



RANDY M. GOODLOE, AIA, APAC
A Professional Architectural Corporation

December 6, 2023

Project: Hurricane Laura Stom Repairs - Rosteet Annex

725 KIRBY ST.
LAKE CHARLES
LA, 70601

OFFICE
(337) 436-3036

FAX
(337) 436-3773

Addendum No. 1

Note: This addendum shall become part of the contract and contract documents and the contractor shall be responsible for each item included in this addendum.

- Item No. 1 - See attached sign-in sheet from Pre-Bid Conference.
- Item No. 2 - See attached abatement items from Wynn L. White Consulting.
- Item No. 3 - See attached revised sheets A-000, A-1.0, A-2.0, A-2.2, A-2.3, A-2.5, A-2.6, A-2.12.
- Item No. 4 - Clarification – Abatement is to be included in this contract by the general contractor. Division 2 of the Project Manual contains abatement plans and specs.
- Item No. 5 - See attached sheet A-001 Phasing Plan.
- Item No. 6 - See attached revised specification 01 10 00 Summary. Description of the Phasing Plan has been added.
- Item No. 7 - See attached specification 03 62 00 – Non-Shrink Grouting.
- Item No. 8 - See attached floor plan layout of the Temporary Building.
- Item No. 9 - See attached revised Unit Price Bid Form.
- Item No. 10 - See attached revised specification 01 22 00 Unit Prices.

End of Addendum No. 1

Pre-Bid Conference - Rostreet Annex

11/30/2023

Name	Company	Phone	Email	General/Specialty
Chris Goodloe	RMG	337-436-3036	chris.g@goodarch.com	
Amy Fontenot	RMG	337-436-3036	amy@goodarch.com	
Plane Salama	Pat Williams Construction	337-312-6185	plane.salama@patwilliamsconstruction.com	GC
Marshall Philpau	6111 Industries Ltd	318-519-0705	bidsegi@industriesltd.com	Sub
Trevor Heugader	Pave	337-580-1037	trevor.heugader@paveilliana.com	Sub
Lee Douglas	Douglas Roofing	337-545-3399	lee@douglasroofing.com	Roofing
Jason Boyce	Shannon Smith	337-249-2296		
Chy'ron Bernis	PRIC & PCBUILDING	337-660-1074		
Kevin Johnson	Manager M's A/E	557-304/5828		
Monte M. Shivers	West Development	337-309-9440	monte@westdevelopment.com	GC
Mick Harrington	Sern Priola Construction	337-688-6347	mharrington@priola.com	GC
Seth Priola	SPC LLC	337-802-4451	spriola@priola.com	GC
Kevin Tabaux	Green Tree Const.	337-274-6095		GC
Scot Corbora	Russell T. Spates.	318-401-1364	scot@russellspates.com	GC
Doyle Golden	Dushill	713-839-8117	greg@dushillconstruction.com	GC
Paul Swain	Alfred Palmer LLC	337-274-0453	paul@apalmer.com	GC
SEAN BRANDON	Gulf Services Contracting, Inc.	251-948-8161	sean@gsccbellcoth.net	Abatement Sub
Paul Lader	Daniel J. Pearsant	851-194-7290	paul@danpearsant.com	STRUCTURE Sdg.
LAME RANCE	Shades of SUNDLETT	225-771-2096	lame.rance@shadesofundlett.com	STRUCTURE Sdg.
Robyn Weis	White	985-614-0101	robyn@white.com	STRUCTURE Sdg.
Paul A. White	CSRS	318-540-7672	paul@csrsinc.com	CSRB Program Mgmt

Olynn White

white@olynnwhite.com

Addendum Number 1
November 29, 2023

Calcasieu Parish School Board
Rosteet Annex
Engineer's Project Number: 23023

The following changes, additions, deletions or alterations to the Specifications or Drawings shall be incorporated into the Specifications and Drawings for the above captioned project and acknowledged in the Contractor's Bid and in the Agreement between Owner and Contractor.

Item 1 Delete Drawing Sheets 1, 2 and 3 and replace with attached Drawing Sheets ASB1, ASB2, and ASB3 dated 11/29/23.

Item 2 Contractor shall obtain and compile all data as required for all project notifications and shall obtain all licenses, permits, waste disposal profile forms, waste characterization, and waste disposal manifests as required to perform the work in accordance with local, state, and federal regulations.

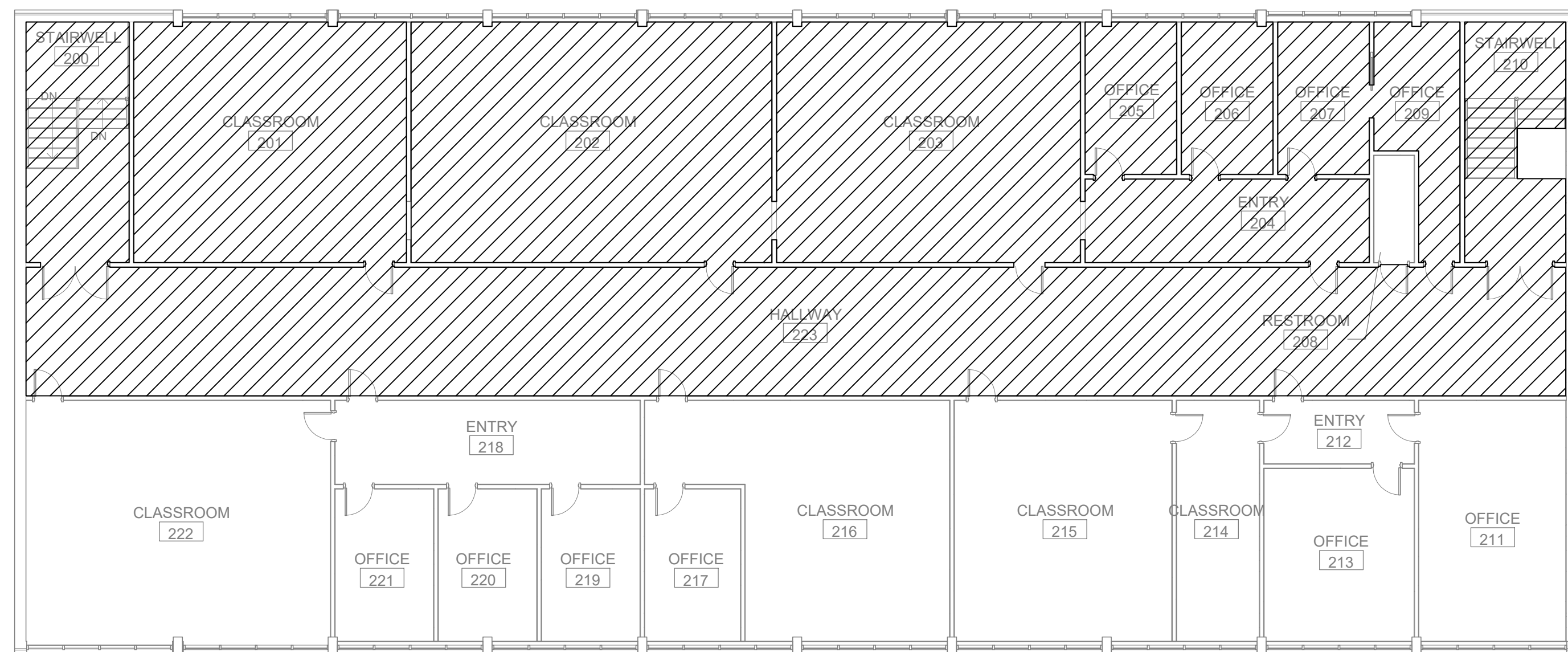
This Addendum Number 1 contains:

- Items 1 & 2 (1 page).
- Drawing Sheets 1, 2 and 3, dated 11/29/23 (3 - 36" x 24" sheets)

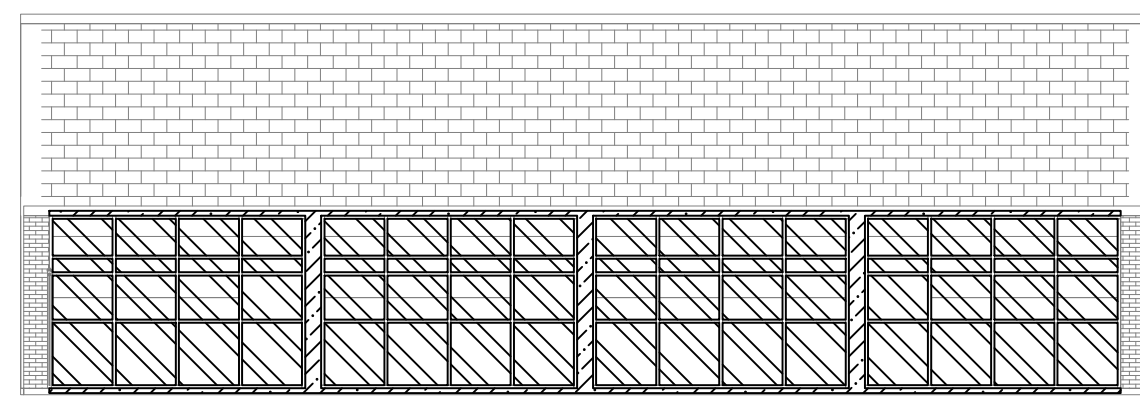
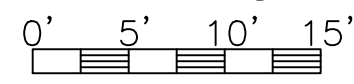
End of Addendum Number 1



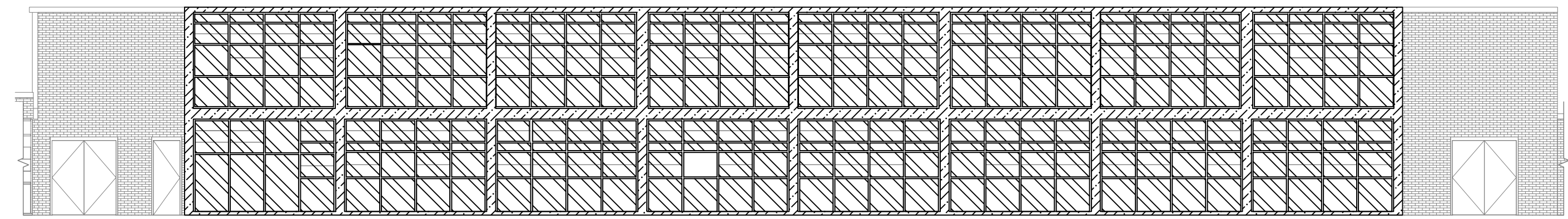
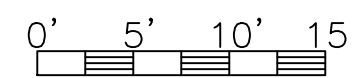
11/29/23



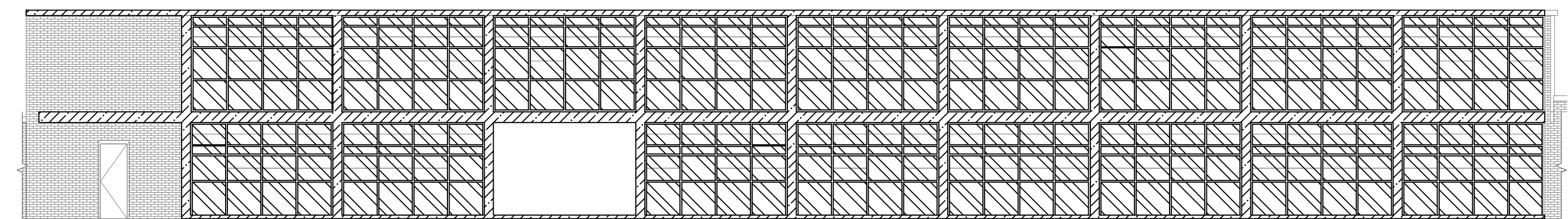
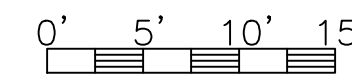
SOUTHWEST WING - 2ND FLOOR
REFER TO RMG ARCHITECT SHEET A-2.4



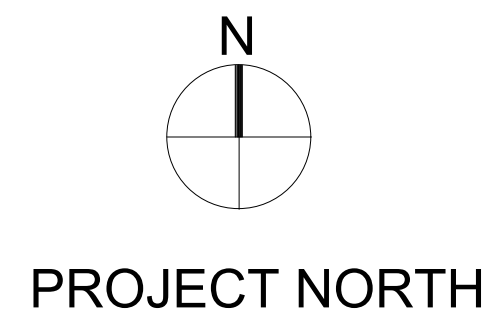
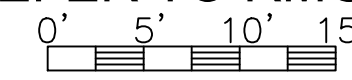
3 SOUTHWEST WING - 1ST FLOOR - WEST ELEVATION
REFER TO RMG ARCHITECT SHEET A-2.1



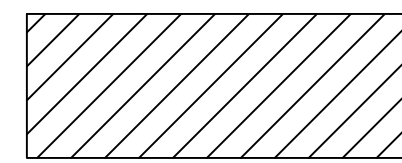
1 SOUTHWEST WING - 1ST FLOOR - NORTH ELEVATION
REFER TO RMG ARCHITECT SHEETS A-2.1 & A-2.4



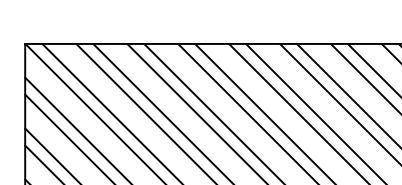
2 SOUTHWEST WING - 1ST FLOOR - SOUTH ELEVATION
REFER TO RMG ARCHITECT SHEETS A-2.1 & A-2.4



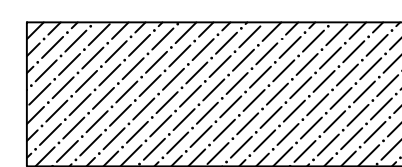
PROJECT NORTH



REMOVE & DISPOSE OF FLOOR
TILE/MASTIC



REMOVE & DISPOSE OF BROKEN WINDOW
PANES, CAULK, SEALANT, AND GASKETS.
COORDINATE WITH GENERAL CONTRACTOR.

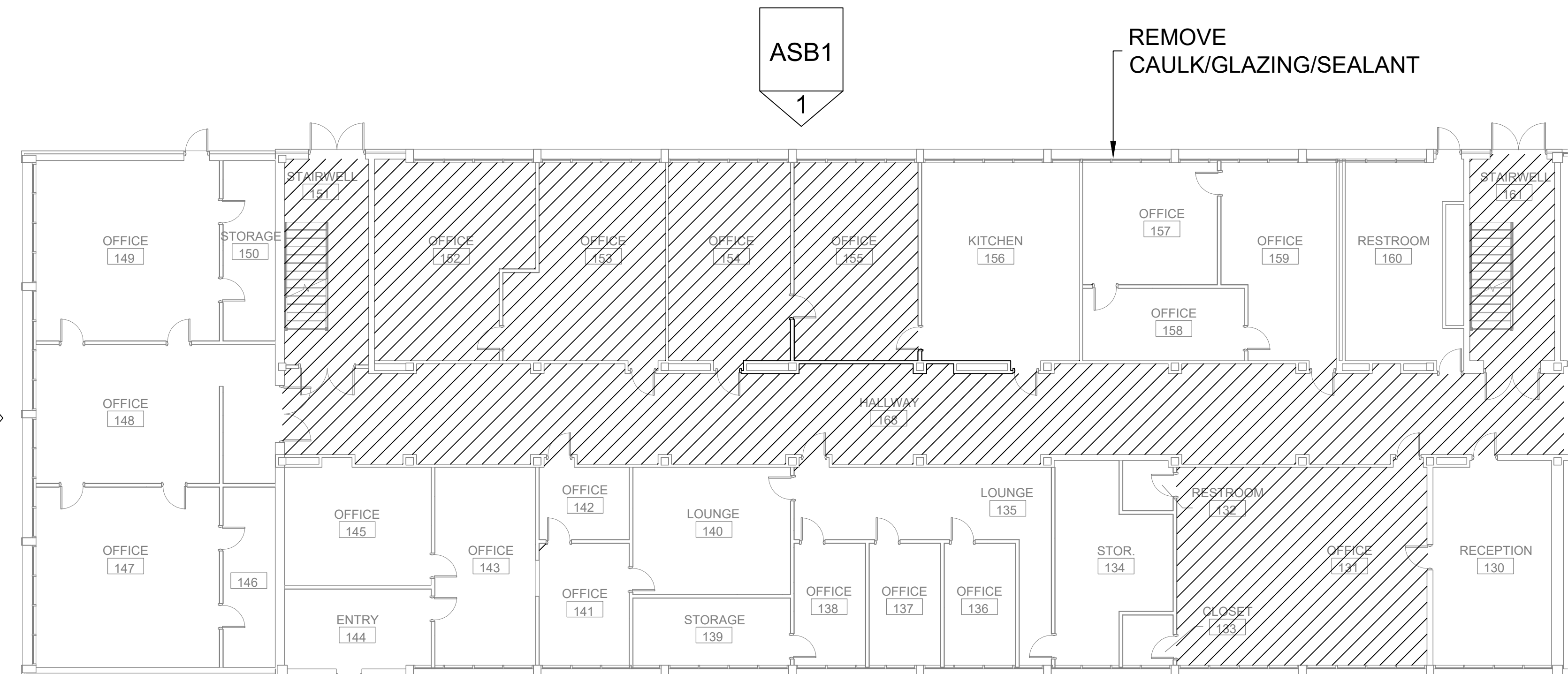


REMOVE PLASTER TO SUBSTRATE

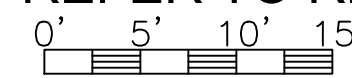
NOT TO SCALE

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SOUTHWEST WING - 1ST FLOOR
REFER TO RMG ARCHITECT SHEET A-2.1



PROJECT NUMBER
23023

FACILITY NUMBER
162

REVISIONS		
NO.	DATE	BY
1	11/9/23	JLY
2	11/28/23	JLY

DRAWN BY: CMW

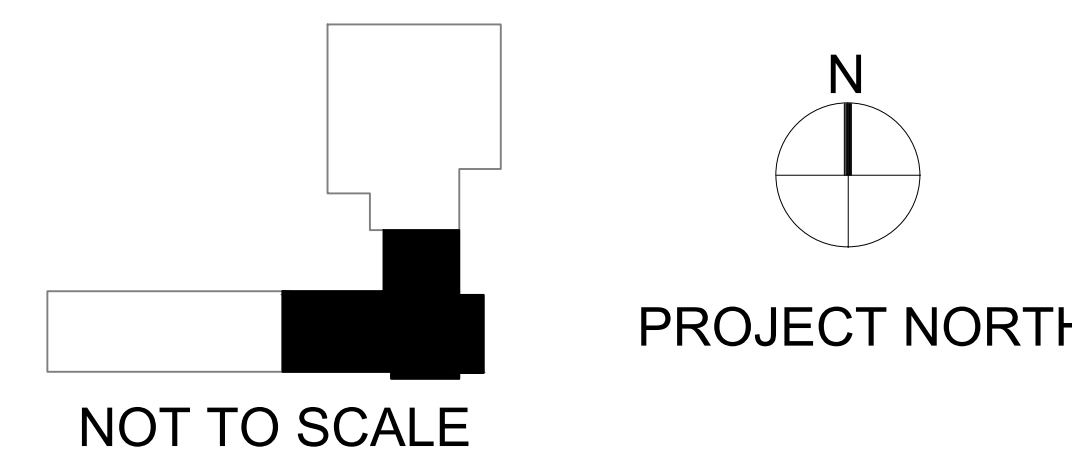
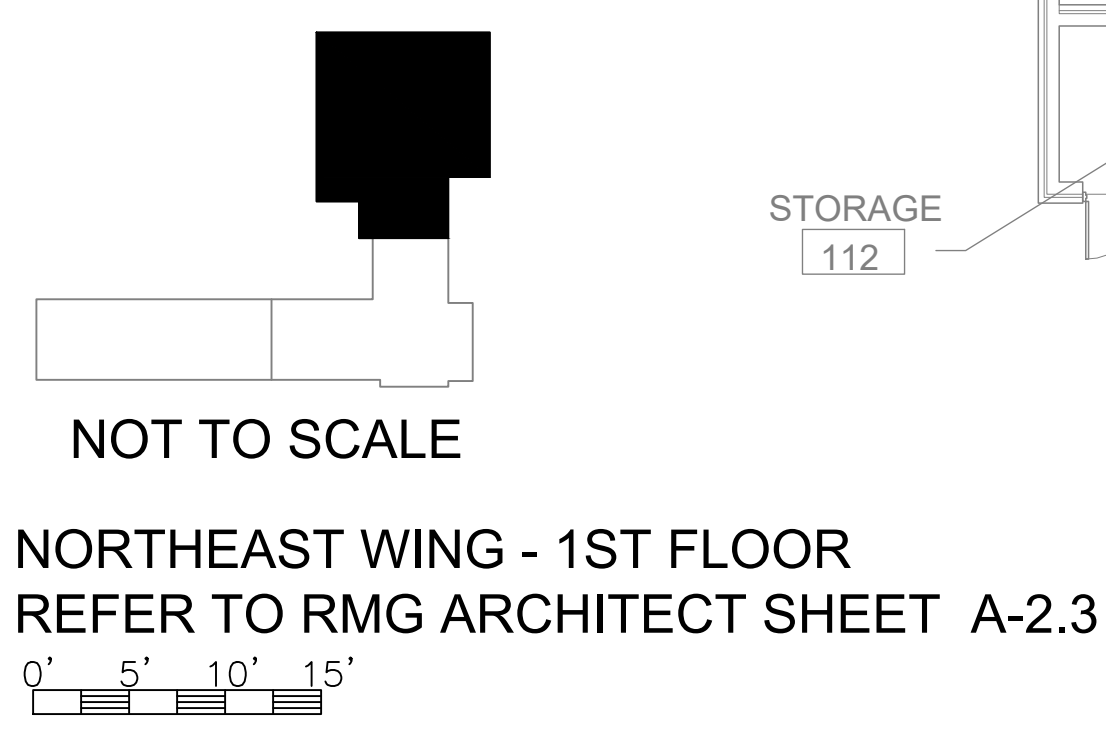
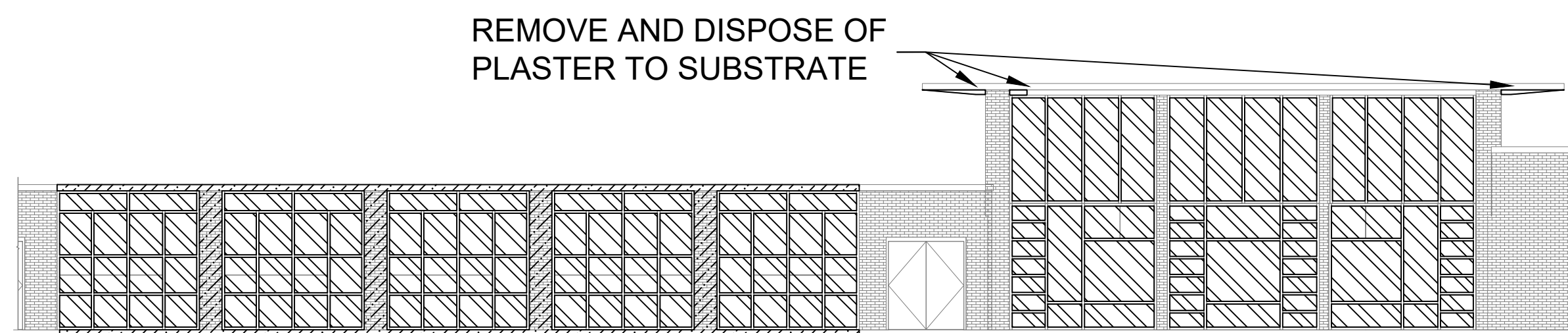
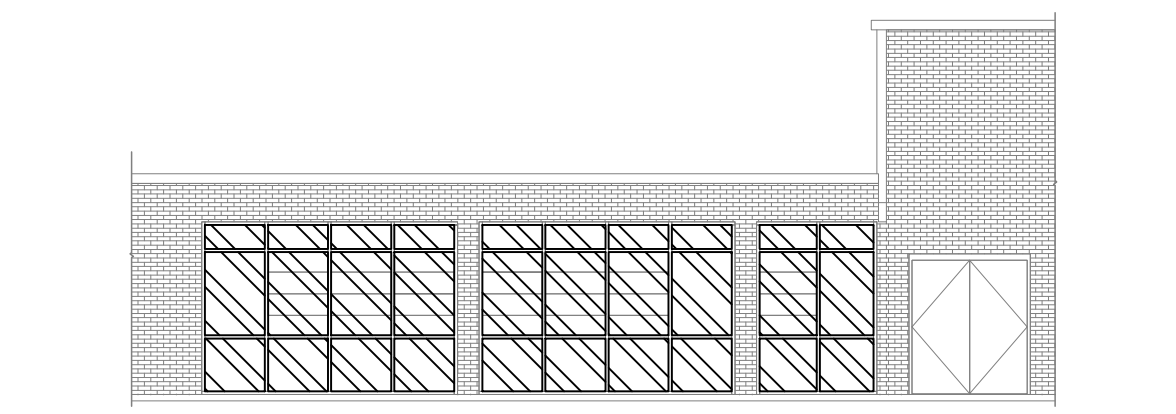
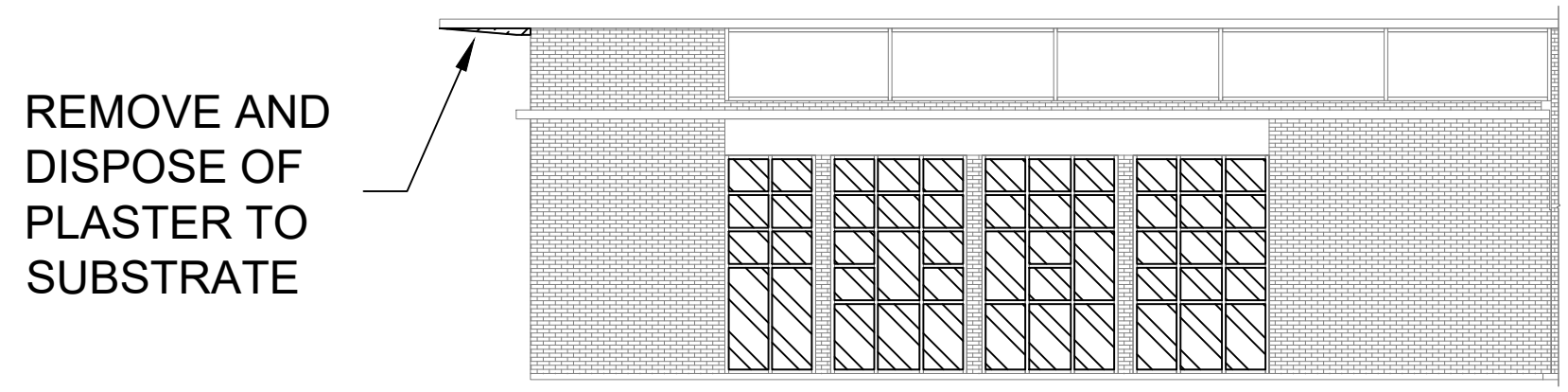
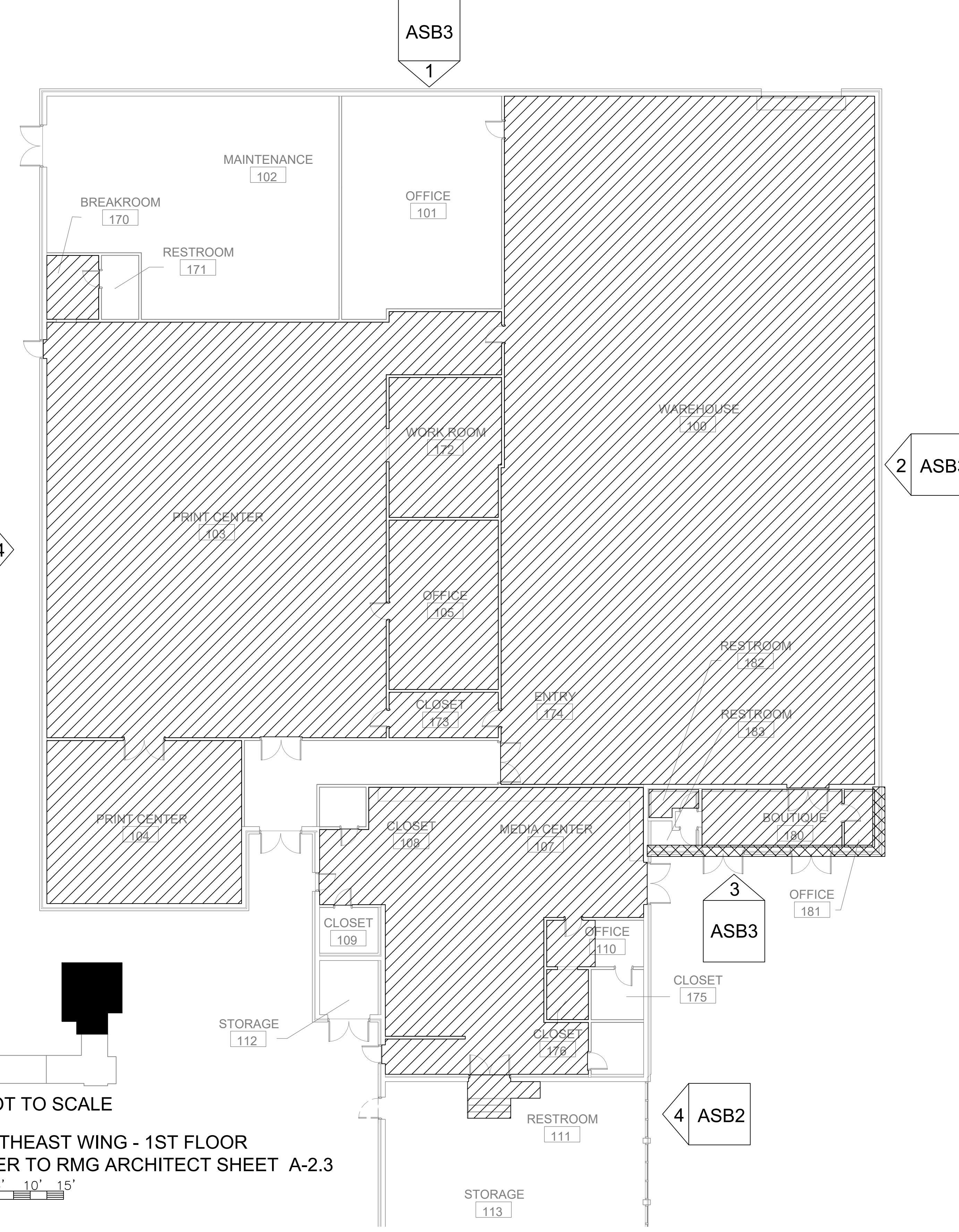
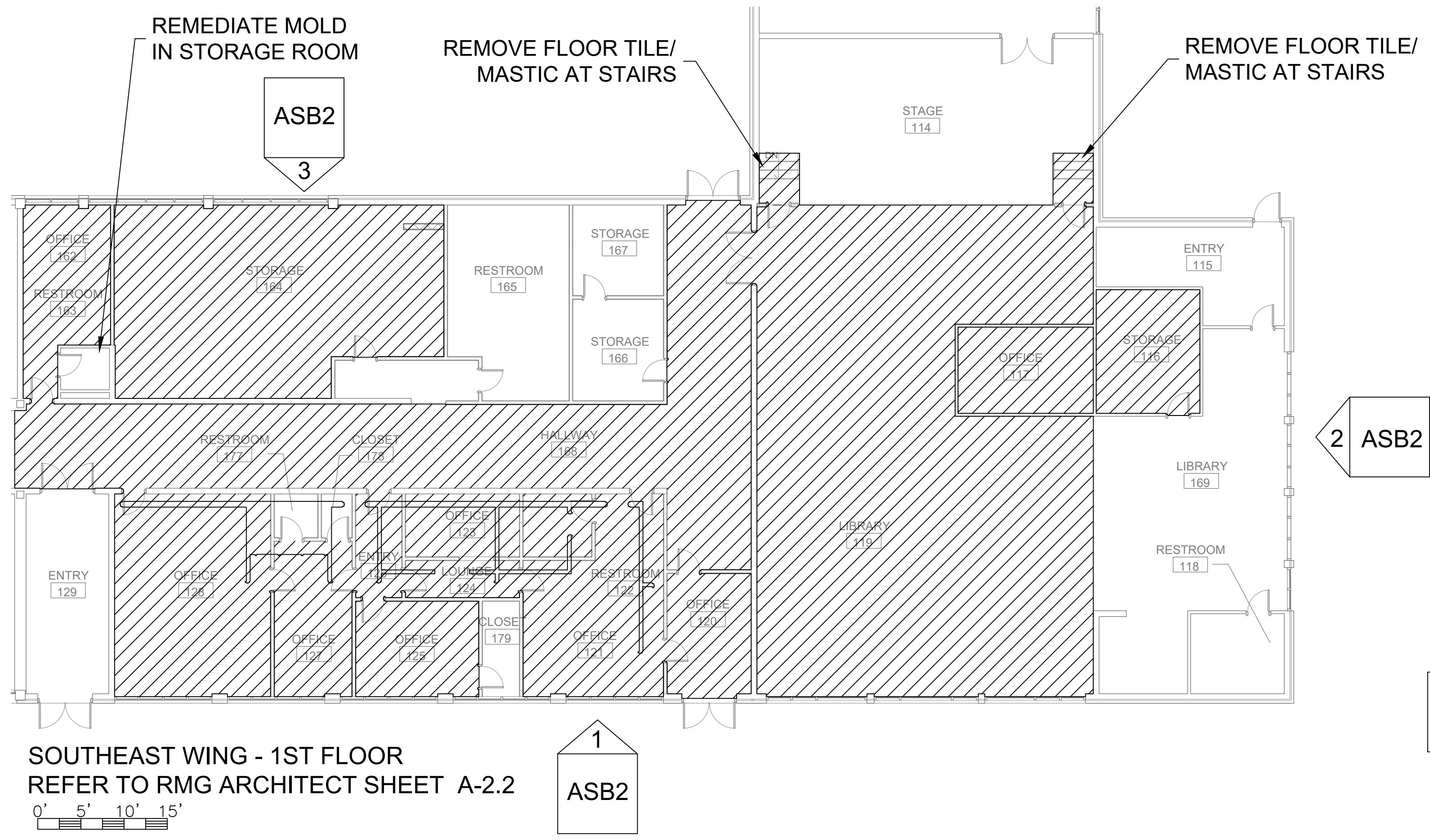
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DATE: 8/9/23

