



TOMBALL INDEPENDENT SCHOOL DISTRICT

310 S. Cherry Street
TOMBALL, TEXAS 77375

DISTRICT-WIDE SECURITY FENCING IMPROVEMENTS

ADMINISTRATION

DR. MARTHA SALAZAR-ZAMORA	SUPERINTENDENT OF SCHOOLS
DR. AMY SCHINDEWOLF	CHIEF OF STAFF
DR. STEVEN GUTIERREZ	CHIEF OPERATING OFFICER
DR. MICHAEL WEBB	CHIEF ACADEMIC OFFICER
ZACHERY BOLES	CHIEF FINANCIAL OFFICER
DR. MINDY MUNOZ	ASST. SUPERINTENDENT OF SECONDARY SCHOOLS
DR. GEORGE FLORES	ASST. SUPERINTENDENT OF ELEMENTARY SCHOOLS
DR. LEE WRIGHT	ASST. SUPERINTENDENT OF STRATEGIC INNOVATION
MARK WHITE	ASST. SUPERINTENDENT OF ACCOUNTABILITY
DR. ALICIA REEVES	ASST. SUPERINTENDENT OF HUMAN TALENT

BOARD OF TRUSTEES

MR. JOHN E. McSTRAVICK	PRESIDENT
MR. JUSTIN UNSER	VICE PRESIDENT
MR. MARK LEWANDOWSKI	SECRETARY
DR. MICHAEL J. PRATT	ASSISTANT SECRETARY
MR. LEE McLEOD	BOARD TRUSTEE
MRS. TINA SALEM	BOARD TRUSTEE
MR. MATT SCHIEL	BOARD TRUSTEE

PROJECT TEAM



OWNER
Tomball Independent School District
310 S. Cherry Street
Tomball, TX 77375
Phone Number: 281-357-3100



PROGRAM MANAGER
2925 Briarpark Dr. #400
Houston, Texas 77042
Phone Number: 713-266-6900



ARCHITECT
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Houston, Texas 77079
Phone Number: 713-782-8188

ISSUED FOR BIDDING - 5/28/24

REVISIONS

CANYON POINTE ELEMENTARY SCHOOL
TOMBALL INDEPENDENT SCHOOL DISTRICT
13002 NORTHPOINTE BLVD
TOMBALL, TX 77377



ARCHITECTS
AND PLANNING
CONSULTANTS
11767 KATY FREEWAY, STE 430
HOUSTON, TEXAS 77079

PROJ. NO.: 24-10
DATE:
ISSUED FOR:

COVER SHEET

A000

GROUP OR DIVISION NUMBER
 A000—SEQUENTIAL SHEET NUMBER WITHIN GROUP
 DENOTES SCHOOL DESIGNATION

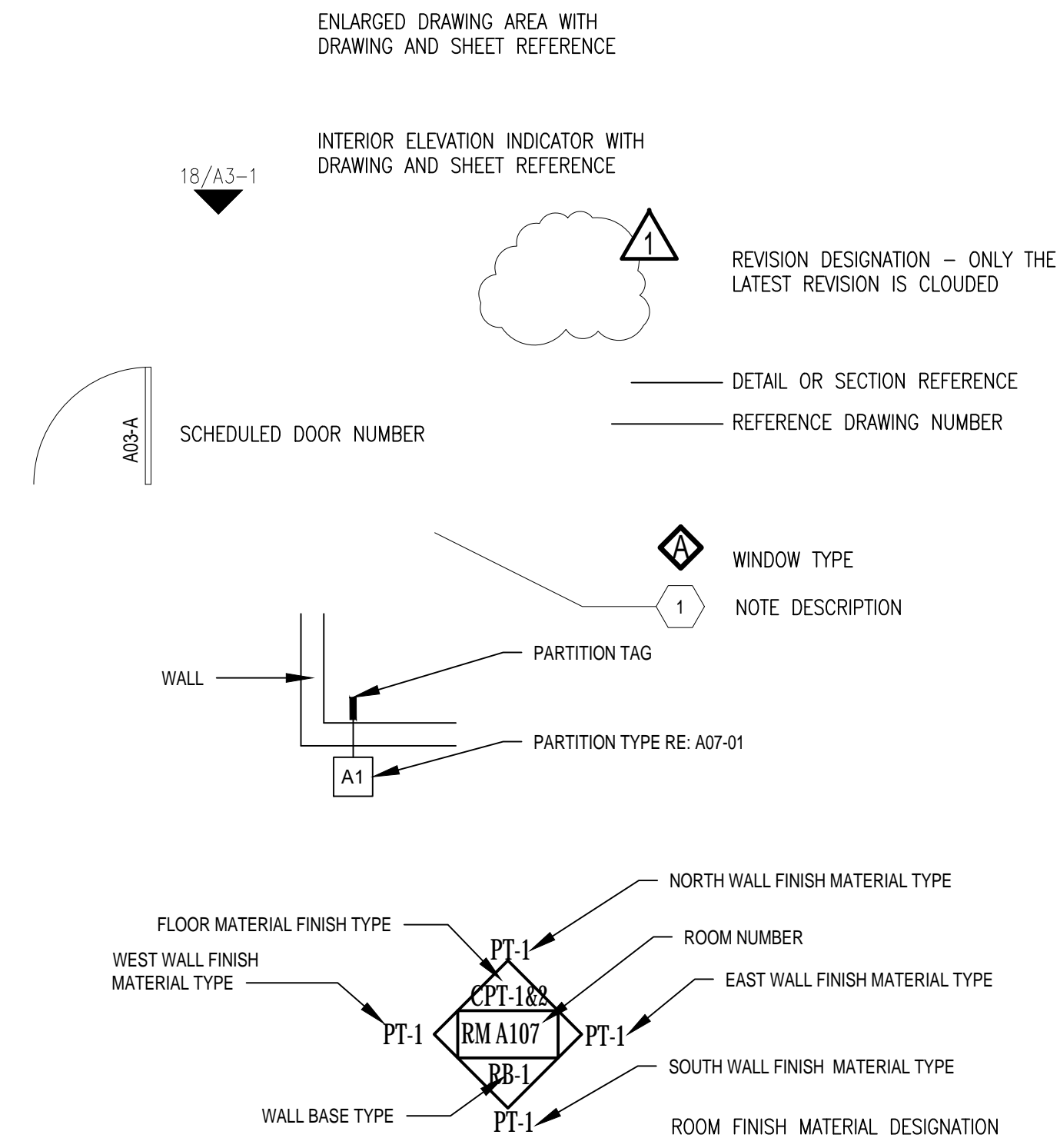
20 SHEET GROUPING
 NTS

21	22	23	24	25
16	17	18	19	20
11	12	13	14	15
6	7	8	9	10
1	2	3	4	5

15 GRID
 NTS

A/C	AIR CONDITIONING	GEN	GENERAL
AB	ANCHOR BOLT	GL	GLASS
AC	ACOUSTIC, ACOUSTICAL	GP	GYPSUM PLASTER
ACC DR	ACCESS DOOR	GRD	GRADE
ACT	ACOUSTIC DOOR	GRT	GROUT
AD	AREA DRAIN	GYP	GYPSUM
AFF	ABOVE FINISH FLOOR	GYP BD	GYPSUM BOARD
ALUM	ALUMINUM	HC	HANDICAP
AMOD	ANODIZED	HD W	HARDWARE
AP	ACCESS PANEL	HOWD	HARDWOOD
AUX	AUXILIARY	HVAC	HEATING, VENTILATING & AIR CONDITIONING
AV	AIR VENT	HW	HOT WATER
BLDG	BUILDING	ID	INSIDE DIAMETER
BLK(G)	BLOCKING	IN	INCHES
BOT	BOTTOM	JAN	JANITOR
BR	BRICK	JT	JOINT
BR	BUILT UP ROOF	LAM(D)	LAMINATE(D)
CI	CHANNEL	LAV	LAVATORY
CAB	CABINET	LH	LEFT HAND
CC	CENTER TO CENTER	MEP	MECHANICAL ELECTRICAL PLUMBING
CD	CEILING DIFFUSER	MET	METAL
CG	CEILING GRILLE	MATL	MATERIAL
CHBD	CHALK BOARD	MAX	MAXIMUM
CHW	CHILLED WATER	MECH	MECHANICAL
		MFR	MANUFACTURER
		MIN	MINIMUM
CI	CAST IRON	NIC	NOT IN CONTRACT
CP	CAST IN PLACE	NTS	NOT TO SCALE
CJ	CONSTRUCTION JOINT	OFF	OFFICE
CJT	CONTROL JOINT	OH	OVERHEAD
CLG	CEILING	OPNG	OPENING
CLO	CLOSET	PL	PLATE
CLRM	CLASSROOM	P LAM	PLASTIC LAMINATE
CD	CLEAN OUT	PLBG	PLUMBING
COL	COLUMN	PLYWD	PLYWOOD
CONC	CONCRETE	PNL	PANEL
CONN	CONNECTION	PRESS	PRESSURE
CONST	CONSTRUCTION	PVMT	PAVEMENT
CONT	CONTINUOUS	PWR	POWER
CORR	CORRIDOR	R	RADIUS, RISER
CPT	CARPET	RCP	REFLECTED CEILING PLAN
CR	CEILING REGISTER	RA	RETURN AIR
CT	CERAMIC TILE	RD	ROOF DRAIN
CW	COLD WATER	RE	REFER
		REQD	REQUIRED
DC	DOOR CLOSER	RM	ROOM
DEMO	DEMOLISH/DEMOLITION	RO	ROUGH OPENING
DET	DETAIL	RT	RIGHT
DM	DIMENSION	SCHED	SCHEDULE(D)
DL	DOOR LOUVER	SF	SQUARE FEET
DN	DOWN	SM	SIMILAR
DR	DOOR	SND	SOUND
DS	DOWNSPOUT	SPEC(S)	SPECIFICATION(S)
DWG	DRAWING	SQ	SQUARE
EA	EACH	SQ IN	SQUARE INCHES
EDF	ELECTRIC DRINKING FOUNTAIN	STL	STEEL
EF	EXHAUST FAN, EACH FACE	STRUCT	STRUCTURE, STRUCTURAL
EJC	EXPANSION JOINT COVER	SYST	SYSTEM
EJT	EXPANSION JOINT	T&B	TOP AND BOTTOM
ELAST	ELASTOMERIC	TC	TOP OF CURB
EL	ELEVATION	TEL	TELEPHONE
ELEC(L)	ELECTRICAL	TEMP	TEMPORARY, TEMPERATURE
ELEV	ELEVATOR/ELEVATION	THK	THICK
EMER	EMERGENCY	THR	THRESHOLD
ENCL	ENCLOSURE	TOC	TOP OF CONCRETE
ENT	ENTRANCE	TV	TELEVISION
EQ	EQUAL	UG	UNDERGROUND
EQUIP	EQUIPMENT	UL	UNDERWRITERS LABORATORY
EXIST	EXISTING	VAC	VACUUM
EXP	EXPANSION	VAV	VARIABLE AIR VOLUME
EXT	EXTERIOR	VCT	VINYL COMPOSITION TILE
FACP	FIRE ALARM CONTROL PANEL	VOL	VOLUME
FD	FLOOR DRAIN	W/	WITH
FDN	FOUNDATION	W/O	WITHOUT
FF	FINISH FLOOR	WC	WATER CLOSET
FIN	FINISH	WD	WOOD
FIXT	FIXTURE	WH	WATER HEATER, WALL HUNG
FJT	FLUSH JOINT	WP	WEEP HOLE
FL(G)	FLOORING		WATERPROOFING, WATERPROOF
FT	FOOT		
FTG	FOOTING		
FURN	FURNITURE		
FV	FIELD VERIFY		
GA	GAUGE		
GALV	GALVANIZED		
GC	GENERAL CONTRACTOR		

1 ABBREVIATIONS
 NTS



16 LEGEND
 NTS

10 GENERAL NOTES
 NTS

- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, SUPERVISION, PERMITS, EQUIPMENT, TOOLS, TRANSPORTATION, WAREHOUSING, AND ANY OTHER SERVICES REQUIRED TO COMPLETE THE SCOPE OF WORK IN A TIMELY AND EFFICIENT MANNER.
- INDIVIDUAL ITEMS OF WORK ARE DETAILED IN THE SCOPE OF WORK SECTION, APPLICABLE TECHNICAL SPECIFICATIONS, THE ATTACHED DRAWINGS, AND THE NOTES AND LEGENDS ON THE DRAWINGS. THE CONTRACTOR IS RESPONSIBLE TO COMPLETE THE REQUIREMENTS FOUND IN ANY OF THE ABOVE. CONTRACTOR SHALL VERIFY DIMENSIONS AND JOB CONDITIONS AT THE JOB SITE PRIOR TO START OF CONSTRUCTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL ALL TEMPORARY BRACING AND SHORING TO INSURE THE SAFETY OF THE WORK UNTIL IT IS IN ITS COMPLETED FORM.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT ALL APPLICABLE SAFETY LAWS ARE STRICTLY ENFORCED AND TO MAINTAIN A SAFE CONSTRUCTION PROJECT. CONTRACTOR TO PROVIDE A JOB SPECIFIC SAFETY PLAN FOR CLIENT REVIEW PRIOR TO START OF WORK.
- DAILY, AND UPON COMPLETION OF THE WORK, CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS, RUBBISH, WASTE, AND SURPLUS MATERIAL FROM THE PREMISES. CONTRACTOR WILL INCUR ALL COSTS FOR DISPOSAL.
- SUBCONTRACTORS SHALL COOPERATE AND COORDINATE BETWEEN VARIOUS TRADES, AND WITH OTHERS WHOSE WORK IS DEPENDENT ON EACH OTHER. SUBCONTRACTOR SHALL INFORM HIMSELF AS TO THE RELATIONSHIP BETWEEN HIS WORK AND OTHER TRADES.
- EACH SUBCONTRACTOR WHOSE WORK IS EXECUTED IN RELATION TO PRIOR WORK SHALL CAREFULLY INSPECT HIS PRIOR WORK AND SUBMIT WRITTEN NOTICE OF ANY DEFECTS, IMPROPER WORKMANSHIP OR MATERIALS, OR OTHER CONDITIONS THAT WOULD AFFECT THE SATISFACTORY EXECUTION AND PERMANENCY OF HIS WORK. NO FURTHER WORK SHALL BE EXECUTED UNTIL SUCH DEFECTS OR CONDITIONS HAVE BEEN CORRECTED OR AN AGREEMENT REACHED WITH OWNER REGARDING DEFECTS WHICH MAY DEVELOP DUE TO CONDITIONS SO NOTED.
- BEFORE ORDERING ANY MATERIAL, OR DOING ANY WORK, THE CONTRACTOR SHALL VERIFY MEASUREMENTS OF THE WORK AND BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. GIVE NOTIFICATION OF ANY DIFFERENCE WHICH MAY BE FOUND BEFORE PROCEEDING WITH THE WORK.
- COOPERATE WITH LOCAL AND OTHER GOVERNMENTAL OFFICIALS AND INSPECTIONS NECESSARY, PROVIDING ASSISTANCE TO EXPEDITE THE INSPECTION.
- ALL WORKMANSHIP MATERIALS, AND CONSTRUCTION RELATING TO THE PROJECT SHALL BE IN COMPLIANCE WITH AND CONFORM TO THE GOVERNING BUILDING CODES AND OTHER APPLICABLE CODES. ALL WORK SHALL BE IN COMPLIANCE WITH THE LATEST EDITION OF THE UNIFORM BUILDING CODE, INTERNATIONAL BUILDING CODE OR NFPA BUILDING CODE CURRENTLY IN FORCE BY THE LOCAL JURISDICTION, AND THE CLIENT PROVIDED ON SITE ACTIVITY SUPPLEMENT AND ALL OTHER LOCAL ORDINANCES AND REQUIREMENTS.
- ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE CODES, AND/OR REGULATIONS HAVING JURISDICTION OVER THE WORK AND SHALL BE PERFORMED IN A GOOD WORKMANSHIP LIKE MANNER IN ACCORDANCE WITH ACCEPTED TRADE STANDARDS BY EXPERIENCED CRAFTSMEN SKILLED IN THEIR RESPECTIVE TRADES.
- PRIOR TO THE COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL CAREFULLY STUDY THE CONTRACT DOCUMENTS AND SHALL IMMEDIATELY REPORT TO THE ARCHITECT ANY ERROR, INCONSISTENCY, OR OMISSION.
- WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND ARCHITECT MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS.
- SUBCONTRACTORS ARE RESPONSIBLE FOR CONFIRMING DIMENSIONS AND FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, AND CORRELATING DIMENSIONS AT THE JOB SITE.
- G.C. SHALL PERFORM CONSTRUCTION ACTIVITIES AND FURNISH AND INSTALL MATERIALS IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL CODES INCLUDING A.D.A.
- ALL DIMENSIONS CONTAINED IN THE SCOPE OF WORK SHALL BE VERIFIED BY CONTRACTOR AND WITH DRAWINGS. DIMENSIONS PROVIDED IN THE SCOPE OF WORK ARE APPROXIMATE VALUES PROVIDED FOR CONVENIENCE AND REFERENCE ONLY.
- DRAWINGS SHOW INTENT OF WORK TO BE PERFORMED. CONTRACTOR SHALL PROVIDE MATERIALS, LABOR, CONNECTIONS, FABRICATIONS, AND ACCESSORIES FOR A COMPLETED PROJECT.
- PROJECT REQUIRES SURETY BOND.
- OBTAIN PERMITS, APPROVALS, INSPECTIONS, CERTIFICATE OF COMPLIANCE, CERTIFICATE OF OCCUPANCY, AND OTHER DOCUMENTS NECESSARY TO COMPLETE THE PROJECT.
- REVIEW THE CONTRACT DOCUMENTS AND PERFORM WORK IN COMPLIANCE WITH THOSE DOCUMENTS.
- COORDINATE WORK WITH THE OWNER'S CONSTRUCTION COORDINATOR, INCLUDING WORK SCHEDULE, AND PERFORM WORK ONLY WITH OWNER'S PRIOR APPROVAL.
- MAINTAIN REQUIRED DOCUMENTS AND UP-TO-DATE CONSTRUCTION PLANS AT JOB SITE. THE CONTRACTOR SHALL SUBMIT AS-BUILT DRAWINGS TO THE CLIENT PROJECT MANAGER UPON COMPLETION OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY PRECAUTIONS DURING CONSTRUCTION AND TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THAT THERE WILL BE NO CONSTRUCTION RELATED DAMAGE TO THE EXISTING BUILDING CONSTRUCTIONS. IF SUCH DAMAGE OCCURS, THEN THE G.C. SHALL PROMPTLY MAKE ALL NECESSARY REPAIRS TO RETURN THE DAMAGED CONSTRUCTION TO A LIKE-NEW CONDITION AND THE EXPENSE OF SAID REPAIRS SHALL BE BORNE SOLELY BY THE G.C.
- CONTRACTOR SHALL PROVIDE A ONE (1) YEAR WARRANTY ON LABOR AND MATERIALS FROM THE DATE OF ACCEPTANCE BY OWNER'S CONSTRUCTION COORDINATOR.
- MATERIAL SUBSTITUTIONS WILL NOT BE ALLOWED UNLESS SUBMITTED IN WRITING.
- SCHEDULE SHOULD BE OPTIMIZED FOR SHORTEST ECONOMICAL COMPLETION.
- BE RESPONSIBLE FOR FINAL CLEANING PRIOR TO TURNING SPACE OVER TO OWNER.
- PROVIDE A LIST OF ALL SUBCONTRACTORS TO BE USED AND SUBMIT LIST TO CLIENT WITHIN 10 WORKING DAYS OF THE CONTRACT.
- MAINTAIN HANDBOOKS, OPERATING MANUALS, PAPERWORK AND KEYS IN A SAFE AND ORGANIZED MANNER. KEYS SHALL BE TAGGED FOR PROPER LOCATIONS. THESE SHALL BE TURNED OVER TO THE TENANT CONSTRUCTION COORDINATOR ALONG WITH CERTIFICATES OF OCCUPANCY, LIEN WAIVERS, WARRANTIES, AND GUARANTEES.
- DO NOT SCALE THESE DRAWINGS FOR DIMENSIONAL INFORMATION. REFER TO DIMENSIONS ON THE SITE PLAN AND THE ENLARGED PLANS. IF THERE IS A CONFLICT WITH THE PLAN DIMENSIONS OR AN EXISTING FIELD CONDITION CONTACT THE ARCHITECT.
- CONTRACTOR SHALL VERIFY EXISTING SITE AND BUILDING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO DEMOLITION ACTIVITIES AND WORK.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS BEFORE COMMENCING WORK.
- AFTER AWARD OF THE CONTRACT, CHANGE ORDER REQUESTS FOR ADDITIONAL MONEY WILL NOT BE APPROVED IF THE WORK COULD HAVE BEEN ANTICIPATED DURING A SITE VISIT BY THE CONTRACTOR.
- CONTRACTOR SHALL NOT SCALE DRAWINGS.
- CONTRACTOR SHALL REMOVE TRASH AND DEBRIS REGULARLY AS NECESSARY TO ELIMINATE INTERFERENCE WITH ROADS, STREET, WALKS, AND ALL OTHER ADJACENT FACILITIES.
- CONTRACTOR SHALL REMOVE TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.
- CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF TEMPORARY DUST AND OR SOUND PARTITION BETWEEN CONSTRUCTION AREA AND AREAS NOT IN SCOPE AS NECESSARY. DEMOLITION ACTIVITIES SHALL BE PERFORMED SO AS TO PRODUCE MINIMAL DISTURBANCE TO EXISTING FACILITY AND OCCUPANTS (I.E. MINIMIZE EXCESSIVE AND PROLONGED NOISE LEVELS AND DUST).
- CONTRACTOR SHALL REPAIR, REPLACE, OR PATCH EXISTING BUILDINGS, DRIVEWAYS, SIDEWALKS, CANOPES, AND OR PARKING AREAS DAMAGED, MODIFIED, AND OR DISTURBED BY DEMOLITION WORK AT NO COST TO THE OWNER.
- ALL EXISTING EQUIPMENT THAT REMAINS SHALL BE PROTECTED DURING DEMOLITION AND OR CONSTRUCTION TO PREVENT DAMAGE. ANY DAMAGE TO REMAINING EXISTING EQUIPMENT SUSTAINED DURING DEMOLITION AND OR CONSTRUCTION SHALL BE EQUIVALENTLY REPLACED OR EQUIVALENTLY REPAIRED AT NO COST TO THE OWNER.
- CONTRACTOR SHALL PROVIDE TRAFFIC HANDLING MEASURES TO PROTECT THE GENERAL PUBLIC AT ALL TIMES, AS NECESSARY AND AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- DO NOT INTERRUPT EXISTING UTILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES INCLUDING BUT NOT LIMITED TO THE FOLLOWING: ELECTRIC, GAS, WATER, TELEPHONE, STORM SEWER, AND SANITARY SEWER FOR FIELD LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITY LINES. PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORK, CONTRACTOR SHALL IDENTIFY ALL ELECTRICAL CIRCUITS SERVICING THE AREA INVOLVED WITH THIS DEMOLITION. THESE CIRCUITS SHALL THEN BE LOCKED OUT AND TAGGED OUT IF THEY DO NOT SERVICE ANY OF THE REMAINING BUILDING. THOSE CIRCUITS WHICH ARE IDENTIFIED TO SERVICE BOTH THE AREA TO BE DEMOLISHED AND THE REMAINING BUILDING SHALL BE SPLIT SO AS TO KILL ALL ELECTRICAL POWER TO THE AREA TO BE DEMOLISHED WHILE MAINTAINING POWER TO THE REMAINDER OF THE BUILDING.
- PROTECT EXISTING SITE ELEMENTS AND EXISTING LANDSCAPING TO REMAIN. PROTECTION SHALL INCLUDE BUT NOT BE LIMITED TO EXISTING TREES AND OTHER EXISTING VEGETATION INDICATED TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING, OR SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIAL OR EXCAVATED MATERIAL WITHIN DRIP LINES.
- CONTRACTOR SHALL RE-GRADE AND HYDRO-MULCH AREAS AFFECTED BY DEMOLITION AND/OR NEW WORK. OWNER HAS RIGHT OF FIRST REFUSAL OF ALL ITEMS REMOVED AS PART OF THE SCOPE OF WORK, WHETHER IDENTIFIED AS SALVAGE OR NOT.
- NOTIFY THE BUILDING OWNER OF ANY MATERIALS, FIXTURES, ETC. TO BE REMOVED THAT ARE DEEMED SALVAGEABLE. TURN OVER ANY REQUESTED ITEMS TO THE BUILDING OWNER IN GOOD AND CLEAN CONDITION.
- ALL FURNITURE WILL BE REMOVED OR RELOCATED BY THE OWNER AS NECESSARY PRIOR TO THE DEMOLITION WORK OF THIS PROJECT. CONTRACTOR SHALL COORDINATE WITH OWNER AS REQUIRED.
- REMOVE EXISTING CONSTRUCTION TO THE EXTENT INDICATED ON THE DRAWINGS. SHOULD ANY DAMAGE OCCUR TO ANY EXISTING CONSTRUCTION TO REMAIN, THE CONTRACTOR SHALL REPAIR THE DAMAGE TO MATCH EXISTING AND OR ADJACENT CONSTRUCTION AT NO COST TO THE OWNER.
- ALL DASHED LINES ARE DEMOLITION LINES UNLESS OTHERWISE NOTED.

