



Long Range Facilities & Bond Planning Committee

April 4, 2023

WELCOME FROM YOUR SUPERINTENDENT

Mike Martindale
Superintendent



AGENDA

- WELCOME & INTRODUCTIONS
- COMMITTEE CHARGE
- NORMS & PROCESS OVERVIEW
- 2021 BOND PROJECT UPDATE
- SCHOOL FINANCE 101
- CLOSING



TRANSCEND⁴

Collaboration | Communication | Critical Thinking | Creativity

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Facilitator

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COMMITTEE CHARTER

PURPOSE:

The purpose of the 2023 Long Range Facilities and Bond Planning Committee is to review the District's need for a bond referendum to support areas including, but not limited to: facilities, renovations, deferred maintenance, buses, athletics, fine arts, land acquisition, technology, and other capital needs.

Committee Responsibilities:

Based upon a review of the District's debt capacity and needs described above, the 2023 Bond Planning Committee will make a recommendation to the Board of Trustees on whether to pursue a bond election, as well as the potential timing and scope to be included in the bond program.

HOUSEKEEPING

- All relevant materials and information will be distributed to you as handouts.
- Due to time constraints, no breaks have been scheduled. Please take care of your personal needs on your own.
- The College Station ISD Leadership Team is here to serve you and to be a resource. Ask questions.
- Your attendance at every meeting will help yield optimum results for this committee and your community.

GROUND RULES



- Only one speaker at a time
- Respect the person who is speaking
- Listen with a desire to contribute & learn
- Engage in the ENTIRE meeting

Q&A PROCESS

- Each table will discuss the information presented and select one question to ask.
- Unanswered questions or concerns will be placed on the 'parking lot' to be answered later via email or website post.

MEETING OVERVIEW

Meeting #1

Process, timeline, vision, end goal
Charge from Board of Trustees
Gradients of Decision Making Model
Review of projects since prior bond
School Finance 101

Meeting #2

Demographic Report
Facility Needs Assessment

Meeting #3

Facility Tours

Meeting #4

Project Priority Presentation
Project Priority Worksheet

Meeting #5

Financial Advisor Presentation
Project Priority Worksheet and Mock Vote

Meeting #6

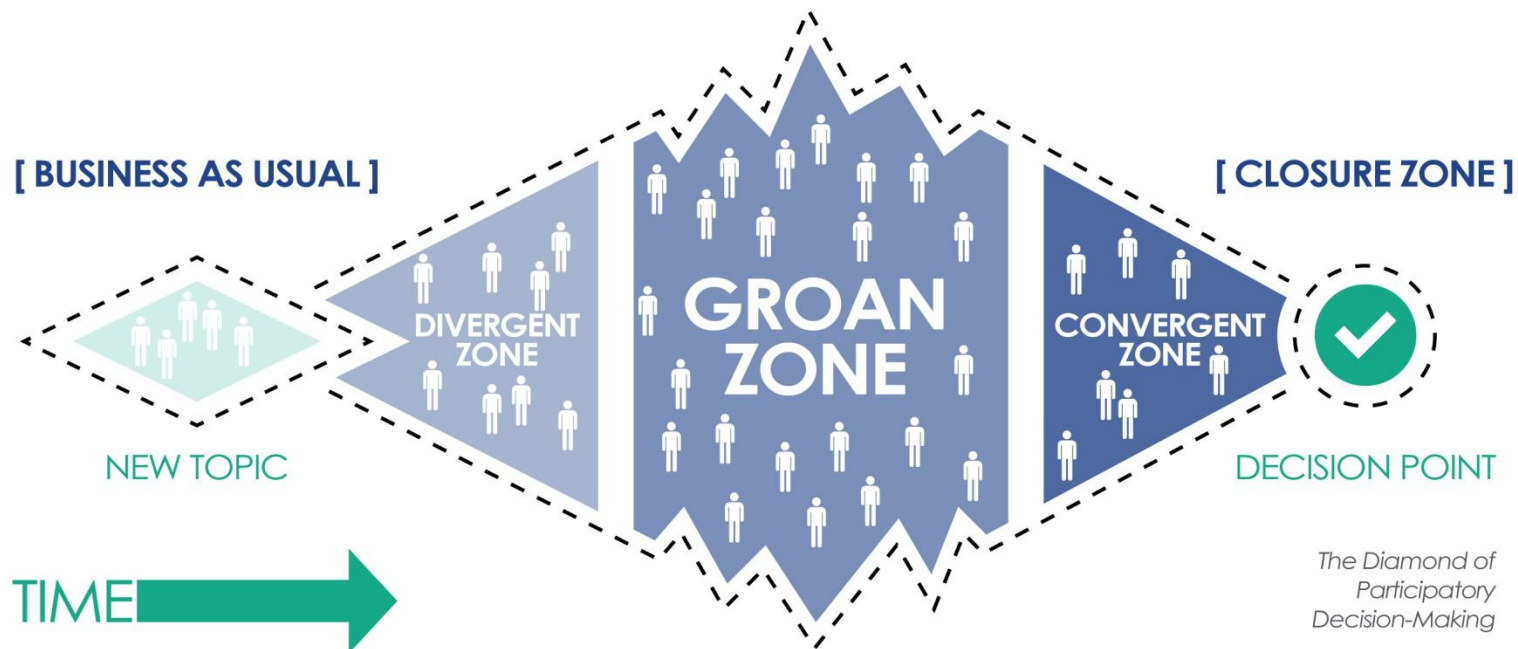
Bond Package Development with CoVoice
SWOT Analysis regarding potential bond