SCALE: AS NOTED

SHEET ASB1 OF ASB3

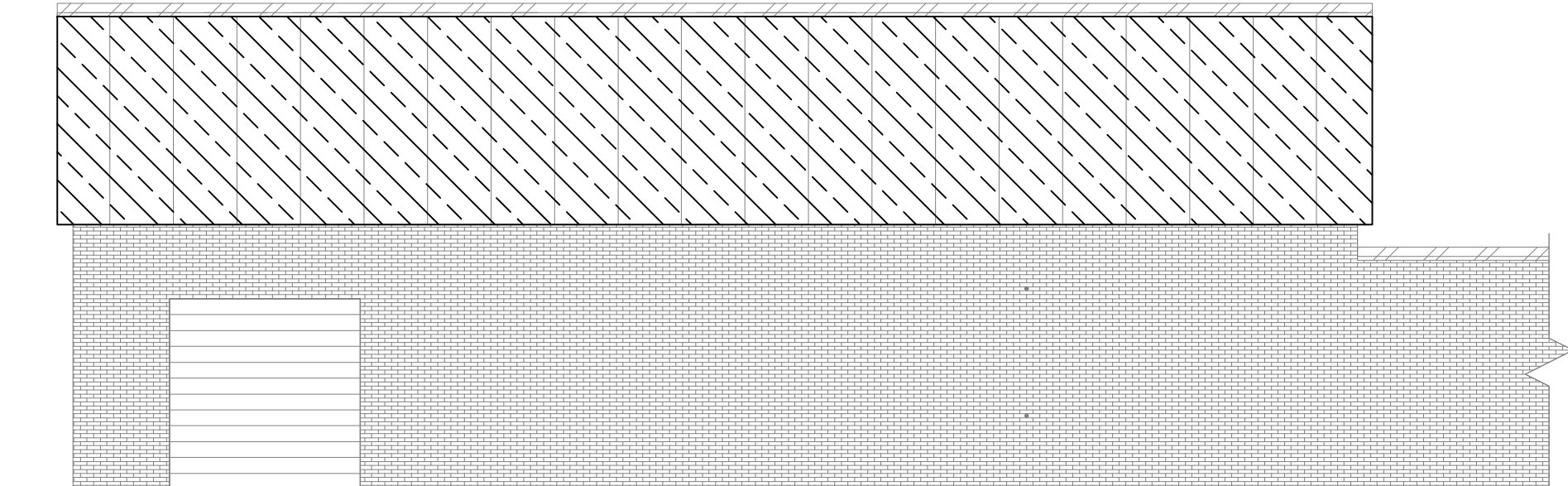
REVISIONS		
NO.	DATE	BY
1	10/10/23	JULY
2	11/9/23	JULY
3	11/28/23	JULY



- REMOVE AND DISPOSE OF SOFFIT
- REMOVE & DISPOSE OF FLOOR TILE/MASTIC
- REMOVE & DISPOSE OF BROKEN WINDOW PANES, CAULK, SEALANT, AND GASKETS COORDINATE WITH GENERAL CONTRACTOR
- REMOVE PLASTER TO SUBSTRATE

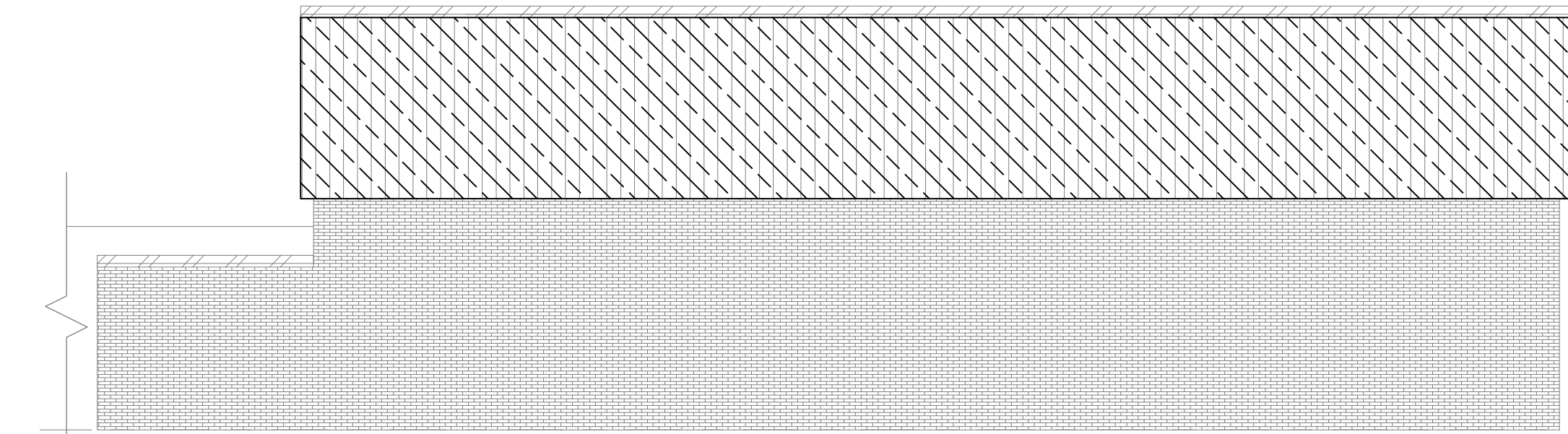
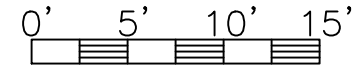
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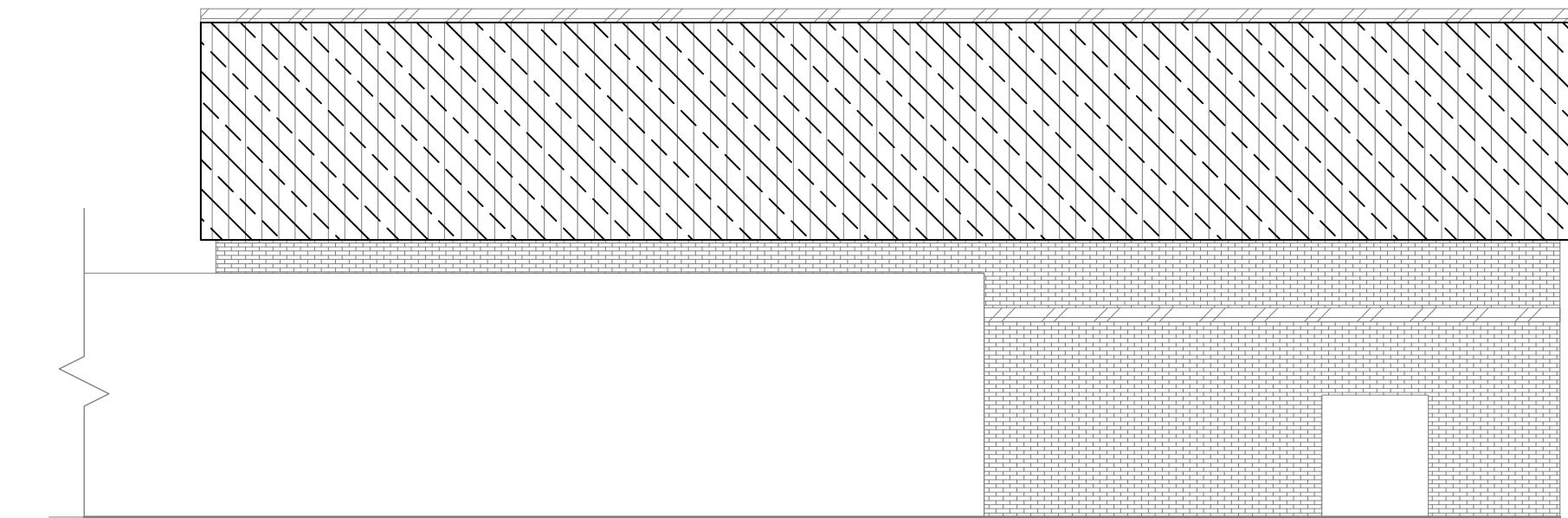
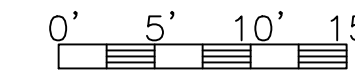
1 WAREHOUSE - NORTH ELEVATION
REFER TO RMG ARCHITECT SHEET A-2.3

SEE DETAIL A1
THIS SHEET



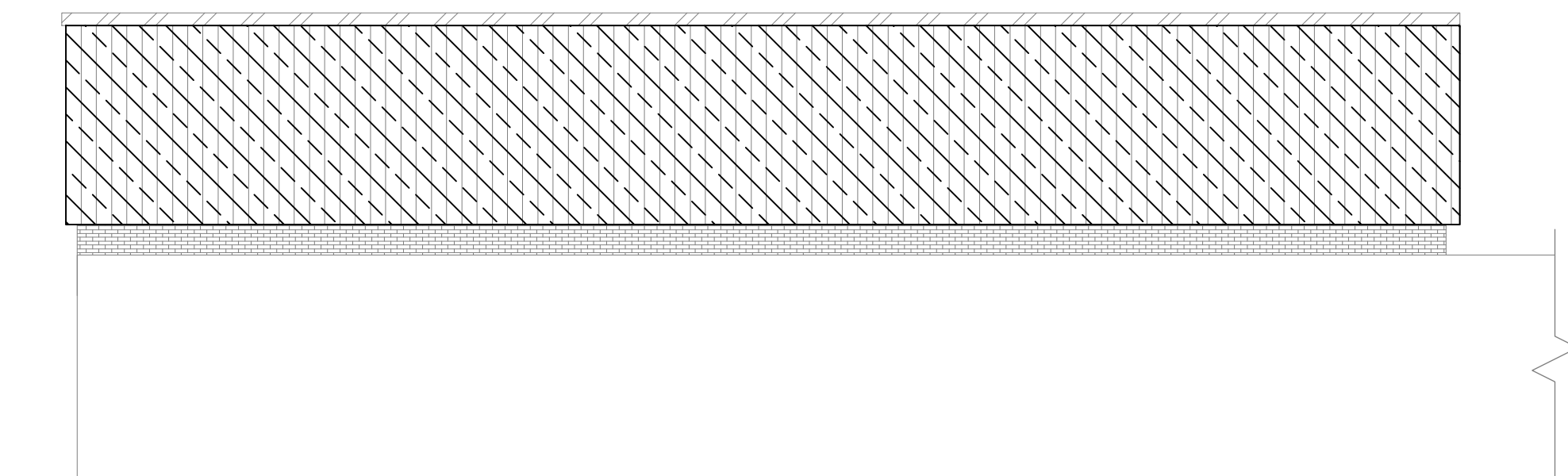
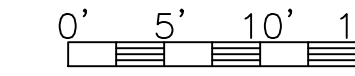
2 WAREHOUSE - EAST ELEVATION
REFER TO RMG ARCHITECT SHEET A-2.3

SEE DETAIL A1
THIS SHEET



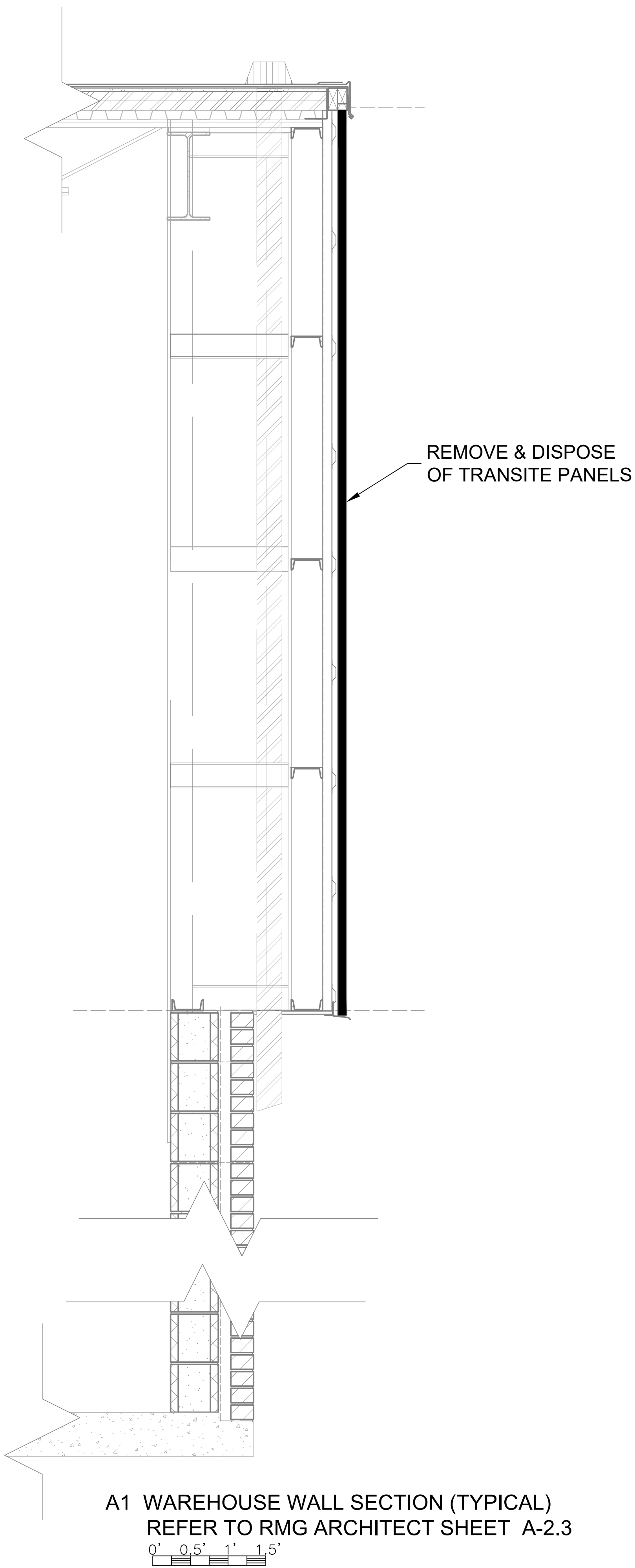
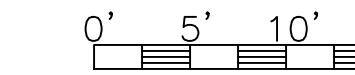
3 WAREHOUSE - SOUTH ELEVATION

SEE DETAIL A1
THIS SHEET

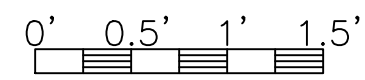


4 WAREHOUSE - WEST ELEVATION

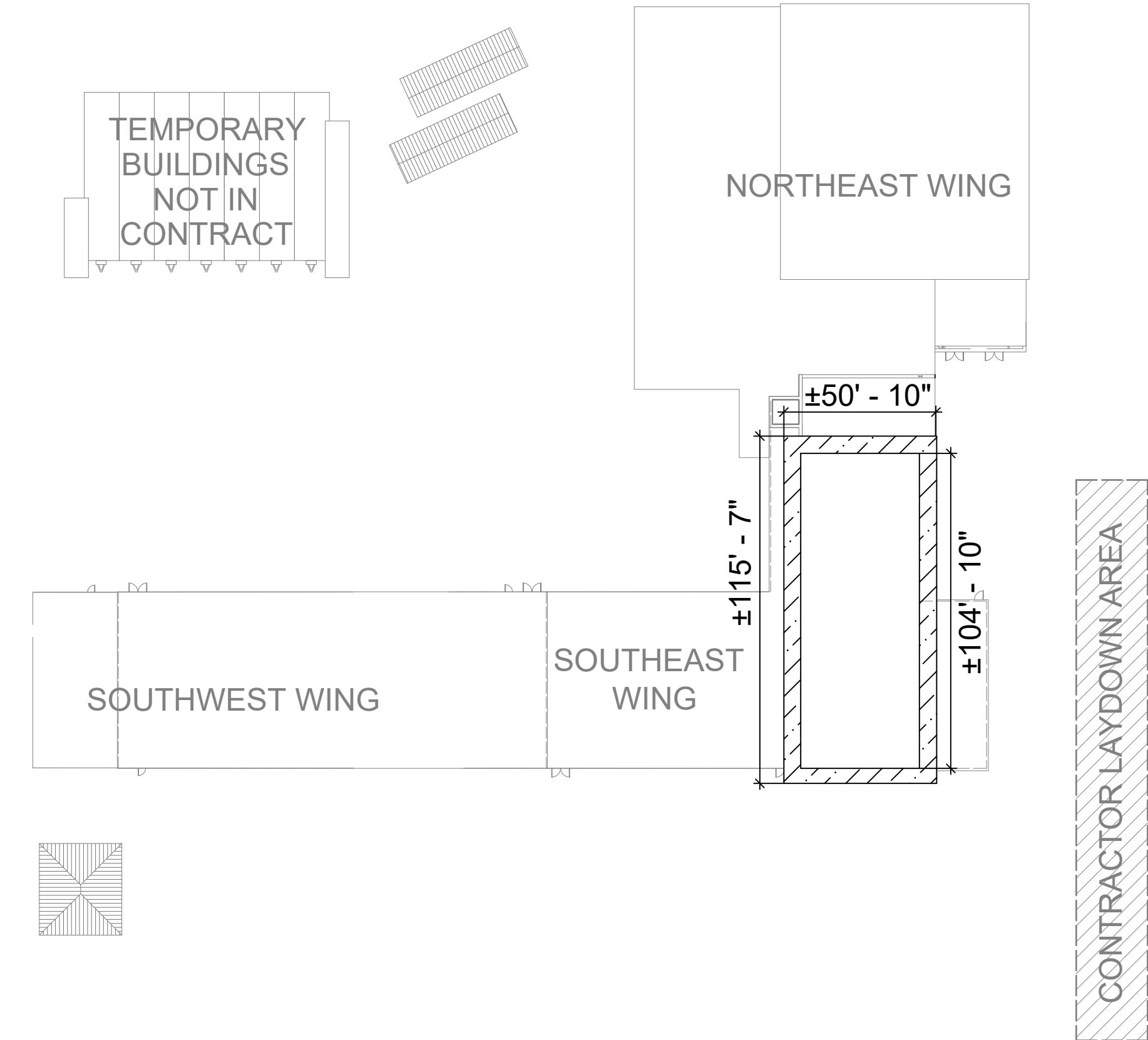
SEE DETAIL A1
THIS SHEET



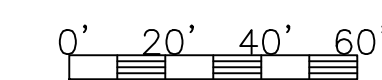
A1 WAREHOUSE WALL SECTION (TYPICAL)
REFER TO RMG ARCHITECT SHEET A-2.3



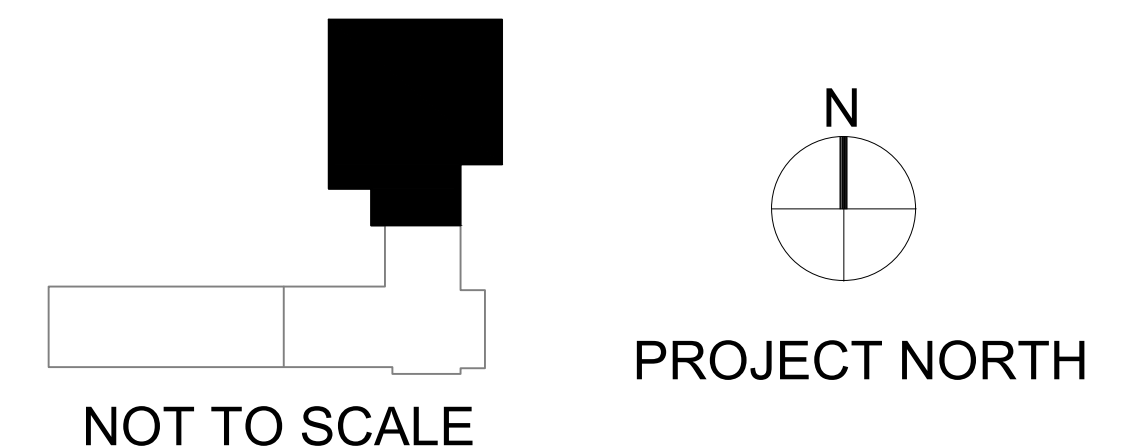
REMOVE & DISPOSE
OF TRANSITE PANELS



SOFFIT REMOVAL PLAN
REFER TO RMG ARCHITECT SHEET A-2.0



- REMOVE & DISPOSE OF SOFFIT PLASTER AS RACM
- REMOVE & DISPOSE OF TRANSITE PANELS



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PROJECT NUMBER
23023

FACILITY NUMBER
162

REVISIONS		
NO.	DATE	BY
1	11/28/23	JULY

DRAWN BY: CMW
CHECKED BY: CMW
DATE: 8/9/23
SCALE: AS NOTED
SHEET ASB3 OF ASB3

HURRICANE LAURA STORM REPAIRS
ROSTEET ANNEX

FOR

CALCASIEU PARISH SCHOOL BOARD

2423 6TH ST.
LAKE CHARLES, LA

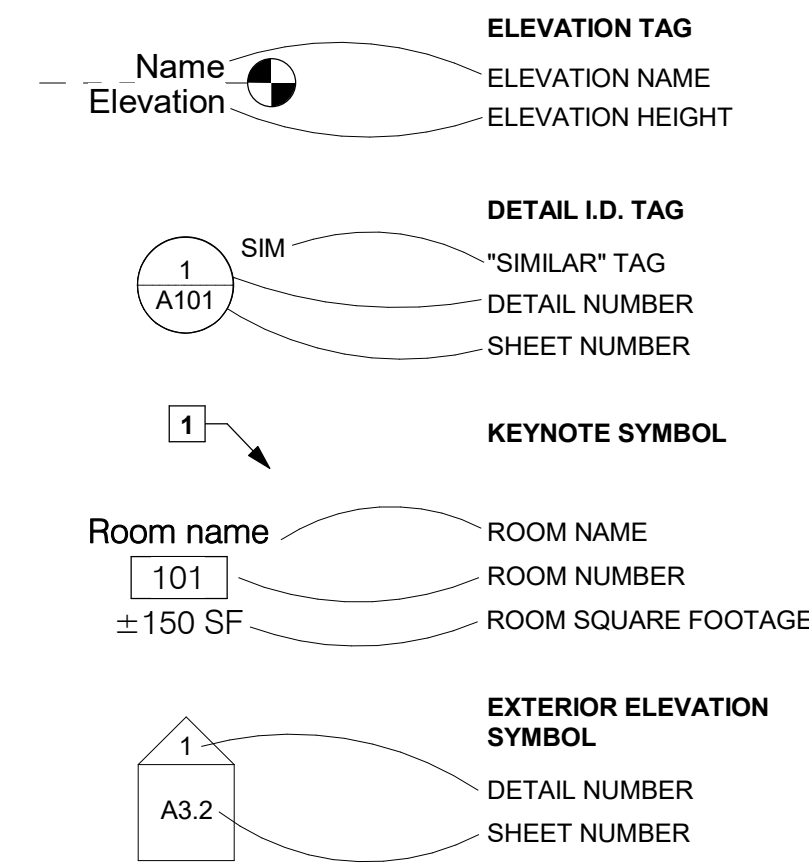
EXTERIOR, INTERIOR, AND SITE REPAIRS

CPSB PROJECT #HL-738-02
RMG PROJECT #20042-03-B

DR. SHANNON LAGARGUE
SUPERINTENDENT
MARK YOUNG - BOARD MEMBER
KEITH LELEUX - PRINCIPAL



SYMBOLS LEGEND



GENERAL NOTES

- 1. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY...
2. THE CONTRACTOR SHALL VERIFY EXISTING CONDITION AND NOTIFY THE ARCHITECT/OWNER OF ANY DISCREPANCIES PRIOR TO BIDDING.
3. THE CONTRACTOR WILL PROVIDE ALL NECESSARY BARRICADES, SIGNAGE, REFLECTORS, LIGHTS, ETC. DURING CONSTRUCTION AND PROPERLY IDENTIFY ANY AREAS CLOSED TO THE PUBLIC.
4. CONTRACTOR'S PARKING OF CARS, TRUCKS, EQUIPMENT, AND MATERIAL SHOULD BE COORDINATED WITH OWNER PRIOR TO THE START OF CONSTRUCTION.
5. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND COORDINATION OF ALL CONDUIT, PIPING, AND DUCTWORK WITH THE VARIOUS TRADES.
6. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS.
7. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL TRENCHING AND EXCAVATION WITH ARCHITECT, OWNER AND/OR RESPECTIVE ENGINEER PRIOR TO WORK.
8. THE CONTRACTOR SHALL VERIFY DIMENSIONS OF EXISTING CONDITIONS, LAYOUT, AND OBTAIN APPROVAL OF ARCHITECT/OWNER PRIOR TO BEGINNING CONSTRUCTION.
9. COMPLY WITH ALL APPLICABLE CODES, LAWS, ORDINANCES, ORDERS, RULES, AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
10. OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK EXCEPT AS PROVIDED OTHERWISE IN THE SPECIFICATIONS OR OWNER CONTRACTOR AGREEMENT.
11. THE CONTRACTOR WILL REVIEW DOCUMENTS, VERIFY DIMENSIONS, FIELD CONDITIONS, AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. REPORT ANY CONFLICTS OR OMISSIONS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN QUESTION.
12. COORDINATE WORK WITH THE OWNER, INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, USE OF BUILDING SERVICES AND FACILITIES, AND USE OF ELEVATORS. MINIMIZE DISTURBANCE OF BUILDING FUNCTIONS AND OCCUPANTS.
13. OWNER WILL PROVIDE WORK NOTED "BY OTHERS" OR "NIC" UNDER SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
14. MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING CONSTRUCTION. COORDINATE WITH OWNER AND/OR PROPERTY MANAGER TO ENSURE SECURITY.
15. MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES, AND ALARMS IN CONFORMANCE WITH APPLICABLE CODES AND ORDINANCES.



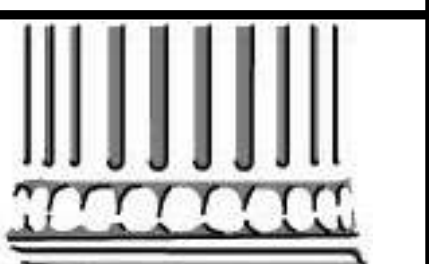
LA LICENSE NO. 4086

HURRICANE LAURA STORM REPAIRS
ROSTEET ANNEX
FOR
CALCASIEU PARISH SCHOOL BOARD

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PROJECT NO. 20042-03
OWNER PROJECT NO. HL-738-02
PROJECT MANAGER TM
DATE ISSUED 2023.10.30

Table with columns: A, Addendum 1, 11/30/2023

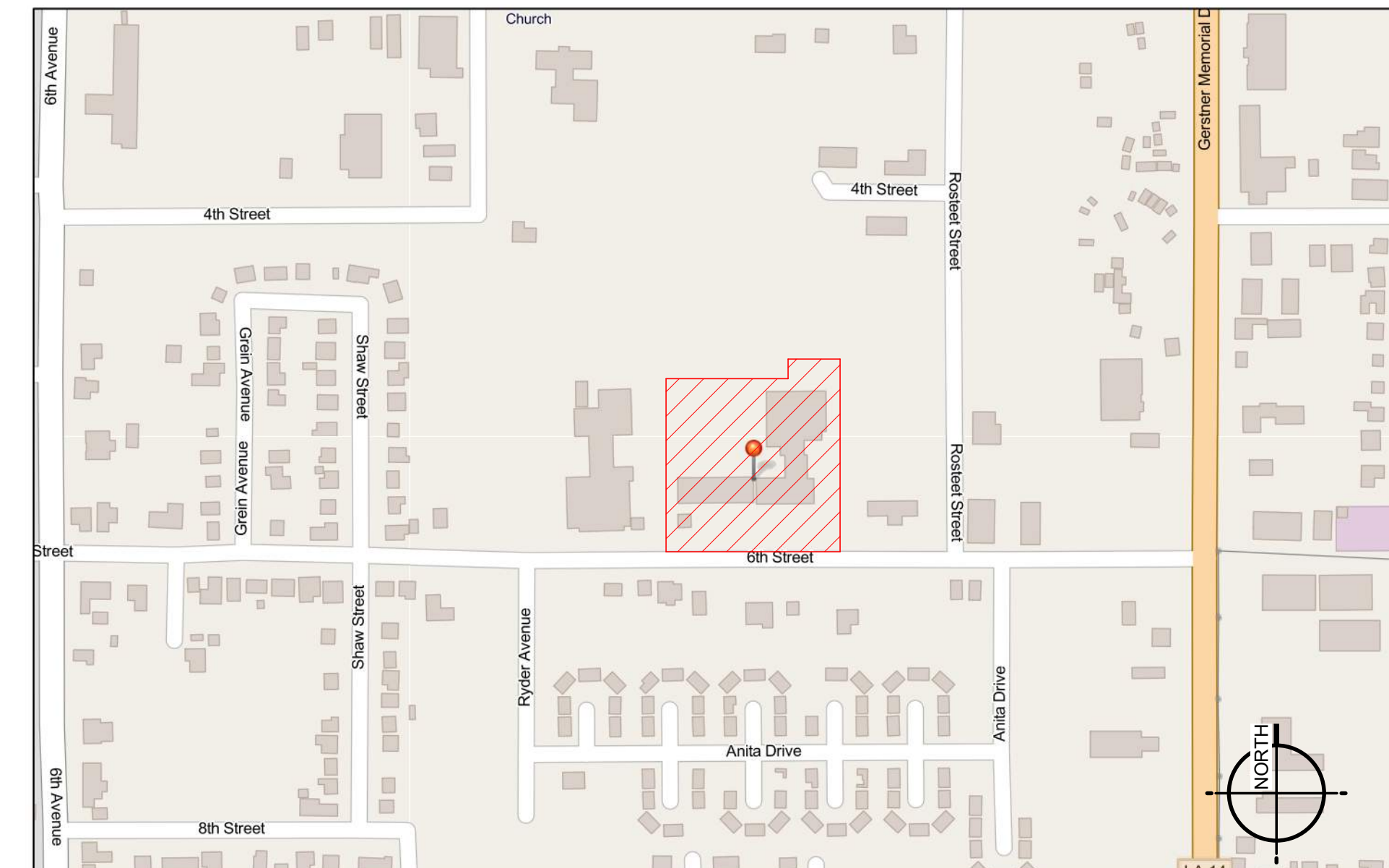


SHEET NUMBER
A-000
COVER SHEET

TYPICAL ABBREVIATIONS-

Table of abbreviations for construction materials and components, including A, @, AB, AC, etc.

