



STATE OF CONNECTICUT – COUNTY OF TOLLAND
INCORPORATED 1786

TOWN OF ELLINGTON

55 MAIN STREET – PO BOX 187
ELLINGTON, CONNECTICUT 06029-0187
www.ellington-ct.gov

TEL. (860) 870-3120 TOWN PLANNER'S OFFICE FAX (860) 870-3122

INLAND WETLANDS AGENCY REGULAR MEETING AGENDA MONDAY, JULY 8, 2024, 7:00 P.M.

IN-PERSON ATTENDANCE: TOWN HALL ANNEX, 57 MAIN STREET, ELLINGTON, CT
REMOTE ATTENDANCE: VIA ZOOM MEETING, INSTRUCTIONS PROVIDED BELOW

I. CALL TO ORDER

II. PUBLIC COMMENTS (on non-agenda items):

III. PUBLIC HEARING(S):

1. IW202411 – Beth Gottier, owner/applicant request for a permit to conduct regulated activity to construct a patio and new wall along the lake edge at 14 Private Grounds 1, APN 148-062-0000. (*Continued from June 10, 2024, meeting.*)
2. IW202412 – John & Carrie Doherty, owner/applicant request for a permit to conduct regulated activity to reconstruct and enlarge an existing patio and pavilion at 20 East Shore Road, APN 149-100-0000.

IV. OLD BUSINESS: None

V. NEW BUSINESS:

1. IW202413 – Stephen D. Williams, owner/applicant request for a permit to conduct regulated activity to construct a single-family home and associated improvements at 37 Wendell Road, APN 168-019-0000. (*Receipt Only.*)

VI. ADMINISTRATIVE BUSINESS:

1. Approval of the June 10, 2024, Regular Meeting Minutes.
2. Correspondence/Discussion:

VII. ADJOURNMENT:

Next Regular Meeting is scheduled for August 12, 2024

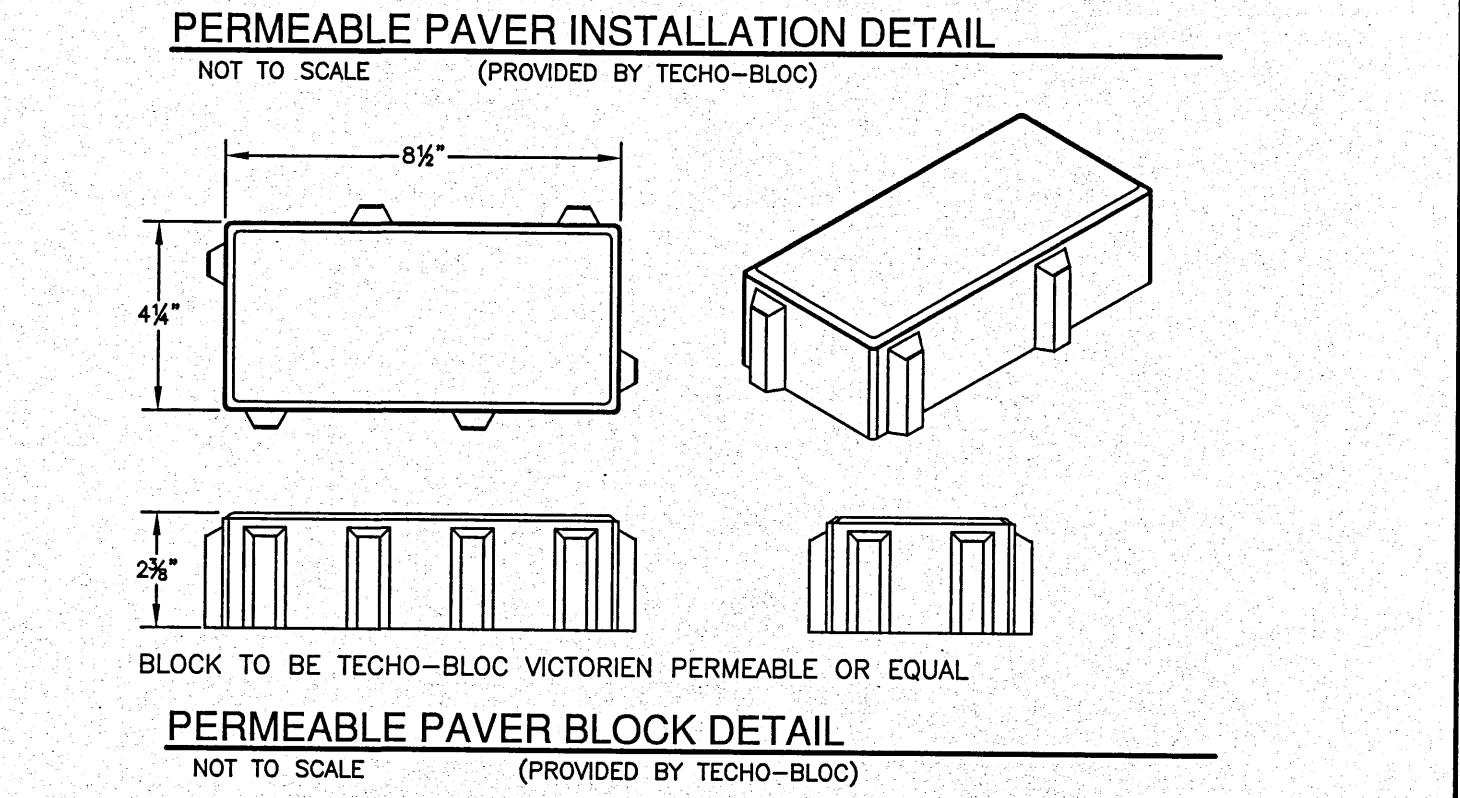
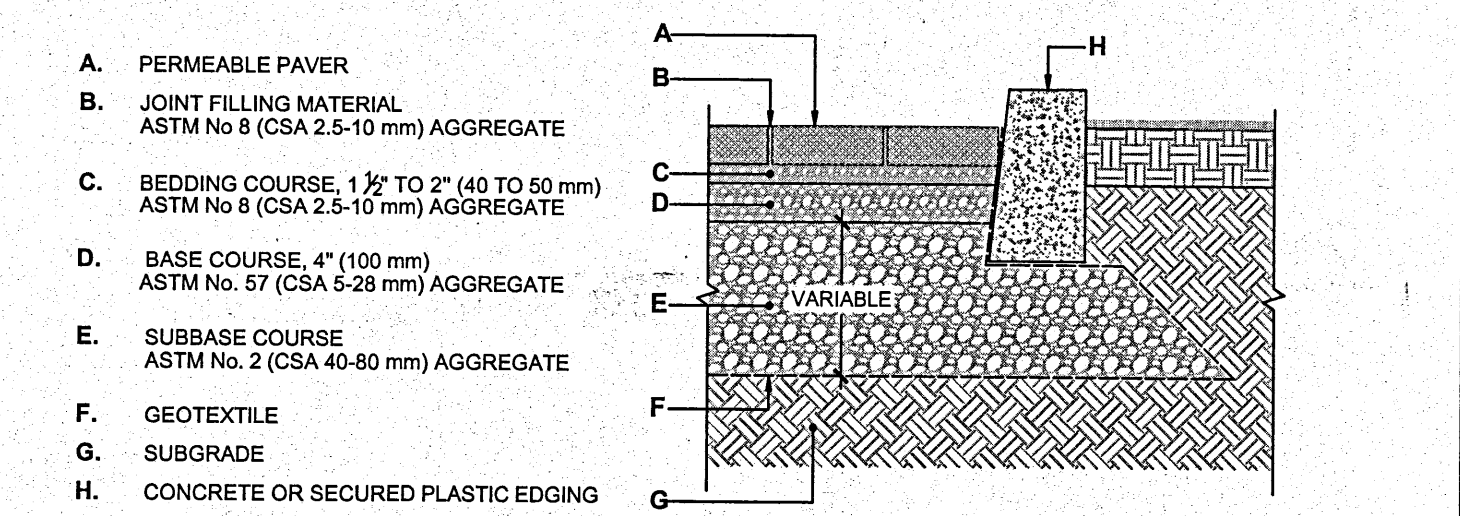
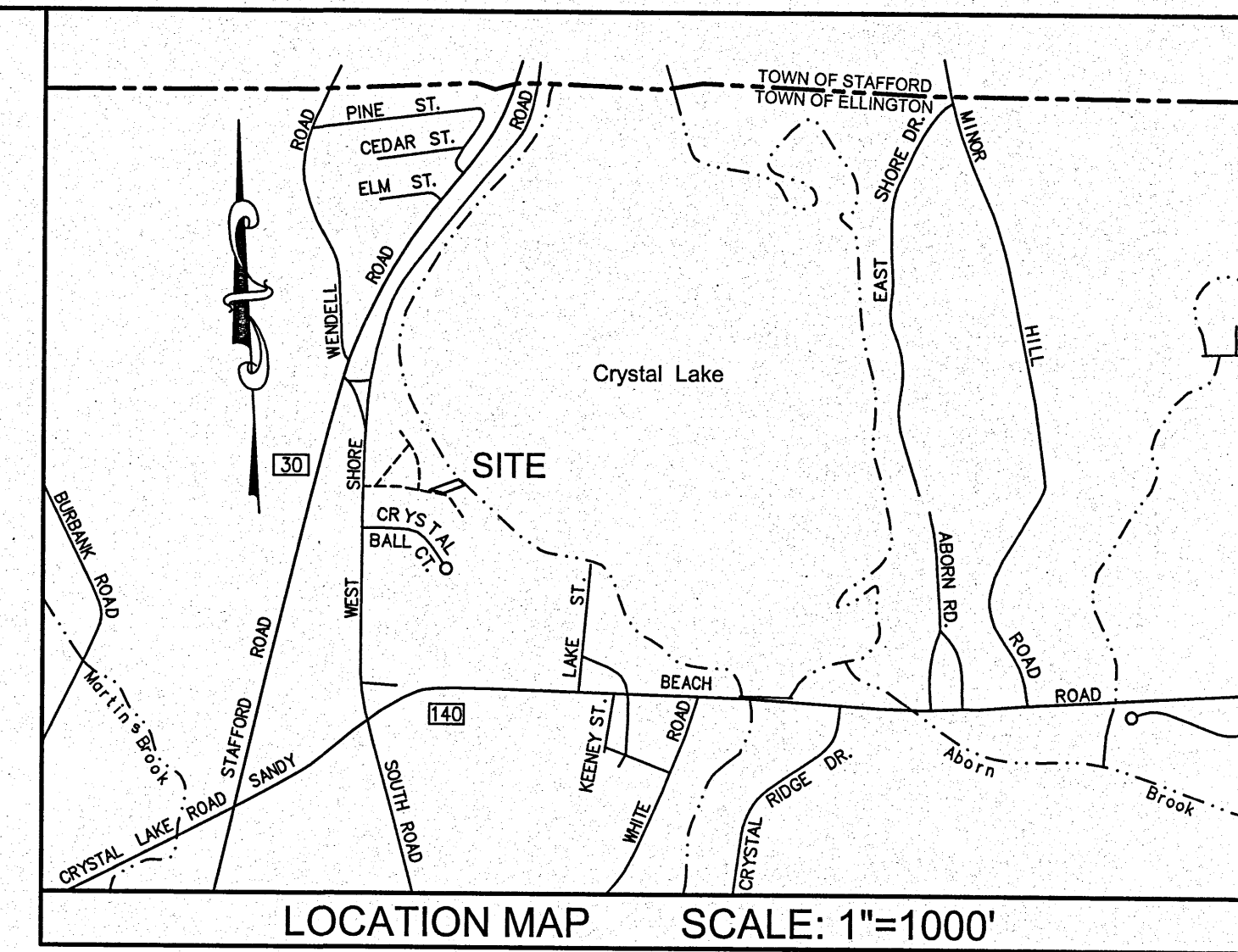
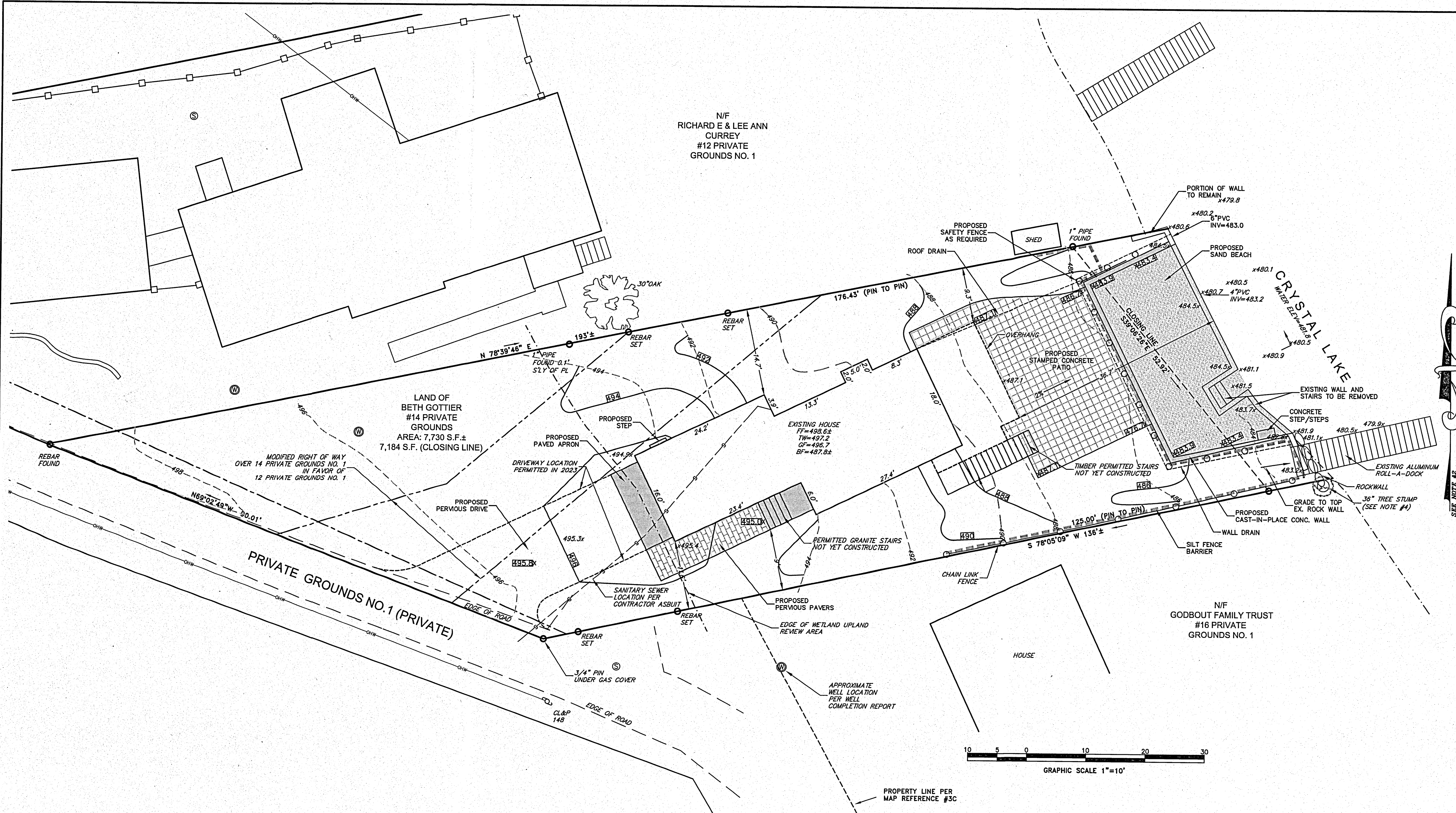
Instructions to attend remotely via Zoom Meeting listed below. The agenda is posted on the Town of Ellington webpage (www.ellington-ct.gov) under Agenda & Minutes, Inland Wetlands Agency.

