

PROJECT:

EFLAND-CHEEKS ELEMENTARY SCHOOL
GENERAL RENOVATIONS
ORANGE COUNTY SCHOOLS
4401 FULLER ROAD
EFLAND, NORTH CAROLINA 27243

DESIGNER:

SUD ASSOCIATES, P.A.

CONSULTING ENGINEERS
LICENSE NO. C-0315

CONSULTANTS:

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OWNER'S REPRESENTATIVE:

Mr. Patrick Florence, Project Manager

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SITE PLAN

Revision			PROJECT #	NC33X001
ID	Date	Description	REVIEWED BY	I.S.
			DESIGNED BY	JPY, DMD
			DRAWN BY	JWS
			DRAWING DATE	02-26-2024
			SHEET NUMBER	G-001

ORANGE COUNTY SCHOOLS

EFLAND CHEEKS ELEMENTARY SCHOOL
GENERAL RENOVATIONS

Scope of Work

Intent: It is the intention of the specifications, drawings, and contract documents, to provide renovations to Efland-Cheeks Elementary School. The work will include architectural/general construction, plumbing, mechanical, electrical, and fire alarm work. The scope includes all work indicated or implied by the drawings or specifications. It includes all items that may not be specifically shown but are required for a complete and finished job or may be required by codes or regulations. Work on this project will be covered by a single prime contract. The prime contractor shall coordinate the work of the sub-contractors. The prime contractor will be responsible for getting the general construction, plumbing, mechanical, electrical, fire alarm and other specialty work done by properly licensed sub-contractors approved by the owner. The prime contractor shall also be responsible for getting all inspections by the local authorities, including the third-party rated door inspections required by the local fire marshal. Highlights of the scope of work for each trade are summarized below. The highlights do not provide an exhaustive listing, or details of the work required.

Base Bid

Architectural/General Construction:

- Demolition and reinstallation of flooring, ceilings, walls and doors.
- Demolition and reinstallation of exterior windows.
- Demolition and reconstruction of bathrooms.
- Exterior sidewalks as required on site drawings.
- Other architectural modifications included in the drawings and/or specifications.

Plumbing:

- Demolition of existing plumbing fixtures and installation of new plumbing fixtures.
- Replace three water heaters, consolidating to two water heaters. Add recirculation piping and two pumps.
- Revise piping as required for new locations of some fixtures.
- Replace PEX piping in return air plenum with copper piping.

Mechanical:

- Demolition of most existing supply diffusers, some existing exhaust grilles, and some existing return grilles.
- Provide new supply diffusers, some new exhaust grilles, and some new return grilles.
- Demolish six exhaust fans on the roof and replace them with new ones.
- Demolish one exhaust fan and cap the curb.
- Remove caps from two roof curbs and provide two new exhaust fans in those locations.
- Revise duct and diffuser layout where one room is divided into two (Media 41).
- Provide connecting supply duct between WSHP-A1 and WSHP-A2 for use when work is being done in Area A-1.

Electrical:

- Demolition of most of the light fixtures and provision of new replacement LED fixtures. Existing LED bulbs which are removed are to be protected from damage and turned over to the owner.
- Provide circuits required for plumbing equipment and exhaust fans. Coordinate termination and energizing with plumbing and mechanical contractors. Maintain existing panelboards, overcurrent protection devices and update machine-written circuit directories.
- Provide new exit signs as indicated on the drawings.
- Provide egress lighting as indicated on the drawings.
- Demolish old A/V equipment and cabling.
- Demolish receptacles in walls that are being removed.
- Provide new outlets and data drops in select locations as indicated on the drawings.
- Provide GFCI outlets for drinking fountains.
- Coordinate and conduct electrical inspections.

Fire Alarm:

- Add fire alarm pull stations where indicated on the drawings.
- Maintain, test and re-certify existing Edwards EST-2 fire alarm system.

Alternates

- Owner Preferred Alternate OP-G1: Under Section 087000 Hardware, provide cylinders and cores by Corbin Russwin.
- Owner Preferred Alternate OP-P1: Provide Elkay Model LZSTL8WSSK dual height filtered bottle filler refrigerated drinking fountains where called for in the drawings and Plumbing Schedule.
- Alternate: G1: Provide all work associated with new aluminum canopies in Phase 2 & Phase 3. See drawings for details and locations.
- Alternate: G2: ADD alternate for work of all trades associated with Phase 6 of the project.

ORANGE COUNTY SCHOOLS

EFLAND CHEEKS ELEMENTARY SCHOOL
GENERAL RENOVATIONS

Overview
Construction Schedule and Phasing

February 26, 2024

Highlights of the construction scheduling and phasing for the project are summarized as:

Intent to Award (ITA): April 2024

Award of Notice to Proceed: (NTP) April 2024

School out for Summer (SOS 2024): June 17, 2024. This is the last day of school before the summer break.

School Back in Session for Fall (SBF-2024): August 14, 2024 (estimated). This is the last date of the summer break before teachers come back.

School out for Winter Break (SOW 2024-25): December 23, 2024

School back from Winter Break (SBW 2024-25): January 3, 2025

Spring Semester (SS 2025): January 3, 2025, thru June 11, 2025 (estimated).

School out for Summer (SOS 2025): June 11, 2025 (estimated). This is the last day of school before the summer break.

School Back in Session for Fall (SBF-2025): August 18, 2025 (estimated). This is the last date of the summer break before school comes back in session.

School out for Winter Break (SOW 2025-26): December 22, 2025 (estimated).

School back from Winter Break (SBW 2025-26): January 5, 2026(estimated).

Spring Semester (SS 2026): January 5, 2026, thru June 11, 2026 (estimated).

School out for Summer (SOS 2026): June 11, 2026 (estimated). This is the last day of school before the summer break.

School Back in Session for Fall (SBF-2026): August 18, 2025 (estimated). This is the last date of the summer break before school comes back in session.

During periods of time when school is not in session, the contractor will be given access to the building 24 hours a day, seven days a week. When school is in session the contractor will be given access to the part of the building indicated by the phasing plan on Sheet PH-100 and the rest of the building will be occupied by the owner.

It is the Contractor's responsibility to develop and present a project staffing and construction schedule that demonstrates orderly progress of construction. Contractors are alerted that there is a significant amount of work to be done and they are encouraged to take full opportunity of the permitted construction activities during each period.

During construction, the contractor will be responsible for maintaining life safety, toilet facilities, HVAC, and utilities, in all areas of the building where work is not actively on going.

The suggested construction to be accomplished during each of the periods to demonstrate orderly progress is summarized below. This is for informational purposes only, and the Contractor is free to make modifications as long as orderly progress to completion is maintained.

Between Award of Notice to Proceed and School Out for Summer (SOS 2024): During this period, the contractor will be given limited access to the site. During this period, the Contractor is expected to coordinate with the subcontractors and the suppliers. Schedule site visits to plan and take site information. Prepare and submit the detailed construction sequence, schedule, and shop drawings.

Refer to Sheet PH-100 of the construction document drawings for suggested phasing of the project.

Project Close-out:

As-built drawings and required/requested close out documentation shall be provided by September 30, 2026.

Liquidated damages and other specified penalties will be assessed if all work on the project is not complete by (SBF-2026) or if the As-built drawings and required/requested close out documentation is not provided by September 30, 2026.



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Feb 27, 2024

EFLAND-CHEEKS ELEMENTARY SCHOOL
GENERAL RENOVATIONS

ORANGE COUNTY SCHOOLS
4401 FULLER ROAD

EFLAND, NORTH CAROLINA 27243

SCOPE OF WORK AND SCHEDULE

This drawing and the design are the property of Sud Associates, P.A., Consulting Engineers. The reproduction, copying or other use of this drawing without their written permission is prohibited and infringement will be subject to legal action.

Revision		
ID	Date	Description

PROJECT NUMBERNC33X001	
REVIEWED BY	I.S.
DESIGNED BY	DMD
DRAWN BY	JWS
DRAWING DATE	02-26-2024

SHEET NUMBER

G-002

APPENDIX B
2018 BUILDING CODE SUMMARY
FOR ALL COMMERCIAL PROJECTS
(EXCEPT ONE AND TWO-FAMILY DWELLINGS AND TOWNHOUSES)

Name of Project: **EFLAND CHEEKS ELEMENTARY SCHOOL RENOVATION PHASE TWO**
Address: **4401 FULLER ROAD, EFLAND, NORTH CAROLINA** Zip Code **27243**
Owner or Auth. Agent: **Patrick Florence** Phone # **(919) 732-8126** Email **patrick.florence@orange.k12.nc.us**
Owned By: ☒ City/County ☐ Private ☐ State
Code Enforcement Jurisdiction: ☐ City ☒ County **ORANGE COUNTY** ☐ State

CONTACT: **DIXIE M. DAVIS, P.E.**
DESIGNER FIRM NAME LICENSE # TELEPHONE # EMAIL
Architectural **DTW ARCHITECTS** **P. YOUNG** **11388** (919) 317-4020 **pyoung@dtwarch.com**
Civil **NVS** **M. ALLEN** **22514** (919) 851-1912 **Michael.Allen@nvs.com**
Electrical **BURDETTE ENGINEERING** **D. BURDETTE** **12042** (854) 297-8717 **dburdette@burdetteengr.com**
Fire Alarm **BURDETTE ENGINEERING** **D. BURDETTE** **12042** (854) 297-8717 **dburdette@burdetteengr.com**
Plumbing **SUD ASSOCIATES, P.A.** **DIXIE M. DAVIS** **14050** (919) 493-5277 **ddavis@sudassociates.com**
Mechanical **SUD ASSOCIATES, P.A.** **DIXIE M. DAVIS** **14050** (919) 493-5277 **ddavis@sudassociates.com**
Spr.-Stand. **NVS** **C. BERG** **20609** (919) 851-1912 **Chris.Berg@nvs.com**
Structural **NVS** **C. BERG** **20609** (919) 851-1912 **Chris.Berg@nvs.com**
Ret. Walls >5' High _____
Other _____
(¹Other¹ should include firms and individuals such as truss, precast, pre-engineered, interior designers, etc.)

2018 BUILDING CODE: ☐ New Building ☐ Shell/Core ☐ 1st Time Interior Completions
☐ Addition ☐ Phased Construction-Shell Core
2018 NC EXISTING BUILDING CODE: ☐ Prescriptive ☒ Alteration - Lvl 1 ☐ Historic Property
(check all that apply) ☐ Repair ☐ Alteration - Lvl 2 ☐ Change of Use
☐ Alteration - Lvl 3
CONSTRUCTED: (date) **1964** CURRENT USE(S): (Ch. 3): **EDUCATION**
RENOVATED: (date) **2011** PROPOSED USE(S): (Ch. 3): **EDUCATION**
OCCUPANCY CATEGORY (Table 1004.5): Current: **IV** Proposed: **IV**

BASIC BUILDING DATA

Construction Type: ☐ I-A ☐ II-A ☐ III-A ☐ IV ☐ V-A
☐ I-B ☒ II-B ☐ III-B ☐ V-B
Sprinklers: ☒ No ☐ Partial ☐ NFPA 13 ☐ NFPA 13R ☐ NFPA 13D
Standpipes: ☒ No ☐ Class ☐ I ☐ II ☐ III ☐ Wet ☐ Dry
Primary Fire District: ☒ No ☐ Yes Flood Hazard Area: ☒ No ☐ Yes
Special Inspections Required: ☒ No ☐ Yes

GROSS BUILDING AREA TABLE

FLOOR	EXISTING (SQ.FT)	RENOVATED (SQ.FT)	NEW (SQ.FT)	SUB-TOTAL
6th Floor				
5th Floor				
4th Floor				
3rd Floor				
2nd Floor				
Mezzanine				
1st Floor	64,650	64,650		
Basement	1,201	0		
TOTAL	65,851	64,650		

ALLOWABLE AREA

Primary Occupancy Classification (s):
Assembly ☐ A-1 ☐ A-2 ☐ A-3 ☐ A-4 ☐ A-5
Business ☐
Educational ☒
Factory ☐ F-1 Moderate ☐ F-2 Low
Hazardous ☐ H-1 Detonate ☐ H-2 Deflagrate ☐ H-3 Combust ☐ H-4 Health ☐ H-5 HPM
Institutional ☐ I-1 ☐ I-2 ☐ I-3 ☐ I-4
I-3 Condition ☐ 1 ☐ 2
I-2 Condition ☐ 1 ☐ 2
I-3 Condition ☐ 1 ☐ 2 ☐ H-3 Combust ☐ H-4 Health ☐ H-5 HPM
Mercantile ☐
Residential ☐ R-1 ☐ R-2 ☐ R-3 ☐ R-4
Storage ☐ S-1 Moderate ☐ S-2 Low ☐ High-piled ☐ Parking Garage
☐ Open ☐ Repair Garage
Utility and Misc. ☐

Accessory Occupancies Classification(s): **A2 (CAFETERIA) AND A3 (GYMNASIUM)**
Incidental Uses (Table 509): **BOILER ROOM (1 HOUR)**
This separation is not exempt as a Non-separated Use (see exceptions).
Special Uses (Chapter 4 - List Code Sections): _____
Special Provisions (Chapter 5 - List Code Sections): _____
Mix Occupancy: ☒ No ☐ Yes Separation: _____ Hr. Exception: _____
☐ Non-separated Use (508.3)
☐ Separated Use (508.4)--See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.

Actual Area of Occupancy A _____ + Actual Area of Occupancy B _____ <= Allowable Area of Occupancy A _____ + Allowable Area of Occupancy B _____ + ... = _____ <= 1.00

STORY NO.	DESCRIPTION AND USE	(A) BLDG. AREA PER STORY (ACTUAL)	(B) TABLE 506.2.4 AREA	(C) AREA FOR FRONTAGE INCREASE 1.5	(D) ALLOWABLE AREA PER STORY OR UNLIMITED ^{2,3}

- Frontage area increases from Section 506.2 are computed thus:
 - Perimeter which fronts a public way or open space having 20 feet minimum width = _____ (F)
 - Total Building Perimeter = _____ (P)
 - Ratio (F/P) = _____ (F/P)
 - W = Minimum width of public way = _____ (W)
- Unlimited area applicable under conditions of Sections 507.
- Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2).
- The maximum area of open parking garages must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1.
- Frontage increase is based on the unsprinklered area value in Table 506.2.

	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE
Building Height in Feet (Table 504.3)			
Building Height in Stories (Table 504.4)			

1. Provide code reference. Shown on Plans" quantity is not based on Table 504.3 or 504.4.

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING		DETAIL# AND SHEET#	DESIGN# FOR RATED ASSEMBLY	SHEET# FOR RATED PENETRATION	SHEET# FOR RATED JOINTS
		REQ'D	PROVIDED (IW/REDUCTION)				
Structural Frame, including Columns, Girders, Trusses							
Bearing walls							
Exterior							
North							
East							
West							
South							
Interior							
Nonbearing Walls and Partitions							
Exterior							
North							
East							
West							
South							
Interior walls and partitions							
Floor construction including supporting beams and joists							
Floor Ceiling Assembly							
Columns Supporting Floors							
Roof construction including supporting beams and joists							
Roof Ceiling Assembly							
Columns Supporting Roof							
Shafts Enclosures - Exit							
Shafts Enclosures - Other							
Corridor Separation		1 HR	1 HR	EXISTING	NO CHANGE		
Occupancy/Fire Barrier Separation		2 HR	2 HR	EXISTING	NO CHANGE		
Party/Fire Wall Separation							
Smoke Barrier Separation							
Smoke Partition							
Tenant/Dwelling Unit/ Sleeping Unit Separation							
Incidental Use Separation		1 HR	1 HR	EXISTING	NO CHANGE		

*Indicate section number permitting reduction

PERCENTAGE OF WALL OPENING CALCULATIONS			
FIRE SEPARATION DISTANCE (feet) FROM PROPERTY LINES	DEGREE OF OPENINGS PROTECTION (TABLE 705.8)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)
		N/A	

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting: ☒ Yes ☐ No
Exit Signs: ☒ Yes ☐ No
Fire Alarm: ☒ Yes ☐ No
Smoke Detection Systems: ☒ Yes ☐ No
Carbon Monoxide Detection: ☒ Yes ☐ No

LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet #: **NO CHANGES TO LIFE SAFETY (SEE A=100 FOR EXISTING FIRE RATINGS)**
☒ Fire and/or smoke rated wall locations (Chapter 7)
☐ Assumed and real property line locations (if not on the site plan).
☐ Exterior wall opening area with respect to distance to assumed property lines (705.8)
☐ Occupancy Use for each area as it relates to occupancy load calculations (Table 1004.1.2)
☐ Occupant loads for each area
☐ Exit access travel distances (1017)
☐ Common path of travel distances (Table 1006.2.1 & 1006.3.2(1))
☐ Dead end lengths (1020.4)
☐ Clear exit widths for each exit door
☐ Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
☐ Actual occupant load for each exit door
☐ A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
☐ Location of doors with panic hardware (1010.1.10)
☐ Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
☐ Location of doors with electromagnetic egress locks (1010.1.9.9)
☐ Location of doors equipped with hold-open devices
☐ Location of emergency escape windows (1030)
☐ The square footage of each fire area (202)
☐ The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)
☐ Note any code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE DWELLING UNITS (SECTION 107)					
TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TOTAL ACCESSIBLE UNITS PROVIDED

ACCESSIBLE PARKING (SECTION 1106)					
TOTAL # OF PARKING SPACES		# OF ACCESSIBLE SPACES PROVIDED			TOTAL # ACCESSIBLE UNITS PROVIDED
LOT OR PARKING AREA	REQUIRED	PROVIDED	15' ACCESSIBLE	13' ACCESSIBLE	
TOTAL					

PLUMBING FIXTURE REQUIREMENTS
(TABLE 2902.1)

USE		WATER CLOSETS			URINALS		LAVATORIES		SHOWERS /TUBS	DRINKING FOUNTAINS	
		Male	Female	Unisex	Male	Female	Male	Female		REGULAR	ACCESSIBLE
SPACE	EXISTING										
	NEW										
	REQUIRED										

SPECIAL APPROVALS

Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, ICC, etc., describe below)
DEPARTMENT OF PUBLIC INSTRUCTION ORANGE COUNTY PLANNING SITE COMPLIANCE

ENERGY SUMMARY

ENERGY REQUIREMENTS:
The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design versus the annual energy cost for the proposed design.
Existing building envelope complies with code: ☐ (If checked, the remainder of this section is not applicable.)
Exempt Building: ☐ Provide code or statutory reference: _____
Climate Zone: ☐ 3A ☐ 4A ☐ 5A
Method of Compliance:
Energy Code: ☐ Performance ☐ Prescriptive
ASHRAE 90.1: ☐ Performance ☐ Prescriptive
Other: ☐ Performance (specify source) _____

THERMAL ENVELOPE: (Prescriptive method only)

Root/Ceiling Assembly (each assembly)
Description of assembly _____
U-Value of total assembly _____
R-Value of insulation _____
Skylights in each assembly _____
U-Value of skylight _____
Total square footage of skylights in each assembly _____
Exterior Walls (each assembly)
Description of assembly _____
U-Value of total assembly _____
R-Value of insulation _____
Openings (windows or doors with glazing) _____
U-Value of assembly _____
Solar heat gain coefficient _____
Projection factor _____
Door R-Values _____
Walls below grade (each assembly)
Description of assembly _____
U-Value of total assembly _____
R-Value of insulation _____
Floors over unconditioned space (each assembly)
Description of assembly _____
U-Value of total assembly _____
R-Value of insulation _____
Floors slab on grade
Description of assembly _____
U-Value of total assembly _____
R-Value of insulation _____

STRUCTURAL DESIGN

DESIGN LOADS:
Importance Factors: Wind (I_w) _____
Snow (I_s) _____
Seismic (I_e) _____
Live Loads: Roof _____ psf
Mezzanine _____ psf
Floor _____ psf
Ground Snow Load: _____ psf
Wind Load: Basic Wind Speed _____ mph (ASCE-7)
Exposure Category _____
SEISMIC DESIGN CATEGORY: ☐ A ☐ B ☐ C ☐ D
Provide the following Seismic Design Parameters:
Occupancy Category (Table 1004.5) ☐ I ☐ II ☐ III ☐ IV
Spectral Response Acceleration ☐ A ☐ B ☐ C ☐ D ☐ E ☐ F
Site Classification (ASCE 7) ☐ S₁ _____ %
Data Source: ☐ Field Test ☐ Presumptive ☐ Historical Data
Basic structural system (check one)
☐ Basic Moment Resisting Frame
☐ Dual w/ Special Moment Frame
☐ Dual w/ Intermediate R/C or Special Steel
☐ Inverted Pendulum
Analysis Procedure: ☐ Simplified ☐ Equivalent Lateral Force ☐ Dynamic
Architectural, Mechanical, Components anchored? ☐ Yes ☐ No
Seismic base shear: V_x = _____ V_y = _____
LATERAL DESIGN CONTROL: ☐ Earthquake ☐ Wind
SOIL BEARING CAPACITIES:
Field Test (provide copy of test report) _____ psf
Presumptive Bearing capacity _____ psf
Pile size, type, and capacity _____

MECHANICAL SUMMARY

MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT
Thermal Zone _____
Winter dry bulb _____
Summer dry bulb _____
Interior design conditions
Winter dry bulb _____
Summer dry bulb _____
Relative humidity _____
Building heating load _____
Building cooling load _____
Mechanical Spacing Conditioning System
Unitary _____
Description of unit _____
Heating efficiency _____
Cooling efficiency _____
Size category of unit _____
Boiler _____
Size category. If oversized, state reason. _____
Chiller _____
Size category. If oversized, state reason. _____
List equipment efficiencies _____

ELECTRICAL SUMMARY

ELECTRICAL SYSTEM AND EQUIPMENT
Method of Compliance
Energy Code: ☐ Prescriptive ☐ Performance
ASHRAE 90.1: ☐ Prescriptive ☐ Performance
Lighting schedule (each fixture type)
Lamp type required in fixture _____
Number of lamps in fixture _____
Ballast type used in the fixture _____
Number of ballasts in the fixture _____
Total wattage per fixture _____
Total interior wattage specified vs. allowed _____
Total exterior wattage specified vs. allowed _____
Additional Prescriptive Compliance
☐ 506.2.1 More Efficient Mechanical Equipment
☐ 506.2.2 Reduced Lighting Power Density
☐ 506.2.3 Energy Recovery Ventilation Systems
☐ 506.2.4 Higher Efficiency Service Water Heating
☐ 506.2.5 On-site Supply of Renewable Energy
☐ 506.2.6 Automatic Daylighting Control Systems

ABBREVIATIONS			
@	at	LAM.	lamine
ALT.	alternate	LAV.	lavatory
ALUM.	aluminum	LTL.	lintel
APPR.	approximate	LT. WT.	light weight
BD.	board	MAG.	magnetic
BLDG.	building	MAS.	masonry
B.U.R.	built up roof	MAX.	maximum
C.J.	control joint	MECH.	mechanical
CLG.	ceiling	MIN.	minimum
CLR.	clear	M.O.	masonry opening
C.M.U.	concrete masonry unit	M.R.	moisture resistant
COL.	column	M.T.	metal threshold
CONC.	concrete	MTL or MET.	metal
CONT.	continuous	N.I.C.	not in contract
CONTR.	contractor	N.T.S.	not to scale
C.T.	ceramic tile	O.C.	on center
DIM.	dimension	OPN'G	opening
DN.	down	OPP.	opposite
DS.	downspout	PART'N.	partition
DWG.	drawing	FL.	plate
EA.	each	PLYW'D.	plywood
E.J.	expansion joint	PREFIN.	pre-finish
EL. or ELEV.	elevation	PT.	point
ELEC.	electrical	PWR.	power
EQ.	equal	R.A.G.	return air grill
E.W.C.	electric water cooler	R.D.	roof drain
EXIST.	existing	REF.	reference
EXP.	expansion	REINF.	reinforced
F.D.	floor drain	REQ'D.	required
FIN.	finish	RM.	room
FLOOR.	floor	RW. L.	rainwater leader
F.O.B.	face of brick	SIM.	similar
F.O.C.	face of concrete	S. STL.	stainless steel
F.O.M.	face of masonry	STL.	steel
GA.	gauge	STRUCT.	structural
GALV.	galvanized	SUSP.	suspended
G.B.	grab bar	TH'LD.	threshold
GL.	glass	TYP.	typical
GYP.	gypsum	V.C.T.	vinyl composition tile
H.M.	hollow metal	V.I.F.	verify in field
HT.	height	V.W.C.	vinyl wall covering
INSUL.	insulation	WD.	wood
INV.	invert	W/	with
JT.	joint		

SYMBOLS AND NOTATIONS			
	AREA NAME		CONCRETE MASONRY
	AREA NUMBER		BRICK
	DOOR TYPE OR NUMBER		CONCRETE
	DRAWING NUMBER		PLYWOOD
	ELEVATION NUMBER & DIRECTION OF VIEW		FINISH WOOD
	SECTION NUMBER & DIRECTION OF VIEW		BATT INSULATION
	DETAIL NUMBER		RIGID INSULATION
	COLUMN LINE NUMBER		PLASTER, GYP. BD.
	EQUIPMENT TYPE OR NUMBER		EARTH
	CASEWORK TYPE OR NUMBER		

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DATA SHEET

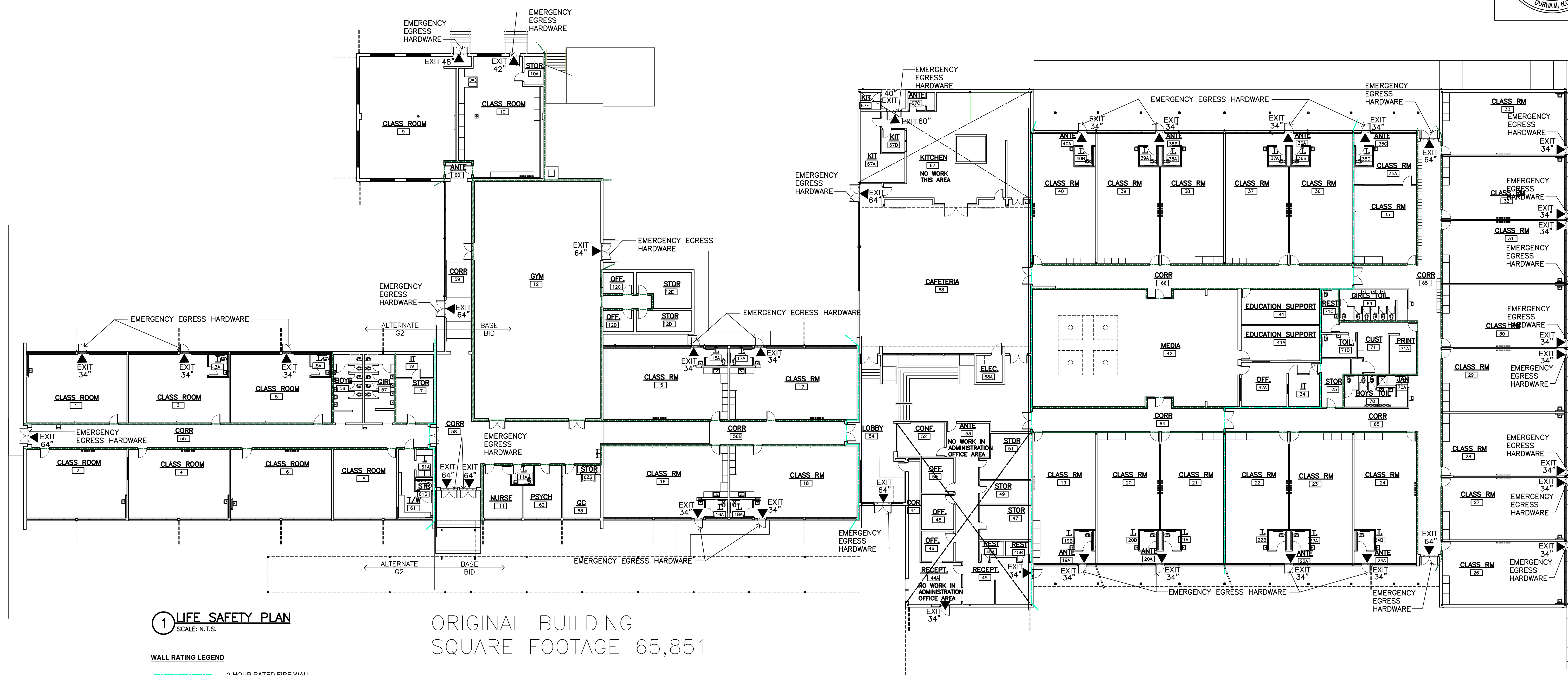
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Revision

ID	Date	Description

PROJECT # NC27X007
REVIEWED BY J. Young
DESIGNED BY J. Young
DRAWN BY P. Martin
DRAWING DATE 02/26/2024
SHEET NUMBER

T-100



ORIGINAL BUILDING
SQUARE FOOTAGE 65,851

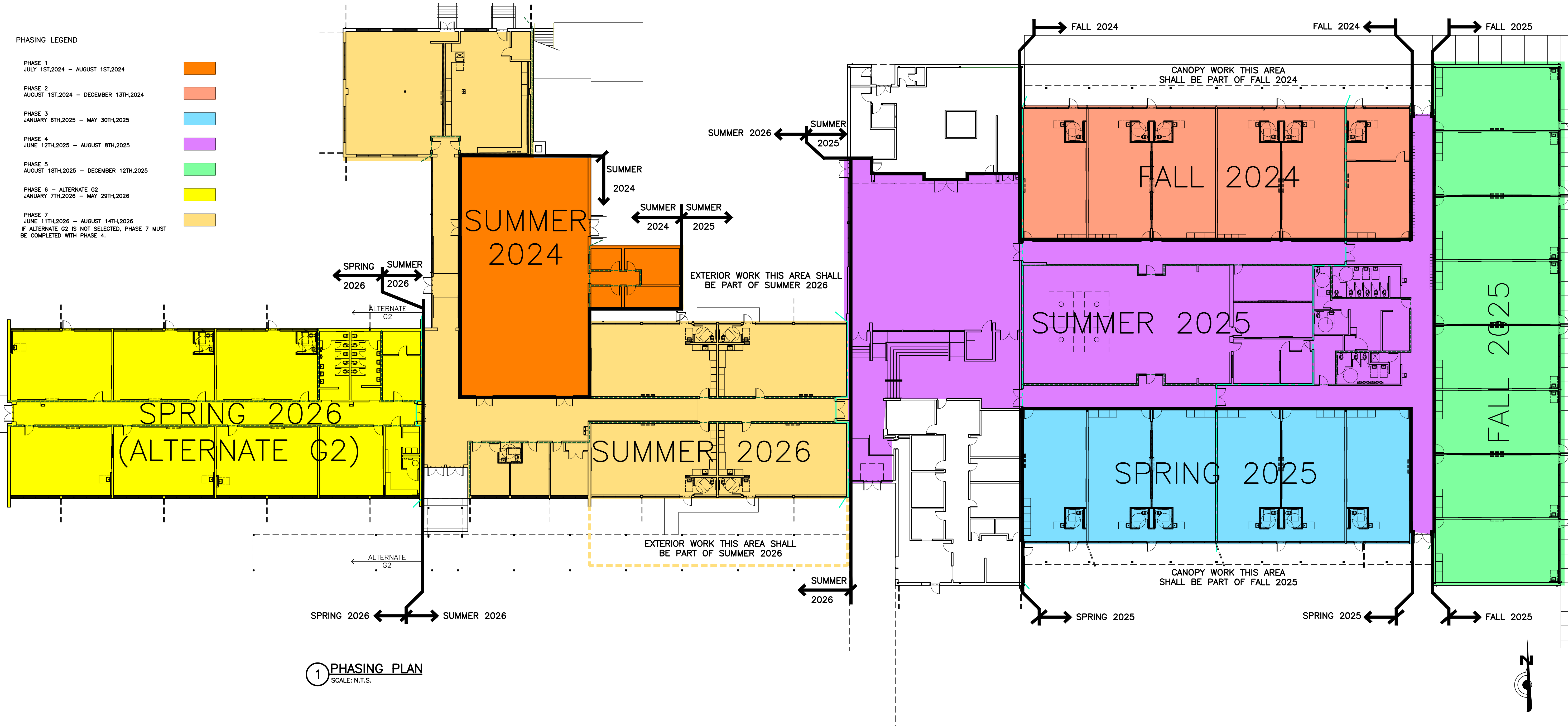


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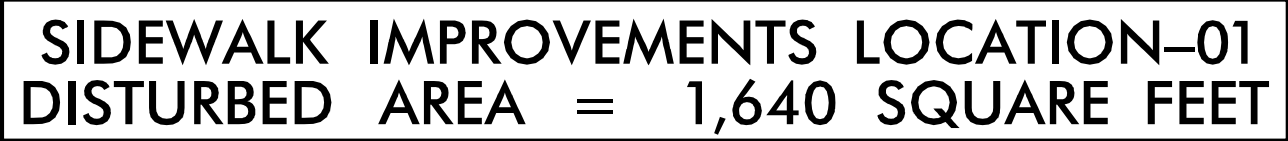
Revision		
ID	Date	Description
PROJECT #		NC27X007
REVIEWED BY		J. Young
DESIGNED BY		J. Young
DRAWN BY		P. Martin
DRAWING DATE		02/26/2024
SHEET NUMBER		

PHASING LEGEND

- PHASE 1
JULY 1ST, 2024 – AUGUST 1ST, 2024
- PHASE 2
AUGUST 1ST, 2024 – DECEMBER 13TH, 2024
- PHASE 3
JANUARY 6TH, 2025 – MAY 30TH, 2025
- PHASE 4
JUNE 12TH, 2025 – AUGUST 8TH, 2025
- PHASE 5
AUGUST 18TH, 2025 – DECEMBER 12TH, 2025
- PHASE 6 – ALTERNATE G2
JANUARY 7TH, 2026 – MAY 29TH, 2026
- PHASE 7
JUNE 11TH, 2026 – AUGUST 14TH, 2026
IF ALTERNATE G2 IS NOT SELECTED, PHASE 7 MUST BE COMPLETED WITH PHASE 4.



1 PHASING PLAN
SCALE: N.T.S.



N|V|5

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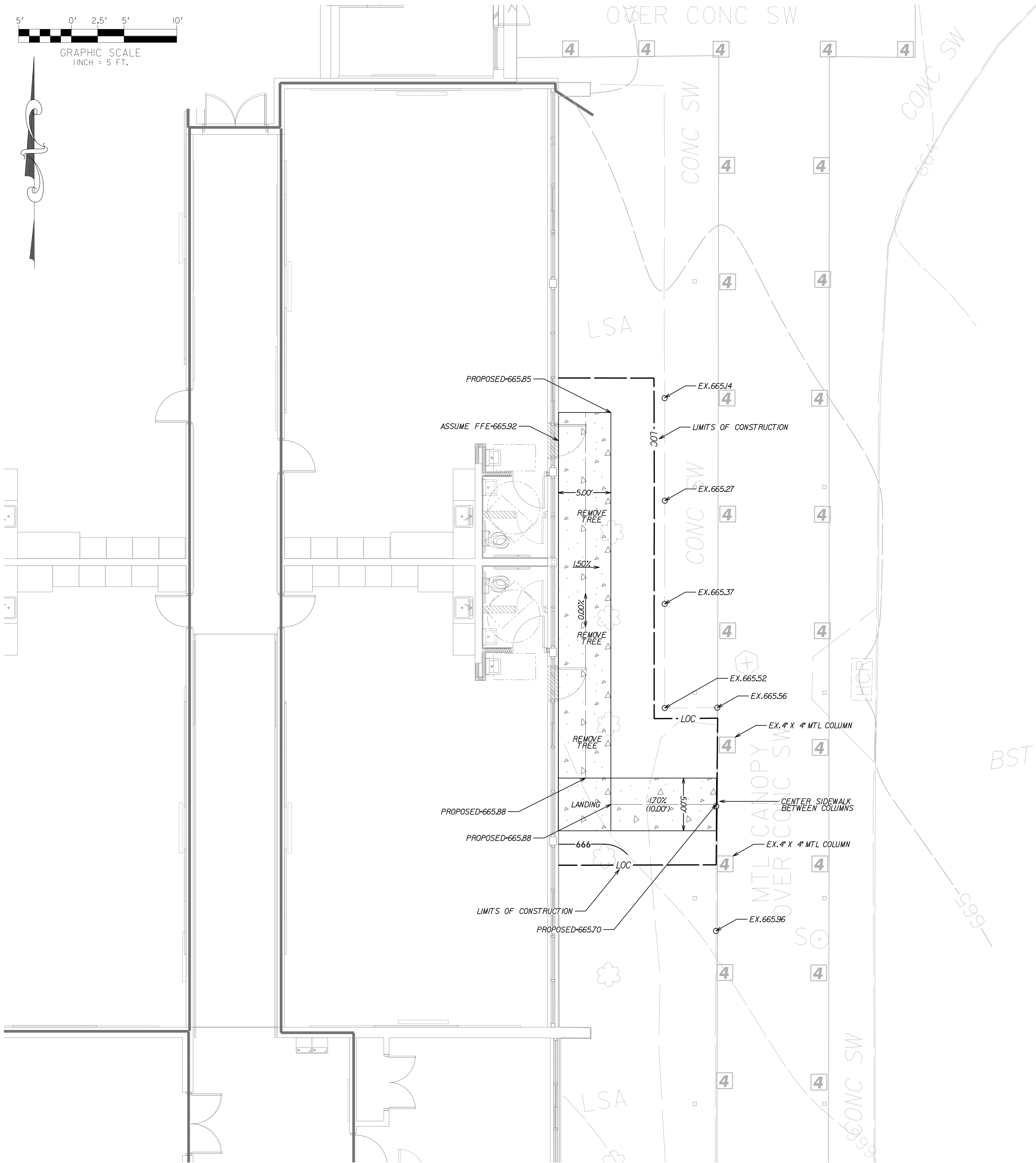
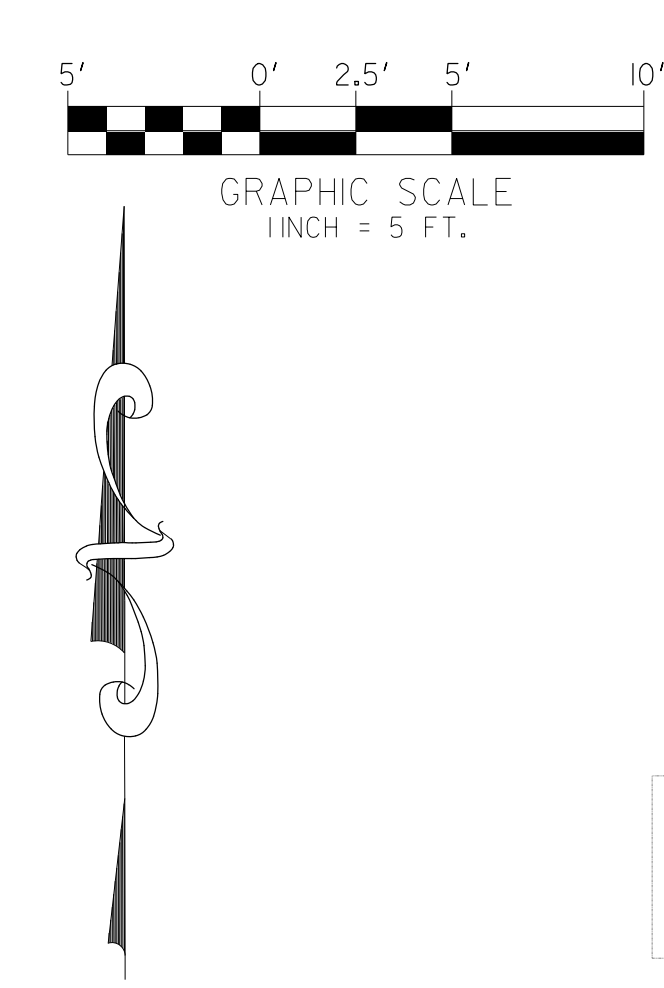
ALK IMPROVEMENTS LOCATION-01

SIDEWALK IMPROVEMENTS LOCATION-01

Revision		
ID	Date	Description

C-100

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SIDEWALK IMPROVEMENTS LOCATION-02
DISTURBED AREA = 500 SQUARE FEET

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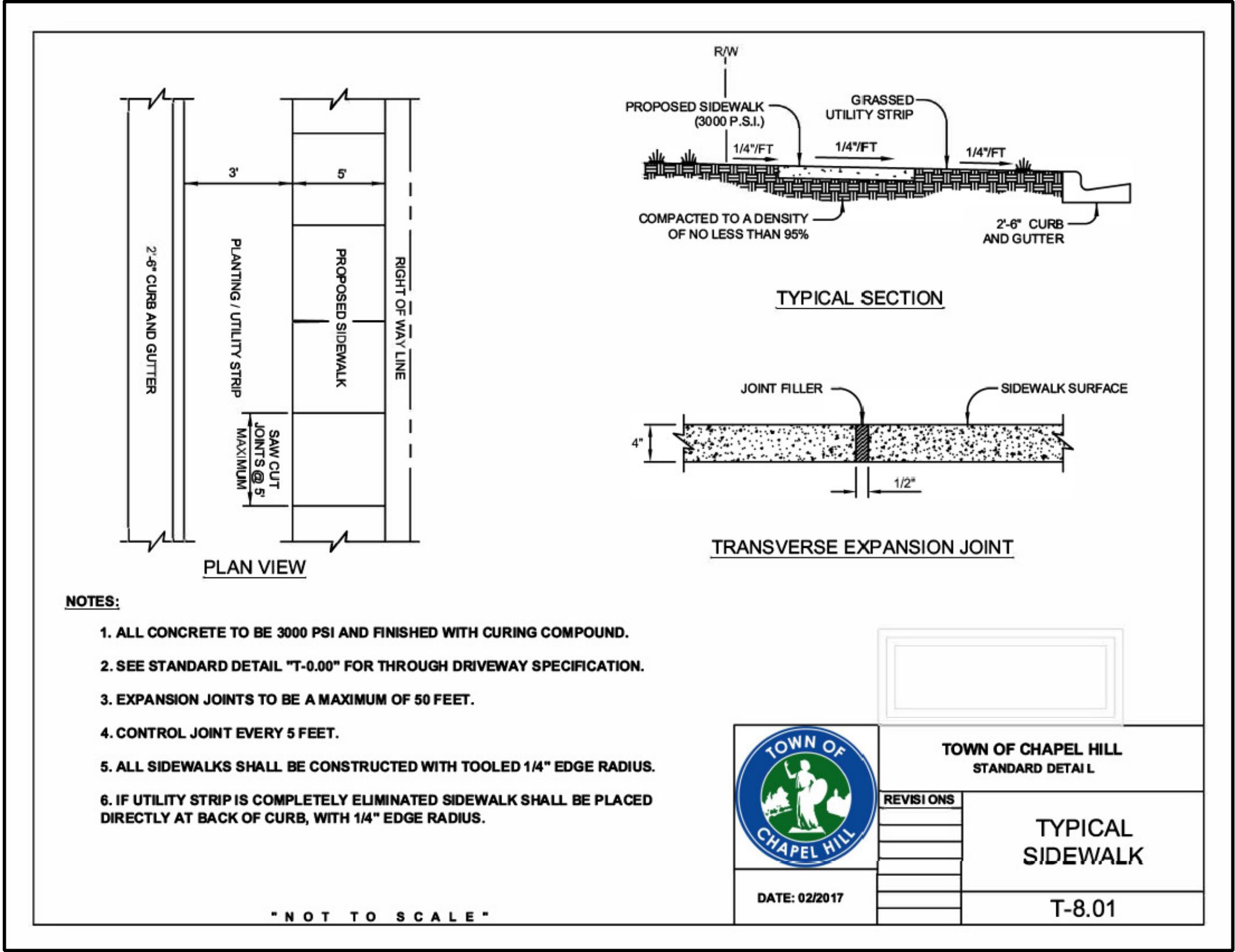
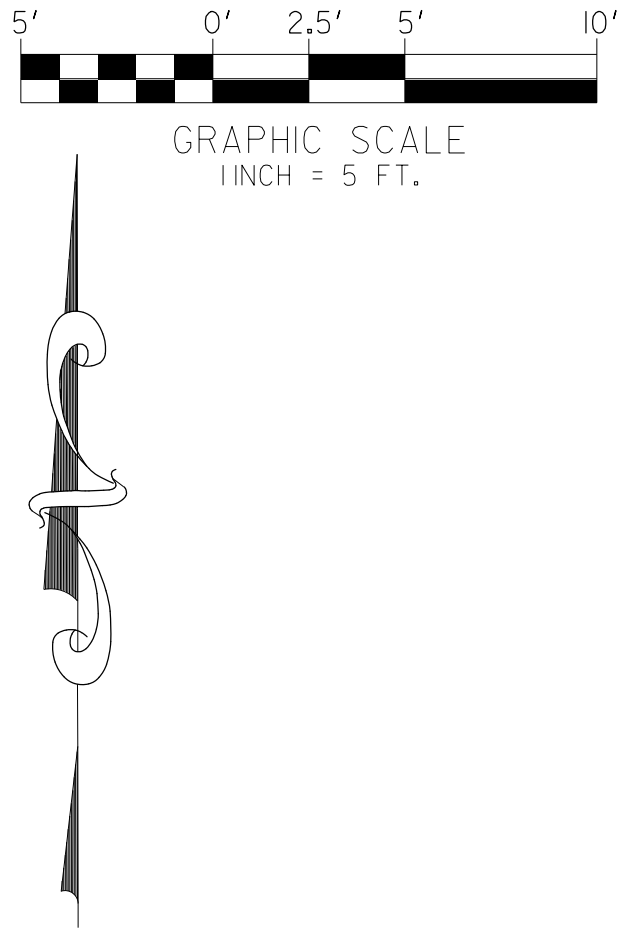
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SIDEWALK IMPROVEMENTS LOCATION-02

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Revision		
ID	Date	Description

PROJECT # NC27X007
REVIEWED BY **MDA**
DESIGNED BY **MDA**
DRAWN BY **DFB**
DRAWING DATE 02/23/2024
SHEET NUMBER

C-101



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DETAILS

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Revision		
ID	Date	Description

PROJECT #	NC27X007
REVIEWED BY	MDA
DESIGNED BY	MDA
DRAWN BY	DFB
DRAWING DATE	02/23/2024
SHEET NUMBER	

C-200

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STRUCTURAL GENERAL NOTES

GENERAL

- THESE GENERAL NOTES ARE NOT INTENDED TO REPLACE SPECIFICATIONS. SEE SPECIFICATIONS FOR REQUIREMENTS IN ADDITION TO GENERAL NOTES.
- THE CONTRACTOR SHALL NOTIFY ARCHITECT / ENGINEER OF ANY DISCREPANCIES FOUND BETWEEN THESE GENERAL NOTES, PROJECT SPECIFICATIONS, AND DRAWINGS.
- THE STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE, AND, EXCEPT WHERE SPECIFICALLY SHOWN, DO NOT INDICATE THE METHOD OR MEANS OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, PROCEDURES, TECHNIQUES, AND SEQUENCE. ALL APPLICABLE SAFETY REGULATIONS TO BE FOLLOWED STRICTLY.
- THE STRUCTURE HAS BEEN DESIGNED TO RESIST DESIGN LOADS ONLY AS A COMPLETED STRUCTURE. APPLICATIONS OF CONSTRUCTION LOADS TO THE PARTIALLY COMPLETED STRUCTURE SHALL BE CONSIDERED BY THE CONTRACTOR AND SO INCLUDED IN THE DESIGN OF SHORING, BRACING, FORMWORK, AND ANY OTHER SUPPORTING ELEMENTS PROVIDED FOR CONSTRUCTION OF THE STRUCTURE. DURING ERECTION AND UNTIL ALL PERMANENT CONNECTIONS ARE MADE, THE CONTRACTOR MUST PROVIDE TEMPORARY BRACING FOR THE STRUCTURE IN ALL DIRECTIONS.
- THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND GRADE CONDITIONS, (BOTH NEW AND EXISTING) REPORTING ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ORDERING MATERIALS OR PROCEEDING WITH ANY PHASE OF THE WORK.
- THE CONTRACTOR SHALL COMPARE STRUCTURAL SECTIONS WITH ARCHITECTURAL SECTIONS AND REPORT ANY DISCREPANCY TO THE ARCHITECT PRIOR TO FABRICATION OR INSTALLATION OF STRUCTURAL MEMBERS.
- DO NOT SCALE DIMENSIONS FROM DRAWINGS. THE CONTRACTOR SHALL REQUEST, FROM THE ARCHITECT, NECESSARY DIMENSIONS NOT SHOWN ON THE DRAWINGS.
- WHERE MEMBERS LOCATIONS ARE NOT SPECIFICALLY DIMENSIONED ON PLAN OR IN SECTION, THE FOLLOWING RULES SHALL APPLY:
 - COLUMNS ARE CENTERED ON GRID LINES
 - FOOTINGS ARE CENTERED BENEATH COLUMNS
 - CONTINUOUS FOOTINGS ARE CENTERED BENEATH WALLS
 - FRAMING MEMBERS ARE EITHER LOCATED ON GRID LINES OR ARE EQUALLY SPACED BETWEEN LOCATED MEMBERS.
- PRINCIPAL OPENINGS IN THE STRUCTURE ARE SHOWN ON THESE DRAWINGS. THE GENERAL CONTRACTOR SHALL EXAMINE THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR REQUIRED OPENINGS AS THEY SHALL BE PROVIDED FOR WHETHER SHOWN ON THESE DRAWINGS OR NOT. GENERAL CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ALL OPENINGS WITH ALL SUB-CONTRACTORS PRIOR TO CONSTRUCTION.
- SEE ARCHITECTURAL DRAWINGS FOR FLOOR/ROOF ELEVATIONS, SLOPES, DEPRESSIONS, CURBS/PADS, AND ANY OTHER BUILDING INFORMATION NOT SHOWN.
- PENETRATIONS NOT SHOWN ON THE STRUCTURAL DRAWINGS SHALL NOT BE MADE THROUGH STRUCTURAL ELEMENTS SUCH AS BEAMS, JOISTS, GIRDERS, WALLS, AND COLUMNS WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE STRUCTURAL ENGINEER.
- NO PROVISIONS FOR FUTURE VERTICAL EXPANSION HAVE BEEN MADE.
- THE DETAILS DESIGNATED AS "TYPICAL DETAILS" APPLY GENERALLY TO THE DRAWINGS IN AREAS WHERE CONDITIONS ARE SIMILAR TO THOSE DESCRIBED IN THE DETAILS, UNLESS NOTED OTHERWISE.

EXISTING DRAWINGS

- INFORMATION SHOWN IN THESE DOCUMENTS AS EXISTING IS BASED UPON ORIGINAL CONSTRUCTION DOCUMENTS PROVIDED BY THE OWNER. THE ORIGINAL DOCUMENTS USED INCLUDE THE FOLLOWING:

PROJECT NAME	ENGINEER NAME	DATED
EFLAND CHEEKS ELEMENTARY SCHOOL ADDITION & REMODELING	LITTLE & ASSOCIATES	5/19/1977
- THE GC SHALL FIELD VERIFY THE EXISTING CONDITIONS, ELEVATIONS AND DIMENSIONS AS REQUIRED PRIOR TO FABRICATION OF MATERIAL. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER IF ACTUAL CONDITIONS VARY FROM THOSE SHOWN ON THESE DRAWINGS.

DELEGATED DESIGN

- DESIGN RESPONSIBILITY FOR THE FOLLOWING ENGINEERED SYSTEMS AND COMPONENTS IS DELEGATED TO A QUALIFIED SPECIALTY STRUCTURAL ENGINEER RETAINED BY THE CONTRACTOR. THESE SYSTEMS AND COMPONENTS INCLUDE, BUT ARE NOT LIMITED TO:
 - STRUCTURAL STEEL CONNECTIONS
 - CURTAIN WALL AND STOREFRONT WALL SYSTEMS
 - COLD-FORMED METAL STUDS (METAL STUDS OR CFMF)
 - PRE-ENGINEERED CANOPIES AND THEIR CONNECTIONS/ANCHORAGES.
- DELEGATED ENGINEERED SYSTEMS AND COMPONENTS SHALL SATISFY ASCE 7 AND REQUIREMENTS OF APPLICABLE MATERIAL-SPECIFIC STANDARDS.
- COORDINATE WITH THE CONTRACT DOCUMENTS FOR PROFESSIONAL LICENSURE AND SEALING REQUIREMENTS, DESIGN CRITERIA, DETAILS OF THE SYSTEM/COMPONENT INTERFACE WITH THE PRIMARY STRUCTURE, AND SUBMITTAL AND CALCULATION REQUIREMENTS.
- ALL DELEGATED DESIGN ITEMS SHALL NOT BE INSTALLED UNTIL THE DELEGATED DESIGN SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND RETURNED BY THE ARCHITECT AND STRUCTURAL ENGINEER OF RECORD.

DESIGN CRITERIA

- APPLICABLE CODES:
 - 2018 NORTH CAROLINA STATE BUILDING CODE (2015 INTERNATIONAL BUILDING CODE WITH REVISIONS)
 - MIN DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES (ASCE 7-10)
 - BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318-14)
 - BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI 530-13)
 - SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS (AISC 360-10)
 - STRUCTURAL WELDING CODE (AWS D1.1-11)
 - SPECIFICATION FOR THE DESIGN OF COLD FORMED STEEL STRUCTURAL MEMBERS (AIS S100-12)
- DESIGN LIVE LOADS:

	UNIFORM	CONC	LL RED
ROOF	20 PSF	300#	NO
CORRIDORS - GROUND	100 PSF	2,000#	NO

LIVE LOAD REDUCTION USED IN ACCORDANCE WITH SECTION 1607.10 NO
- SNOW LOAD:

GROUND SNOW LOAD (Pg)	15 PSF
FLAT ROOF SNOW LOAD (Pf)	10.4 PSF
MIN SNOW LOAD (Pm)	16.5 PSF
SNOW EXPOSURE FACTOR (Ce)	0.9
SNOW LOAD IMPORTANCE FACTOR (Is)	1.10
THERMAL FACTOR (Ct)	1.0
SLOPE FACTOR (Cs)	1.0

SNOW DRIFT IN ACCORDANCE WITH ASCE 7
- WIND LOAD: (2018 NORTH CAROLINA BUILDING CODE/ABC)

ULTIMATE WIND SPEED (V _{uh})	120 MPH
RISK CATEGORY	III
NOMINAL DESIGN WIND SPEED (V _{866ft})	93 MPH
EXPOSURE CATEGORY	B
INTERNAL PRESSURE COEFF (GC _{pi})	+/- 0.18

COMPONENTS AND CLADDING:
ALL BUILDING COMPONENTS AND CLADDING ENGINEERED BY THE COMPONENT MANUFACTURER ARE TO BE DESIGNED BY THE MANUFACTURER'S ENGINEER FOR WIND LOADS DETERMINED PER THE NORTH CAROLINA STATE BUILDING CODE FOR THE BASIC DESIGN WIND VELOCITY, IMPORTANCE FACTOR, AND EXPOSURE LISTED ABOVE.
- FUTURE LOADS: UNLESS SPECIFICALLY NOTED, THERE ARE NO PROVISIONS MADE FOR FUTURE FLOORS, ROOFS, OR OTHER LOADS.

FOUNDATIONS

- THE SUBGRADE AND UNDERFLOOR FILL SHALL BE PREPARED TO A POINT THAT EXTENDS 3'-0" MINIMUM BEYOND THE LIMITS OF THE FOUNDATION.
- MINIMUM SUBGRADE PREPARATION REQUIREMENTS ARE AS FOLLOWS:
COMPACT ALL FILL UNDER BUILDING TO 98% MAXIMUM DENSITY AS DETERMINED BY ASTM D698. PLACE IN LAYERS OF 8" MAXIMUM LOOSE THICKNESS. VERIFY FIELD DENSITY, ASTM D1556, WITH AT LEAST ONE TEST PER 2,000 SQUARE FEET PER LAYER. SEE SPECIFICATIONS FOR OTHER TESTING REQUIREMENTS.
- WALLS RETAINING SOIL SHALL BE TEMPORARILY BRACED DURING BACKFILLING AND UNTIL ALL SUPPORTING SOIL AND SLABS ARE IN PLACE AND ARE AT DESIGN STRENGTH UNLESS NOTED OTHERWISE ON PLANS AND DETAILS. BACKFILL SHALL BE CARRIED UP EVENLY ON BOTH SIDES OF WALL TO LOWER ELEVATION WITH A MAXIMUM UNBALANCED ELEVATION OF 24" ON EITHER SIDE.
- UTILITY LINES SHALL NOT BE PLACED THROUGH OR BELOW FOUNDATIONS WITHOUT APPROVAL OF THE STRUCTURAL ENGINEER. CONTRACTOR SHALL SUBMIT DETAILED DRAWINGS OF ALL SUCH CONDITIONS PRIOR TO CONSTRUCTION.

CONCRETE / REINFORCING STEEL

- CONCRETE COMPRESSIVE STRENGTH IN 28 DAYS:
SLAB ON GRADE, FOOTINGS..... 3,000 PSI, NORMAL WEIGHT REINFORCING:
ASTM A615 - GRADE 60.
WELDED WIRE FABRIC - ASTM A185 (FLAT SHEETS ONLY)
- GROUT UNDER BASE PLATES TO BE HIGH STRENGTH, NON-SHRINK.
- REFER TO THE DRAWINGS FOR REINFORCING LAP REQUIREMENTS, WHERE LAP SPLICES ARE NOT SHOWN, LAP PER ACI 318 OR CRSI STANDARDS.
- LAP WELDED WIRE FABRIC SHEETS 8" MINIMUM.
- CLEAR COVER FROM FACE OF CONCRETE: CONCRETE COVER, IN
 - CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH..... 3
 - CONCRETE EXPOSED TO EARTH OR WEATHER:
NO. 8 THROUGH NO. 18 BARS..... 2
NO. 5 BAR, W21 OR D31 WIRE, AND SMALLER..... 1 1/2
 - CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND, SLAB, WALLS, JOISTS:
NO. 14 AND NO. 18 BARS..... 1 1/2
NO. 11 BAR AND SMALLER..... 3/4
- PROVIDE REINFORCING IN SLABS ON GRADE, 1-1/2" FROM TOP OF SLAB:
4" SLABS..... 6x6-W2, 1xW2, 1
5" SLABS..... 6x6-W2, 3xW2, 3
6" SLABS..... #3 @ 12 OC, EV
- BAR SUPPORTS FOR CONCRETE EXPOSED TO VIEW SHALL HAVE PLASTIC COATED LEGS OR BE HOT DIP GALVANIZED AFTER FABRICATION.
- MECHANICAL AND ELECTRICAL CONDUIT IN SLABS SHALL RUN UNDER TOP LAYER OF SLAB REINFORCING. PROVIDE A MINIMUM OF 1-1/2" CLEAR BETWEEN CONDUITS AND BETWEEN REINFORCING AND ADJACENT CONDUITS PARALLEL TO REINFORCING. IF MAXIMUM SIZE OF CONDUIT EXCEEDS ONE THIRD OF THE SLAB DEPTH, ADDITIONAL FRAMING OR REINFORCING MAY BE NECESSARY AT ENGINEERS DISCRETION.
- HEADED CONCRETE ANCHORS SHALL CONFORM TO THE REQUIREMENTS OF ASTM A108, GRADES 1010, 1015, 1017, OR 1020. STUDS SHALL BE AUTOMATICALLY END WELDED IN THE SHOP OR FIELD IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- EMBED PLATES MUST BE SET IN THE FORM BEFORE POURING CONCRETE, NOT PLACED INTO TOP OF WET CONCRETE. THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR CORRECTIVE DETAILS FOR ANY EMBED PLATES LEFT OUT OF CONCRETE POURS.
- FOR SLABS ON GRADE, SLAB AND GRADE BEAM REINFORCING SHALL BE HELD IN PLACE BY BAR SUPPORTS WITH SAND PLATES, OR PRECAST CONCRETE BAR SUPPORTS AS DESCRIBED IN CHAPTER 3 OF THE CRSI MANUAL OF STANDARD PRACTICE. BAR SUPPORTS SHALL BE SPACED AT A MAXIMUM OF 4'-0" OC BOTH WAYS. ROCKS, CMU, OR CLAY BRICK WILL NOT BE USED AS SUPPORTS.
- REBAR SHALL NOT BE HEATED WITH A TORCH IN THE FIELD.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER FAR ENOUGH IN ADVANCE (48 HOURS) OF EACH CONCRETE POUR TO ALLOW AMPLE TIME TO CHECK THE LAYOUT OF THE STEEL BEFORE THE BEGINNING OF THE ACTUAL POUR, BUT NOT PRIOR TO 90% OF THE STEEL HAVING BEEN PLACED.

CONCRETE CONSTRUCTION JOINTS

- CONTRACTOR SHALL PROVIDE NECESSARY CONSTRUCTION JOINTS IN MONOLITHIC CONCRETE POURS SO THAT THE QUALITY OF PLACEMENT AND FINISH MEETS THE REQUIREMENTS OF PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL SUBMIT A PLAN SHOWING THE LOCATION OF ALL CONSTRUCTION JOINTS TO THE STRUCTURAL ENGINEER FOR APPROVAL.
- THERE SHALL BE NO HORIZONTAL CONSTRUCTION JOINTS IN CONCRETE POURS. ALL VERTICAL CONSTRUCTION JOINTS IN SLABS AND BEAMS SHALL BE MADE WITH BULKHEADS. ADDITIONAL REINFORCING AT CONSTRUCTION JOINTS SHALL BE AS SPECIFIED BY THE STRUCTURAL ENGINEER. SEE TYPICAL CONSTRUCTION JOINT DETAILS.

STRUCTURAL STEEL

- STRUCTURAL STEEL:
CHANNELS, ANGLES, PLATES, RODS, AND BARS A36, FY= 36 KSI
- ANCHOR RODS AND THREADED RODS SHALL CONFORM TO ASTM F1554 GR.36 OR GR.55 WELDABLE WITH S1 SUPPLEMENT.
- DESIGN, FABRICATION AND ERECTION: SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS (AISC 360-10) AND CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES (AISC 303-10).
- WHERE STEEL MEMBERS ARE WELDED AND NO SIZE IS SPECIFIED, PROVIDE FULL LENGTH FILLET WELDS BOTH SIDES OF MEMBER. WELD SIZES SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE:

MEMBER THICKNESS (INCHES)	WELD SIZE (INCHES)
3/16	3/16
1/4	3/16
5/16	1/4
3/8	1/4
7/16	5/16
1/2	5/16
9/16	3/8
5/8	7/16
- SPLICING OF STRUCTURAL STEEL MEMBERS IS PROHIBITED WITHOUT PRIOR APPROVAL OF THE ENGINEER AS TO LOCATION AND TYPE OF SPLICE TO BE MADE. ANY MEMBER HAVING A SPLICE NOT SHOWN AND DETAILED ON SHOP DRAWINGS WILL BE REJECTED.
- ALL WELDING SHALL CONFORM TO THE AMERICAN WELDING SOCIETY CODE. USE E70 SERIES ELECTRODES FOR ALL STRUCTURAL STEEL WELDS.
- SEE THE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR ALL ITEMS REQUIRED TO BE HOT-DIP GALVANIZED AFTER FABRICATION.
- STRUCTURAL STEEL SHALL BE PUNCHED FOR WOOD BLOCKING, NAILERS, CLIPS AND TIES IN ACCORDANCE WITH ARCHITECTURAL/STRUCTURAL DETAILS.
- ULTRASONIC INSPECTION BY THE TESTING LABORATORY SHALL BE PROVIDED FOR ALL WELDS CALLED FOR ON THE STRUCTURAL DRAWINGS OR SHOP DRAWINGS AS PARTIAL OR FULL PENETRATION WELDS.
- ALL STEEL EXPOSED TO VIEW SHALL BE CLASSIFIED AS ARCHITECTURALLY EXPOSED STRUCTURAL STEEL (AESS) AS DEFINED BY THE AISC CODE OF STANDARD PRACTICE AND SHALL BE TREATED AS SUCH.

POST-INSTALLED ADHESIVE AND MECHANICAL ANCHORAGE

- ANCHOR RODS, REINFORCING STEEL, THREADED RODS, STAIR HANDRAILS, AND OTHER EMBEDDED STEEL ITEMS SHALL BE SET INTO HARDENED CONCRETE WITH AN ADHESIVE ANCHOR SYSTEM ONLY WHERE DETAILED ON THE DRAWINGS OR WHERE APPROVED BY THE ENGINEER.
- MANUFACTURER'S DATA FOR ALL POST-INSTALLED ANCHORS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO INSTALLATION, INCLUDING ICC-ES EVALUATION SERVICE REPORTS. ANCHOR SIZE, SPACING AND EMBEDMENT DEPTH INDICATED IN CONTRACT DOCUMENTS ARE PER BASIS OF DESIGN MANUFACTURER AND PRODUCT SHOWN BELOW, UNLESS NOTED OTHERWISE:
 - BASIS OF DESIGN POST-INSTALLED ANCHORS INTO CONCRETE:
ADHESIVE ANCHORS..... HILTI HY-200 WITH HIT-Z ANCHOR
SCREW ANCHORS..... HILTI KWIK-CONN +
HEAVY-DUTY (HD) SCREW ANCHORS..... HILTI KWIK HUS-EZ
EXPANSION ANCHOR..... HILTI KWIK BOLT T22
POWDER-ACTUATED FASTENER..... HILTI X-U
 - BASIS OF DESIGN POST-INSTALLED ANCHORS INTO GROUT-FILLED CMU:
ADHESIVE ANCHORS..... HILTI HIT-HY 270 WITH HAS ROD
HEAVY-DUTY (HD) SCREW ANCHORS..... HILTI KWIK HUS-EZ
EXPANSION ANCHOR..... HILTI KWIK BOLT T22
 - BASIS OF DESIGN POST-INSTALLED ANCHORS INTO HOLLOW CMU:
ADHESIVE ANCHORS..... HILTI HIT-HY 270 WITH SCREEN TUBE & HAS-E ROD
SCREW ANCHOR..... HILTI KWIK-CONN +
POWDER-ACTUATED FASTENER..... HILTI X-U
- BASIS OF DESIGN ANCHORAGE INCLUDES THE FOLLOWING DESIGN PARAMETERS:
 - CRACKED CONCRETE
 - WATER-SATURATED CONCRETE
 - BASE MATERIAL TEMPERATURE OF 23 TO 104 DEGRESS FAHRENHEIT
 - ALLOWABLE WITH HAMMER-DRILL, HOLLOW DRILL BIT SYSTEM, AND CORE DRILLING METHODS
- ALTERNATE APPROVED MANUFACTURERS TO HILTI PRODUCTS LISTED ABOVE INCLUDE SIMPSON STRONG-TIE AND DEWALT (ENGINEERED BY POWERS); HOWEVER, ANCHOR SIZE, SPACING AND/OR EMBEDMENT DEPTH MAY BE REQUIRED TO BE ALTERED TO ACHIEVE THE SAME VALUES AS BASIS OF DESIGN.
- POST-INSTALLED ANCHORS (INTO CONCRETE OR CMU) SHALL BE INSTALLED IN STRICT CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDATIONS INCLUDING, BUT NOT LIMITED TO, DRILL BIT SIZE, PROPER CLEANING OF HOLES, INSTALLATION TORQUE, AND TEMPERATURE CONSTRAINTS. HEED ALL LABEL WARNINGS AND INSTALL IN ACCORDANCE WITH APPLICABLE SAFETY LAWS.
- CONFIRM ABSENCE OF REINFORCING STEEL AT ANCHOR LOCATION BY DRILLING A 1/4" DIAMETER PILOT HOLE OR BY NONDESTRUCTIVE METHODS SUCH AS GROUND PENETRATING RADAR. DO NOT CUT REINFORCING STEEL WITHOUT APPROVAL OF THE STRUCTURAL ENGINEER OF RECORD.
- ANCHORS USED IN EXTERIOR CONDITIONS SHALL BE FURNISHED WITH A MECHANICALLY DEPOSITED ZINC COATING COMPLYING WITH ASTM B695 OR HOT-DIP GALVANIZED ZINC COATING COMPLYING WITH ASTM A153. ANCHORS USED IN INTERIOR CONDITIONS SHALL BE FURNISHED WITH A ZINC ELECTROPLATED COATING COMPLYING WITH ASTM B633.
- CONTRACTOR PERFORMING ADHESIVE ANCHOR INSTALLATION SHALL BE TRAINED AND APPROVED BY THE MANUFACTURER FURNISHING THE ANCHORING MATERIALS AND SHALL HAVE NO LESS THAN FIVE YEARS EXPERIENCE IN THE INSTALLATION OF POST-INSTALLED ANCHORS AS RELATED TO THE WORK REQUIRED IN THIS PROJECT. A CERTIFICATION FROM THE MANUFACTURER ATTESTING TO THE TRAINING SHALL BE SUBMITTED TO THE ENGINEER/ARCHITECT ALONG WITH THE PROPOSAL TO DO THE WORK.
- AN INDEPENDENT TESTING AGENCY SHALL INSPECT ANCHORS DURING INSTALLATION TO VERIFY CONFORMANCE WITH MANUFACTURER'S INSTALLATION RECOMMENDATIONS.
- TWENTY-FIVE PERCENT OF ALL ADHESIVE ANCHORS SHALL BE PULL-TESTED AT RANDOM TO 85% OF THE ANCHOR MANUFACTURER'S PUBLISHED ALLOWABLE TENSILE STRENGTH. IF ANY ANCHORS FAILS, 50% OF ADHESIVE ANCHORS SHALL BE TESTED. IF CONTINUOUS SPECIAL INSPECTION IS PROVIDED DURING THE INSTALLATION OF ANCHORS (FROM DRILLING OPERATIONS THROUGH ANCHOR INSTALLATION) THE PERCENTAGES MAY BE REDUCED TO 10% AND 25% RESPECTIVELY.

REPRODUCTION NOTE

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02/26/2024

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GENERAL RENOVATIONS
ORANGE COUNTY SCHOOLS
4401 FULLER ROAD
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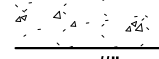
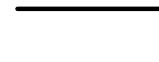
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Revision		
ID	Date	Description

PROJECT #	NC27X007
REVIEWED BY	Checker
DESIGNED BY	C. Berg
DRAWN BY	M. Burke
DRAWING DATE	12/05/2023
SHEET NUMBER	

S001

2	SHEET INDEX
S002	NOT TO SCALE
S001	STRUCTURAL GENERAL NOTES, ABBREVIATIONS & SHEET INDEX
S002	ABBREVIATIONS & SHEET INDEX
S101	OVER ALL FLOOR PLAN
S102	PARTIAL FOUNDATION & FRAMING PLANS
S103	PARTIAL ROOF FRAMING PLANS
S104	PARTIAL CANOPY FOUNDATION PLANS
S200	SECTIONS & DETAILS

1	ABBREVIATIONS & SYMBOLS
S002	NOT TO SCALE
	CONCRETE WALL
	STEP IN SLAB
	DRAG STRUT
	MOMENT CONNECTION
	INDICATES BOTTOM FLANGE SUPPORT
	8" MASONRY BEARING WALL
	12" MASONRY BEARING WALL
	MASONRY NON-BEARING WALL
	VERTICAL BRACED FRAME ABOVE FLOOR
	VERTICAL BRACED FRAME BELOW FLOOR
@	AT
&	AND
Ø	DIAMETER
°	DEGREE(S)
'	FOOT / FEET
"	INCHES
K	KIPS(S)
LBS	POUNDS
#	NUMBER
d	PENNY (NAILS)
db	REINFORCING BAR DIAMETER
+/- OR ±	PLUS OR MINUS
AB	ANCHOR BOLTS
ACI	AMERICAN CONCRETE INSTITUTE
ADDL	ADDITIONAL
AFF	ABOVE FINISHED FLOOR
AISC	AMER. INSTITUTE OF STEEL CONSTRUCTION
AISI	AMERICAN IRON AND STEEL INSTITUTE
ALT	ALTERNATE
ALUM	ALUMINUM
ARCH	ARCHITECT'S / ARCHITECTURAL
ASTM	AMER. SOCIETY FOR TESTING AND MATERIALS
AWS	AMERICAN WELDING SOCIETY
B/ OR BOT	BOTTOM
BCX	BOTTOM CHORD EXTENSION
BFF	BELOW FINISHED FLOOR
BLDG	BUILDING
BM	BEAM
BOS	BOTTOM OF STEEL
BP	BASE PLATE / BEARING PLATE
BRG	BEARING
C	CHANNEL
CFMF	COLD-FORMED METAL FRAMING
CJ	CONTROL JOINT
CL	CENTERLINE
CLR	CLEAR
CMU	CONCRETE MASONRY UNITS
COL	COLUMN
CONC	CONCRETE
CONN	CONNECTION
CONST JT	CONSTRUCTION JOINT
CONT	CONTINUOUS
CONTR	CONTRACTOR
CS	COLUMN STRIP (FLAT SLAB)
CTRD	CENTERED
DBA	DEFORMED BAR ANCHORS
DBL	DOUBLE
DEFL	DEFLECTION
DEMO	DEMOLISHED/ DEMOLITION
DEPR	DEPRESSION / DEPRESSED
DET	DETAIL
DIA	DIAMETER
DIAG	DIAGONAL
DIM	DIMENSION
DIST	DISTANCE
DN	DOWN
DWG(S)	DRAWING(S)
DWL(S)	DOWEL(S)
EA	EACH
EE	EACH END
EF	EACH FACE
EJ	EXPANSION JOINT
EL	ELEVATION
ELEV	ELEVATOR
EMBED	EMBEDDED / EMBEDMENT
ENGR	ENGINEER
EOD	EDGE OF DECK
EOR	ENGINEER OF RECORD
EOS	EDGE OF SLAB
EQ	EQUAL
EQUIP	EQUIPMENT
EW	EACH WAY
EXIST	EXISTING
EXP	EXPANSION
EXT	EXTERIOR
FDN	FOUNDATION
FFE	FINISHED FLOOR ELEVATION
FIN	FINISHED
FLR	FLOOR
FT	FOOT / FEET
FTG	FOOTING
GA	GAUGE
GALV	GALVANIZED
HD	HEADED
HI	HIGH
HORIZ	HORIZONTAL
HP	HIGH POINT
HS	HEADED STUD
HSS	HOLLOW STRUCTURAL SECTION
IF	INSIDE FACE
IN	INCH(ES)
INT	INTERIOR
INV	INVERT
JT	JOINT
KB	KNEE BRACE
KSI	KIPS PER SQUARE INCH
L	ANGLE
LB	LONG BAR
LLH	LONG LEG HORIZONTAL
LLV	LONG LEG VERTICAL
LO	LOW
LOC	LOCATION
LP	LOW POINT
LWC	LIGHT WEIGHT CONCRETE
LWIC	LIGHT WEIGHT INSULATING CONCRETE
MATL	MATERIAL
MAX	MAXIMUM
MC	MISCELLANEOUS CHANNEL
MECH	MECHANICAL
MFD	MANUFACTURED
MFR	MANUFACTURER
MID	MIDDLE
MIN	MINIMUM
MISC	MISCELLANEOUS
MP	MASONRY PILASTER
MS	MIDDLE STRIP (FLAT SLAB)
MSL	MEAN SEA LEVEL
MTL	METAL
NO	NUMBER
NTS	NOT TO SCALE
NWC	NORMAL WEIGHT CONCRETE
OC	ON CENTER
OF	OUTSIDE FACE
OH	OPPOSITE HAND
OPNG	OPENING
PC	PRECAST
PED	PEDESTAL
PL	PLATE
PLYWD	PLYWOOD
PREFAB	PRE-FABRICATED
PROJ	PROJECT
PROP	PROPERTY
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PT	POINT, PRESSURE TREATED, POST-TENSIONED / PRE-TENSIONED
QTY	QUANTITY
REF	REFERENCE
REINF	REINFORCING
REQD	REQUIRED
REV	REVISED / REVISION
RO	ROUGH OPENING
SB	SHORT BAR
SCHD	SCHEDULE
SIM	SIMILAR
SOG	SLAB ON GRADE
SPEC(S)	SPECIFICATION(S)
SQ	SQUARE
SST	STAINLESS STEEL
STD	STANDARD
STIFF	STIFFENER
STIRR	STIRRUP(S)
STL	STEEL
STR	STRUCTURAL
T&G	TONGUE & GROOVE
T/ OR TOP	TOP
TCX	TOP CHORD EXTENSION
TEMP	TEMPORARY
TOC	TOP OF CONCRETE
TOS	TOP OF STEEL
TOW	TOP OF WALL
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VERT	VERTICAL
VIF	VERIFY IN FIELD
W/F	WIDE FLANGE
W/	WITH
W/O	WITHOUT
WP	WORK POINT
WWF	WELDED WIRE FABRIC

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Revision		
ID	Date	Description

PROJECT #	NC27X007
REVIEWED BY	Checker
DESIGNED BY	C. Berg
DRAWN BY	M. Burke
DRAWING DATE	12/05/2023
SHEET NUMBER	

S002

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GENERAL PLAN NOTES	PLAN KEYNOTES
A. FOR STRUCTURAL GENERAL NOTES, SEE S001. B. ALL DIMS & ELEVATIONS ARE FURNISHED BY THE ARCH. NOTIFY NV5 ENGINEERS AND CONSULTANTS, INC. THROUGH THE ARCH OF ANY VARIATIONS FROM DIMS & CONDITIONS SHOWN ON THIS DWG. C. LEVEL 0 FFE = VARIES - REF ARCH & CIVIL. D. COORD SLAB DEPRESSIONS FOR FLOOR FINISHES & SLOPES W/ ARCH DWGS. E. "C.J." INDICATES CONTROL JOINT, SEE S200 FOR DETAILS. F. FOR TYP CONC DETAILS, SEE S200. G. COORD ALL UNDERGROUND UTILITIES W/ FDN'S. H. INDICATES EXIST SOG TO BE REMOVED AND REPLACED. SOG TO BE 4" THICK, MIN. SLOPED AS REQUIRED BY ARCH. PLACE REINF 1-1 1/2" FROM TOP OF SLAB. REINF W/ 6x6 - W2.1 x W2.1, SEE S200 FOR DETAILS.	

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NORTH CAROLINA

PROFESSIONAL

SEAL

20609

C. BERG

ENGINEER

CHRISTIAN BERG

02/26/2024

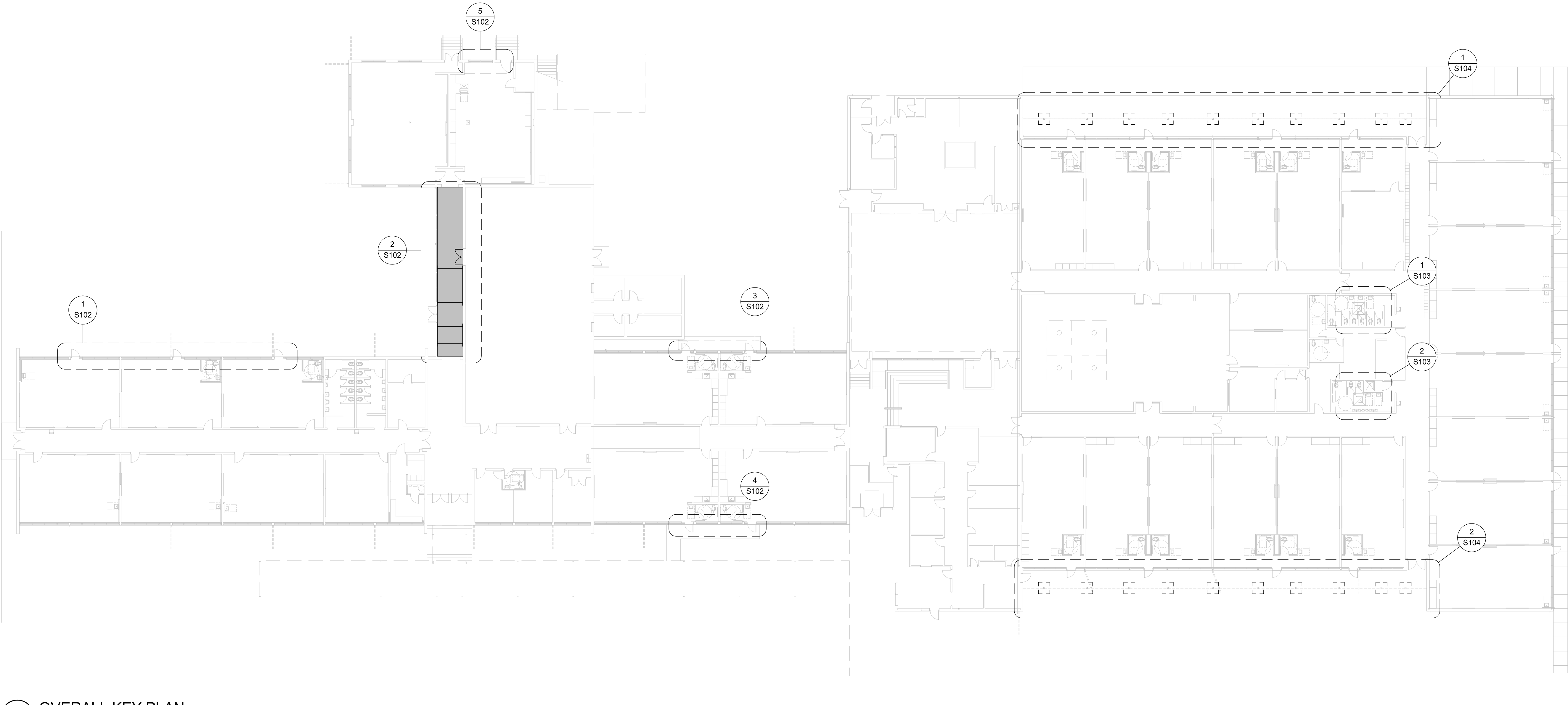
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1 OVERALL KEY PLAN
S101 1" = 20'-0"



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PROJECT #	NC27X007
REVIEWED BY	Checker
DESIGNED BY	C. Berg
DRAWN BY	M. Burke
DRAWING DATE	12/05/2023
SHEET NUMBER	

GENERAL PLAN NOTES

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C. LEVEL 0 FFE = VARIES - REF ARCH & CIVIL.

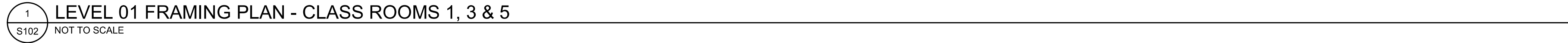
D. INDICATES EXIST SOG TO BE REMOVED AND REPLACED. SOG TO BE 4" THICK, MIN. SLOPED AS REQUIRED BY ARCH. PLACE REINF 1-1 1/2" FROM TOP OF SLAB. REINF W/ 6x6 - W2.1 x W2.1, SEE S200 FOR DETAILS.

E. ALL BEAM FRAMING IS EQUALLY SPACED BETWEEN COL OR OTHER FRAMING, UNO. GC TO COORD LOCATION OF BEAMS FRAMING OPNGS W/ REQD OPNG SIZES FOR MEP AND/OR STAIRS, UNO.

F. EXTERIOR STRCUTRAL STEEL SHALL BE HOT-DIPPED GALV.

G. NON-LOAD BRG CMU WALLS NOT SHOWN FOR CLARITY, REF ARCH.

#	PLAN KEYNOTES
1.	C3X5 HANGER IN WALL, REF 1/S200



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S103

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GENERAL PLAN NOTES	PLAN KEYNOTES
A. FOR STRUCTURAL GENERAL NOTES, SEE S001. B. ALL DIMS & ELEVATIONS ARE FURNISHED BY THE ARCH. NOTIFY NV5 ENGINEERS AND CONSULTANTS, INC. THROUGH THE ARCH OF ANY VARIATIONS FROM DIMS & CONDITIONS SHOWN ON THIS DWG. C. LEVEL 0 FFE = VARIES, SEE ARCH AND CIVIL. D. "F#" INDICATES FTG ID, FOR FTG SCHEDULE, SEE 4/S200. E. T/ FTG = T/ SIDEWALK, SEE CIVIL.	1. PREFAB CANOPY COLUMN BY OTHERS. REF ARCH. FTG DESIGN TO BE REVIEWED UPON RECEIPT OF SEALED CANOPY DWGS 2. REF ARCH AND CANOPY MFR FOR LOCATION OF CANOPY COLUMNS

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NORTH CAROLINA

PROFESSIONAL SEAL

26609

C. ENGINEER

CHRISTIAN BERG

02/26/2024

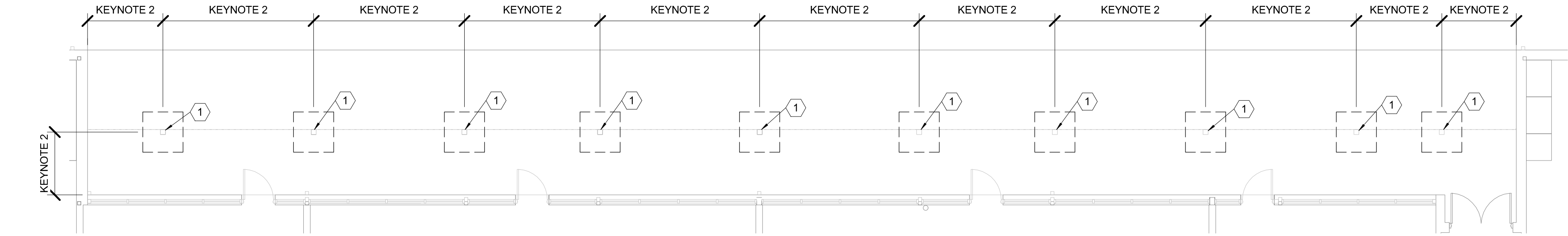
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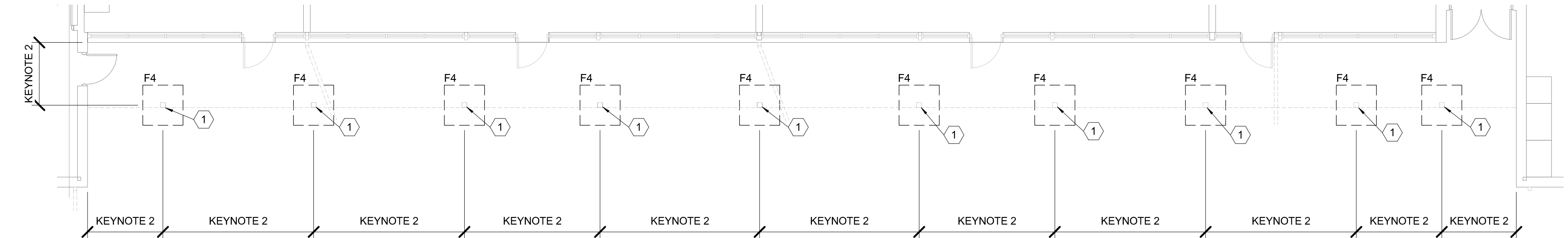


1

S104

CANOPY FOUNDATION PLAN - NORTH ELEVATION

NOT TO SCALE



2

S104

CANOPY FOUNDATION PLAN - SOUTH ELEVATION

NOT TO SCALE

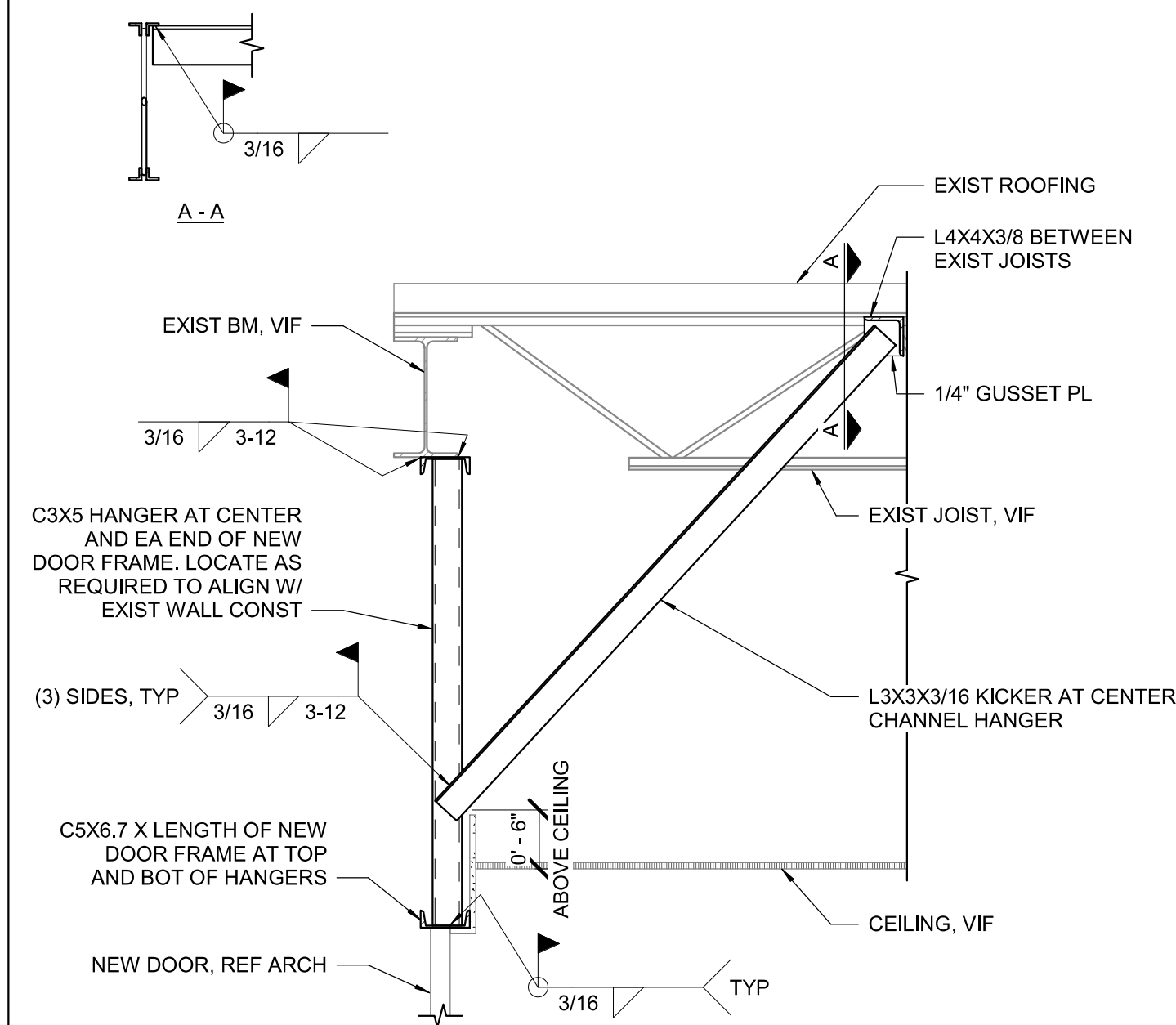


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ID	Date	Description
PROJECT #	NC27X007	
REVIEWED BY	Checker	
DESIGNED BY	C. Berg	
DRAWN BY	M. Burke	
DRAWING DATE	12/05/2023	
SHEET NUMBER		

MARK	LENGTH	WIDTH	THICKNESS	BOT REINF (EW UNO)	TOP REINF (EW UNO)
F4	4' - 0"	4' - 0"	2' - 0"	(6) #6	(6) #6

4 FOOTING SCHEDULE

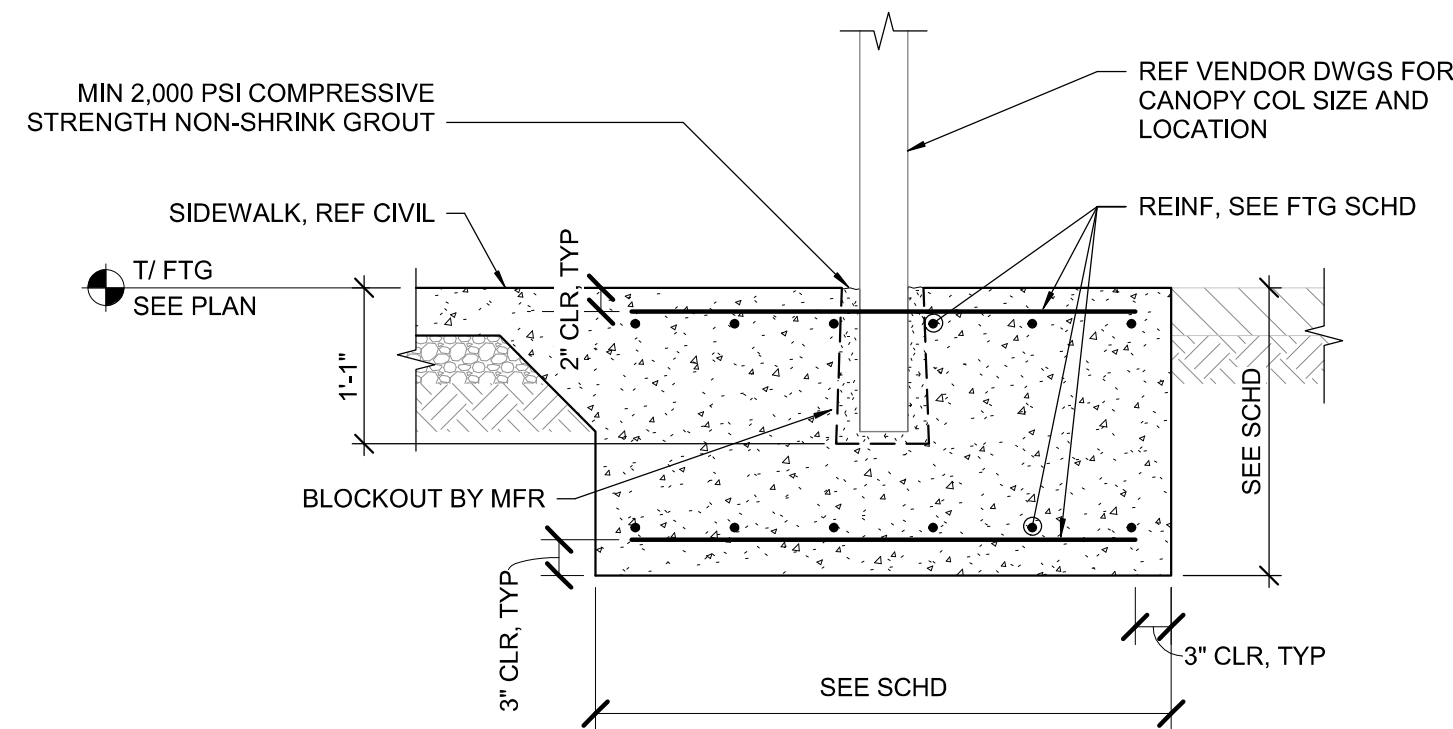


SECTION

3/4" = 1'-0"

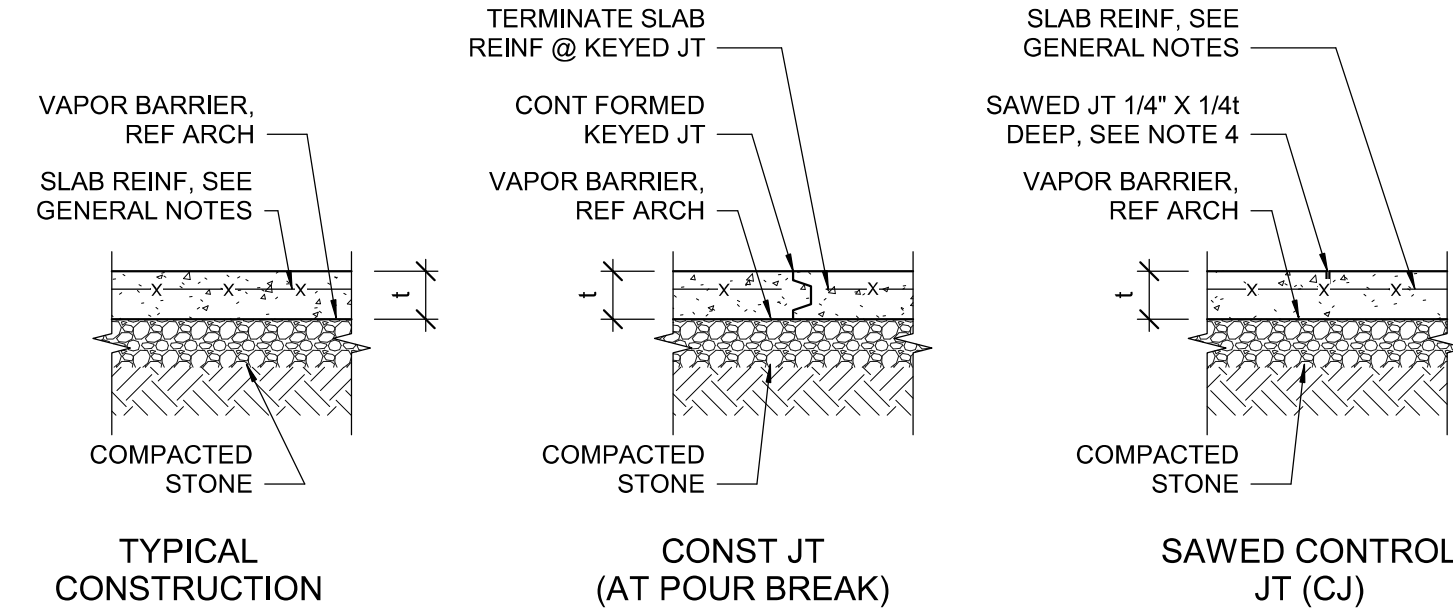
NOTES:

1. VERIFY ALL EXISTING CONDITIONS IN FIELD
2. ARCHITECTURAL WALL CONSTRUCTION NOT SHOWN FOR CLARITY



TYPICAL CANOPY FOOTING

NOT TO SCALE

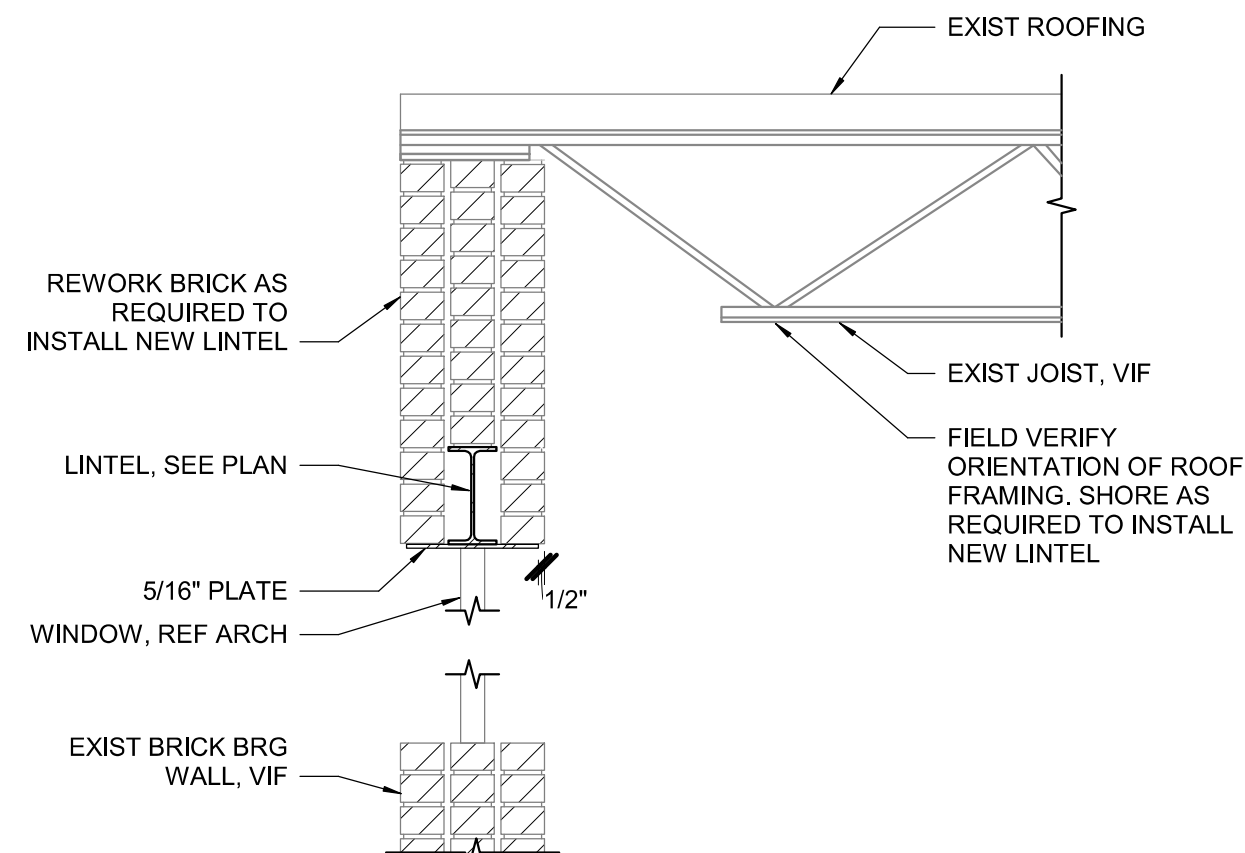


TYPICAL SLAB ON GRADE

NOT TO SCALE

NOTES:

1. '1' DENOTES SLAB THICKNESS. SEE PLANS.
2. LOCATION OF SOG CONSTRUCTION JOINTS SHALL BE DETERMINED BY THE CONTRACTOR. JOINT LOCATIONS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
3. SEE PLAN FOR LOCATION OF CONTROL JOINTS. WHERE NOT SHOWN ON PLAN, CONTACT THE ENGINEER.
4. SAW CUT JOINT WITHIN 8 HOURS OF SLAB POUR.
5. WWF REINF SHOWN AS SOG REINF FOR INFORMATION ONLY. SEE PLANS FOR REQD SOG REINF, TYP.

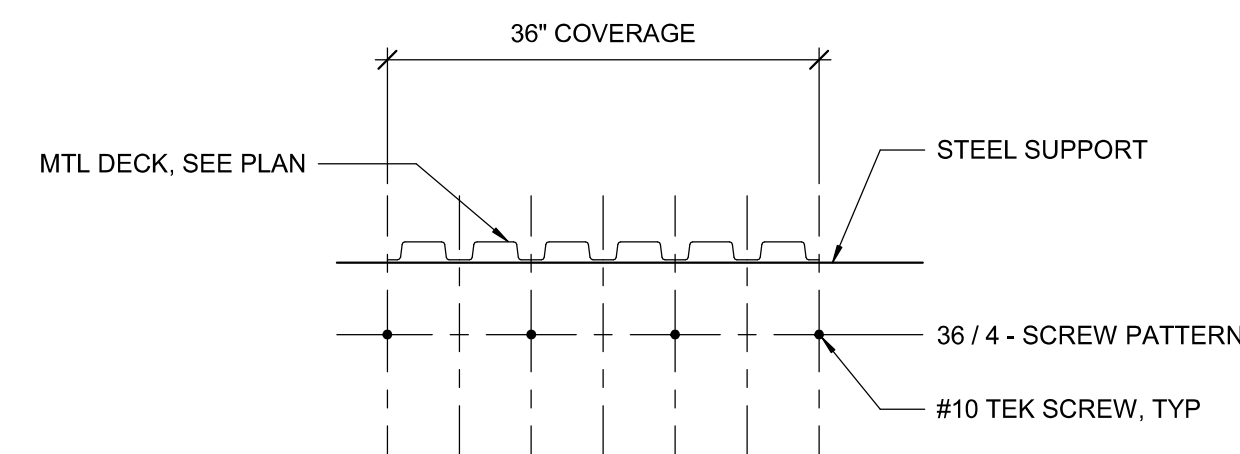


SECTION

NOT TO SCALE

NOTES:

1. PROVIDE MINIMUM 6" BRG FOR NEW STEEL LINTEL
2. VERIFY ALL EXISTING CONDITIONS IN FIELD
3. ARCHITECTURAL WALL CONSTRUCTION NOT SHOWN FOR CLARITY



TYPICAL FASTENER PATTERNS - 1 1/2" ROOF DECK

NOT TO SCALE
NOTES:
1. PROVIDE (4) #10 TEK SCREW SIDELAP FASTENERS PER SPAN.

N | V | 5

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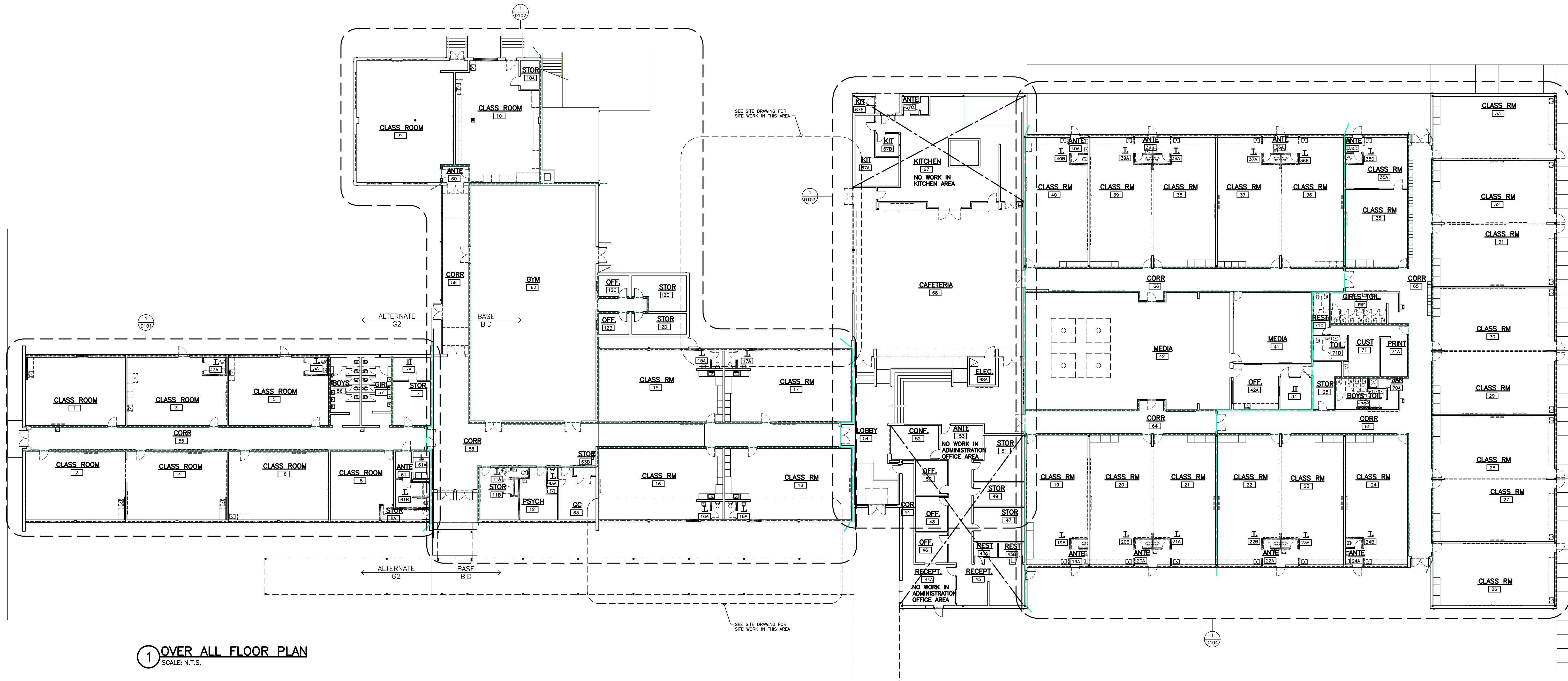
Revision		
ID	Date	Description

PROJECT #	NC27X00
REVIEWED BY	Checker
DESIGNED BY	C. Berg
DRAWN BY	M. Burke
DRAWING DATE	12/05/202
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S200

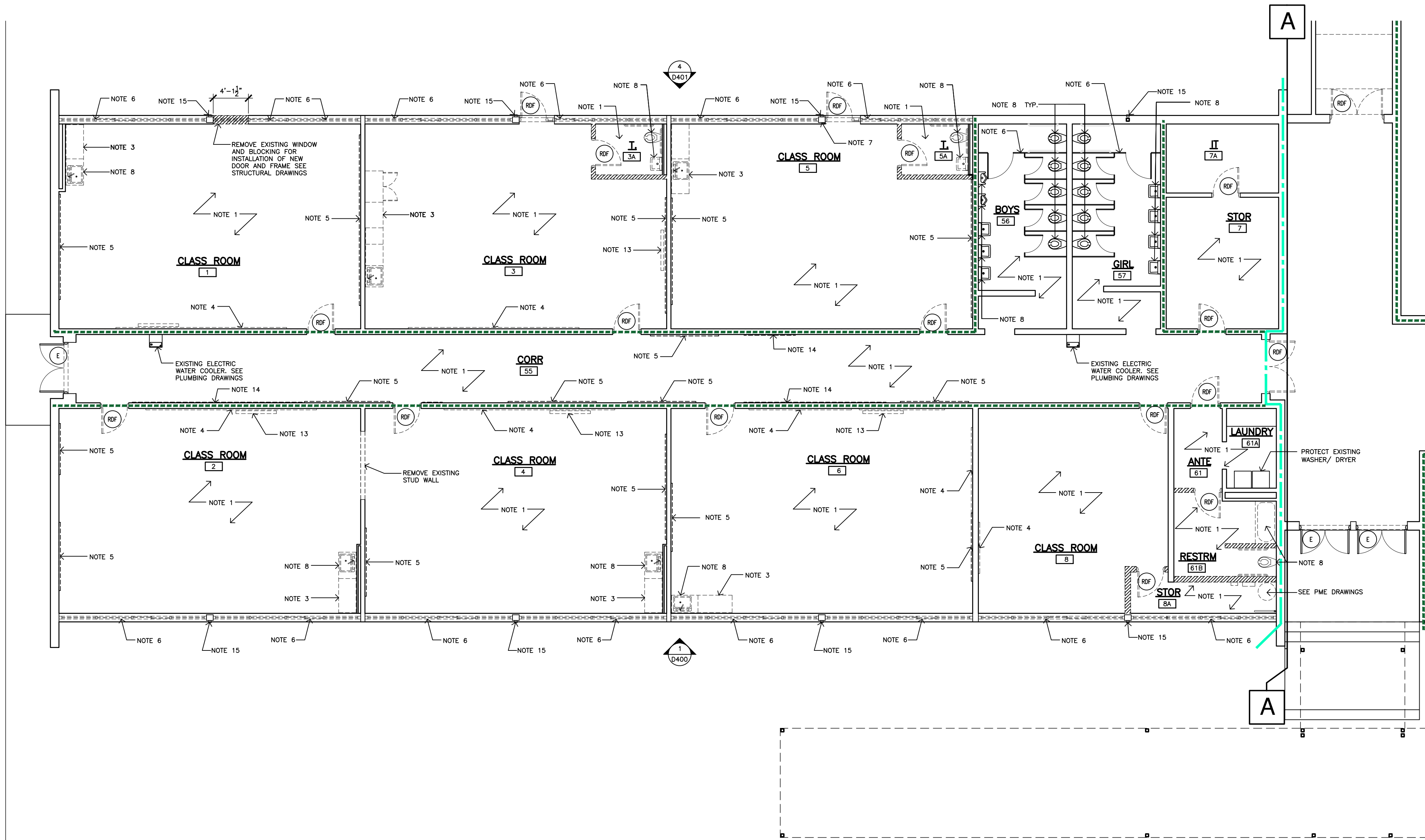
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Revision		
ID	Date	Description
PROJECT #	NC27X007	
REVIEWED BY	J. Young	
DESIGNED BY	J. Young	
DRAWN BY	P. Martin	
DRAWING DATE	02/26/2024	
SHEET NUMBER		



1 OVER ALL FLOOR PLAN
SCALE: N.T.S.

WALL RATING LEGEND
- 2-HOUR RATED FIRE WALL
- 1-HOUR RATED FIRE BARRIER



1 DEMOLITION FLOOR PLAN
SCALE: 1/8"=1'-0"

GENERAL DEMOLITION NOTES:

- GENERAL CONTRACTOR SHALL PROTECT ALL PIPING, WIRING, DUCTING, SUPPORTS, EQUIPMENT WALLS AND STRUCTURE NOT ASSOCIATED WITH DEMOLITION. ANY ITEMS DAMAGED DURING DEMOLITION THAT ARE NOT A PART OF THE PROJECT SHALL BE REPAIRED AT NO COST TO THE OWNER.
- GENERAL CONTRACTOR SHALL PROTECT ALL SURFACES NOT ASSOCIATED WITH DEMOLITION OR RENOVATION. ANY SURFACES DAMAGED DURING DEMOLITION THAT ARE NOT A PART OF THE PROJECT SHALL BE REPAIRED AT NO COST TO THE OWNER.
- GENERAL CONTRACTOR SHALL COORDINATE ALL DEMOLITION ACTIVITIES WITH PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS BEFORE BEGINNING WORK.
- GENERAL CONTRACTOR SHALL COORDINATE ALL DEMOLITION ACTIVITIES WITH PLUMBING, MECHANICAL AND ELECTRICAL SUBCONTRACTORS BEFORE BEGINNING WORK.
- WHERE COMPLETE FLOOR, WALL, OR CEILING DEMOLITION IS NOT SHOWN ON THE DRAWINGS AND DEMOLITION IS NEEDED TO INSTALL PLUMBING, MECHANICAL OR ELECTRICAL ITEMS THE DEMOLITION SHALL BE PERFORMED BY THE SUBCONTRACTOR RESPONSIBLE FOR THE INSTALLATION IN COORDINATION WITH THE GENERAL CONTRACTOR.
- ANY EXISTING TOILET PAPER DISPENSERS, PAPER TOWEL DISPENSERS, SOAP DISPENSERS AND GRAB BARS SHALL BE REMOVED WITH CARE AND RETURNED TO THE OWNER.
- PREPARE ALL THE EXISTING WALL, CEILING AND FLOOR SURFACES FOR NEW FINISHES AS REQUIRED BY THE NEW INSTALLED FINISH MANUFACTURER, INCLUDING PATCHING ALL HOLES FOR NEW PAINTING.
- SURFACES IN THE BUILDING MAY CONTAIN LEAD OR ASBESTOS. REFER TO HAZARDOUS MATERIALS REPORT IN SPECIFICATIONS. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF HAZARDOUS MATERIALS AND AIR TESTING TO ASSURE COMPLIANCE WITH STATE GUIDELINES.
- EXISTING FLAG HOLDERS IN CLASSROOMS SHALL REMAIN. PAINT AROUND HOLDER.

KEYED DEMOLITION FLOOR PLAN NOTES:

- REMOVE EXISTING VINYL FLOORING AND BASE.
- REMOVE EXISTING CARPET AND BASE.
- REMOVE EXISTING CASEWORK.
- REMOVE EXISTING WHITE BOARD.
- REMOVE EXISTING TACK BOARD.
- REMOVE EXISTING ALUMINUM WINDOW SYSTEM.
- REMOVE EXISTING THRESHOLD.
- REMOVE EXISTING PLUMBING FIXTURE, SEE PLUMBING DRAWINGS.
- REMOVE EXISTING TOILET PARTITIONS AND DOORS.
- REMOVE EXISTING MIRROR.
- REMOVE EXISTING DOWNSPOUT.
- REMOVE EXISTING CONCRETE SLAB, THIS AREA.
- OWNER TO TEMPORARILY REMOVE MONITOR.
- REMOVE EXISTING TACK STRIPS.
- REMOVE EXISTING DOWNSPOUT AND PATCH BRICK.
- REMOVE EXISTING DOWNSPOUT.

DEMOLITION LEGEND

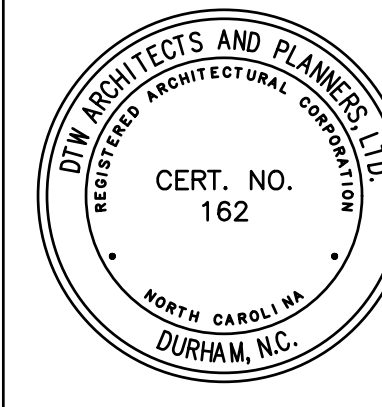
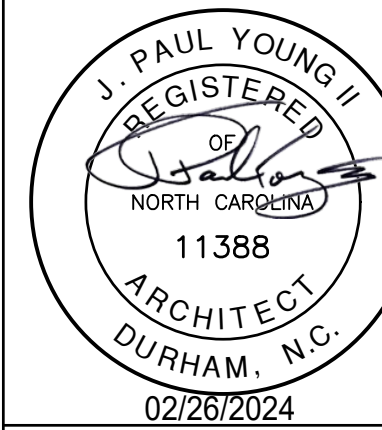
- REMOVE EXISTING WALL
- EXISTING WALL TO REMAIN
- REMOVE EXISTING DOOR, FRAME TO REMAIN
- REMOVE EXISTING DOOR AND FRAME
- EXISTING DOOR TO REMAIN

WALL RATING LEGEND

- 2-HOUR RATED FIRE WALL
- 1-HOUR RATED FIRE BARRIER

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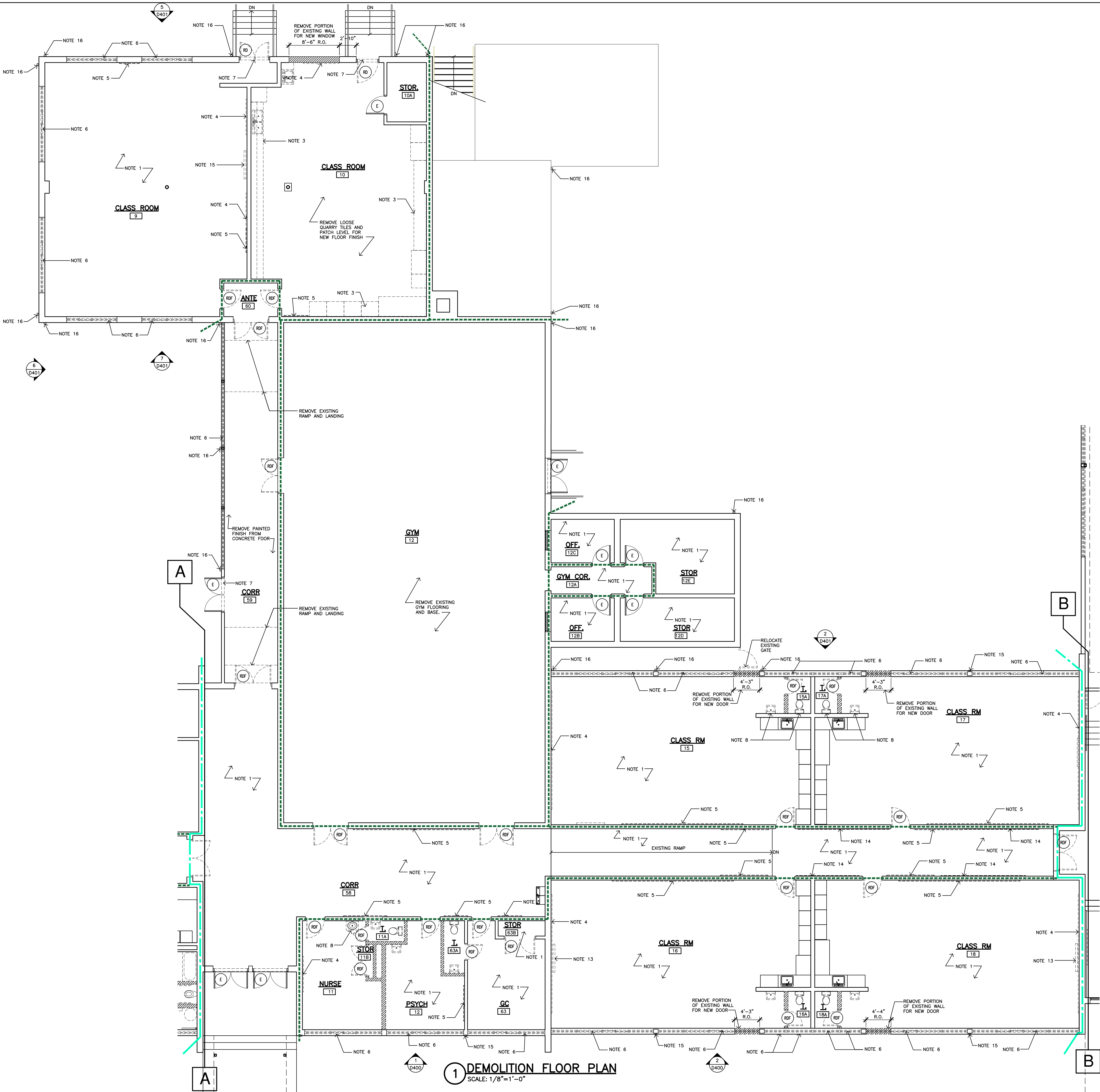
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ORANGE COUNTY SCHOOLS
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DEMOLITION FLOOR PLAN

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Revision		
ID	Date	Description
PROJECT #		NC27X007
REVIEWED BY		J. Young
DESIGNED BY		J. Young
DRAWN BY		P. Martin
DRAWING DATE		02/26/2024
SHEET NUMBER		

D101



1 DEMOLITION FLOOR PLAN
SCALE: 1/8"=1'-0"

GENERAL DEMOLITION NOTES:

- GENERAL CONTRACTOR SHALL PROTECT ALL PIPING, WIRING, DUCTING, SUPPORTS, EQUIPMENT WALLS AND STRUCTURE NOT ASSOCIATED WITH DEMOLITION. ANY ITEMS DAMAGED DURING DEMOLITION THAT ARE NOT A PART OF THE PROJECT SHALL BE REPAIRED AT NO COST TO THE OWNER.
- GENERAL CONTRACTOR SHALL PROTECT ALL SURFACES NOT ASSOCIATED WITH DEMOLITION OR RENOVATION. ANY SURFACES DAMAGED DURING DEMOLITION THAT ARE NOT A PART OF THE PROJECT SHALL BE REPAIRED AT NO COST TO THE OWNER.
- GENERAL CONTRACTOR SHALL COORDINATE ALL DEMOLITION ACTIVITIES WITH PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS BEFORE BEGINNING WORK.
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- EXISTING FLAG HOLDERS IN CLASSROOMS SHALL REMAIN. PAINT AROUND HOLDER.

