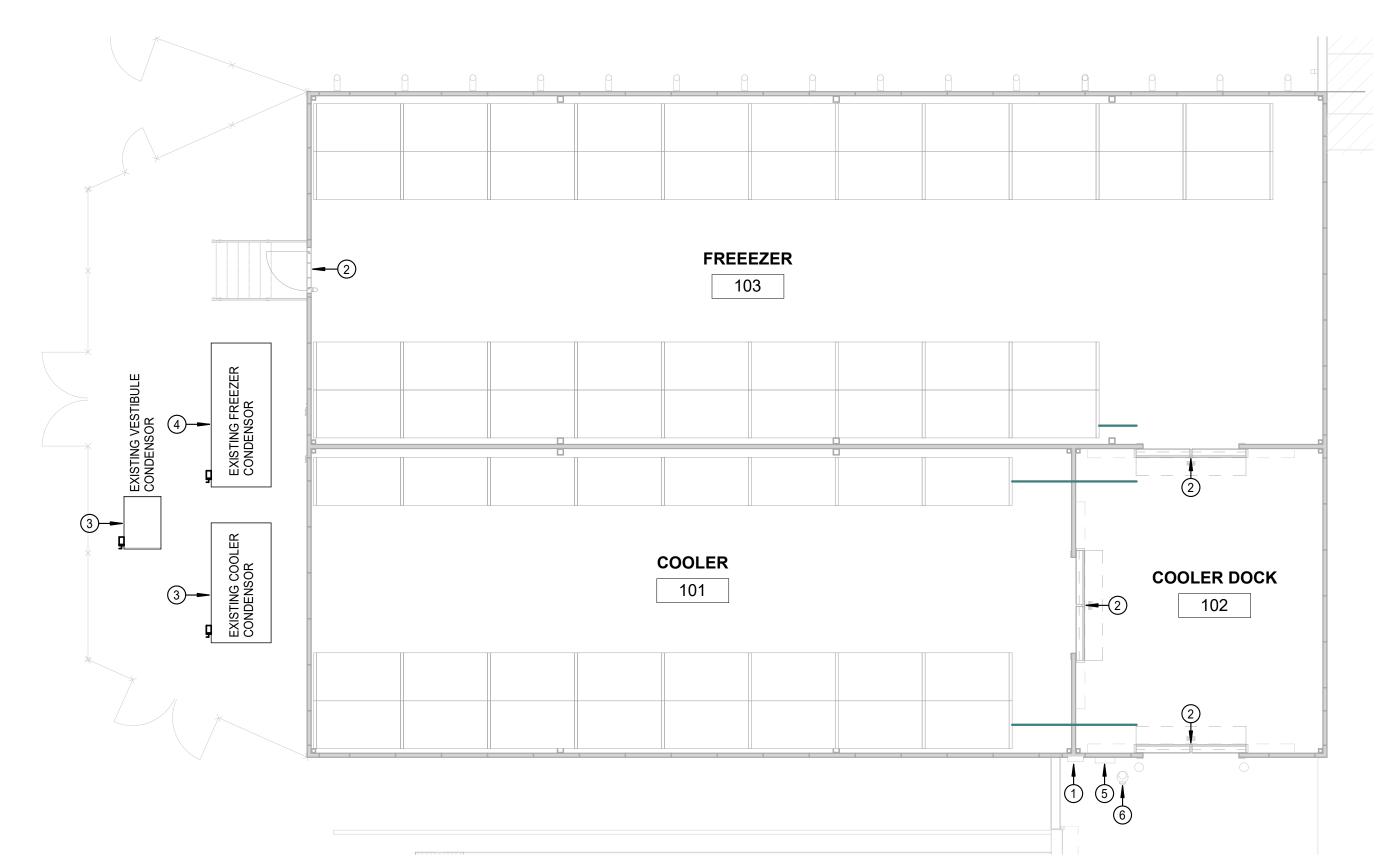


## **ELECTRICAL GENERAL NOTES:**

1. FOR ALL RE-CONNECTIONS REQUIRED FOR THE NEW COOLER/FREEZER, EXTEND EXISTING CIRCUITS AS REQUIRED TO THE NEW TERMINATION POINTS. PROVIDE NEW BOXES, CONDUIT, CONDUCTORS AND SPLICING MATERIALS AS REQUIRED.

## **ELECTRICAL KEYED NOTES:**

- 1 RE-CONNECT ALL EXISTING CIRCUITS, FIRE ALARM AND COMMUNICATIONS CABLING TO THE POTTER PFC RELEASING PANEL. RE-MOUNT PANEL AS REQUIRED.
- 2 RE-CONNECT ALL EXISTING CIRCUITS AND COMMUNICATIONS ASSOCIATED WITH DOORS SUCH AS ALARMS, BUZZERS, MAGNETIC HOLDS, ETC.
- (3) RE-CONNECT EXISTING COOLER CONDENSING UNITS TO EXISTING CIRCUITS. PROVIDE NEW 60A/3P/NF/NEMA 3R DISCONNECT SWITCHES MOUNTED TO THE FACE OF EACH UNIT. DO NOT PENETRATE THE UNIT ENCLOSURES. PROVIDE MOUNTING BRACKETS AS REQUIRED.
- (4) RE-CONNECT EXISTING FREEZER CONDENSING UNIT TO EXISTING CIRCUIT. PROVIDE NEW 100A/3P/NF/NEMA 3R DISCONNECT SWITCH MOUNTED TO THE FACE OF THE UNIT. DO NOT PENETRATE THE UNIT ENCLOSURE. PROVIDE MOUNTING BRACKET AS REQUIRED.
- 5 RE-CONNECT ALL EXISTING CIRCUITS, FIRE ALARM AND COMMUNICATIONS CABLING TO THE VIKING PRE-ACTION PANEL. PANEL TO BE RE-USED IN NEW COOLER/FREEZER.
- 6 RE-INSTALL AND RE-CONNECT HEAT TRACE AND THE ASSOCIATED EXISTING CIRCUITS FOR THE SPRINKLER RISER.