Join Zoom Meeting via link:

Link: <https://us06web.zoom.us/j/83500396946>
Meeting ID: 835 0039 6946
Passcode: 143738

Join Zoom Meeting by phone:

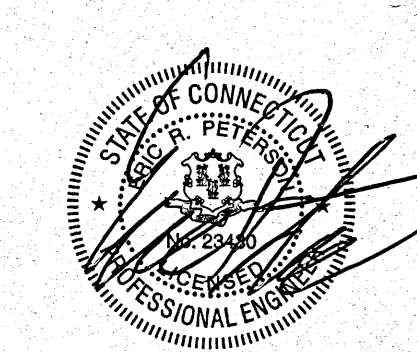
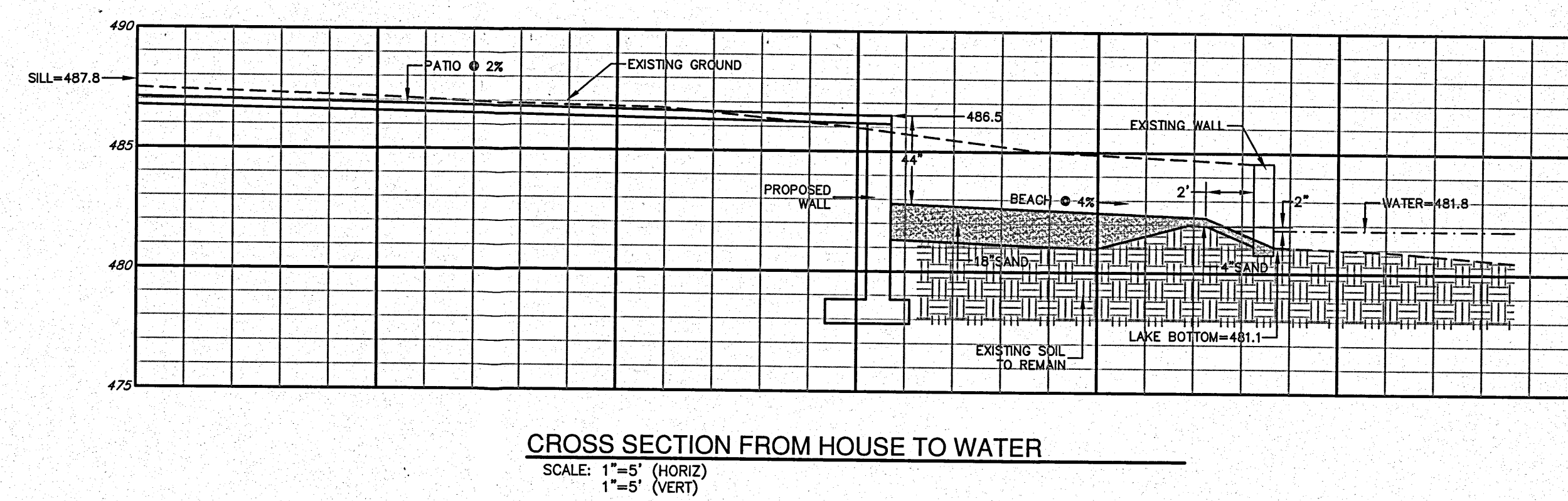
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Meeting ID: 835 0039 6946
Passcode: 143738



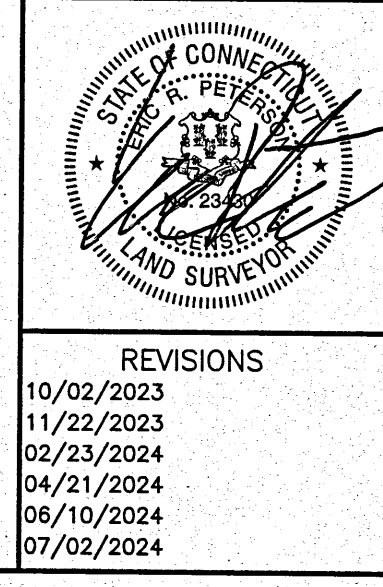
- NOTES:
- THIS MAP AND SURVEY HAVE BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20. THIS IS AN IMPROVEMENT LOCATION SURVEY, BASED ON A DEPENDENT RESURVEY, CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY CLASS T-2.
 - BEARINGS DEPICTED ON THIS PLAN ARE BASED UPON THOSE SHOWN ON MAP REFERENCE 3A. ELEVATIONS DEPICTED ON THIS PLAN ARE BASED ON AN ASSUMED DATUM.
 - REFERENCE IS MADE TO THE FOLLOWING MAPS:
 - A. "PROPERTY SURVEY PREPARED FOR LEE ANN CURREY 12 & 14 PRIVATE GROUNDS ROAD NO. 1 ELLINGTON, CONNECTICUT" BY GARDNER & PETERSON ASSOCIATES. DATE: 8-20-2001. REVISED 06/24/2023.
 - B. "PERMIT PLAN PREPARED FOR WAYNE W. KUHNLY 12 PRIVATE GROUNDS ROAD ELLINGTON, CONNECTICUT" DATED: 5-20-92 SCALE: 1"=20' BY: GARDNER & PETERSON ASSOCIATES.
 - C. "PROPERTY OF DONALD P. FLYNN #40 PRIVATE GROUNDS ROAD - ELLINGTON, CONN." DATED: 6-20-75 SCALE: 1"=20' BY: ALFORD ASSOCIATES.
 - D. "MAP NO ES 205 SANITARY SEWER EASEMENT CRYSTAL LAKE SEWER PROJECT PRIVATE GROUNDS #1 ELLINGTON, CONNECTICUT" SCALE: 1"=40' REV. THROUGH 10-23-87 BY: KIELYKA WOODS & PIKE
 - E. "LANDS AT CRYSTAL LAKE SURVEYED AUG. 26, 1932 SCALE: 20FT. = 1 INCH C. H. BANCROFT, SURVEYOR." MAP #1-832.
 - F. "LANDS AT CRYSTAL LAKE ELLINGTON, CONN. SCALE: 30FT. = 1 INCH C.H. BANCROFT, SURVEYOR." MAP #1-439
 - DEEDS FOR 14 PRIVATE GROUNDS AND THE PARCEL TO THE SOUTH CALL FOR THE NORTHERLY SIDE OF AN OAK TREE AS THE PROPERTY LINE. THE TREE HAS RECENTLY BEEN CUT DOWN, PRESENTLY THERE EXISTS A 36" STUMP. DEEDS FOR THIS PARCEL DATING BACK TO 5-15-1923 CALL FOR THE OAK TREE. GIVEN THAT THE TREE HAD 77 PLUS YEARS TO GROW TO ITS PRESENT SIZE, AND UNABLE TO ESTABLISH THE SIZE OF THE TREE IN 1923, THIS POINT WAS ESTABLISHED BY HOLDING A DISTANCE ALONG THE LAKE OF 50' (PER DEED). THIS PUT THE POINT 0.5' INTO THE TREE STUMP.
 - ON OCTOBER 2, 2023 A VARIANCE OF SECTION 3.2.3 (MINIMUM YARD SETBACK) WAS GRANTED BY THE ZONING BOARD OF APPEALS AT 14 PRIVATE GROUNDS (VOL.545 PG.643).