Vicinity Map



INDEX OF DRAWINGS

Table with columns: SHEET NUMBER, SHEET NAME. Lists drawings from A-000 to A-ME4.

BUILDING DATA

BUILDING CODES: INTERNATIONAL EXISTING BUILDING CODE: 2023 EDITION
INTERNATIONAL BUILDING CODE: 2023 EDITION
NFPA 101 LIFE SAFETY: 2018 EDITION

FEMA CONCENUS BASED CODES PER FEMA RECOVERY INTERIM POLICY FP-104-009-11 VERSION 2

ASCE 7-16

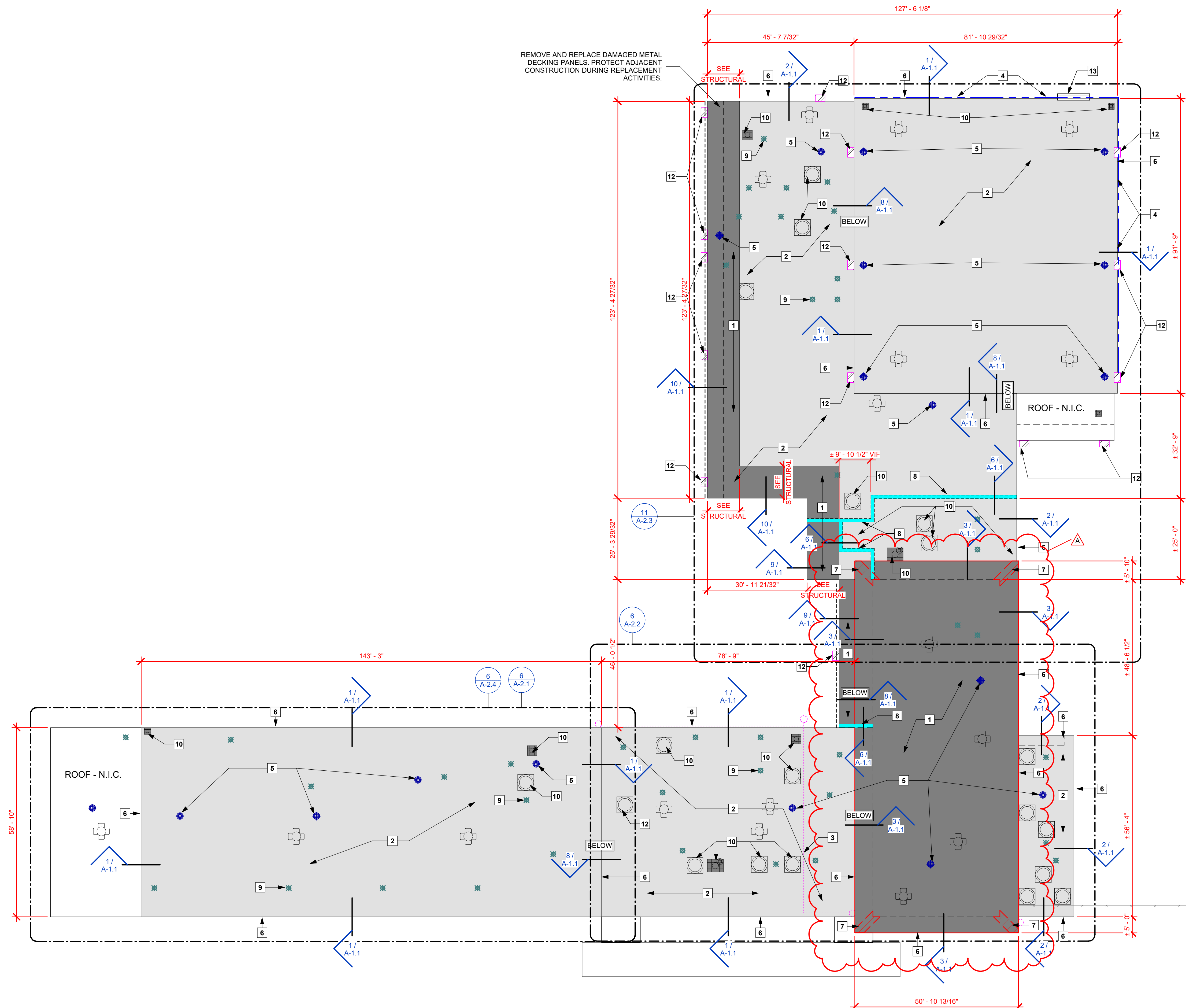
RISK CATEGORY: III
WIND SPEED (PER ASCE 7-16): 141 MPH
FIRST FLOOR AREA: 35,604 SF
SECOND FLOOR AREA: 8,427 SF

CONSULTANTS

M & E CONSULTING, INC.
ENGINEERING
MECHANICAL - ELECTRICAL - PLUMBING
1304 BERTRAND DRIVE SUITE F7
LAFAYETTE, LA 70501
TEL: 337.234.7474

DUHON & PLEASANT CONSULTING ENGINEERS, L.L.C.
ENGINEERING
CIVIL - STRUCTURAL
5390 BIG LAKE ROAD
LAKE CHARLES, LA 70605
TEL: 337.564.5918

12/16/2023 3:24:04 PM



16 ROOF PLAN
1/16" = 1'-0"

KEYNOTES TO SHEET

- SHADED REGION INDICATES EXISTING ROOFING ASSEMBLY TO BE REMOVED INCLUDING ROOF DECKING SUBSTRATE TO STRUCTURE BELOW, AND NEW ROOFING AND DECKING INSTALLED. ALL DEBRIS IS TO BE REMOVED FROM THE SITE. SEE SPECIFICATIONS. ROOFTOP PENETRATIONS AND EQUIPMENT TO BE VERIFIED BY CONTRACTOR IN THE FIELD. UNSHADED REGION INDICATES EXISTING ROOFING ASSEMBLY TO BE REMOVED TO EXISTING ROOF DECKING SUBSTRATE BELOW, AND NEW ROOFING INSTALLED. ALL DEBRIS IS TO BE REMOVED FROM THE SITE. SEE SPECIFICATIONS. ROOFTOP PENETRATIONS AND EQUIPMENT TO BE VERIFIED BY CONTRACTOR IN THE FIELD.
- INDICATES EXISTING RIGID CONDUIT RUNS EXPOSED ON EXISTING ROOF. CONTRACTOR SHALL MAKE VISUAL INSPECTIONS ON SITE TO VERIFY THE EXTENT OF WORK WHICH BE REQUIRED TO MOVE AND RELOCATE THESE CONDUIT RUNS DURING THE PROCESS OF RE-ROOFING AND TO ENSURE THAT THE NEW ROOF SLOPES ARE INTEGRATED AND ACCOUNTED FOR WHERE EXTENSIONS OF THESE CONDUITS AND WIRING IS REQUIRED. PROVIDE NEW "RUNNER CURBS" FOR SUPPORT OF ALL HARD PIPING WHICH IS TO REMAIN ON ROOF AFTER NEW INSTALLATION. SPACE CURBS AS REQUIRED SO CONDUIT AND PIPING DOES NOT SAG BETWEEN THESE LOCATIONS.
- ABATEMENT CONTRACTOR IS TO REMOVE REMAINING TRANSITE. CONTRACTOR SHALL REMOVE EXISTING METAL PANELS, LOUVERS AND ASSOCIATED FRAMING AND REPLACE WITH METAL WALL PANEL AS SPECIFIED.
- APPROXIMATE LOCATION OF EXISTING ROOF DRAIN. CONTRACTOR SHALL VERIFY EXISTING DRAINS AND LOCATIONS. REPLACE CLAMPS AND COVERS TO MATCH EXISTING. PATCH ROOFING AROUND DRAINS. SLOPE ROOF TO DRAIN AT 1/4" PER FOOT MIN. TYPICAL AT LOCATIONS OF RE-ROOFING. CONTRACTOR SHALL VERIFY LOCATION OF EXISTING OVERFLOW DRAINS AND SHALL MAINTAIN ALL OVERFLOWS IN FINAL ROOFING ASSEMBLY.
- REMOVE AND REPLACE FLASHING, COUNTER-FLASHING AND PRE-FINISHED METAL FASCIA FLASHING AS DETAILED. PLASTER REPAIRS: REMOVE ALL LAYERS OF PLASTER AND REPLACE WITH NEW PLASTER WHERE INDICATED, AS SPECIFIED. PREP AND PAINT PLASTER SOFFIT IN ITS ENTIRETY AS SPECIFIED.
- INDICATES APPROXIMATE AREA AND LOCATION OF ROOF EXPANSION JOINT. CONTRACTOR SHALL VISUALLY INSPECT THE EXISTING CONDITIONS AT THE SITE AND PROVIDE A NEW EXPANSION JOINT AS DETAILED. THE INSTALLER SHOULD ASSUME THAT ALL EXISTING WOOD BLOCKING SHALL BE REPLACED WITH NEW TREATED WOOD BLOCKING AS PER DETAILS. PROVIDE NEW GANT STRIP FLASHING, PRE-FINISHED EXPANSION JOINT COVER, VINYL BELLOWS, AND BASE FLASHING AS DETAILED. VERIFY EXACT ROUTING AND AREA WHERE THIS EJ IS TO BE REMOVED AND REPLACED. VERIFY ALL EXISTING CONDITIONS, ESPECIALLY ANY PIPING, AND CONDUIT WHICH MIGHT INTERSECT OR CROSS OVER THIS JOINT.
- CONTRACTOR SHALL INSPECT ALL EXISTING ROOF PENETRATIONS WHERE REQUIRED. REPLACE ALL LEAD VENT & PIPE FLASHING. TYPICAL ALL LOCATIONS OF RE-ROOFING. INDICATES EXISTING ROOFTOP EQUIPMENT. COORDINATE WITH MEP - PROVIDE NEW CURBS AS NECESSARY TO ENSURE PROPER CURB HEIGHT AT NEW ROOFS. PROTECT UNDAMAGED EQUIPMENT.
- NOT USED.
- APPROX DOWNSPOUT/COLLECTOR LOCATIONS. SALVAGE UNDAMAGED DOWNSPOUTS FOR REINSTALLATION. REMOVE AND REPLACE DAMAGED DOWNSPOUTS TO MATCH EXISTING. MAINTAIN POSITIVE DRAINAGE. REINSTALL SALVAGED AND NEW MATERIALS WITH NEW ROOF AND FACADE TO MATCH EXISTING. TYPICAL AT ALL LOCATIONS OF RE-ROOFING. SEE ROOF DETAILS.
- REMOVE AND REPLACE DAMAGED LOUVER AS SPECIFIED.

HAZARDOUS MATERIAL GENERAL NOTES

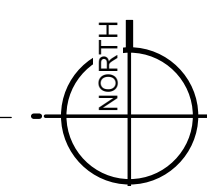
- ALL WORK INDICATED AS HAZARDOUS MATERIALS SHALL BE REMOVED BY ABATEMENT CONTRACTOR.
- CONTRACTOR IS TO COORDINATE WITH ABATEMENT CONTRACTOR FOR ABATEMENT WORK TO BE PERFORMED IN CONJUNCTION WITH THIS CONTRACT.
- COORDINATE SCHEDULED WORK WITH ABATEMENT CONTRACTOR AS TO NOT EXPOSE ANY EXTERIOR COMPONENTS TO THE WEATHER MORE THAN REQUIRED FOR REPAIRS.
- ABATEMENT OF INTERIOR COMPONENTS WILL NEED TO BE COORDINATED WITH CONTRACTOR'S PHASING PLAN FOR INTERIOR REPAIRS. CONTRACTOR IS RESPONSIBLE FOR PROTECTING BUILDING STRUCTURE AND INTERIOR FINISHES FROM ANY INCLIMATIC WEATHER AT ALL TIMES.

FLOOR PLAN LEGEND

- EXISTING ROOFING ASSEMBLY TO BE REMOVED AND REPLACED INCLUDING ROOF DECKING. SEE KEYNOTE 1
- EXISTING ROOFING ASSEMBLY TO BE REMOVED TO EXISTING ROOF DECKING. SEE KEYNOTE 2

ROOFING SYMBOL LEGEND

- ROOF DRAIN LOCATION SEE KEYNOTE 5 SEE DETAIL
- ROOF PIPING PENETRATION SEE KEYNOTE 9
- ROOF FAN / VENT SEE KEYNOTE 10
- SCUPPER
- DOWNSPOUT SEE KEYNOTE 12
- MISC MEP
- CONDUIT/PIPING RUNS SEE KEYNOTE 3
- EXPANSION JOINT SEE KEYNOTE 8
- TURBINE VENT



RMG
ARCHITECT
RANDY M. GOODLOE, AIA, APAC
745 KIRBY STREET
LAKE CHARLES, LOUISIANA
OFFICE: 337.456.3036
FAX: 337.456.3773

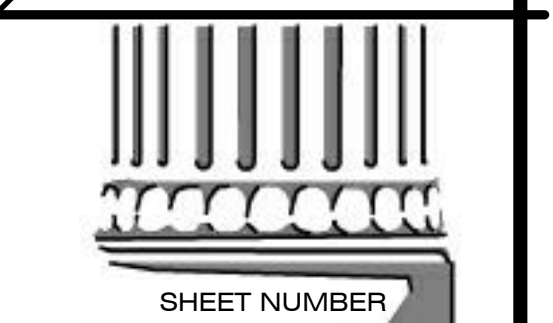


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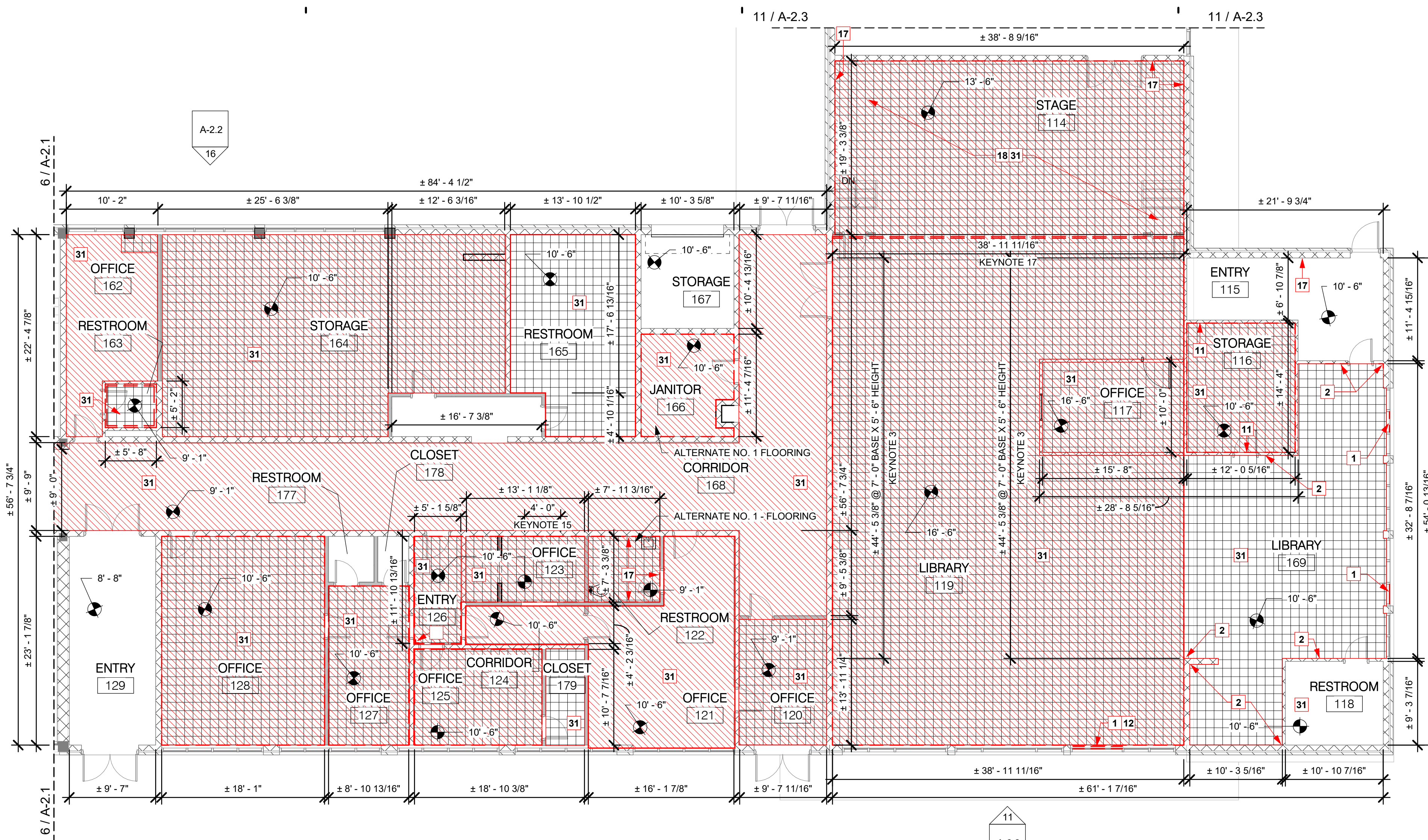
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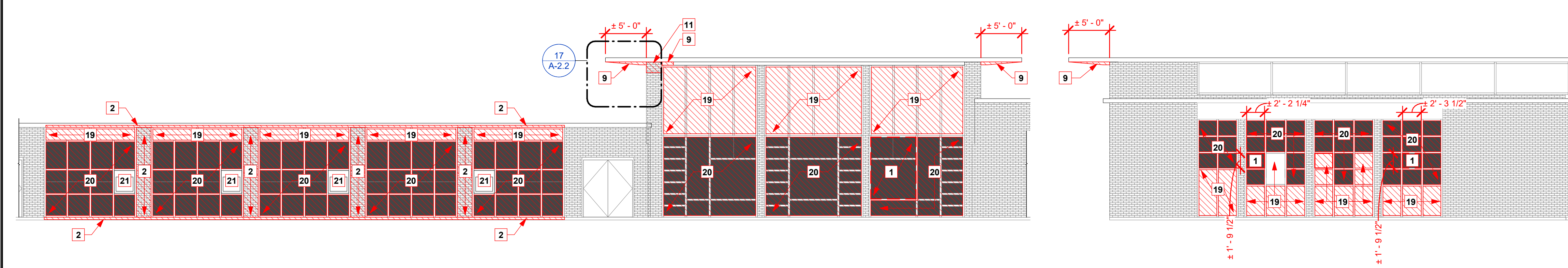
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A Addendum 1	11/30/2023



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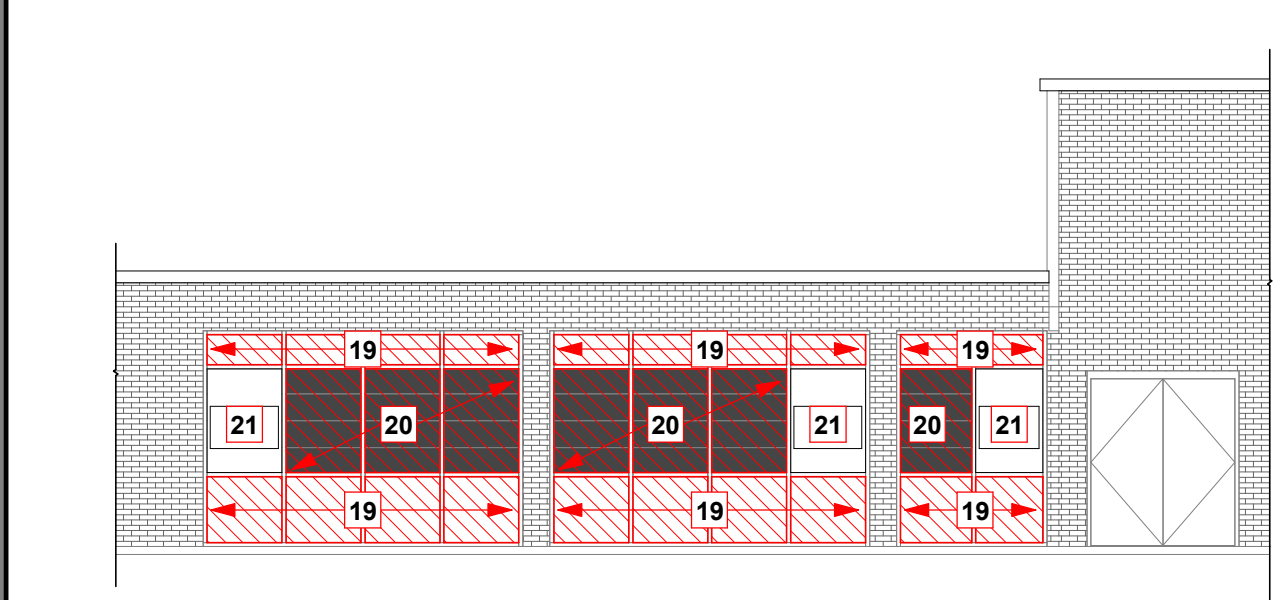


6 SOUTHEAST WING
1/8" = 1'-0"

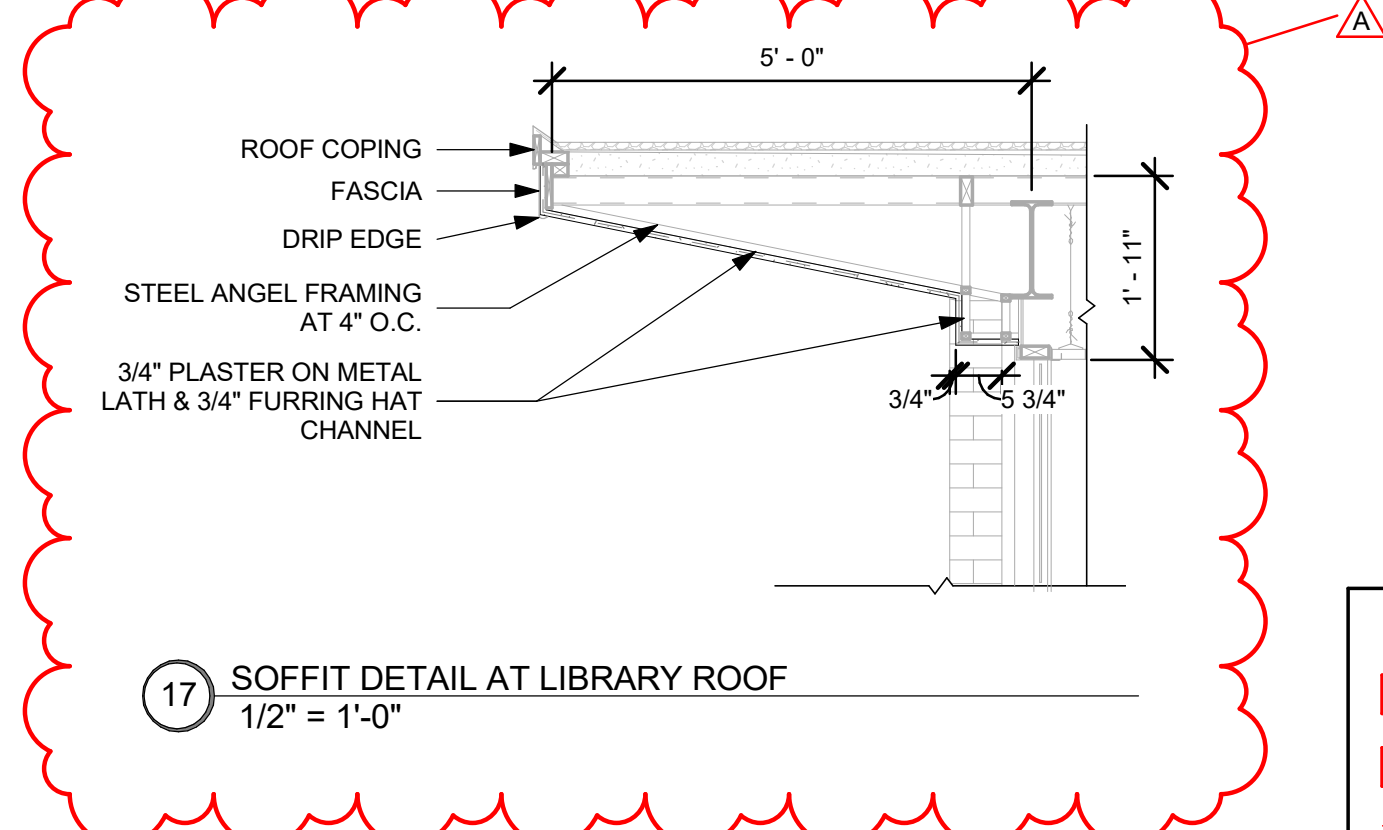


11 LIBRARY - SOUTH ELEVATION
1/8" = 1'-0"

13 LIBRARY - EAST ELEVATION
1/8" = 1'-0"



16 Elevation 2 - a
1/8" = 1'-0"



17 SOFFIT DETAIL AT LIBRARY ROOF
1/2" = 1'-0"

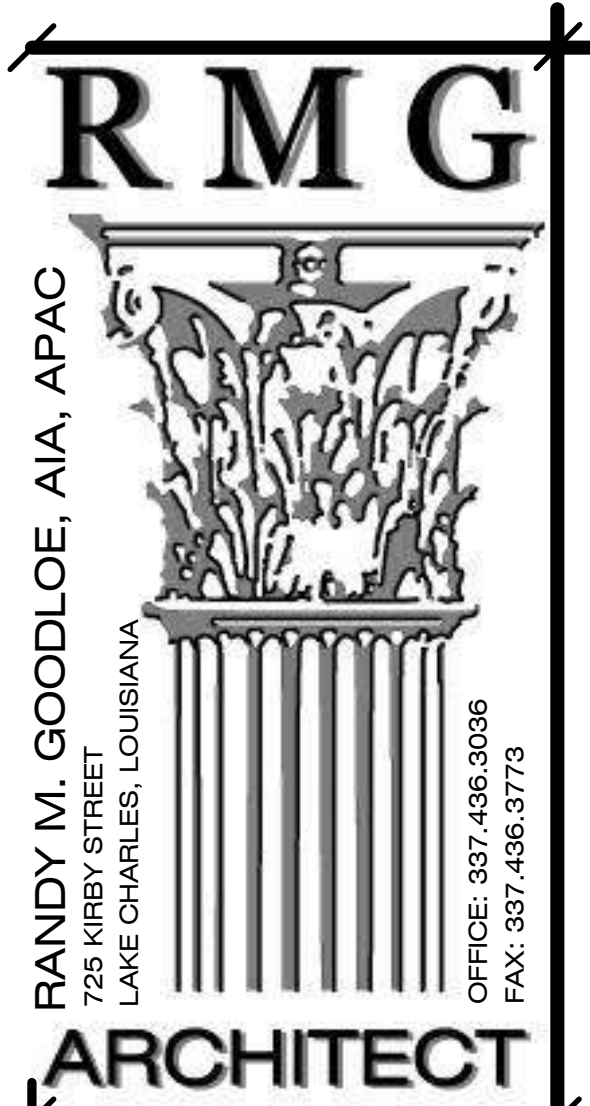
FLOOR PLAN LEGEND	
	- CEILING REPAIR REQUIRED. SEE ROOM SCHEDULE.
	- FLOORING REPAIR REQUIRED. SEE ROOM SCHEDULE.
	- WALL/BASE REPAIR REQUIRED. SEE ROOM SCHEDULE.
	- MILLWORK REPAIR REQUIRED. SEE ROOM SCHEDULE.