CONSENSUS & GRADIENTS OF AGREEMENT

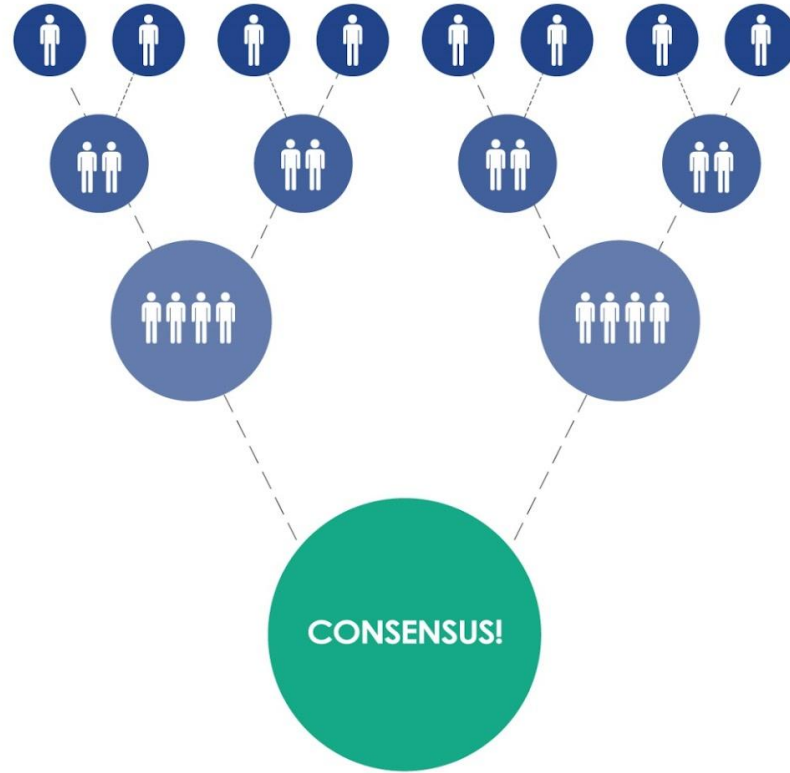
ENDORSEMENT	ENDORSEMENT WITH A MINOR POINT OF CONTENTION	AGREEMENT WITH RESERVATIONS	ABSTAIN	STAND ASIDE	FORMAL DISAGREEMENT, BUT WILLING TO GO WITH THE MAJORITY	FORMAL DISAGREEMENT, WITH REQUEST TO BE ABSOLVED OF RESPONSIBILITY	BLOCK
"I like it."	"Basically, I like it."	"I can live with it."	"I have no opinion."	"I don't like this, but I don't want to hold up the group."	"I want my disagreement noted in writing, but I'll support the decision."	"I don't want to stop anyone else, but I don't want to be involved in implementing it."	"I veto this proposal."

This scale makes it easier for participants to be honest. Using it, members can register less-than-whole hearted support without fearing that their statement will be interpreted as a veto.

DYNAMICS OF GROUP DECISION-MAKING



CONSENSUS BUILDING MODEL





2021 BOND UPDATE

Agenda

- General Bond Information
- General Projects Completed
 - Southwood Valley Elementary- Phase I
 - A&M Consolidated HS – Phase I
 - Miscellaneous Projects
- General Projects for Summer 2024
 - Pebble Creek Elementary
 - Southwood Valley Elementary- Phase II
 - A&M Consolidated HS – Phase II
 - CTE Center
 - Natatorium
 - Safety & Security

Bond Balances as of February 28, 2023

Proposition	Total Authorized	Expended	Committed	Balance	% Available
General	\$ 70,630,000	\$ 18,899,487	\$ 12,038,411	\$ 39,692,102	56%
Technology / Personal Device	\$ 4,525,000	\$ 3,146,148	\$ 1,063,114	\$ 315,738	7%
Natatorium Renovations	\$ 2,970,000	\$ 290,147	\$ 0	\$ 2,679,853	90%
Total	\$ 78,125,000	\$ 22,335,782	\$ 13,101,525	\$ 42,687,693	

Transportation

14 Buses were ordered February 18, 2022

9 have been received on January 23, 2023

Balance of 5 we are still waiting on

7 Buses were ordered September 22, 2022

None Received thus far

The delivery of buses continues to be a problem nationwide. This delay is causing increased repairs and maintenance on older models these were to replace.

SOUTHWOOD VALLEY ELEMENTARY

Phase I

Southwood Valley Elementary

- Phase I - Summer of 2022 – Substantially complete in August of 2022
 - Relocation of the Principal's Office suite and connecting new security vestibule
 - Relocation of kindergarten classrooms and breakout rooms
 - New exterior elevation with new windows and masonry at the front of the building