# 1 COOLER/FREEZER ELECTRICAL FLOOR PLAN Scale: 1/8" = 1'-0"

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4/11/22

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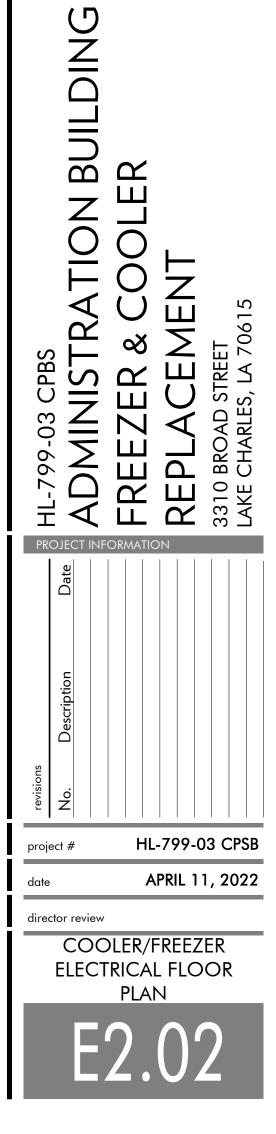
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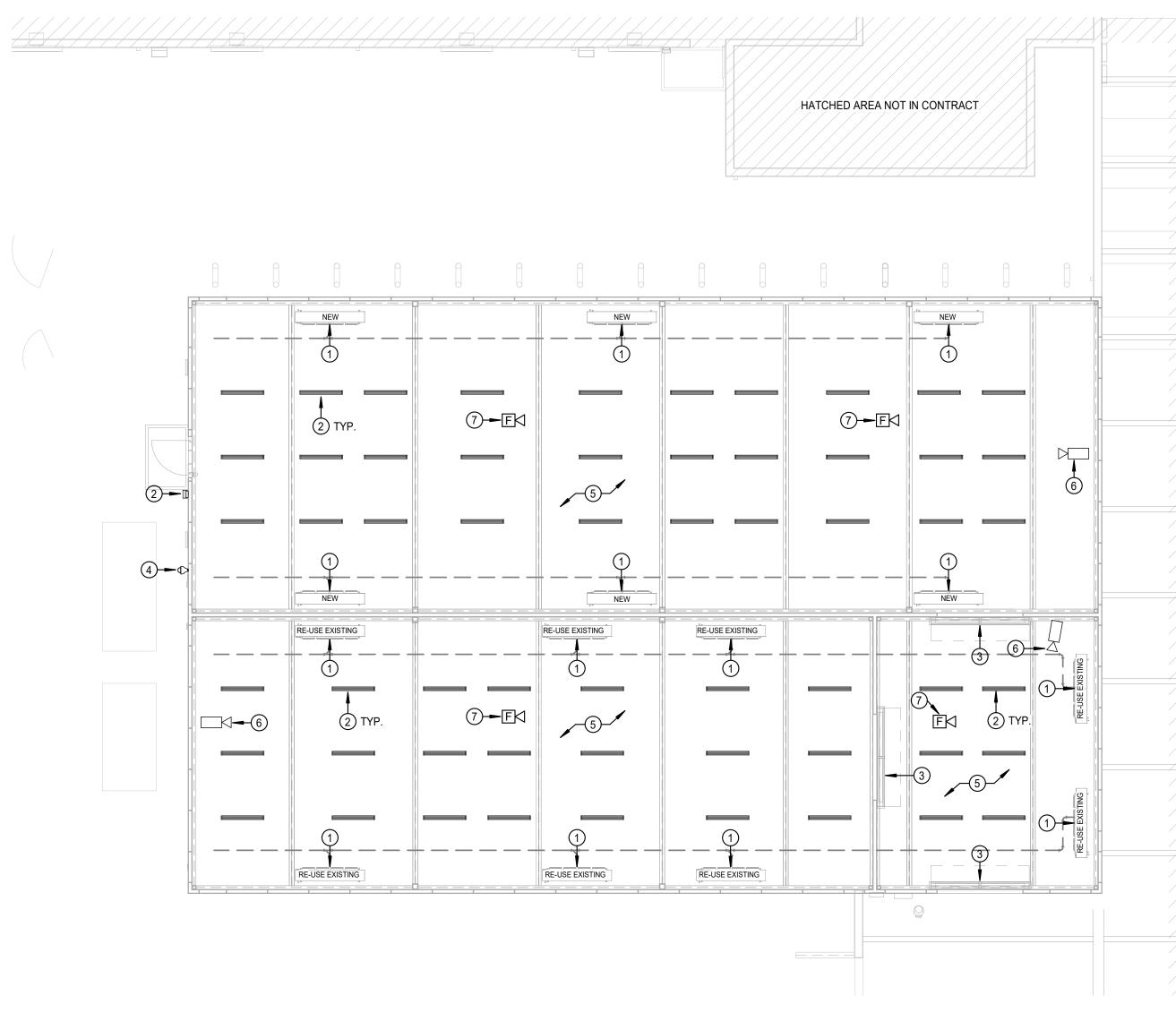
Scales stated hereon are valid on the original drawings only.





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- 5 RE-INSTALL AND RE-CONNECT ALL HEAT TRACE TO EXISTING CIRCUITS.



# 1 COOLER & FREEZER REFLECTED CEILING PLAN Scale: 1/8" = 1'-0"

## **ELECTRICAL GENERAL NOTES:**

1. FOR ALL RE-CONNECTIONS REQUIRED FOR THE NEW COOLER/FREEZER, EXTEND EXISTING CIRCUITS AS REQUIRED TO THE NEW TERMINATION POINTS. PROVIDE NEW BOXES, CONDUIT, CONDUCTORS AND SPLICING MATERIALS AS REQUIRED.

## **ELECTRICAL KEYED NOTES:**

1 RE-CONNECT EVEPORATOR TO EXISTING ASSOCIATED EVAPORATOR CIRCUIT.

2 RE-INSTALL LIGHT FIXTURES AND RE-CONNECT EXISTING LIGHTING CIRCUIT, TYPICAL FOR ALL.

3 RE-CONNECT EXISTING AIR CURTAIN CIRCUIT TO EXISTING ASSOCIATED AIR CURTAIN CIRCUIT.

(4) RE-INSTALL EXISTING SECURITY CAMERA AND RE-CONNECT ELECTRICAL CIRCUITS AND COMMUNICATIONS CABLING.

6 RE-INSTALL AND RE-CONNECT ALL CAMERAS. RE-UTILIZE EXISTING ELECTRICAL CIRCUITS AND COMMUNICATIONS CABLING.

(7) RE-INSTALL AND RE-CONNECT FIRE ALARM NOTIFICATION DEVICE. RE-UTILIZE EXISTING FIRE ALARM CABLING.



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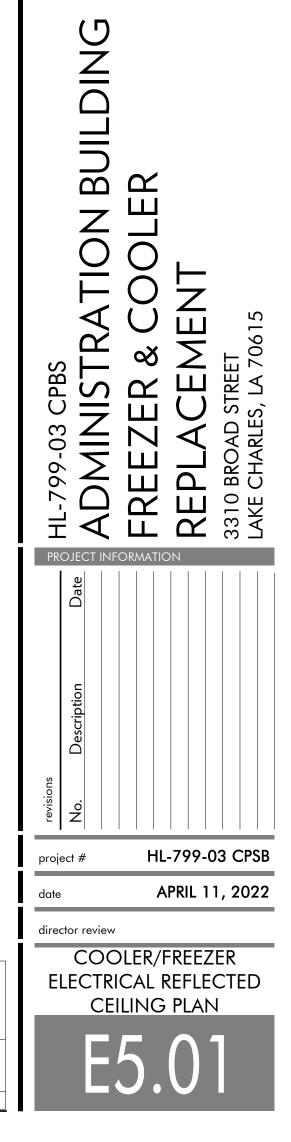
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personal supervision, and to the best of our knowledge comply with state and local codes. We will generally administer construction.

ARCHITECT



<u>GENERAL</u>

FROM ROOF DECK OR SUSPENDED CEILING SYSTEM. IN NO INSTANCE, SHALL CONDUIT BE INSTALLED WITHIN 6 INCHES OF ROOF DECK.

C. CONDUIT FILL SHALL NOT EXCEED 40% PER NEC.

B. MINIMUM CONDUIT SIZE, NOT UNDERGROUND OR UNDER SLAB, SHALL BE 1/2 INCH. MINIMUM CONDUIT SIZE FOR UNDERGROUND OR UNDER SLAB SHALL BE 3/4 INCH.

- CONNECTIONS. LENGTH NOT TO EXCEED 3 FEET. FOR EQUIPMENT CONNECTIONS. SUPPORT AND BUNDLE NEATLY ABOVE CEILING WITH BRIDLE RINGS OR J-HOOKS.
- 4. LIQUIDTIGHT FLEXIBLE METAL CONDUIT SHALL BE USED AT ALL MOTOR CONNECTIONS OR WHERE MOVEMENT OR VIBRATION IS A CONCERN FOR EXTERIOR EQUIPMENT 5. FLEXIBLE STEEL CONDUIT - SHALL BE USED WHERE MOVEMENT OR VIBRATION IS A CONCERN FOR INTERIOR EQUIPMENT CONNECTIONS. LENGTH NOT TO EXCEED 3 FEET. 6. MC CABLE (METAL CLAD) - MC CABLE IS PERMITTED AND SHALL COMPLY WITH NEC 330 AND BE INSTALLED IN LOCATIONS APPROVED BY LOCAL AHJ. MC CABLE NOT ALLOWED
- 2. GRC (GALVANIZED RIGID CONDUIT) EXTERIOR EXPOSED. UNDERGROUND ELBOWS AND RISES. 3. PVC (POLYVINYL CHLORIDE) - UNDERGROUND OR UNDER SLAB.
- 1. EMT (ELECTRIC METALLIC TUBING) INTERIOR CONCEALED OR EXPOSED.