ZONING TABLE
ZONE: LAKE RESIDENTIAL 'LR'

	REQUIRED	EXISTING	PROPOSED
PARCEL AREA	40,000 Sq.Ft.	7,730 Sq.Ft.	---
LOT WIDTH	100'	90'	---
FRONT YARD	35 (TYP) / 10' PER NOTE 5	11.6'	---
SIDE YARD	10 (TYP) / 9' PER NOTE 5	9'	---
REAR YARD	10'	36.7'	---
LOT COVERAGE	25%	25% PERMITTED IN 2023	24.9%



RECEIVED
JUL 2 2024
TOWN OF ELLINGTON
PLANNING DEPARTMENT
IWO202411
IMPROVEMENT LOCATION SURVEY



PREPARED FOR
BETH GOTTIER
14 PRIVATE GROUNDS NO.1
ELLINGTON, CONNECTICUT

GARDNER & PETERSON ASSOCIATES, LLC
178 HARTFORD TURNPIKE
TOLLAND, CONNECTICUT
PROFESSIONAL ENGINEERS LAND SURVEYORS

BY	SCALE	DATE	SHEET NO.	MAP NO.
E.R.P.	1"=10'	09-12-2023	1 OF 2	9738P

REVISIONS
10/02/2023
11/22/2023
02/23/2024
04/21/2024
06/10/2024
07/02/2024

14 PRIVATE GROUNDS No. 1
 07-02-2024 09738P.pdf
 07:38:43 AM 10/23/2024

I HEREBY DECLARE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Eric R. Peterson
ERIC R. PETERSON
L.S. 23430
REGISTRATION NO.

CONSTRUCTION SCHEDULE & EROSION & SEDIMENT CONTROL CHECKLIST

PROJECT NAME: BETH GOTTIER - HOME IMPROVEMENTS
 LOCATION: 14 PRIVATE GROUNDS NO.1 ELLINGTON, CT
 PROJECT DESCRIPTION: SINGLE FAMILY HOUSE, LAKE WALL & PATIO CONSTRUCTION
 PARCEL AREA: 7,730 SQ. FT.
 RESPONSIBLE PERSONNEL: BRUCE GOTTIER (860) 882-4497

WORK DESCRIPTION	EROSION & SEDIMENT CONTROL MEASURES	DATE INSTALLED	INITIALS
ROUGH GRADE AROUND HOUSE, WALL AND PATIO	INSTALL CONSTRUCTION ENTRANCE		
REMOVE TOP PORTION OF LAKE WALL AS NEEDED. CONCRETE PORTION TO REMAIN	INSTALL SILTFENCE AS SHOWN		
INSTALL NEW LAKE WALL AND BACKFILL. PLACE SAND	INSPECT E&S MEASURES BEFORE ANTICIPATED STORMS AND AFTER-MAINTAIN E&S MEASURES AS NECESSARY		
REMOVE REMAINING LAKE WALL	EXCESS EXCAVATED MATERIAL TO BE HAULED OFF-SITE		
ALLOW SAND TO FALL INTO LAKE WALL HOLE. ADD SAND AS NEEDED.			
FINE GRADE AND INSTALL PATIO			
PLACE BEACH SAND AND REMOVE EXISTING WALL	REMOVE EROSION CONTROLS WHEN SITE IS STABILIZED		
TOPSOIL AND SEED DISTURBED AREA			

PROJECT DATES:
 DATE OF CONSTRUCTION START: FALL 2024
 DATE OF CONSTRUCTION COMPLETION: END OF 2024

EROSION AND SEDIMENT CONTROL PROCEDURES SHALL ESSENTIALLY BE IN ACCORDANCE WITH THESE PLANS, AS REQUIRED BY TOWN REGULATIONS, AND THE MANUAL "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" FOR CONNECTICUT, BY THE COUNCIL ON SOIL AND WATER CONSERVATION, 1985, REVISED TO 2002.

TEMPORARY SEEDING SCHEDULE:

SPECIES	LBS/ACRE	LBS/1000SF	SEEDING DATES
ANNUAL RYEGRASS	40	0.9	3/1-6/15, 8/1-10/1
WINTER RYE	40	0.9	4/15-6/15, 8/15-10/1
SUDANGRASS	11	0.25	5/15-8/15

TEMPORARY SEEDING IS NOT LIMITED TO THE SPECIES SHOWN. OTHER SPECIES RECOMMENDED BY THE SCS OR AS LIMITED BY SITE CONDITIONS MAY BE USED.

STRAW MULCH IS TO BE APPLIED TO SEEDING AREA AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE, 70 TO 90 LBS. PER 1000 SQ. FT.

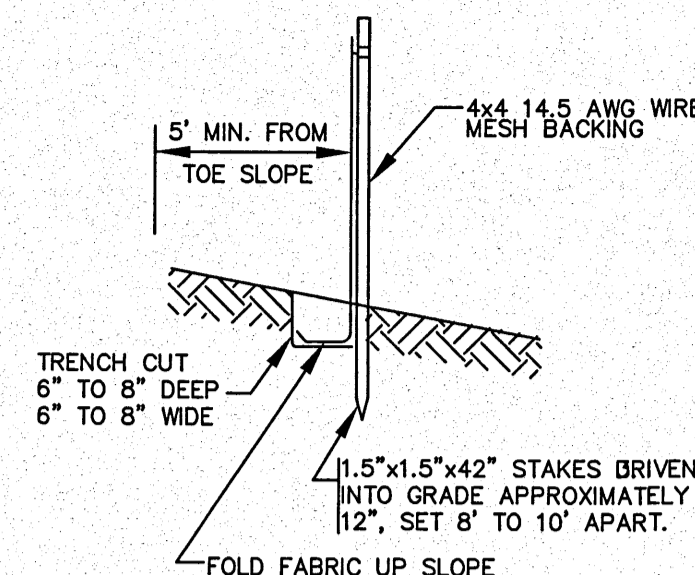
FINAL SEEDING SCHEDULE:

PROVIDE 4 INCHES OF TOPSOIL MINIMUM, FREE OF ROOTS, LARGE STONES, AND OTHER OBJECTS.

SPECIES	LBS/ACRE	LBS/1000SF	SEEDING DATES
KENTUCKY BLUEGRASS	40	0.90	4/15-6/15, 8/15-9/15
CREeping RED FESCUE	120	2.75	
PERENNIAL RYEGRASS	40	0.90	

GENERAL EROSION AND SEDIMENT CONTROL NOTES

- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION.
- ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN THE AMOUNT NECESSARY TO COMPLETE THE FINISHED GRADING OF ALL EXPOSED AREAS.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO MINIMIZE EROSION, SLIPPAGE, AND SETTLEMENT. FILL INTENDED TO SUPPORT STRUCTURES, DRAINAGE, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH THE APPROPRIATE STATE AND/OR LOCAL SPECIFICATIONS.
- FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBISH, LARGE ROCKS, LOGS, STUMPS, BUILDING MATERIAL, COMPRESSIBLE MATERIAL, AND OTHER MATERIALS WHICH MAY INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIAL OR SOFT MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON A FROZEN FOUNDATION.
- ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH SOUND CONSTRUCTION PRACTICE.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISH GRADING. IF FINISH GRADING IS TO BE DELAYED FOR MORE THAN 30 DAYS AFTER DISTURBANCE IS COMPLETE, TEMPORARY SOIL STABILIZATION MEASURES SHALL BE APPLIED. AREAS LEFT OVER 30 DAYS SHALL BE CONSIDERED "LONG TERM" AND SHALL RECEIVE TEMPORARY SEEDING WITHIN THE FIRST 15 DAYS.
- SITE IS TO BE GRADED TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCHING, AND MAINTENANCE UNLESS OTHERWISE SPECIFIED IN THE PLANS.
- CUT AND FILL SLOPES SHALL NOT BE STEEPER THAN 2:1. TOPSOIL SHALL BE SPREAD TO A MINIMUM DEPTH OF 4". ADDITIONAL TOPSOIL MAY BE REQUIRED TO MEET MINIMUM DEPTHS. NO TOPSOIL SHALL BE REMOVED FROM THIS SITE.
- APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL, CULTIPACKER TYPE SEEDER, OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER). NORMAL SEEDING DEPTH IS FROM 1/4" TO 1/2" INCH. HYDROSEEDING WHICH IS MULCHED MAY BE LEFT ON THE SOIL SURFACE.
- WHERE FEASIBLE, EXCEPT WHERE EITHER A CULTIPACKER TYPE SEEDER OR HYDROSEEDER IS USED, THE SEEDBED SHOULD BE FIRMED FOLLOWING SEEDING WITH A ROLLER OR LIGHT DRAG.
- FERTILIZER AND LIME ARE TO BE WORKED INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISC OPERATION SHOULD BE ALONG THE CONTOUR.
- REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER. REMOVE ALL OTHER DEBRIS SUCH AS WIRE, TREE ROOTS, PIECES OF CONCRETE, OR OTHER UNSUITABLE MATERIALS.
- INSPECT SEEDBED BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED BEFORE SEEDING, THEN FIRMED AS DESCRIBED ABOVE.
- WHERE GRASSES PREDOMINATE, FERTILIZE ACCORDING TO SOIL ANALYSIS, OR SPREAD 300 POUNDS OF 10-10-10 OR EQUIVALENT PER ACRE (7.5 POUNDS PER 1000 S.F.).
- CALCIUM CHLORIDE WILL BE AVAILABLE FOR DUST CONTROL ON GRAVEL TRAVEL SURFACES.