Southwood Valley Floor Plan– Phase I



Southwood Valley – Phase I



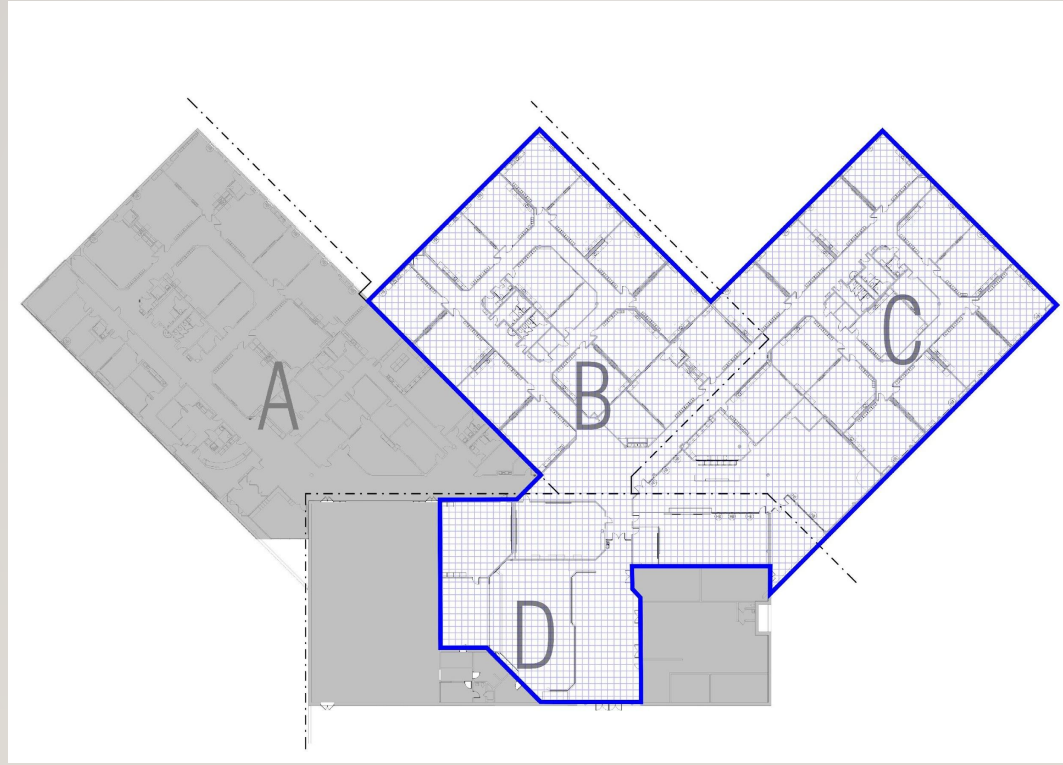
Southwood Valley – Phase I



Southwood Valley Elementary – Phase 2

- Phase 2 - Summer of 2023
 - Primarily refreshing finishes like carpet, hard flooring, paint, restrooms, doors, cabinets, in the remainder of the building
 - Library will have a new layout to make it more efficient
 - Cafetorium layout will change to remove lowest level
- RAVA Construction was awarded this project in the Fall of 2022 (\$3,442,000)

Southwood Valley Floor Plan– Phase 2



Southwood Valley – Phase 2



Southwood Valley Library— Phase 2



Safety Improvements

- Phase I - Security Vestibule hardening (Summer of 2023)
 - All Elementary and Intermediate campuses
 - Improves our ability to control and limit access to school as needed
 - Awarded to SpawGlass Construction in November of 2022
 - Work commenced on some of the campuses over Spring Break

Safety Improvements

- Phase 2 would include the remaining security vestibules hardening
 - High School and Middle School campuses – begin design in late Spring of 2023
 - CSHS and College View High Schools
 - CSMS, AMCMS, and WMS
 - AMCHS security vestibule will be picked up already in the AMCHS Renovations Phase 2 project this Summer of 2023

A&M Consolidated High School

- Biggest renovation project in the 2021 Bond Package
- Entire renovation will be broken up into at least 4 phases
 - Summers from 2022 through 2025
- Focus will be on refreshing interior finishes such as carpet, hard flooring, paint, restrooms, doors, cabinets, etc. for classrooms and public areas
- Fine Arts areas including the Auditorium renovation
- Science Lab upgrades for safety and mechanical/electrical/plumbing improvements

A&M Consolidated High School

- Phase I – Summer of 2022 – Complete in August of 2022
 - Restroom renovations for about half of the restrooms in the main campus building
- Cafetorium area storefront to secure and separate Athletics wing during events
- This work is complete

A&M Consolidated High School – Phase I

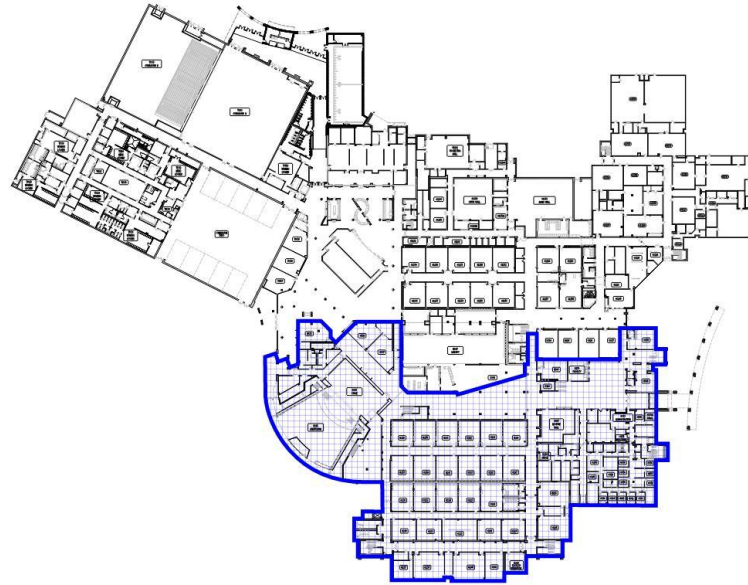


A&M Consolidated High School – Phase 2

- Phase 2 - Summer of 2023
 - Interior finishes updates for paint, carpet, hard flooring, and LED lighting (including parking lots)
 - Security Vestibule Upgrades and Principal's Office suite, Auditorium, and Lecture Hall upgrades
 - Converting two computer lab areas into Science labs, one on each level
 - Consists of approximately 40% of the AMCHS interior spaces
 - Scheduled for the Summer of 2023, to be complete by start of school in August
- This project is on the regular Board meeting agenda for approval later this evening (\$5,060,000)