KEYED DEMOLITION FLOOR PLAN NOTES:

- REMOVE EXISTING VINYL FLOORING AND BASE.
- REMOVE EXISTING CARPET AND BASE.
- REMOVE EXISTING CASEWORK.
- REMOVE EXISTING WHITE BOARD.
- REMOVE EXISTING TACK BOARD.
- REMOVE EXISTING ALUMINUM WINDOW SYSTEM.
- REMOVE EXISTING THRESHOLD.
- REMOVE EXISTING PLUMBING FIXTURE, SEE PLUMBING DRAWINGS.
- REMOVE EXISTING TOILET PARTITIONS AND DOORS.
- REMOVE EXISTING MIRROR.
- REMOVE EXISTING DOWNSPOUT.
- REMOVE EXISTING CONCRETE SLAB, THIS AREA.
- OWNER TO TEMPORARILY REMOVE MONITOR.
- REMOVE EXISTING TACK STRIPS.
- REMOVE EXISTING DOWNSPOUT AND PATCH BRICK.
- REMOVE EXISTING DOWNSPOUT.

DEMOLITION LEGEND

- REMOVE EXISTING WALL
- EXISTING WALL TO REMAIN
- REMOVE EXISTING DOOR, FRAME TO REMAIN
- REMOVE EXISTING DOOR AND FRAME
- EXISTING DOOR TO REMAIN

WALL RATING LEGEND

- 2-HOUR RATED FIRE WALL
- 1-HOUR RATED FIRE BARRIER

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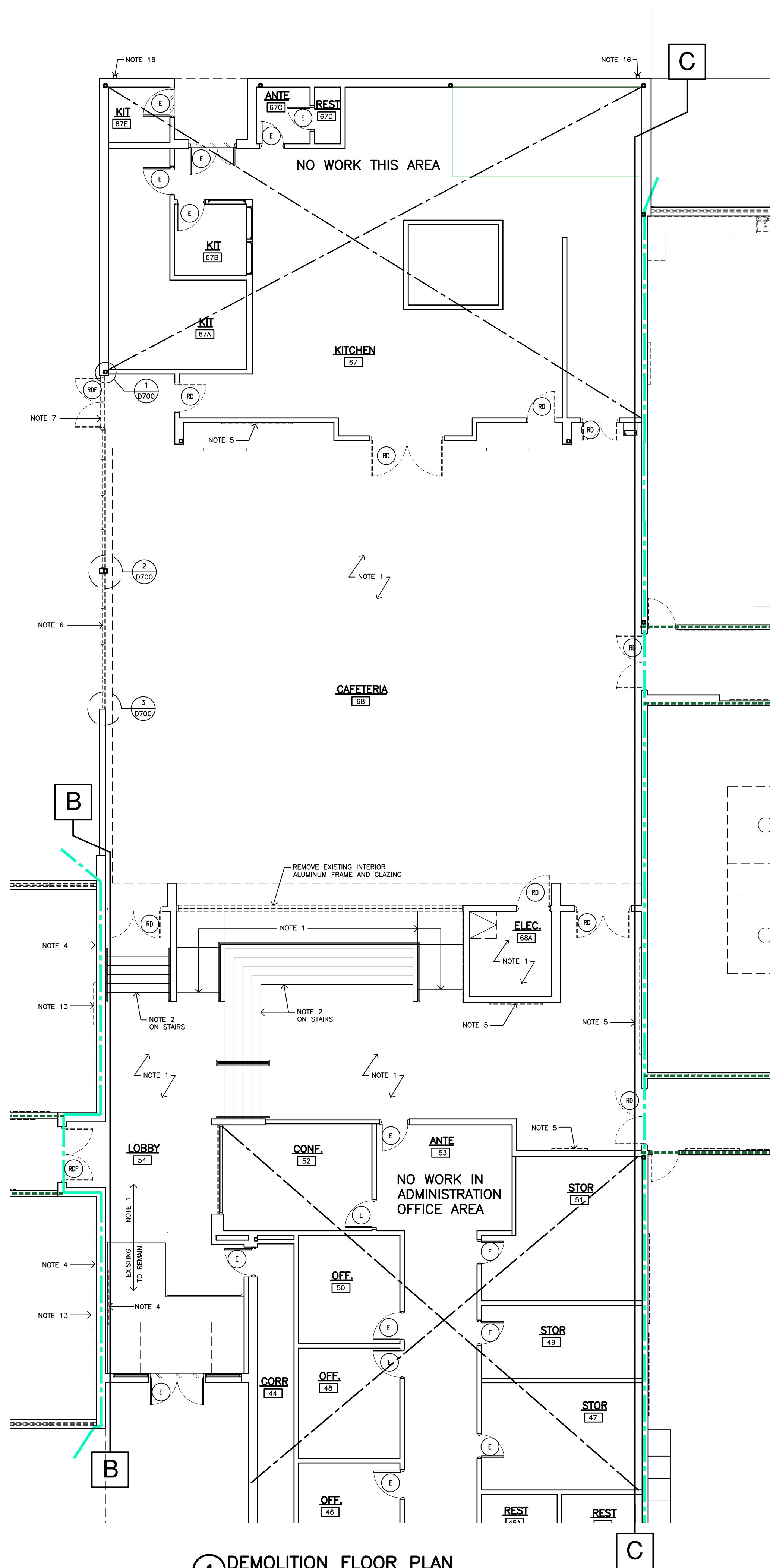
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DEMOLITION FLOOR PLAN

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Revision		
ID	Date	Description
PROJECT #	NC27X007	
REVIEWED BY	J. Young	
DESIGNED BY	J. Young	
DRAWN BY	P. Martin	
DRAWING DATE	02/26/2024	
SHEET NUMBER		

D102



1 DEMOLITION FLOOR PLAN
SCALE: 1/8"=1'-0"

GENERAL DEMOLITION NOTES:

- GENERAL CONTRACTOR SHALL PROTECT ALL PIPING, WIRING, DUCTING, SUPPORTS, EQUIPMENT WALLS AND STRUCTURE NOT ASSOCIATED WITH DEMOLITION. ANY ITEMS DAMAGED DURING DEMOLITION THAT ARE NOT A PART OF THE PROJECT SHALL BE REPAIRED AT NO COST TO THE OWNER.
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- EXISTING FLAG HOLDERS IN CLASSROOMS SHALL REMAIN. PAINT AROUND HOLDER.

KEYED DEMOLITION FLOOR PLAN NOTES:

- REMOVE EXISTING VINYL FLOORING AND BASE.
- REMOVE EXISTING CARPET AND BASE.
- REMOVE EXISTING CASEWORK.
- REMOVE EXISTING WHITE BOARD.
- REMOVE EXISTING TACK BOARD.
- REMOVE EXISTING ALUMINUM WINDOW SYSTEM.
- REMOVE EXISTING THRESHOLD.
- REMOVE EXISTING PLUMBING FIXTURE, SEE PLUMBING DRAWINGS.
- REMOVE EXISTING TOILET PARTITIONS AND DOORS.
- REMOVE EXISTING MIRROR.
- REMOVE EXISTING DOWNSPOUT.
- REMOVE EXISTING CONCRETE SLAB, THIS AREA.
- OWNER TO TEMPORARILY REMOVE MONITOR.
- REMOVE EXISTING TACK STRIPS.
- REMOVE EXISTING DOWNSPOUT AND PATCH BRICK.
- REMOVE EXISTING DOWNSPOUT.

DEMOLITION LEGEND

- REMOVE EXISTING WALL
- EXISTING WALL TO REMAIN
- REMOVE EXISTING DOOR, FRAME TO REMAIN
- REMOVE EXISTING DOOR AND FRAME
- EXISTING DOOR TO REMAIN

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J. PAUL YOUNG II
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NORTH CAROLINA
11388
02/26/2024

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ORANGE COUNTY SCHOOLS
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DEMOLITION FLOOR PLAN

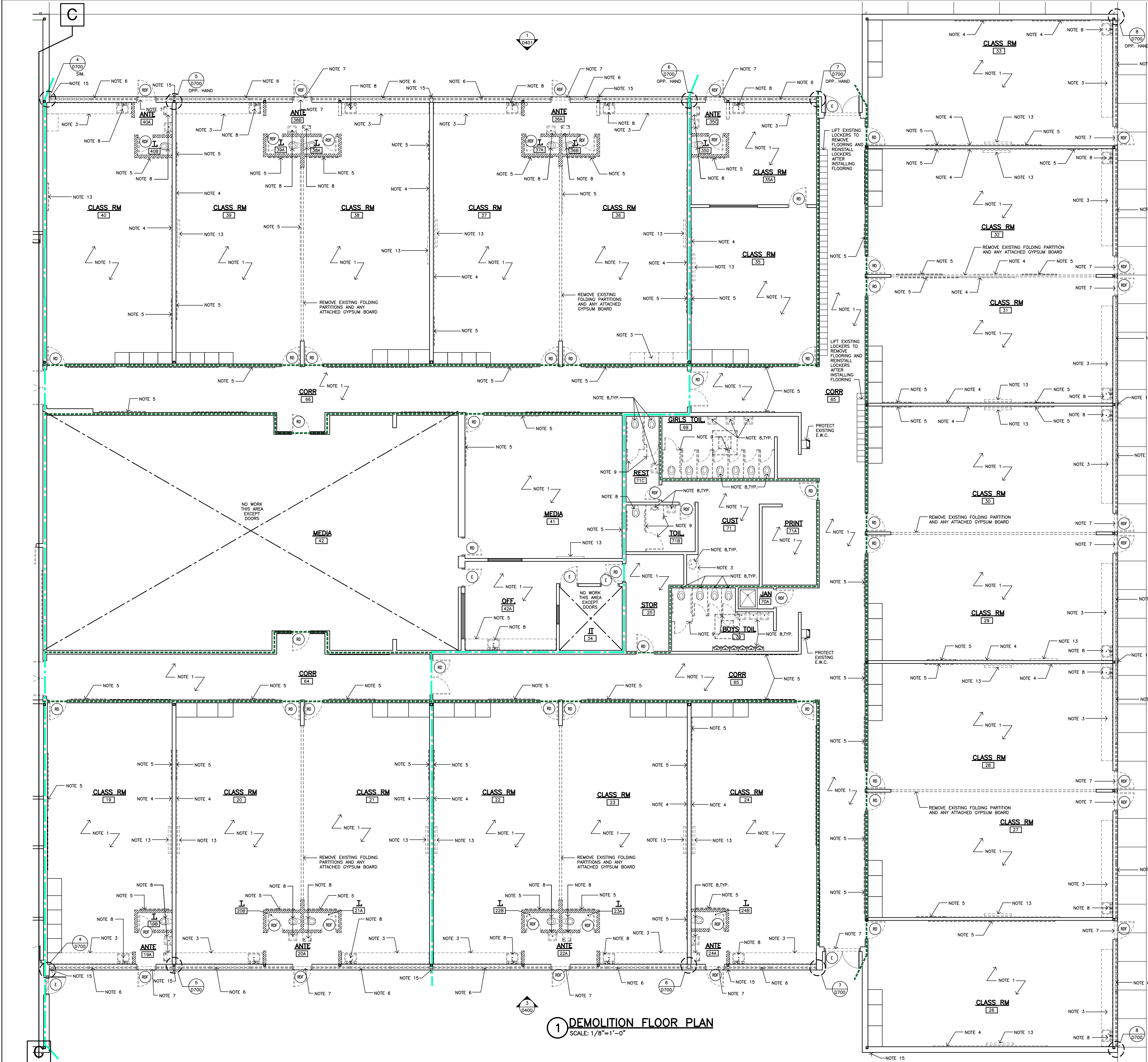
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Revision		
ID	Date	Description

PROJECT #	NC27X007
REVIEWED BY	J. Young
DESIGNED BY	J. Young
DRAWN BY	P. Martin
DRAWING DATE	02/26/2024
SHEET NUMBER	



DEMOLITION LEGEND

- REMOVE EXISTING WALL
- EXISTING WALL TO REMAIN
- REMOVE EXISTING DOOR, FRAME TO REMAIN
- REMOVE EXISTING DOOR AND FRAME
- EXISTING DOOR TO REMAIN

- GENERAL DEMOLITION NOTES:**
- A. GENERAL CONTRACTOR SHALL PROTECT ALL PIPING, WIRING, DUCTING, SUPPORTS, EQUIPMENT WALLS AND STRUCTURE NOT ASSOCIATED WITH DEMOLITION. ANY ITEMS DAMAGED DURING DEMOLITION THAT ARE NOT A PART OF THE PROJECT SHALL BE REPAIRED AT NO COST TO THE OWNER.
 - B. GENERAL CONTRACTOR SHALL PROTECT ALL SURFACES NOT ASSOCIATED WITH DEMOLITION OR RENOVATION. ANY SURFACES DAMAGED DURING DEMOLITION THAT ARE NOT A PART OF THE PROJECT SHALL BE REPAIRED AT NO COST TO THE OWNER.
 - C. GENERAL CONTRACTOR SHALL COORDINATE ALL DEMOLITION ACTIVITIES WITH PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS BEFORE BEGINNING WORK.
 - D. GENERAL CONTRACTOR SHALL COORDINATE ALL DEMOLITION ACTIVITIES WITH PLUMBING, MECHANICAL AND ELECTRICAL SUBCONTRACTORS BEFORE BEGINNING WORK.
 - E. WHERE COMPLETE FLOOR, WALL, OR CEILING DEMOLITION IS NOT SHOWN ON THE DRAWINGS AND DEMOLITION IS NEEDED TO INSTALL PLUMBING, MECHANICAL OR ELECTRICAL ITEMS THE DEMOLITION SHALL BE PERFORMED BY THE SUBCONTRACTOR RESPONSIBLE FOR THE INSTALLATION IN COORDINATION WITH THE GENERAL CONTRACTOR.
 - F. ANY EXISTING TOILET PAPER DISPENSERS, PAPER TOWEL DISPENSERS, SOAP DISPENSERS AND GRAB BARS SHALL BE REMOVED WITH CARE AND RETURNED TO THE OWNER.
 - G. PREPARE ALL THE EXISTING WALL, CEILING AND FLOOR SURFACES FOR NEW FINISHES AS REQUIRED BY THE NEW INSTALLED FINISH MANUFACTURER, INCLUDING PATCHING ALL HOLES FOR NEW PAINTING.
 - H. SURFACES IN THE BUILDING MAY CONTAIN LEAD OR ASBESTOS. REFER TO HAZARDOUS MATERIALS REPORT IN SPECIFICATIONS. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF HAZARDOUS MATERIALS AND AIR TESTING TO ASSURE COMPLIANCE WITH STATE GUIDELINES.
 - I. EXISTING FLAG HOLDERS IN CLASSROOMS SHALL REMAIN. PAINT AROUND HOLDER.

- KEYED DEMOLITION FLOOR PLAN NOTES:**
- 1. REMOVE EXISTING VINYL FLOORING AND BASE.
 - 2. REMOVE EXISTING CARPET AND BASE.
 - 3. REMOVE EXISTING CASEWORK.
 - 4. REMOVE EXISTING WHITE BOARD.
 - 5. REMOVE EXISTING TACK BOARD.
 - 6. REMOVE EXISTING ALUMINUM WINDOW SYSTEM.
 - 7. REMOVE EXISTING THRESHOLD.
 - 8. REMOVE EXISTING PLUMBING FIXTURE. SEE PLUMBING DRAWINGS.
 - 9. REMOVE EXISTING TOILET PARTITIONS AND DOORS.
 - 10. REMOVE EXISTING MIRROR.
 - 11. REMOVE EXISTING DOWNSPOUT.
 - 12. REMOVE EXISTING CONCRETE SLAB, THIS AREA.
 - 13. OWNER TO TEMPORARILY REMOVE MONITOR.
 - 14. REMOVE EXISTING TACK STRIPS.
 - 15. REMOVE EXISTING DOWNSPOUT AND PATCH BRICK.
 - 16. REMOVE EXISTING DOWNSPOUT.

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J. PAUL YOUNG II
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DURHAM, N.C.
02/26/2024

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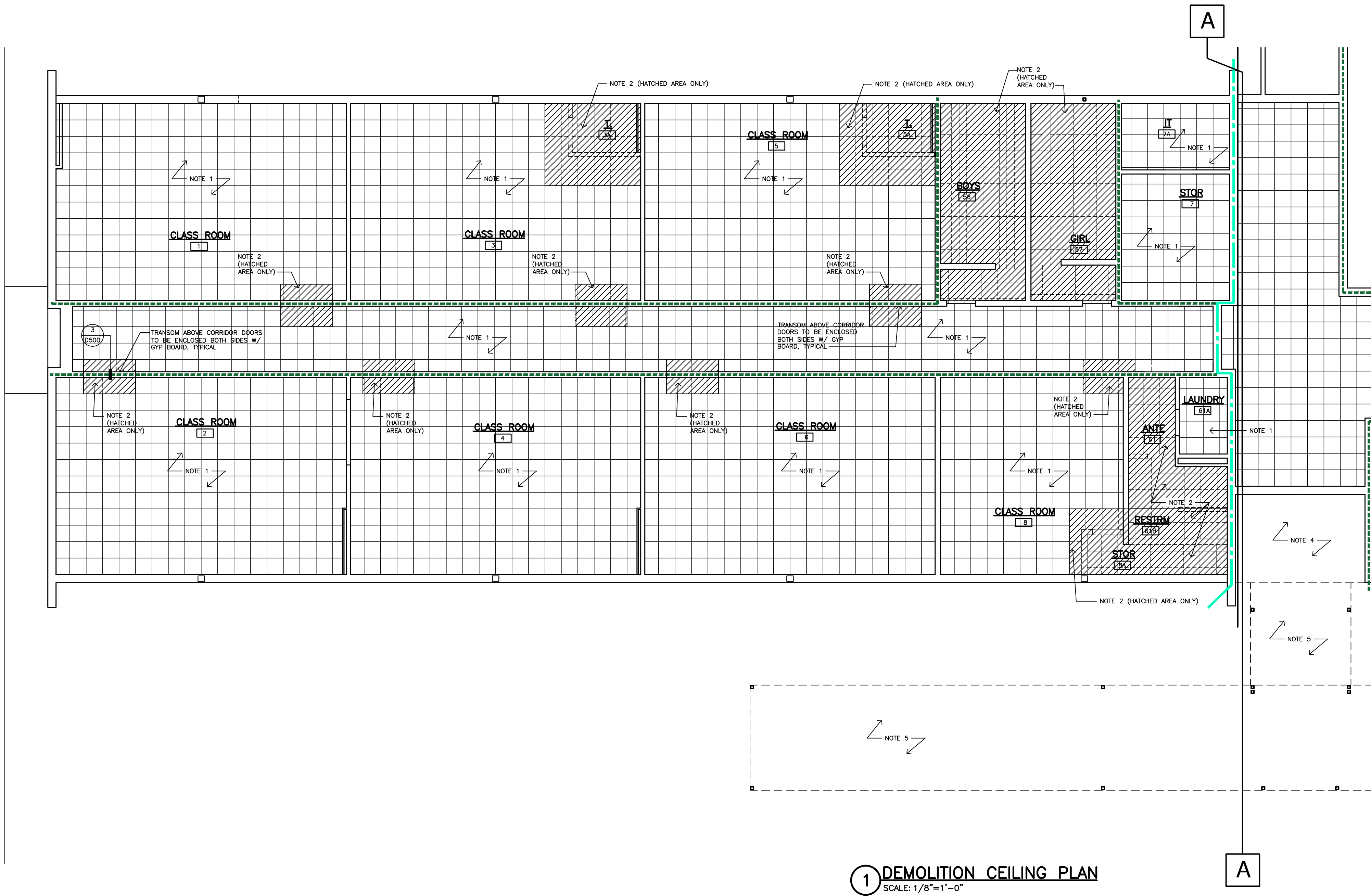
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ORANGE COUNTY SCHOOLS
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DEMOLITION FLOOR PLAN

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Revision		
ID	Date	Description

PROJECT #	NC27X007
REVIEWED BY	J. Young
DESIGNED BY	J. Young
DRAWN BY	P. Martin
DRAWING DATE	02/26/2024
SHEET NUMBER	



1 DEMOLITION CEILING PLAN
SCALE: 1/8"=1'-0"

CEILING DEMOLITION NOTES:

A. GENERAL CONTRACTOR SHALL PROTECT ALL PIPING, WIRING, DUCTING, SUPPORTS, EQUIPMENT, WALLS AND STRUCTURE NOT ASSOCIATED WITH DEMOLITION. ANY ITEMS DAMAGED DURING DEMOLITION THAT ARE NOT A PART OF THE PROJECT SHALL BE REPAIRED AT NO COST TO THE OWNER.

B. GENERAL CONTRACTOR SHALL PROTECT ALL SURFACES NOT ASSOCIATED WITH DEMOLITION OR RENOVATION. ANY SURFACES DAMAGED DURING DEMOLITION THAT ARE NOT A PART OF THE PROJECT SHALL BE REPAIRED AT NO COST TO THE OWNER.

C. GENERAL CONTRACTOR SHALL COORDINATE ALL DEMOLITION ACTIVITIES WITH PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS BEFORE BEGINNING WORK.

D. WHERE CEILING GRID DEMOLITION IS NOT SHOWN ON THE DRAWINGS AND DEMOLITION IS NEEDED TO INSTALL PLUMBING, MECHANICAL OR ELECTRICAL ITEMS THE DEMOLITION SHALL BE PERFORMED BY THE SUBCONTRACTOR RESPONSIBLE FOR THE INSTALLATION IN COORDINATION WITH THE GENERAL CONTRACTOR.

E. PREPARE ALL THE EXISTING CEILING GRID SURFACES FOR PAINTING AS REQUIRED THE MANUFACTURER SPECIFICATIONS.

F. ANY SURFACE IN THE BUILDING THAT MAY CONTAIN LEAD OR ASBESTOS. REFER TO HAZARDOUS MATERIALS REPORT IN SPECIFICATIONS. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF HAZARDOUS MATERIALS AND AIR TESTING TO ASSURE COMPLIANCE WITH STATE GUIDELINES.

KEYED DEMOLITION CEILING PLAN NOTES:

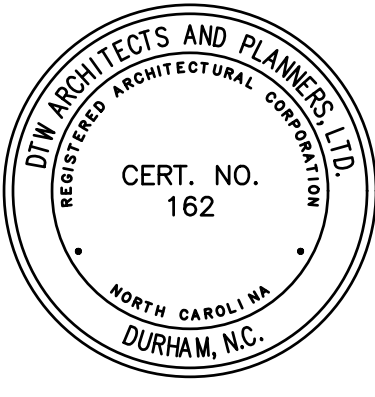
1. REMOVE EXISTING CEILING TILES. GRID TO REMAIN. PREPARE GRID FOR NEW PAINT.
2. REMOVE EXISTING CEILING TILES & GRID.
3. REMOVE EXISTING GYPSUM BOARD CEILING. PREPARE FOR NEW PAINT FINISH.
4. PROTECT EXISTING PLASTER SOFFIT. PREPARE FOR NEW PAINT FINISH.
5. PROTECT EXISTING CANOPY.

WALL RATING LEGEND

- 2-HOUR RATED FIRE WALL
- 1-HOUR RATED FIRE BARRIER

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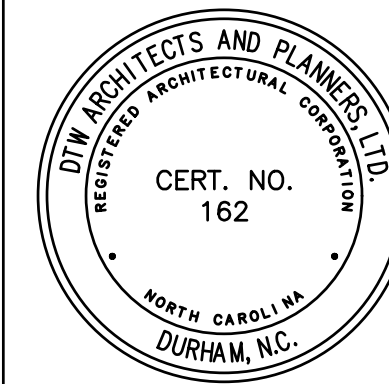
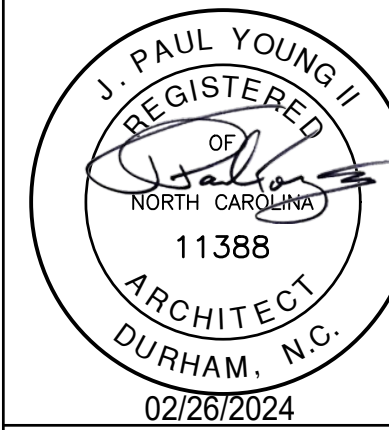
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DEMOLITION CEILING PLAN

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Revision		
ID	Date	Description
PROJECT #		NC27X007
REVIEWED BY		J. Young
DESIGNED BY		J. Young
DRAWN BY		P. Martin
DRAWING DATE		02/26/2024
SHEET NUMBER		

D201



Revision		
ID	Date	Description
PROJECT #	NC27X007	
REVIEWED BY	J. Young	
DESIGNED BY	J. Young	
DRAWN BY	P. Martin	
DRAWING DATE	02/26/2024	
SHEET NUMBER		

CEILING DEMOLITION NOTES:

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KEYED DEMOLITION CEILING PLAN NOTES:

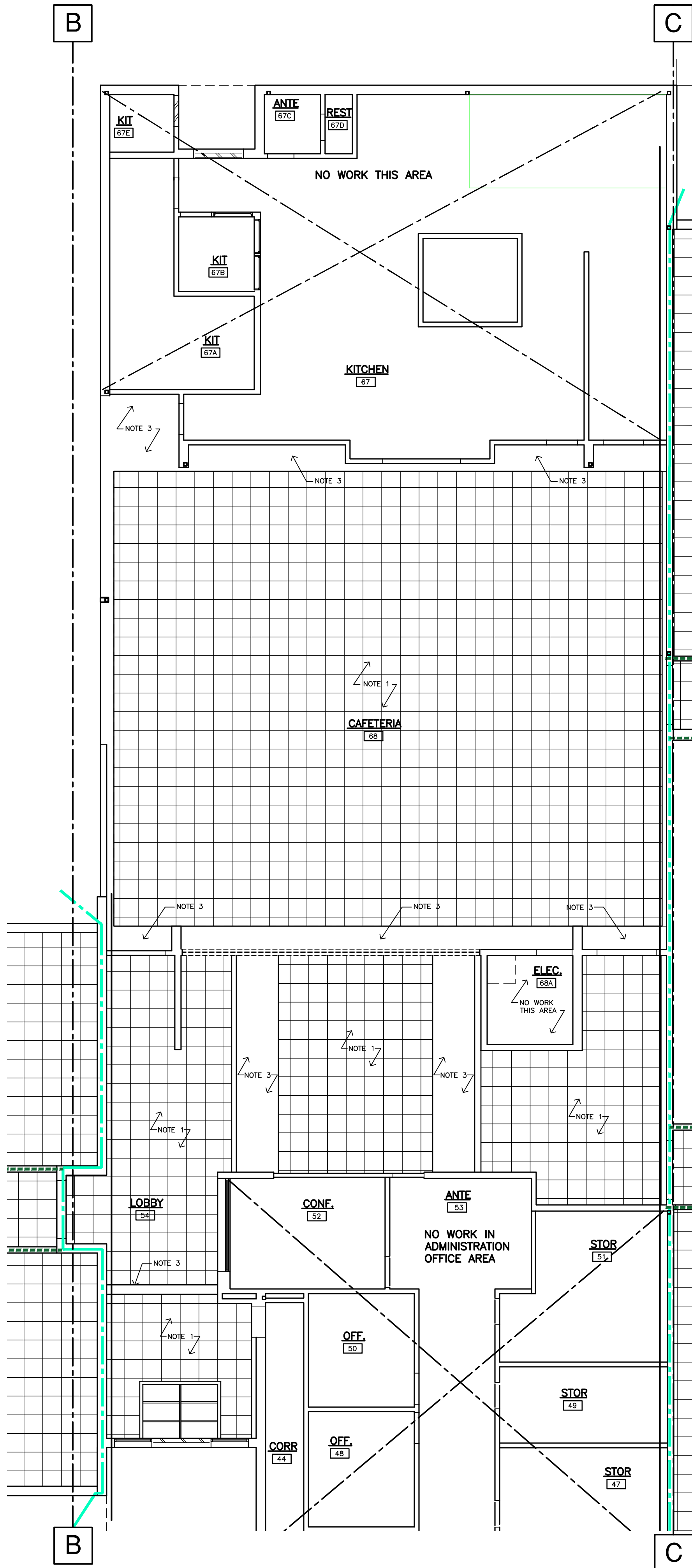
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WALL RATING LEGEND

- 2-HOUR RATED FIRE WALL
- 1-HOUR RATED FIRE BARRIER



1 DEMOLITION CEILING PLAN
SCALE: 1/8"=1'-0"



1 DEMOLITION FLOOR PLAN
SCALE: 1/8"=1'-0"

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B. GENERAL CONTRACTOR SHALL PROTECT ALL SURFACES NOT ASSOCIATED WITH DEMOLITION OR RENOVATION. ANY SURFACES DAMAGED DURING DEMOLITION THAT ARE NOT A PART OF THE PROJECT SHALL BE REPAIRED AT NO COST TO THE OWNER.

C. GENERAL CONTRACTOR SHALL COORDINATE ALL DEMOLITION ACTIVITIES WITH PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS BEFORE BEGINNING WORK.

D. WHERE CEILING GRID DEMOLITION IS NOT SHOWN ON THE DRAWINGS AND DEMOLITION IS NEEDED TO INSTALL PLUMBING, MECHANICAL OR ELECTRICAL ITEMS THE DEMOLITION SHALL BE PERFORMED BY THE SUBCONTRACTOR RESPONSIBLE FOR THE INSTALLATION IN COORDINATION WITH THE GENERAL CONTRACTOR.

E. PREPARE ALL THE EXISTING CEILING GRID SURFACES FOR PAINTING AS REQUIRED THE MANUFACTURER SPECIFICATIONS.

F. ANY SURFACE IN THE BUILDING THAT MAY CONTAIN LEAD OR ASBESTOS. REFER TO HAZARDOUS MATERIALS REPORT IN SPECIFICATIONS. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF HAZARDOUS MATERIALS AND AIR TESTING TO ASSURE COMPLIANCE WITH STATE GUIDELINES.

KEYED DEMOLITION CEILING PLAN NOTES:

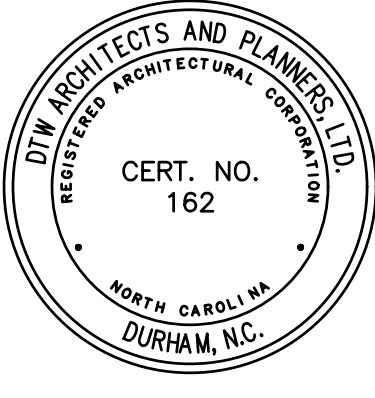
1. REMOVE EXISTING CEILING TILES. GRID TO REMAIN. PREPARE GRID FOR NEW PAINT.
2. REMOVE EXISTING CEILING TILES & GRID.
3. REMOVE EXISTING GYPSUM BOARD CEILING. PREPARE FOR NEW PAINT FINISH.
4. PROTECT EXISTING PLASTER SOFFIT. PREPARE FOR NEW PAINT FINISH.
5. PROTECT EXISTING CANOPY.

WALL RATING LEGEND

- - 2-HOUR RATED FIRE WALL
- - 1-HOUR RATED FIRE BARRIER

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ORANGE COUNTY SCHOOLS
4401 FULLER ROAD
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DEMOLITION CEILING PLAN

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Revision		
ID	Date	Description
PROJECT #		NC27X007
REVIEWED BY		J. Young
DESIGNED BY		J. Young
DRAWN BY		P. Martin
DRAWING DATE		02/26/2024
SHEET NUMBER		

D203



KEYED DEMOLITION CEILING PLAN NOTES:

1. REMOVE EXISTING CEILING TILES. GRID TO REMAIN. PREPARE GRID FOR NEW PAINT.
2. REMOVE EXISTING CEILING TILES & GRID.
3. PROTECT EXISTING GYPSUM BOARD CEILING. PREPARE FOR NEW PAINT FINISH.
4. PROTECT EXISTING PLASTER SOFFIT. PREPARE FOR NEW PAINT FINISH.
5. PROTECT EXISTING CANOPY.

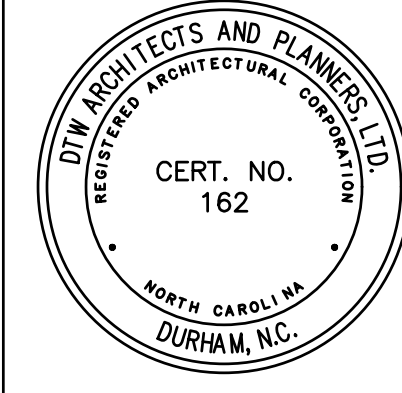
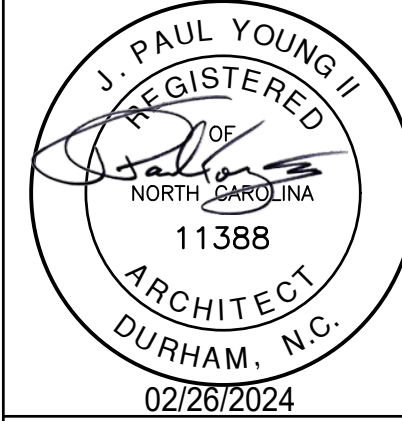
WALL RATING LEGEND

- - - - - 2-HOUR RATED FIRE WALL
- 1-HOUR RATED FIRE BARRIER

CEILING DEMOLITION NOTES:

- A. GENERAL CONTRACTOR SHALL PROTECT ALL PIPING, WIRING, DUCTING, SUPPORTS, EQUIPMENT, WALLS AND STRUCTURE NOT ASSOCIATED WITH DEMOLITION. ANY ITEMS DAMAGED DURING DEMOLITION THAT ARE NOT A PART OF THE PROJECT SHALL BE REPAIRED AT NO COST TO THE OWNER.
- B. GENERAL CONTRACTOR SHALL PROTECT ALL SURFACES NOT ASSOCIATED WITH DEMOLITION OR RENOVATION. ANY SURFACES DAMAGED DURING DEMOLITION THAT ARE NOT A PART OF THE PROJECT SHALL BE REPAIRED AT NO COST TO THE OWNER.
- C. GENERAL CONTRACTOR SHALL COORDINATE ALL DEMOLITION ACTIVITIES WITH PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS BEFORE BEGINNING WORK.
- D. WHERE CEILING GRID DEMOLITION IS NOT SHOWN ON THE DRAWINGS AND DEMOLITION IS NEEDED TO INSTALL PLUMBING, MECHANICAL OR ELECTRICAL ITEMS THE DEMOLITION SHALL BE PERFORMED BY THE SUBCONTRACTOR RESPONSIBLE FOR THE INSTALLATION IN COORDINATION WITH THE GENERAL CONTRACTOR.
- E. PREPARE ALL THE EXISTING CEILING GRID SURFACES FOR PAINTING AS REQUIRED THE MANUFACTURER SPECIFICATIONS.
- F. ANY SURFACE IN THE BUILDING THAT MAY CONTAIN LEAD OR ASBESTOS, REFER TO HAZARDOUS MATERIALS REPORT IN SPECIFICATIONS. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF HAZARDOUS MATERIALS AND AIR TESTING TO ASSURE COMPLIANCE WITH STATE GUIDELINES.

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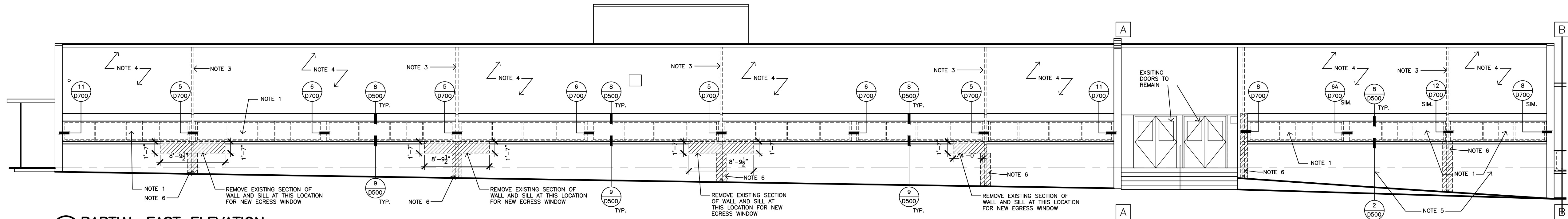
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4401 FULLER ROAD
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DEMOLITION CEILING PLAN

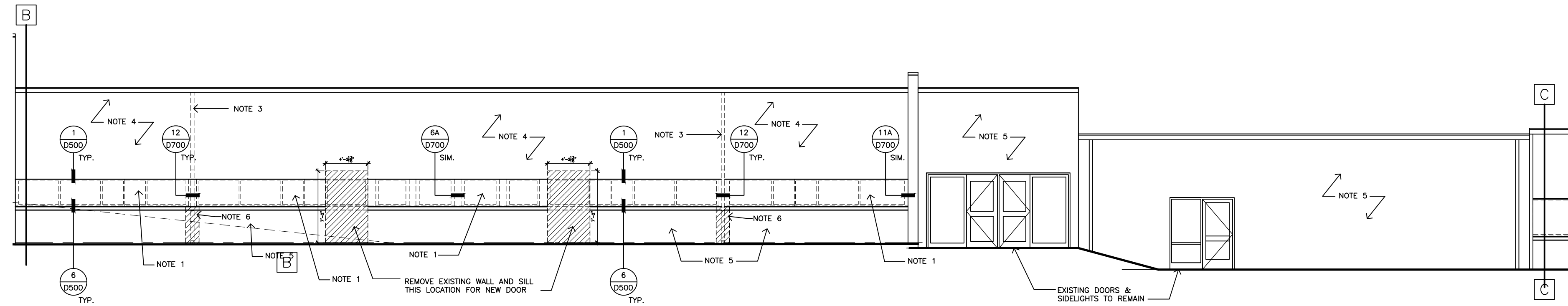
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DRAWING DATE	02/26/2024	
SHEET NUMBER		

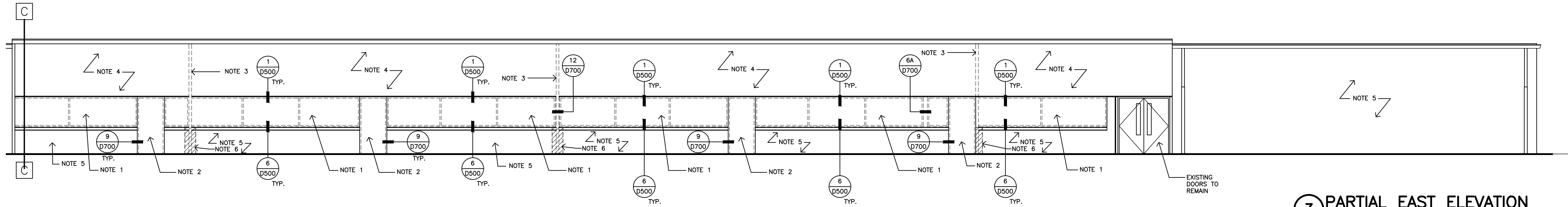
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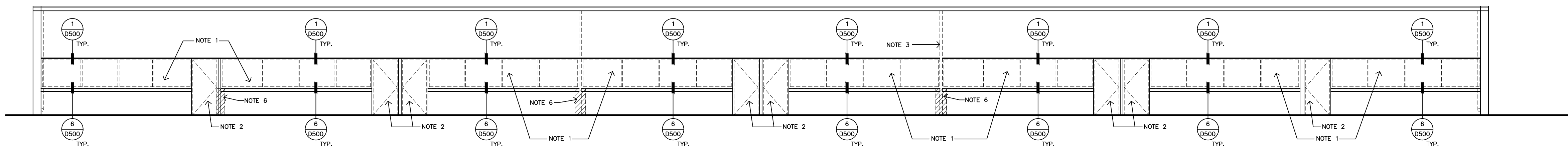
1 PARTIAL EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 PARTIAL EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 PARTIAL EAST ELEVATION
SCALE: 1/8" = 1'-0"



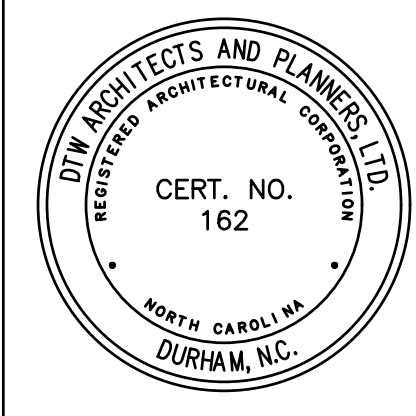
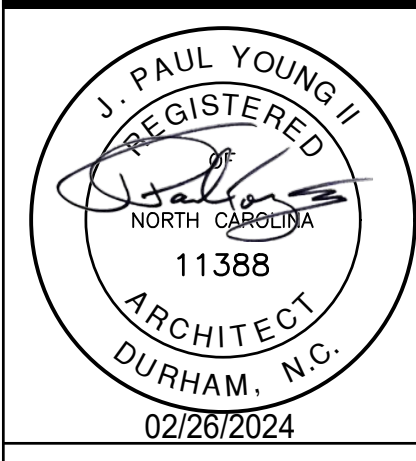
4 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

KEYED DEMOLITION ELEVATION NOTES:

1. REMOVE EXISTING GLAZING AND ALUMINUM FRAME.
2. REMOVE EXISTING DOOR, KEEP AND THRESHOLD. RETURN HARDWARE TO OWNER.
3. REMOVE EXISTING DOWNSPOUT.
4. REMOVE EXISTING ALUMINUM SIDING
5. EXISTING BRICK TO REMAIN
6. REMOVE EXISTING BRICK THIS AREA FOR REPAIR.
7. REMOVE EXISTING DOOR AND THRESHOLD. FRAME TO REMAIN

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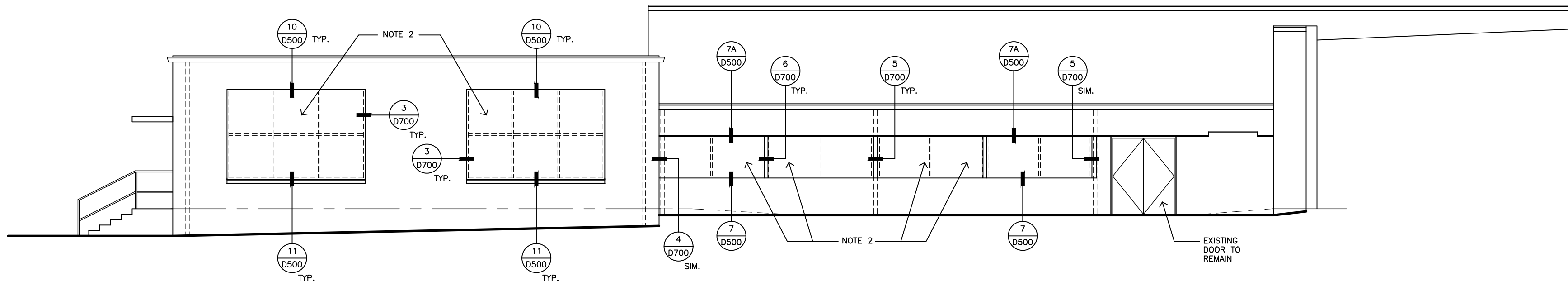
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DEMOLITION PLAN

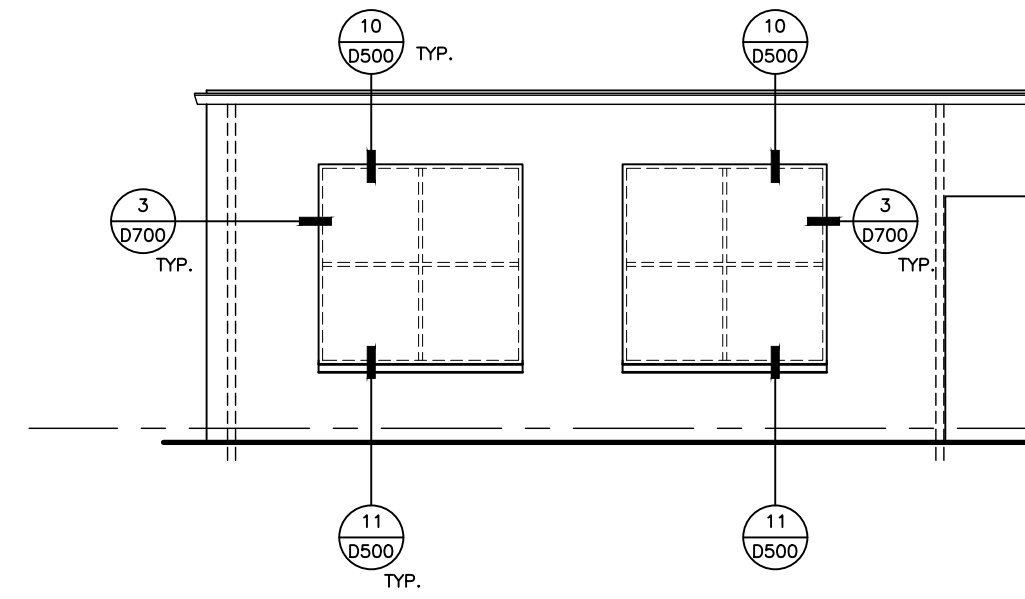
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DRAWN BY	P. Martin	
DRAWING DATE	02/26/2024	
SHEET NUMBER		

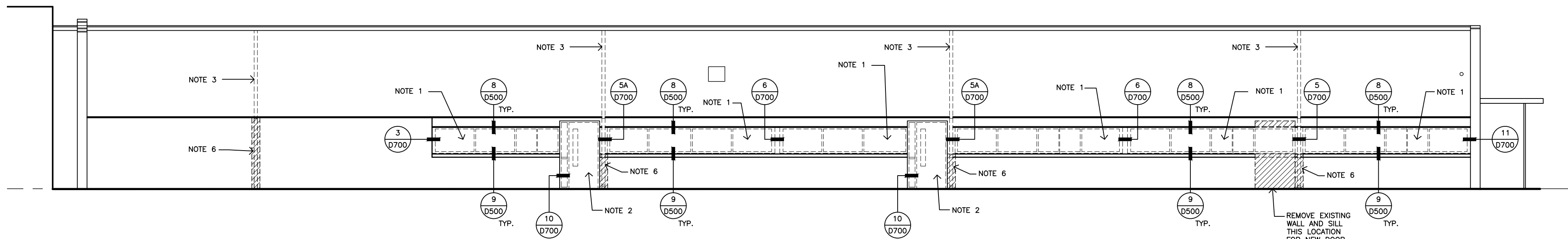
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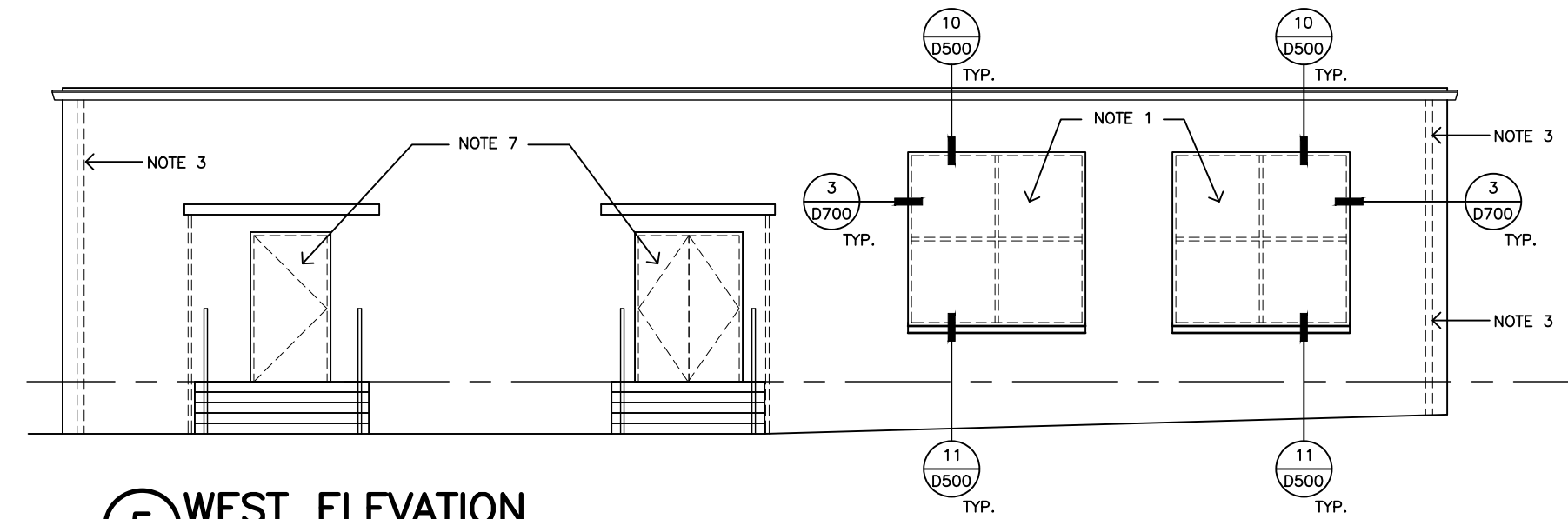
6 SOUTH WEST ELEVATION
SCALE: 1/8" = 1'-0"



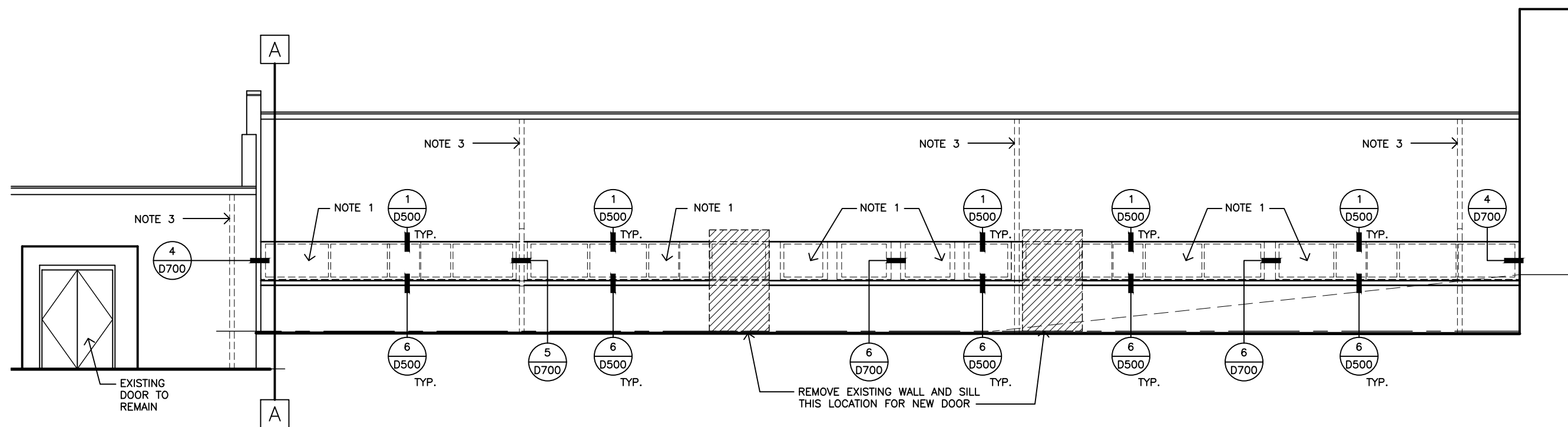
7 SOUTH WEST ELEVATION
SCALE: 1/8" = 1'-0"



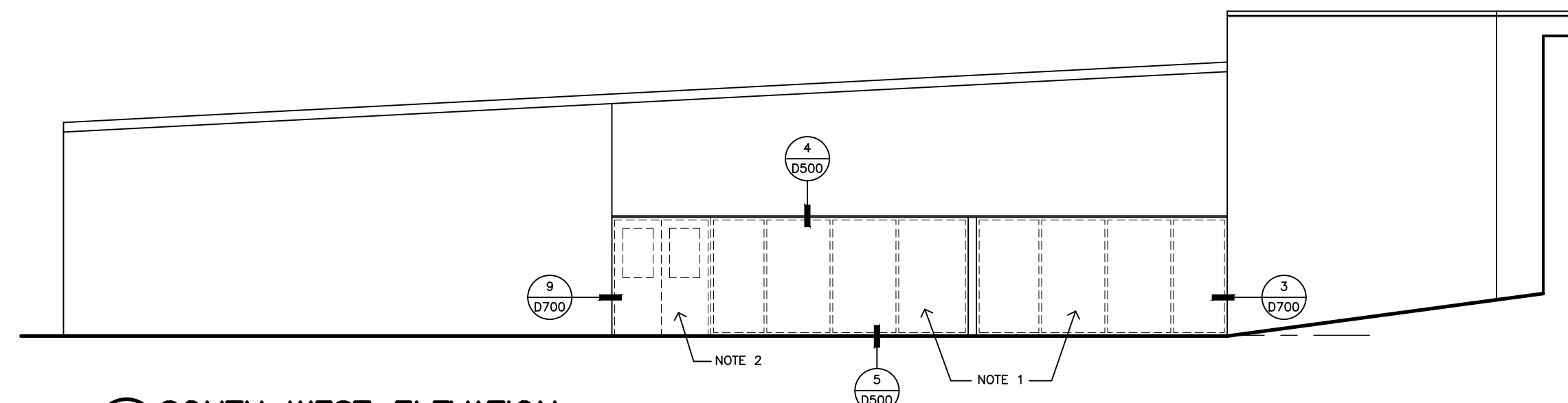
4 PARTIAL WEST ELEVATION
SCALE: 1/8" = 1'-0"



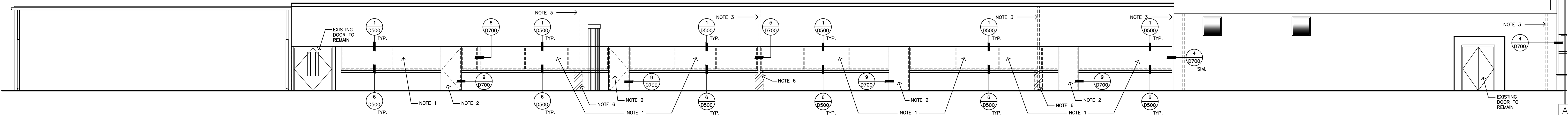
5 WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 PARTIAL WEST ELEVATION
SCALE: 1/8" = 1'-0"



3 SOUTH WEST ELEVATION
SCALE: 1/8" = 1'-0"



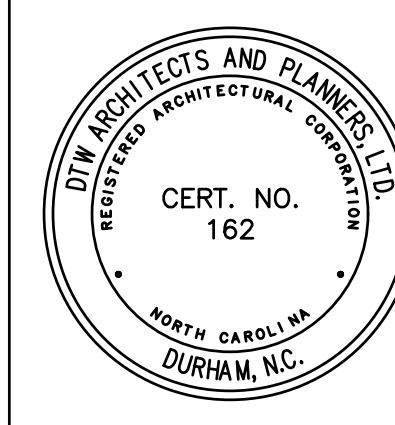
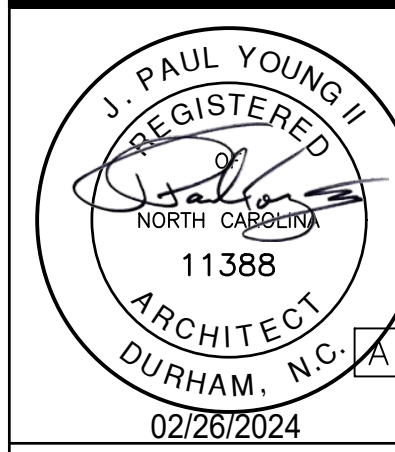
1 PARTIAL WEST ELEVATION
SCALE: 1/8" = 1'-0"

KEYED DEMOLITION ELEVATION NOTES:

1. REMOVE EXISTING GLAZING AND ALUMINUM FRAME.
2. REMOVE EXISTING DOOR, KEEP AND THRESHOLD. RETURN HARDWARE TO OWNER.
3. REMOVE EXISTING DOWNSPOUT.
4. REMOVE EXISTING ALUMINUM SIDING
5. EXISTING BRICK TO REMAIN
6. REMOVE EXISTING BRICK THIS AREA FOR REPAIR.
7. REMOVE EXISTING DOOR AND THRESHOLD, FRAME TO REMAIN

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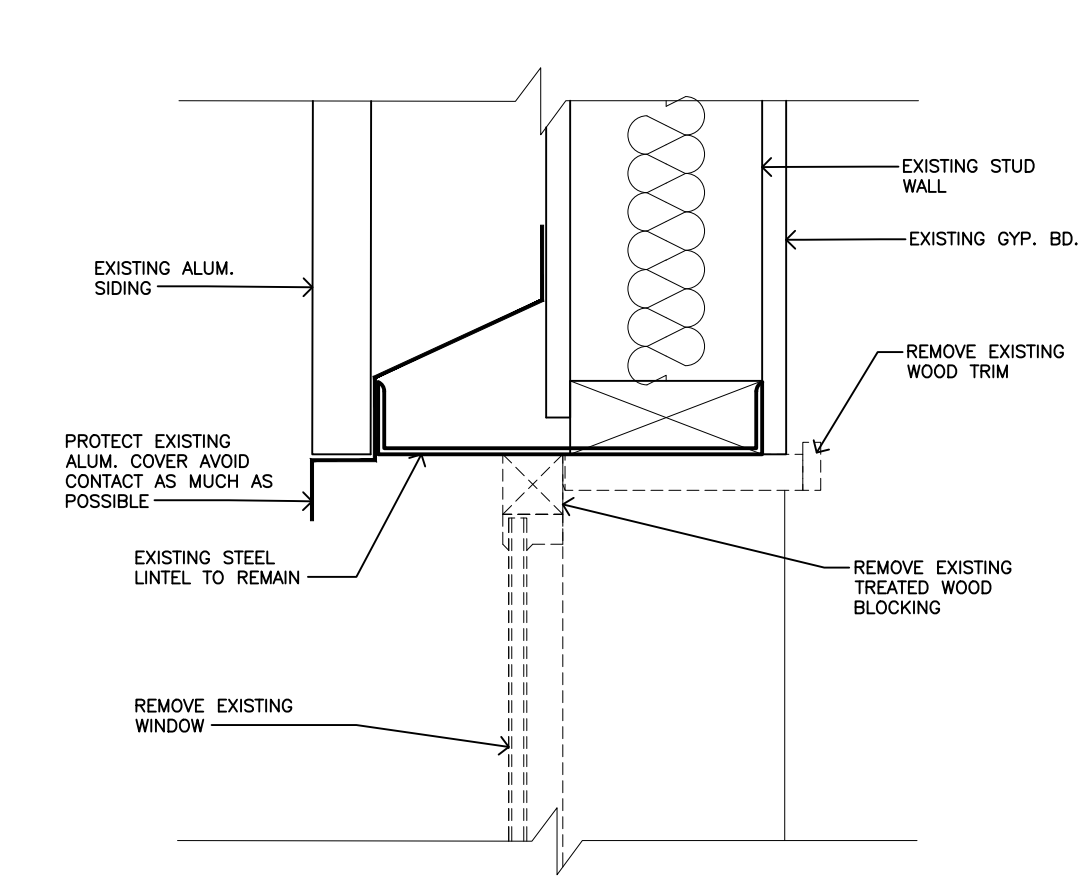
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GENERAL RENOVATIONS
ORANGE COUNTY SCHOOLS
4401 FULLER ROAD
EFLAND, NORTH CAROLINA 27243
DEMOLITION ELEVATIONS

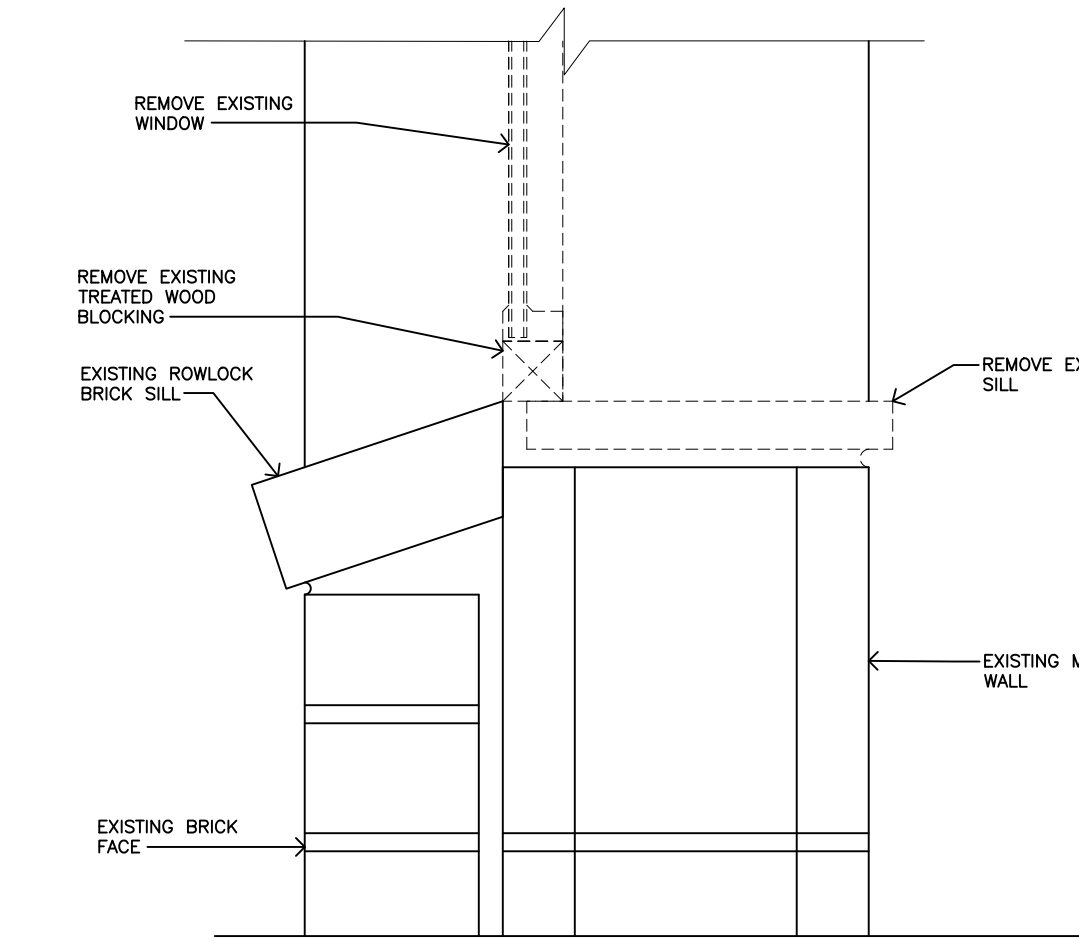
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Revision		
ID	Date	Description
PROJECT #		NC27X007
REVIEWED BY		J. Young
DESIGNED BY		J. Young
DRAWN BY		P. Martin
DRAWING DATE		02/26/2024
SHEET NUMBER		

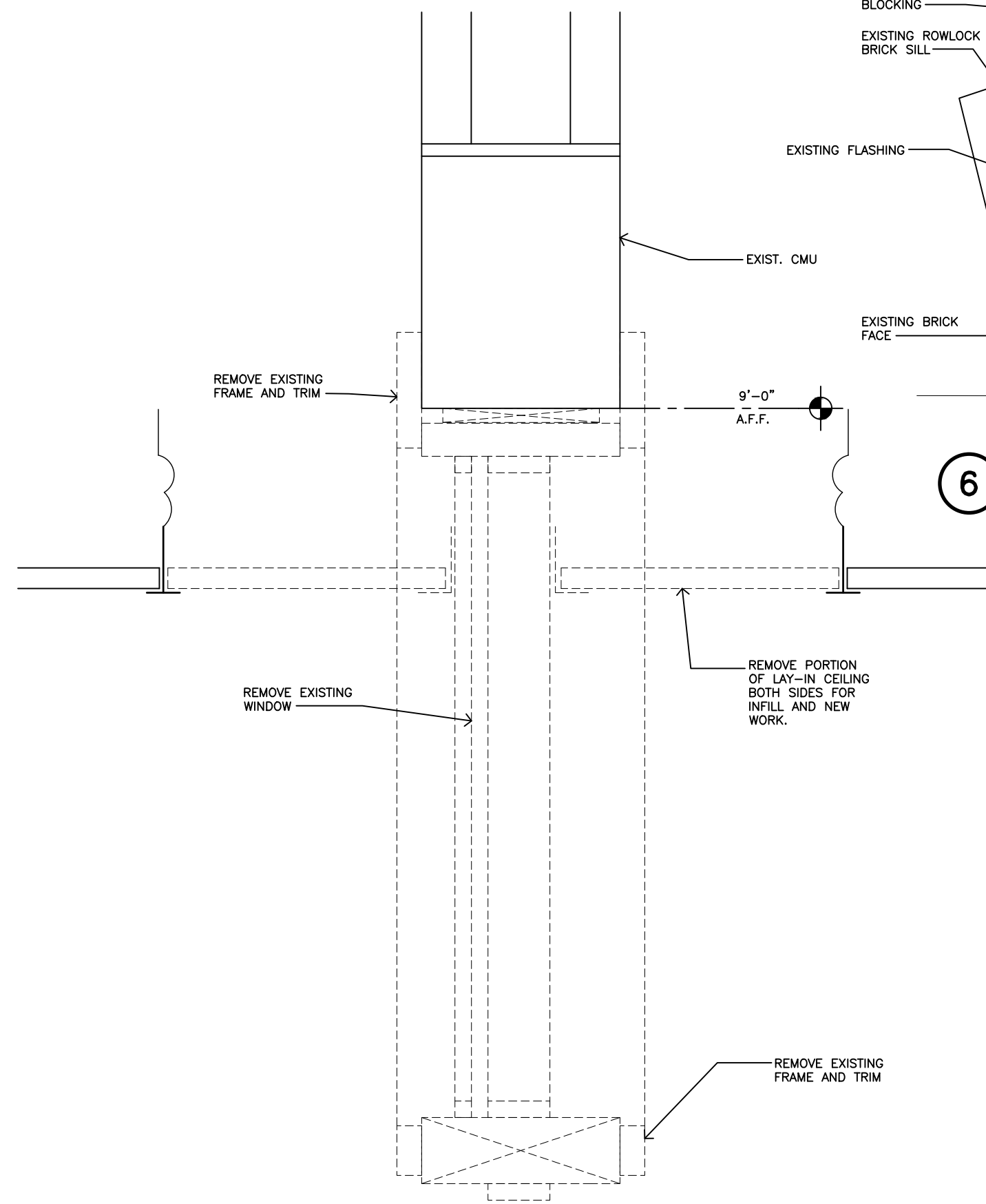
D401



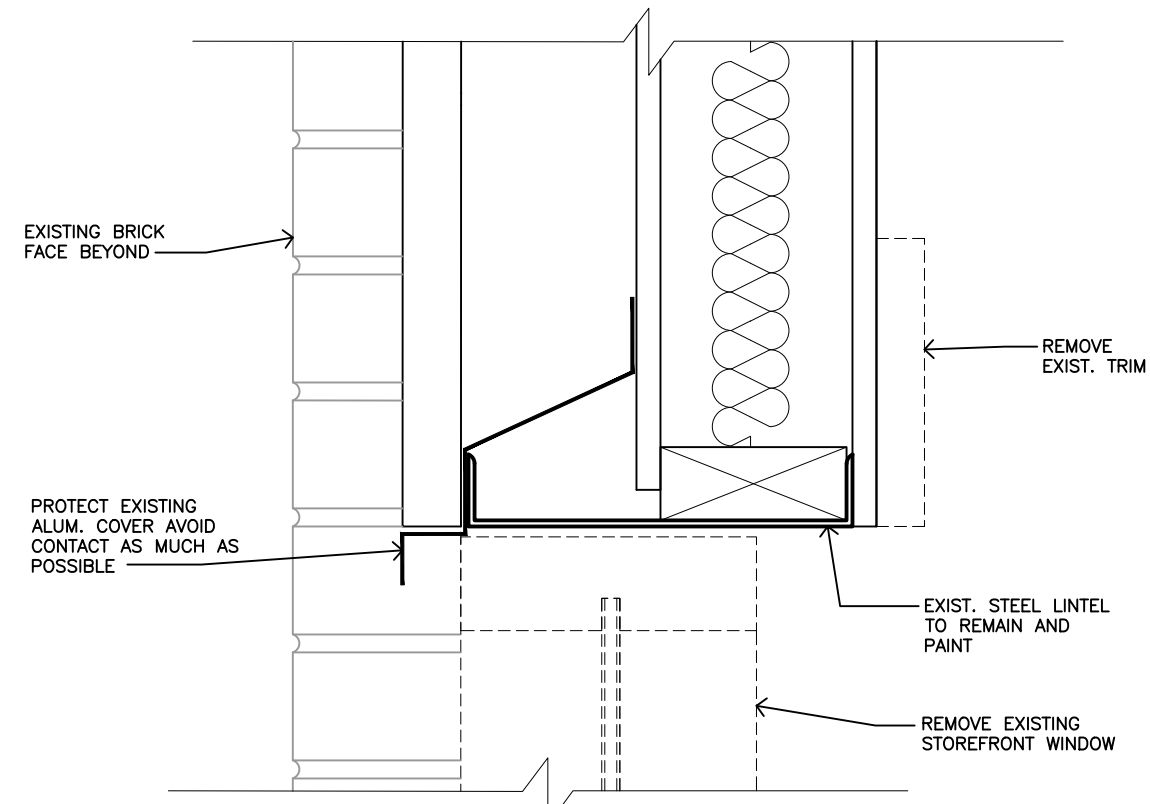
1 SECTION AT WINDOW HEADER
SCALE: 3" = 1'-0"



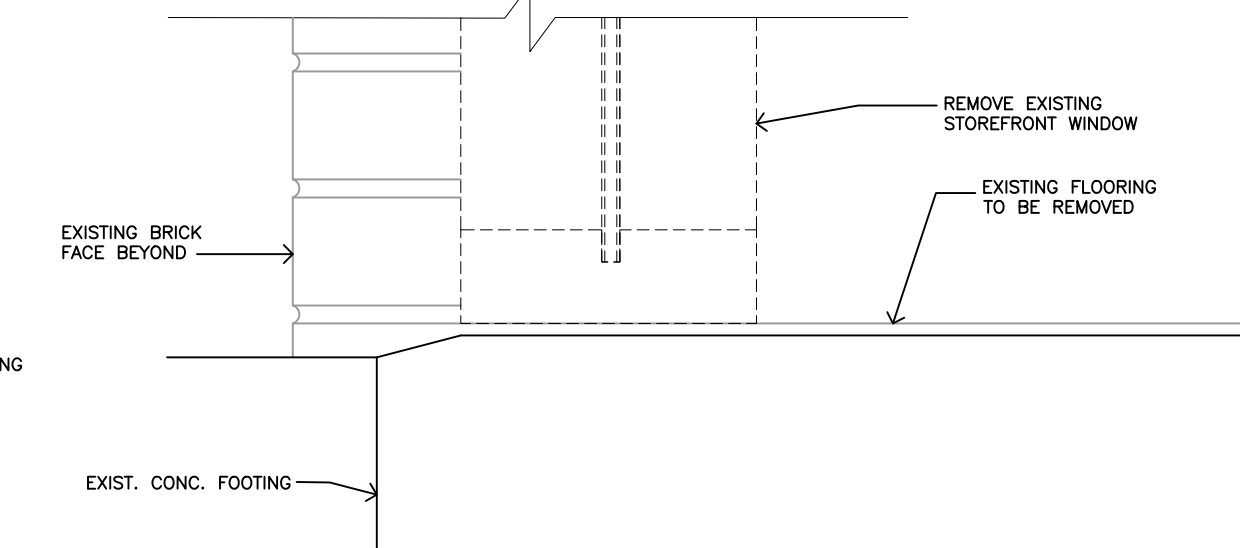
2 SECTION AT WINDOW SILL
SCALE: 3" = 1'-0"



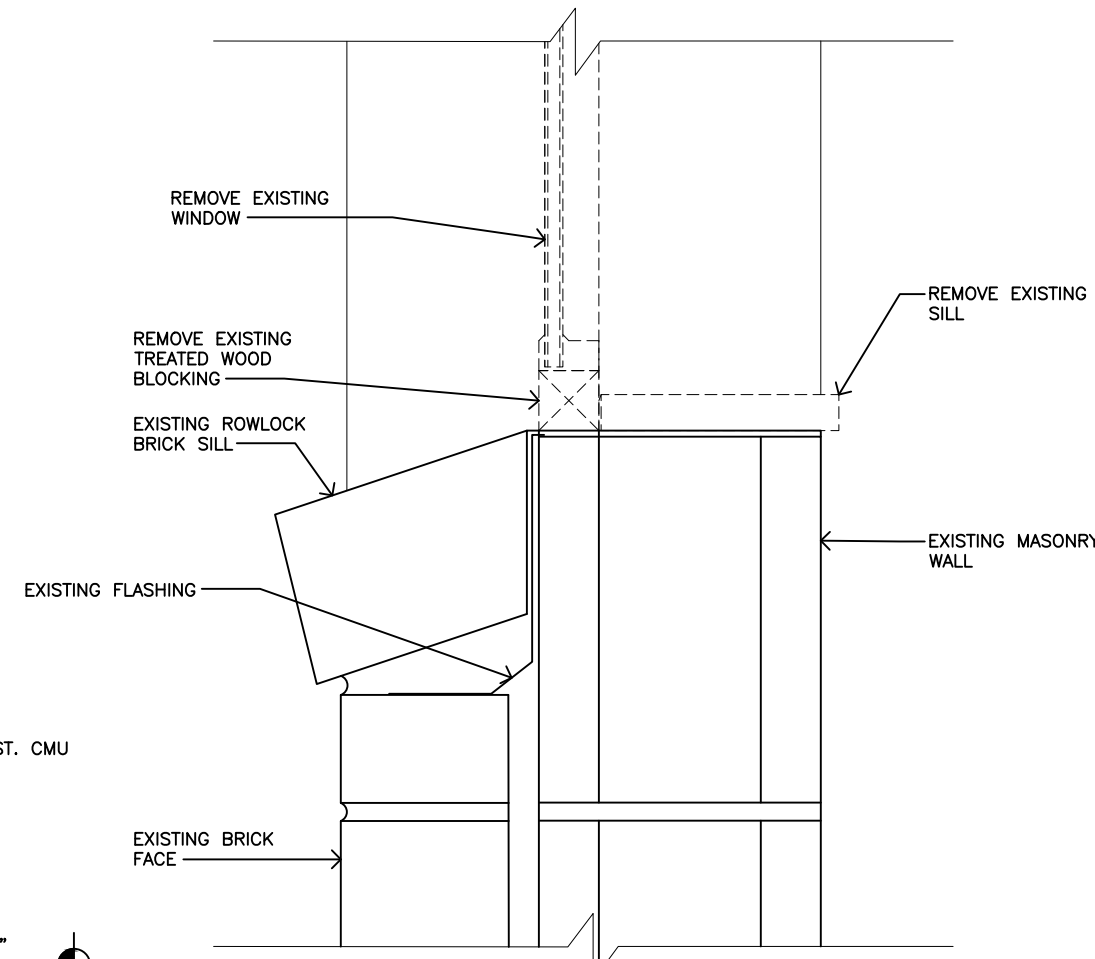
3 SECTION AT TRANSOM
SCALE: 3" = 1'-0"



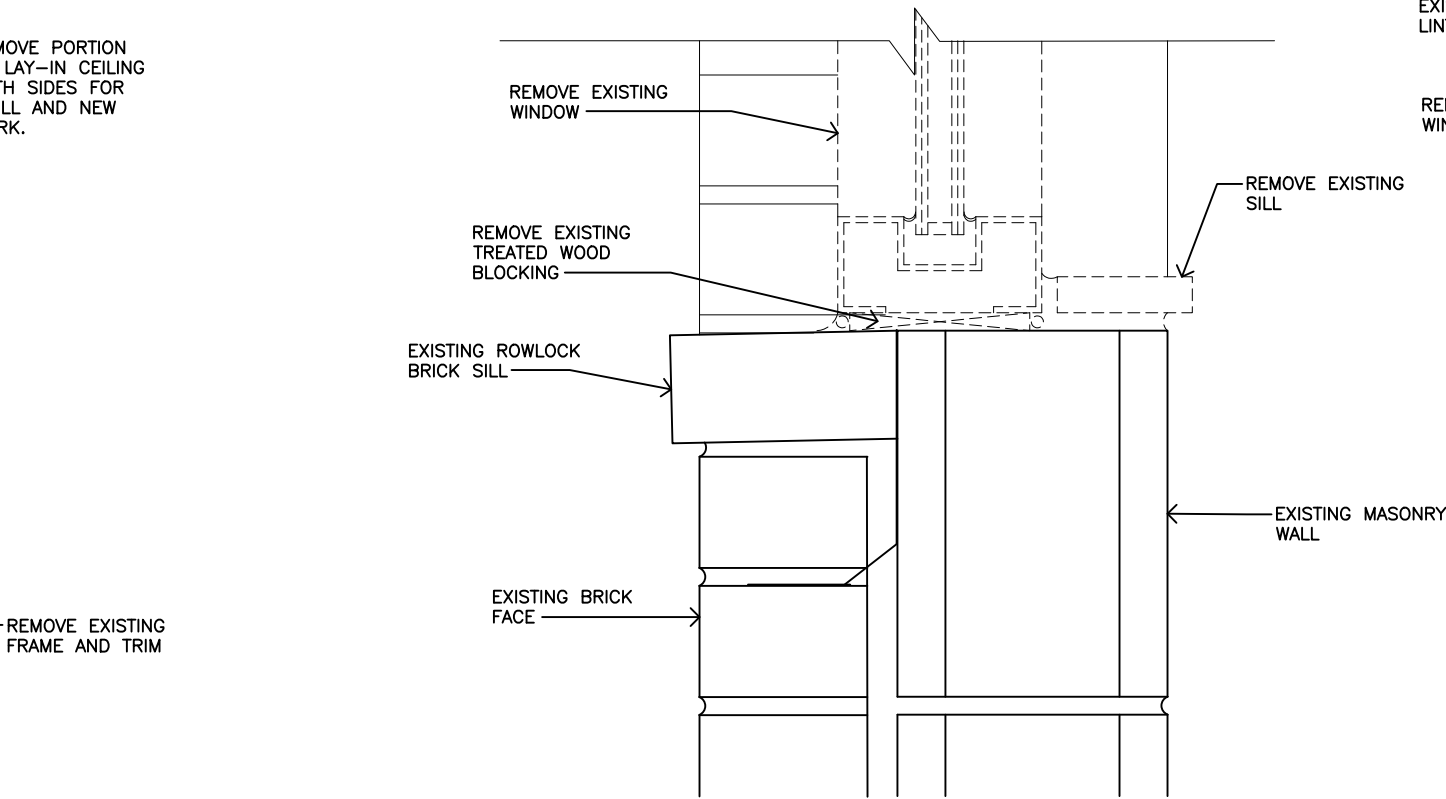
4 SECTION AT STOREFRONT CAFE
SCALE: 3" = 1'-0"



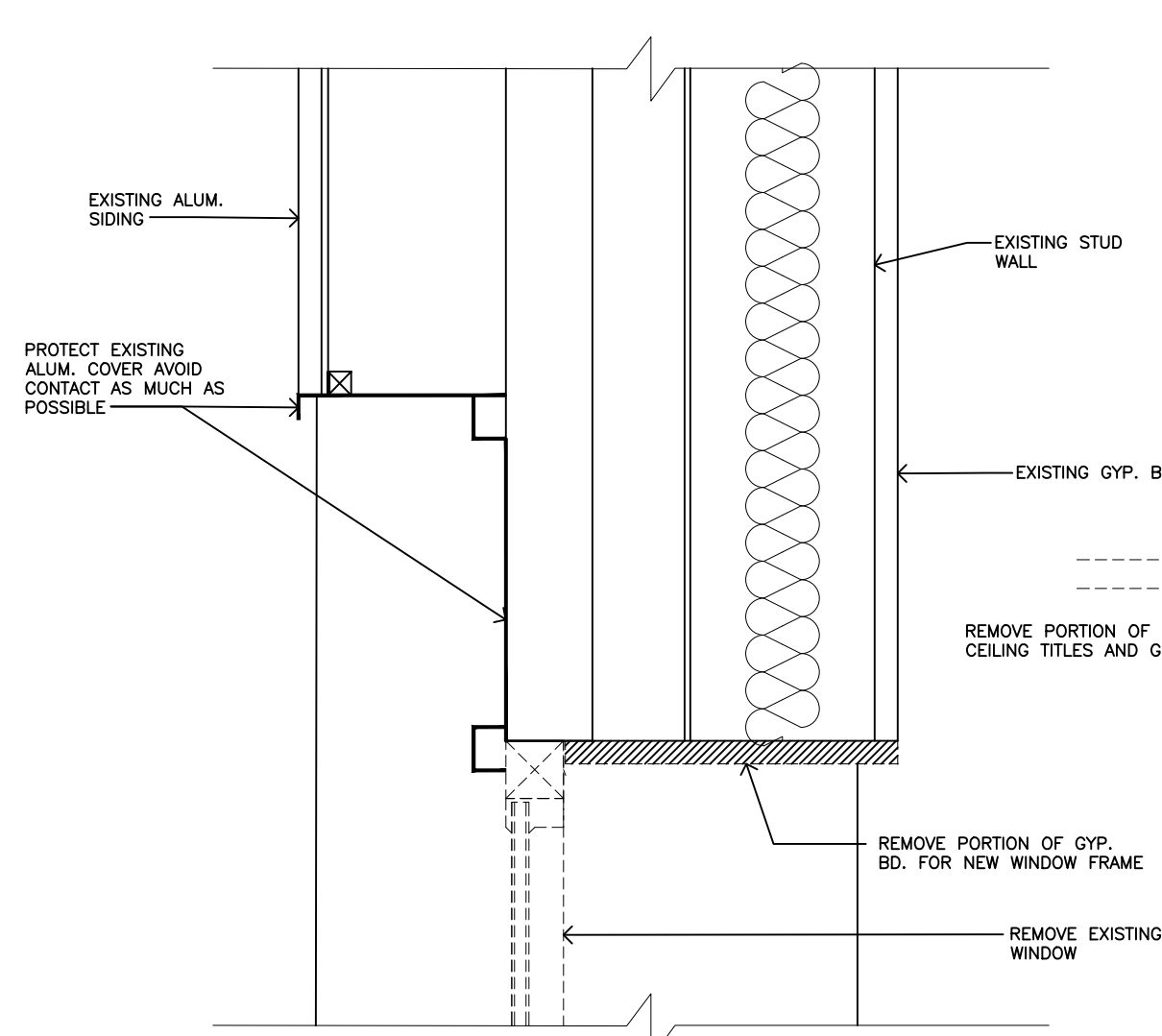
5 DETAIL AT SILL
SCALE: 3" = 1'-0"



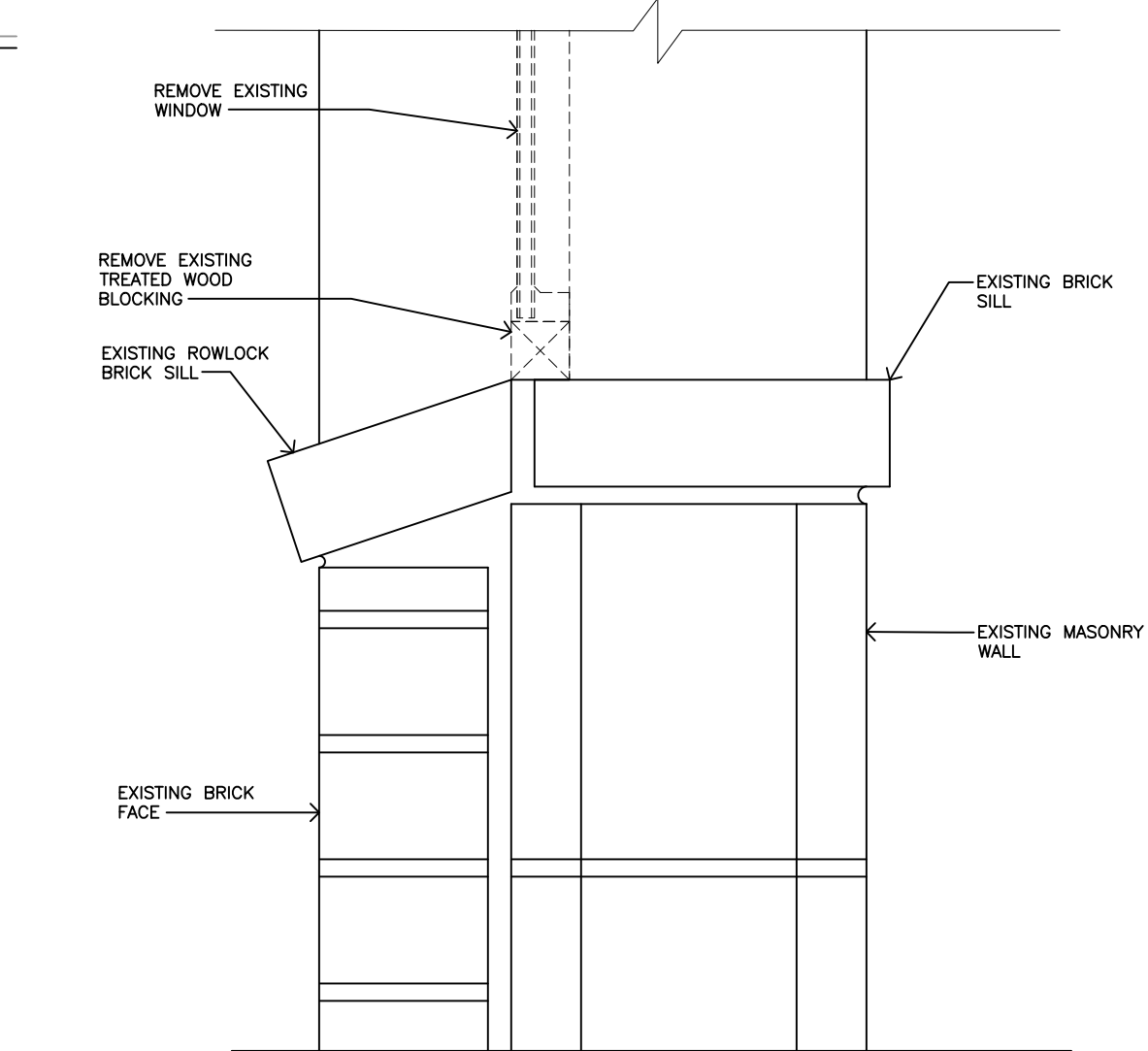
6 SECTION AT WINDOW SILL
SCALE: 3" = 1'-0"



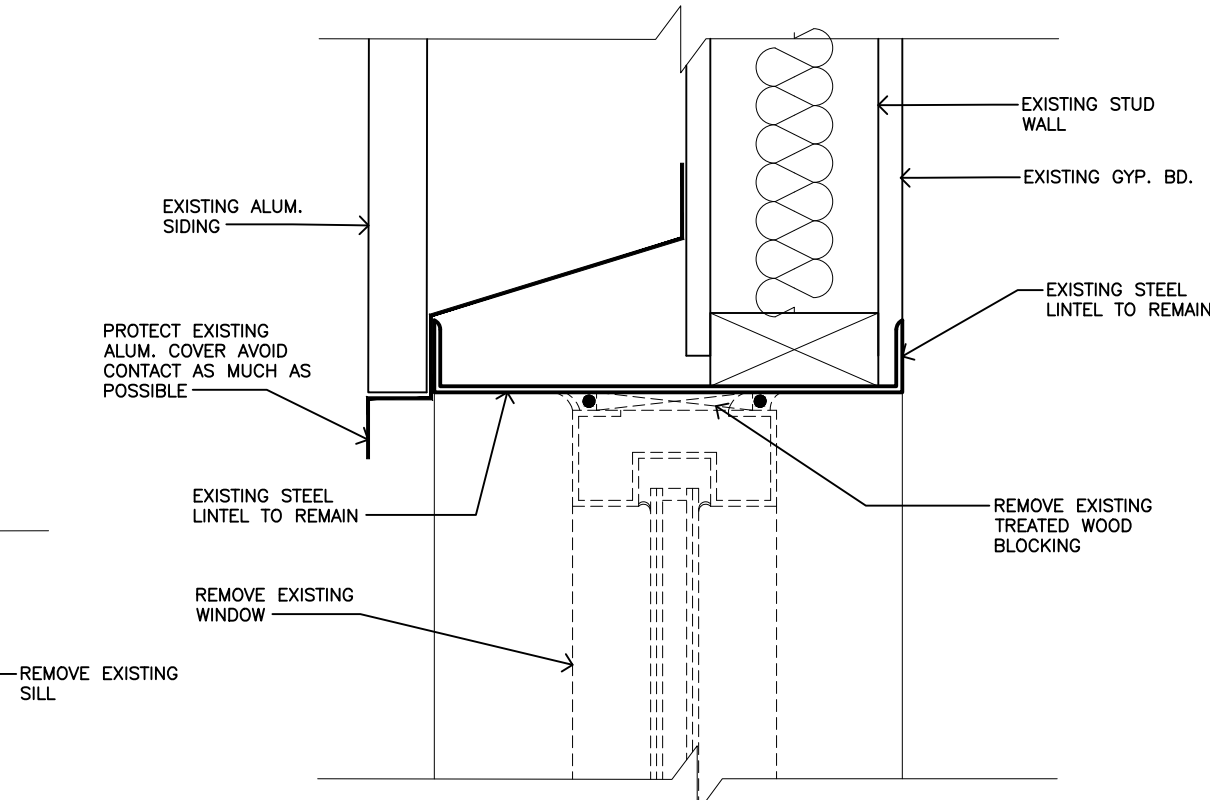
7 SECTION AT WINDOW SILL
SCALE: 3" = 1'-0"



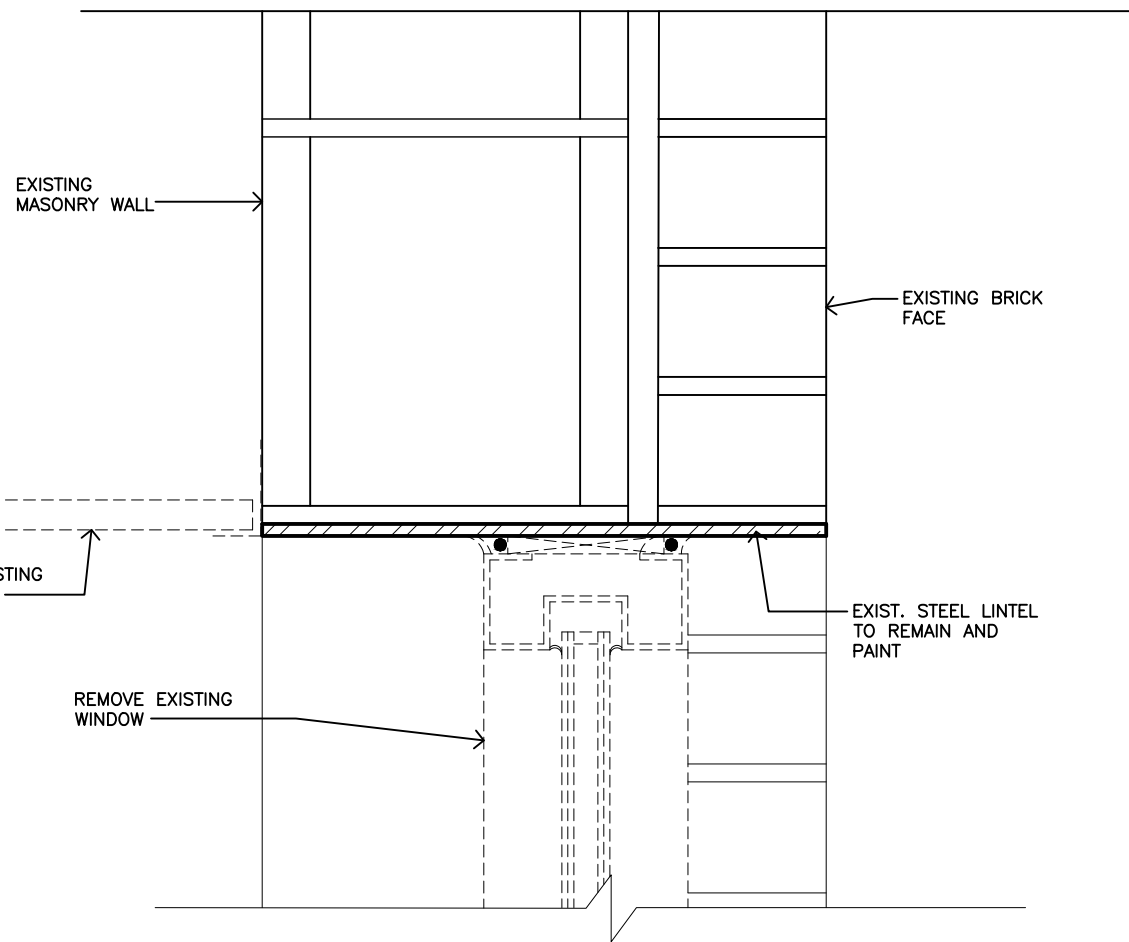
8 SECTION AT WINDOW HEADER
SCALE: 3" = 1'-0"



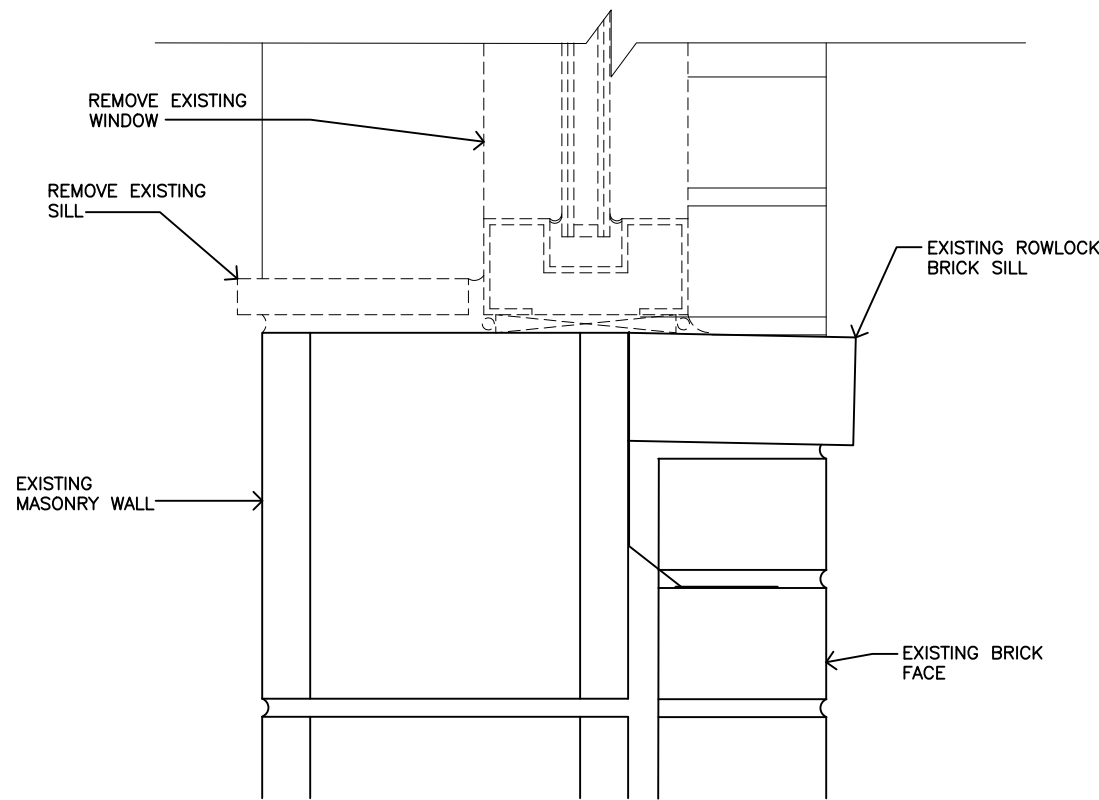
9 SECTION AT WINDOW SILL
SCALE: 3" = 1'-0"



7A SECTION AT WINDOW HEADER
SCALE: 3" = 1'-0"

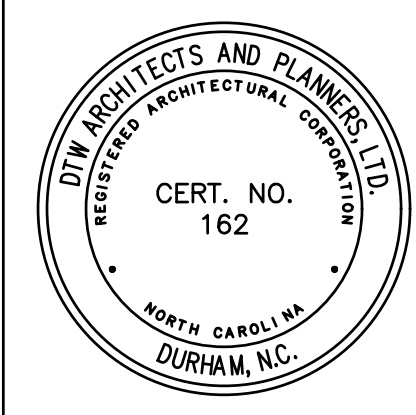
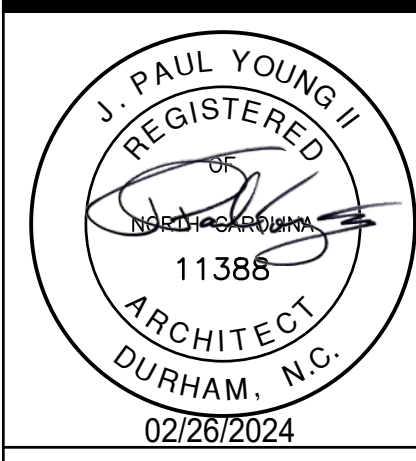


10 SECTION AT WINDOW HEADER
SCALE: 3" = 1'-0"



11 SECTION AT WINDOW SILL
SCALE: 3" = 1'-0"

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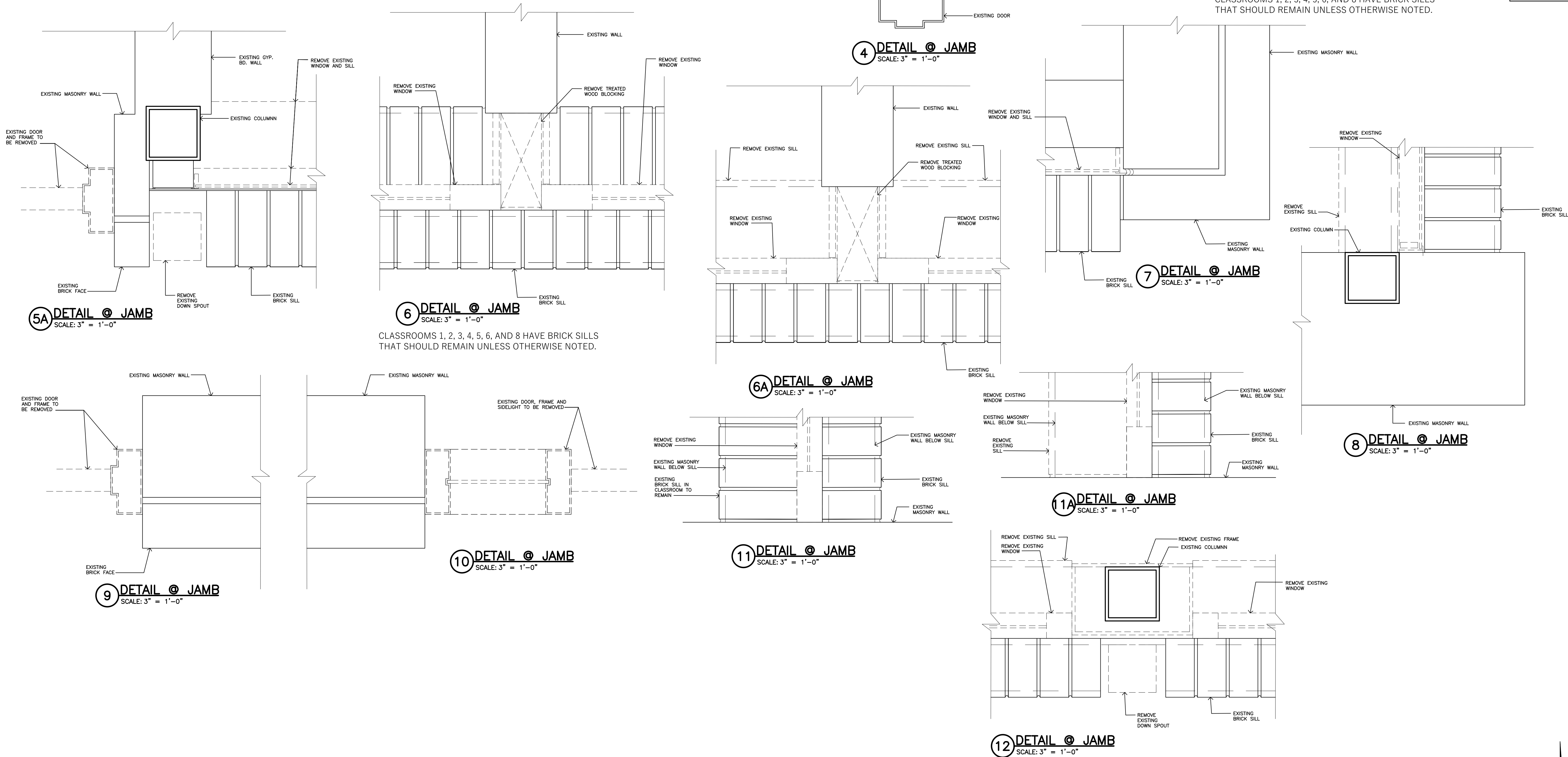
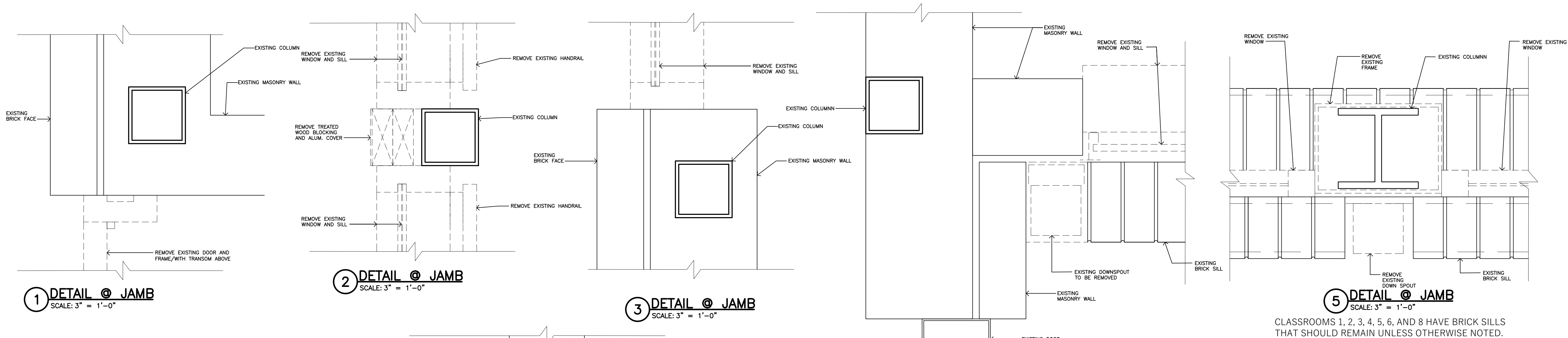
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DEMOLITION SECTIONS

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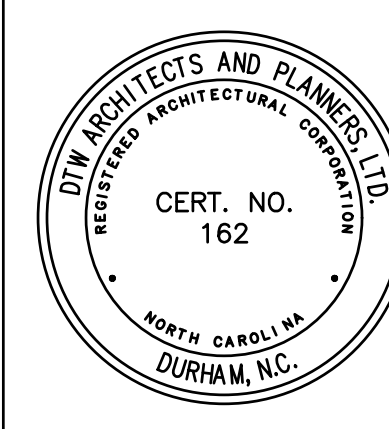
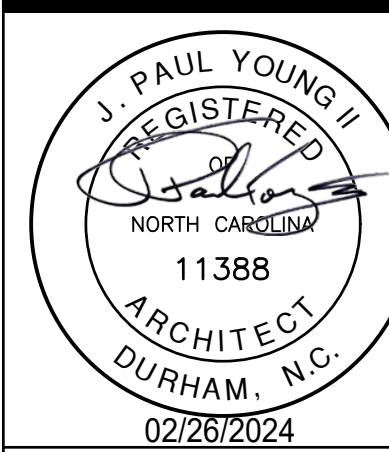
Revision		
ID	Date	Description
PROJECT #	NC27X007	
REVIEWED BY	J. Young	
DESIGNED BY	J. Young	
DRAWN BY	P. Martin	
DRAWING DATE	02/26/2024	
SHEET NUMBER		

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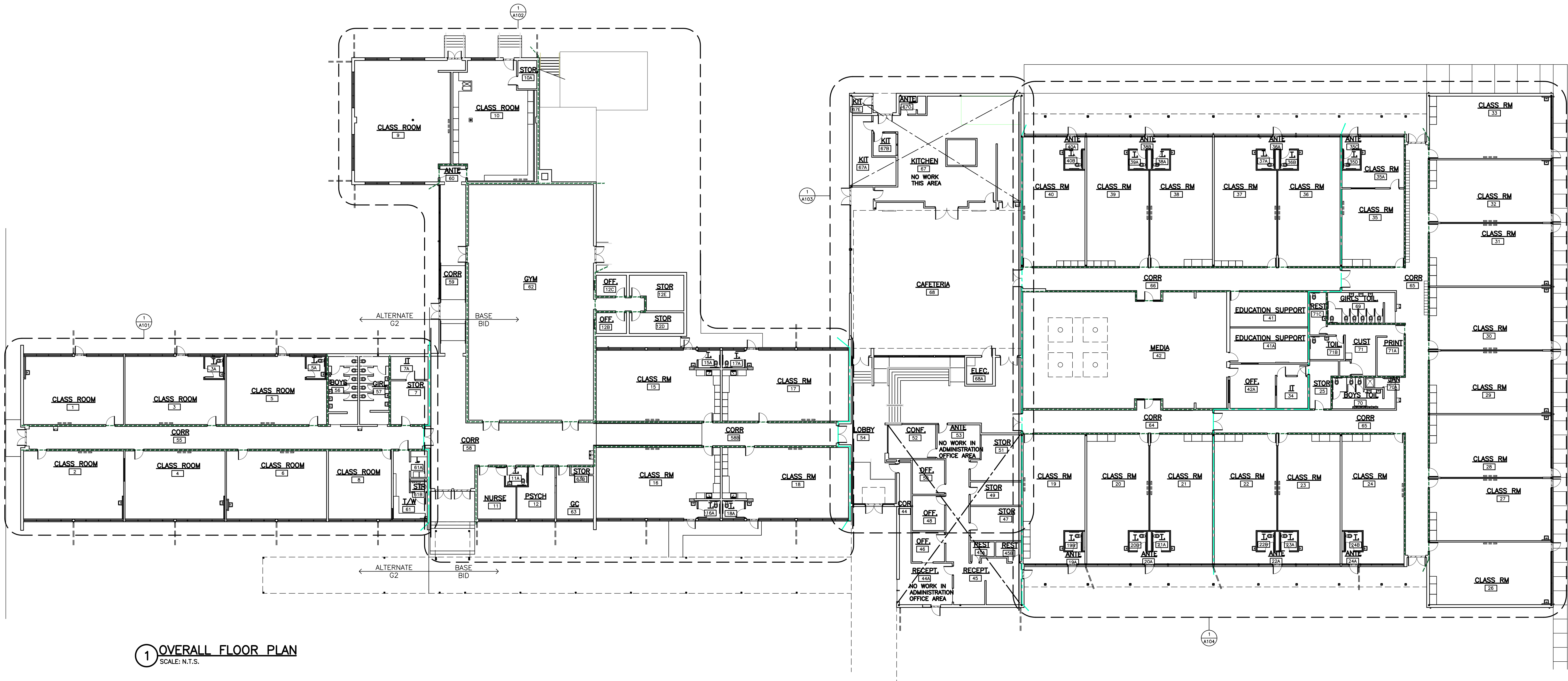
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DEMOLITION PLAN DETAILS

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PROJECT #	NC27X007	
REVIEWED BY	J. Young	
DESIGNED BY	J. Young	
DRAWN BY	P. Martin	
DRAWING DATE	02/26/2024	
SHEET NUMBER		

D700



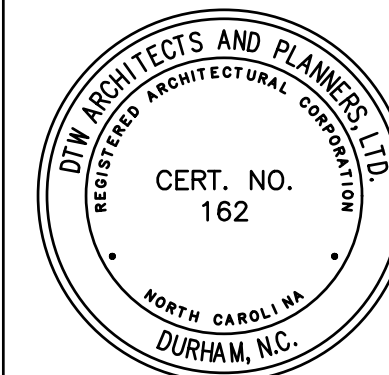
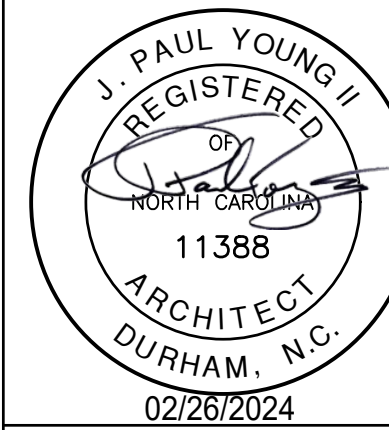
1 OVERALL FLOOR PLAN
SCALE: N.T.S.

WALL RATING LEGEND

- 2-HOUR RATED FIRE WALL
- 1-HOUR RATED FIRE BARRIER

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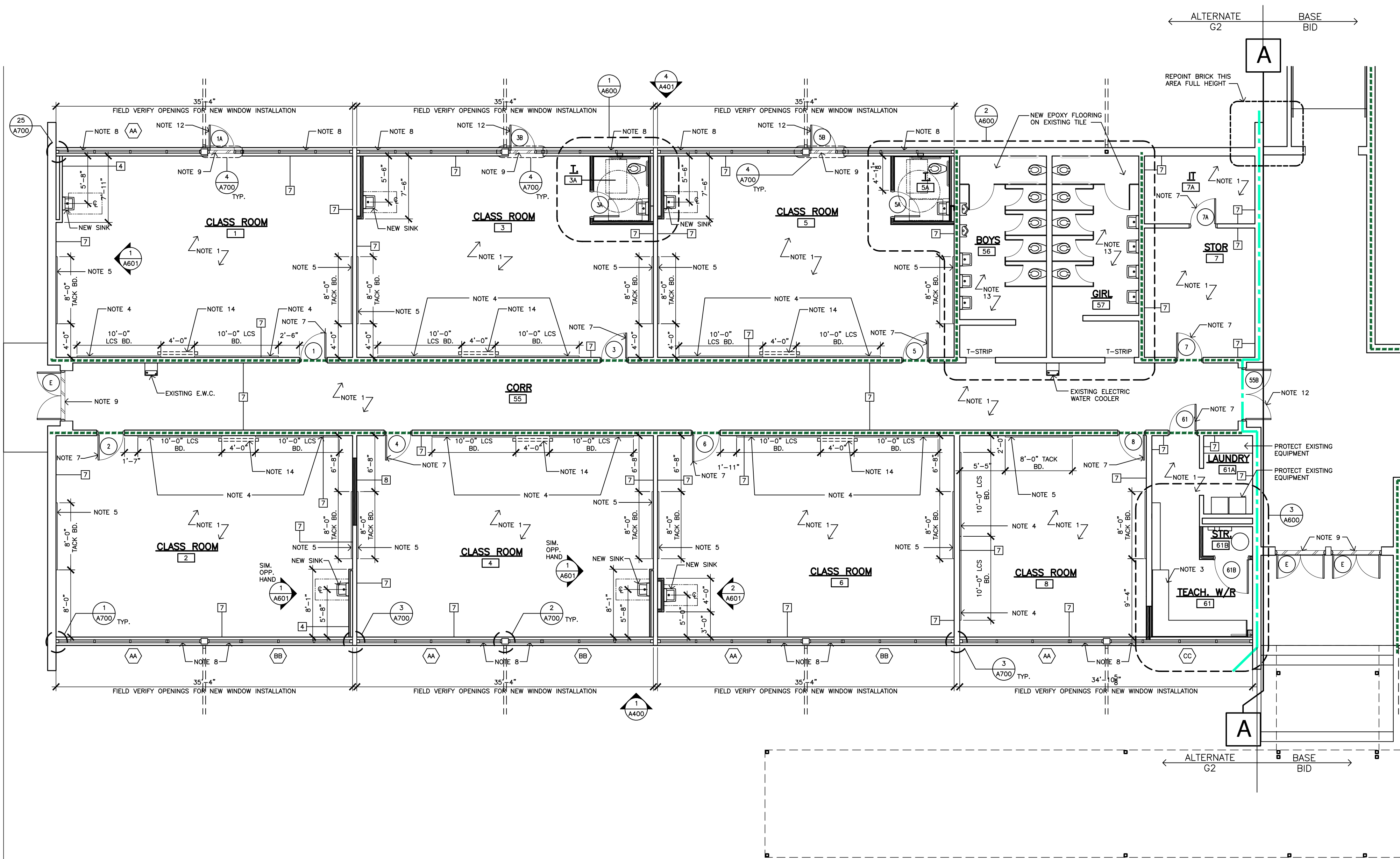
OVERALL FLOOR PLAN

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SHEET NUMBER		

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1 FLOOR PLAN
SCALE: 1/8"=1'-0"

RENOVATION LEGEND

- EXISTING WALL
- NEW METAL STUD & GYP. BD. WALL
- NEW C.M.U. WALL

WALL RATING LEGEND

- 2-HOUR RATED FIRE WALL
- 1-HOUR RATED FIRE BARRIER

GENERAL RENOVATION NOTES:

- A. GENERAL CONTRACTOR SHALL PROTECT ALL PIPING, WIRING, DUCTING, SUPPORTS, EQUIPMENT WALLS AND STRUCTURE NOT ASSOCIATED WITH CONSTRUCTION. ANY ITEMS DAMAGED DURING CONSTRUCTION THAT ARE NOT A PART OF THE PROJECT SHALL BE REPAIRED AT NO COST TO THE OWNER.
- B. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE STARTING CONSTRUCTION.
- C. GENERAL CONTRACTOR SHALL COORDINATE ALL PLUMBING, MECHANICAL AND ELECTRICAL WORK WITH ARCHITECTURAL WORK BEFORE STARTING CONSTRUCTION.
- D. ALL PATCHING OF FLOORS, WALLS, AND CEILINGS AFTER DEMOTION OF EXISTING PLUMBING, MECHANICAL AND ELECTRICAL WORK SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- E. ALL SEALING OF RATED PENETRATIONS FOR NEW PLUMBING, MECHANICAL AND ELECTRICAL WORK SHALL BE BY THE SUBCONTRACTOR RESPONSIBLE FOR THE PENETRATION. GENERAL CONTRACTOR SHALL VERIFY PATCHING METHOD BEFORE SUBCONTRACTOR PROCEEDS.
- F. ALL PATCHING OF FLOORS, WALLS, AND CEILINGS AFTER THE INSTALLATION OF NEW PLUMBING, MECHANICAL AND ELECTRICAL WORK SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- G. ALL SURFACES RECEIVING NEW FINISHES SHALL BE PREPARED AS REQUIRED BY FOLLOWING THE NEW FINISH MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION. THIS SHALL INCLUDE ANY GRINDING, SCRAPING OR OTHERWISE PREPARING THE SURFACE.
- H. ALL SURFACES NOT RECEIVING A SPECIFIC FINISH WITHIN THE RENOVATED SPACES AS INDICATED ON THE FINISH SCHEDULE OR INTERIOR ELEVATIONS SHALL BE PAINTED. THIS INCLUDES ANY NEW OR EXISTING EXPOSED CONDUIT, DUCTWORK AND PIPING.

KEYED RENOVATION FLOOR PLAN NOTES:

- NEW N.C.T. FLOORING & RUBBER BASE
- NEW CARPET FLOORING & RUBBER BASE
- NEW CASEWORK
- NEW WHITE BOARD
- NEW TACK BOARD
- PAINT EXISTING WOOD CASEWORK
- NEW DOOR & FRAME
- NEW EXTERIOR GLAZING & ALUM. FRAME
- NEW ALUMINUM THRESHOLD
- NEW TOILET PARTITIONS
- NEW MIRROR
- NEW DOOR
- NEW EPOXY FLOORING
- OWNER TO REINSTALL SMART BOARD
- CLEAN, STRIP & REFINISH EXISTING WOOD HANDRAIL
- NEW S.S. GRAB BAR, SEE SPEC.

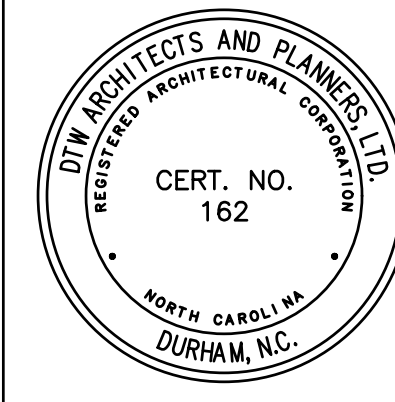
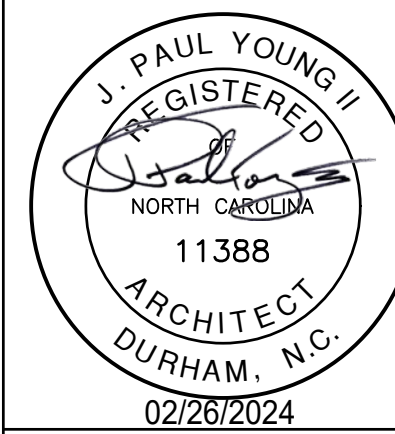
WALL TYPES

NOTE: ALL NEW WALLS SHALL RUN TIGHT TO ROOF DECKING ABOVE, INCLUDING SHEATHING AND BATT. INSULATION, UNLESS OTHERWISE NOTED.

- 2- 2" METAL STUDS, 16" O.C. WITH 5/8" GYP. BOARD ONE SIDE, PAINT
- 2- 3-5/8" METAL STUDS, 16" O.C. WITH 5/8" GYP. BOARD AND PAINT ONE SIDE, 5/8" CEMENT BOARD AND CERAMIC TILE OTHER SIDE, 4" SOUND BATT. INSULATION.
- 3- 3-5/8" METAL STUDS, 16" O.C. WITH 5/8" GYP. BOARD AND PAINT ONE SIDE, 4" SOUND BATT. INSULATION.
- 4- 3-5/8" METAL STUDS, 16" O.C. WITH 5/8" GYP. BOARD AND PAINT BOTH SIDES, 4" SOUND BATT. INSULATION.
- 5- 6" METAL STUDS, 16" O.C. WITH 5/8" GYP. BOARD AND PAINT BOTH SIDES, 6" SOUND BATT. INSULATION.
- 6- NEW CERAMIC TILE ON EXISTING C.M.U. WALL
- 7- PAINT EXISTING WALL, FULL HEIGHT.
- 8- INFILL EXISTING OPENING WITH METAL STUDS AND GYP. BOARD TO FLUSH WITH SURROUNDING WALL SURFACES.