HAZARDOUS MATERIAL GENERAL NOTES

- ALL WORK INDICATED AS HAZARDOUS MATERIALS SHALL BE REMOVED BY ABATEMENT CONTRACTOR.
- CONTRACTOR IS TO COORDINATE WITH ABATEMENT CONTRACTOR FOR ABATEMENT WORK TO BE PERFORMED IN CONJUNCTION WITH THIS CONTRACT.
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KEYNOTES

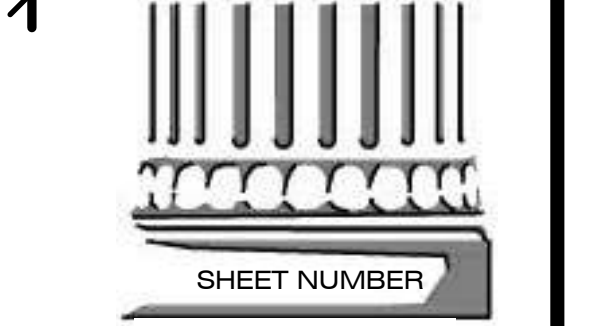
- WINDOW REPLACEMENT:** REPLACE BROKEN WINDOW PANES AND GASKETS TO MATCH EXISTING. ALL INDICATED SEALANTS SHALL BE REMOVED BY ABATEMENT CONTRACTOR UNDER SEPARATE CONTRACT. CONTRACTOR SHALL REPLACE WINDOW PANES AS SPECIFIED TO ENSURE WEATHER TIGHT SEAL.
- PLASTER FINISH REPAIR:** EXISTING PLASTER SURFACE IS CRACKED. REMOVE AND REPLACE PLASTER FINISH COAT. NEW PLASTER SHALL BE FLUSH AND SMOOTH WITH EXISTING PLASTER TO REMAIN. PREP FINISHED SURFACE AND REPAIR ENTIRE WALL CORNER TO CORNER TO MATCH EXISTING.
- WOOD PANEL REPLACEMENT:** REMOVE WALL WOOD PANELING AND INSULATION. REPLACE WALL FINISH WITH GYPSUM BOARD AS SPECIFIED. TAPE, FLOAT, SAND, PRIME AND PAINT AS SPECIFIED IN COLOR TO MATCH EXISTING ADJACENT PAINTED WALLS. PAINT WALLS CORNER TO CORNER.
- DOOR REPLACEMENT:** DOORS AND HARDWARE TO BE REMOVED AND REPLACED TO MATCH EXISTING TYPE, STYLE, AND FINISH. ANY SALVAGEABLE HARDWARE IS TO BE TRANSFERRED TO THE NEW DOOR. SEALANTS SHALL BE REMOVED AND REPEACED AS SPECIFIED TO ENSURE WEATHER TIGHTNESS. STORE FRONT DOORS SHALL BE REPLACED IN THEIR ENTIRETY. EXISTING PAINTED DOOR ARE TO BE REPAINTED TO MATCH EXISTING.
- SIGNAGE REPLACEMENT:** REMOVE AND REPLACE MISSING AND DAMAGED SIGNS TO MATCH EXISTING. REMOVE ALL DAMAGED AND LEANING POSTS IN ITS ENTIRETY, INCLUDING FOUNDATIONS, AND REPLACE TO MATCH EXISTING. SIGNS UNDAMAGED SHALL BE SALVAGED AND REINSTALLED. FOUNDATIONS TO BE INSTALLED PER SIGNAGE MANUFACTURER REQUIREMENTS. ALL DAMAGED CUSTOM SIGNAGE SHALL BE REMOVED AND REINSTALLED TO MATCH EXISTING. SCUFFED AND SCRATCHED CUSTOM SIGNAGE SHALL BE REPAIRED AND REPAINTED AS SPECIFIED AND IN COLORS TO MATCH EXISTING.
- CHAIN-LINK REPLACEMENT:** REPLACE AND DOUBLE GATE AND HARDWARE. REMOVE AND REPLACE GATE POSTS TO BE LEVEL AND PLUMB. ADJUST GATES TO OPERATE SMOOTHLY, EASILY, AND QUIETLY, FREE OF BINDING, WARP, EXCESSIVE DEFLECTION, DISTORTION, NONALIGNMENT, MISPLACEMENT, DISRUPTION, OR MALFUNCTION, THROUGHOUT ENTIRE OPERATIONAL RANGE. CONFIRM THAT LATCHES AND LOCKS ENGAGE ACCURATELY AND SECURELY WITHOUT FORCING OR BINDING.
- CHAIN-LINK FENCING REPLACEMENT:** ALL SECTIONS OF STRETCHED, DEFORMED, AND MISSING CHAIN-LINK MESH ARE TO BE REPLACED BY OVERLAYING NEW FABRIC SECTIONS TO EXISTING. PROVIDE NEW FABRIC TO MATCH EXISTING SIZE AND HEIGHT, MINIMUM 9 GAUGE. ALL CONNECTIONS ARE TO BE INSPECTED ALONG THE ENTIRE LENGTH OF FENCE INCLUDING BUT NOT LIMITED TO DOME CAPS, LOOP CAPS, RAIL CAPS, TENSION BANDS, TENSION WIRE, ETC. VERIFY ALL FABRIC IS STRETCHED TAUT FREE OF SAG. VERIFY FABRIC IS SECURED TO LINE POSTS WITH METAL FENCE TIES SPACED NO GREATER THAN 12" O.C., TO RAIL SPACED NO GREATER THAN 18" O.C. AND TO TENSION WIRE NO GREATER THAN 18" O.C. AND TO TENSION WIRE NO GREATER THAN 18" O.C. AND TO TENSION WIRE NO GREATER THAN 18" O.C. REPLACE ANY MISSING OR DAMAGED FENCE TIES. ALL CRACKED, BENT, AND MISSING SUPPORTS ARE TO BE REMOVED AND REPLACED ENTIRELY, INCLUDING FOUNDATIONS. MATCH EXISTING PIPE SIZE, HEIGHTS, AND THICKNESS. ALL MATERIALS ARE TO BE GALVANIZED. REMOVE AND REPLACE ALL DAMAGED AND MISSING FENCE TOP SAFETY GUARD AT BAY FIELD FENCING TO MATCH EXISTING. FASTEN PER MANUFACTURER'S RECOMMENDATIONS.
- CHAIN-LINK FABRIC REPLACEMENT:** ALL SECTIONS OF STRETCHED, DEFORMED, AND MISSING CHAIN-LINK MESH ARE TO BE REPLACED BY OVERLAPPING NEW FABRIC SECTIONS TO EXISTING. PROVIDE NEW FABRIC TO MATCH EXISTING SIZE AND HEIGHT, MINIMUM 9 GAUGE. ALL CONNECTIONS ARE TO BE INSPECTED ALONG THE ENTIRE LENGTH OF FENCE INCLUDING BUT NOT LIMITED TO DOME CAPS, LOOP CAPS, RAIL CAPS, TENSION BANDS, TENSION WIRE, ETC. VERIFY ALL FABRIC IS STRETCHED TAUT FREE OF SAG. VERIFY FABRIC IS SECURED TO LINE POSTS WITH METAL FENCE TIES SPACED NO GREATER THAN 12" O.C., TO RAIL SPACED NO GREATER THAN 18" O.C. AND TO TENSION WIRE NO GREATER THAN 18" O.C. REPLACE ANY MISSING OR DAMAGED FENCE TIES.
- PLASTER REPAIRS:** REMOVE ALL LAYERS OF PLASTER AND REPLACE WITH NEW PLASTER AS SPECIFIED. PREP AND PAINT PLASTER SOFFIT IN ITS ENTIRETY AS SPECIFIED.
- METAL COVERING REPAIRS:** REMOVE AND REPLACE DEFORMED AND MISSING METAL ROOF PANELS. REMOVE AND REPLACE ALL CRACKED AND BENT SUPPORTS AND CONCRETE FOUNDATIONS. SALVAGE UNDAMAGED MATERIALS FOR REINSTALL. ALL MISSING AND DAMAGED ROOFS AND SUPPORTS ARE TO BE REMOVED AND REPLACED WITH VERTICAL SUPPORTS AND FOUNDATIONS TO MATCH EXISTING. EPOXY ANCHOR BOLT AND REINFORCING BOLT DETACHED/LOOSE BASE PLATES AS REQUIRED TO SECURE TO FOUNDATION.
- MASONRY REPAIRS:** ALL CRACKED, DAMAGED, AND MISSING MASONRY TO BE REMOVED AND REPLACED TO MATCH THE EXISTING MASONRY AND MORTAR COLOR. ALL LOOSE AND DAMAGED SEALANTS BETWEEN DISSIMILAR MATERIALS SHALL BE REMOVED AND REPLACED AS SPECIFIED TO ENSURE WEATHER TIGHTNESS. SEE UNIT PRICES.
- WINDOW BLIND REPLACEMENT:** DAMAGED BLINDS ARE TO BE REMOVED AND REPLACED TO MATCH EXISTING AS SPECIFIED.
- ACOUSTICAL REPAIRS:** REMOVE AND REPLACE MISSING ACOUSTICAL WALL TILE AND GRID AS SPECIFIED.
- EXPOSED DECKING:** METAL ROOF DECK INCLUDING METAL TRUSSES ARE TO BE PREPPED AND PAINTED TO MATCH EXISTING AS SPECIFIED.
- CMU REPAIRS:** CRACKED CMU BLOCKS AND MORTAR IS TO BE REGROUTED. ALL PAINTED CMU WALLS SHALL BE SAND, PRIMED, AND PAINTED AS SPECIFIED AND IN COLOR AND PATTERN TO MATCH EXISTING. ANY WALL MOUNTED ITEMS ARE TO BE REMOVED FOR PAINTING AND REINSTALLED UPON COMPLETION.
- GYPSUM BOARD REPAIRS:** ALL DAMAGED GYPSUM BOARD IS TO BE REMOVED AND REPLACED STUD TO STUD, TAPE, FLOAT, SAND, PRIME AND PAINT AS SPECIFIED IN COLOR TO MATCH EXISTING. PAINT ENTIRE WALL CORNER TO CORNER.
- PAINTED FINISHES:** EXISTING WALLS ARE WATER DAMAGED. WALLS ARE TO BE SANDED, PREPARED, AND REPAINTED TO MATCH EXISTING CORNER TO CORNER.
- WOOD STAGE REPLACEMENT:** REMOVE AND REPLACE WOOD STAGE FLOORING AND STEPS FINISHED SURFACE IN ITS ENTIRETY TO MATCH EXISTING SIZE AND FINISH.
- SPANDREL PANELS REPAIR:** DAMAGED SEALANT TO BE REMOVED BY ABATEMENT CONTRACTOR UNDER SEPARATE CONTRACT. CONTRACTOR SHALL RE SEAL PANEL AS SPECIFIED. REMOVE AND REPLACE CRACKED CAULKING AS SPECIFIED @ LINTEL.
- WINDOW REPAIRS:** ABATEMENT CONTRACTOR TO REMOVE CRACKED SEALANT AND CONTRACTOR SHALL RE SEAL AT JOINTS AND RE SEAL WINDOW PANE TO MATCH EXISTING. ALL INDICATED SEALANTS SHALL BE REMOVED BY ABATEMENT CONTRACTOR AND CONTRACTOR SHALL BE REPLACED AS SPECIFIED TO ENSURE WEATHER TIGHT SEAL.
- WINDOW AIR CONDITIONER REPAIRS:** REMOVE PLYWOOD INSERT AND REPLACE WITH INSULATED METAL WINDOW PANEL AS SPECIFIED AND HORIZONTAL SUPPORTS TO MATCH EXISTING SIZE AND PAINT. ALL LOOSE AND DAMAGED SEALANTS SHALL BE REMOVED AND REPLACED AS SPECIFIED TO ENSURE WEATHER TIGHT SEAL. RESET WINDOW UNIT AND INSTALL WEATHER SEAL.
- DOOR REPAIRS:** DAMAGED AND DEFORMED FRAMES AND HARDWARE TO BE REMOVED AND REPLACED TO MATCH EXISTING TYPE, STYLE, AND FINISH. RESET DOOR. SEE DOOR SCHEDULE.
- INTERIOR STUD PARTITION:** REPAIR WALL FRAMING AND FINISH TO MATCH EXISTING WHERE ADJACENT WALL IS DEMOLISH AND RECONSTRUCTED.
- AGGREGATE WALL PANEL REPAIR:** DAMAGED AGGREGATE PANEL TO BE REMOVED BY ABATEMENT CONTRACTOR UNDER SEPARATE CONTRACT. CONTRACTOR TO REPLACE WITH METAL PANEL AND FRAMING AS SPECIFIED. APPLY MASTIC TO CMU WALL AND INSTALL FLAT SHEET GOOD CEMENT FIBRE BOARD WITH METAL STUD FRAMING AS PER MANUFACTURER.
- SEE ROOM SCHEDULE
- SOFFIT REPLACEMENT:** REMOVE AND REPLACE METAL SOFFIT FLUSH PANEL AND TRIM AS SPECIFIED.
- TRANSITE PANEL REPLACEMENT:** ABATEMENT CONTRACTOR IS TO REMOVE REMAINING TRANSITE. CONTRACTOR SHALL REMOVE EXISTING METAL PANELS, LOUVERS AND ASSOCIATED FRAMING AND REPLACE WITH METAL WALL PANEL AS SPECIFIED.
- CMU MASONRY WALL REPLACEMENT:** REMOVE AND REPLACE CMU MASONRY WALL WHERE INDICATED AS SPECIFIED. SEE STRUCTURAL.
- FACE BRICK CLADDING REPLACEMENT:** REMOVE AND REPLACE FACE BRICK TO MATCH EXISTING AS SPECIFIED.
- SECTIONAL DOOR REPLACEMENT:** REMOVE AND REPLACE SECTIONAL HIGH LIFT DOOR AS SPECIFIED. SEE STRUCTURAL.
- CEILING/FLOORING REPLACEMENT:** REMOVE AND REPLACE FLOORING AND/OR CEILING AS SCHEDULED.
- COUNTERTOP REPAIR:** REMOVE AND REPLACE EXISTING DAMAGED PLASTIC LAMINATE COUNTERTOP AS SPECIFIED.
- LEVEL LANDING:** PROVIDE A 5' MIN. LEVEL LANDING AREA AT EACH EXIT WITH A 1:12 MAX SLOPED TRANSITION TO EPOXY COATED FLOOR. NON-SHRINK GROUT AS SPECIFIED.
- TRANSITION:** PROVIDE A SLOPED TRANSITION AS SHOWN. NON-SHRINK GROUT AS SPECIFIED.
- COMPLETE CHAIN-LINK FENCING REPLACEMENT:** INSTALL CHAIN-LINK FENCING AS SPECIFIED. MATCH EXISTING PIPE SIZE, HEIGHTS, AND THICKNESS. ALL MATERIALS ARE TO BE GALVANIZED.



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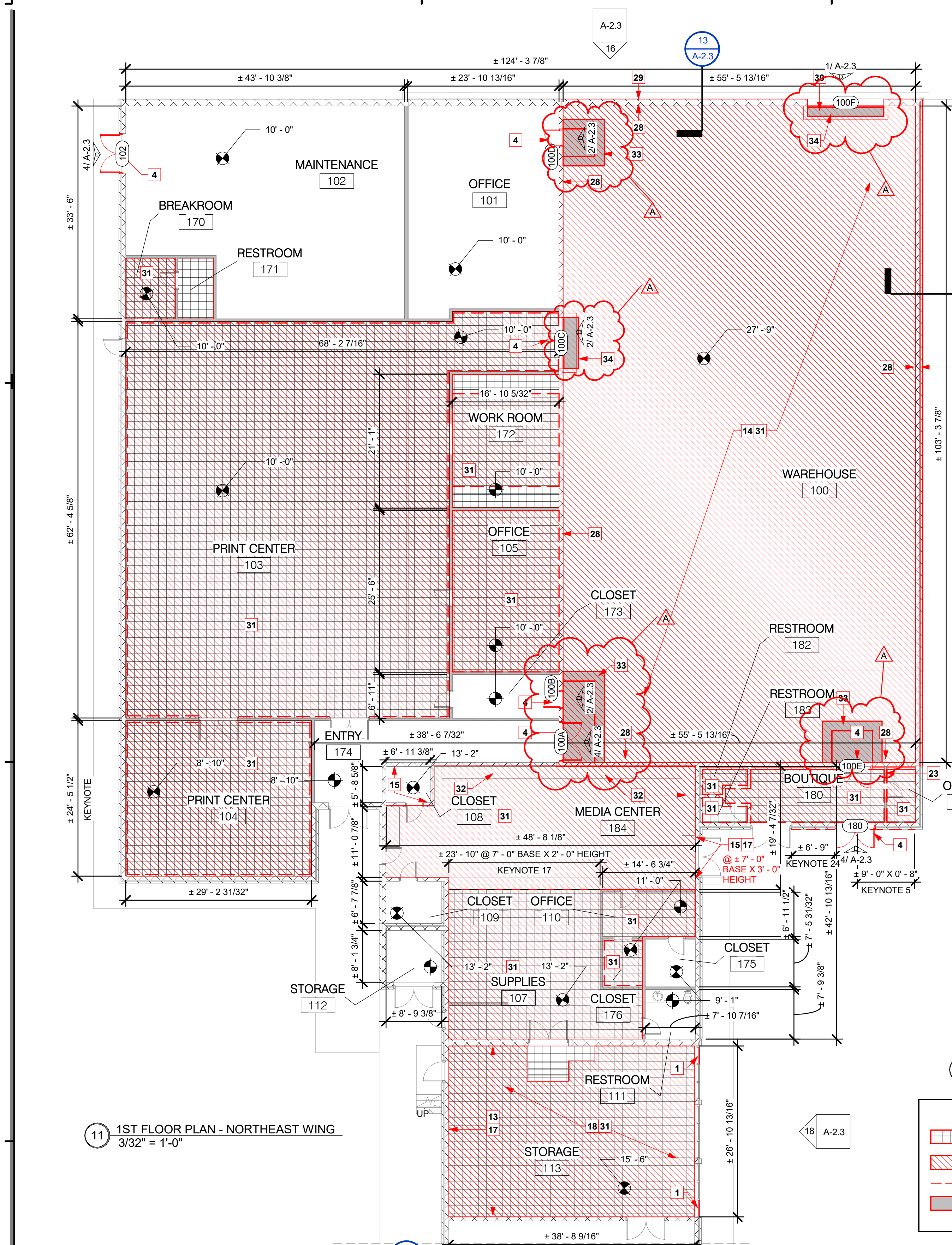


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1ST FLOOR PLAN

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KEYNOTES

- WINDOW REPLACEMENT:** REPLACE BROKEN WINDOW PANES AND GASKETS TO MATCH EXISTING. ALL INDICATED SEALANTS SHALL BE REMOVED BY ABATEMENT CONTRACTOR UNDER SEPARATE CONTRACT. CONTRACTOR SHALL REPLACE WINDOW PANES AS SPECIFIED TO ENSURE WEATHER TIGHT SEAL.
- PLASTER FINISH REPAIR:** EXISTING PLASTER SURFACE IS CRACKED. REMOVE AND REPLACE PLASTER FINISH COAT. NEW PLASTER SHALL BE FLUSH AND SMOOTH WITH EXISTING PLASTER TO REMAIN. PREP FINISHED SURFACE AND REPAIR TO MATCH EXISTING TO CORNER TO CORNER TO MATCH EXISTING.
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- CHAIN-LINK GATE REPLACEMENT:** REPLACE DOUBLE GATE AND HARDWARE. REMOVE AND REPLACE GATE POSTS TO BE LEVEL AND PLUMB. ADJUST GATES TO OPERATE SMOOTHLY, EASILY, AND WITHOUT FREQUENT BINDING, WARP, EXCESSIVE DEFLECTION, DISTORTION, NONALIGNMENT, MISPLACEMENT, DISRUPTION, OR MALFUNCTION, THROUGHOUT ENTIRE OPERATIONAL RANGE. CONFIRM THAT LATCHES AND LOCKS ENGAGE ACCURATELY AND SECURELY WITHOUT FORCING OR BINDING.
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- METAL COVERING REPAIRS:** REMOVE AND REPLACE DEFORMED AND MISSING METAL ROOF PANELS AND REPAIRS TO MATCH EXISTING. REMOVE AND BENT SUPPORTS AND CONCRETE FOUNDATIONS. SALVAGE UNDAMAGED MATERIALS FOR REINSTALL. ALL MISSING AND DAMAGED ROOFS AND SUPPORTS ARE TO BE REMOVED AND REPLACED WITH VERTICAL SUPPORTS AND FOUNDATIONS TO MATCH EXISTING. EPOXY ANCHOR OR EXPANSION BOLT ALL DETACHED ROOF BASE PLATES AS REQUIRED TO SECURE TO FOUNDATION.
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- WINDOW BLIND REPLACEMENT:** DAMAGED BLINDS ARE TO BE REMOVED AND REPLACED TO MATCH EXISTING AS SPECIFIED.
- ACOUSTICAL REPAIRS:** REMOVE AND REPLACE MISSING ACOUSTIC WALL TILE AND GRID AS SPECIFIED.
- EXPOSED DECKING:** METAL ROOF DECK INCLUDING METAL TRUSSES ARE TO BE REPAIRED AND PAINTED TO MATCH EXISTING TO MATCH EXISTING SIZE AND FINISH.
- CMU REPAIRS:** CRACKED CMU BLOCKS AND MORTAR IS TO BE REGROUTED. ALL PAINTED CMU WALLS SHALL BE SAND, PRIMED, AND PAINTED AS SPECIFIED AND IN COLOR AND PATTERN TO MATCH EXISTING. ANY WALL MOUNTED ITEMS ARE TO BE REMOVED FOR PAINTING AND REINSTALLED UPON COMPLETION.
- GYPSUM BOARD REPAIRS:** ALL DAMAGED GYPSUM BOARD IS TO BE REMOVED AND REPLACED STUD TO STUD, TAPE, FLOAT, SAND, PRIME AND PAINT AS SPECIFIED IN COLOR TO MATCH EXISTING. PAINT ENTIRE WALL CORNER TO CORNER.
- PAINTED FINISHES:** EXISTING WALLS ARE WATER DAMAGED. WALLS ARE TO BE SANDED, PREPARED, AND REPAINTED TO MATCH EXISTING CORNER TO CORNER.
- WOOD STAGE REPLACEMENT:** REMOVE AND REPLACE WOOD STAGE FLOORING AND STEPS FINISHED SURFACE IN ITS ENTIRETY TO MATCH EXISTING SIZE AND FINISH.
- SPANDREL PANELS REPAIR:** DAMAGED SEALANT TO BE REMOVED BY ABATEMENT CONTRACTOR UNDER SEPARATE CONTRACT. CONTRACTOR SHALL RE SEAL PANEL AS SPECIFIED. REMOVE AND REPLACE CRACKED CAULKING AS SPECIFIED @ LINTEL.
- WINDOW REPAIRS:** ABATEMENT CONTRACTOR TO REMOVE CRACKED SEALANT AND CONTRACTOR SHALL RE SEAL AT JOINTS AND RE SEAL WINDOW PANE TO MATCH EXISTING. ALL INDICATED SEALANTS SHALL BE REMOVED BY ABATEMENT CONTRACTOR UNDER SEPARATE CONTRACT AND CONTRACTOR SHALL REPLACE AS SPECIFIED TO ENSURE WEATHER TIGHT SEAL.
- WINDOW AIR CONDITIONER REPAIRS:** REMOVE PLYWOOD INSERT AND REPLACE WITH INSULATED METAL WINDOW PANEL AS SPECIFIED AND HORIZONTAL SUPPORTS TO MATCH EXISTING SIZE AND PAINT. ALL LOOSE AND DAMAGED SEALANTS SHALL BE REMOVED AND REPLACED AS SPECIFIED TO ENSURE WEATHER TIGHT SEAL. RESET WINDOW UNIT AND INSTALL WEATHER SEAL.
- DOOR REPAIRS:** DAMAGED AND DEFORMED FRAMES AND HARDWARE TO BE REMOVED AND REPLACED TO MATCH EXISTING TYPE, STYLE, AND FINISH. RESET DOOR. SEE DOOR SCHEDULE.
- INTERIOR STUD PARTITION:** REPAIR WALL FRAMING AND FINISH TO MATCH EXISTING WHERE ADJACENT WALL IS DEMOLISH AND RECONSTRUCTED.
- AGGREGATE WALL PANEL REPAIR:** REMOVE AND REPLACE AGGREGATE WALL PANEL TO BE REMOVED BY ABATEMENT CONTRACTOR UNDER SEPARATE CONTRACT. CONTRACTOR TO REPLACE WITH METAL PANEL AND FRAMING AS SPECIFIED. APPLY MASTIC TO CMU WALL, AND INSTALL WALL AND INSULATION SHEET GOOD CEMENT FIBRE BOARD WITH METAL STUD FRAMING AS PER MANUFACTURER.
- SEE ROOM SCHEDULE**
- SOFFIT REPLACEMENT:** REMOVE AND REPLACE METAL SOFFIT FLUSH PANEL AND TRIM AS SPECIFIED.
- TRANSIT PANEL REPLACEMENT:** ABATEMENT CONTRACTOR IS TO REMOVE REMAINING TRANSITE. CONTRACTOR SHALL REMOVE EXISTING METAL PANELS, LOUVERS AND ASSOCIATED FRAMING AND REPLACE WITH METAL WALL PANEL AS SPECIFIED.
- CMU MASONRY WALL REPLACEMENT:** REMOVE AND REPLACE CMU MASONRY WALL WHERE INDICATED AS SPECIFIED. SEE STRUCTURAL.
- FACE BRICK CLADDING REPLACEMENT:** REMOVE AND REPLACE FACE BRICK TO MATCH EXISTING AS SPECIFIED.
- SECTIONAL DOOR REPLACEMENT:** REMOVE AND REPLACE SECTIONAL HIGH LIFT DOOR AS SPECIFIED. SEE STRUCTURAL.
- CEILING/FLOORING REPLACEMENT:** REMOVE AND REPLACE FLOORING AND/OR CEILING AS SCHEDULED.
- COUNTERTOP REPAIR:** REMOVE AND REPLACE EXISTING DAMAGED PLASTIC LAMINATE COUNTERTOP AS SPECIFIED.
- LEVEL LANDING:** PROVIDE A 5' MIN. LEVEL LANDING AREA AT EACH EXIT WITH A 1:12 MAX SLOPED TRANSITION TO EPOXY COATED FLOOR. NON-SHRINK GROUT AS SPECIFIED.
- TRANSITION:** PROVIDE A SLOPED TRANSITION AS SHOWN. NON-SHRINK GROUT AS SPECIFIED.
- COMPLETE CHAIN-LINK FENCING REPLACEMENT:** INSTALL CHAIN-LINK FENCING AS SPECIFIED. MATCH EXISTING PIPE SIZE, HEIGHTS, AND THICKNESS. ALL MATERIALS ARE TO BE GALVANIZED.



13 WAREHOUSE WALL SECTION
3/4" = 1'-0"

17 WAREHOUSE - EAST ELEVATION
3/32" = 1'-0"

1 WAREHOUSE - SECTIONAL DOOR ELEVATION
1/4" = 1'-0"

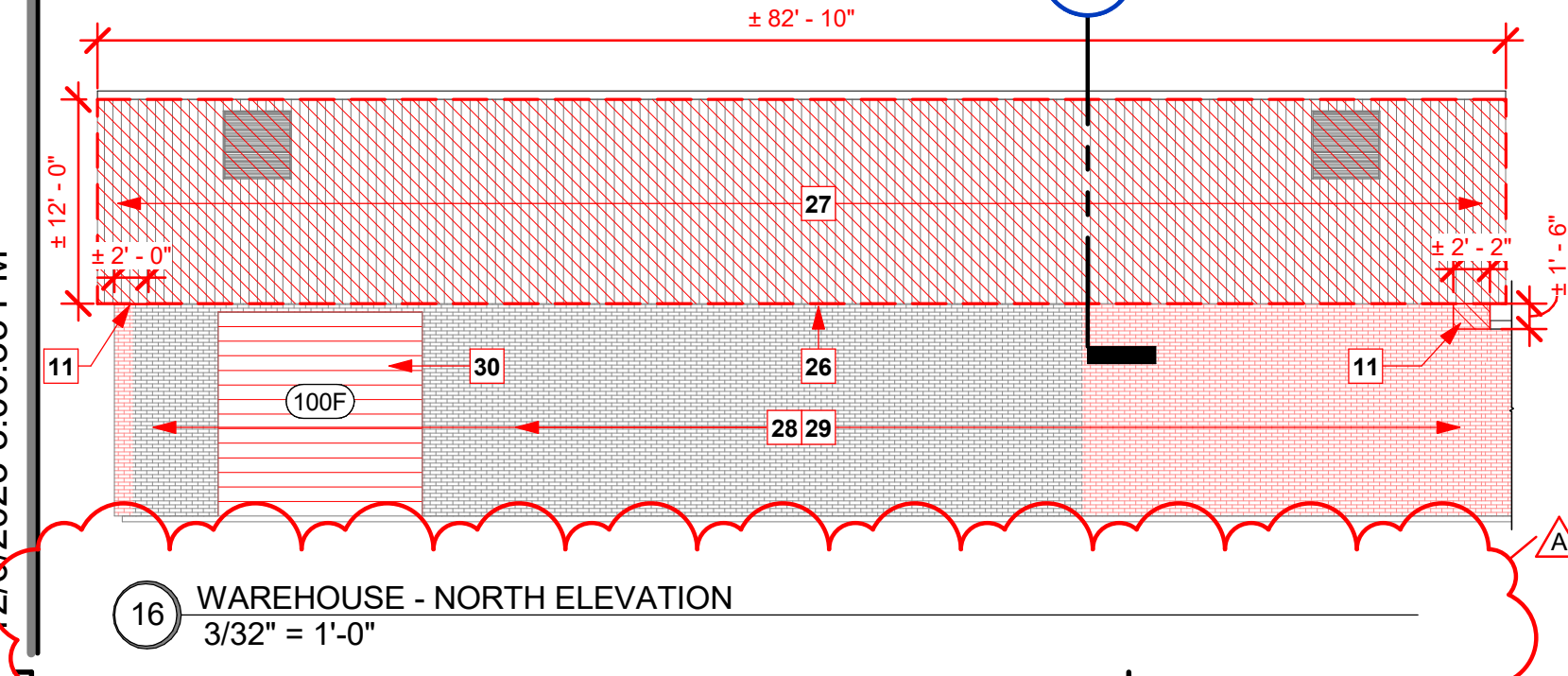
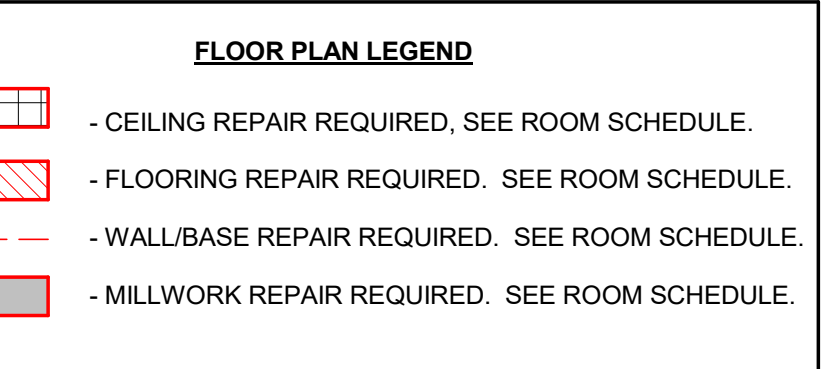
4 DOUBLE DOOR ELEVATION
1/4" = 1'-0"

16 WAREHOUSE - NORTH ELEVATION
3/32" = 1'-0"

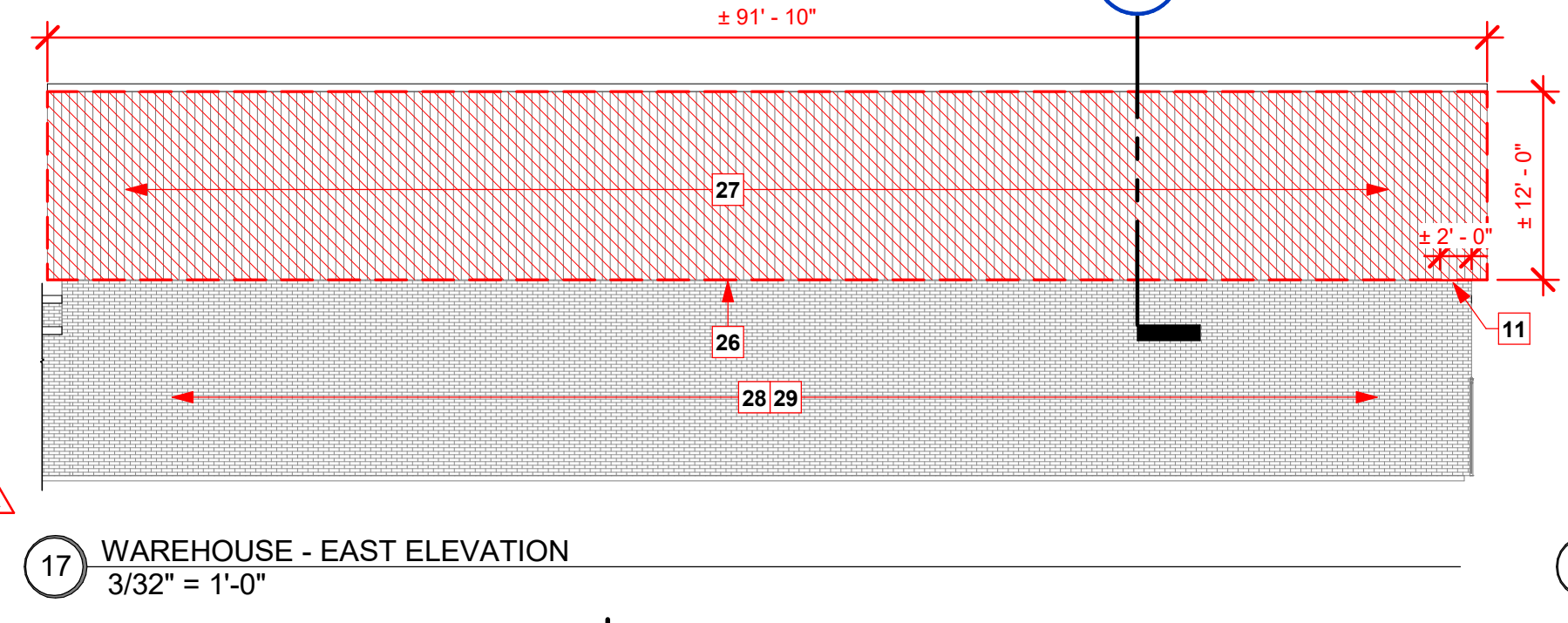
18 STORAGE - EAST ELEVATION
1/8" = 1'-0"