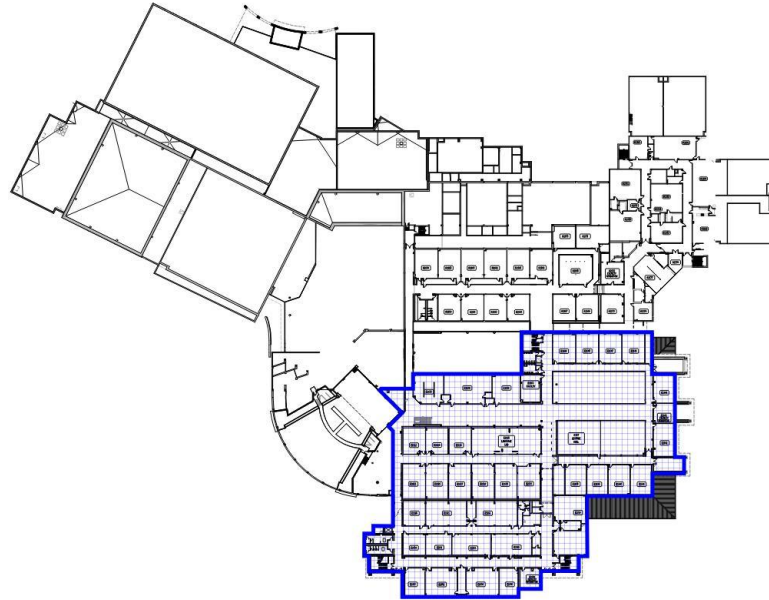
A&M Consolidated High School – Phase 2



A&M CONSOLIDATED HIGH SCHOOL – LVL 1

COLLEGE STATION INDEPENDENT SCHOOL DISTRICT
COLLEGE STATION, TEXAS

A&M Consolidated High School – Phase 2



A&M CONSOLIDATED HIGH SCHOOL - LVL 2

COLLEGE STATION INDEPENDENT SCHOOL DISTRICT
COLLEGE STATION, TEXAS

A&M Consolidated High School

- Phase 3 - Summer of 2024
 - Continuation of an additional 40% of the interior finish replacements on the northern half of the building
 - Would include Cafeteria and Choir/Band/Orchestra rooms
- Phase 4 – Summer of 2025
 - Continuation of any remaining areas throughout the building to complete project
- Miscellaneous other:
 - Fire Sprinkler system sprinkler head replacements as we do each section
 - LED lighting replacement as we do each section

Pebble Creek Elementary

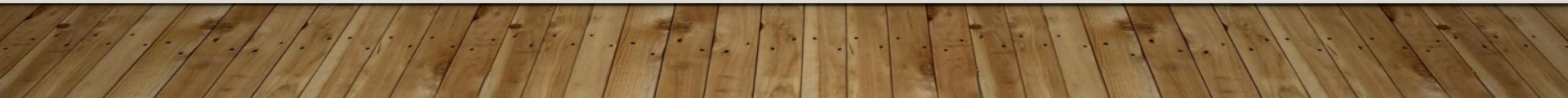
- Renovations will focus on refreshing some interior items such as carpet, hard flooring, restrooms, doors, cabinets, etc.
- A repurposing of the old existing Principal's Office suite will be included to convert that square footage to more useable space for conference room and breakout spaces for specialty needs
- Scheduled for construction during the summer of 2023
- This project is also on the regular Board meeting agenda for approval later this evening (\$3,095,000)

Pebble Creek Elementary



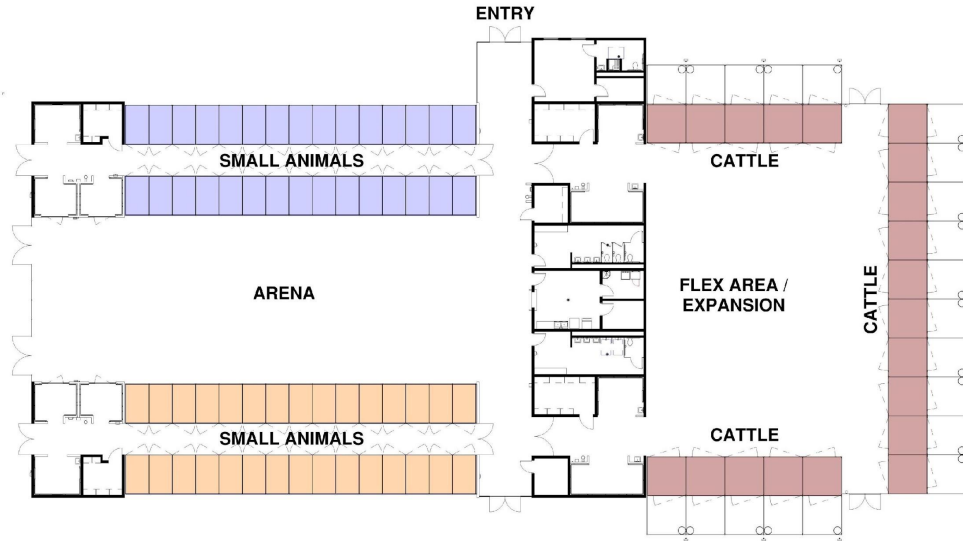
Career and Technical Education (CTE) Center

- Design and development started on Phase I of the CTE Center
 - Location will be the 90-acre Fry Tract on South Dowling Road
 - The first phase will primarily be designed for animal housing, practice arena, and an office/restrooms/concessions
 - Site is being master planned for future growth
- Construction Manager at Risk (CM@R) is SpawGlass Construction
 - We have had to work to get the scope back in line with our budget over the last few months
 - Design documents are out for bid now, with bid day scheduled for March 30, 2023
- Planning to bring this project GMP to the April 2023 Board meeting for approval



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Career and Technical Education (CTE) Center



Career and Technical Education (CTE) Center



Career & Technical Education (CTE) – Projects

- Metal canopies at AMCHS and CSHS were completed in the Summer of 2022
- Fencing and windscreens are now complete at AMCHS
- Fencing is still ongoing at CSHS and the windscreens will follow
- AMCHS Culinary Arts area
 - Was an alternate for AMCHS Renovations Phase 2, but it came in over budget
 - We will attempt to reduce the scope enough to get it back into budget
- CTE areas behind AMCHS and CSHS
 - Being master planned for layout and construction of various components
 - Pieces of this work will be ongoing at various times over the next few years