SILT FENCE INSTALLATION

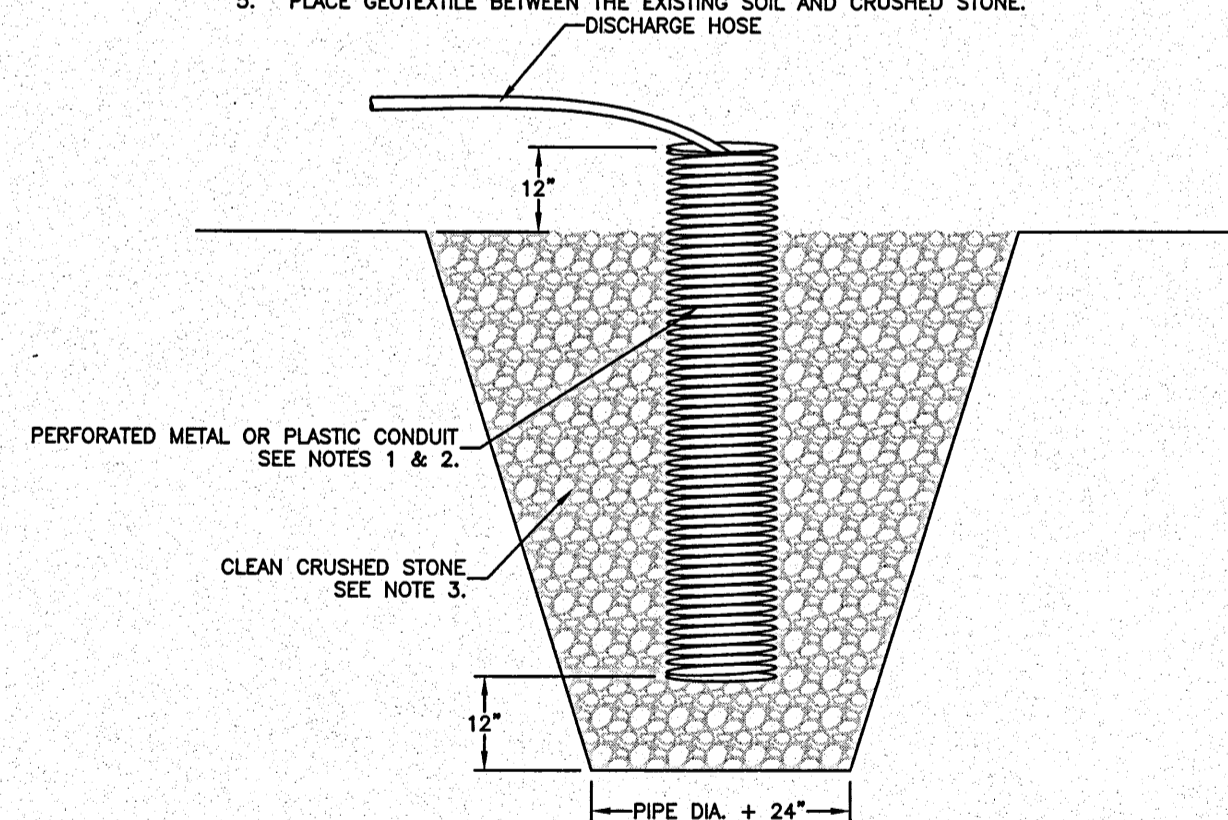
NOT TO SCALE

- NOTES:
- SEDIMENT CONTROL FABRIC TO BE A GEOTEXTILE MATERIAL TREATED TO RESIST DEGRADATION FROM EXPOSURE TO SUNLIGHT.
 - USE ONLY GEOTEXTILES WHICH ARE ALREADY ON THE CONNECTICUT DEPARTMENT OF TRANSPORTATION'S GEOTEXTILE APPROVED LIST OF GEOTEXTILES.
 - AFTER FOLDING FABRIC EDGE, BACKFILL TRENCH WITH TAMPED ORIGINAL SOIL OR AGGREGATE.
 - INSTALL PER 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
 - FABRIC SHALL BE PREFABRICATED WITH 4"x4" 14.5 AWG WIRE MESH BACKING.

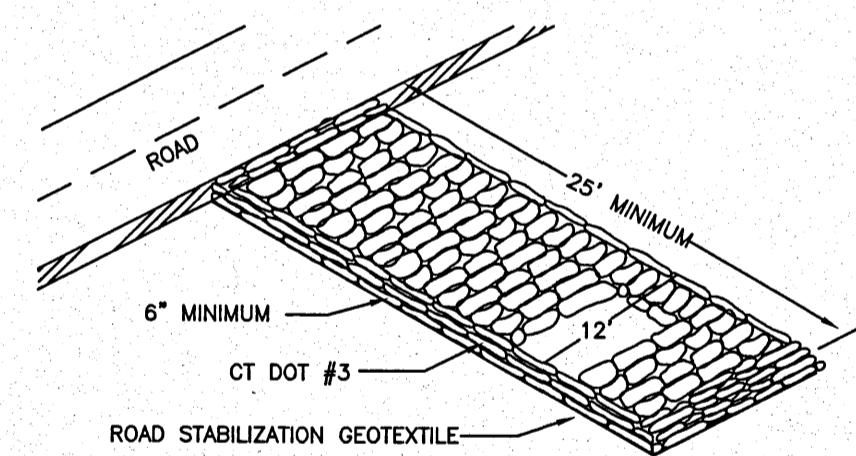
DE-WATERING

- IF GROUNDWATER IS ENCOUNTERED DURING EXCAVATION, THE FOLLOWING MEASURES SHALL BE ADHERED TO FOR THE DE-WATERING OF THE EXCAVATION:
- CONSTRUCT A PUMPING SETTLING BASIN (SEE DETAIL). BASIN SHALL BE LOCATED ON A RELATIVELY FLAT SURFACE ON THE SITE SUCH THAT SURFACE WATER IS DIRECTED AWAY FROM THE PUMPING SETTLING BASIN. DEWATERING WASTEWATER SHALL NOT BE DISCHARGED DIRECTLY TO A WETLAND.
 - EXCAVATE PUMP INTAKE PROTECTION SUMP (SEE DETAIL). WHERE STANDING WATER IS ENCOUNTERED IN THE AREA OF THE PROPOSED SUMP, BEGIN DEWATERING THE SITE BY FLOATING THE PUMP INTAKE AT THE WATER'S SURFACE. CAREFULLY MONITOR THE WATER LEVELS TO PREVENT THE UPTAKE OF BOTTOM SEDIMENTS.
 - EXCAVATE THE SUMP WITHIN OR ADJACENT TO THE AREA BEING DEWATERED. INSTALL PUMP INTAKE AND OUTLET PROTECTION BEFORE PUMPING BEGINS.
 - THE PUMP OUTLET PROTECTION SHALL ADEQUATELY DISSIPATE THE ENERGY OF THE DISCHARGE SO AS TO PREVENT EROSION AND THE RE-SUSPENSION OF SEDIMENTS AT THE POINT OF DISCHARGE.

- NOTES:
- THE STANDPIPE DIAMETER AND NUMBER OF PERFORATIONS SHALL BE COMPATIBLE WITH THE PUMP SIZE BEING USED.
 - PERFORATIONS IN THE STANDPIPE SHALL EITHER BE CIRCULAR OR SLOTS. PERFORATION SIZE SHALL NOT EXCEED 1/2" IN DIAMETER.
 - CRUSHED STONE OR GRAVEL SHALL BE NO SMALLER THAN CT DOT #57 NOR LARGER THAN CT DOT #3 SIZE. CRUSHED STONE SHALL EXTEND A MINIMUM OF 12" BELOW THE BOTTOM OF THE STANDPIPE.
 - THE STANDPIPE SHALL EXTEND A MINIMUM OF 12" ABOVE THE SURROUNDING GROUND.
 - PLACE GEOTEXTILE BETWEEN THE EXISTING SOIL AND CRUSHED STONE.