Sheet List Table

Sheet Number	Sheet Title	DATE	REV01	REV02	REV03	REV04	REV05
ARCHITECTURE: A - Canyon Pointe Elementary School							
A000	COVER SHEET	05/28/2024					
A100	GENERAL INFORMATION AND DRAWING INDEX	05/28/2024					
A200	CANYON POINTE ELEMENTARY SCHOOL SITE PLAN	05/28/2024					
A400	TYPICAL FENCE DETAILS	05/28/2024					

REVISIONS

CANYON POINTE ELEMENTARY SCHOOL

TOMBALL INDEPENDENT SCHOOL DISTRICT
 13002 NORTHPOINTE BLVD
 TOMBALL, TX 77377



ARCHITECTS
 AND PLANNING
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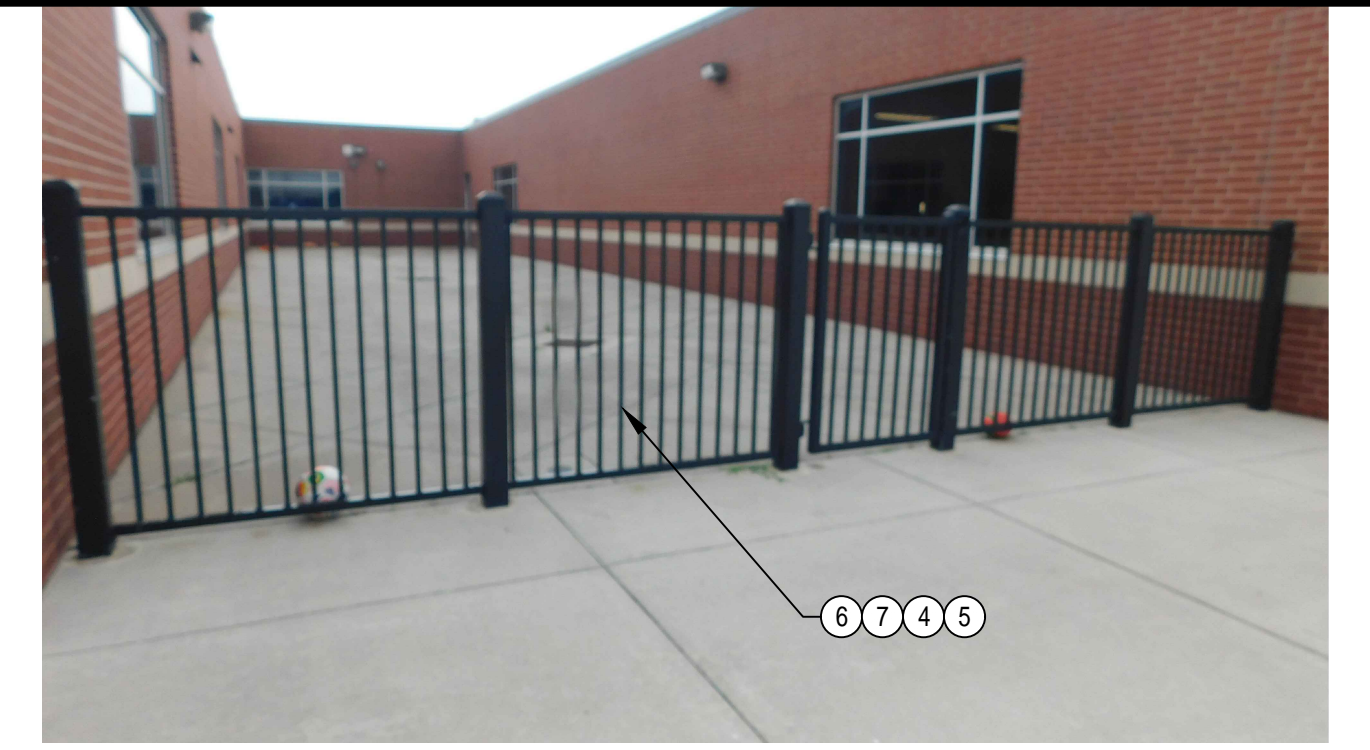
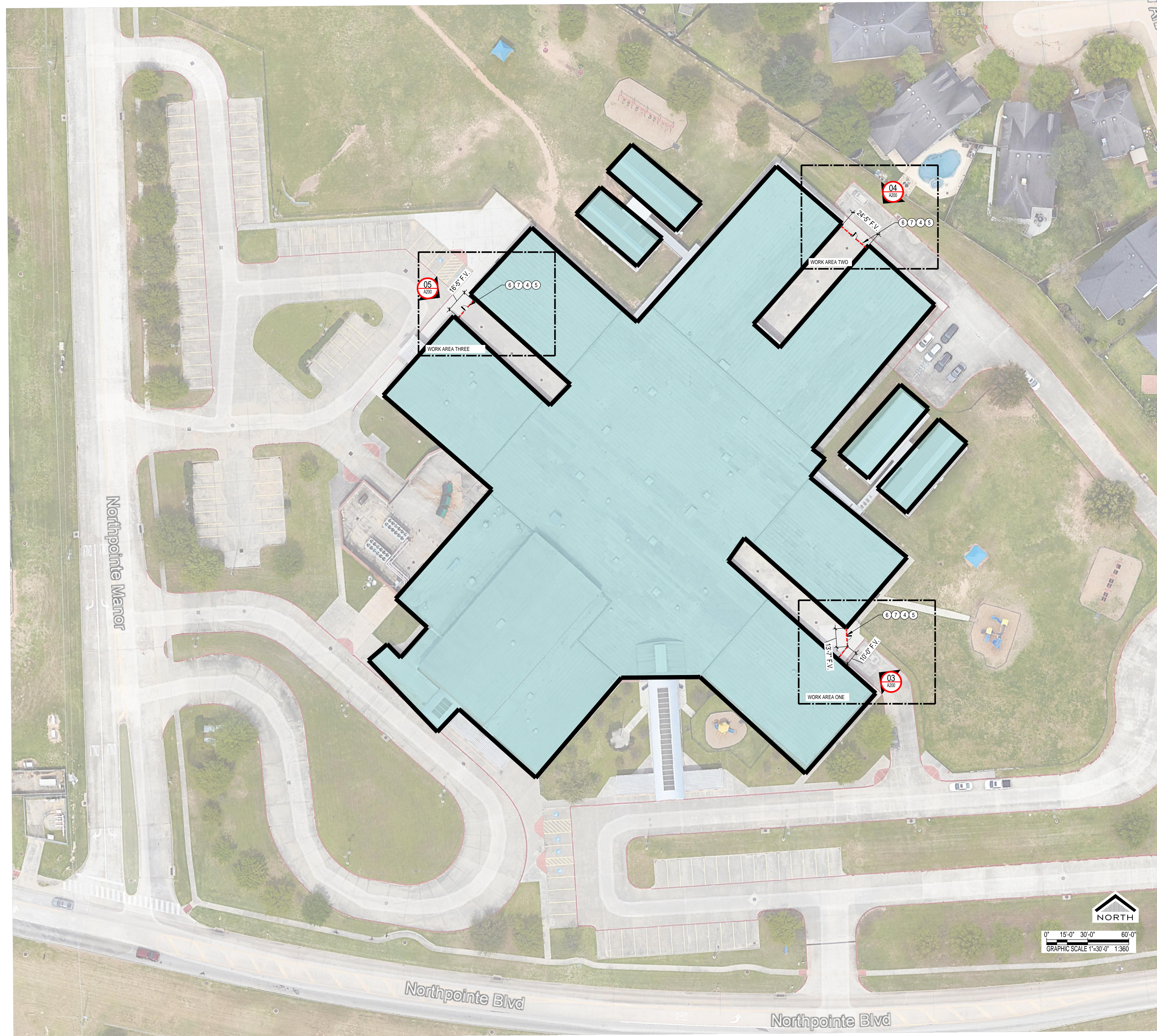
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 DATE:
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GENERAL INFORMATION
 AND DRAWING INDEX

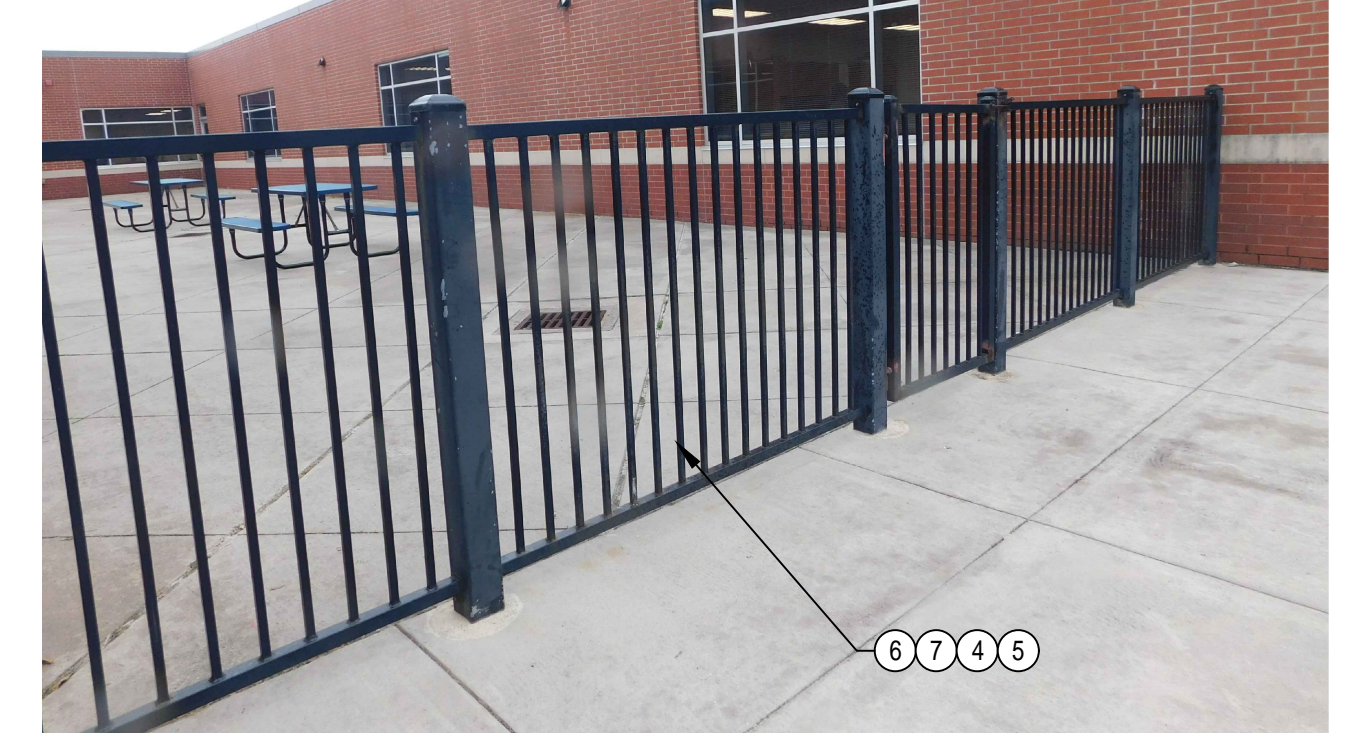
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03 DRAWING INDEX
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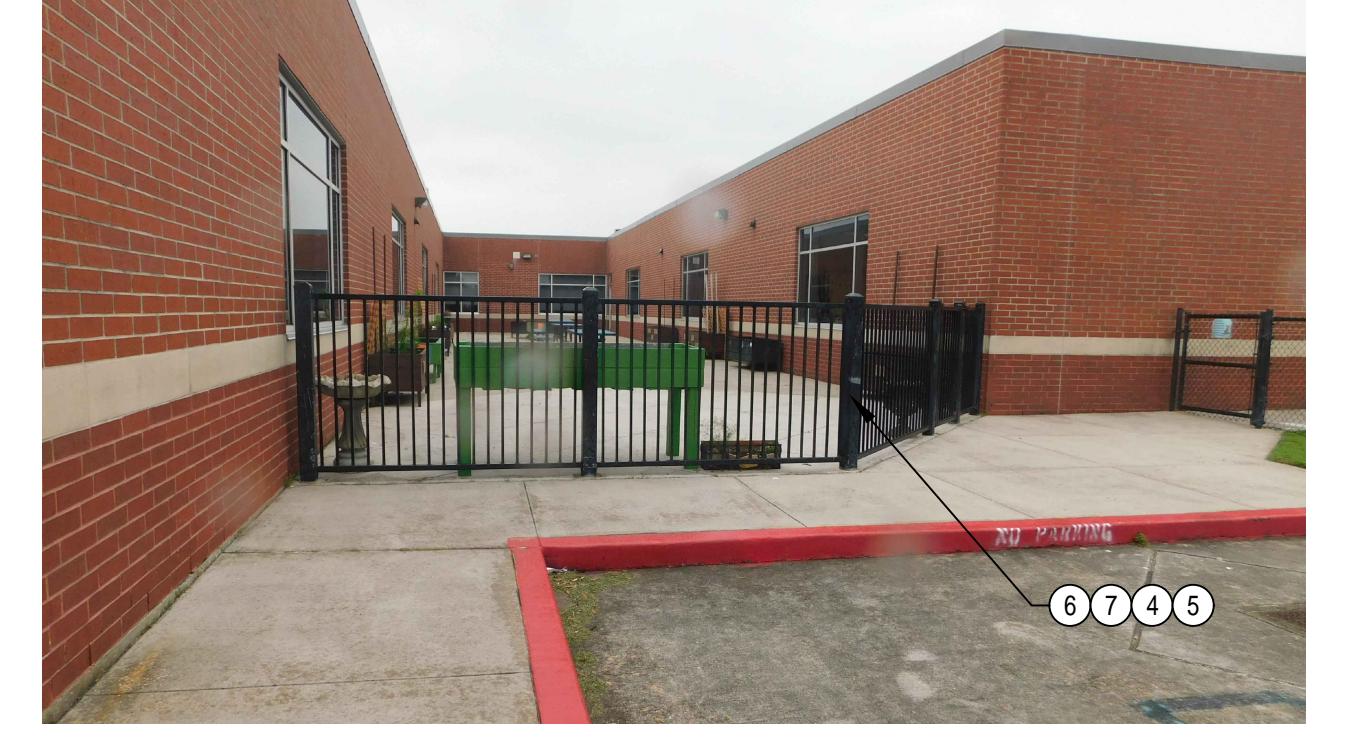
F:\2024\24-10\184\facilities_secure_fencing\DWG\CANYON POINT ELEMENTARY SCHOOL SITE PLAN.dwg May 27, 2024 - 6:52pm



05 PHOTO 3
1" = 30'-0"



04 PHOTO 2
1" = 30'-0"



03 PHOTO 1
1" = 30'-0"

KEYNOTES	
NUM	DESCRIPTION
1	EXISTING FENCE AND OR GATE TO REMAIN
2	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE
3	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE GATE 42" WIDE WITH PANIC HARDWARE
4	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL FENCE
5	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL FENCE GATE 42" WIDE WITH PANIC HARDWARE
6	REMOVE EXISTING FENCE
7	REMOVE EXISTING GATE
8	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL SLIDING FENCE GATE TWENTY FOOT WIDE
9	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL DOUBLE SWING FENCE GATE TWELVE FOOT WIDE
10	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE GATE 36" WIDE
11	CUT OPENING IN EXISTING FENCE TO INSTALL GATE
12	INSTALL SLATS IN EXISTING SEVEN FOOT HIGH CHAINLINK FENCE
13	INSTALL SIX FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE WITH SLAT INSERTS
14	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK DOUBLE FENCE GATE 36 FEET WIDE
15	INSTALL PANIC HARDWARE ON EXISTING DOOR. INCLUDE PROTECTION OF DOOR PANIC DEVICE FROM OUTSIDE ACTIVATION
16	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE SLIDING FENCE GATE TWENTY FOOT WIDE
17	PROVIDE KNOXBOX FOR FIRE DEPARTMENT ACCESS
18	REVERSE SWING OF GATE, REMOVE EXISTING MAGLOCK DEVICE AND PROVIDE PANIC DEVICE PER KEYNOTE 15
19	PAINT FENCE BLACK.
20	REPAIR EXISTING GATE OPERATOR TO WORKING CONDITION.