Metal Canopies and Fencing



AMCHS



CSHS

Natatorium Renovations

- Proposition C of the 2021 Bond Package
- Boiler replacement was completed in August 2022
- Remaining renovation work has been designed with the help of the Athletics Staff and Tiger Swim Coach
 - Tile, paint, and plaster replacement of main pool area and offices/locker room spaces
 - Adding a scorer's table cut into the wall behind the starting blocks
 - Structural steel rework to correct some corrosion issues
- Project was bid through our purchasing cooperative members on March 2, 2023
- Scheduled to commence work in April of 2023 with completion in early fall of 2023
- This project is also on the regular Board meeting agenda for approval later this evening (\$2,100,000)

Natatorium Renovations



Future Projects in 2021 Bond Package

- Design work will be ongoing through the fall of 2023 for these Summer of 2024 projects:
 - Cypress Grove Intermediate School Renovations
 - AMCHS Renovations Phase 3
- Miscellaneous Deferred Maintenance
 - HVAC unit repair/replacement on various campuses across the district
 - AMCHS roofing repair



Table Talk Q&A Process



CSISD 2022-2023 Budget

	General Fund (With VATRE)	Debt Service Fund	Child Nutrition Fund	Total Proposed Budget
Local Revenue				
Property Taxes	\$ 113,888,077	\$ 30,378,095	\$ -	\$ 144,266,172
Other Local	\$ 1,106,700	\$ 60,000	\$ 2,950,946	\$ 4,117,646
State Revenue				
Foundation and PSF	\$ 10,573,205	\$ 265,770		\$ 10,838,975
TRS on Behalf	\$ 7,181,989	\$ -	\$ 30,000	\$ 7,211,989
Federal Revenue	\$ 3,150,000	\$ -	\$ 4,621,725	\$ 7,771,725
Total Proposed Revenue	\$ 135,899,971	\$ 30,703,865	\$ 7,602,671	\$ 174,206,507
Proposed Appropriations	\$ 135,899,971	\$ 30,703,865	\$ 7,602,671	\$ 174,206,507
Proposed Net Affect on Fund Balance	\$ -	\$ -	\$ -	\$ -

Budgets for the General Fund, Debt Service Fund, and Child Nutrition Funds are all required to be adopted and approved by the Board of Trustees.



General Fund Vs Debt Service Fund

General Fund

- Supports the daily operations of the district
- Salaries are the largest % of the budget
- Funded with both property taxes and state revenue
- Has a tax rate separate from that of the Debt Service Fund

Debt Service Fund

- Supports only the debt that has been approved by voters
- No salaries are included
- Funded with property tax revenue *(The only state revenue is the amount reduced for the additional homestead exemption.)*
- Has a tax rate separate from that of the General Fund



CSISD 2022-2023 is a “Recapture District”

What is Recapture?

Texas Education Code makes provisions for certain districts with excess local revenue to pay funds into the Foundation School Program for distribution to other districts.

School Districts with
Excess Local Revenue



RECAPTURE FUNDING



All School
Systems



Recapture is not sent directly to other school districts but used by the state to help fund districts that are not collecting up to that entitlement.



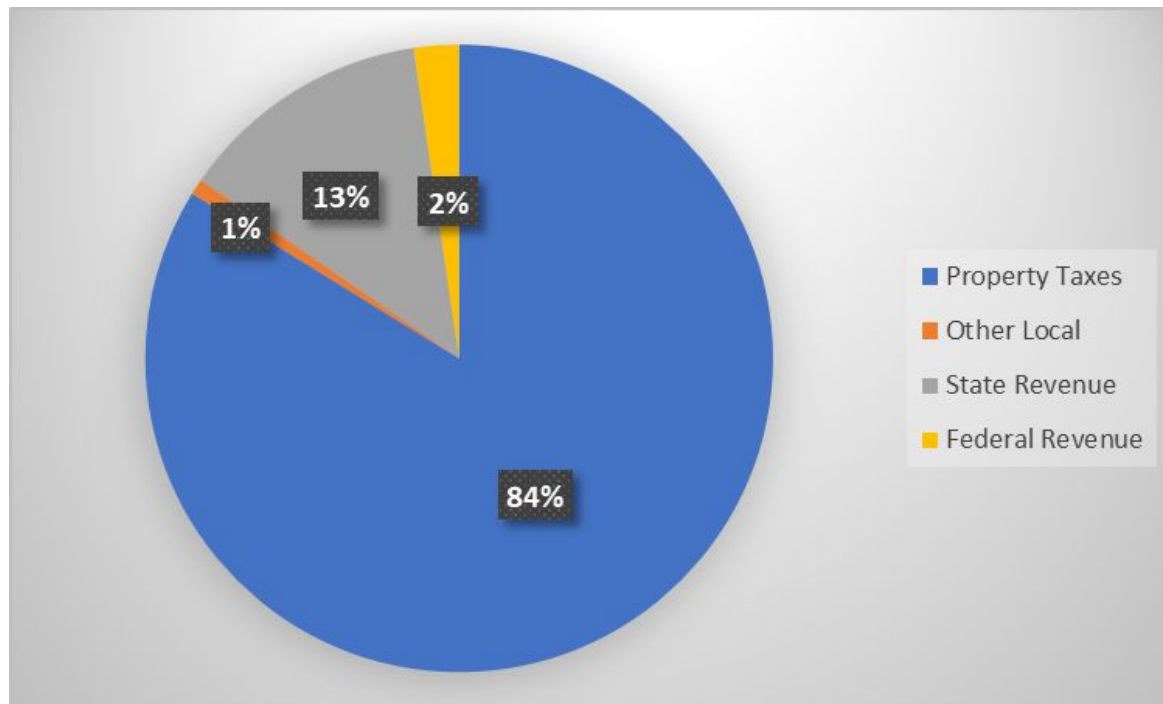
How is Recapture Calculated?

- Districts are entitled to an amount of funding based on the students that are enrolled.
 - The state determines what that entitlement each year
- If Property Tax Revenue exceeds that entitlement, the excess is paid back to the state.