<u>CONDUIT</u>

F. CONTRACTOR SHALL PERFORM ALL WORK IN COMPLIANCE WITH FEMA CONSENSUS-BASED CODES AND STANDARDS. THESE SHALL BE THE LATEST PUBLISHED EDITIONS (2018), NOT NECESSARILY THE LOCALLY ADOPTED VERSIONS.

AGENCY (NFPA) AND LOCAL AUTHORITY HAVING JURISDICTION (AHJ).

EQUIPMENT, UNLESS NOTED OTHERWISE.

C. ALL CUTTING AND PATCHING OF ROOF, FLOOR, CEILING AND WALLS SHALL BE COMPLETED BY OR COORDINATED WITH GENERAL CONTRACTOR.

B. UNLESS OTHERWISE NOTED, CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, FEES AND CHARGES REQUIRED.

A. VERIFY ALL JOB SITE AND ARCHITECTURAL PLAN DIMENSIONS. REPORT ALL DISCREPANCIES TO ARCHITECT.

## **ELECTRICAL SPECIFICATIONS:**

- D. FURNISH AND INSTALL A COMPLETE ELECTRICAL SYSTEM AS INDICATED IN THE CONSTRUCTION DOCUMENTS. ELECTRICAL CONTRACTOR TO MAKE FINAL CONNECTIONS TO ALL
- E. CONTRACTOR SHALL COMPLY WITH ALL GOVERNING CODES AND ORDINANCES, INCLUDING BUT NOT LIMITED TO NATIONAL ELECTRICAL CODE (NEC), NATIONAL FIRE PROTECTION

A. ALL ELECTRICAL CONDUCTORS SHALL BE INSTALLED IN CONDUIT COMPLYING WITH THE NEC. CONDUIT SHALL BE U.L. LISTED. APPLICABLE USE FOR CONDUIT TYPES AS FOLLOWS:

D. CONDUIT SHALL BE SUPPORTED FROM BUILDING STRUCTURE, FRAMING, JOIST, ETC. PROVIDE HANGERS, SUPPORTS AND FASTENINGS AS REQUIRED BY NEC. DO NOT SUPPORT E. ALL CONDUIT FITTINGS SHALL BE STEEL, SET SCREW OR COMPRESSION TYPE AND U.L. LISTED. PLASTIC BUSHINGS REQUIRED FOR ALL CONDUIT, 1 INCH AND LARGER.

### <u>CONDUCTORS</u>

- A. ALL CONDUCTORS SHALL BE COPPER, UNLESS NOTED OTHERWISE. SOLID OR STRANDED CONDUCTORS ALLOWED. WIRE SHALL HAVE TYPE "THHN" OR "THWN" INSULATION.
- B. MINIMUM WIRE SIZE, EXCEPT FOR CONTROL WIRING, SHALL BE #12 AWG.
- C. AN EQUIPMENT GROUNDING CONDUCTOR SHALL BE SUPPLIED IN EVERY BRANCH CIRCUIT. THE GROUND CONDUCTOR SHALL BE COPPER AND SIZED PER NEC 250.122, UNLESS SIZED ON DRAWINGS.
- D. NO MORE THAN SIX CURRENT CARRYING CONDUCTORS PER EACH RACEWAY. IF APPLICATION REQUIRES MORE THAN SIX, DERATE PER NEC 310.15(B)(3)(a).
- E. FEEDER CONDUCTORS SHALL RUN THEIR ENTIRE LENGTH WITHOUT SPLICE. COORDINATE FEEDER TERMINATIONS WITH ASSOCIATED EQUIPMENTS LUGS.

DISCONNECT SWITCHES

- A. GENERAL: PROVIDE HEAVY DUTY TYPE DISCONNECT SWITCHES OF THE TYPE, MOUNTING AND SIZE INDICATED. SWITCHES SHALL BE RATED FOR THE VOLTAGE OF THE ASSOCIATED CIRCUIT BEING SERVED. SWITCHES USED AS MOTOR DISCONNECTS SHALL BE HORSEPOWER RATED FOR THE MOTOR SERVED. PROVIDE SOLID NEUTRAL CONNECTION VIA INSULATED LUG WHERE APPLICABLE. PROVIDE ENGRAVED TAG DENOTING EQUIPMENT SERVED.
- B. ENCLOSURES: 1. EXTERIOR GENERAL USE - NEMA 3R, STEEL, UNLESS NOTED OTHERWISE.

C. SUPPORTS: PROVIDE ALL SWITCHES WITH GALVANIZED STEEL RACK WHERE MOUNTING ON WALL OR OTHER RIGID SURFACE IS IMPRACTICAL. SWITCHES SHALL NOT BE SUPPORTED BY CONDUIT ALONE. SWITCHES ARE NOT ALLOWED TO MOUNT ON EQUIPMENT. DO NOT UTILIZE DRIVE PIN THROUGH ENCLOSURE OR PLASTIC ANCHORS. SWITCHES SHALL ADHERE TO CODE REQUIRED WORKING SPACE AND SHALL BE READILY ACCESSIBLE.

## **ELECTRICAL BOXES & FITTINGS**

- A. INTERIOR OUTLET BOXES: PROVIDE GALVANIZED STEEL WIRING BOXES, OF THE TYPE, SHAPE, AND SIZE, INCLUDING DEPTH OF BOX, TO SUIT RESPECTIVE LOCATIONS AND INSTALLATION. BOXES SHALL HAVE STAMPED KNOCKOUTS IN BACK AND SIDES. PROVIDE APPROPRIATE PLASTER RINGS AND COVERS AS REQUIRED. PROVIDE GANG BOXES WHERE DEVICES ARE SHOWN GROUPED.
- B. EXTERIOR OUTLET BOX: PROVIDE OUTLET BOX FLUSH WITH EXTERIOR WALL AND WITH CAST ALUMINUM WEATHERPROOF COVER. PROVIDE "IN USE" TYPE COVERS WHERE NOTED. SURFACE MOUNT BOXES SHALL BE NEMA 3R CAST ALUMINUM TYPE WITH THREADED CONDUIT HUBS.

## INSTALLATION OF BOXES AND FITTINGS

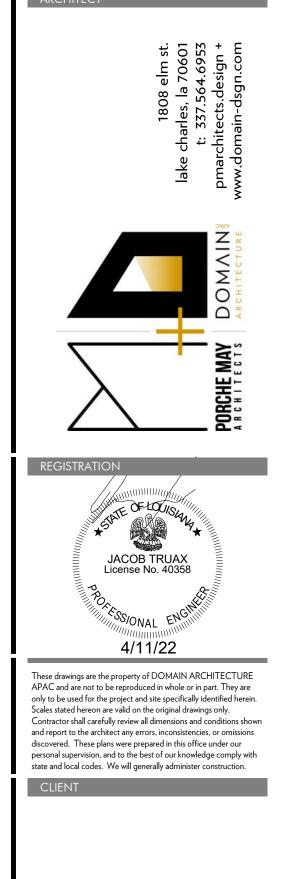
- A. INSTALL ELECTRICAL BOXES AND FITTINGS AS SHOWN AND AS REQUIRED IN COMPLIANCE WITH NEC AND MANUFACTURER'S RECOMMENDATIONS.
- B. JUNCTION/PULL BOXES: BOXES SHALL BE SECURED TO ROOF STRUCTURE. ALL JUNCTION/PULL BOX OPENINGS SHALL BE SIDE OR BOTTOM ACCESSIBLE.
- C. PROVIDE EACH OUTLET/SPLICE BOX WITH A GROUNDING PIGTAIL. FACTORY MANUFACTURED PIGTAIL SHALL HAVE BOLTED CONNECTION TO BOX.
- D. UNLESS NOTED OR DIRECTED OTHERWISE AT INSTALLATION, PLACE OUTLET BOXES AS INDICATED ON ARCHITECTURAL ELEVATIONS AND AS REQUIRED BY LOCAL CODES.
- F. BOXES FOR ANY CONDUIT SYSTEM SHALL NOT BE SECURED TO SUSPENDED CEILING SYSTEM, HVAC DUCTWORK OR PIPING SYSTEMS.
- G. PROVIDE JUNCTION AND PULL BOXES FOR FEEDERS AND BRANCH CIRCUITS WHERE SHOWN AND/OR WHERE REQUIRED BY NEC.
- H. ALIGN ADJACENT WALL MOUNTED OUTLETS, UNLESS NOTED OTHERWISE.
- I. ALL BOXES SHALL BE ACCESSIBLE AS PER NEC. IF A BOX IS REQUIRED ABOVE INACCESSIBLE CEILING, COORDINATE USE OF AN ACCESS PANEL WITH ARCHITECT.
- J. OUTLET BOX SUPPORTS: OUTLET BOXES SHALL UTILIZE MOUNTING BRACKETS FOR INSTALLATION IN STUD WALLS AND WHERE FLUSH WITH CEILINGS. PROVIDE BRACKET OF THE TYPE THAT SHALL BE FASTENED ON EACH END.