HAZARDOUS MATERIAL GENERAL NOTES

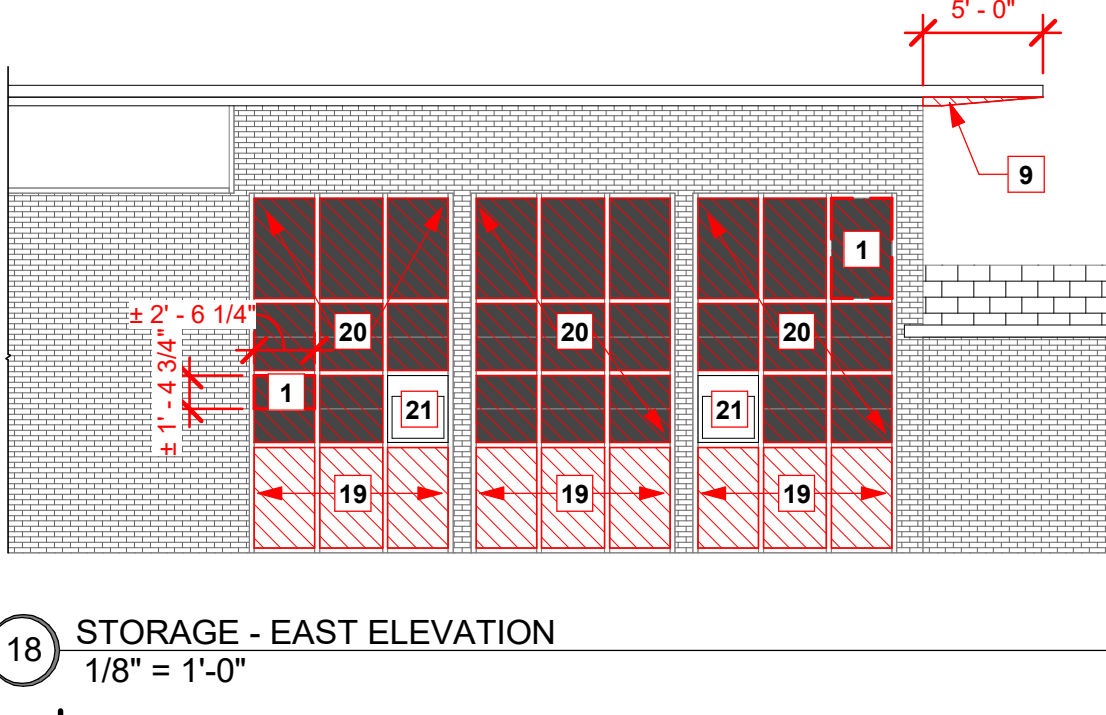
- ALL WORK INDICATED AS HAZARDOUS MATERIALS SHALL BE REMOVED BY ABATEMENT CONTRACTOR.
- CONTRACTOR IS TO COORDINATE WITH ABATEMENT CONTRACTOR FOR ABATEMENT WORK TO BE PERFORMED IN CONJUNCTION WITH THIS CONTRACT.
- COORDINATE SCHEDULED WORK WITH ABATEMENT CONTRACTOR AS TO NOT EXPOSE ANY EXTERIOR COMPONENTS TO THE WEATHER MORE THAN REQUIRED FOR REPAIRS.
- ABATEMENT OF INTERIOR COMPONENTS WILL NEED TO BE COORDINATED WITH CONTRACTOR'S PHASING PLAN FOR INTERIOR REPAIRS. CONTRACTOR IS RESPONSIBLE FOR PROTECTING BUILDING STRUCTURE AND INTERIOR FINISHES FROM ANY INCLIMATIC WEATHER AT ALL TIMES.



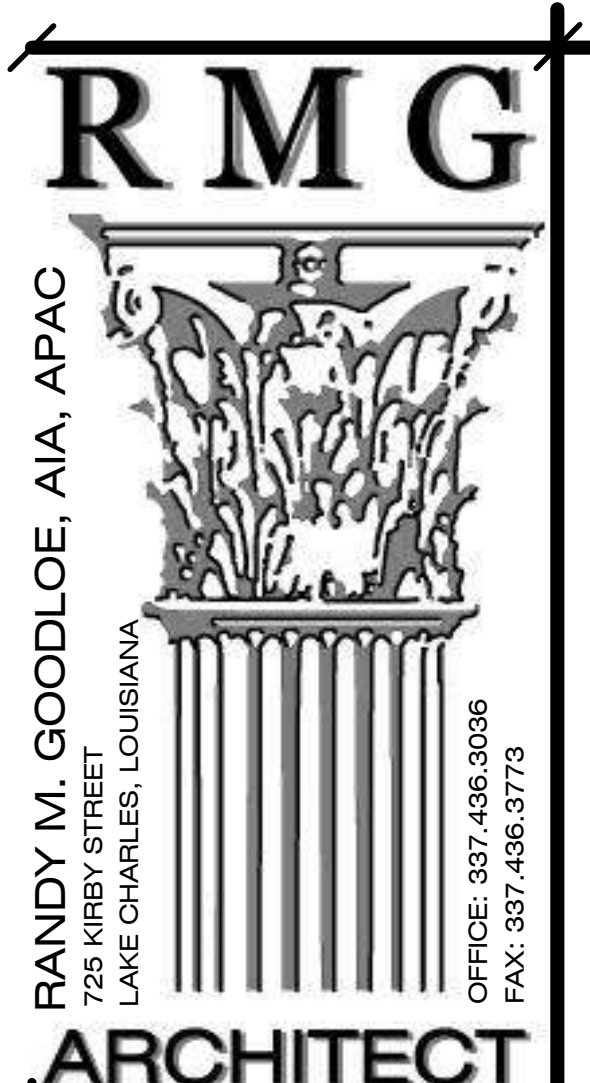
16 WAREHOUSE - NORTH ELEVATION
3/32" = 1'-0"



17 WAREHOUSE - EAST ELEVATION
3/32" = 1'-0"



18 STORAGE - EAST ELEVATION
1/8" = 1'-0"



RANDY M. GOODLOE, AIA, APAC
725 KIRBY STREET
LAKE CHARLES, LOUISIANA
OFFICE: 337.456.3036
FAX: 337.456.3773

ARCHITECT

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ROSTEET ANNEX
FOR
CALCASIEU PARISH SCHOOL BOARD

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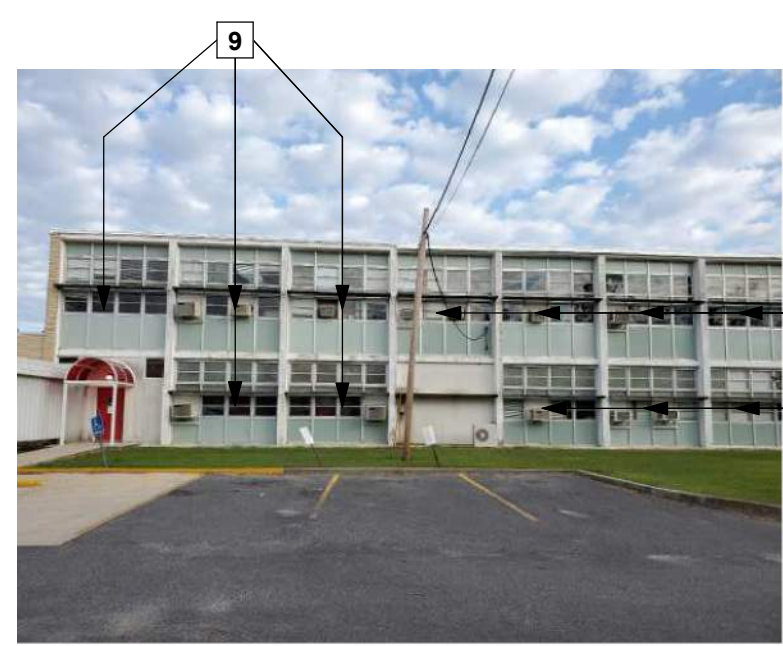
PROJECT NO.	20042-03
OWNER PROJECT NO.	HL-738-02
PROJECT MANAGER	TM
DATE ISSUED	2023.10.30
REVISED	
A Addendum 1	11/30/2023

A-2.3
1ST FLOOR PLAN

12/16/2023 3:06:35 PM

ROOM FINISH SCHEDULE													
RMG ROOM NUMBER	ROOM NAME	± AREA	± PERIMETER	FLOOR	WALLS & BASE						CEILING FINISH	NOTES	
					N	S	E	W	BASE				
100	WAREHOUSE	5733 SF	317' - 7 3/8"	F-6	B-1	P-1	P-1	P-1	P-1	P-1	C-5		
101	OFFICE	773 SF	114' - 9 5/8"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-1		
102	MAINTENANCE	1327 SF	154' - 8 3/4"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-1		
103	PRINT CENTER	3342 SF	264' - 4 1/16"	F-3	B-2	W-1	W-1	W-1	W-1	W-1	C-3		
104	PRINT CENTER	715 SF	107' - 4 7/8"	F-3	B-2	W-1	W-1	W-1	W-1	W-1	C-3		
105	OFFICE	427 SF	84' - 4 9/16"	F-3	B-2	W-1	W-1	W-1	W-1	W-1	C-2		
107	SUPPLIES	607 SF	132' - 1 1/16"	F-3	B-2	W-1, P-1	W-1	W-1, P-1	W-1	W-1	C-2		
108	CLOSET	40 SF	25' - 3 1/32"	F-1	B-1	W-1, P-1	W-1	W-1	W-1	W-1	C-1		
109	CLOSET	58 SF	30' - 10 1/2"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-1		
110	OFFICE	101 SF	43' - 0 1/2"	F-2	B-2	W-1	W-1	W-1	W-1	W-1	C-2		
111	RESTROOM	61 SF	31' - 3 5/8"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-2		
112	STORAGE	72 SF	33' - 10 1/4"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-1		
113	STORAGE	1041 SF	131' - 2 3/4"	F-4	B-3	W-1, P-1	W-1, P-1	W-1, P-1	W-1, P-1	W-1, P-1	C-3		
114	STAGE	745 SF	116' - 6 1/8"	F-4	B-3	W-1, P-1	W-1, P-1	W-1, P-1	W-1, P-1	W-1, P-1	C-3		
115	ENTRY	193 SF	66' - 5 3/8"	F-1	B-1	W-1, P-1	W-1	W-1	W-1	W-1	C-2		
116	STORAGE	172 SF	52' - 8 5/8"	F-3	B-1	W-1	W-1	W-4, P-1	W-1	W-1	C-2		
117	OFFICE	157 SF	51' - 4"	F-3	B-2	W-1	W-1	W-2	W-1	W-1	C-3		
118	RESTROOM	101 SF	40' - 3 3/4"	F-2	B-2	W-1	W-1	W-1	W-1	W-1	C-2		
119	LIBRARY	2035 SF	223' - 2 7/8"	F-3	B-3	W-2	W-1	W-2	W-1	W-1	C-3		
120	OFFICE	134 SF	47' - 1 7/8"	F-3	B-2	W-1, B-2	W-1	W-1	W-1	W-1	C-2		
121	OFFICE	310 SF	78' - 7 1/2"	F-3	B-2, B-3	W-1, B-3	W-1	W-1, B-2	W-1, B-3	W-1, B-3	C-1		
122	RESTROOM	58 SF	30' - 5 1/8"	F-2	B-1	W-1, P-1	W-1, P-1	W-1, P-1	W-1, P-1	W-1, P-1	C-2	FLOORING - ALTERNATE NO. 1	
123	OFFICE	67 SF	32' - 11 3/8"	F-3	B-3	W-1	W-1	W-1	W-1	W-1	C-3		
124	CORRIDOR	55 SF	34' - 6 5/8"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-1		
125	OFFICE	150 SF	49' - 6 3/8"	F-3	B-2	W-1	W-1	W-1	W-1	W-1	C-2		
126	ENTRY	61 SF	34' - 0 7/8"	F-3	B-1	W-1	W-1	W-1	W-1	W-1	C-2		
127	OFFICE	157 SF	53' - 1 3/8"	F-3	B-3	W-1	-	W-1	W-1	W-1	C-2		
128	OFFICE	419 SF	82' - 5 3/4"	F-3	B-2	-	-	W-1	W-1	W-1	C-2		
129	ENTRY	222 SF	65' - 5 3/4"	F-1	B-3	W-1	W-1	W-1	W-1	W-1	C-1		
130	RECEPTION	299 SF	72' - 3"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-1		
131	OFFICE	620 SF	102' - 1 3/4"	F-3	B-2	W-1	W-1	W-1	W-1	W-1	C-1		
132	RESTROOM	31 SF	22' - 3"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-1		
133	CLOSET	32 SF	22' - 8 1/4"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-1		
134	STOR.	227 SF	72' - 3 3/4"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-1		
135	LOUNGE	283 SF	103' - 5 1/4"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-1		
136	OFFICE	108 SF	43' - 3 1/4"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-1		
137	OFFICE	108 SF	43' - 3 1/4"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-1		
138	OFFICE	108 SF	43' - 3 1/4"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-1		
139	STORAGE	134 SF	50' - 3 1/8"	F-3	B-2	W-1	W-1	W-1	W-1	W-1	C-2		
140	LOUNGE	247 SF	63' - 2 1/8"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-1		
141	OFFICE	137 SF	47' - 5 3/8"	F-1	B-2	W-1	W-1	W-1	W-1	W-1	C-2		
142	OFFICE	84 SF	38' - 2 3/8"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-1		
143	OFFICE	247 SF	66' - 8 3/8"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-1		
144	ENTRY	143 SF	50' - 5 3/8"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-1		
145	OFFICE	217 SF	60' - 11 1/8"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-1		
146	STORAGE	116 SF	51' - 7 1/4"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-2		
147	OFFICE	412 SF	80' - 11 3/4"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-1		
148	OFFICE	408 SF	105' - 11 3/4"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-1		
149	OFFICE	412 SF	80' - 11 3/4"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-1		
150	STORAGE	116 SF	51' - 7 1/4"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-1		
151	STAIRWELL	213 SF	64' - 4"	F-2	B-1	W-1	W-1	W-1	W-1	W-1	C-1		
152	OFFICE	356 SF	80' - 9"	F-3	B-2	W-1	W-1	W-1	W-1	W-1	C-1		
153	OFFICE	355 SF	82' - 6"	F-3	B-2	W-1	W-1	W-1	W-1	W-1	C-1		
154	OFFICE	304 SF	73' - 7 3/4"	F-3	B-2	W-1	W-1	W-1	W-1	W-1	C-1		
155	OFFICE	305 SF	71' - 10 1/2"	F-3	B-2	W-1	W-1	W-1	W-1	W-1	C-1		
156	KITCHEN	393 SF	81' - 7 3/4"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-1		
157	OFFICE	205 SF	57' - 4 1/2"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-1		
158	OFFICE	144 SF	51' - 11 1/2"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-1		
159	OFFICE	262 SF	72' - 1 3/4"	F-1	B-1	W-1	W-1	W-4	W-1	W-1	C-1		
160	RESTROOM	296 SF	73' - 6 1/4"	F-1	B-1	W-1	W-1	W-4	W-4	W-1	C-1		
161	STAIRWELL	211 SF	63' - 7 3/4"	F-2	B-1	W-1	W-1	W-1	W-1	W-4	C-1		
162	OFFICE	188 SF	65' - 10 1/4"	F-3	B-2	W-1, P-1	W-1, P-1	W-1, P-1	W-1, P-1	W-1, P-1	C-2		
163	RESTROOM	27 SF	21' - 0"	F-1	B-1	W-5, P-1	W-5, P-1	W-5, P-1	W-5, P-1	W-5, P-1	C-3		
164	STORAGE	786 SF	131' - 9"	F-2	B-2	W-1	W-1	W-1	W-1	W-1	C-2		
165	RESTROOM	292 SF	72' - 6 3/4"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-2		
166	JANITOR	111 SF	47' - 4 1/8"	F-2	B-1	W-1	W-1	W-1	W-1	W-1	C-1		
167	STORAGE	107 SF	41' - 4 7/8"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-1	FLOORING - ALTERNATE NO. 1	
168	CORRIDOR	2658 SF	609' - 7 3/8"	F-2	B-1	W-4	W-4	W-1	W-1	W-1	C-1		
169	LIBRARY	692 SF	135' - 2 13/16"	F-1	B-1	W-3, P-1	W-3, P-1	W-3, P-1	W-3, P-1	W-3, P-1	C-2		
170	BREAKROOM	74 SF	34' - 8 1/4"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-2		
171	RESTROOM	53 SF	30' - 3"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-2		
172	WORK ROOM	352 SF	75' - 9 9/16"	F-3	B-2	W-1	W-1	W-1	W-1	W-1	C-2		
173	CLOSET	114 SF	47' - 2 9/16"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-1		
174	ENTRY	320 SF	102' - 10 13/32"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-2		
175	CLOSET	59 SF	30' - 8 13/16"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-2		
176	CLOSET	47 SF	27' - 6 1/16"	F-2	B-2	W-1	W-1	W-1	W-1	W-1	C-2		
177	RESTROOM	25 SF	20' - 2 1/4"	F-1	B-2	W-1	W-1	W-1	W-1	W-1	C-2		
178	CLOSET	17 SF	16' - 11 7/8"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-2		
179	CLOSET	45 SF	29' - 9 5/8"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-2		
180	BOUTIQUE	184 SF	66' - 7 3/16"	F-3	B-1	W-1	W-1	W-1	W-1	W-1	C-3		
181	OFFICE	37 SF	25' - 7 3/4"	F-3	B-1	W-1	W-1	W-1	W-1	W-1	C-2		
182	RESTROOM	22 SF	22' - 1 7/8"	F-3	B-1	W-1	W-1	W-1	W-1	W-1	C-2		
183	RESTROOM	22 SF	22' - 1 7/8"	F-1	B-1	W-1	W-1	W-1	W-1	W-4, P-1	C-2		
184	MEDIA CENTER	875 SF	136' - 0 11/16"	F-2	B-2	W-4, P-1	W-1	W-4, P-1	W-1	W-1	C-1		
200	STAIRWELL	207 SF	62' - 10 1/4"	F-2	B-1	W-1	W-1	W-4	W-1	W-1	C-1		
201	CLASSROOM	548 SF	95' - 6"	F-3	B-3	W-1	W-3, P-1	W-1	W-1	W-1	C-1		
202	CLASSROOM	725 SF	111' - 7 1/2"	F-3	B-3	W-1	W-1, P-1	W-1	W-1	W-1	C-1		
203	CLASSROOM	611 SF	101' - 2 19/32"	F-3	B-3	W-1	W-1	W-1	W-1	W-1	C-2		
204	ENTRY	198 SF	67' - 3"	F-3	B-3	W-1	W-1	W-1	W-1	W-1	C-1		
205	OFFICE	116 SF	45' - 5 1/4"	F-3	B-3	W-1	W-1	W-1	W-1	W-1	C-1		
206	OFFICE	116 SF	45' - 5 1/4"	F-3	B-3	W-1	W-1	W-1	W-1	W-1	C-1		
207	OFFICE	117 SF	44' - 7 1/2"	F-3	B-3	W-1	W-1	W-1	W-1	W-1	C-1		
208	RESTROOM	36 SF	26' - 10 21/32"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-2		
209	OFFICE	131 SF	60' - 6 13/32"	F-3	B-3	W-1	W-1	W-1	W-1	W-1	C-1		
210	STAIRWELL	203 SF	62' - 5 7/8"	F-2	B-2	W-1	W-1	W-4	W-4	W-1	C-2		
211	OFFICE	298 SF	70' - 11 1/8"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-1		
212	ENTRY	79 SF	39' - 0 1/4"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-1		
213	OFFICE	217 SF	59' - 0 3/4"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-1		
214	CLASSROOM	167 SF	59' - 2"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-1		
215	CLASSROOM	438 SF	84' - 7 3/4"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-1		
216	CLASSROOM	482 SF	100' - 7 3/4"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-1		
217	OFFICE	122 SF	45' - 4 5/8"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-1		
218	ENTRY	213 SF	71' - 1"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-1		
219	OFFICE	126 SF	45' - 10 21/32"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-1		
220	OFFICE	125 SF	46' - 8 13/32"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-1		
221	OFFICE	126 SF	45' - 10 21/32"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-1		
222	CLASSROOM	613 SF	100' - 6 1/2"	F-1	B-1	W-1	W-1	W-1	W-1	W-1	C-1		
223	CORRIDOR	1655 SF	305' - 3 3/8"	F-2	B-1	W-4	W-4	W-1	W-1	W-1	C-1		

ROOM FINISH LEGEND	
FLOOR(F)	DESCRIPTION
F-1	NO WORK REQUIRED.
F-2	VCT FLOORING TO BE REMOVED BY ABATEMENT CONTRACTOR. INSTALL NEW VCT FLOORING AS SPECIFIED.
F-3	ABATEMENT REMOVE BROADLOOM CARPET IN ITS ENTIRETY. INSTALL NEW CARPET TILE AS SPECIFIED.



SOUTH ELEVATION



SOUTH ELEVATION



STAIRWELL 151



OFFICE 131



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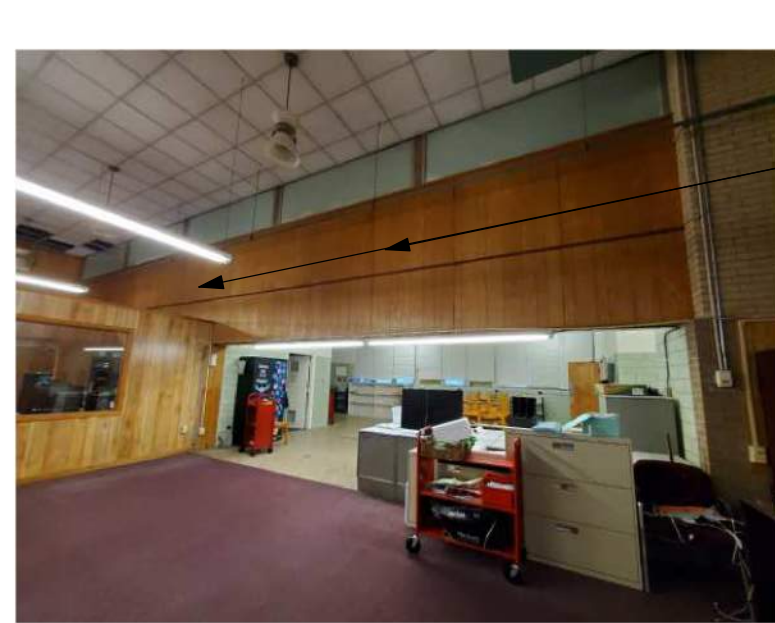
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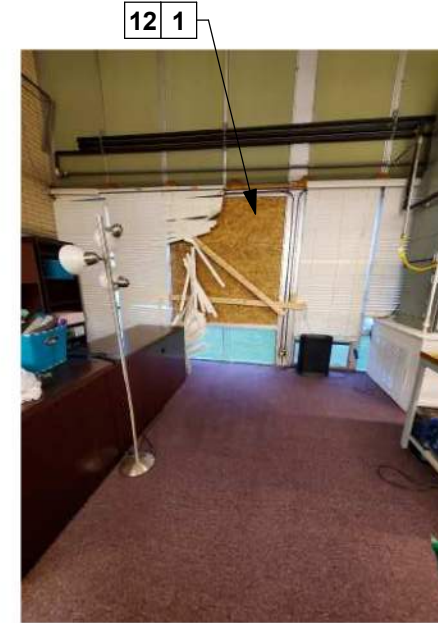
WEST ELEVATION



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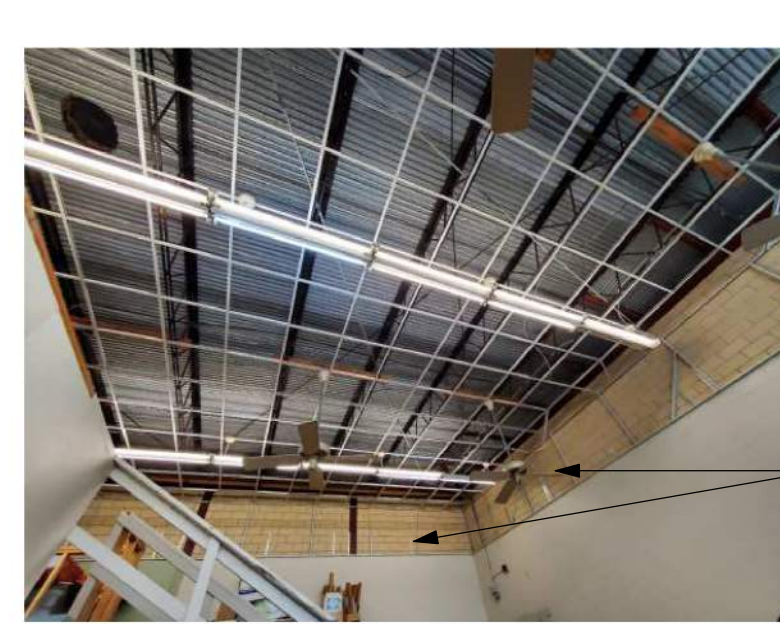
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EAST ELEVATION



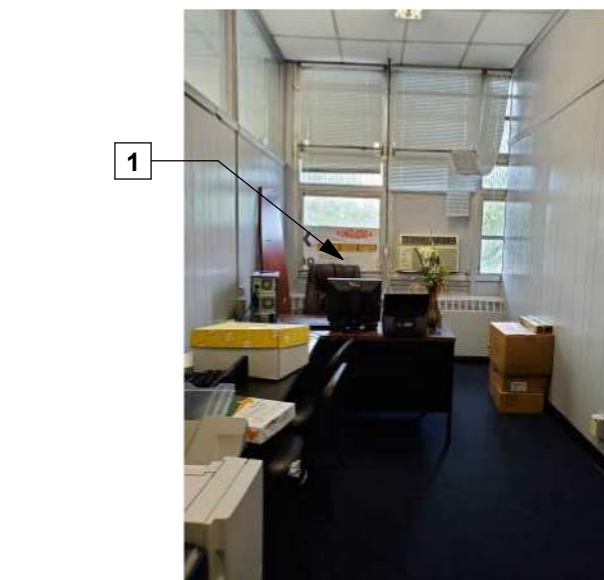
STORAGE 113



WARE HOUSE ELEVATION



WARE HOUSE ELEVATION



CLASSROOM 214



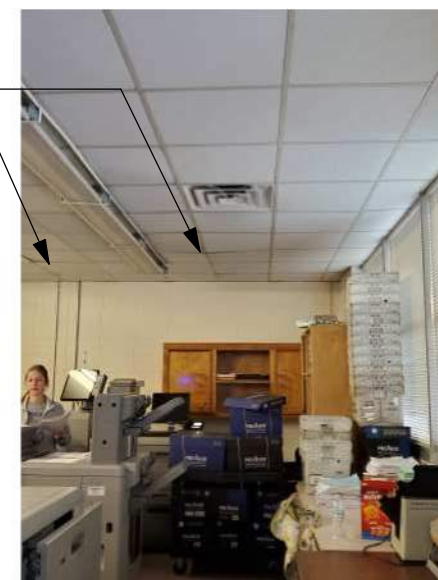
CLASSROOM 222



CLASSROOM 216



STORAGE 113



PRINT CENTER 104



STAGE 114



STAGE 114



LIBRARY 119



CORRIDOR 168



CLASSROOM 202



STORAGE 113



STORAGE 113



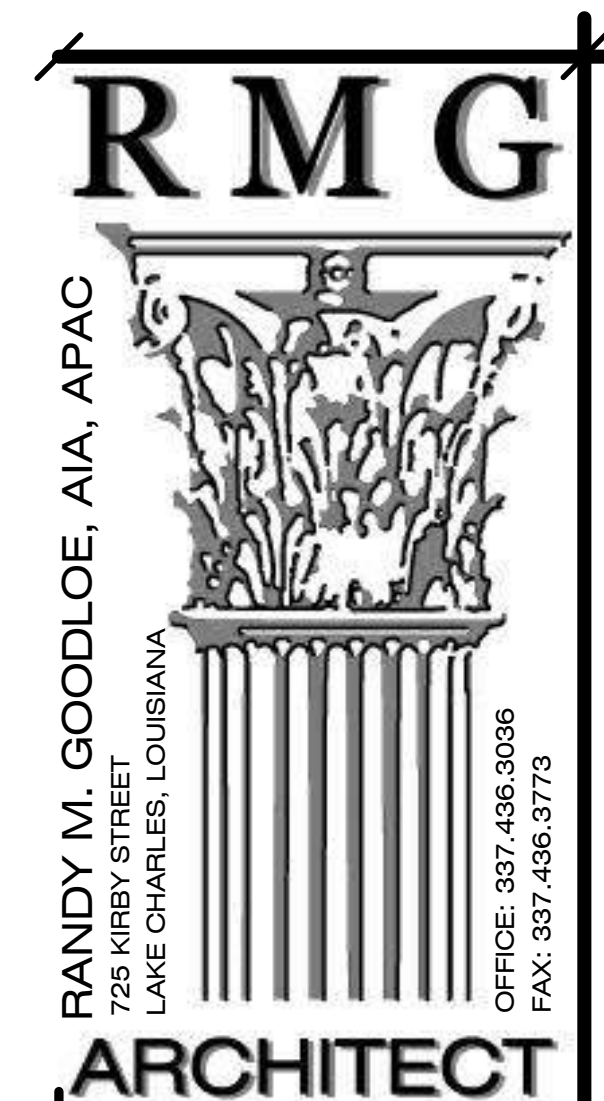
STORAGE 113

HAZARDOUS MATERIAL GENERAL NOTES

- ALL WORK INDICATED AS HAZARDOUS MATERIALS SHALL BE REMOVED BY ABATEMENT CONTRACTOR.
- CONTRACTOR IS TO COORDINATE WITH ABATEMENT CONTRACTOR FOR ABATEMENT WORK TO BE PERFORMED IN CONJUNCTION WITH THIS CONTRACT.
- COORDINATE SCHEDULED WORK WITH ABATEMENT CONTRACTOR AS TO NOT EXPOSE ANY EXTERIOR COMPONENTS TO THE WEATHER MORE THAN REQUIRED FOR REPAIRS.
- ABATEMENT OF INTERIOR COMPONENTS WILL NEED TO BE COORDINATED WITH CONTRACTOR'S PHASING PLAN FOR INTERIOR REPAIRS. CONTRACTOR IS RESPONSIBLE FOR PROTECTING BUILDING STRUCTURE AND INTERIOR FINISHES FROM ANY INCLIMATIC WEATHER AT ALL TIMES.