The required compression of the tax rate that occurred beginning with 2019-2020 greatly reduced recapture for districts.

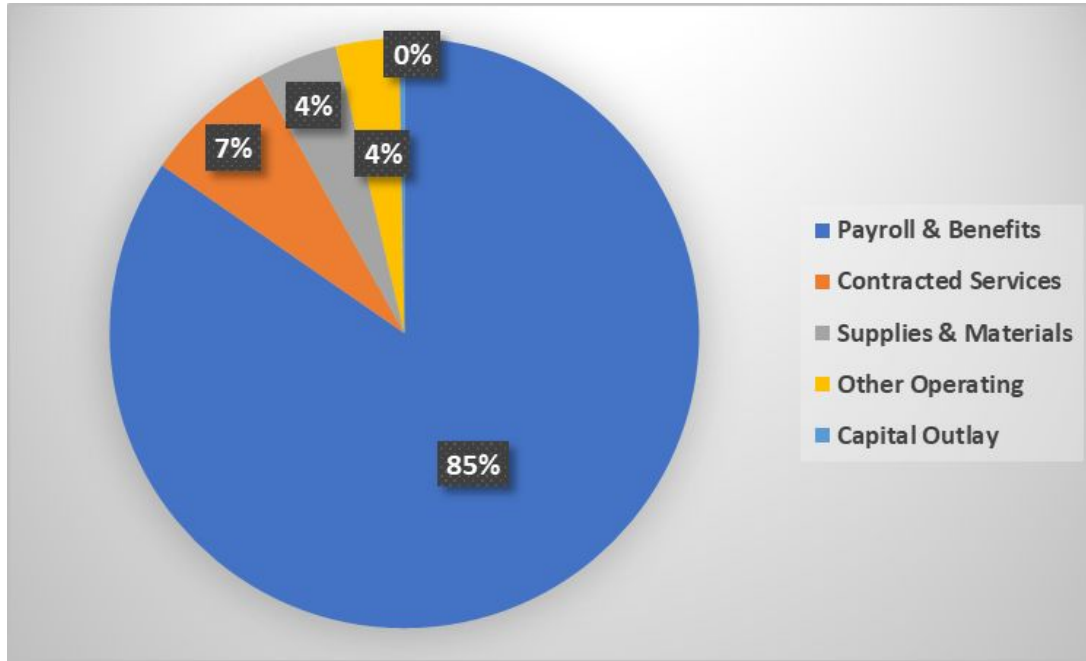


General Fund Revenue Sources





General Fund Expenditures



Payroll (\$115,011,194)

Contract Services (\$9,807,240)

- Utilities
- School Resource Deputies
- Appraisal District
- Copier Leases
- Software Licenses

Supplies & Materials (\$5,989,989)

- Campus & Dept Supplies
- Fuel

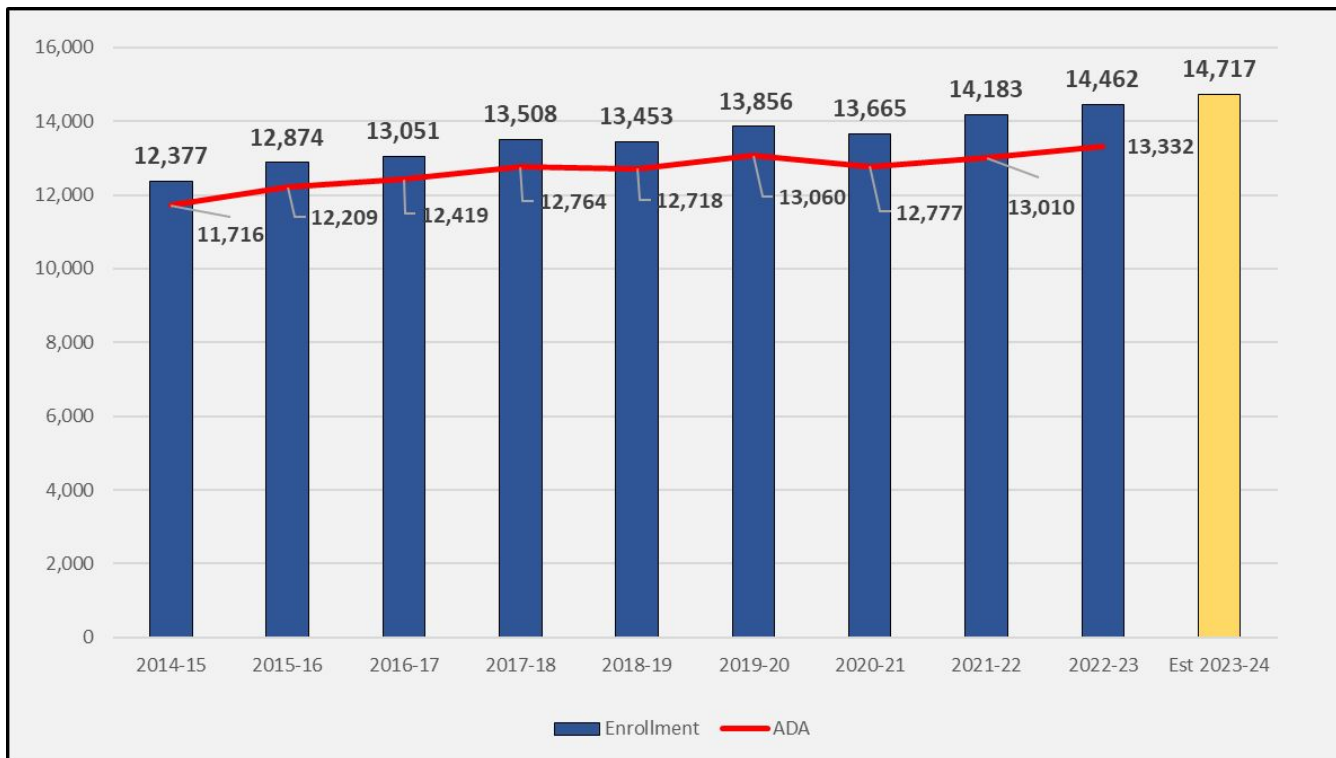
Other (\$4,699,548)