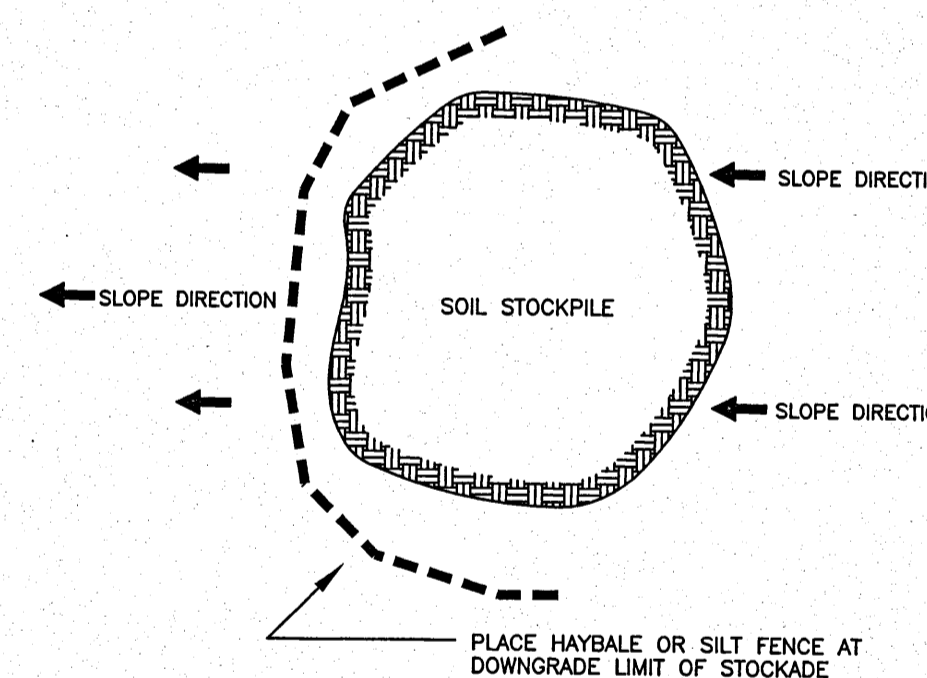


PUMP INTAKE PROTECTION SUMP



CONSTRUCTION ENTRANCE

NOT TO SCALE

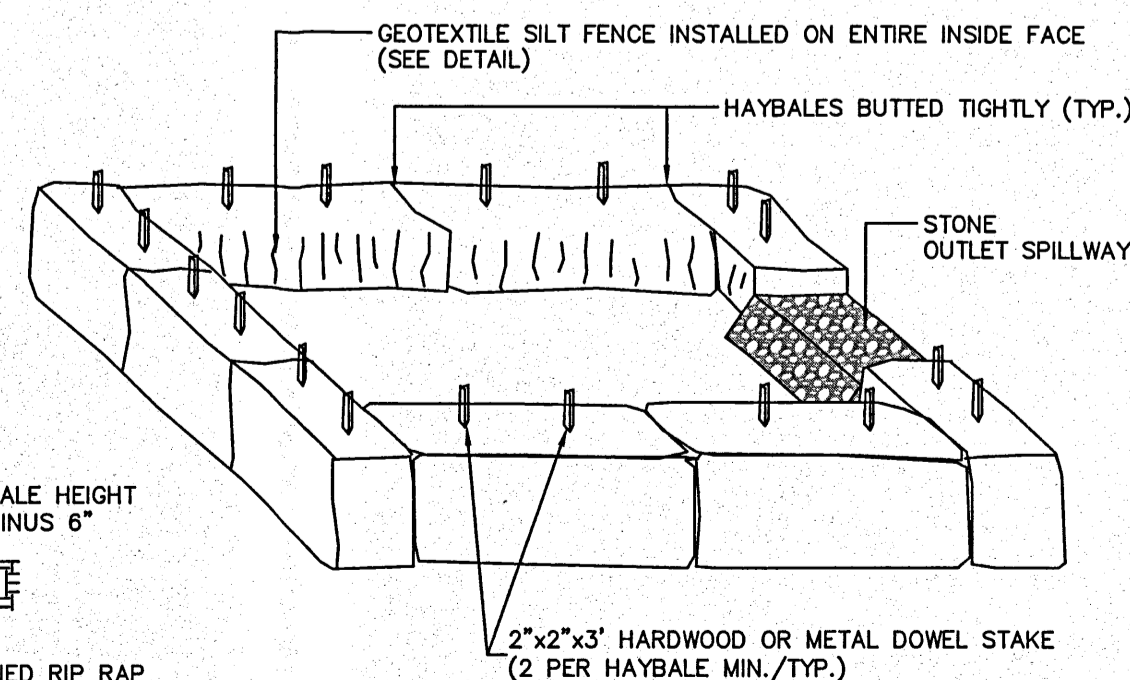


STOCKPILE EROSION PROTECTION DETAIL

NOT TO SCALE

HAY BALE APPLICATIONS

- Bales shall be placed in a single row, lengthwise on the contour, with ends of adjacent bales slightly abutting one another.
- All bales shall be either wire-bound or string-tied. Bales shall be installed so that bindings are oriented around the sides rather than along the tops and bottoms of the bales to prevent deterioration of the bindings.
- The barrier shall be entrenched and backfilled. A trench shall be excavated to a minimum depth of 4 inches. After the bales are staked and chinked, the excavated soil shall be backfilled against the barrier. Backfill soil shall conform to the ground level on the downhill side and shall be built up to 4 inches against the uphill side of the barrier.
- Each bale shall be securely anchored by at least two stakes or re-bars driven through the bale. The first stake in each bale shall be driven toward the previously laid bale to force the bales together. Stakes or re-bars shall be driven deep enough into the ground to securely anchor the bales.
- The gaps between bales shall be chinked (filled by wedging) with straw to prevent water from escaping between the bales.
- Inspection shall be frequent and repair or replacement shall be made promptly as needed.



PUMPING SETTLING BASIN

RECEIVED

JUL - 2 2024

TOWN OF ELLINGTON PLANNING DEPARTMENT

EROSION & SEDIMENT CONTROL NOTES & DETAILS

PREPARED FOR
BETH GOTTIER
 14 PRIVATE GROUNDS NO.1
 ELLINGTON, CONNECTICUT

GARDNER & PETERSON ASSOCIATES, LLC

178 HARTFORD TURNPIKE
 TOLLAND, CONNECTICUT

PROFESSIONAL ENGINEERS LAND SURVEYORS

REVISIONS
 10/02/2023
 11/22/2023
 02/23/2024
 04/21/2024
 06/10/2024
 07/02/2024

BY	SCALE	DATE	SHEET NO.	MAP NO.
E.R.P.	N.T.S.	09-12-2023	2 OF 2	9738P

Town of Ellington Inland Wetlands and Watercourses Agency Application

Application # IW202412
Date Submitted 6-6-2024

Notices associated with this application will be sent to the applicant unless otherwise requested.

Owner's Information

Name: John & Carrie Doherty

Mailing Address: 20 East Shore Dr

Ellington Ct 06029

Email: Lemelio2022@gmail.com
Carrieannelux@mac.com

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No

Primary Contact Phone #: 413-847-1535 (Mike)

Secondary Contact Phone #: 860-836-0936

Owner's Signature: [Signature] Date: 6/6/24

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Agency have been submitted. Moreover, by signing above I/we expressly provide written consent to the filing of the application and access to the site by the Agency or its staff.

Notices associated with this application will be sent to the applicant unless otherwise requested.

Applicant's Information (if different than owner)

Name: _____

Mailing Address: _____

Email: _____

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No

Primary Contact Phone #: _____

Secondary Contact Phone #: _____

Applicant's Signature: _____ Date: _____

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Agency have been submitted.

Street Address: 20 East Shore

Assessor's Parcel Number (APN): 149 - 100 - 0000

Proposed upland review area affected in square feet: 782 +/-

Proposed wetlands/watercourses affected in square feet and linear feet (as applicable): 0

Total area of wetlands/watercourses on parcel in square feet or acres: 0

Public Water: Yes No Public Sewer: Yes No *If not served by public water and sewer, applicant shall make application to North Central District Health Department (Enfield Office) if required.*

Is the project in a public water supply watershed area? Yes No
If YES, applicant is required to notify the Connecticut Water Company and Commissioner of Public Health by certified mail, return receipt within 7 days of this application (Conn. Gen Stat. Sec 22a-42f). Copy of application, plans, and supporting documents must accompany notice. Applicant can email the Commissioner of Public Health using their approved form. Proof of notice (return receipt and sent email) must be provided to the Planning Department.

Describe the nature of proposed regulated activity, request for acceptance of a permitted use as of right or a nonregulated use, map or regulation amendment, or other activity requiring review by the Agency or its Agent:
See attached Application Checklist and Appendix D for guidance when preparing application

Replacement of Decaying Pavilion. Replacement of inadequate Piers (8 Total). Replacement of laid in place Brick Patio Floor with Stamped Concrete Slab. Approximately 189 sq. ft. will be added to existing footprint. (See attached narrative)

Applicant shall provide certification in accordance with Wetlands Regulation, Section 7.4e, Application Requirements:

Whether or not any portion of the property on which the regulated activity is proposed is located within 500 feet of an adjoining town. Yes No

Whether or not a significant portion of the traffic to the completed project will use streets within an adjoining town to exit or enter the site. Yes No

Whether or not a significant portion of the sewer or water drainage from the project will flow through and significantly impact the sewer or water drainage system of an adjoining town. Yes No

Whether water run-off from the improved site will impact streets or other municipal/private property within an adjoining town. Yes No

FOR OFFICE USE ONLY

If YES to any of the above, the Agency shall, in accordance with CGS 8-7d(f) notify the clerk of any adjoining municipality of the pendency of any application, petition, appeal, request or plan concerning any project on any site. Notice of the pendency of such application shall be made by certified mail, return receipt requested, and shall be mailed within seven (7) days of the date of receipt of the application, petition, appeal, request or plan. **(See Agency requirements Section 8.4)**

Type of Project: (check one)

Commercial/Industrial Residential Mixed Use Timber Agricultural
 Other, explain: _____

Type of Application: (check one)

- Notification for Non-Regulated Use (Section 4.2)
- Notification of Permitted Use as of Right (Section 4.1)
- Administrative Permit (Section 6.4)
- Agency Permit **(TWELVE COPIES REQUIRED)**
- Permit Modification
- Permit Extension
- Regulation Amendment
- Map Amendment
- Appeal of Administrative Permit

Application Submittals:

- Completed Application Form (Section 7.4a)
- Application Fee (Section 7.4b)
- Abutters List (Section 7.4c)
- Certification as to Adjacent Towns (See above)
- Certification as to Connecticut Water Company & Commissioner of Public Health (See above)
- Notification Narrative and Supporting Documentation (If applicable, Appendix D)
- Project Narrative and Supporting Documentation (Section 7.4g, 1-11 inclusive, as deemed applicable)
- Project Site Plan - circle one: Administrative (Section 7.4h1) / Agency (Section 7.4h2)
- Supplemental Information (Section 7.5a-j, inclusive, as deemed applicable)

John & Carrie Doherty
20 East Shore Drive
Ellington, Ct 06029
860-836-0936

06/06/2024

Pavilion Replacement at 20 East Shore Drive

Inland Wetlands & Watercourses Permit Application Narrative

1. Scope of Work:

The proposed project involves the replacement of a deteriorating pavilion covering an existing area of 593 square feet, with an extension that adds 189 square feet to the footprint. The scope of work includes the replacement of eight inadequate footings and piers. The current dilapidated brick patio floor will be replaced with a new stamped concrete slab.

2. Affected Aggregate Area:

The total area affected by the construction will be 782 square feet, encompassing the original pavilion space and the extension.

3. Amount of Permanent vs. Temporary Impact:

The permanent impact area will be the 782 square feet of the new pavilion footprint. Temporary impacts will occur in the immediate surrounding area, primarily due to construction activities, and are estimated to cover an additional 200 square feet, bringing the total temporary disturbed area to less than 1000 square feet.

4. Purpose of Proposed Activity:

The purpose of the proposed construction is to replace the existing pavilion that is in a state of disrepair and enhance the functionality and safety of the facility. The extension will provide additional space for community events and gatherings, thus serving the public interest.