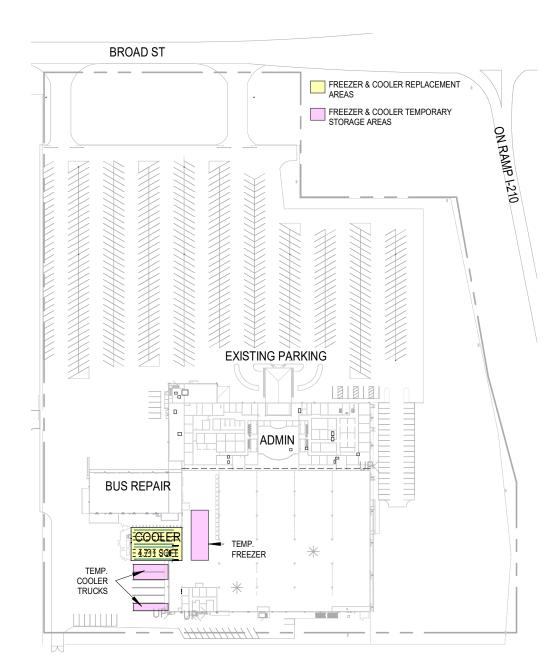
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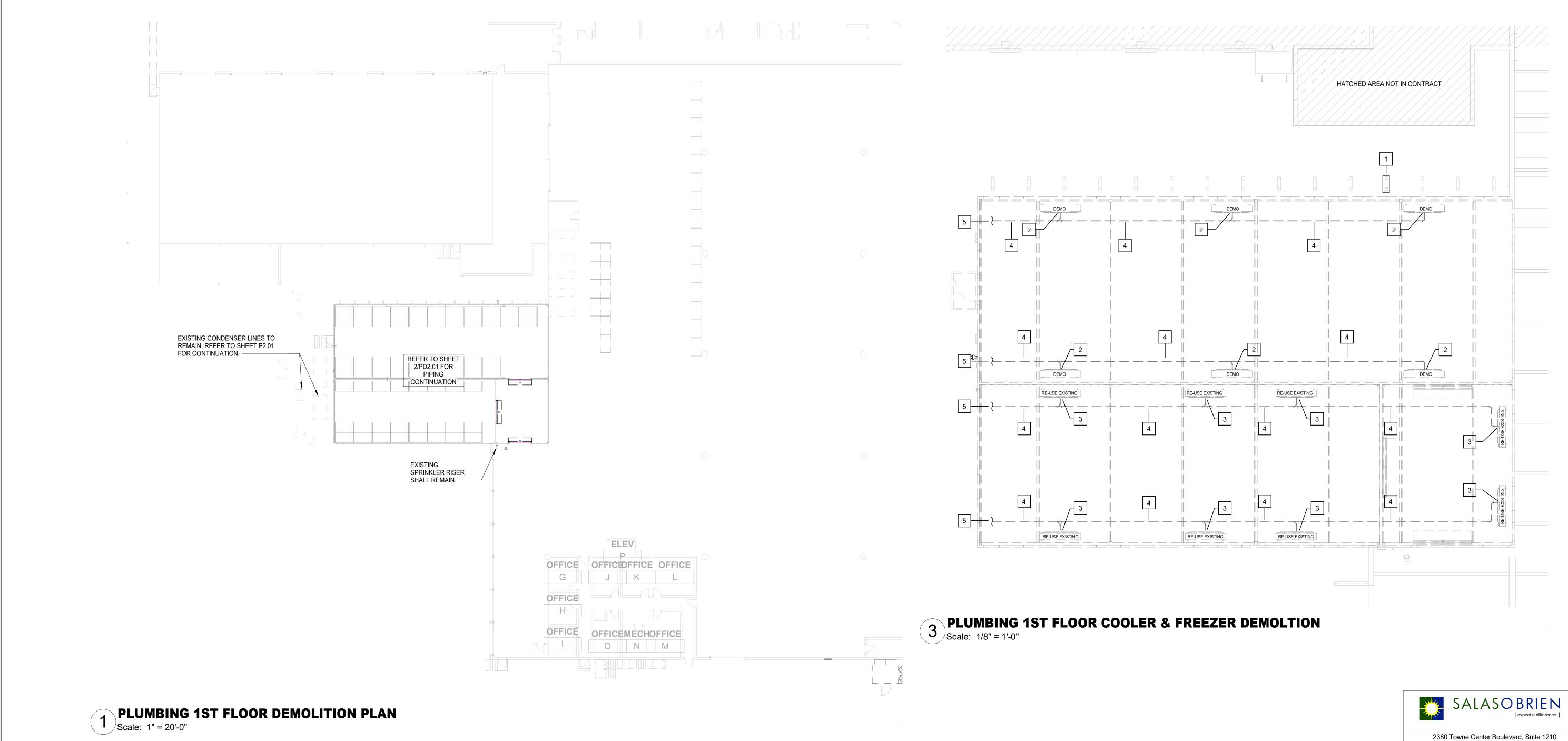
E. OUTLETS ABOVE COUNTERS: MOUNT LONG AXIS HORIZONTALLY. REFER TO ARCHITECTURAL ELEVATIONS AND COORDINATE TO CLEAR BACKSPLASH AND MILLWORK.







ADMINISTRATION BLDG. - KEY PLAN



## **PLUMBING DEMOLITION NOTES**

1. DRAWINGS ARE BASED ON CASUAL FIELD OBSERVATION AND EXISTING RECORD DOCUMENTS. REPORT DISCREPANCIES TO ARCHITECT BEFORE DISTURBING EXISTING INSTALLATION.

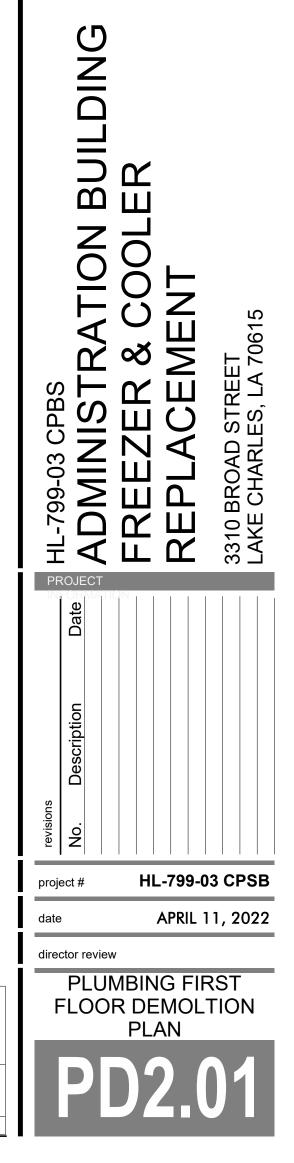
2. THE ENGINEER HAS ATTEMPTED TO SHOW, ON THE DRAWINGS, EXISTING PLUMBING DEVICES. HOWEVER, THERE EXISTS THE POSSIBILITY THAT THERE ARE EXISTING CONDITIONS AND DEVICES WHICH ARE AFFECTED BY THE WORK WHICH DO NOT APPEAR ON THE DRAWINGS. INDICATED ON THE DRAWINGS OR SPECIFICATIONS IT IS THE CONTRACTORS RESPONSIBILITY TO VISIT THE SITE AND DETERMINE ALL THE EXISTING CONDITIONS AND TO TAKE THESE EXISTING CONDITIONS INTO CONSIDERATION WHEN MAKING AND PRESENTING A PROPOSAL TO HAVE A COMPLETE PROPOSAL.