02 KEYNOTES
1:1

01 CANYON POINT SITE PLAN
1" = 30'-0"

02 RE: 02/A400 - ORNAMENTAL FENCE DETAILS

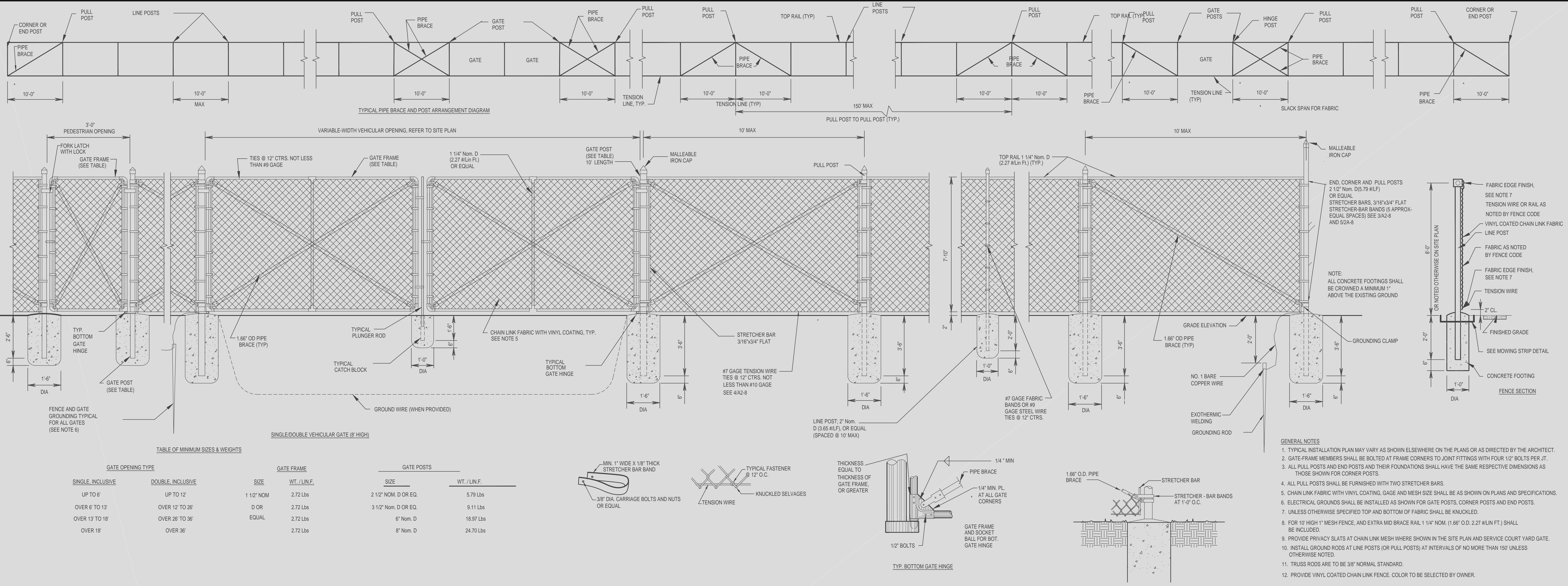
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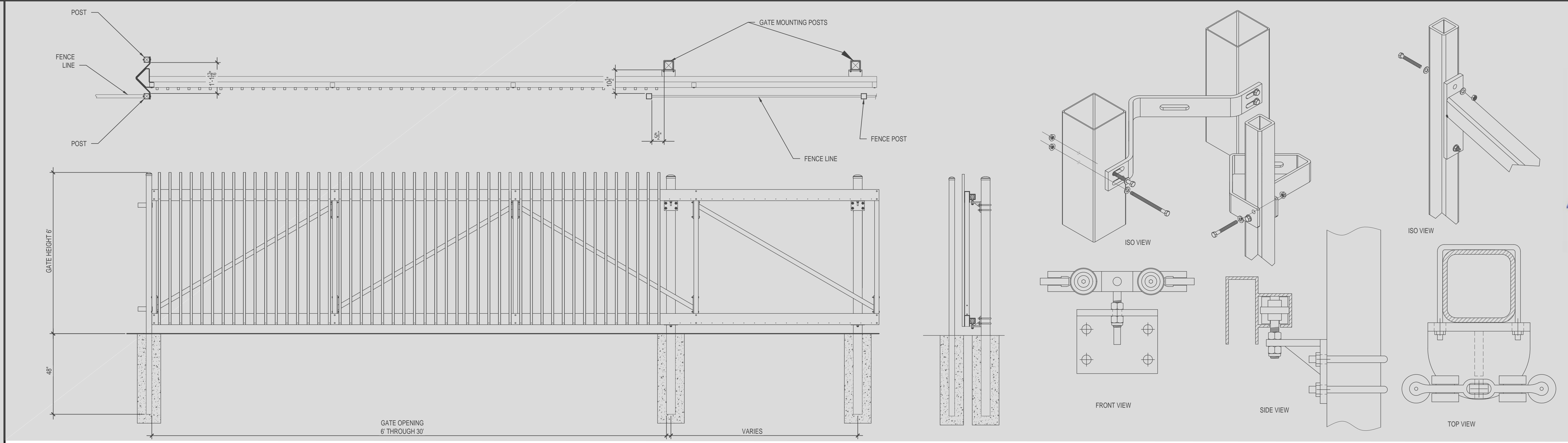
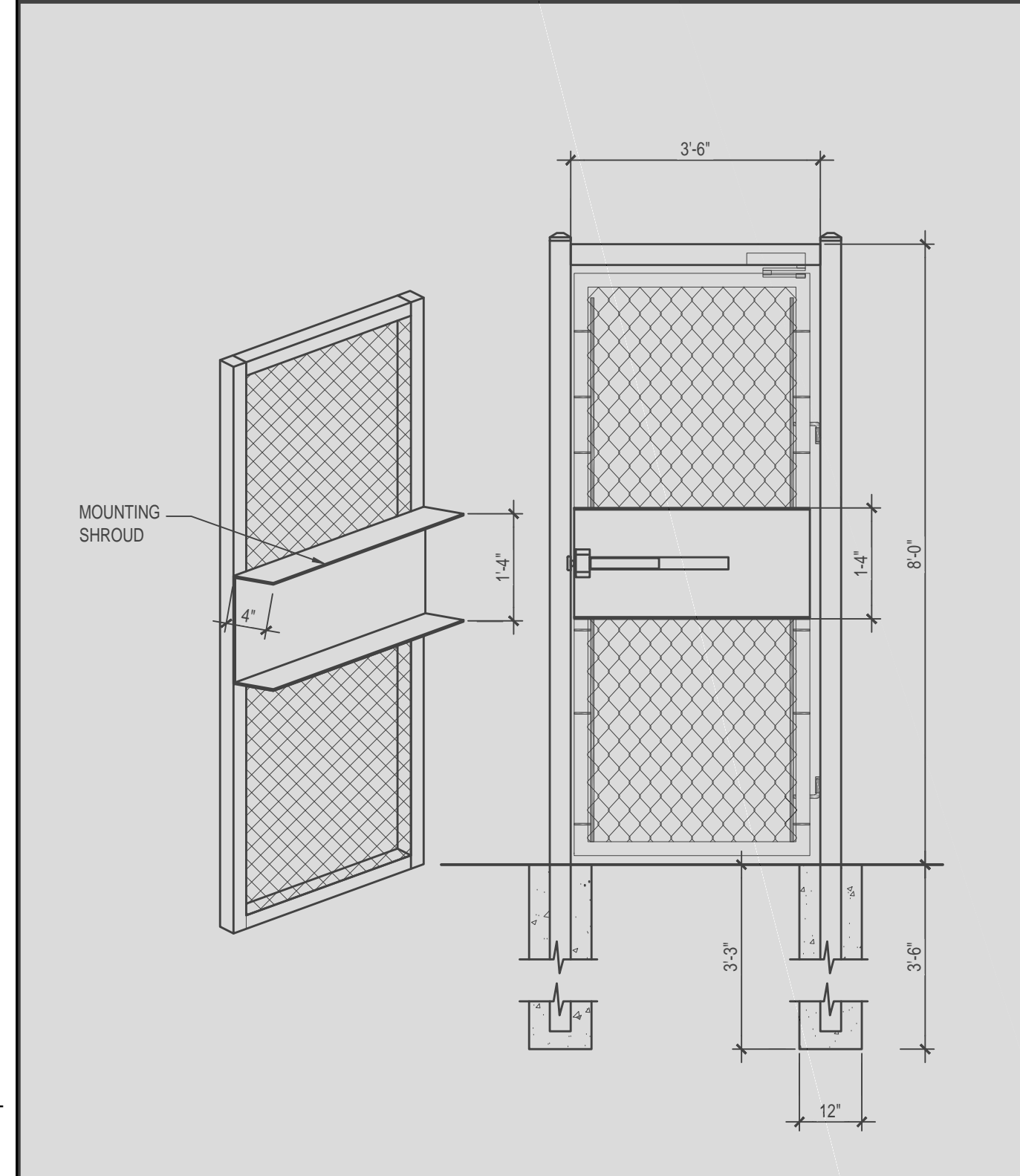
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DATE:
ISSUED FOR:
CANYON POINT ELEMENTARY SCHOOL SITE PLAN
A200



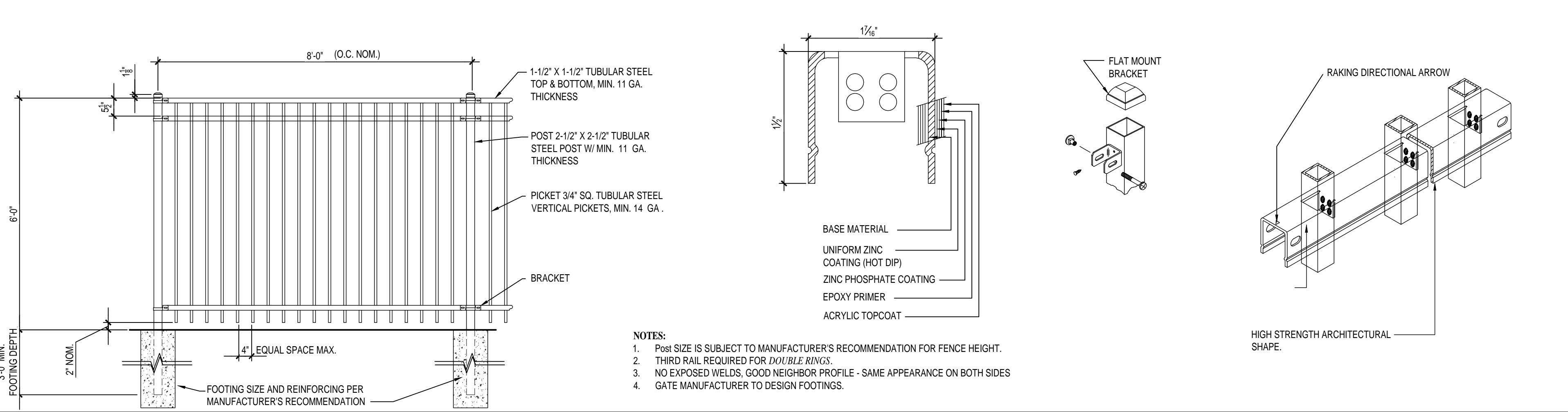
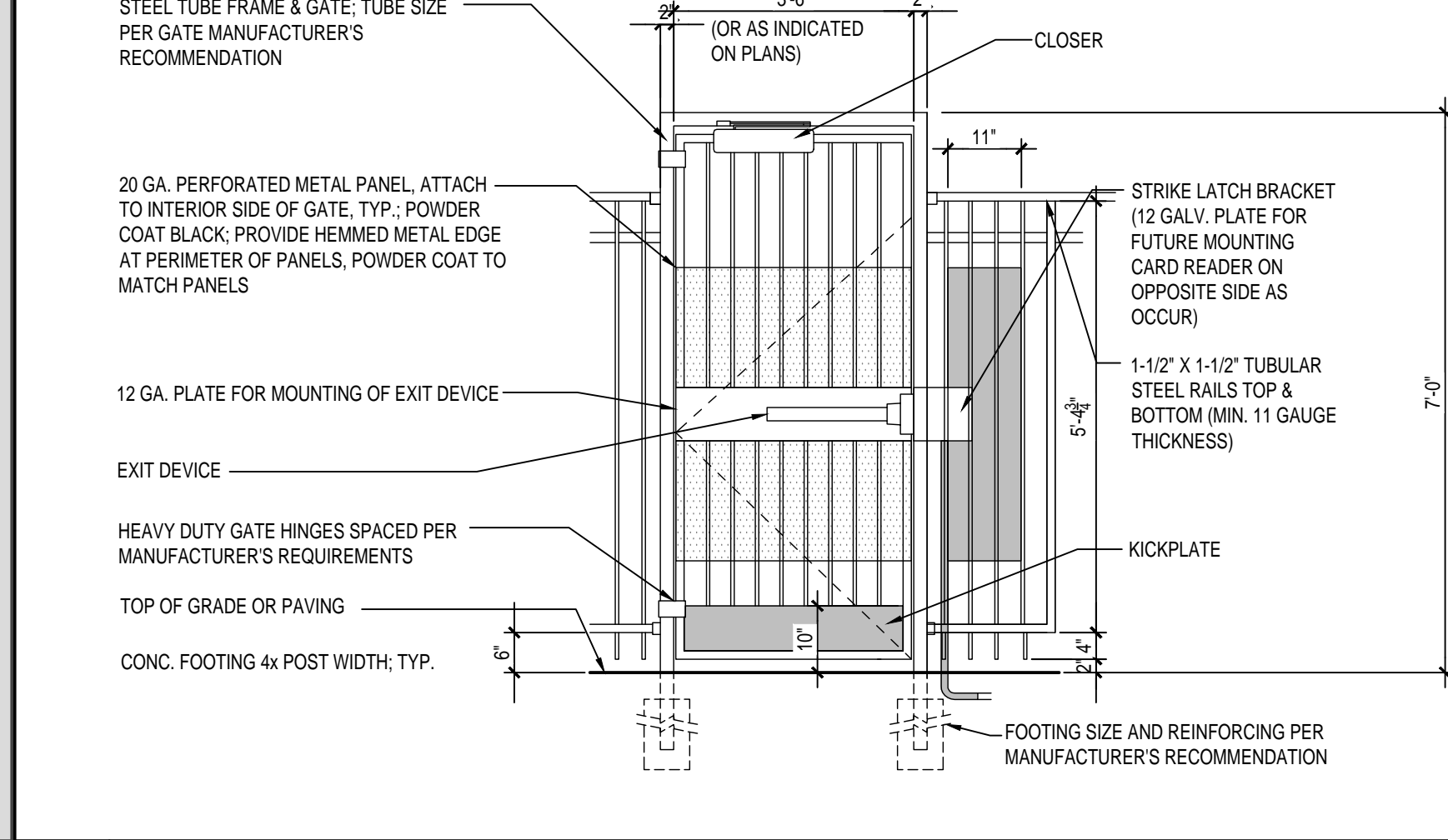
REVISIONS

CANYON POINTE ELEMENTARY SCHOOL
TOMBALL INDEPENDENT SCHOOL DISTRICT
 13002 NORTHPOINTE BLVD
 TOMBALL, TX 77377

11 CHAIN LINK DETAILS
 1/2" = 1'-0" 1_XREF



- ACCESS GATE SPECS:**
- 3" SQ. POSTS AND HEADER (11 GA.)
 - 2" SQ. GATE FRAME (14 GA.) 12"
 - CLOSER ALLEGION LCN 4040
 - 5" ADJUSTABLE J-BOLT HINGES
 - PANIC BAR EXIT DEVICE: VON DUPRN 99E10
 - 16" X 8" X 1/4" GALVANIZED MOUNTING SHROUD
 - 9 GA. CHAIN LINK
 - POST TO BE FLANGE W/ HILTY BOLTS
 - KEY OVERRIDE W/CONST. CORE KSP RIM HOUSING 60.7 PIN
 - POWDER COATING
 - KEY LOCK DESCRIPTION:
 - 11.1. TRIM 998L-RV
 - 11.2. ESBOUCTION PLATE SIZE: 2-3/4" X 10-3/4" X 1/2"
 - 11.3. PROJECTION: 2-7/8"
 - 11.4. ANSI FUNCTION: 08
 - 11.5. CYLINDER TYPE: RM
 - 11.6. HANDING: HANDED/REVERSIBLE
 - 11.7. #425 S/NB QUANTITY FOR DEVICE 2



01 EMERGENCY CHAIN LINK EXIT GATE
 1/2" = 1'-0" 1_XREF

02 ORNAMENTAL FENCE DETAILS
 1/2" = 1'-0" 1_XREF



PROJ. NO.: 24-10
 DATE:
 ISSUED FOR:
TYPICAL FENCE DETAILS
 A400

F:\2024\24-10 bid facilities secure fencing\DWG\STYPTICAL FENCE DETAILS.dwg May 27, 2024 - 6:52pm



TOMBALL INDEPENDENT SCHOOL DISTRICT

310 S. Cherry Street
TOMBALL, TEXAS 77375

DISTRICT-WIDE SECURITY FENCING IMPROVEMENTS

ADMINISTRATION

DR. MARTHA SALAZAR-ZAMORA	SUPERINTENDENT OF SCHOOLS
DR. AMY SCHINDEWOLF	CHIEF OF STAFF
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ISSUED FOR BIDDING - 5/28/24

REVISIONS

EARLY EXCELLENCE ACADEMY
TOMBALL INDEPENDENT SCHOOL DISTRICT
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TOMBALL, TX 77375



ARCHITECTS
AND PLANNING
CONSULTANTS
11767 KATY FREEWAY, STE 430
HOUSTON, TEXAS 77079

PROJ. NO.: 24-10
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COVER SHEET

B000

GROUP OR DIVISION NUMBER
 A000—SEQUENTIAL SHEET NUMBER WITHIN GROUP
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20 SHEET GROUPING
 NTS

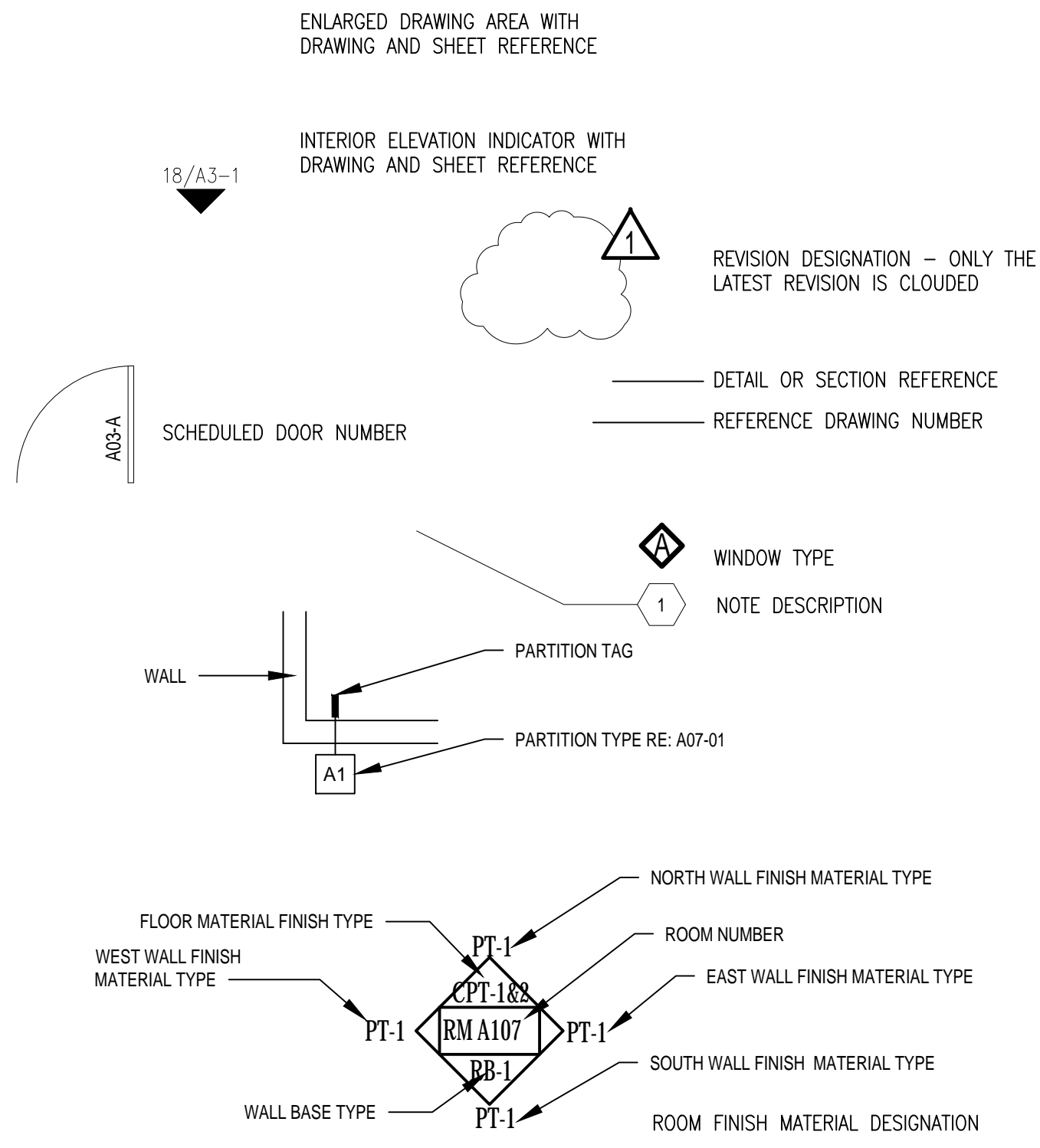
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16	17	18	19	20
11	12	13	14	15
6	7	8	9	10
1	2	3	4	5

15 GRID
 NTS

A/C	AIR CONDITIONING	GEN	GENERAL
AB	ANCHOR BOLT	GL	GLASS
AC	ACOUSTIC, ACOUSTICAL	GP	GYPSSUM PLASTER
ACC DR	ACCESS DOOR	GRD	GRADE
ACT	ACOUSTIC DOOR	GRT	GROUT
AD	AREA DRAIN	GYP	GYPSSUM
AFF	ABOVE FINISH FLOOR	GYP BD	GYPSSUM BOARD
ALUM	ALUMINUM	HC	HANDICAP
AMOD	ANODIZED	HD W	HARDWARE
AP	ACCESS PANEL	HOWD	HARDWOOD
AUX	AUXILIARY	HVAC	HEATING, VENTILATING & AIR CONDITIONING
AV	AIR VENT	HW	HOT WATER
BLDG	BUILDING	ID	INSIDE DIAMETER
BLK(G)	BLOCKING	IN	INCHES
BOT	BOTTOM	JAN	JANITOR
BR	BRICK	JT	JOINT
BR	BUILT UP ROOF	LAM(D)	LAMINATE(D)
CI	CHANNEL	LAV	LAVATORY
CAB	CABINET	LH	LEFT HAND
CC	CENTER TO CENTER	MEP	MECHANICAL ELECTRICAL PLUMBING
CD	CEILING DIFFUSER	MET	METAL
CG	CEILING GRILLE	MATL	MATERIAL
CHBD	CHALK BOARD	MAX	MAXIMUM
CHW	CHILLED WATER	MECH	MECHANICAL
		MFR	MANUFACTURER
		MIN	MINIMUM
CI	CAST IRON	NIC	NOT IN CONTRACT
CP	CAST IN PLACE	NTS	NOT TO SCALE
CJ	CONSTRUCTION JOINT	OFF	OFFICE
CJT	CONTROL JOINT	OH	OVERHEAD
CLG	CEILING	OPNG	OPENING
CLO	CLOSET	PL	PLATE
CLRM	CLASSROOM	P LAM	PLASTIC LAMINATE
CD	CLEAN OUT	PLBG	PLUMBING
COL	COLUMN	PLYWD	PLYWOOD
CONC	CONCRETE	PNL	PANEL
CONN	CONNECTION	PRESS	PRESSURE
CONST	CONSTRUCTION	PWIR	POWER
CONT	CONTINUOUS	R	RADIUS, RISER
CORR	CORRIDOR	RCP	REFLECTED CEILING PLAN
CPT	CARPET	RA	RETURN AIR
CR	CEILING REGISTER	RD	ROOF DRAIN
CT	CERAMIC TILE	RE	REFER
CW	COLD WATER	REQD	REQUIRED
		RH	ROOM
DC	DOOR CLOSER	RO	ROUGH OPENING
DEMO	DEMOLISH/DEMOLITION	RT	RIGHT
DET	DETAIL	SCHED	SCHEDULE(D)
DM	DIMENSION	SF	SQUARE FEET
DL	DOOR LOUVER	SM	SIMILAR
DN	DOWN	SND	SOUND
DR	DOOR	SPEC(S)	SPECIFICATION(S)
DS	DOWNSPOUT	SQ	SQUARE
DWG	DRAWING	SQ IN	SQUARE INCHES
EA	EACH	STL	STEEL
EDF	ELECTRIC DRINKING FOUNTAIN	STRUCT	STRUCTURE, STRUCTURAL
EF	EXHAUST FAN, EACH FACE	SYST	SYSTEM
EJC	EXPANSION JOINT COVER	T&B	TOP AND BOTTOM
EJT	EXPANSION JOINT	TC	TOP OF CURB
ELAST	ELASTOMERIC	TEL	TELEPHONE
EL	ELEVATION	TEMP	TEMPORARY, TEMPERATURE
ELEC(L)	ELECTRICAL	THK	THICK
ELEV	ELEVATOR/ELEVATION	THR	THRESHOLD
EMER	EMERGENCY	TOC	TOP OF CONCRETE
ENCL	ENCLOSURE	TV	TELEVISION
ENT	ENTRANCE	UG	UNDERGROUND
EQ	EQUAL	UL	UNDERWRITERS LABORATORY
EQUIP	EQUIPMENT	VAC	VACUUM
EXIST	EXISTING	VAV	VARIABLE AIR VOLUME
EXP	EXPANSION	VCT	VINYL COMPOSITION TILE
EXT	EXTERIOR	VOL	VOLUME
FACP	FIRE ALARM CONTROL PANEL	W/	WITH
FD	FLOOR DRAIN	W/O	WITHOUT
FDN	FOUNDATION	WC	WATER CLOSET
FF	FINISH FLOOR	WD	WOOD
FIN	FINISH	WH	WATER HEATER, WALL HUNG
FIN	FINISH	WH	WATER HEATER, WALL HUNG
FT	FOOT	WHP	WEEP HOLE
FTG	FOOTING	WP	WATERPROOFING, WATERPROOF
FURN	FURNITURE		
FV	FIELD VERIFY		
GA	GAUGE		
GALV	GALVANIZED		
GC	GENERAL CONTRACTOR		