5. Construction Method:

Construction will begin with the demolition of the existing structure, followed by hand excavation for the new footings and piers. Concrete will be poured via a pump staged on East Shore Drive for the footings and the new stamped concrete slab. Materials for the new pavilion will include weather-resistant wood and metal for the roof structure. No heavy equipment is to be used on site. All construction will adhere to local building codes and environmental protection standards.

6. Duration of Construction:

The construction is expected to take four consecutive weeks, starting from the date the permit is issued.

7. Method of Controlling Storm Water:

Stormwater will be managed using 80 feet of wattle to control sediment and erosion around the construction site. This method will ensure minimal impact on the nearby watercourses and maintain the integrity of the wetland area.

8. Area Disturbed:

The total area disturbed by the construction will be less than 1000 square feet, limited to the footprint of the pavilion and the immediate surrounding area for construction activities.

9. Site Plan:

A detailed site plan is attached to the application. This plan outlines the proposed structure, construction impact area, stormwater control measures, and the positioning relative to existing wetlands and watercourses.

10. Dates of Activity:

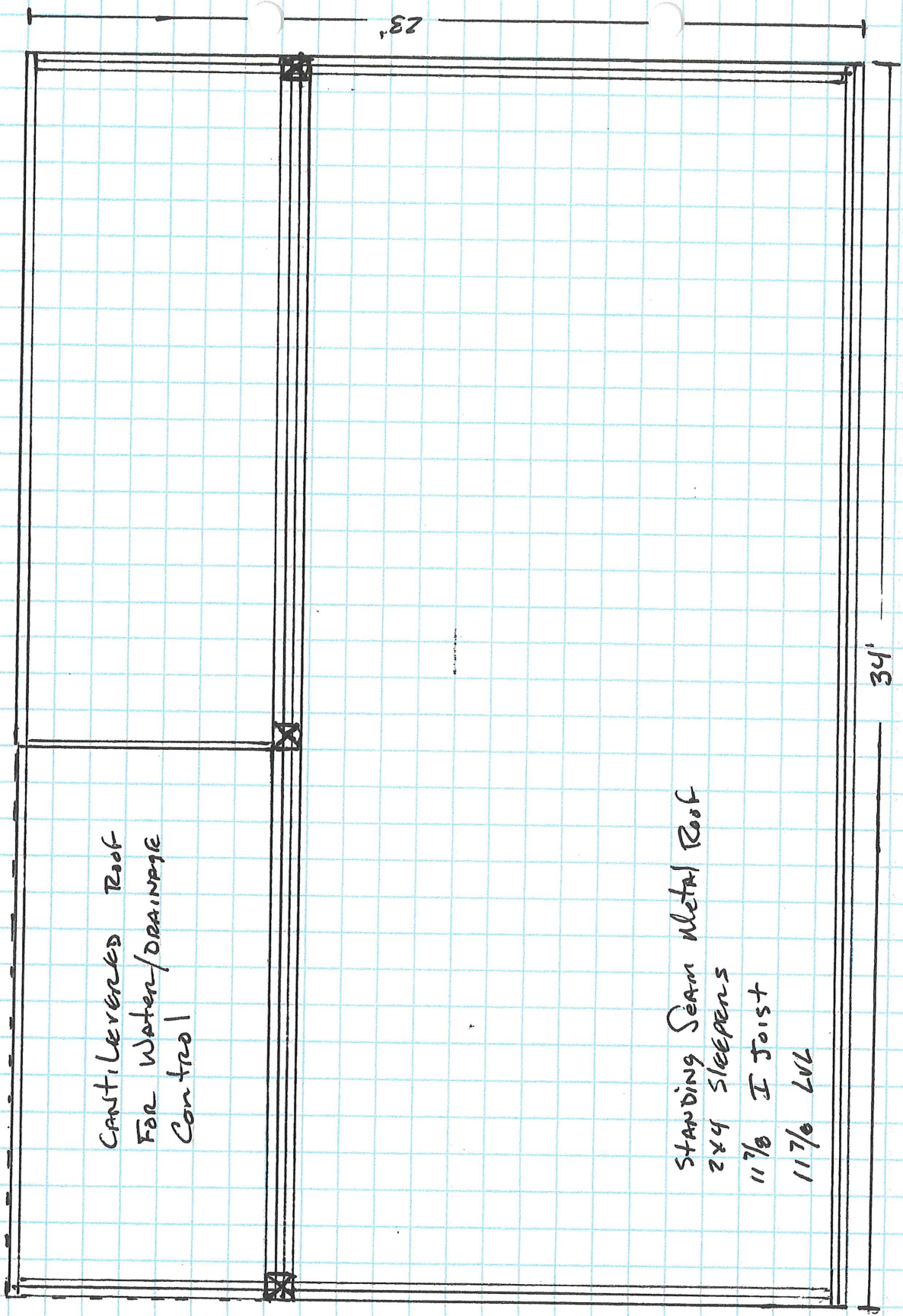
The project will commence immediately upon the issuance of the permit and will continue for four consecutive weeks. The precise start and end dates will be determined based on the permit approval date.

This narrative accompanies the detailed site plan and other pertinent documents provided in the permit application package. The proposed construction has been designed to minimize environmental impacts and comply with all applicable regulations governing construction near wetland areas.

Conceptual Depiction of New Pavilion 20 East Shore



Doherty
20 East Shore Drive



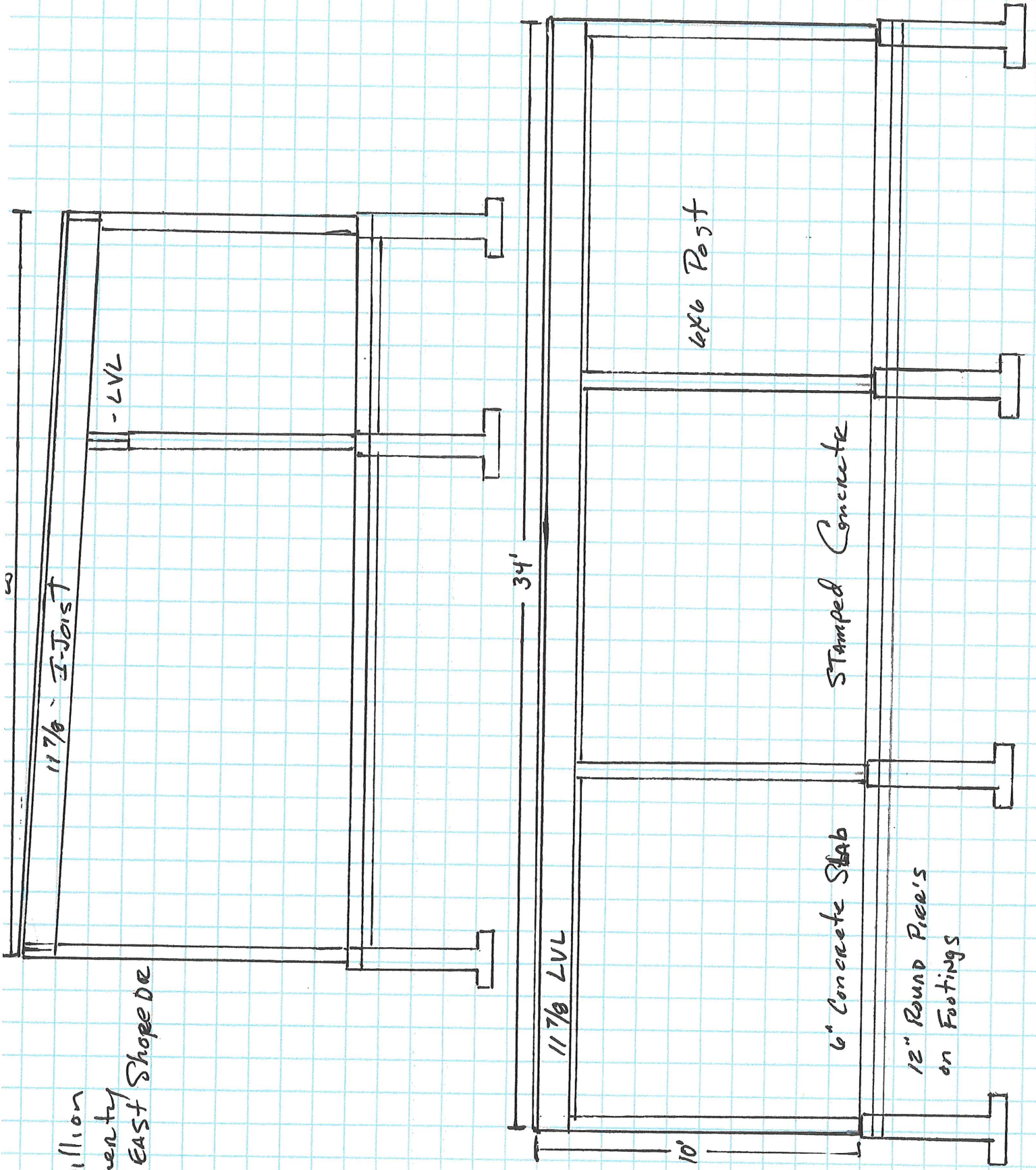
CANTILEVERED ROOF
FOR WATER/ DRAINAGE
CONTROL

STANDING SEAM METAL ROOF
2x4 SLEEPERS
11 7/8 I JOIST
1 1/2 LVL

23'

34'

Pavillion
Doherty
20 East Shore Dr



34'