## PLUMBING KEYED NOTES

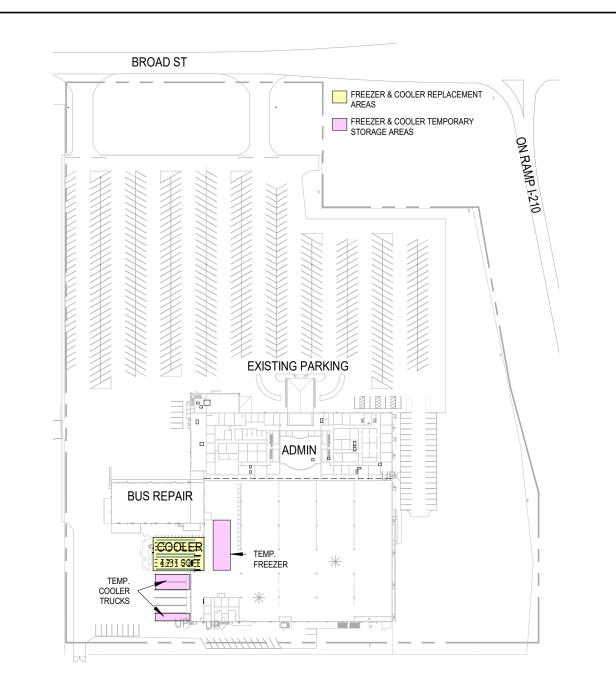
 DAMAGED 4" PVC DRAIN TO BE REMOVED, REFER TO SHEET P2.01 FOR NEW INSTALLATION.
 CONDENSER TO BE DEMO, REMOVE ALL ASSOCIATED CONDENSATE PIPING.
 CONDENSER TO BE REUSED, INSPECTED FOR DAMAGED OR MISSING PARTS AND CLEANED FOR RECONDITIONED FOR REUSE. ALL SALVAGED MATERIAL SHALL BE CAREFULLY HANDLED AND STORED FOR NEW CONSTRUCTION. ALL ASSOCIATED CONDENSATE PIPING SHALL BE REMOVED. REFER TO SHEET P2.01 FOR NEW INSTALLATION OF CONDENSER AND CONDENSATE PIPING.
 REMOVE ALL ASSOCIATED CONDENSATE PIPING.

5 REMOVE ALL ASSOCIATED CONDENSATE PIPING LOCATED OUTSIDE EXISTING COOLER/FREEZER.





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## **ADMINISTRATION BLDG. - KEY PLAN**

# <u>GENERAL</u>

A. PERFORM WORK IN ACCORDANCE WITH APPLICABLE STATUTES, ORDINANCES, CODES AND REGULATIONS OF GOVERNMENTAL AUTHORITIES HAVING JURISDICTION. B. OBTAIN ALL PERMITS REQUIRED.

MEASUREMENTS.

D. GUARANTEE WORK FOR 1 YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION OF THE PROJECT. DURING THAT PERIOD MAKE GOOD ANY FAULTS OR IMPERFECTIONS THAT MAY ARISE DUE TO DEFECTS OR OMISSIONS IN MATERIAL, EQUIPMENT OR WORKMANSHIP. AT THE OWNER'S OPTION, REPLACEMENT OF FAILED PARTS OR EQUIPMENT SHALL BE PROVIDED.

E. PROVIDE FINISHES TO MATCH APPROVED SAMPLES. ALL EXPOSED FINISHES SHALL BE APPROVED BY THE ARCHITECT. SUBMIT COLOR SAMPLES AS REQUIRED

F. COMPLY WITH INSTRUCTIONS IN FULL DETAIL, INCLUDING EACH STEP IN SEQUENCE. SHOULD INSTRUCTION CONFLICT WITH CONTRACT DOCUMENTS, REQUEST CLARIFICATION FROM ARCHITECT / ENGINEER BEFORE PROCEEDING.

G. SECURE PRODUCTS IN PLACE WITH POSITIVE ANCHORAGE DEVICES DESIGNED AND SIZED TO WITHSTAND STRESSES, VIBRATION, AND RACKING. UNDER NO CONDITIONS SHALL MATERIAL OR EQUIPMENT BE SUSPENDED FROM STRUCTURAL BRIDGING.

H. MAINTAIN QUALITY CONTROL OVER SUPERVISION, SUBCONTRACTORS, SUPPLIERS, MANUFACTURERS, PRODUCTS, SERVICES, SITE CONDITIONS AND WORKMANSHIP TO PRODUCE WORK IN ACCORDANCE WITH CONTRACT DOCUMENTS.

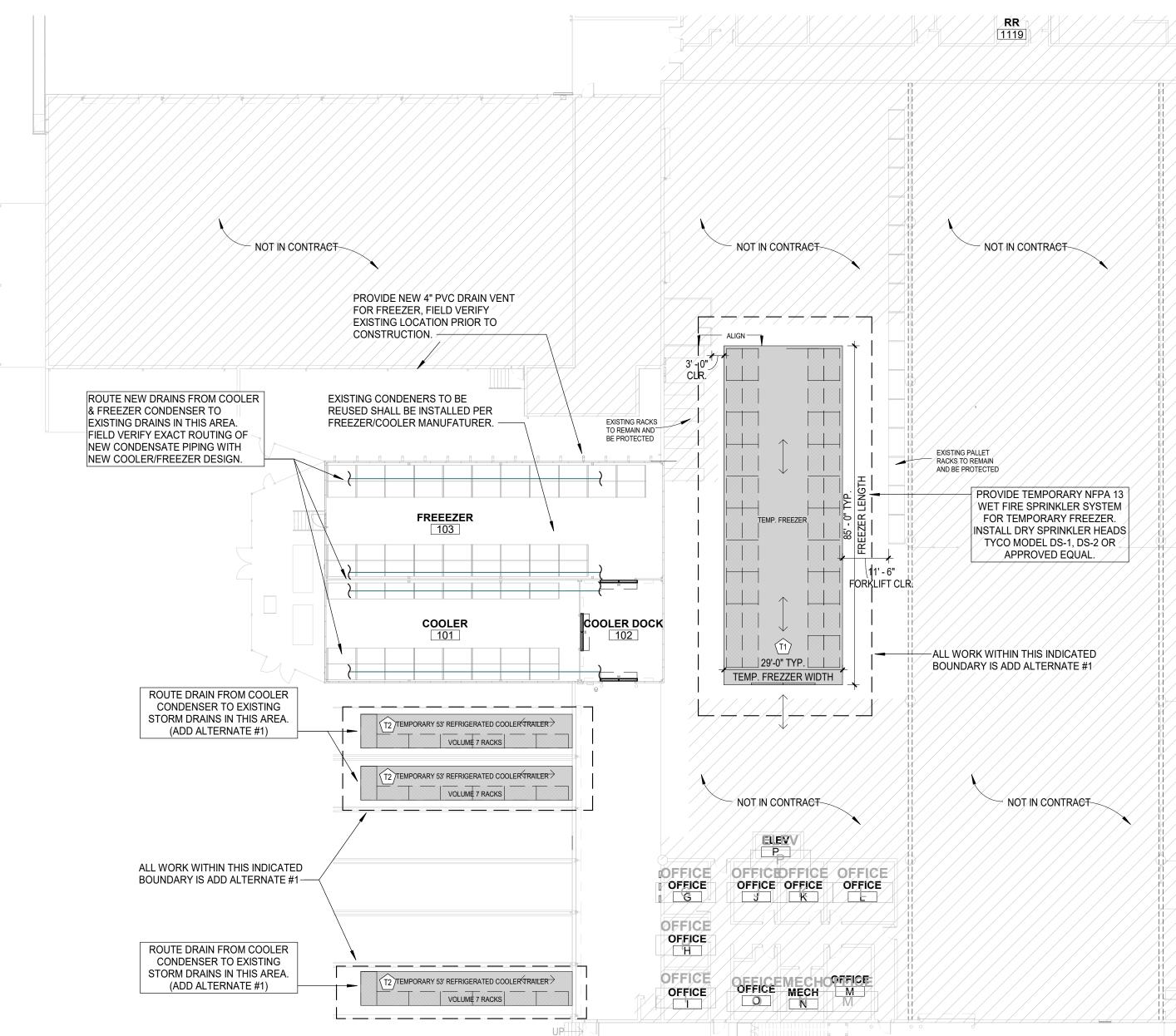
WORKMANSHIP.