- Property/Casualty Insurance
- Student Travel

Capital Outlay (\$392,000)



CSISD Enrollment – Snapshot Date

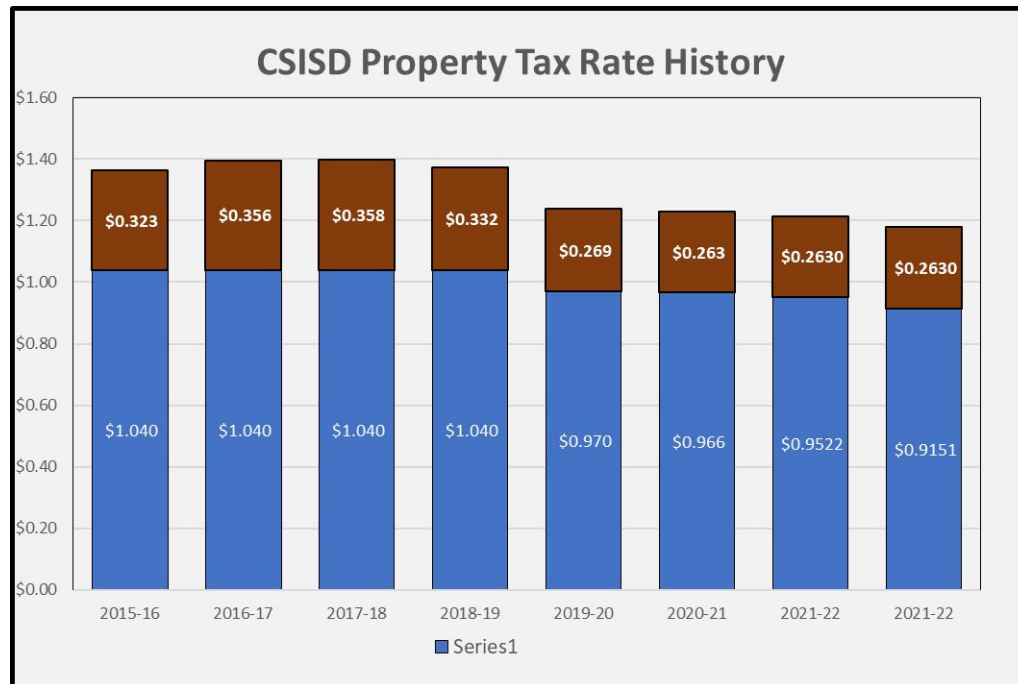




CSISD Property Tax Rate

	M&O	I&S	Total
2015-16	\$ 1.040	\$ 0.323	\$ 1.3630
2016-17	\$ 1.040	\$ 0.356	\$ 1.3960
2017-18	\$ 1.040	\$ 0.358	\$ 1.3980
2018-19	\$ 1.040	\$ 0.332	\$ 1.3720
2019-20	\$ 0.970	\$ 0.269	\$ 1.2390
2020-21	\$ 0.966	\$ 0.263	\$ 1.2290
2021-22	\$ 0.9522	\$ 0.2630	\$ 1.2152
2022-23	\$ 0.9151	\$ 0.2630	\$ 1.1781

A decrease of \$0.1849 in the past 7 years.





Property Value Growth

	Net Taxable	% Change
2015	7,863,376,409	6.784%
2016	8,726,280,920	10.974%
2017	9,727,659,405	11.475%
2018	10,443,586,767	7.360%
2019	10,969,321,143	5.034%
2020	11,179,141,149	1.913%
2021	11,638,646,490	4.110%
2022	12,975,306,902	11.485%
2023 Est		??

What we know for 2023:

- 2022 had record growth even with the additional homestead exemption.
- For 2022, The Comptroller has reported our values are too low.





Effect of Property Value Growth on the Budget

1. Property tax rates are forced to be reduced for property growth in excess of 2.5%. If a district reduces by more than the required amount, state funds are reduced.
2. Property value growth reduced state revenue.

Example – Assuming the same student enrollment for year 1 and 2 but an increase in property values:

Year 1	Year 2
State Rev	State Rev
Prop Taxes	Prop Taxes



How can Districts Generate Budget Capacity?

1. Reduce expenses (85% of the budget is related to personnel)
2. Increased enrollment generates increased revenue and reduced recapture but also increases expenses.
3. Voter Approved Tax Ratification Election. (TRE)
(Voters approved \$.03 in November of 2022 which maximized the district's state revenue.)



Enrollment

	EE	PK	KG	1	2	3	4	5	6	7	8	9	10	11	12	Total	% Growth
2017-18	45	331	1,065	1,044	1,049	1,077	1,105	1,054	964	1,008	968	1,021	942	916	919	13,508	3.50%
2018-19	137	358	963	1,019	977	1,036	1,073	1,081	1,048	979	998	1,060	993	912	908	13,542	0.25%
2019-20	142	425	1,032	1,015	1,019	1,011	1,024	1,091	1,104	1,079	994	1,103	1,014	982	901	13,936	2.91%
2020-21	96	384	986	1,025	943	980	998	1,006	1,053	1,090	1,064	1,067	1,054	960	964	13,670	-1.91%
2021-22	76	450	1,050	1,049	1,063	963	1,006	1,031	1,039	1,102	1,109	1,199	1,045	1,010	990	14,182	3.75%
2022-23	98	498	979	1,106	1,029	1,075	995	1,007	1,056	1,084	1,113	1,230	1,163	1,013	1,016	14,462	1.97%
2023-24 Est	100	500	980	1,031	1,121	1,045	1,096	1,031	1,028	1,101	1,105	1,256	1,173	1,143	1,006	14,716	1.76%
2024-25 Est	100	500	988	1,040	1,046	1,152	1,060	1,125	1,049	1,071	1,121	1,243	1,198	1,149	1,131	14,973	1.75%
2025-26 Est	100	500	1,041	1,043	1,043	1,068	1,172	1,088	1,146	1,094	1,090	1,258	1,185	1,174	1,140	15,142	1.13%