11 7/8 LVL

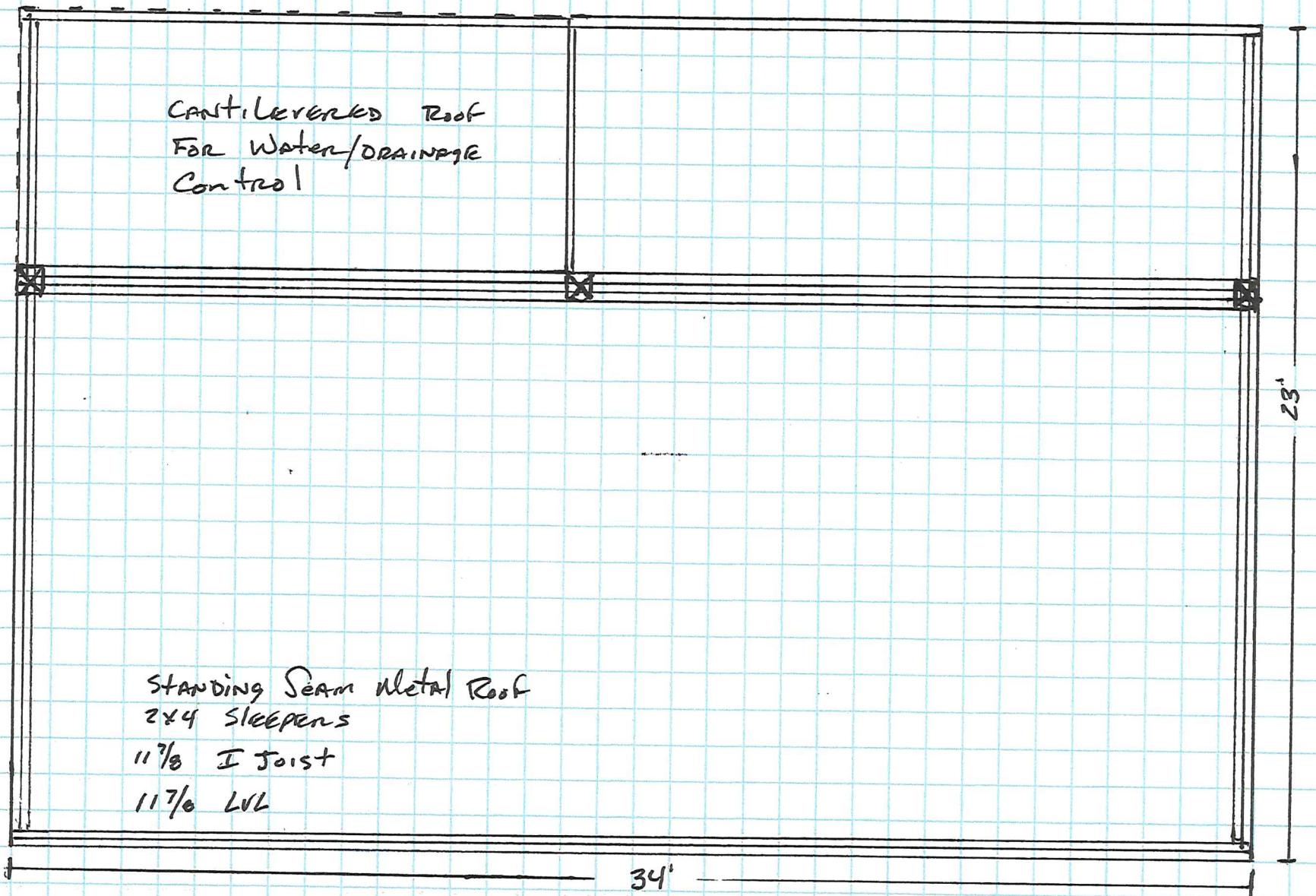
10'

Stamped Concrete

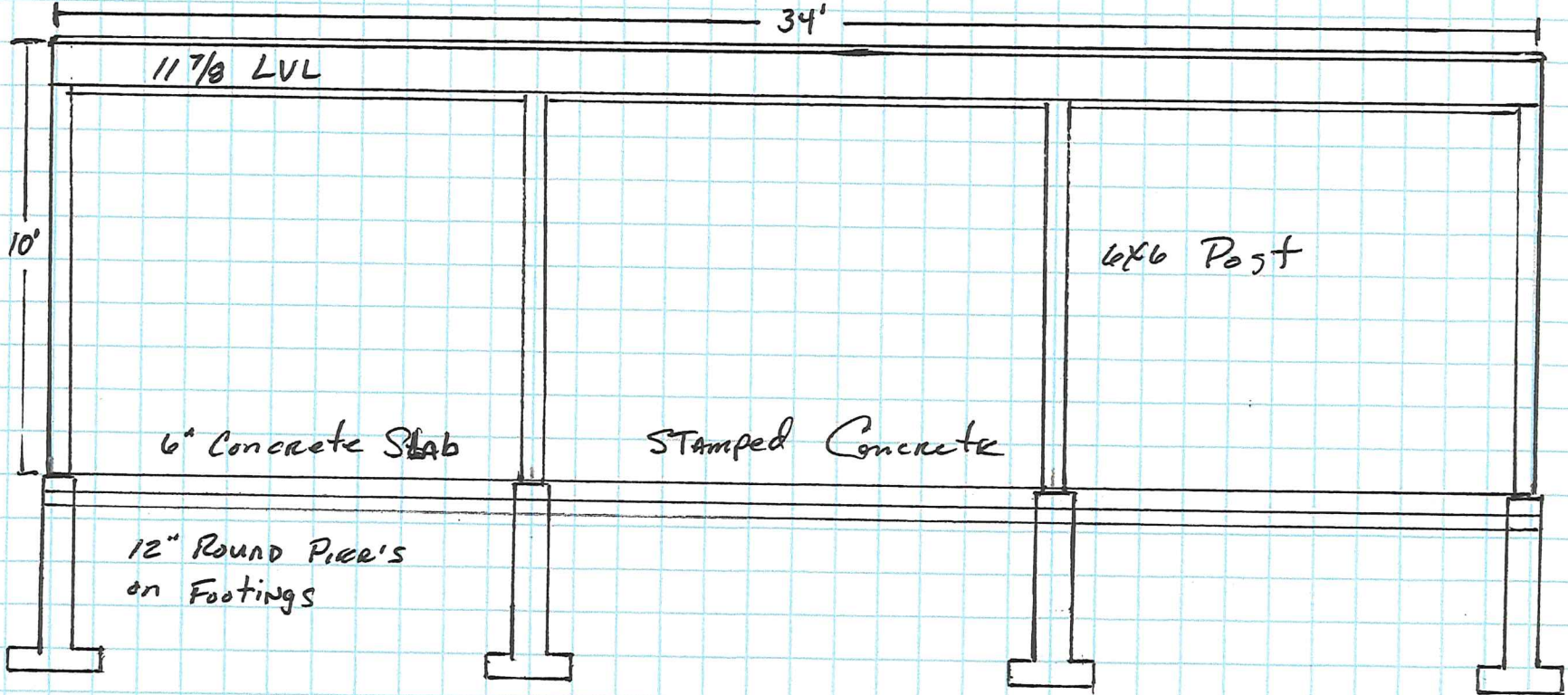
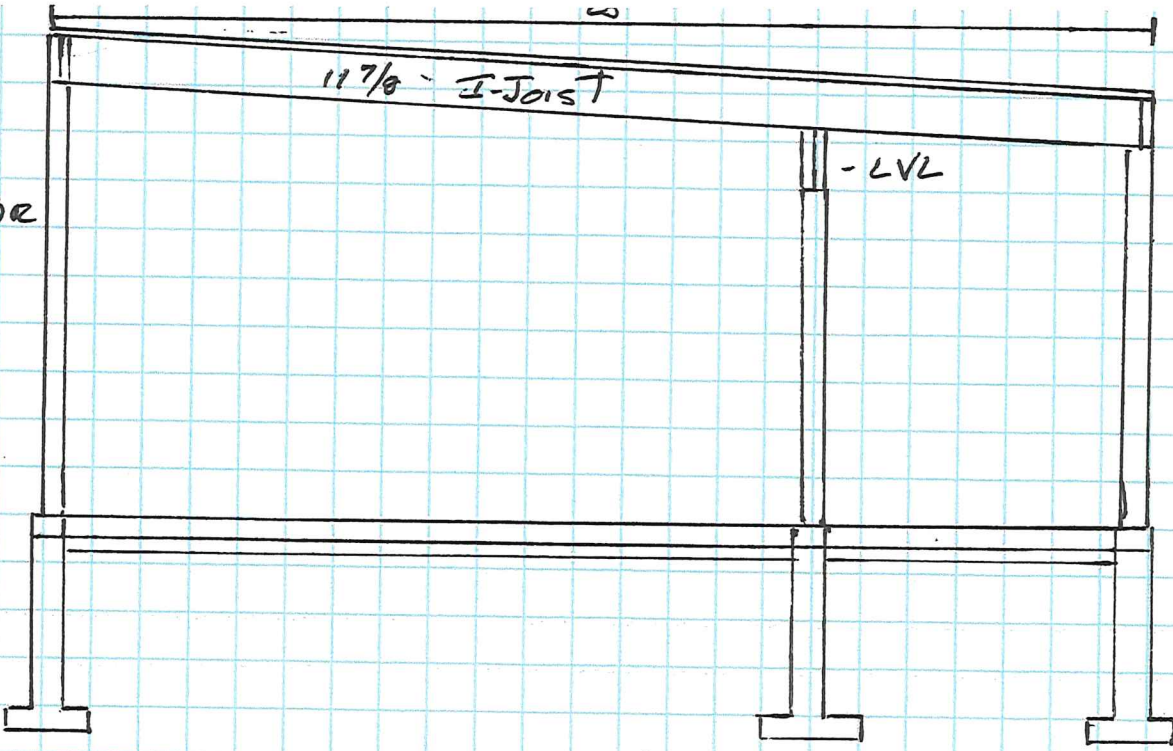
6" Concrete Slab