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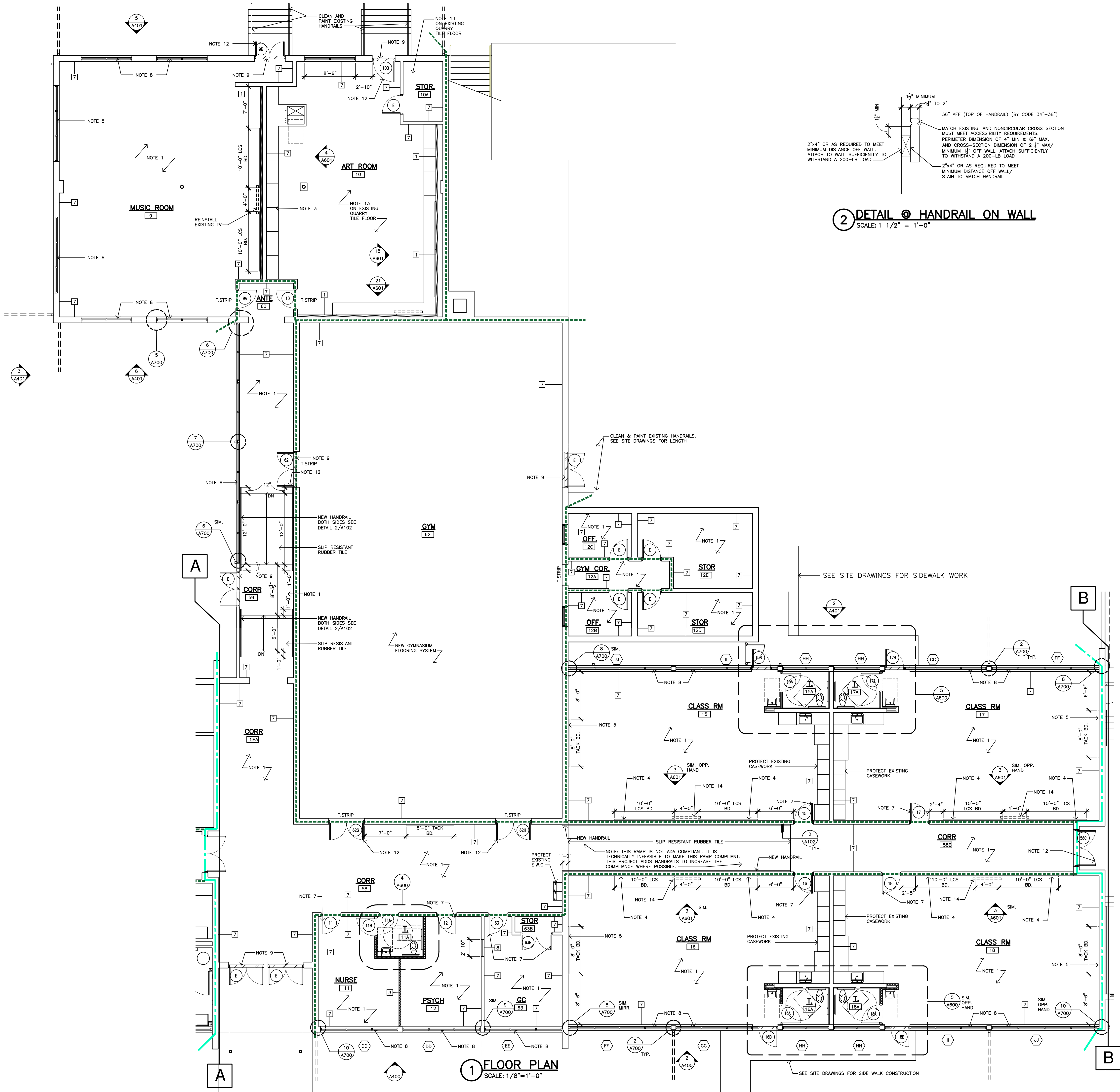
EFLAND-CHEEKS ELEMENTARY SCHOOL
GENERAL RENOVATIONS
ORANGE COUNTY SCHOOLS
4401 FULLER ROAD
EFLAND, NORTH CAROLINA 27243

FLOOR PLAN

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Revision		
ID	Date	Description
PROJECT #		NC27X007
REVIEWED BY		J. Young
DESIGNED BY		J. Young
DRAWN BY		P. Martin
DRAWING DATE		02/26/2024
SHEET NUMBER		

A101



- GENERAL RENOVATION NOTES:**
- A. GENERAL CONTRACTOR SHALL PROTECT ALL PIPING, WIRING, DUCTING, SUPPORTS, EQUIPMENT WALLS AND STRUCTURE NOT ASSOCIATED WITH CONSTRUCTION. ANY ITEMS DAMAGED DURING CONSTRUCTION THAT ARE NOT A PART OF THE PROJECT SHALL BE REPAIRED AT NO COST TO THE OWNER.
 - B. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE STARTING CONSTRUCTION.
 - C. GENERAL CONTRACTOR SHALL COORDINATE ALL PLUMBING, MECHANICAL AND ELECTRICAL WORK WITH ARCHITECTURAL WORK BEFORE STARTING CONSTRUCTION.
 - D. ALL PATCHING OF FLOORS, WALLS, AND CEILINGS AFTER DEMOTION OF EXISTING PLUMBING, MECHANICAL AND ELECTRICAL WORK SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
 - E. ALL SEALING OF RATED PENETRATIONS FOR NEW PLUMBING, MECHANICAL AND ELECTRICAL WORK SHALL BE BY THE SUBCONTRACTOR RESPONSIBLE FOR THE PENETRATION. GENERAL CONTRACTOR SHALL VERIFY PATCHING METHOD BEFORE SUBCONTRACTOR PROCEEDS.
 - F. ALL PATCHING OF FLOORS, WALLS, AND CEILINGS AFTER THE INSTALLATION OF NEW PLUMBING, MECHANICAL AND ELECTRICAL WORK SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
 - G. ALL SURFACES RECEIVING NEW FINISHES SHALL BE PREPARED AS REQUIRED BY FOLLOWING THE NEW FINISH MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION. THIS SHALL INCLUDE ANY GRINDING, SCRAPING OR OTHERWISE PREPARING THE SURFACE.
 - H. ALL SURFACES NOT RECEIVING A SPECIFIC FINISH WITHIN THE RENOVATED SPACES AS INDICATED ON THE FINISH SCHEDULE OR INTERIOR ELEVATIONS SHALL BE PAINTED. THIS INCLUDES ANY NEW OR EXISTING EXPOSED CONDUIT, DUCTWORK AND PIPING.

- KEYED RENOVATION FLOOR PLAN NOTES:**
- NEW **N**.C.T. FLOORING & RUBBER BASE
 - NEW **C**ARPET FLOORING & RUBBER BASE
 - 3) NEW CASEWORK
 - NEW **W**HITE BOARD
 - 5) NEW TACK BOARD
 - PAINT **E**XISTING WOOD CASEWORK
 - 7) NEW DOOR & FRAME
 - NEW **E**XTERIOR GLAZING & ALUM. FRAME
 - 9) NEW ALUMINUM THRESHOLD
 - 10) NEW TOILET PARTITIONS
 - 11) NEW MIRROR
 - 12) NEW DOOR
 - 13) NEW EPOXY FLOORING
 - 14) OWNER TO REINSTALL SMART BOARD
 - 15) CLEAN, STRIP & REFINISH EXISTING WOOD HANDRAIL
 - 16) NEW S.S. GRAB BAR, SEE SPEC.

- RENOVATION LEGEND**
- EXISTING WALL
 - NEW METAL STUD & GYP. BD. WALL
 - NEW C.M.U. WALL
- WALL RATING LEGEND**
- - - 2-HOUR RATED FIRE WALL
 - 1-HOUR RATED FIRE BARRIER

- WALL TYPES**
- NOTE: ALL NEW WALLS SHALL RUN TIGHT TO ROOF DECKING ABOVE, INCLUDING SHEATHING AND BATT. INSULATION, UNLESS OTHERWISE NOTED.
- 1- 2" METAL STUDS, 16" O.C. WITH 5/8" GYP. BOARD ONE SIDE, PAINT
 - 2- 3-5/8" METAL STUDS, 16" O.C. WITH 5/8" GYP. BOARD AND PAINT ONE SIDE, 5/8" CEMENT BOARD AND CERAMIC TILE OTHER SIDE, 4" SOUND BATT. INSULATION.
 - 3- 3-5/8" METAL STUDS, 16" O.C. WITH 5/8" GYP. BOARD AND PAINT ONE SIDE, 4" SOUND BATT. INSULATION.
 - 4- 3-5/8" METAL STUDS, 16" O.C. WITH 5/8" GYP. BOARD AND PAINT BOTH SIDES, 4" SOUND BATT. INSULATION.
 - 5- 6" METAL STUDS, 16" O.C. WITH 5/8" GYP. BOARD AND PAINT BOTH SIDES, 6" SOUND BATT. INSULATION.
 - 6- NEW CERAMIC TILE ON EXISTING C.M.U. WALL
 - 7- PAINT EXISTING WALL, FULL HEIGHT.
 - 8- INFILL EXISTING OPENING WITH METAL STUDS AND GYP. BOARD TO FLUSH WITH SURROUNDING WALL SURFACES.

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J. PAUL YOUNG II
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02/28/2024

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FLOOR PLAN

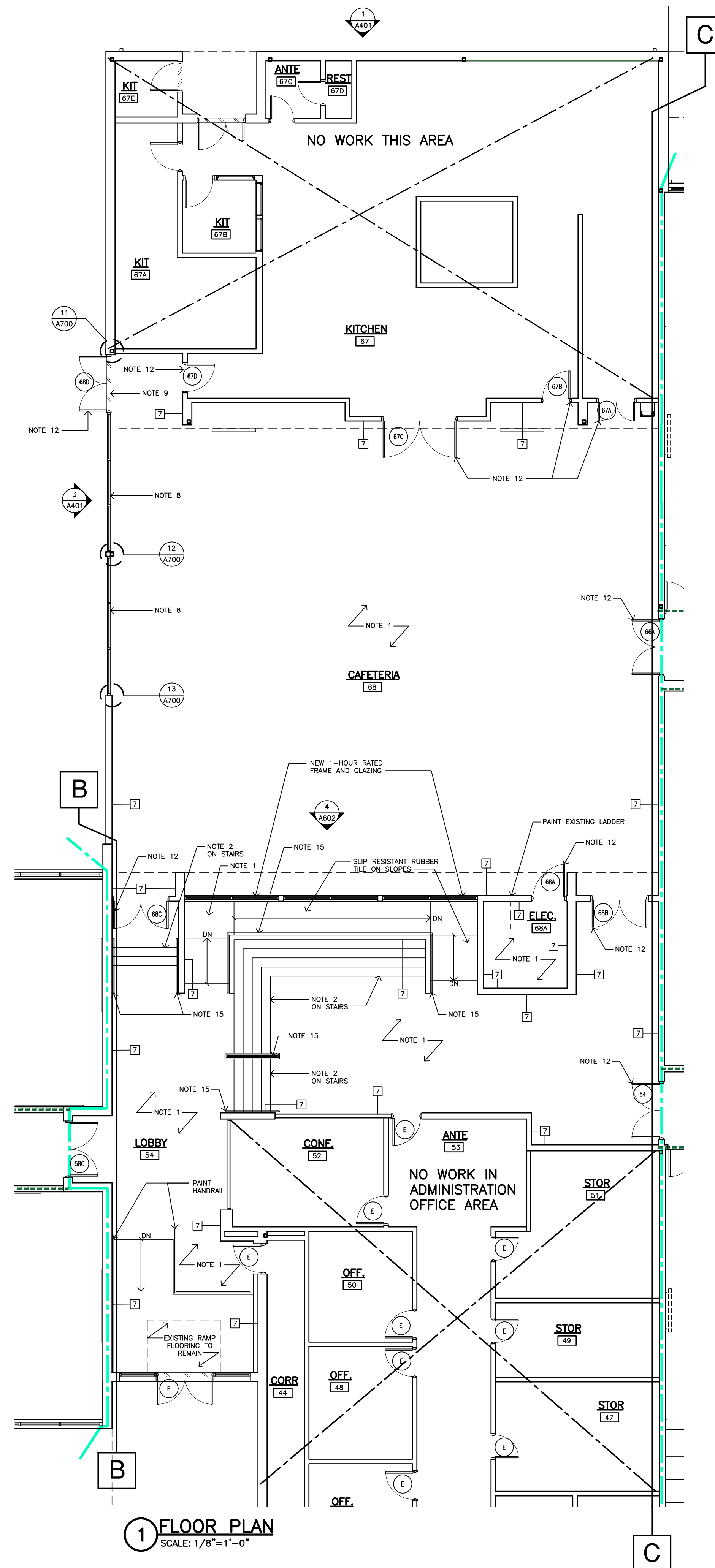
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Revision		
ID	Date	Description

PROJECT #	NC27X007
REVIEWED BY	J. Young
DESIGNED BY	J. Young
DRAWN BY	P. Martin
DRAWING DATE	02/26/2024
SHEET NUMBER	A102

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Revision		
ID	Date	Description
PROJECT #	NC27X007	
REVIEWED BY	J. Young	
DESIGNED BY	J. Young	
DRAWN BY	P. Martin	
DRAWING DATE	02/26/2024	
SHEET NUMBER		



GENERAL RENOVATION NOTES:

- A. GENERAL CONTRACTOR SHALL PROTECT ALL PIPING, WIRING, DUCTING, SUPPORTS, EQUIPMENT WALLS AND STRUCTURE NOT ASSOCIATED WITH CONSTRUCTION. ANY ITEMS DAMAGED DURING CONSTRUCTION THAT ARE NOT A PART OF THE PROJECT SHALL BE REPAIRED AT NO COST TO THE OWNER.
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- G. ALL SURFACES RECEIVING NEW FINISHES SHALL BE PREPARED AS REQUIRED BY FOLLOWING THE NEW FINISH MANUFACTURER'S RECOMMENDATIONS FOR FINISH PREPARATION. THIS SHALL INCLUDE ANY GRINDING, SCRAPING OR OTHERWISE PREPARING THE SURFACE.
- H. ALL SURFACES NOT RECEIVING A SPECIFIC FINISH WITHIN THE RENOVATED SPACES AS INDICATED ON THE FINISH SCHEDULE OR INTERIOR ELEVATIONS SHALL BE PAINTED. THIS INCLUDES ANY NEW OR EXISTING EXPOSED CONDUIT, DUCTWORK AND PIPING.

KEYED RENOVATION FLOOR PLAN NOTES:

- NEW ~~C~~.T. FLOORING & RUBBER BASE
- NEW ~~C~~ARPET FLOORING & RUBBER BASE
- 3) NEW CASEWORK
 - NEW ~~W~~HITE BOARD
- 5) NEW TACK BOARD
 - ~~PAINT~~ EXISTING WOOD CASEWORK
- 7) NEW DOOR & FRAME
 - NEW ~~E~~XTERIOR GLAZING & ALUM. FRAME
- 9) NEW ALUMINUM THRESHOLD
- 10) NEW TOILET PARTITIONS
- 11) NEW MIRROR
- 12) NEW DOOR
- 13) NEW EPOXY FLOORING
- 14) OWNER TO REINSTALL SMART BOARD
- 15) CLEAN, STRIP & REFINISH EXISTING WOOD HANDRAIL
- 16) NEW S.S. GRAB BAR, SEE SPEC.

RENOVATION LEGEND

- 
 - EXISTING WALL
 - NEW METAL STUD & GYP. BD. WALL
 - NEW C.M.U. WALL

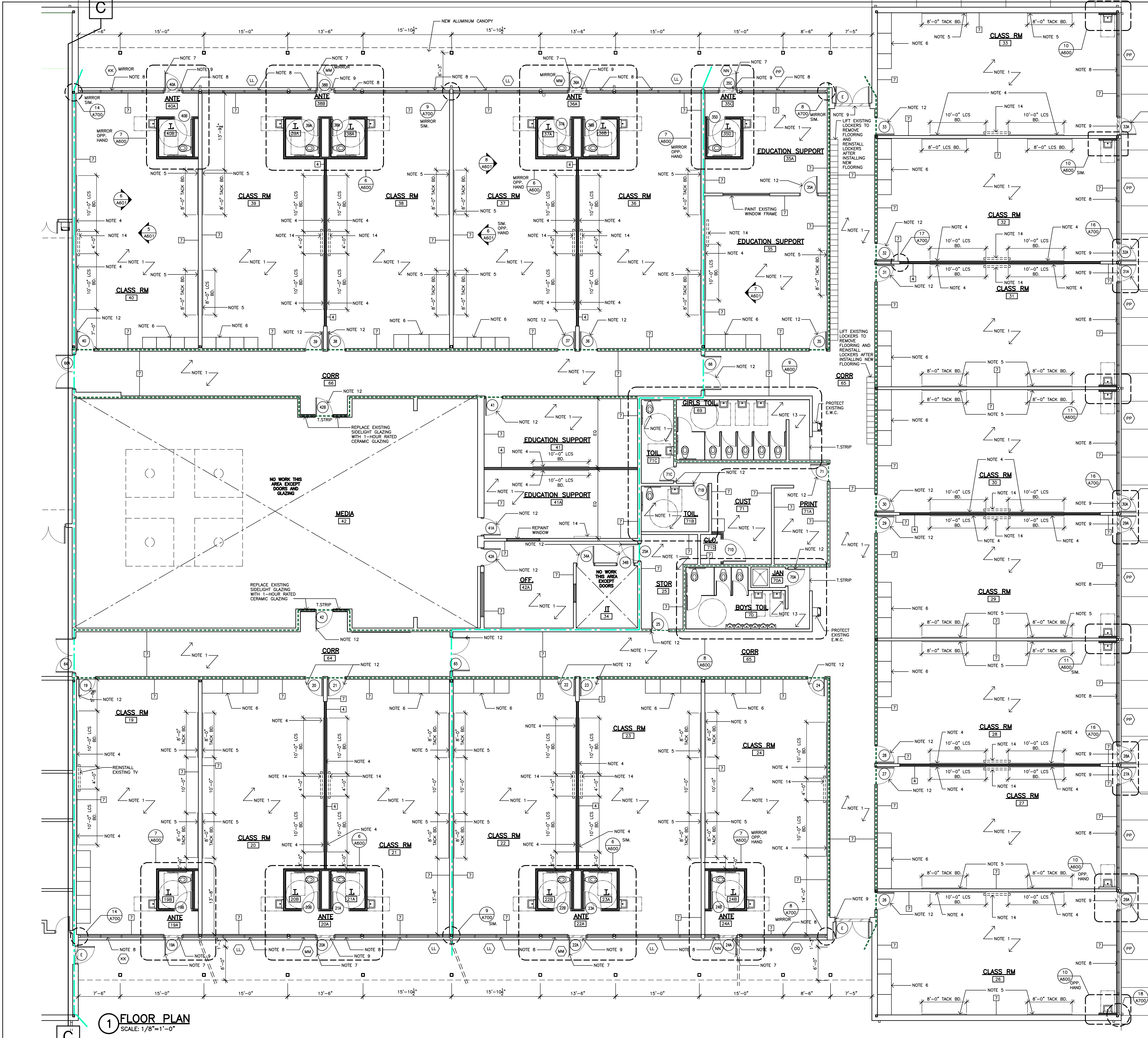
WALL RATING LEGEND

- - 2-HOUR RATED FIRE WALL
 - 1-HOUR RATED FIRE BARRIER

WALL TYPES

NOTE: ALL NEW WALLS SHALL RUN TIGHT TO ROOF
DECKING ABOVE, INCLUDING SHEATHING AND
BATT. INSULATION, UNLESS OTHERWISE NOTED.

1. 2" METAL STUDS, 16" O.C. WITH 5/8" GYP. BOARD ONE SIDE, PAINT
2. 3-5/8" METAL STUDS, 16" O.C. WITH 5/8" GYP. BOARD AND PAINT ONE SIDE, 5/8" CEMENT BOARD AND CERAMIC TILE OTHER SIDE, 4" SOUND BATT. INSULATION.
3. 3-5/8" METAL STUDS, 16" O.C. WITH 5/8" GYP. BOARD AND PAINT ONE SIDE, 4" SOUND BATT. INSULATION.
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6. NEW CERAMIC TILE ON EXISTING C.M.U. WALL
7. PAINT EXISTING WALL, FULL HEIGHT.
8. INFILL EXISTING OPENING WITH METAL STUDS AND GYP. BOARD TO FLUSH WITH SURROUNDING WALL SURFACES.



RENOVATION LEGEND

- EXISTING WALL
- NEW METAL STUD & GYP. BD. WALL
- NEW C.M.U. WALL

WALL RATING LEGEND

- 2-HOUR RATED FIRE WALL
- 1-HOUR RATED FIRE BARRIER

- KEYED RENOVATION FLOOR PLAN NOTES:**
- 1) NEW V.C.T. FLOORING & RUBBER BASE
 - 2) NEW CARPET FLOORING & RUBBER BASE
 - 3) NEW CASEWORK
 - 4) NEW WHITE BOARD
 - 5) NEW TACK BOARD
 - 6) PAINT EXISTING WOOD CASEWORK
 - 7) NEW DOOR & FRAME
 - 8) NEW EXTERIOR GLAZING & ALUM. FRAME
 - 9) NEW ALUMINUM THRESHOLD
 - 10) NEW TOILET PARTITIONS
 - 11) NEW MIRROR
 - 12) NEW DOOR
 - 13) NEW EPOXY FLOORING
 - 14) OWNER TO REINSTALL SMART BOARD
 - 15) CLEAN, STRIP & REFINISH EXISTING WOOD HANDRAIL
 - 16) NEW S.S. GRAB BAR, SEE SPEC.

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- H. ALL SURFACES NOT RECEIVING A SPECIFIC FINISH WITHIN THE RENOVATED SPACES AS INDICATED ON THE FINISH SCHEDULE OR INTERIOR ELEVATIONS SHALL BE PAINTED. THIS INCLUDES ANY NEW OR EXISTING EXPOSED CONDUIT, DUCTWORK AND PIPING.

- WALL TYPES**
- NOTE: ALL NEW WALLS SHALL RUN TIGHT TO ROOF DECKING ABOVE, INCLUDING SHEATHING AND BATT. INSULATION, UNLESS OTHERWISE NOTED.
- 1- 2" METAL STUDS, 16" O.C. WITH 5/8" GYP. BOARD ONE SIDE, PAINT
 - 2- 3-5/8" METAL STUDS, 16" O.C. WITH 5/8" GYP. BOARD AND PAINT ONE SIDE, 5/8" CEMENT BOARD AND CERAMIC TILE OTHER SIDE, 4" SOUND BATT. INSULATION.
 - 3- 3-5/8" METAL STUDS, 16" O.C. WITH 5/8" GYP. BOARD AND PAINT ONE SIDE, 4" SOUND BATT. INSULATION.
 - 4- 3-5/8" METAL STUDS, 16" O.C. WITH 5/8" GYP. BOARD AND PAINT BOTH SIDES, 4" SOUND BATT. INSULATION.
 - 5- 6" METAL STUDS, 16" O.C. WITH 5/8" GYP. BOARD AND PAINT BOTH SIDES, 6" SOUND BATT. INSULATION.
 - 6- NEW CERAMIC TILE ON EXISTING C.M.U. WALL
 - 7- PAINT EXISTING WALL, FULL HEIGHT.
 - 8- INFILL EXISTING OPENING WITH METAL STUDS AND GYP. BOARD TO FLUSH WITH SURROUNDING WALL SURFACES.

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J. PAUL YOUNG II
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NORTH CAROLINA
11388
02/26/2024

DTW ARCHITECTS AND PLANNERS, LTD.
REGISTERED ARCHITECTURAL FIRM
NORTH CAROLINA
CERT. NO. 162
DURHAM, NC.

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CONSULTING ENGINEERS
LICENSE NO. C-0315

**EFLAND-CHEEKS ELEMENTARY SCHOOL
GENERAL RENOVATIONS
ORANGE COUNTY SCHOOLS
4401 FULLER ROAD
EFLAND, NORTH CAROLINA 27243**

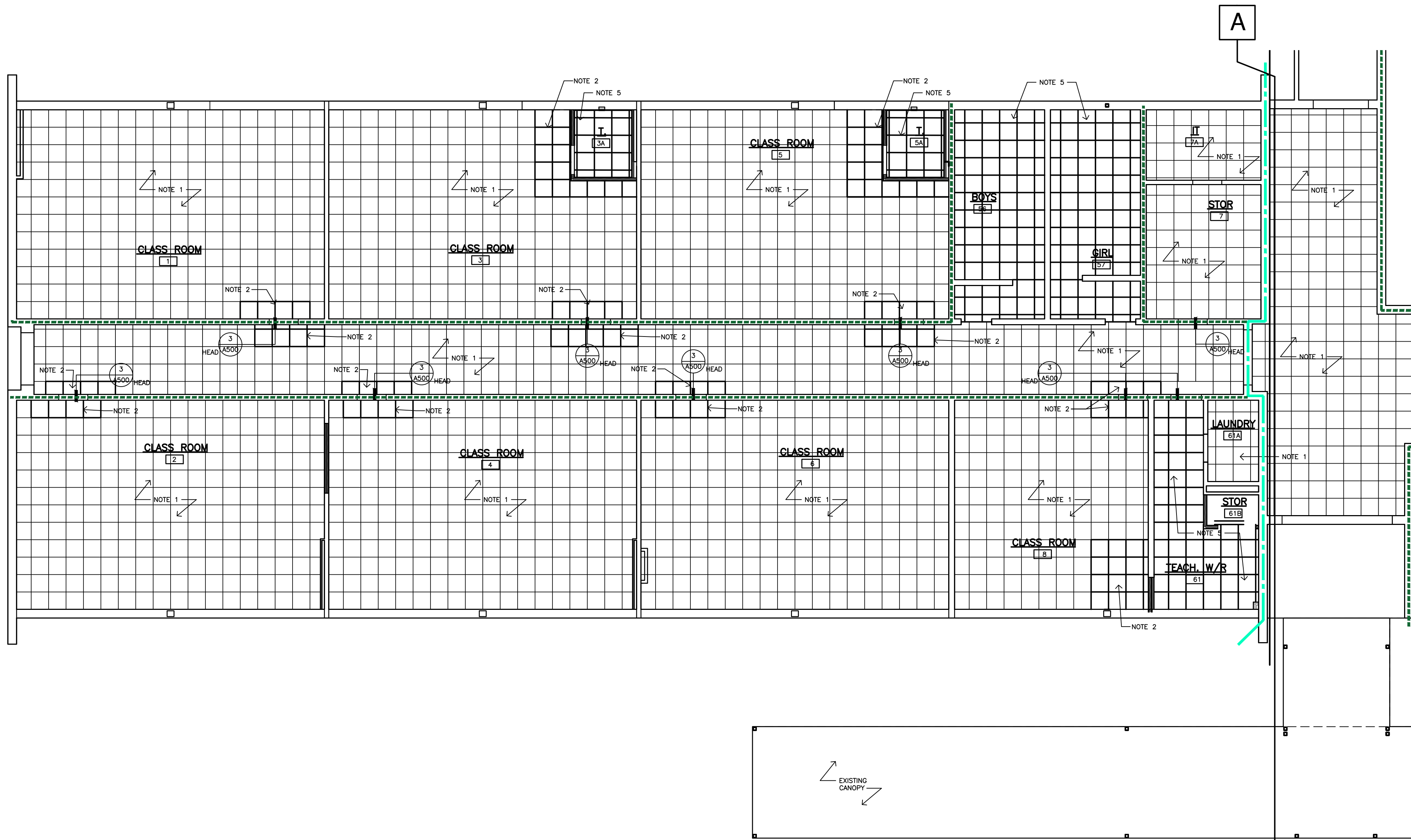
FLOOR PLAN

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Revision		
ID	Date	Description

PROJECT # NC27X007
REVIEWED BY J. Young
DESIGNED BY J. Young
DRAWN BY P. Martin
DRAWING DATE 02/26/2024
SHEET NUMBER

A104



1 CEILING PLAN
SCALE: 1/8"=1'-0"

GENERAL CEILING NOTES:

- A. SEE FINISH SCHEDULE FOR CEILING HEIGHTS. G.C. TO COORDINATE ANY REPLACED GRIDS WITH EXISTING HEIGHT & LAYOUT W/ PLUMBING, MECHANICAL & ELECTRICAL CONTRACTORS.
- B. ALL NEW LIGHT FIXTURES TO HAVE 4 HANGER WIRES (ONE EACH CORNER) INDEPENDENT OF CEILING GRID. WIRES BY ELECTRICAL CONTRACTOR / SEE ELECTRICAL SPECIFICATIONS.
- C. WHERE EXPOSED CEILING TO BE PAINTED, G.C. TO PAINT ALL STRUCTURE, CONDUIT, PIPES, HANGERS & DUCTWORK.
- D. G.C. TO PROTECT ALL TECHNOLOGY, WIRING & EQUIPMENT DURING RENOVATION.
- E. SEE PME DRAWINGS & SPECS FOR LIGHTING & MECHANICAL DETAILS.
- F. COORDINATE ALL NEW LAY-IN ACOUSTICAL CEILING HEIGHTS WITH NEW HVAC, PLUMBING & ELECTRICAL ROUGH-INS TO GET CEILINGS TO MAXIMUM HEIGHT.

KEYED RENOVATION CEILING PLAN NOTES:

- 1) PAINT EXISTING CEILING GRID. INST. NEW LAY-IN CEILING TILE
- 2) INSTALL NEW GRID IN AREAS AS NEEDED
- PAINT EXISTING GYPSUM BOARD
- 4) PAINT EXISTING STRUCTURE AND DUCT WORK
- 5) NEW LAY-IN CEILING

WALL RATING LEGEND

- 2-HOUR RATED FIRE WALL
- 1-HOUR RATED FIRE BARRIER

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J. PAUL YOUNG II
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11388
02/26/2024

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EFLAND, NORTH CAROLINA 27243

CEILING PLAN

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Revision		
ID	Date	Description
PROJECT #		NC27X007
REVIEWED BY		J. Young
DESIGNED BY		J. Young
DRAWN BY		P. Martin
DRAWING DATE		02/26/2024
SHEET NUMBER		

A201

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Revision		
ID	Date	Description

PROJECT # NC27X007
REVIEWED BY J. Young
DESIGNED BY J. Young
DRAWN BY P. Martin
DRAWING DATE 02/26/2024
SHEET NUMBER



GENERAL CEILING NOTES:

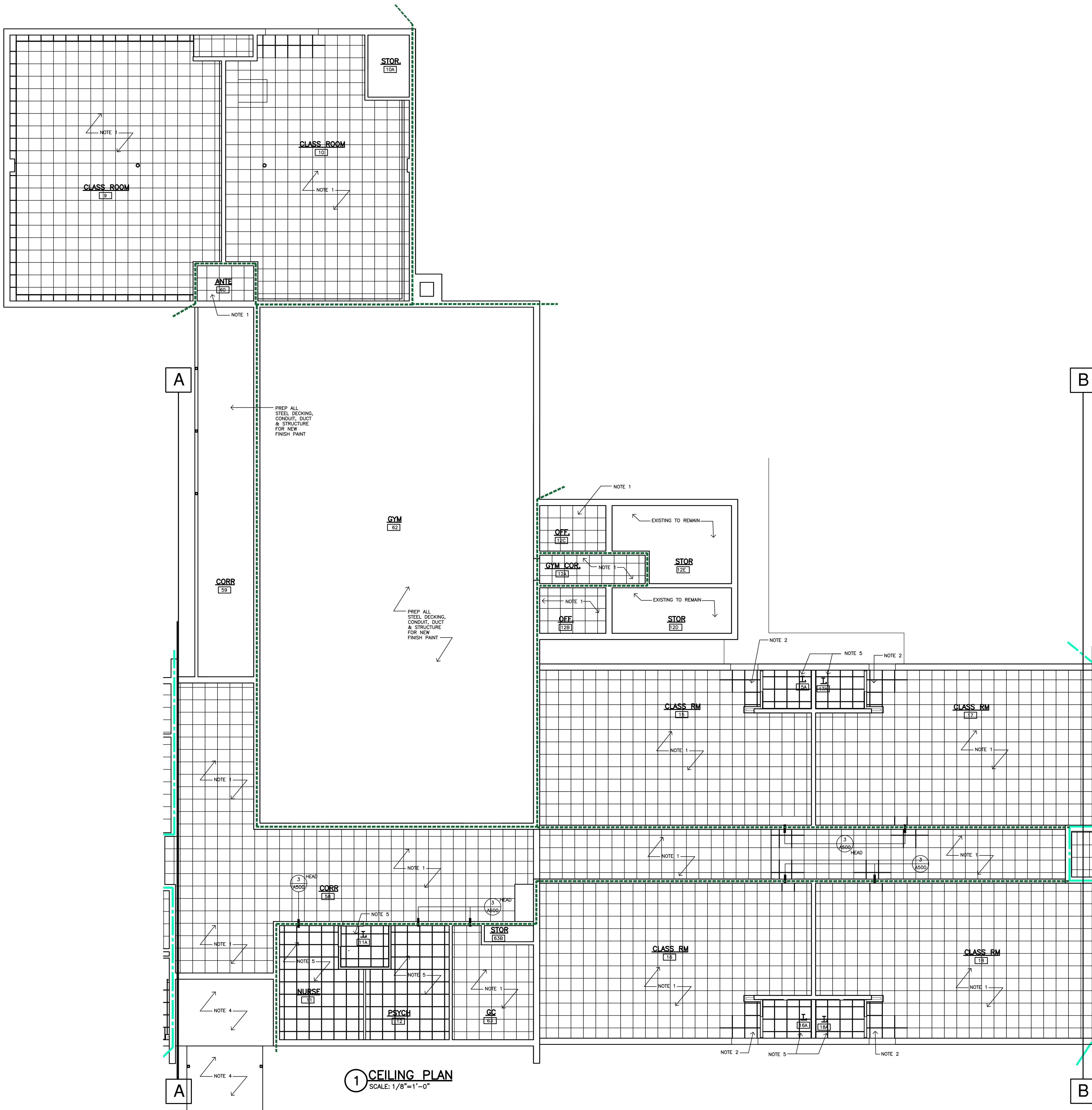
- A. SEE FINISH SCHEDULE FOR CEILING HEIGHTS. G.C. TO COORDINATE ANY REPLACED GRIDS WITH EXISTING HEIGHT & LAYOUT W/ PLUMBING, MECHANICAL & ELECTRICAL CONTRACTORS.
- B. ALL NEW LIGHT FIXTURES TO HAVE 4 HANGER WIRES (ONE EACH CORNER), INDEPENDENT OF CEILING GRID. WIRES BY ELECTRICAL CONTRACTOR / SEE ELECTRICAL SPECIFICATIONS.
- C. WHERE EXPOSED CEILING TO BE PAINTED, G.C. TO PAINT ALL STRUCTURE, CONDUIT, PIPES, HANGERS & DUCTWORK.
- D. G.C. TO PROTECT ALL TECHNOLOGY, WIRING & EQUIPMENT DURING RENOVATION.
- E. SEE PINE DRAWINGS & SPECS FOR LIGHTING & MECHANICAL DETAILS.
- F. COORDINATE ALL NEW LAY-IN ACOUSTICAL CEILING HEIGHTS WITH NEW HVAC, PLUMBING & ELECTRICAL ROUGH-INS TO GET CEILINGS TO MAXIMUM HEIGHT.

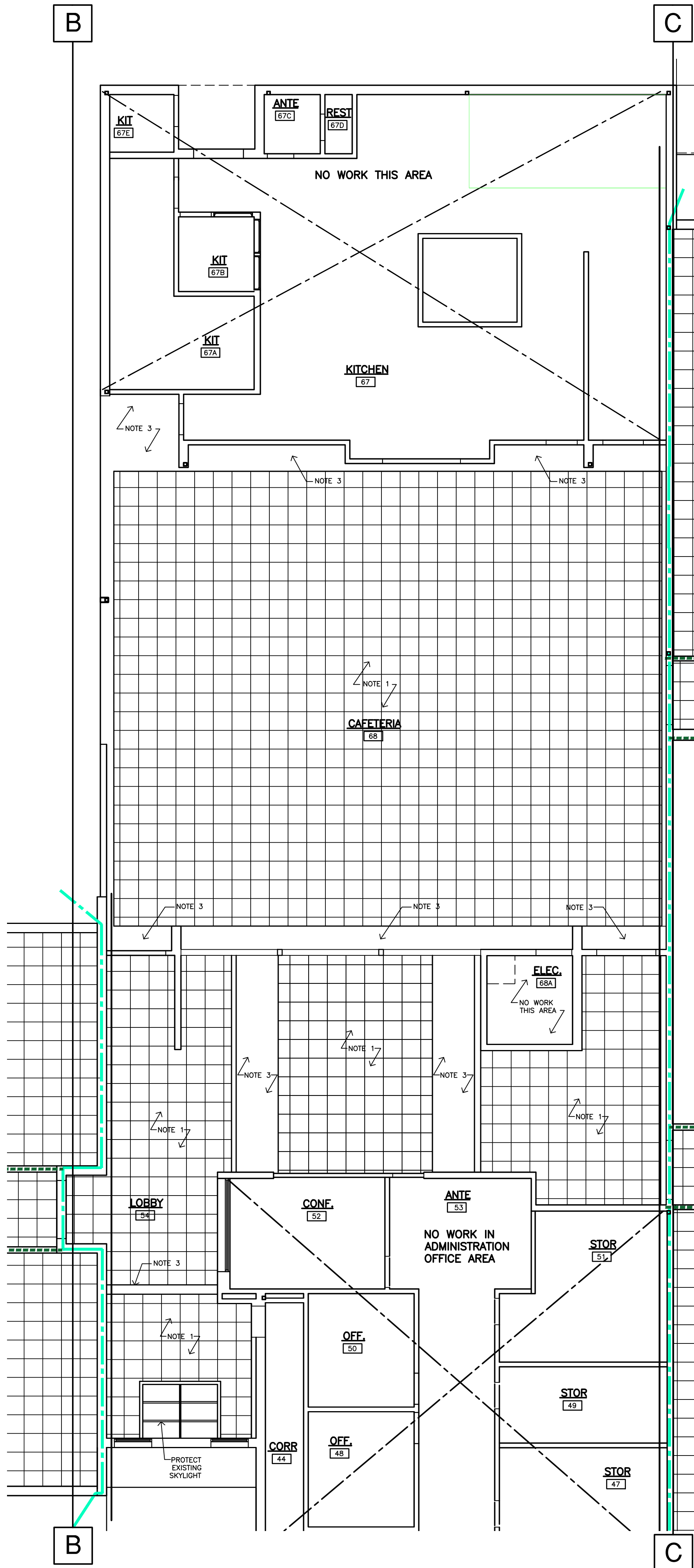
KEYED RENOVATION CEILING PLAN NOTES:

- 1) PAINT EXISTING CEILING GRID. ~~INTERNAL~~
LAY-IN CEILING TILE
- 2) INSTALL NEW GRID IN AREAS AS NEEDED
- PAINT EXISTING GYPSUM BOARD
- 4) PAINT EXISTING STRUCTURE AND DUCT WORK
- 5) NEW LAY-IN CEILING

WALL RATING LEGEND

- 2-HOUR RATED FIRE WALL
- 1-HOUR RATED FIRE BARRIER





1 RENOVATION FLOOR PLAN
SCALE: 1/8"=1'-0"

GENERAL CEILING NOTES:

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- B. ALL NEW LIGHT FIXTURES TO HAVE 4 HANGER WIRES (ONE EACH CORNER) INDEPENDENT OF CEILING GRID. WIRES BY ELECTRICAL CONTRACTOR / SEE ELECTRICAL SPECIFICATIONS.
- C. WHERE EXPOSED CEILING TO BE PAINTED, G.C. TO PAINT ALL STRUCTURE, CONDUIT, PIPES, HANGERS & DUCTWORK.
- D. G.C. TO PROTECT ALL TECHNOLOGY, WIRING & EQUIPMENT DURING RENOVATION.
- E. SEE PME DRAWINGS & SPECS FOR LIGHTING & MECHANICAL DETAILS.
- F. COORDINATE ALL NEW LAY-IN ACOUSTICAL CEILING HEIGHTS WITH NEW HVAC, PLUMBING & ELECTRICAL ROUGH-INS TO GET CEILINGS TO MAXIMUM HEIGHT.

KEYED RENOVATION CEILING PLAN NOTES:

- 1) PAINT EXISTING CEILING GRID. IN ~~STRA~~ LAY-IN CEILING TILE
- 2) INSTALL NEW GRID IN AREAS AS NEEDED
- PAINT EXISTING GYPSUM BOARD
- 4) PAINT EXISTING STRUCTURE AND DUCT WORK
- 5) NEW LAY-IN CEILING

WALL RATING LEGEND

- 2-HOUR RATED FIRE WALL
- 1-HOUR RATED FIRE BARRIER

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J. PAUL YOUNG II
REGISTERED
ARCHITECT
NORTH CAROLINA
11388
02/26/2024

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CEILING PLAN

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Revision		
ID	Date	Description
PROJECT #		NC27X007
REVIEWED BY		J. Young
DESIGNED BY		J. Young
DRAWN BY		P. Martin
DRAWING DATE		02/26/2024
SHEET NUMBER		

A203

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Revision	
ID	Description

PROJECT # NC27X007
REVIEWED BY J. Young
DESIGNED BY J. Young
DRAWN BY P. Martin
DRAWING DATE 02/26/2024
SHEET NUMBER

A204

GENERAL CEILING NOTES:

A. SEE FINISH SCHEDULE FOR CEILING HEIGHTS. G.C. TO COORDINATE ANY REPLACED GRIDS WITH EXISTING HEIGHT & LAYOUT W/ PLUMBING, MECHANICAL & ELECTRICAL CONTRACTORS.

B. ALL NEW LIGHT FIXTURES TO HAVE 4 HANGER WIRES (ONE EACH CORNER) INDEPENDENT OF CEILING GRID. WIRES BY ELECTRICAL CONTRACTOR / SEE ELECTRICAL SPECIFICATIONS.

C. WHERE EXPOSED CEILING TO BE PAINTED, G.C. TO PAINT ALL STRUCTURE, CONDUIT, PIPES, HANGERS & DUCTWORK.

D. G.C. TO PROTECT ALL TECHNOLOGY, WIRING & EQUIPMENT DURING RENOVATION.

E. SEE PME DRAWINGS & SPECS FOR LIGHTING & MECHANICAL DETAILS.

F. COORDINATE ALL NEW LAY-IN ACOUSTICAL CEILING HEIGHTS WITH NEW HVAC, PLUMBING & ELECTRICAL ROUGH-INS TO GET CEILINGS TO MAXIMUM HEIGHT.

KEYED RENOVATION CEILING PLAN NOTES:

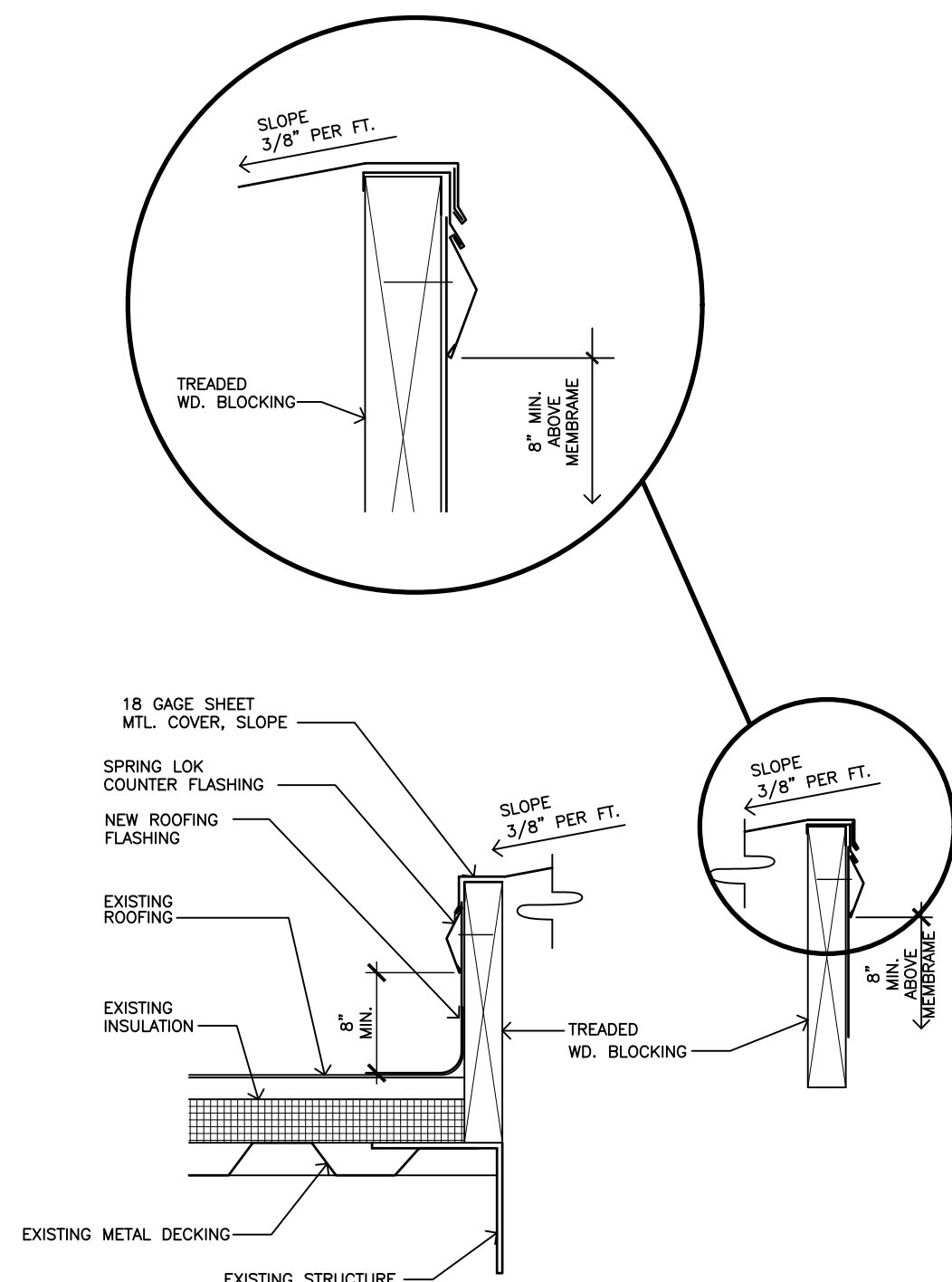
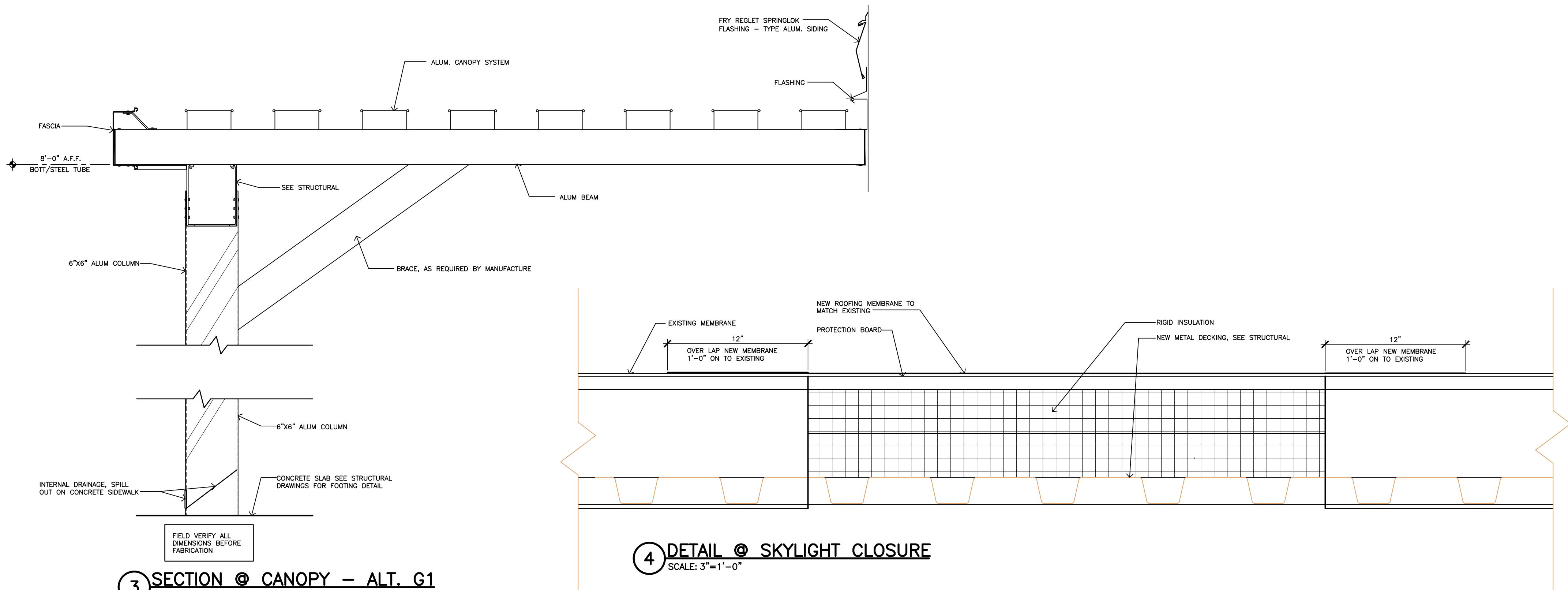
- 1) PAINT EXISTING CEILING GRID. INSTALL NEW LAY-IN CEILING TILE
- 2) INSTALL NEW GRID IN AREAS AS NEEDED
- 3) PAINT EXISTING GYPSUM BOARD
- 4) PAINT EXISTING STRUCTURE AND DUCT WORK
- 5) NEW LAY-IN CEILING

WALL RATING LEGEND

- 2-HOUR RATED FIRE WALL
- 1-HOUR RATED FIRE BARRIER

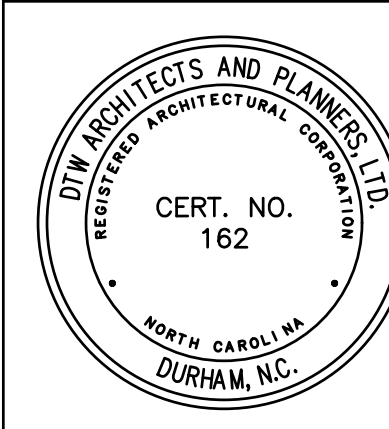
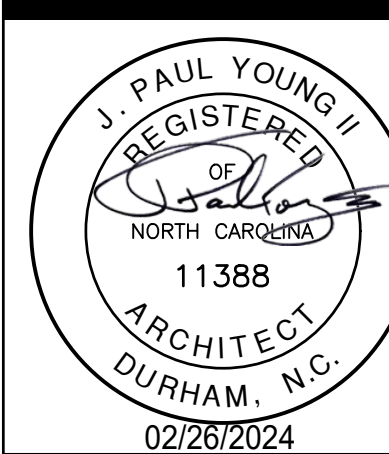


1 RENOVATION CEILING PLAN 
SCALE: 1/8"=1'-0"



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ROOF PLAN AND DETAILS

NOTES:

- A. EXISTING ROOF IS A MODIFIED BUILT-UP ROOFING SYSTEM WITH A PEA GRAVEL WEAR LAYER. ROOF WAS INSTALLED IN SEVERAL PHASE BETWEEN 2021 AND 2016 BY GARLAND ROOFING.

1 ROOF PLAN
SCALE: 1"=20'

ROOFING NOTES:

- A. ALL CUTTING, REPAIR AND PATCHING OF ROOFING SHALL BE BY A ROOFING CONTRACTOR. PATCH EXISTING ROOFING MEMBRANE AS REQUIRED TO MAINTAIN WARRANTY.
- B. ALL FLASHING DETAILS SHALL BE APPROVED BY THE ARCHITECT.
- C. PROVIDE 20 GA. TYPE B GALVANIZED ROOF DECK TO CLOSE EXISTING DECK PENETRATION. LAP WITH EXISTING ROOF DECK A MINIMUM OF 3" OVER SUPPORTS AND ONE FLUTE ON EITHER SIDE PARALLEL TO SPAN OF DECK. WELD DECK TO SUPPORTING STEEL WITH 5/8" PUDDLE WELDS IN 36/7 PATTERN. PROVIDE (2) #12 SIDE-LAP SCREWS AT EACH SIDE OF INFILL. (NOTE THIS NOTE APPLICABLE TO TYPE "B" DECK ONLY FOR SPANS LESS THAN 6'-6") PATCH EXISTING ROOFING MEMBRANE AS REQUIRED TO MAINTAIN WARRANTY.



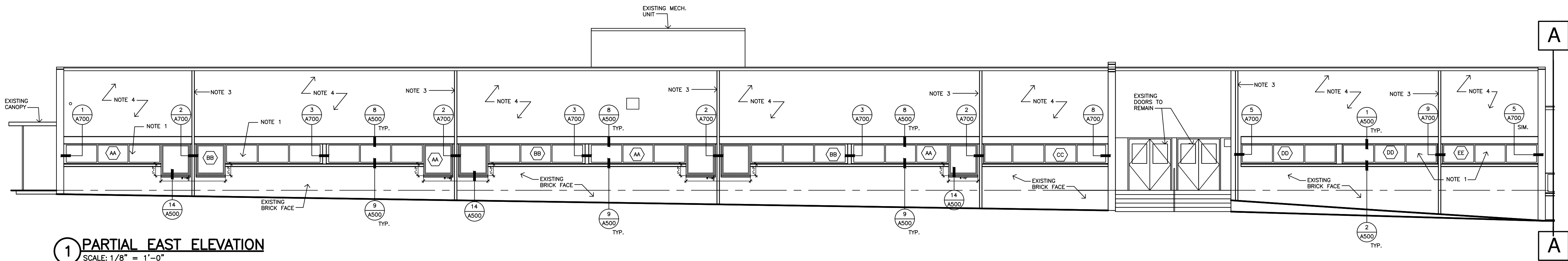
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Revision		
ID	Date	Description

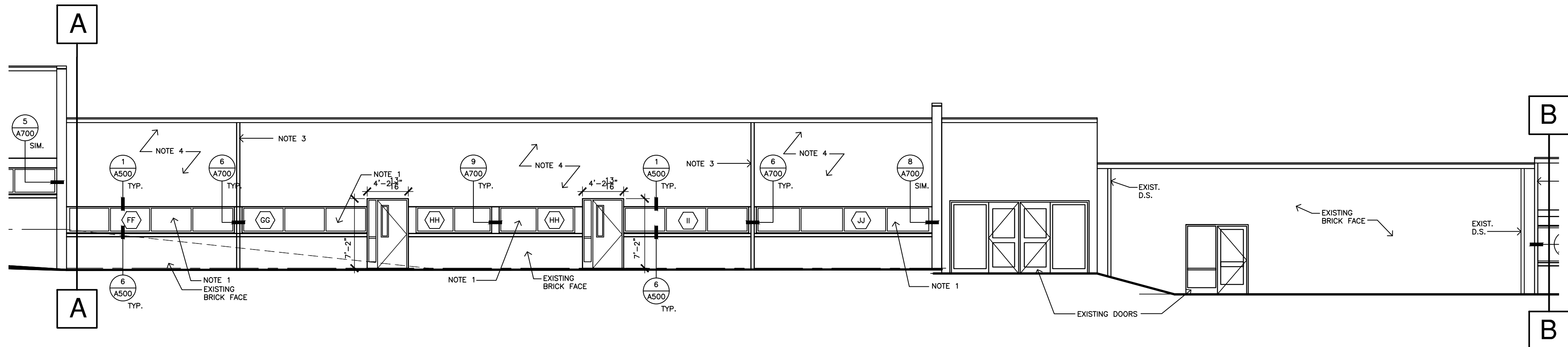
PROJECT # NC27X007
REVIEWED BY J. Young
DESIGNED BY J. Young
DRAWN BY P. Martin
DRAWING DATE 02/26/2024

SHEET NUMBER

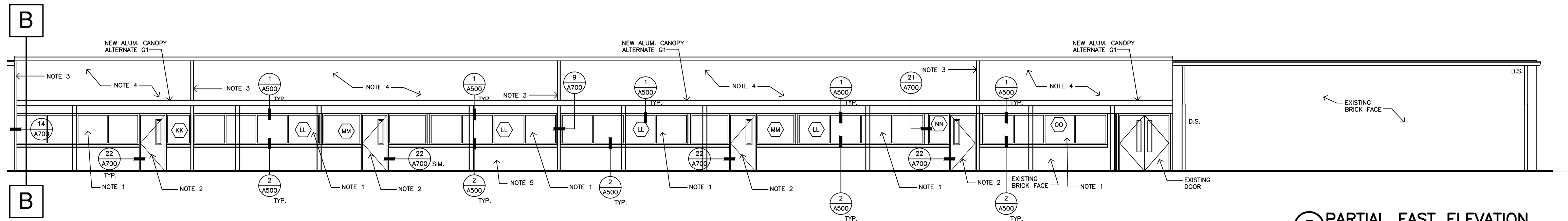
A300



1 PARTIAL EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 PARTIAL EAST ELEVATION
SCALE: 1/8" = 1'-0"

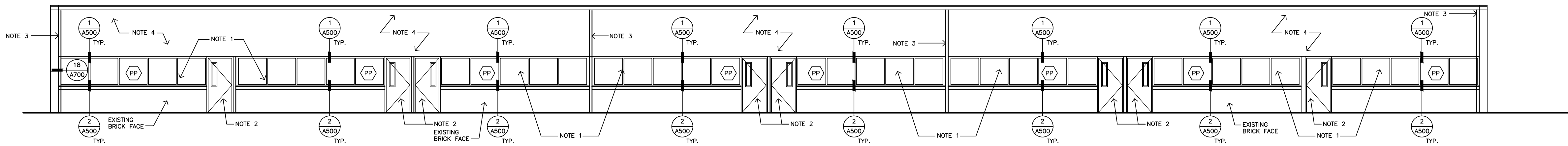


3 PARTIAL EAST ELEVATION
SCALE: 1/8" = 1'-0"

KEYED ELEVATION NOTES:

1. NEW GLAZING AND ALUMINUM FRAME.
2. NEW DOOR, FRAME AND THRESHOLD.
3. NEW DOWNSPOUT.
4. REPAIR ALUMINUM SIDING THAT IS DISTURBED DURING INSTALLATION OF DOORS AND WINDOW.
5. NEW HOLLOW METAL DOOR IN EXISTING FRAME.

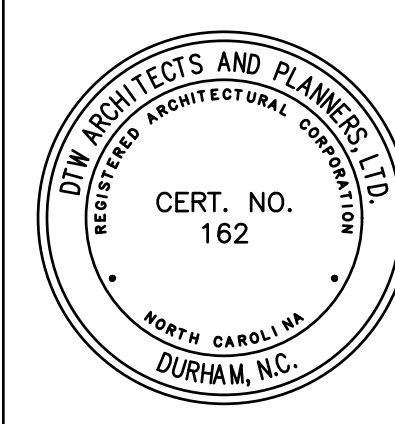
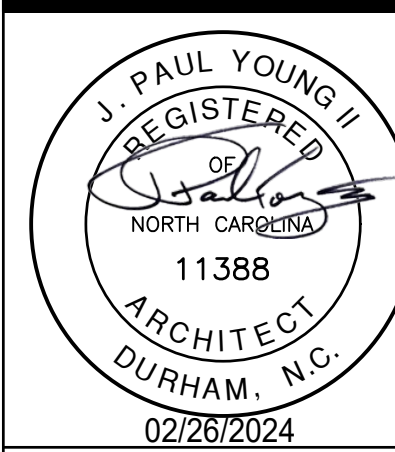
ALL NEW DOWNSPOUTS SHALL BE 4"x6" CONNECT TO EXISTING GUTTER. INSTALL STAINLESS STEEL STRAINER @ DROP



4 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

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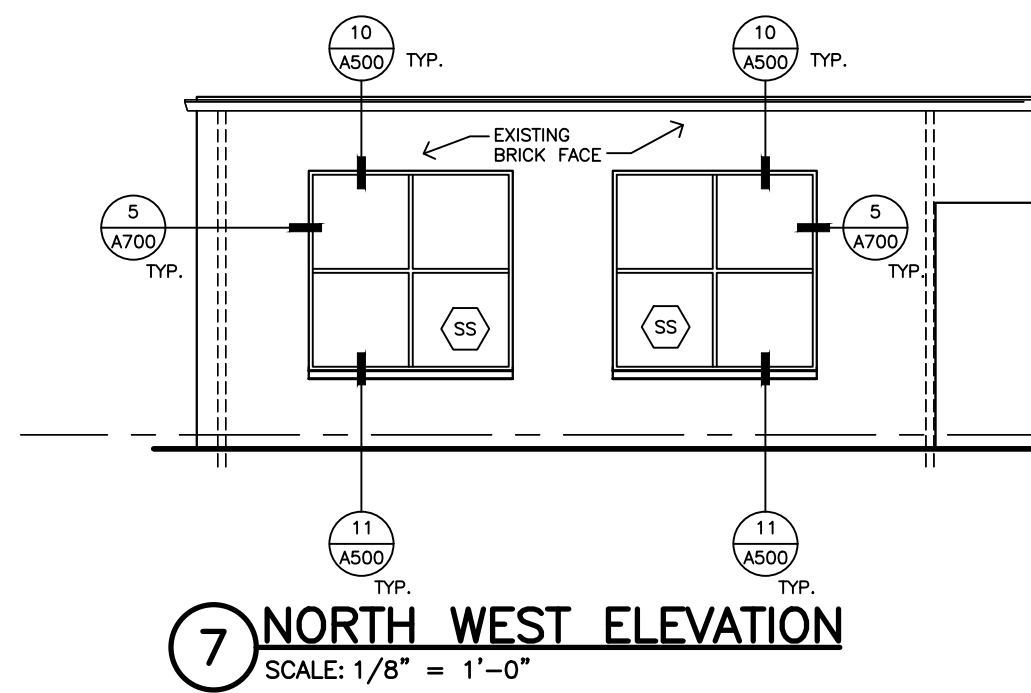
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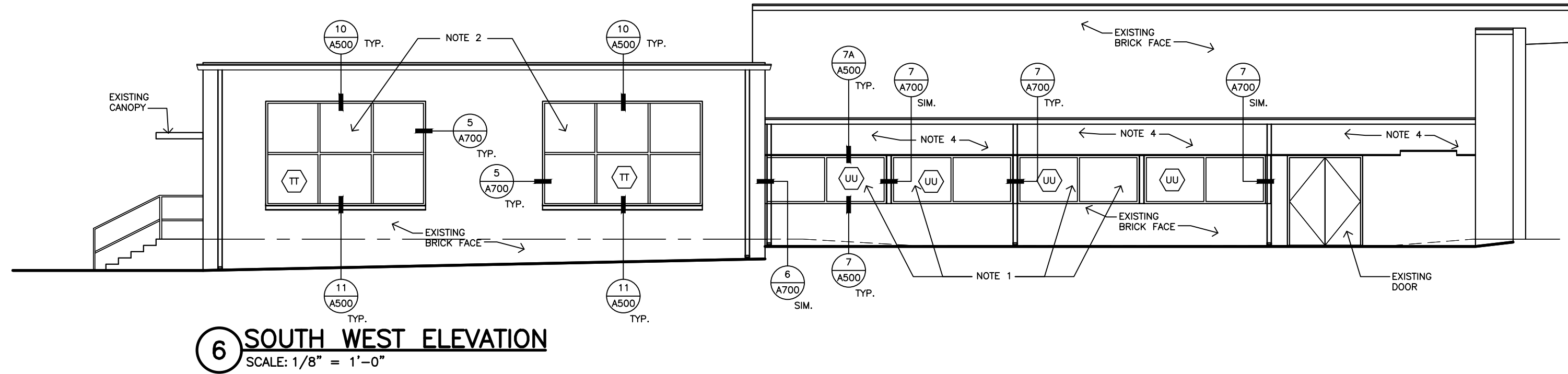
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EXTERIOR ELEVATIONS

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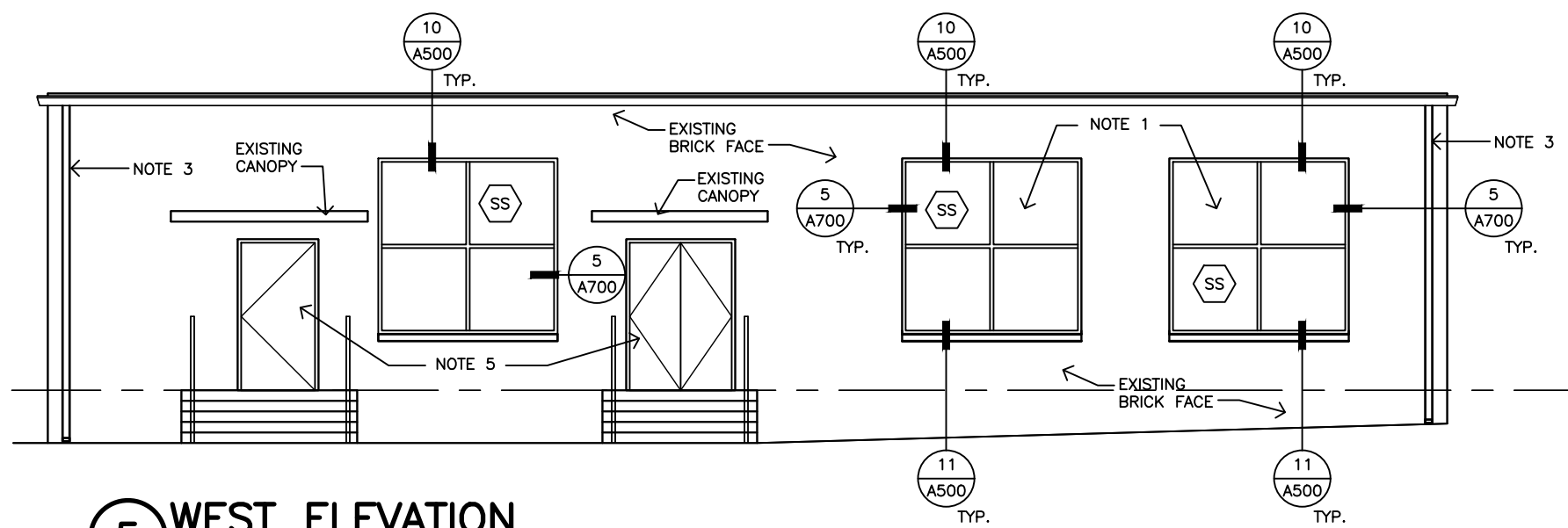
Revision		
ID	Date	Description
PROJECT #	NC27X007	
REVIEWED BY	J. Young	
DESIGNED BY	J. Young	
DRAWN BY	P. Martin	
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SHEET NUMBER	A400	



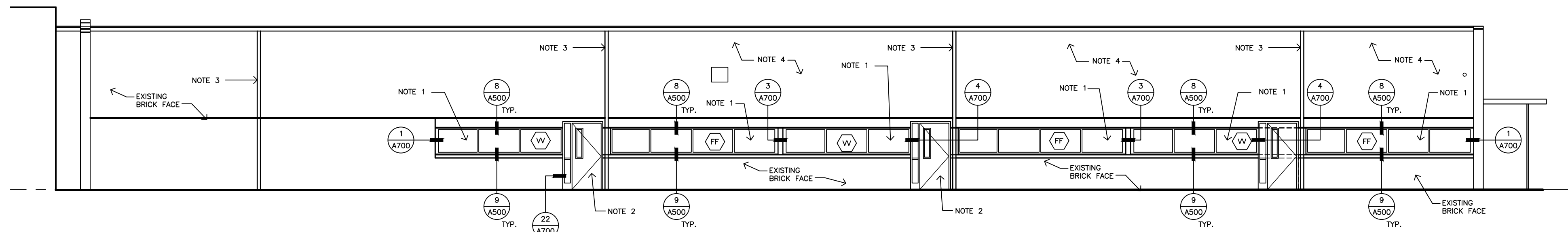
7 NORTH WEST ELEVATION
SCALE: 1/8" = 1'-0"



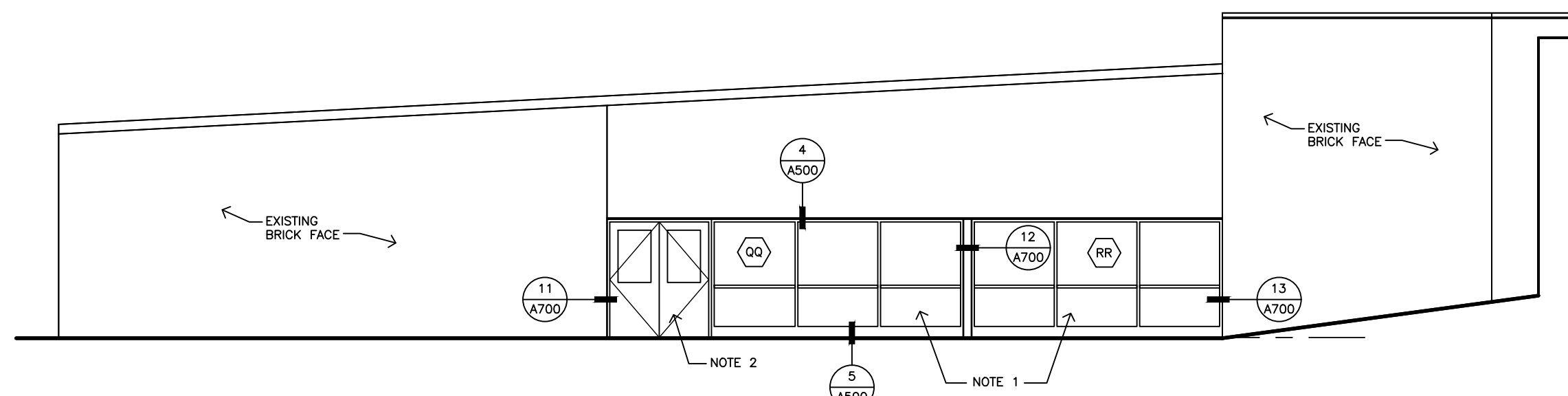
6 SOUTH WEST ELEVATION
SCALE: 1/8" = 1'-0"



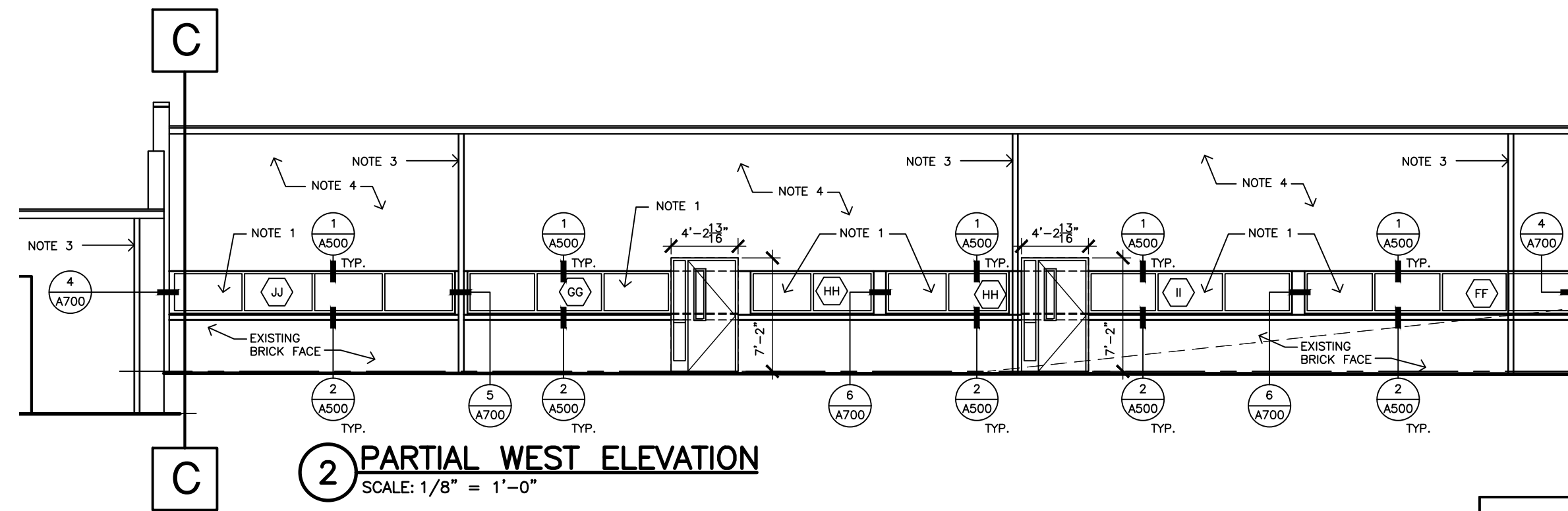
5 WEST ELEVATION
SCALE: 1/8" = 1'-0"



4 PARTIAL WEST ELEVATION
SCALE: 1/8" = 1'-0"



3 SOUTH WEST ELEVATION
SCALE: 1/8" = 1'-0"

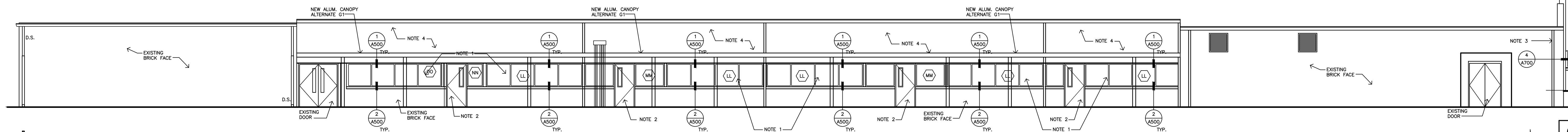


2 PARTIAL WEST ELEVATION
SCALE: 1/8" = 1'-0"

KEYED ELEVATION NOTES:

1. NEW GLAZING AND ALUMINUM FRAME.
2. NEW DOOR, FRAME AND THRESHOLD.
3. NEW DOWNSPOUT.
4. REPAIR ALUMINUM SIDING THAT IS DISTURBED DURING INSTALLATION OF DOORS AND WINDOW.
5. NEW HOLLOW METAL DOOR IN EXISTING FRAME.

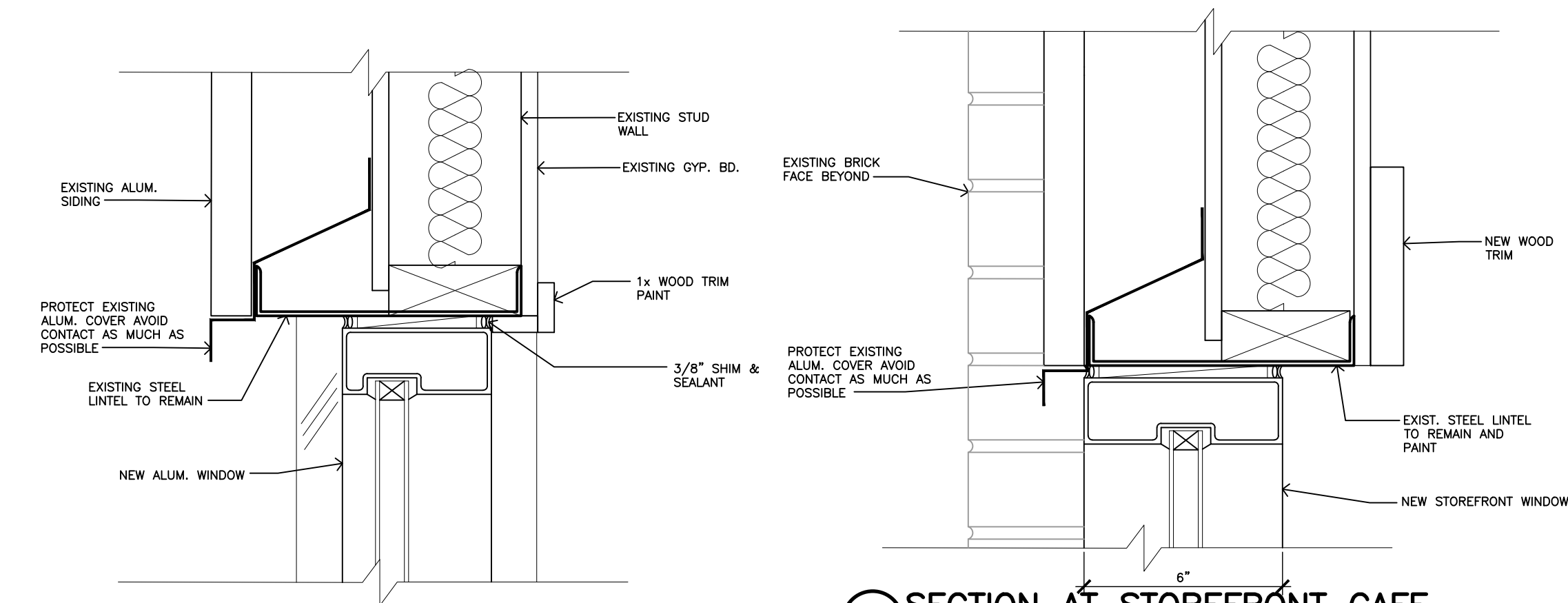
ALL NEW DOWNSPOUTS SHALL BE 4"x6"
CONNECT TO EXISTING GUTTER. INSTALL
STAINLESS STEEL STRAINER @ DROP



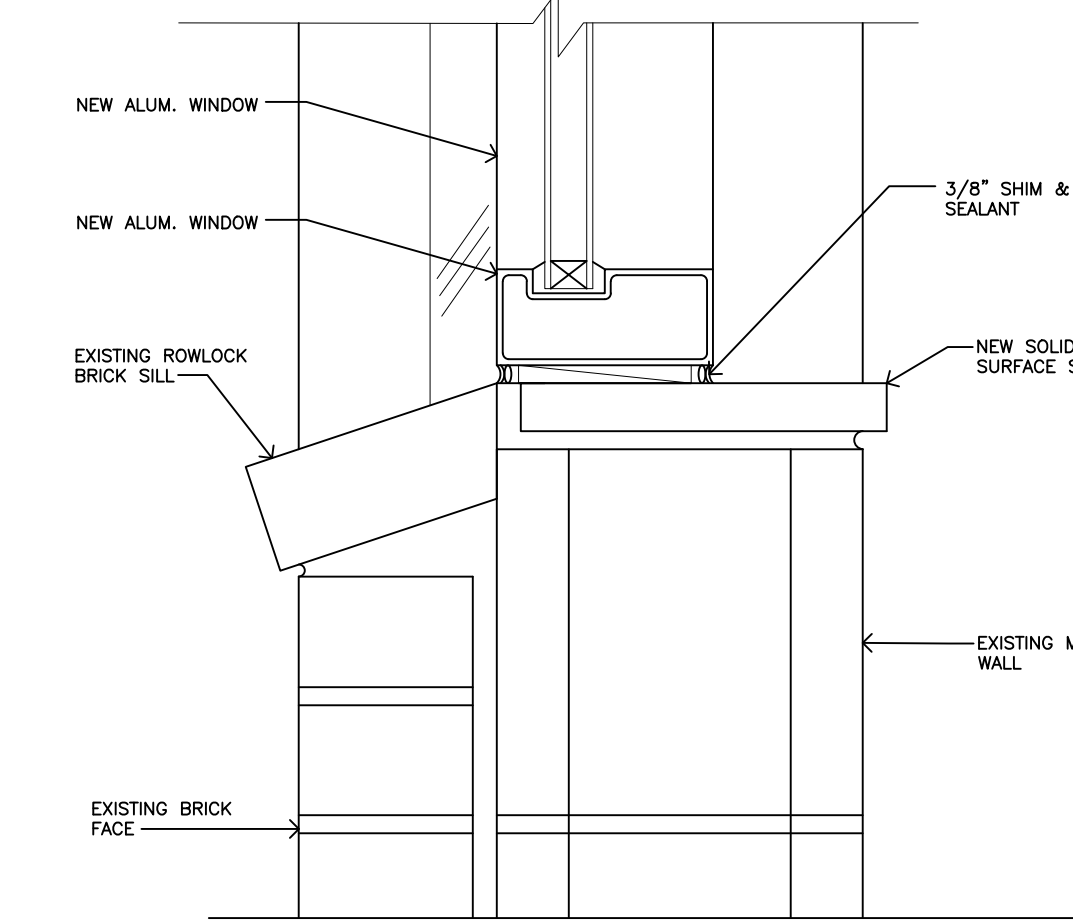
1 PARTIAL WEST ELEVATION
SCALE: 1/8" = 1'-0"

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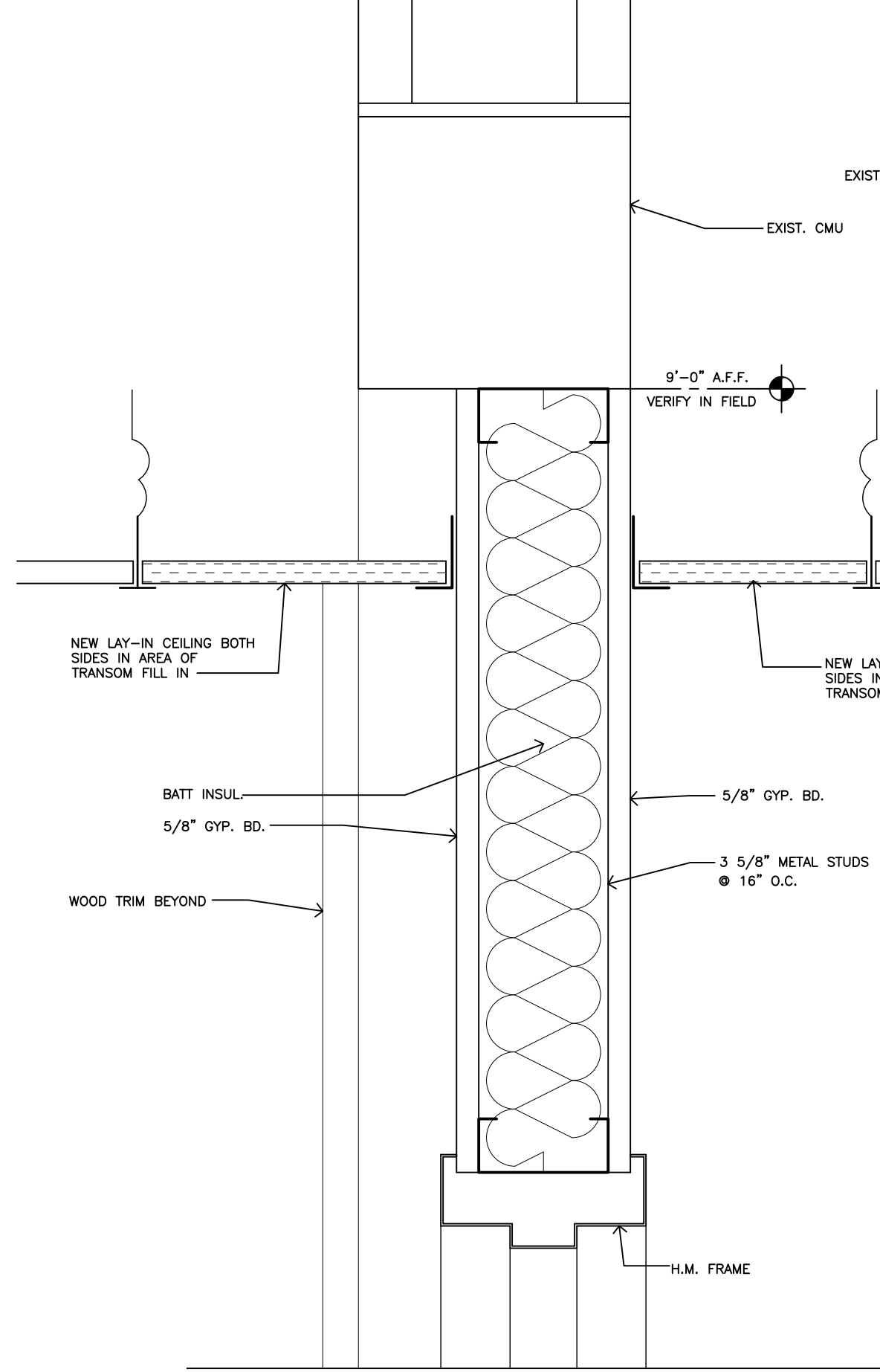
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DRAWING DATE		02/26/2024
SHEET NUMBER		



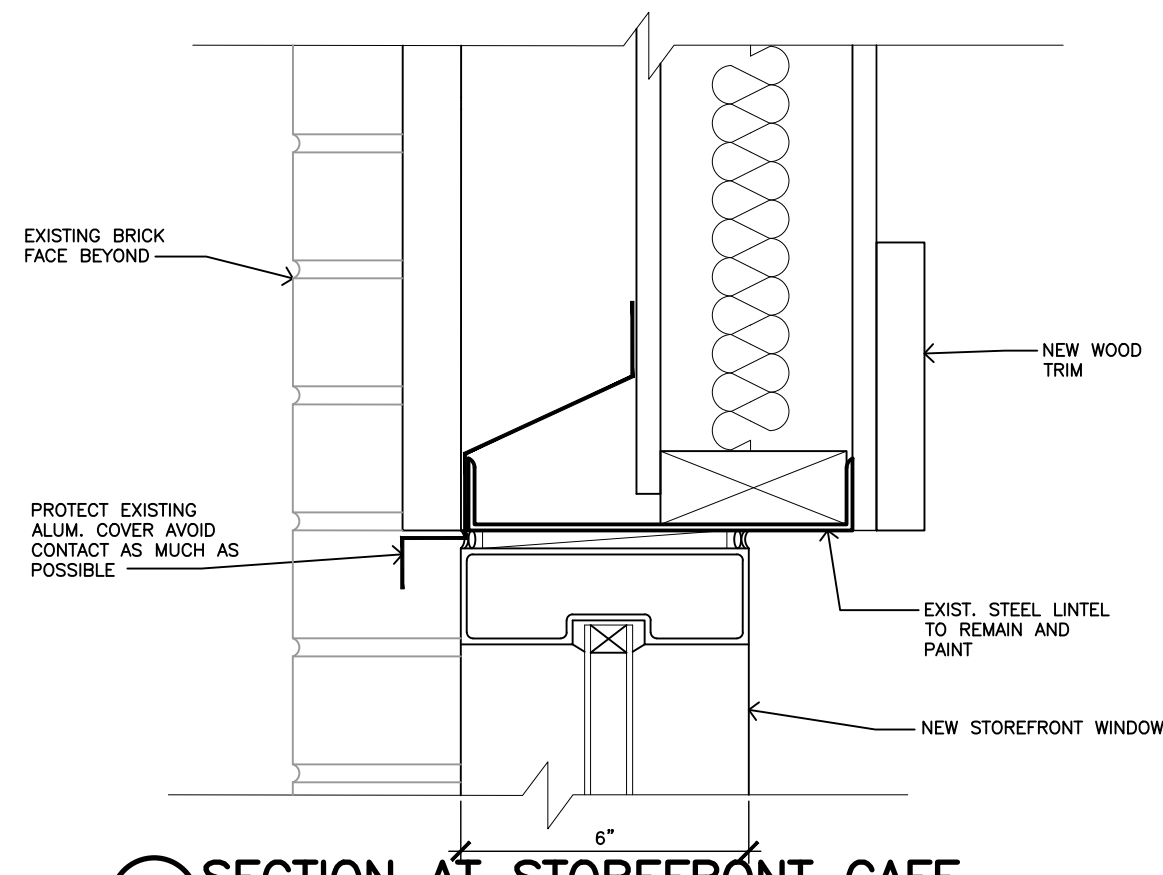
1 SECTION AT WINDOW HEADER
SCALE: 3" = 1'-0"



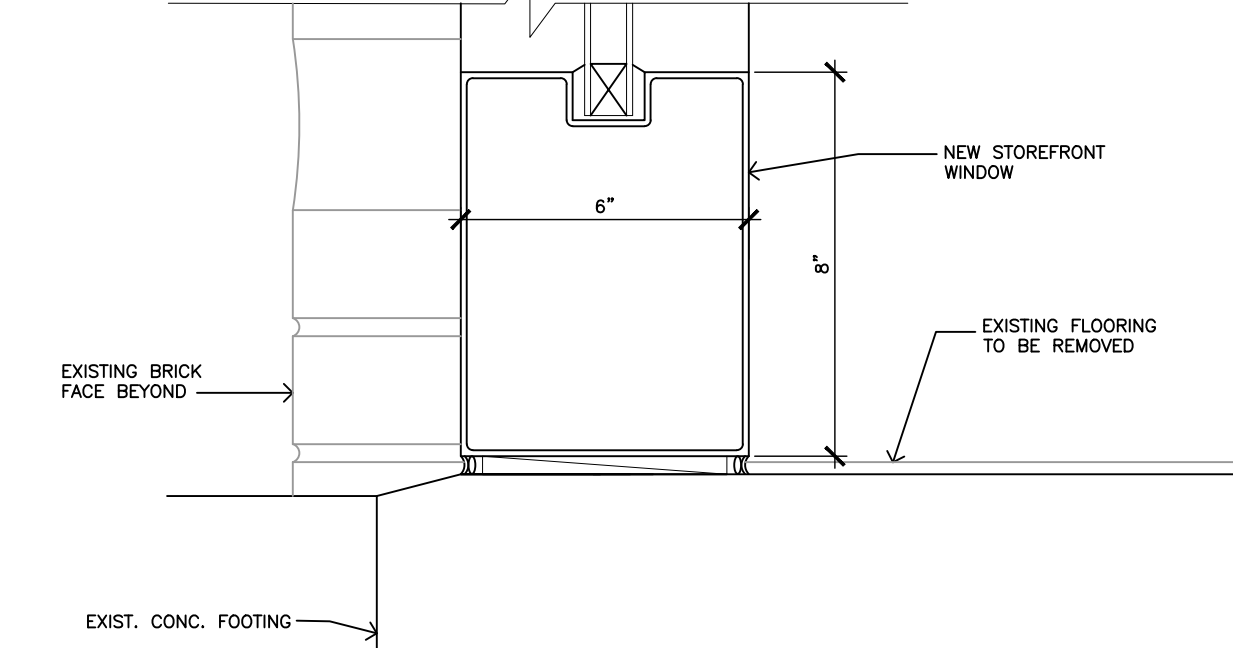
2 SECTION AT WINDOW SILL
SCALE: 3" = 1'-0"



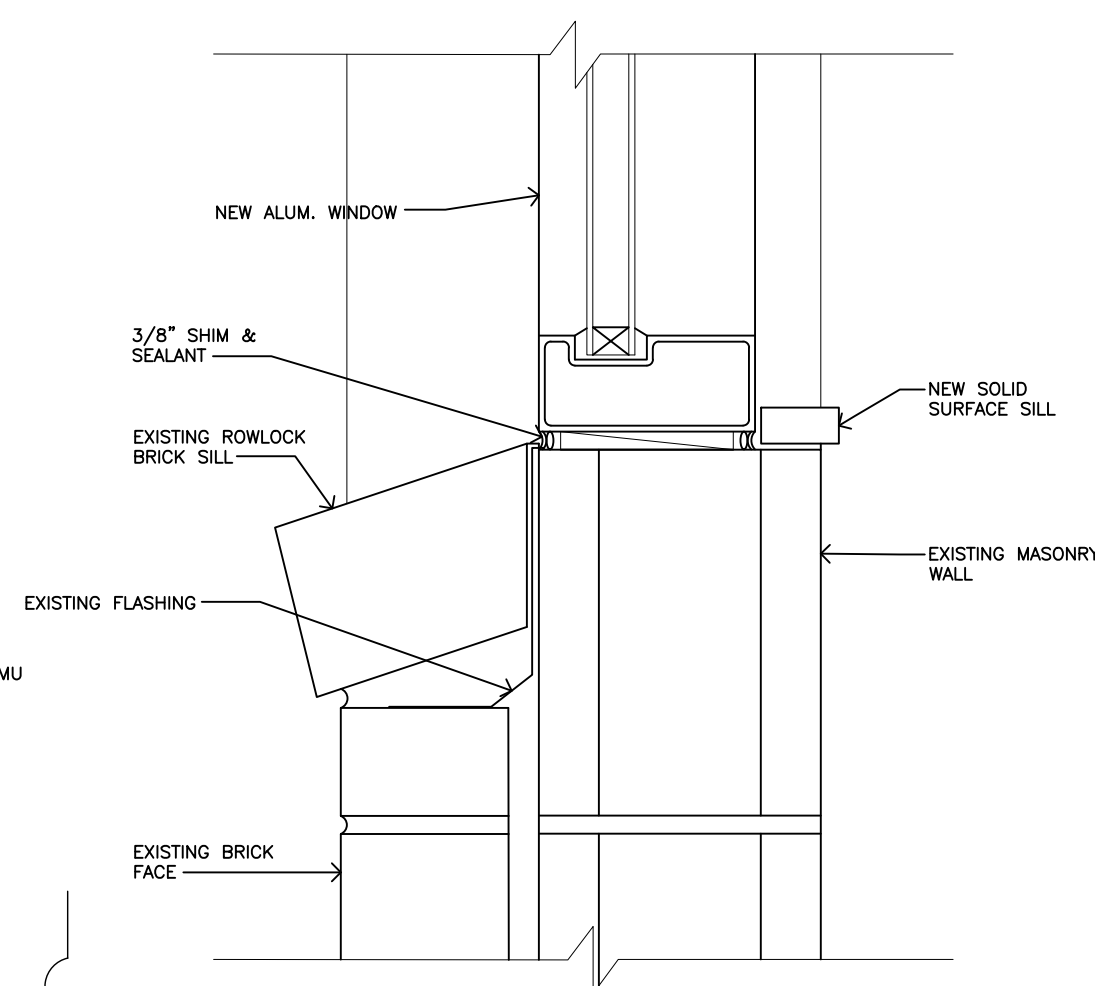
3 SECTION AT TRANSUM
SCALE: 3" = 1'-0"



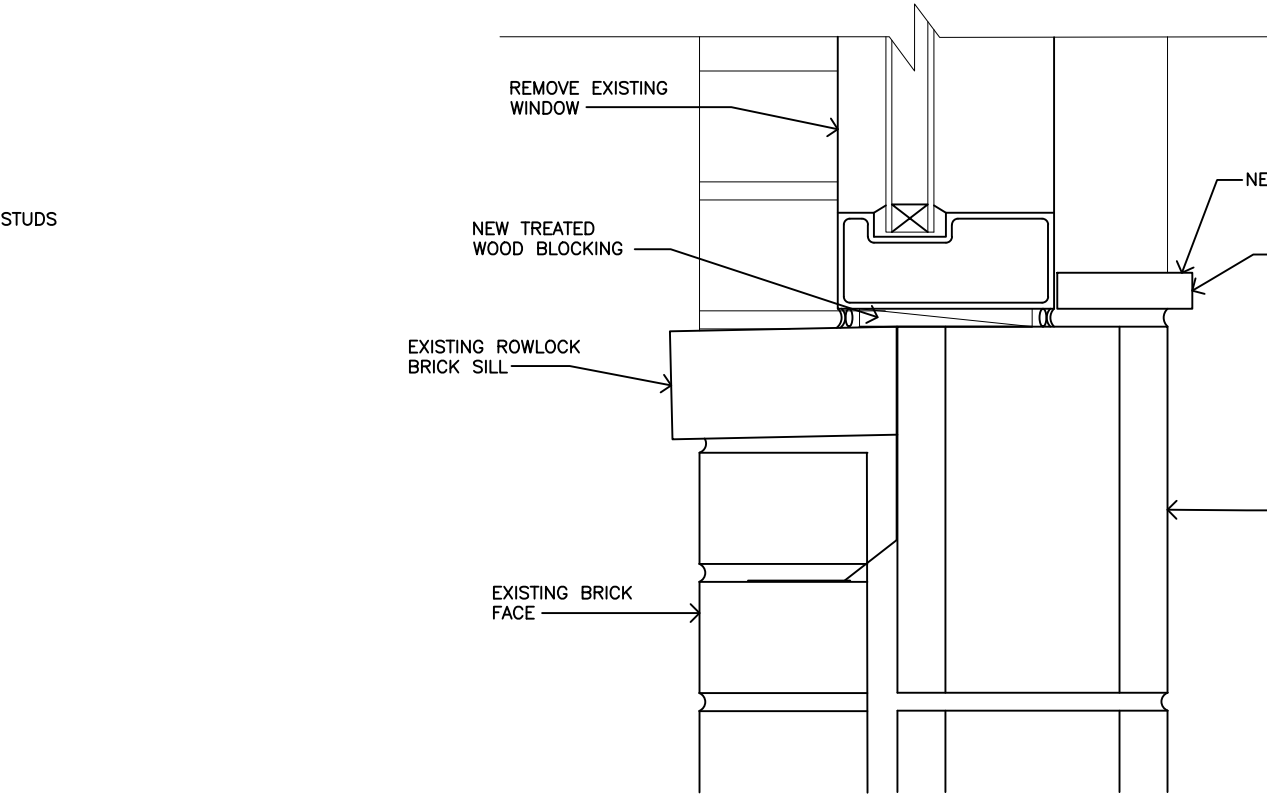
4 SECTION AT STOREFRONT CAFE
SCALE: 3" = 1'-0"



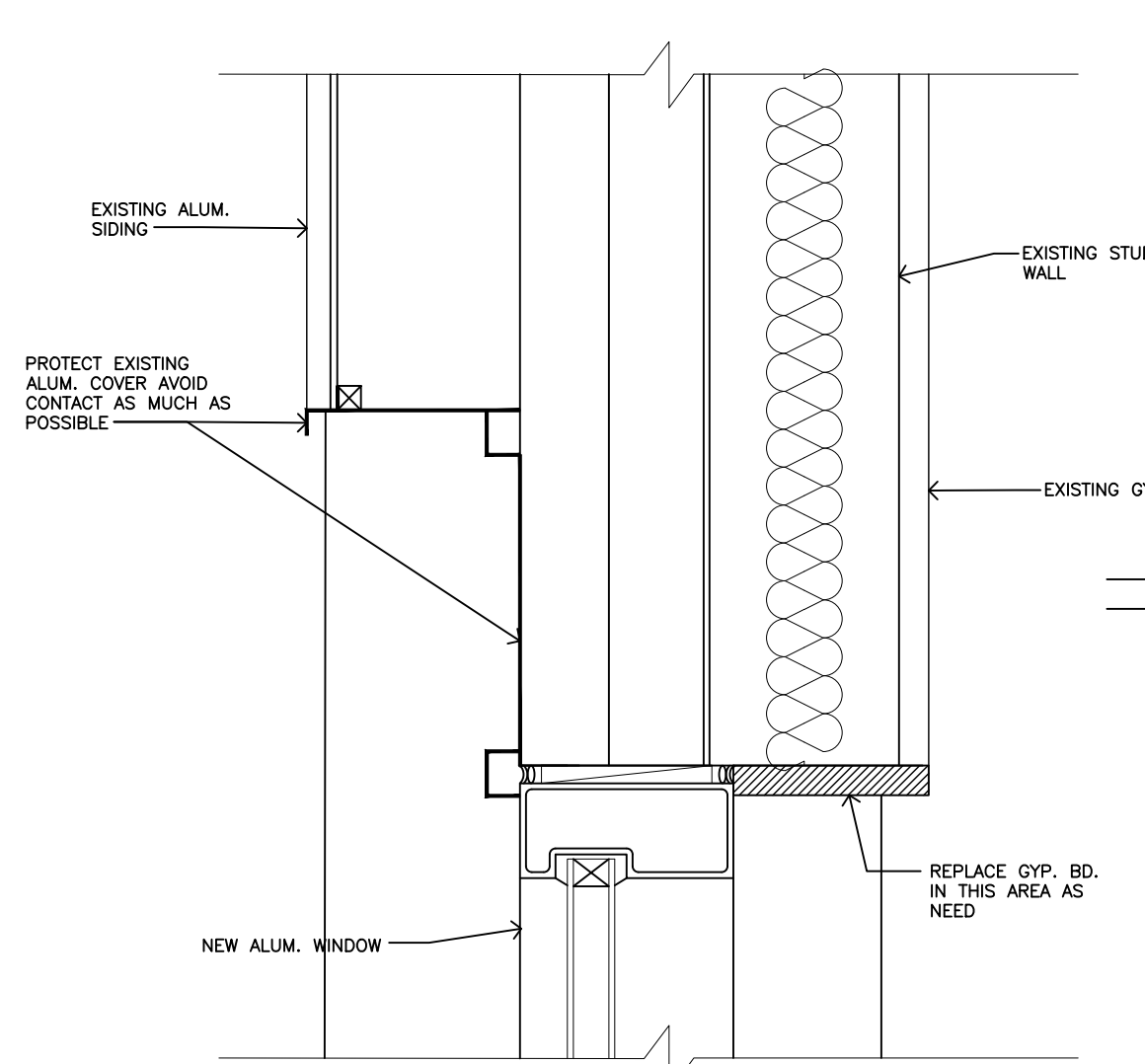
5 DETAIL AT SILL
SCALE: 3" = 1'-0"



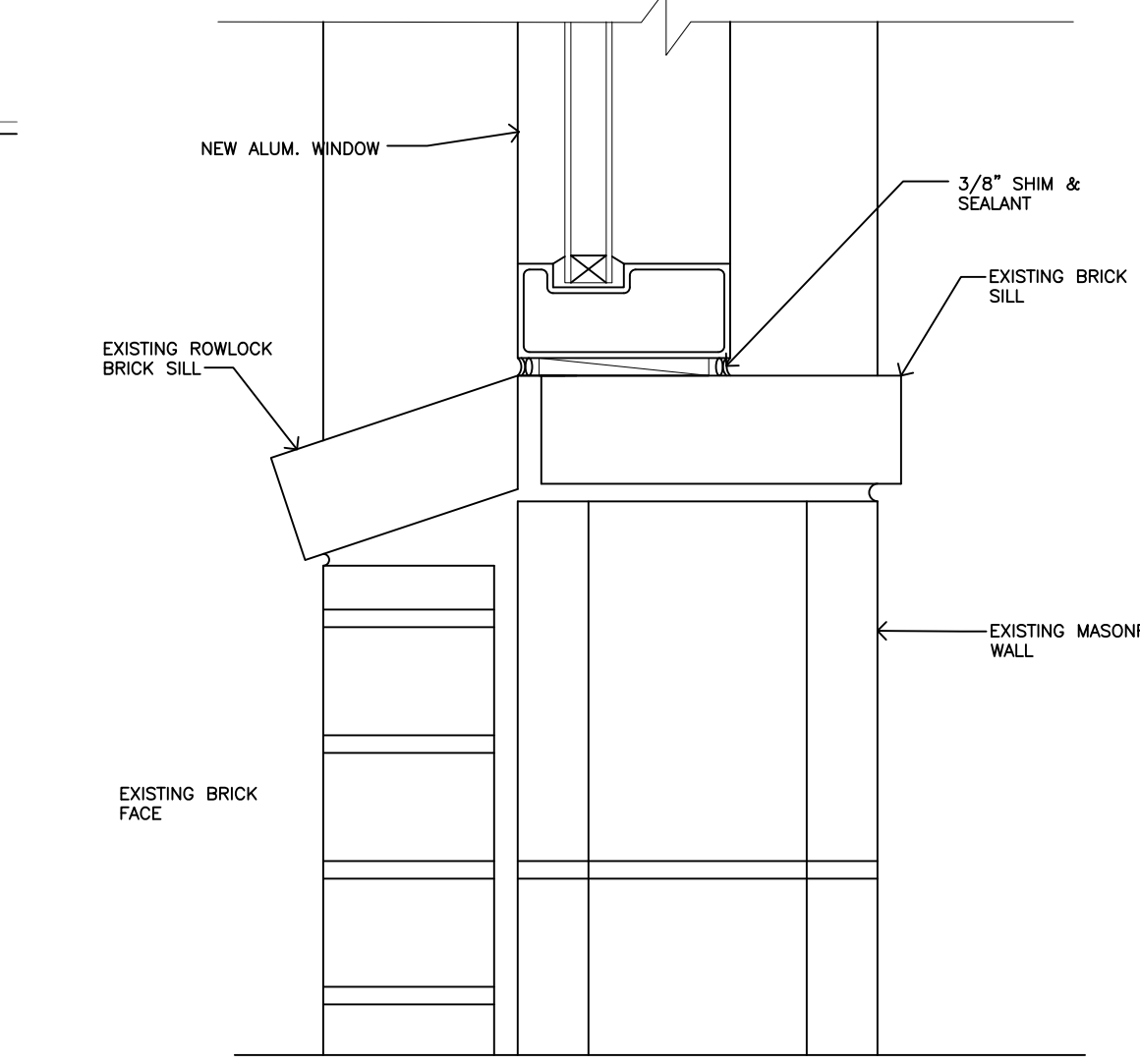
6 SECTION AT WINDOW SILL
SCALE: 3" = 1'-0"



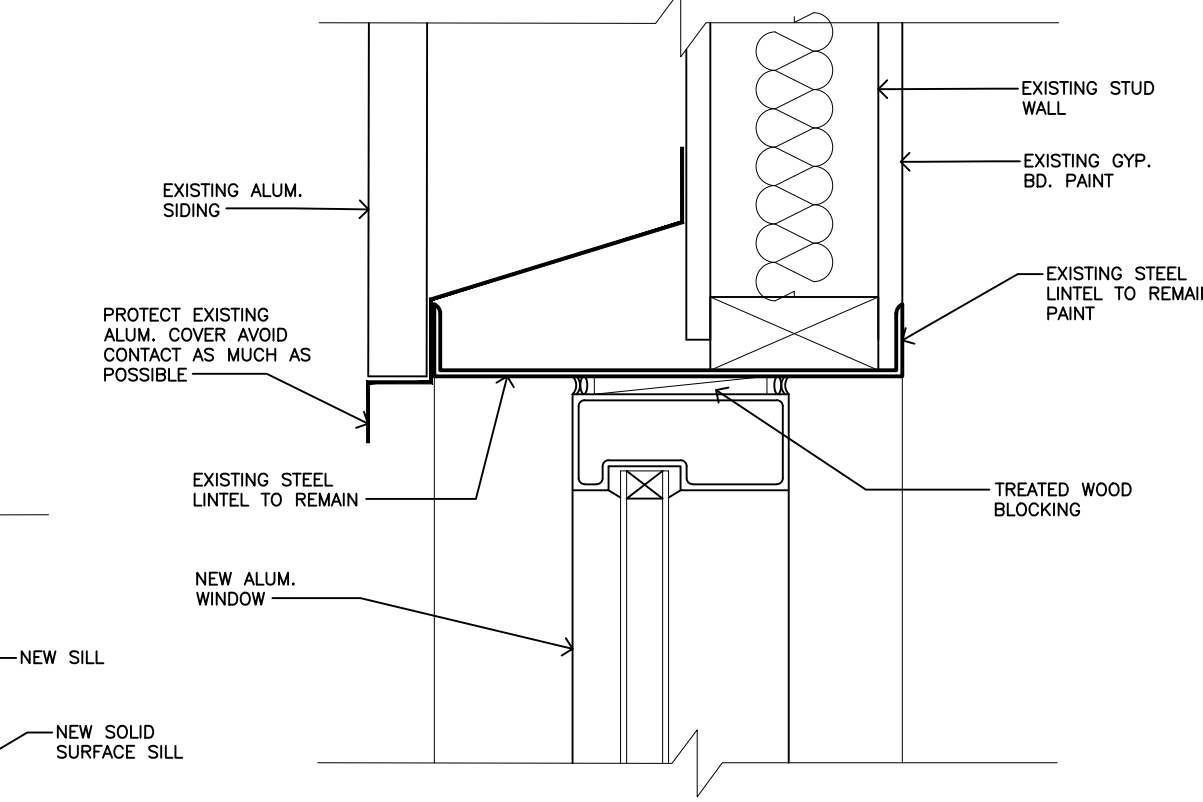
7 SECTION AT WINDOW SILL
SCALE: 3" = 1'-0"



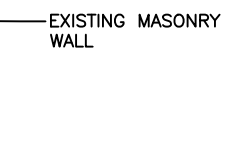
8 SECTION AT WINDOW HEADER
SCALE: 3" = 1'-0"



9 SECTION AT WINDOW SILL
SCALE: 3" = 1'-0"



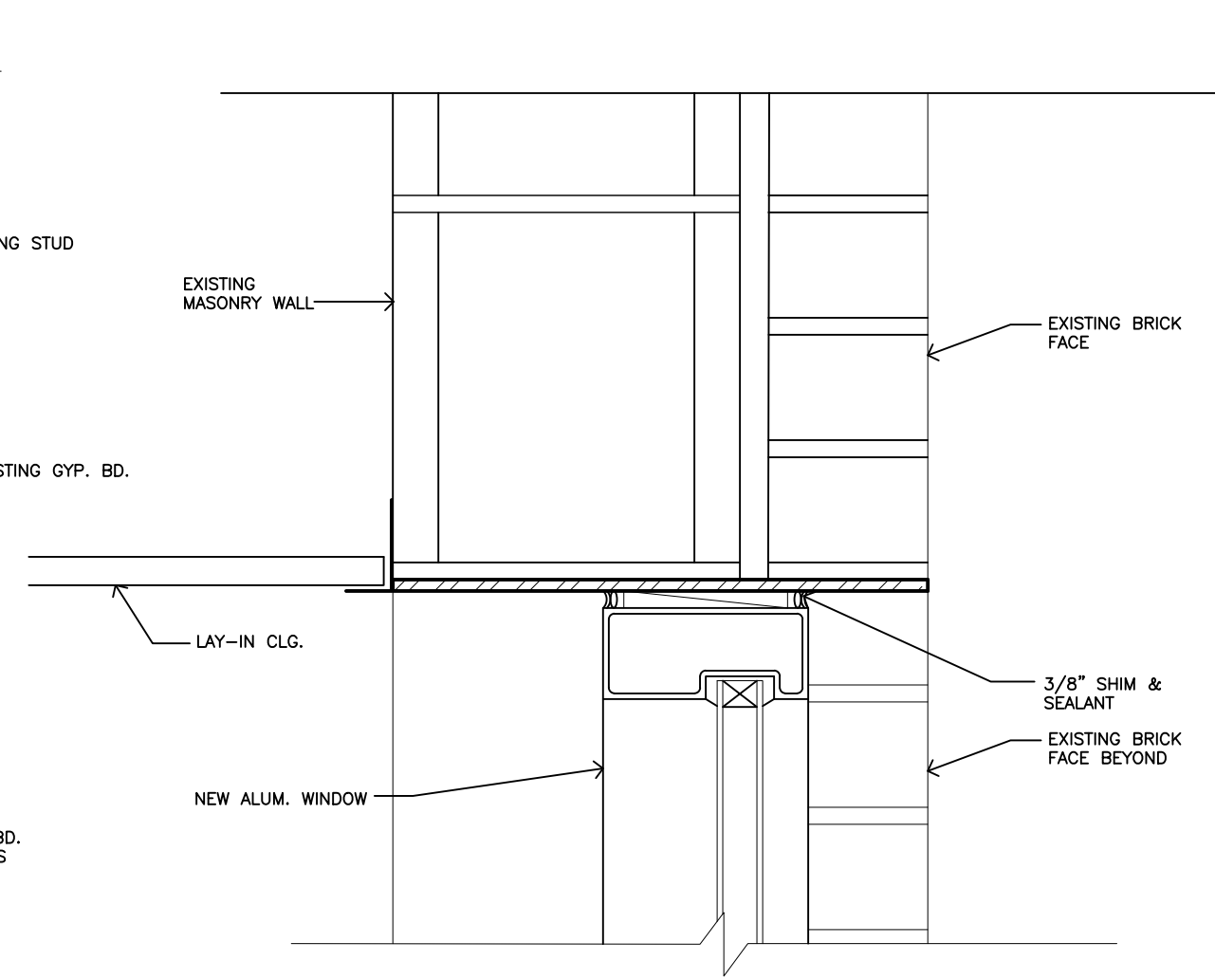
10 SECTION AT WINDOW HEADER
SCALE: 3" = 1'-0"



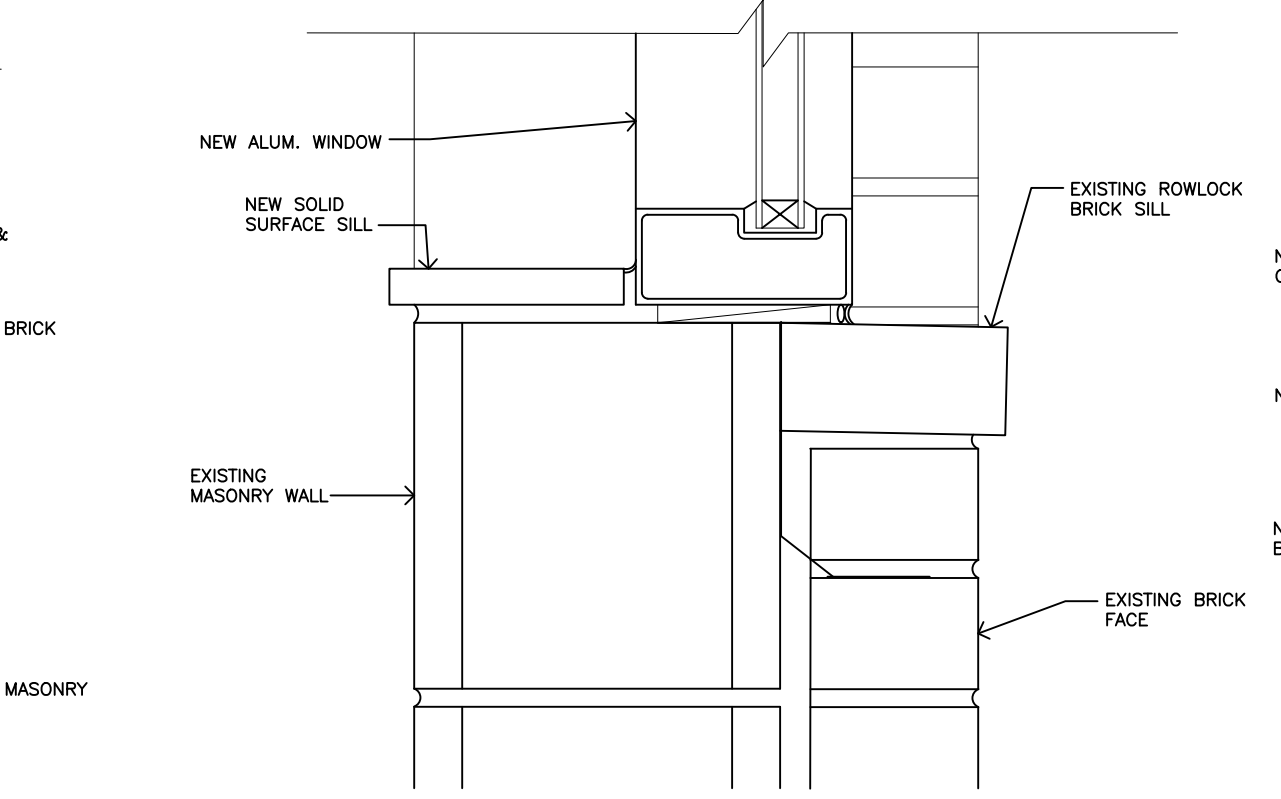
11 SECTION AT WINDOW SILL
SCALE: 3" = 1'-0"



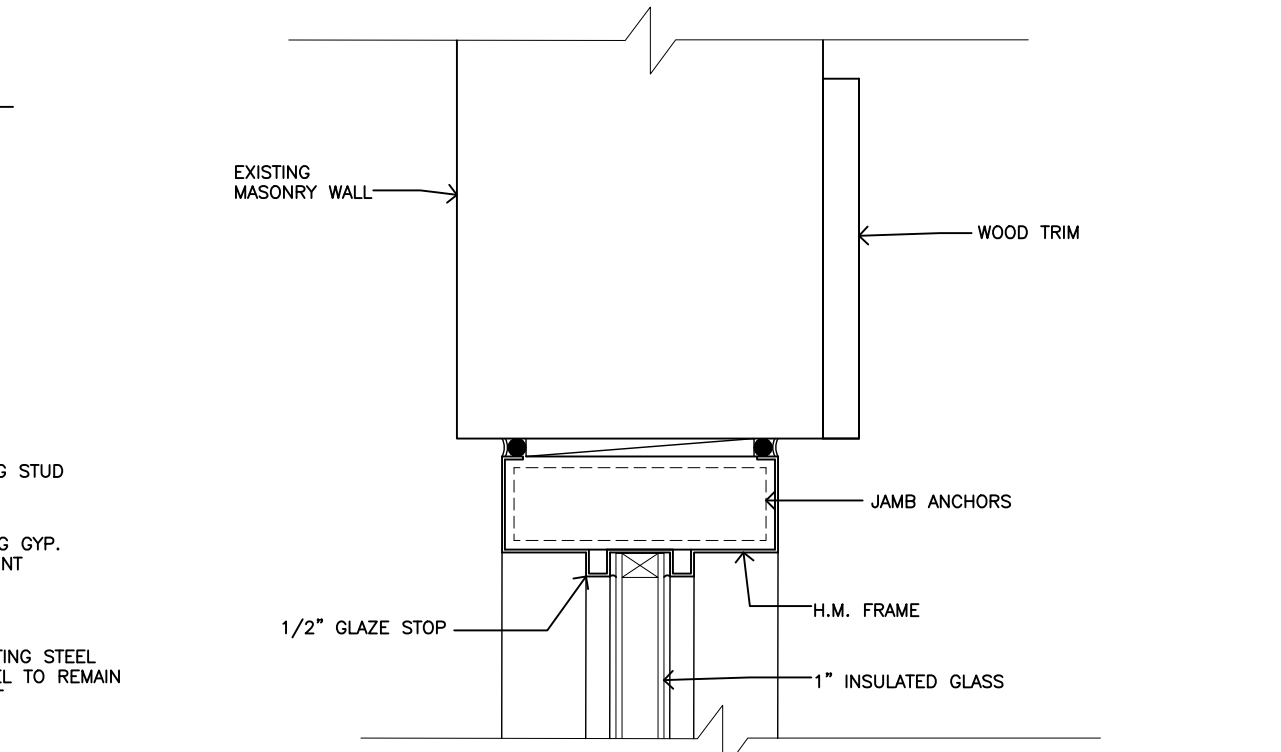
12 SECTION AT CAFE WINDOW HEAD
SCALE: 3" = 1'-0"



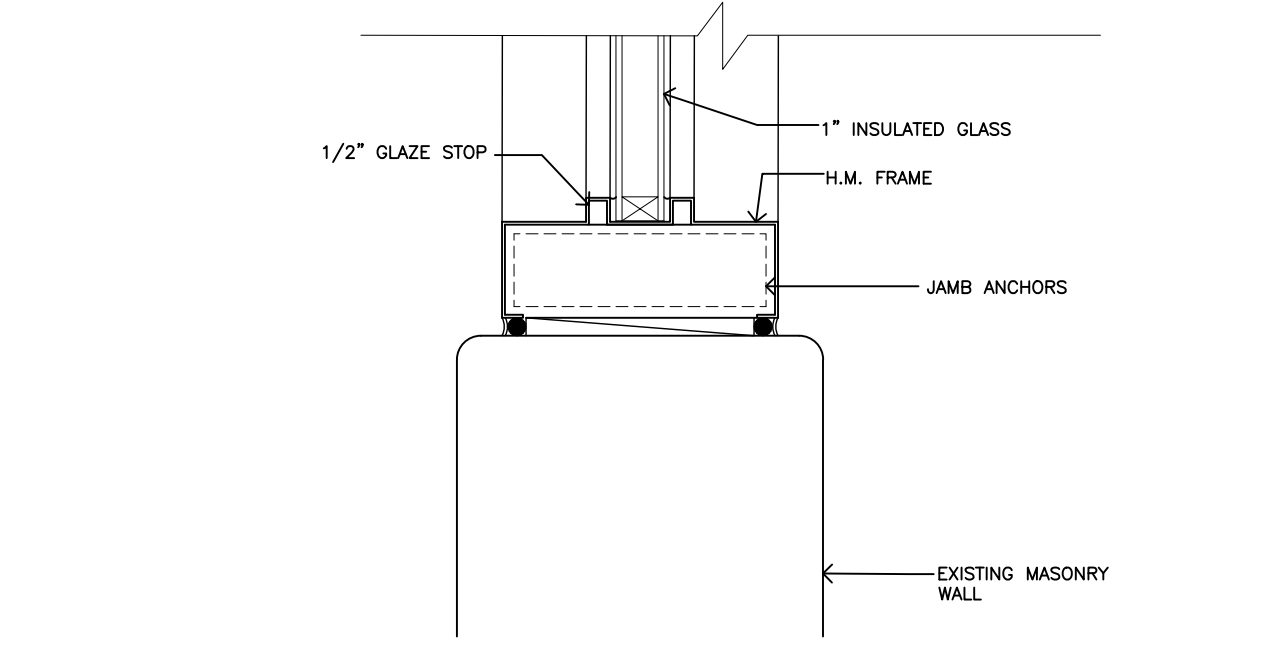
13 SECTION AT CAFE WINDOW SILL
SCALE: 3" = 1'-0"



14 SECTION AT WINDOW SILL
SCALE: 3" = 1'-0"



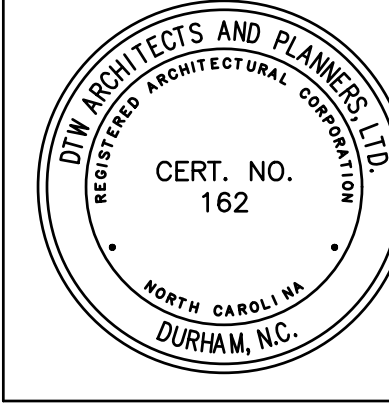
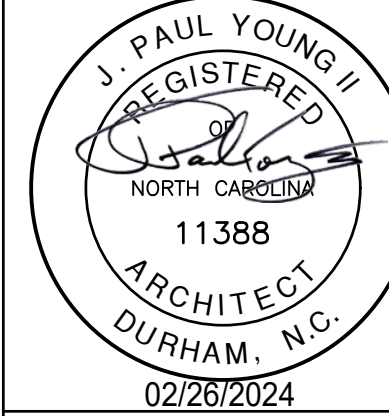
15 SECTION AT EGRESS WINDOW SILL
SCALE: 3" = 1'-0"