1 ABBREVIATIONS
 NTS

16 LEGEND
 NTS



03 DRAWING INDEX
 NTS

10 GENERAL NOTES
 NTS

- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, SUPERVISION, PERMITS, EQUIPMENT, TOOLS, TRANSPORTATION, WAREHOUSING, AND ANY OTHER SERVICES REQUIRED TO COMPLETE THE SCOPE OF WORK IN A TIMELY AND EFFICIENT MANNER.
- INDIVIDUAL ITEMS OF WORK ARE DETAILED IN THE SCOPE OF WORK SECTION, APPLICABLE TECHNICAL SPECIFICATIONS, THE ATTACHED DRAWINGS, AND THE NOTES AND LEGENDS ON THE DRAWINGS. THE CONTRACTOR IS RESPONSIBLE TO COMPLETE THE REQUIREMENTS FOUND IN ANY OF THE ABOVE. CONTRACTOR SHALL VERIFY DIMENSIONS AND JOB CONDITIONS AT THE JOB SITE PRIOR TO START OF CONSTRUCTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL ALL TEMPORARY BRACING AND SHORING TO INSURE THE SAFETY OF THE WORK UNTIL IT IS IN ITS COMPLETED FORM.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT ALL APPLICABLE SAFETY LAWS ARE STRICTLY ENFORCED AND TO MAINTAIN A SAFE CONSTRUCTION PROJECT. CONTRACTOR TO PROVIDE A JOB SPECIFIC SAFETY PLAN FOR CLIENT REVIEW PRIOR TO START OF WORK.
- DAILY, AND UPON COMPLETION OF THE WORK, CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS, RUBBISH, WASTE, AND SURPLUS MATERIAL FROM THE PREMISES. CONTRACTOR WILL INCUR ALL COSTS FOR DISPOSAL.
- SUBCONTRACTORS SHALL COOPERATE AND COORDINATE BETWEEN VARIOUS TRADES, AND WITH OTHERS WHOSE WORK IS DEPENDENT ON EACH OTHER. SUBCONTRACTOR SHALL INFORM HIMSELF AS TO THE RELATIONSHIP BETWEEN HIS WORK AND OTHER TRADES.
- EACH SUBCONTRACTOR WHOSE WORK IS EXECUTED IN RELATION TO PRIOR WORK SHALL CAREFULLY INSPECT HIS PRIOR WORK AND SUBMIT WRITTEN NOTICE OF ANY DEFECTS, IMPROPER WORKMANSHIP OR MATERIALS, OR OTHER CONDITIONS THAT WOULD AFFECT THE SATISFACTORY EXECUTION AND PERMANENCY OF HIS WORK. NO FURTHER WORK SHALL BE EXECUTED UNTIL SUCH DEFECTS OR CONDITIONS HAVE BEEN CORRECTED OR AN AGREEMENT REACHED WITH OWNER REGARDING DEFECTS WHICH MAY DEVELOP DUE TO CONDITIONS SO NOTED.
- BEFORE ORDERING ANY MATERIAL, OR DOING ANY WORK, THE CONTRACTOR SHALL VERIFY MEASUREMENTS OF THE WORK AND BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. GIVE NOTIFICATION OF ANY DIFFERENCE WHICH MAY BE FOUND BEFORE PROCEEDING WITH THE WORK.
- COOPERATE WITH LOCAL AND OTHER GOVERNMENTAL OFFICIALS AND INSPECTIONS NECESSARY, PROVIDING ASSISTANCE TO EXPEDITE THE INSPECTION.
- ALL WORKMANSHIP MATERIALS, AND CONSTRUCTION RELATING TO THE PROJECT SHALL BE IN COMPLIANCE WITH AND CONFORM TO THE GOVERNING BUILDING CODES AND OTHER APPLICABLE CODES. ALL WORK SHALL BE IN COMPLIANCE WITH THE LATEST EDITION OF THE UNIFORM BUILDING CODE, INTERNATIONAL BUILDING CODE OR NFPA BUILDING CODE CURRENTLY IN FORCE BY THE LOCAL JURISDICTION, AND THE CLIENT PROVIDED ON SITE ACTIVITY SUPPLEMENT AND ALL OTHER LOCAL ORDINANCES AND REQUIREMENTS.
- ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE CODES, AND/OR REGULATIONS HAVING JURISDICTION OVER THE WORK AND SHALL BE PERFORMED IN A GOOD WORKMANSHIP LIKE MANNER IN ACCORDANCE WITH ACCEPTED TRADE STANDARDS BY EXPERIENCED CRAFTSMEN SKILLED IN THEIR RESPECTIVE TRADES.
- PRIOR TO THE COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL CAREFULLY STUDY THE CONTRACT DOCUMENTS AND SHALL IMMEDIATELY REPORT TO THE ARCHITECT ANY ERROR, INCONSISTENCY, OR OMISSION.
- WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND ARCHITECT MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS.
- SUBCONTRACTORS ARE RESPONSIBLE FOR CONFIRMING DIMENSIONS AND FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, AND CORRELATING DIMENSIONS AT THE JOB SITE.
- G.C. SHALL PERFORM CONSTRUCTION ACTIVITIES AND FURNISH AND INSTALL MATERIALS IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL CODES INCLUDING A.D.A.
- ALL DIMENSIONS CONTAINED IN THE SCOPE OF WORK SHALL BE VERIFIED BY CONTRACTOR AND WITH DRAWINGS. DIMENSIONS PROVIDED IN THE SCOPE OF WORK ARE APPROXIMATE VALUES PROVIDED FOR CONVENIENCE AND REFERENCE ONLY.
- DRAWINGS SHOW INTENT OF WORK TO BE PERFORMED. CONTRACTOR SHALL PROVIDE MATERIALS, LABOR, CONNECTIONS, FABRICATIONS, AND ACCESSORIES FOR A COMPLETED PROJECT.
- PROJECT REQUIRES SURETY BOND.
- OBTAIN PERMITS, APPROVALS, INSPECTIONS, CERTIFICATE OF COMPLIANCE, CERTIFICATE OF OCCUPANCY, AND OTHER DOCUMENTS NECESSARY TO COMPLETE THE PROJECT.
- REVIEW THE CONTRACT DOCUMENTS AND PERFORM WORK IN COMPLIANCE WITH THOSE DOCUMENTS.
- COORDINATE WORK WITH THE OWNER'S CONSTRUCTION COORDINATOR, INCLUDING WORK SCHEDULE, AND PERFORM WORK ONLY WITH OWNER'S PRIOR APPROVAL.
- MAINTAIN REQUIRED DOCUMENTS AND UP-TO-DATE CONSTRUCTION PLANS AT JOB SITE. THE CONTRACTOR SHALL SUBMIT AS-BUILT DRAWINGS TO THE CLIENT PROJECT MANAGER UPON COMPLETION OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY PRECAUTIONS DURING CONSTRUCTION AND TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THAT THERE WILL BE NO CONSTRUCTION RELATED DAMAGE TO THE EXISTING BUILDING CONSTRUCTIONS. IF SUCH DAMAGE OCCURS, THEN THE G.C. SHALL PROMPTLY MAKE ALL NECESSARY REPAIRS TO RETURN THE DAMAGED CONSTRUCTION TO A LIKE-NEW CONDITION AND THE EXPENSE OF SAID REPAIRS SHALL BE BORNE SOLELY BY THE G.C.
- CONTRACTOR SHALL PROVIDE A ONE (1) YEAR WARRANTY ON LABOR AND MATERIALS FROM THE DATE OF ACCEPTANCE BY OWNER'S CONSTRUCTION COORDINATOR.
- MATERIAL SUBSTITUTIONS WILL NOT BE ALLOWED UNLESS SUBMITTED IN WRITING. SCHEDULE SHOULD BE OPTIMIZED FOR SHORTEST ECONOMIC COMPLETION.
- BE RESPONSIBLE FOR FINAL CLEANING PRIOR TO TURNING SPACE OVER TO OWNER.
- PROVIDE A LIST OF ALL SUBCONTRACTORS TO BE USED AND SUBMIT LIST TO CLIENT WITHIN 10 WORKING DAYS OF THE CONTRACT.
- MAINTAIN HANDBOOKS, OPERATING MANUALS, PAPERWORK AND KEYS IN A SAFE AND ORGANIZED MANNER. KEYS SHALL BE TAGGED FOR PROPER LOCATIONS. THESE SHALL BE TURNED OVER TO THE TENANT CONSTRUCTION COORDINATOR ALONG WITH CERTIFICATES OF OCCUPANCY, LIEN WAIVERS, WARRANTIES, AND GUARANTEES.
- DO NOT SCALE THESE DRAWINGS FOR DIMENSIONAL INFORMATION. REFER TO DIMENSIONS ON THE SITE PLAN AND THE ENLARGED PLANS. IF THERE IS A CONFLICT WITH THE PLAN DIMENSIONS OR AN EXISTING FIELD CONDITION CONTACT THE ARCHITECT.
- CONTRACTOR TO PROVIDE LETTER AT END OF PROJECT CERTIFYING THAT MATERIALS USED ON PROJECT ARE ASBESTOS FREE.
- BUILDERS QUOTE SHOULD BE IN COMPLIANCE WITH ALL CLIENT TERMS, CONDITIONS, AND SECURITY REQUIREMENTS. SAME IS TRUE FOR CURRENT CONTRACT SERVICE PROVIDERS SHOULD THEY DO THE WORK.
- DEMOLITION PLANS INDICATE SOME OF THE SCOPE-OF-WORK INVOLVED FOR THE DEMOLITION PHASE OF THIS PROJECT. CONTRACTOR SHALL REVIEW ALL SHEETS FOR ADDITIONAL DEMOLITION SCOPE.
- CONTRACTOR SHALL VERIFY EXISTING SITE AND BUILDING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO DEMOLITION ACTIVITIES AND WORK.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS BEFORE COMMENCING WORK.
- AFTER AWARD OF THE CONTRACT, CHANGE ORDER REQUESTS FOR ADDITIONAL MONEY WILL NOT BE APPROVED IF THE WORK COULD HAVE BEEN ANTICIPATED DURING A SITE VISIT BY THE CONTRACTOR.
- CONTRACTOR SHALL NOT SCALE DRAWINGS.
- CONTRACTOR SHALL REMOVE TRASH AND DEBRIS REGULARLY AS NECESSARY TO ELIMINATE INTERFERENCE WITH ROADS, STREET, WALKS, AND ALL OTHER ADJACENT FACILITIES.
- CONTRACTOR SHALL REMOVE TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.
- CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF TEMPORARY DUST AND OR SOUND PARTITION BETWEEN CONSTRUCTION AREA AND AREAS NOT IN SCOPE AS NECESSARY. DEMOLITION ACTIVITIES SHALL BE PERFORMED SO AS TO PRODUCE MINIMAL DISTURBANCE TO EXISTING FACILITY AND OCCUPANTS (I.E. MINIMIZE EXCESSIVE AND PROLONGED NOISE LEVELS AND DUST).
- CONTRACTOR SHALL REMOVE, REPLACE, OR PATCH EXISTING BUILDINGS, DRIVEWAYS, SIDEWALKS, CANOPIES, AND OR PARKING AREAS DAMAGED, MODIFIED, AND OR DISTURBED BY DEMOLITION WORK AT NO COST TO THE OWNER.
- ALL EXISTING EQUIPMENT THAT REMAINS SHALL BE PROTECTED DURING DEMOLITION AND OR CONSTRUCTION TO PREVENT DAMAGE. ANY DAMAGE TO REMAINING EXISTING EQUIPMENT SUSTAINED DURING DEMOLITION AND OR CONSTRUCTION SHALL BE EQUIVALENTLY REPLACED OR EQUIVALENTLY REPAIRED AT NO COST TO THE OWNER.
- CONTRACTOR SHALL PROVIDE TRAFFIC HANDLING MEASURES TO PROTECT THE GENERAL PUBLIC AT ALL TIMES, AS NECESSARY AND AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- DO NOT INTERRUPT EXISTING UTILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES INCLUDING BUT NOT LIMITED TO THE FOLLOWING: ELECTRIC, GAS, WATER, TELEPHONE, STORM SEWER, AND SANITARY SEWER FOR FIELD LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITY LINES. PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORK, CONTRACTOR SHALL IDENTIFY ALL ELECTRICAL CIRCUITS SERVICING THE AREA INVOLVED WITH THIS DEMOLITION. THESE CIRCUITS SHALL THEN BE LOCKED OUT AND TAGGED OUT IF THEY DO NOT SERVICE ANY OF THE REMAINING BUILDING. THOSE CIRCUITS WHICH ARE IDENTIFIED TO SERVICE BOTH THE AREA TO BE DEMOLISHED AND THE REMAINING BUILDING SHALL BE SPLIT SO AS TO KILL ALL ELECTRICAL POWER TO THE AREA TO BE DEMOLISHED WHILE MAINTAINING POWER TO THE REMAINDER OF THE BUILDING.
- PROTECT EXISTING SITE ELEMENTS AND EXISTING LANDSCAPING TO REMAIN. PROTECTION SHALL INCLUDE BUT NOT BE LIMITED TO EXISTING TREES AND OTHER EXISTING VEGETATION INDICATED TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING, OR SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SNOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIAL OR EXCAVATED MATERIAL WITHIN DRIP LINES.
- CONTRACTOR SHALL RE-GRADE AND HYDRO-MULCH AREAS AFFECTED BY DEMOLITION AND/OR NEW WORK. OWNER HAS RIGHT OF FIRST REFUSAL OF ALL ITEMS REMOVED AS PART OF THE SCOPE OF WORK, WHETHER IDENTIFIED AS SALVAGE OR NOT.
- NOTIFY THE BUILDING OWNER OF ANY MATERIALS, FIXTURES, ETC. TO BE REMOVED THAT ARE DEEMED SALVAGEABLE. TURN OVER ANY REQUESTED ITEMS TO THE BUILDING OWNER IN GOOD AND CLEAN CONDITION.
- ALL FURNITURE WILL BE REMOVED OR RELOCATED BY THE OWNER AS NECESSARY PRIOR TO THE DEMOLITION WORK OF THIS PROJECT. CONTRACTOR SHALL COORDINATE WITH OWNER AS REQUIRED.
- REMOVE EXISTING CONSTRUCTION TO THE EXTENT INDICATED ON THE DRAWINGS. SHOULD ANY DAMAGE OCCUR TO ANY EXISTING CONSTRUCTION TO REMAIN, THE CONTRACTOR SHALL REPAIR THE DAMAGE TO MATCH EXISTING AND OR ADJACENT CONSTRUCTION AT NO COST TO THE OWNER.
- ALL DASHED LINES ARE DEMOLITION LINES UNLESS OTHERWISE NOTED.

Sheet List Table

Sheet Number	Sheet Title	DATE	REV01	REV02	REV03	REV04
ARCHITECTURE: B - Early Excellence Academy						
B000	COVER SHEET	05/28/2024				
B100	GENERAL INFORMATION AND DRAWING INDEX	05/28/2024				
B200	EARLY EXCELLENCE ACADEMY	05/28/2024				
B400	TYPICAL FENCE DETAILS	05/28/2024				