QUALITY.

CONDENSATE PIPING INSULATION

520 ADHESIVE.

PIPING. ALL SEAMS AND MITERED JOINTS SHALL BE ADHERED WITH ADHESIVE.



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## PLUMBING SPECIFICATIONS

C. CONTRACT DRAWINGS ARE DIAGRAMMATIC ONLY AND DO NOT GIVE FULLY DIMENSIONED LOCATIONS OF VARIOUS ELEMENTS OF WORK. DETERMINE EXACT LOCATIONS FROM FIELD

I. COMPLY WITH INDUSTRY STANDARDS EXCEPT WHEN MORE RESTRICTIVE TOLERANCES OR SPECIFIED REQUIREMENTS INDICATE MORE RIGID STANDARDS OR MORE PRECISE

J. PERFORM WORK BY PERSONS QUALIFIED TO PRODUCE WORKMANSHIP OF SPECIFIED

A. COVER ALL PIPING WITH ELASTOMERIC INSULATION OVER PIPING AND TUBING. SEAMS AND BUTT JOINTS SHALL BE ADHERED AND SEALED USING FOSTER 85-75. CHILDERS CP-82 OR ARMSTRONG

B. ALL FITTINGS SHALL BE INSULATED WITH THE SAME INSULATION THICKNESS AS THE ADJACENT

C. OUTDOOR EXPOSED PIPING SHALL BE PAINTED WITH TWO COATS OF EITHER WB OR SB ARMAFLEX FINSIH IR FOSTER 30-64 ELASTOMER FOAM COATING. ALL SEAMS SHALL BE LOCATED ON THE LOWER HALF OF THE PIPE,

PLUMBING ALTERATIONS

A. INSPECT AND SERVICE EXISTING EQUIPMENT, FIXTURES AND MATERIALS THAT ARE TO REMAIN OR TO BE REUSED.

B. DISPOSAL OF EQUIPMENT, FIXTURES, MATERIALS, OR HOUSEKEEPING PADS TO BE ABANDONED, PRIOR TO DISPOSAL, THE CONTRACTOR SHALL VERIFY WITH THE OWNER WHAT IS TO BE SALVAGED BY THE OWNER AND WHAT IS TO BECOME THE PROPERTY OF THE CONTRACTOR.

C. HANDLING OF EQUIPMENT AND MATERIALS TO BE REMOVED.

D. INSPECTION: EXISTING MATERIALS AND EQUIPMENT INDICATED ON THE DRAWINGS OR IN THE SPECIFICATIONS TO BE REUSED SHALL BE INSPECTED FOR DAMAGED OR MISSING PARTS. CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER, IN WRITING, ACCORDINGLY. IF USING MATERIALS SPECIFIED OR SHOWN ON THE DRAWING VOIDS OR DIMINISHES THE WARRANTY OR OPERATION OF REMAINING EQUIPMENT OR SYSTEMS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER. IN WRITING. DEMOLITION DRAWINGS ARE BASED ON CASUAL FIELD OBSERVATION, AND WHEN AVAILABLE, EXISTING RECORD DOCUMENTS. REPORT DISCREPANCIES TO ARCHITECT BEFORE DISTURBING EXISTING INSTALLATION, AND IMMEDIATELY AFTER SUCH DISCREPANCIES ARE DISCOVERED.

E. APPLICATION: EXISTING MATERIALS AND EQUIPMENT INDICATED ON THE DRAWINGS OR IN THE SPECIFICATIONS TO BE REUSED SHALL BE CLEANED AND RECONDITIONED, INCLUDING CLEANING OF PIPING SYSTEMS AND HVAC COILS PRIOR TO INSTALLATION AND REUSE. MATERIAL AND EQUIPMENT REMOVED THAT IS NOT TO BE SALVAGED FOR OWNER'S USE OR FOR REUSE ON THE PROJECT SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND BE REMOVED FROM THE SITE. MATERIAL OR EQUIPMENT SALVAGED FOR OWNER'S USE SHALL BE CAREFULLY HANDLED AND STORED WHERE DIRECTED BY THE OWNER OR THE ARCHITECT / ENGINEER. RELOCATE MATERIAL AND / OR EQUIPMENT AS DIRECTED BY OWNER. MATERIALS AND EQUIPMENT NOT INDICATED TO BE REMOVED OR ABANDONED SHALL BE RECONNECTED TO THE NEW SYSTEM. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL WALK AREAS TO BE RENOVATED WITH OWNER TO IDENTIFY AND DOCUMENT ITEMS TO BE SALVAGED FOR OWNER'S USE.

F. SEQUENCE AND SCHEDULE: COORDINATE UTILITY SERVICE OUTAGES WITH UTILITY COMPANY, ARCHITECT AND OWNER. REMOVE CONCRETE HOUSEKEEPING PAD WHERE MATERIALS OR EQUIPMENT HAVE BEEN REMOVED.

FEES.

## PLUMBING OVERALL 1ST FLOOR STAGING PLAN

Scale: 1" = 20'-0"

STANDPIPE AND SPRINKLER SYSTEMS

A. A WET SYSTEM SHALL BE INSTALLED IN HEATED AREAS AND DRY PIPE SYSTEMS IN AREAS SUBJECT TO FREEZING.

B. FURNISH ALL ARTICLES OF A COMPLETED SPRINKLER SYSTEM INCLUDING ALL MATERIALS, LABOR, TOOLS, EQUIPMENT, TRANSPORTATION SERVICES AND SUPERVISION

C. STUDY THE GENERAL, STRUCTURAL, ELECTRICAL AND MECHANICAL DRAWINGS AND SPECIFICATIONS, IN ORDER TO BECOME FAMILIAR WITH THE BUILDING AND DETAILS AS THEY APPLY TO THE WORK OF THIS SECTION.

D. PROVIDE INSULATION FOR WET PIPES EXPOSED TO FREEZING CONDITIONS.

E. SPRINKLER HEAD: ALL HEADS SHALL BE UL LISTED AND FM APPROVED, AND COMPLY WITH THE LATEST REQUIREMENTS OF NFPA 13 WITH RESPECT TO ORIFICE SIZE UNLESS OTHERWISE NOTED. SPRINKLER HEADS WITH "O" RING DESIGN SHALL NOT BE ACCEPTABLE.

F. EXPOSED AREAS: STANDARD UPRIGHT TYPE WITH BRASS FINISH WITH ESCUTCHEON, WITH 165 DEGREE F TEMPERATURE. TYCO MODEL B, FRB, OR APPROVED EQUAL.