16 SECTION AT CAFE WINDOW HEAD
SCALE: 3" = 1'-0"

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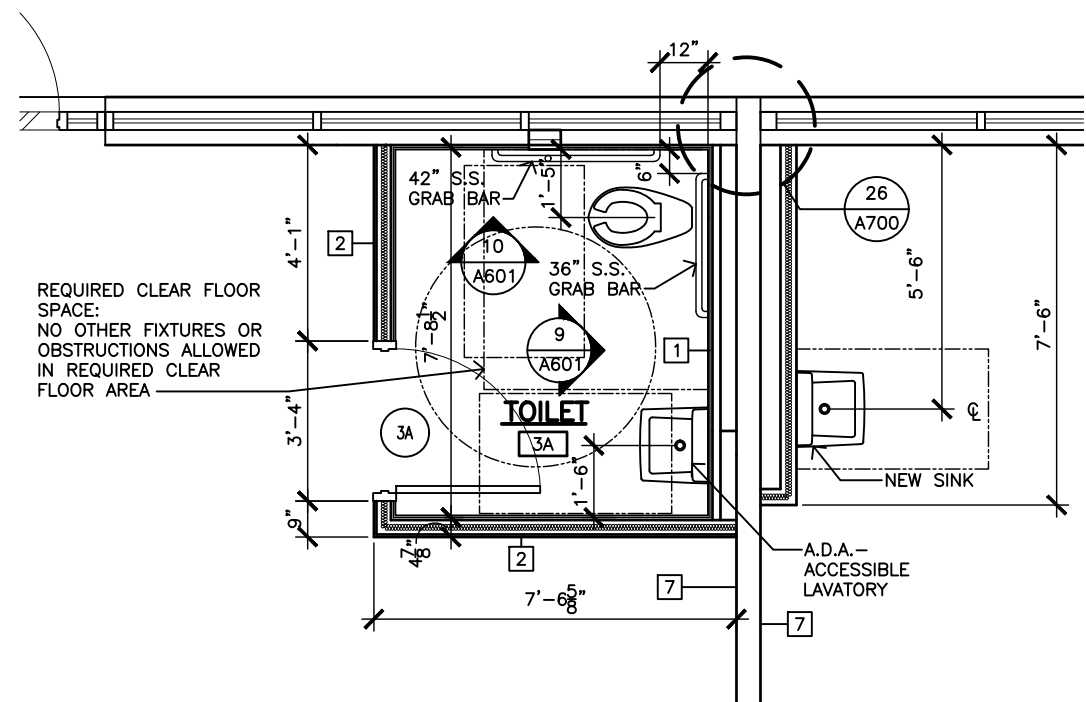
SECTIONS

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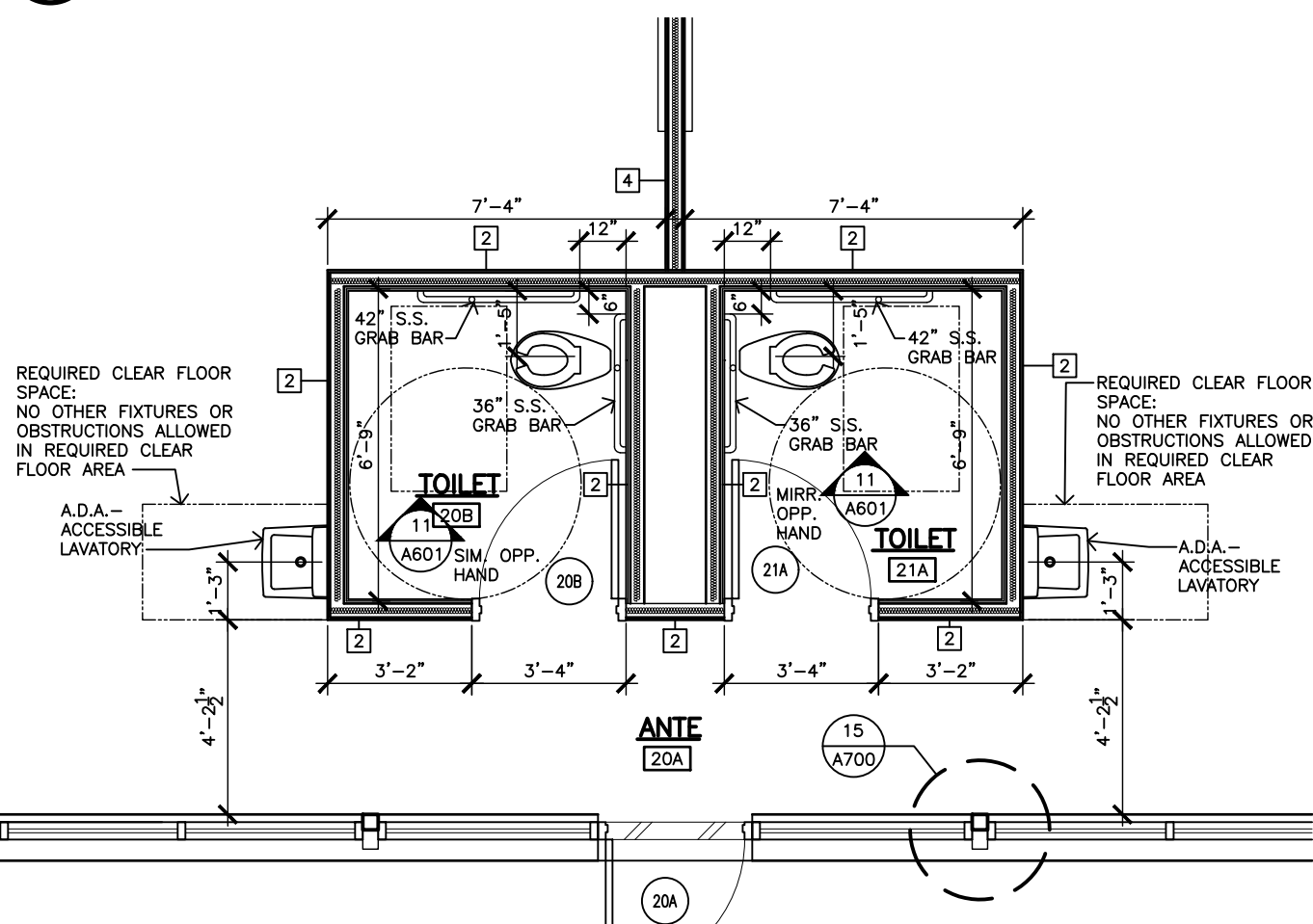
Revision		
ID	Date	Description

PROJECT # NC27X007
REVIEWED BY J. Young
DESIGNED BY J. Young
DRAWN BY P. Martin
DRAWING DATE 02/26/2024
SHEET NUMBER

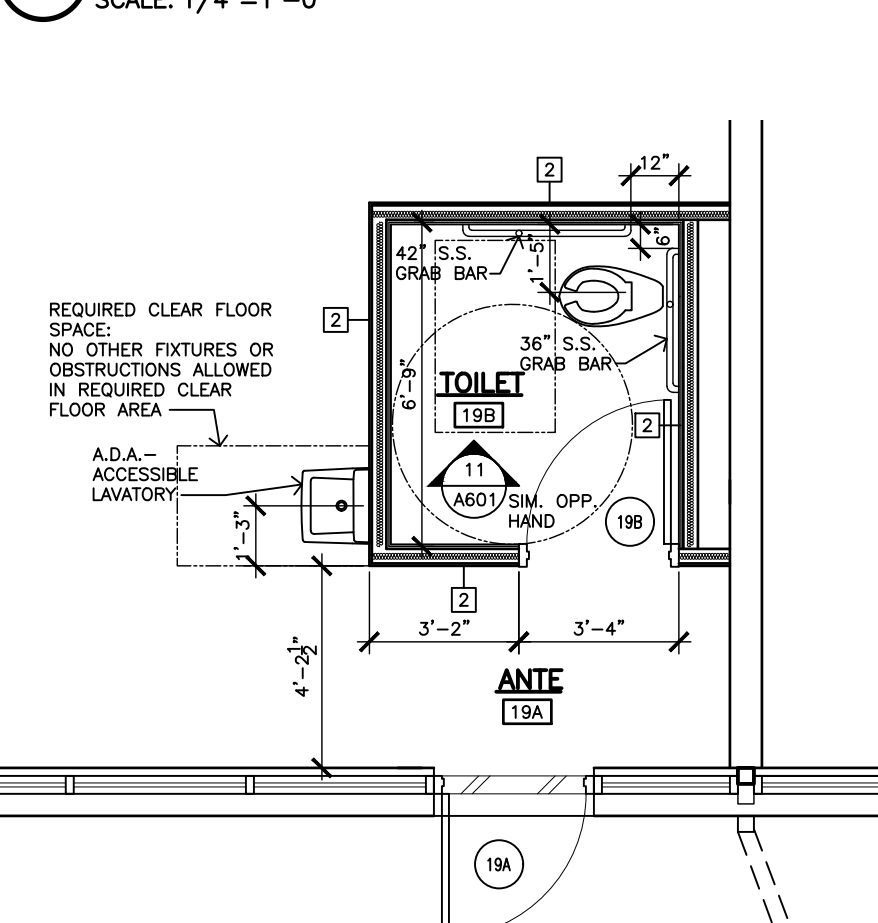
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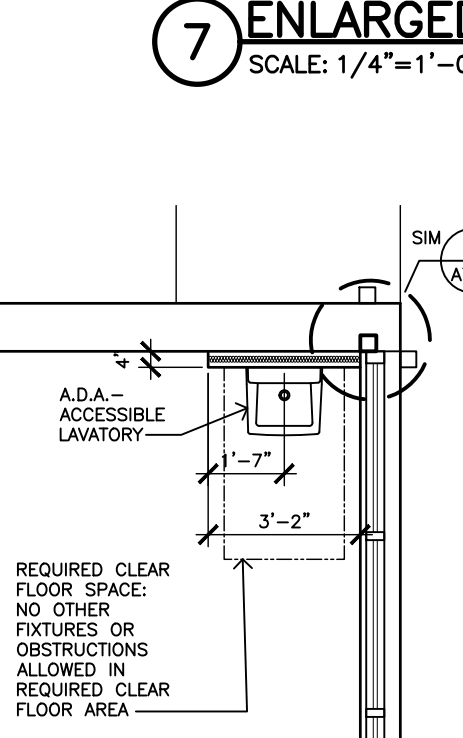
1 ENLARGED TOILET
SCALE: 1/4"=1'-0"



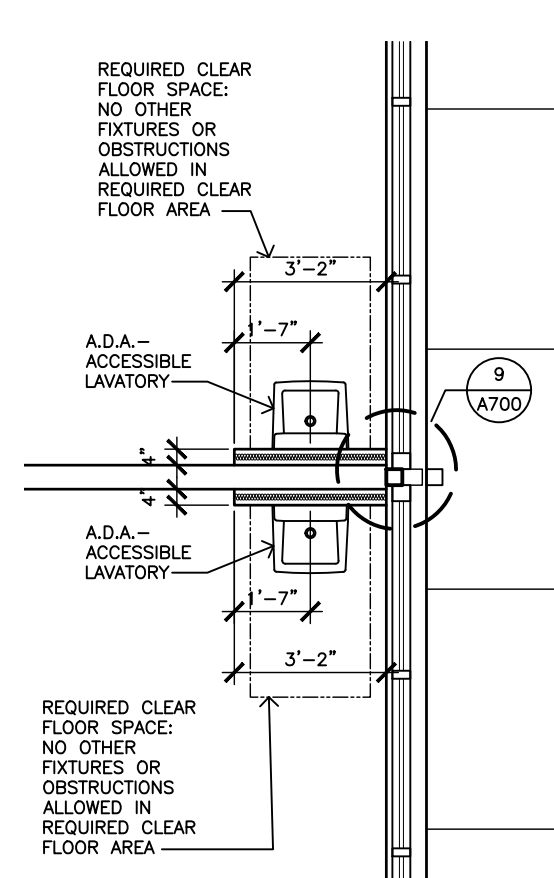
6 ENLARGED TOILET
SCALE: 1/4"=1'-0"



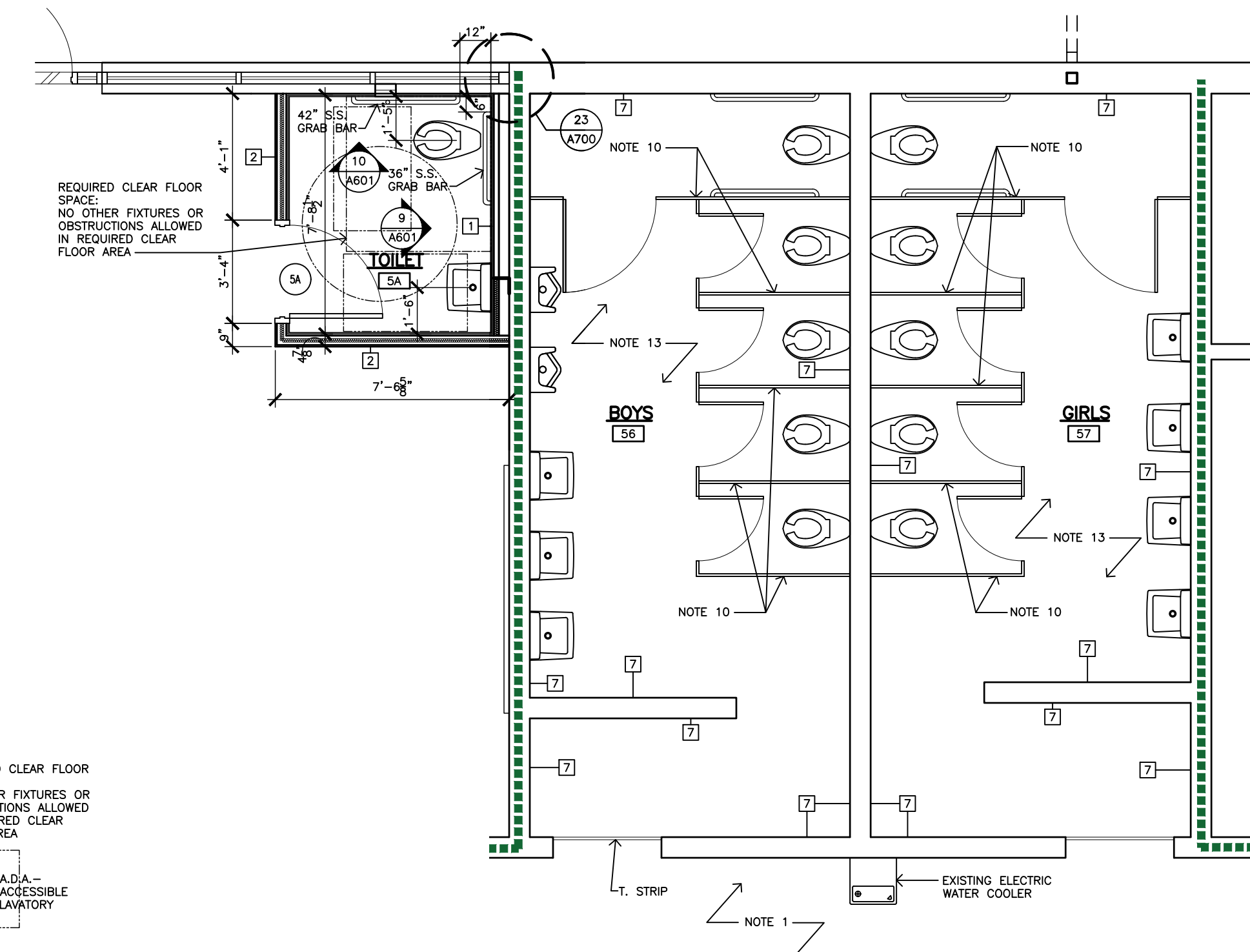
7 ENLARGED TOILET
SCALE: 1/4"=1'-0"



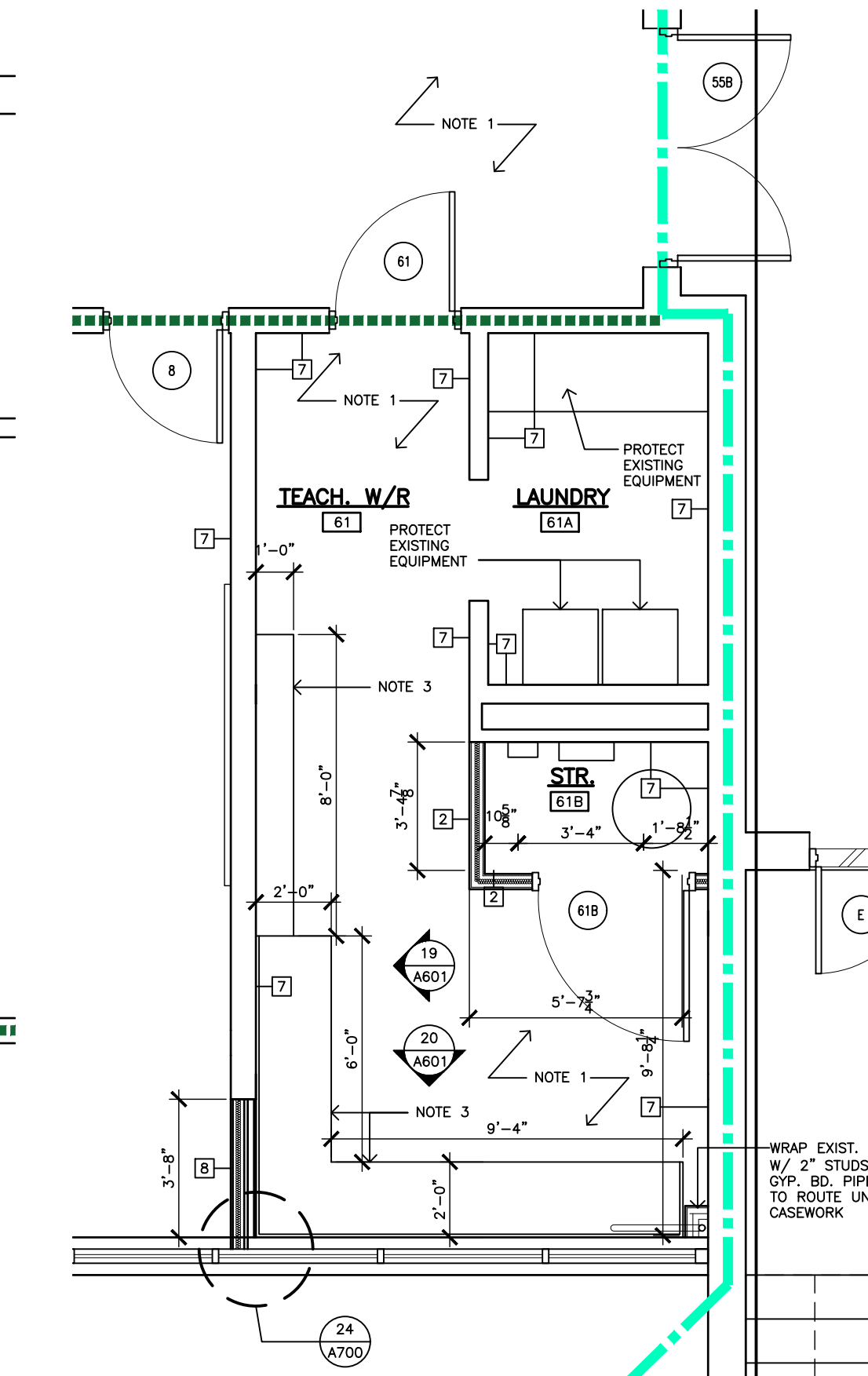
10 ENLARGED PLAN
SCALE: 1/4"=1'-0"



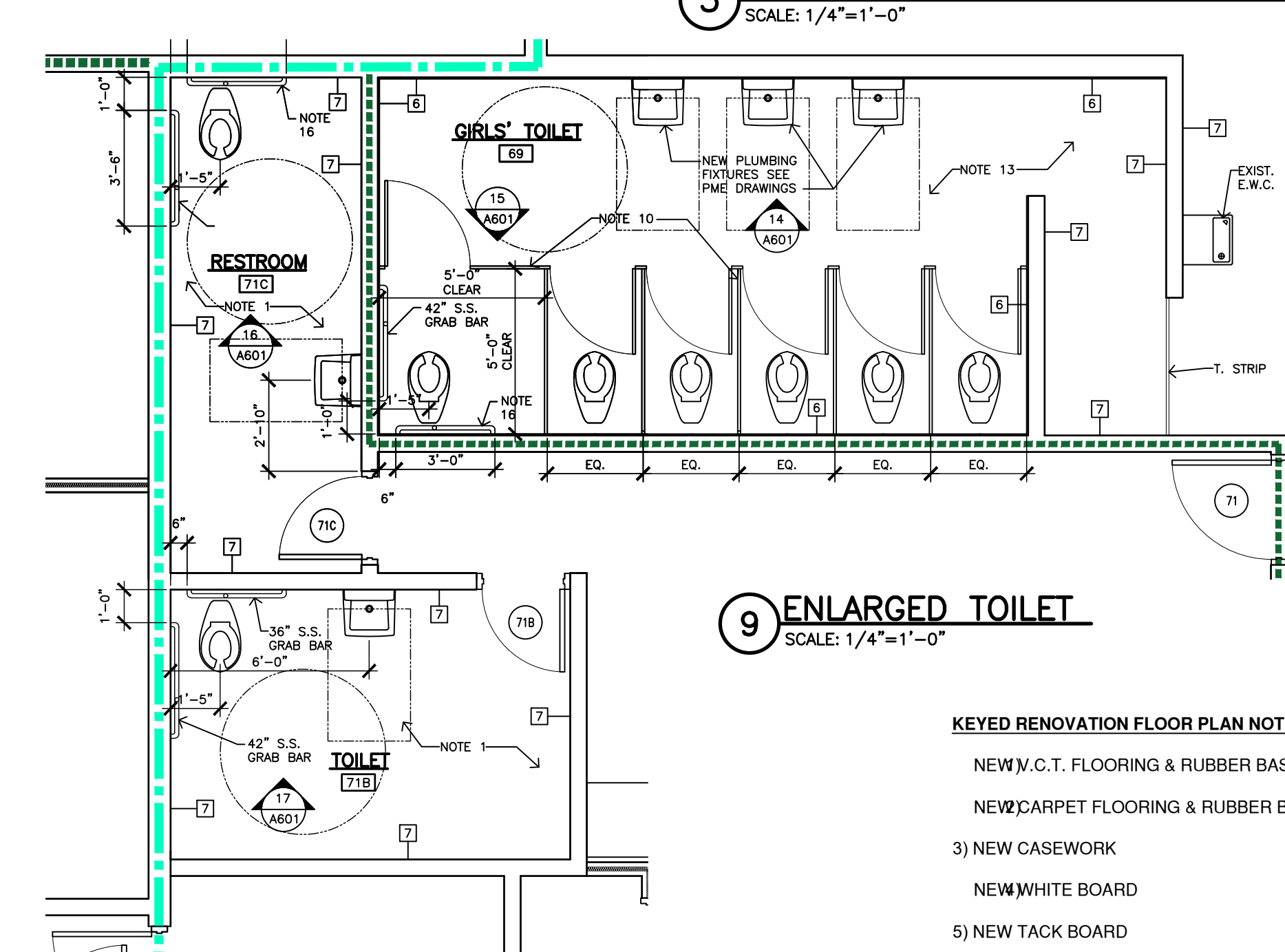
11 ENLARGED PLAN
SCALE: 1/4"=1'-0"



2 ENLARGED TOILET
SCALE: 1/4"=1'-0"



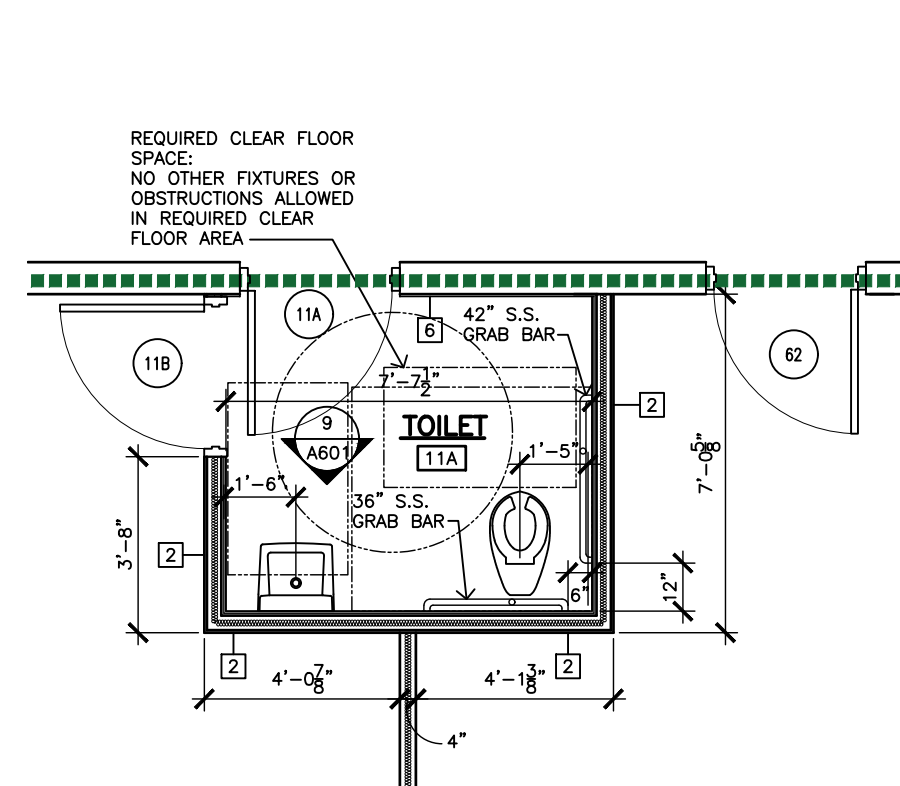
3 ENLARGED TEACHER WORK ROOM
SCALE: 1/4"=1'-0"



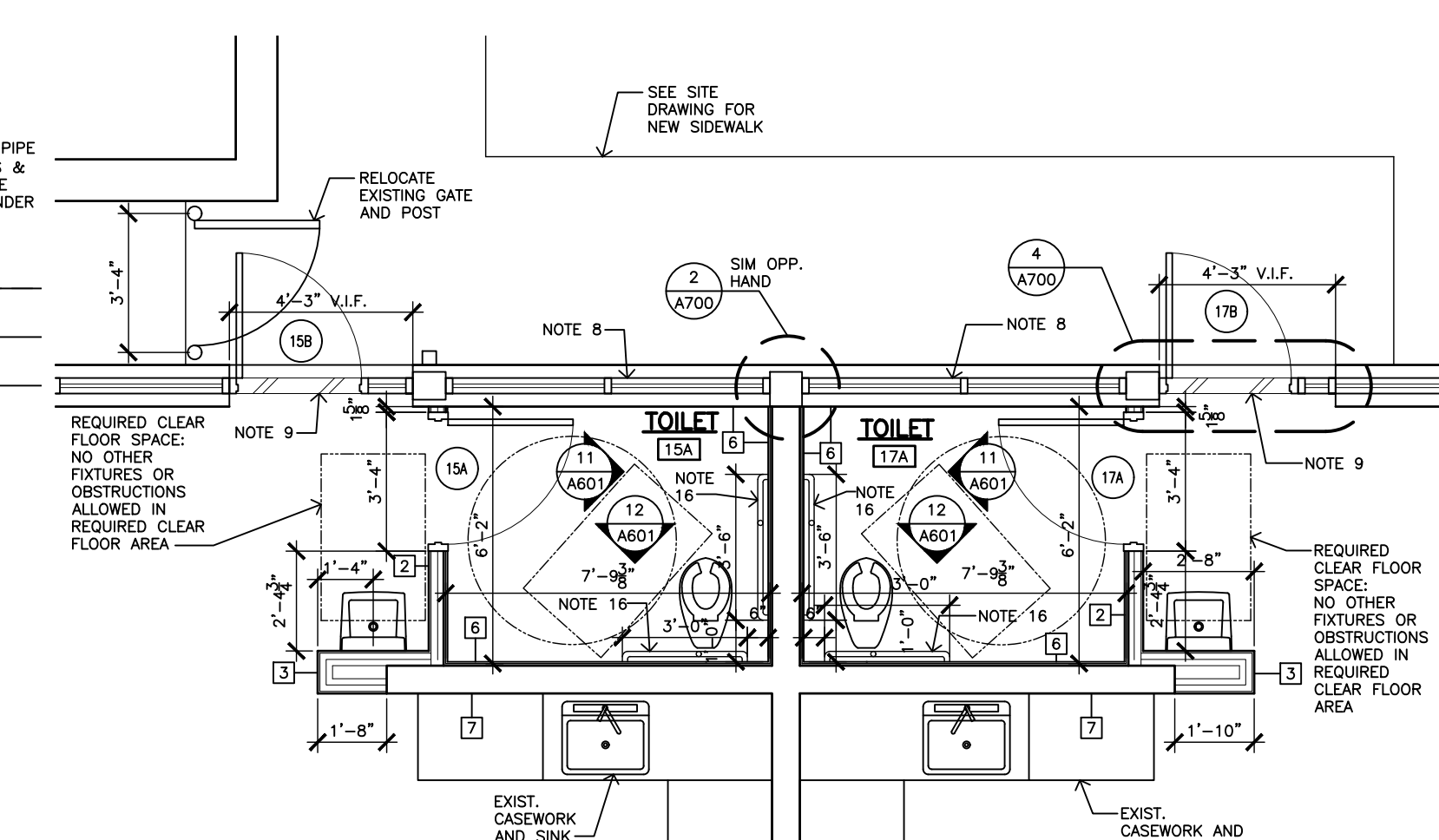
9 ENLARGED TOILET
SCALE: 1/4"=1'-0"

- KEYED RENOVATION FLOOR PLAN NOTES:**
- NEW V.C.T. FLOORING & RUBBER BASE
 - NEW CARPET FLOORING & RUBBER BASE
 - NEW CASEWORK
 - NEW WHITE BOARD
 - NEW TACK BOARD
 - PAINT EXISTING WOOD CASEWORK
 - NEW DOOR & FRAME
 - NEW EXTERIOR GLAZING & ALUM. FRAME
 - NEW ALUMINUM THRESHOLD
 - NEW TOILET PARTITIONS
 - NEW MIRROR
 - NEW DOOR
 - NEW EPOXY FLOORING
 - OWNER TO REINSTALL SMART BOARD
 - CLEAN, STRIP & REFINISH EXISTING WOOD HANDRAIL
 - NEW S.S. GRAB BAR, SEE SPEC.

- RENOVATION LEGEND**
- EXISTING WALL
 - NEW METAL STUD & GYP. BD. WALL
 - NEW C.M.U. WALL



4 ENLARGED TOILET
SCALE: 1/4"=1'-0"



5 ENLARGED TOILET
SCALE: 1/4"=1'-0"

- GENERAL RENOVATION NOTES:**
- GENERAL CONTRACTOR SHALL PROTECT ALL PIPING, WIRING, DUCTING, SUPPORTS, EQUIPMENT WALLS AND STRUCTURE NOT ASSOCIATED WITH CONSTRUCTION. ANY ITEMS DAMAGED DURING CONSTRUCTION THAT ARE NOT A PART OF THE PROJECT SHALL BE REPAIRED AT NO COST TO THE OWNER.
 - GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES BEFORE STARTING CONSTRUCTION.
 - GENERAL CONTRACTOR SHALL COORDINATE ALL PLUMBING, MECHANICAL AND ELECTRICAL WORK WITH ARCHITECTURAL WORK BEFORE STARTING CONSTRUCTION.
 - ALL PATCHING OF FLOORS, WALLS, AND CEILINGS AFTER DEMOTION OF EXISTING PLUMBING, MECHANICAL AND ELECTRICAL WORK SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
 - ALL SEALING OF RATED PENETRATIONS FOR NEW PLUMBING, MECHANICAL AND ELECTRICAL WORK SHALL BE BY THE SUBCONTRACTOR RESPONSIBLE FOR THE PENETRATION. GENERAL CONTRACTOR SHALL VERIFY PATCHING METHOD BEFORE SUBCONTRACTOR PROCEEDS.
 - ALL PATCHING OF FLOORS, WALLS, AND CEILINGS AFTER THE INSTALLATION OF NEW PLUMBING, MECHANICAL AND ELECTRICAL WORK SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
 - ALL SURFACES RECEIVING NEW FINISHES SHALL BE PREPARED AS REQUIRED BY FOLLOWING THE NEW FINISH MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION. THIS SHALL INCLUDE ANY GRINDING, SCRAPING OR OTHERWISE PREPARING THE SURFACE.
 - ALL SURFACES NOT RECEIVING A SPECIFIC FINISH WITHIN THE RENOVATED SPACES AS INDICATED ON THE FINISH SCHEDULE OR INTERIOR ELEVATIONS SHALL BE PAINTED. THIS INCLUDES ANY NEW OR EXISTING EXPOSED CONDUIT, DUCTWORK AND PIPING.
- WALL TYPES**
- NOTE: ALL NEW WALLS SHALL RUN TIGHT TO ROOF DECKING ABOVE, INCLUDING SHEATHING AND BATT. INSULATION, UNLESS OTHERWISE NOTED.
- 2" METAL STUDS, 16" O.C. WITH 5/8" GYP. BOARD ONE SIDE, PAINT
 - 3-5/8" METAL STUDS, 16" O.C. WITH 5/8" GYP. BOARD AND PAINT ONE SIDE, 5/8" CEMENT BOARD AND CERAMIC TILE OTHER SIDE, 4" SOUND BATT. INSULATION.
 - 3-5/8" METAL STUDS, 16" O.C. WITH 5/8" GYP. BOARD AND PAINT ONE SIDE, 4" SOUND BATT. INSULATION.
 - 3-5/8" METAL STUDS, 16" O.C. WITH 5/8" GYP. BOARD AND PAINT BOTH SIDES, 4" SOUND BATT. INSULATION.
 - 6" METAL STUDS, 16" O.C. WITH 5/8" GYP. BOARD AND PAINT BOTH SIDES, 6" SOUND BATT. INSULATION.
 - NEW CERAMIC TILE ON EXISTING C.M.U. WALL
 - PAINT EXISTING WALL, FULL HEIGHT.
 - INFILL EXISTING OPENING WITH METAL STUDS AND GYP. BOARD TO FLUSH WITH SURROUNDING WALL SURFACES.
- WALL RATING LEGEND**
- 2-HOUR RATED FIRE WALL
 - 1-HOUR RATED FIRE BARRIER

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REGISTERED ARCHITECT
NORTH CAROLINA
11388
DURHAM, N.C.
02/26/2024

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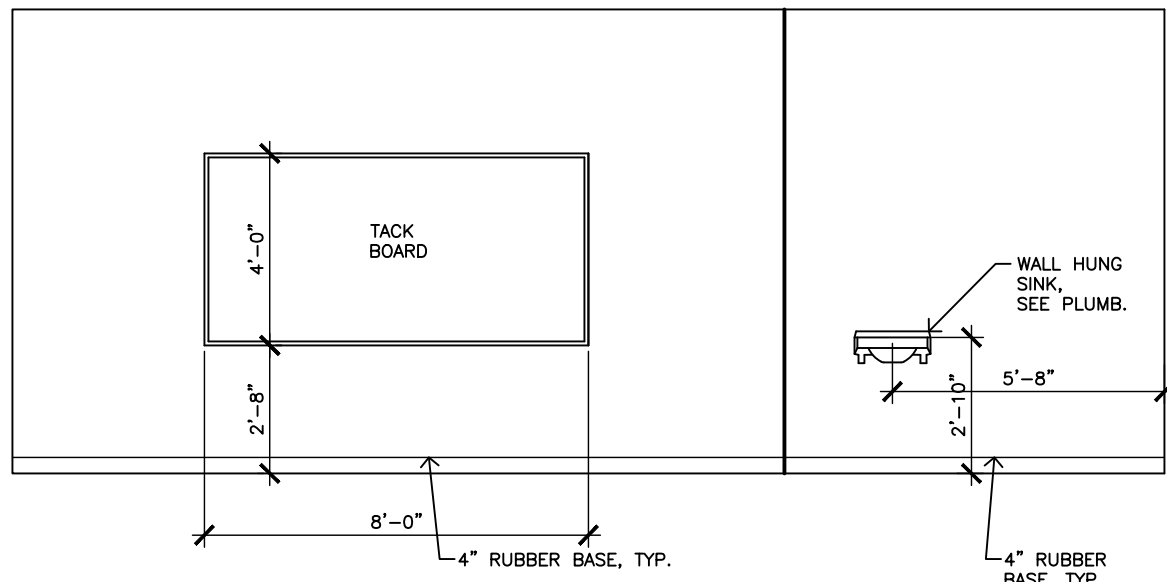
ENLARGED PLANS

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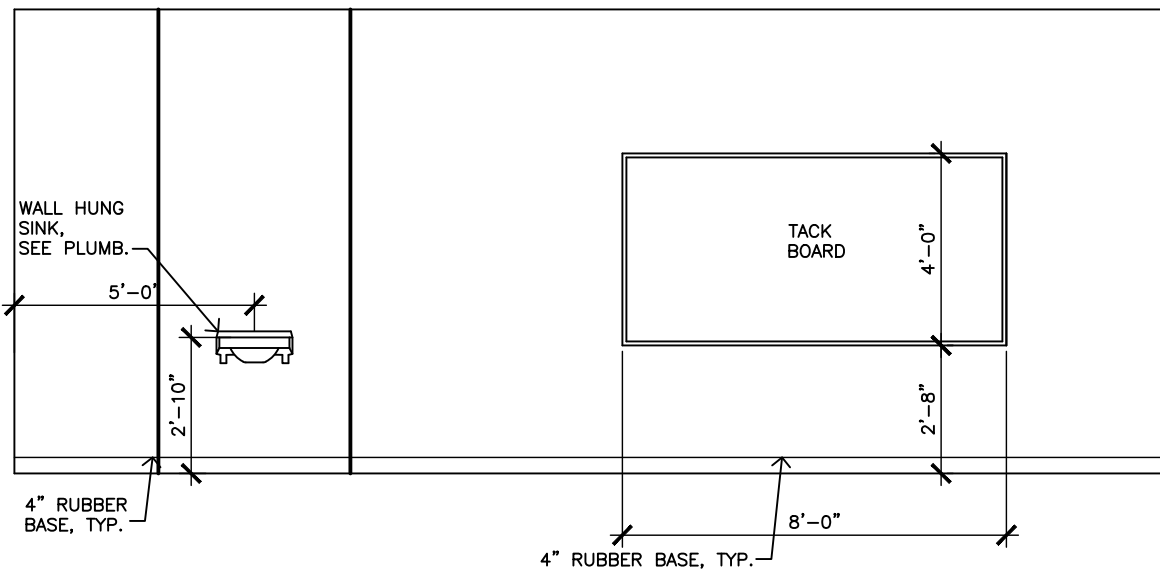
Revision		
ID	Date	Description

PROJECT # NC27X007
REVIEWED BY J. Young
DESIGNED BY J. Young
DRAWN BY P. Martin
DRAWING DATE 02/26/2024
SHEET NUMBER

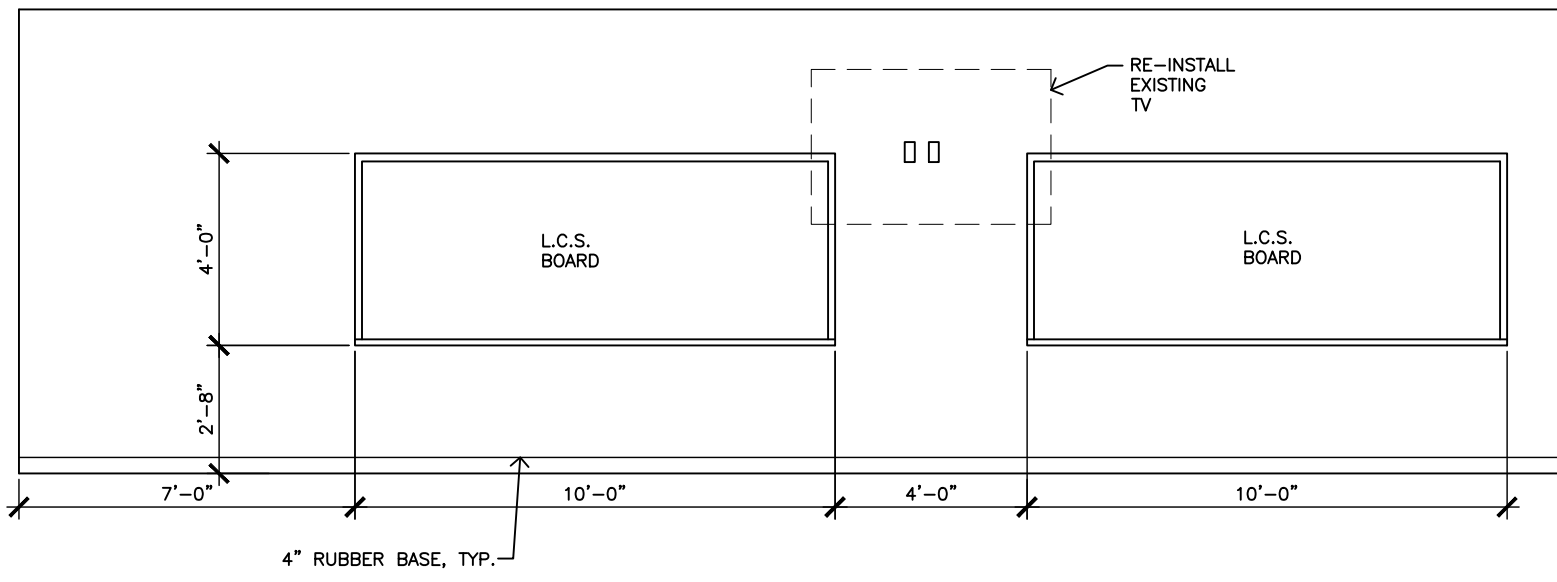
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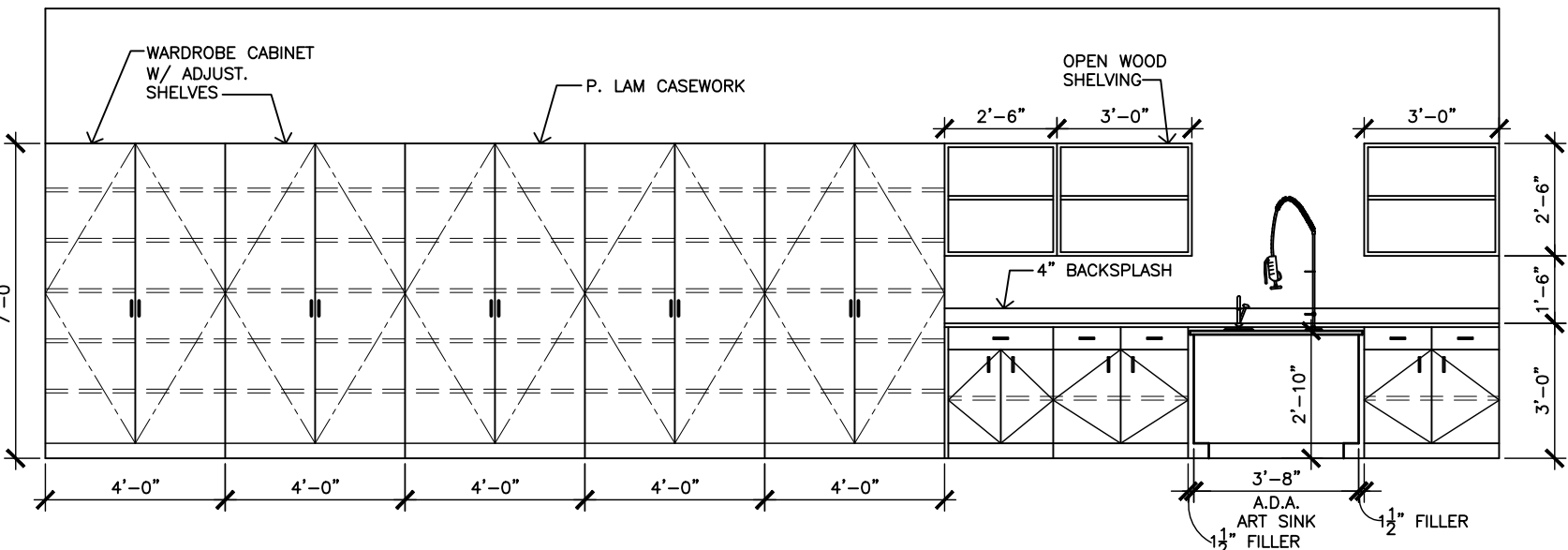
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SCALE: 1/4" = 1'-0"



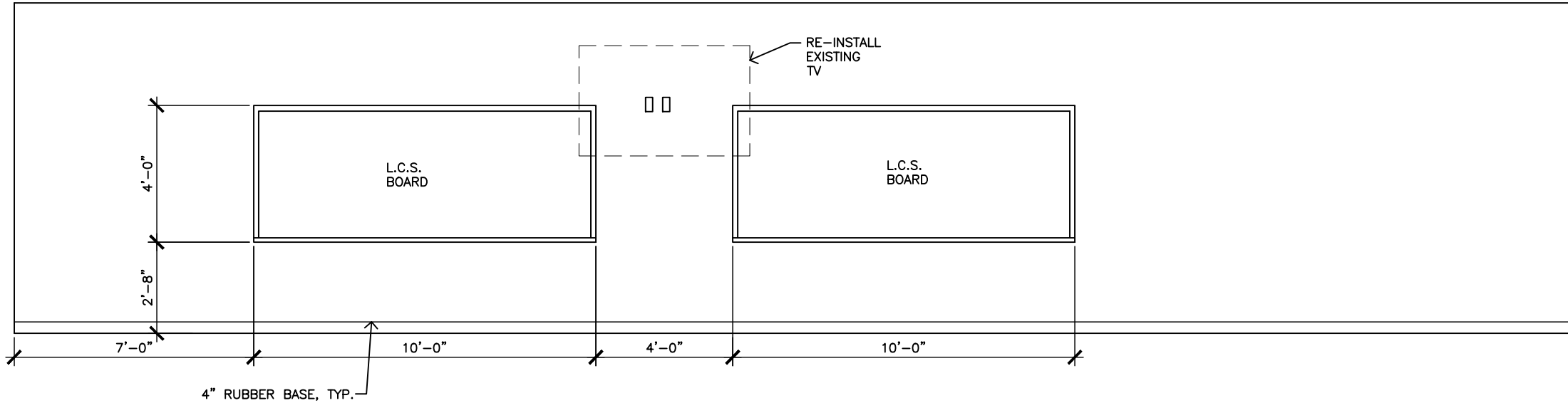
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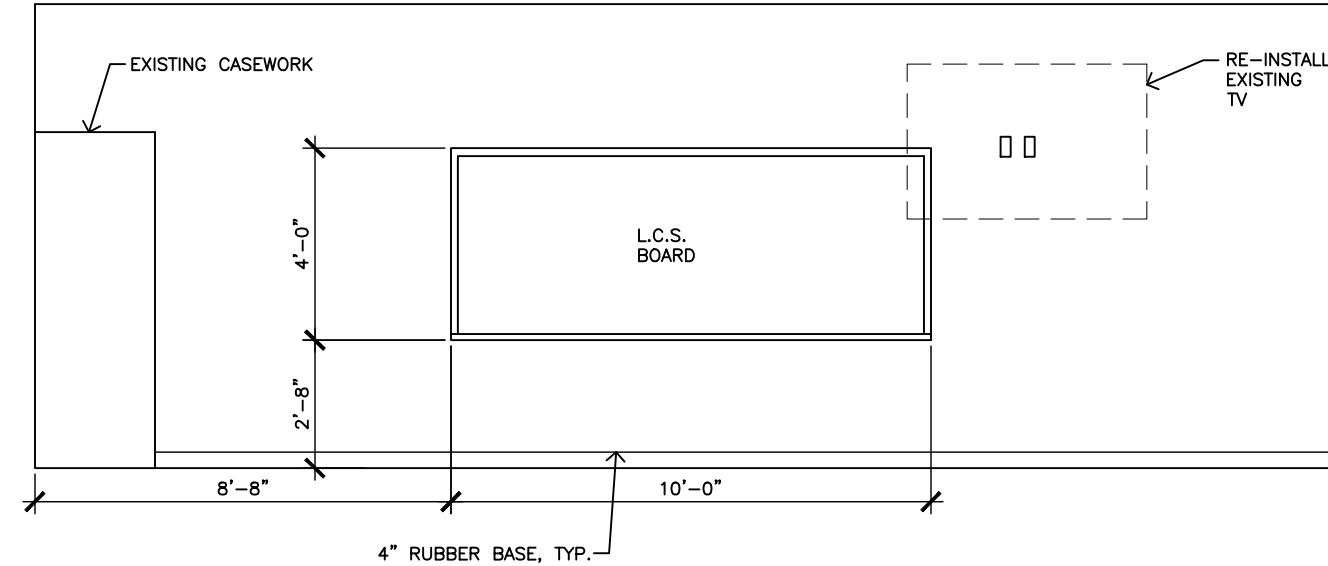
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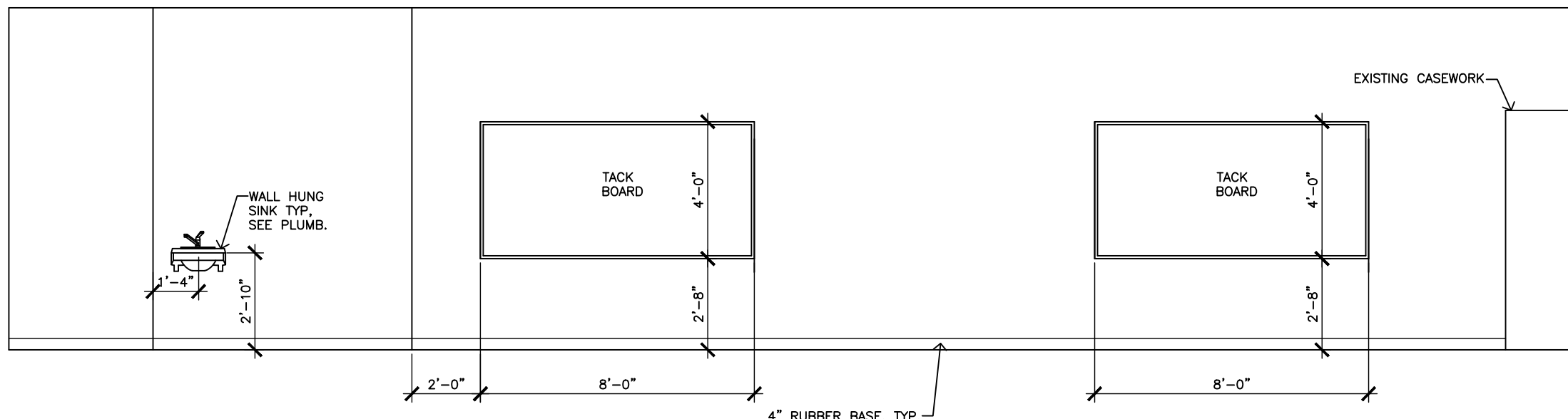
4 ELEVATION
SCALE: 1/4" = 1'-0"



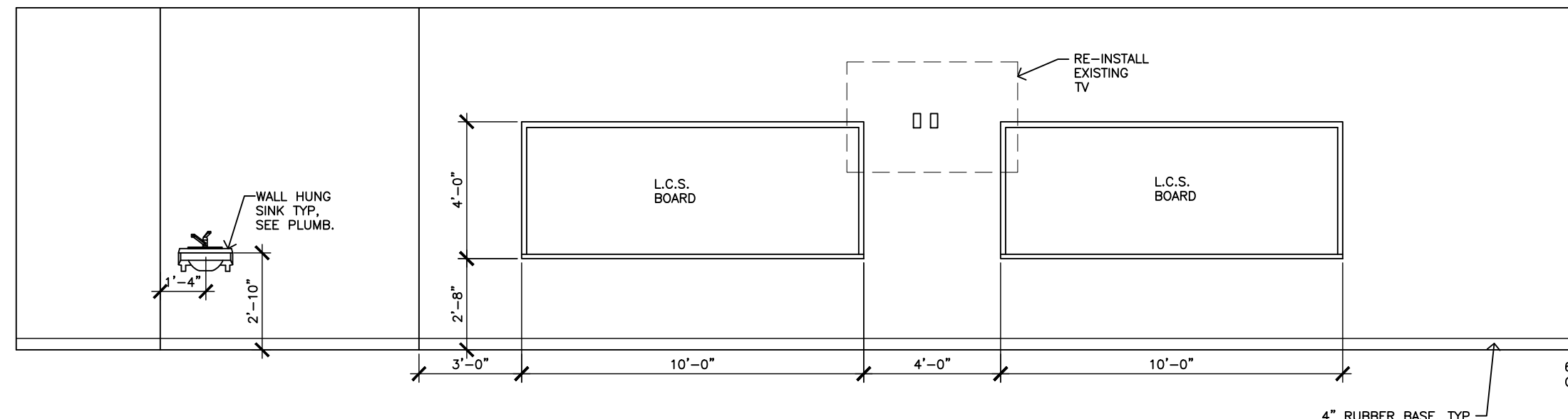
5 ELEVATION
SCALE: 1/4" = 1'-0"



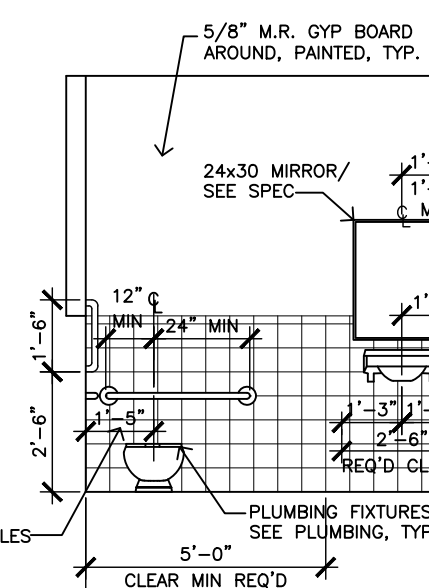
7 ELEVATION
SCALE: 1/4" = 1'-0"



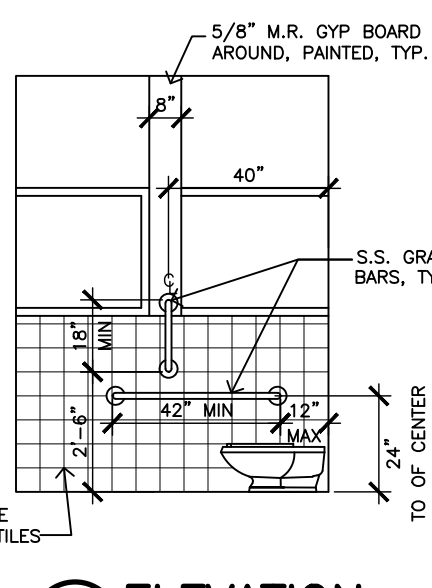
6 ELEVATION
SCALE: 1/4" = 1'-0"



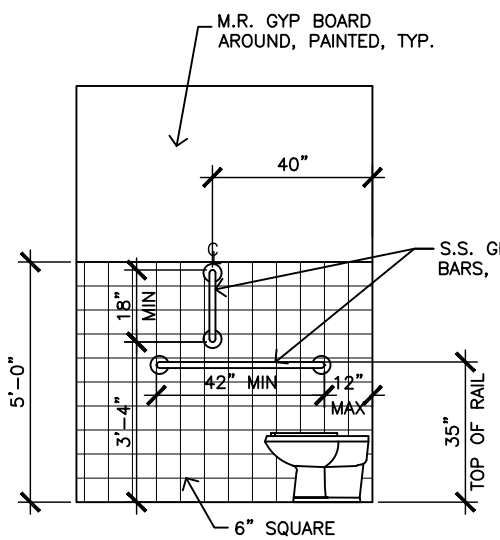
8 ELEVATION
SCALE: 1/4" = 1'-0"



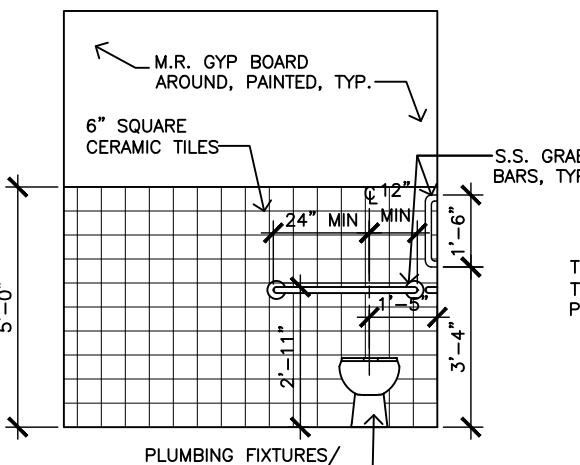
9 ELEVATION
SCALE: 1/4" = 1'-0"



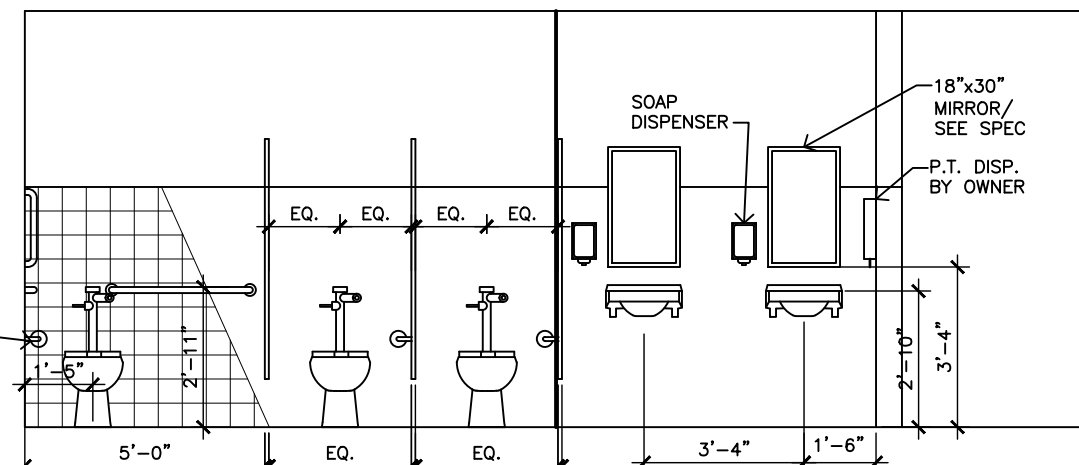
10 ELEVATION
SCALE: 1/4" = 1'-0"



11 ELEVATION
SCALE: 1/4" = 1'-0"

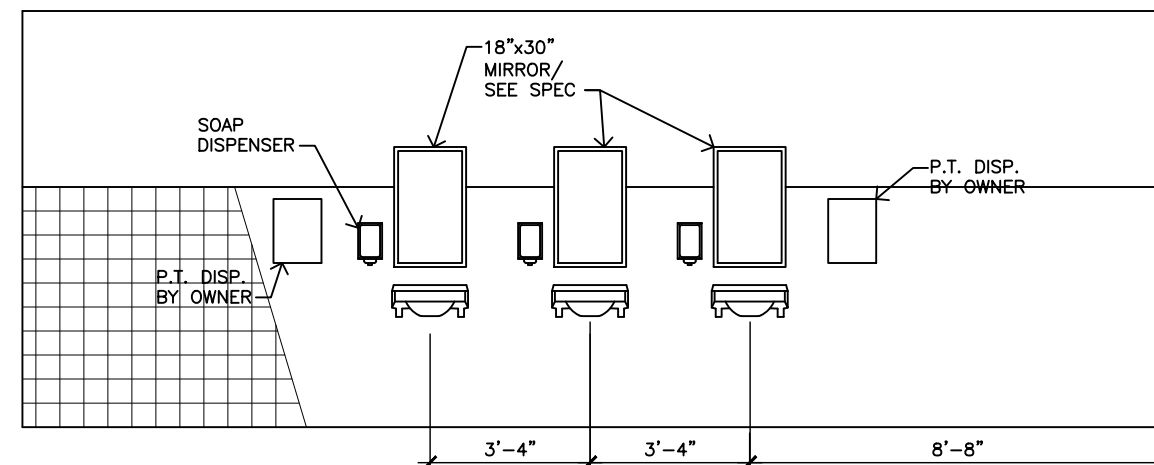


12 ELEVATION
SCALE: 1/4" = 1'-0"

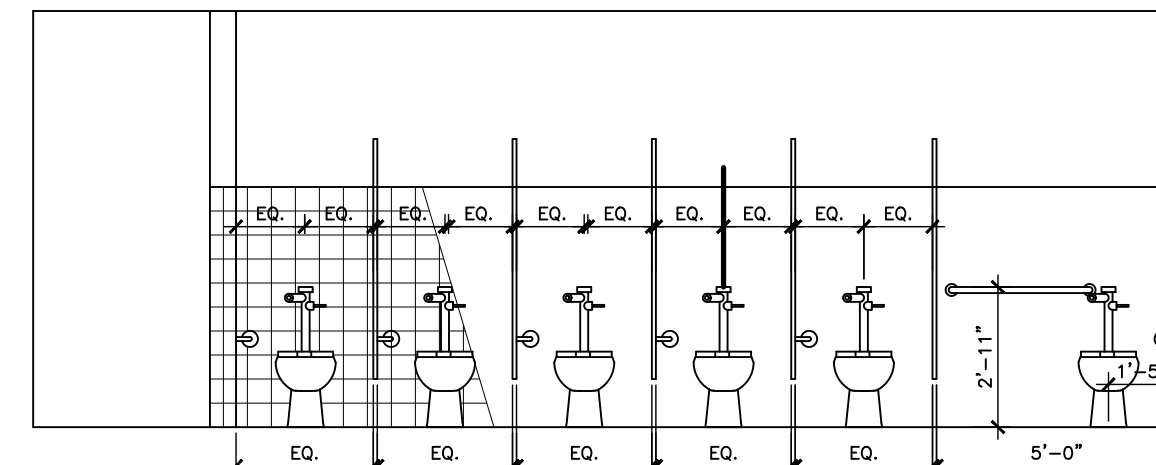


13 ELEVATION
SCALE: 1/4" = 1'-0"

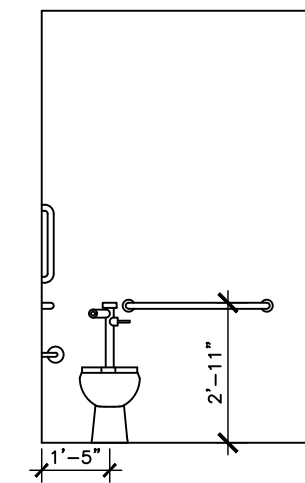
NOTE: T.P. & P.T. DISPENSERS TO BE INSTALLED BY C.C./T.P. DISP. TO BE MOUNTED 8" IN FRONT OF W.C. AS MEASURED TO C.L. OF DISP. OUTLET OF DISP. SHALL BE 15"-19" MAX A.F.F. AND 1 1/2" MIN BELOW GRAB BAR. P.T. DISP. OUTLET TO BE MOUNTED 42" A.F.F.



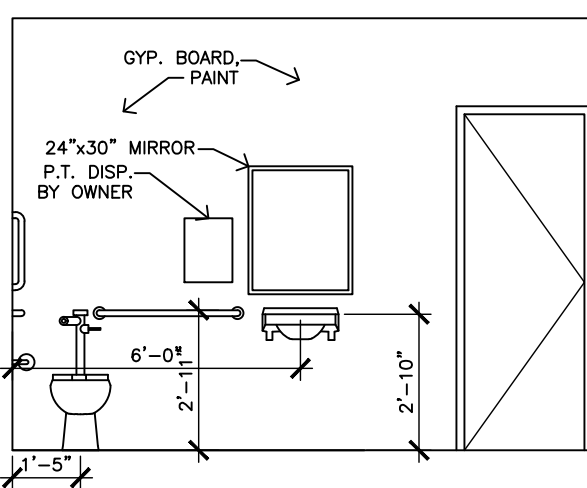
14 ELEVATION
SCALE: 1/4" = 1'-0"



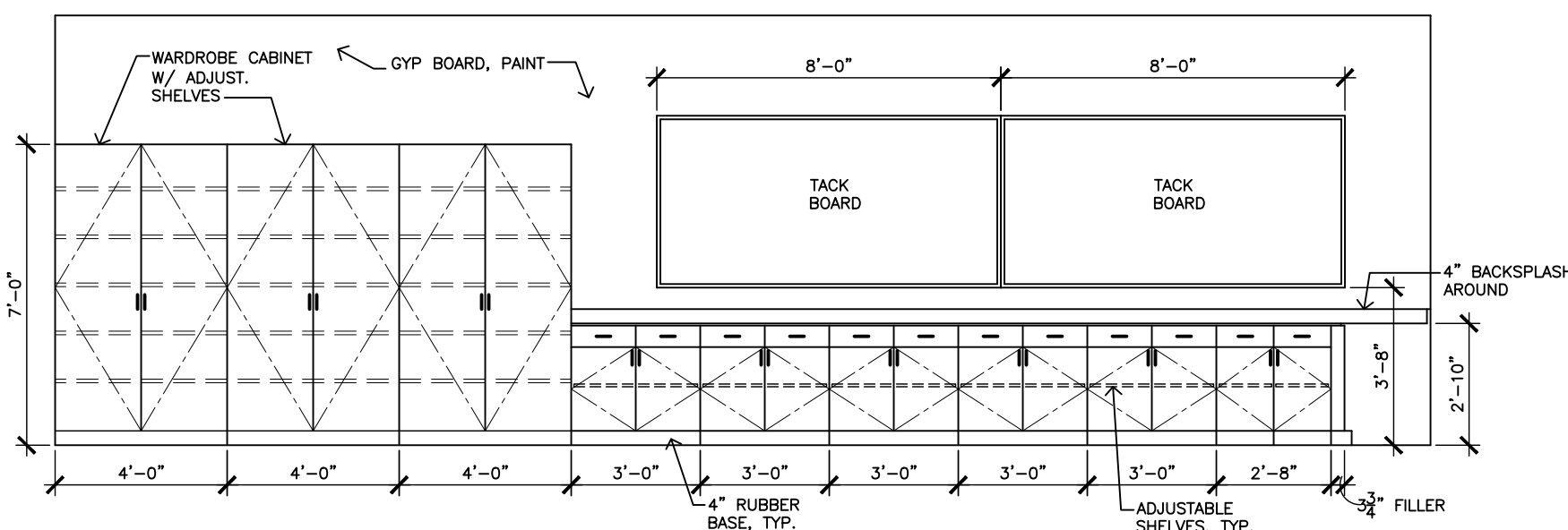
15 ELEVATION
SCALE: 1/4" = 1'-0"



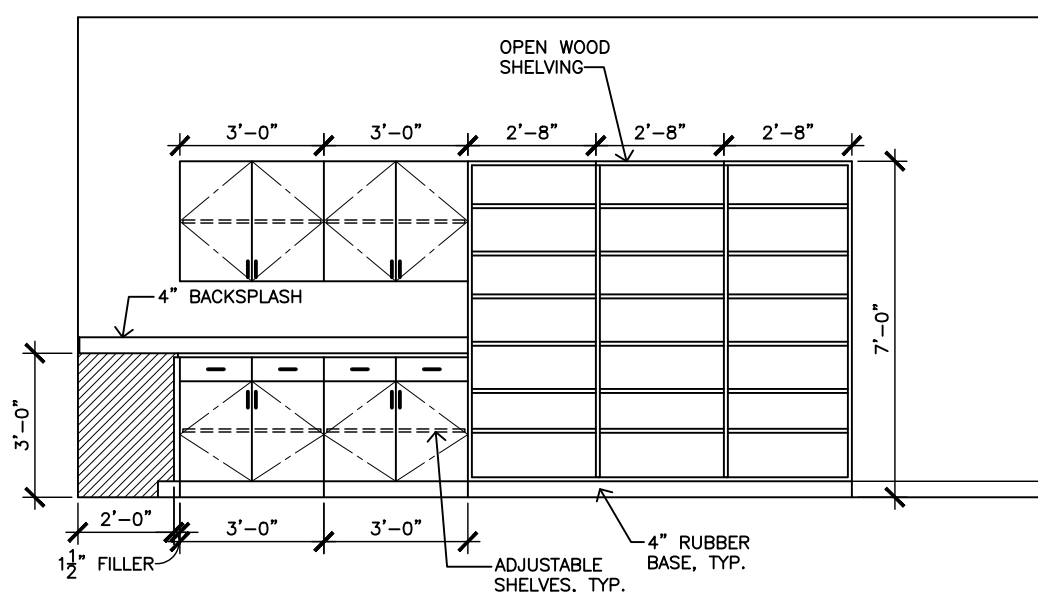
16 ELEVATION
SCALE: 1/4" = 1'-0"



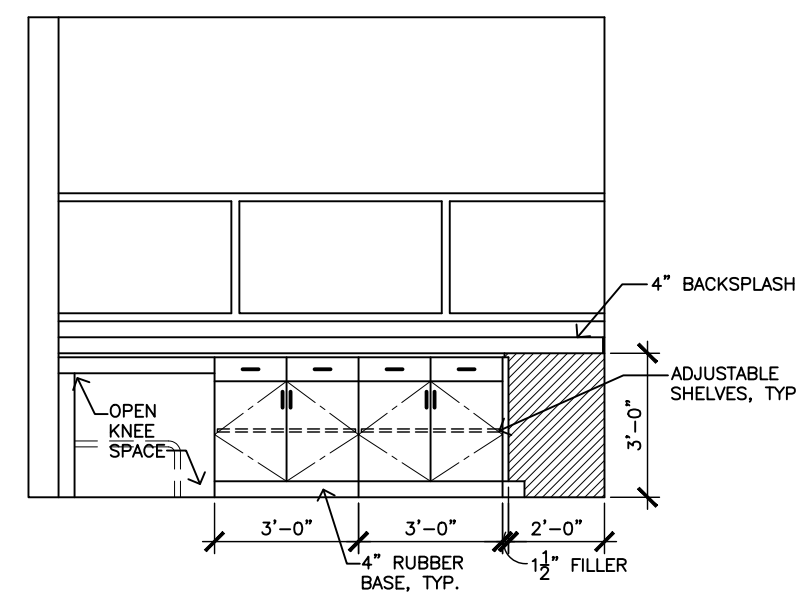
17 ELEVATION
SCALE: 1/4" = 1'-0"



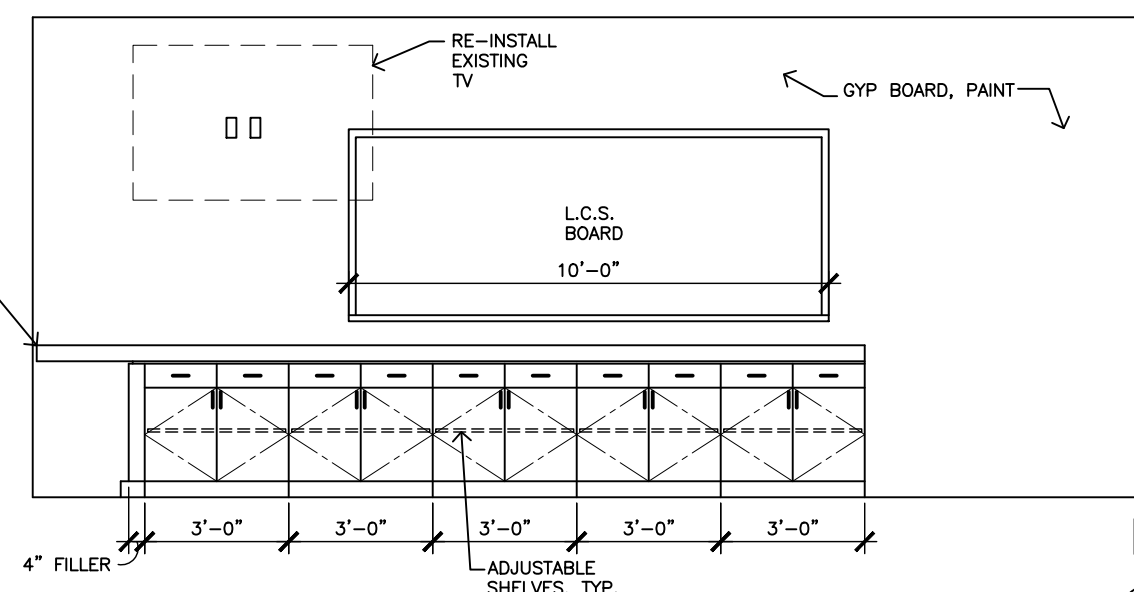
18 ELEVATION
SCALE: 1/4" = 1'-0"



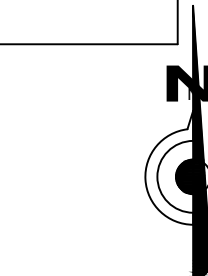
19 ELEVATION
SCALE: 1/4" = 1'-0"



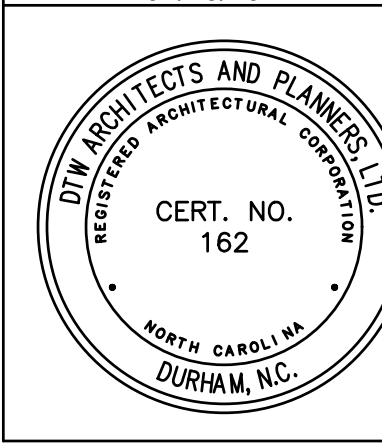
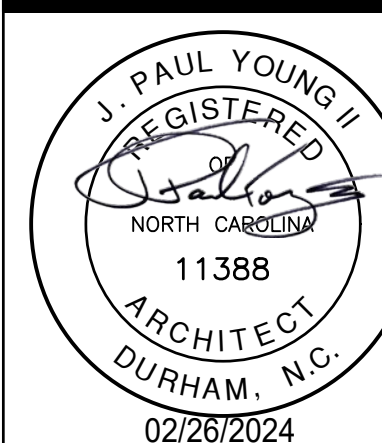
20 ELEVATION
SCALE: 1/4" = 1'-0"



21 ELEVATION
SCALE: 1/4" = 1'-0"



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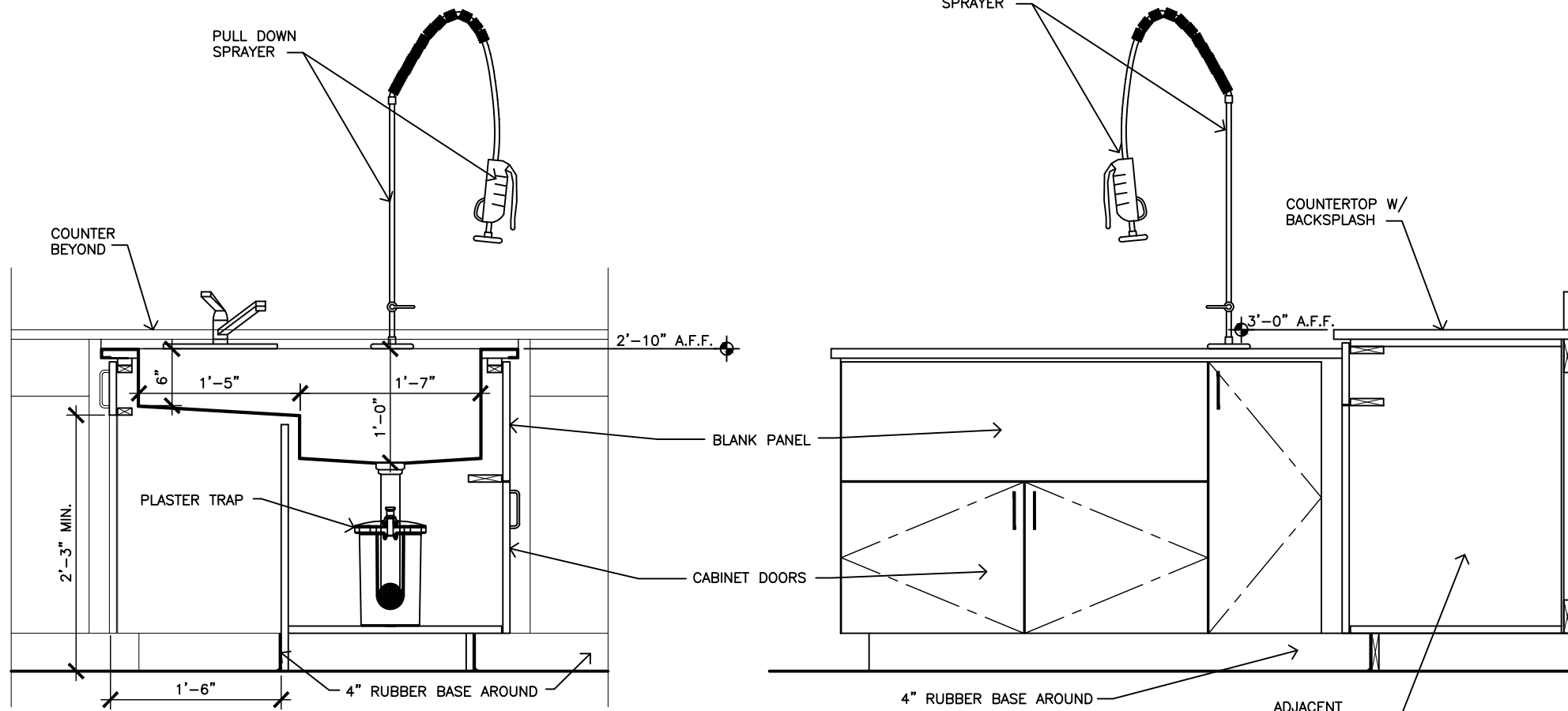
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INTERIOR ELEVATIONS

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Revision		
ID	Date	Description
PROJECT #	NC27X007	
REVIEWED BY	J. Young	
DESIGNED BY	J. Young	
DRAWN BY	P. Martin	
DRAWING DATE	02/26/2024	
SHEET NUMBER		

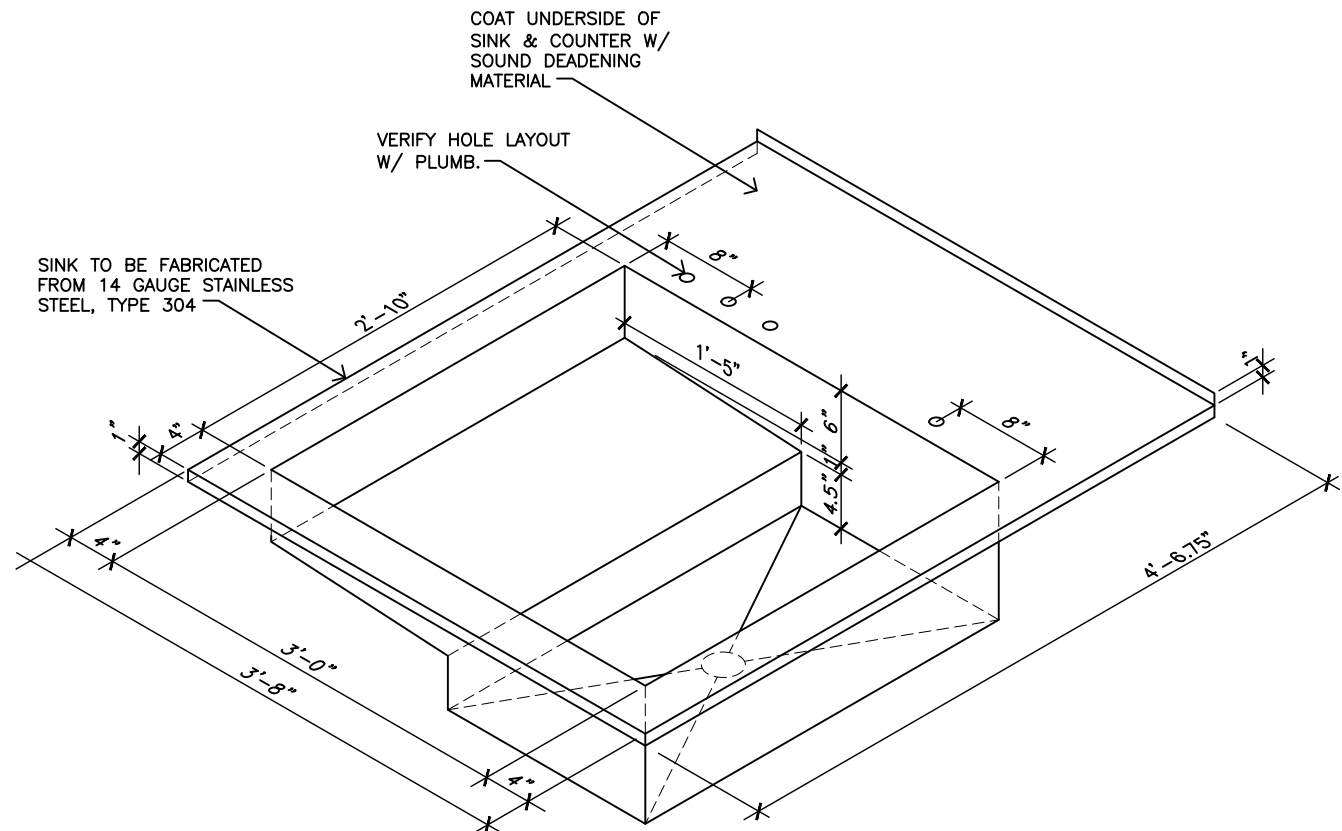
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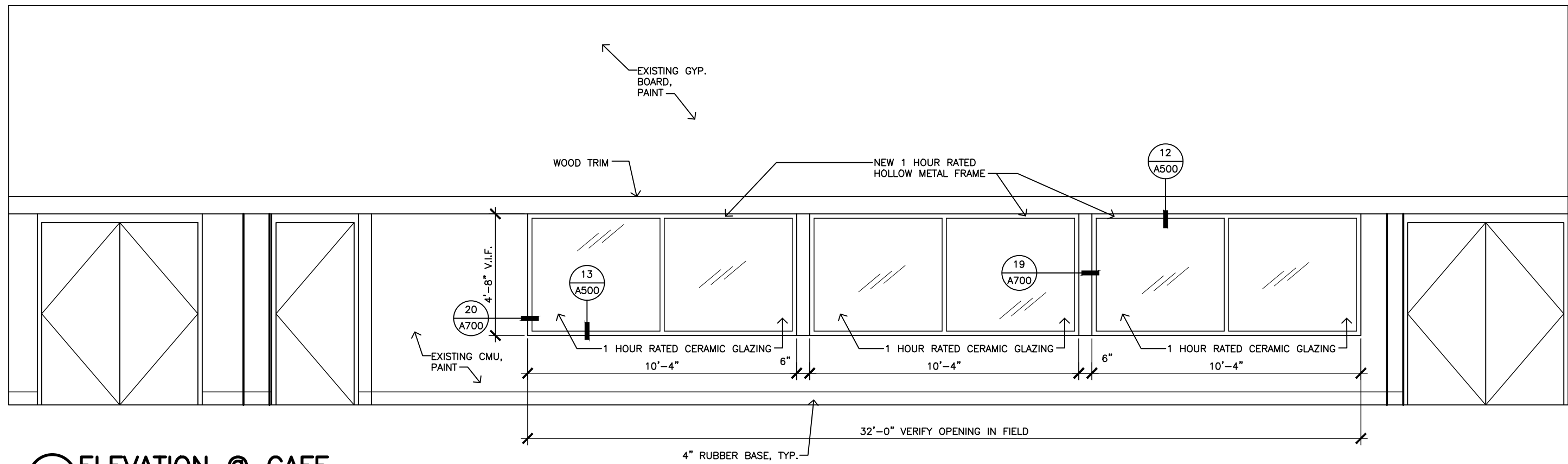
1 A.D.A. ART SINK SECTION
SCALE: 3/4"=1'-0"

2 ART SINK ELEVATION
SCALE: 3/4"=1'-0"

- ART SINK NOTES:
1. SINK TO BE FABRICATED FROM 14 GAUGE STAINLESS STEEL, TYPE 304.
 2. ALL WELDS TO BE GROUND SMOOTH AND EDGES EASED.
 3. FABRICATOR TO INSTALL REINFORCING AS REQ'D. TO ENSURE RIGIDITY.
 4. SINK FABRICATOR TO COORDINATE W/ CASEWORK FABRICATOR FOR MOUNTING REQUIREMENTS.
 5. SINK FABRICATOR TO COORDINATE LOCATION & SIZE OF FAUCET HOLES & DRAIN W/ PLUMBER.



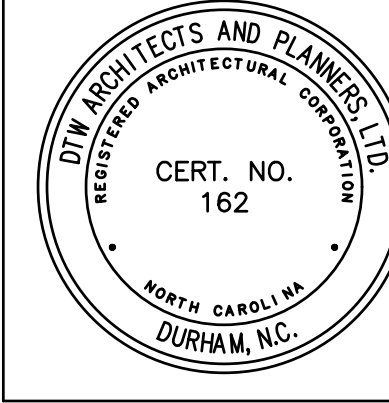
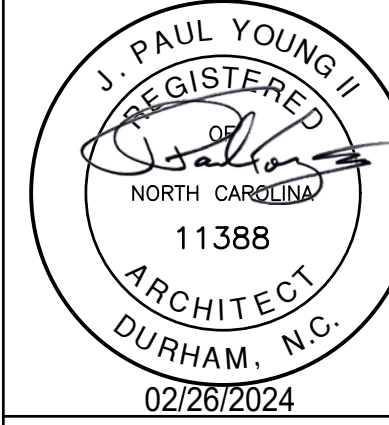
3 A.D.A. ART SINK ISOMETRIC
SCALE: N.T.S.



4 ELEVATION @ CAFE
SCALE: 1/4" = 1'-0"

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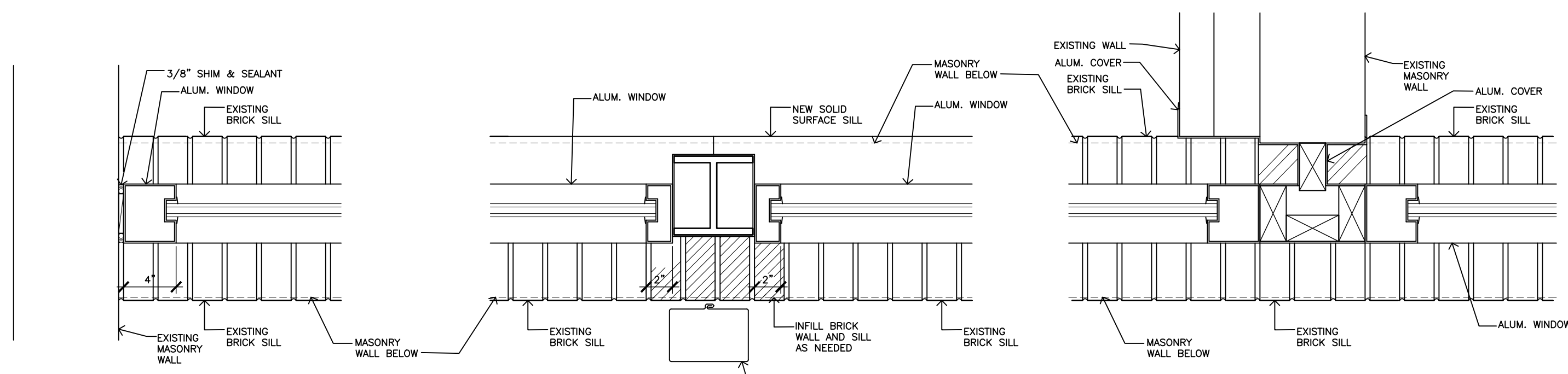
EFLAND-CHEEKS ELEMENTARY SCHOOL
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INTERIOR ELEVATIONS

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Revision		
ID	Date	Description

PROJECT # NC27X007
REVIEWED BY J. Young
DESIGNED BY J. Young
DRAWN BY P. Martin
DRAWING DATE 02/26/2024
SHEET NUMBER

A602



1 DETAIL @ JAMB
SCALE: 1 1/2" = 1'-0"

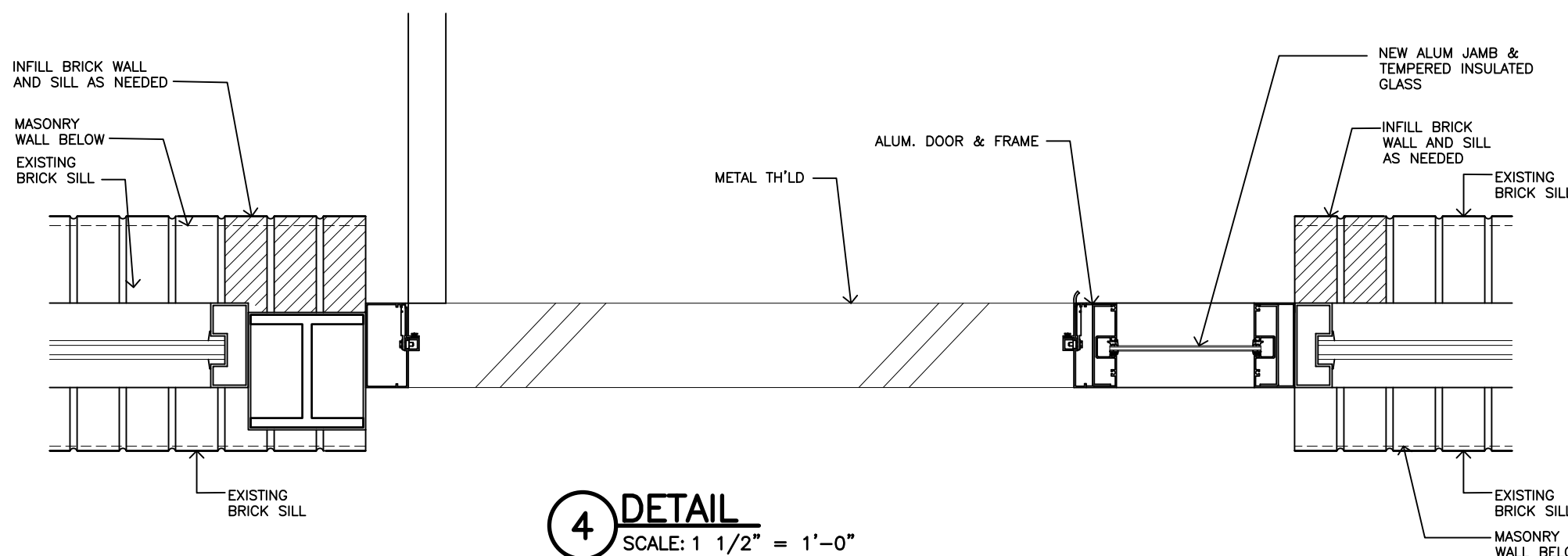
CLASSROOMS 1, 2, 3, 4, 5, 6, AND 8 HAVE BRICK SILLS PATCH AND PAINT AS NEED.

2 DETAIL @ JAMB
SCALE: 1 1/2" = 1'-0"

CLASSROOMS 2, 4, 6, AND 8 WILL HAVE NEW SLATE SILL INSTALLED AT NEW EGRESS OPENINGS.

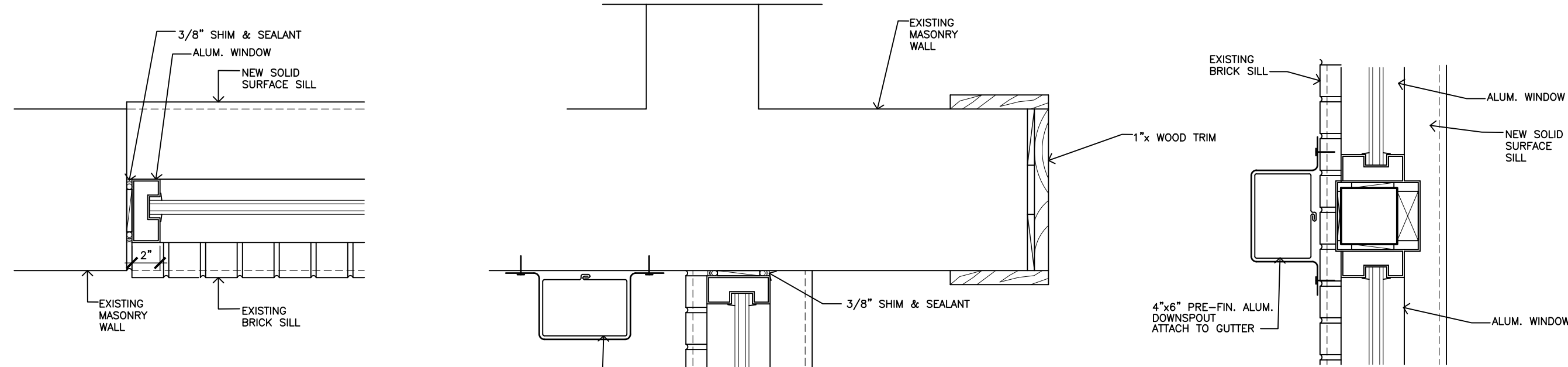
3 DETAIL @ JAMB
SCALE: 1 1/2" = 1'-0"

CLASSROOMS 1, 2, 3, 4, 5, 6, AND 8 HAVE BRICK SILLS PATCH AND PAINT AS NEED.



4 DETAIL
SCALE: 1 1/2" = 1'-0"

INSTALL NEW DOOR AND SIDELIGHT IN CLASSROOMS 1, 3, AND 5.



5 DETAIL @ JAMB
SCALE: 1 1/2" = 1'-0"

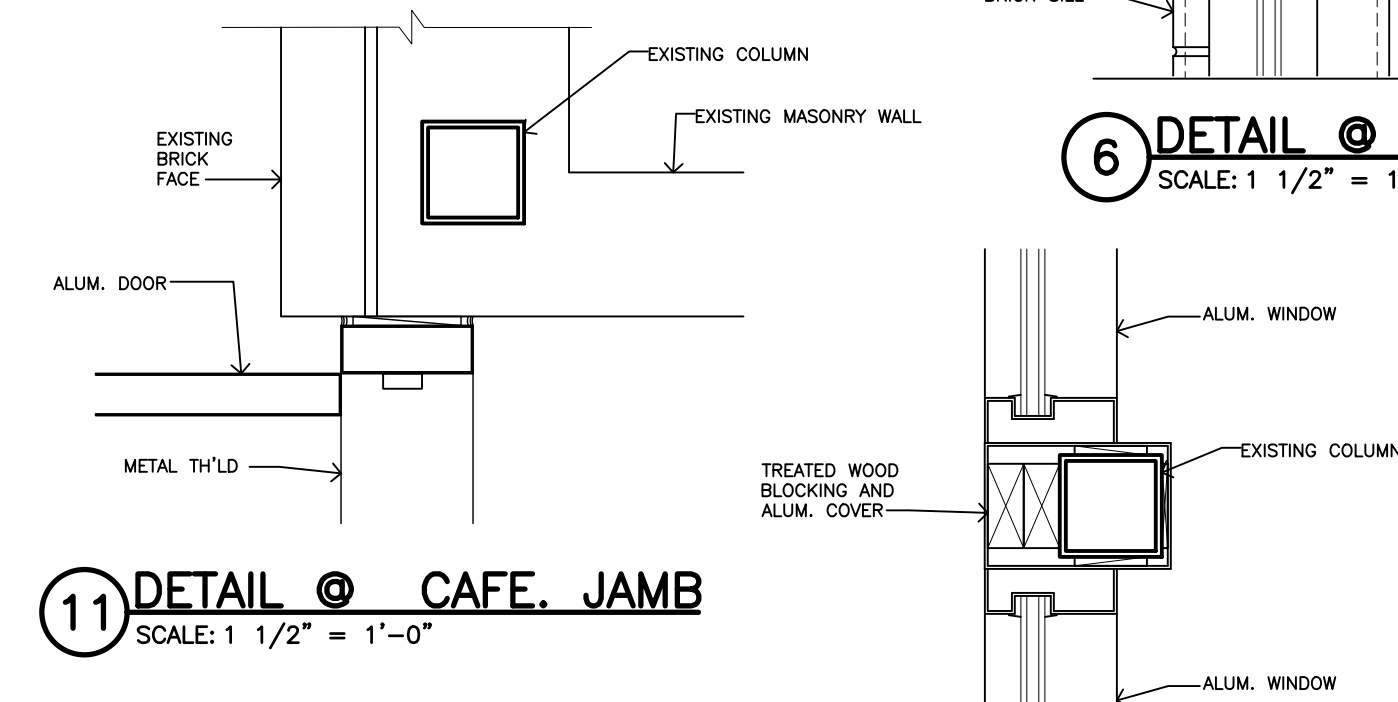
6 DETAIL @ JAMB
SCALE: 1 1/2" = 1'-0"

7 DETAIL @ JAMB
SCALE: 1 1/2" = 1'-0"

8 DETAIL @ JAMB
SCALE: 1 1/2" = 1'-0"

9 DETAIL @ JAMB
SCALE: 1 1/2" = 1'-0"

10 DETAIL @ JAMB
SCALE: 1 1/2" = 1'-0"



11 DETAIL @ CAFE. JAMB
SCALE: 1 1/2" = 1'-0"

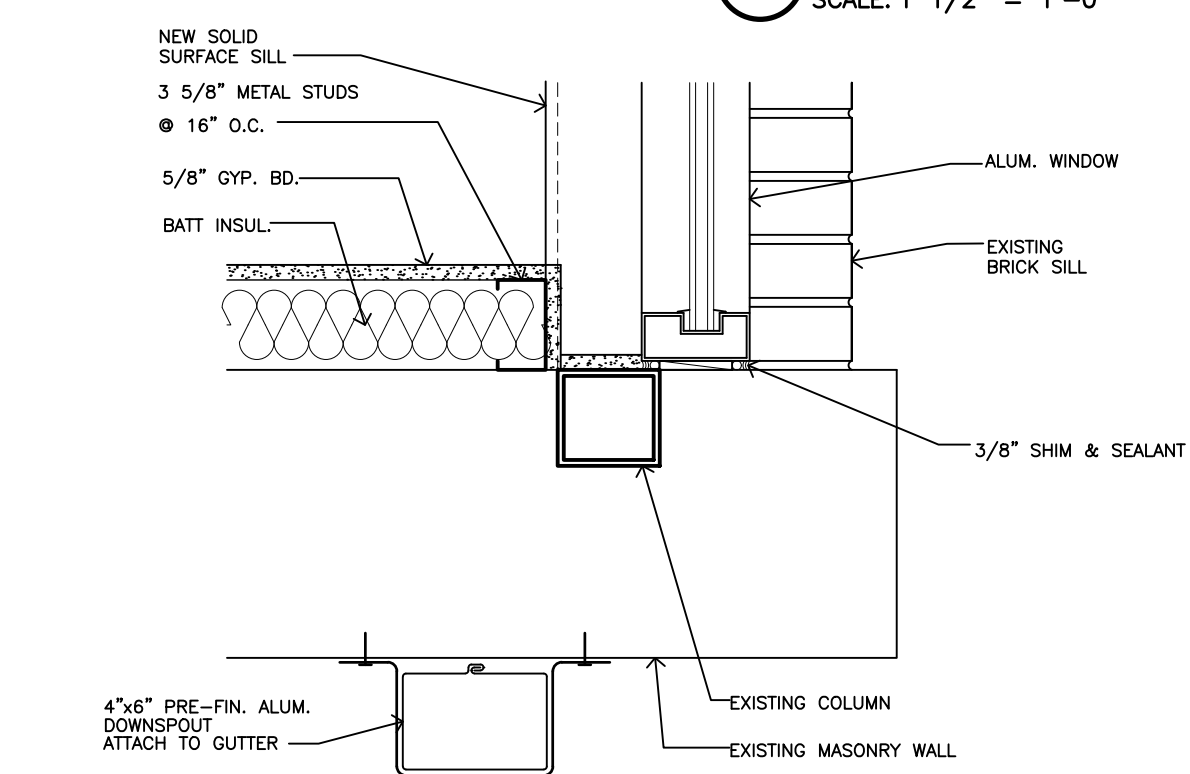
12 DETAIL @ CAFE. JAMB
SCALE: 1 1/2" = 1'-0"

13 DETAIL @ CAFE. JAMB
SCALE: 1 1/2" = 1'-0"

14 DETAIL @ JAMB
SCALE: 1 1/2" = 1'-0"

15 DETAIL @ JAMB
SCALE: 1 1/2" = 1'-0"

17 DETAIL
SCALE: 1 1/2" = 1'-0"



18 DETAIL @ JAMB
SCALE: 1 1/2" = 1'-0"

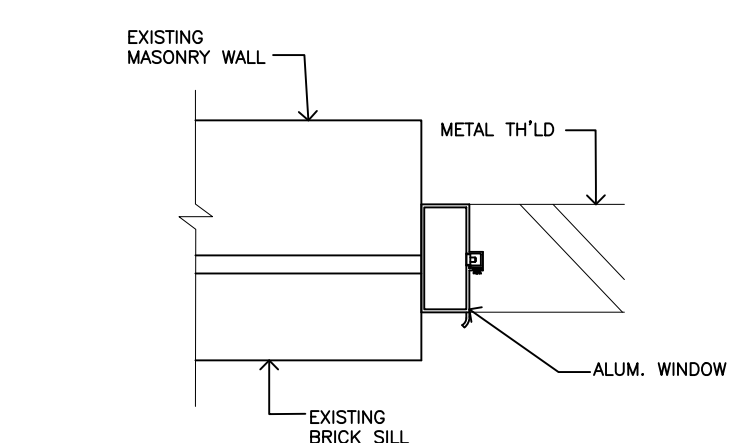
19 DETAIL @ JAMB
SCALE: 1 1/2" = 1'-0"

20 DETAIL @ JAMB
SCALE: 1 1/2" = 1'-0"

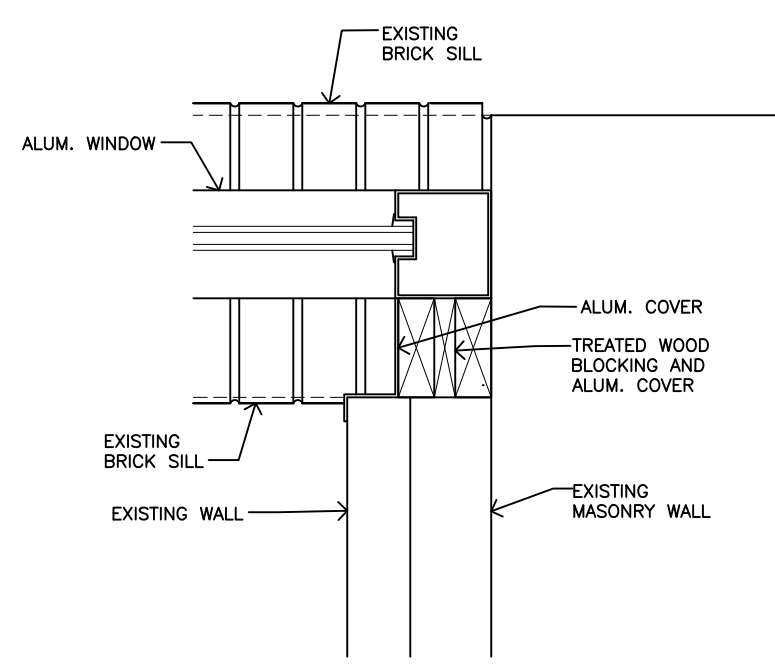
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SCALE: 1 1/2" = 1'-0"

16 DETAIL
SCALE: 1 1/2" = 1'-0"

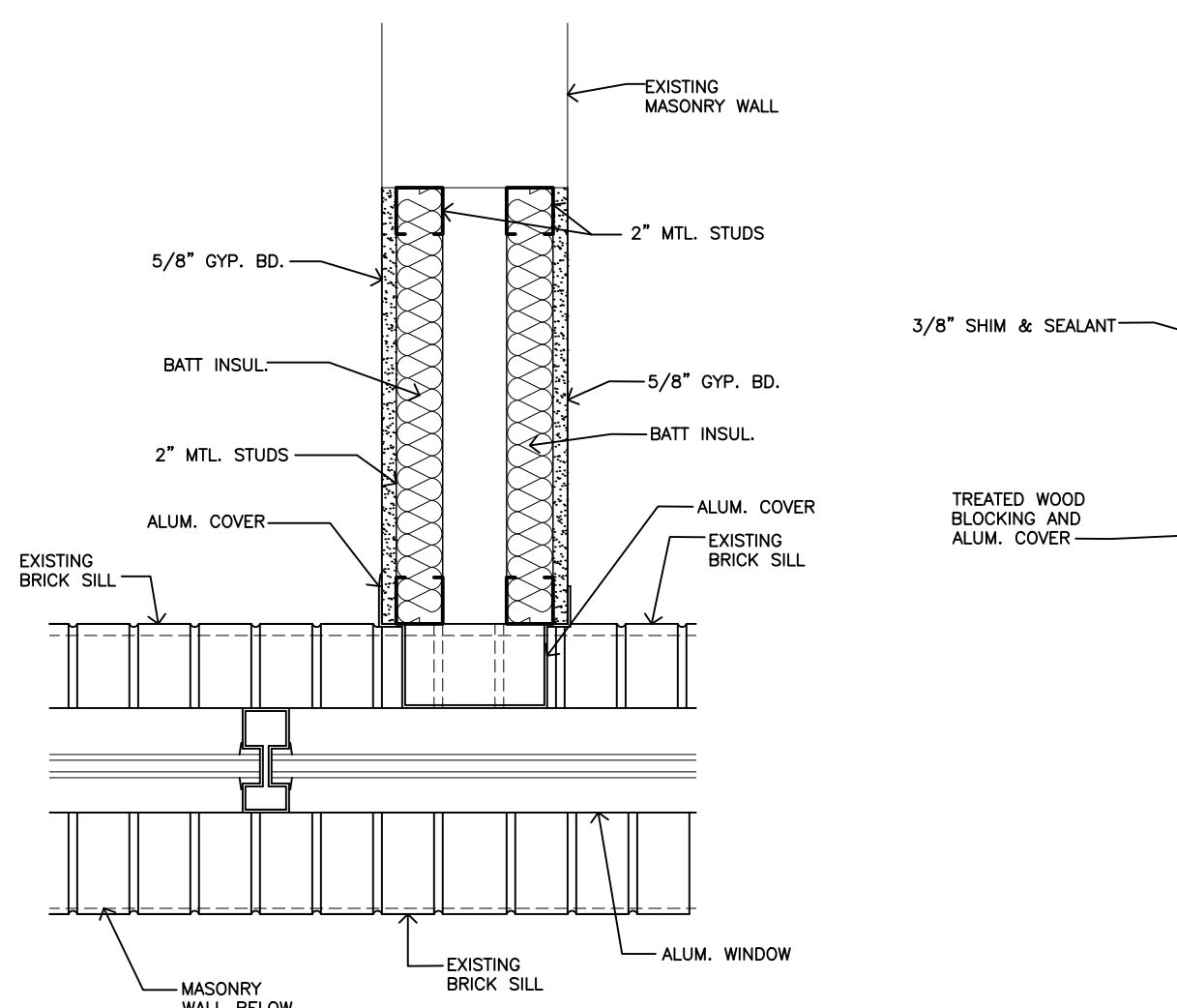
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22 DETAIL @ JAMB
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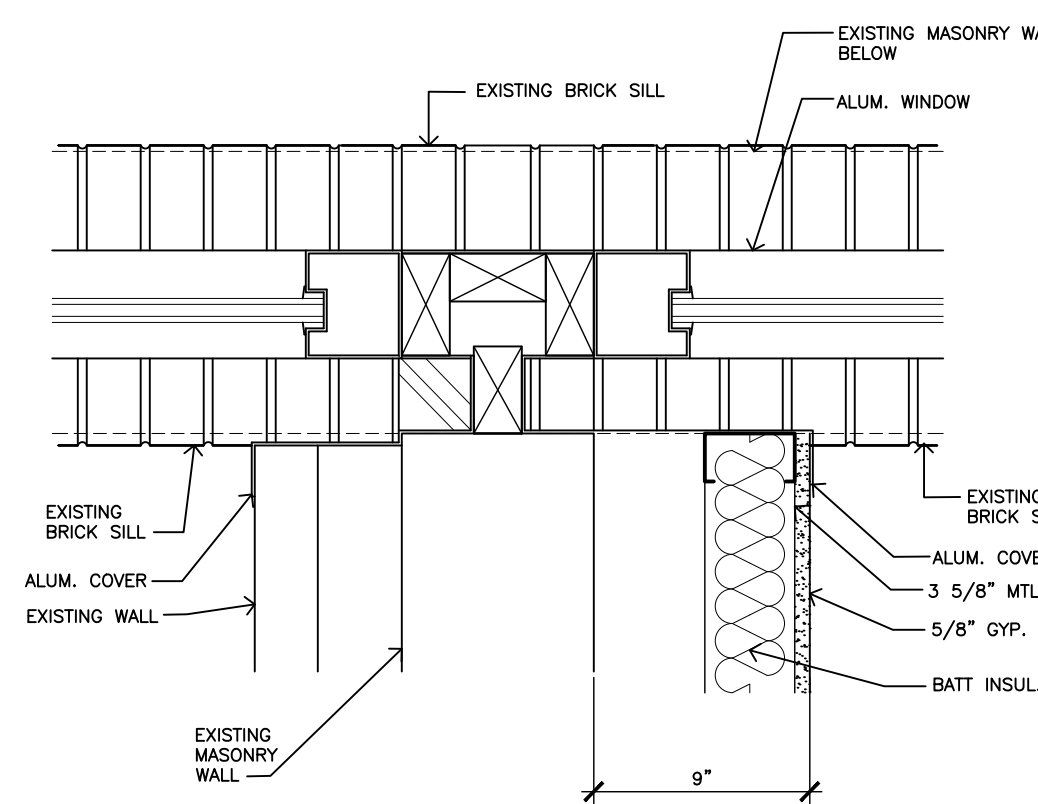


23 DETAIL @ JAMB
SCALE: 1 1/2" = 1'-0"



24 DETAIL
SCALE: 1 1/2" = 1'-0"

25 DETAIL
SCALE: 1 1/2" = 1'-0"

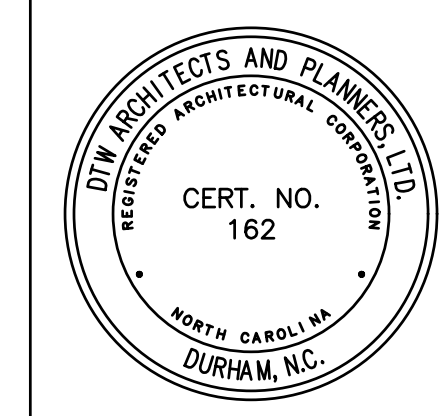
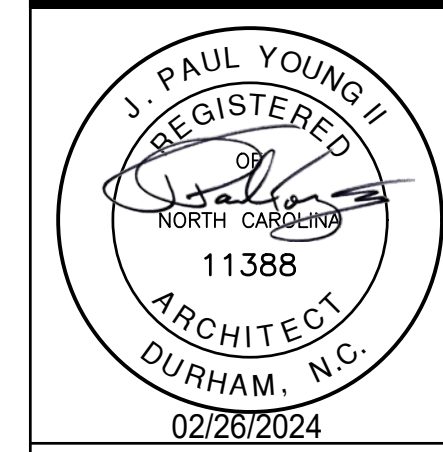


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PLAN DETAILS

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ID	Date	Description
PROJECT #	NC27X007	
REVIEWED BY	J. Young	
DESIGNED BY	J. Young	
DRAWN BY	P. Martin	
DRAWING DATE	02/26/2024	
SHEET NUMBER		

A700

DOOR NUMBER	DOORS															FRAMES										NOTE
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	DOOR TYPE	DOOR MATERIAL	GLASS & GLAZING	W	H	FRAME TYPE	FRAME MATERIAL	JAMB	HEAD	SILL	LABEL	HARDWARE SET
1A	1				6										B	WD	TF			1	HM				1-HR	1
2	1														B	AL	TI				1	HM				2
3	1														B	WD	TF			1	HM				1-HR	1
3A	1														D	WD	TF			1	HM					3
3B					6										B	AL	TI				AL					2
4	1														B	WD	TF			1	HM				1-HR	1
5	1														B	WD	TF			1	HM					1
5A	1														D	WD	TF			1	HM					3
5B					6										B	AL	TI				AL					2
6	1														D	WD	TF			1	HM					1
7	1														D	WD	TF			1	HM					4
7A	1														D	WD	TF			1	HM					4
8	1														D	WD	TF			1	HM					1
9A		3													B	WD	TF			EXISTING TO REMAIN					1-HR	1
9B			4												D	HM					HM					
10		3													B	WD	TF			EXISTING TO REMAIN					1-HR	1
10B				5											D	HM					HM					
11	1														B	WD	TF			1	HM				1-HR	1
11A	1														D	WD	TF			1	HM					1
11B	1														D	WD	TF			1	HM					3
12	1														B	WD	TF			1	HM				1-HR	1
15	1														B	WD	TF			1	HM				1-HR	1
15A	1														D	WD	TF			1	HM					2
15B					6										B	AL	TI				AL					
16	1														D	WD	TF			1	HM				1-HR	1
16A	1														D	WD	TF			1	HM					2
16B					6										B	AL	TI				AL					3
17	1														B	WD	TF			1	HM			1-HR	1	
17A	1														D	WD	TF			1	HM					2
17B					6										B	AL	TI				AL					3
18	1														B	WD	TF			1	HM				1-HR	1
18A	1														D	WD	TF			1	HM					2
18B					6										B	AL	TI				AL					3
19		3													B	WD	TF			EXISTING TO REMAIN					1-HR	1
19A					7										B	AL	TI				AL					2
19B	1														D	WD	TF			1	HM					3
20		3													B	WD	TF			EXISTING TO REMAIN					1-HR	1
20A					7										B	AL	TI				AL					2
20B	1														D	WD	TF			1	HM					3
21		3													B	WD	TF			EXISTING TO REMAIN					1-HR	1
21A	1														D	WD	TF			1	HM					3
22		3													B	WD	TF			EXISTING TO REMAIN					1-HR	1
22A					7										B	AL	TI				AL					2
22B	1														D	WD	TF			1	HM					3
23		3													B	WD	TF			EXISTING TO REMAIN					1-HR	1
23A	1														D	WD	TF			1	HM					3
24		3													B	WD	TF			EXISTING TO REMAIN					1-HR	1
24A					7										B	AL	TI				AL					2
24B	1														D	WD	TF			1	HM					3
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25A		3													D	WD	TF			EXISTING TO REMAIN					2-HR	1
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28A					7										B	AL	TI				AL					2
29		3													B	WD	TF			EXISTING TO REMAIN					1-HR	1
29A					7										B	AL	TI				AL					2
30		3													B	WD	TF			EXISTING TO REMAIN					1-HR	1
30A					7										B	AL	TI				AL					2
31		3													B	WD	TF			EXISTING TO REMAIN					1-HR	1
31A					7										B	AL	TI				AL					2
32		3													B	WD	TF			EXISTING TO REMAIN					1-HR	1
32A					7										B	AL	TI				AL					2
33		3													B	WD	TF			EXISTING TO REMAIN					1-HR	1
33A					7										B	AL	TI				AL					2
34A	1														D	WD	TF			EXISTING TO REMAIN						4
34B	1														D	WD	TF			EXISTING TO REMAIN						4
35		3													B	WD	TF			EXISTING TO REMAIN					1-HR	1
35A															B	WD	T			EXISTING TO REMAIN						1
35C					7										B	AL	TI				AL					2
35D	1														D	WD	TF			1	HM					3
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36B	1														D	WD	TF			1	HM					3
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37A	1														D	WD	TF			1	HM					3
38															B	WD	TF			EXISTING TO REMAIN					1-HR	1
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38B					7										B	AL	TI				AL					2
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39A	1														D	WD	TF			1	HM					3
40		3													B	WD	TF			EXISTING TO REMAIN					1-HR	1
40A					7										B	AL	TI				AL					2
40B	1														D	WD	TF			1	HM					3
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41A															B	WD	T			EXISTING TO REMAIN						1
42		3													B	WD	TF			EXISTING TO REMAIN					1-HR	1
42A		3													B	WD	T			EXISTING TO REMAIN						1
42B															B	WD	TF			EXISTING TO REMAIN					1-HR	1
55B		2													D	WD	TF			EXISTING TO REMAIN					2-HR	6
58C	2														D	WD	TF			EXISTING TO REMAIN					2-HR	6
61				5											B	WD	TF				HM				1-HR	1
61B							10																			

GLAZING LEGEND

T = TEMPERED, 1/4" GLAZING
TF = TEMPERED, 1-HOUR RATED CERAMIC GLAZING
TI = TEMPERED, 1" INSULATED GLAZING
I = 1" INSULATED GLAZING

DOOR SCHEDULE NOTES:

NOTE 1: REWORK AND REPAIR THE EXISTING DOOR FRAME FOR NEW HARDWARE INSTALLATION. THE COST SHALL BE INCLUDED AS PART OF THE BASE BID. NO WHINING ABOUT POSSIBLE ISSUES WITH NEW HARDWARE AND EXISTING FRAMES WILL BE ALLOWED BY THE ARCHITECT. ACT LIKE YOU HAVE DONE THIS BEFORE AND PRICE IT ACCORDINGLY

GENERAL DOOR NOTES:

NOTE A: ALL HARDWARE FOR ALL RATED DOORS MUST BE ONE-HOUR UL RATED. DOORS, FRAMES AND HARDWARE WILL BE REQUIRED TO BE TESTED BY A THIRD PARTY DOOR RATING INSPECTOR, CONTRACTED BY THE GENERAL CONTRACTOR, IF YOU ARE A DOOR SUPPLIER AND YOU JUST READ THE PREVIOUS SENTENCE AND HAVE NOT BROUGHT IT UP WITH THE GC WHO GAVE YOU THIS SHEET, SHAME ON YOU. ANY DOORS THAT DO NOT PASS INSPECTION BY THE THIRD PARTY INSPECTOR WILL BE REQUIRED TO BE ADJUSTED AS NEEDED AT NO COST TO THE OWNER.

NOTE B: FIELD VERIFY ALL THE EXISTING FRAME CONDITIONS BEFORE SUBMITTING SHOP DRAWINGS. INCLUDE THE FOLLOWING STATEMENT ON THE FRONT PAGE OF THE SUBMITTAL IN 14 POINT TYPE: "SUPPLIER HAS FILED VERIFIED ALL EXISTING FRAME CONDITIONS AND COORDINATED THIS SUBMITTAL WITH THE EXISTING CONDITIONS AND THE GENERAL CONTRACTOR."

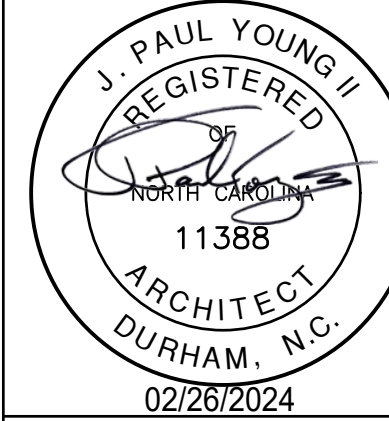
FINISH SCHEDULE NOTES:

NOTE 1: ALL SURFACES TO RECEIVE NEW FINISHES SHALL BE PREPARED PER MANUFACTURERS INSTALLATION INSTRUCTIONS AS PART OF THE BASE BID. ARCHITECT WILL NOT ENTERTAIN ANY COST FOR ADDITIONAL PREPARATION OF SURFACES TO ACHIEVE PROPER ADHESION, FLATNESS OR OTHERWISE PROPER INSTALLATION.

[illegible]

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SUD ASSOCIATES, P.A.

CONSULTING ENGINEERS
LICENSE NO. C-0315

0315

1813 CHAPEL HILL ROAD
DURHAM, NORTH CAROLINA
(919) 493-5277

**EFLAND-CHEEKS ELEMENTARY SCHOOL
GENERAL RENOVATIONS
ORANGE COUNTY SCHOOLS**

4401 TULLEN ROAD
EFLAND, NORTH CAROLINA 27243

FINISH SCHEDULE AND DOOR SCHEDULE

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Revision		
ID	Date	Description

PROJECT #	NC27X007
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REVIEWED BY J. Young

DESIGNED BY	J. Young
REVIEWED BY	J. Young

DESIGNED BY	J. Young
DRAWN BY	B. M. J.