REVISIONS

EARLY EXCELLENCE ACADEMY
 TOMBALL INDEPENDENT SCHOOL DISTRICT
 1440 KEEFER RD
 TOMBALL, TX 77375



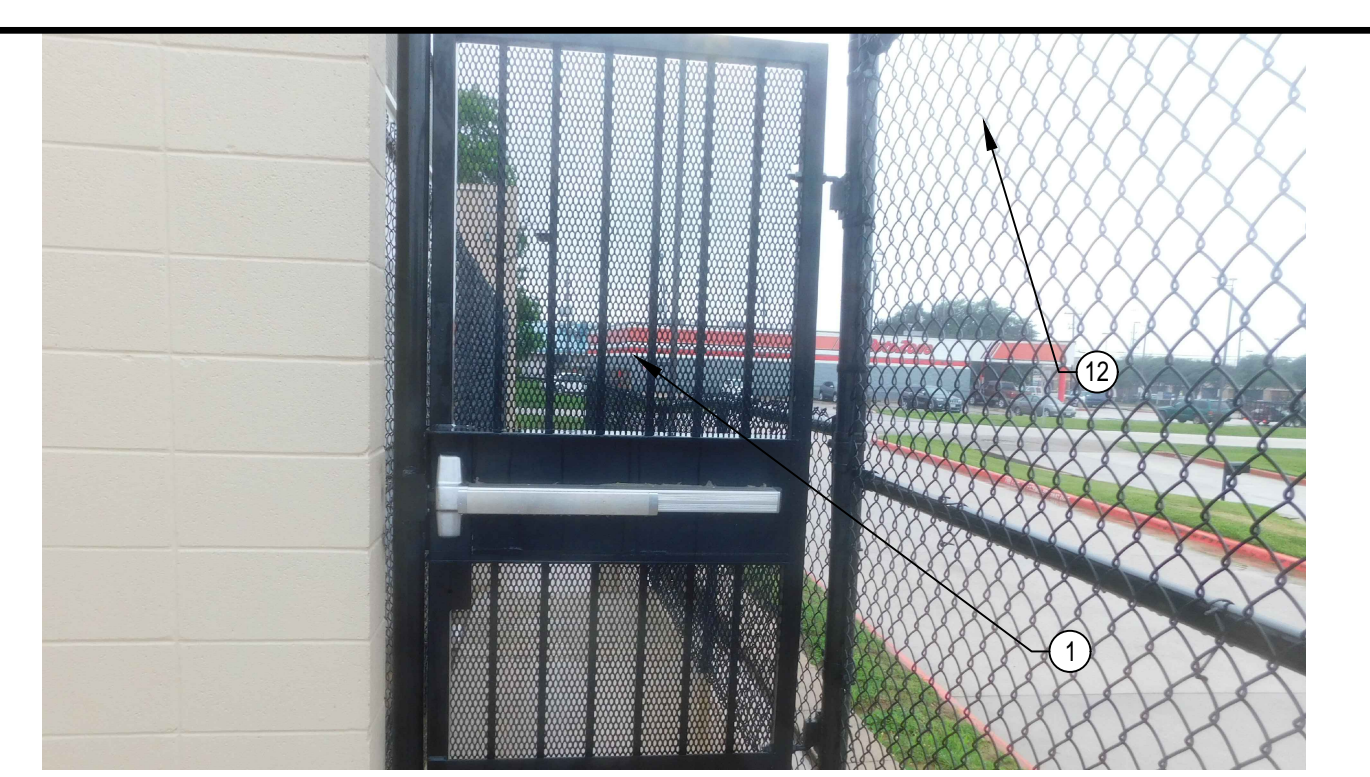
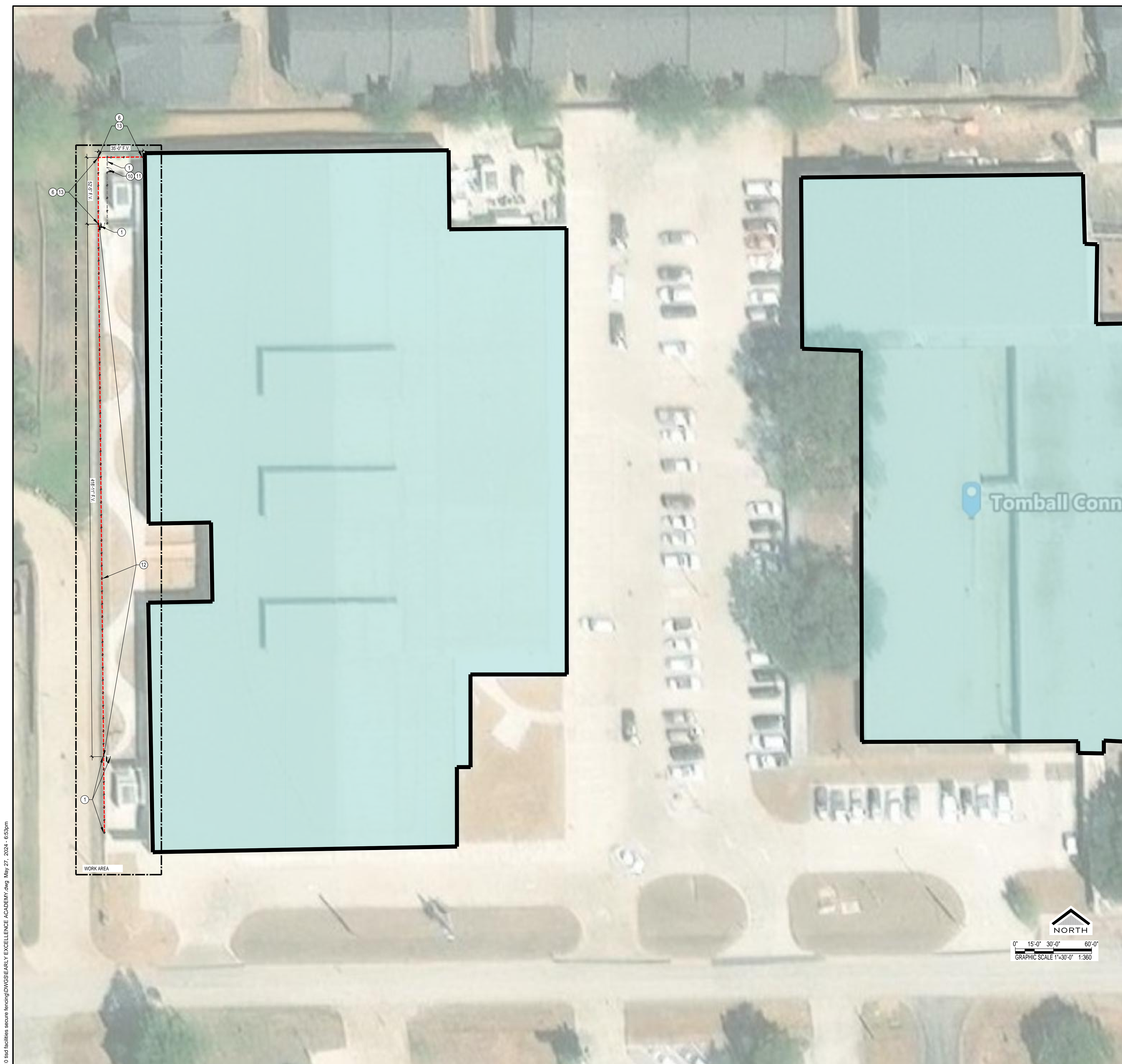
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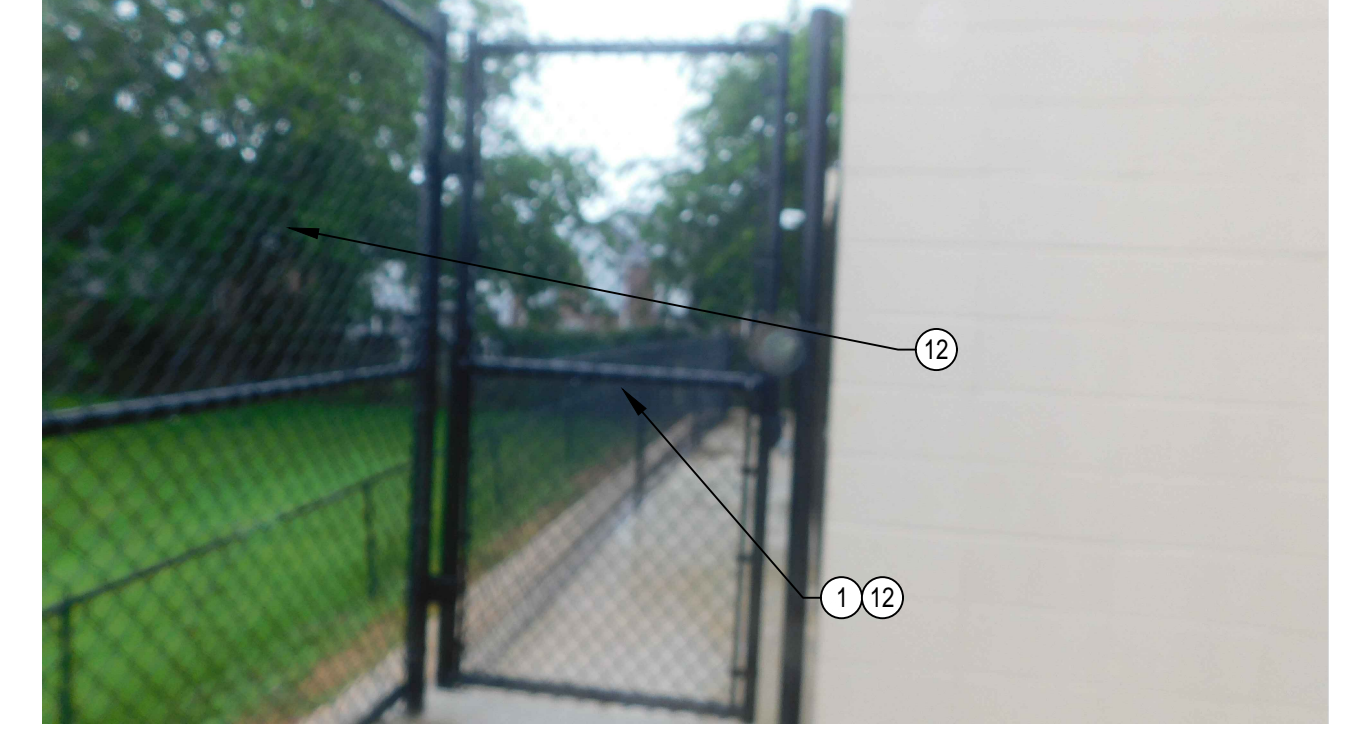
B100



05 PHOTO 1
1" = 30'-0" XREF



04 PHOTO 2
1" = 30'-0" XREF



03 PHOTO 3
1" = 30'-0" XREF

KEYNOTES	
NUM	DESCRIPTION
1	EXISTING FENCE AND OR GATE TO REMAIN
2	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE
3	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE GATE 42' WIDE WITH PANIC HARDWARE
4	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL FENCE
5	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL FENCE GATE 42' WIDE WITH PANIC HARDWARE
6	REMOVE EXISTING FENCE
7	REMOVE EXISTING GATE
8	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL SLIDING FENCE GATE TWENTY FOOT WIDE
9	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL DOUBLE SWING FENCE GATE TWELVE FOOT WIDE
10	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE GATE 36' WIDE
11	CUT OPENING IN EXISTING FENCE TO INSTALL GATE
12	INSTALL SLATS IN EXISTING SEVEN FOOT HIGH CHAINLINK FENCE
13	INSTALL SIX FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE WITH SLAT INSERTS
14	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK DOUBLE FENCE GATE 36 FEET WIDE
15	INSTALL PANIC HARDWARE ON EXISTING DOOR. INCLUDE PROTECTION OF DOOR PANIC DEVICE FROM OUTSIDE ACTIVATION
16	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE SLIDING FENCE GATE TWENTY FOOT WIDE
17	PROVIDE KNOXBOX FOR FIRE DEPARTMENT ACCESS
18	REVERSE SWING OF GATE, REMOVE EXISTING MAGLOCK DEVICE AND PROVIDE PANIC DEVICE PER KEYNOTE 15
19	PAINT FENCE BLACK.
20	REPAIR EXISTING GATE OPERATOR TO WORKING CONDITION.

02 KEYNOTES
1:1

01 EARLY EXCELLENCE ACADEMY SITE PLAN
1" = 30'-0" XREF

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TOMBALL INDEPENDENT SCHOOL DISTRICT

310 S. Cherry Street
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DISTRICT-WIDE SECURITY FENCING IMPROVEMENTS

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DR. AMY SCHINDEWOLF	CHIEF OF STAFF
DR. STEVEN GUTIERREZ	CHIEF OPERATING OFFICER
DR. MICHAEL WEBB	CHIEF ACADEMIC OFFICER
ZACHERY BOLES	CHIEF FINANCIAL OFFICER
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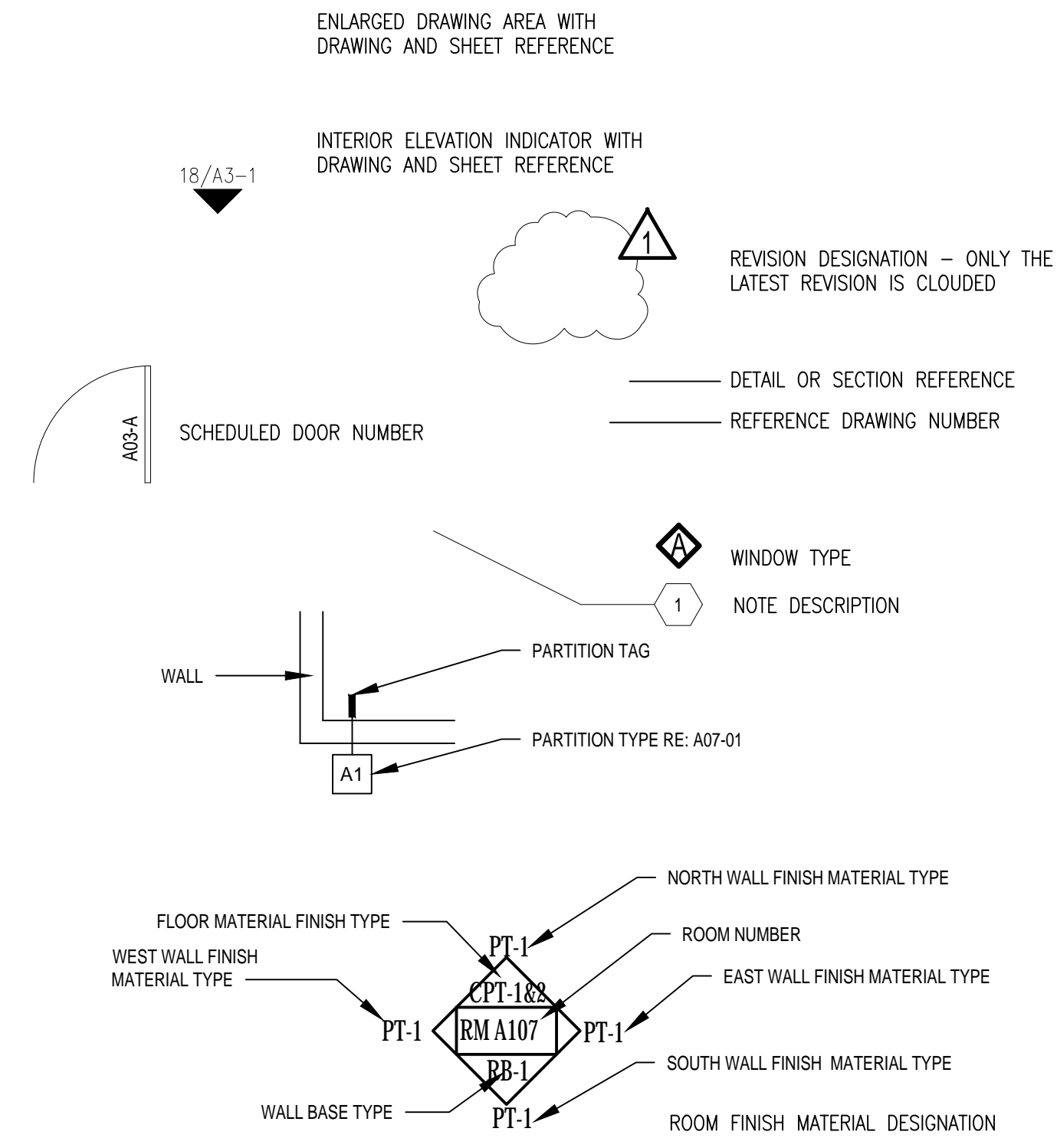
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CJT	CONTROL JOINT	OH	OVERHEAD
CLG	CEILING	OPNG	OPENING
CLO	CLOSET	PL	PLATE
CLRM	CLASSROOM	P LAM	PLASTIC LAMINATE
CD	CLEAN OUT	PLBG	PLUMBING
COL	COLUMN	PLYWD	PLYWOOD
CONC	CONCRETE	PNL	PANEL
CONN	CONNECTION	PRESS	PRESSURE
CONST	CONSTRUCTION	PVMT	PAVEMENT
CONT	CONTINUOUS	PWR	POWER
CORR	CORRIDOR	R	RADIUS, RISER
CPT	CARPET	RCP	REFLECTED CEILING PLAN
CR	CEILING REGISTER	RA	RETURN AIR
CT	CERAMIC TILE	RD	ROOF DRAIN
CW	COLD WATER	RE	REFER
		REQD	REQUIRED
DC	DOOR CLOSER	RM	ROOM
DEMO	DEMOLISH/DEMOLITION	RO	ROUGH OPENING
DET	DETAIL	RT	RIGHT
DM	DIMENSION	SCHED	SCHEDULE(D)
DL	DOOR LOUVER	SF	SQUARE FEET
DN	DOWN	SM	SIMILAR
DR	DOOR	SND	SOUND
DS	DOWNSPOUT	SPEC(S)	SPECIFICATION(S)
DWG	DRAWING	SQ	SQUARE
EA	EACH	SQ IN	SQUARE INCHES
EDF	ELECTRIC DRINKING FOUNTAIN	STL	STEEL
EF	EXHAUST FAN, EACH FACE	STRUCT	STRUCTURE, STRUCTURAL
EJC	EXPANSION JOINT COVER	SYST	SYSTEM
EJT	EXPANSION JOINT	T&B	TOP AND BOTTOM
ELAST	ELASTOMERIC	TC	TOP OF CURB
EL	ELEVATION	TEL	TELEPHONE
ELEC(L)	ELECTRICAL	TEMP	TEMPORARY, TEMPERATURE
ELEV	ELEVATOR/ELEVATION	THK	THICK
EMER	EMERGENCY	THR	THRESHOLD
ENCL	ENCLOSURE	TOC	TOP OF CONCRETE
ENT	ENTRANCE	TV	TELEVISION
EQ	EQUAL	UG	UNDERGROUND
EQUIP	EQUIPMENT	UL	UNDERWRITERS LABORATORY
EXIST	EXISTING	VAC	VACUUM
EXP	EXPANSION	VAV	VARIABLE AIR VOLUME
EXT	EXTERIOR	VCT	VINYL COMPOSITION TILE
FACP	FIRE ALARM CONTROL PANEL	VOL	VOLUME
FD	FLOOR DRAIN	W	WITH
FDN	FOUNDATION	WO	WITHOUT
FF	FINISH FLOOR	WC	WATER CLOSET
FIN	FINISH	WD	WOOD
FIT	FIXTURE	WH	WATER HEATER, WALL HUNG
FJT	FLUSH JOINT	WHP	WEEP HOLE
FL(G)	FLOORING	WP	WATERPROOFING, WATERPROOF
FT	FOOT		
FTG	FOOTING		
FURN	FURNITURE		
FV	FIELD VERIFY		
GA	GAUGE		
GALV	GALVANIZED		
GC	GENERAL CONTRACTOR		