	Elem	Inter	Md Sch	High	Total
2017-18	5,716	2,018	1,976	3,798	13,508
2018-19	5,563	2,129	1,977	3,873	13,542
2019-20	5,668	2,195	2,073	4,000	13,936
2020-21	5,412	2,059	2,154	4,045	13,670
2021-22	5,657	2,070	2,211	4,244	14,182
2022-23	5,780	2,063	2,197	4,422	14,462
2023-24 Est	5,873	2,059	2,206	4,578	14,716
2024-25 Est	5,886	2,174	2,192	4,721	14,973
2025-26 Est	5,967	2,234	2,184	4,757	15,142



BOND HISTORY



Bond History

Year	Amount	Description
2007	\$67,420,000	Creek View Elem, College Hills Elem, Cypress Grove Int addition, Athletic Renovations, Technology upgrades, Land, Misc Deferred Maint.
2009	\$144,200,000	CSHS, Greens Prairie Elem, Transportation Center, additions to AMCHS, AMCMS, and Oakwood Int., Buses
2013	\$83,500,000	Spring Creek Elem, Center for Alternative Learning, Purchasing and Warehouse Facility, School Safety Upgrades, Technology, Buses, Renovations to AMCHS, Central Office renovation, Land, Misc Deferred Maint.
2015	\$135,900,000	Pecan Trail Int., Welborn MS, River Bend Elem, Renovations to Intermediate and Middle Schools, Buses, Technology, Land, Misc Deferred Maint.
2021	\$78,125,000	CTE Center, Technology, Land, Renovations to Natatorium, Southwood Valley Elem, Pebble Creek Elem, Cypress Grove MS, AMCHS, Buses, Misc



Bond History

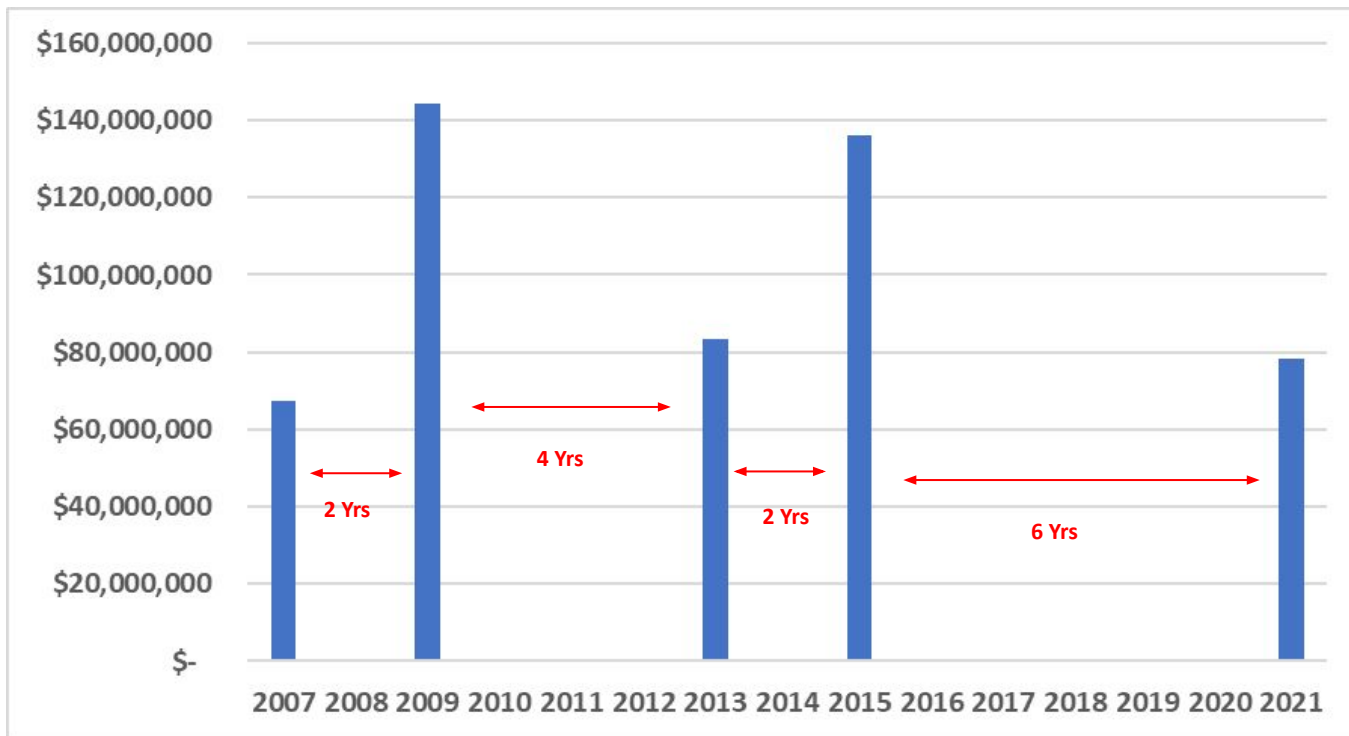




Table Talk Q&A Process

TELLING THE STORY....



**Offer up any
Likes and
Wishes to
assist us in
improving
each meeting**

NEXT MEETING INFORMATION

Meeting 2

Thursday, April 13th
5:30 pm Dinner
6pm-8pm Meeting
CSISD Board Room

Facility Tour

Saturday, April 15th
8:30am Breakfast
9:00am Tour