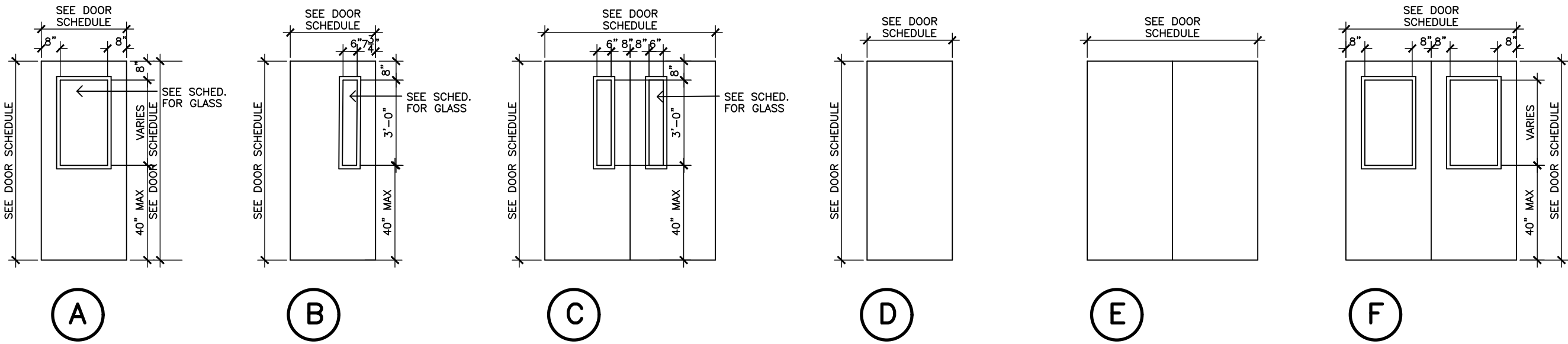
DRAWN BY	P. Martin
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DRAWING DATE 02/26/2024

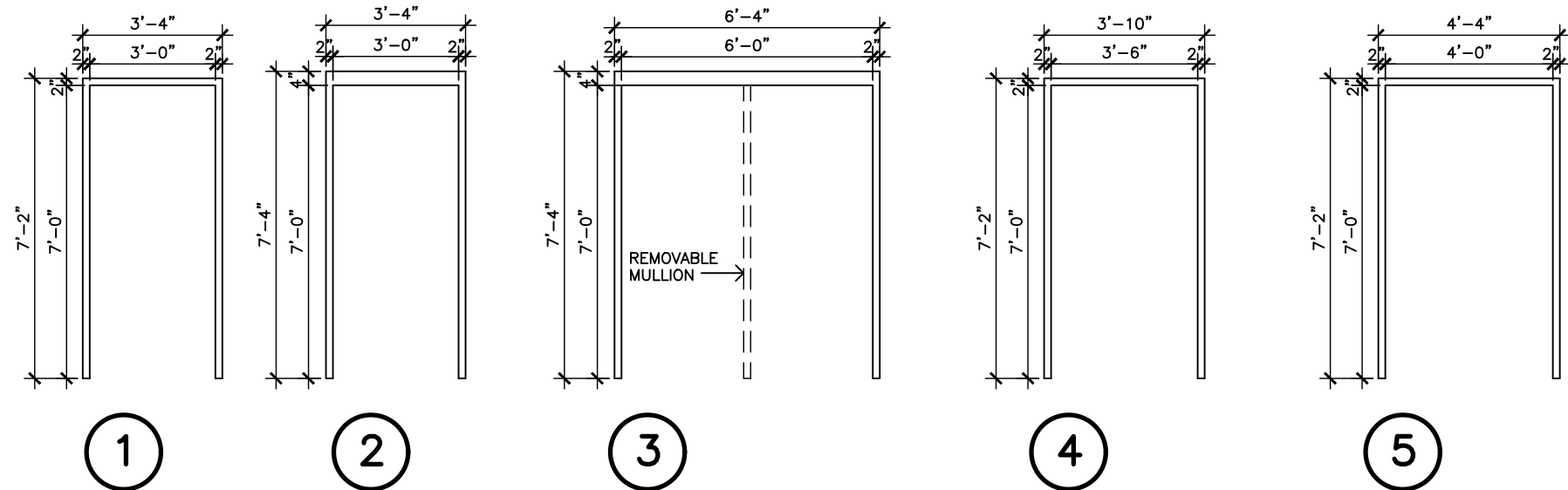
SHEET NUMBER

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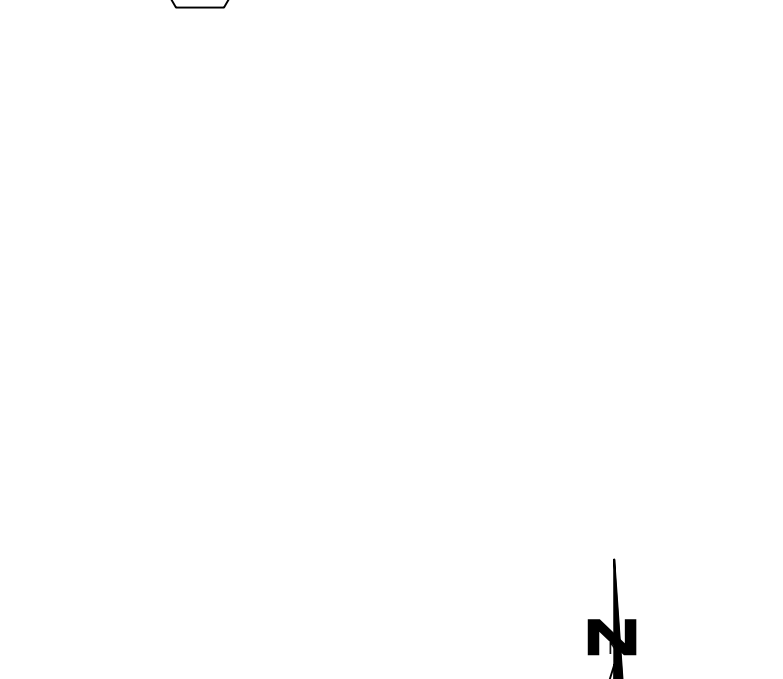
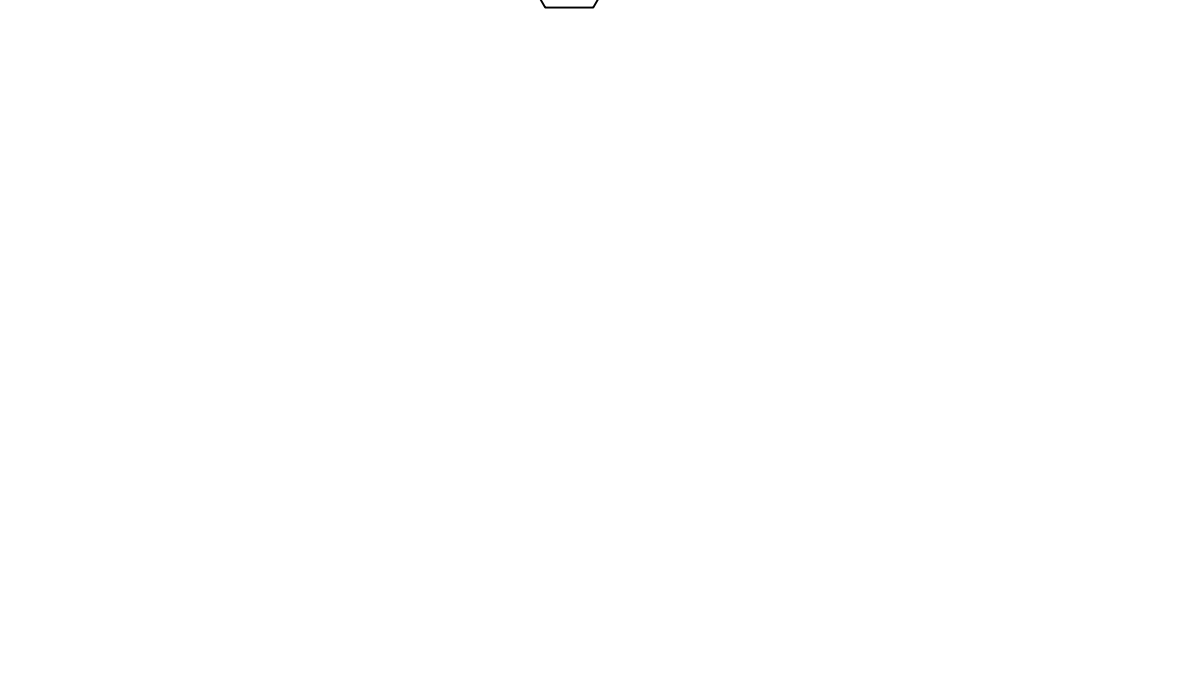
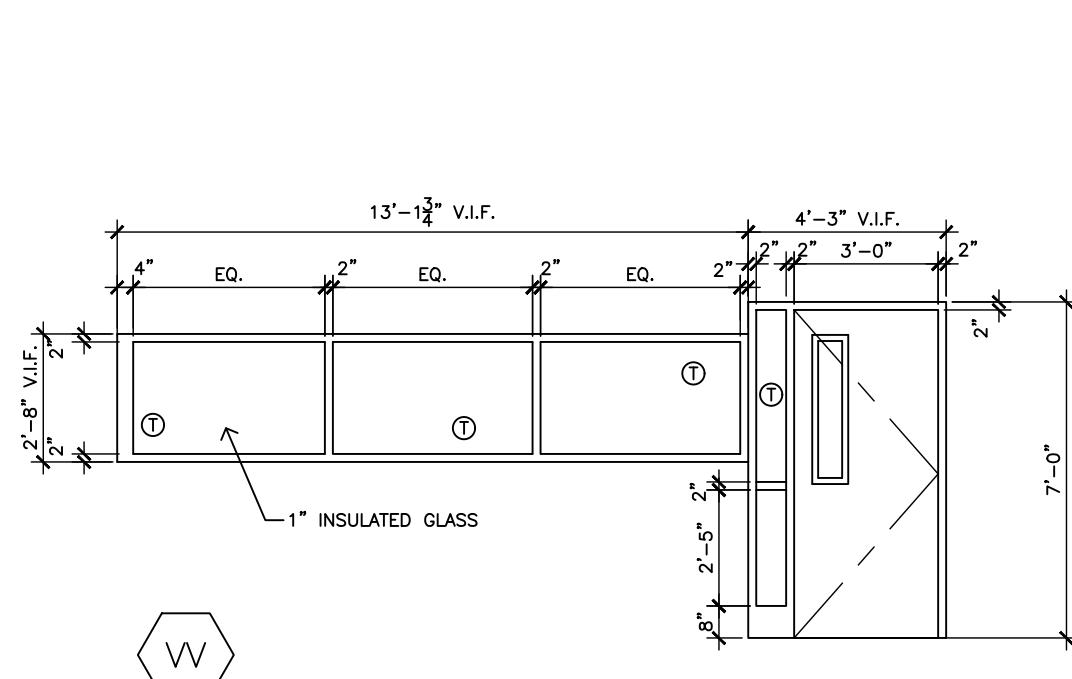
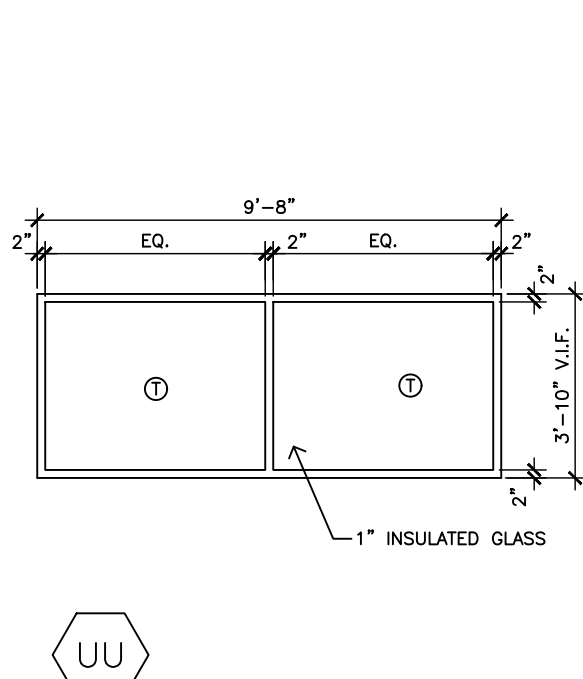
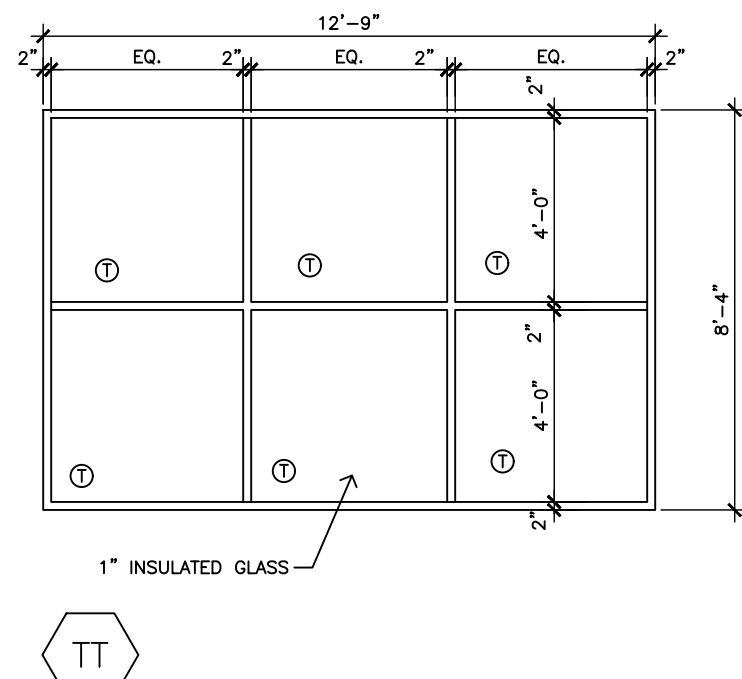
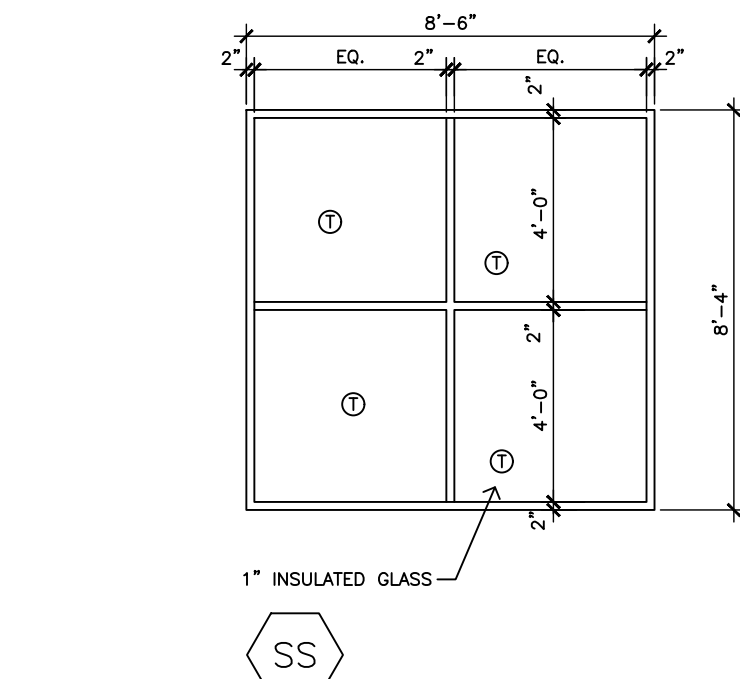
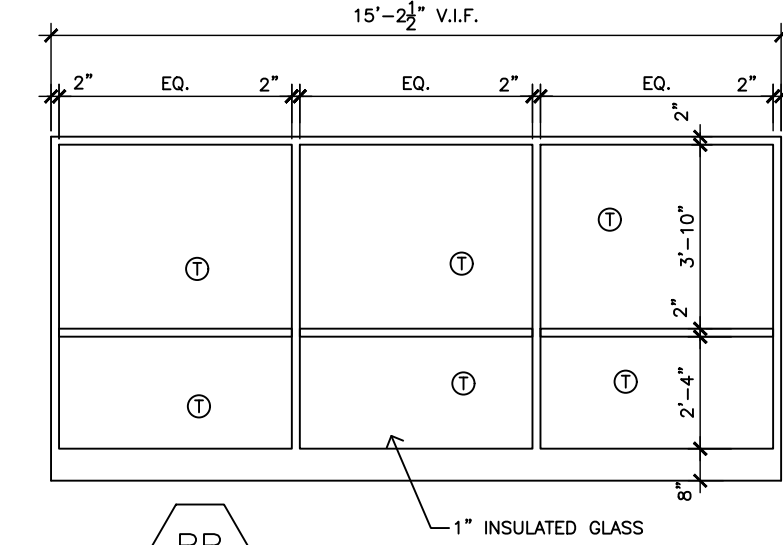
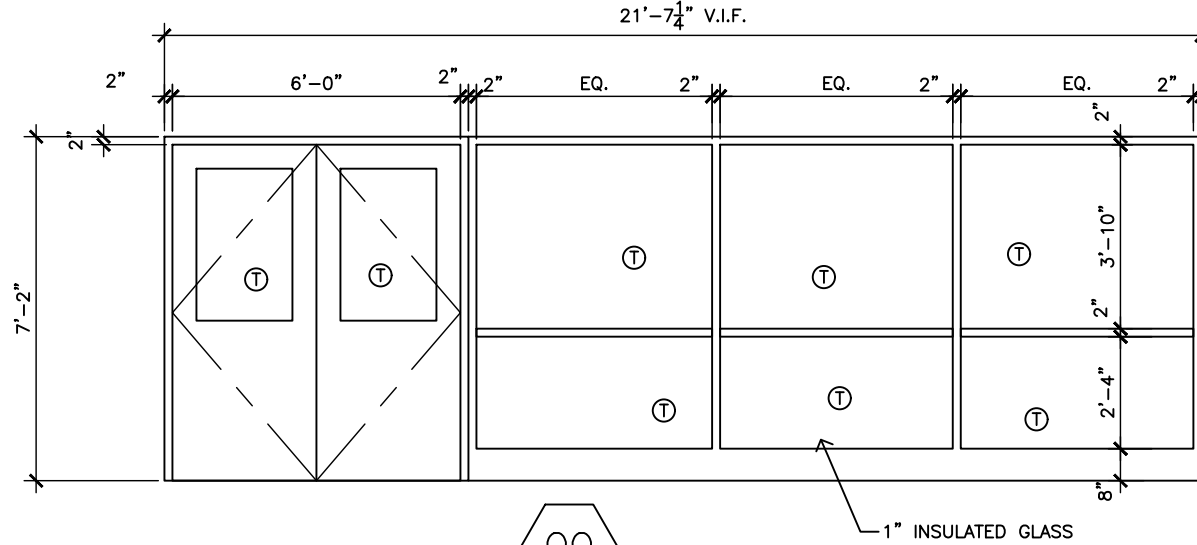
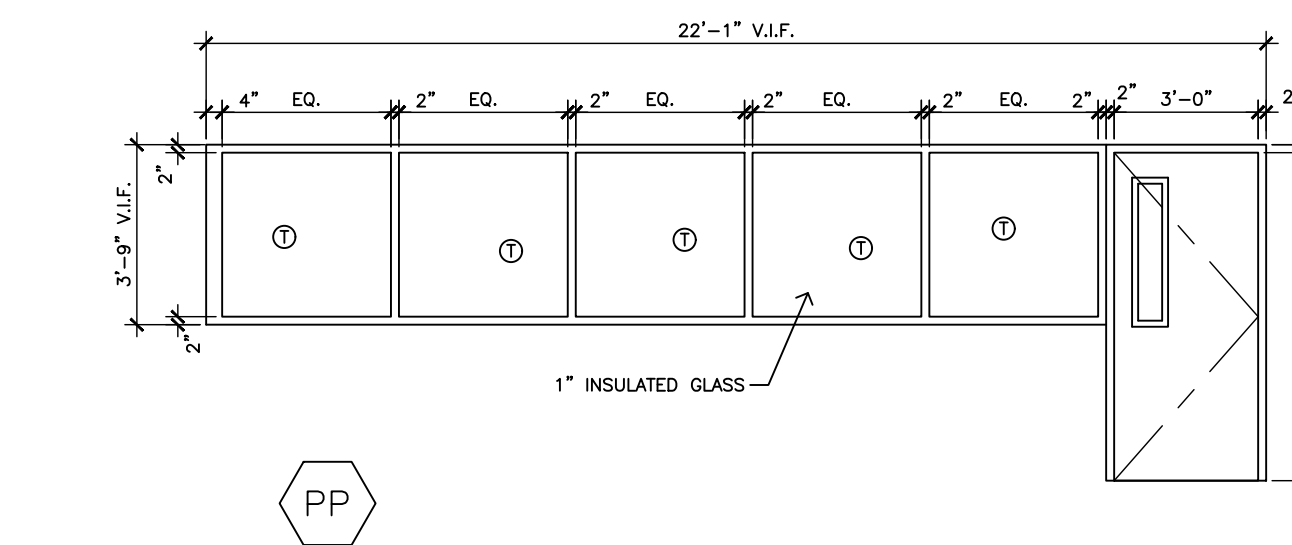
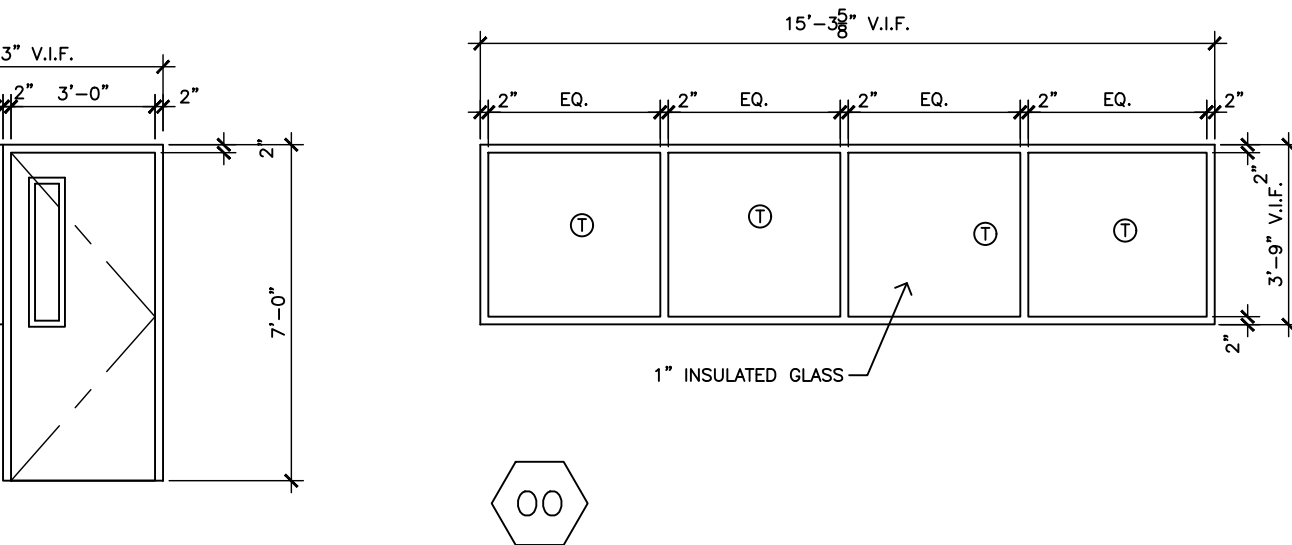
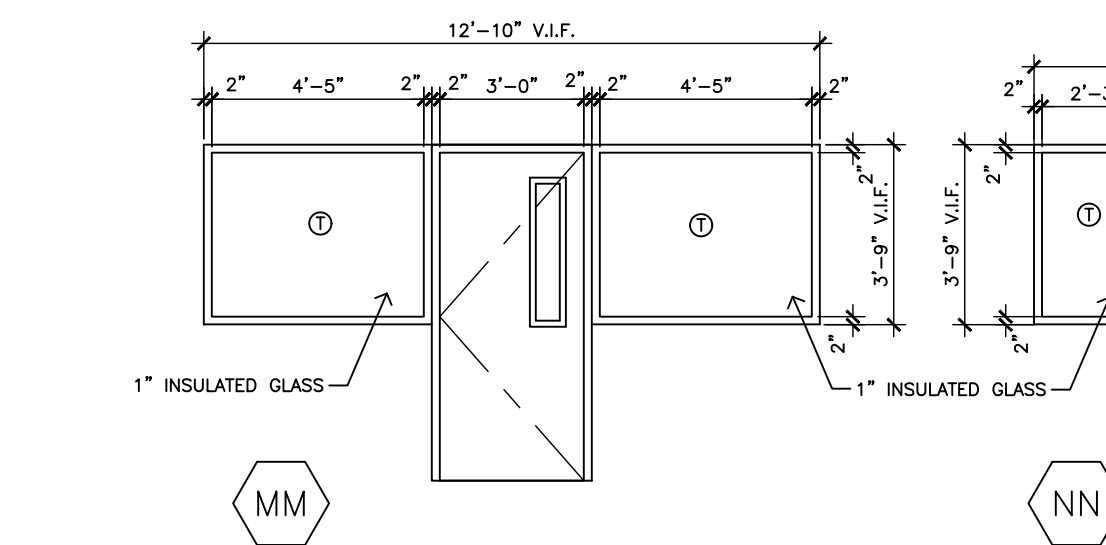
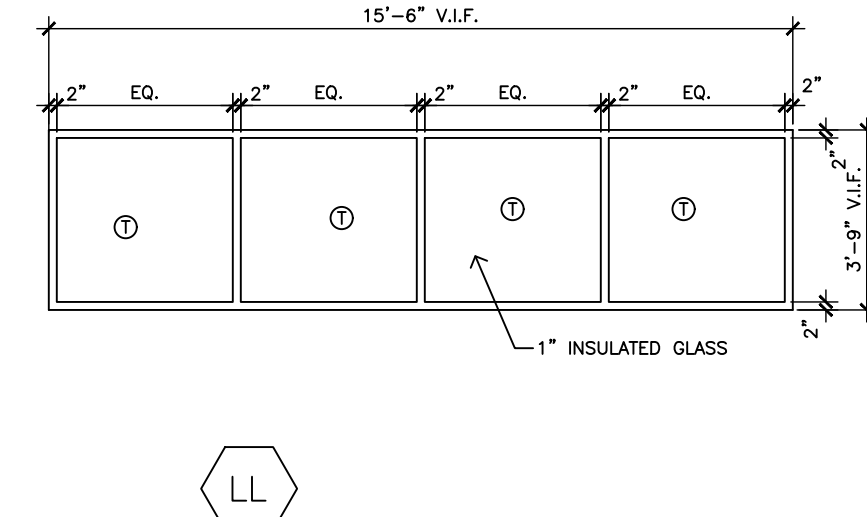
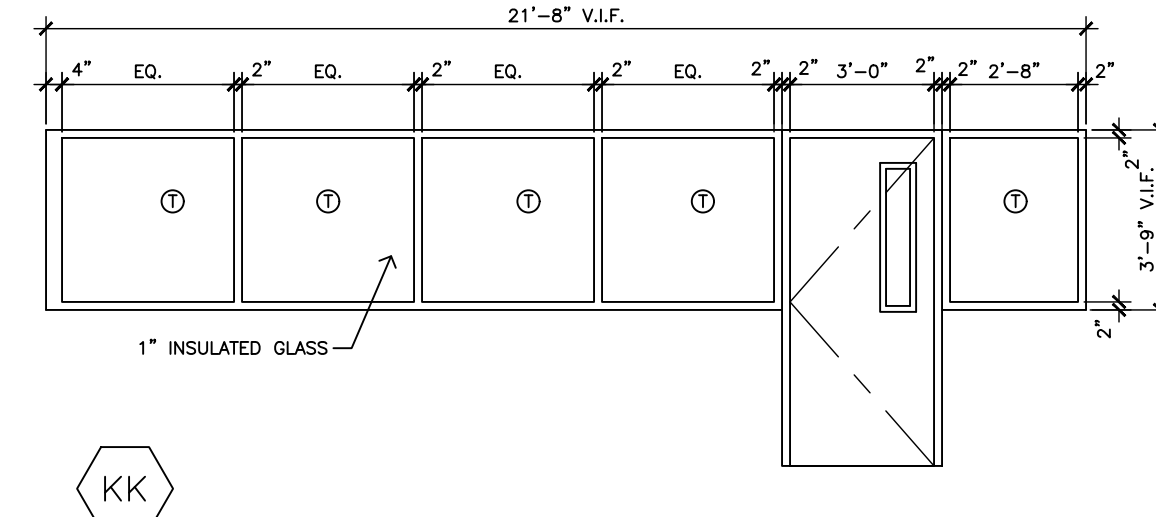
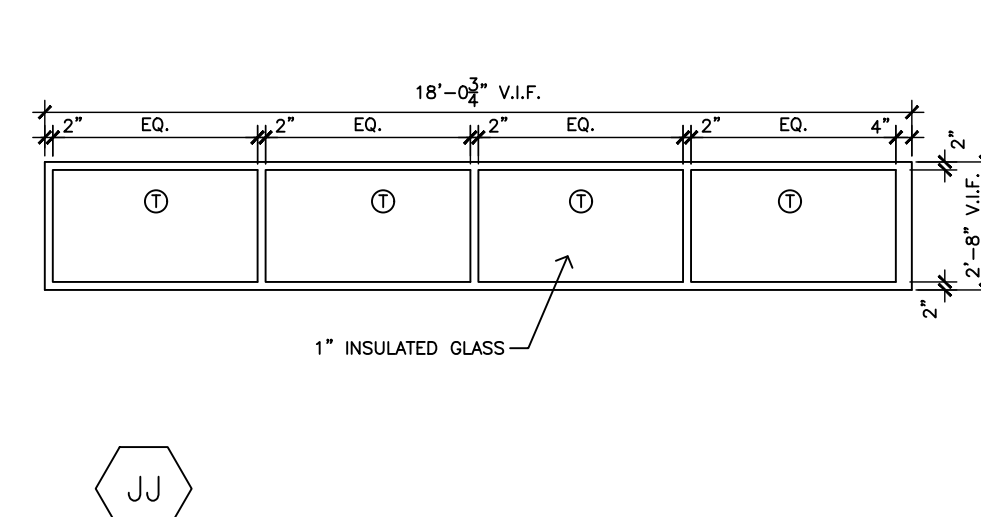
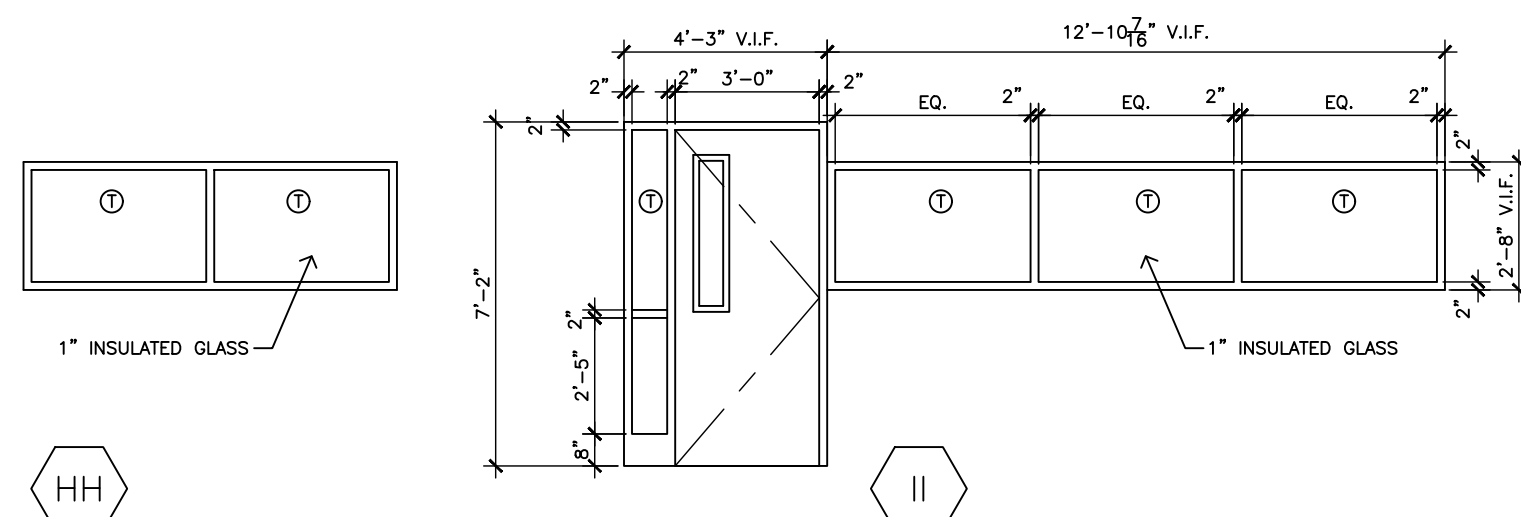
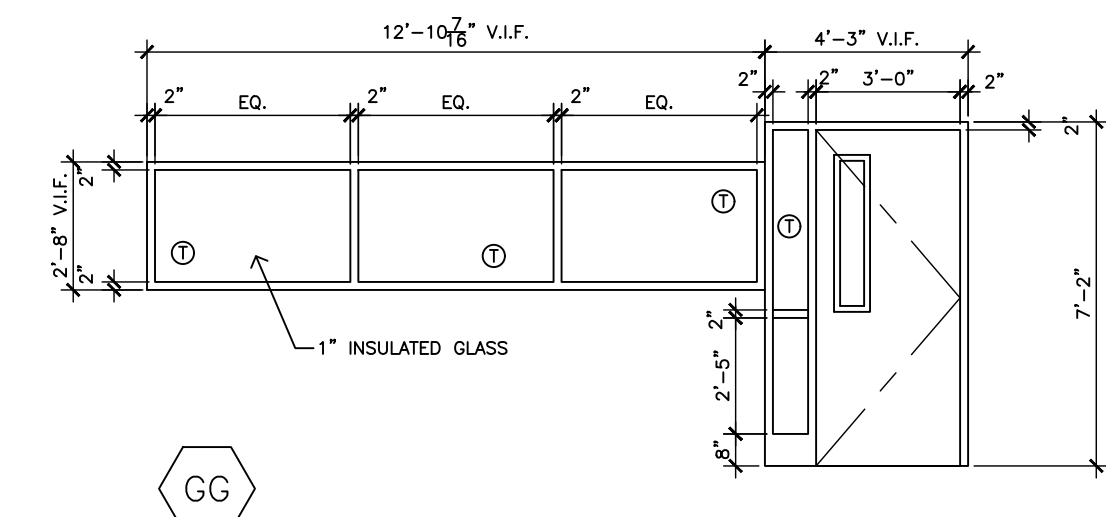
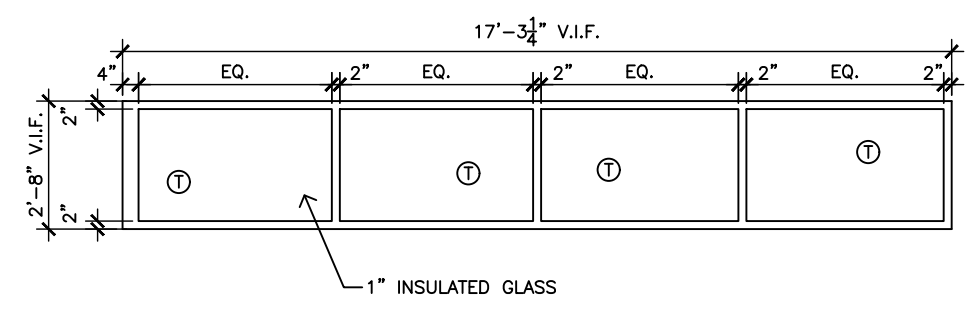
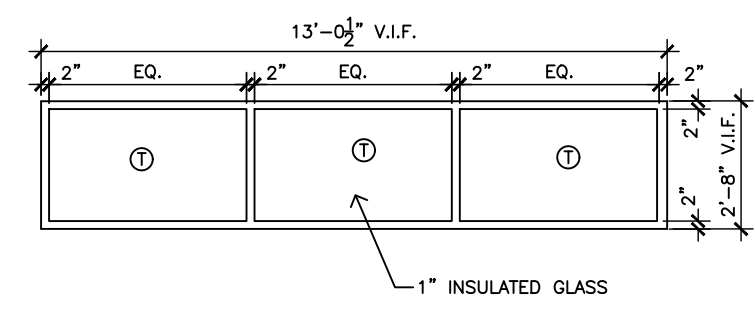
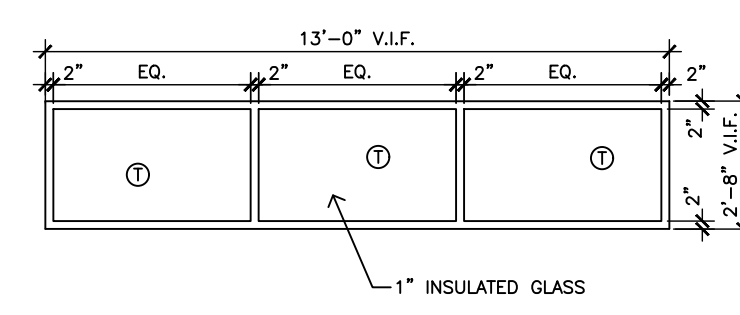
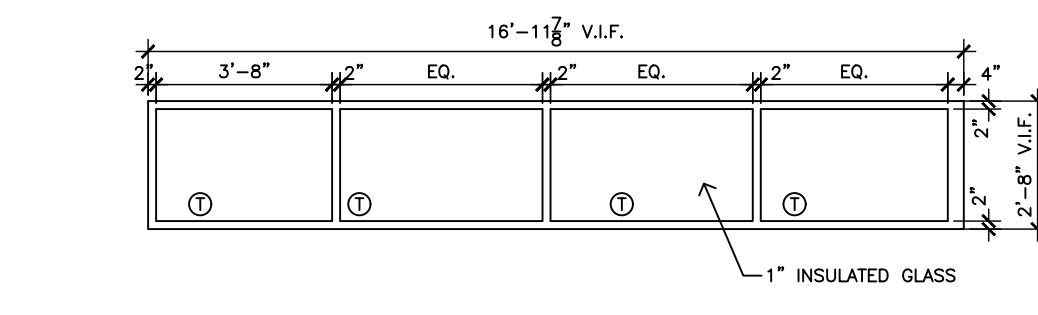
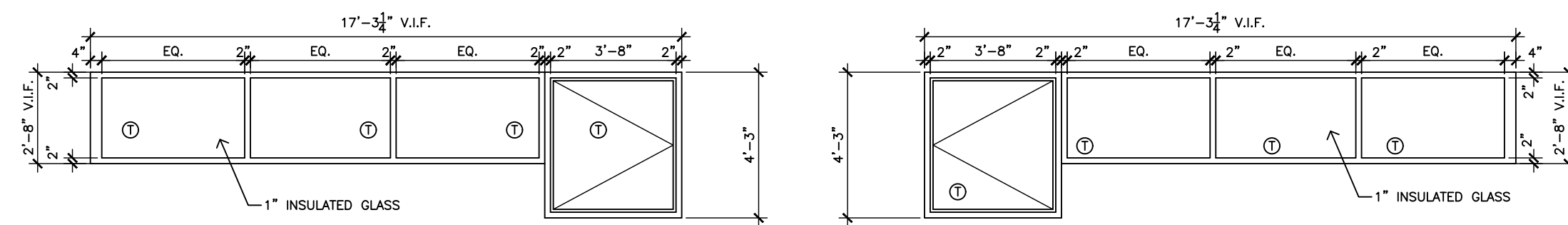




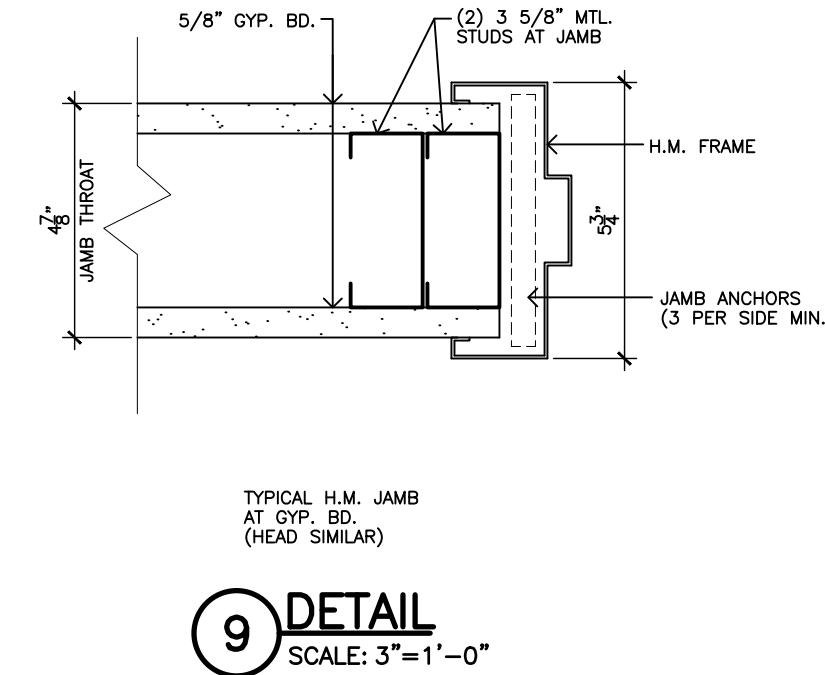
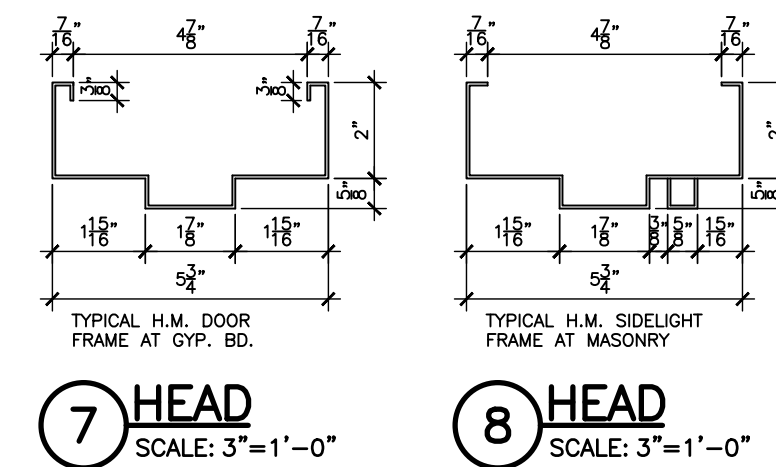
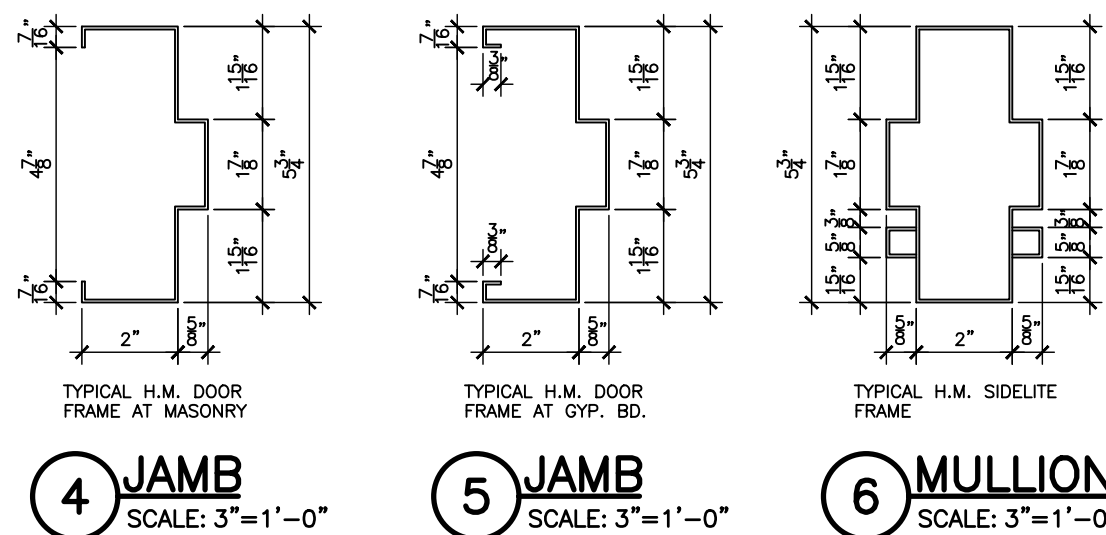
1 DOOR TYPES
SCALE: 1/4"=1'-0"



2 FRAME TYPES
SCALE: 1/4"=1'-0"



3 ALUMINUM WINDOW/DOOR FRAME TYPES
SCALE: 1/4"=1'-0"



EFLAND-CHEEKS ELEMENTARY SCHOOL
GENERAL RENOVATIONS
ORANGE COUNTY SCHOOLS
4401 FULLER ROAD
EFLAND, NORTH CAROLINA 27243
DOOR AND FRAME TYPES

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Revision		
ID	Date	Description
PROJECT #	NC27X007	
REVIEWED BY	J. Young	
DESIGNED BY	J. Young	
DRAWN BY	P. Martin	
DRAWING DATE	02/26/2024	
SHEET NUMBER		

A801

GENERAL NOTES (ALL NOTES ON THIS PAGE APPLY TO ALL SHEETS U.O.N.)

1. DRAWINGS ARE DIAGRAMMATIC. DRAWINGS ARE NOT INTENDED TO BE ABSOLUTELY PRECISE, AND DO NOT SPECIFY OR SHOW EVERY OFFSET, FITTING, AND COMPONENT. THE PURPOSE OF THE DRAWINGS IS TO INDICATE A SYSTEM CONCEPT, THE MAIN COMPONENTS OF THE SYSTEMS, AND THE APPROXIMATE GEOMETRICAL RELATIONSHIPS. BASED ON THE SYSTEMS CONCEPT, THE MAIN COMPONENTS AND APPROXIMATE GEOMETRICAL RELATIONSHIPS, THE CONTRACTOR SHALL PROVIDE ALL OTHER COMPONENTS AND MATERIALS NECESSARY TO MAKE THE SYSTEMS FULLY COMPLETE AND OPERATIONAL. THE CONTRACTOR SHALL ROUTE PIPING OR PROVIDE OFFSETS TO AVOID INTERFERENCE WITH STRUCTURAL ELEMENTS, EQUIPMENT, ELECTRICAL PANELS AND JUNCTION BOXES, ETC. VERIFY LOCATIONS, DIMENSIONS, EXISTING FLOW DIRECTIONS, AVAILABLE POWER CHARACTERISTICS (VOLTS/PHASE), ETC., BEFORE CONSTRUCTION.
2. WORKMANSHIP: COMPETENT SKILLFUL WORKMEN SHALL DO ALL WORK IN A FINISHED, THOROUGHLY SUBSTANTIAL AND CRAFTSMANLIKE MANNER. THIS IS INTENDED TO REFER PARTICULARLY TO SMALLER DETAILS NECESSARY BUT USUALLY NOT SPECIFIED OR INDICATED ON THE DRAWINGS. ALL SUB-STANDARD WORK, INSTALLED BY THIS CONTRACTOR, SHALL BE REPLACED BY THIS CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER. IF THIS CONTRACTOR DAMAGES EXISTING WORK, HE SHALL PAY THE COST OF REPLACEMENT OF THE DAMAGED WORK AT NO ADDITIONAL EXPENSE TO THE OWNER. THE ENGINEER SHALL BE THE JUDGE OF WORKMANSHIP AND HIS/HER OPINION SHALL BE FINAL.
3. THE DESIGN DOCUMENTS INDICATE THE PRODUCTS THAT WERE USED AS THE BASIS OF THE DESIGN. THIS ESTABLISHES THE PRODUCT PARAMETERS AND OTHER SYSTEMS INTERACTING WITH THE PRODUCT (SIZE, POWER REQUIREMENTS, PIPE SIZES, PUMP CAPACITY, ETC.). CONTRACTOR SHALL SPECIFICALLY BRING TO THE DESIGNER'S ATTENTION ANY CHANGES IN OTHER SYSTEMS REQUIRED WHEN PRODUCTS, OTHER THAN THOSE USED AS THE BASIS OF THE DESIGN, ARE USED. THE CONTRACTOR SHALL BEAR ALL COSTS, INCLUDING DESIGN, FOR THE CHANGES.
4. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS, DIMENSIONS AND SIZES BEFORE FABRICATING OR ORDERING EQUIPMENT.
5. PLUMBING CONTRACTOR SHALL CUT FLOORS, WALLS, CEILINGS, ROOF, AND PAVEMENT AS REQUIRED FOR DEMOLITION AND CONSTRUCTION. THE GENERAL CONTRACTOR SHALL REPAIR AND PATCH ALL (NEW AND DEMOLISHED) FLOORS, WALLS, CEILINGS, ROOF, AND PAVEMENT TO MATCH EXISTING FINISH. PLUMBING CONTRACTOR SHALL SEAL ALL PENETRATIONS OF FIRE RATED WALLS/FLOORS IN ACCORDANCE WITH UL SPECIFICATIONS. REFER TO DRAWINGS FOR WALL RATINGS. IF RATING IS NOT SHOWN, TREAT ALL CORRIDOR WALLS AS TWO HOUR FIRE BARRIERS.
6. WELDING PROCEDURE QUALIFICATIONS AND WELDER QUALIFICATIONS SHALL BE SUBMITTED TO THE ENGINEER PRIOR TO THE START OF ANY FABRICATIONS. PROCEDURES SHALL COMPLY WITH APPLICABLE SECTIONS OF ASME AND ANSI CODES.
7. SUPPORT ALL PIPING FROM BUILDING STRUCTURE, FLOOR OR PAVEMENT. REFER TO SPECIFICATION SECTION PERTAINING TO "SUPPORTS, ANCHORS AND VIBRATION ISOLATION", AND DETAIL DRAWINGS FOR REQUIREMENTS.
8. LABEL ALL EQUIPMENT, PIPES, DUCTS, ETC. IN ACCORDANCE WITH SPECIFICATIONS.
9. PROVIDE WARNING TAPE OR TRACER WIRE IN THE BACKFILL OF ALL PIPE TRENCHES. INSTALL AT LEAST 6 INCHES BELOW GRADE, BUT NOT DEEPER THAN 24 INCHES BELOW GRADE. DIRECTLY OVER PIPING.
- A. METALLIC LINES SHALL BE IDENTIFIED WITH DURABLE PRINTED PLASTIC WARNING TAPES, MINIMUM 3 INCHES WIDE WITH LETTERING TO IDENTIFY BURIED LINE BELOW.
- B. NON-METALLIC PIPES SHALL BE MARKED USING AN APPROVED TRACER. A YELLOW INSULATED COPPER TRACER WIRE OR OTHER APPROVED CONDUCTOR SHALL BE INSTALLED ADJACENT TO AND OVER THE FULL LENGTH OF UNDERGROUND NONMETALLIC PIPING. ACCESS SHALL BE PROVIDED TO THE TRACER WIRE OR THE TRACER WIRE SHALL TERMINATE AT THE CLEANOUT BETWEEN THE BUILDING DRAIN AND THE BUILDING SEWER. THE TRACER WIRE SIZE SHALL NOT BE LESS THAN 14 AWG AND THE INSULATION SHALL BE LISTED FOR DIRECT BURIAL.

10. UNLESS OTHERWISE NOTED, ALL PLUMBING EQUIPMENT SHALL BE MOUNTED ON 4" THICK, 3000 PSI CONCRETE HOUSEKEEPING PADS, MINIMUM 4" LARGER THAN EQUIPMENT ON EACH SIDE.

11. REFER TO PLANS, EQUIPMENT SCHEDULES AND DETAILS FOR CAPACITIES AND ADDITIONAL REQUIREMENTS.

12. INSTALL ALL EQUIPMENT IN COMPLIANCE WITH MANUFACTURER'S WRITTEN RECOMMENDATION AND REQUIREMENTS. IF RECOMMENDATIONS CONFLICT WITH DRAWINGS, REQUEST CLARIFICATIONS FROM ENGINEER BEFORE PROCEEDING.

13. CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY AT THE SITE. PROVIDE BARRICADES AND COVERS AT THE EXCAVATION AREAS AS APPROPRIATE. COMPLY WITH SAFETY REQUIREMENTS OF OSHA, ETC. EXCEPT FOR INTERRUPTIONS SPECIFICALLY PERMITTED BY THE OWNER, VEHICULAR AND PEDESTRIAN TRAFFIC SHALL BE MAINTAINED AT ALL TIMES. COORDINATE WITH THE OWNER.

14. FIELD-VERIFY EXISTING AND COORDINATE NEW EQUIPMENT SIZES WITH ASSOCIATED CONTRACTORS (ELECTRICAL, CASEWORK SUPPLIER, ETC.) AFTER COMPLETION OF SHOP DRAWING REVIEW. ADJUST VOLTAGE RATING, CAPACITY AND SIZE OF WIRING, STARTERS, DISCONNECT SWITCHES AND OVERCURRENT PROTECTION DEVICES AS REQUIRED. NOTIFY ENGINEER OF ANY DISCREPANCIES BEFORE ORDERING SUPPLIES AND START OF CONSTRUCTION. FAILURE TO COMPLY WILL REQUIRE THE CONTRACTOR TO BEAR THE COST FOR CORRECTLY SIZED EQUIPMENT AND WIRING.

15. EQUIPMENT SHALL BE INSTALLED WITH MANUFACTURERS RECOMMENDED SERVICE CLEARANCES OR STATE BUILDING CODE SERVICE CLEARANCES WHICHEVER IS GREATER.

16. WHERE PIPES ARE SHOWN GOING THROUGH A FLOOR, WALL, CEILING, OR THE ROOF THEY SHALL GO BETWEEN JOISTS OR JOISTS AND BEAMS. NO TRUSSES, BEAMS, COLUMNS OR OTHER STRUCTURAL MEMBERS ARE TO BE CUT WITHOUT PRIOR APPROVAL OF THE ENGINEER. EXISTING OPENINGS SHALL BE USED WHERE APPROPRIATE. NEW OPENINGS FOR PIPES SHALL BE CORE DRILLED.

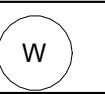
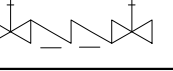
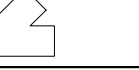
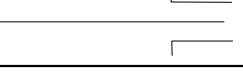
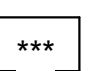
17. THE DELINEATION OF THE WORK BETWEEN THE PLUMBING AND THE ELECTRICAL CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS ESTABLISHED BY THE NC STATE CONSTRUCTION OFFICE. REFER TO SCHEMATIC TITLED "EQUIPMENT WIRING RESPONSIBILITY" ON THIS SHEET.

18. INSTALLING CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO THE ROOF DURING INSTALLATION OF NEW HVAC EQUIPMENT. PROTECT ROOF FROM DAMAGE THROUGHOUT CONSTRUCTION. PROVIDE AS A MINIMUM PRECAUTION 4" X 8" X 1/2" PLYWOOD SHEETS IN WORK AREAS. MAKE PROVISIONS TO AVOID DISPLACEMENT BY POTENTIAL HIGH WINDS. CONTRACTOR TO PHOTOGRAPH EXISTING ROOF CONDITIONS PRIOR TO COMMENCEMENT OF WORK AND PROVIDE THE OWNER AND ENGINEER WITH DIGITAL COPIES OF THE PHOTOS. ALL ROOFING WORK AND REPAIRS SHALL BE DONE ACCORDING TO ROOFING MANUFACTURER'S STANDARDS AND BY A CONTRACTOR CERTIFIED TO WORK ON THIS BRAND OF ROOFING..

ABBREVIATIONS	
A/C	AIR CONDITIONING
ABV	ABOVE
AC	ACRE
ACOUST	ACOUSTICAL
AD	ACCESS DOOR
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
AHU	AIR HANDLING UNIT
ATV	ATMOSPHERIC VENT
BBD	BOILER BLOWDOWN
BD	BOARD
BFF	BELOW FINISH FLOOR
BOTM	BOTTOM
BTU	BRITISH THERMAL UNITS
C.O.	CLEAN OUT
C.U.	CONDENSING UNIT
CB	CATCH BASINS
CD	CONDENSATE DRAIN
CEIL	CEILING
CFM	CUBIC FEET PER MINUTE
CFS	CUBIC FEET PER SECOND
CHWR	CHILLED WATER RETURN
CHWR	CHILLED WATER REVERSE RETURN
CHWS	CHILLED WATER SUPPLY
COL	COLUMN
CONC	CONCRETE
COND	CONDUIT
CONST	CONSTRUCTION
CONT	CONTINUOUS
CR	CONDENSATE RETURN (STEAM)
CW	COLD WATER SUPPLY
CWR	CONDENSTER WATER RETURN
CWS	CONDENSER WATER SUPPLY
DDC	DIRECT DIGITAL CONTROL
DEPT	DEPARTMENT
DET	DETAIL
DIA	DIAMETER
DMC	DOMESTIC COLD
DN	DOWN
DTR	DUAL TEMP. RETURN

DTRR	DUAL TEMP. REVERSE RETURN
DTS	DUAL TEMP. SUPPLY
DWGS	DRAWING
E.C.	ELECTRICAL CONTRACTOR
EA.	EACH
EDC	ELECTRIC DUCT COIL
EH	ELECTRIC HEATER
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRICAL
EMCS	ENERGY MANAGEMENT CONTROL SYSTEM
EQ	EQUAL
EQUIP	EQUIPMENT
EXIST	EXISTING
FCC	FAN COIL CONTRACTOR PANEL
FCU	FAN COIL UNIT
FD	FLOOR DRAIN
FIN	FINISH
FL	FLOOR
FPS	FEET PER SECOND
FR	FIRE RESISTANT
FT	FOOT
G	GAS
G.C.	GENERAL CONTRACTOR
GA	GAUGE
GALV	GALVANIZED
GSHP	GROUND SOURCE HEAT PUMP
HORIZ	HORIZONTAL
HP	HORSEPOWER
HP-__	HEAT PUMP - #
HPS	HIGH - PRESSURE STEAM
HR	HOUR
HTWR	HOT WATER RETURN (HEATING)
HTWRR	HOT WATER REVERSE RETURN (HEATING)
HTWS	HOT WATER SUPPLY (HEATING)
HVAC	HEATING, VENTILATING & AIR CONDITIONING
HW	DOMESTIC HOT WATER
JST	JOIST
LG	LONG
LPS	LOW - PRESSURE STEAM
M.C.	MECHANICAL CONTRACTOR

MANUF.	MANUFACTURER
MAS	MASONRY
MAX.	MAXIMUM
MBTU	THOUSAND BRITISH THERMAL UNITS
MECH	MECHANICAL
MET	METAL
MIN	MINIMUM
MPS	MEDIUM PRESSURE STEAM
MU	MAKEUP WATER
O.A.	OUTDOOR AIR
O.C.	ON CENTER
OZ	OUNCE
P.C.	PLUMBING CONTRACTOR
PC	PUMPED CONDENSATE
PERIM	PERIMETER
PSI	POUNDS PER SQUARE INCH
PVMT	PAVEMENT
R.A.	RELIEF AIR
R.V.	RELIEF VENT
REFRIG	REFRIGERANT
REINF	REINFORCING
REQ'D	REQUIRED
RET. A.	RETURN AIR
RM	ROOM
S.F.	SQUARE FOOT
SCHED	SCHEDULE
SHT. MET.	SHEET METAL
SPECS	SPECIFICATIONS
SPRN	FIRE PROTECTION SPRINKLER PIPING
SQ. IN.	SQUARE INCH
STL	STEEL
STM	STORM
STRUCT	STRUCTURAL
TLT	TOILET
TYP	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
UL	UNDERWRITERS LABORATORIES
W/	WITH
WWF	WELDED WIRE FABIC

PLUMBING LEGEND		
SYMBOL	ABBREVIATION	COMPONENT
— — — — —	DHC	HOT WATER RECIRC PIPING
— — — — —	DHW	HOT WATER PIPING
— — — — —	DCW	COLD WATER PIPING
- - - - -	V	VENT PIPING
— — — — —	SAN	SANITARY DRAIN PIPING
	CO or XCO	FLOOR CLEANOUT (CO) OR EXTERIOR CLEANOUT (XCO)
	WHA	WATER HAMMER ARRESTOR
	WCO	WALL CLEANOUT
	HB	HOSE BIBB
 FD	FD	FLOOR DRAIN OR FUNNEL AS INDICATED.
	WM	WATER METER
	BFP	BACK FLOW PREVENTER
	STR	STRAINER
	VTR	VENT THRU ROOF
		FIXTURE NUMBER REFER TO PLUMBING SCHEDULES
		POINT OF CONNECTION, NEW / EXISTING
		BALL VALVE
— NG —	NG	NATURAL GAS

SANITARY SEWER PIPING EVALUATION AND ALLOWANCE

1. AT THE BEGINNING OF THE PROJECT THE CONTRACTOR SHALL RUN A CAMERA THROUGH EACH SANITARY SEWER PIPE BELOW THE FLOOR SLABS AND WITHIN 10 FEET OF THE BUILDING TO DETERMINE THE CONDITION OF THE PIPING. A REPORT DOCUMENTING THE CONDITION OF THESE PIPES SHALL BE PROVIDED TO THE DESIGNERS. THIS EVALUATION SHALL BE INCLUDED IN THE BASE BID.
2. PIPING WHICH IS DETERMINED TO BE IN POOR CONDITION, SHALL BE REPLACED DURING THE WORK PHASE ASSIGNED TO THAT PART OF THE BUILDING. DOCUMENTATION OF MATERIALS AND LABOR REQUIRED FOR THIS SHALL BE PROVIDED IN THE FORM OF CHANGE ORDERS WHICH WILL BE CHARGED AGAINST THE SANITARY SEWER ALLOWANCE IF APPROVED.

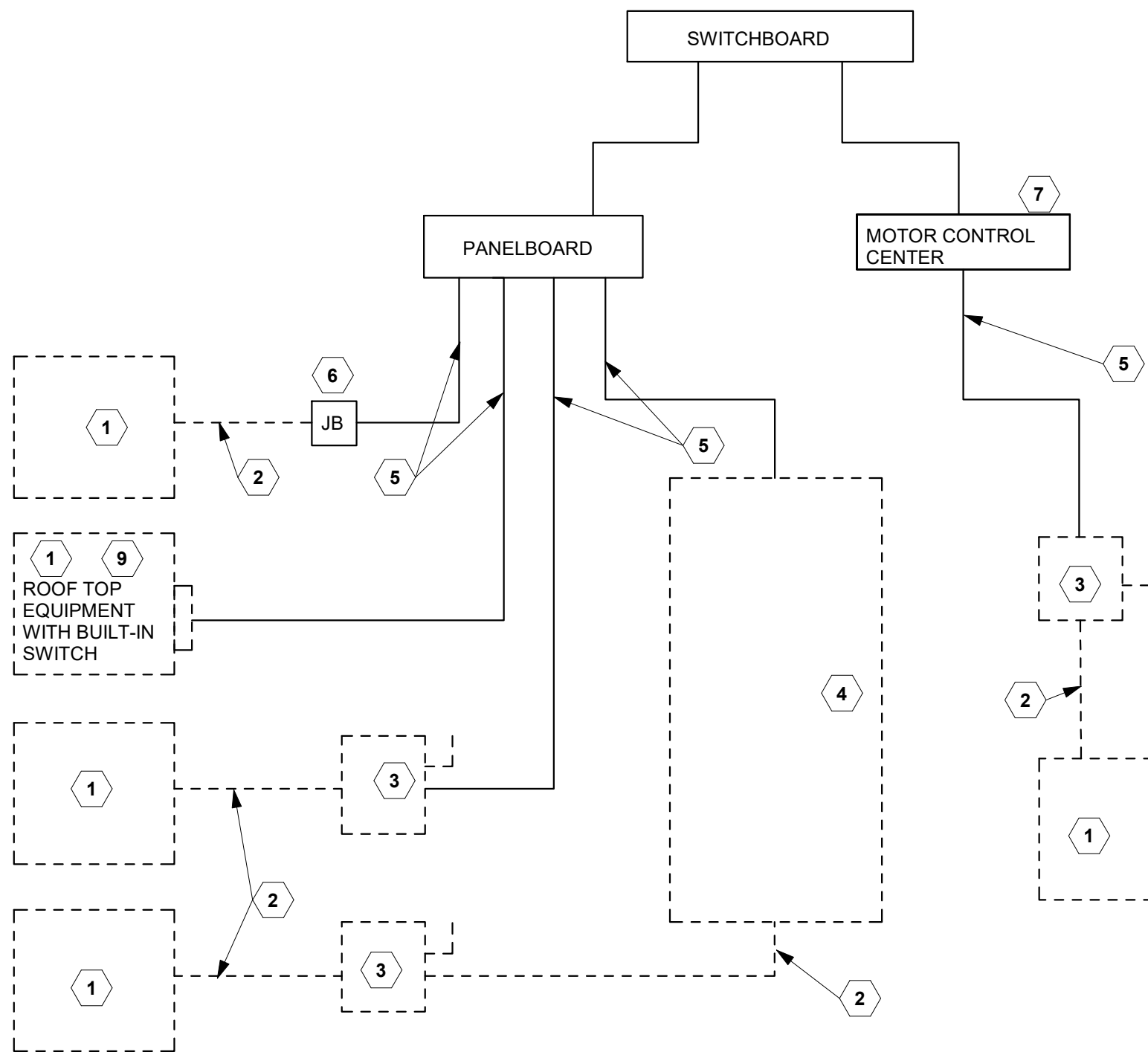
NOTE:
ALL PROJECTS REQUIRE COORDINATION AND COOPERATION AMONG THE DISCIPLINES. CONTRACTORS SHALL COORDINATE LOCATIONS AND SEQUENCE OF INSTALLATION OF THEIR RESPECTIVE EQUIPMENT, PIPES, CONDUITS, DUCTS, ETC. WITH ALL DISCIPLINES. DO NOT BEGIN FABRICATION OR INSTALLATION UNTIL ALL ROUTING AND POTENTIAL CONFLICT ISSUES HAVE BEEN RESOLVED. ANY REMOVAL AND REINSTALLATION OF NEWLY INSTALLED ITEMS TO RESOLVE CONFLICTS SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER OR DESIGNERS.

PHASING:
REFER TO SHEET PH-100 OF THE ARCHITECTURAL DRAWINGS FOR A GRAPHIC REPRESENTATION OF THE PHASING OF THIS PROJECT. REFER TO THE SPECIFICATIONS FOR MORE DETAILED DESCRIPTIONS OF PHASING. WHERE WORK IN A PHASE INTERRUPTS PLUMBING SERVICES TO AN OCCUPIED AREA, MINIMIZE THE TIME REQUIRED FOR A SHUT-DOWN AND COORDINATE THE TIMING WITH THE OWNER.

PLUMBING FIXTURE LOADS	
WATER SUPPLY FIXTURE UNITS	335
DRAINAGE FIXTURE UNITS	246

ELECTRICAL NOTES

- 1 EQUIPMENT OF TRADES OTHER THAN ELECTRICAL.
- 2 CONDUIT AND WIRING BY HVAC, PLUMBING CONTRACTOR OR OTHER TRADES.
- 3 IF AN ADDITIONAL DISCONNECT IS REQUIRED BY NEC IT SHALL BE PROVIDED AND INSTALLED BY THE EQUIPMENT CONTRACTOR.
- 4 A COMBINATION STARTER OR VFD MAY BE USED IN LIEU OF A SEPARATE DISCONNECT SWITCH AND STARTER. LOCATE ADJACENT TO THE EQUIPMENT.
- 5 FEEDER CIRCUIT WIRING AND CONDUIT IN ELECTRICAL WORK. SEE PANELBOARD SCHEDULES FOR WIRE AND BREAKER SIZES.
- 6 JUNCTION BOX MAY BE SHOWN ON THE ELECTRICAL PLANS FOR SOME EQUIPMENT. IF NO STARTER OR DISCONNECT IS SUPPLIED A JUNCTION BOX SHALL BE INSTALLED ADJACENT TO THE EQUIPMENT. THE ELECTRICAL CONTRACTOR SHALL PROVIDE LINE SIDE WIRING TO THE JUNCTION BOX. LOAD SIDE WIRING WILL BE PROVIDED BY MECHANICAL CONTRACTOR OR OTHER TRADES.
- 7 PROJECTS UTILIZING AN MCC, THE STARTER, CIRCUIT BREAKER OR VFD IN THE MCC ARE PROVIDED BY THE ELECTRICAL CONTRACTOR.
- 8 IN ALL CASES THE EQUIPMENT CONTRACTOR SHALL MAKE FINAL CONNECTIONS, START UP, AND TEST EQUIPMENT.
- 9 IF ROOF TOP EQUIPMENT (RTE) IS NOT PROVIDED WITH A BUILT-IN DISCONNECT SWITCH, THE ELECTRICAL CONTRACTOR SHALL PROVIDE A DISCONNECT SWITCH.
- 10 IN A SINGLE PRIME CONTRACT, IT IS THE RESPONSIBILITY OF THE PRIME CONTRACTOR TO COORDINATE BETWEEN THE ELECTRICAL AND OTHER TRADES.



1 PLUMBING ELECTRICAL EQUIPMENT CONNECTION
1/2" = 1'-0"



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PLUMBING COVER

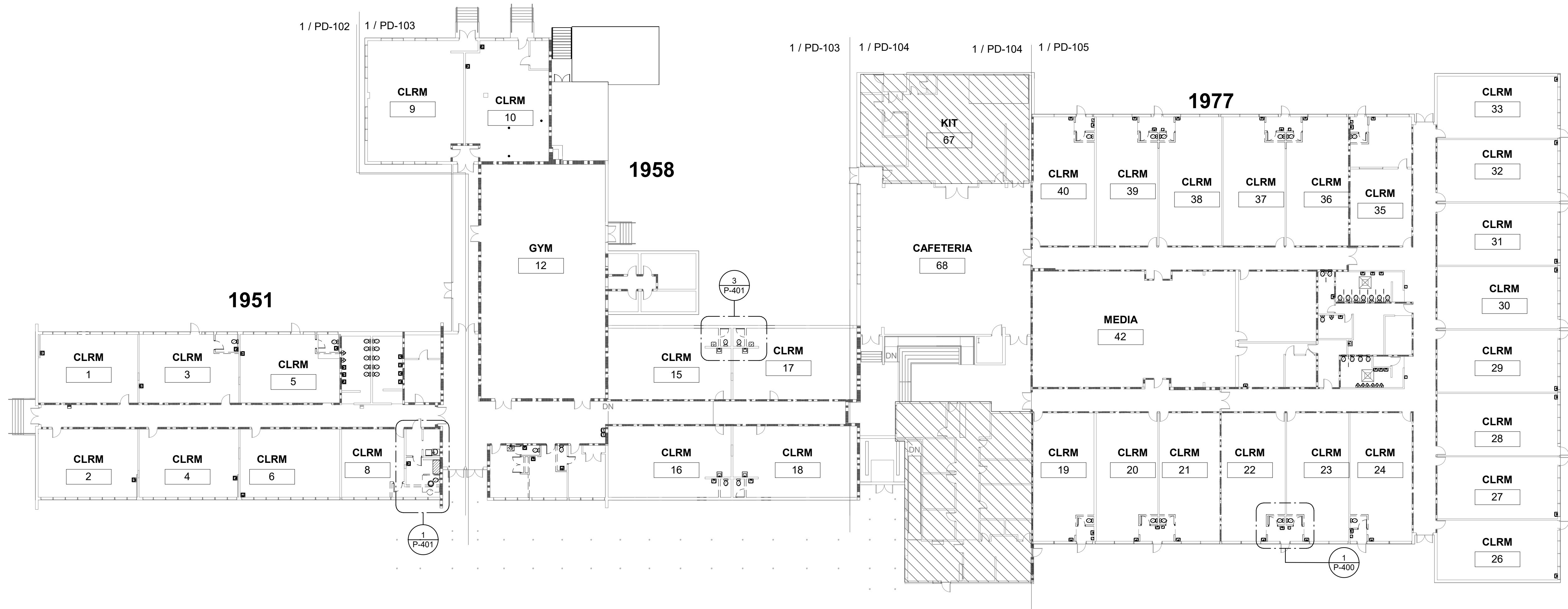
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Revision		
ID	Date	Description

PROJECT NUMBER NC33X001
REVIEWED BY I.S.
DESIGNED BY DMD
DRAWN BY JWS
DRAWING DATE 02-26-2024

SHEET NUMBER

P-100



1 OVERALL FLOOR PLAN - DEMOLITION
3/64" = 1'-0"

NOTE:

THE PURPOSE OF THIS SHEET IS TO GIVE AN OVERALL VIEW OF THE BUILDING WITH MATCH LINES AND CALLOUTS FOR LARGER SCALE DRAWINGS.

FIRE RATED LEGEND

	1 HOUR FIRE RATED BARRIER
	2 HOUR FIRE RATED WALL



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OVERALL FLOOR PLAN - DEMOLITION

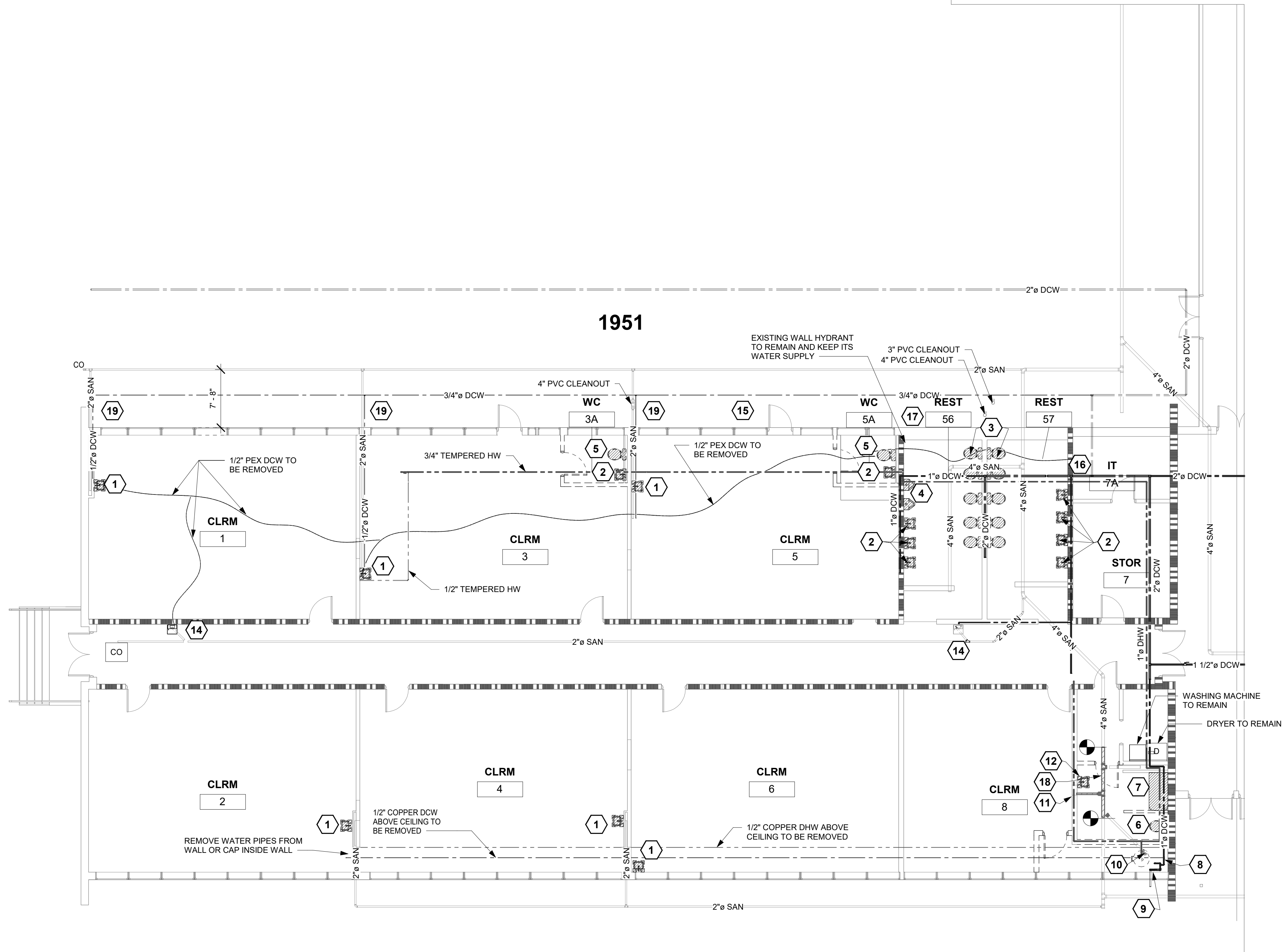
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PROJECT NUMBER NC33X001	
REVIEWED BY	I.S.
DESIGNED BY	DMD
DRAWN BY	JWS
DRAWING DATE	02-26-2024
SHEET NUMBER	

PD-101

1 AREA A-1 FLOOR PLAN - DEMOLITION
1/8" = 1'-0"



FIRE RATED LEGEND	
	1 HOUR FIRE RATED BARRIER
	2 HOUR FIRE RATED WALL

PROJECT NOTES

1. THE EXISTING PLUMBING SYSTEM LAYOUT WAS OBTAINED FROM DRAWINGS AND INFORMATION PROVIDED BY THE OWNER, WITH SOME ADJUSTMENTS FOR FIELD OBSERVATIONS. NOT ALL DETAILS OF THE EXISTING SYSTEM WERE VERIFIED BY THE DESIGNER. NOT ALL EXISTING PIPES OR EQUIPMENT ARE SHOWN.
2. EXISTING PLUMBING SYSTEM COMPONENTS SHOWN, BUT NOT CALLED OUT TO BE REMOVED OR RELOCATED, SHALL REMAIN AND BE PROTECTED FROM DAMAGE. ALL LIGHTS, PLUMBING/MECHANICAL/ELECTRICAL EQUIPMENT, DUCTS, CABLE TRAYS, CABLES, CONDUIT, THERMOSTATS, PIPES, INSULATION, AND OTHER EQUIPMENT WHICH ARE TO REMAIN SHALL BE PROTECTED FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION WORK. ANYTHING DAMAGED WILL HAVE TO BE REPLACED OR REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
3. REMOVE FIXTURES AND PIPING INDICATED TO BE DEMOLISHED OR RELOCATED. REMOVE ALL HANGERS, BRACKETS, SUPPORTS, AND OTHER APPURTENANCES ASSOCIATED WITH ITEMS CALLED OUT TO BE REMOVED OR RELOCATED.
4. ALL DEMOLISHED MATERIAL AND EQUIPMENT SHALL BE REMOVED FROM THE JOBSITE AND DISPOSED OF OFFSITE BY LEGAL MEANS. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS TO FACILITATE REMOVAL AND DISPOSAL.
5. GC IS TO PATCH HOLES LEFT BY THE REMOVAL OF ITEMS AND REPAIR DAMAGED SURFACES TO MATCH SURROUNDING MATERIALS.

KEYED NOTES (#)

1. REMOVE SINK MOUNTED IN CASEWORK (CASEWORK NOT SHOWN — REFER TO ARCHITECTURAL DRAWINGS). RETAIN WASTE AND VENT PIPING FOR RECONNECTION TO NEW SINK. PIPING MAY REQUIRE SOME REWORKING TO FIT NEW SINK LOCATIONS. REFER TO P-102 AND PLUMBING FIXTURE SCHEDULE FOR NEW SINK.
2. REMOVE WALL MOUNTED SINK AND RETAIN PIPING FOR RECONNECTION. SOME LOCATIONS WILL REQUIRE REWORKING THE PIPING TO FIT NEW PLACEMENT OF SINK.
3. REMOVE 8 WATER CLOSETS AND FLUSH VALVES. REMOVE OLD SEAL RINGS. RETAIN PIPING FOR RECONNECTION.
4. REMOVE 2 URINALS AND THEIR FLUSH VALVES. RETAIN PIPING FOR RECONNECTION.
5. REMOVE WATER CLOSET AND FLUSH VALVE. REMOVE OLD SEAL RINGS. RETAIN WATER PIPING FOR RECONNECTION. RETAIN WASTE PIPE TO EXTENT POSSIBLE FOR RECONNECTING NEW WATER CLOSET IN DIFFERENT BUT NEARBY LOCATION.
6. REMOVE WATER CLOSET AND FLUSH VALVE. CAP OR PLUG WASTE PIPE BELOW FLOOR. REMOVE WATER PIPE BACK TO TEE BEHIND WATER HEATER IN ADJACENT ROOM AND CAP PIPE.
7. REMOVE BATH TUB AND ASSOCIATED FAUCET AND SHOWER HEAD. REMOVE WATER PIPING BACK TO TEES AND CAP THE BRANCHES. REMOVE THE DRAIN TO BELOW THE FLOOR AND CAP OR PLUG. LEAVE ANY WATER, WASTE, OR VENT PIPING THAT SERVES THE WASHING MACHINE.
8. ELECTRIC WATER HEATER TO BE REMOVED. REMOVE POWER WIRING TO DISCONNECT. ON WALL BESIDE WATER HEATER, COLD WATER SUPPLY PIPING TO BE REMOVED TO TEE AT COLD WATER MAIN RISER AND CAPPED. HOT WATER SUPPLY PIPE TO BE REMOVED TO ABOVE LOCATION OF NEW WATER HEATER. REFER TO P-102 FOR LOCATION OF NEW WATER HEATER. REMOVE 1/2" HOT AND COLD WATER PIPES THAT TAP OFF NEAR THE WATER HEATER AND GO ABOVE THE CEILING AND ACROSS CLASSROOM 8.
9. AN EXISTING 2" DOMESTIC COLD WATER SERVICE COMES UP THROUGH THE FLOOR TO 15" AFF, APPROXIMATELY 28" FROM THIS CORNER, RISES 15" AFF, TURNS HORIZONTAL FOR 28" WITH A VALVE IN THE HORIZONTAL PIPE, THEN TURNS UP AND GOES ABOVE THE CEILING IN THIS CORNER. THERE IS A 1" BRANCH TO THE WATER HEATER AND WATER CLOSET APPROXIMATELY 41" AFF. THIS PIPING IS TO REMAIN AND BE REINSULATED.
10. FLOOR DRAIN TO BE REMOVED. CAP OR PLUG PIPE BELOW FLOOR.
11. REMOVE DCW, DHW, AND WASTE STUB-OUTS FROM SINK THAT HAS ALREADY BEEN REMOVED. REMOVE WATER PIPES TO TEE ABOVE CEILING AND CAP. CAP WASTE PIPE INSIDE WALL.
12. REMOVE SINK MOUNTED IN CASEWORK (CASEWORK NOT SHOWN — REFER TO ARCHITECTURAL DRAWINGS). REMOVE WATER PIPING TO TEE ABOVE CEILING AND CAP. REMOVE WASTE PIPE TO INSIDE WALL AND CAP.
13. ELECTRIC DRINKING FOUNTAIN TO BE REMOVED. RETAIN DCW PIPE FOR RECONNECTION.
14. ELECTRIC DRINKING FOUNTAIN TO REMAIN AND BE PROTECTED.
15. DRAWINGS WERE NOT AVAILABLE THAT SHOW HOW THE PLUMBING WAS RUN WHEN THE TOILET ROOMS IN CLASSROOMS 3 AND 5 WERE ADDED. THE CLEANOUTS OBSERVED OUTSIDE THE BUILDING HAVE BEEN NOTED. THE PIPING WILL HAVE TO BE FIELD LOCATED AND REWORKED TO SUIT NEW FIXTURE LOCATIONS.
16. 1 / 2" PEX PIPE IS CONNECTED TO A COPPER PIPE APPROXIMATELY 2' AFF AND EXTENDS ABOVE CEILING. DISCONNECT IT ABOVE THE VALVE AND CAP. REMOVE THE PEX PIPE AND ITS INSULATION. CHECK THE REST OF THE WATER PIPING IN THIS ROOM TO SEE IF IT IS ACTIVE, AND REMOVE ALL THAT IS NOT ACTIVE.
17. REMOVE THERMOSTATIC MIXING VALVE THAT IS LOCATED ABOVE THE CEILING IN THIS CORNER. CONNECT THE TEMPERED WATER PIPE DIRECTLY TO THE HOT WATER SUPPLY. THERE WILL BE POINT OF USE THERMOSTATIC MIXING VALVES AT NEW SINKS. RETAIN THE COLD WATER SUPPLY FOR REUSE. REPAIR RATED WALL.
18. REMOVE SECTION OF 4" SANITARY WASTE IN PREPARATION FOR CONNECTING NEW FLOOR DRAIN. CAP THE BRANCHES FROM THE OLD FLOOR DRAIN AND SINKS THAT ARE BEING ABANDONED IN PLACE. MINIMIZE THE TIME THIS SECTION IS MISSING SINCE THIS WORK IS BEING DONE IN PHASES AND WASTE FROM THE ADJACENT SECTION OF THE BUILDING COMES THROUGH THIS PIPE.
19. THESE WATER LINES ARE BELIEVED TO HAVE BEEN ABANDONED. ANY REMNANTS INSIDE THE BUILDING ARE TO BE REMOVED.



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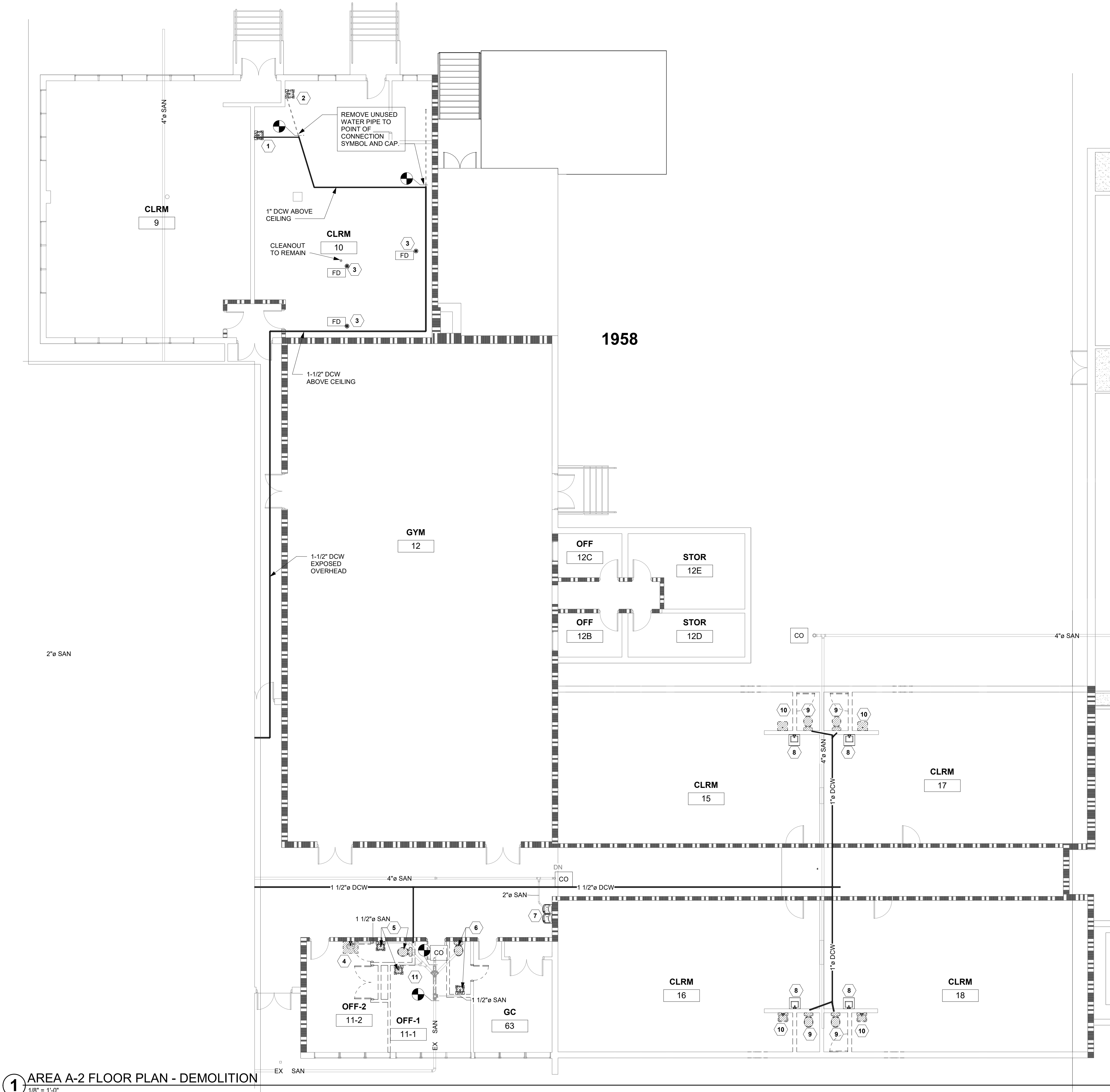
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AREA A-1 FLOOR PLAN - DEMOLITION

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Revision		
ID	Date	Description

PROJECT NUMBER NC33X001
REVIEWED BY I.S.
DESIGNED BY DMD
DRAWN BY JWS
DRAWING DATE 02-26-2024
SHEET NUMBER

PD-102



PROJECT NOTES

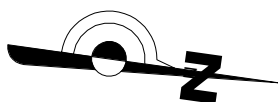
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3. REMOVE FIXTURES AND PIPING INDICATED TO BE DEMOLISHED OR RELOCATED. REMOVE ALL HANGERS, BRACKETS, SUPPORTS, AND OTHER APPURTENANCES ASSOCIATED WITH ITEMS CALLED OUT TO BE REMOVED OR RELOCATED.
4. ALL DEMOLISHED MATERIAL AND EQUIPMENT SHALL BE REMOVED FROM THE JOBSITE AND DISPOSED OF OFFSITE BY LEGAL MEANS. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS TO FACILITATE REMOVAL AND DISPOSAL.
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KEYED NOTES (#)

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2. REMOVE SINK MOUNTED IN CASEWORK (CASEWORK NOT SHOWN — REFER TO ARCHITECTURAL DRAWINGS). CAP WASTE PIPE IN WALL SINCE THERE IS NO REPLACEMENT GOING HERE. WATER PIPE TO BE CAPPED WHERE IT BRANCHES FROM SOURCE ABOVE CEILING.
3. FLOOR DRAIN TO BE REMOVED. CAP OR PLUG PIPE BELOW FLOOR.
4. SINK IN VANITY TO BE REMOVED. DISCONNECT ITS COLD-WATER PIPE AND REMOVE BACK TO TEE ABOVE CEILING AND CAP. REMOVE THE WASTE PIPE TO WHERE IT TIES IN WITHIN THE ADJACENT TOILET ROOM.
5. REMOVE TWO WALL HUNG SINKS AND ONE FLOOR MOUNTED WATER CLOSET. REMOVE WATER PIPING TO ABOVE CEILING AND PRESERVE MAIN BRANCH FOR RECONNECTING ONE SINK AND ONE WATER CLOSET. CAP WASTE PIPE INSIDE WALL THAT IS TO REMAIN. CAP WASTE PIPE FROM SINK BELOW FLOOR WHERE WALL IS BEING REMOVED. REMOVE WATER CLOSET FLOOR SEAL AND PLUG OR CAP PIPE BELOW FLOOR. VENT THROUGH ROOF TO REMAIN FOR RECONNECTION.
6. REMOVE ONE WALL HUNG SINK AND ONE FLOOR MOUNTED WATER CLOSET. REMOVE WATER PIPING TO ABOVE CEILING AND CAP WITHIN 6" OF WHERE IT TEES OFF FROM MAIN. REMOVE WATER CLOSET FLOOR SEAL. PLUG OR CAP WASTE PIPES BELOW FLOOR.
7. DUAL ELECTRIC DRINKING FOUNTAINS TO REMAIN AND BE PROTECTED.
8. EXISTING SINK IN CASEWORK TO REMAIN (CASEWORK NOT SHOWN — REFER TO ARCHITECTURAL DRAWINGS).
9. FLOOR MOUNTED TANK-TYPE WATER CLOSET TO BE REMOVED. RETAIN WATER PIPING, WASTE PIPING, AND VENT PIPING FOR CONNECTION TO NEW WATER CLOSET WITH SOME REWORK NEEDED FOR SLIGHTLY DIFFERENT LOCATION OF NEW FLUSH VALVE WATER CLOSET. REFER TO CONSTRUCTION DRAWINGS.
10. REMOVE WALL HUNG SINK AND RETAIN PIPING TO BE REWORKED FOR NEW SINK IN NEW LOCATION. REFER TO CONSTRUCTION DRAWINGS.
11. REMOVE PORTION OF 4" SANITARY WASTE PIPE AND THE Y FITTINGS WHERE THE BRANCHES CONNECT BETWEEN THE TWO POINT OF CONNECTION SYMBOLS.

FIRE RATED LEGEND

- 1 HOUR FIRE RATED BARRIER
- 2 HOUR FIRE RATED WALL



1 AREA A-2 FLOOR PLAN - DEMOLITION
1/8" = 1'-0"



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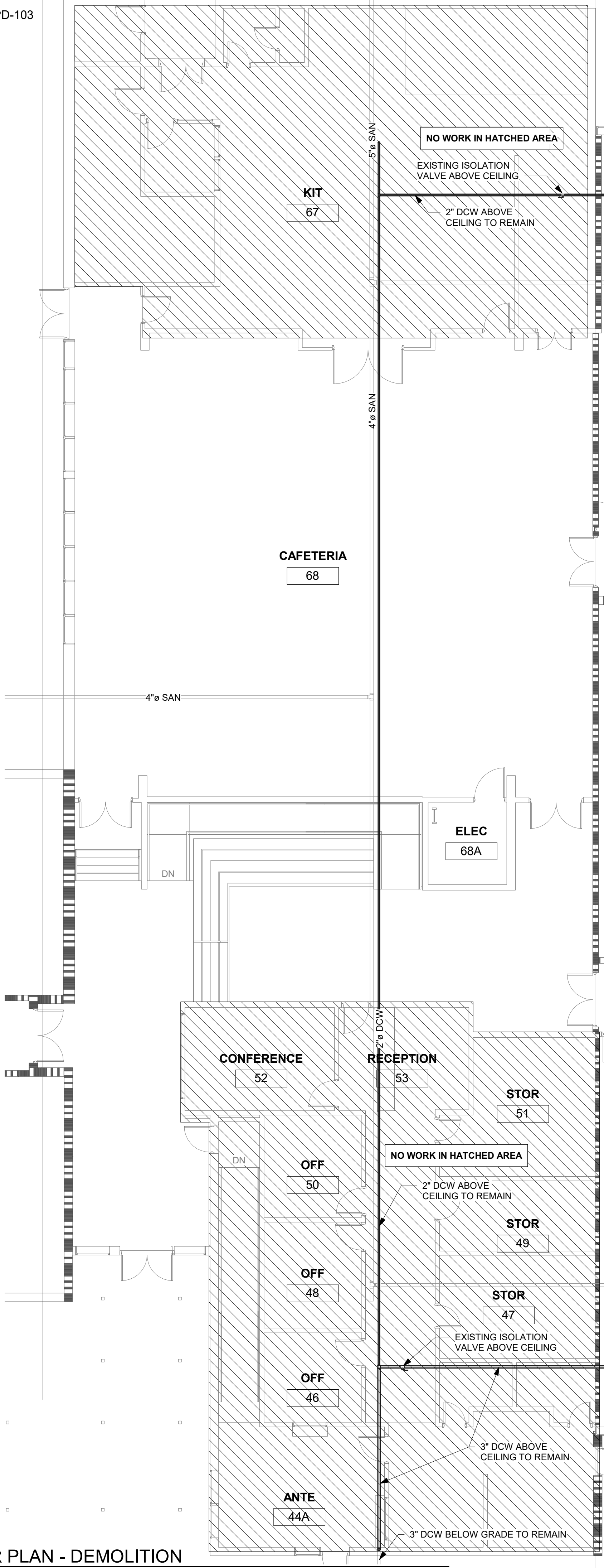
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AREA A-2 FLOOR PLAN - DEMOLITION

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Revision		
ID	Date	Description

PROJECT NUMBER NC33X001
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DESIGNED BY DMD
DRAWN BY JWS
DRAWING DATE 02-26-2024
SHEET NUMBER

PD-103

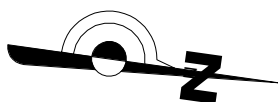


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FIRE RATED LEGEND

- 1 HOUR FIRE RATED BARRIER
- 2 HOUR FIRE RATED WALL



1 AREA B-1 FLOOR PLAN - DEMOLITION
1/8" = 1'-0"



SUD ASSOCIATES, P.A.

CONSULTING ENGINEERS

LICENSE NO. C-40315

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AREA B-1 FLOOR PLAN - DEMOLITION

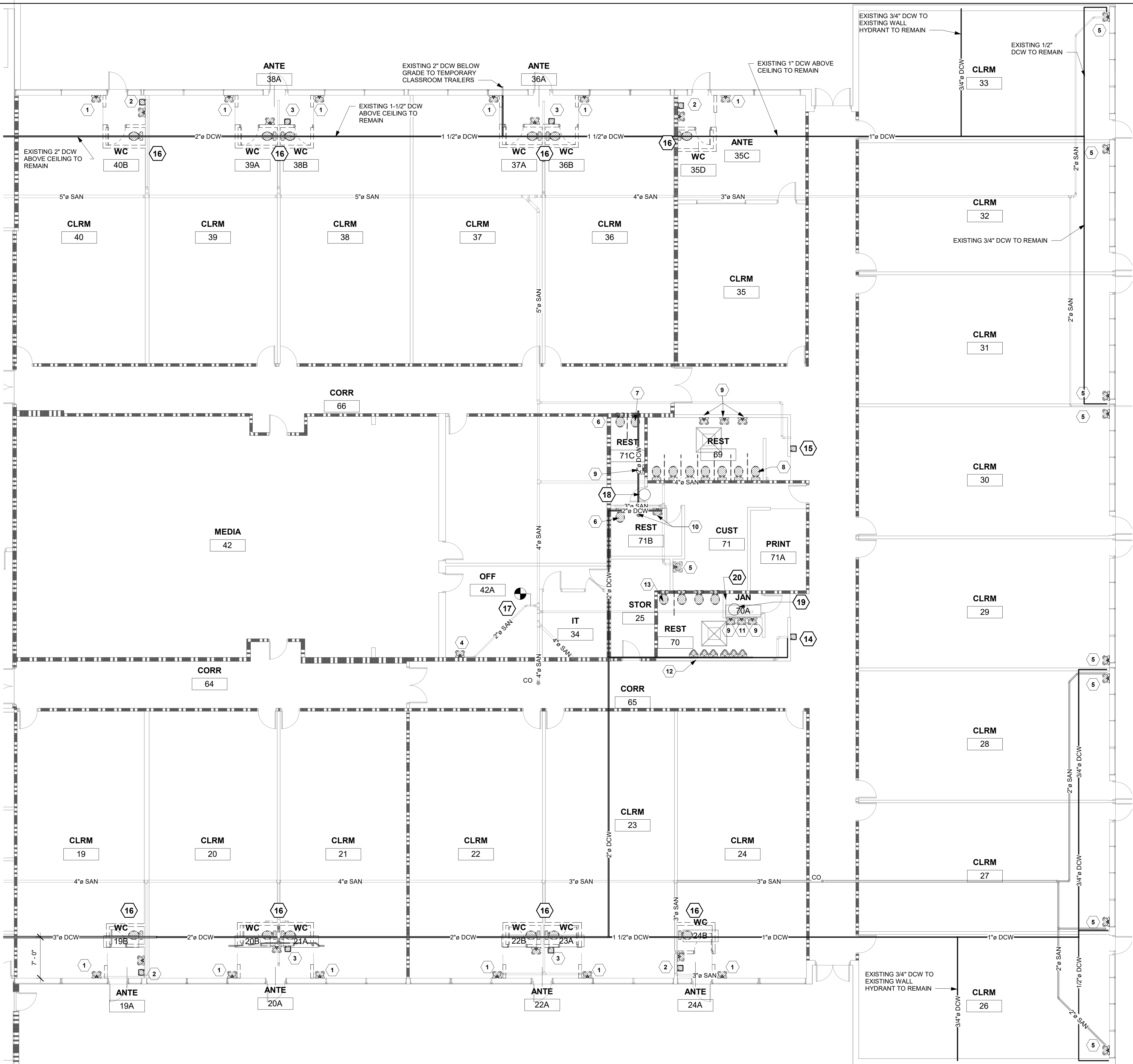
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Revision		
ID	Date	Description

PROJECT NUMBER	NC33X001
REVIEWED BY	I.S.
DESIGNED BY	DMD
DRAWN BY	JWS
DRAWING DATE	02-26-2024

SHEET NUMBER

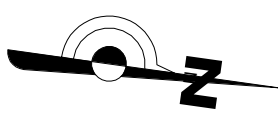
PD-104



1 AREA B-2 FLOOR PLAN - DEMOLITION
1/8" = 1'-0"

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 - GC IS TO PATCH HOLES LEFT BY THE REMOVAL OF ITEMS AND REPAIR DAMAGED SURFACES TO MATCH SURROUNDING MATERIALS.
- KEYED NOTES (#)
- REMOVE SINK MOUNTED IN CASEWORK (CASEWORK NOT SHOWN — REFER TO ARCHITECTURAL DRAWINGS). REMOVE COLD-WATER PIPING TO ABOVE CEILING. REFER TO KEYED NOTE 16. REMOVE WASTE TO BELOW FLOOR AND CAP OR PLUG.
 - REMOVE ELECTRIC WATER COOLER. REMOVE ITS COLD-WATER PIPING TO ABOVE CEILING. REFER TO KEYED NOTE 16. REMOVE ITS DRAIN PIPE TO THE WALL. INSTALL A WALL CLEANOUT WHERE THE DRAIN WAS REMOVED.
 - REMOVE TWO FLOOR MOUNTED WATER CLOSETS, ONE WALL MOUNTED SINK, AND ONE ELECTRIC WATER COOLER. REMOVE COLD-WATER PIPING TO ABOVE CEILING AND RETAIN 1-1/4" BRANCH PIPE TO FEED NEW FIXTURES. REMOVE WASTE PIPING TO BELOW FLOOR. WASTE PIPING WILL NEED TO BE RECONFIGURED FOR NEW LOCATIONS OF FIXTURES. REMOVE VENT PIPES TO ABOVE CEILING AND RETAIN 3" VENT THROUGH ROOF FOR RECONNECTION.
 - REMOVE SINK MOUNTED IN CASEWORK (CASEWORK NOT SHOWN — REFER TO ARCHITECTURAL DRAWINGS). CAP WASTE PIPING AT THE WALL. REMOVE AND CAP WATER PIPE NEAR WHERE IT TEES OFF OF MAIN ABOVE THE CEILING.
 - REMOVE SINK MOUNTED IN CASEWORK (CASEWORK NOT SHOWN — REFER TO ARCHITECTURAL DRAWINGS). REMOVE PIPING TO ABOVE CEILING AND RETAIN FOR RECONNECTION OF A NEW SINK. REFER TO SHEET P-105 AND THE PLUMBING SCHEDULES FOR NEW SINK.
 - REMOVE WATER CLOSET AND FLOOR SEAL RING. RETAIN WASTE PIPE IN FLOOR FOR RECONNECTION. RETAIN WATER PIPE FOR RECONNECTION.
 - REMOVE WATER CLOSET AND FLOOR SEAL RING. CAP WASTE PIPE BELOW FLOOR. CAP WATER PIPE ABOVE CEILING WITH AS LITTLE DEADEND PIPE AS POSSIBLE.
 - REMOVE SEVEN FLOOR MOUNTED WATER CLOSETS AND FLOOR SEAL RINGS. REMOVE WATER, WASTE, AND VENT PIPING TO THE EXTENT REQUIRED TO RECONFIGURE THEM FOR SIX NEW WATER CLOSETS IN SLIGHTLY DIFFERENT LOCATIONS.
 - REMOVE WALL HUNG SINK AND RETAIN PIPING AT WALL FOR RECONNECTION OF NEW SINK.
 - REMOVE WALL HUNG URINAL AND SINK. RETAIN ONE WASTE CONNECTION AND ONE WATER CONNECTION TO BE RECONFIGURED FOR CONNECTING ONE NEW SINK. CAP UNUSED WASTE IN WALL. CAP UNUSED WATER ABOVE CEILING WITH AS LITTLE DEAD END PIPE AS POSSIBLE.
 - REMOVE WALL MOUNTED SINK. CAP WASTE PIPING IN THE WALL. REMOVE AND CAP WATER PIPE NEAR WHERE IT TEES OFF OF MAIN ABOVE THE CEILING.
 - REMOVE SIX URINALS. RETAIN PIPING AT WALL FOR RECONNECTION OF NEW URINALS.
 - REMOVE FOUR FLOOR MOUNTED WATER CLOSETS AND FLOOR SEAL RINGS. REMOVE WATER, WASTE, AND VENT PIPING TO THE EXTENT REQUIRED TO RECONFIGURE THEM FOR THREE NEW WATER CLOSETS IN SLIGHTLY DIFFERENT LOCATIONS. CAP UNUSED WATER PIPE ABOVE CEILING WITH AS LITTLE DEADEND PIPE AS POSSIBLE.
 - ELECTRIC DRINKING FOUNTAIN TO REMAIN AND BE PROTECTED.
 - ELECTRIC DRINKING FOUNTAIN TO BE REMOVED. RETAIN PIPING FOR RECONNECTION TO NEW FOUNTAINS.
 - REMOVE WATER PIPING FROM THE FIXTURES UP TO WHERE THEY CONNECT TO THE BRANCH OFF THE MAIN. INSTALL AN ISOLATION VALVE IN THE 1-1/4" BRANCH PIPE FOR EACH PAIR OF TOILET ROOMS AND IN THE 1" BRANCH PIPE FOR A SINGLE TOILET ROOM. THESE WILL BE THE POINT OF CONNECTION FOR THE NEW PIPING OF THE REVISED TOILETS.
 - FIELD LOCATE WHERE THE 2" WASTE CONNECTS TO THE 4" WASTE AND CUT THE FLOOR. DIG DOWN TO THE 2" PIPE, CUT OR DISCONNECT 2" PIPE AND CAP NEAR 4" WASTE. LONG DEAD ENDS ARE NOT ALLOWED BY CODE.
 - REMOVE EXISTING 12 GALLON WATER HEATER FOR RECONNECTION. REMOVE COLD WATER SUPPLY TO WHERE IT BRANCHES OFF MAIN AND CAP THIS BRANCH. REMOVE METAL CHANNELS THAT SUPPORTED THE TANK.
 - REMOVE EXISTING 20 GALLON WATER HEATER AND AUXILIARY DRAIN PAN FROM ABOVE CEILING. RETAIN HOT WATER SUPPLY LINE FOR RECONNECTION. REMOVE COLD WATER SUPPLY TO WHERE IT BRANCHES OFF MAIN AND CAP THIS BRANCH. REMOVE METAL BRACKETS THAT SUPPORTED THE TANK. REMOVE DRAIN PIPE.
 - REMOVE FAUCET OVER JANITOR'S SINK. RETAIN PIPING FOR RECONNECTION.

FIRE RATED LEGEND		
	1 HOUR FIRE RATED BARRIER	
	2 HOUR FIRE RATED WALL	



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Mar 1, 2024

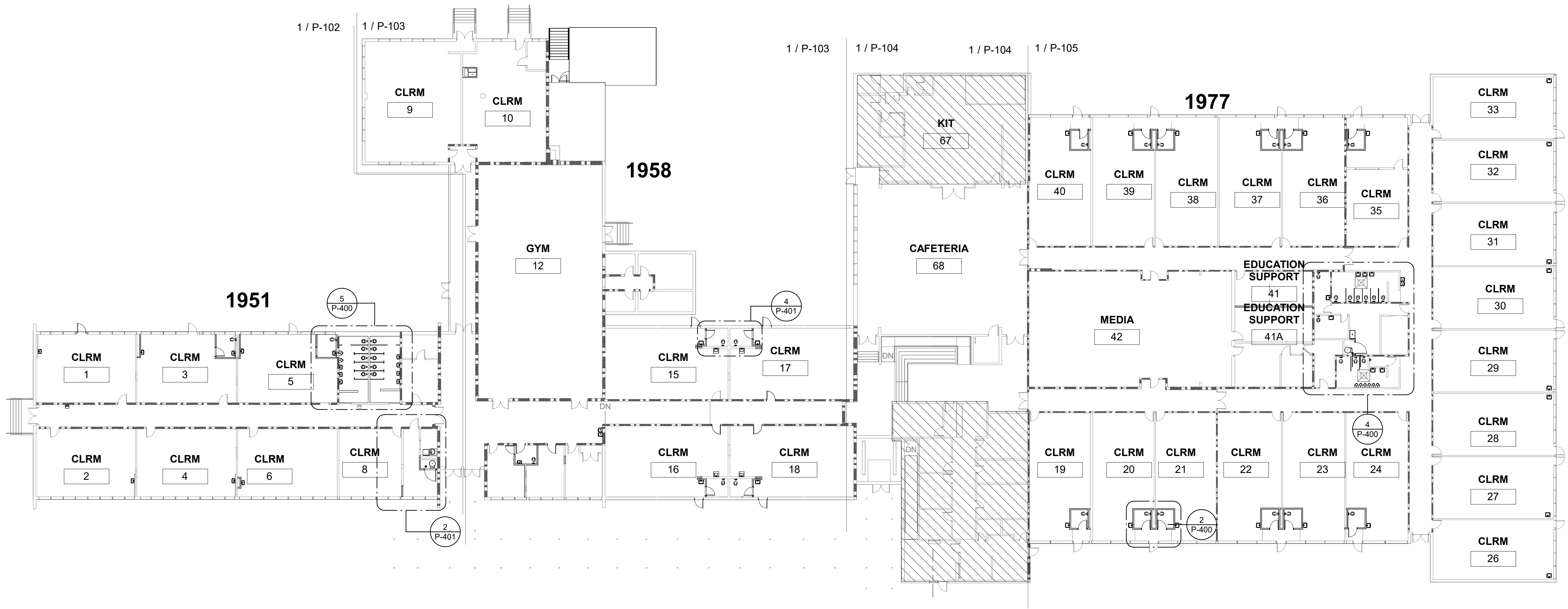
EFLAND-CHEEKS ELEMENTARY SCHOOL
GENERAL RENOVATIONS
ORANGE COUNTY SCHOOLS
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EFLAND, NORTH CAROLINA 27243
AREA B-2 FLOOR PLAN - DEMOLITION

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Revision		
ID	Date	Description

PROJECT NUMBER NC33X001
REVIEWED BY I.S.
DESIGNED BY DMD
DRAWN BY JWS
DRAWING DATE 02-26-2024
SHEET NUMBER

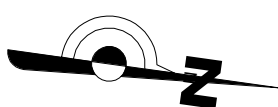
PD-105



1 OVERALL FLOOR PLAN - CONSTRUCTION
3/64" = 1'-0"

NOTE:
1. THE PURPOSE OF THIS SHEET IS TO GIVE AN OVERALL VIEW OF THE BUILDING WITH MATCH LINES AND CALLOUTS FOR LARGER SCALE DRAWINGS.

FIRE RATED LEGEND	
	1 HOUR FIRE RATED BARRIER
	2 HOUR FIRE RATED WALL



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OVERALL FLOOR PLAN - CONSTRUCTION

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Revision		
ID	Date	Description

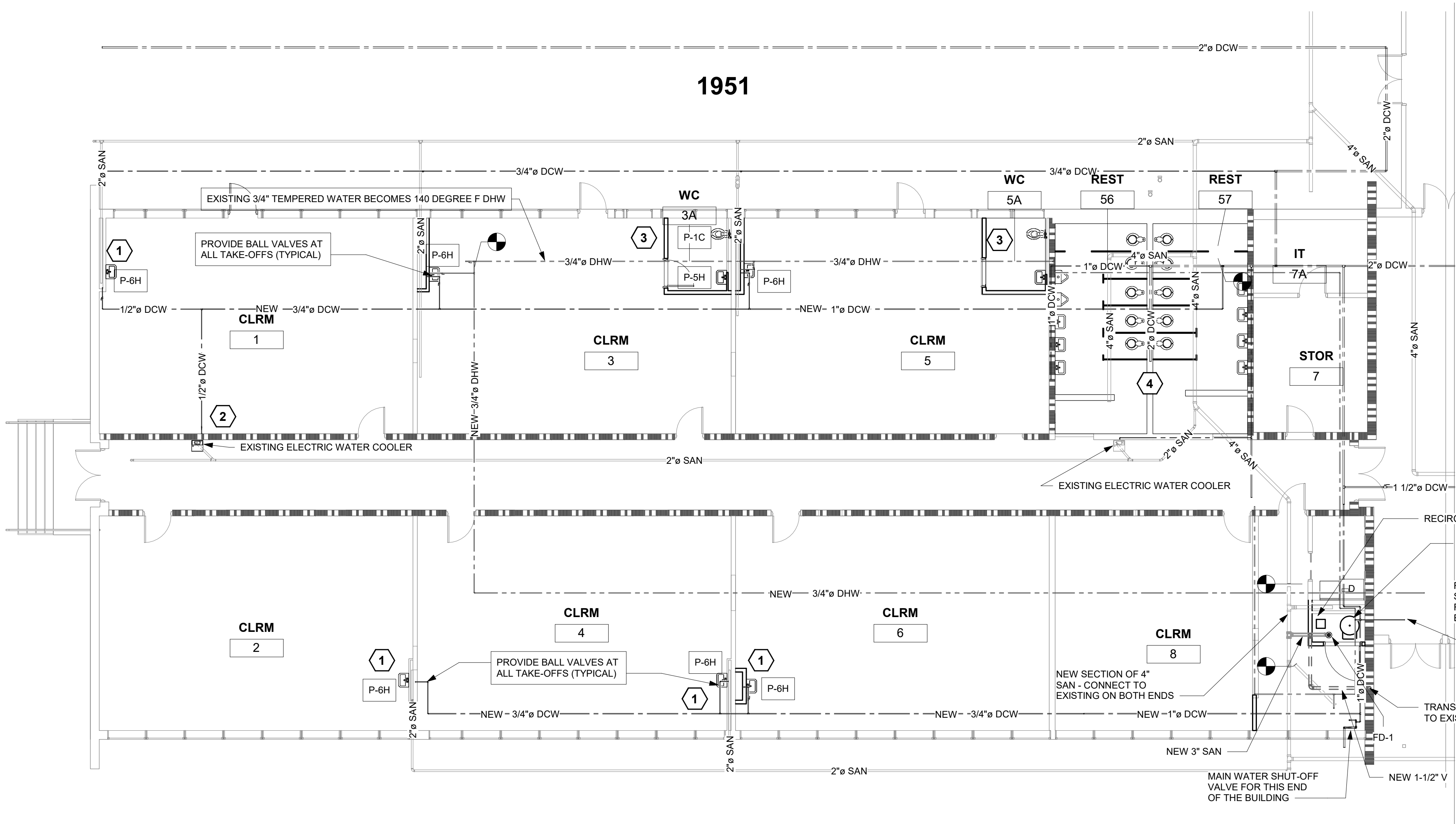
PROJECT NUMBER		NC33X001
REVIEWED BY		I.S.
DESIGNED BY		DMD
DRAWN BY		JWS
DRAWING DATE		02-26-2024
SHEET NUMBER		

P-101

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Mar 1, 2024



1 AREA A-1 FLOOR PLAN - CONSTRUCTION
1/8" = 1'-0"

PROJECT NOTES

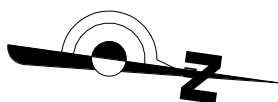
- ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE CURRENT VERSION OF THE NORTH CAROLINA PLUMBING CODE AND APPLICABLE PORTIONS OF OTHER STATE AND LOCAL CODES, AND THE NEC.
- THE EXISTING PLUMBING SYSTEM LAYOUT WAS OBTAINED FROM DRAWINGS AND INFORMATION PROVIDED BY THE OWNER, WITH SOME ADJUSTMENTS FOR FIELD OBSERVATIONS. NOT ALL DETAILS OF THE EXISTING SYSTEM WERE VERIFIED BY THE DESIGNER. NOT ALL EXISTING PIPES OR EQUIPMENT ARE SHOWN.
- EXISTING PLUMBING SYSTEM COMPONENTS SHOWN, BUT NOT CALLED OUT TO BE REMOVED OR RELOCATED, SHALL REMAIN AND BE PROTECTED FROM DAMAGE. ALL LIGHTS, PLUMBING/MECHANICAL/ELECTRICAL EQUIPMENT, DUCTS, CABLE TRAYS, CABLES, CONDUIT, THERMOSTATS, PIPES, INSULATION, AND OTHER EQUIPMENT WHICH ARE TO REMAIN SHALL BE PROTECTED FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION WORK. ANYTHING DAMAGED WILL HAVE TO BE REPLACED OR REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- GC IS TO PATCH HOLES LEFT BY THE REMOVAL OF ITEMS AND REPAIR DAMAGED SURFACES TO MATCH SURROUNDING MATERIALS.
- PROVIDE INSULATION ON NEW COLD, HOT, AND HOT WATER RECIRCULATION PIPING. PROVIDE INSULATION ON EXISTING COLD AND HOT WATER PIPING THAT IS MISSING INSULATION. REPAIR ANY DAMAGED OR LOOSE EXISTING INSULATION ON THE HOT AND COLD WATER PIPES THAT ARE TO REMAIN AND ALREADY HAVE INSULATION.
- NEW PLUMBING PIPING SHALL BE CONCEALED INSIDE WALLS, CHASES, OR ABOVE CEILINGS TO THE EXTENT POSSIBLE. REFER TO SPECIFICATIONS FOR PIPING MATERIAL REQUIREMENTS. INSULATED PLUMBING PIPING EXPOSED TO VIEW SHALL HAVE WHITE PVC JACKETING.
- SOME NEW VENT PIPING MAY BE SHOWN OFFSET OUTSIDE OF WALLS SO IT DOES NOT OBSCURE PIPING BELOW. THE VENT PIPING SHALL BE INSTALLED INSIDE WALLS, CHASES, OR ABOVE CEILINGS.
- REFER TO ENLARGED PLANS, ISOMETRICS, AND SCHEDULES FOR PIPING AND SIZES NOT SHOWN ON THIS SHEET.
- REFER TO PLUMBING FIXTURE SCHEDULE AND PLUMBING SPECIALTIES SCHEDULE FOR ADDITIONAL INFORMATION.

KEYED NOTES **#**

- PROVIDE NEW WALL HUNG LAVATORY AND INSTALL IN THE LOCATION INDICATED. CONNECT TO EXISTING WASTE AND VENT PIPING, MAKING ADJUSTMENTS AS NEEDED. CONNECT TO NEW DCW LINE. PROVIDE ISOLATION VALVE IN DCW LINE ABOVE CEILING. REFER PLUMBING FIXTURE SCHEDULE FOR NEW LAVATORY DESCRIPTION.
- PROVIDE NEW DCW CONNECTION TO EXISTING ELECTRIC WATER COOLER.
- PROVIDE NEW FIXTURES IN NEW LOCATIONS, REWORKING EXISTING DCW, DHW, WASTE, AND VENT PIPING AS REQUIRED.
- PROVIDE NEW FIXTURES IN EXISTING LOCATIONS, CONNECTING TO EXISTING DCW, DHW, WASTE, AND VENT PIPING AS REQUIRED. REFER TO ENLARGED PLAN ON P-400 SERIES SHEETS FOR FIXTURE LAYOUT.

FIRE RATED LEGEND

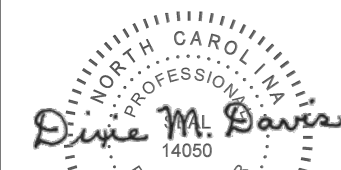
	1 HOUR FIRE RATED BARRIER
	2 HOUR FIRE RATED WALL



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AREA A-1 FLOOR PLAN - CONSTRUCTION

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Revision		
ID	Date	Description

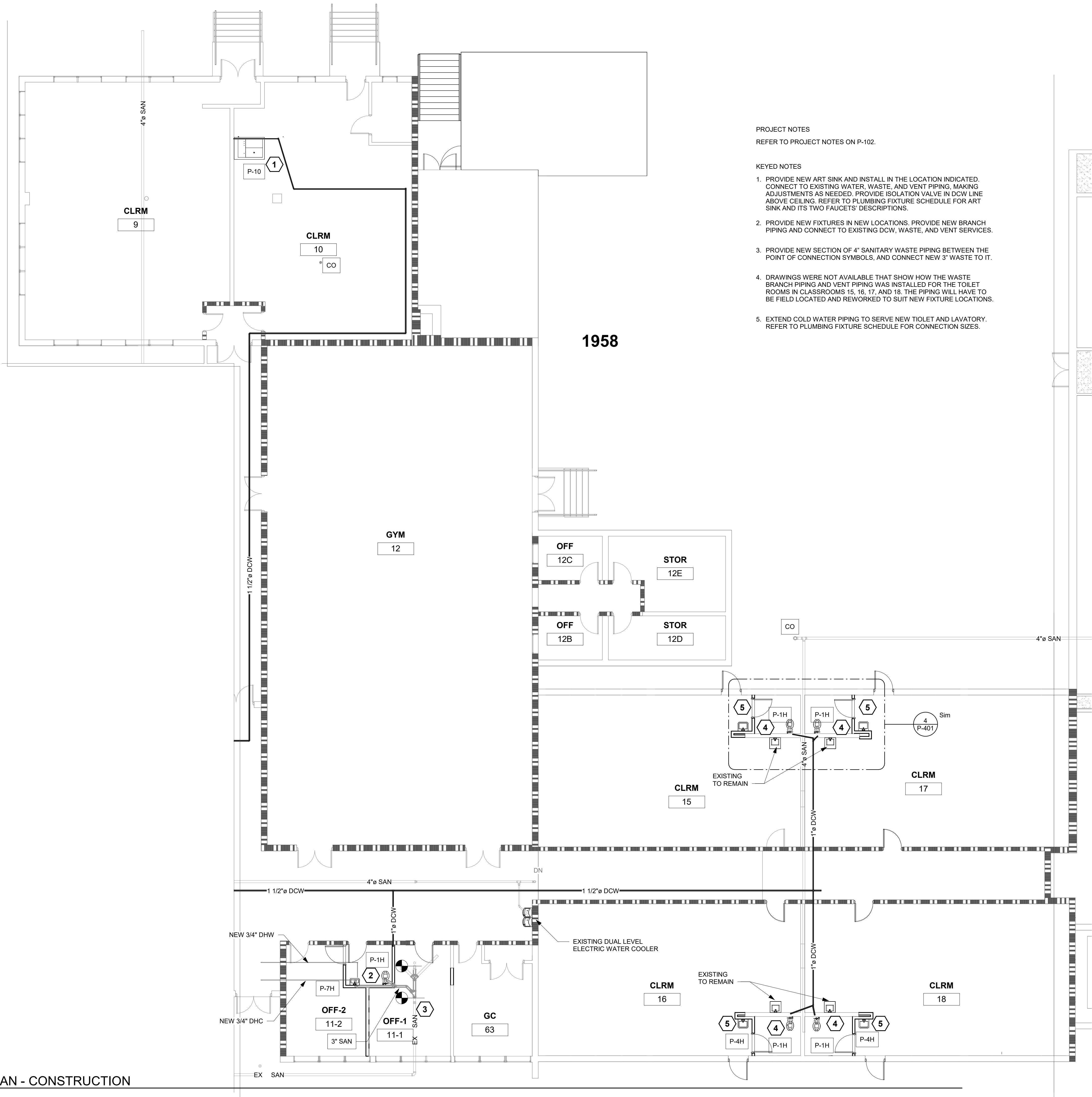
PROJECT NUMBER	NC33X001
REVIEWED BY	I.S.
DESIGNED BY	DMD
DRAWN BY	JWS
DRAWING DATE	02-26-2024

SHEET NUMBER

P-102

1 AREA A-2 FLOOR PLAN - CONSTRUCTION

1/8" = 1'-0"



PROJECT NOTES
REFER TO PROJECT NOTES ON P-102.