16 LEGEND
 NTS



10 GENERAL NOTES
 NTS

- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, SUPERVISION, PERMITS, EQUIPMENT, TOOLS, TRANSPORTATION, WAREHOUSING, AND ANY OTHER SERVICES REQUIRED TO COMPLETE THE SCOPE OF WORK IN A TIMELY AND EFFICIENT MANNER.
- INDIVIDUAL ITEMS OF WORK ARE DETAILED IN THE SCOPE OF WORK SECTION, APPLICABLE TECHNICAL SPECIFICATIONS, THE ATTACHED DRAWINGS, AND THE NOTES AND LEGENDS ON THE DRAWINGS. THE CONTRACTOR IS RESPONSIBLE TO COMPLETE THE REQUIREMENTS FOUND IN ANY OF THE ABOVE. CONTRACTOR SHALL VERIFY DIMENSIONS AND JOB CONDITIONS AT THE JOB SITE PRIOR TO START OF CONSTRUCTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL ALL TEMPORARY BRACING AND SHORING TO INSURE THE SAFETY OF THE WORK UNTIL IT IS IN ITS COMPLETED FORM.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT ALL APPLICABLE SAFETY LAWS ARE STRICTLY ENFORCED AND TO MAINTAIN A SAFE CONSTRUCTION PROJECT. CONTRACTOR TO PROVIDE A JOB SPECIFIC SAFETY PLAN FOR CLIENT REVIEW PRIOR TO START OF WORK.
- DAILY, AND UPON COMPLETION OF THE WORK, CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS, RUBBISH, WASTE, AND SURPLUS MATERIAL FROM THE PREMISES. CONTRACTOR WILL INCUR ALL COSTS FOR DISPOSAL.
- SUBCONTRACTORS SHALL COOPERATE AND COORDINATE BETWEEN VARIOUS TRADES, AND WITH OTHERS WHOSE WORK IS DEPENDENT ON EACH OTHER. SUBCONTRACTOR SHALL INFORM HIMSELF AS TO THE RELATIONSHIP BETWEEN HIS WORK AND OTHER TRADES.
- EACH SUBCONTRACTOR WHOSE WORK IS EXECUTED IN RELATION TO PRIOR WORK SHALL CAREFULLY INSPECT HIS PRIOR WORK AND SUBMIT WRITTEN NOTICE OF ANY DEFECTS, IMPROPER WORKMANSHIP OR MATERIALS, OR OTHER CONDITIONS THAT WOULD AFFECT THE SATISFACTORY EXECUTION AND PERMANENCY OF HIS WORK. NO FURTHER WORK SHALL BE EXECUTED UNTIL SUCH DEFECTS OR CONDITIONS HAVE BEEN CORRECTED OR AN AGREEMENT REACHED WITH OWNER REGARDING DEFECTS WHICH MAY DEVELOP DUE TO CONDITIONS SO NOTED.
- BEFORE ORDERING ANY MATERIAL, OR DOING ANY WORK, THE CONTRACTOR SHALL VERIFY MEASUREMENTS OF THE WORK AND BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. GIVE NOTIFICATION OF ANY DIFFERENCE WHICH MAY BE FOUND BEFORE PROCEEDING WITH THE WORK.
- COOPERATE WITH LOCAL AND OTHER GOVERNMENTAL OFFICIALS AND INSPECTIONS NECESSARY, PROVIDING ASSISTANCE TO EXPEDITE THE INSPECTION.
- ALL WORKMANSHIP MATERIALS, AND CONSTRUCTION RELATING TO THE PROJECT SHALL BE IN COMPLIANCE WITH AND CONFORM TO THE GOVERNING BUILDING CODES AND OTHER APPLICABLE CODES. ALL WORK SHALL BE IN COMPLIANCE WITH THE LATEST EDITION OF THE UNIFORM BUILDING CODE, INTERNATIONAL BUILDING CODE OR NFPA BUILDING CODE CURRENTLY IN FORCE BY THE LOCAL JURISDICTION, AND THE CLIENT PROVIDED ON SITE ACTIVITY SUPPLEMENT AND ALL OTHER LOCAL ORDINANCES AND REQUIREMENTS.
- ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE CODES, AND/OR REGULATIONS HAVING JURISDICTION OVER THE WORK AND SHALL BE PERFORMED IN A GOOD WORKMANSHIP LIKE MANNER IN ACCORDANCE WITH ACCEPTED TRADE STANDARDS BY EXPERIENCED CRAFTSMEN SKILLED IN THEIR RESPECTIVE TRADES.
- PRIOR TO THE COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL CAREFULLY STUDY THE CONTRACT DOCUMENTS AND SHALL IMMEDIATELY REPORT TO THE ARCHITECT ANY ERROR, INCONSISTENCY, OR OMISSION.
- WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND ARCHITECT MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS.
- SUBCONTRACTORS ARE RESPONSIBLE FOR CONFIRMING DIMENSIONS AND FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, AND CORRELATING DIMENSIONS AT THE JOB SITE.
- G.C. SHALL PERFORM CONSTRUCTION ACTIVITIES AND FURNISH AND INSTALL MATERIALS IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL CODES INCLUDING A.D.A.
- ALL DIMENSIONS CONTAINED IN THE SCOPE OF WORK SHALL BE VERIFIED BY CONTRACTOR AND WITH DRAWINGS. DIMENSIONS PROVIDED IN THE SCOPE OF WORK ARE APPROXIMATE VALUES PROVIDED FOR CONVENIENCE AND REFERENCE ONLY.
- DRAWINGS SHOW INTENT OF WORK TO BE PERFORMED. CONTRACTOR SHALL PROVIDE MATERIALS, LABOR, CONNECTIONS, FABRICATIONS, AND ACCESSORIES FOR A COMPLETED PROJECT.
- PROJECT REQUIRES SURETY BOND.
- OBTAIN PERMITS, APPROVALS, INSPECTIONS, CERTIFICATE OF COMPLIANCE, CERTIFICATE OF OCCUPANCY, AND OTHER DOCUMENTS NECESSARY TO COMPLETE THE PROJECT.
- REVIEW THE CONTRACT DOCUMENTS AND PERFORM WORK IN COMPLIANCE WITH THOSE DOCUMENTS.
- COORDINATE WORK WITH THE OWNER'S CONSTRUCTION COORDINATOR, INCLUDING WORK SCHEDULE, AND PERFORM WORK ONLY WITH OWNER'S PRIOR APPROVAL.
- MAINTAIN REQUIRED DOCUMENTS AND UP-TO-DATE CONSTRUCTION PLANS AT JOB SITE. THE CONTRACTOR SHALL SUBMIT AS-BUILT DRAWINGS TO THE CLIENT PROJECT MANAGER UPON COMPLETION OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY PRECAUTIONS DURING CONSTRUCTION AND TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THAT THERE WILL BE NO CONSTRUCTION RELATED DAMAGE TO THE EXISTING BUILDING CONSTRUCTIONS. IF SUCH DAMAGE OCCURS, THEN THE G.C. SHALL PROMPTLY MAKE ALL NECESSARY REPAIRS TO RETURN THE DAMAGED CONSTRUCTION TO A LIKE-NEW CONDITION AND THE EXPENSE OF SAID REPAIRS SHALL BE BORNE SOLELY BY THE G.C.
- CONTRACTOR SHALL PROVIDE A ONE (1) YEAR WARRANTY ON LABOR AND MATERIALS FROM THE DATE OF ACCEPTANCE BY OWNER'S CONSTRUCTION COORDINATOR.
- MATERIAL SUBSTITUTIONS WILL NOT BE ALLOWED UNLESS SUBMITTED IN WRITING.
- SCHEDULE SHOULD BE OPTIMIZED FOR SHORTEST ECONOMICAL COMPLETION.
- BE RESPONSIBLE FOR FINAL CLEANING PRIOR TO TURNING SPACE OVER TO OWNER.
- PROVIDE A LIST OF ALL SUBCONTRACTORS TO BE USED AND SUBMIT LIST TO CLIENT WITHIN 10 WORKING DAYS OF THE CONTRACT.
- MAINTAIN HANDBOOKS, OPERATING MANUALS, PAPERWORK AND KEYS IN A SAFE AND ORGANIZED MANNER. KEYS SHALL BE TAGGED FOR PROPER LOCATIONS. THESE SHALL BE TURNED OVER TO THE TENANT CONSTRUCTION COORDINATOR ALONG WITH CERTIFICATES OF OCCUPANCY, LIEN WAIVERS, WARRANTIES, AND GUARANTEES.
- DO NOT SCALE THESE DRAWINGS FOR DIMENSIONAL INFORMATION. REFER TO DIMENSIONS ON THE SITE PLAN AND THE ENLARGED PLANS. IF THERE IS A CONFLICT WITH THE PLAN DIMENSIONS OR AN EXISTING FIELD CONDITION CONTACT THE ARCHITECT.
- CONTRACTOR SHALL VERIFY EXISTING SITE AND BUILDING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO DEMOLITION ACTIVITIES AND WORK.
- BUILDERS QUOTE SHOULD BE IN COMPLIANCE WITH ALL CLIENT TERMS, CONDITIONS, AND SECURITY REQUIREMENTS. SAME IS TRUE FOR CURRENT CONTRACT SERVICE PROVIDERS SHOULD THEY DO THE WORK.
- DEMOLITION PLANS INDICATE SOME OF THE SCOPE-OF-WORK INVOLVED FOR THE DEMOLITION PHASE OF THIS PROJECT. CONTRACTOR SHALL REVIEW ALL SHEETS FOR ADDITIONAL DEMOLITION SCOPE.
- CONTRACTOR SHALL VERIFY EXISTING SITE AND BUILDING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO DEMOLITION ACTIVITIES AND WORK.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS BEFORE COMMENCING WORK.
- AFTER AWARD OF THE CONTRACT, CHANGE ORDER REQUESTS FOR ADDITIONAL MONEY WILL NOT BE APPROVED IF THE WORK COULD HAVE BEEN ANTICIPATED DURING A SITE VISIT BY THE CONTRACTOR.
- CONTRACTOR SHALL NOT SCALE DRAWINGS.
- CONTRACTOR SHALL REMOVE TRASH AND DEBRIS REGULARLY AS NECESSARY TO ELIMINATE INTERFERENCE WITH ROADS, STREET, WALKS, AND ALL OTHER ADJACENT FACILITIES.
- CONTRACTOR SHALL REMOVE TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.
- CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF TEMPORARY DUST AND OR SOUND PARTITION BETWEEN CONSTRUCTION AREA AND AREAS NOT IN SCOPE AS NECESSARY. DEMOLITION ACTIVITIES SHALL BE PERFORMED SO AS TO PRODUCE MINIMAL DISTURBANCE TO EXISTING FACILITY AND OCCUPANTS (I.E. MINIMIZE EXCESSIVE AND PROLONGED NOISE LEVELS AND DUST).
- CONTRACTOR SHALL REPAIR, REPLACE, OR PATCH EXISTING BUILDINGS, DRIVEWAYS, SIDEWALKS, CANOPIES, AND OR PARKING AREAS DAMAGED, MODIFIED, AND OR DISTURBED BY DEMOLITION WORK AT NO COST TO THE OWNER.
- ALL EXISTING EQUIPMENT THAT REMAINS SHALL BE PROTECTED DURING DEMOLITION AND OR CONSTRUCTION TO PREVENT DAMAGE. ANY DAMAGE TO REMAINING EXISTING EQUIPMENT SUSTAINED DURING DEMOLITION AND OR CONSTRUCTION SHALL BE EQUIVALENTLY REPLACED OR EQUIVALENTLY REPAIRED AT NO COST TO THE OWNER.
- CONTRACTOR SHALL PROVIDE TRAFFIC HANDLING MEASURES TO PROTECT THE GENERAL PUBLIC AT ALL TIMES, AS NECESSARY AND AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- DO NOT INTERRUPT EXISTING UTILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES INCLUDING BUT NOT LIMITED TO THE FOLLOWING: ELECTRIC, GAS, WATER, TELEPHONE, STORM SEWER, AND SANITARY SEWER FOR FIELD LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITY LINES. PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORK, CONTRACTOR SHALL IDENTIFY ALL ELECTRICAL CIRCUITS SERVICING THE AREA INVOLVED WITH THIS DEMOLITION. THESE CIRCUITS SHALL THEN BE LOCKED OUT AND TAGGED OUT IF THEY DO NOT SERVICE ANY OF THE REMAINING BUILDING. THOSE CIRCUITS WHICH ARE IDENTIFIED TO SERVICE BOTH THE AREA TO BE DEMOLISHED AND THE REMAINING BUILDING SHALL BE SPLIT SO AS TO KILL ALL ELECTRICAL POWER TO THE AREA TO BE DEMOLISHED WHILE MAINTAINING POWER TO THE REMAINDER OF THE BUILDING.
- PROTECT EXISTING SITE ELEMENTS AND EXISTING LANDSCAPING TO REMAIN. PROTECTION SHALL INCLUDE BUT NOT BE LIMITED TO EXISTING TREES AND OTHER EXISTING VEGETATION INDICATED TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING, OR SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SNOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIAL OR EXCAVATED MATERIAL WITHIN DRIP LINES.
- CONTRACTOR SHALL RE-GRADE AND HYDRO-MULCH AREAS AFFECTED BY DEMOLITION AND/OR NEW WORK. OWNER HAS RIGHT OF FIRST REFUSAL OF ALL ITEMS REMOVED AS PART OF THE SCOPE OF WORK, WHETHER IDENTIFIED AS SALVAGE OR NOT.
- NOTIFY THE BUILDING OWNER OF ANY MATERIALS, FIXTURES, ETC. TO BE REMOVED THAT ARE DEEMED SALVAGEABLE. TURN OVER ANY REQUESTED ITEMS TO THE BUILDING OWNER IN GOOD AND CLEAN CONDITION.
- ALL FURNITURE WILL BE REMOVED OR RELOCATED BY THE OWNER AS NECESSARY PRIOR TO THE DEMOLITION WORK OF THIS PROJECT. CONTRACTOR SHALL COORDINATE WITH OWNER AS REQUIRED.
- REMOVE EXISTING CONSTRUCTION TO THE EXTENT INDICATED ON THE DRAWINGS. SHOULD ANY DAMAGE OCCUR TO ANY EXISTING CONSTRUCTION TO REMAIN, THE CONTRACTOR SHALL REPAIR THE DAMAGE TO MATCH EXISTING AND OR ADJACENT CONSTRUCTION AT NO COST TO THE OWNER.
- ALL DASHED LINES ARE DEMOLITION LINES UNLESS OTHERWISE NOTED.

Sheet List Table

Sheet Number	Sheet Title	DATE	REV01	REV02
ARCHITECTURE: C - Rosehill Elementary School				
C000	COVER SHEET	05/28/2024		
C100	GENERAL INFORMATION AND DRAWING INDEX	05/28/2024		
C200	ROSEHILL ELEMENTARY SCHOOL SITE PLAN	05/28/2024		
C400	TYPICAL FENCE DETAILS	05/28/2024		

1 ABBREVIATIONS
 NTS

03 DRAWING INDEX
 NTS

REVISIONS

ROSEHILL ELEMENTARY SCHOOL
 TOMBALL INDEPENDENT SCHOOL DISTRICT
 17950 TOMBALL WALLER RD
 TOMBALL, TX 77377



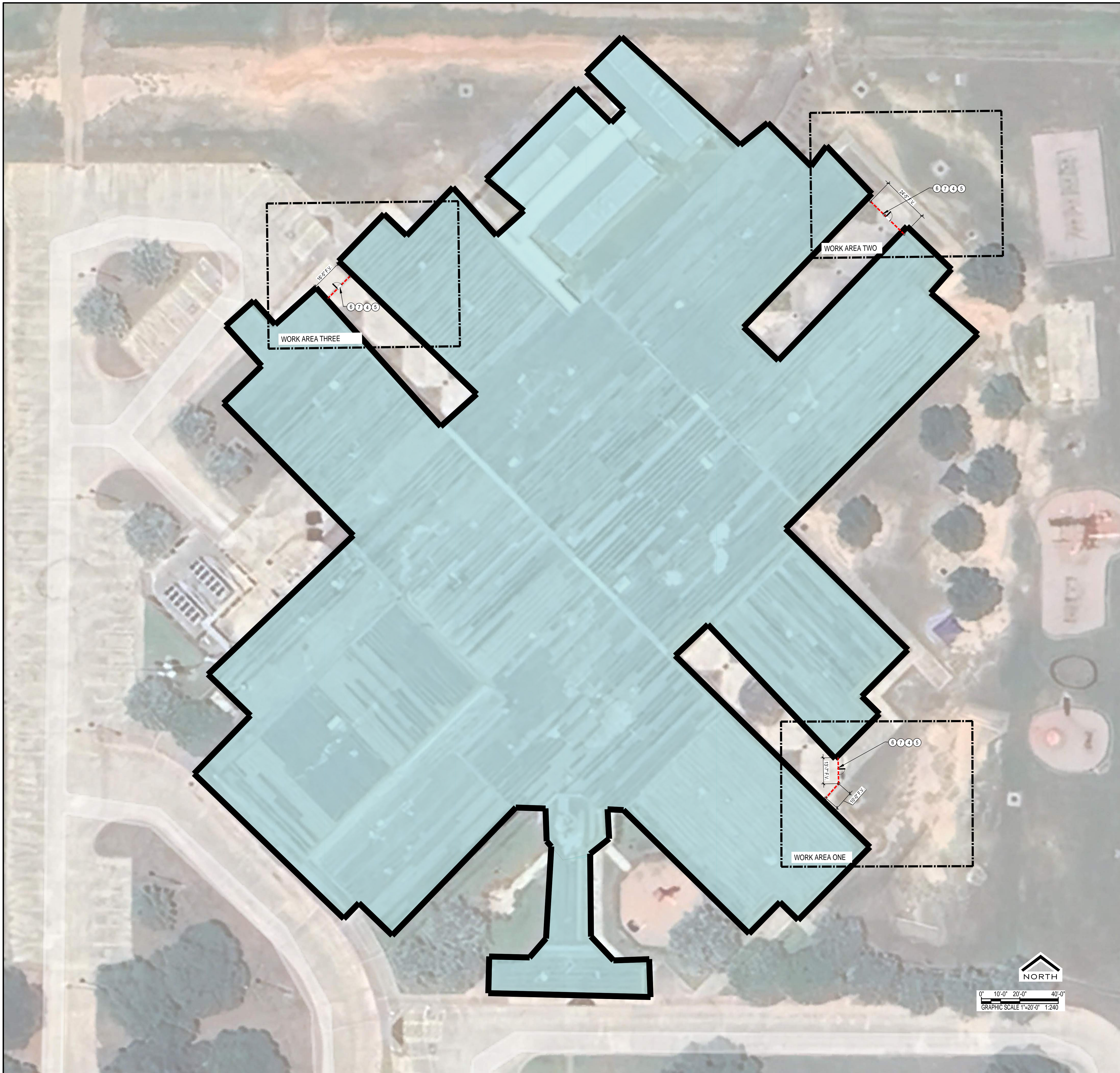
ARCHITECTS
 AND PLANNING
 CONSULTANTS

11767 KATY FREEWAY, STE 430
 HOUSTON, TEXAS 77079

PROJ. NO.: 24-10
 DATE:
 ISSUED FOR:

GENERAL INFORMATION
 AND DRAWING INDEX

C100



F:\2024\24-10\bid facilities secure fencing\DWG\SC200 SITE PLAN.dwg, May 27, 2024, 6:53pm

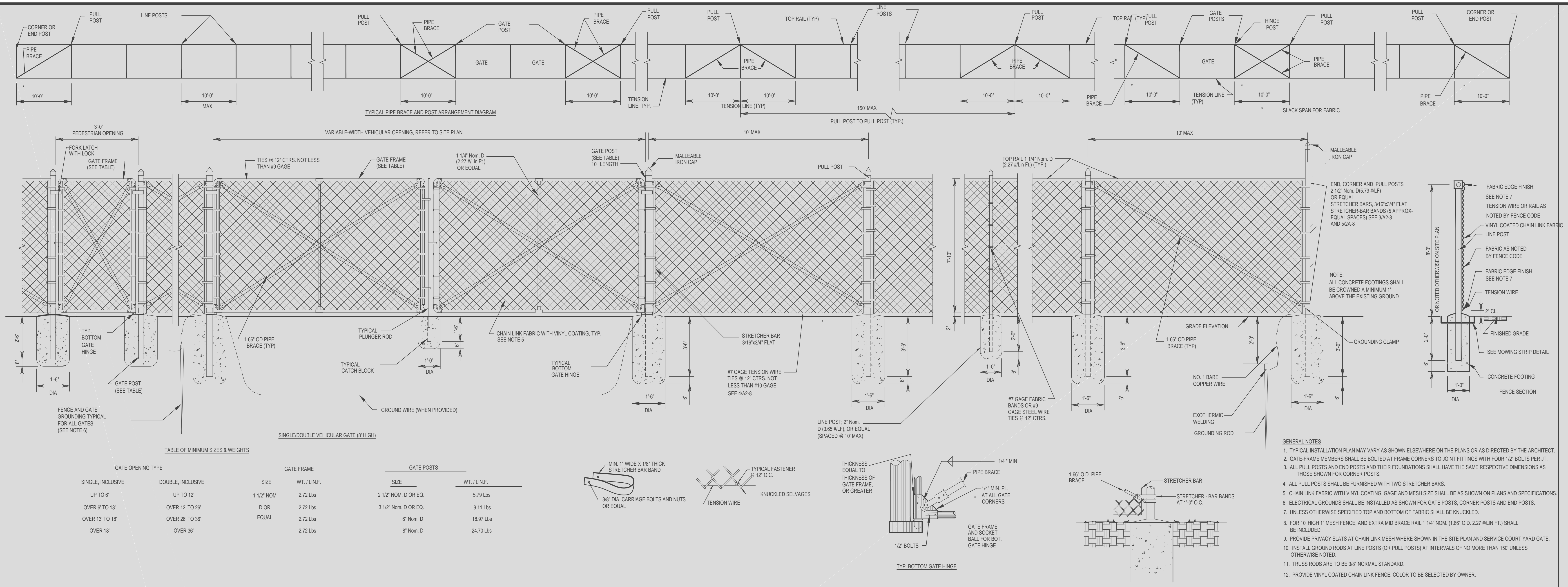
KEYNOTES	
NUM	DESCRIPTION
1	EXISTING FENCE AND OR GATE TO REMAIN
2	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE
3	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE GATE 42" WIDE WITH PANIC HARDWARE
4	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL FENCE
5	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL FENCE GATE 42" WIDE WITH PANIC HARDWARE
6	REMOVE EXISTING FENCE
7	REMOVE EXISTING GATE
8	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL SLIDING FENCE GATE TWENTY FOOT WIDE
9	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL DOUBLE SWING FENCE GATE TWELVE FOOT WIDE
10	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE GATE 36" WIDE
11	CUT OPENING IN EXISTING FENCE TO INSTALL GATE
12	INSTALL SLATS IN EXISTING SEVEN FOOT HIGH CHAINLINK FENCE
13	INSTALL SIX FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE WITH SLAT INSERTS
14	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK DOUBLE FENCE GATE 36 FEET WIDE
15	INSTALL PANIC HARDWARE ON EXISTING DOOR. INCLUDE PROTECTION OF DOOR PANIC DEVICE FROM OUTSIDE ACTIVATION
16	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE SLIDING FENCE GATE TWENTY FOOT WIDE
17	PROVIDE KNOXBOX FOR FIRE DEPARTMENT ACCESS
18	REVERSE SWING OF GATE, REMOVE EXISTING MAGLOCK DEVICE AND PROVIDE PANICE DEVIDE PER KEYNOTE 15
19	PAINT FENCE BLACK.
20	REPAIR EXISTING GATE OPERATOR TO WORKING CONDITION.

REVISIONS

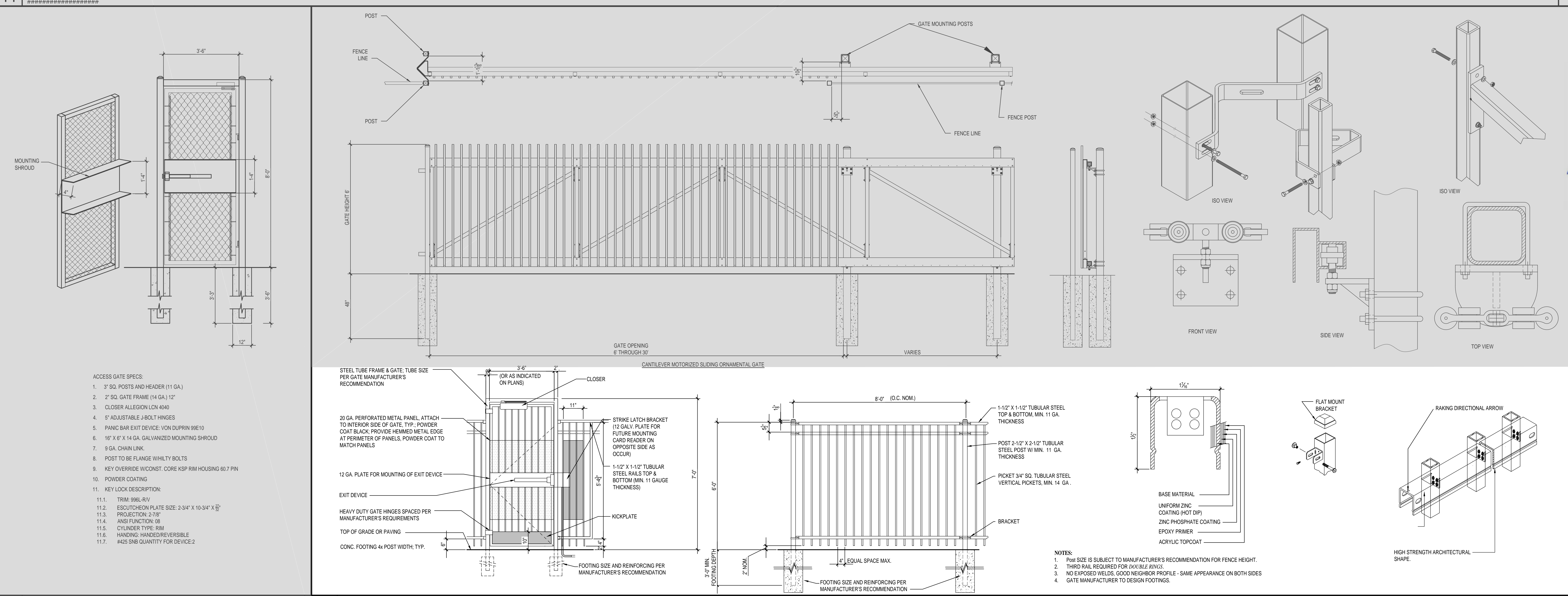
ROSEHILL ELEMENTARY SCHOOL
TOMBALL INDEPENDENT SCHOOL DISTRICT
17950 TOMBALL WALLER RD
TOMBALL, TX 77377



PROJ. NO.: 24-10
DATE:
ISSUED FOR:
ROSEHILL ELEMENTARY SCHOOL SITE PLAN
C200



11 CHAIN LINK DETAILS



01 EMERGENCY CHAIN LINK EXIT GATE

02 ORNAMENTAL FENCE DETAILS

REVISIONS

ROSEHILL ELEMENTARY SCHOOL
TOMBALL INDEPENDENT SCHOOL DISTRICT
 17950 TOMBALL WALLER RD
 TOMBALL, TX 77377

SEAL

MWA ARCHITECTS
 ARCHITECTS AND PLANNING CONSULTANTS
 11767 KATY FREEWAY, STE 430
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PROJ. NO.: 24-10
 DATE:
 ISSUED FOR:
 TYPICAL FENCE DETAILS
 C400

F:\2024\24-10 bid facilities secure fencing\DWG\STYPTICAL FENCE DETAILS.dwg May 27, 2024 - 6:55pm



TOMBALL INDEPENDENT SCHOOL DISTRICT

310 S. Cherry Street
TOMBALL, TEXAS 77375

DISTRICT-WIDE SECURITY FENCING IMPROVEMENTS

ADMINISTRATION

DR. MARTHA SALAZAR-ZAMORA	SUPERINTENDENT OF SCHOOLS
DR. AMY SCHINDEWOLF	CHIEF OF STAFF
DR. STEVEN GUTIERREZ	CHIEF OPERATING OFFICER
DR. MICHAEL WEBB	CHIEF ACADEMIC OFFICER
ZACHERY BOLES	CHIEF FINANCIAL OFFICER
DR. MINDY MUNOZ	ASST. SUPERINTENDENT OF SECONDARY SCHOOLS
DR. GEORGE FLORES	ASST. SUPERINTENDENT OF ELEMENTARY SCHOOLS
DR. LEE WRIGHT	ASST. SUPERINTENDENT OF STRATEGIC INNOVATION
MARK WHITE	ASST. SUPERINTENDENT OF ACCOUNTABILITY
DR. ALICIA REEVES	ASST. SUPERINTENDENT OF HUMAN TALENT