12" Round Piers
on Footings

Doherty
20 EAST Shore Drive



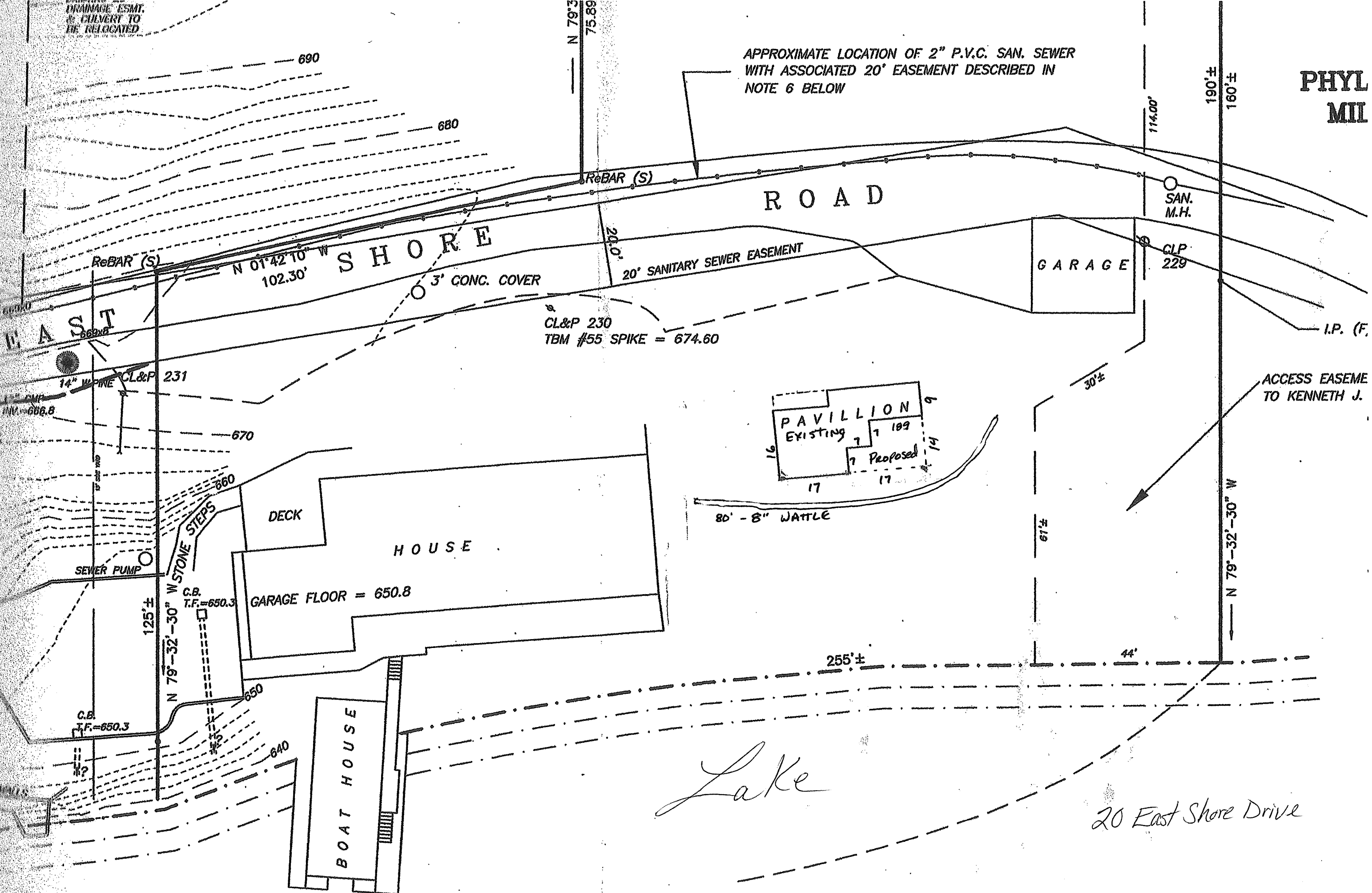
Pavillion
Doherty
20 EAST Shore Dr



DRAINAGE ESMT.
CULVERT TO
BE RELOCATED

APPROXIMATE LOCATION OF 2" P.V.C. SAN. SEWER
WITH ASSOCIATED 20' EASEMENT DESCRIBED IN
NOTE 6 BELOW

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Proposed

ACCESS EASEMENT
TO KENNETH J.

Lake

20 East Shore Drive

CONTINUED



TOWN OF ELLINGTON

55 MAIN STREET – PO BOX 187
ELLINGTON, CONNECTICUT 06029-0187
www.ellington-ct.gov

TEL. (860) 870-3120 TOWN PLANNER'S OFFICE FAX (860) 870-3122

INLAND WETLANDS AGENCY REGULAR MEETING MINUTES MONDAY, JUNE 10, 2024, 7:00 P.M.

IN PERSON ATTENDANCE: TOWN HALL ANNEX, 57 MAIN STREET
REMOTE ATTENDANCE: ZOOM MEETING
(ATTENDEES BELOW WERE IN PERSON UNLESS OTHERWISE NOTED)

PRESENT: Chairman Jean Burns (via Zoom), Vice Chairman Katherine Heminway, Regular members Ken Braga, Ron Brown, Landon Barlow, and Alternate Ryan Orszulak

ABSENT: Regular member Steve Hoffman, Hocine Baouche, and Alternate Jon Kaczmarek

STAFF

PRESENT: John Colonese, Assistant Town Planner/Wetland Enforcement Officer and Barbra Galovich, Land Use Assistant/Recording Clerk

I. CALL TO ORDER: Vice Chairman Katherine Heminway called the Ellington Inland Wetlands Agency meeting to order at 7:00 pm.

II. PUBLIC COMMENTS (on non-agenda items): None

III. PUBLIC HEARINGS:

1. IW202411 – Beth Gottier, owner/applicant request for a permit to conduct regulated activity to construct a patio and new wall along the lake edge at 14 Private Grounds 1, APN 148-062-0000.

Time: 7:01 pm

Seated: Burns, Heminway, Braga, Brown, Barlow and Orszulak

Eric Peterson, Gardner & Peterson Associates, LLC, 178 Hartford Turnpike, Tolland, CT and Beth and Bruce Gottier, 14 Private Grounds 1 were present to represent the application.

Eric Peterson stated the owner, Beth Gottier, is in the process of completing renovations to an existing house at 14 Private Grounds 1 and would like to permit the construct a patio off the rear of the house, and a new lake wall to create a "beach" area adjacent to Crystal Lake. Eric noted the parcel is bounded by other residential properties to the north and south and Crystal Lake abuts to the east. On October 16, 2023, the Inland Wetland Commission approved application IW202315 to demolish and reconstruct a house on the existing foundation, adding an attached garage. The existing house and the new improvements are all located within 100 feet of Crystal Lake. The patio is to be constructed of stamped concrete set on a prepared stone bed and the lake wall is to be a cast-in-place concrete wall with a concrete step leading to the beach area. An existing concrete retaining wall located at the edge of Crystal Lake will be removed once the new wall is constructed creating approximately 560 square feet of beach area adjacent to the lake. Eric described that the existing wall will be plucked out of the water with an excavator thumb.

Eric Peterson explained that to create the new wall, the area will initially be excavated with the existing lake wall left in place. The spoils of the excavation will be loaded onto a truck and hauled off-site. Once the site is at rough grade, the new wall will be installed and backfilled. The existing wall will be removed after the new beach area is filled with sand. Silt fence will be installed downhill of other construction activities to prevent the passage of sediment to Crystal Lake and will remain in place until the site is final graded and stabilized with lawn.

Eric Peterson noted the application proposes 2,700 square feet or 0.06 acres of disturbance within the upland review area, and the owner would like to start construction of the lake wall and patio at the beginning of the summer and completed during the fall lawn growing season.

Commissioner Brown confirmed the goal of the project is to create a beach area. Commissioner Brown asked how far from the lake the new wall would be located for the beach area. Eric Peterson noted it would be approximately 16 feet from the lake edge to the new wall. Commissioner Braga asked about the lot coverage on the parcel. Eric Peterson said the final lot coverage after construction will be at 25%, the owner will be installing pervious pavers for a sidewalk and a pervious driveway.

Commissioner Barlow asked what the bottom elevation of the existing wall was, Eric Peterson noted no elevations were taken within the lake. Commissioner Barlow asked about the 100-year flood elevation. Eric Peterson said the lake level is controlled by the dam, located in the Stafford portion of the lake. Commissioner Jean Burns noted the dam was repaired 3-4 years ago and the spillway elevation does not change. Commissioner Barlow asked if the applicant's engineer could update the cross section with final conditions.

Chairman Barlow asked what type of sand would be used for the beach area. It was noted that the Ellington Public Works Department regularly imports sand material for the public beach from a specific supplier. Commissioner Barlow asked that the material for the beach either be from the same supplier the town purchases it from or provide environmental and gradation testing of the material. Commissioner Barlow asked about the existing drainage pipe located within the existing wall. Eric Peterson explained the drainage pipe will be relocated to the end of the new wall.

Bruce Gottier described how the existing wall would be removed after sand was in place. Bruce believes that the existing wall is not constructed well and will be easy to remove, creating little disturbance. Bruce noted that this area of the lake is already a sandy area and there is no vegetation. Photos of the lake, existing wall, and surrounding area were reviewed by the agency. Agency members discussed the proposed slope of the patio and beach area and raised concerns regarding sand from the beach staying on the property. Chairman Burns asked Bruce Gottier how they would create the beach differently from the neighbor's beach area. Bruce noted the neighbor's beach area is steep to the lake and they plan to construct the area with less of a slope.

MOVED (BRAGA) SECONDED (BURNS) AND PASSED UNANIMOUSLY TO MAKE A DETERMINATION OF A SIGNIFICANT ACTIVITY FOR IW202411.

John Colonese noted the Town Engineer's comment regarding the slope of the beach area on the plan. The Agency decided to request a revised cross section of the area and to continue the public hearing to next month.

No one from the public spoke regarding the application.

MOVED (BARLOW) SECONDED (BROWN) AND PASSED UNANIMOUSLY TO CONTINUE THE PUBLIC HEARING TO MONDAY, JULY 8, 2024, 7PM, TOWN HALL ANNEX, 57 MAIN STREET, ELLINGTON, AND ZOOM VIDEO CONFERENCING FOR IW202411 – Beth Gottier,

owner/applicant request for a permit to conduct regulated activity to construct a patio and new wall along the lake edge at 14 Private Grounds 1, APN 148-062-0000.

IV. OLD BUSINESS: None

V. NEW BUSINESS: None

VI. ADMINISTRATIVE BUSINESS:

1. Approval of the May 13, 2024, Regular Meeting Minutes.

MOVED (BRAGA) SECONDED (BARLOW) AND PASSED UNANIMOUSLY TO APPROVE MAY 13, 2024, REGULAR MEETING MINUTES AS WRITTEN.

2. Correspondence/Discussion:

- a. Windermere Avenue, Hatheway Road, and Bridge Street - Bridges

John Colonese informed the Agency that the Department of Public Works will be conducting maintenance by cleaning out debris and accumulated material at the Windermere Avenue, Hatheway Road and Bridge Street bridges.

- b. 20 East Shore Road – Patio and Pavilion Construction.

John Colonese stated the owners of 20 East Shore Road would like to reconstruct and enlarge their existing patio and pavilion to 782 square feet. The patio and pavilion will be approximately 35 to 40 feet away from the lake edge. The Agency agreed the owners need to apply for an agency permit, and a public hearing should be held in the public interest.

BY CONSENSUS, THE AGENCY DECIDED TO RECEIVE AND SET THE APPLICATION FOR A PUBLIC HEARING ON MONDAY, JULY 8, 2024, 7PM, TOWN HALL ANNEX, 57 MAIN STREET, ELLINGTON, AND ZOOM VIDEO CONFERENCING FOR – John & Carrie Doherty, owner/applicant, request for a permit to conduct regulated activity to construct a patio and pavilion at 20 East Shore Road, APN 149-100-0000.

VII. ADJOURNMENT:

MOVED (BRAGA) SECONDED (HEMINWAY) AND PASSED UNANIMOUSLY TO ADJOURN THE JUNE 10, 2024, REGULAR MEETING OF THE INLAND WETLANDS AGENCY AT 7:54 PM.

Respectfully submitted,

Barbra Galovich, Recording Clerk