- KEYED NOTES
1. PROVIDE NEW ART SINK AND INSTALL IN THE LOCATION INDICATED. CONNECT TO EXISTING WATER, WASTE, AND VENT PIPING, MAKING ADJUSTMENTS AS NEEDED. PROVIDE ISOLATION VALVE IN DCW LINE ABOVE CEILING. REFER TO PLUMBING FIXTURE SCHEDULE FOR ART SINK AND ITS TWO FAUCETS' DESCRIPTIONS.
 2. PROVIDE NEW FIXTURES IN NEW LOCATIONS. PROVIDE NEW BRANCH PIPING AND CONNECT TO EXISTING DCW, WASTE, AND VENT SERVICES.
 3. PROVIDE NEW SECTION OF 4" SANITARY WASTE PIPING BETWEEN THE POINT OF CONNECTION SYMBOLS, AND CONNECT NEW 3" WASTE TO IT.
 4. DRAWINGS WERE NOT AVAILABLE THAT SHOW HOW THE WASTE BRANCH PIPING AND VENT PIPING WAS INSTALLED FOR THE TOILET ROOMS IN CLASSROOMS 15, 16, 17, AND 18. THE PIPING WILL HAVE TO BE FIELD LOCATED AND REWORKED TO SUIT NEW FIXTURE LOCATIONS.
 5. EXTEND COLD WATER PIPING TO SERVE NEW TOILET AND LAVATORY. REFER TO PLUMBING FIXTURE SCHEDULE FOR CONNECTION SIZES.

FIRE RATED LEGEND

- 1 HOUR FIRE RATED BARRIER
- 2 HOUR FIRE RATED WALL



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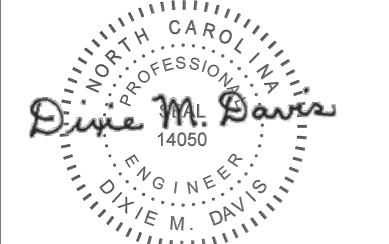
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Revision		
ID	Date	Description

PROJECT NUMBER NC33X001
REVIEWED BY I.S.
DESIGNED BY DMD
DRAWN BY JWS
DRAWING DATE 02-26-2024
SHEET NUMBER

P-103

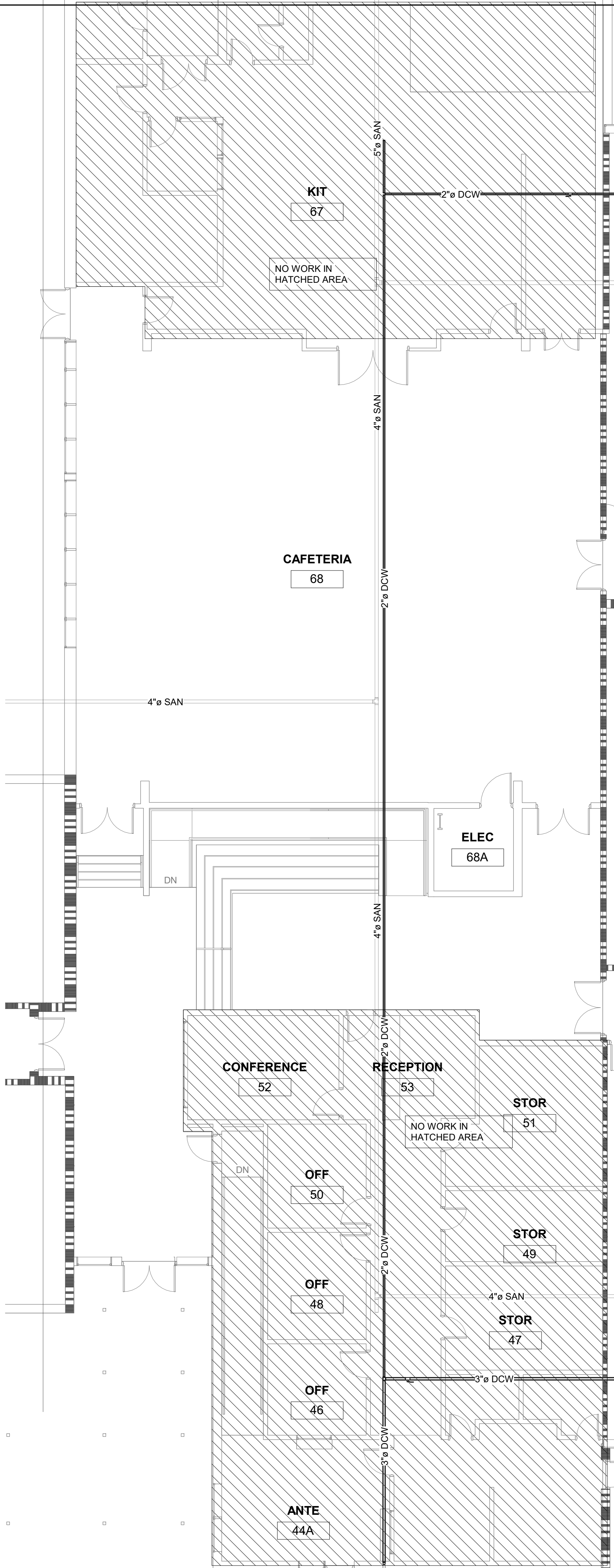
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AREA A-2 FLOOR PLAN - CONSTRUCTION

1 AREA B-1 FLOOR PLAN - CONSTRUCTION
1/8" = 1'-0"

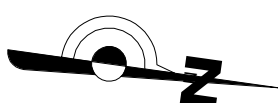


PROJECT NOTES

- ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE CURRENT VERSION OF THE NORTH CAROLINA PLUMBING CODE AND APPLICABLE PORTIONS OF OTHER STATE AND LOCAL CODES, AND THE NEC.
- THE EXISTING PLUMBING SYSTEM LAYOUT WAS OBTAINED FROM DRAWINGS AND INFORMATION PROVIDED BY THE OWNER, WITH SOME ADJUSTMENTS FOR FIELD OBSERVATIONS. NOT ALL DETAILS OF THE EXISTING SYSTEM WERE VERIFIED BY THE DESIGNER. NOT ALL EXISTING PIPES OR EQUIPMENT ARE SHOWN.
- EXISTING PLUMBING SYSTEM COMPONENTS SHOWN, BUT NOT CALLED OUT TO BE REMOVED OR RELOCATED, SHALL REMAIN AND BE PROTECTED FROM DAMAGE. ALL LIGHTS, PLUMBING/MECHANICAL/ELECTRICAL EQUIPMENT, DUCTS, CABLE TRAYS, CABLES, CONDUIT, THERMOSTATS, PIPES, INSULATION, AND OTHER EQUIPMENT WHICH ARE TO REMAIN SHALL BE PROTECTED FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION WORK. ANYTHING DAMAGED WILL HAVE TO BE REPLACED OR REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- GC IS TO PATCH HOLES LEFT BY THE REMOVAL OF ITEMS AND REPAIR DAMAGED SURFACES TO MATCH SURROUNDING MATERIALS.
- PROVIDE INSULATION ON NEW COLD, HOT, AND HOT WATER RECIRCULATION PIPING. PROVIDE INSULATION ON EXISTING COLD AND HOT WATER PIPING THAT IS MISSING INSULATION. REPAIR ANY DAMAGED OR LOOSE EXISTING INSULATION ON THE HOT AND COLD WATER PIPES THAT ARE TO REMAIN AND ALREADY HAVE INSULATION.
- NEW PLUMBING PIPING SHALL BE CONCEALED INSIDE WALLS, CHASES, OR ABOVE CEILINGS TO THE EXTENT POSSIBLE. REFER TO SPECIFICATIONS FOR PIPING MATERIAL REQUIREMENTS. INSULATED PLUMBING PIPING EXPOSED TO VIEW SHALL HAVE WHITE PVC JACKETING.
- SOME NEW VENT PIPING MAY BE SHOWN OFFSET OUTSIDE OF WALLS SO IT DOES NOT OBSCURE PIPING BELOW. THE VENT PIPING SHALL BE INSTALLED INSIDE WALLS, CHASES, OR ABOVE CEILINGS.
- REFER TO ENLARGED PLANS, ISOMETRICS, AND SCHEDULES FOR PIPING AND SIZES NOT SHOWN ON THIS SHEET.
- REFER TO PLUMBING FIXTURE SCHEDULE AND PLUMBING SPECIALTIES SCHEDULE FOR ADDITIONAL INFORMATION.

FIRE RATED LEGEND

- 1 HOUR FIRE RATED BARRIER
- 2 HOUR FIRE RATED WALL



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AREA B-1 FLOOR PLAN - CONSTRUCTION

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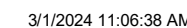
PROJECT NUMBER NC33X001	
REVIEWED BY	I.S.
DESIGNED BY	DMD
DRAWN BY	JWS
DRAWING DATE	02-26-2024
SHEET NUMBER	

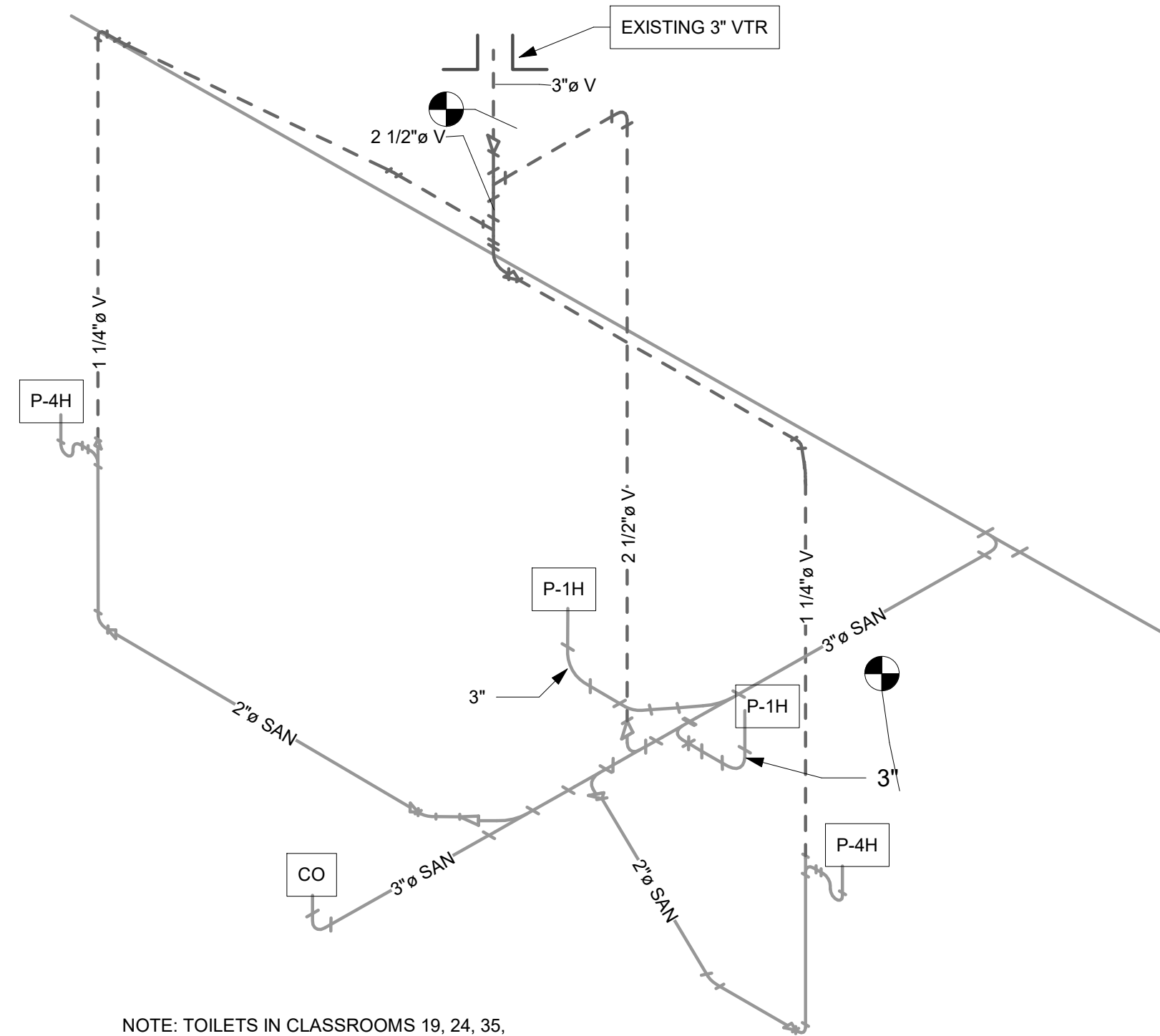
P-104

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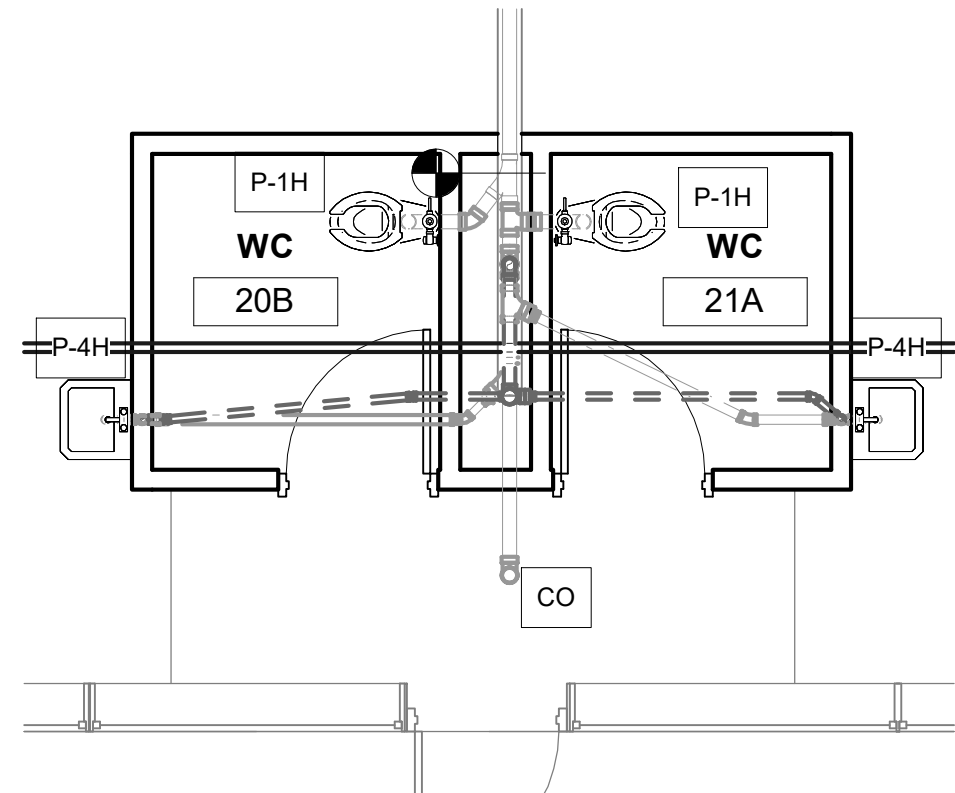
Mar 1, 2024



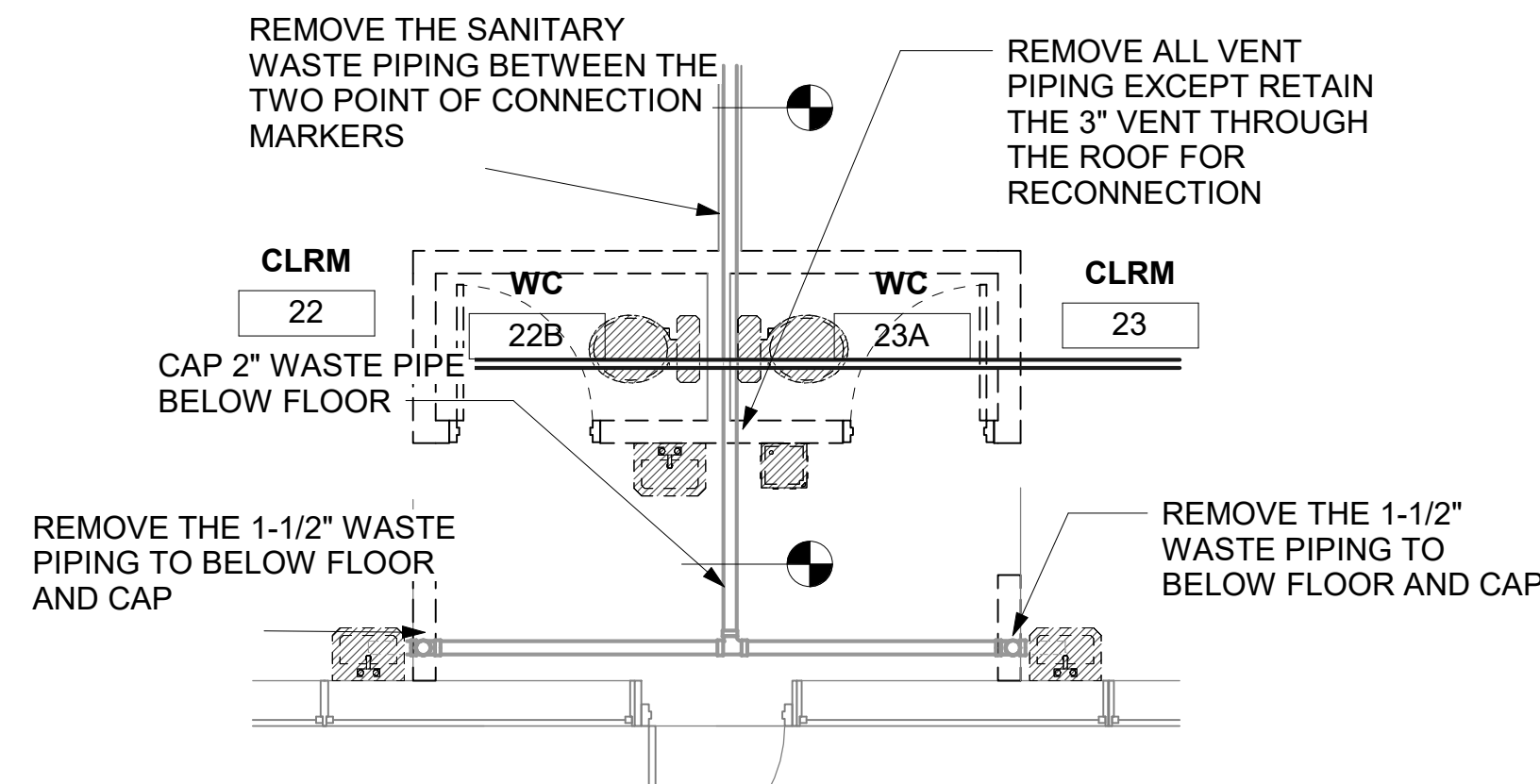


NOTE: TOILETS IN CLASSROOMS 19, 24, 35, AND 40 SHALL BE PIPED IN SIMILAR MANNER WITH HALF THE FIXTURES.

3 WASTE AND VENT ISOMETRIC CLASSROOM 20 & 21 (TYPICAL CL 22/23,36/37, 38/39)



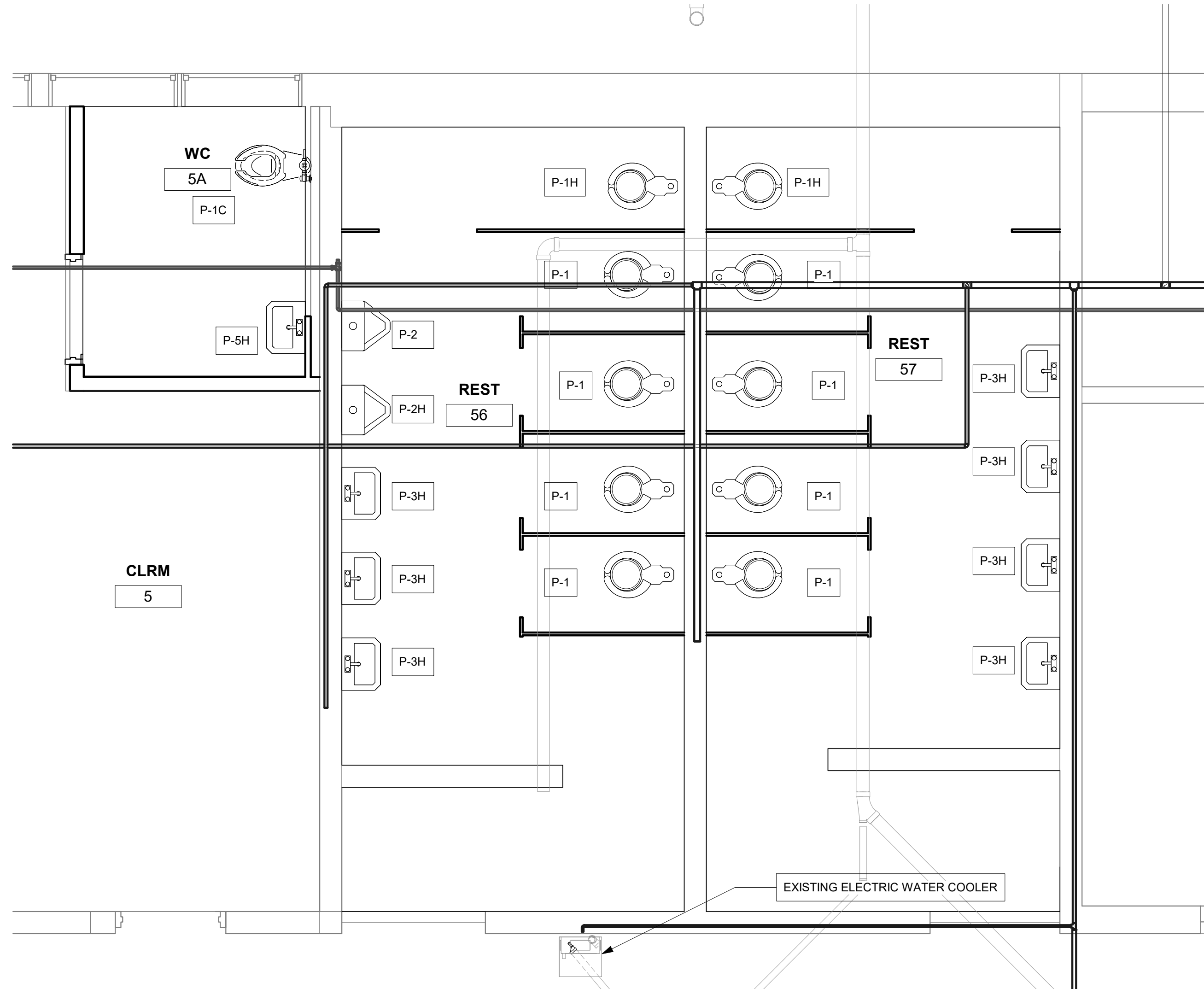
2 ENLARGED FLOOR PLAN EAST SIDE - CONSTRUCTION
1/4" = 1'-0"



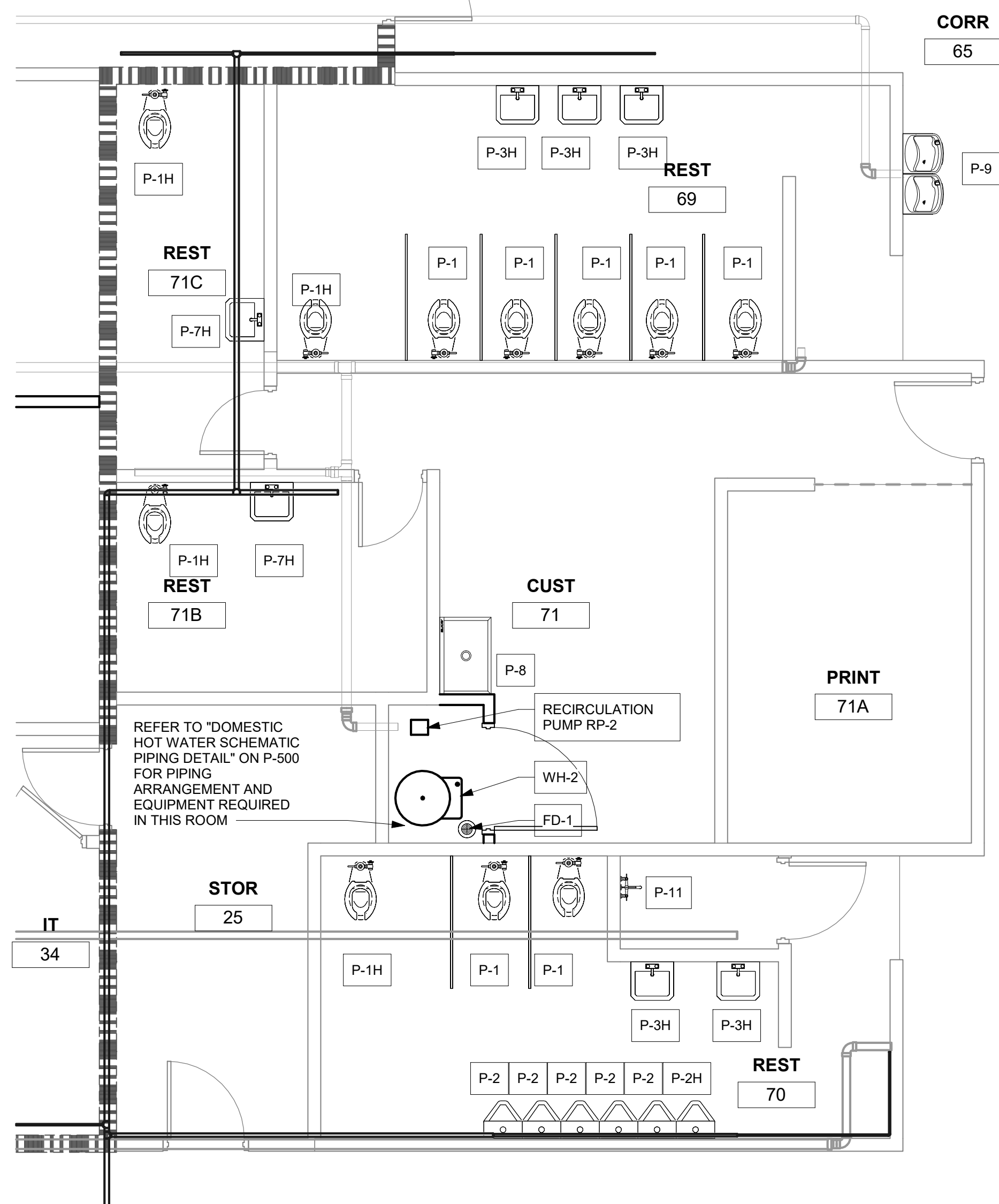
1 ENLARGED FLOOR PLAN EAST SIDE- DEMOLITION
1/4" = 1'-0"

FIRE RATED LEGEND

- 1 HOUR FIRE RATED BARRIER
- 2 HOUR FIRE RATED WALL



5 ENLARGED FLOOR PLAN WC5A, 56,57 CONSTRUCTION
3/8" = 1'-0"



4 ENLARGED PLAN GANG BATHROOM AREA
1/4" = 1'-0"

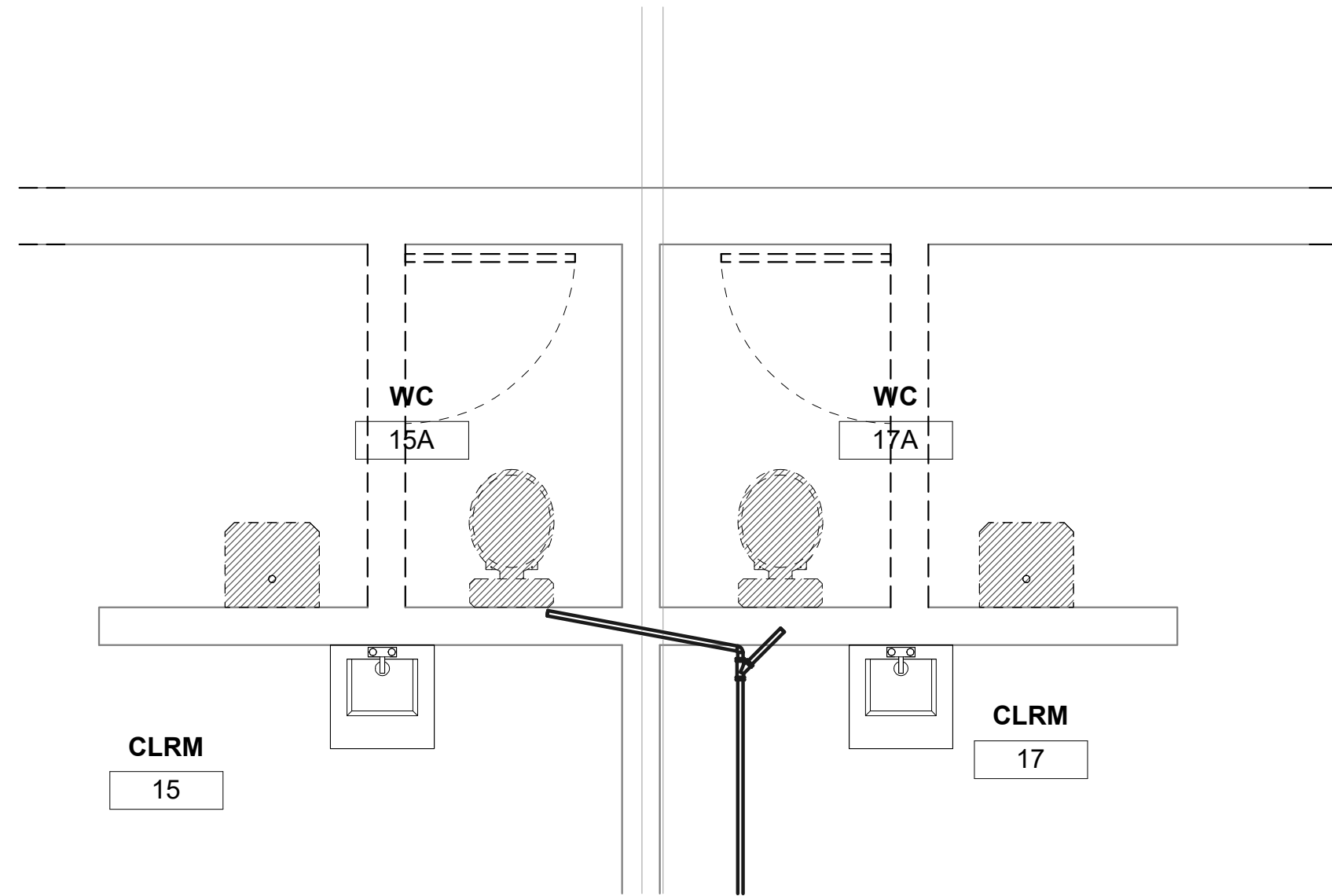


Mar 1, 2024

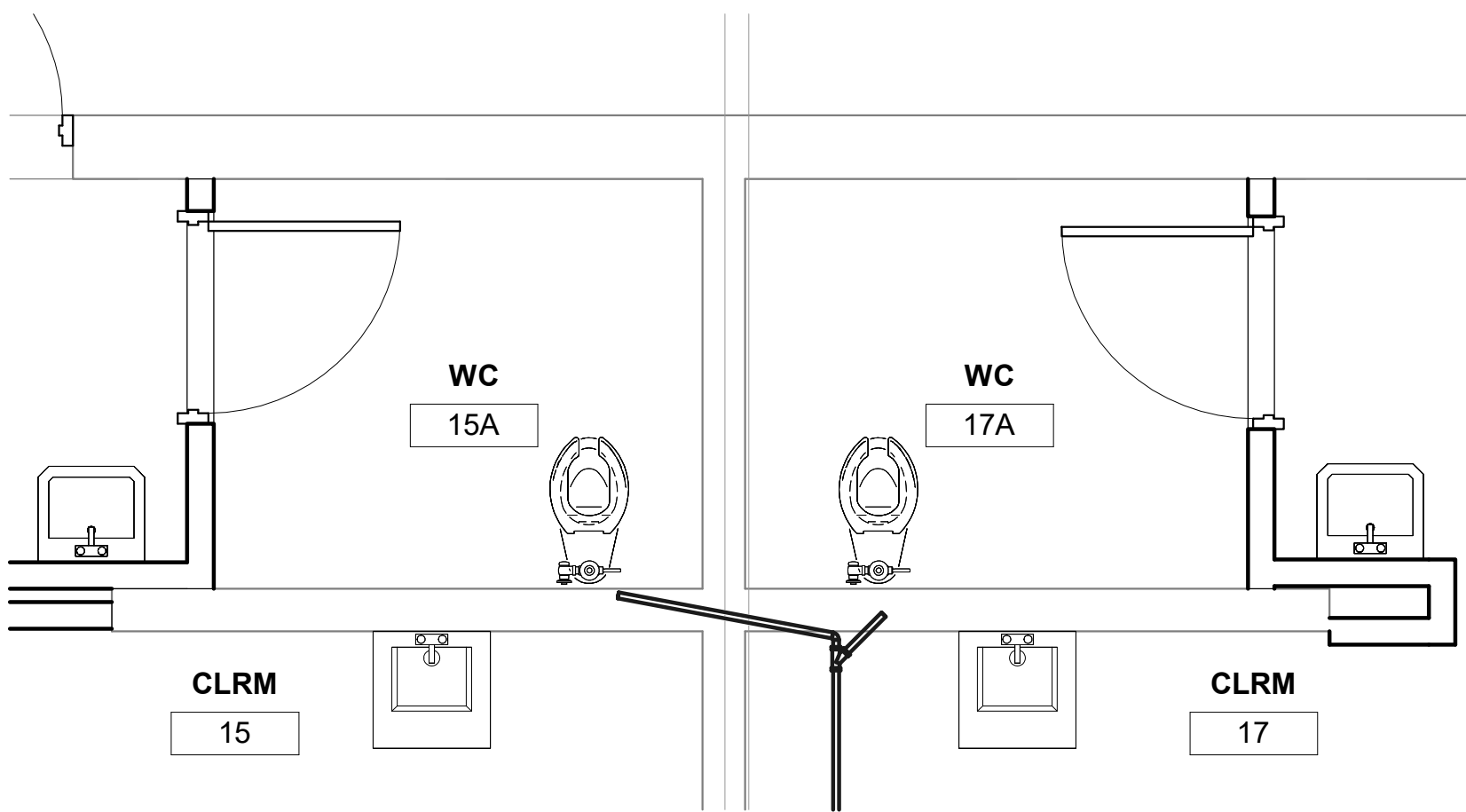
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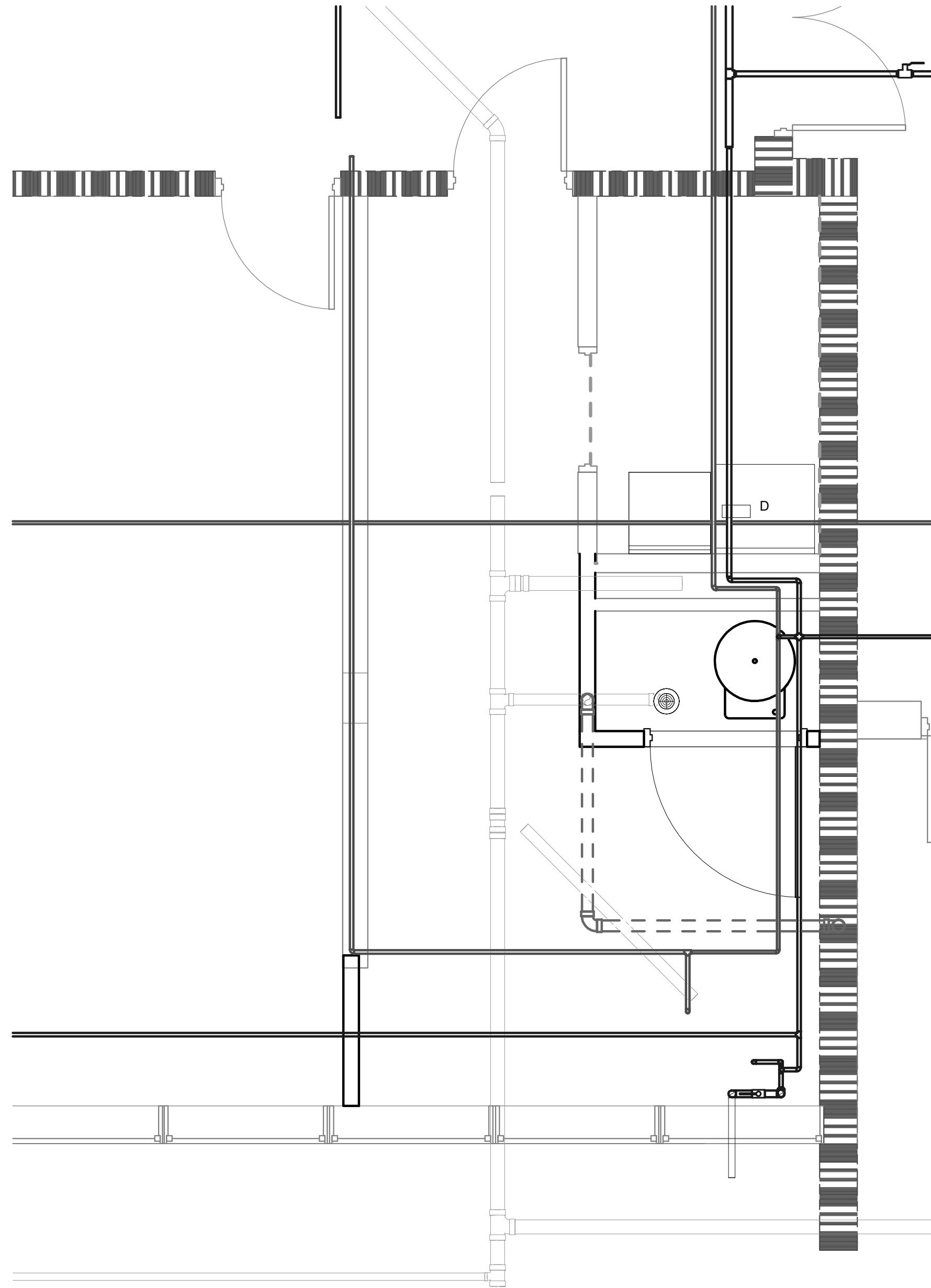
PROJECT NUMBER NC33X001
REVIEWED BY I.S.
DESIGNED BY DMD
DRAWN BY JWS
DRAWING DATE 02-26-2024
SHEET NUMBER



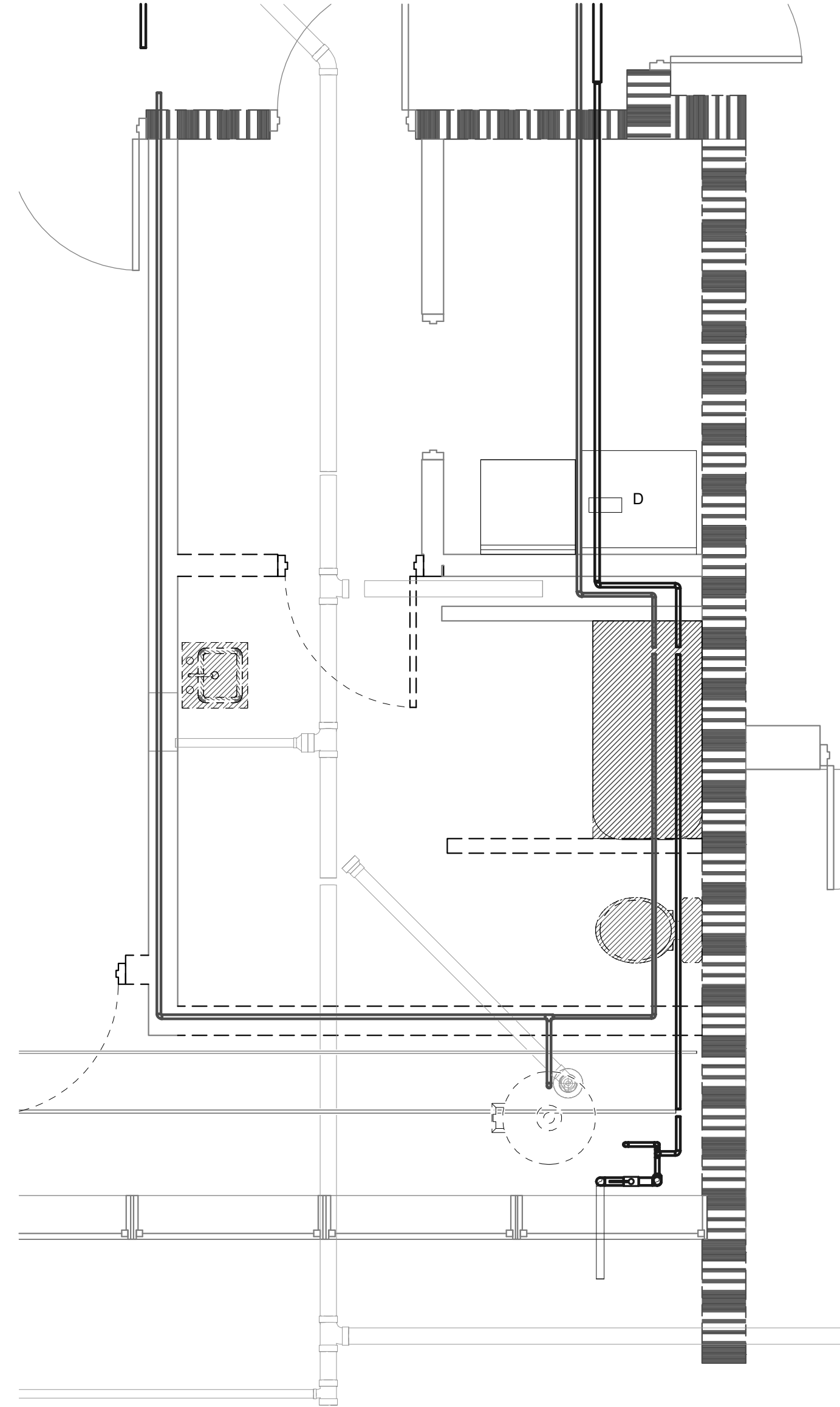
3 ENLARGED FLOOR PLAN WC15A, 16A, 17A, & 18A DEMOLITION
3/8" = 1'-0"



4 ENLARGED FLOOR PLAN WC15A, 16A, 17A, & 18A CONSTRUCTION
3/8" = 1'-0"



2 FLOOR PLAN - CONSTRUCTION
3/8" = 1'-0"



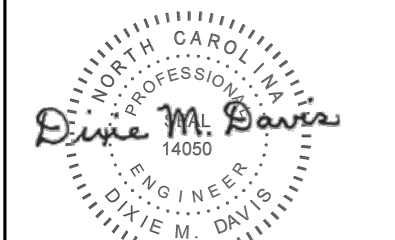
1 FLOOR PLAN - DEMOLITION
3/8" = 1'-0"

FIRE RATED LEGEND	
	1 HOUR FIRE RATED BARRIER
	2 HOUR FIRE RATED WALL



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ENLARGED PLANS

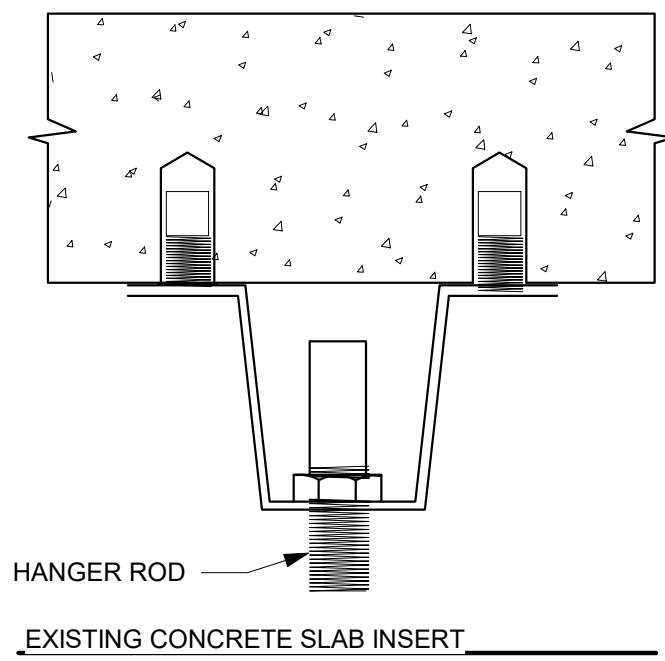
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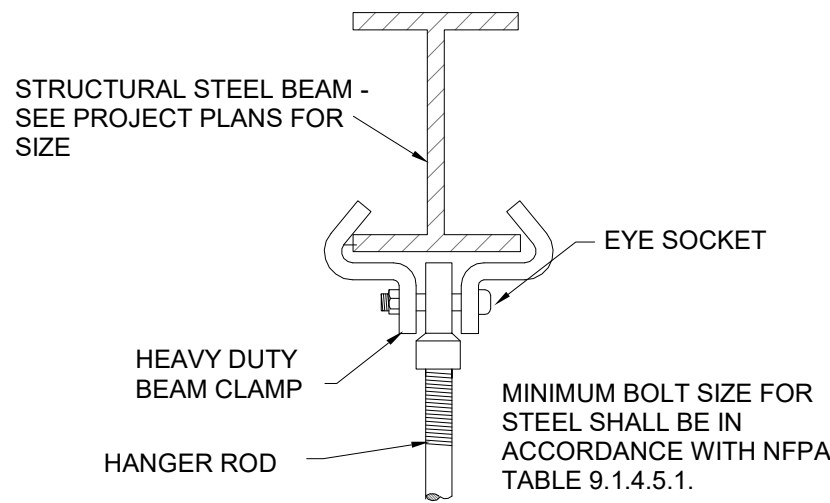
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REVIEWED BY	I.S.
DESIGNED BY	DMD
DRAWN BY	JWS
DRAWING DATE	02-26-2024
SHEET NUMBER	

P-401

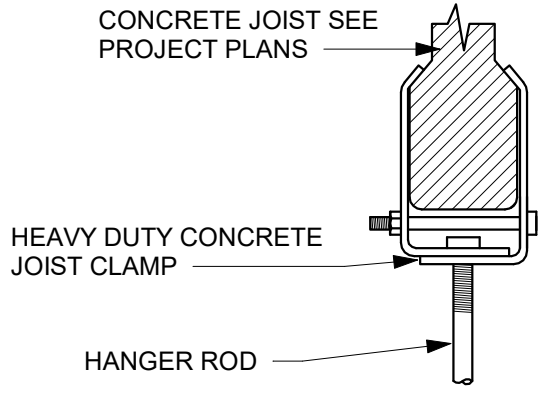
CONTRACTOR TO TEST DRILL AND COORDINATE ANCHOR LOCATIONS WITH EXISTING CONDITIONS. DO NOT DRILL ANCHORS THROUGH EXISTING WALL/SLAB REINFORCING.



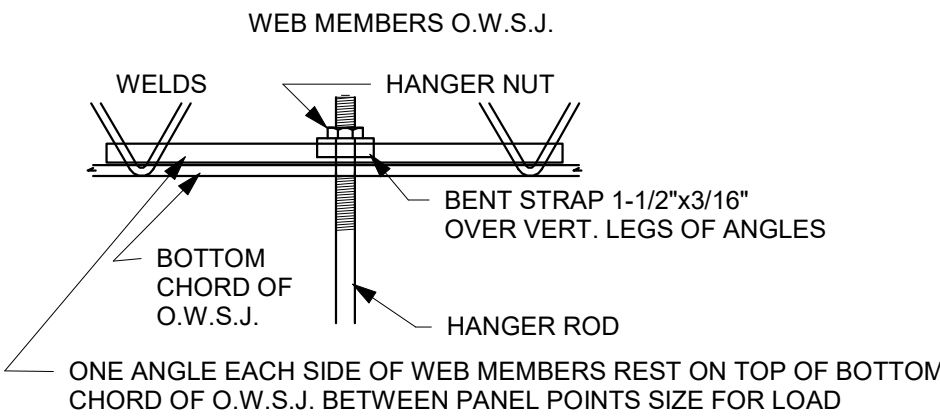
EXISTING CONCRETE SLAB INSERT



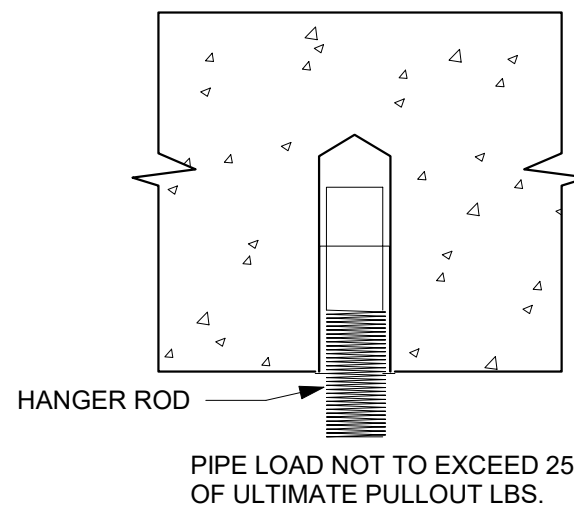
STEEL BEAM



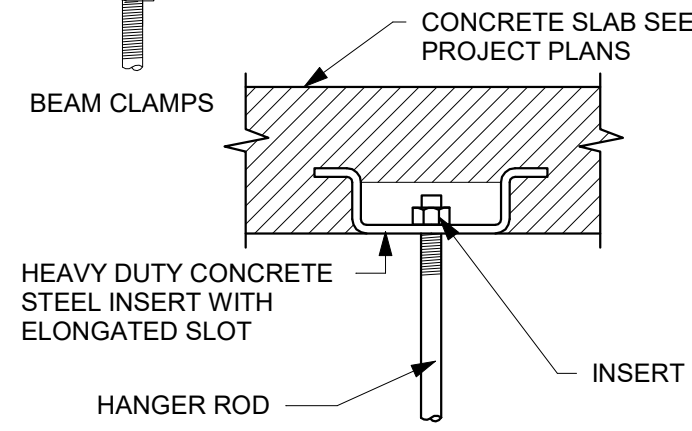
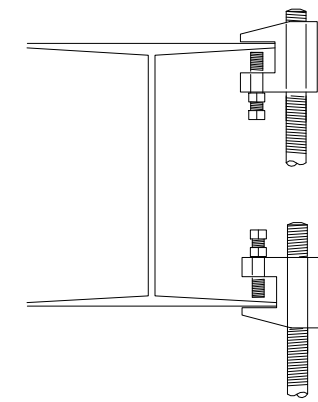
CONCRETE JOISTS



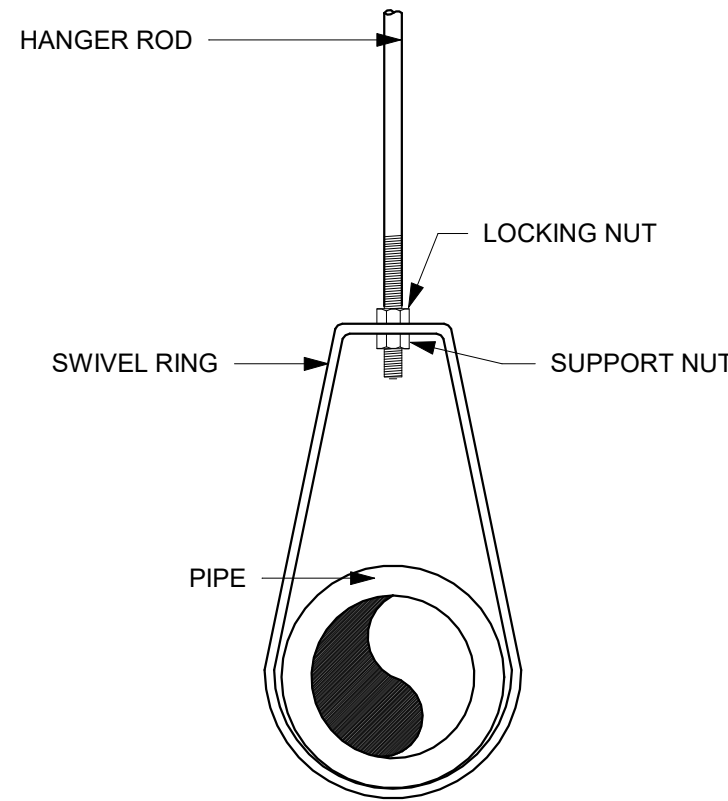
STEEL JOISTS



EXISTING CONCRETE SLAB INSERT

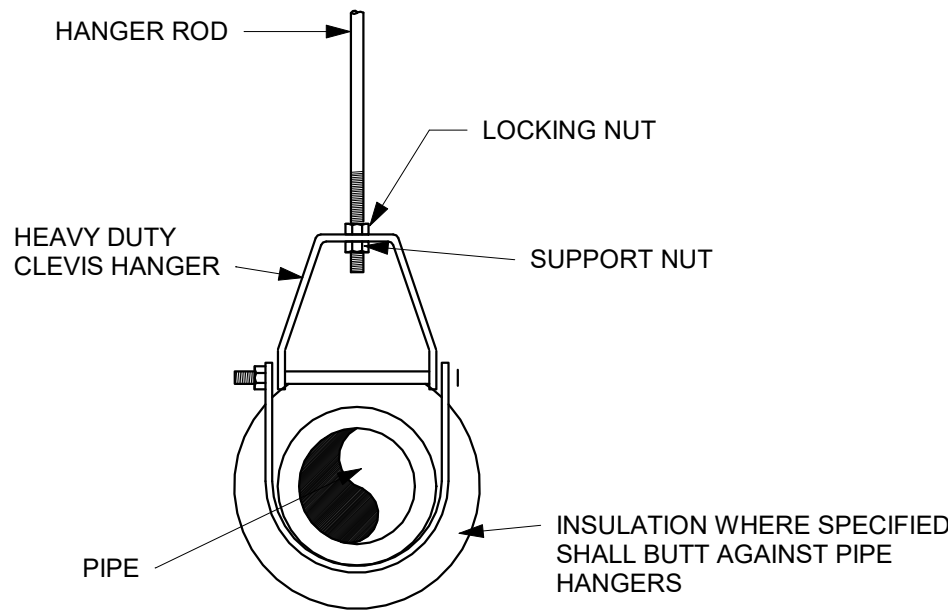


NEW CONCRETE SLAB INSERT

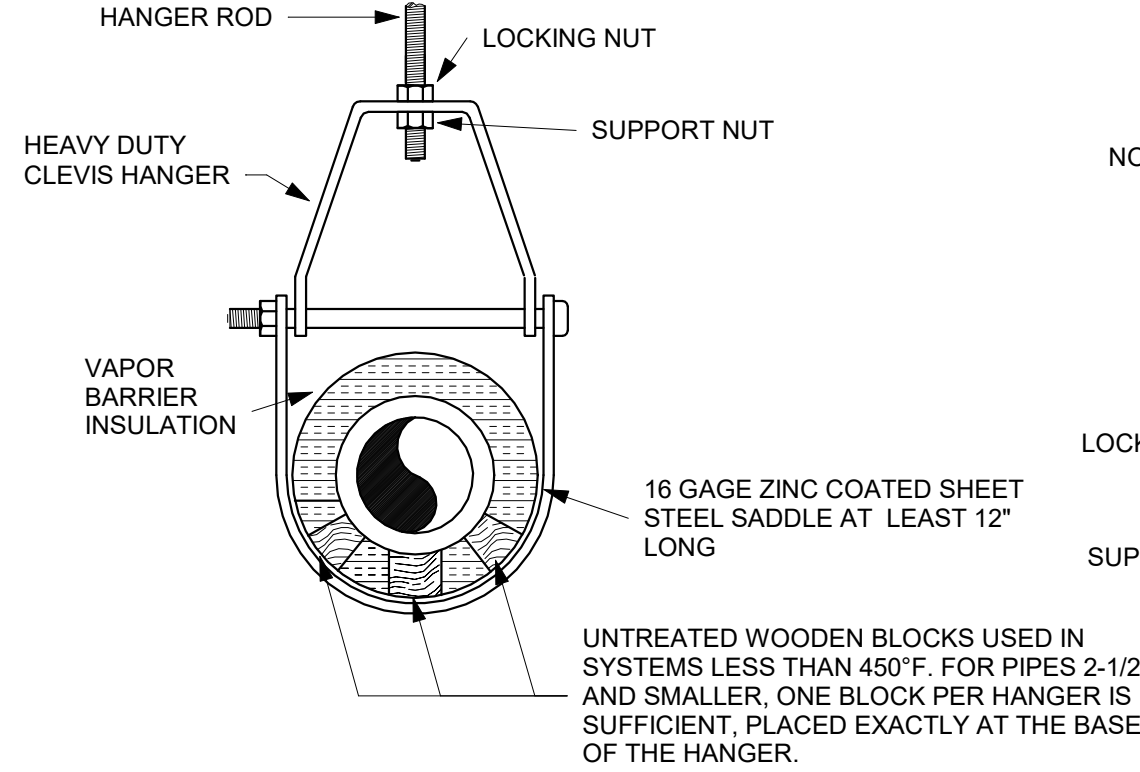


SWIVEL RING HANGER
SINGLE HORIZONTAL RUNS

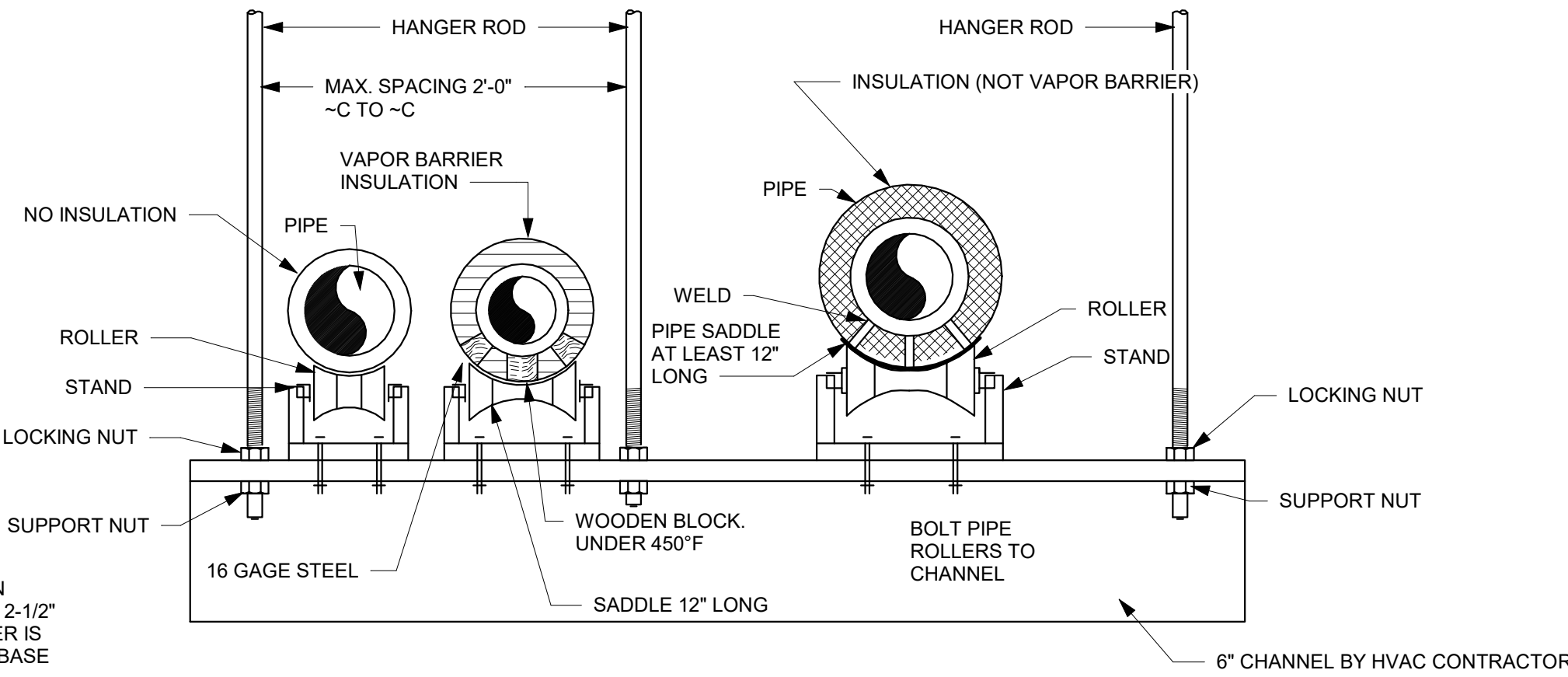
METHODS OF ATTACHMENT TO VARIOUS TYPES OF STRUCTURES - USE APPLICABLE TYPE



CLEVIS HANGER
SINGLE HORIZONTAL RUNS NO VAPOR BARRIER INSULATION



CLEVIS HANGER
SINGLE HORIZONTAL RUNS WITH VAPOR BARRIER INSULATION



TRAPEZE HANGER
ALL MULTIPLE HORIZONTAL RUNS WITH OR WITHOUT VAPOR BARRIER INSULATION

PIPE HANGERS - USE APPLICABLE TYPE

- NOTE:
- THE SPACING SHOWN IN SCHEDULE IS MAXIMUM SPACING PIPE WILL SPAN. THE HANGER SUPPORTS AND STRUCTURAL ELEMENTS OF THE BUILDING SHOULD BE CHECKED FOR LOAD SUPPORT. SPACING MAY HAVE TO BE REDUCED TO LIGHTEN LOAD ON CERTAIN HANGER SUPPORTS.
 - WHERE THERE IS A CHANGE IN PIPE DIRECTION LOCATE HANGER AS CLOSE AS PRACTICAL TO THE ELBOW. MAXIMUM DISTANCE FROM SUPPORT TO CENTERLINE OF ELBOW TO BE ONE THIRD OF THE SPACING INDICATED ABOVE.
 - FOR TRAPEZE HANGER TAKE SPACING TO SMALLEST PIPE ON TRAPEZE

HANGER ROD SCHEDULE FOR STEEL PIPES FROM NFPA 13, TABLE 9.1.2.1

PIPE SIZE	ROD SIZE
UP TO 4"	3/8" DIA.
5", 6" & 8"	1/2" DIA.
10" & 12"	5/8" DIA.

NOTE: HANGER RODS SHALL BE THE SAME AS PERMITTED FOR THE HANGER ASSEMBLY AND NOT LESS THAN SHOWN IN NFPA TABLE 9.1.2.1.

HANGER ROD SPACING FOR COPPER PIPES										
PIPE SIZE	3/4"	1"	1-1/4"	1-1/2"	2"	2-1/2"	3"	4"	5"	6"
MAX ALLOWABLE SPACING	5 FT	6 FT	7 FT	8 FT	8 FT	9 FT	10 FT	12 FT	13 FT	14 FT

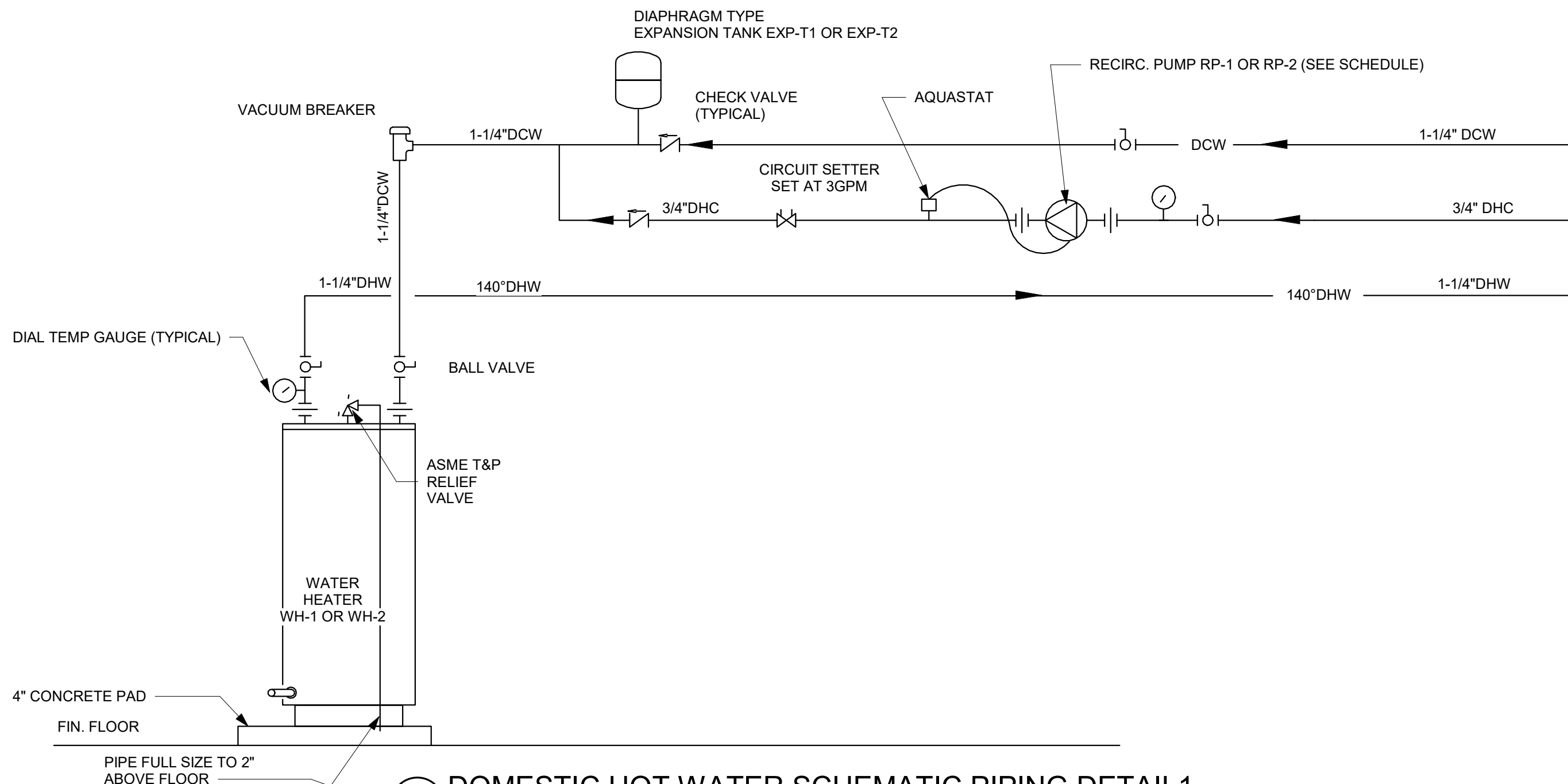
HANGER ROD SPACING FOR STEEL PIPES, NFPA TABLE 9.2.2.1									
PIPE SIZE	1"	1-1/4"	1-1/2"	2"	2-1/2"	3"	4"	5"	6"
MAX ALLOWABLE SPACING	12 FT.	12 FT.	12 FT.	12 FT.	12 FT.	12 FT.	15 FT.	15 FT.	15 FT.

- NOTES:
- THE SPACING SHOWN IN SCHEDULE IS MAXIMUM SPACING PIPE WILL SPAN. THE HANGER SUPPORTS AND STRUCTURAL ELEMENTS OF THE BUILDING SHOULD BE CHECKED FOR LOAD SUPPORT. SPACING MAY HAVE TO BE REDUCED TO LIGHTEN LOAD ON CERTAIN HANGER SUPPORTS.
 - THE COMPONENTS OF HANGER ASSEMBLIES THAT DIRECTLY ATTACH TO THE PIPE OR BUILDING SHALL BE LISTED, EXCEPT THOSE EXEMPTED BY PARAGRAPHS 9.1.1.5.2 AND 9.1.1.5.3 OF NFPA 13.
 - 100 PSI OR HIGHER STATIC PRESSURE ON SYSTEM REQUIRES UP-LIFT RESTRAINT WITHIN 12 INCHES HORIZONTALLY OF HEAD FOR ARM-OVERS AND END OF BRANCH LINE.
 - THE UNSUPPORTED LENGTH BETWEEN THE END SPRINKLER AND THE LAST HANGER ON THE LINE SHALL NOT EXCEED 36" FOR 1" PIPE, 48" FOR 1-1/4" PIPE, AND 60" FOR 1-1/2" PIPE OR LARGER.
 - THE CUMULATIVE HORIZONTAL LENGTH OF AN UNSUPPORTED ARM-OVER TO A SPRINKLER, SPRINKLER DROP, OR SPRIG-UP SHALL NOT EXCEED 24".

TYPICAL DETAILS FOR GENERIC GUIDANCE. INSTALL PER MANUFACTURERS INSTRUCTIONS.

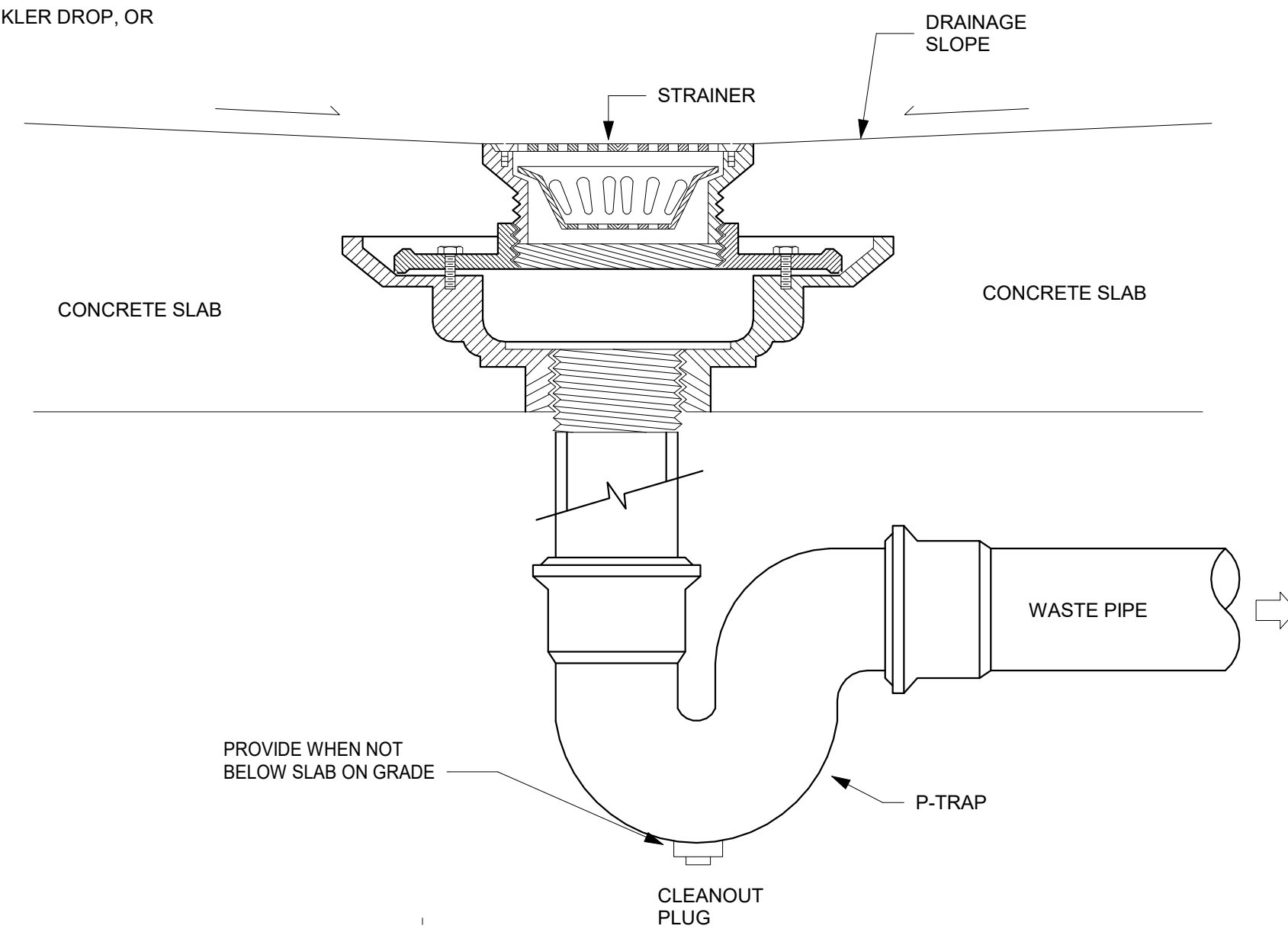
1 PLUMBING PIPE HANGER DETAILS

12" = 1'-0"



3 DOMESTIC HOT WATER SCHEMATIC PIPING DETAIL1

12" = 1'-0"



2 FLOOR DRAIN INSTALLATION DETAIL

N.T.S.

SUD ASSOCIATES, P.A.

CONSULTING ENGINEERS
LICENSE NO. C-40315

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Mar 1, 2024

EFLAND-CHEEKS ELEMENTARY SCHOOL
GENERAL RENOVATIONS
ORANGE COUNTY SCHOOLS
4401 FULLER ROAD
EFLAND, NORTH CAROLINA 27243

PLUMBING DETAILS

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Revision		
ID	Date	Description

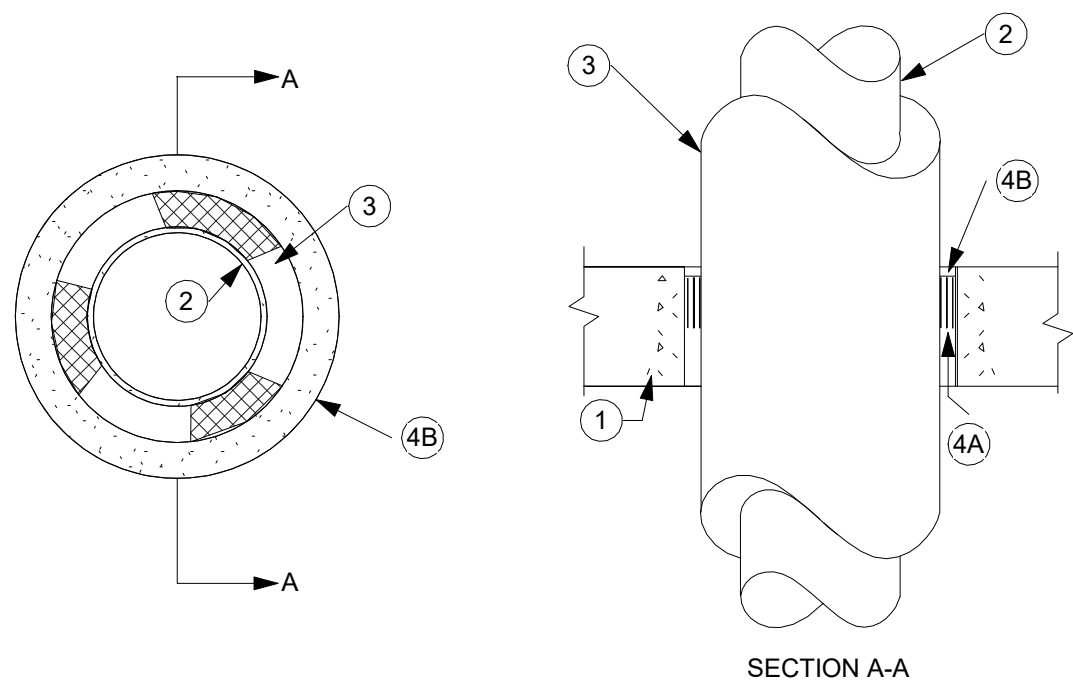
PROJECT NUMBER	NC33X001
REVIEWED BY	I.S.
DESIGNED BY	DMD
DRAWN BY	JWS
DRAWING DATE	02-26-2024

SHEET NUMBER

P-500

System No. C-AJ-5001
MARCH 05, 2007

F Ratings — 1-1/2, 2 and 3 Hr (See Item 4)
T Ratings — 0, 1/2, 3/4 and 1 Hr (See Items 1A and 4)
L Rating At Ambient — 2 CFM per sq ft
L Rating At 400 F — less than 1 CFM per sq ft



1. **Floor or Wall Assembly** — Min 2-1/2 in. (64 mm) thick reinforced lightweight or normal weight (100-150 pcf or 1600-2400 kg/m3) concrete. Wall may also be constructed of any UL Classified **Concrete Blocks***. Max diam of opening is 18 in. (457 mm)

See **Concrete Blocks** (CAZT) category in the Fire Resistance Directory for names of manufacturers.

1A. **Steel Sleeve** — (Optional, not shown) — Nom 10 in. (254 mm) (or smaller) Schedule 10 (or heavier) steel sleeve cast or grouted into floor or wall assembly. Sleeve may extend a max of 2 in. (51 mm) above top of floor or beyond either surface of wall. As an alternate, nom 10 in. (254 mm) diam (or smaller) sleeve fabricated from nom 0.019 in. (0.48 mm) thick galv steel cast or grouted into floor or wall assembly flush with floor or wall surfaces. **T Rating is 0 Hr when sleeve is used.**

2. **Through Penetrant** — Nom 4 in. (102 mm) diam (or smaller) Type L (or heavier) copper pipe, nom 12 in. (305 mm) diam (or smaller) service weight (or heavier) cast iron soil pipe, nom 12 in. (305 mm) diam (or smaller) Class 50 (or heavier) ductile iron pressure pipe or nom 12 in. (305 mm) diam (or smaller) Schedule 10 (or heavier) steel pipe centered in the opening and rigidly supported on both sides of the floor or wall assembly.

3. **Pipe Covering*** — Nom 1/2 to 2 in. (13 to 51 mm) thick hollow cylindrical heavy density (min. 3.5 pcf or 56 kg/m3) glass fiber units jacketed on the outside with an all service jacket. Longitudinal joints sealed with metal fasteners or factory-applied self-sealing lap tape. Transverse joints secured with metal fasteners or with butt strip tape supplied with the product.

See **Pipe and Equipment Covering — Materials*** (BRGU) category in Building Materials Directory for names of manufacturers. Any pipe covering material meeting the above specifications and bearing the UL Classification Marking with a Flame Spread Index of 25 or less and a Smoke Developed Index of 50 or less may be used.

4. **Firestop System** — The details of the firestop system shall be as follows:

A. **Packing Material** — Min 1 in. (25 mm) thickness of firmly packed mineral wool batt insulation used as a permanent form. Packing material to be recessed from top surface of floor or sleeve or from both surfaces of wall as required to accommodate the required thickness of caulk fill material (Item B).

B. **Fill, Void or Cavity Material*** — Caulk or Sealant — Applied to fill the annular space flush with the top surface of the floor or sleeve or flush with both surfaces of wall. When nom pipe covering thickness is 2 in. (51 mm), min thickness of caulk fill material is 2 in. (51 mm). When nom pipe covering thickness is 1-1/2 in. (38 mm) or less, min thickness of caulk fill material is 1 in. (25 mm). The hourly F and T Ratings of the firestop system are dependent upon the thickness of the floor or wall, the size of pipe, the thickness of pipe covering material and the size of the annular space (between the pipe covering material and the edge of the circular through opening), as shown in the following table:

Min Floor or Wall Thkns In.	Max Pipe Diam In.	Nom Pipe Covering Thkns In.	Annular Space In.	F Rating Hr	T Rating Hr
2-1/2 (64)	4 (102)	1 or 1-1/2 (25 or 38)	1/2 to 2-3/8 (13 to 60)	2	1
4-1/2 (114)	4 (102)		1/4 to 3-5/8 (6 to 92)	2	1-1/2
2-1/2 (64)	12 (305)	2 (51)	1/2 to 1-1/2 (13 to 38)	2	1/2
4-1/2 (114)	12 (305)	1 (25)	1/2 to 2-3/8 (13 to 60)	3	1
2-1/2 (64)	12 (305)	1/2 (13)	1/2 to 2-3/8 (13 to 60)	2	0

3M COMPANY — CP 25WB+ or FB-3000 WT

* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.

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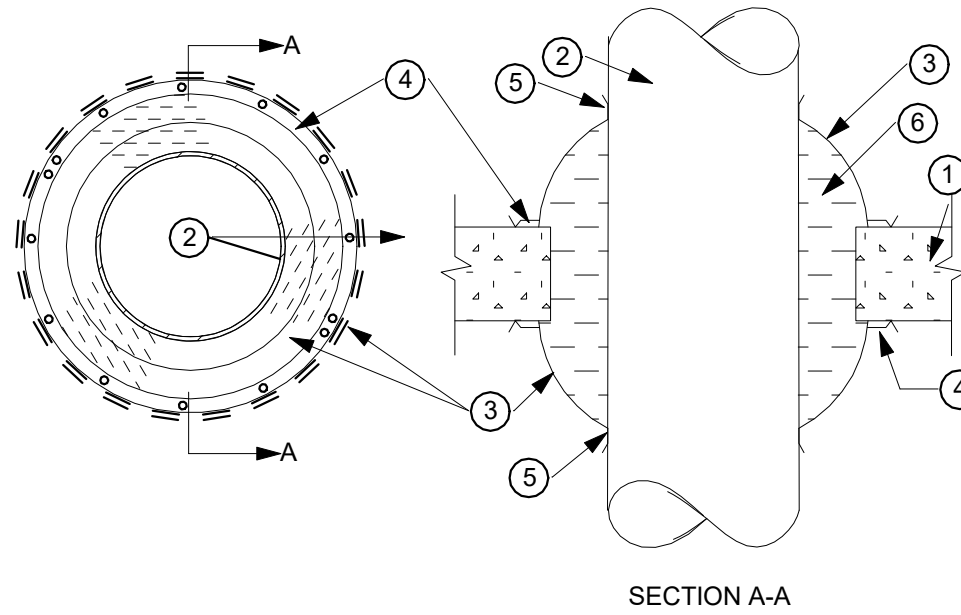
3 C-AJ-5001
NTS

System No. C-AJ-1086

April 23, 2014

F Rating — 3 Hr

T Rating — 1 Hr



1. **Floor or Wall Assembly** — Min 4-1/2 in. thick lightweight or normal weight (100-150 pcf) concrete. Diam of through opening to be 5 to 6 in. larger than outside diam of steel pipe (Item 2). Wall may also be constructed of any UL Classified Concrete Blocks*. Max diam of opening is 26 in.

See **Concrete Blocks** (CAZT) category in the Fire Resistance Directory for names of manufacturers.

2. **Steel Pipe** — Nom 20 in. diam (or smaller) Schedule 10 (or heavier) steel pipe centered in through opening and rigidly supported on both sides of concrete floor or wall assembly.

3. **Fill, Void or Cavity Materials* — Coated Fabric** — Two pieces of coated fabric supplied with kit. Length of each piece of fabric to be equal to inside circumference of steel anchor ring (Item 4) plus min 2 in. for overlap. Height of each piece of fabric to be min 18 in. Fabric to be formed into cylindrical shape with diam equal to inside diam of steel anchor ring. End of fabric cylinder to be provided with nom 3 in. long slits on nom 2 to 4 in. centers to allow folding of the fabric flaps between the steel anchor ring and the concrete. After securing the fabric cylinder to the floor or wall with the steel anchor ring, the opposite end of the fabric cylinder shall be gathered and cinched about the pipe with a stainless steel band clamp (Item 5). Sufficient slack shall be left in the fabric to permit installation of a nom 2-1/2 to 3 in. thickness of mineral wool batt insulation (Item 6) extending a min of 8 in. from the surface of the floor or wall. Fabric "boot" to be installed symmetrically on both sides of floor or wall assembly. Ends of fabric protruding beyond steel anchor ring and beyond banding strap may be trimmed for appearance.

4. **Steel Anchor Ring** — Nom 1-1/2 in. wide by 1/8 in. thick two-piece steel ring having an inside diam of 1 to 2 in. larger than diam of through opening in floor or wall. Anchor ring to compress flaps of fabric (Item A) against floor or wall surfaces and to be secured to floor or wall surfaces on each side of assembly with steel anchor bolts, powder actuated nails, or equivalent, in conjunction with steel fender washers.

5. **Stainless Steel Banding Strap** — Min 1/2 in. wide by 0.020 in. thick stainless steel banding strap with worm gear tightening mechanism. Banding strap to be installed to tightly-cinch fabric "boot" against steel pipe on both sides of assembly.

6. **Packing Material** — Fabric boot on each side of floor or wall assembly and annular space between pipe and concrete to be tightly-packed with nom 6 to 9 pcf mineral wool batt insulation such that min overall fill length is 20 in.

* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.

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NTS

System No. C-AJ-1044

March 15, 2007

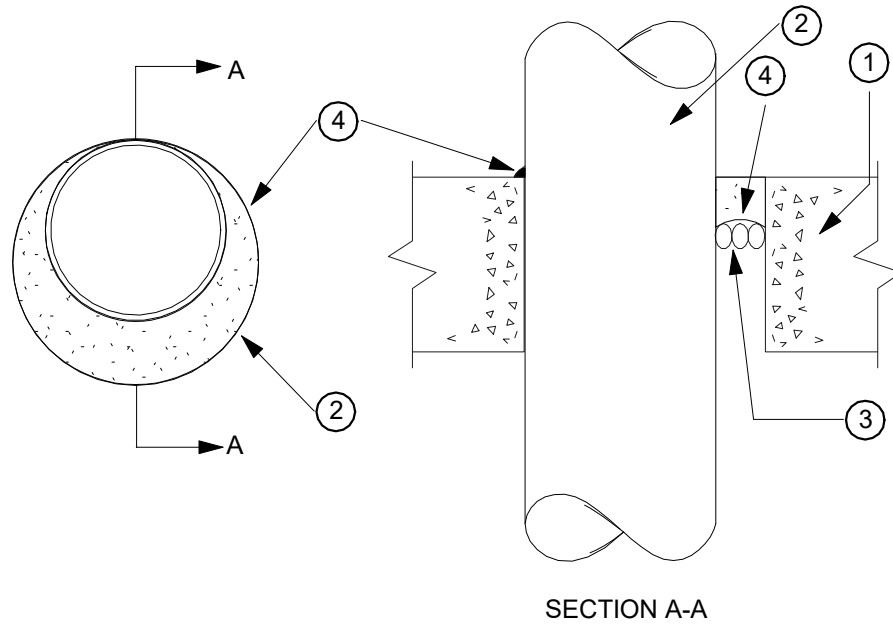
F Ratings — 2, 3, and 4 Hr (See Items 2A and 4)

T Rating — 0 Hr

L Rating At Ambient — 2 CFM/sq ft

L Rating At 400 F — less than 1 CFM/sq ft

W Rating — Class 1 (See Item 4)



1. **Floor or Wall Assembly** — Lightweight or normal weight (100-150 pcf or 1600-2400 kg/m3) concrete. Except as noted in table under Item 4, min thickness of solid concrete floor or wall assembly is 4-1/2 in. (114 mm). Floor may also be constructed of any min 6 in. (152 mm) thick UL Classified hollow core **Precast Concrete Units***. When floor is constructed of hollow core precast concrete units, packing material (Item 3) and caulk fill material (Item 4) to be installed symmetrically on both sides of floor, flush with floor surface. Wall assembly may also be constructed of any UL Classified **Concrete Blocks***. Max diam of opening in solid lightweight or normal weight concrete floor is 32 in. (813 mm). Max diam of opening in floor constructed of hollow-core precast concrete units is 7 in. (178 mm)

See **Concrete Blocks** (CAZT) and **Precast Concrete Units** (CFTV) categories in the Fire Resistance Directory for names of manufacturers.

1A. **Steel Sleeve** — (Optional, Not Shown) - Nom 16 in. (406 mm) diam (or smaller) Schedule 10 (or heavier) steel sleeve cast or grouted into floor or wall assembly. Sleeve may extend a max of 2 in. (51 mm) above top of floor or beyond either surface of wall. As an alternate, nom 16 in. (406 mm) diam (or smaller) min 0.028 (0.71 mm) thick galvanized sheet steel sleeve cast or grouted into floor or wall assembly flush with floor or wall surfaces.

2. **Through Penetrants** — One metallic pipe, conduit or tubing to be installed either concentrically or eccentrically within the firestop system. Max annular space between pipe, conduit or tubing and edge of through opening or sleeve is dependent on the parameters shown in Item 4. Min annular space between pipe or conduit and edge of through opening is 0 in. (point contact). Max annular space to be as shown in the table in Item 4. Pipe, conduit or tubing to be rigidly supported on both sides of floor or wall assembly. The following types and sizes of metallic pipes, conduits or tubing may be used:

- A. **Steel Pipe** — Nom 30 in. (762 mm) diam (or smaller) Schedule 10 (or heavier) steel pipe.
- B. **Iron Pipe** — Nom 30 in. (762 mm) diam (or smaller) cast or ductile iron pipe.
- C. **Conduit** — Nom 6 in. (152 mm) diam (or smaller) rigid steel conduit.
- D. **Conduit** — Nom 4 in. (102 mm) diam (or smaller) steel electrical metallic tubing.
- E. **Copper Tubing** — Nom 6 in. (152 mm) diam (or smaller) Type L (or heavier) copper tube.
- F. **Copper Pipe** — Nom 6 in. (152 mm) diam (or smaller) Regular (or heavier) copper pipe.

3. **Packing Material** — Polyethylene backer rod or nom 1 in. (25 mm) thickness of tightly-packed mineral wool batt or glass fiber insulation firmly packed into opening as a permanent form. Packing material to be recessed from top surface of floor or from both surfaces of wall as required to accommodate the required thickness of caulk fill material (Item 4).

3A. **Forming Material*** — As an alternate to the packing material in Item 3, nom 4 in. (102 mm) wide strips of min 1/2 in (13 mm) thick compressible mat to be stacked to a thickness greater than the width of the annular space and compression-fitted, edge-first, to fill the annular space to a min 4 in. (102 mm) depth. As an option, the strips of min 1/2 in. (13mm) thick compressible mat may be folded in half, lengthwise, and stacked to a thickness greater than the width of the annular space and compression-fitted, edge-first, to fill the annular space to a min 2 in. (51 mm) depth. Top of forming material to be recessed from top surface of floor or from both surfaces of wall as necessary to accommodate the required thickness of caulk fill material.

3M COMPANY — Fire Barrier Packing Material

4. **Fill, Void or Cavity Material*** — **Caulk, Sealant** — Applied to fill the annular space flush with top surface of floor. In wall assemblies, required caulk thickness to be installed symmetrically on both sides of wall, flush with wall surface. At point contact location between penetrant and sleeve or between penetrant and concrete, a min 1/4 in. (6 mm) diam bead of caulk shall be applied at top surface of floor and at both surfaces of wall. The hourly F Ratings and the min required caulk thicknesses are dependent upon a number of parameters, as shown in the following table:

Min Floor or Wall Thkns In.	Nom Pipe Tube or Conduit Diam In.	Max Annular Space In.	Min Caulk Thkns In.	F Rating Hr
2-1/2 (64)	1/2-12 (13-305)	1-3/8 (35)	1/2 (13)	2
2-1/2 (64)	1/2-12 (13-305)	3-1/4 (83)	1 (25)	2
4-1/2 (114)	1/2-6 (13-152)	1-3/8 (35)	1/4 (6) (a)	2
4-1/2 (114)	1/2-12 (13-305)	1-1/4 (32)	1/2 (13)	3
4-1/2 (114)	1/2-20 (13-508)	2 (51)	1 (25)	3
4-1/2 (114)	1/2-20 (13-508)	2 (51)	1 (25)	3
4-1/2 (114)	1/2-12 (13-305)	3-1/4 (83)	1 (25)	3
4-1/2 (114)	22-30 (558-762)	2 (51)	2 (51)	3
5-1/2 (140)	1/2-6 (13-152)	1-3/8 (35)	1 (25) (b)	4

(a)Min 2 in (51 mm) thickness of mineral wool batt insulation or forming material (Item 3A) required in annular space.

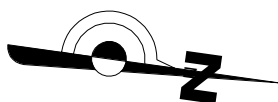
(b)Min 1 in. (25 mm) thickness of mineral wool batt insulation required in annular space on both sides of floor or wall assembly. Min 1 in.(25 mm) thickness of caulk to be installed flush with each surface of floor or wall assembly.

3M COMPANY — CP 25WB+ or FB-3000 WT.

(Note - W Rating applies only when FB-3000 WT is used.)

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1 C-AJ-1044
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Mar 1, 2024

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Revision		
ID	Date	Description

PROJECT NUMBER NC33X001	
REVIEWED BY	I.S.
DESIGNED BY	DMD
DRAWN BY	JWS
DRAWING DATE	02-26-2024
SHEET NUMBER	

P-501

PLUMBING FIXTURE SCHEDULE									
MARK	ITEM NAME	MANUFACTURER	COMMENTS	MODEL	DESCRIPTION	ACCESSORIES AND TRIM	DCW CONNECTION	DHW CONNECTION	SANITARY CONNECTION
P-1	WATER CLOSET, FLOOR MOUNTED	AMERICAN STANDARD	OR APPROVED EQUAL	3451.001	MADERA FLOWISE 15" (381 MM) HIGH TOILET, FLOOR MOUNTED, BOTTOM OUTLET, WHITE VITREOUS CHINA WITH EVERCLEAN ANTIMICROBIAL SURFACE, ELONGATED SYPHON JET FLUSH ACTION BOWL, 2-1/8" (54MM) FULLY GLAZED INTERNAL TRAPWAY, HIGH EFFICIENCY 1.1 GPF (4.2 LPF) TO LOW CONSUMPTION 1.6 GPF (6 LPF), 1-1/2" (38MM) TOP SPUD WITH CONDENSATION CHANNEL AND 2 BOLT CAPS, FOR USE WITH EXPOSED FLUSH VALVE.	ELONGATED WHITE, OPEN FRONT SEAT, WITHOUT COVER, WITH CHECK HINGES. PROVIDE EXPOSED WATER CLOSET FLUSHOMETER VALVE, FOR TOP SPUD BOWLS, 1.28 GALLONS PER FLUSH, MANUAL OPERATION, MODEL ROYAL 111-1.28 BY SLOAN OR APPROVED EQUAL.	1"		3"
P-1C	WATER CLOSET, CHILD SIZE	AMERICAN STANDARD	OR APPROVED EQUAL	2282.001	BABY DEVORO FLOWISE 10.25" (260 MM) HIGH TOILET, FLOOR MOUNTED, FLOOR OUTLET, WHITE VITREOUS CHINA, ELONGATED SYPHON JET FLUSH ACTION BOWL, FULLY GLAZED INTERNAL TRAPWAY, HIGH EFFICIENCY 1.28 GPF (4.9 LPF) TO LOW CONSUMPTION 1.6 GPF (6 LPF), 1-1/2" (38MM) TOP SPUD, AND 2 BOLT CAPS, FOR USE WITH EXPOSED FLUSH VALVE.	ELONGATED WHITE, OPEN FRONT SEAT, WITHOUT COVER, WITH CHECK HINGES. PROVIDE EXPOSED WATER CLOSET FLUSHOMETER VALVE, FOR TOP SPUD BOWLS, 1.28 GALLONS PER FLUSH, MANUAL OPERATION, MODEL ROYAL 111-1.28 BY SLOAN OR APPROVED EQUAL. FLUSH CONTROLS FOR CHILDREN'S TOILETS SHALL BE INSTALLED 36 INCHES MAXIMUM ABOVE THE FLOOR.	1"		3"
P-1H	ADA WATER CLOSET, FLOOR MOUNTED	AMERICAN STANDARD	OR APPROVED EQUAL	3043.001	MADERA FLOWISE 16-1/2" (381 MM) HIGH TOILET, FLOOR MOUNTED, BOTTOM OUTLET, WHITE VITREOUS CHINA WITH EVERCLEAN ANTIMICROBIAL SURFACE, ELONGATED SYPHON JET FLUSH ACTION BOWL, 2-1/8" (54MM) FULLY GLAZED INTERNAL TRAPWAY, HIGH EFFICIENCY 1.1 GPF (4.2 LPF) TO LOW CONSUMPTION 1.6 GPF (6 LPF), 1-1/2" (38MM) TOP SPUD WITH CONDENSATION CHANNEL AND 2 BOLT CAPS, FOR USE WITH EXPOSED FLUSH VALVE.	ELONGATED WHITE, OPEN FRONT SEAT, WITHOUT COVER, WITH CHECK HINGES. PROVIDE EXPOSED WATER CLOSET FLUSHOMETER VALVE, FOR TOP SPUD BOWLS, 1.28 GALLONS PER FLUSH, MANUAL OPERATION, MODEL ROYAL 111-1.28 BY SLOAN OR APPROVED EQUAL.	1"		3"
P-2	URINAL	AMERICAN STANDARD	OR APPROVED EQUAL	6590.001	WASHBROOK UNIVERSAL HIGH EFFICIENCY URINAL, WALL HUNG FOR FLUSH VALVE, WHITE VITREOUS CHINA, WASH OUT FLUSH ACTION 0.125 GPF TO 1.0 GPF (0.5 LPF TO 3.8 LPF), EXTENDED SIDES FOR PRIVACY, INTEGRAL FLUSH SPREADER, 3/4" (19 MM) TOP SPUD, STRAINER ON TRAP, WALL HANGERS. INSTALL WITH LIP AT 24" AFF.	PROVIDE EXPOSED URINAL FLUSHOMETER VALVE, 0.125 GALLONS PER FLUSH, MANUAL OPERATION, MODEL 186-0.125 BY SLOAN OR APPROVED EQUAL.	3/4"		2"
P-2H	ADA URINAL	AMERICAN STANDARD	OR APPROVED EQUAL	6590.001	WASHBROOK UNIVERSAL HIGH EFFICIENCY URINAL, WALL HUNG FOR FLUSH VALVE, WHITE VITREOUS CHINA, WASH OUT FLUSH ACTION 0.125 GPF TO 1.0 GPF (0.5 LPF TO 3.8 LPF), EXTENDED SIDES FOR PRIVACY, INTEGRAL FLUSH SPREADER, 3/4" (19 MM) TOP SPUD, STRAINER ON TRAP, WALL HANGERS. INSTALL WITH LIP AT 17" AFF.	PROVIDE EXPOSED URINAL FLUSHOMETER VALVE, 0.125 GALLONS PER FLUSH, MANUAL OPERATION, MODEL 186-0.125 BY SLOAN OR APPROVED EQUAL.	3/4"		2"
P-3H	ADA WALL HUNG LAVATORY FOR GANG TOILETS	AMERICAN STANDARD	OR APPROVED EQUAL	4869.001	REGALYN WHITE ENAMELED CAST IRON WALL-MOUNT LAVATORY, 20" x 18" WITH 4" BACKSPLASH, CENTER FAUCET HOLE, FRONT OVERFLOW, SUPPLY WITH WALL HANGER. INSTALL WITH RIM AT 34" AFF.	PROVIDE CHROME PLATED CAST BRASS CONSTRUCTION, SINGLE-HANDLE ADA METERING PILLAR TAP FAUCET, CAST SPOUT, SINGLE HOLE, 0.5 GPM PRESSURE COMPENSATING VANDAL-RESISTANT NON-AERATED SPRAY, FACTORY SET FOR MAXIMUM OF 0.083 GALLONS PER CYCLE, REPLACEABLE CARTRIDGE, ADJUSTABLE FLOW CYCLE, FOR TEMPERED WATER, AMERICAN STANDARD MODEL 1340.119 OR APPROVED EQUAL. PROVIDE OPTIONAL THERMOSTATIC MIXING VALVE, AMERICAN STANDARD MODEL 605XTMV1070, OR APPROVED EQUAL. PROVIDE CHROME PLATED BRASS GRID STRAINER.	3/8"	3/8"	1-1/4"
P-4H	ADA WALL HUNG LAVATORY, COLD WATER ONLY	AMERICAN STANDARD	OR APPROVED EQUAL	0356.421	LUCERNE WHITE VITREOUS CHINA WALL-MOUNT LAVATORY, 20.5" x 18.25" WITH 4" BACKSPLASH, CENTER FAUCET HOLE, FRONT OVERFLOW, SUPPLY WITH WALL HANGER. INSTALL WITH RIM AT 34" AFF.	PROVIDE CHROME PLATED CAST BRASS CONSTRUCTION, SINGLE-HANDLE ADA METERING PILLAR TAP FAUCET, CAST SPOUT, SINGLE HOLE, 0.5 GPM PRESSURE COMPENSATING VANDAL-RESISTANT NON-AERATED SPRAY, FACTORY SET FOR MAXIMUM OF 0.083 GALLONS PER CYCLE, REPLACEABLE CARTRIDGE, ADJUSTABLE FLOW CYCLE, FOR COLD WATER, AMERICAN STANDARD MODEL 1340.119 OR APPROVED EQUAL. PROVIDE CHROME PLATED BRASS GRID STRAINER.	3/8"		1-1/4"
P-5H	ADA WALL HUNG LAVATORY, COLD & HOT WATER	AMERICAN STANDARD	OR APPROVED EQUAL	0356.421	LUCERNE WHITE VITREOUS CHINA WALL-MOUNT LAVATORY, 20.5" x 18.25" WITH 4" BACKSPLASH, CENTER FAUCET HOLE, FRONT OVERFLOW, SUPPLY WITH WALL HANGER. INSTALL WITH RIM AT 34" AFF.	PROVIDE CHROME PLATED CAST BRASS CONSTRUCTION, SINGLE-HANDLE ADA METERING PILLAR TAP FAUCET, CAST SPOUT, SINGLE HOLE, 0.5 GPM PRESSURE COMPENSATING VANDAL-RESISTANT NON-AERATED SPRAY, FACTORY SET FOR MAXIMUM OF 0.083 GALLONS PER CYCLE, REPLACEABLE CARTRIDGE, ADJUSTABLE FLOW CYCLE, FOR TEMPERED WATER, AMERICAN STANDARD MODEL 1340.119 OR APPROVED EQUAL. PROVIDE OPTIONAL THERMOSTATIC MIXING VALVE, AMERICAN STANDARD MODEL 605XTMV1070, OR APPROVED EQUAL. PROVIDE CHROME PLATED BRASS GRID STRAINER.	3/8"	3/8"	1-1/4"
P-6H	ADA WALL HUNG LAVATORY, COLD WATER ONLY	AMERICAN STANDARD	OR APPROVED EQUAL	0356.421	LUCERNE WHITE VITREOUS CHINA WALL-MOUNT LAVATORY, 20.5" x 18.25" WITH 4" BACKSPLASH, CENTER FAUCET HOLE, FRONT OVERFLOW, SUPPLY WITH WALL HANGER. INSTALL WITH RIM AT 34" AFF.	PROVIDE HERITAGE/AMARILIS CHROME PLATED CAST BRASS CONSTRUCTION, SINGLE-HANDLE ADA PANTRY/BAR SINK FAUCET, GOOSENECK SWIVEL SPOUT, SINGLE HOLE, 1.5 GPM (5.7 LPM) MAXIMUM FLOW RATE, 1/4 TURN WASHERLESS CERAMIC DISC VALVE CARTRIDGE, ALL BRASS SHANK NUT AND COUPLING NUT, FOR COLD WATER, AMERICAN STANDARD MODEL 7100.271H, OR APPROVED EQUAL. PROVIDE CHROME PLATED BRASS GRID STRAINER.	1/2"		1-1/4"
P-7H	ADA WALL HUNG LAVATORY, COLD & HOT WATER	AMERICAN STANDARD	OR APPROVED EQUAL	0356.421	LUCERNE WHITE VITREOUS CHINA WALL-MOUNT LAVATORY, 20.5" x 18.25" WITH 4" BACKSPLASH, CENTER FAUCET HOLE, FRONT OVERFLOW, SUPPLY WITH WALL HANGER. INSTALL WITH RIM AT 34" AFF.	PROVIDE MONTERREY CHROME PLATED CAST BRASS CONSTRUCTION, TWO-HANDLE ADA 4" CENTERSET FAUCET, FIELD-CONVERTIBLE SWIVEL/RIGID GOOSENECK SPOUT, 1.0 GPM PRESSURE COMPENSATING VANDAL-RESISTANT AERATOR, VANDAL-RESISTANT LEVER HANDLES, CERAMIC DISC VALVE CARTRIDGES, CHROME PLATED BRASS GRID STRAINER, AMERICAN STANDARD MODEL 7502.140-V10 OR APPROVED EQUAL. PROVIDE THERMOSTATIC MIXING VALVE, AMERICAN STANDARD MODEL 605XTMV1070, OR APPROVED EQUAL.	1/2"	1/2"	1-1/4"
P-8	SINGLE COMPARTMENT SCULLERY SINK	ELKAY	OR APPROVED EQUAL	SS81242	STURDIBILT STAINLESS STEEL 27" X 27-1/2" X 14", FLOOR MOUNT, SINGLE COMPARTMENT SINK SINK TO BE 14 GAUGE 304 STAINLESS STEEL WITH A BUFFED SATIN FINISH, AND CENTER DRAIN. SINK SHALL BE SUPPORTED BY (4) 16 GAUGE STAINLESS STEEL, 1-5/8" O.D. TUBULAR LEGS WITH BULLET SHAPED FEET ADJUSTABLE UP TO 1".	PROVIDE WITH SERVICE/UTILITY 8" CENTERSET WALL MOUNT FAUCET WITH 7" VENTED SPOUT, 2" LEVER HANDLES, AND 1/2" OFFSET INLETS AND STOPS, ELKAY MODEL LK940VS07L2S OR APPROVED EQUAL. PROVIDE ELKAY DELUXE 3-1/2" DRAIN TYPE 304 STAINLESS STEEL BODY STRAINER WITH BASKET RUBBER SEAL AND TAILPIECE, MODEL LK99 OR APPROVED EQUAL. PROVIDE THERMOSTATIC MIXING VALVE, AMERICAN STANDARD MODEL 605XTMV1070, OR APPROVED EQUAL.	1/2"	1/2"	1-1/2"
P-9	DRINKING FOUNTAIN, BARRIER FREE BI-LEVEL	ELKAY	OR APPROVED EQUAL	THIS ELKAY MODEL IS OWNER PREFERRED ALTERNATE OP-P1: LZSTL8WSSK	WATER COOLER, WALL MOUNT BI-LEVEL ADA BOTTLE FILLING STATION AND FILTERED REFRIGERATED, ELECTRONIC BOTTLE FILLER SENSOR WITH ELECTRONIC FRONT AND SIDE BUBBLER PUSH BAR ACTIVATION, FLEXI-GUARD SAFETY BUBBLER, VISUAL FILTER MONITOR, HIGH EFFICIENCY, HERMETICALLY SEALED, R-134A REFRIGERANT, 8 GPH AT 50°F DELIVERY, LEAD-FREE, STAINLESS STEEL FINISH FOR ENTIRE UNIT, 115V, SINGLE PHASE.	PROVIDE DRAIN WITH PVC P-TRAP (PVC TO ISOLATE ELECTRICALLY FROM PLUMBING SYSTEM), WATER SHUT-OFF VALVE, CANE APRON (ELKAY MODEL LKAPREZL OR APPROVED EQUAL), AND WALL HANGER.	3/8"		1-1/2"
P-10	ART SINK	CUSTOM	ELKAY MAKES A CUSTOM VERSION WITH MODEL NUMBER LK50-9984		COORDINATE WITH GENERAL CONTRACTOR PER DETAILS ON A602	PROVIDE WITH ONE "A" FAUCET, ONE "B" FAUCET, AND A ZURN SOLIDS INTERCEPTOR Z1180 (PLASTER TRAP) IN DRAIN LINE BELOW SINK.			1-1/2"
	FAUCET "A" FOR ART SINK	T&S BRASS	OR APPROVED EQUAL	B-2285-CR	SINGLE HOLE, SINGLE TEMPERATURE, DECK MOUNTED FAUCET WITH POLISHED CHROME PLATED BRASS BODY, 24" RISER, 44" FLEXIBLE STAINLESS-STEEL HOSE WITH SPRING SUPPORT, 1.15 GPM SPRAY VALVE, CERAMIC CARTRIDGE WITH CHECK VALVE, 4" WRIST BLADE HANDLE, 1/2" NPSM MALE INLET, AND SPRAY VALVE HOLDER.		1/2"		
	FAUCET "B" FOR ART SINK	DELTA	OR APPROVED EQUAL	B4310LF	SINGLE HANDLE DECK MOUNTED FAUCET, SINGLE HOLE SINK APPLICATION, 2 - FUNCTION PULL OUT FAUCET, AERATED STREAM OR SPRAY, SWING SPOUT, MAXIMUM 1.8 GPM @ 60 PSI, DUAL INTEGRAL CHECK VALVES IN SPRAYER, ADA COMPLIANT.	PROVIDE ZURN SOLIDS INTERCEPTOR Z1180 (PLASTER TRAP) IN DRAIN LINE BELOW SINK.	1/2"	BLANK OFF HOT WATER CONNECTION	
P-11	FAUCET FOR EXISTING JANITOR'S SINK	T&S BRASS	OR APPROVED EQUAL	B-0665-BSTR	WALL MOUNTED FAUCET W/VACUUM BREAKER, 8" CENTERS, INTEGRAL STOPS, TOP BRACE, PAIL HOOK, 3/4" HOSE THREAD ON SPOUT, T&S BRASS MODEL B-0665-BSTR OR APPROVED EQUAL.	PROVIDE THERMOSTATIC MIXING VALVE ABOVE CEILING, BRADLEY NAVIGATOR MODEL S59-4000 OR APPROVED EQUAL.	1/2"	BLANK OFF HOT WATER CONNECTION	

NOTE: REFER TO SPECIFICATIONS FOR OTHER ACCEPTABLE MANUFACTURERS AND ADDITIONAL INFORMATION.

PLUMBING SPECIALTIES SCHEDULE						
12	DESCRIPTION	ACCESSORIES & TRIM	DCW	DHW	WASTE	REMARKS
CO	CLEANOUT, FLOOR, COATED CAST IRON, ADJUSTABLE HEAD, SCORIATED ROUND NICKEL ALLOY TOP. JOSAM SERIES 56000 OR EQUIVALENT BY ZURN, J.R. SMITH OR WADE.		--	--	VARIES	
FD-1	FLOOR DRAIN, COATED CAST IRON, TWO PIECE BODY, DOUBLE DRAINAGE FLANGE, INVERTIBLE NONPUNCTURING FLASHING COLLAR, WEEPHOLES, 8" DIA. TOP, NICKEL ALLOY ADJUSTABLE AND REMOVABLE STRAINER, JOSAM MODEL 30003-6A-50 OR EQUIVALENT BY ZURN, J. R. SMITH OR WADE.		1/2"		3"	PROVIDE WITH TRAP PRIMER CONNECTION
HB	HOSE BIBB, CHROME PLATED, LOOSE KEY OPERATED WITH INTEGRAL VACUUM BREAKER AND ANTI-SIPHON FAUCET HOSE CONNECTION, WOODFORD NO. 24, OR EQUIVALENT BY CRANE, NIBCO, J.R. SMITH, WATTS OR WILKINS		3/4"	--	--	
TP-1	AUTOMATIC PRESSURE DROP ACTIVATED TRAP PRIMER, MODEL PR-500 BY PRECISION PLUMBING PRODUCTS OR APPROVED EQUAL BY WATTS, SOUX CHIEF, MIFAB, ZURN, OR OTHERS.		1/2"			
TP-2	FLUSH VALVE TYPE WITH VACUUM BREAKER, MODEL FVP-1VB AS MANUFACTURED BY PRECISION PLUMBING PRODUCTS, OR APPROVED EQUAL BY SLOAN, DELTA, OR ZURN. ALL EXPOSED PARTS TO BE CHROME PLATED.		1/2"			
WCO	CLEANOUT, WALL, PVC CLEANOUT TEE OR PLUG WITH NO HUB CONNECTION, SMOOTH ROUND STAINLESS STEEL ACCESS COVER. JOSAM SERIES 58700 OR EQUIVALENT BY ZURN, J.R. SMITH OR WADE.		--	--	SIZE TO SUIT PIPE SIZE	
WHA	WATER HAMMER ARRESTORS, STAINLESS STEEL, JOSAM 75000-S SERIES, OR EQUAL BY ZURN OR WATTS. SIZE TO MATCH PDI SYMBOL AS INDICATED ON PLAN.		AS INDICATED TO MATCH PDI SYMBOL		--	
WH-1	80 GALLON ELECTRIC WATER HEATER WITH (3) 6.0 KW ELEMENTS - 82 GPH RECOVERY @ 90° F RISE, 18.0 KW INPUT, 480 V/3 PHASE, STATE WATER HEATERS MODEL SSE-80A OR APPROVED EQUAL BY A.O. SMITH, AMERICAN, BRADFORD WHITE, RHEEM, OR RUUD.	ISOLATION VALVES, T & P RELIEF VALVE, EXPANSION TANK "EXP-T1" WITH 10 GAL. ACCEPTANCE VOLUME	1-1/4"		1-1/4"	
WH-2	65 GALLON ELECTRIC WATER HEATER WITH (3) 4.1 KW ELEMENTS - 55 GPH RECOVERY @ 90° F RISE, 12.3 KW INPUT, 480 V/3 PHASE, STATE WATER HEATERS MODEL SSE-65A OR EQUAL BY A.O. SMITH, AMERICAN, BRADFORD WHITE, RHEEM, OR RUUD.	ISOLATION VALVES, T & P RELIEF VALVE, EXPANSION TANK "EXP-T2" WITH 10 GAL. ACCEPTANCE VOLUME	1-1/4"		1-1/4"	
					--	

NOTE: REFER TO SPECIFICATIONS FOR OTHER ACCEPTABLE MANUFACTURERS AND MORE DETAILED INFORMATION.



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Mar 1, 2024

EFLAND-CHEEKS ELEMENTARY SCHOOL
GENERAL RENOVATIONS
ORANGE COUNTY SCHOOLS
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EFLAND, NORTH CAROLINA 27243

PLUMBING SCHEDULES

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Revision		
ID	Date	Description

PROJECT NUMBER NC33X001	
REVIEWED BY	I.S.
DESIGNED BY	DMD
DRAWN BY	JWS
DRAWING DATE	02-26-2024
SHEET NUMBER	

P-600

ABBREVIATIONS					
A/C	AIR CONDITIONING	DTRR	DUAL TEMP. REVERSE RETURN	M.C.	MECHANICAL CONTRACTOR
ABV	ABOVE	DTS	DUAL TEMP. SUPPLY	MANUF.	MANUFACTURER
AC	ACRE	DWGS	DRAWING	MAS	MASONRY
ACOUST	ACOUSTICAL	E.C.	ELECTRICAL CONTRACTOR	MAX.	MAXIMUM
AD	ACCESS DOOR	EA.	EACH	MBTU	THOUSAND BRITISH THERMAL UNITS
AFF	ABOVE FINISHED FLOOR	EDC	ELECTRIC DUCT COIL	MECH	MECHANICAL
AFG	ABOVE FINISHED GRADE	EH	ELECTRIC HEATER	MET	METAL
AHU	AIR HANDLING UNIT	EJ	EXPANSION JOINT	MIN	MINIMUM
ATV	ATMOSPHERIC VENT	EL	ELEVATION	MPS	MEDIUM PRESSURE STEAM
BBD	BOILER BLOWDOWN	ELEC	ELECTRICAL	MUW	MAKEUP WATER
BD	BOARD	EMCS	ENERGY MANAGEMENT CONTROL SYSTEM	O.A.	OUTDOOR AIR
BFF	BELOW FINISH FLOOR	EQ	EQUAL	O.C.	ON CENTER
BOTM	BOTTOM	EQUIP	EQUIPMENT	OZ	OUNCE
BTU	BRITISH THERMAL UNITS	EX	EXISTING	P.C.	PLUMBING CONTRACTOR
C.O.	CLEAN OUT	FCC	FAN COIL CONTRACTOR PANEL	PC	PUMPED CONDENSATE
C.U.	CONDENSING UNIT	FCU	FAN COIL UNIT	PERIM	PERIMETER
CD	CONDENSATE DRAIN	FD / EFD	FIRE DAMPER / EX FIRE DAMPER	PSI	POUNDS PER SQUARE INCH
CEIL	CEILING	FIN	FINISH	PVMT	PAVEMENT
CFM	CUBIC FEET PER MINUTE	FL	FLOOR	R.A.	RELIEF AIR
CFS	CUBIC FEET PER SECOND	FPS	FEET PER SECOND	R.V.	RELIEF VENT
CHWR	CHILLED WATER RETURN	FL DR	FLOOR DRAIN	REFRIG	REFRIGERANT
CHWR	CHILLED EATER REVERSE RETURN	FT	FOOT	REINF	REINFORCING
CHWS	CHILLED WATER SUPPLY	G	GAS	REQ'D	REQUIRED
COL	COLUMN	G.C.	GENERAL CONTRACTOR	RET. A.	RETURN AIR
CONC	CONCRETE	GA	GAUGE	ROOM	ROOM
COND	CONDUIT	GALV	GALVANIZED	S.F.	SQUARE FOOR
CONST	CONSTRUCTION	GSHP	GROUND SOURCE HEAT PUMP	SCHED	SCHEDULE
CP	CONTROL PANEL	HORIZ	HORIZONTAL	SHT. MET.	SHEET METAL
CR	CONDENSATE RETURN (STEAM)	HP	HORSEPOWER	SPECS	SPECIFICATIONS
CW	COLD WATER SUPPLY	HP-__	HEAT PUMP - #	SPRN	FIRE PROTECTION SPRINKLER PIPING
CWR	CONDENSTER WATER RETURN	HPS	HIGH - PRESSURE STEAM	SQ. IN.	SQUARE INCH
CWS	CONDENSER WATER SUPPLY	HR	HOUR	STL	STEEL
DDC	DIRECT DIGITAL CONTROL	HWR	HOT WATER RETURN (HEATING)	STM	STORM
DEMO	DEMOLITION			SW	SOURCE WATER
DEPT	DEPARTMENT			TLT	TOILET
DIA	DIAMETER	HWS	HOT WATER SUPPLY (HEATING)	TYP	TYPICAL
DM	DOMESTIC	HVAC	HEATING, VENTILATING & AIR CONDITIONING	U.O.N.	UNLESS OTHERWISE NOTED
DM WH	DOMESTIC WATER HEATER	HX	HEAT EXCHANGER	UL	UNDERWRITERS LABORATORIES
DMC	DOMESTIC COLD	JST	JOIST	W/	WITH
DTR	DUAL TEMP. RETURN	LG	LONG	WSHP	WATER SOURCE HEAT PUMP
		LPS	LOW - PRESSURE STEAM		

MECHANICAL AND DDC LEGEND

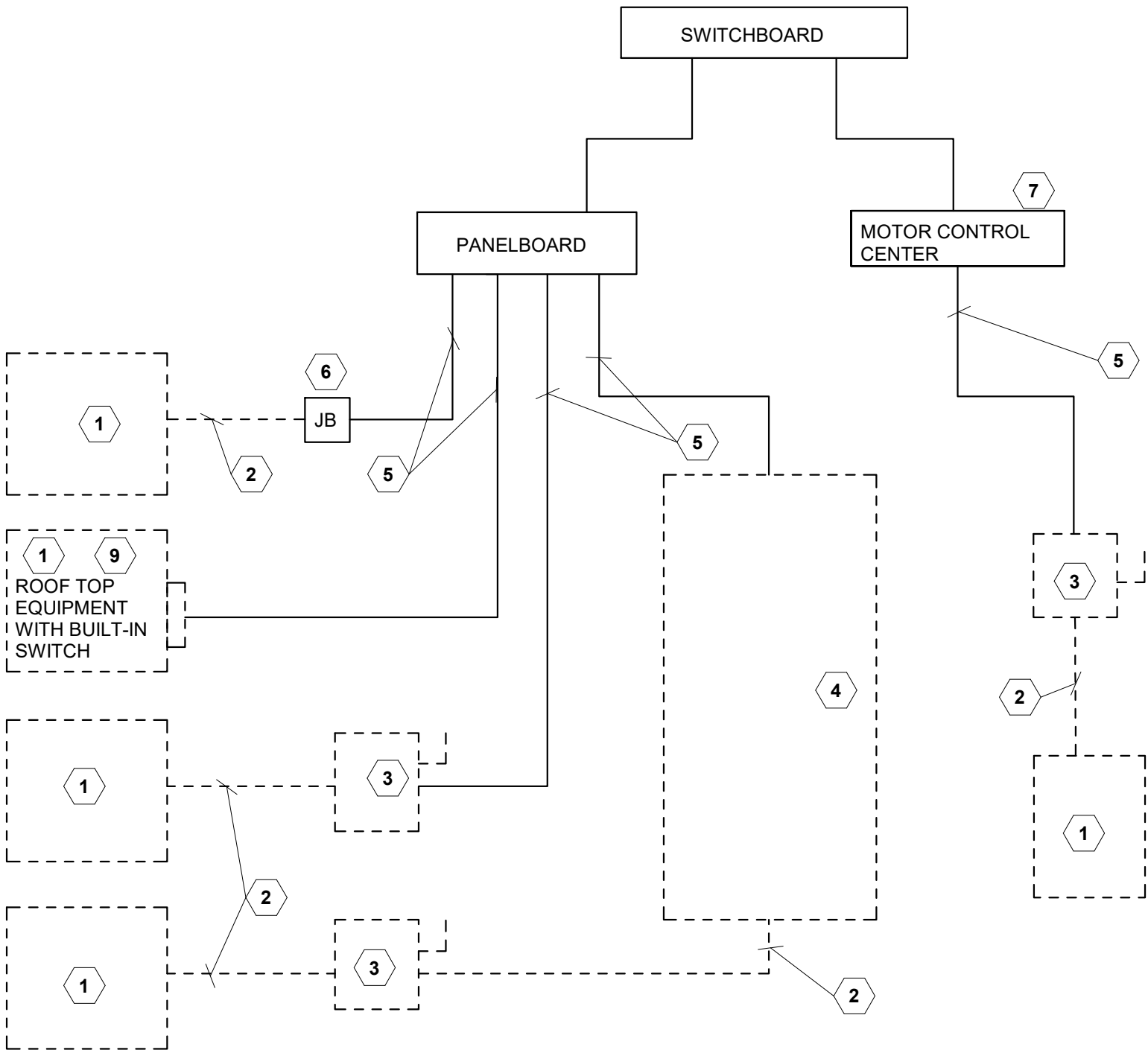
SYMBOL			DESCRIPTION	SYMBOL			DESCRIPTION
PLAN	ELEVATION	SCHEMATIC		PLAN	ELEVATION	SCHEMATIC	
			HOT WATER RECIRC PIPING				GATE VALVE
			HOT WATER PIPING				
			COLD WATER PIPING				GLOBE VALVE
			VENT PIPING				
			SANITARY DRAIN PIPING		OR 		PRESSURE GAGE
			MECHANICAL PIPES SEE ABBREVIATION TABLE FOR *				
			POINT OF CONNECTION OR DISCONNECTION				THERMOMETER
			EMERGENCY SHUT-DOWN				
			TEMPERATURE WELL				CIRCUIT SETTER
			ANALOG INPUT TO DDC				
			ANALOG OUTPUT TO DDC				BALL VALVE
			DIGITAL INPUT TO DDC				
			DIGITAL OUTPUT TO DDC				BUTTERFLY VALVE
			THERMOSTATIC RADIATOR VALVE				
			TEMPERATURE SENSOR (EMCS)				CHECK VALVE
			MANUAL OVERRIDE (EMCS)				
			HUMIDISTAT (EMCS)				TRIPLE DUTY VALVE
			HEAT PUMP THERMOSTATS				
			THERMOSTAT * INDICATES UNIT				RELIEF VALVE
			DUCT STATIC PRESSURE SENSOR				
			FLOW METER				THREE WAY CONTROL VALVE
			DUCT SMOKE DETECTOR				
			ONE HOUR FIRE RATED WALL				TWO WAY CONTROL VALVE
			TWO HOUR FIRE RATED WALL				
			FIRE DAMPER				STRAINER
			SMOKE DAMPER				
			BALANCING DAMPER				IN-LINE PUMP
			HANGER				AD - AREA DRAIN FD - FLOOR DRAIN FS - FLOOR SINK RD - ROOF DRAIN
			TEMPERATURE TRANSMITTER				COCK OR PLUG

ELECTRICAL NOTES

- EQUIPMENT OF TRADES OTHER THAN ELECTRICAL.
- CONDUIT AND WIRING BY HVAC, PLUMBING CONTRACTOR OR OTHER TRADES.
- IF AN ADDITIONAL DISCONNECT IS REQUIRED BY NEC IT SHALL BE PROVIDED AND INSTALLED BY THE EQUIPMENT CONTRACTOR.
- A COMBINATION STARTER OR VFD MAY BE USED IN LIEU OF A SEPARATE DISCONNECT SWITCH AND STARTER. LOCATE ADJACENT TO THE EQUIPMENT.
- FEEDER CIRCUIT WIRING AND CONDUIT IN ELECTRICAL WORK. SEE PANELBOARD SCHEDULES FOR WIRE AND BREAKER SIZES.
- JUNCTION BOX MAY BE SHOWN ON THE ELECTRICAL PLANS FOR SOME EQUIPMENT. IF NO STARTER OR DISCONNECT IS SUPPLIED A JUNCTION BOX SHALL BE INSTALLED ADJACENT TO THE EQUIPMENT. THE ELECTRICAL CONTRACTOR SHALL PROVIDE LINE SIDE WIRING TO THE JUNCTION BOX. LOAD SIDE WIRING WILL BE PROVIDED BY MECHANICAL CONTRACTOR OR OTHER TRADES.
- PROJECTS UTILIZING AN MCC, THE STARTER, CIRCUIT BREAKER OR VFD IN THE MCC ARE PROVIDED BY THE ELECTRICAL CONTRACTOR.
- IN ALL CASES THE EQUIPMENT CONTRACTOR SHALL MAKE FINAL CONNECTIONS, START UP, AND TEST EQUIPMENT.
- IF ROOF TOP EQUIPMENT (RTE) IS NOT PROVIDED WITH A BUILT-IN DISCONNECT SWITCH, THE ELECTRICAL CONTRACTOR SHALL PROVIDE A DISCONNECT SWITCH.
- IN A SINGLE PRIME CONTRACT, IT IS THE RESPONSIBILITY OF THE PRIME CONTRACTOR TO COORDINATE BETWEEN THE ELECTRICAL AND OTHER TRADES.