G. DRY SPRINKLERS HEADS AT FREEZERS AND COOLERS: TYCO MODEL DS-1, DS-2, OR APPROVED EQUAL.

H. DESIGN: DESIGN, SPACING OF SPRINKLER HEADS AND SELECTION SIZES SHALL CONFORM TO THE REQUIREMENTS OF NFPA 13 FOR THE INDICATED OCCUPANCY. UNIFORM DISCHARGE DENSITY DESIGN SHALL BE BASED ON HYDRAULIC CALCULATIONS USING THE METHOD OUTLINED IN NFPA 13. DENSITY OF DISCHARGE FROM SPRINKLER HEADS SHALL CONFORM TO NFPA 13. FRICTION LOSSES IN PIPE WILL BE BASED ON A VALUE OF "C" = 120 IN THE HAZEN AND WILLIAMS FORMULA.

I. LOCATION: LOCATE HEADS AS MAY BE REQUIRED FOR COORDINATED CEILING PATTERN, EVEN THROUGH NUMBER OF HEADS EXCEED MINIMUM CODE REQUIREMENTS. SPRINKLER HEADS LOCATED IN UTILITY OR MECHANICAL ROOMS, PENTHOUSES, SERVICE CORRIDORS, OR OTHER SUCH SPACES NOT SUBJECT TO PUBLIC VIEW NEED NOT BE CENTERED IN CEILING PATTERNS AND MAY USE A STRAIGHT DROP FROM BRANCH LINE.

J. INSTALLATION: PROVIDE A MINIMUM 18-INCH RADIUS SWING JOINT FOR EACH DROP TO SPRINKLER HEADS LOCATED IN CEILINGS. PROVIDE SHIELD OR DEFLECTOR FOR SPRINKLERS OR EQUIPMENT WHERE ELECTRICAL SWITCHGEAR, SWITCHBOARDS AND MOTOR CONTROL CENTERS ARE IN SPRINKLER PROTECTED SPACES.

## **PLUMBING GENERAL NOTES** 1. IN AREAS WHERE THE FLOOR SLAB IS REMOVED, CONTRACTOR SHALL ALSO REMOVE UNDERSLAB WASTE AND VENT PIPING WHICH SERVES FIXTURES DESIGNATED FOR REMOVAL. PRIOR TO ANY REMOVAL, FIELD VERIFY THAT LINES TO BE REMOVED DO NOT SERVE ANY EXISTING FIXTURES TO REMAIN OR NEW FIXTURES TO BE INSTALLED. 2. IN AREAS WHERE THE FLOOR SLAB IS NOT REMOVED, CONTRACTOR SHALL ABANDON IN PLACE ANY UNDERSLAB WASTE AND VENT PIPING NO LONGER NEEDED, UNLESS THE PIPING MUST BE REMOVED TO ACCOMMODATE NEW CONSTRUCTION. IF NEW WORK DOES NOT NECESSITATE THEIR REMOVAL, CUT AND PLUG SUCH LINES BELOW SLAB, AND PATCH FLOOR TO MATCH EXISTING. 3. FIELD VERIFY EXACT LOCATION, SIZE, DEPTH, DIRECTION OF FLOW, CAPACITY, PIPE MATERIAL AND CONDITION OF EXISTING WASTE PIPING PRIOR TO BEGINNING CONSTRUCTION. ENSURE THAT PROPER CONNECTIONS TO AND EXTENSION OF SUCH UTILITIES CAN BE MADE. 4. WASTE LINES TO BE RE-USED OR RECONNECTED TO SHALL BE THOROUGHLY RODDED OUT AND FLUSHED TO ENSURE THEY ARE FREE FROM BLOCKAGES. 5. CONTRACTOR SHALL COORDINATE ROUTING OF PIPING IN CEILING SPACES WITH MECHANICAL AND ELECTRICAL EQUIPMENT. DUCTWORK AND CONDUIT. SHOULD A CONFLICT OCCUR THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER PRIOR TO INSTALLING AN ALTERNATE PIPING PLAN. 6. CONTRACTOR TO COORDINATE ALL REMODEL WORK WITH THE WORK OF OTHER TRADES TO AVOID CONFLICTS AND TO MINIMIZE INTERRUPTION OF SERVICES. 7. CONTRACTOR TO FIELD VERIFY AS NECESSARY THE EXACT ROUTING AND SIZES OF ALL PIPING. 8. ALL WORK, METHODS AND INSTALLATIONS INVOLVED IN THE PLUMBING DESIGN SHALL BE IN ACCORDANCE WITH THE CITY BUILDING CODE, INSPECTION REGULATIONS AND ALL OTHER OFFICIALS HAVING JURISDICTION.

# FIRE SPRINKLER NOTE:

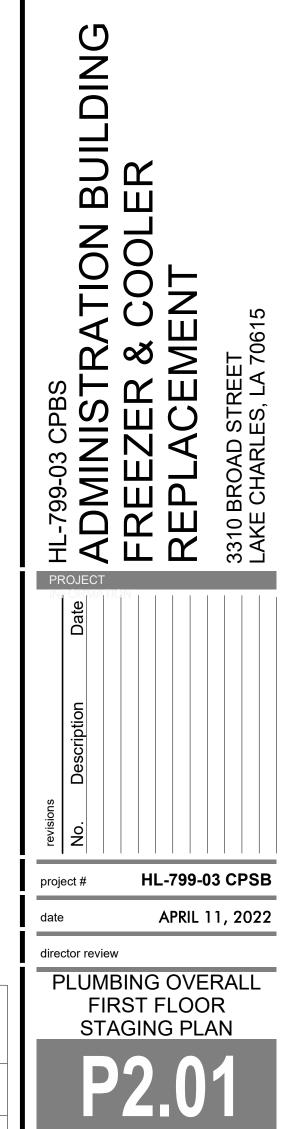
LICENSED SPRINKLER CONTRACTOR SHALL EXTEND THE AUTOMATIC FIRE SPRINKLER SYSTEM TO INCLUDE NEW ADDITION, AND MATCH NEW MATERIALS AND SPRINKLER HEADS TO EXISTING. EXISTING FIRE SPRINKLER SYSTEM TO BE MAINTAINED IN FULL OPERATING ORDER FOR ENTIRE BUILDING AT ALL TIMES. LICENSED SPRINKLER ENGINEER OR LICENSED SPRINKLER CONTRACTOR. TO PROVIDE DRAWINGS AND CALCULATIONS FOR UP DATE CHANGES TO EXISTING SYSTEM AND TO COMPLY WITH NEW SPACE LAYOUT, NFPA 13, ALL STATE AND LOCAL CODE REQUIREMENTS. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.