BOARD OF TRUSTEES

MR. JOHN E. McSTRAVICK	PRESIDENT
MR. JUSTIN UNSER	VICE PRESIDENT
MR. MARK LEWANDOWSKI	SECRETARY
DR. MICHAEL J. PRATT	ASSISTANT SECRETARY
MR. LEE McLEOD	BOARD TRUSTEE
MRS. TINA SALEM	BOARD TRUSTEE
MR. MATT SCHIEL	BOARD TRUSTEE

PROJECT TEAM



OWNER
Tomball Independent School District
310 S. Cherry Street
Tomball, TX 77375
Phone Number: 281-357-3100



PROGRAM MANAGER
2925 Briarpark Dr. #400
Houston, Texas 77042
Phone Number: 713-266-6900



ARCHITECT
11767 Katy Freeway, Suite 430
Houston, Texas 77079
Phone Number: 713-782-8188

ISSUED FOR BIDDING - 5/28/24

REVISIONS

TOMBALL ELEMENTARY SCHOOL
TOMBALL INDEPENDENT SCHOOL DISTRICT
1110 INWOOD ST.
TOMBALL, TX 77375



ARCHITECTS
AND PLANNING
CONSULTANTS
11767 KATY FREEWAY, STE 430
HOUSTON, TEXAS 77079

PROJ. NO.: 24-10
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ISSUED FOR:

COVER SHEET

D000

GROUP OR DIVISION NUMBER
 A000—SEQUENTIAL SHEET NUMBER WITHIN GROUP
 DENOTES SCHOOL DESIGNATION

20 SHEET GROUPING
 NTS

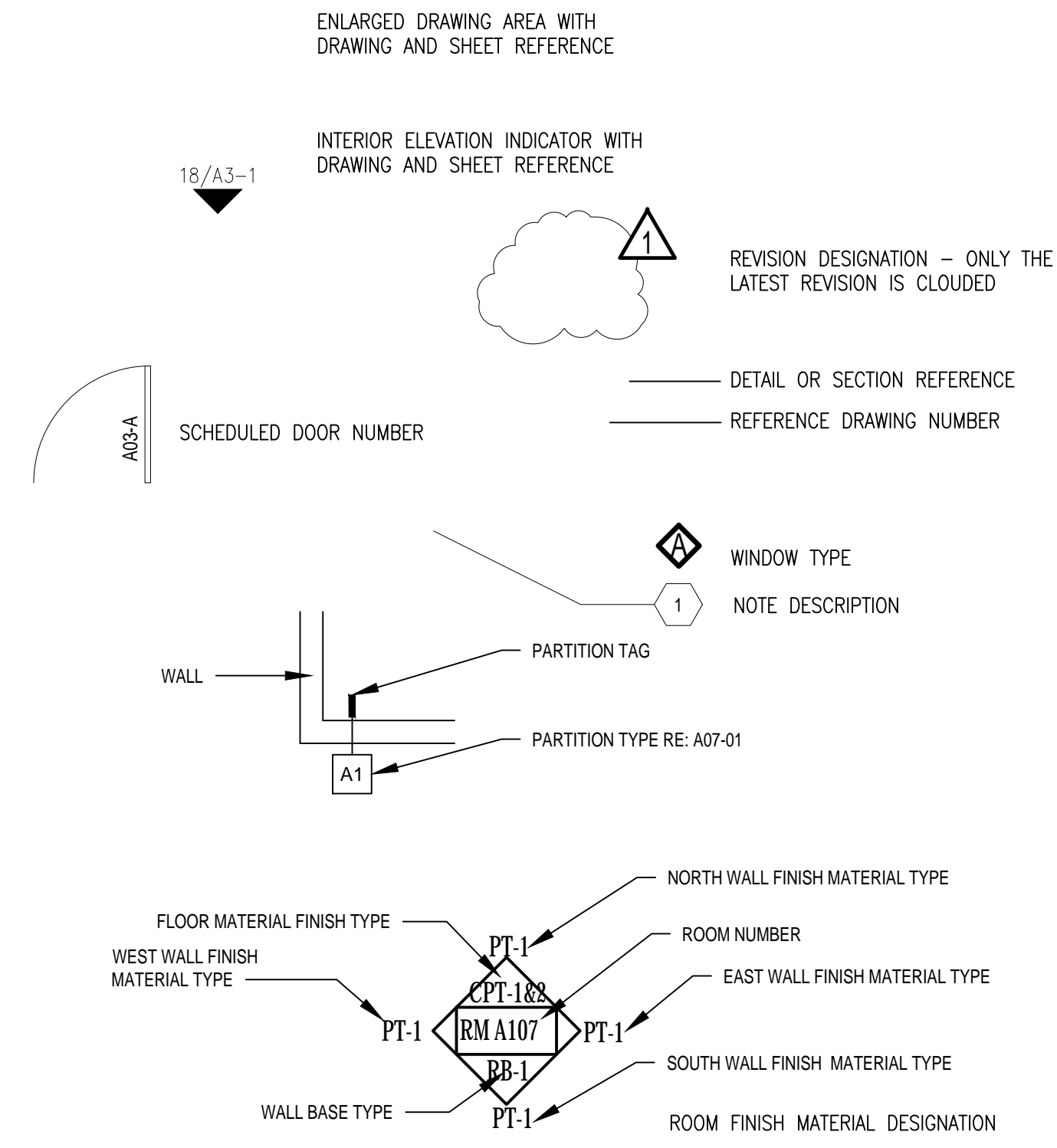
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16	17	18	19	20
11	12	13	14	15
6	7	8	9	10
1	2	3	4	5

15 GRID
 NTS

A/C	AIR CONDITIONING	GEN	GENERAL
AB	ANCHOR BOLT	GL	GLASS
AC	ACOUSTIC, ACOUSTICAL	GP	GYPSUM PLASTER
ACC DR	ACCESS DOOR	GRD	GRADE
ACT	ACOUSTIC DOOR	GRT	GROUT
AD	AREA DRAIN	GYP	GYPSUM
AFF	ABOVE FINISH FLOOR	GYP BD	GYPSUM BOARD
ALUM	ALUMINUM	HC	HANDICAP
ANOD	ANODIZED	HD W	HARDWARE
AP	ACCESS PANEL	HOWD	HARDWOOD
AUX	AUXILIARY	HVAC	HEATING, VENTILATING & AIR CONDITIONING
AV	AIR VENT	HW	HOT WATER
BLDG	BUILDING	ID	INSIDE DIAMETER
BLK(G)	BLOCKING	IN	INCHES
BOT	BOTTOM	JAN	JANITOR
BR	BRICK	JT	JOINT
BR	BUILT UP ROOF	LAM(D)	LAMINATE(D)
CI	CHANNEL	LAV	LAVATORY
CAB	CABINET	LH	LEFT HAND
CC	CENTER TO CENTER	MEP	MECHANICAL ELECTRICAL PLUMBING
CD	CEILING DIFFUSER	MET	METAL
CG	CEILING GRILLE	MATL	MATERIAL
CHBD	CHALK BOARD	MAX	MAXIMUM
CHW	CHILLED WATER	MECH	MECHANICAL
		MFR	MANUFACTURER
		MIN	MINIMUM
CI	CAST IRON	NIC	NOT IN CONTRACT
CP	CAST IN PLACE	NTS	NOT TO SCALE
CJ	CONSTRUCTION JOINT	OFF	OFFICE
CJT	CONTROL JOINT	OH	OVERHEAD
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16 LEGEND
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 NTS

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- OBTAIN PERMITS, APPROVALS, INSPECTIONS, CERTIFICATE OF COMPLIANCE, CERTIFICATE OF OCCUPANCY, AND OTHER DOCUMENTS NECESSARY TO COMPLETE THE PROJECT.
- REVIEW THE CONTRACT DOCUMENTS AND PERFORM WORK IN COMPLIANCE WITH THOSE DOCUMENTS.
- COORDINATE WORK WITH THE OWNER'S CONSTRUCTION COORDINATOR, INCLUDING WORK SCHEDULE, AND PERFORM WORK ONLY WITH OWNER'S PRIOR APPROVAL.
- MAINTAIN REQUIRED DOCUMENTS AND UP-TO-DATE CONSTRUCTION PLANS AT JOB SITE. THE CONTRACTOR SHALL SUBMIT AS-BUILT DRAWINGS TO THE CLIENT PROJECT MANAGER UPON COMPLETION OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY PRECAUTIONS DURING CONSTRUCTION AND TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THAT THERE WILL BE NO CONSTRUCTION RELATED DAMAGE TO THE EXISTING BUILDING CONSTRUCTIONS. IF SUCH DAMAGE OCCURS, THEN THE G.C. SHALL PROMPTLY MAKE ALL NECESSARY REPAIRS TO RETURN THE DAMAGED CONSTRUCTION TO A LIKE-NEW CONDITION AND THE EXPENSE OF SAID REPAIRS SHALL BE BORNE SOLELY BY THE G.C.
- CONTRACTOR SHALL PROVIDE A ONE (1) YEAR WARRANTY ON LABOR AND MATERIALS FROM THE DATE OF ACCEPTANCE BY OWNER'S CONSTRUCTION COORDINATOR.
- MATERIAL SUBSTITUTIONS WILL NOT BE ALLOWED UNLESS SUBMITTED IN WRITING.
- SCHEDULE SHOULD BE OPTIMIZED FOR SHORTEST ECONOMIC COMPLETION.
- BE RESPONSIBLE FOR FINAL CLEANING PRIOR TO TURNING SPACE OVER TO OWNER.
- PROVIDE A LIST OF ALL SUBCONTRACTORS TO BE USED AND SUBMIT LIST TO CLIENT WITHIN 10 WORKING DAYS OF THE CONTRACT.
- MAINTAIN HANDBOOKS, OPERATING MANUALS, PAPERWORK AND KEYS IN A SAFE AND ORGANIZED MANNER. KEYS SHALL BE TAGGED FOR PROPER LOCATIONS. THESE SHALL BE TURNED OVER TO THE TENANT CONSTRUCTION COORDINATOR ALONG WITH CERTIFICATES OF OCCUPANCY, LIEN WAIVERS, WARRANTIES, AND GUARANTEES.
- DO NOT SCALE THESE DRAWINGS FOR DIMENSIONAL INFORMATION. REFER TO DIMENSIONS ON THE SITE PLAN AND THE ENLARGED PLANS. IF THERE IS A CONFLICT WITH THE PLAN DIMENSIONS OR AN EXISTING FIELD CONDITION CONTACT THE ARCHITECT.
- CONTRACTOR SHALL VERIFY EXISTING SITE AND BUILDING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO DEMOLITION ACTIVITIES AND WORK.
- BUILDERS QUOTE SHOULD BE IN COMPLIANCE WITH ALL CLIENT TERMS, CONDITIONS, AND SECURITY REQUIREMENTS. SAME IS TRUE FOR CURRENT CONTRACT SERVICE PROVIDERS SHOULD THEY DO THE WORK.
- DEMOLITION PLANS INDICATE SOME OF THE SCOPE-OF-WORK INVOLVED FOR THE DEMOLITION PHASE OF THIS PROJECT. CONTRACTOR SHALL REVIEW ALL SHEETS FOR ADDITIONAL DEMOLITION SCOPE.
- CONTRACTOR SHALL VERIFY EXISTING SITE AND BUILDING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO DEMOLITION ACTIVITIES AND WORK.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS BEFORE COMMENCING WORK.
- AFTER AWARD OF THE CONTRACT, CHANGE ORDER REQUESTS FOR ADDITIONAL MONEY WILL NOT BE APPROVED IF THE WORK COULD HAVE BEEN ANTICIPATED DURING A SITE VISIT BY THE CONTRACTOR.
- CONTRACTOR SHALL NOT SCALE DRAWINGS.
- CONTRACTOR SHALL REMOVE TRASH AND DEBRIS REGULARLY AS NECESSARY TO ELIMINATE INTERFERENCE WITH ROADS, STREET, WALKS, AND ALL OTHER ADJACENT FACILITIES.
- CONTRACTOR SHALL REMOVE TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.
- CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF TEMPORARY DUST AND OR SOUND PARTITION BETWEEN CONSTRUCTION AREA AND AREAS NOT IN SCOPE AS NECESSARY. DEMOLITION ACTIVITIES SHALL BE PERFORMED SO AS TO PRODUCE MINIMAL DISTURBANCE TO EXISTING FACILITY AND OCCUPANTS (I.E. MINIMIZE EXCESSIVE AND PROLONGED NOISE LEVELS AND DUST).
- CONTRACTOR SHALL REPAIR, REPLACE, OR PATCH EXISTING BUILDINGS, DRIVEWAYS, SIDEWALKS, CANOPES, AND OR PARKING AREAS DAMAGED, MODIFIED, AND OR DISTURBED BY DEMOLITION WORK AT NO COST TO THE OWNER.
- ALL EXISTING EQUIPMENT THAT REMAINS SHALL BE PROTECTED DURING DEMOLITION AND OR CONSTRUCTION TO PREVENT DAMAGE. ANY DAMAGE TO REMAINING EXISTING EQUIPMENT SUSTAINED DURING DEMOLITION AND OR CONSTRUCTION SHALL BE EQUIVALENTLY REPLACED OR EQUIVALENTLY REPAIRED AT NO COST TO THE OWNER.
- CONTRACTOR SHALL PROVIDE TRAFFIC HANDLING MEASURES TO PROTECT THE GENERAL PUBLIC AT ALL TIMES, AS NECESSARY AND AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- DO NOT INTERRUPT EXISTING UTILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES INCLUDING BUT NOT LIMITED TO THE FOLLOWING: ELECTRIC, GAS, WATER, TELEPHONE, STORM SEWER, AND SANITARY SEWER FOR FIELD LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITY LINES. PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORK, CONTRACTOR SHALL IDENTIFY ALL ELECTRICAL CIRCUITS SERVICING THE AREA INVOLVED WITH THIS DEMOLITION. THESE CIRCUITS SHALL THEN BE LOCKED OUT AND TAGGED OUT IF THEY DO NOT SERVICE ANY OF THE REMAINING BUILDING. THOSE CIRCUITS WHICH ARE IDENTIFIED TO SERVICE BOTH THE AREA TO BE DEMOLISHED AND THE REMAINING BUILDING SHALL BE SPLIT SO AS TO KILL ALL ELECTRICAL POWER TO THE AREA TO BE DEMOLISHED WHILE MAINTAINING POWER TO THE REMAINDER OF THE BUILDING.
- PROTECT EXISTING SITE ELEMENTS AND EXISTING LANDSCAPING TO REMAIN. PROTECTION SHALL INCLUDE BUT NOT BE LIMITED TO EXISTING TREES AND OTHER EXISTING VEGETATION INDICATED TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING, OR SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIAL OR EXCAVATED MATERIAL WITHIN DRIP LINES.
- CONTRACTOR SHALL RE-GRADE AND HYDRO-MULCH AREAS AFFECTED BY DEMOLITION AND/OR NEW WORK. OWNER HAS RIGHT OF FIRST REFUSAL OF ALL ITEMS REMOVED AS PART OF THE SCOPE OF WORK, WHETHER IDENTIFIED AS SALVAGE OR NOT.
- NOTIFY THE BUILDING OWNER OF ANY MATERIALS, FIXTURES, ETC. TO BE REMOVED THAT ARE DEEMED SALVAGEABLE. TURN OVER ANY REQUESTED ITEMS TO THE BUILDING OWNER IN GOOD AND CLEAN CONDITION.
- ALL FURNITURE WILL BE REMOVED OR RELOCATED BY THE OWNER AS NECESSARY PRIOR TO THE DEMOLITION WORK OF THIS PROJECT. CONTRACTOR SHALL COORDINATE WITH OWNER AS REQUIRED.
- REMOVE EXISTING CONSTRUCTION TO THE EXTENT INDICATED ON THE DRAWINGS. SHOULD ANY DAMAGE OCCUR TO ANY EXISTING CONSTRUCTION TO REMAIN, THE CONTRACTOR SHALL REPAIR THE DAMAGE TO MATCH EXISTING AND OR ADJACENT CONSTRUCTION AT NO COST TO THE OWNER.
- ALL DASHED LINES ARE DEMOLITION LINES UNLESS OTHERWISE NOTED.

Sheet List Table				
Sheet Number	Sheet Title	DATE	REV01	REV02
ARCHITECTURE: D - Tomball Elementary School				
D000	COVER SHEET	05/22/2024		
D100	GENERAL INFORMATION AND DRAWING INDEX	05/22/2024		
D200	TOMBALL ELEMENTARY SCHOOL PLAN	05/22/2024		
D400	TYPICAL FENCE DETAILS	05/22/2024		

REVISIONS

TOMBALL ELEMENTARY SCHOOL
 TOMBALL INDEPENDENT SCHOOL DISTRICT
 1110 INWOOD ST.
 TOMBALL, TX 77375



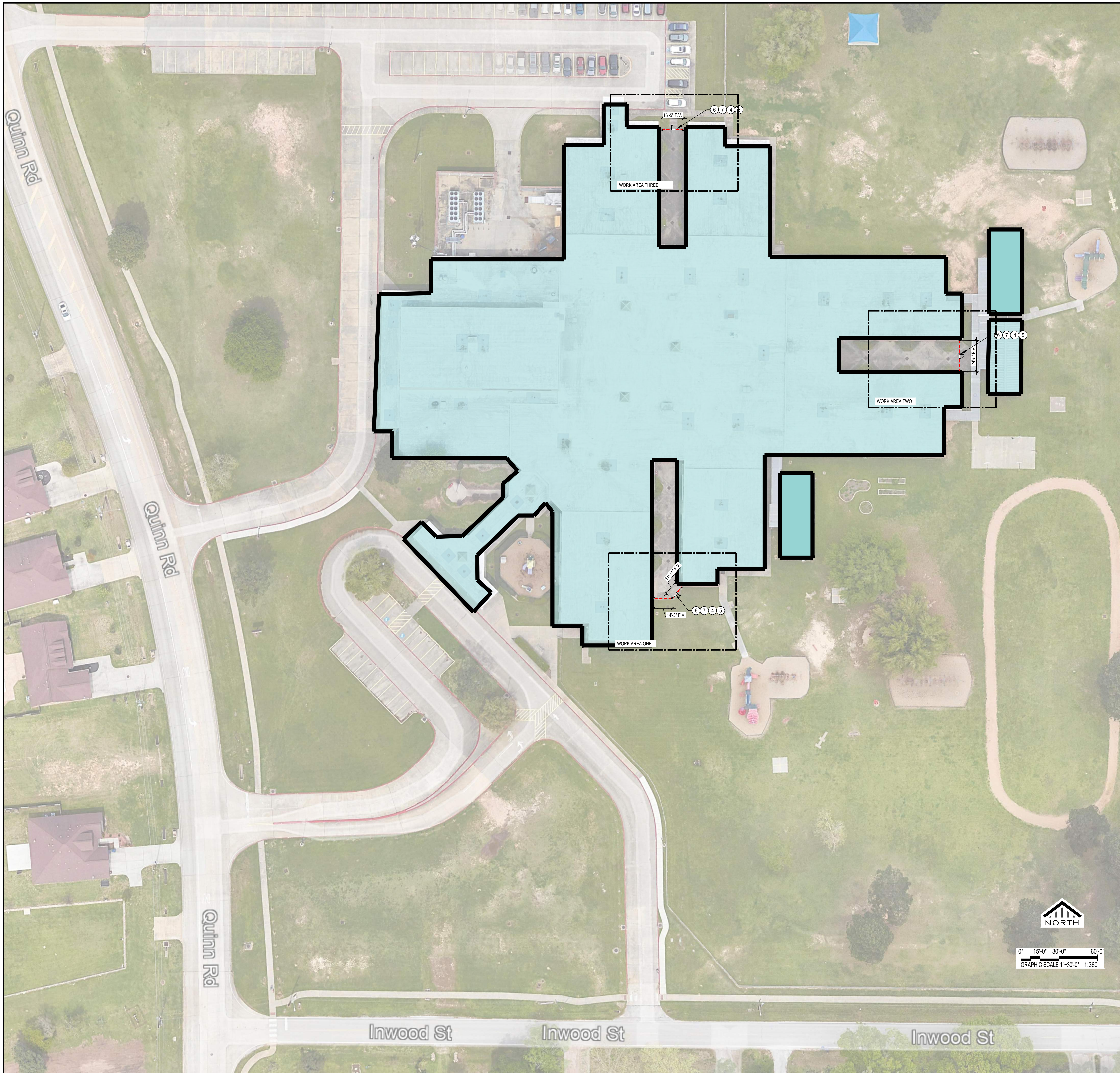
ARCHITECTS
 AND PLANNING
 CONSULTANTS

11767 KATY FREEWAY, STE 430
 HOUSTON, TEXAS 77079

PROJ. NO.: 24-10
 DATE:
 ISSUED FOR:

GENERAL INFORMATION
 AND DRAWING INDEX

D100

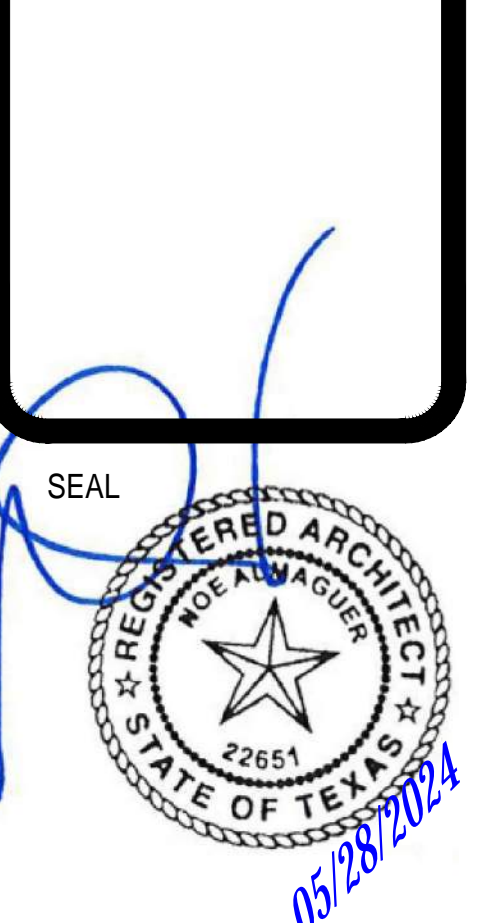


F:\2024\24-10\1st facilities secure fencing\DWG\SD200 TOMBALL ELEMENTARY SCHOOL PLAN.dwg May 27, 2024 - 6:54pm

KEYNOTES	
NUM	DESCRIPTION
1	EXISTING FENCE AND OR GATE TO REMAIN
2	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE
3	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE GATE 42" WIDE WITH PANIC HARDWARE
4	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL FENCE
5	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL FENCE GATE 42" WIDE WITH PANIC HARDWARE
6	REMOVE EXISTING FENCE
7	REMOVE EXISTING GATE
8	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL SLIDING FENCE GATE TWENTY FOOT WIDE
9	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL DOUBLE SWING FENCE GATE TWELVE FOOT WIDE
10	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE GATE 36" WIDE
11	CUT OPENING IN EXISTING FENCE TO INSTALL GATE
12	INSTALL SLATS IN EXISTING SEVEN FOOT HIGH CHAINLINK FENCE
13	INSTALL SIX FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE WITH SLAT INSERTS
14	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK DOUBLE FENCE GATE 36 FEET WIDE
15	INSTALL PANIC HARDWARE ON EXISTING DOOR. INCLUDE PROTECTION OF DOOR PANIC DEVICE FROM OUTSIDE ACTIVATION
16	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE SLIDING FENCE GATE TWENTY FOOT WIDE
17	PROVIDE KNOXBOX FOR FIRE DEPARTMENT ACCESS
18	REVERSE SWING OF GATE, REMOVE EXISTING MAGLOCK DEVICE AND PROVIDE PANIC DEVICE PER KEYNOTE 15
19	PAINT FENCE BLACK.
20	REPAIR EXISTING GATE OPERATOR TO WORKING CONDITION.