1 ELECTRICAL EQUIPMENT CONNECTION

12" = 1'-0"



GENERAL NOTES (ALL NOTES ON THIS PAGE APPLY TO ALL MECHANICAL SHEETS U.O.N.)

- DRAWINGS ARE DIAGRAMMATIC. DRAWINGS ARE NOT INTENDED TO BE ABSOLUTELY PRECISE, AND DO NOT SPECIFY OR SHOW EVERY OFFSET, FITTING, AND COMPONENT. THE PURPOSE OF THE DRAWINGS IS TO INDICATE A SYSTEM CONCEPT, THE MAIN COMPONENTS OF THE SYSTEMS, AND THE APPROXIMATE GEOMETRICAL RELATIONSHIPS. BASED ON THE SYSTEMS CONCEPT, THE MAIN COMPONENTS AND APPROXIMATE GEOMETRICAL RELATIONSHIPS, THE CONTRACTOR SHALL PROVIDE ALL OTHER COMPONENTS AND MATERIALS NECESSARY TO MAKE THE SYSTEMS FULLY COMPLETE AND OPERATIONAL. THE CONTRACTOR SHALL ROUTE PIPING OR PROVIDE OFFSETS TO AVOID INTERFERENCE WITH STRUCTURAL ELEMENTS, EQUIPMENT, ELECTRICAL PANELS AND JUNCTION BOXES, ETC. VERIFY LOCATIONS, DIMENSIONS, EXISTING FLOOR DIRECTIONS, AVAILABLE POWER CHARACTERISTICS (VOLTS/PHASE), ETC., BEFORE CONSTRUCTION.
- WORKMANSHIP: COMPETENT SKILLFUL WORKMEN SHALL DO ALL WORK IN A FINISHED, THOROUGHLY SUBSTANTIAL AND CRAFTSMANLIKE MANNER. THIS IS INTENDED TO REFER PARTICULARLY TO SMALLER DETAILS NECESSARY BUT USUALLY NOT SPECIFIED OR INDICATED ON THE DRAWINGS. ALL SUB-STANDARD WORK, INSTALLED BY THIS CONTRACTOR, SHALL BE REPLACED BY THIS CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER. IF THIS CONTRACTOR DAMAGES EXISTING WORK, HE SHALL PAY THE COST OF REPLACEMENT OF THE DAMAGED WORK AT NO ADDITIONAL EXPENSE TO THE OWNER. THE ENGINEER SHALL BE THE JUDGE OF WORKMANSHIP AND HIS/HER OPINION SHALL BE FINAL.
- THE DESIGN DOCUMENTS INDICATE THE PRODUCTS THAT WERE USED AS THE BASIS OF THE DESIGN. THIS ESTABLISHES THE PRODUCT PARAMETERS AND OTHER SYSTEMS INTERACTING WITH THE PRODUCT (SIZE, POWER REQUIREMENTS, PIPE SIZES, PUMP CAPACITY, ETC.). CONTRACTOR SHALL SPECIFICALLY BRING TO THE DESIGNER'S ATTENTION ANY CHANGES IN OTHER SYSTEMS REQUIRED WHEN PRODUCTS, OTHER THAN THOSE USED AS THE BASIS OF THE DESIGN, ARE USED. THE CONTRACTOR SHALL BEAR ALL COSTS, INCLUDING DESIGN, FOR THE CHANGES.
- THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS, DIMENSIONS AND SIZES BEFORE FABRICATING OR ORDERING EQUIPMENT.
- REPAIR AND PATCH ALL (NEW AND DEMOLISHED) WALL AND FLOOR PENETRATIONS TO MATCH EXISTING FINISH. REPAIR AND PATCH ALL CONCRETE FLOORS, SLABS OR ASPHALT PAVING TO MATCH EXISTING FINISHES WHERE EQUIPMENT, SLABS OR SUPPORTS ARE REMOVED. SEAL ALL PENETRATIONS OF FIRE RATED WALLS/FLOORS IN ACCORDANCE WITH UL SPECIFICATIONS. REFER TO DRAWINGS FOR WALL RATINGS. TREAT ALL FLOORS AS TWO HOUR RATED. SEAL PENETRATIONS OF NON-FIRE RATED WALLS WITH SILICONE CAULK TO PREVENT TRANSMISSION OF NOISE, AIR, MOISTURE, AND VERMIN.
- SUPPORT ALL PIPING AND DUCTS FROM BUILDING STRUCTURE, FLOOR OR PAVEMENT. REFER TO SPECIFICATION SECTION PERTAINING TO "SUPPORTS, ANCHORS AND VIBRATION ISOLATION", AND DETAIL DRAWINGS FOR REQUIREMENTS.
- DUCT SIZES SHOWN ARE CLEAR INSIDE DIMENSIONS. IF DUCT LINER IS CALLED FOR, THE SHEET METAL SIZE SHALL BE INCREASED TO PROVIDE THE CLEAR DIMENSIONS INDICATED INSIDE THE DUCT LINER. FOR EXAMPLE, IF THE DUCT SIZE IS SHOWN AS 24" X 12" AND THE DUCT IS TO HAVE 1" OF DUCT LINER, THEN THE SHEET METAL WILL BE 26" X 14".
- AFTER COMPLETION OF CONSTRUCTION, TEST AND BALANCE THE AIR DISTRIBUTION SYSTEMS TO THE FLOW VALUES INDICATED IN THE PLANS. A TEST AND BALANCE REPORT SHALL BE SUBMITTED AND ANY DISCREPANCIES SHALL BE NOTED AND BROUGHT TO THE ATTENTION OF THE ENGINEER. SEE SPECIFICATION SECTION PERTAINING TO "TESTING AND BALANCING".
- REFER TO PLANS, EQUIPMENT SCHEDULES AND DETAILS FOR CAPACITIES AND ADDITIONAL REQUIREMENTS.
- INSTALL ALL EQUIPMENT IN COMPLIANCE WITH MANUFACTURER'S WRITTEN RECOMMENDATION AND REQUIREMENTS. IF RECOMMENDATIONS CONFLICT WITH DRAWINGS, REQUEST CLARIFICATIONS FROM ENGINEER BEFORE PROCEEDING.
- THE DELINEATION OF THE WORK BETWEEN THE MECHANICAL AND THE ELECTRICAL CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS ESTABLISHED BY THE NC STATE CONSTRUCTION OFFICE. REFER TO SCHEMATIC TITLED "MECHANICAL ELECTRICAL EQUIPMENT CONNECTION" ON THIS SHEET.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY AT THE SITE. PROVIDE BARRICADES AND COVERS AT EXCAVATION AREAS, AROUND ROOF OPENINGS, ETC. AS APPROPRIATE. COMPLY WITH SAFETY REQUIREMENTS OF OSHA, ETC. EXCEPT FOR INTERRUPTIONS SPECIFICALLY PERMITTED BY THE OWNER, VEHICULAR AND PEDESTRIAN TRAFFIC SHALL BE MAINTAINED AT ALL TIMES. COORDINATE WITH THE OWNER.
- WHERE PIPES OR DUCTS ARE SHOWN GOING THROUGH A WALL, FLOOR, OR THE ROOF THEY SHALL GO BETWEEN JOISTS OR JOISTS AND BEAMS. NO TRUSSES, BEAMS, JOISTS, COLUMNS OR OTHER STRUCTURAL MEMBERS ARE TO BE CUT WITHOUT PRIOR APPROVAL OF THE ENGINEER. EXISTING OPENINGS SHALL BE USED WHERE APPROPRIATE. NEW OPENINGS FOR DUCTS SHALL BE SAW CUT. NEW OPENINGS FOR PIPES SHALL BE CORE DRILLED.
- INSTALLING CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO THE ROOF DURING DEMOLITION OF HVAC EQUIPMENT. PROTECT ROOF FROM DAMAGE THROUGHOUT CONSTRUCTION. PROVIDE AS A MINIMUM PRECAUTION 4" X 8" X 1/2" PLYWOOD SHEETS IN WORK AREAS. MAKE PROVISIONS TO AVOID DISPLACEMENT BY POTENTIAL HIGH WINDS. CONTRACTOR TO PHOTOGRAPH EXISTING ROOF CONDITIONS PRIOR TO COMMENCEMENT OF WORK AND PROVIDE THE OWNER AND ENGINEER WITH DIGITAL COPIES OF THE PHOTOS. THE HVAC INSTALLER WILL HAVE ROOF SYSTEM MANUFACTURER'S REPRESENTATIVE INSPECT THE ROOF BEFORE CONTRACT IS CLOSED OUT. ANY WORK DEEMED NECESSARY BY THE MANUFACTURER'S REPRESENTATIVE WILL BE PAID FOR BY THE HVAC INSTALLER. ALL ROOFING WORK AND REPAIRS SHALL BE DONE ACCORDING TO THE EXISTING ROOFING MANUFACTURER'S STANDARDS AND BY A CONTRACTOR CERTIFIED TO WORK ON THIS BRAND OF ROOF.
- WHEREVER EXISTING OR NEW LINED DUCT IS CUT OR TAKEN APART LEAVING A RAW EDGE ON THE DUCT LINER, AND THIS DUCT IS TO CONTINUE IN USE, THE RAW EDGES OF THE DUCT LINER SHALL BE SEALED WITH ADHESIVE MADE FOR THIS PURPOSE, OR WITH METAL NOSING.
- ALL EXISTING AIR DISTRIBUTION DEVICES (DIFFUSERS, GRILLES AND REGISTERS) BEING REUSED SHALL BE CLEANED.
- ALL EXISTING LIGHTS, DUCTS, CABLE TRAYS, CABLES, CONDUIT, PIPES, INSULATION, CEILING GRIDS, AND OTHER EQUIPMENT WHICH ARE TO REMAIN SHALL BE PROTECTED FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION WORK. ANYTHING DAMAGED WILL HAVE TO BE REPLACED OR REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- PROTECT EXISTING AND NEW DUCTWORK, DIFFUSERS, REGISTERS, AND THERMOSTATS FROM DUST AND DAMAGE DURING THE CONSTRUCTION PROCESS. CLOSE DAMPERS AND COVER OPENINGS IN DUCTWORK, DIFFUSERS, REGISTERS, AND SENSORS WITH PLASTIC.
- SWITCHES, THERMOSTATS, SENSORS, AND OTHER WALL MOUNTED CONTROLS SHALL BE MOUNTED 3'-10" AFF, AS MEASURED TO THE CENTER OF THE DEVICE, UNLESS NOTED OTHERWISE.



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EFLAND-CHEEKS ELEMENTARY SCHOOL
GENERAL RENOVATIONS
ORANGE COUNTY SCHOOLS
4401 FULLER ROAD
EFLAND, NORTH CAROLINA 27243

MECHANICAL COVER

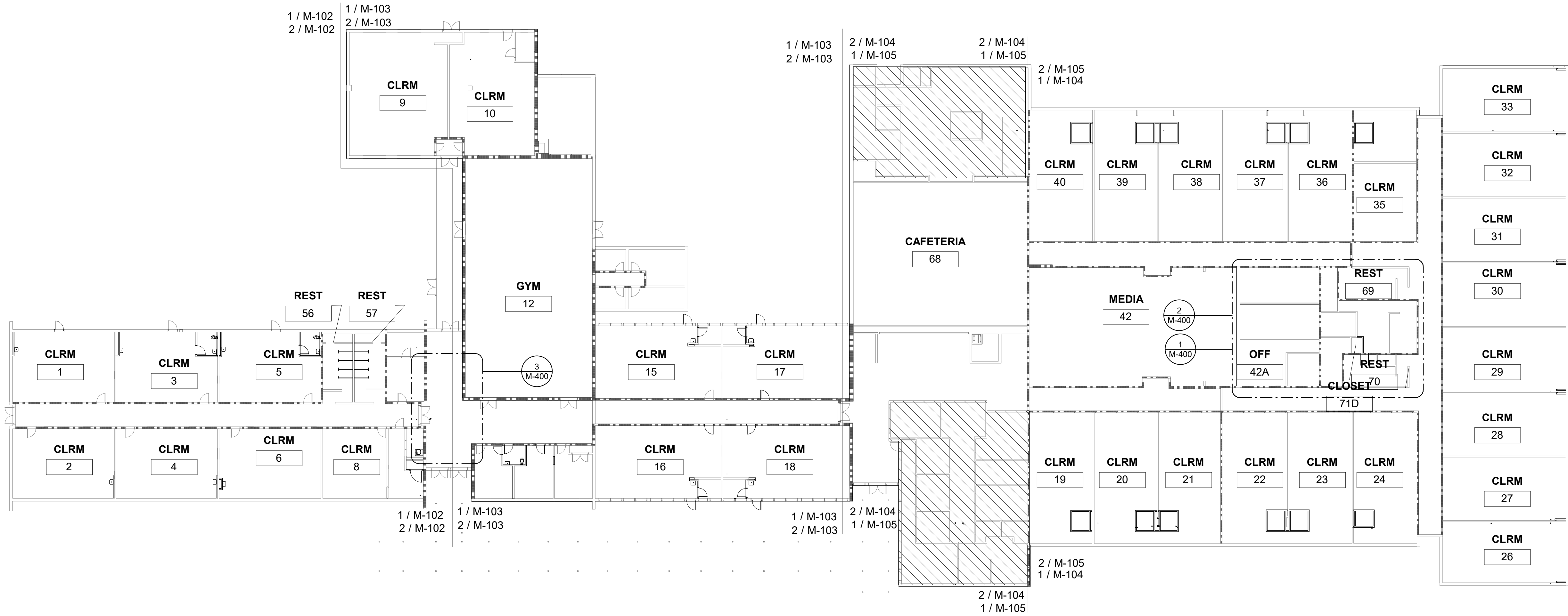
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Revision		
ID	Date	Description

PROJECT NUMBER NC33X001
REVIEWED BY I.S.
DESIGNED BY DMD
DRAWN BY JWS
DRAWING DATE 02-26-2024

SHEET NUMBER

M-100

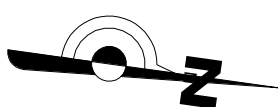


1 OVERALL MECHANICAL PLAN
3/64" = 1'-0"

NOTE: THE PURPOSE OF THIS SHEET IS TO GIVE AN OVERALL VIEW OF THE BUILDING WITH PLAN AND MATCHLINE REFERENCES FOR THE LARGER SCALE PLANS. REFER TO THE ARCHITECTURAL DRAWINGS FOR THE PHASING OF THE PROJECT.

FIRE RATED LEGEND

- ■ ■ ■ ■ ■ ■ ■ ■ ■ 1 HOUR FIRE RATED BARRIER
- ■ ■ ■ ■ ■ ■ ■ ■ ■ 2 HOUR FIRE RATED WALL



EFLAND-CHEEKS ELEMENTARY SCHOOL
GENERAL RENOVATIONS
ORANGE COUNTY SCHOOLS
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EFLAND-CHEEKS CEILING PLAN

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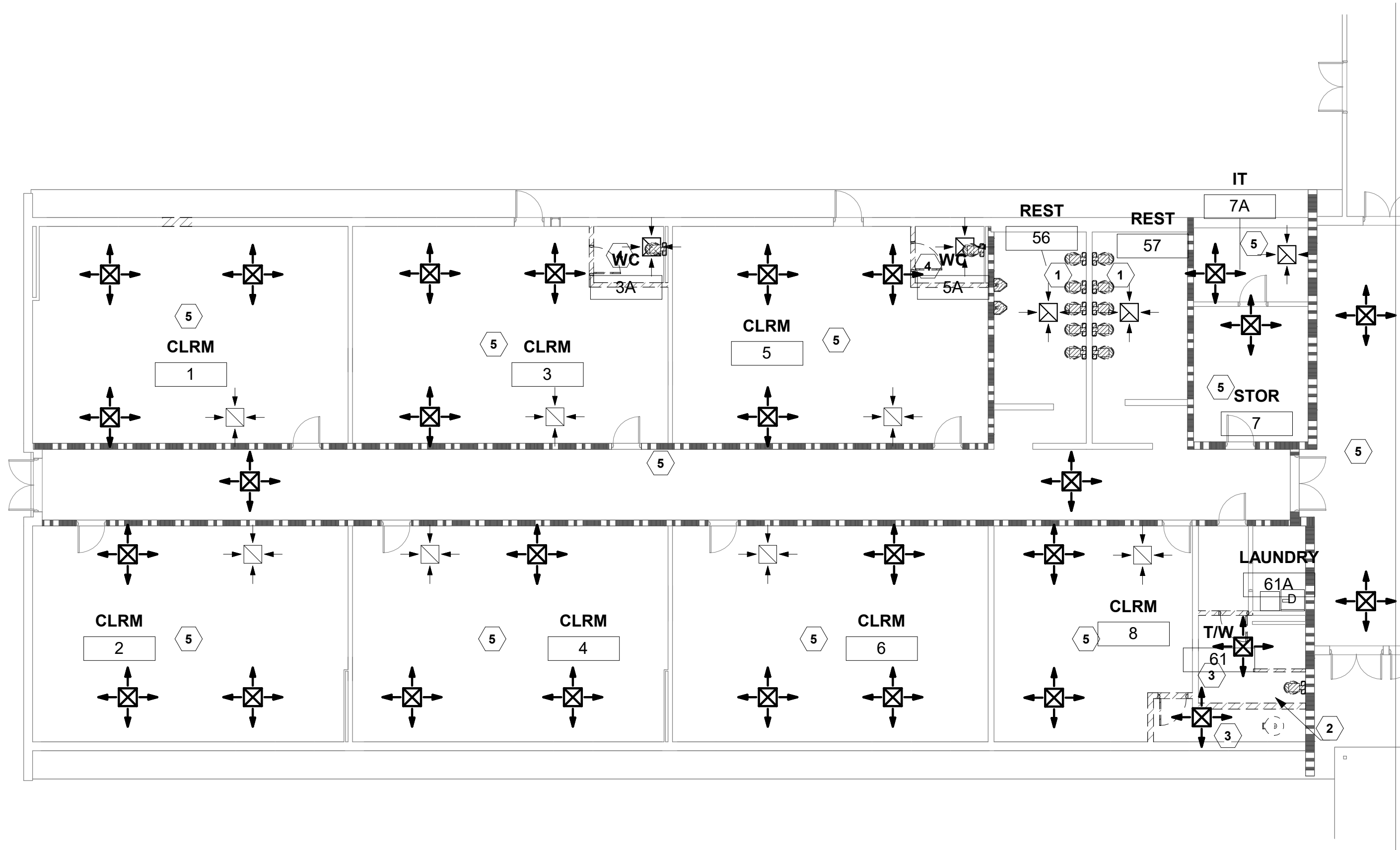
PROJECT NUMBER NC33X001
REVIEWED BY I.S.
DESIGNED BY DMD
DRAWN BY JWS
DRAWING DATE 02-26-2024
SHEET NUMBER

M-101

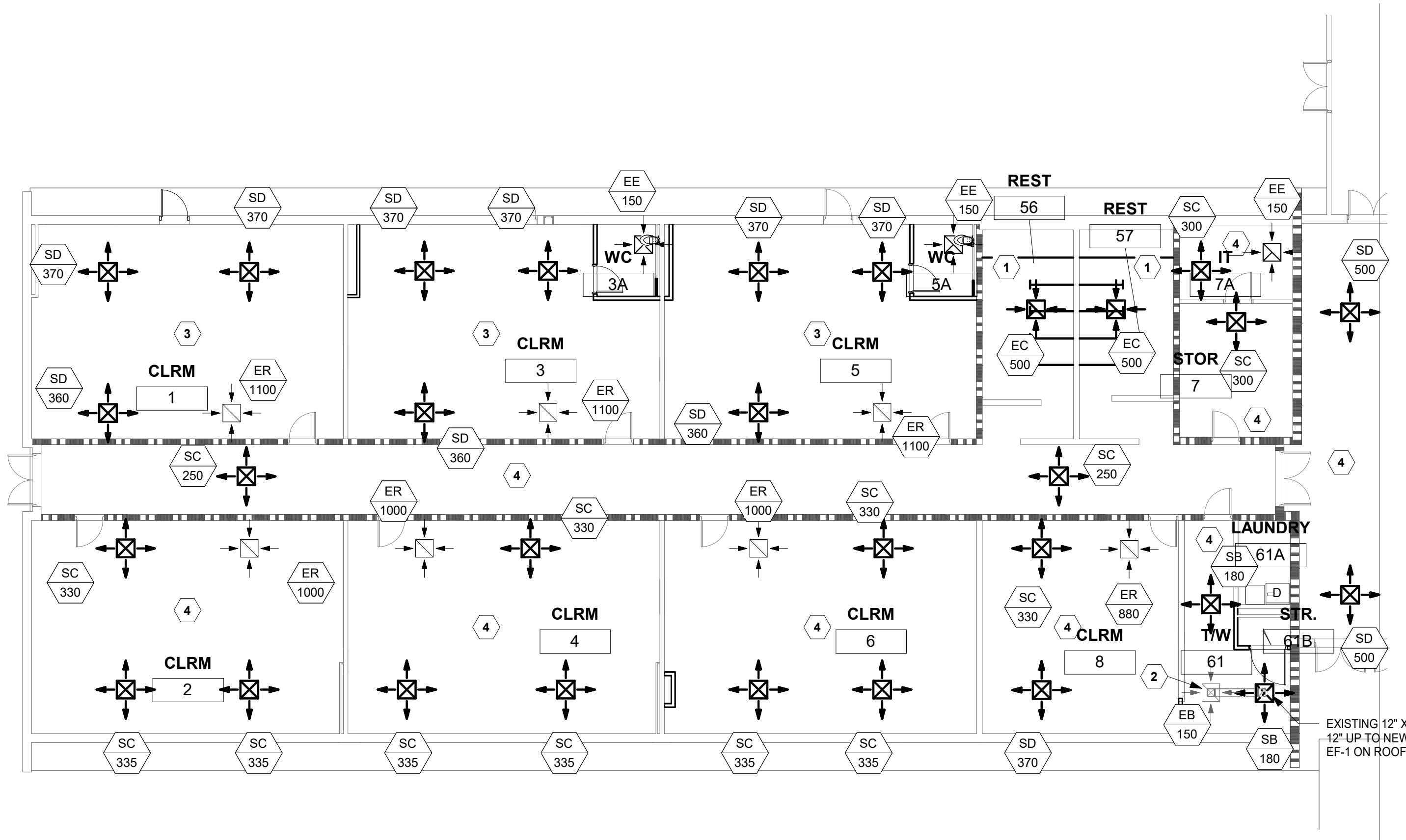
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Feb 28, 2024



1 AREA A-1 FLOOR PLAN - DEMOLITION
3/32" = 1'-0"



2 AREA A-1 FLOOR PLAN - CONSTRUCTION
3/32" = 1'-0"

GENERAL SHEET NOTES

1. THE EXISTING EQUIPMENT, DIFFUSER, AND DUCT LAYOUT WAS OBTAINED FROM FIELD OBSERVATIONS AND DRAWINGS PROVIDED BY THE OWNER. NOT ALL EXISTING EQUIPMENT IS SHOWN THAT IS NOT PART OF THIS PROJECT.
2. EXISTING DUCTWORK IS ONLY SHOWN IN SELECT LOCATIONS AS NEEDED. THE DRAWINGS FROM THE PREVIOUS HVAC REPLACEMENT PROJECT WILL BE MADE AVAILABLE UPON REQUEST FOR REFERENCE.
3. ITEMS SHOWN BOLD IN THE DEMOLITION PLAN ARE TO BE REMOVED UNLESS OTHERWISE NOTED. ITEMS SHOWN BOLD IN THE CONSTRUCTION PLAN ARE NEW UNLESS OTHERWISE NOTED.
4. REMOVE ALL HANGERS OR OTHER SUPPORTS FOR ANY DUCTS REMOVED DURING THE RENOVATION WORK.
5. DISPOSE OF THE DEMOLISHED MATERIALS IN AN APPROPRIATE AND LEGAL MANNER.
6. PATCH HOLES LEFT BY THE REMOVAL OF ITEMS TO MATCH SURROUNDING MATERIALS.
7. ALMOST ALL OF THE EXISTING DIFFUSERS AND GRILLES ARE CONNECTED TO THE DUCTWORK WITH HARD CONNECTIONS, NOT FLEXIBLE CONNECTIONS. THE NEW DIFFUSERS AND GRILLES ARE TO BE HARD CONNECTED, EXCEPT THOSE FEW THAT ALREADY HAVE FLEXIBLE DUCTS MAY BE CONNECTED TO THE FLEXIBLE DUCTS.
8. MOST OF THE EXISTING SUPPLY DUCTWORK IS LINED. WHERE SUPPLY DUCTS MUST BE CUT AND REROUTED, THE CUT EDGES OF DUCT LINER SHALL BE SEALED BY COVERING WITH METAL NOSING. NEW SUPPLY DUCTS SHALL BE WRAPPED WITH INSULATION.
9. ALL EXISTING LIGHTS, DUCTS, CABLE TRAYS, CABLES, CONDUIT, PIPES, INSULATION, CEILING GRIDS, AND OTHER EQUIPMENT WHICH ARE TO REMAIN SHALL BE PROTECTED FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION WORK. ANYTHING DAMAGED WILL HAVE TO BE REPLACED OR REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
10. PROTECT EXISTING AND NEW DUCTWORK, DIFFUSERS, REGISTERS, AND THERMOSTATS FROM DUST AND DAMAGE DURING THE CONSTRUCTION PROCESS. CLOSE DAMPERS AND COVER OPENINGS IN DUCTWORK, DIFFUSERS, REGISTERS, AND SENSORS WITH PLASTIC. WSHIP UNITS MAY HAVE TO BE SHUT DOWN DURING CUTTING OR SANDING OPERATIONS TO PREVENT DUST BEING DRAWN INTO THE DUCTWORK.
11. THE TEST AND BALANCE CONTRACTOR SHALL BALANCE THE AIR FLOW TO THE INDICATED VALUES. THIS INCLUDES REBALANCING THE EXISTING GRILLES. CFM VALUES GIVEN FOR RETURN GRILLES ARE APPROXIMATIONS ONLY. BALANCE THE SUPPLY AIR TO THE GIVEN VALUES AND RECORD THE ASSOCIATED RETURN VALUES.

DEMOLITION KEYED NOTES

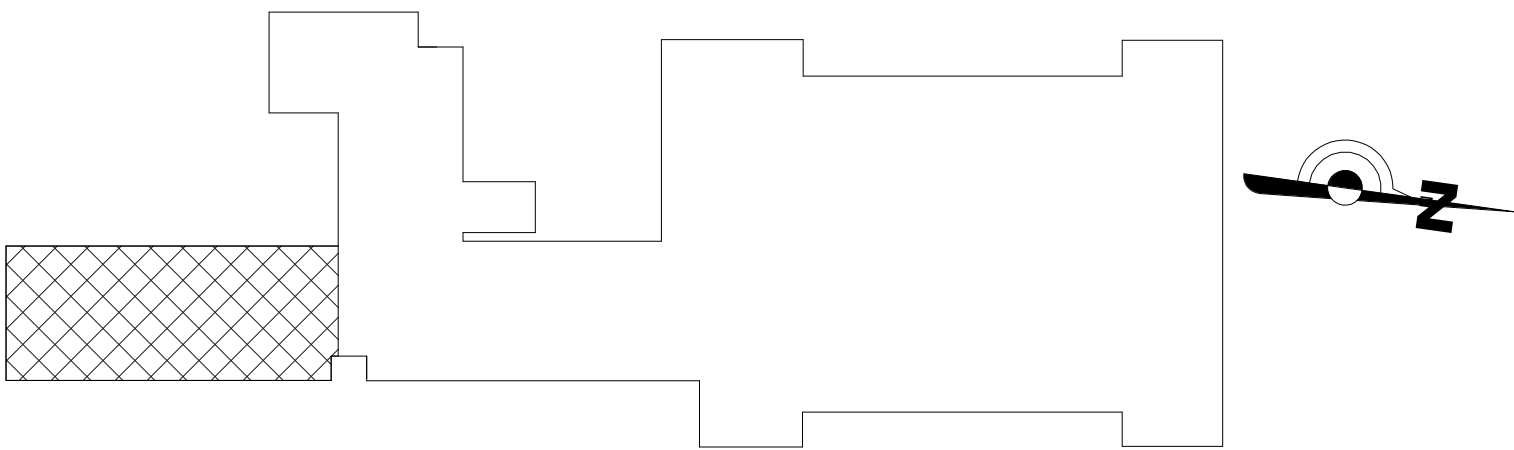
1. REMOVE EXHAUST GRILLE AND DISCARD. RETAIN EXHAUST DUCT FOR RECONNECTION OF NEW EXHAUST GRILLE. THIS EXHAUST GOES TO AN ERV WHICH IS TO REMAIN. REFER TO CONSTRUCTION PLAN FOR NEW GRILLE LOCATION.
2. REMOVE EXHAUST GRILLE AND DISCARD. RETAIN PORTION OF EXHAUST DUCT FOR RECONNECTION OF NEW EXHAUST GRILLE. EXISTING EXHAUST FAN ON ROOF TO BE REMOVED AND REPLACED WITH A NEW FAN. REFER TO CONSTRUCTION PLAN FOR NEW GRILLE LOCATION.
3. REMOVE AND DISCARD THE SUPPLY DIFFUSER IN THIS ROOM. DUCTWORK TO BE ADJUSTED FOR NEW DIFFUSER LOCATION. REFER TO CONSTRUCTION DRAWING.
4. EXISTING 12" X 12" EXHAUST GRILLE TO REMAIN AND BE REUSED. ADJUST ITS LOCATION FOR NEW CEILING GRID IN ENLARGED TOILET ROOM. REFER TO CONSTRUCTION DRAWING.
5. REMOVE AND DISCARD THE SUPPLY DIFFUSERS IN THIS ROOM. RETAIN EXISTING RETURN GRILLE(S). RETAIN SUPPLY DUCTS FOR CONNECTING NEW DIFFUSERS — REFER TO CONSTRUCTION DRAWINGS.

CONSTRUCTION KEYED NOTES

1. PROVIDE NEW EXHAUST GRILLE AND CONNECT IT TO EXISTING DUCT. ADJUST SIZE AND/OR LOCATION OF DUCT AS NEEDED TO FIT NEW CEILING GRID.
2. PROVIDE NEW EXHAUST GRILLE AND CONNECT IT TO THE EXISTING 12" X 12" RISER TO THE ROOF USING A NEW 10" X 10" DUCT.
3. PROVIDE NEW SUPPLY DIFFUSERS IN THIS ROOM. CONNECT THEM TO THE EXISTING DUCTWORK.
4. PROVIDE NEW SUPPLY DIFFUSERS IN THIS ROOM. CONNECT THEM TO THE EXISTING DUCTWORK. TRANSITION THE DUCTWORK TO THE NEW DIFFUSER NECK SIZE AS REQUIRED.

FIRE RATED LEGEND

- 1 HOUR FIRE RATED BARRIER
- 2 HOUR FIRE RATED WALL



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Feb 28, 2024

EFLAND-CHEEKS ELEMENTARY SCHOOL
GENERAL RENOVATIONS
ORANGE COUNTY SCHOOLS
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EFLAND, NORTH CAROLINA 27243
AREA A-1 FLOOR PLANS

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Revision		
ID	Date	Description

PROJECT NUMBER NC33X001
REVIEWED BY I.S.
DESIGNED BY DMD
DRAWN BY JWS
DRAWING DATE 02-26-2024
SHEET NUMBER

M-102

GENERAL SHEET NOTES

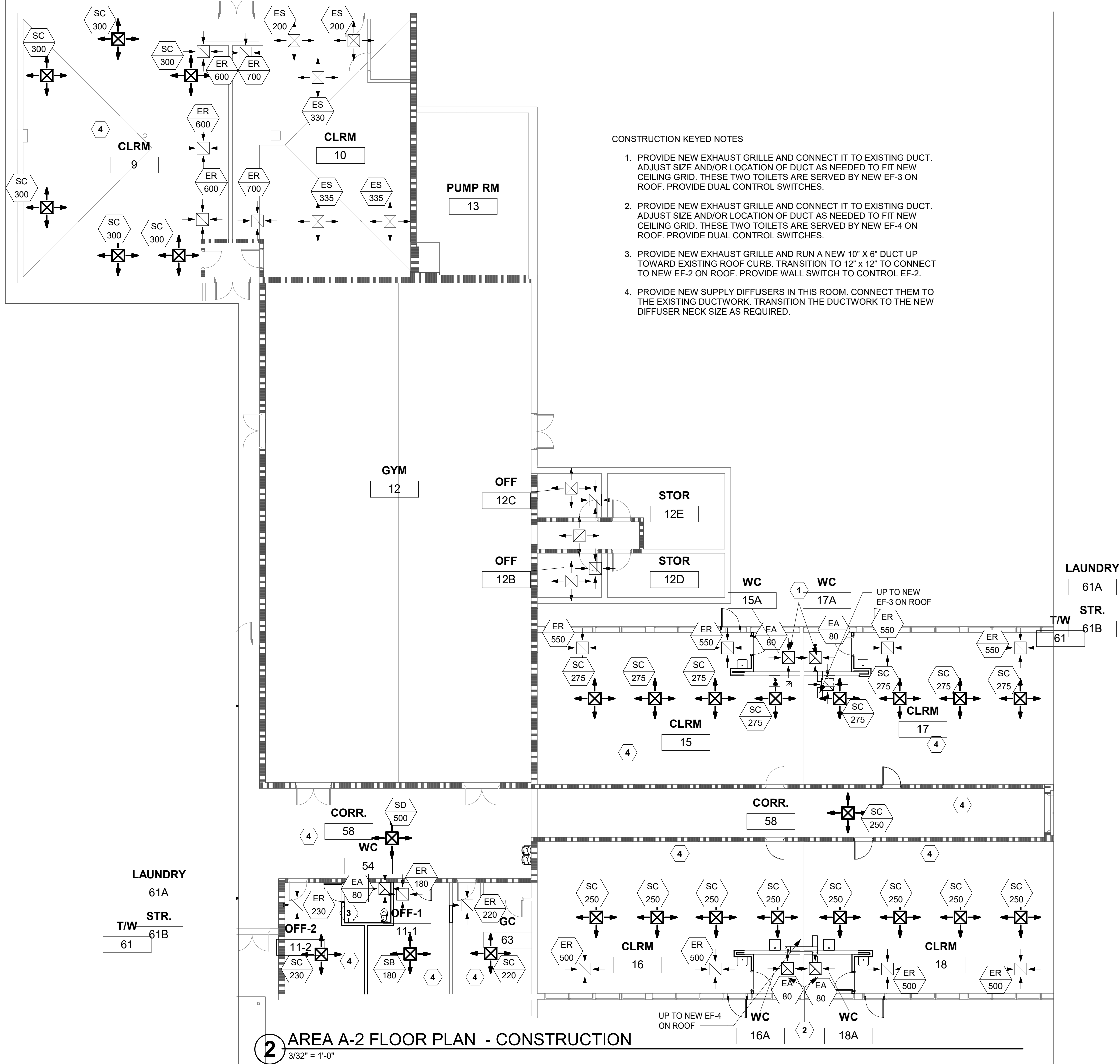
1. THE EXISTING EQUIPMENT, DIFFUSER, AND DUCT LAYOUT WAS OBTAINED FROM FIELD OBSERVATIONS AND DRAWINGS PROVIDED BY THE OWNER. NOT ALL EXISTING EQUIPMENT IS SHOWN THAT IS NOT PART OF THIS PROJECT.
2. EXISTING DUCTWORK IS ONLY SHOWN IN SELECT LOCATIONS AS NEEDED. THE DRAWINGS FROM THE PREVIOUS HVAC REPLACEMENT PROJECT WILL BE MADE AVAILABLE UPON REQUEST FOR REFERENCE.
3. ITEMS SHOWN BOLD IN THE DEMOLITION PLAN ARE TO BE REMOVED UNLESS OTHERWISE NOTED. ITEMS SHOWN BOLD IN THE CONSTRUCTION PLAN ARE NEW UNLESS OTHERWISE NOTED.
4. REMOVE ALL HANGERS OR OTHER SUPPORTS FOR ANY DUCTS REMOVED DURING THE RENOVATION WORK.
5. DISPOSE OF THE DEMOLISHED MATERIALS IN AN APPROPRIATE AND LEGAL MANNER.
6. PATCH HOLES LEFT BY THE REMOVAL OF ITEMS TO MATCH SURROUNDING MATERIALS.
7. ALMOST ALL OF THE EXISTING DIFFUSERS AND GRILLES ARE CONNECTED TO THE DUCTWORK WITH HARD CONNECTIONS, NOT FLEXIBLE CONNECTIONS. THE NEW DIFFUSERS AND GRILLES ARE TO BE HARD CONNECTED, EXCEPT THOSE FEW THAT ALREADY HAVE FLEXIBLE DUCTS MAY BE CONNECTED TO THE FLEXIBLE DUCTS.
8. MOST OF THE EXISTING SUPPLY DUCTWORK IS LINED. WHERE SUPPLY DUCTS MUST BE CUT AND REROUTED, THE CUT EDGES OF DUCT LINER SHALL BE SEALED BY COVERING WITH METAL NOSING. NEW SUPPLY DUCTS SHALL BE WRAPPED WITH INSULATION.
9. ALL EXISTING LIGHTS, DUCTS, CABLE TRAYS, CABLES, CONDUIT, PIPES, INSULATION, CEILING GRIDS, AND OTHER EQUIPMENT WHICH ARE TO REMAIN SHALL BE PROTECTED FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION WORK. ANYTHING DAMAGED WILL HAVE TO BE REPLACED OR REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
10. PROTECT EXISTING AND NEW DUCTWORK, DIFFUSERS, REGISTERS, AND THERMOSTATS FROM DUST AND DAMAGE DURING THE CONSTRUCTION PROCESS. CLOSE DAMPERS AND COVER OPENINGS IN DUCTWORK, DIFFUSERS, REGISTERS, AND SENSORS WITH PLASTIC. WSPH UNITS MAY HAVE TO BE SHUT DOWN DURING CUTTING OR SANDING OPERATIONS TO PREVENT DUST BEING DRAWN INTO THE DUCTWORK.
11. THE TEST AND BALANCE CONTRACTOR SHALL BALANCE THE AIR FLOW TO THE INDICATED VALUES. THIS INCLUDES REBALANCING THE EXISTING GRILLES. CFM VALUES GIVEN FOR RETURN GRILLES ARE APPROXIMATIONS ONLY. BALANCE THE SUPPLY AIR TO THE GIVEN VALUES AND RECORD THE ASSOCIATED RETURN VALUES.

CONSTRUCTION KEYED NOTES

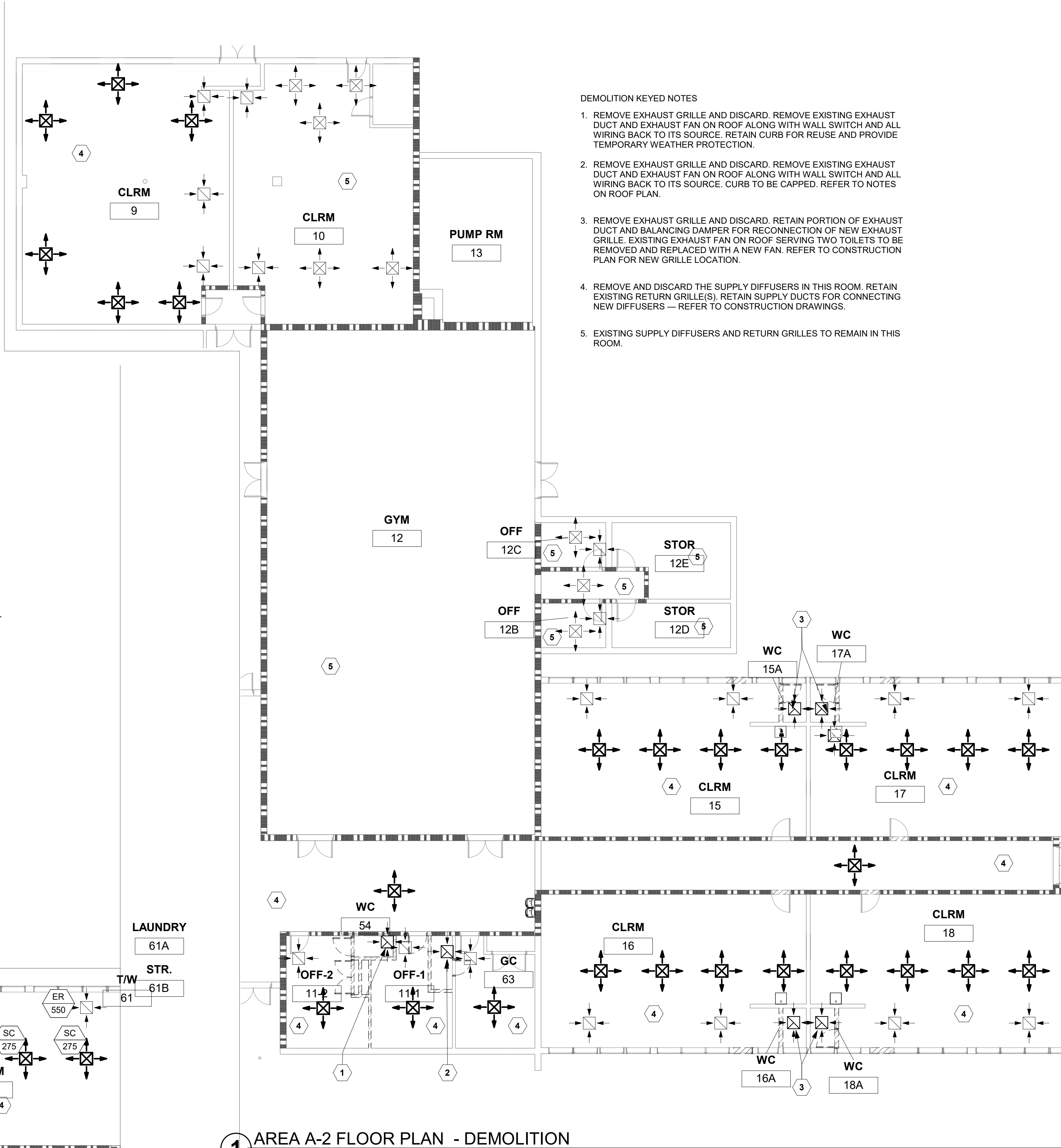
1. PROVIDE NEW EXHAUST GRILLE AND CONNECT IT TO EXISTING DUCT. ADJUST SIZE AND/OR LOCATION OF DUCT AS NEEDED TO FIT NEW CEILING GRID. THESE TWO TOILETS ARE SERVED BY NEW EF-3 ON ROOF. PROVIDE DUAL CONTROL SWITCHES.
2. PROVIDE NEW EXHAUST GRILLE AND CONNECT IT TO EXISTING DUCT. ADJUST SIZE AND/OR LOCATION OF DUCT AS NEEDED TO FIT NEW CEILING GRID. THESE TWO TOILETS ARE SERVED BY NEW EF-4 ON ROOF. PROVIDE DUAL CONTROL SWITCHES.
3. PROVIDE NEW EXHAUST GRILLE AND RUN A NEW 10" X 6" DUCT UP TOWARD EXISTING ROOF CURB. TRANSITION TO 12" X 12" TO CONNECT TO NEW EF-2 ON ROOF. PROVIDE WALL SWITCH TO CONTROL EF-2.
4. PROVIDE NEW SUPPLY DIFFUSERS IN THIS ROOM. CONNECT THEM TO THE EXISTING DUCTWORK. TRANSITION THE DUCTWORK TO THE NEW DIFFUSER NECK SIZE AS REQUIRED.

DEMOLITION KEYED NOTES

1. REMOVE EXHAUST GRILLE AND DISCARD. REMOVE EXISTING EXHAUST DUCT AND EXHAUST FAN ON ROOF ALONG WITH WALL SWITCH AND ALL WIRING BACK TO ITS SOURCE. RETAIN CURB FOR REUSE AND PROVIDE TEMPORARY WEATHER PROTECTION.
2. REMOVE EXHAUST GRILLE AND DISCARD. REMOVE EXISTING EXHAUST DUCT AND EXHAUST FAN ON ROOF ALONG WITH WALL SWITCH AND ALL WIRING BACK TO ITS SOURCE. RETAIN CURB FOR REUSE AND PROVIDE TEMPORARY WEATHER PROTECTION.
3. REMOVE EXHAUST GRILLE AND DISCARD. RETAIN PORTION OF EXHAUST DUCT AND BALANCING DAMPER FOR RECONNECTION OF NEW EXHAUST GRILLE. EXISTING EXHAUST FAN ON ROOF SERVING TWO TOILETS TO BE REMOVED AND REPLACED WITH A NEW FAN. REFER TO CONSTRUCTION PLAN FOR NEW GRILLE LOCATION.
4. REMOVE AND DISCARD THE SUPPLY DIFFUSERS IN THIS ROOM. RETAIN EXISTING RETURN GRILLE(S). RETAIN SUPPLY DUCTS FOR CONNECTING NEW DIFFUSERS — REFER TO CONSTRUCTION DRAWINGS.
5. EXISTING SUPPLY DIFFUSERS AND RETURN GRILLES TO REMAIN IN THIS ROOM.



2 AREA A-2 FLOOR PLAN - CONSTRUCTION
3/32" = 1'-0"



1 AREA A-2 FLOOR PLAN - DEMOLITION
3/32" = 1'-0"

FIRE RATED LEGEND

- 1 HOUR FIRE RATED BARRIER
- 2 HOUR FIRE RATED WALL

EFLAND-CHEEKS ELEMENTARY SCHOOL
GENERAL RENOVATIONS
ORANGE COUNTY SCHOOLS
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AREA A-2 FLOOR PLANS

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Revision		
ID	Date	Description

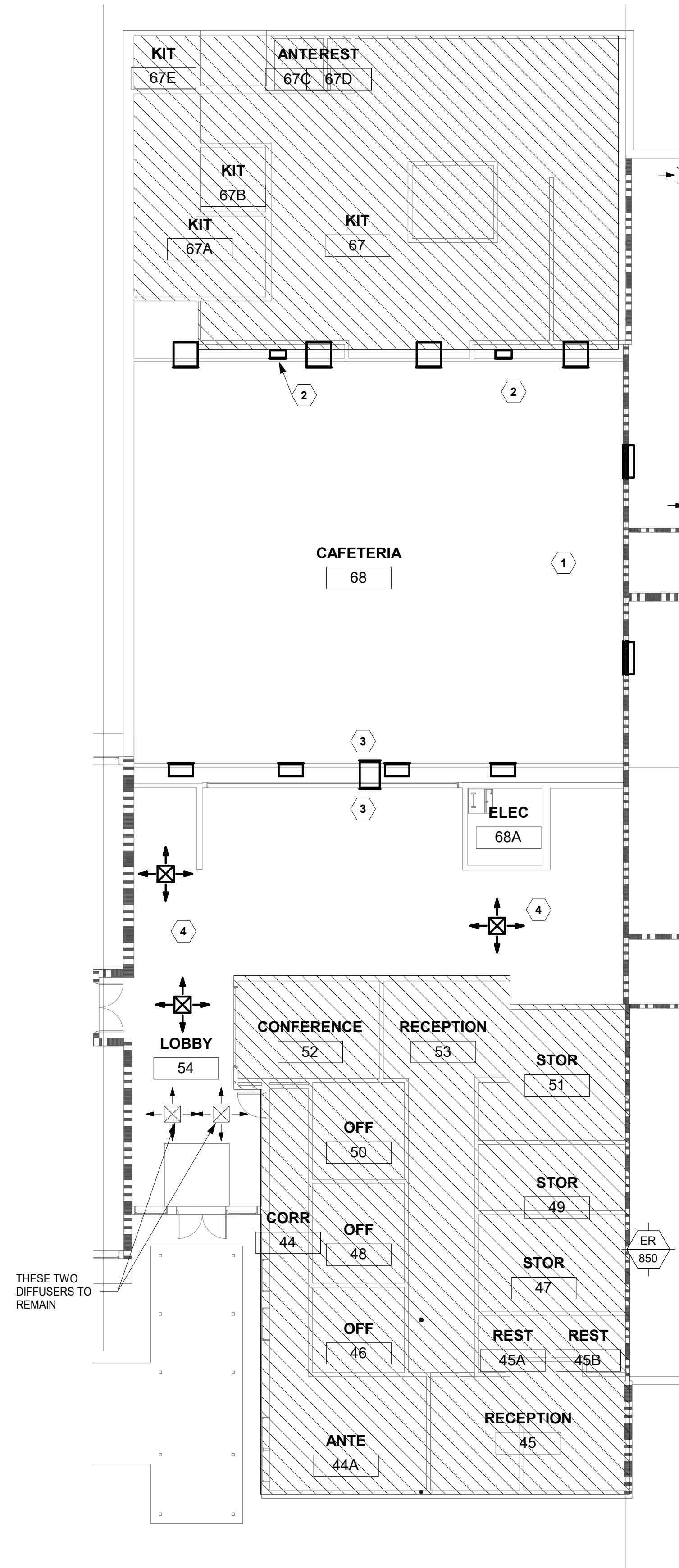
PROJECT NUMBER NC33X001
REVIEWED BY I.S.
DESIGNED BY DMD
DRAWN BY JWS
DRAWING DATE 02-26-2024
SHEET NUMBER

M-103

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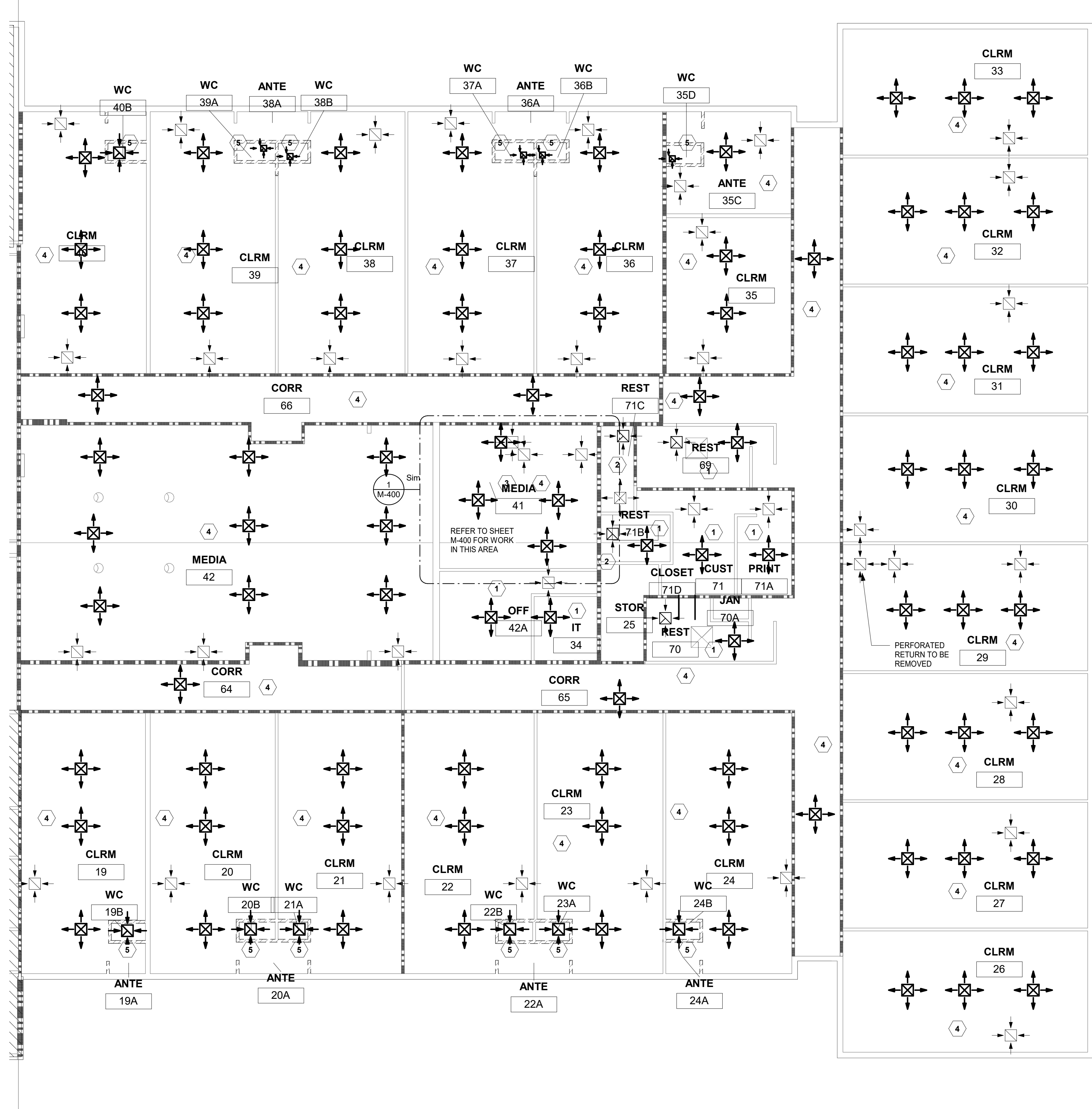
Feb 28, 2024



2 AREA B-1 FLOOR PLAN - DEMOLITION
3/32" = 1'-0"

GENERAL SHEET NOTES
REFER TO GENERAL SHEET NOTES ON M-102.

- DEMOLITION KEYED NOTES
1. REMOVE SIDEWALL SUPPLY DIFFUSERS AND RETURN GRILLES FROM THIS ROOM. RETAIN DUCTWORK FOR RECONNECTION.
 2. REMOVE TRANSFER GRILLE THAT IS SURFACE MOUNTED IN THE UNDERSIDE OF THE SOFFIT. RETAIN DUCTWORK FOR RECONNECTION.
 3. REMOVE SIDEWALL TRANSFER GRILLE. RETAIN DUCTWORK FOR RECONNECTION.
 4. REMOVE SUPPLY DIFFUSER(S) IN THIS ROOM UNLESS OTHERWISE NOTED. RETAIN SUPPLY DUCTWORK FOR RECONNECTION. RETURN GRILLE(S) TO REMAIN FOR REUSE UNLESS OTHERWISE NOTED.
 5. REMOVE EXHAUST GRILLE. RETAIN EXHAUST DUCT FOR RECONNECTION OF NEW EXHAUST GRILLE. THIS EXHAUST GOES TO AN ERV WHICH IS TO REMAIN. REFER TO CONSTRUCTION PLAN FOR NEW GRILLE LOCATION.



1 AREA B-2 FLOOR PLAN - DEMOLITION
3/32" = 1'-0"

FIRE RATED LEGEND

1 HOUR FIRE RATED BARRIER

2 HOUR FIRE RATED WALL

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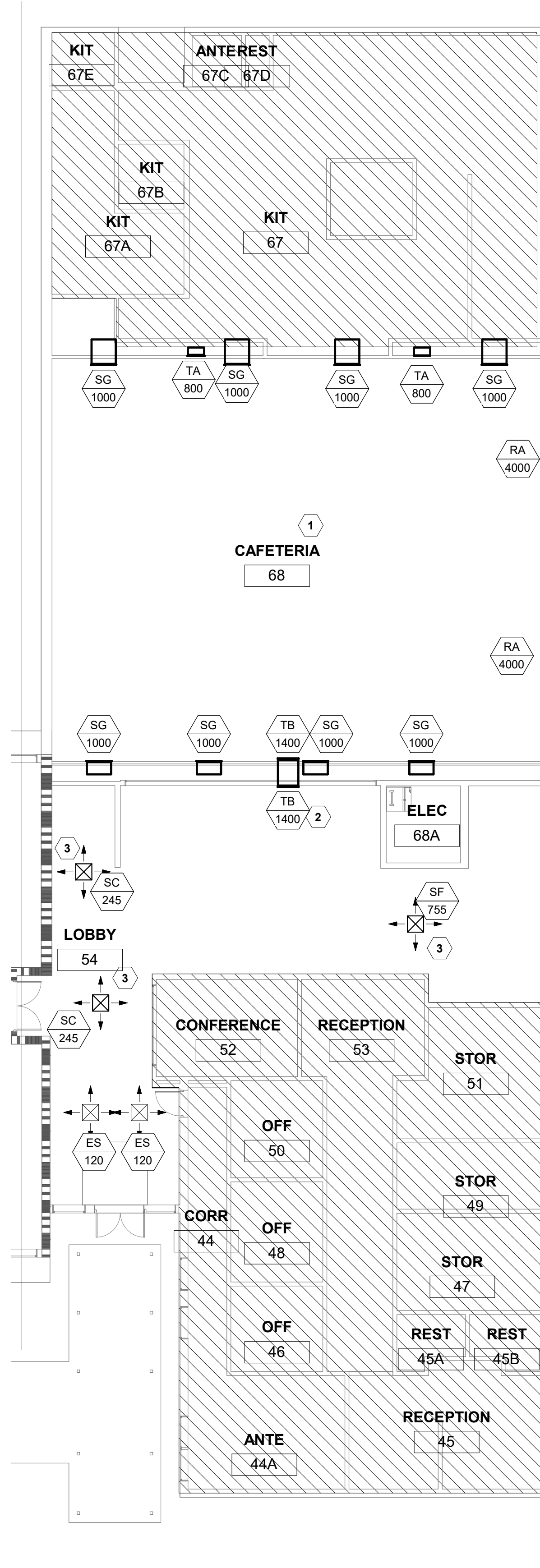
EFLAND-CHEEKS ELEMENTARY SCHOOL
GENERAL RENOVATIONS
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AREA B-1 AND B-2 FLOOR PLANS - DEMOLITION

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Revision		
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PROJECT NUMBER NC33X001
REVIEWED BY I.S.
DESIGNED BY DMD
DRAWN BY JWS
DRAWING DATE 02-26-2024
SHEET NUMBER

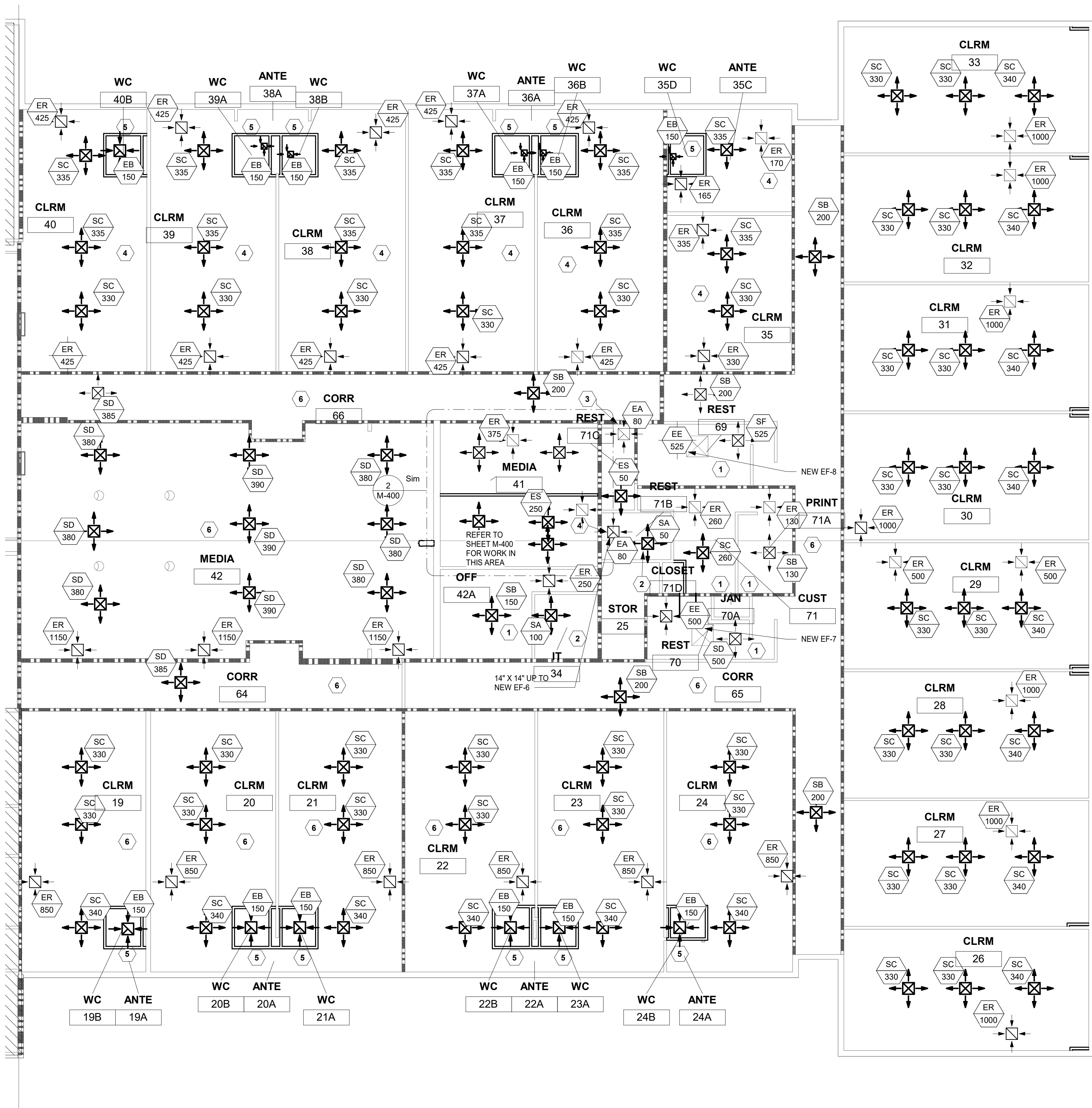
M-104



2 AREA B-1 FLOOR PLAN - CONSTRUCTION
3/32" = 1'-0"

GENERAL SHEET NOTES (#)
REFER TO GENERAL SHEET NOTES ON M-102.

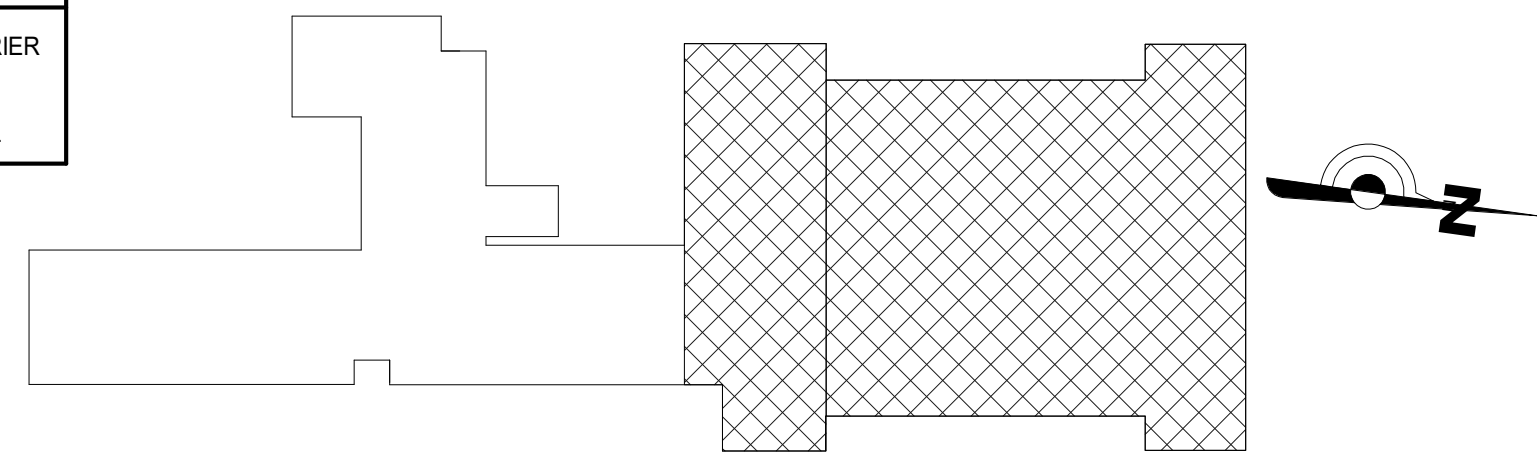
- CONSTRUCTION KEYED NOTES
1. PROVIDE NEW SIDEWALL SUPPLY DIFFUSERS, RETURN GRILLES, AND TRANSFER GRILLES FOR THIS ROOM AND CONNECT TO EXISTING DUCTWORK.
 2. PROVIDE NEW SIDEWALL TRANSFER GRILLE AND CONNECT TO EXISTING DUCTWORK.
 3. PROVIDE NEW SUPPLY DIFFUSER. CONNECT TO EXISTING DUCTWORK, TRANSITIONING TO NEW NECK SIZE.
 4. PROVIDE NEW SUPPLY DIFFUSER(S) IN THIS ROOM AND CONNECT THEM TO THE EXISTING DUCTWORK.
 5. PROVIDE NEW EXHAUST GRILLE AND CONNECT TO EXISTING DUCTWORK, TRANSITIONING TO NEW NECK SIZE.
 6. PROVIDE NEW SUPPLY DIFFUSERS IN THIS ROOM AND CONNECT THEM TO THE EXISTING DUCTWORK, TRANSITIONING TO NEW NECK SIZE.
 7. PROVIDE NEW EXHAUST GRILLE AND CONNECT IT TO EXISTING DUCTWORK WHICH GOES UP THROUGH ROOF TO NEW EF-5.
 8. PROVIDE NEW EXHAUST GRILLE AND CONNECT IT TO EXISTING DUCTWORK WHICH GOES UP THROUGH ROOF TO NEW EF-6.



1 AREA B-2 FLOOR PLAN - CONSTRUCTION
3/32" = 1'-0"

FIRE RATED LEGEND

- 1 HOUR FIRE RATED BARRIER
- 2 HOUR FIRE RATED WALL



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Feb 28, 2024

EFLAND-CHEEKS ELEMENTARY SCHOOL
GENERAL RENOVATIONS
ORANGE COUNTY SCHOOLS
4401 FULLER ROAD
EFLAND, NORTH CAROLINA 27243
AREA B-1 AND B-2 FLOOR PLANS - CONSTRUCTION

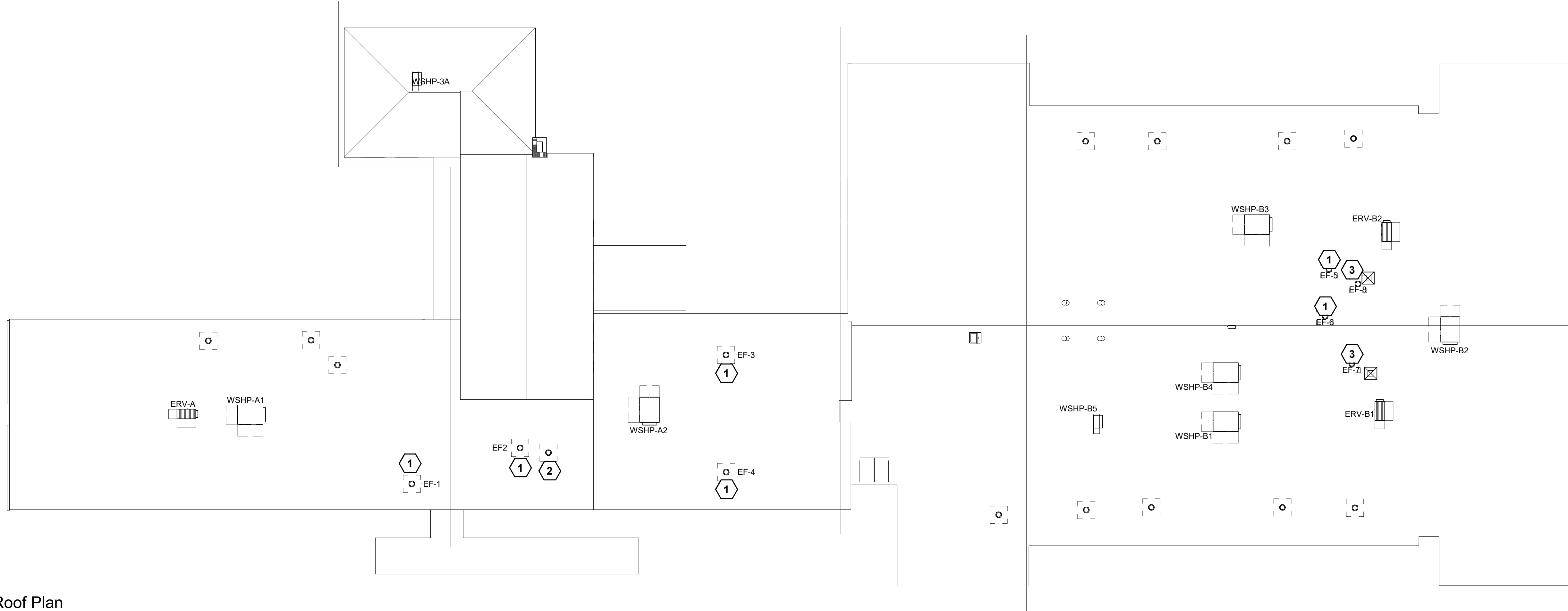
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Revision		
ID	Date	Description

PROJECT NUMBER NC33X001
REVIEWED BY I.S.
DESIGNED BY DMD
DRAWN BY JWS
DRAWING DATE 02-26-2024
SHEET NUMBER

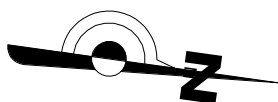
M-105

1 Roof Plan
3/64" = 1'-0"



FIRE RATED LEGEND	
	1 HOUR FIRE RATED BARRIER
	2 HOUR FIRE RATED WALL

- KEYED NOTES
1. REMOVE EXISTING EXHAUST FAN AND INSTALL NEW EXHAUST FAN ON THE EXISTING CURB.
 2. REMOVE EXISTING EXHAUST FAN ALONG WITH ALL WIRING AND CONTROLS. CAP OPENING ON CURB. INSTALL 2" OF DUCT BOARD INSULATION OVER THE OPENING BETWEEN THE CURB AND THE CAP TO PREVENT CONDENSATION AND HEAT TRANSFER.
 3. REMOVE CAP FROM EXISTING CURB AND INSTALL NEW EXHAUST FAN ON IT.



EFLAND-CHEEKS ELEMENTARY SCHOOL
GENERAL RENOVATIONS
ORANGE COUNTY SCHOOLS
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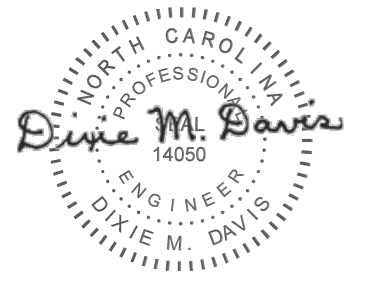
Revision		
ID	Date	Description

PROJECT NUMBER		NC33X001
REVIEWED BY		I.S.
DESIGNED BY		DMD
DRAWN BY		JWS
DRAWING DATE		02-26-2024
SHEET NUMBER		

M-106

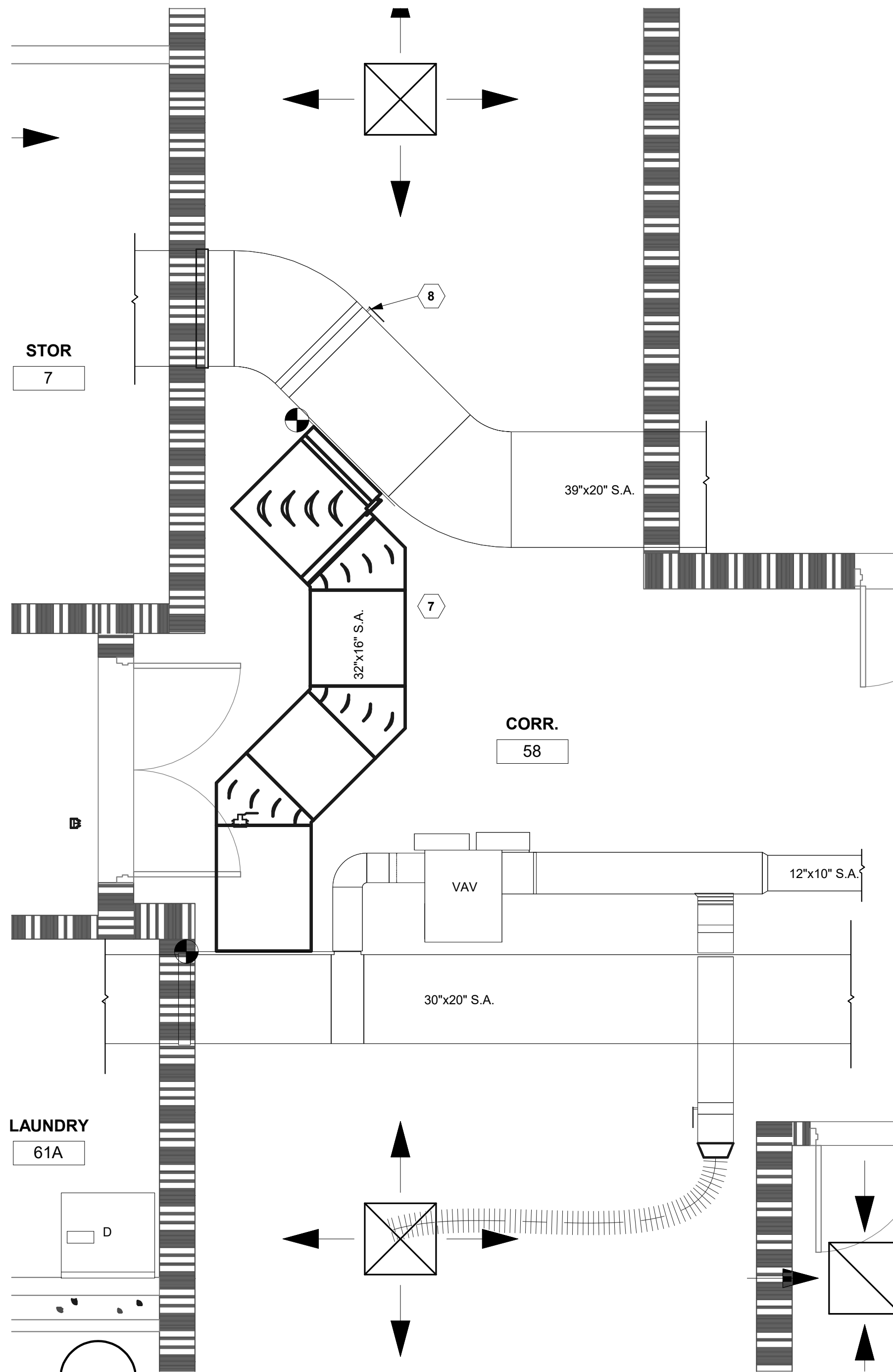
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Feb 28, 2024

ROOF PLAN



3 CORR. 58
3/8" = 1'-0"

GENERAL SHEET NOTES
REFER TO GENERAL SHEET NOTES ON M-102.

DEMOLITION KEYED NOTES

1. REMOVE SUPPLY DIFFUSER(S) IN THIS ROOM UNLESS OTHERWISE NOTED. RETAIN SUPPLY DUCTWORK FOR RECONNECTION. RETURN GRILLE(S) TO REMAIN FOR REUSE UNLESS OTHERWISE NOTED.
2. REMOVE EXHAUST GRILLE AND DISCARD. RETAIN EXHAUST DUCT FOR RECONNECTION OF NEW EXHAUST GRILLE. EXISTING EXHAUST FAN ON ROOF TO BE REMOVED AND REPLACED WITH A NEW FAN. REFER TO CONSTRUCTION DRAWING.

3. THIS ROOM IS BEING DIVIDED INTO TWO ROOMS. REMOVE DUCTWORK SHOWN BOLD. CAP DUCT TAPS THAT ARE NOT BEING REUSED — REFER TO CONSTRUCTION PLAN FOR THIS AREA.

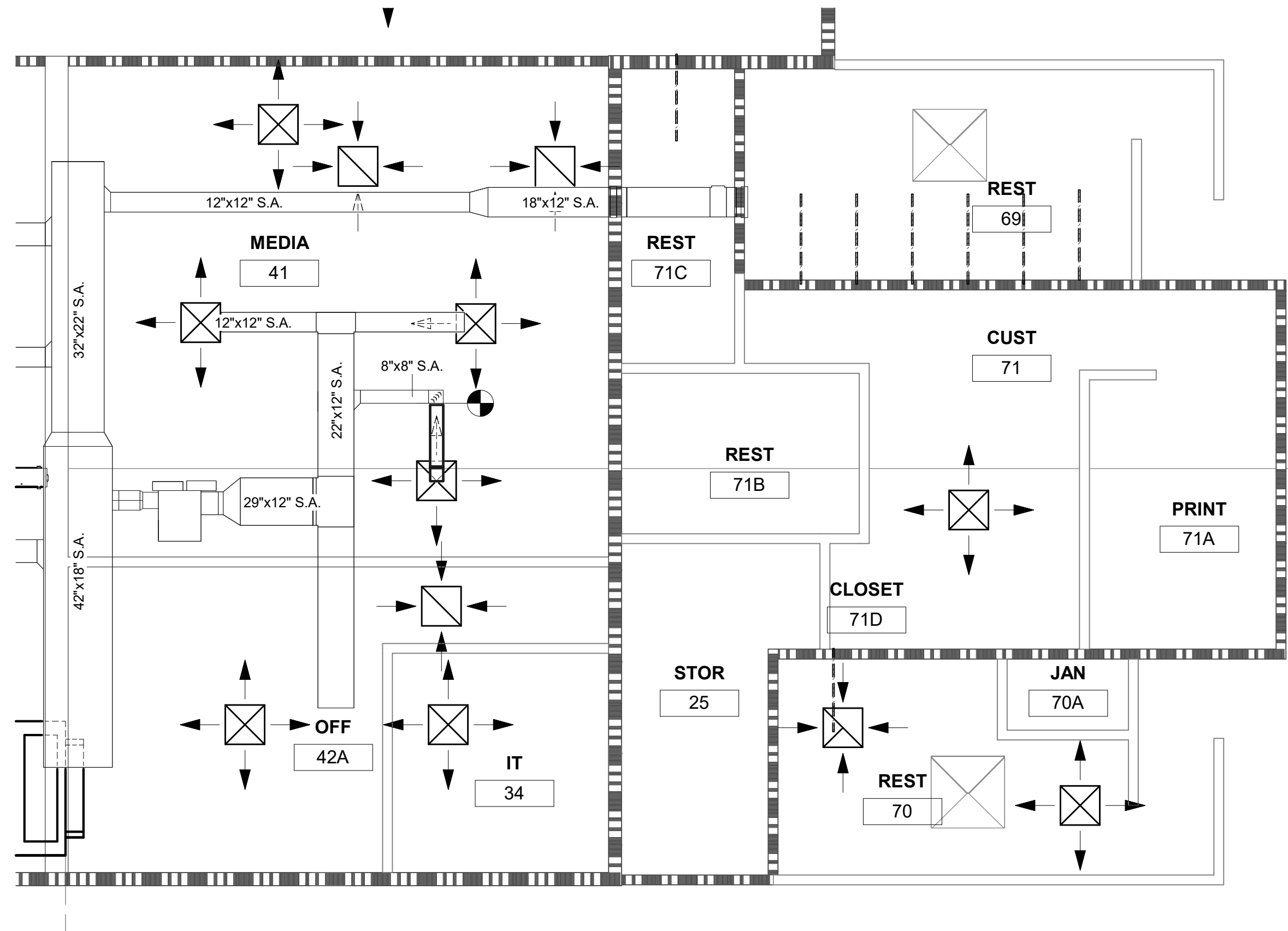
4. REMOVE SUPPLY DIFFUSERS IN THIS ROOM AND DISCARD. REMOVE RETURN GRILLES IN THIS ROOM AND RETAIN FOR REUSE.

CONSTRUCTION KEYED NOTES

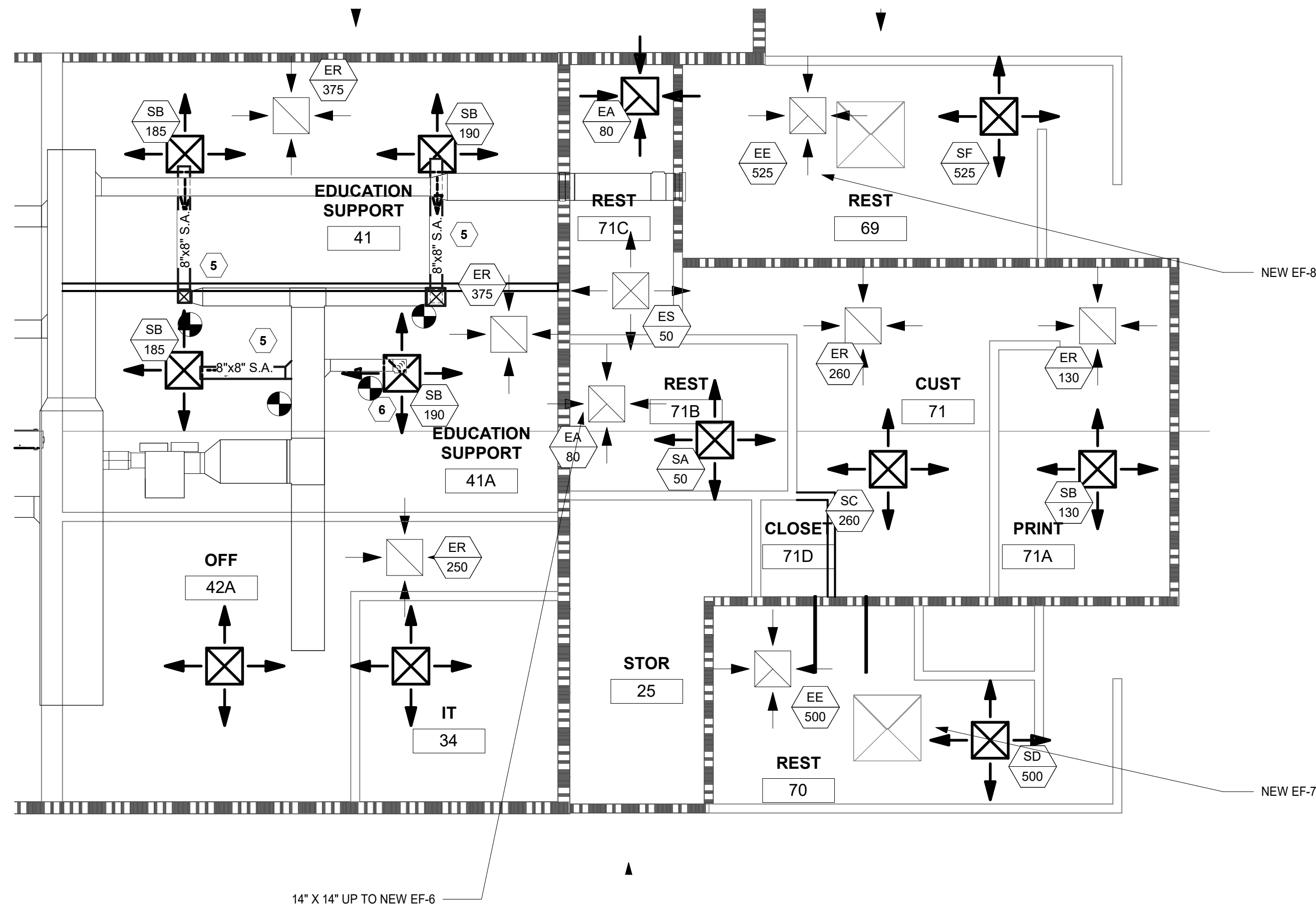
1. PROVIDE NEW SUPPLY DIFFUSER, CONNECT TO EXISTING DUCTWORK, TRANSITIONING TO NEW NECK SIZE.
2. PROVIDE NEW SUPPLY DIFFUSER IN THIS ROOM AND CONNECT TO THE EXISTING DUCTWORK.
3. PROVIDE NEW EXHAUST GRILLE AND CONNECT IT TO EXISTING DUCTWORK WHICH GOES UP THROUGH ROOF TO NEW EF-5.
4. PROVIDE NEW EXHAUST GRILLE AND CONNECT IT TO EXISTING DUCTWORK WHICH GOES UP THROUGH ROOF TO NEW EF-6.
5. EXTEND NEW 8" X 8" DUCT TO NEW SUPPLY DIFFUSER FROM EXISTING SUPPLY DUCT. INCLUDE MANUAL BALANCING DAMPER.
6. SHORTEN EXISTING 8" X 8" SUPPLY DUCT AND CONNECT TO NEW SUPPLY DIFFUSER. INCLUDE MANUAL BALANCING DAMPER IF NOT ALREADY PRESENT.
7. PROVIDE A NEW DUCT CONNECTION BETWEEN THE SUPPLY DUCTWORK OF WSH-P-A1 AND WSH-P-A2. THE DUCT SHALL BE 32" X 16" OR AN EQUIVALENT AREA. FIELD ROUTE IT BETWEEN EXISTING PIPES, CONDUIT, SUPPORTS, ETC. PROVIDING OFFSETS AS NEEDED. THIS IS TO BE USED TO PROVIDE SUPPLY AIR FROM WSH-P-A2 DURING THE TIME WSH-P-A1 IS SHUT DOWN FOR RENOVATIONS IN AREA A-1.
8. PROVIDE AN ISOLATION DAMPER IN THE EXISTING DUCT AND IN THE NEW DUCT. WHEN AREA A-1 IS BEING RENOVATED, THE DAMPER IN THE EXISTING DUCT IS TO BE CLOSED AND THE DAMPER IN THE NEW DUCT IS TO BE OPEN. WHEN WORK IS COMPLETE IN AREA A-1, THE DAMPER IN THE EXISTING DUCT IS TO BE OPENED AND THE DAMPER IN THE NEW DUCT IS TO BE CLOSED.

FIRE RATED LEGEND

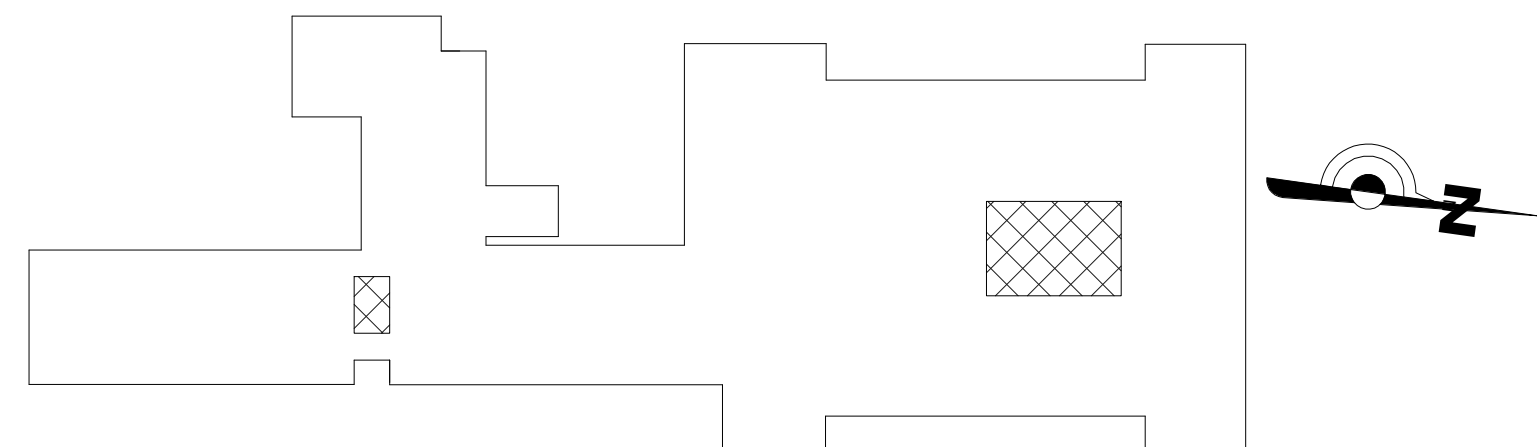
- 1 HOUR FIRE RATED BARRIER
- 2 HOUR FIRE RATED WALL



1 MEDIA ROOM 41 DEMOLITION
3/16" = 1'-0"



2 MEDIA ROOM 41 NEW CONSTRUCTION
3/16" = 1'-0"



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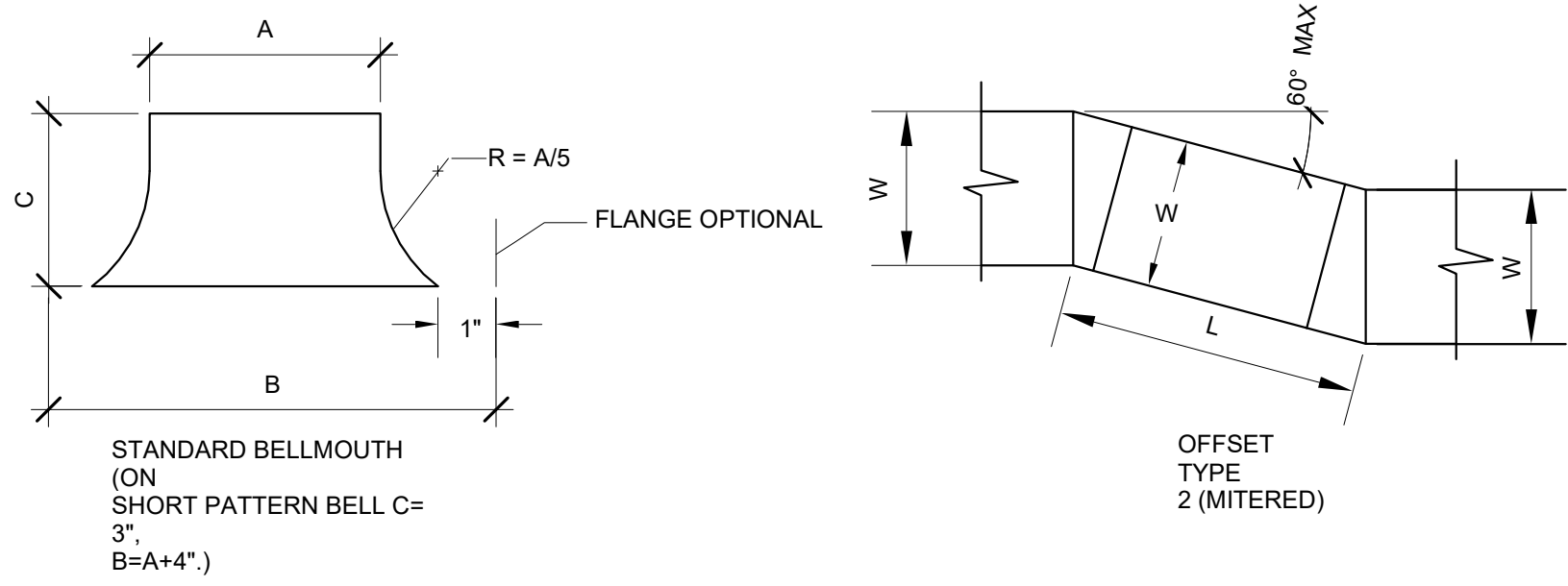
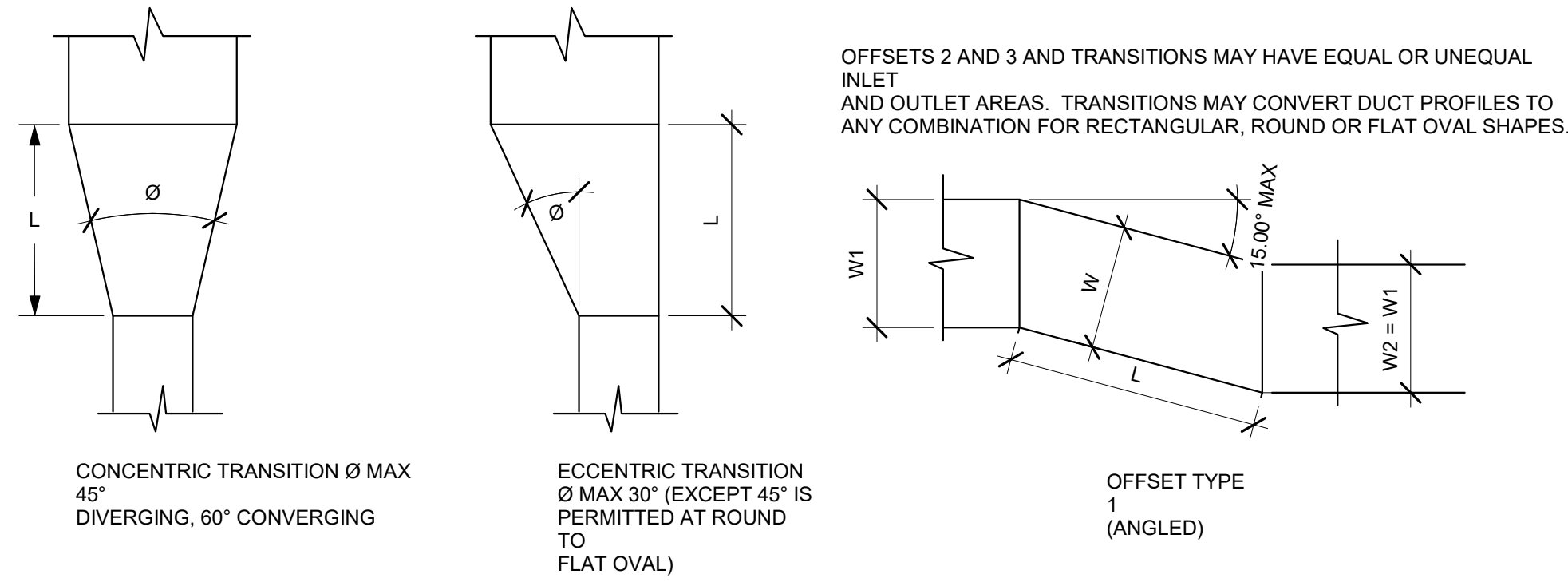
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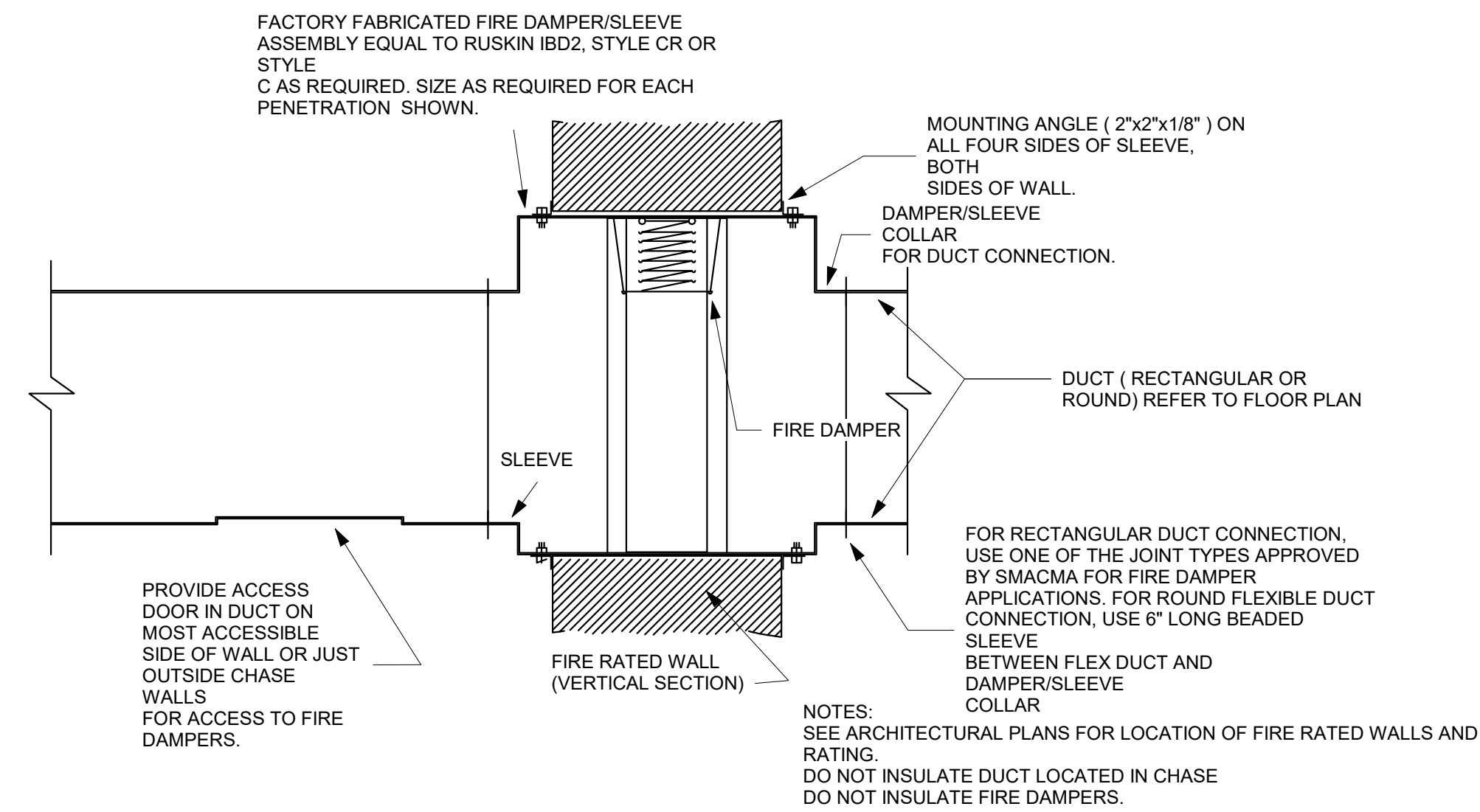
Revision		
ID	Date	Description

PROJECT NUMBER NC33X001
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DESIGNED BY DMD
DRAWN BY JWS
DRAWING DATE 02-26-2024
SHEET NUMBER

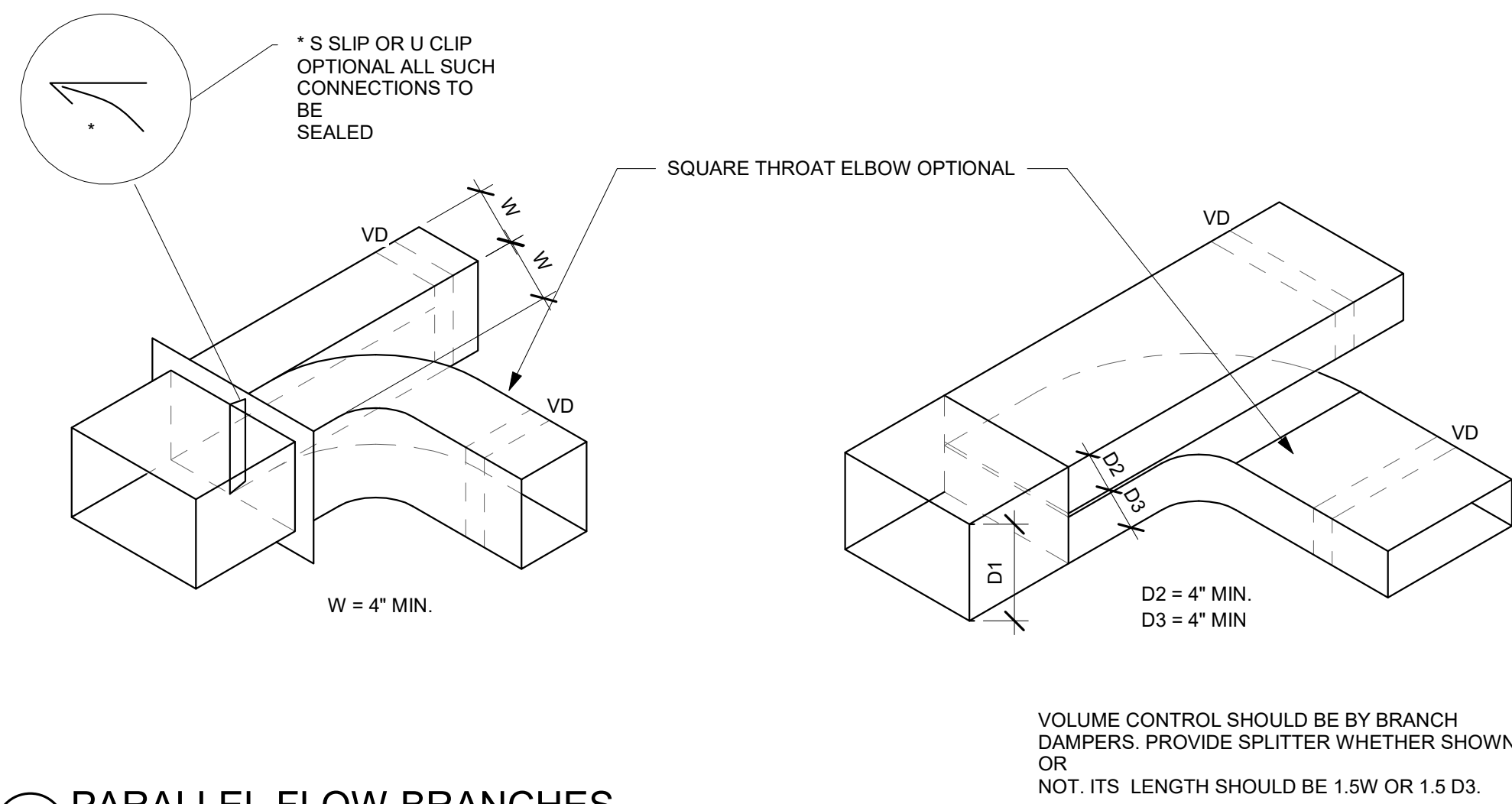
M-400



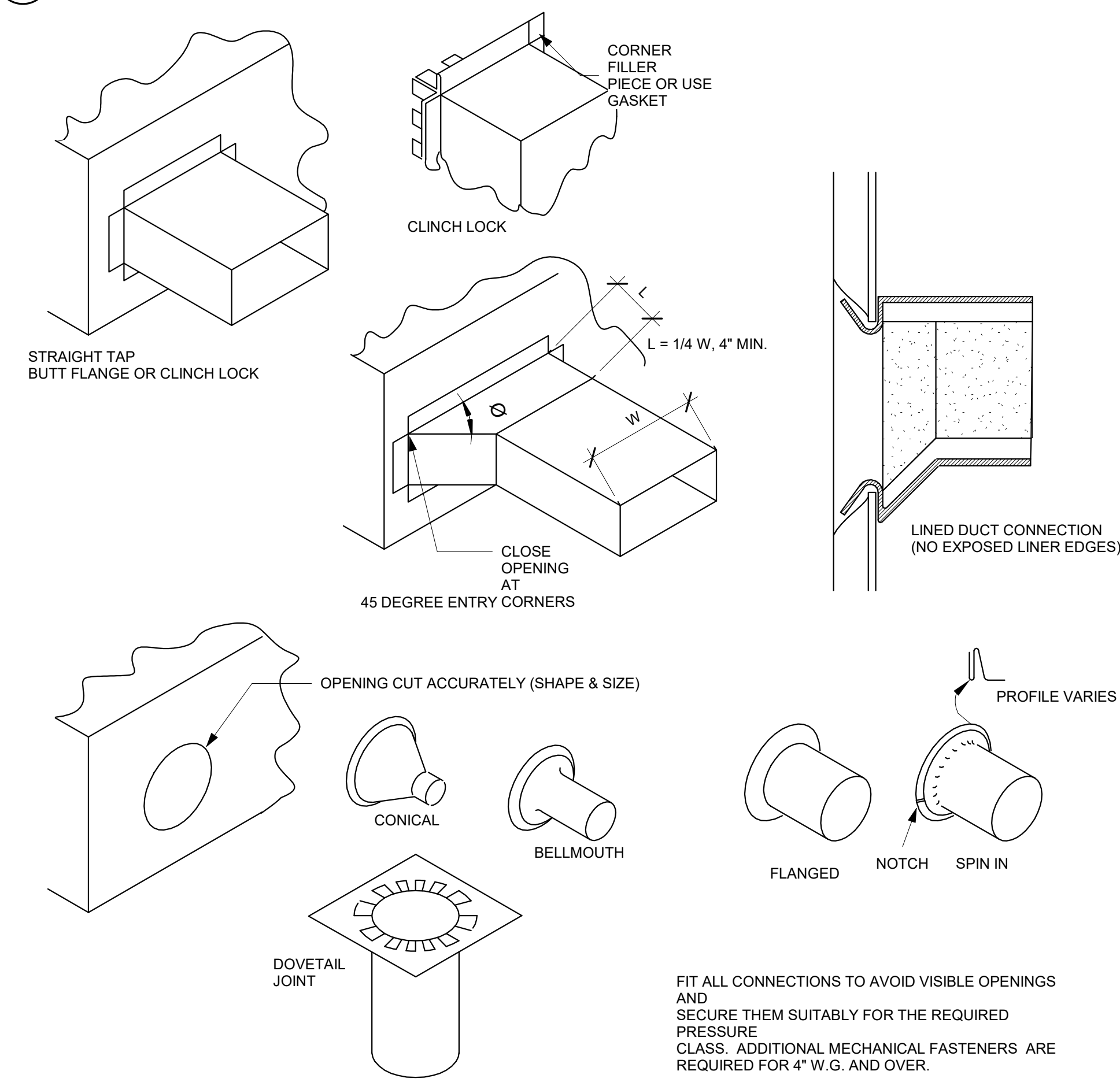
3 OFFSETS AND TRANSITIONS



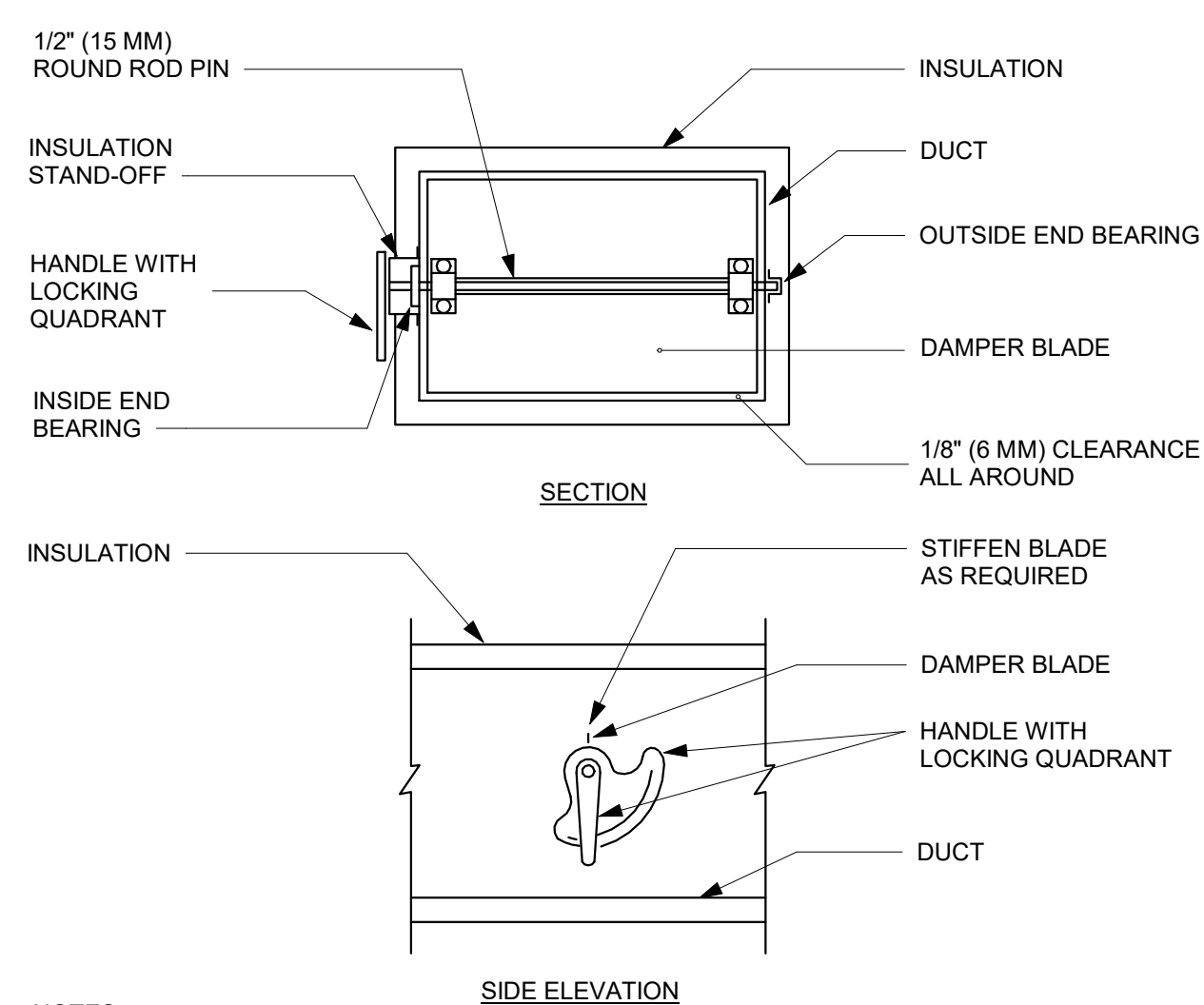
6 FIRE DAMPER INSTALLATION DETAIL (NOT REQUIRED FOR THIS PROJECT)



2 PARALLEL FLOW BRANCHES

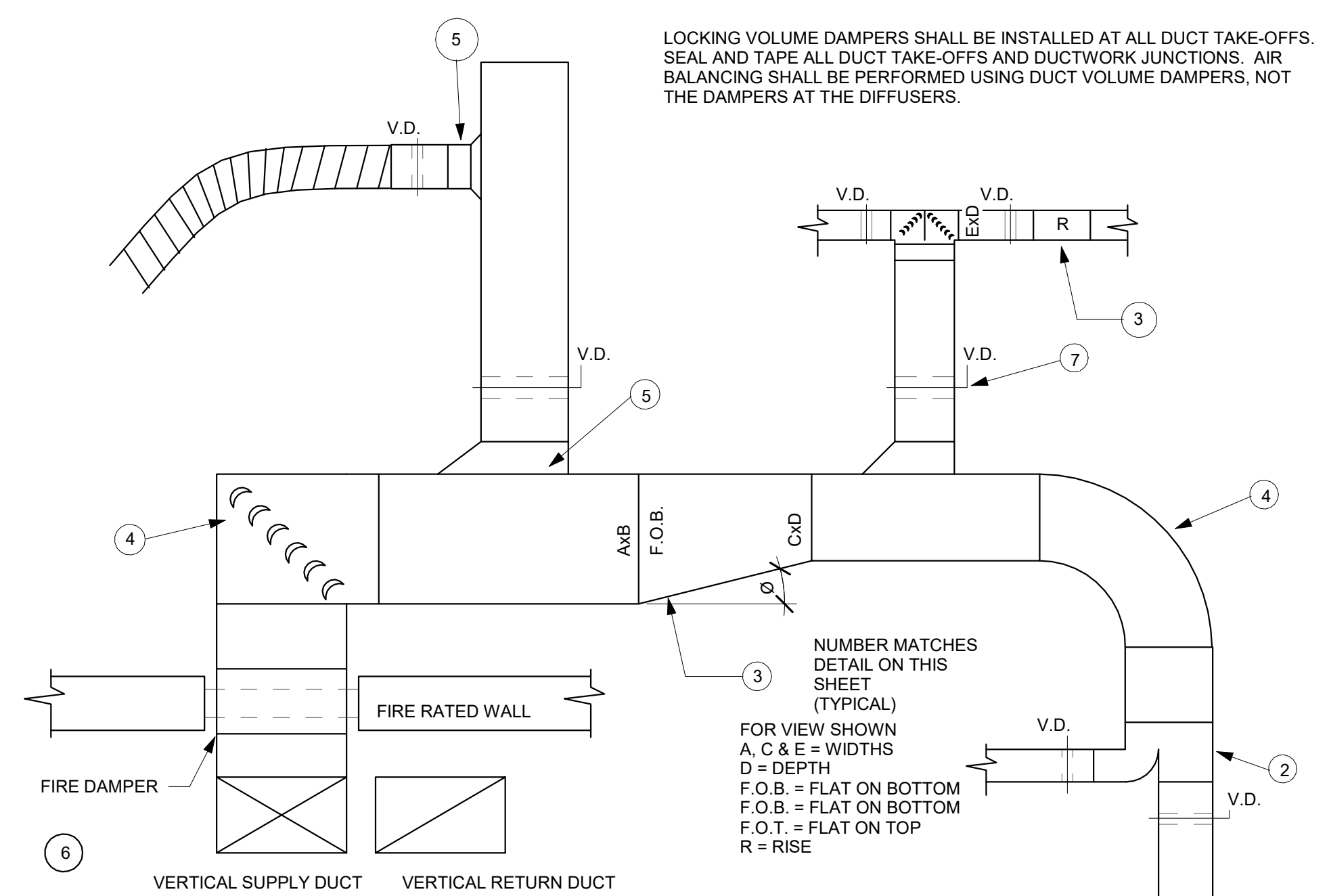


5 BRANCH CONNECTIONS DETAIL

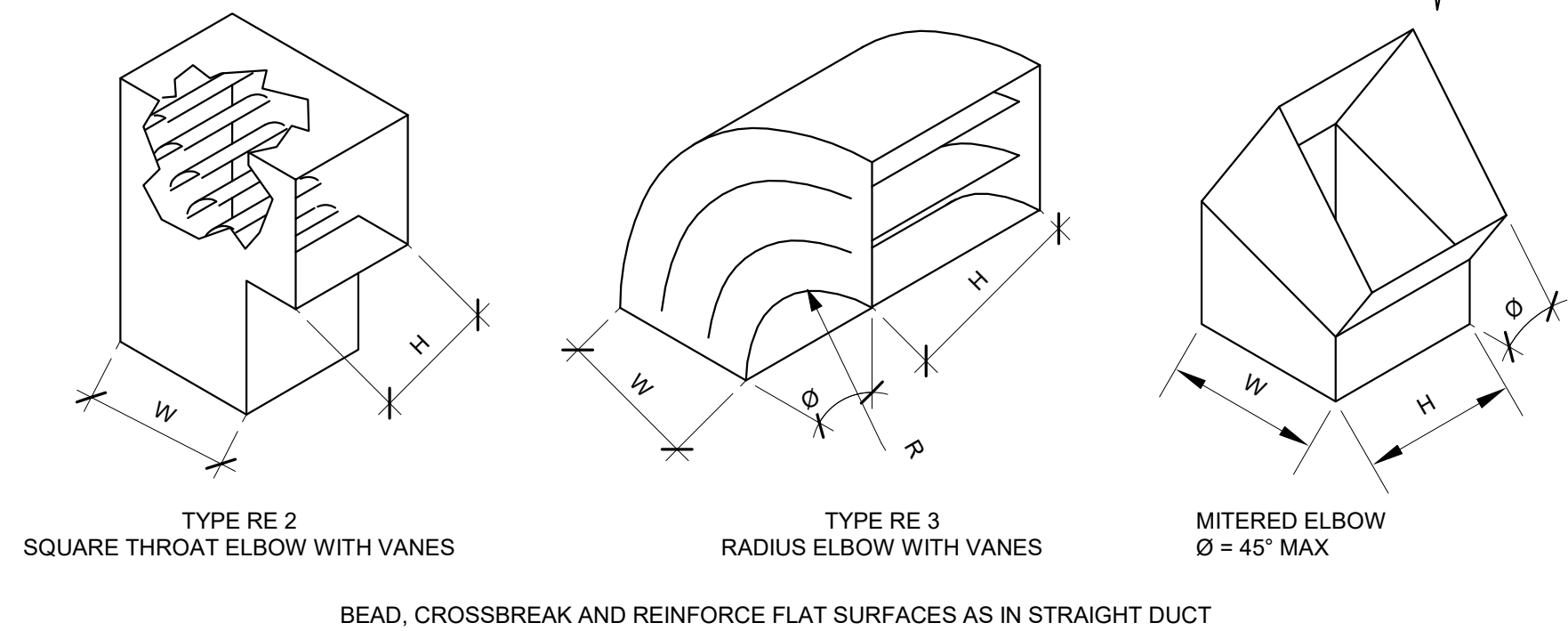


- NOTES:
- DELETE INSULATION STAND-OFF ON DUCTWORK WITHOUT EXTERIOR INSULATION.
 - DETAIL SHOWS SINGLE BLADE DAMPER. DAMPER INSTALLATION SHALL BE SIMILAR FOR MULTI-BLADE DAMPERS & ROUND DAMPERS.