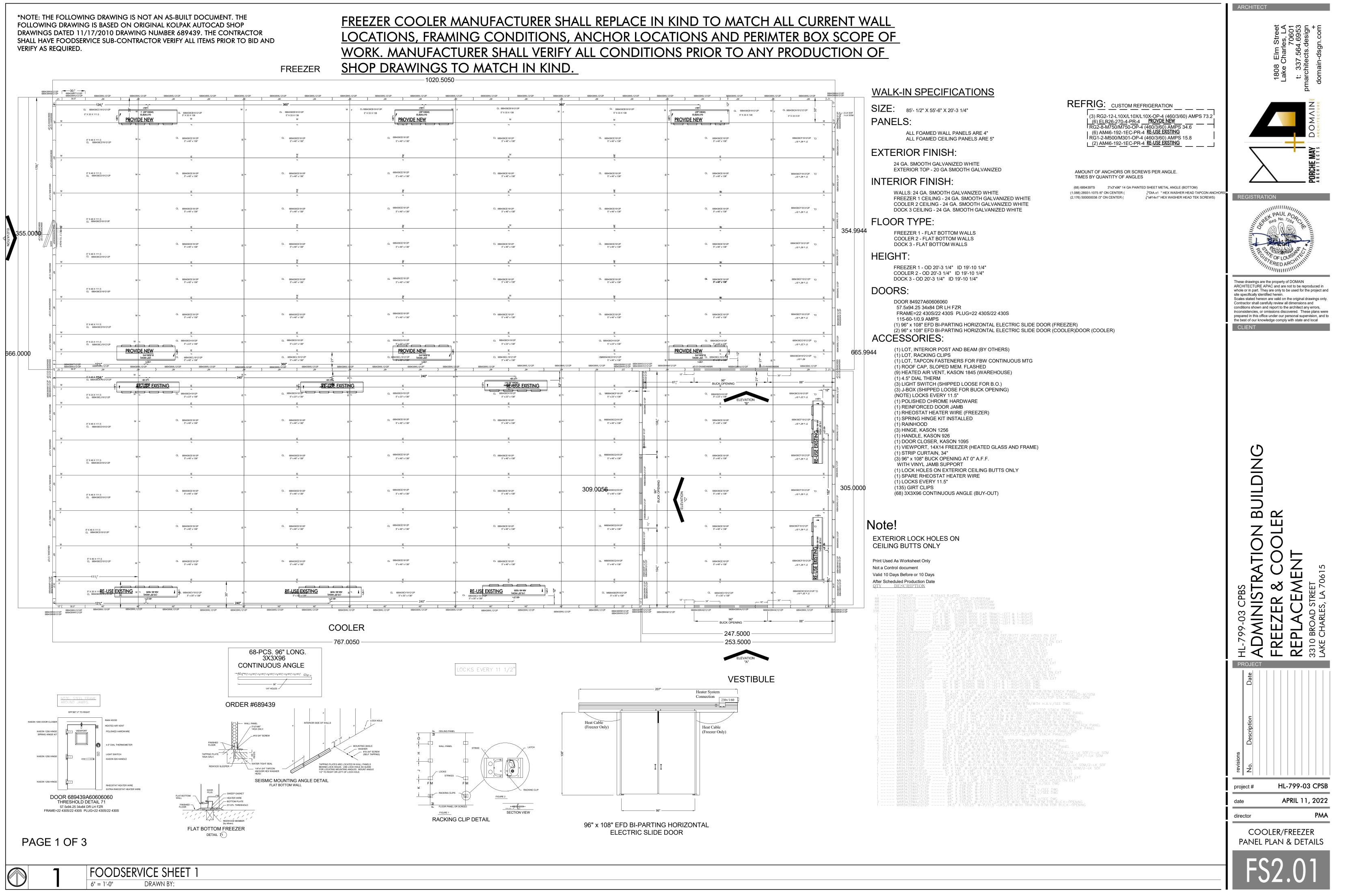


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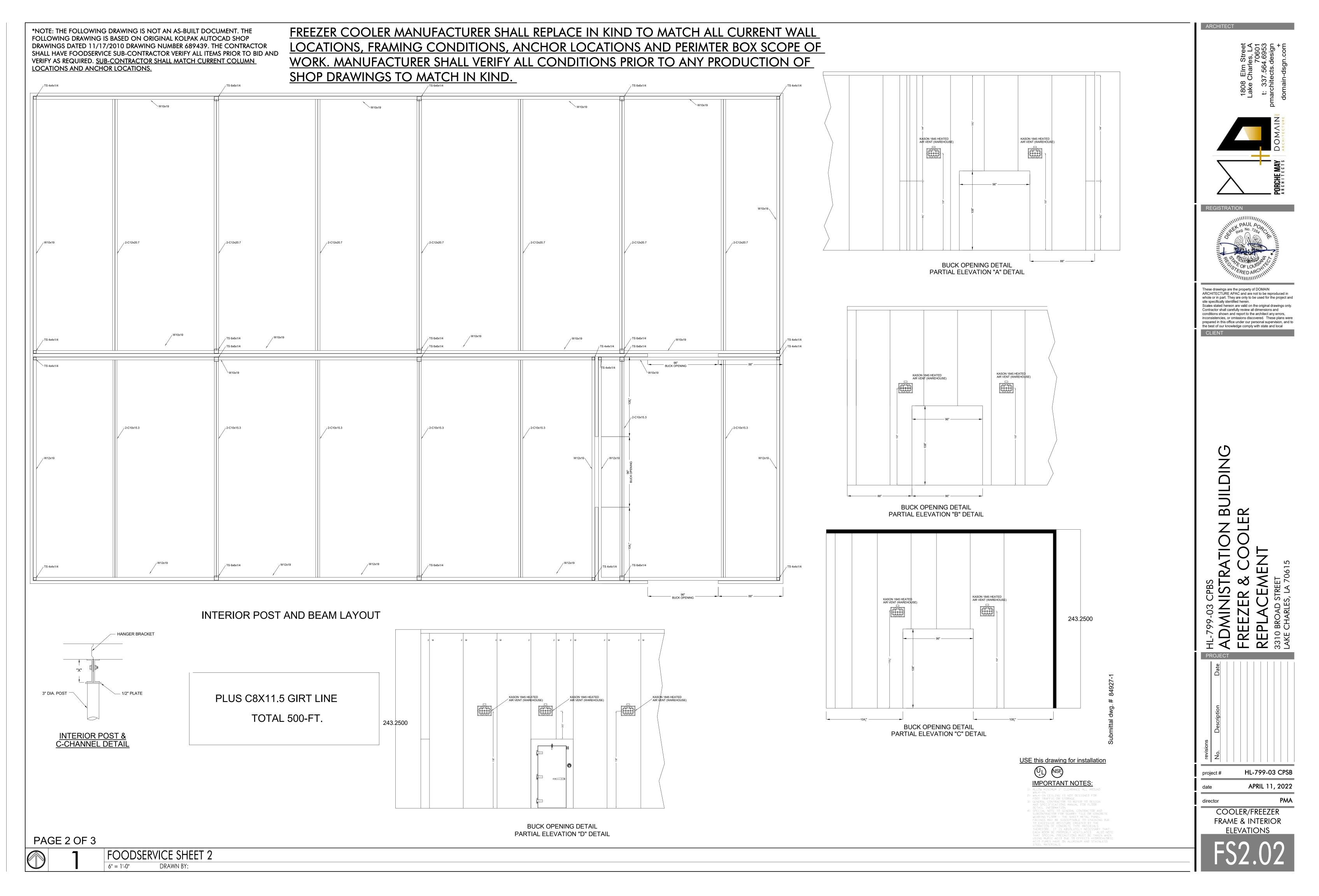


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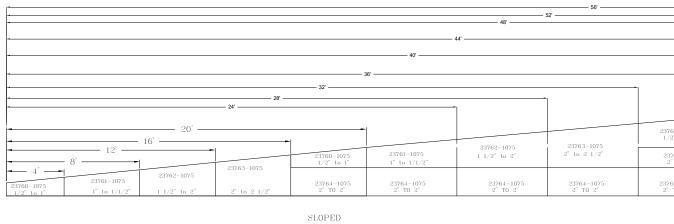


APRIL 11, 2022

\*NOTE: THE FOLLOWING DRAWING IS NOT AN AS-BUILT DOCUMENT. THE FOLLOWING DRAWING IS BASED ON ORIGINAL KOLPAK AUTOCAD SHOP DRAWINGS DATED 11/17/2010 DRAWING NUMBER 689439. THE CONTRACTOR SHALL HAVE FOODSERVICE SUB-CONTRACTOR VERIFY ALL ITEMS PRIOR TO BID AND VERIFY AS REQUIRED.

## FREEZER COOLER MANUFACTURER SHALL REPLACE IN KIND TO MATCH ALL CURRENT WALL LOCATIONS, FRAMING CONDITIONS, ANCHOR LOCATIONS AND PERIMTER BOX SCOPE OF WORK. MANUFACTURER SHALL VERIFY ALL CONDITIONS PRIOR TO ANY PRODUCTION OF SHOP DRAWINGS TO MATCH IN KIND.

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1-1075	23761-1075	23761-1075	23761-1075	23761-1075	23761-1075	23761-1075	23761-1075	23761-1075	23761-1075	23761-1075	23761-1075	23761-1075	23761-1075	23761-1075	23761-1075	23761-1075	23761-1075	23761-1075	23761-1075	23761-1075	23761-1075	
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