KEYNOTES

- WINDOW REPLACEMENT:** REPLACE BROKEN WINDOW PANES AND GASKETS TO MATCH EXISTING. ALL INDICATED SEALANTS SHALL BE REMOVED BY ABATEMENT CONTRACTOR UNDER SEPARATE CONTRACT. CONTRACTOR SHALL REPLACE WINDOW PANES AS SPECIFIED TO ENSURE WEATHER TIGHT SEAL.
- PLASTER FINISH REPAIR:** EXISTING PLASTER SURFACE IS CRACKED. REMOVE AND REPLACE PLASTER FINISH COAT. NEW PLASTER SHALL BE FLUSH AND SMOOTH WITH EXISTING PLASTER TO REMAIN. PREP FINISHED SURFACE AND REPAINT ENTIRE WALL CORNER TO CORNER TO MATCH EXISTING.
- WOOD PANEL REPLACEMENT:** REMOVE WALL WOOD PANELING AND INSULATION. REPLACE WALL FINISH WITH GYPSUM BOARD AS SPECIFIED. TAPE, FLOAT, SAND, PRIME AND PAINT AS SPECIFIED IN COLOR TO MATCH EXISTING ADJACENT PAINTED WALLS. PAINT WALLS CORNER TO CORNER.
- DOOR REPLACEMENT:** DOORS AND HARDWARE TO BE REMOVED AND REPLACED TO MATCH EXISTING TYPE, STYLE, AND FINISH. ANY SALVAGEABLE HARDWARE IS TO BE TRANSFERRED TO THE NEW DOOR. SEALANTS SHALL BE REMOVED AND REPLACED AS SPECIFIED TO ENSURE WEATHER TIGHTNESS. STORE FRONT DOORS SHALL BE REPLACED IN THEIR ENTIRETY. EXISTING PAINTED DOOR ARE TO BE REPAINTED TO MATCH EXISTING.
- SIGNAGE REPLACEMENT:** REMOVE AND REPLACE MISSING AND DAMAGED SIGNS TO MATCH EXISTING. REMOVE ALL DAMAGED AND LEANING POSTS IN ITS ENTIRETY, INCLUDING FOUNDATIONS, AND REPLACE TO MATCH EXISTING; SIGNS UNDAAGED SHALL BE SALVAGED AND REINSTALLED. FOUNDATIONS TO BE INSTALLED PER SIGNAGE MANUFACTURER REQUIREMENTS. ALL DAMAGED CUSTOM SIGNAGE SHALL BE REMOVED AND REINSTALLED TO MATCH EXISTING. SCUFFED AND SCRATCHED CUSTOM SIGNAGE SHALL BE REPAIRED AND REPAINTED AS SPECIFIED AND IN COLORS TO MATCH EXISTING.
- CHAIN-LINK GATE REPLACEMENT:** REPLACE DOUBLE GATE AND HARDWARE. REMOVE AND REPLACE GATE POSTS TO BE LEVEL AND PLUMB. ADJUST GATES TO OPERATE SMOOTHLY, EASILY, AND QUIETLY. FREE OF BINDING, WARP, EXCESSIVE DEFLECTION, DISTORTION, NONALIGNMENT, MISPLACEMENT, DISRUPTION, OR MALFUNCTION, THROUGHOUT ENTIRE OPERATIONAL RANGE. CONFIRM THAT LATCHES AND LOCKS ENGAGE ACCURATELY AND SECURELY WITHOUT FORCING OR BINDING.
- CHAIN-LINK FENCING REPLACEMENT:** ALL SECTIONS OF STRETCHED, DEFORMED, AND MISSING CHAIN-LINK MESH ARE TO BE REPLACED BY OVERLAYING NEW FABRIC SECTIONS TO EXISTING. PROVIDE NEW FABRIC TO MATCH EXISTING SIZE AND HEIGHT, MINIMUM 9 GAUGE. ALL CONNECTIONS ARE TO BE INSPECTED ALONG THE ENTIRE LENGTH OF FENCE. INCLUDING BUT NOT LIMITED TO DOME CAPS, LOOP CAPS, RAIL CAPS, TENSION BANDS, TENSION WIRE, ETC. VERIFY ALL FABRIC IS STRETCHED TAUT FREE OF SAG. VERIFY FABRIC IS SECURED TO LINE POSTS WITH METAL FENCE TIES SPACED NO GREATER THAN 12" O.C., TO RAIL SPACED NO GREATER THAN 18" O.C. AND TO TENSION WIRE NO GREATER THAN 18" APART. REPLACE ANY MISSING OR DAMAGED FENCE TIES. ALL CRACKED, BENT, AND MISSING SUPPORTS ARE TO BE REMOVED AND REPLACED ENTIRELY, INCLUDING FOUNDATIONS. MATCH EXISTING PIPE SIZE, HEIGHTS, AND THICKNESS. ALL MATERIALS ARE TO BE GALVANIZED. REMOVE AND REPLACE ALL DAMAGED AND MISSING FENCE TOP SAFETY GUARD AT BALL FIELD FENCING TO MATCH EXISTING. FASTEN PER MANUFACTURER'S RECOMMENDATIONS.
- CHAIN-LINK FABRIC REPLACEMENT:** ALL SECTIONS OF STRETCHED, DEFORMED, AND MISSING CHAIN-LINK MESH ARE TO BE REPLACED BY OVERLAPPING NEW FABRIC SECTIONS TO EXISTING. PROVIDE NEW FABRIC TO MATCH EXISTING SIZE AND HEIGHT, MINIMUM 9 GAUGE. ALL CONNECTIONS ARE TO BE INSPECTED ALONG THE ENTIRE LENGTH OF FENCE INCLUDING BUT NOT LIMITED TO DOME CAPS, LOOP CAPS, RAIL CAPS, TENSION BANDS, TENSION WIRE, ETC. VERIFY ALL FABRIC IS STRETCHED TAUT FREE OF SAG. VERIFY FABRIC IS SECURED TO LINE POSTS WITH METAL FENCE TIES SPACED NO GREATER THAN 12" O.C., TO RAIL SPACED NO GREATER THAN 18" O.C. AND TO TENSION WIRE NO GREATER THAN 18" APART. REPLACE ANY MISSING OR DAMAGED FENCE TIES.
- PLASTER REPAIRS:** REMOVE ALL LAYERS OF PLASTER AND REPLACE WITH NEW PLASTER AS SPECIFIED. PREP AND PAINT PLASTER SOFFIT IN ITS ENTIRETY AS SPECIFIED.
- METAL COVERING REPAIRS:** REMOVE AND REPLACE DEFORMED AND MISSING METAL ROOF PANELS. REMOVE AND REPLACE ALL CRACKED AND BENT SUPPORTS AND CONCRETE FOUNDATIONS. SALVAGE UNDAAGED MATERIALS FOR REINSTALL. ALL MISSING AND DAMAGED ROOFS AND SUPPORTS ARE TO BE REMOVED AND REPLACED WITH VERTICAL SUPPORTS AND FOUNDATIONS TO MATCH EXISTING. EPOXY ANCHOR OR EXPANSION BOLT ALL DETACHED/LOOSE BASE PLATES AS REQUIRED TO SECURE TO FOUNDATION.
- MASONRY REPAIRS:** ALL CRACKED, DAMAGED, AND MISSING MASONRY TO BE REMOVED AND REPLACED TO MATCH THE EXISTING MASONRY AND MORTAR COLOR. ALL LOOSE AND DAMAGED SEALANTS BETWEEN DISSIMILAR MATERIALS SHALL BE REMOVED AND REPLACED AS SPECIFIED TO ENSURE WEATHER TIGHTNESS. SEE UNIT PRICES.
- WINDOW BLIND REPLACEMENT:** DAMAGED BLINDS ARE TO BE REMOVED AND REPLACED TO MATCH EXISTING AS SPECIFIED.
- ACOUSTICAL REPAIRS:** REMOVE AND REPLACE MISSING ACOUSTICAL WALL TILE AND GRID AS SPECIFIED.
- EXPOSED DECKING:** METAL ROOF DECK INCLUDING METAL TRUSSES ARE TO BE PREPARED AND PAINTED TO MATCH EXISTING AS SPECIFIED.
- CMU REPAIRS:** CRACKED CMU BLOCKS AND MORTAR IS TO BE REROUTED. ALL PAINTED CMU WALLS SHALL BE SAND, PRIME, AND PAINTED AS SPECIFIED AND IN COLOR AND PATTERN TO MATCH EXISTING. ANY WALL MOUNTED ITEMS ARE TO BE REMOVED FOR PAINTING AND REINSTALLED UPON COMPLETION.
- GYPSUM BOARD REPAIRS:** ALL DAMAGED GYPSUM BOARD IS TO BE REMOVED AND REPLACED STUD TO STUD, TAPE, FLOAT, SAND, PRIME AND PAINT AS SPECIFIED IN COLOR TO MATCH EXISTING. PAINT ENTIRE WALL CORNER TO CORNER.
- PAINTED FINISHES:** EXISTING WALLS ARE WATER DAMAGED. WALLS ARE TO BE SANDED, PREPARED, AND REPAINTED TO MATCH EXISTING CORNER TO CORNER.
- WOOD STAGE REPLACEMENT:** REMOVE AND REPLACE WOOD STAGE FLOORING AND STEPS FINISHED SURFACE IN ITS ENTIRETY TO MATCH EXISTING SIZE AND FINISHED.
- SPANDREL PANELS REPAIR:** DAMAGED SEALANT TO BE REMOVED BY ABATEMENT CONTRACTOR UNDER SEPARATE CONTRACT. CONTRACTOR SHALL RE SEAL PANEL AS SPECIFIED. REMOVE AND REPLACE CRACKED CAULKING AS SPECIFIED @ LINTEL.
- WINDOW REPAIRS:** ABATEMENT CONTRACTOR TO REMOVE CRACKED SEALANT AND CONTRACTOR SHALL RE SEAL AT JOINTS AND RE SEAL WINDOW PANE TO MATCH EXISTING. ALL INDICATED SEALANTS SHALL BE REMOVED BY ABATEMENT CONTRACTOR AND CONTRACTOR SHALL BE REPLACED AS SPECIFIED TO ENSURE WEATHER TIGHT SEAL.
- WINDOW AIR CONDITIONER REPAIRS:** REMOVE PLYWOOD INSERT AND REPLACE WITH INSULATED METAL WINDOW PANEL AS SPECIFIED AND HORIZONTAL SUPPORTS TO MATCH EXISTING SIZE AND PAINT. ALL LOOSE AND DAMAGED SEALANTS SHALL BE REMOVED AND REPLACED AS SPECIFIED TO ENSURE WEATHER TIGHT SEAL. RESET WINDOW UNIT AND INSTALL WEATHER SEAL.
- DOOR REPAIRS:** DAMAGED AND DEFORMED FRAMES AND HARDWARE TO BE REMOVED AND REPLACED TO MATCH EXISTING TYPE, STYLE, AND FINISH. RESET DOOR, SEE DOOR SCHEDULE.
- INTERIOR STUD PARTITION:** REPAIR WALL FRAMING AND FINISH TO MATCH EXISTING WHERE ADJACENT WALL IS DEMOLISH AND RECONSTRUCTED.
- AGGREGATE WALL PANEL REPAIR:** DAMAGED AGGREGATE PANEL TO BE REMOVED BY ABATEMENT CONTRACTOR UNDER SEPARATE CONTRACT. CONTRACTOR TO REPLACE WITH METAL PANEL AND FRAMING AS SPECIFIED. APPLY MASTIC TO CMU WALL AND INSTALL FLAT SHEET GYPOX CEMENT FIBRE BOARD WITH METAL STUD FRAMING AS PER MANUFACTURER.
- SOFFIT REPLACEMENT:** REMOVE AND REPLACE METAL SOFFIT FLUSH PANEL AND TRIM AS SPECIFIED.
- TRANSITE PANEL REPLACEMENT:** ABATEMENT CONTRACTOR IS TO REMOVE REMAINING TRANSITE. CONTRACTOR SHALL REMOVE EXISTING METAL PANELS, LOUVERS AND ASSOCIATED FRAMING AND REPLACE WITH METAL WALL PANEL AS SPECIFIED.
- CMU MASONRY WALL REPLACEMENT:** REMOVE AND REPLACE CMU MASONRY WALL WHERE INDICATED AS SPECIFIED. SEE STRUCTURAL.
- FACE BRICK CLADDING REPLACEMENT:** REMOVE AND REPLACE FACE BRICK TO MATCH EXISTING AS SPECIFIED.
- SECTIONAL DOOR REPLACEMENT:** REMOVE AND REPLACE SECTIONAL HIGH LIFT DOOR AS SPECIFIED. SEE STRUCTURAL.
- CEILING/FLOORING REPLACEMENT:** REMOVE AND REPLACE FLOORING AND/OR CEILING AS SCHEDULED.
- COUNTERTOP REPAIR:** REMOVE AND REPLACE EXISTING DAMAGED PLASTIC LAMINATE COUNTERTOP AS SPECIFIED.
- LEVEL LANDING:** PROVIDE A 5' MIN. LEVEL LANDING AREA AT EACH EXIT WITH A 1:12 MAX SLOPED TRANSITION TO EPOXY COATED FLOOR. NON-SHRINK GROUT AS SPECIFIED.
- TRANSITION:** PROVIDE A SLOPED TRANSITION AS SHOWN. NON-SHRINK GROUT AS SPECIFIED.
- COMPLETE CHAIN-LINK FENCING REPLACEMENT:** INSTALL CHAIN-LINK FENCING AS SPECIFIED. MATCH EXISTING PIPE SIZE, HEIGHTS, AND THICKNESS. ALL MATERIALS ARE TO BE GALVANIZED.



RANDY M. GOODLOE, AIA, APAC
755 KIRBY STREET
LAKE CHARLES, LOUISIANA

OFFICE: 337.456.3036
FAX: 337.456.3773



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HURRICANE LAURA STORM REPAIRS

ROSTEET ANNEX

FOR

CALCASIEU PARISH SCHOOL BOARD

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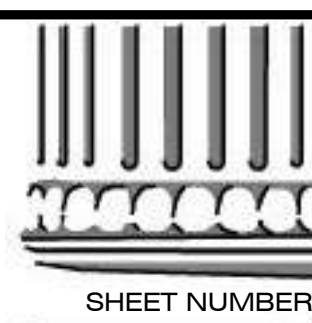
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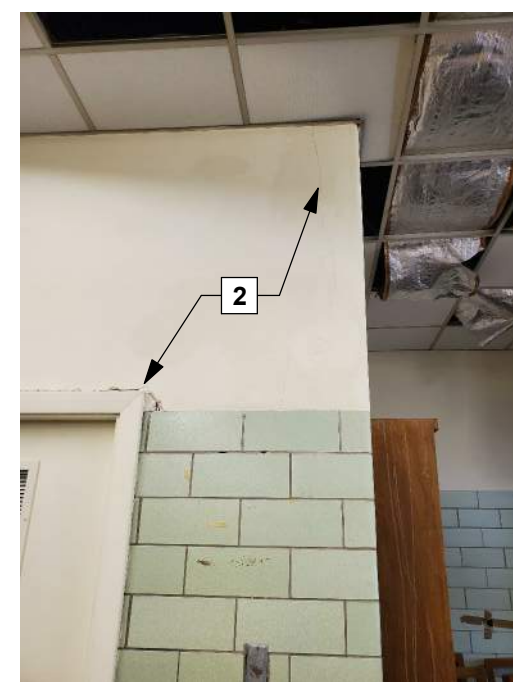
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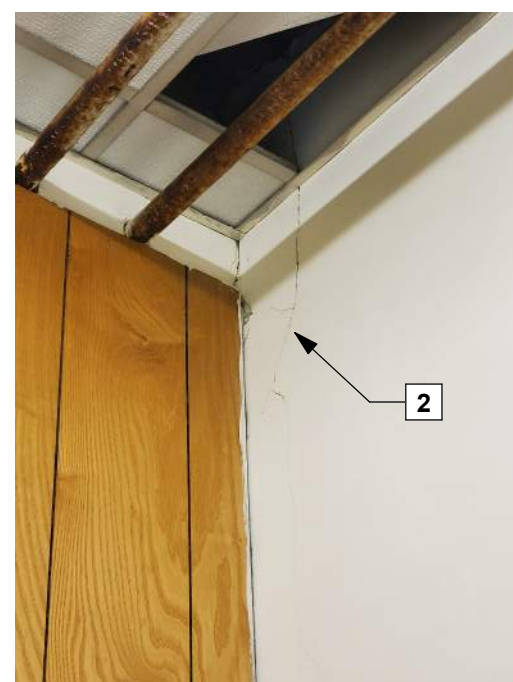
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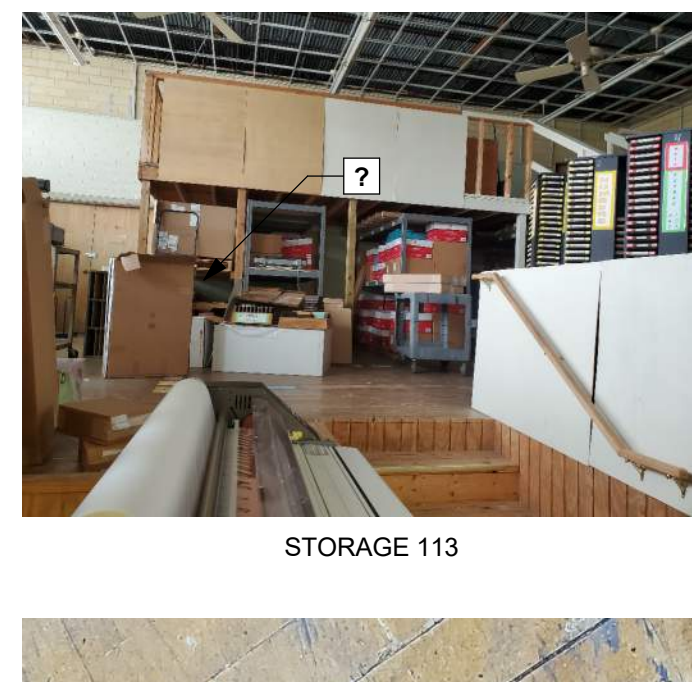
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STORAGE 113

HAZARDOUS MATERIAL GENERAL NOTES

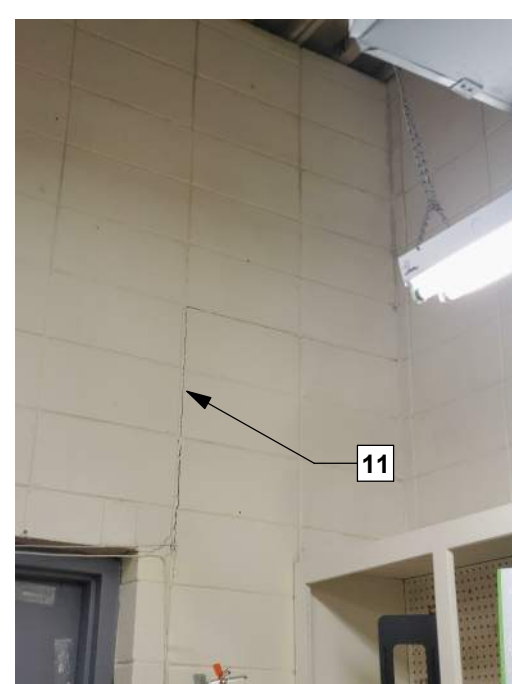
- ALL WORK INDICATED AS HAZARDOUS MATERIALS SHALL BE REMOVED BY ABATEMENT CONTRACTOR.
- CONTRACTOR IS TO COORDINATE WITH ABATEMENT CONTRACTOR FOR ABATEMENT WORK TO BE PERFORMED IN CONJUNCTION WITH THIS CONTRACT.
- COORDINATE SCHEDULED WORK WITH ABATEMENT CONTRACTOR AS TO NOT EXPOSE ANY EXTERIOR COMPONENTS TO THE WEATHER MORE THAN REQUIRED FOR REPAIRS.
- ABATEMENT OF INTERIOR COMPONENTS WILL NEED TO BE COORDINATED WITH CONTRACTOR'S PHASING PLAN FOR INTERIOR REPAIRS. CONTRACTOR IS RESPONSIBLE FOR PROTECTING BUILDING STRUCTURE AND INTERIOR FINISHES FROM ANY INCLIMATIC WEATHER AT ALL TIMES.



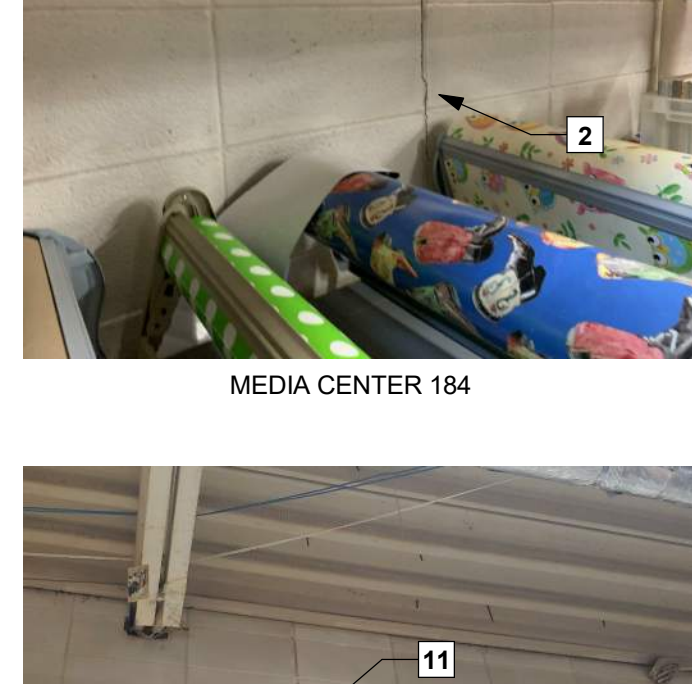
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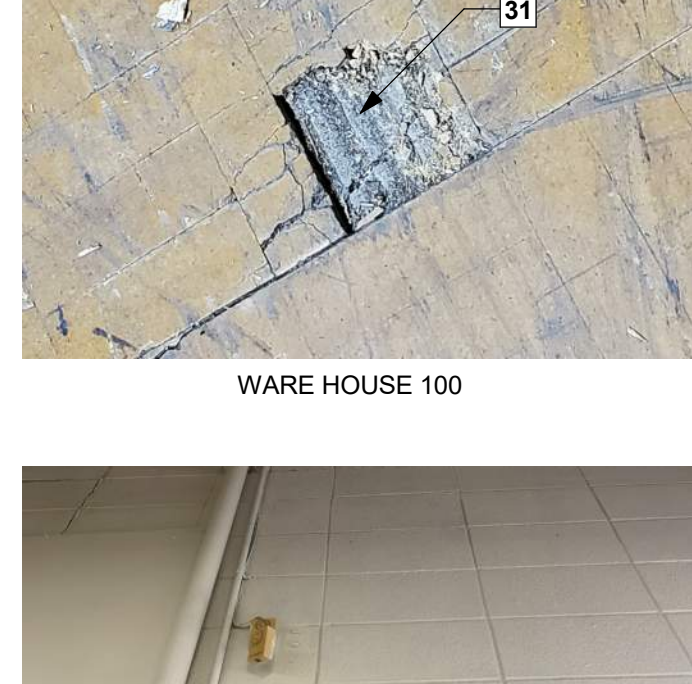
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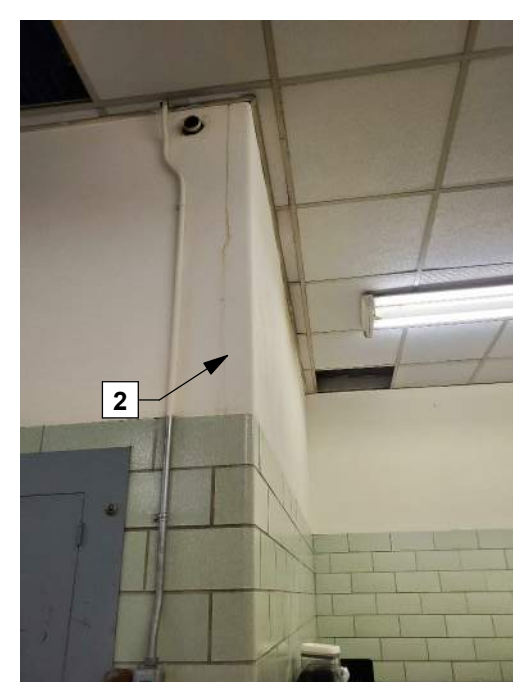
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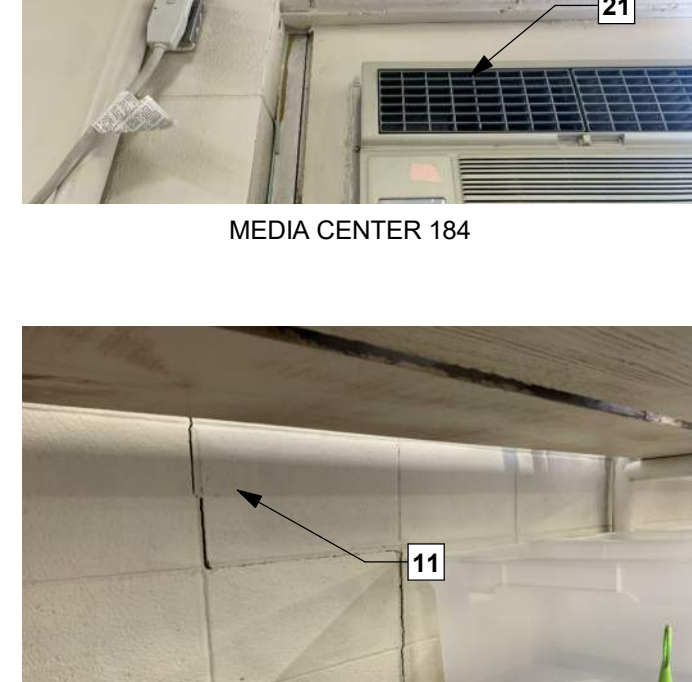
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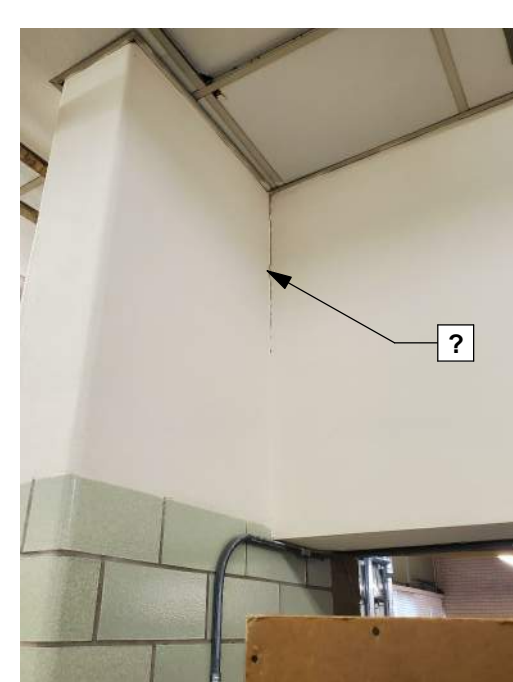
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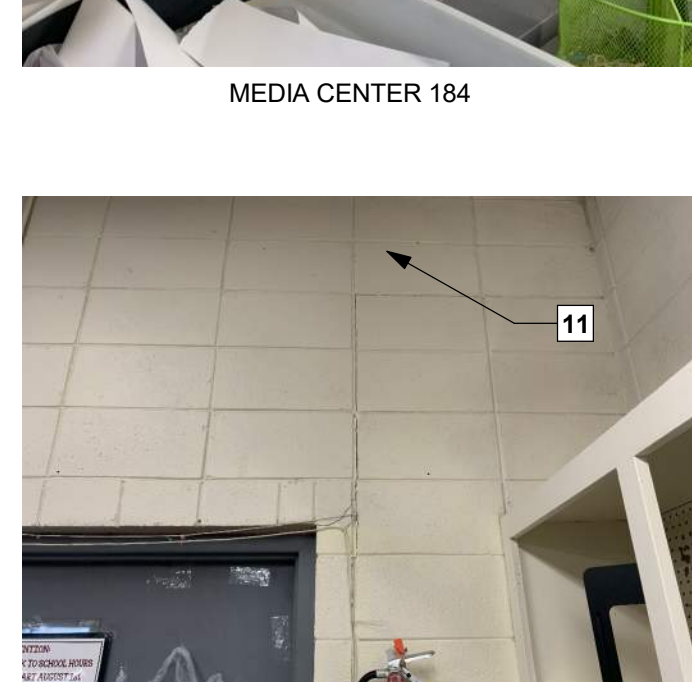
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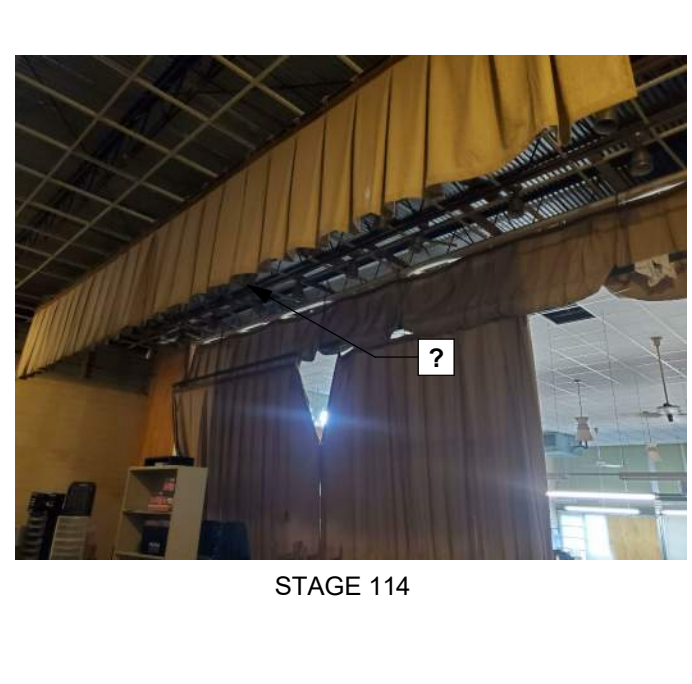
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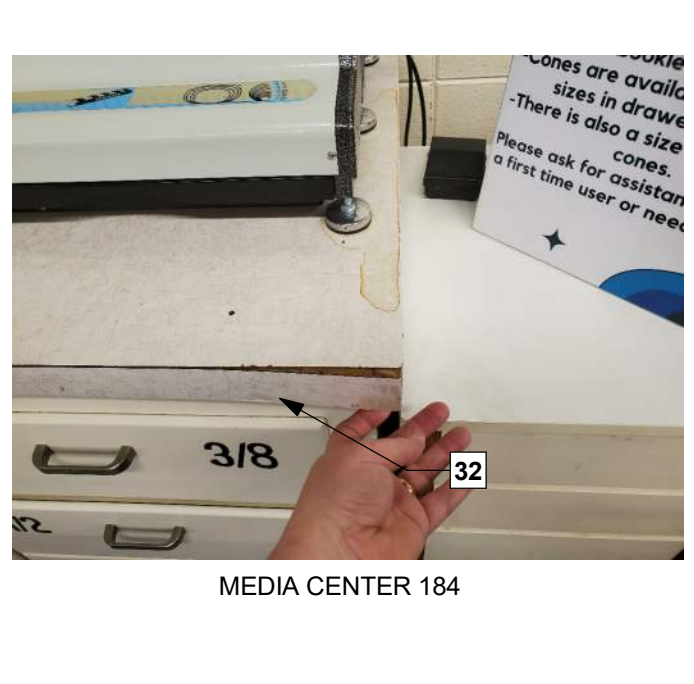
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KEYNOTES