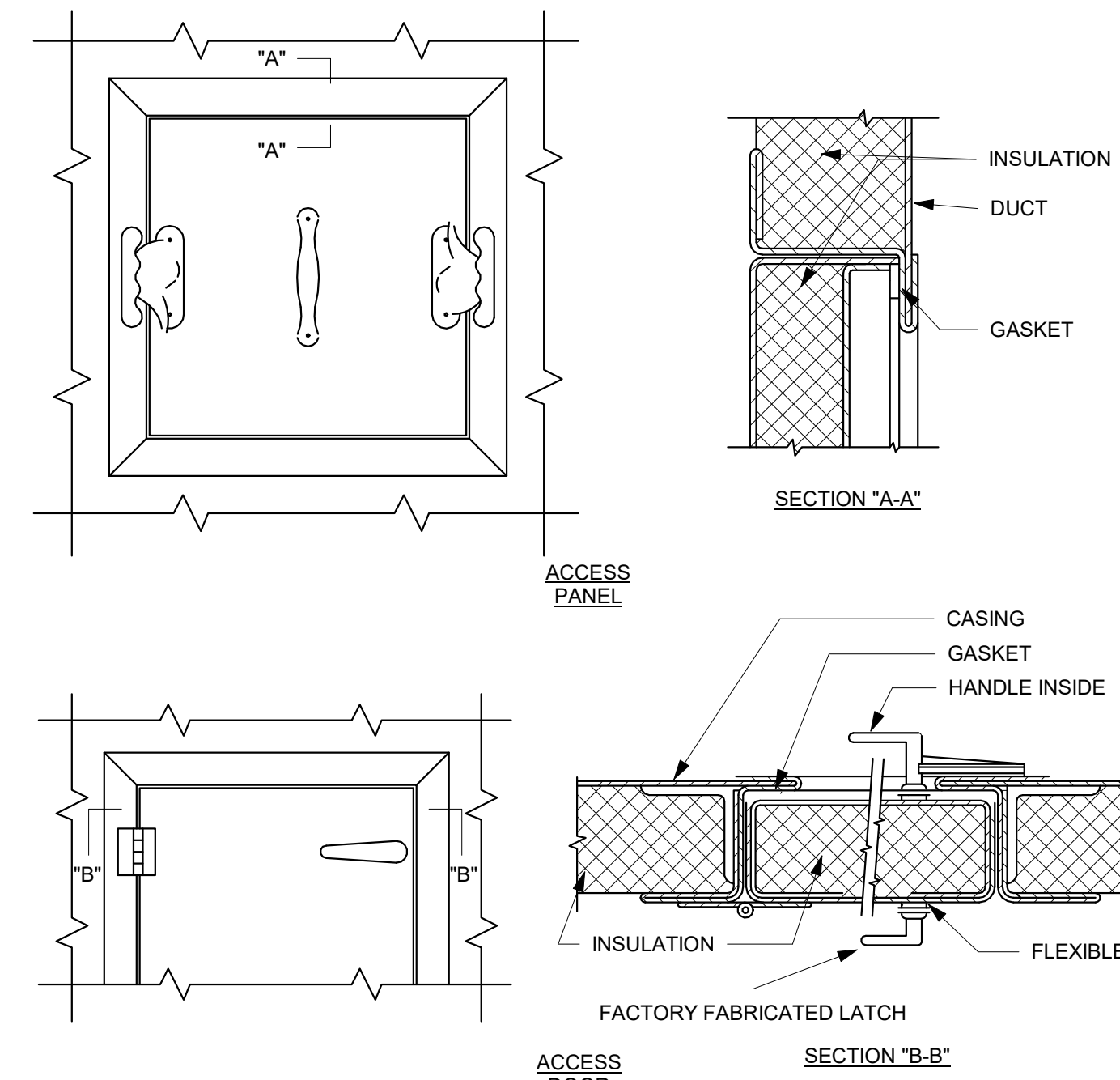
7 VOLUME DAMPER DETAIL



1 SAMPLE DUCT LAYOUT



4 RECTANGULAR ELBOWS DETAIL



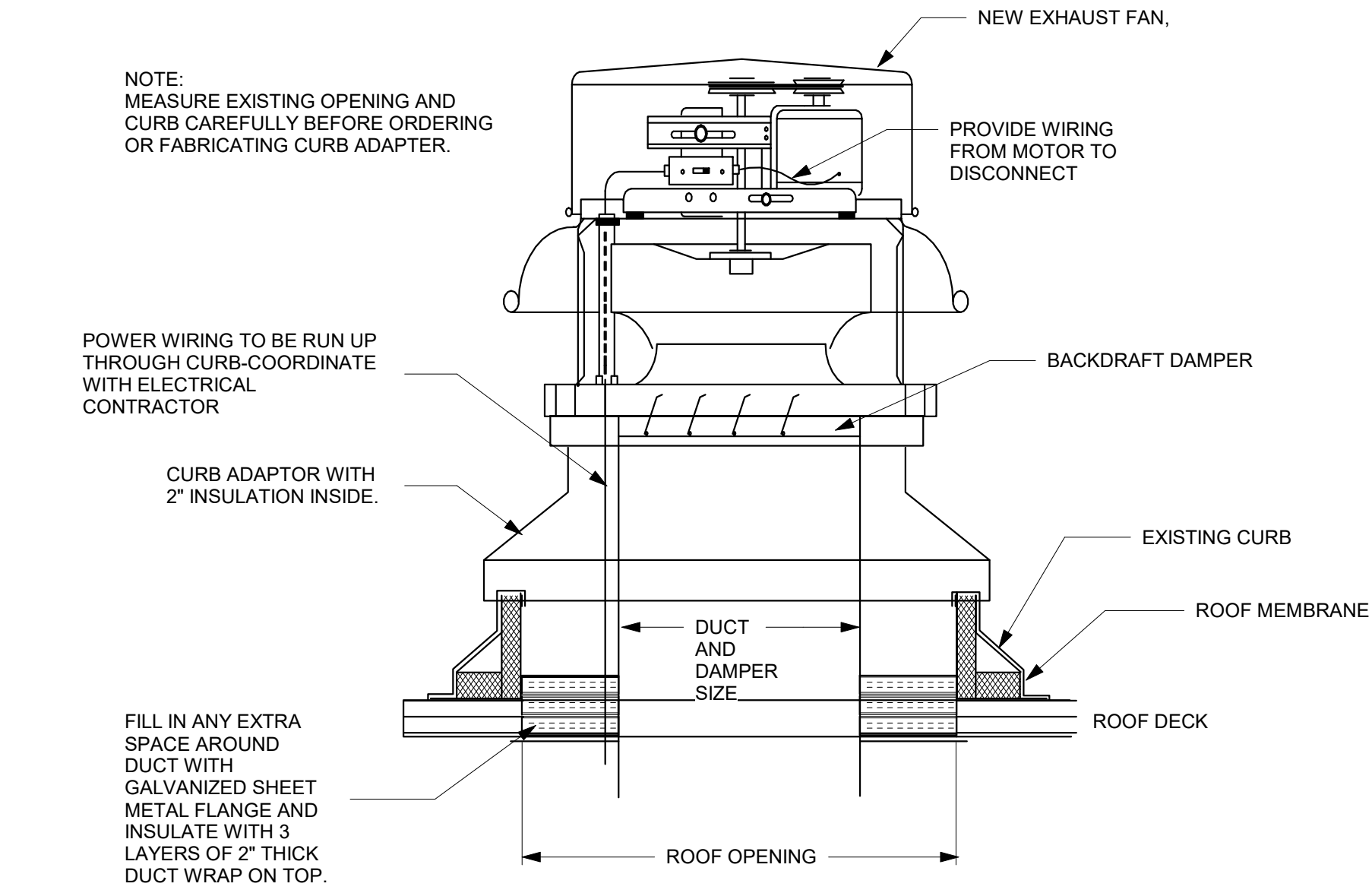
- NOTES:
- LATCHES SHALL BE OF THE WEDGE TYPE TO CLOSE DOORS TIGHTLY.
 - HINGES ON THE ACCESS DOORS SHALL HAVE NON-CORROSIVE PINS.

- DESIGNERS NOTES:
- USE ACCESS DOORS ON AIR HANDLING UNITS AND DUCTWORK INSTALLED IN EQUIPMENT ROOMS.
 - USE ACCESS PANELS ON ALL EQUIPMENT AND DUCTWORK INSTALLED ABOVE FINISHED CEILINGS.

8 ACCESS PANEL/DOOR DUCT SYSTEMS DETAIL

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1 ROOF EXHAUST FAN WITH ADAPTER INSTALLATION DETAIL
12" = 1'-0"



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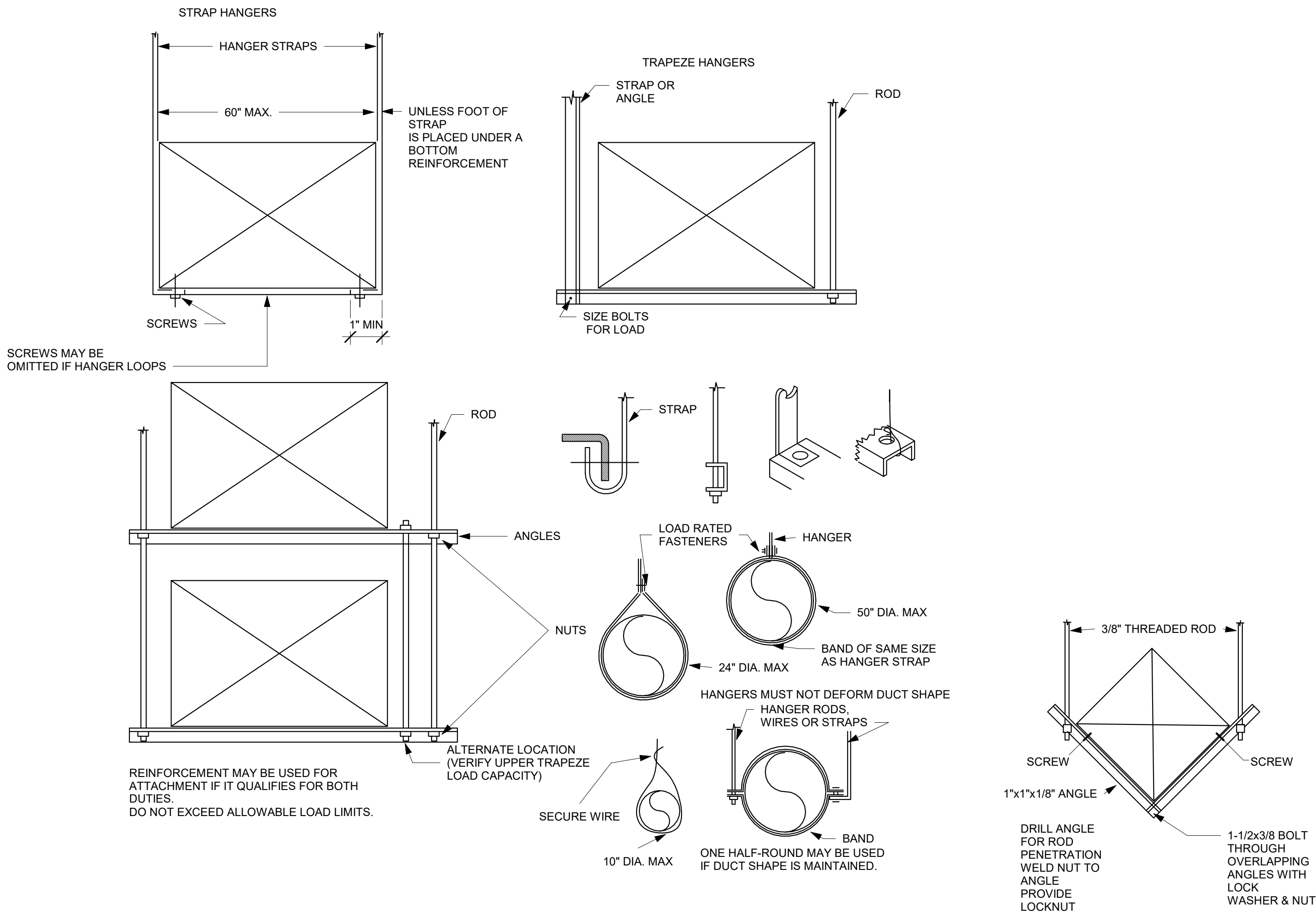
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M-501



1 DUCT HANGER DETAIL

1/2" = 1'-0"

AIR DISTRIBUTION SCHEDULE								
Mark	Manufacturer	Model	Description	Min Flow	Max Flow	Neck Size	Type	
EA	Metalaire	CC5-6	T-bar Lay-in - Cube Core - Aluminum	50 CFM	100 CFM	10" x 6"	24" x 24" Face, 10" x 6" Connection	
EB	Metalaire	CC5-6	T-bar Lay-in - Cube Core - Aluminum	110 CFM	200 CFM	10" x 10"	24" x 24" Face, 10" x 10" Connection	
EC	Metalaire	CC5-6	T-bar Lay-in - Cube Core - Aluminum	210 CFM	500 CFM	18" x 12"	24" x 24" Face, 18" x 12" Connection	
EE	EXISTING EXHAUST							
ER	EXISTING RETURN							
ES	EXISTING SUPPLY							
RA	Metalaire	4538	Sidewall - Heavy Duty Steel - Horizontal Blades - 38 Degree Blade Deflection - Satin Silver Finish	2000 CFM	4000 CFM	48" x 30"	48" x 30" Neck	
SA	Metalaire	7550-6 AF	T-bar Lay-in - Perforated Supply Diffuser - Steel Back Pan & Aluminum Face	50 CFM	100 CFM	6" X 6"	24" x 24" Face, 6" x 6" Connection	
SB	Metalaire	7550-6 AF	T-bar Lay-in - Perforated Supply Diffuser - Steel Back Pan & Aluminum Face	110 CFM	200 CFM	8" x 8"	24" x 24" Face, 8" x 8" Connection	
SC	Metalaire	7550-6 AF	T-bar Lay-in - Perforated Supply Diffuser - Steel Back Pan & Aluminum Face	210 CFM	340 CFM	10" x 10"	24" x 24" Face, 10" x 10" Connection	
SD	Metalaire	7550-6 AF	T-bar Lay-in - Perforated Supply Diffuser - Steel Back Pan & Aluminum Face	350 CFM	500 CFM	12" x 12"	24" x 24" Face, 12" x 12" Connection	
SF	Metalaire	7550-6 AF	T-bar Lay-in - Perforated Supply Diffuser - Steel Back Pan & Aluminum Face	510 CFM	760 CFM	14" x 14"	24" x 24" Face, 14" x 14" Connect., Two Way Throw	
SG	Metalaire	H4004-AF	Sidewall - Aluminum - Horizontal Blades on Front - Double Deflection - Air Foil - Mill Finish	170 CFM	1000 CFM	36"x16"	36"x16" Neck	
TA	Metalaire	CC5-1	Surface Mounted - Cube Core - Aluminum - Mill Finish	300 CFM	800 CFM	18"x12"	18"x12" Neck	
TB	Metalaire	H4002R	Sidewall - Aluminum - Horizontal Blade - 40 Degree Blade Deflection - Mill Finish	700 CFM	1400 CFM	30" x 24"	30" x 24" Neck	

- NOTES
- Metalaire is Basis of Design. Refer to specifications for other acceptable manufacturers.
 - Finish color shall be standard white unless otherwise noted.
 - Maximum noise level shall be NC 25.
 - Balancing dampers to be located in duct unless indicated otherwise on the drawings.

FAN SCHEDULE												
MARK	SERVICE	LOCATION	MFR	TYPE	MODEL	CFM	ESP (IN.WC)	DRIVE	INLET SONES	MOTOR HP	VOLTS/ PHASE	NOTES
EF-1	EXHAUST	ROOF	GREENHECK	CENTRIFUGAL ROOFTOP	G-097-VG	150	0.50	DIRECT	5.7	1/4	115 / 1	1, 2, 3, 4, 5
EF-2	EXHAUST	ROOF	GREENHECK	CENTRIFUGAL ROOFTOP	G-097-VG	80	0.50	DIRECT	4.4	1/4	115 / 1	1, 2, 3, 4, 5
EF-3	EXHAUST	ROOF	GREENHECK	CENTRIFUGAL ROOFTOP	G-097-VG	160	0.50	DIRECT	5.9	1/4	115 / 1	1, 2, 3, 4, 5
EF-4	EXHAUST	ROOF	GREENHECK	CENTRIFUGAL ROOFTOP	G-097-VG	160	0.50	DIRECT	5.9	1/4	115 / 1	1, 2, 3, 4, 5
EF-5	EXHAUST	ROOF	GREENHECK	CENTRIFUGAL ROOFTOP	G-097-VG	80	0.50	DIRECT	4.4	1/4	115 / 1	1, 2, 3, 4, 5
EF-6	EXHAUST	ROOF	GREENHECK	CENTRIFUGAL ROOFTOP	G-097-VG	80	0.50	DIRECT	4.4	1/4	115 / 1	1, 2, 3, 4, 5
EF-7	EXHAUST	ROOF	GREENHECK	CENTRIFUGAL ROOFTOP	G-097-VG	80	0.50	DIRECT	4.4	1/4	115 / 1	1, 2, 3, 4, 5
EF-8	EXHAUST	ROOF	GREENHECK	CENTRIFUGAL ROOFTOP	G-097-VG	80	0.50	DIRECT	4.4	1/4	115 / 1	1, 2, 3, 4, 5

- NOTES
- MANUFACTURER: GREENHECK OR EQUALS LISTED IN THE SPECIFICATIONS.
 - PROVIDE GRAVITY BACKDRAFT DAMPER, MODEL BD 100-PB BY GREENHECK OR APPROVED EQUAL.
 - PROVIDE CURB ADAPTORS AS NEEDED. CONTRACTOR TO VERIFY EXISTING CURB SIZE AND ORDER ACCORDINGLY.
 - PROVIDE ALUMINUM HOUSING CONSTRUCTION, BACKWARD INCLINED ALUMINUM WHEEL, VARI-GREEN EC MOTOR WITH FAN MOUNTED SPEED DIAL, NEMA-1 TOGGLE DISCONNECT SWITCH, STAINLESS STEEL FASTENERS, MOTOR ISOLATED ON SHOCK MOUNTS, WIRING PIGTAIL, AND ALUMINUM BIRDSCREEN. FAN COULD BE SUBJECTED TO HIGH WIND VELOCITY AND FAN PARTS SHALL BE BOLTED OR OTHERWISE SECURED TO THE ROOF CURB.
 - CONTROL BY WALL SWITCH.



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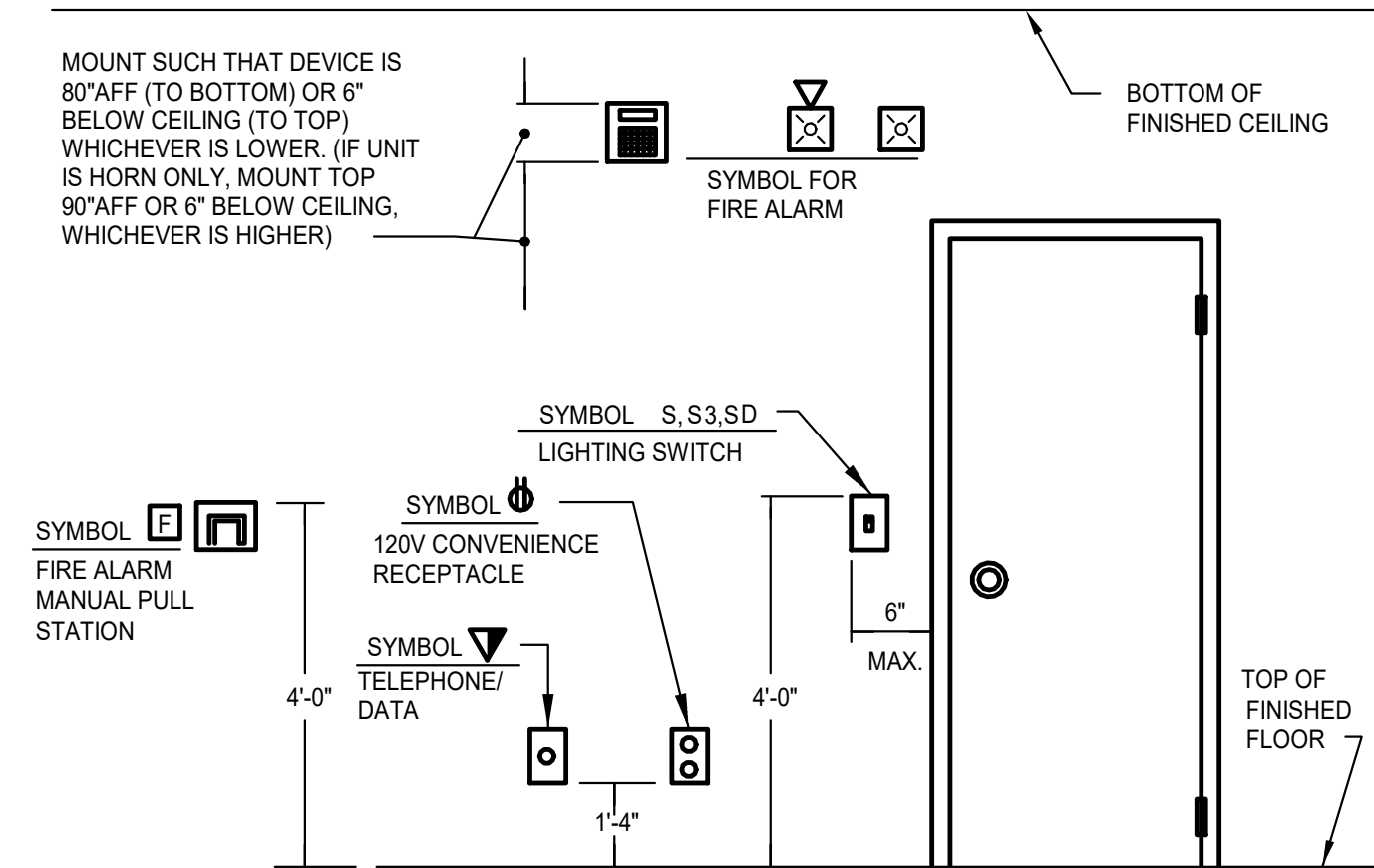
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DESIGNED BY	DMD	
DRAWN BY	SD	
DRAWING DATE	02-26-2024	

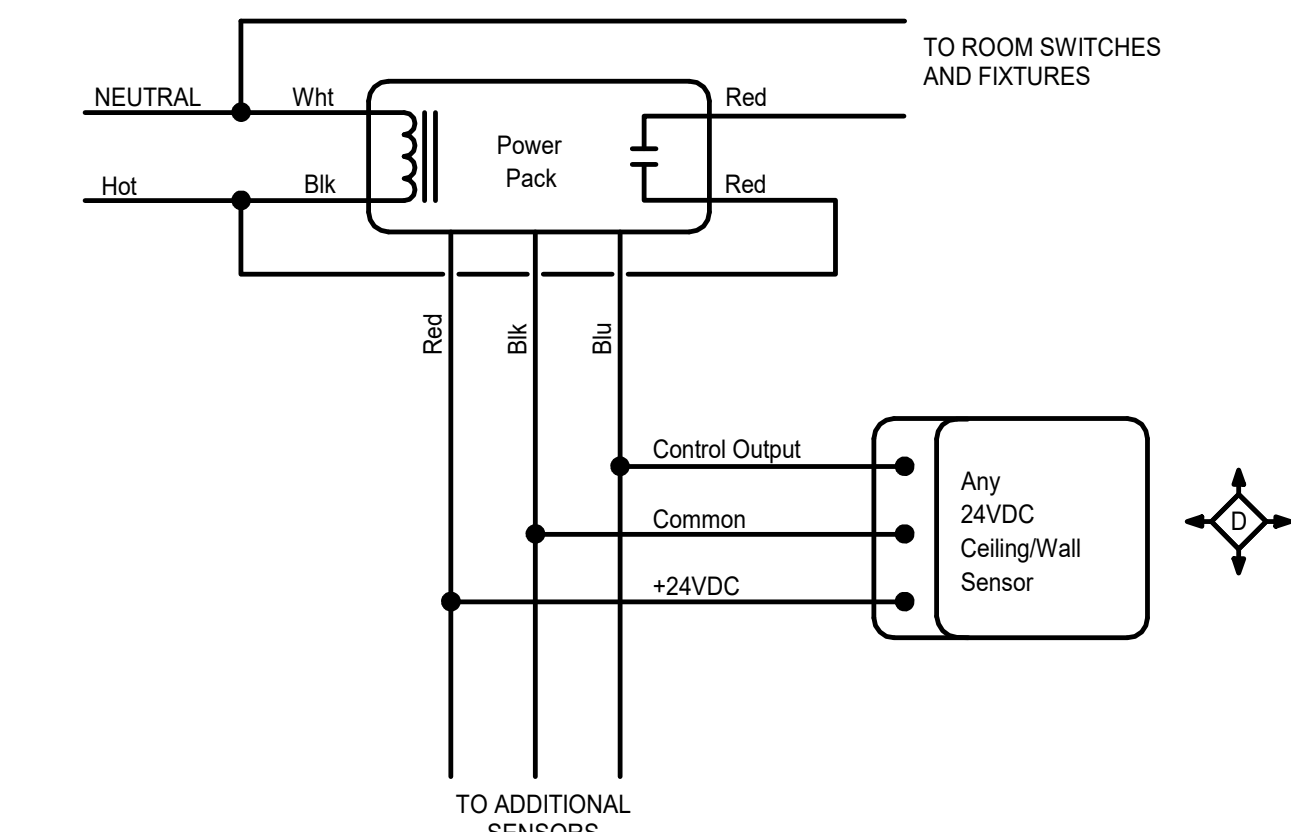
SHEET NUMBER

M-600

SymbOl	Description
	CIRCUITS AND CONDUIT HOME RUN TO LIGHTING/SERVICE PANEL. HASH MARKS, WHEN SHOWN, INDICATE NUMBERS OF CONDUCTORS. "7/" INDICATES HOT WIRE. "7/" INDICATES NEUTRAL CONDUCTOR. "2/" INDICATES GROUND CONDUCTOR. HOME RUN NOTE INDICATES PANEL NAME AND CIRCUIT NAME OR FEEDER TAG. CONDUCTORS SHALL BE #12 AWG IN 3/4" CONDUIT UNLESS NOTED OTHERWISE. ANY HOME RUN OR CONDUIT WITHOUT HASH MARKS IS TO CONTAIN 3 CONDUCTORS: 1 HOT, 1 NEUTRAL, AND 1 EQUIPMENT GROUND. EACH HOT CIRCUIT SHALL BE PAIRED WITH A SEPARATE NEUTRAL CONDUCTOR. SHARING OF NEUTRAL CONDUCTORS BETWEEN CIRCUITS IS NOT ALLOWED. CONDUIT RUN CONCEALED ABOVE CEILING OR IN WALLS, UNLESS NOTED OTHERWISE.
	EQUIPMENT LIGHTING OR SERVICE PANEL, SURFACE MOUNTED. MAIN DISTRIBUTION PANEL. DRY TYPE TRANSFORMER, KVA AS LISTED ON DRAWINGS. EXHAUST FAN. SEE MECHANICAL DRAWINGS FOR FAN SPECIFICATIONS. WATER HEATER. SAFETY DISCONNECT SWITCH. "30" INDICATES AMP RATING. "20" INDICATES FUSE SIZES. "3P" INDICATES NUMBER OF POLES. ENCLOSURE TO BE NEMA 1 UNLESS NOTED OTHERWISE (3R, 4X, ETC.) SQUARE D H300 SERIES HEAVY DUTY SAFETY SWITCH CONNECTION TO A SPECIFIC PIECE OF EQUIPMENT. COORDINATE EXACT LOCATION AND REQUIREMENTS WITH PROVIDER / INSTALLER OF THE EQUIPMENT. WIRING DEVICES NOTE: ALL WIRING DEVICES TO BE IVORY, WITH #302 STAINLESS STEEL COVERPLATE (FLUSH MOUNTED) UNLESS NOTED OTHERWISE ON THE DRAWING OR SPECIFICATIONS. STRAIGHT BLADE DEVICE SYMBOLS 20A, 125V, 2P, 3W, NEMA 5-20R, DUPLEX RECEPTACLE. HUBBELL 53624 OR EQUAL, STANDARD POWER. "WP" DENOTES WEATHER RESISTANT TYPE RECEPTACLE WITH CAST-IN-USE COVER. "GF" DENOTES GFCl TYPE. "C" DENOTES RECEPTACLE TO BE FLUSH MOUNTED IN CEILING. SAME AS ABOVE EXCEPT BOTTOM OF OUTLET MOUNTED ABOVE COUNTER HEIGHT. QUADRAPLEX - TWO DUPLEX OUTLETS MOUNTED IN A TWO GANG BOX WITH TWO GANG COVER PLATE. SPECIAL RECEPTACLE. SEE PLANS FOR TYPE. SWITCH SYMBOLS MANUAL MOTOR STARTER SINGLE POLE LIGHTING SWITCH 120-277 VOLT, 20 AMP, SPEC GRADE. LETTER ("n") DESIGNATES WHICH FIXTURES ARE CONTROLLED FROM WHICH SWITCHES WHEN MULTIPLE SWITCHES ARE USED ON ONE CIRCUIT. SAME AS "S" ABOVE EXCEPT "3" IN SUBSCRIPT DENOTES 3-WAY SWITCH. SAME AS "S" ABOVE EXCEPT "4" IN SUBSCRIPT DENOTES 4-WAY SWITCH. PASSIVE INFRARED WALL SWITCH/OCCUPANCY SENSOR - WATTSTOPPER # PW-301 PHOTOELECTRIC CELL, SPEC GRADE. TO BE MOUNTED ON ROOF, FACING NORTH, TORK MODEL 2101 OR EQUAL.
	BOXES AND POKE-THRUS JUNCTION BOX FLOOR MOUNTED RECESSED 2-GANG DIVIDED TV BOX TO CONTAIN RECEPTACLE AND TV/AV CONNECTIONS. TV/AV CONNECTIONS, CABLES AND COVER PLATE BY OWNER'S SYSTEM INSTALLER. CONNECT RECEPTACLE TO CIRCUIT SHOWN ADJACENT. ROUTE 3/4" FOR POWER AND 1-1/4" FOR DATA/V. (SEE DETAIL BIE-002) SURFACE MOUNTED 2-GANG BOX FOR CABLE TV OUTLET WITH 1" TO CEILING SPACE WITH PULLWIRE (SEE DETAIL ____) RECESSED 2-GANG BOX WITH 1-GANG PLASTER RING FOR CABLE TV OUTLET WITH 1" TO CEILING SPACE WITH PULLWIRE (SEE DETAIL ____)
	COMMUNICATIONS COMBINATION DATA/TELEPHONE OUTLET WITH 1" CONDUIT TO CORRIDOR, WITH PULL WIRE. INSTALL JACKS, CABLE TERMINATIONS AND BOX COVER. TEST AND LABEL ALL CONDUCTORS. PROVIDE J-HOOKS FOR ROUTING TWO CAT 6A CABLES TO NEAREST IDF. WIRELESS ACCESS POINT. PROVIDE BACKBOX AND 3/4" TO CABLE TRAY. TELECOM BOARD FIRE ALARM FIRE ALARM CONTROL PANEL REMOTE ANNUNCIATOR PANEL AREA SMOKE DETECTOR. MANUAL FIRE ALARM PULL STATION FIRE ALARM SYSTEM STROBE UNIT ONLY FIRE ALARM SYSTEM STROBE UNIT ONLY, CEILING MOUNTED FIRE ALARM SYSTEM HORN/STROBE UNIT FIRE ALARM SYSTEM HORN/STROBE UNIT, CEILING MOUNTED SECURITY CAMERA, PROVIDE BACK BOX AND 1 1/4" CONDUIT TO CABLE TRAY. CARD READER, PROVIDE BACK BOX AND 1 1/4" CONDUIT TO CABLE TRAY. PROVIDE 120V POWER TO CARD READER POWER SUPPLY FROM A LOCAL CIRCUIT. KEY PAD, PROVIDE BACK BOX AND 1 1/4" CONDUIT TO CABLE TRAY. PROVIDE 120V POWER TO CARD READER POWER SUPPLY FROM A LOCAL CIRCUIT.
	LIGHTING FIXTURES 2' X 4' CEILING MOUNTED FIXTURE SWITCHED FIXTURE WITH EMERGENCY LIGHTED BATTERY BACKUP. ROUTE "HOT" SENSING CIRCUIT TO BATTERY 2' X 2' CEILING MOUNTED FIXTURE 4" STRIP FIXTURE WALL MOUNTED FIXTURE EXTERIOR WALL PACK SURFACE CEILING MOUNTED OR RECESSED DOWNLIGHT RECESSED OR SURFACE MOUNTED LINEAR FIXTURE EXIT FIXTURE WITH INTEGRAL BATTERIES - ARROW INDICATES ILLUMINATED DIRECTIONAL ARROWS. SHADED SECTION INDICATES FACE WHICH IS ILLUMINATED. STEM INDICATES WALL MOUNTED. ALL EXIT LIGHTS SHALL BE MOUNTED TO THE STRUCTURE. COMBINATION EMERGENCY LIGHT AND EXIT FIXTURE WITH INTEGRAL BATTERIES - ARROW INDICATES ILLUMINATED DIRECTIONAL ARROWS. SHADED SECTION INDICATES FACE WHICH IS ILLUMINATED. STEM INDICATES WALL MOUNTED. ALL EXIT LIGHTS SHALL BE MOUNTED TO THE STRUCTURE. EMERGENCY LIGHTING UNIT. ALL EMERGENCY LIGHTS SHALL BE MOUNTED TO THE STRUCTURE. EMERGENCY LIGHTING UNIT. EMERGENCY LIGHTS SHALL BE MOUNTED TO THE CEILING. MOUNT TO JUNCTION BOX SUPPORTED FROM T-BAR SUPPORT. EMERGENCY REMOTE HEADS
	ELECTRICAL GENERAL NOTES: 1. INSPECT SITE PRIOR TO SUBMITTING BID. DRAWINGS ARE INTENDED TO COVER THE REQUIRED ELECTRICAL SYSTEMS. DRAWINGS MAY NOT SHOW COMPLETE OR ACCURATE DETAILS OF THE BUILDING OR SYSTEM IN EVERY RESPECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ANY ADDITIONAL INFORMATION AS REQUIRED. 2. CONFORM TO THE NATIONAL ELECTRICAL CODE, IBC, IECC, APPLICABLE NEMA, ANSI AND IEEE PUBLICATIONS, U.L. AND ADA STANDARDS AND OSHA REQUIREMENTS. COMPLY WITH LOCAL, COUNTY, STATE AND NATIONAL CODES HAVING JURISDICTION. 3. FURNISH AND INSTALL ALL MATERIALS IN A NEAT AND WORKMANLIKE FASHION. ALL MATERIALS SHALL BE NEW, WITH FIRST QUALITY AND UL LABEL. 4. VERIFY ALL DIMENSIONS AND CLEARANCES PRIOR TO INSTALLATION OF EQUIPMENT AND RACEWAYS. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF WORK WITH THAT OF ALL OTHER TRADES AS REQUIRED. 5. CONDUIT SHALL BE EMT FOR BRANCH CIRCUIT WIRING AS ALLOWED BY NEC, EXCEPT THAT SET SCREW OR CRIMP FITTINGS ARE NOT ALLOWED. WHERE EXPOSED TO PHYSICAL DAMAGE CONDUITS SHALL BE RIGID GALVANIZED STEEL. MINIMUM CONDUIT SIZE SHALL BE 3/4". ALL CONDUCTORS SHALL BE TYPE THHN/THWN, STRANDED 600V COPPER BUILDING WIRE. MINIMUM SIZE SHALL BE #12 AWG COPPER UNLESS NOTED. UNDERGROUND CONDUITS SHALL BE PVC SCHEDULE 40 WITH TRANSITION TO RIGID GALVANIZED STEEL FOR EXPOSED CONDUITS. 6. PROVIDE GROUNDING FOR ALL EQUIPMENT IN ACCORDANCE WITH ARTICLE 250 OF THE NATIONAL ELECTRICAL CODE. VERIFY EXISTING SERVICE IS GROUNDED TO BUILDING STEEL, DRIVEN GROUND ROD AND COLD WATER PIPE. 7. ALL ENCLOSURES SHALL BE OF THE NEMA TYPE WHICH IS SUITABLE FOR THE APPLICATION. 8. SEAL ALL CONDUIT PENETRATIONS TO MATCH RATING OF WALL BEING PENETRATED. 9. ALL WORK SHALL HAVE PROPER LABELING AND NAMEPLATES. ALL CIRCUITS SHALL BE LABELED AT PANELS AND BOXES AS INDICATED. ALL PANELS AND DISCONNECTS ARE TO BE PERMANENTLY MARKED WITH NAME OF EQUIPMENT SERVED AS WELL AS SOURCE PANEL AND CIRCUIT NUMBER PER NEC 110. ALL PANELS ARE TO BE PROVIDED WITH TYPEWRITTEN PANEL SCHEDULES. 10. ALL BREAKERS ON CIRCUITS SUPPLYING HVAC EQUIPMENT SHALL BE TYPE HACR BREAKERS. 11. PROJECT WILL BE DONE IN PHASES. COORDINATE PHASING OF WORK WITH OTHER TRADES. OWNER AND ARCHITECT. COORDINATE ALL OUTAGES WITH OWNER. SEE ARCHITECTURAL PHASING PLANS AND COORDINATE WORK ACCORDINGLY. 12. EXISTING ELECTRICAL SERVICE IS TO REMAIN IN PLACE AND OPERATIONAL. 13. THOROUGHLY CLEAN ALL EQUIPMENT AND SYSTEMS BEFORE PLACING IN OPERATION. RESTORE FINISHED SURFACES IF DAMAGED AND DELIVER THE ENTIRE INSTALLATION IN AN APPROVED CONDITION. INSTRUCT THE OWNERS' PERSONNEL IN THE PROPER OPERATION AND MAINTNANCE OF THE SYSTEMS. FURNISH TO THE OWNER THREE SETS OF OPERATION AND MAINTNANCE MANUALS FOR EACH SYSTEM. 14. GUARANTEE THE WORK INSTALLED FOR A PERIOD OF ONE YEAR AFTER DATE OF FINAL ACCEPTANCE. DEFECTS WHICH APPEAR AS A RESULT OF NORMAL USAGE SHALL BE REMEDIED BY THE CONTRACTOR TO THE COMPLETE SATISFACTION OF THE OWNER WITHOUT COST TO THE OWNER. 15. CONTRACTOR SHALL KEEP CURRENT A SET OF PLANS FOR THE DURATION OF CONSTRUCTION WITH ALL CHANGES TO WORK NEATLY AND ACCURATELY MARKED IN RED AND SHALL TURN OVER TO OWNER AT COMPLETION OF PROJECT. 16. ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED TO MEET SEISMIC REQUIREMENTS OF 2021 IBC. 17. ALL PANELBOARDS SHALL BE FURNISHED WITH COPPER BUS BARS AND A COPPER GROUNDING BUS BAR.
	ABBREVIATIONS: ACH ABOVE COUNTER HEIGHT MFR MANUFACTURER AFF ABOVE FINISHED FLOOR MDP MAIN DISTRIBUTION PANEL AFG ABOVE FINISHED GRADE MSB MAIN SWITCHBOARD ALCR AUTOMATIC LOAD CONTROL RELAY NTS NOT TO SCALE BKR BREAKER PH PHASE CU COPPER PNL PANEL CKT CIRCUIT PVC POLYVINYL CHLORIDE CONDUIT D DEDICATED OUTLET RECPT RECEPTACLE (R.) DWG DRAWING REQD REQUIRED EC ELECTRICAL CONTRACTOR RGS RIGID GALVANIZED STEEL EMT ELECTRICAL METALLIC TUBING SP SURGE PROTECTIVE DEVICE EWC ELECTRIC WATER COOLER SW SWITCH FU FUSE TP TYPICAL FWE FURNISHED WITH EQUIPMENT UNO UNLESS NOTED OTHERWISE GFI GROUND FAULT INTERRUPTER DEVICE UH UNIT HEATER IMC INTERMEDIATE METAL CONDUIT UGND UNDERGROUND LTG LIGHTING (L.) W WITH MLO MAIN LUGS ONLY WH WATER HEATER MCB MAIN CIRCUIT BREAKER WP WEATHER PROOF XFMR TRANSFORMER
	ELECTRICAL SUMMARY ELECTRICAL SYSTEM AND EQUIPMENT Method of Compliance Energy Code: ☒ Prescriptive ☐ Performance ASHRAE 90.1: ☒ Prescriptive ☐ Performance Lighting schedule (each fixture type) (SEE FIXTURE SCHEDULE, THIS DRAWING) Lamp type required in future Number of lamps in future Ballast type used in the future Number of ballasts in the future Total wattage per fixture Total interior wattage specified vs. allowed Total exterior wattage specified vs. allowed Additional Prescriptive Compliance ☐ 506.2.1 More Efficient Mechanical Equipment ☐ 506.2.2 Reduced Lighting Power Density ☐ 506.2.3 Energy Recovery Ventilation Systems ☐ 506.2.4 Higher Efficiency Service Water Heating ☐ 506.2.5 On-site Supply of Renewable Energy ☐ 506.2.6 Automatic Daylighting Control Systems
	PANEL SCHEDULE NOTES 1. PANEL SCHEDULE INFORMATION IS TAKEN FROM EXISTING DRAWINGS AND FIELD OBSERVATION. CONTRACTOR SHALL INVESTIGATE CIRCUITS WITHIN THE SCOPE OF THIS PROJECT AND SHALL UPDATE RECORD DRAWING PANEL SCHEDULES AND PLANS ACCORDINGLY FOR ALL MODIFIED CIRCUITS. 2. ALL NEW CIRCUIT BREAKERS SHALL MATCH THE MANUFACTURER AND AIC RATING OF THE PANEL INTO WHICH THEY ARE INSTALLED. 3. CIRCUIT BREAKERS OR DESCRIPTIONS SHOWN IN BOLD ARE NEW OR MODIFIED AS PART OF THIS PROJECT. 4. NEW CIRCUIT BREAKER IN EXISTING SPACE. 5. NEW CIRCUIT BREAKER REPLACING EXISTING BREAKER.
	GENERAL LIGHTING NOTES: 1. MANUFACTURERS & NUMBERS ARE LISTED TO ESTABLISH QUALITY ONLY AND NOT TO LIMIT COMPETITION. PRIOR TO BIDDING, SUBSTITUTIONS ARE ALLOWED SUBJECT TO SUBMITTAL DATA, PHOTOMETRICS & ENGINEERS APPROVAL AS REQUIRED BY SPECIFICATIONS. "SUBJECT TO APPROVAL" BIDS ARE PROHIBITED. 2. ALL FIXTURES TO BE U.L., E.T.L. OR C.S.A. LABELED. ALL EXTERIOR FIXTURES SHALL HAVE WET LABEL OR DAMP LABEL AS REQUIRED BY LOCATION. CONTRACTOR SHALL VERIFY BEFORE SUBMITTING FIXTURE. 3. ALL FIXTURES TO BE PAINTED AFTER FABRICATION. 4. PROVIDE ALL MOUNTING ACCESSORIES, BAR HANGARS & HARDWARE REQUIRED. COORDINATE MOUNTING REQUIREMENTS WITH ARCHITECT'S REFLECTED CEILING PLAN. 5. INTEGRAL EMERGENCY BATTERIES SHALL PROVIDE A MINIMUM OF 10W OUTPUT. BATTERIES SHALL CONTAIN INTEGRAL SENSING CIRCUIT TO ALLOW FIXTURE TO BE SWITCHED WITH AREA FIXTURES FOR NORMAL OPERATION AND ENERGIZE BATTERY POWERED FIXTURE UPON LOSS OF POWER CIRCUIT, REGARDLESS OF SWITCH

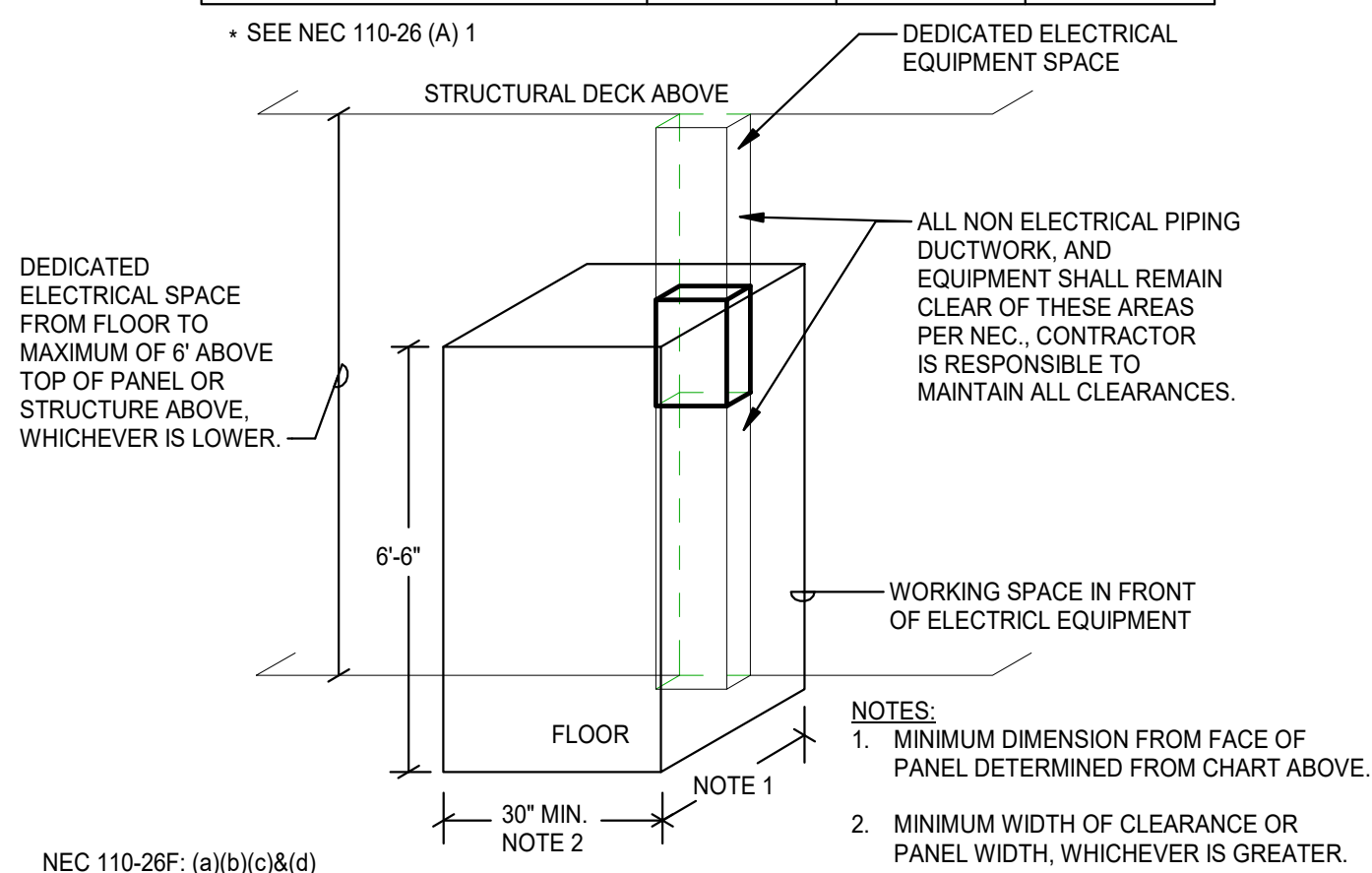


1 TYPICAL DEVICE MOUNTING HEIGHT
NTS

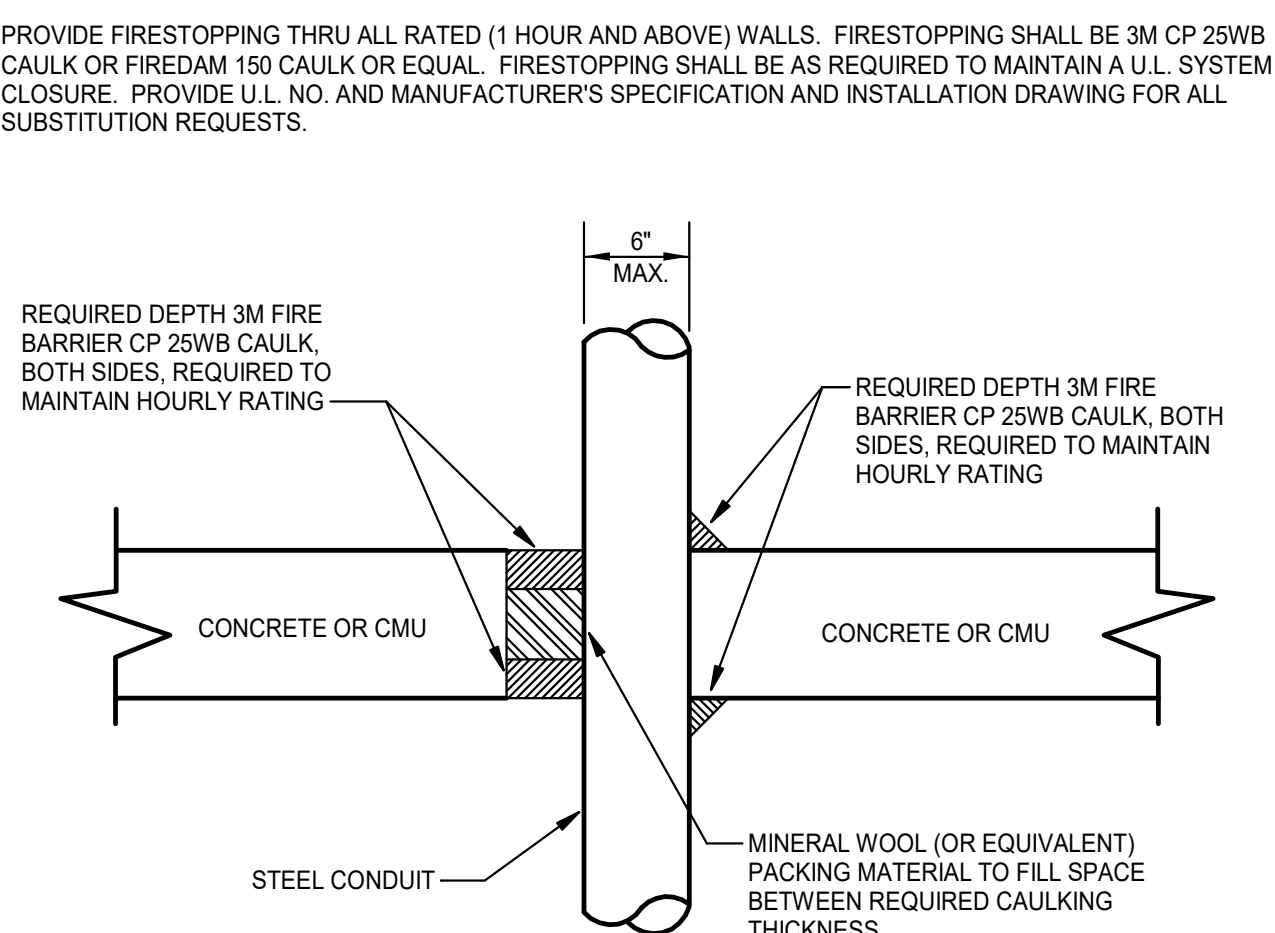


6 OCCUPANCY SENSOR CONTROL WIRING DIAGRAM

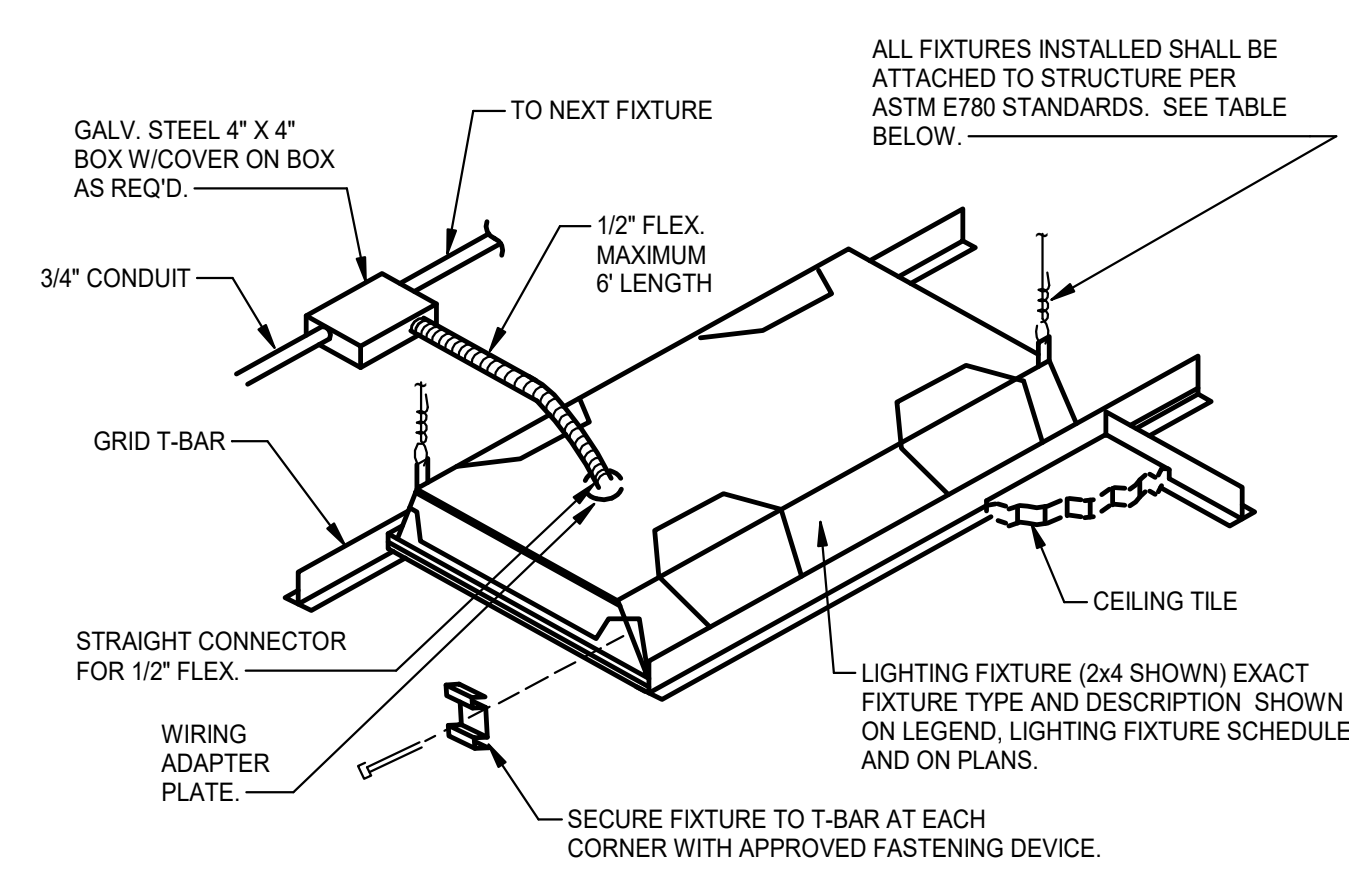
NOMINAL VOLTAGE TO GROUND	CONDITIONS MINIMUM CLEAR DISTANCE (FEET)		
	1	2	3
0-150	3	3	3
151-600	3	3 1/2	4



2 PANEL CLEARANCES PER NEC

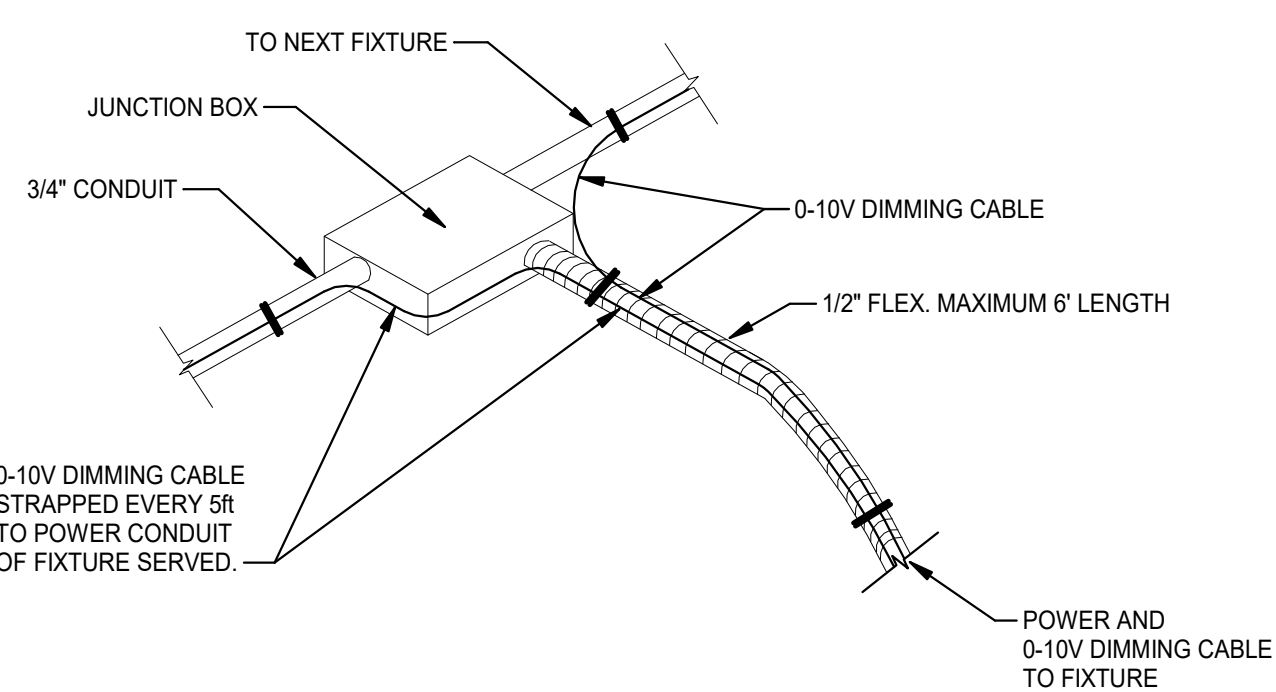


3 TYPICAL CONDUIT SLEEVE DETAIL



FIXTURE WEIGHT	SUPPORT TYPE
<10 lbs	(1) No. 12 GAUGE SLACK WIRE
>10 lbs BUT < 56 lbs	(2) No. 12 GAUGE SLACK WIRE
> 56 lbs	APPROVED HANGERS SUPPORTED FROM STRUCTURE

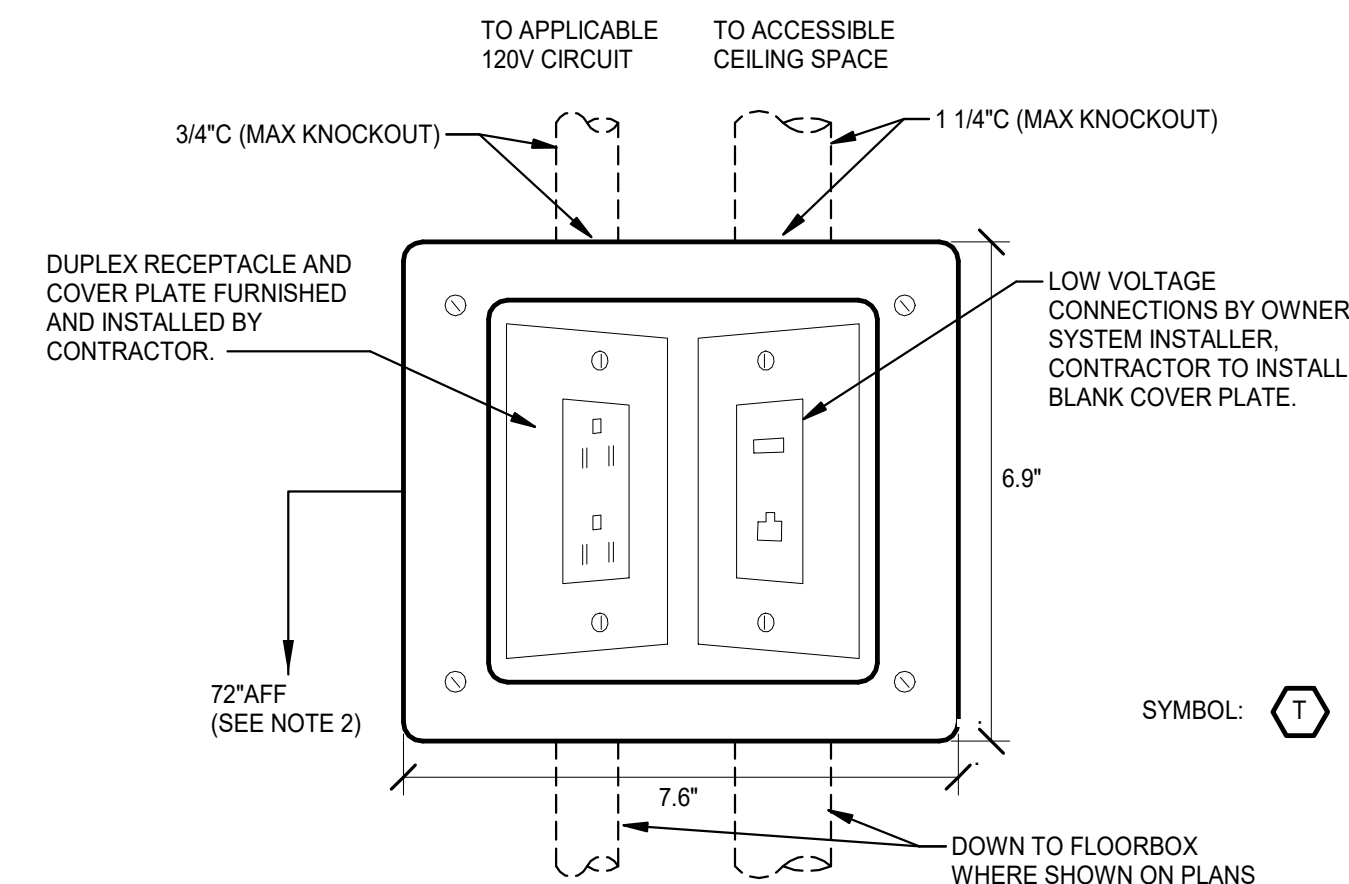
4 TYPICAL RECESSED LIGHT FIXTURE MOUNTING



ALL 0-10V DIMMING WIRING SHALL BE A SINGLE BELDEN # 2179LP (OR EQUAL) CABLE TO EACH FIXTURE. PROVIDE AN ADDITIONAL 3/4" CONDUIT FROM DIMMER SWITCH TO ABOVE CEILING FOR SIGNAL WIRES. ONCE ABOVE CEILING, SIGNAL WIRES TO BE STRAPPED EVERY 5 FEET TO CONDUIT SUPPLYING POWER FOR EACH FIXTURE.

DIMMING CABLE TO BE INSTALLED ABOVE INACCESSIBLE CEILING SHALL BE ROUTED IN SEPARATE CONDUIT AND SHALL NOT BE STRAPPED TO POWER CONDUIT.

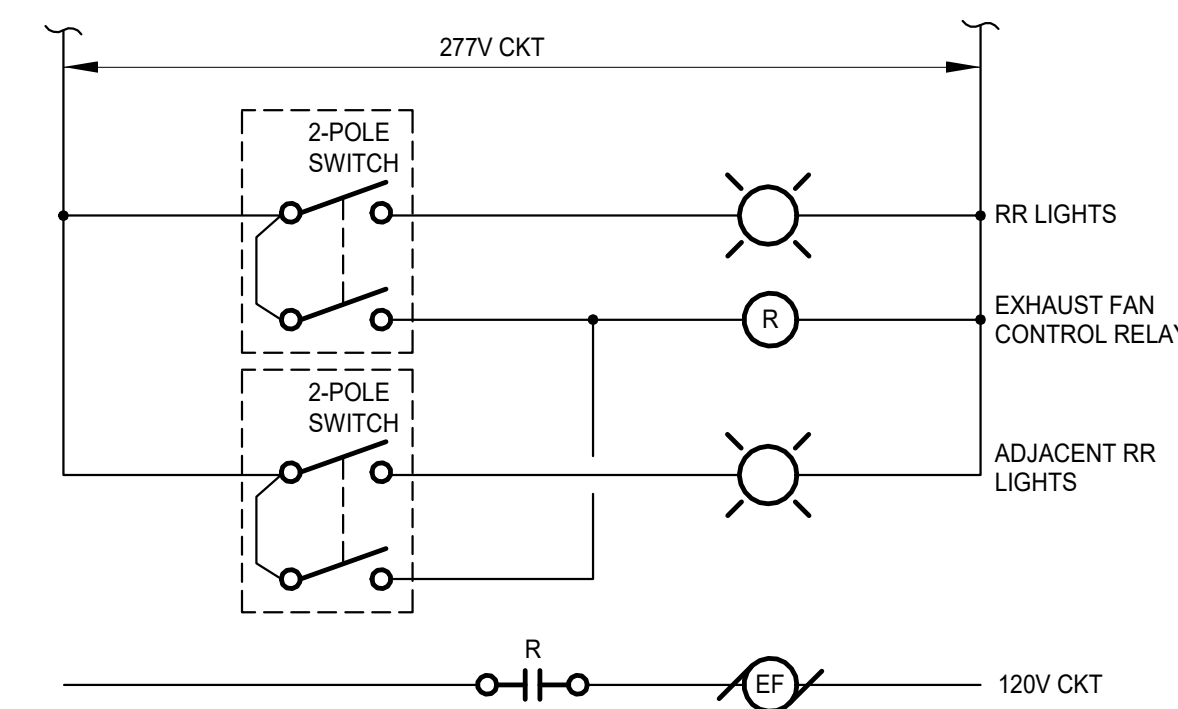
5 0-10V DIMMING WIRING DETAIL



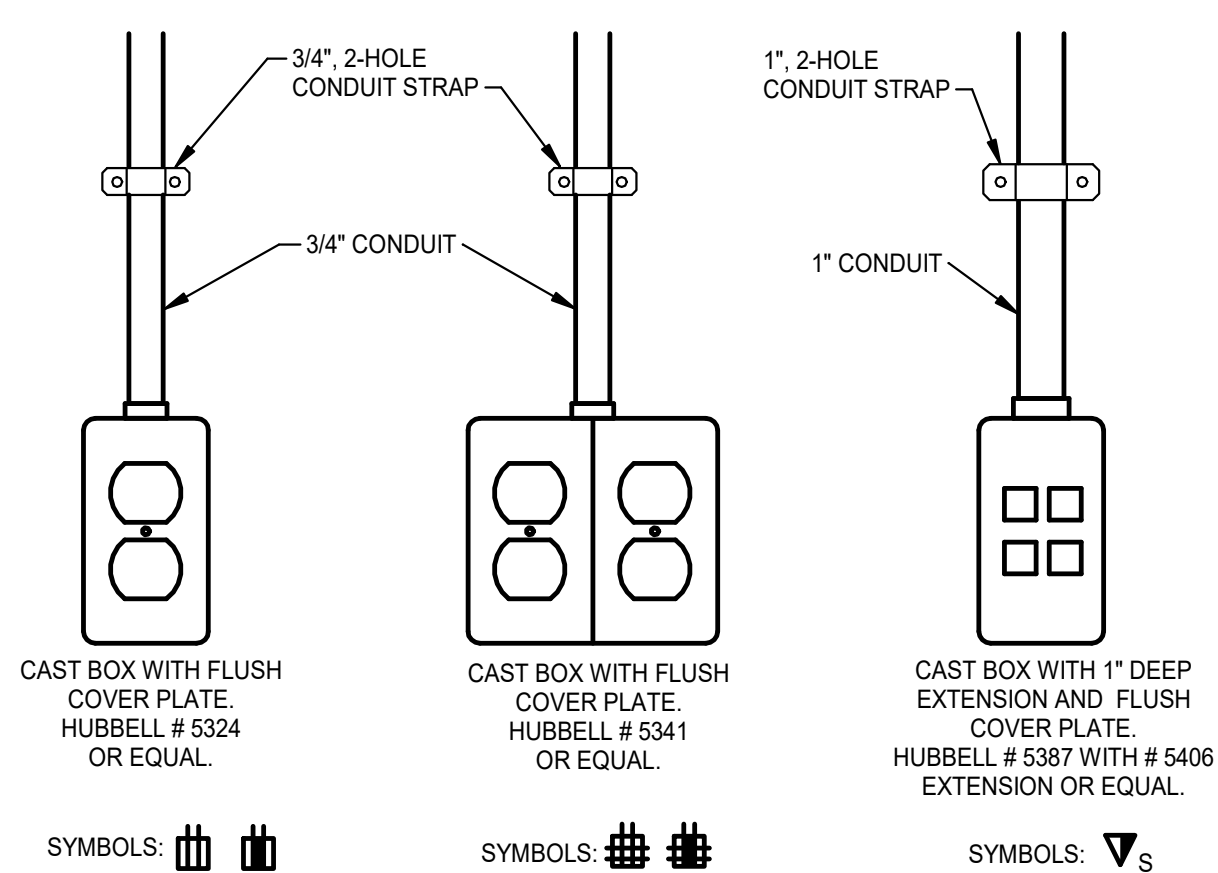
NOTES:

1. LEGRAND # TV-2MW COMMERCIAL RECESSED TV BOX OR EQUAL, WHITE FINISH.
2. COORDINATE EXACT MOUNTING HEIGHT WITH ARCHITECT. BOX TO BE CONCEALED BEHIND TV.
3. PROVIDE CONDUITS AS SHOWN. ROUTE TV/AV CONDUIT TO ABOVE ACCESSIBLE CEILING, WITH PULL WIRE.

9 TV WALL BOX DETAIL

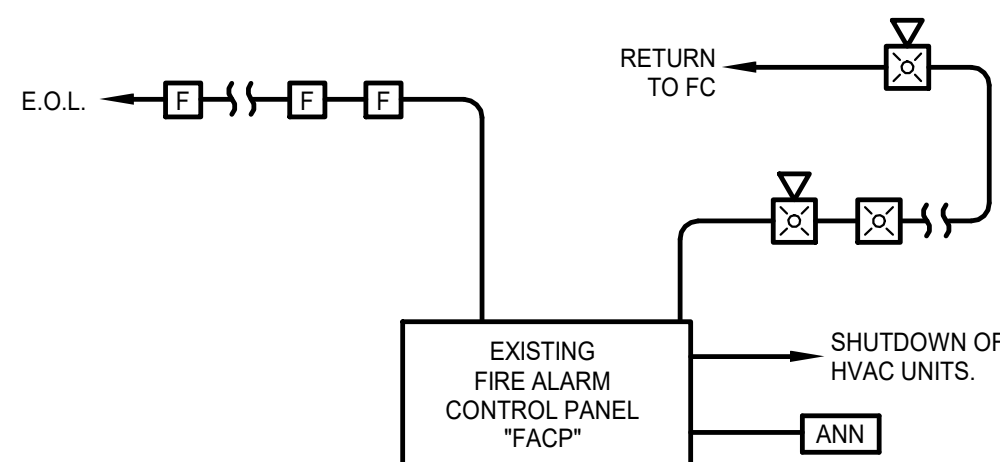


10 EXHAUST FAN WIRING DIAGRAM



NOTE: BOX, CONDUIT, STRAPS, ETC., SHALL BE PAINTED TO MATCH WALL ONTO WHICH THEY ARE INSTALLED.

3 TYPICAL SURFACE MOUNTED DEVICE DETAIL

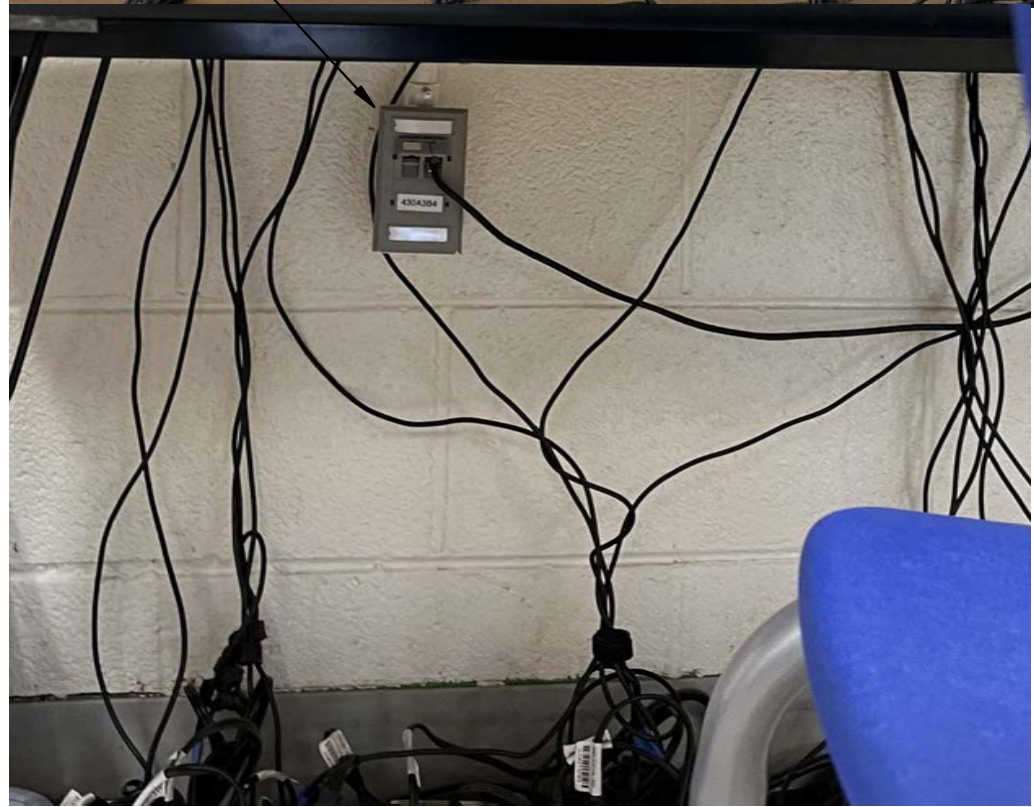
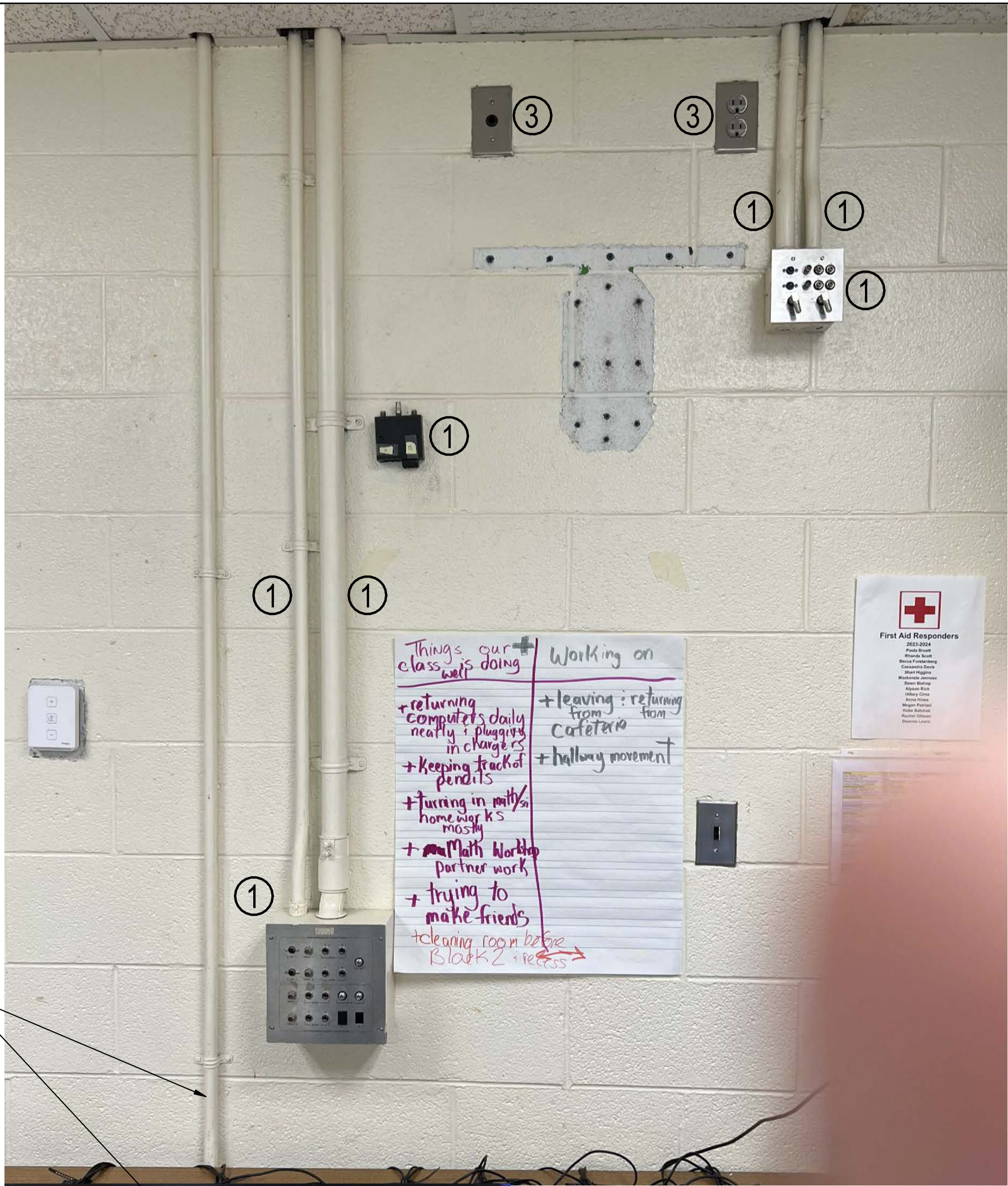


NOTES:

1. ALL CONDUIT SHALL BE 3/4" MIN WITH WIRING AS REQUIRED BY MANUFACTURER. PAINT ALL JUNCTION BOXES, COVERS AND MARK CONDUIT EVERY 10' WITH RED PAINT. WHERE RUN ABOVE CEILING.
2. PROVIDE TESTING AND RECERTIFICATION PER SPECIFICATION.

7 FIRE ALARM RISER DIAGRAM (NEW)
NTS

2
DATA JACK AND
CONDUIT TO REMAIN.

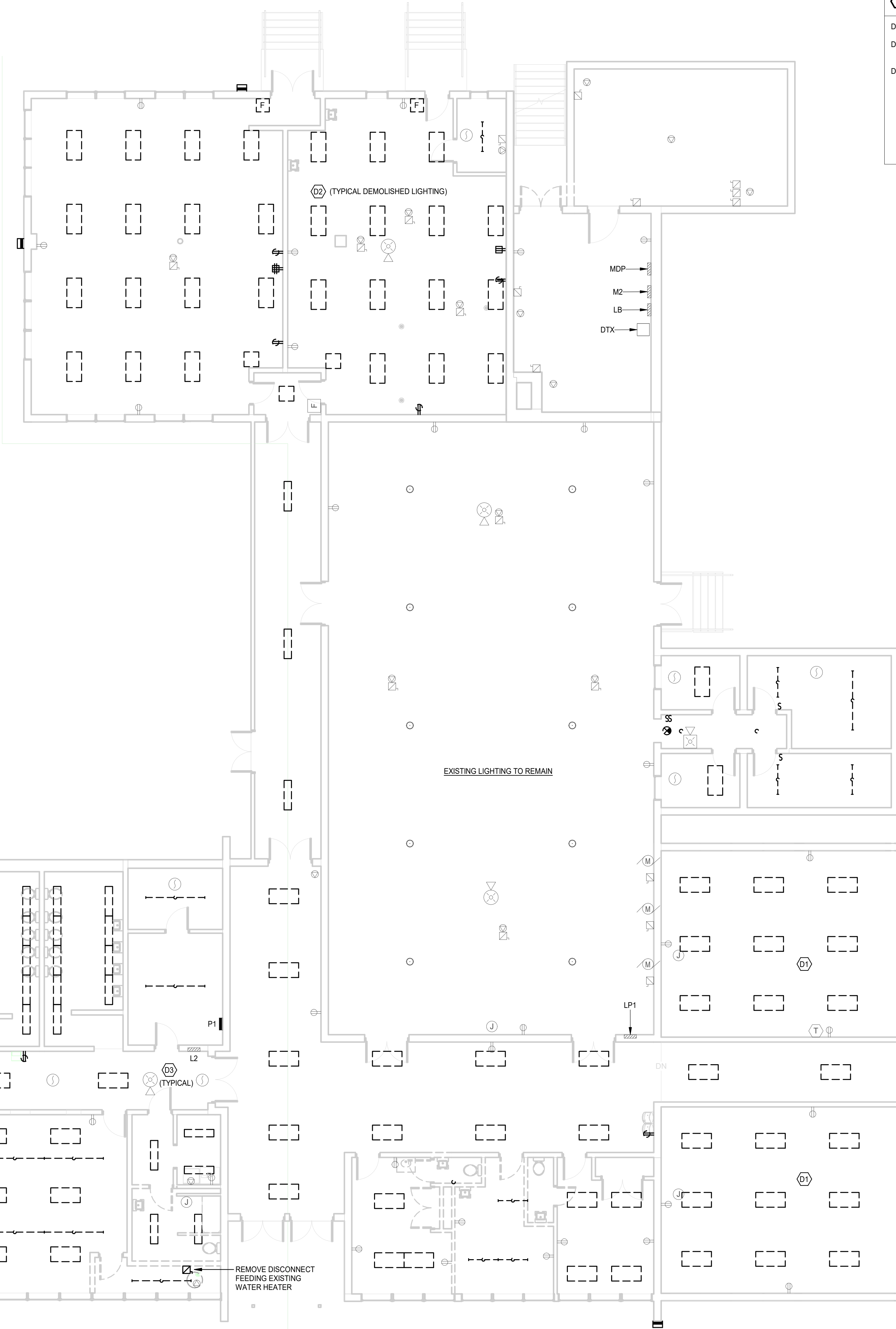


DETAIL NOTES:

- 1 REMOVE ALL AV INFRASTRUCTURE RELATED TO AV SYSTEMS NO LONGER IN USE. REMOVE ALL CABLE TO SOURCE, REMOVE ALL CONDUIT TO NEAREST JUNCTION BOX ABOVE CEILING.
- 2 EXISTING DATA JACKS TO REMAIN.
- 3 EXISTING RECEPTACLE AND COAX BOX TO REMAIN; REPLACE EXISTING COAX BOX COVER WITH BLANK STAINLESS STEEL COVER.
- 4 AV INFRASTRUCTURE APPEARS IN DIFFERENT LOCATIONS IN EXISTING CLASSROOMS. CONTRACTOR TO INVESTIGATE AND BRING ANY DISCREPANCIES TO THE ENGINEER'S ATTENTION.

3 TYPICAL AV INFORMATION TO BE REMOVED
N.T.S. (SIMILAR EACH CLASSROOM)

1 ELECTRICAL DEMOLITION PLAN - AREA A
1/8" = 1'-0"

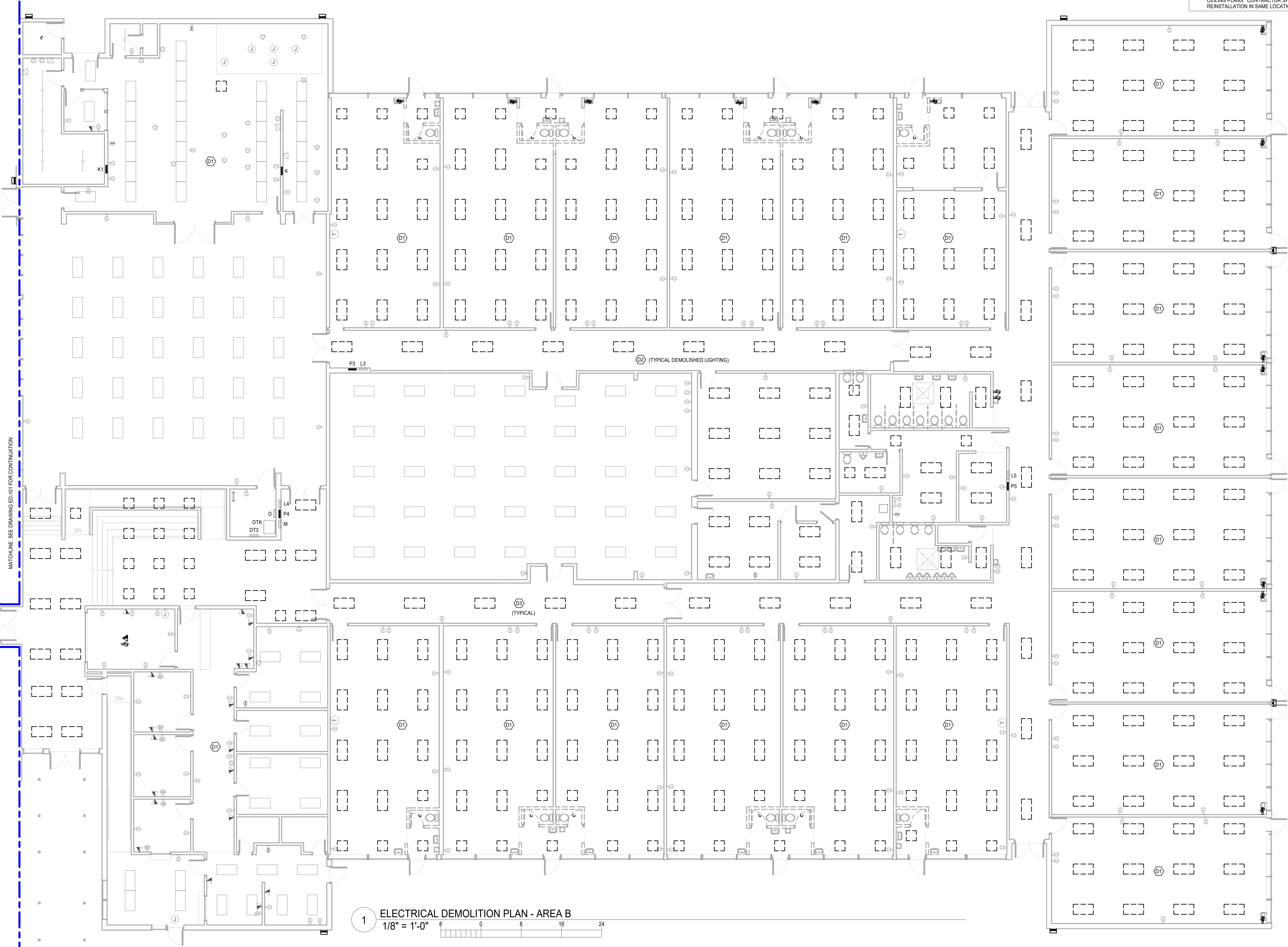


GENERAL SHEET NOTES

1. EXISTING INFORMATION IS TAKEN FROM EXISTING DRAWINGS AND FIELD OBSERVATION. CONTRACTOR SHALL INVESTIGATE EXISTING CONDITIONS AND SHALL BRING ANY DISCREPANCIES TO THE ENGINEER'S ATTENTION.
2. ELECTRICAL DEVICES AND FIXTURES SHOWN DASHED ARE TO BE DEMOLISHED. ASSOCIATED CIRCUITS SHALL BE PROTECTED FOR REUSE WITH NEW FIXTURES REPLACING EXISTING IN SAME LOCATION. ASSOCIATED CIRCUITS NOT BEING REUSED AND WITHOUT ANY REMAINING LOAD SHALL BE REMOVED BACK TO PANEL, AND ASSOCIATED BREAKER SHALL BE LABELED "SPARE". DEMOLITION SHOWN MAY INDICATE PORTIONS OF CIRCUITS ARE BEING REMOVED. CONTRACTOR SHALL PROVIDE ALL REQUIRED INVESTIGATION, LABEL AND EFFORT TO REWORK REMAINING CIRCUITS TO MAINTAIN OPERABILITY. PROVIDE NEW TYPED PANEL SCHEDULES TO INDICATE REMAINING CIRCUITS AND FUNCTIONS.
3. ELECTRICAL DEVICES AND FIXTURES SHOWN IN LIGHT, SOLID LINE WEIGHT ARE EXISTING TO REMAIN.
4. REMOVE AND PROTECT ALL CEILING MOUNTED DEVICES FOR INTERCOM, WIRELESS ACCESS POINTS, SENSORS, ETC FOR REINSTALLATION IN NEW CEILINGS.
5. ALL LED BULBS REMOVED DURING DEMOLITION ARE TO BE PROTECTED AND TURNED OVER TO OWNER. LAMPS TO BE BOXED IN OWNER PROVIDED BOXES AND PICKED UP BY SCHOOL MAINTENANCE DEPARTMENT.

DEMOLITION PLAN KEYNOTES

- D1. REMOVE EXISTING AV CONDUIT AND JUNCTION BOXES. SEE DETAIL 1, THIS DRAWING.
- D2. WHERE EXISTING LIGHTING IS SHOWN TO BE REMOVED, PROTECT AND SALVAGE ALL LED LAMPS FOR THE OWNER. PACK IN OWNER SUPPLIED BOXING.
- D3. CONTRACTOR IS TO REMOVE, PROTECT FROM DAMAGE ALL CEILING MOUNTED FIRE ALARM, SECURITY, CAMERAS AND SENSORS FOR REPLACEMENT OF CEILINGS WHERE NOTED ON ARCHITECTURAL DRAWINGS. REFLECTED CEILING PLANS. CONTRACTOR SHALL TEST OPERABILITY OF ALL DEVICES PRIOR TO REMOVAL AND MARK FOR REINSTALLATION IN SAME LOCATIONS.



1 ELECTRICAL DEMOLITION PLAN - AREA B
1/8" = 1'-0"

GENERAL SHEET NOTES

- EXISTING INFORMATION IS TAKEN FROM EXISTING DRAWINGS AND FIELD OBSERVATION. CONTRACTOR SHALL INVESTIGATE EXISTING CONDITIONS AND SHALL BRING ANY DISCREPANCIES TO THE ENGINEER'S ATTENTION.
- ELECTRICAL DEVICES AND FIXTURES SHOWN DASHED ARE TO BE DEMOLISHED. ASSOCIATED CIRCUITS SHALL BE PROTECTED FOR REUSE WITH NEW FIXTURES REPLACING EXISTING IN SAME LOCATION. ASSOCIATED CIRCUITS NOT BEING REUSED AND WITHOUT ANY REMAINING LOAD SHALL BE REMOVED BACK TO PANEL, AND ASSOCIATED BREAKER SHALL BE LABELED "SPARE". DEMOLITION SHOWN MAY INDICATE PORTIONS OF CIRCUITS ARE BEING REMOVED. CONTRACTOR SHALL PROVIDE ALL REQUIRED INVESTIGATION, LABEL AND EFFORT TO REWORK REMAINING CIRCUITS TO MAINTAIN OPERABILITY. PROVIDE NEW TYPED PANEL SCHEDULES TO INDICATE REMAINING CIRCUITS AND FUNCTIONS.
- ELECTRICAL DEVICES AND FIXTURES SHOWN IN LIGHT, SOLID LINE WEIGHT ARE EXISTING TO REMAIN.
- REMOVE AND PROTECT ALL CEILING MOUNTED DEVICES FOR INTERCOM, WIRELESS ACCESS POINTS, SENSORS, ETC FOR REINSTALLATION IN NEW CEILINGS.
- ALL LED BULBS REMOVED DURING DEMOLITION ARE TO BE PROTECTED AND TURNED OVER TO OWNER. LAMPS TO BE BOXED IN OWNER PROVIDED BOXES AND PICKED UP BY SCHOOL MAINTENANCE DEPARTMENT.

DEMOLITION PLAN KEYNOTES

- D1 REMOVE EXISTING AV CONDUIT AND JUNCTION BOXES. SEE DETAIL 1, ED-101.
- D2 WHERE EXISTING LIGHTING IS SHOWN TO BE REMOVED, PROTECT AND SALVAGE ALL LED LAMPS FOR THE OWNER. PACK IN OWNER SUPPLIED BOXING.
- D3 CONTRACTOR IS TO REMOVE, PROTECT FROM DAMAGE ALL CEILING MOUNTED FIRE ALARM, SECURITY, CAMERAS AND SENSORS FOR REPLACEMENT OF CEILINGS WHERE NOTED ON ARCHITECTURAL DRAWINGS REFLECTED CEILING PLANS. CONTRACTOR SHALL TEST OPERABILITY OF ALL DEVICES PRIOR TO REMOVAL AND MARK FOR REINSTALLATION IN SAME LOCATIONS.

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GENERAL RENOVATIONS EFLAND-CHEEKS ELEMENTARY SCHOOL
ORANGE COUNTY SCHOOLS
440A FULLER ROAD
EFLAND, NORTH CAROLINA 27243
SCO ID#: 16-15470-02 CODE: 41535 ITEM: 302
ELECTRICAL DEMOLITION PLAN - AREA B

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ID	Date	Description
1	02/28/2024	Construction Documents

PROJECT NUMBER	23352A
REVIEWED BY	DJB
DESIGNED BY	JKP
DRAWN BY	TMP
DRAWING DATE	02/28/2024

SHEET NUMBER
ED-102



GENERAL SHEET NOTES

1. CONTRACTOR SHALL VERIFY LOADS AND AVAILABILITY OF ALL CIRCUITS BEING MODIFIED AS PART OF THIS PROJECT AND SHALL VERIFY THAT CIRCUIT LOADS DO NOT EXCEED CODE LIMITS. CONTRACTOR SHALL LABEL ALL DEVICES SHOWN TO BE CONNECTED TO EXISTING CIRCUITS WITH THE CURRENT PANEL AND CIRCUIT NUMBER ON THE RECORD DRAWINGS.
2. SEE ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT LOCATIONS OF ALL CEILING MOUNTED FIXTURES AND DEVICES.
3. DEVICES AND FIXTURES SHOWN IN LIGHT LINE WEIGHT ARE EXISTING TO REMAIN.
4. CONNECT NEW FIXTURES TO EXISTING LIGHTING CIRCUIT. REWIRE ALL FIXTURES AS REQUIRED TO ACCOMPLISH EXISTING SWITCHING.

○ LIGHTING PLAN KEYNOTES

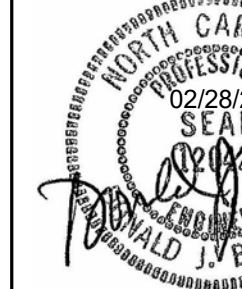
- L1. EXISTING LIGHTING IN GYM TO REMAIN. REPLACE EXISTING EXIT LIGHTS.
- L2. RELOCATE THIS ROW OF FIXTURES TO ACCOMMODATE NEW FURRED OUT WALL.
- L3. EXISTING SWITCHING SHALL REMAIN WHERE LIGHTS ARE TO BE REPLACED.
- L4. EXTEND EXISTING NON SWITCHED CIRCUIT TO NEW WALL PACK.
- L5. REPLACE EXISTING WALL PACKS WITH NEW. REUSE EXISTING CIRCUIT AND CONTROLS.
- L6. ADD NEW WALL PACK, EXTEND EXISTING UNSWITCHED CIRCUIT AS SHOWN.



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Professional Engineer
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Sud Associates, P.A.
02/28/2024

GENERAL RENOVATIONS EFLAND-CHEEKS ELEMENTARY SCHOOL
ORANGE COUNTY SCHOOLS
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SCO ID#: 16-16570-02 CODE: 41535 ITEM: 302
ELECTRICAL LIGHTING PLAN - AREA A

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Revision		
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PROJECT NUMBER	23352A
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DRAWN BY	TMP
DRAWING DATE	02/28/2024
SHEET NUMBER	E-101

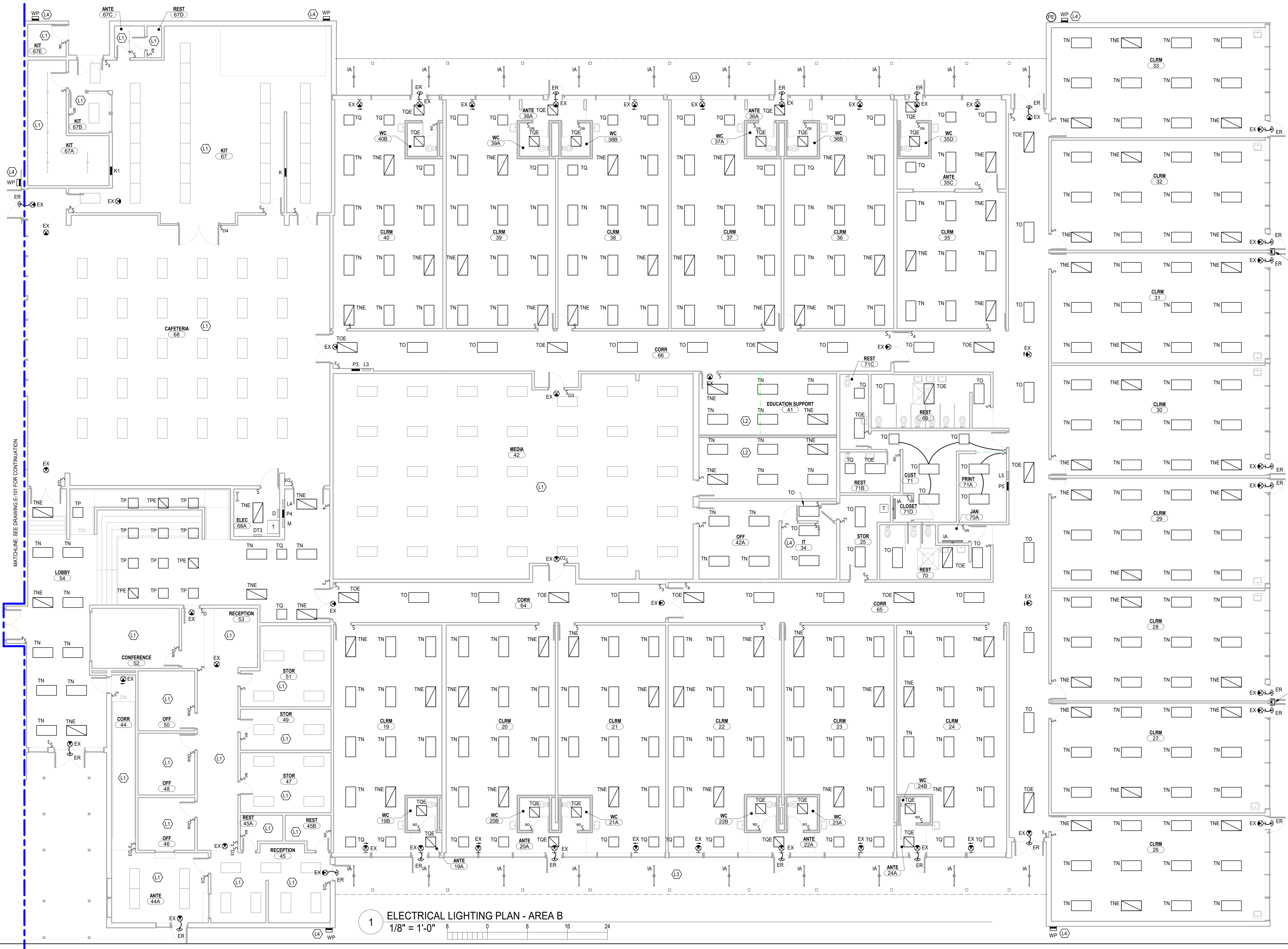
1 ELECTRICAL LIGHTING PLAN - AREA A
1/8" = 1'-0"

GENERAL SHEET NOTES

- CONTRACTOR SHALL VERIFY LOADS AND AVAILABILITY OF ALL CIRCUITS BEING MODIFIED AS PART OF THIS PROJECT AND SHALL VERIFY THAT CIRCUIT LOADS DO NOT EXCEED CODE LIMITS. CONTRACTOR SHALL LABEL ALL DEVICES SHOWN TO BE CONNECTED TO EXISTING CIRCUITS WITH THE CURRENT PANEL AND CIRCUIT NUMBER ON THE RECORD DRAWINGS.
- SEE ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT LOCATIONS OF ALL CEILING MOUNTED FIXTURES AND DEVICES.
- DEVICES AND FIXTURES SHOWN IN LIGHT LINE WEIGHT ARE EXISTING TO REMAIN.
- CONNECT NEW FIXTURES TO EXISTING LIGHTING CIRCUIT. REWIRE ALL FIXTURES AS REQUIRED TO ACCOMPLISH EXISTING SWITCHING.

○ LIGHTING PLAN KEYNOTES

- NO LIGHTING SCOPE IN THESE AREAS, UNLESS REPLACEMENT EXIT LIGHTS ARE SHOWN.
- INSTALL ADDITIONAL ROW OF FIXTURES WHERE ROOM DIVIDER WALL IS ADDED.
- FURNISH AND INSTALL EXTERIOR STRIP FIXTURES AT NEW CANOPIES. CANOPIES STRUCTURAL DETAILS ARE TO BE DETERMINED BY SUPPLIER. ADJUST MOUNTING TO ADAPT. ROUTE RIGID GALVANIZED CONDUITS TO UNDERSIDE OF ALL CANOPIES. DO NOT PENETRATE CANOPY.
- REPLACE EXISTING WALL PACKS WITH NEW. REUSE EXISTING CIRCUIT AND CONTROLS.
- ADD NEW WALL PACK. EXTEND EXISTING UNSWITCHED CIRCUIT AS SHOWN.

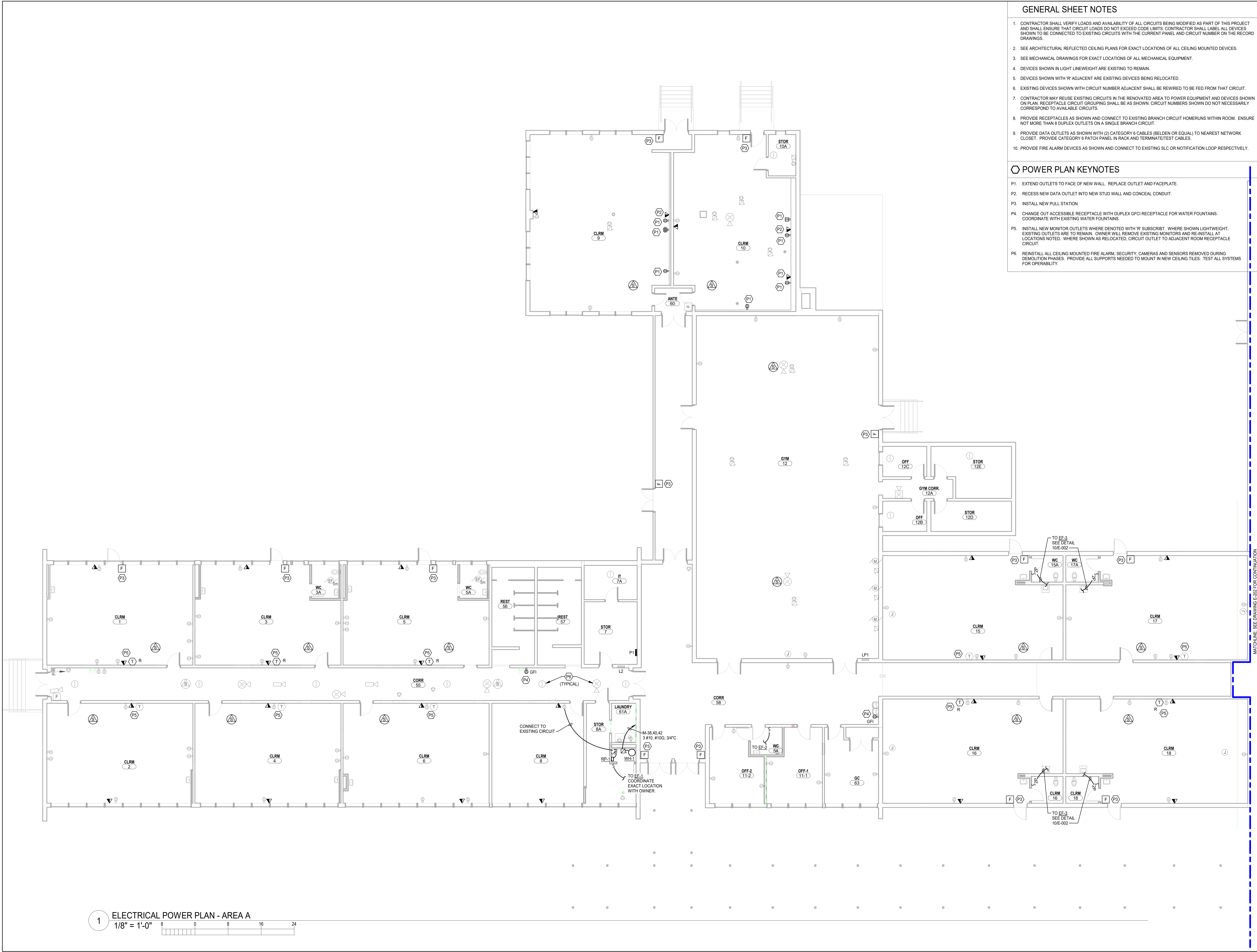


1 ELECTRICAL LIGHTING PLAN - AREA B
1/8" = 1'-0"

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PROJECT NUMBER	23352A
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GENERAL SHEET NOTES

1. CONTRACTOR SHALL VERIFY LOADS AND AVAILABILITY OF ALL CIRCUITS BEING MODIFIED AS PART OF THIS PROJECT AND SHALL ENSURE THAT CIRCUIT LOADS DO NOT EXCEED CODE LIMITS. CONTRACTOR SHALL LABEL ALL DEVICES SHOWN TO BE CONNECTED TO EXISTING CIRCUITS WITH THE CURRENT PANEL AND CIRCUIT NUMBER ON THE RECORD DRAWINGS.

2. SEE ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT LOCATIONS OF ALL CEILING MOUNTED DEVICES.

3. SEE MECHANICAL DRAWINGS FOR EXACT LOCATIONS OF ALL MECHANICAL EQUIPMENT.

4. DEVICES SHOWN IN LIGHT LINWEIGHT ARE EXISTING TO REMAIN.

5. DEVICES SHOWN WITH 'R' ADJACENT ARE EXISTING DEVICES BEING RELOCATED.

6. EXISTING DEVICES SHOWN WITH CIRCUIT NUMBER ADJACENT SHALL BE REWIRED TO BE FED FROM THAT CIRCUIT.

7. CONTRACTOR MAY REUSE EXISTING CIRCUITS IN THE RENOVATED AREA TO POWER EQUIPMENT AND DEVICES SHOWN ON PLAN. RECEPTACLE CIRCUIT GROUPING SHALL BE AS SHOWN. CIRCUIT NUMBERS SHOWN DO NOT NECESSARILY CORRESPOND TO AVAILABLE CIRCUITS.

8. PROVIDE RECEPTACLES AS SHOWN AND CONNECT TO EXISTING BRANCH CIRCUIT HOMERUNS WITHIN ROOM. ENSURE NOT MORE THAN 8 DUPLEX OUTLETS ON A SINGLE BRANCH CIRCUIT.

9. PROVIDE DATA OUTLETS AS SHOWN WITH (2) CATEGORY 6 CABLES (BELDEN OR EQUAL) TO NEAREST NETWORK CLOSET. PROVIDE CATEGORY 6 PATCH PANEL IN RACK AND TERMINATE/TEST CABLES.

10. PROVIDE FIRE ALARM DEVICES AS SHOWN AND CONNECT TO EXISTING SLC OR NOTIFICATION LOOP RESPECTIVELY.

POWER PLAN KEYNOTES

P1. EXTEND OUTLETS TO FACE OF NEW WALL. REPLACE OUTLET AND FACEPLATE.

P2. RECESS NEW DATA OUTLET INTO NEW STUD WALL AND CONCEAL CONDUIT.

P3. INSTALL NEW PULL STATION.

P4. CHANGE OUT ACCESSIBLE RECEPTACLE WITH DUPLEX GFCI RECEPTACLE FOR WATER FOUNTAINS. COORDINATE WITH EXISTING WATER FOUNTAINS.

P5. INSTALL NEW MONITOR OUTLETS WHERE DENOTED WITH 'R' SUBSCRIPT. WHERE SHOWN LIGHTWEIGHT, EXISTING OUTLETS ARE TO REMAIN. OWNER WILL REMOVE EXISTING MONITORS AND RE-INSTALL AT LOCATIONS NOTED. WHERE SHOWN AS RELOCATED, CIRCUIT OUTLET TO ADJACENT ROOM RECEPTACLE CIRCUIT.

P6. REINSTALL ALL CEILING MOUNTED FIRE ALARM, SECURITY, CAMERAS AND SENSORS REMOVED DURING DEMOLITION PHASES. PROVIDE ALL SUPPORTS NEEDED TO MOUNT IN NEW CEILING TILES. TEST ALL SYSTEMS FOR OPERABILITY.

SUD ASSOCIATES, P.A.

CONSULTING ENGINEERS

LICENSE NO. C-4515

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NORTH CAROLINA

REGISTERED PROFESSIONAL

SEAL

022824

11/11/2024

11/11/2024

11/11/2024

GENERAL RENOVATIONS EFLAND-CHEEKS ELEMENTARY SCHOOL

ORANGE COUNTY SCHOOLS

440A FULLER ROAD

EFLAND, NORTH CAROLINA 27243

SCO ID#: 16-16570-02 CODE: 41535 ITEM: 302

ELECTRICAL POWER PLAN - AREA A

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ID	Date	Description
1	02/28/2024	Construction Documents

PROJECT NUMBER

23352A

REVIEWED BY

DJB

DESIGNED BY

JKP

DRAWN BY

TMP

DRAWING DATE

02/28/2024

SHEET NUMBER

E-201

2/28/2024 8:40:23 AM

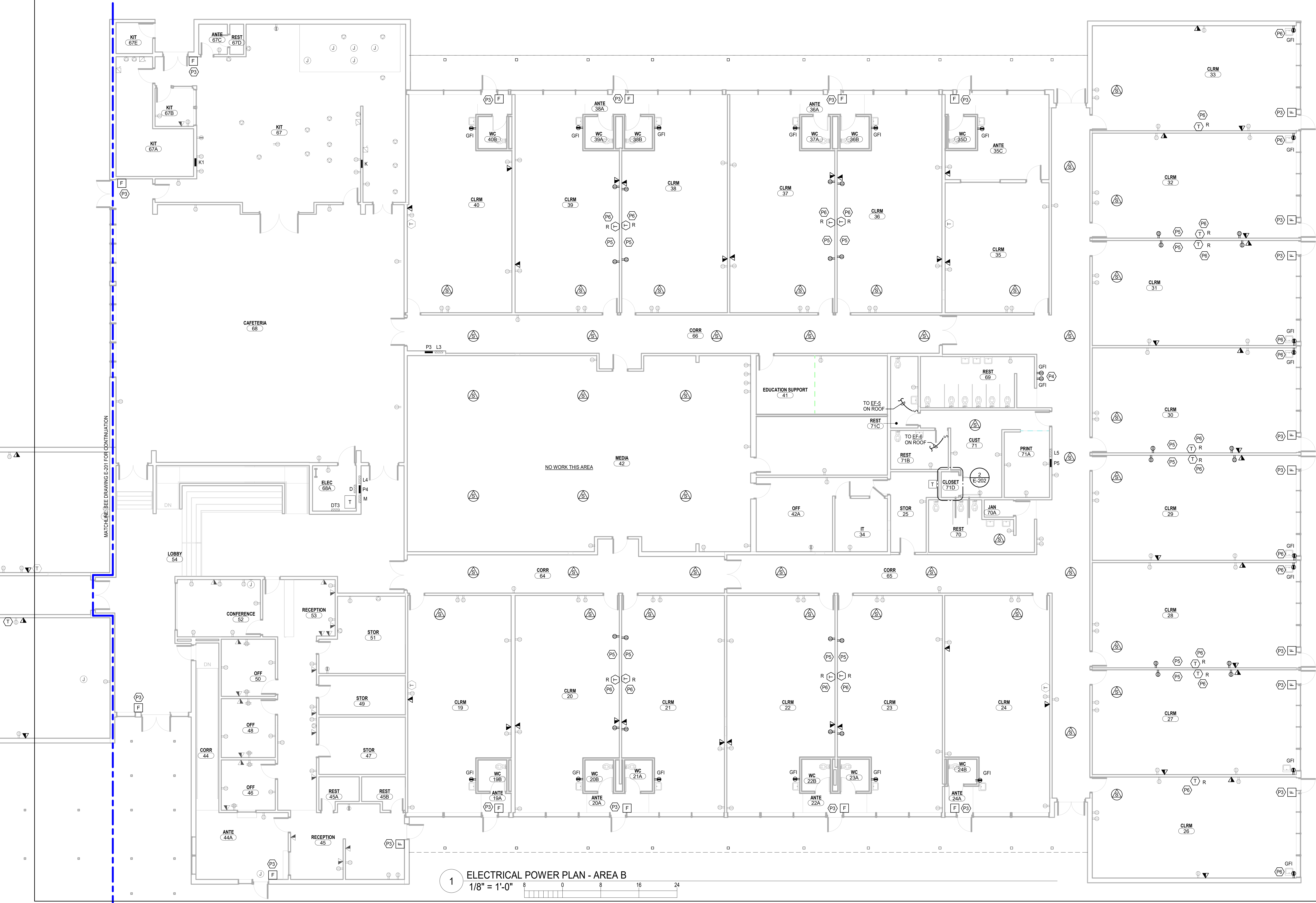
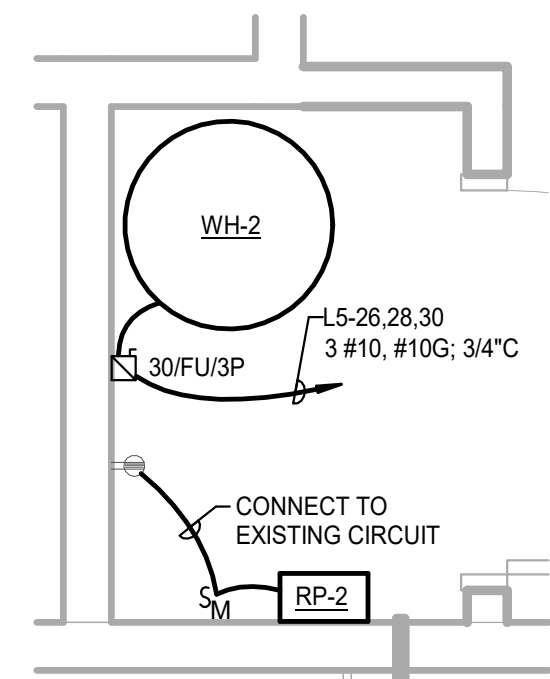
POWER PLAN KEYNOTES

- P1. EXTEND OUTLETS TO FACE OF NEW WALL. REPLACE OUTLET AND FACEPLATE.
- P2. RECESS NEW TELEPHONE OUTLET INTO NEW STUD WALL AND CONCEAL CONDUIT.
- P3. INSTALL NEW PULL STATION.
- P4. CHANGE OUT ACCESSIBLE RECEPTACLE WITH DUPLEX GFCI RECEPTACLE FOR WATER FOUNTAINS. COORDINATE WITH EXISTING WATER FOUNTAINS.
- P5. NEW WALL, RECESS ALL OUTLETS AND DEVICES AND CONCEAL CONDUITS IN STUD WALLS. CONNECT TO EXISTING ROOM RECEPTACLE CIRCUITS.
- P6. INSTALL NEW MONITOR OUTLETS WHERE DENOTED WITH 'R' SUBSCRIPT. WHERE SHOWN LIGHTWEIGHT, EXISTING OUTLETS ARE TO REMAIN. OWNER WILL REMOVE EXISTING MONITORS AND RE-INSTALL AT LOCATIONS NOTED, WHERE SHOWN AS RELOCATED, CIRCUIT OUTLET TO ADJACENT ROOM RECEPTACLE CIRCUIT.
- P7. REINSTALL ALL CEILING MOUNTED FIRE ALARM, SECURITY, CAMERAS AND SENSORS REMOVED DURING DEMOLITION PHASES. PROVIDE ALL SUPPORTS NEEDED TO MOUNT IN NEW CEILING TILES. TEST ALL SYSTEMS FOR OPERABILITY.

GENERAL SHEET NOTES

1. CONTRACTOR SHALL VERIFY LOADS AND AVAILABILITY OF ALL CIRCUITS BEING MODIFIED AS PART OF THIS PROJECT AND SHALL ENSURE THAT CIRCUIT LOADS DO NOT EXCEED CODE LIMITS. CONTRACTOR SHALL LABEL ALL DEVICES SHOWN TO BE CONNECTED TO EXISTING CIRCUITS WITH THE CURRENT PANEL AND CIRCUIT NUMBER ON THE RECORD DRAWINGS.
2. SEE ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT LOCATIONS OF ALL CEILING MOUNTED DEVICES.
3. SEE MECHANICAL DRAWINGS FOR EXACT LOCATIONS OF ALL MECHANICAL EQUIPMENT.
4. DEVICES SHOWN IN LIGHT LINEWEIGHT ARE EXISTING TO REMAIN.
5. DEVICES SHOWN WITH 'R' ADJACENT ARE EXISTING DEVICES BEING RELOCATED.
6. EXISTING DEVICES SHOWN WITH CIRCUIT NUMBER ADJACENT SHALL BE REWIRED TO BE FED FROM THAT CIRCUIT.
7. CONTRACTOR MAY REUSE EXISTING CIRCUITS IN THE RENOVATED AREA TO POWER EQUIPMENT AND DEVICES SHOWN ON PLAN. RECEPTACLE CIRCUIT GROUPING SHALL BE AS SHOWN. CIRCUIT NUMBERS SHOWN DO NOT NECESSARILY CORRESPOND TO AVAILABLE CIRCUITS.
8. PROVIDE RECEPTACLES AS SHOWN AND CONNECT TO EXISTING BRANCH CIRCUIT HOMERUNS WITHIN ROOM. ENSURE NOT MORE THAN 8 DUPLEX OUTLETS ON A SINGLE BRANCH CIRCUIT.
9. PROVIDE DATA OUTLETS AS SHOWN WITH (2) CATEGORY 6 CABLES (BELDEN OR EQUAL) TO NEAREST NETWORK CLOSET. PROVIDE CATEGORY 6 PATCH PANEL IN RACK AND TERMINATE/TEST CABLES.
10. PROVIDE FIRE ALARM DEVICES AS SHOWN AND CONNECT TO EXISTING SLC OR NOTIFICATION LOOP RESPECTIVELY.

2 ELECTRICAL POWER PLAN - CLOSET 71B
1/2" = 1'-0"



1 ELECTRICAL POWER PLAN - AREA B
1/8" = 1'-0"

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BURDETTE INC. 2024



GENERAL RENOVATIONS EFLAND-CHEEKS ELEMENTARY SCHOOL
ORANGE COUNTY SCHOOLS
440A FULLER ROAD
EFLAND, NORTH CAROLINA 27243
SCO ID#: 16-15470-02 CODE: 41535 ITEM: 302
ELECTRICAL POWER PLAN - AREA B

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ID	Date	Description
1	02/28/2024	Construction Documents

PROJECT NUMBER	23352A
REVIEWED BY	DJB
DESIGNED BY	JKP
DRAWN BY	TMP
DRAWING DATE	02/28/2024

SHEET NUMBER
E-202

GENERAL SHEET NOTES

1. CONTRACTOR SHALL VERIFY LOADS AND AVAILABILITY OF ALL CIRCUITS BEING MODIFIED AS PART OF THIS PROJECT AND SHALL VERIFY THAT CIRCUIT LOADS DO NOT EXCEED CODE LIMITS. CONTRACTOR SHALL LABEL ALL DEVICES SHOWN TO BE CONNECTED TO EXISTING CIRCUITS WITH THE CURRENT PANEL AND CIRCUIT NUMBER ON THE RECORD DRAWING.
2. SEE ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT LOCATIONS OF ALL CEILING MOUNTED DEVICES.
3. SEE MECHANICAL DRAWINGS FOR EXACT LOCATIONS OF ALL MECHANICAL EQUIPMENT.
4. DEVICES SHOWN IN LIGHT UNWEIGHT ARE EXISTING TO REMAIN.
5. DEVICES SHOWN WITH 'R' ADJACENT ARE EXISTING DEVICES BEING RELOCATED.
6. EXISTING DEVICES SHOWN WITH CIRCUIT NUMBER ADJACENT SHALL BE REWIRED TO BE FED FROM THAT CIRCUIT.

POWER PLAN KEYNOTES

- P1. EXISTING EXHAUST FANS EF-1 THRU EF-8 ARE TO BE DISCONNECTED. RECONNECT EXHAUST FANS TO CIRCUITS SHOWN AND ENERGIZE WHEN LIGHTING IN THE EXHAUST AREA IS ENERGIZED. INSTALL NEW SWITCHES TO ENSURE FUNCTIONALITY OF EXHAUST FANS DOES NOT CHANGE.



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GENERAL RENOVATIONS EF LAND-CHEEKS ELEMENTARY SCHOOL
ORANGE COUNTY SCHOOLS

440A FULLER ROAD
EFLAND, NORTH CAROLINA 27243

SCO ID#: 16-15470-02 CODE: 41535 ITEM: 302
ELECTRICAL POWER PLAN - ROOF

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Revision		
ID	Date	Description
	02/28/2024	Construction Documents

PROJECT NUMBER	23352A
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DESIGNED BY	JKP
DRAWN BY	TMP
DRAWING DATE	02/28/2024

SHEET NUMBER

E-203

2/28/2024 8:46:29 AM



1

ELECTRICAL POWER PLAN - ROOF

$$1/16'' = 1'-0''$$