1. **WINDOW REPLACEMENT:** REPLACE BROKEN WINDOW PANES AND GASKETS TO MATCH EXISTING. ALL INDICATED SEALANTS SHALL BE REMOVED BY ABATEMENT CONTRACTOR UNDER SEPARATE CONTRACT. CONTRACTOR SHALL REPLACE WINDOW PANES AS SPECIFIED TO ENSURE WEATHER TIGHT SEAL.
2. **PLASTER FINISH REPAIR:** EXISTING PLASTER SURFACE IS CRACKED. REMOVE AND REPLACE PLASTER FINISH COAT. NEW PLASTER SHALL BE FLUSH AND SMOOTH WITH EXISTING PLASTER TO REMAIN. PREP FINISHED SURFACE AND REPAINT ENTIRE WALL TO CORNER TO MATCH EXISTING.
3. **WOOD PANEL REPLACEMENT:** REMOVE WALL WOOD PANELING AND INSULATION. REPLACE WALL FINISH WITH GYPSUM BOARD AS SPECIFIED. TAPE, FLOAT, SAND, PRIME AND PAINT AS SPECIFIED IN COLOR TO MATCH EXISTING ADJACENT PAINTED WALLS. PAINT WALLS CORNER TO CORNER.
4. **DOOR REPLACEMENT:** DOORS AND HARDWARE TO BE REMOVED AND REPLACED WITH NEW DOORS, TYPE, STYLE, AND FINISH. ANY SALVAGEABLE HARDWARE IS TO BE TRANSFERRED TO THE NEW DOOR. SEALANTS SHALL BE REMOVED AND REPLACED AS SPECIFIED TO ENSURE WEATHER TIGHTNESS. STORE FRONT DOORS SHALL BE REPLACED IN THEIR ENTIRETY. EXISTING PAINTED DOOR ARE TO BE REPAINTED TO MATCH EXISTING.
5. **SIGNAGE REPLACEMENT:** REMOVE AND REPLACE MISSING AND DAMAGED SIGNS TO MATCH EXISTING. REMOVE ALL DAMAGED AND LEANING POSTS IN ITS ENTIRETY, INCLUDING FOUNDATIONS, AND REPLACE TO MATCH EXISTING; SIGNS UNDAMAGED SHALL BE SALVAGED AND REINSTALLED. FOUNDATIONS TO BE INSTALLED PER SIGNAGE MANUFACTURER REQUIREMENTS. ALL DAMAGED CUSTOM SIGNAGE SHALL BE REMOVED AND REINSTALLED TO MATCH EXISTING. SCUFFED AND SCRATCHED CUSTOM SIGNAGE SHALL BE REPAIRED AND REPAINTED AS SPECIFIED AND IN COLORS TO MATCH EXISTING.
6. **CHAIN-LINK GATE REPLACEMENT:** REPLACE DOUBLE GATE AND HARDWARE. REMOVE AND REPLACE GATE POSTS TO BE LEVEL AND PLUMB. ADJUST GATES TO OPERATE SMOOTHLY, EASILY, AND QUIETLY. FREE OF BINDING, WARP, EXCESSIVE DEFLECTION, DISTORTION, NONALIGNMENT, MISPLACEMENT, DISRUPTION, OR MALFUNCTION, THROUGHOUT ENTIRE OPERATIONAL RANGE. CONFIRM THAT LATCHES AND LOCKS ENGAGE ACCURATELY AND SECURELY WITHOUT FORCING OR BINDING.
7. **CHAIN-LINK FENCING REPLACEMENT:** ALL SECTIONS OF STRETCHED, DEFORMED, AND MISSING CHAIN-LINK MESH ARE TO BE REPLACED BY OVERLAYING NEW FABRIC SECTIONS TO EXISTING. PROVIDE NEW FABRIC TO MATCH EXISTING SIZE AND HEIGHT, MINIMUM 9 GAUGE. ALL CONNECTIONS ARE TO BE INSPECTED ALONG THE ENTIRE LENGTH OF FENCE, INCLUDING BUT NOT LIMITED TO DOME CAPS, LOOP CAPS, RAIL CAPS, TENSION BANDS, TENSION WIRE, ETC. VERIFY ALL FABRIC IS STRETCHED TAUT FREE OF SAG. VERIFY FABRIC IS SECURED TO LINE POSTS WITH METAL FENCE TIES SPACED NO GREATER THAN 12" O.C., TO RAIL SPACED NO GREATER THAN 18" O.C. AND TO TENSION WIRE NO GREATER THAN 18" APART. REPLACE ANY MISSING OR DAMAGED FENCE TIES. ALL CRACKED, BENT, AND MISSING SUPPORTS ARE TO BE REMOVED AND REPLACED ENTIRELY, INCLUDING FOUNDATIONS. MATCH EXISTING PIPE SIZE, HEIGHTS, AND THICKNESS. ALL MATERIALS ARE TO BE GALVANIZED. REMOVE AND REPLACE ALL DAMAGED AND MISSING FENCE TOP SAFETY GUARD AT BALL FIELD FENCING TO MATCH EXISTING. FASTEN PER MANUFACTURER'S RECOMMENDATIONS.
8. **CHAIN-LINK FABRIC REPLACEMENT:** ALL SECTIONS OF STRETCHED, DEFORMED, AND MISSING CHAIN-LINK MESH ARE TO BE REPLACED BY OVERLAPPING NEW FABRIC SECTIONS TO EXISTING. PROVIDE NEW FABRIC TO MATCH EXISTING SIZE AND HEIGHT, MINIMUM 9 GAUGE. ALL CONNECTIONS ARE TO BE INSPECTED ALONG THE ENTIRE LENGTH OF FENCE INCLUDING BUT NOT LIMITED TO DOME CAPS, LOOP CAPS, RAIL CAPS, TENSION BANDS, TENSION WIRE, ETC. VERIFY ALL FABRIC IS STRETCHED TAUT FREE OF SAG. VERIFY FABRIC IS SECURED TO LINE POSTS WITH METAL FENCE TIES SPACED NO GREATER THAN 12" O.C., TO RAIL SPACED NO GREATER THAN 18" O.C. AND TO TENSION WIRE NO GREATER THAN 18" APART. REPLACE ANY MISSING OR DAMAGED FENCE TIES.
9. **PLASTER REPAIRS:** REMOVE ALL LAYERS OF PLASTER AND REPLACE WITH NEW PLASTER AS SPECIFIED. PREP AND PAINT PLASTER SOFFIT IN ITS ENTIRETY AS SPECIFIED.
10. **METAL COVERING REPAIRS:** REMOVE AND REPLACE DEFORMED AND MISSING METAL ROOF PANELS. REMOVE AND REPLACE ALL CRACKED AND BENT SUPPORTS AND CONDITIONS. SALVAGE UNDATED MATERIALS FOR REINSTALL. ALL MISSING AND DAMAGED ROOFS AND SUPPORTS ARE TO BE REMOVED AND REPLACED WITH VERTICAL SUPPORTS AND FOUNDATIONS TO MATCH EXISTING. EPOXY ANCHOR OR EXPANSION BOLT ALL DETACHED/LOOSE BASE PLATES AS REQUIRED TO SECURE TO FOUNDATION.
11. **MASONRY REPAIRS:** ALL CRACKED, DAMAGED, AND MISSING MASONRY TO BE REMOVED AND REPLACED TO MATCH THE EXISTING MASONRY AND MORTAR COLOR. ALL LOOSE AND DAMAGED SEALANTS BETWEEN DISSIMILAR MATERIALS SHALL BE REMOVED AND REPLACED AS SPECIFIED TO ENSURE WEATHER TIGHTNESS. SEE UNIT PRICES.
12. **WINDOW BLIND REPLACEMENT:** DAMAGED BLINDS ARE TO BE REMOVED AND REPLACED TO MATCH EXISTING AS SPECIFIED.
13. **ACOUSTICAL REPAIRS:** REMOVE AND REPLACE MISSING ACOUSTIC WALL TILE AND GRID AS SPECIFIED.
14. **EXPOSED DECKING:** METAL ROOF DECK INCLUDING METAL TRUSSES ARE TO BE PREPARED AND PAINTED TO MATCH EXISTING AS SPECIFIED.
15. **CMU REPAIRS:** CRACKED CMU BLOCKS AND MORTAR IS TO BE REGROUTED. ALL PAINTED CMU WALLS SHALL BE SAND, PRIME, AND PAINTED AS SPECIFIED AND IN COLOR AND PATTERN TO MATCH EXISTING. ANY WALL MOUNTED ITEMS ARE TO BE REMOVED FOR PAINTING AND REINSTALLED UPON COMPLETION.
16. **GYPSUM BOARD REPAIRS:** ALL DAMAGED GYPSUM BOARD IS TO BE REMOVED AND REPLACED STUD TO STUD, TAPE, FLOAT, SAND, PRIME AND PAINT AS SPECIFIED IN COLOR TO MATCH EXISTING. PAINT ENTIRE WALL CORNER TO CORNER.
17. **PAINTED FINISHES:** EXISTING WALLS ARE WATER DAMAGED. WALLS ARE TO BE SANDED, PREPARED, AND REPAINTED TO MATCH EXISTING CORNER TO CORNER.
18. **WOOD STAGE REPLACEMENT:** REMOVE AND REPLACE WOOD STAGE FLOORING AND STEPS FINISHED SURFACE IN ITS ENTIRETY TO MATCH EXISTING SIZE AND FINISHED.
19. **SPANDREL PANELS REPAIR:** DAMAGED SEALANT TO BE REMOVED BY ABATEMENT CONTRACTOR UNDER SEPARATE CONTRACT. CONTRACTOR SHALL RE SEAL PANEL AS SPECIFIED. REMOVE AND REPLACE CRACKED CAULKING AS SPECIFIED @ LINTEL.
20. **WINDOW REPAIRS:** ABATEMENT CONTRACTOR TO REMOVE CRACKED SEALANT AND CONTRACTOR SHALL RE SEAL AT JOINTS AND RE SEAL WINDOW PANE TO MATCH EXISTING. ALL INDICATED SEALANTS SHALL BE REMOVED BY ABATEMENT CONTRACTOR AND CONTRACTOR SHALL REPLACE AS SPECIFIED TO ENSURE WEATHER TIGHT SEAL.
21. **WINDOW AIR CONDITIONER REPAIRS:** REMOVE PLYWOOD INSERT AND REPLACE WITH INSULATED METAL WINDOW PANEL AS SPECIFIED AND HORIZONTAL SUPPORTS TO MATCH EXISTING SIZE AND PAINT. ALL LOOSE AND DAMAGED SEALANTS SHALL BE REMOVED AND REPLACED AS SPECIFIED TO ENSURE WEATHER TIGHT SEAL. RESET WINDOW UNIT AND INSTALL WEATHER SEAL.
22. **DOOR REPAIRS:** DAMAGED AND DEFORMED FRAMES AND HARDWARE TO BE REMOVED AND REPLACED TO MATCH EXISTING TYPE, STYLE, AND FINISH. RESET DOOR, SEE DOOR SCHEDULE.
23. **INTERIOR STUD PARTITION:** REPAIR WALL FRAMING AND FINISH TO MATCH EXISTING WHERE ADJACENT WALL IS DEMOLISH AND RECONSTRUCTED.
24. **AGGREGATE WALL PANEL REPAIR:** DAMAGED AGGREGATE PANEL TO BE REMOVED BY ABATEMENT CONTRACTOR UNDER SEPARATE CONTRACT. CONTRACTOR TO REPLACE WITH METAL PANEL AND FRAMING AS SPECIFIED. APPLY MASTIC TO CMU WALL AND INSTALL FLAT SHEET GOOD CEMENT FIBRE BOARD WITH METAL STUD FRAMING AS PER MANUFACTURER.
25. **SOFFIT REPLACEMENT:** REMOVE AND REPLACE METAL SOFFIT FLUSH PANEL AND TRIM AS SPECIFIED.
27. **TRANSITE PANEL REPLACEMENT:** ABATEMENT CONTRACTOR IS TO REMOVE REMAINING TRANSITE. CONTRACTOR SHALL REMOVE EXISTING METAL PANELS, LOUVERS AND ASSOCIATED FRAMING AND REPLACE WITH METAL WALL PANEL AS SPECIFIED.
28. **CMU MASONRY WALL REPLACEMENT:** REMOVE AND REPLACE CMU MASONRY WALL WHERE INDICATED AS SPECIFIED. SEE STRUCTURAL.
29. **FACE BRICK CLADDING REPLACEMENT:** REMOVE AND REPLACE FACE BRICK TO MATCH EXISTING AS SPECIFIED.
30. **SECTIONAL DOOR REPLACEMENT:** REMOVE AND REPLACE SECTIONAL HIGH LIFT DOOR AS SPECIFIED. SEE STRUCTURAL.
31. **CEILING/FLOORING REPLACEMENT:** REMOVE AND REPLACE FLOORING AND/OR CEILING AS SCHEDULED.
32. **COUNTERTOP REPAIR:** REMOVE AND REPLACE EXISTING DAMAGED PLASTIC LAMINATE COUNTERTOP AS SPECIFIED.
33. **LEVEL LANDING:** PROVIDE A 5' MIN. LEVEL LANDING AREA AT EACH EXIT WITH A 1:12 MAX SLOPED TRANSITION TO EPOXY COATED FLOOR. NON-SHRINK GROUT AS SPECIFIED.
34. **TRANSITION:** PROVIDE A SLOPED TRANSITION AS SHOWN. NON-SHRINK GROUT AS SPECIFIED.
35. **COMPLETE CHAIN-LINK FENCING REPLACEMENT:** INSTALL CHAIN-LINK FENCING AS SPECIFIED. MATCH EXISTING PIPE SIZE, HEIGHTS, AND THICKNESS. ALL MATERIALS ARE TO BE GALVANIZED.



RANDY M. GOODLOE, AIA, APAC
745 KIRBY STREET
LAKE CHARLES, LOUISIANA

OFFICE: 337.456.3036
FAX: 337.456.3773



LA LICENSE NO. 4086

HURRICANE LAURA STORM REPAIRS

ROSTEET ANNEX

FOR CALCASIEU PARISH SCHOOL BOARD

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PROJECT NO.

20042-03

OWNER PROJECT NO.

HL-738-02

PROJECT MANAGER

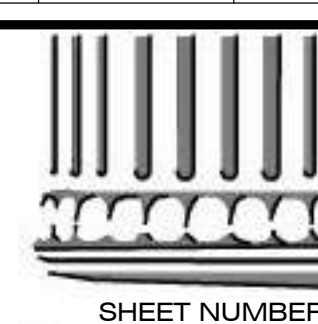
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DATE ISSUED

2023.10.30

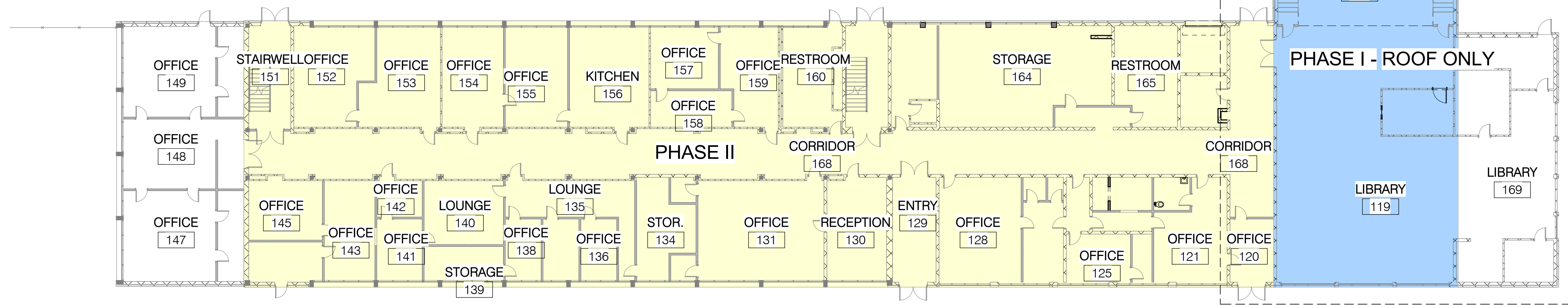
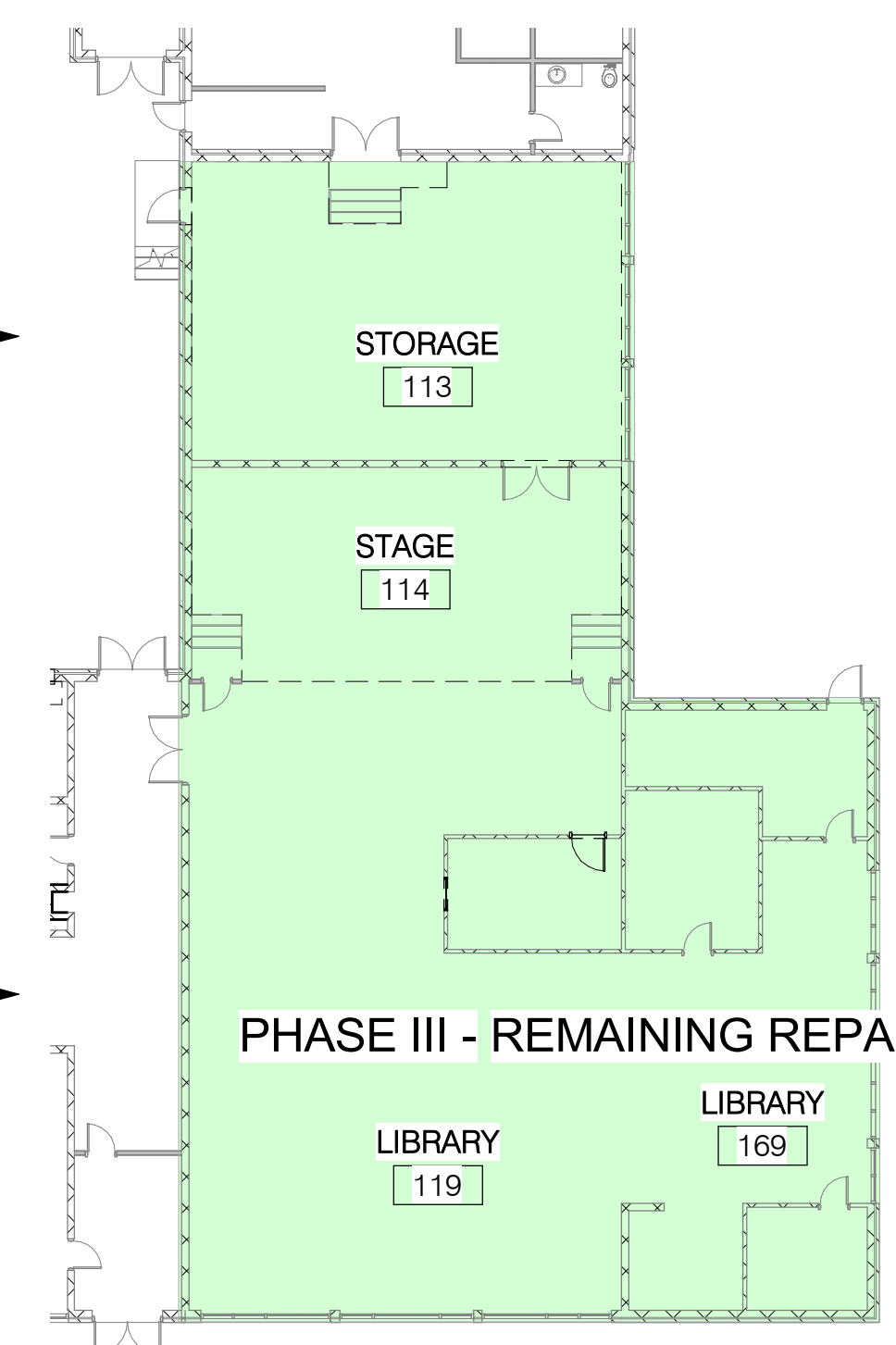
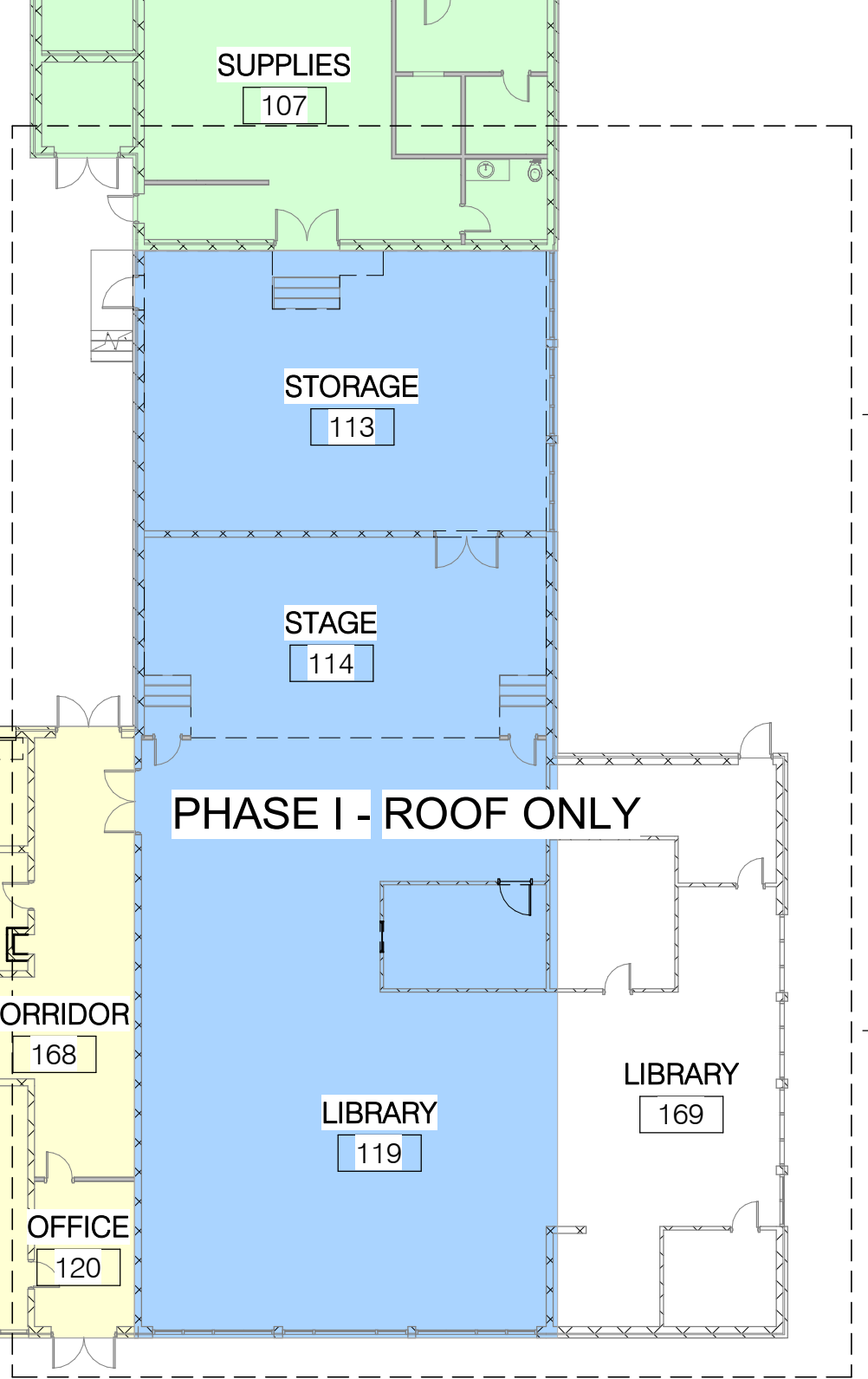
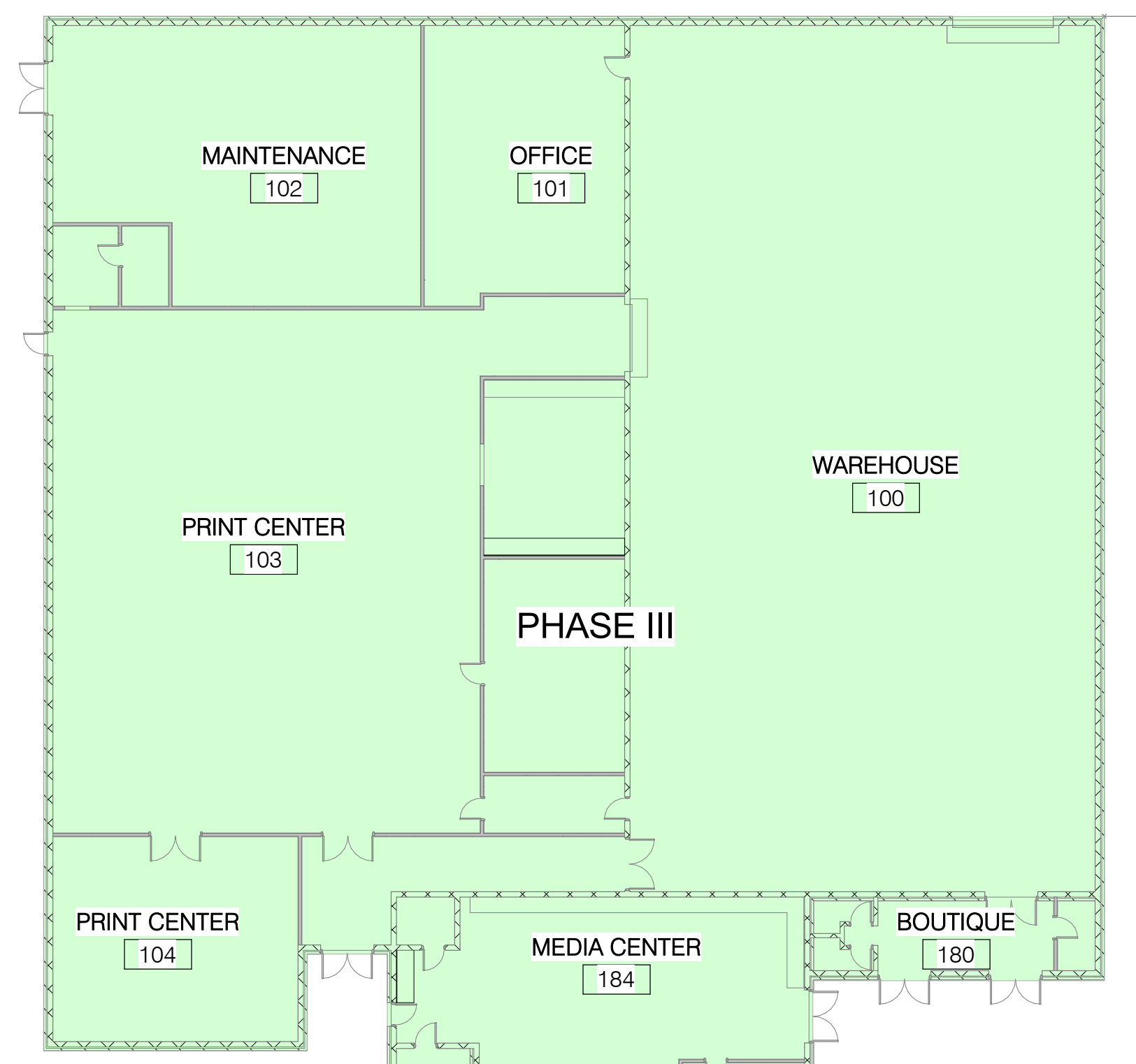
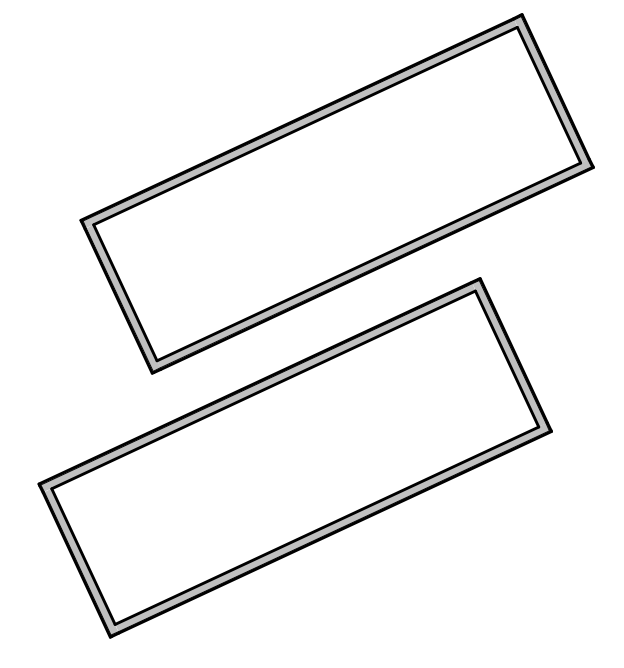
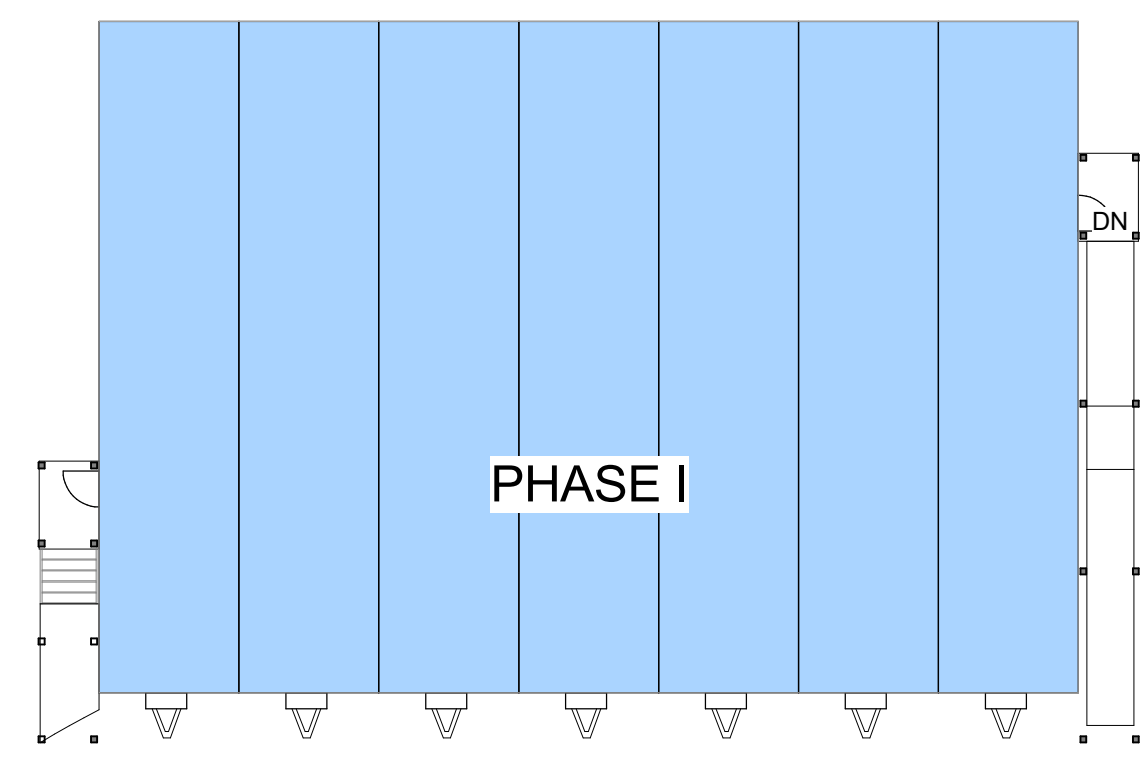
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A	Addendum	1	11/30/2023

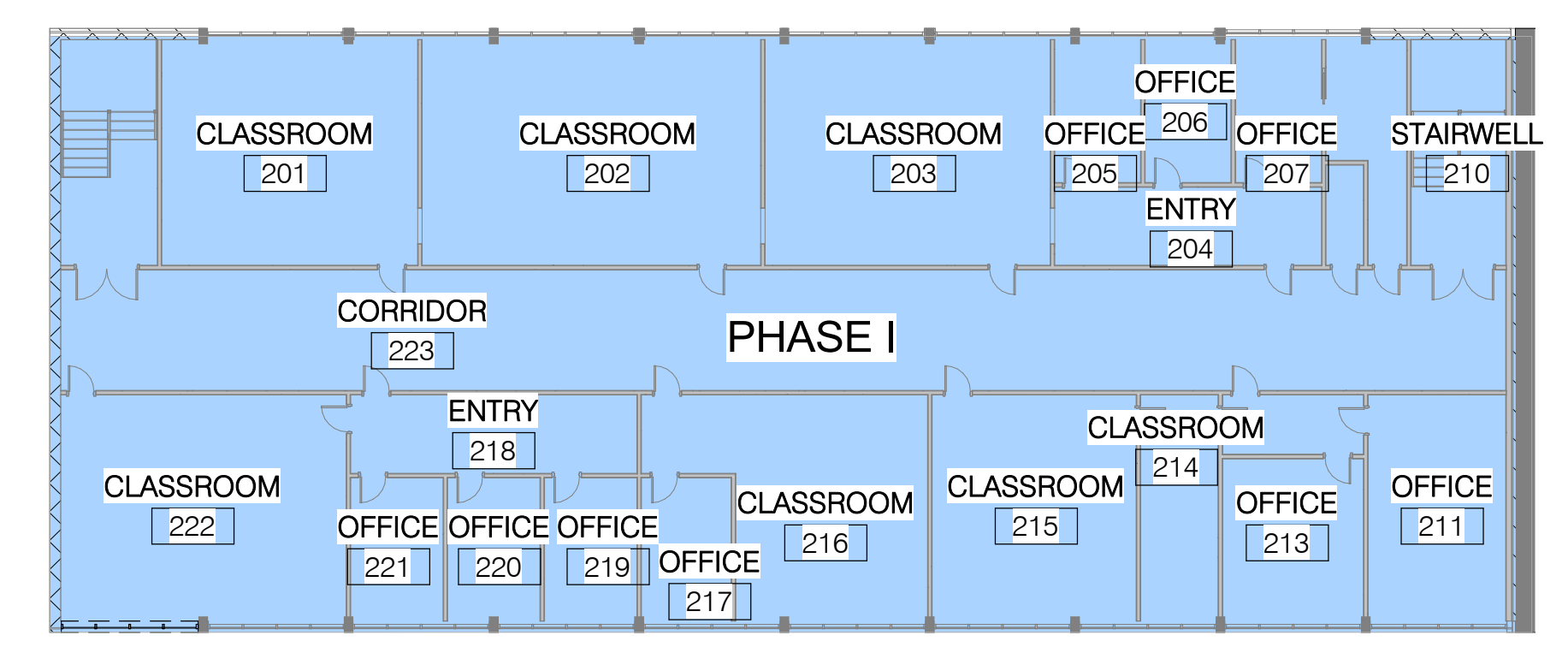


SHEET NUMBER

A-2.12
REFERENCE IMAGES



11 1ST FLOOR PHASING PLAN
1/16" = 1'-0"



16 2ND FLOOR PHASING PLAN
1/16" = 1'-0"

- PHASING LEGEND**
- PHASE I, SEE SPECIFICATION 01 10 00 SUMMARY FOR DESCRIPTION.
 - PHASE II, SEE SPECIFICATION 01 10 00 SUMMARY FOR DESCRIPTION.
 - PHASE III, SEE SPECIFICATION 01 10 00 SUMMARY FOR DESCRIPTION.

12/16/2023 8:43:28 AM



RMG
 RANDY M. GOODLOE, AIA, APAC
 725 KIRBY STREET
 LAKE CHARLES, LOUISIANA
 OFFICE: 337.456.3036
 FAX: 337.456.3773



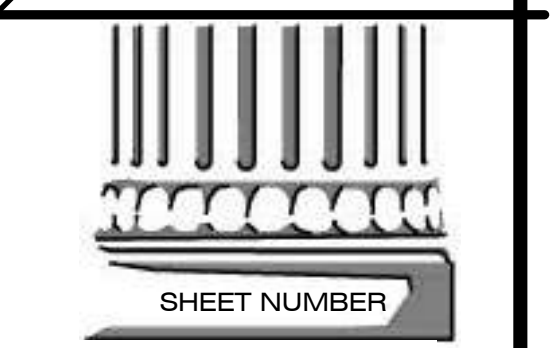
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HURRICANE LAURA STORM REPAIRS
ROSTEET ANNEX
 FOR
 CALCASIEU PARISH SCHOOL BOARD

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PROJECT NO.
20042-03
 OWNER PROJECT NO.
HL-738-02
 PROJECT MANAGER
TM
 DATE ISSUED
2023.10.30

REVISED



A-001
 PHASING PLAN

SECTION 01 10 00 - SUMMARY

PART 1 - GENERAL

1.1 SUMMARY

A. Section Includes:

1. Project information.
2. Work covered by Contract Documents.
3. Phased construction.
4. Contractor's use of site and premises.
5. Coordination with occupants.
6. Work restrictions.
7. Specification and Drawing conventions.

B. Related Requirements:

1. Section 01 50 00 "Temporary Facilities and Controls" for limitations and procedures governing temporary use of Owner's facilities.

1.2 PROJECT INFORMATION

A. Project Identification: Hurricane Laura Repairs – Rosteet Annex – Repairs.

1. Project Location: 2423 6th St., Lake Charles, LA 70601.

B. Owner: Calcasieu Parish School Board.

C. Architect: Randy M Goodloe, AIA APAC.

1. Architect's Representative: Randy Goodloe.

D. Architect's Consultants: Architect has retained the following design professionals, who have prepared designated portions of the Contract Documents:

1. Mechanical Engineer: M & E Consulting Inc.
 - a. Mechanical Representative: Dustin Duval.
2. Electrical Engineer: M & E Consulting Inc.
 - a. Electrical Representative: David Carroll.

E. Construction Manager: CSRS Inc.

1. Construction Manager Representative: Benjamin Rath.

2. Construction Manager has been engaged for this Project to serve as an advisor to Owner and to provide assistance in administering the Contract for construction between Owner and Contractor, according to a separate contract between Owner and Construction Manager.

F. Web-Based Project Software: Project software will be used for purposes of managing communication and documents during the construction stage.

1. See Section 01 31 00 "Project Management and Coordination." for requirements for using web-based Project software.

1.3 WORK COVERED BY CONTRACT DOCUMENTS

A. The Work of Project is defined by the Contract Documents and consists of the following:

1. The Work includes repairs to storm damaged areas of these campuses.
 - a. Repairs to existing interiors including gypsum board walls, painting, lighting, HVAC, plastic laminate cabinets and countertops, insulation, flooring and suspended ceilings.
 - b. Repairs to exterior including CMU and brick wall replacement, plaster, doors, windows, glass replacement, roofing and partial deck replacement, metal wall panels and additional structural framing.
 - c. Misc. site repairs to fencing, sidewalk canopies, signage etc.
 - d. All other Work indicated in the Contract Documents.

B. Type of Contract:

1. Project will be constructed under a single prime contract.

1.4 PHASED CONSTRUCTION

A. The Work shall be conducted in three phases, with each phase substantially complete as indicated.

1. Phase I: Connection of Modulars, Second Floor Renovations and Library Roof.
 - a. Commencement of Construction:
 - 1) Notice to Proceed: Work of this phase shall commence within 14 days after the Notice to Proceed.
 - 2) Work in Phase I includes: See Phasing Diagram. Connection of Electrical Service for the Modular Buildings, re-roofing, abatement and repairs of second floor interior and exterior including entire Stairwells 151 & 161. Roof replacement only in the Library, Stage and Storage Area. These areas will not be occupied by the owner during this phase. Contractor is responsible for relocating all FF & E in these spaces to areas designated by the owner for the duration of this phase and returning FF & E to their original location once this phase is complete. Stairwell work will have to be offset to not impede emergency egress.

2. Phase II: First Floor – SW and SE wings.
 - a. Commencement of Construction:
 - 1) Start Date: Work included in this phase shall commence upon completion of Phase I.
 - 2) Work in Phase II includes: The areas included are all first floor areas of the SW Wing and the SE Wing excluding the Library/Stage and other areas to the East. See Phasing Diagram. Contractor is responsible for relocation of FF & E in these areas to the second floor or modular spaces for the duration of this Phase, then returning all FF & E to their original locations upon completion of this Phase. Abatement of these areas will have to be split into sections to be completed off hours or on weekends/Holidays or containment units to allow owner access to and use of spaces where no work is required and restrooms on the first floor. All interior and exterior repairs to these areas are to be completed in this phase.
 3. Phase III: Library/Stage/Print Shop/Media Center/Warehouse.
 - a. Commencement of Construction:
 - 1) Start Date: Work in this phase shall commence upon completion of Phase II.
 - 2) Work in Phase III includes: See Phasing Diagram for areas included.
Print Shop – all work effecting the Print Shop and adjacent offices is to be performed starting Nov. 1 and complete within five weeks. Owner will contract relocation and reinstallation of all existing copiers/printers in this area. This area must be complete and released to the owner for copiers/printers reinstallation to begin on 12/09/2024. During repairs, they will be stored in the Library space. Contractor is responsible for protection of equipment in this space.

All other areas - Contractor is responsible for relocation of all other FF & E in these areas to the second floor or modular spaces for the duration of this Phase, and returning all FF & E to their original locations upon completion of this Phase.
 4. Substantial Completion: All Work shall be substantially complete within the contract time allowed.
- B. Before commencing Work of each phase, submit an updated copy of Contractor's construction schedule showing the sequence, commencement and completion dates, and move-out and -in dates of Owner's personnel for all phases of the Work.

1.5 CONTRACTOR'S USE OF SITE AND PREMISES

- A. Limits on Use of Site: Limit use of Project site to Work in areas indicated. Do not disturb portions of Project site beyond areas in which the Work is indicated.
 1. Limits on Use of Site: Confine construction operations to a minimum footprint.

2. Driveways, Walkways, and Entrances: Keep driveways loading areas, and entrances serving premises clear and available to Owner, Owner's employees, and emergency vehicles at all times. Do not use these areas for parking or for storage of materials.
- B. Condition of Existing Building: Maintain portions of existing building affected by construction operations in a weathertight condition throughout construction period. Repair damage caused by construction operations.
- C. Condition of Existing Grounds: Maintain portions of existing grounds, landscaping, and hardscaping affected by construction operations throughout construction period. Repair damage caused by construction operations.

1.6 COORDINATION WITH OCCUPANTS

- A. Partial Owner Occupancy: Owner will occupy the premises during entire construction period, with the exception of areas under construction. Cooperate with Owner during construction operations to minimize conflicts and facilitate Owner usage. Perform the Work so as not to interfere with Owner's operations. Maintain existing exits unless otherwise indicated.
- B. Owner Limited Occupancy of Completed Areas of Construction: Owner reserves the right to occupy and to place and install equipment in completed portions of the Work, prior to Substantial Completion of the Work, provided such occupancy does not interfere with completion of the Work. Such placement of equipment and limited occupancy shall not constitute acceptance of the total Work.

1.7 WORK RESTRICTIONS

- A. Comply with restrictions on construction operations.
 1. Comply with limitations on use of public streets, work on public streets, rights of way, and other requirements of authorities having jurisdiction.
- B. On-Site Work Hours: Limit work in the existing building to normal business working hours of 7:00 a.m. to 6:00 p.m., Monday through Friday, unless otherwise indicated or coordinated with owner personnel.
- C. Existing Utility Interruptions: Do not interrupt utilities serving facilities occupied by Owner or others unless permitted under the following conditions and then only after providing temporary utility services according to requirements indicated:
 1. Notify Owner not less than two days in advance of proposed utility interruptions.
 2. Obtain Owner's written permission before proceeding with utility interruptions.
- D. Noise, Vibration, Dust, and Odors: Coordinate operations that may result in high levels of noise and vibration, dust, odors, or other disruption to Owner occupancy with Owner.
 1. Notify Owner not less than two days in advance of proposed disruptive operations.
 2. Obtain Owner's written permission before proceeding with disruptive operations.

- E. Smoking and Controlled Substance Restrictions: Use of tobacco products, alcoholic beverages, and other controlled substances on Owner's property is not permitted.
- F. Employee Identification: All Contractor and subcontractor personnel must wear company badges and/or uniform shirts and/or similar apparel that identifies their employer whenever they are on-site. If physical isolation from students of the Work Area(s) by fencing is not achievable, CPSB badges must be obtained by Contractor prior to commencing work.
 - 1. CPSB Badges: Contractor and subs will be required to submit list of personnel and digital photo for each to CPSB to create badges. Owner will provide identification tags for Contractor personnel working on Project site. Personnel are required to have identification tags on their person at all times.
- G. Employee Screening: Comply with Owner's requirements for drug and background screening of Contractor personnel working on Project site.
 - 1. Maintain list of approved screened personnel with Owner's representative.

1.8 SPECIFICATION AND DRAWING CONVENTIONS

- A. Specification Content: The Specifications use certain conventions for the style of language and the intended meaning of certain terms, words, and phrases when used in particular situations. These conventions are as follows:
 - 1. Imperative mood and streamlined language are generally used in the Specifications. The words "shall," "shall be," or "shall comply with," depending on the context, are implied where a colon (:) is used within a sentence or phrase.
 - 2. Text Color: Text used in the Specifications, including units of measure, manufacturer and product names, and other text may appear in multiple colors or underlined as part of a hyperlink; no emphasis is implied by text with these characteristics.
 - 3. Hypertext: Text used in the Specifications may contain hyperlinks. Hyperlinks may allow for access to linked information that is not residing in the Specifications. Unless otherwise indicated, linked information is not part of the Contract Documents.
 - 4. Specification requirements are to be performed by Contractor unless specifically stated otherwise.
- B. Division 00 Contracting Requirements: General provisions of the Contract, including General and Supplementary Conditions, apply to all Sections of the Specifications.
- C. Division 01 General Requirements: Requirements of Sections in Division 01 apply to the Work of all Sections in the Specifications.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION (Not Used)

END OF SECTION 01 10 00

SECTION 03 62 00 – NON-SHRINK GROUTING

PART 1 – GENERAL

1.10 SUMMARY

- A. Provide non shrink, rapid setting, high strength repair mortar for horizontal structural patch and repair of existing concrete substrate.
- B. Provide high strength, non-metallic, Portland cement based non shrink grout.

1.20 SUBMITTALS

- A. Product Data: Submit manufacturer’s product data and installation for each material and product used. Include manufacturer’s Material Safety Data Sheets.

1.30 REFERENCES

1. ASTM C 109: Compressive Strength of Hydraulic Mortars
2. ASTM C 191: Setting time of Hydraulic Cement
3. ASTM C 882: Slant Shear Bond Strength
4. ASTM C 928: Rapid Hardening Cementitious Materials for Concrete Repairs
5. ASTM C 939: Flow of Grout
6. ASTM C 1107: Hydraulic Cement Grout (Non Shrink)
7. Region III Test Method IV: Freeze/Thaw Testing

1.40 QUALITY ASSURANCE

- A. Manufacturer’s Qualifications: The manufacturer shall be a company with at least fifteen years experience in the manufacturer and marketing of pre-packaged cementitious repair materials.
- B. Installer’s Qualifications: The contractor shall be qualified to perform the work specified by reason of experience.

1.50 DELIVERY, STORAGE AND HANDLING

- A. Deliver products in original packaging, labeled with product identification, manufacturer, batch number and shelf life.
- B. Store products in a dry area. Protect from direct sunlight.
- C. Handle products in accordance with manufacturer’s printed recommendations.

PART 2 – PRODUCTS

2.10 MATERIALS

- A. Non Shrink rapid setting high strength, hydraulic cement based repair mortar and Non Shrink Grouts for horizontal applications. Comply with the following:
1. Manufacturer: Fastset™ Non Shrink Grout (#1585-09) as manufactured by the QUIKRETE® Companies, One Securities Centre, 3490 Piedmont Road, NE, Suite 1300, Atlanta, GA 30305; telephone (404) 634-9100.
 2. Performance and Physical Properties at 73 degrees F and 50 percent relative humidity:
 - a. Compliance: ASTM C 928 R-3 specifications
ASTM C 1107
CRD 621
 - b. Working Time, ASTM C 1107: 15-20 minutes.
 - c. Final Set Time, ASTM C 191: 20-45 minutes.
 - d. Compressive Strength, ASTM C 109 Modified:

Fluid: 2000 psi (13.8 MPa) @ 3 hours, 4000 psi (27.6 MPa) @ 24 hours, 5000 psi (34.5 MPa) @ 7 days and 6500 psi (44.8 MPa) @ 28 days.

Flowable: 2500 psi (19.2 MPa) @ 3 hours, 4500 psi, 4500 psi (31 MPa) @ 24 hours, 5500 psi (37.9 MPa) @ 7 days and 7500 psi (51.7 MPa) @ 28 days.

Plastic: 3000 psi (20.7 MPa) @ 3 hours, 5000 psi (34.5 MPa) @ 24 hours, 6000 psi (41.3 MPa) @ 7 days and 8000 psi (55.1 MPa) @ 28 days.
 - e. Slant Shear Bond Strength, ASTM C 928: 1000 psi (6.9 MPa) @ 24 hours, 1500 psi (10.3 MPa) @ 7 days and 2500 psi (17.2 MPa) @ 28 days.
 - f. Height Change, ASTM C 1090: 0-0.2%.
 - g. Flow at Fluid Consistency, ASTM C 939: 20-30 seconds.

PART 3 – EXECUTION

3.10 EXAMINATION

- A. Examine substrates and conditions under which materials will be installed. Do not proceed with installation until unsatisfactory conditions are corrected.
- B. Coordinate installation with adjacent work to ensure proper sequence of construction. Protect adjacent areas landscaping from contact due to mixing and handling of materials.

3.20 SURFACE PREPARATION:

Comply with manufacturer's printed instructions and the following:

- A. Remove all spalled and unsound concrete from area to be repaired. If rusty reinforcing steel is present; it must be abrasive blasted to remove rust.
- B. Remove enough material to completely expose reinforcing steel.
- C. Large vertical or overhead patches deeper than 2” (50 mm) should contain reinforcing steel. An additional steel should be inserted using appropriate techniques, if none is present.
- D. Clean surface to be repaired of all materials including dust, oil, dirt and grease.
- E. Dampen with clean water before patching and remove standing water.

3.30 **MIXING:**

Comply with manufacturer’s printed instructions and the following:

- A. Material should be mechanically mixed for a minimum of 3 minutes using a five gallon (19L) bucket with a ½” (12mm) drill and paddle mixer. For large grouting applications a standard mortar mixer should be used.
- B. Add 1 ¼ gallon (4.7L) of clean water for each 60lb (27.2 kg) bag to achieve a plastic consistency. (Flowable: 1½ gallon (5.7L), fluid 1¾ gal. (6.6L)).
Add the powder to the water and mix to achieve required placing consistency.
Add water sparingly to reach the desired consistency.
Do not mix more material than can be placed in 15 minutes.
- C. For repair deeper than 2” (50 mm), up to 30 lbs (13.6kg) of clean, high quality ½” (12mm) gravel may be added to the mix at the plastic consistency. The water required will be reduced to 1 gallon (3.8 L) per 60-pound (27.2 kg) bag.
- D. Do not re-temper with additional water.

3.40 **APPLICATION:**

Comply with manufacturer’s printed instructions and the following:

- A. Instructions for use as a Grout
 - 1. The area to be grouted should be thoroughly flushed and soaked with clean water prior to grouting. Leave no standing water.
 - 2. Place the grout quickly and continuously use light rodding or strapping is permitted to eliminate air bubbles.
 - 3. Grout temperature should be maintained from 50°F to 90°F (10°C - 32°C) to achieve specified results. Use cold water in hot weather or hot water in cold weather to achieve desired grout temperature. Do not use if temperature is expected to go below 32°F (0°C) within a 12 hour period.

3.50 **CURING**

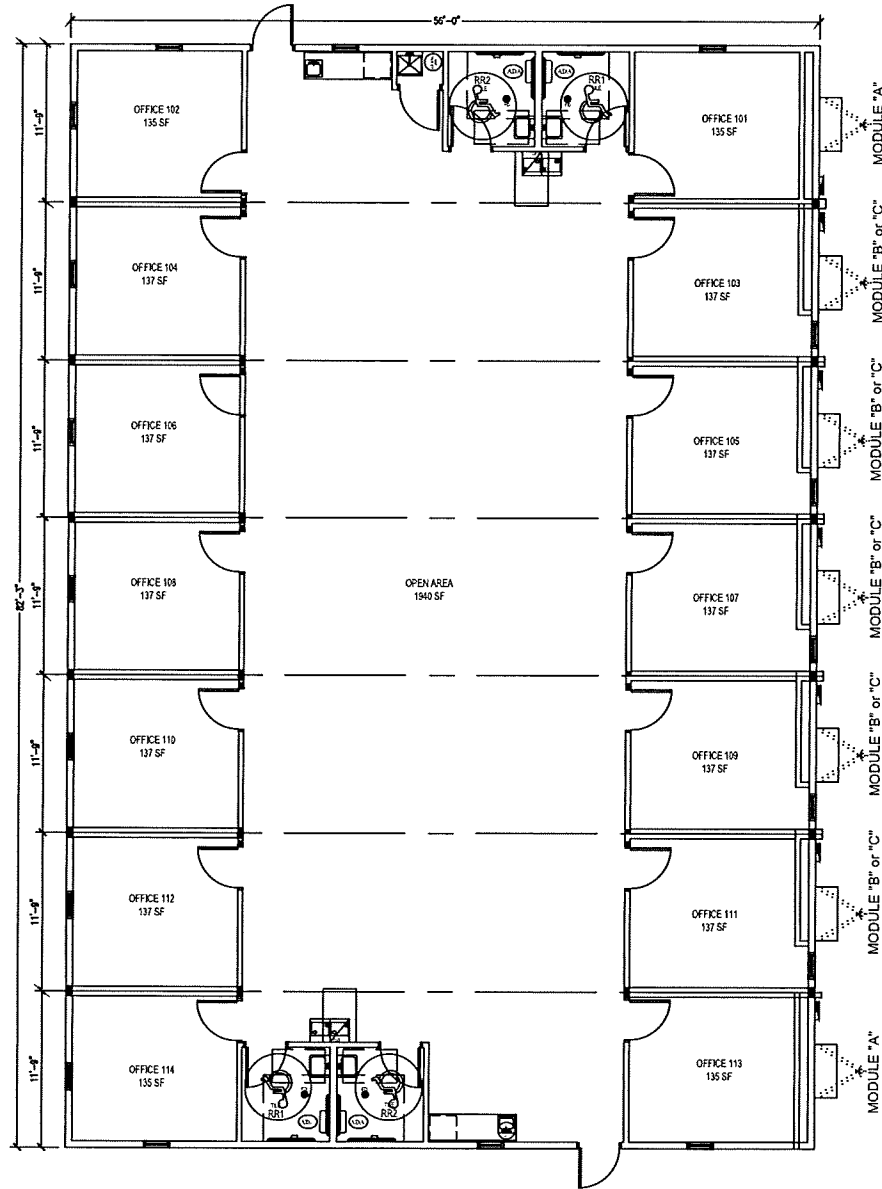
A. Grouting applications must be damp cured for at least one day. No special curing procedures are required for repair applications but sealing surface with QUIKRETE® Acrylic Concrete Sealer (No. 8800) after concrete has hardened will ensure proper curing and help prevent shrinkage cracking.

3.60 **CLEANING**

A. Remove excess material before material cures. If material has cured, remove using mechanical methods that will not damage substrate.

END OF SECTION 03 62 00

Rosteet Annex = RA-01



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General Notes

No.	Revision/Issue	Date

Plan Name and Address

1000 TOWN CENTER | SUITE 075
SOUTHFIELD, MI 48075
P: 617.MODULAR

Project Name and Address

CALCASIEU PARISH SCHOOL
3310 Broad Street
Lake Charles, LA 70615

Project 0456 MODULAR OFFICE	Sheet
Date 04/29/2021	
Scale N/A	

LOUISIANA UNIFORM PUBLIC WORK BID FORM

UNIT PRICE FORM

TO: Calcasieu Parish School Board
3310 Broad Street, Lake Charles, LA 70615

BID FOR: Hurricane Laura Damages Restoration Project:
Rosteet Annex – Repairs
Lake Charles, LA 70601

UNIT PRICES: This form shall be used for any and all work required by the Bidding Documents and described as unit prices. Amounts shall be stated in figures and only in figures.

DESCRIPTION:	Acoustical Ceiling Tile <input checked="" type="checkbox"/> Base Bid or <input type="checkbox"/> Alt.# ____			
REF. NO.	QUANTITY:	UNIT OF MEASURE:	UNIT PRICE	UNIT PRICE EXTENSION (<i>Quantity times Unit Price</i>)
1	3,000	Each		

DESCRIPTION:	2x Wood Blocking <input checked="" type="checkbox"/> Base Bid or <input type="checkbox"/> Alt.# ____			
REF. NO.	QUANTITY:	UNIT OF MEASURE:	UNIT PRICE	UNIT PRICE EXTENSION (<i>Quantity times Unit Price</i>)
2	1,200	Board Foot		

DESCRIPTION:	Insulation <input checked="" type="checkbox"/> Base Bid or <input type="checkbox"/> Alt.# ____			
REF. NO.	QUANTITY:	UNIT OF MEASURE:	UNIT PRICE	UNIT PRICE EXTENSION (<i>Quantity times Unit Price</i>)
3	25,000	Square Foot		

DESCRIPTION:	2x2 Suspended Ceiling Grid <input checked="" type="checkbox"/> Base Bid or <input type="checkbox"/> Alt.# ____			
REF. NO.	QUANTITY:	UNIT OF MEASURE:	UNIT PRICE	UNIT PRICE EXTENSION (<i>Quantity times Unit Price</i>)
4	1,000	Square Foot		

DESCRIPTION:	3NA-22GA Roof Deck <input checked="" type="checkbox"/> Base Bid or <input type="checkbox"/> Alt.# ____			
REF. NO.	QUANTITY:	UNIT OF MEASURE:	UNIT PRICE	UNIT PRICE EXTENSION (<i>Quantity times Unit Price</i>)
5	2,500	Square Foot		

DESCRIPTION:	1.5B-22GA Roof Deck <input checked="" type="checkbox"/> Base Bid or <input type="checkbox"/> Alt.# ____			
REF. NO.	QUANTITY:	UNIT OF MEASURE:	UNIT PRICE	UNIT PRICE EXTENSION (<i>Quantity times Unit Price</i>)
6	5,000	Square Foot		

DESCRIPTION:	N/A <input type="checkbox"/> Base Bid or <input type="checkbox"/> Alt.# ____			
REF. NO.	QUANTITY:	UNIT OF MEASURE:	UNIT PRICE	UNIT PRICE EXTENSION (<i>Quantity times Unit Price</i>)
7	n/a	n/a		

Wording for “DESCRIPTION” is to be provided by the Owner.
All quantities are estimated. The contractor will be paid based upon actual quantities as verified by the Owner.

SECTION 01 22 00 - UNIT PRICES

PART 1 - GENERAL

1.1 SUMMARY

- A. Section includes administrative and procedural requirements for unit prices.
- B. Related Requirements:
 - 1. Section 01 26 00 "Contract Modification Procedures" for procedures for submitting and handling Change Orders.

1.2 DEFINITIONS

- A. Unit price is an amount incorporated in the Agreement, applicable during the duration of the Work as a price per unit of measurement for materials, equipment, or services, or a portion of the Work, added to or deducted from the Contract Sum by appropriate modification, if the scope of Work or estimated quantities of Work required by the Contract Documents are increased or decreased.

1.3 PROCEDURES

- A. Unit prices include all necessary material, plus cost for delivery, installation, insurance, overhead, and profit.
- B. Measurement and Payment: See individual Specification Sections for work that requires establishment of unit prices. Methods of measurement and payment for unit prices are specified in those Sections.
- C. Owner reserves the right to reject Contractor's measurement of work-in-place that involves use of established unit prices and to have this work measured, at Owner's expense, by an independent surveyor acceptable to Contractor.
- D. List of Unit Prices: A schedule of unit prices is included in Part 3. Specification Sections referenced in the schedule contain requirements for materials described under each unit price.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 SCHEDULE OF UNIT PRICES

A. Unit Price Ref. No. 1: Acoustical Ceiling Tile

1. Description: Price is to include providing and installing new 2' x 2' acoustical ceiling tile with R-30 unfaced fiberglass batt insulation as specified.
2. Unit of Measurement: each

B. Unit Price Ref. No. 2: 2x Wood Blocking

1. Description: Price is to include removal, disposal and replacement of any damaged 2x roof edge blocking.
2. Unit of Measurement: Board Foot

C. Unit Price Ref. No. 3: Insulation

1. Description: Price is to include providing and installing new unfaced R-30 fiberglass batt insulation as specified above suspended ceilings.
2. Unit of Measurement: square foot

D. Unit Price Ref. No. 4: 2x2 Suspended Ceiling Grid

1. Description: Price is to include removal and replacement of existing 2'x2' suspended ceiling grid as specified.
2. Unit of Measurement: square foot

E. Unit Price Ref. No. 5: 3NA – 22GA Roof Deck

1. Description: Price is to include removal and replacement of existing damaged 3NA – 22GA metal roof decking.
2. Unit of Measurement: square foot

F. Unit Price Ref. No. 6: 1.5B – 22GA Roof Deck

1. Description: Price is to include removal and replacement of existing damaged 1.5B – 22GA metal roof decking.
2. Unit of Measurement: square foot

END OF SECTION 01 22 00