REVISIONS

TOMBALL ELEMENTARY SCHOOL
TOMBALL INDEPENDENT SCHOOL DISTRICT
1110 INWOOD ST.
TOMBALL, TX 77375



PROJ. NO.: 24-10
DATE:
ISSUED FOR:
TOMBALL ELEMENTARY SCHOOL PLAN
D200



TOMBALL INDEPENDENT SCHOOL DISTRICT

310 S. Cherry Street
TOMBALL, TEXAS 77375

DISTRICT-WIDE SECURITY FENCING IMPROVEMENTS

ADMINISTRATION

DR. MARTHA SALAZAR-ZAMORA	SUPERINTENDENT OF SCHOOLS
DR. AMY SCHINDEWOLF	CHIEF OF STAFF
DR. STEVEN GUTIERREZ	CHIEF OPERATING OFFICER
DR. MICHAEL WEBB	CHIEF ACADEMIC OFFICER
ZACHERY BOLES	CHIEF FINANCIAL OFFICER
DR. MINDY MUNOZ	ASST. SUPERINTENDENT OF SECONDARY SCHOOLS
DR. GEORGE FLORES	ASST. SUPERINTENDENT OF ELEMENTARY SCHOOLS
DR. LEE WRIGHT	ASST. SUPERINTENDENT OF STRATEGIC INNOVATION
MARK WHITE	ASST. SUPERINTENDENT OF ACCOUNTABILITY
DR. ALICIA REEVES	ASST. SUPERINTENDENT OF HUMAN TALENT

BOARD OF TRUSTEES

MR. JOHN E. McSTRAVICK	PRESIDENT
MR. JUSTIN UNSER	VICE PRESIDENT
MR. MARK LEWANDOWSKI	SECRETARY
DR. MICHAEL J. PRATT	ASSISTANT SECRETARY
MR. LEE McLEOD	BOARD TRUSTEE
MRS. TINA SALEM	BOARD TRUSTEE
MR. MATT SCHIEL	BOARD TRUSTEE

PROJECT TEAM



OWNER
Tomball Independent School District
310 S. Cherry Street
Tomball, TX 77375
Phone Number: 281-357-3100



PROGRAM MANAGER
2925 Briarpark Dr. #400
Houston, Texas 77042
Phone Number: 713-266-6900



ARCHITECT
11767 Katy Freeway, Suite 430
Houston, Texas 77079
Phone Number: 713-782-8188

ISSUED FOR BIDDING - 5/28/24

REVISIONS

WILLOW CREEK ELEMENTARY SCHOOL
TOMBALL INDEPENDENT SCHOOL DISTRICT
18302 N ELDRIDGE PKWY
TOMBALL, TX 77377



ARCHITECTS
AND PLANNING
CONSULTANTS
11767 KATY FREEWAY, STE 430
HOUSTON, TEXAS 77079

PROJ. NO.: 24-10
DATE:
ISSUED FOR:

COVER SHEET

E000

GROUP OR DIVISION NUMBER
 A000—SEQUENTIAL SHEET NUMBER WITHIN GROUP
 DENOTES SCHOOL DESIGNATION

20 SHEET GROUPING
 NTS

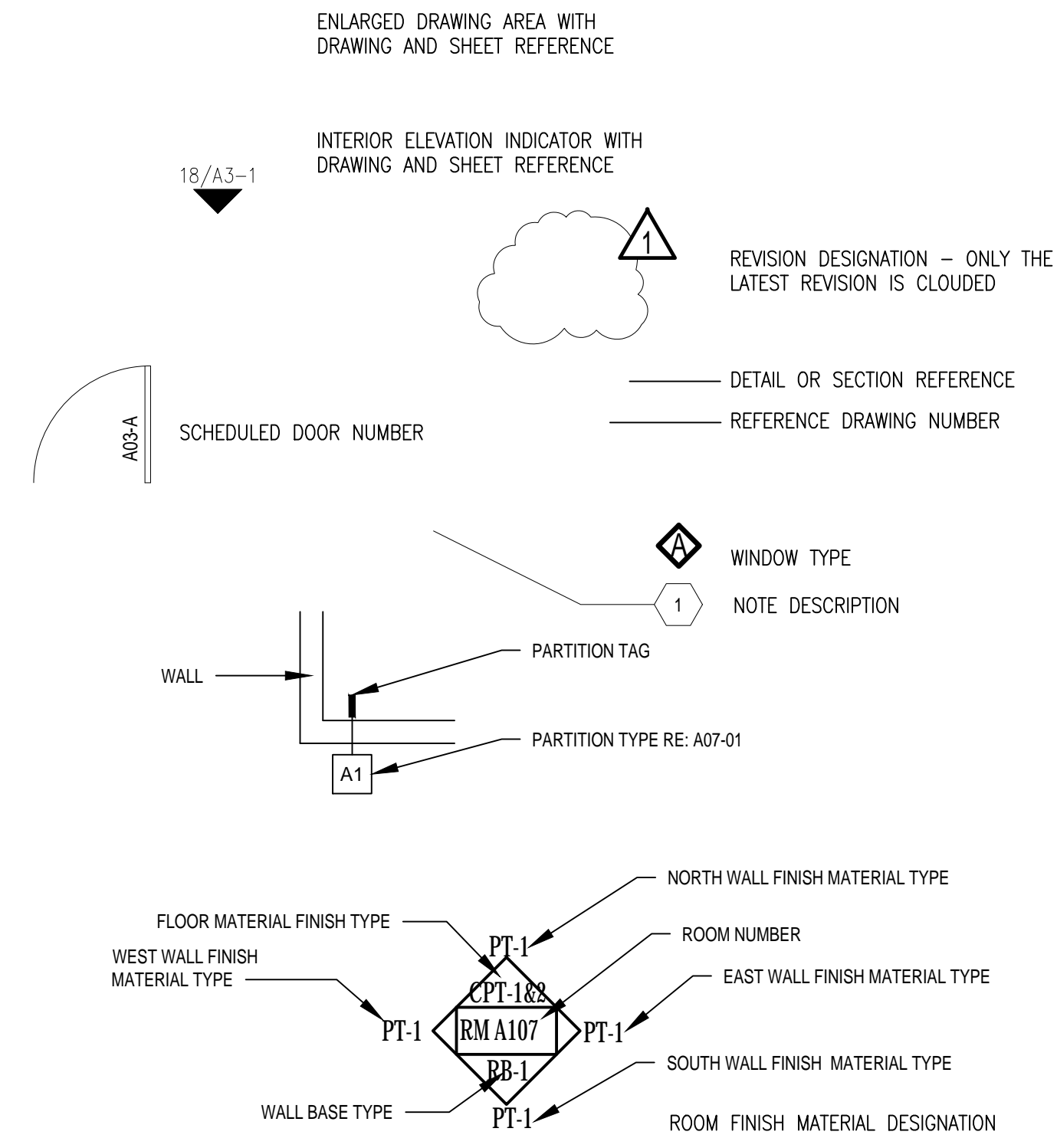
21	22	23	24	25
16	17	18	19	20
11	12	13	14	15
6	7	8	9	10
1	2	3	4	5

15 GRID
 NTS

A/C	AIR CONDITIONING	GEN	GENERAL
AB	ANCHOR BOLT	GL	GLASS
AC	ACOUSTIC, ACOUSTICAL	GP	GYPSSUM PLASTER
ACC DR	ACCESS DOOR	GRD	GRADE
ACT	ACOUSTIC DOOR	GRT	GROUT
AD	AREA DRAIN	GYP	GYPSSUM
AFF	ABOVE FINISH FLOOR	GYP BD	GYPSSUM BOARD
ALUM	ALUMINUM	HC	HANDICAP
ANOD	ANODIZED	HD W	HARDWARE
AP	ACCESS PANEL	HOWD	HARDWOOD
AUX	AUXILIARY	HVAC	HEATING, VENTILATING & AIR CONDITIONING
AV	AIR VENT	HW	HOT WATER
BLDG	BUILDING	ID	INSIDE DIAMETER
BLK(G)	BLOCKING	IN	INCHES
BOT	BOTTOM	JAN	JANITOR
BR	BRICK	JT	JOINT
BR	BUILT UP ROOF	LAM(D)	LAMINATE(D)
CI	CHANNEL	LAV	LAVATORY
CAB	CABINET	LH	LEFT HAND
CC	CENTER TO CENTER	MEP	MECHANICAL ELECTRICAL PLUMBING
CD	CEILING DIFFUSER	MET	METAL
CG	CEILING GRILLE	MATL	MATERIAL
CHBD	CHALK BOARD	MAX	MAXIMUM
CHW	CHILLED WATER	MECH	MECHANICAL
		MFR	MANUFACTURER
		MIN	MINIMUM
CI	CAST IRON	NIC	NOT IN CONTRACT
CP	CAST IN PLACE	NTS	NOT TO SCALE
CJ	CONSTRUCTION JOINT	OFF	OFFICE
CJT	CONTROL JOINT	OH	OVERHEAD
CLG	CEILING	OPNG	OPENING
CLO	CLOSET	PL	PLATE
CLRM	CLASSROOM	P LAM	PLASTIC LAMINATE
CD	CLEAN OUT	PLBG	PLUMBING
COL	COLUMN	PLYWD	PLYWOOD
CONC	CONCRETE	PNL	PANEL
CONN	CONNECTION	PRESS	PRESSURE
CONST	CONSTRUCTION	PVMT	PAVEMENT
CONT	CONTINUOUS	PWR	POWER
CORR	CORRIDOR	R	RADIUS, RISER
CPT	CARPET	RCP	REFLECTED CEILING PLAN
CR	CEILING REGISTER	RA	RETURN AIR
CT	CERAMIC TILE	RD	ROOF DRAIN
CW	COLD WATER	RE	REFER
		REQD	REQUIRED
DC	DOOR CLOSER	RH	ROOM
DEMO	DEMOLISH/DEMOLITION	RO	ROUGH OPENING
DET	DETAIL	RT	RIGHT
DM	DIMENSION	SCHED	SCHEDULE(D)
DL	DOOR LOUVER	SF	SQUARE FEET
DN	DOWN	SM	SIMILAR
DR	DOOR	SND	SOUND
DS	DOWNSPOUT	SPEC(S)	SPECIFICATION(S)
DWG	DRAWING	SQ	SQUARE
EA	EACH	SQ IN	SQUARE INCHES
EDF	ELECTRIC DRINKING FOUNTAIN	STL	STEEL
EF	EXHAUST FAN, EACH FACE	STRUCT	STRUCTURE, STRUCTURAL
EJC	EXPANSION JOINT COVER	SYST	SYSTEM
EJT	EXPANSION JOINT	T&B	TOP AND BOTTOM
ELAST	ELASTOMERIC	TC	TOP OF CURB
EL	ELEVATION	TEL	TELEPHONE
ELEC(L)	ELECTRICAL	TEMP	TEMPORARY, TEMPERATURE
ELEV	ELEVATOR/ELEVATION	THK	THICK
EMER	EMERGENCY	THR	THRESHOLD
ENCL	ENCLOSURE	TOC	TOP OF CONCRETE
ENT	ENTRANCE	TV	TELEVISION
EQ	EQUAL	UG	UNDERGROUND
EQUIP	EQUIPMENT	UL	UNDERWRITERS LABORATORY
EXIST	EXISTING	VAC	VACUUM
EXP	EXPANSION	VAV	VARIABLE AIR VOLUME
EXT	EXTERIOR	VCT	VINYL COMPOSITION TILE
FACP	FIRE ALARM CONTROL PANEL	VOL	VOLUME
FD	FLOOR DRAIN	W	WITH
FDN	FOUNDATION	WO	WITHOUT
FF	FINISH FLOOR	WC	WATER CLOSET
FIN	FINISH	WD	WOOD
FIT	FIXTURE	WH	WATER HEATER, WALL HUNG
FJT	FLUSH JOINT	WHP	WEEP HOLE
FL(G)	FLOORING	WP	WATERPROOFING, WATERPROOF
FT	FOOT		
FTG	FOOTING		
FURN	FURNITURE		
FV	FIELD VERIFY		
GA	GAUGE		
GALV	GALVANIZED		
GC	GENERAL CONTRACTOR		

1 ABBREVIATIONS
 NTS

16 LEGEND
 NTS



10 GENERAL NOTES
 NTS

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- OBTAIN PERMITS, APPROVALS, INSPECTIONS, CERTIFICATE OF COMPLIANCE, CERTIFICATE OF OCCUPANCY, AND OTHER DOCUMENTS NECESSARY TO COMPLETE THE PROJECT.
- REVIEW THE CONTRACT DOCUMENTS AND PERFORM WORK IN COMPLIANCE WITH THOSE DOCUMENTS.
- COORDINATE WORK WITH THE OWNER'S CONSTRUCTION COORDINATOR, INCLUDING WORK SCHEDULE, AND PERFORM WORK ONLY WITH OWNER'S PRIOR APPROVAL.
- MAINTAIN REQUIRED DOCUMENTS AND UP-TO-DATE CONSTRUCTION PLANS AT JOB SITE. THE CONTRACTOR SHALL SUBMIT AS-BUILT DRAWINGS TO THE CLIENT PROJECT MANAGER UPON COMPLETION OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY PRECAUTIONS DURING CONSTRUCTION AND TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THAT THERE WILL BE NO CONSTRUCTION RELATED DAMAGE TO THE EXISTING BUILDING CONSTRUCTIONS. IF SUCH DAMAGE OCCURS, THEN THE G.C. SHALL PROMPTLY MAKE ALL NECESSARY REPAIRS TO RETURN THE DAMAGED CONSTRUCTION TO A LIKE-NEW CONDITION AND THE EXPENSE OF SAID REPAIRS SHALL BE BORNE SOLELY BY THE G.C.
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- SCHEDULE SHOULD BE OPTIMIZED FOR SHORTEST ECONOMICAL COMPLETION.
- BE RESPONSIBLE FOR FINAL CLEANING PRIOR TO TURNING SPACE OVER TO OWNER.
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- MAINTAIN HANDBOOKS, OPERATING MANUALS, PAPERWORK AND KEYS IN A SAFE AND ORGANIZED MANNER. KEYS SHALL BE TAGGED FOR PROPER LOCATIONS. THESE SHALL BE TURNED OVER TO THE TENANT CONSTRUCTION COORDINATOR ALONG WITH CERTIFICATES OF OCCUPANCY, LIEN WAIVERS, WARRANTIES, AND GUARANTEES.
- DO NOT SCALE THESE DRAWINGS FOR DIMENSIONAL INFORMATION. REFER TO DIMENSIONS ON THE SITE PLAN AND THE ENLARGED PLANS. IF THERE IS A CONFLICT WITH THE PLAN DIMENSIONS OR AN EXISTING FIELD CONDITION CONTACT THE ARCHITECT.
- CONTRACTOR TO PROVIDE LETTER AT END OF PROJECT CERTIFYING THAT MATERIALS USED ON PROJECT ARE ASBESTOS FREE.
- BUILDERS QUOTE SHOULD BE IN COMPLIANCE WITH ALL CLIENT TERMS, CONDITIONS, AND SECURITY REQUIREMENTS. SAME IS TRUE FOR CURRENT CONTRACT SERVICE PROVIDERS SHOULD THEY DO THE WORK.
- DEMOLITION PLANS INDICATE SOME OF THE SCOPE-OF-WORK INVOLVED FOR THE DEMOLITION PHASE OF THIS PROJECT. CONTRACTOR SHALL REVIEW ALL SHEETS FOR ADDITIONAL DEMOLITION SCOPE.
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- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS BEFORE COMMENCING WORK.
- AFTER AWARD OF THE CONTRACT, CHANGE ORDER REQUESTS FOR ADDITIONAL MONEY WILL NOT BE APPROVED IF THE WORK COULD HAVE BEEN ANTICIPATED DURING A SITE VISIT BY THE CONTRACTOR.
- CONTRACTOR SHALL NOT SCALE DRAWINGS.
- CONTRACTOR SHALL REMOVE TRASH AND DEBRIS REGULARLY AS NECESSARY TO ELIMINATE INTERFERENCE WITH ROADS, STREET, WALKS, AND ALL OTHER ADJACENT FACILITIES.
- CONTRACTOR SHALL REMOVE TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.
- CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF TEMPORARY DUST AND OR SOUND PARTITION BETWEEN CONSTRUCTION AREA AND AREAS NOT IN SCOPE AS NECESSARY. DEMOLITION ACTIVITIES SHALL BE PERFORMED SO AS TO PRODUCE MINIMAL DISTURBANCE TO EXISTING FACILITY AND OCCUPANTS (I.E. MINIMIZE EXCESSIVE AND PROLONGED NOISE LEVELS AND DUST).
- CONTRACTOR SHALL REPAIR, REPLACE, OR PATCH EXISTING BUILDINGS, DRIVEWAYS, SIDEWALKS, CANOPIES, AND OR PARKING AREAS DAMAGED, MODIFIED, AND OR DISTURBED BY DEMOLITION WORK AT NO COST TO THE OWNER.
- ALL EXISTING EQUIPMENT THAT REMAINS SHALL BE PROTECTED DURING DEMOLITION AND OR CONSTRUCTION TO PREVENT DAMAGE. ANY DAMAGE TO REMAINING EXISTING EQUIPMENT SUSTAINED DURING DEMOLITION AND OR CONSTRUCTION SHALL BE EQUIVALENTLY REPLACED OR EQUIVALENTLY REPAIRED AT NO COST TO THE OWNER.
- CONTRACTOR SHALL PROVIDE TRAFFIC HANDLING MEASURES TO PROTECT THE GENERAL PUBLIC AT ALL TIMES, AS NECESSARY AND AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- DO NOT INTERRUPT EXISTING UTILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES INCLUDING BUT NOT LIMITED TO THE FOLLOWING: ELECTRIC, GAS, WATER, TELEPHONE, STORM SEWER, AND SANITARY SEWER FOR FIELD LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITY LINES. PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORK, CONTRACTOR SHALL IDENTIFY ALL ELECTRICAL CIRCUITS SERVICING THE AREA INVOLVED WITH THIS DEMOLITION. THOSE CIRCUITS SHALL THEN BE LOCKED OUT AND TAGGED OUT IF THEY DO NOT SERVICE ANY OF THE REMAINING BUILDING. THOSE CIRCUITS WHICH ARE IDENTIFIED TO SERVICE BOTH THE AREA TO BE DEMOLISHED AND THE REMAINING BUILDING SHALL BE SPLIT SO AS TO KILL ALL ELECTRICAL POWER TO THE AREA TO BE DEMOLISHED WHILE MAINTAINING POWER TO THE REMAINDER OF THE BUILDING.
- PROTECT EXISTING SITE ELEMENTS AND EXISTING LANDSCAPING TO REMAIN. PROTECTION SHALL INCLUDE BUT NOT BE LIMITED TO EXISTING TREES AND OTHER EXISTING VEGETATION INDICATED TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING, OR SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIAL OR EXCAVATED MATERIAL WITHIN DRIP LINES.
- CONTRACTOR SHALL RE-GRADE AND HYDRO-MULCH AREAS AFFECTED BY DEMOLITION AND/OR NEW WORK. OWNER HAS RIGHT OF FIRST REFUSAL OF ALL ITEMS REMOVED AS PART OF THE SCOPE OF WORK, WHETHER IDENTIFIED AS SALVAGE OR NOT.
- NOTIFY THE BUILDING OWNER OF ANY MATERIALS, FIXTURES, ETC. TO BE REMOVED THAT ARE DEEMED SALVAGEABLE. TURN OVER ANY REQUESTED ITEMS TO THE BUILDING OWNER IN GOOD AND CLEAN CONDITION.
- ALL FURNITURE WILL BE REMOVED OR RELOCATED BY THE OWNER AS NECESSARY PRIOR TO THE DEMOLITION WORK OF THIS PROJECT. CONTRACTOR SHALL COORDINATE WITH OWNER AS REQUIRED.
- REMOVE EXISTING CONSTRUCTION TO THE EXTENT INDICATED ON THE DRAWINGS. SHOULD ANY DAMAGE OCCUR TO ANY EXISTING CONSTRUCTION TO REMAIN, THE CONTRACTOR SHALL REPAIR THE DAMAGE TO MATCH EXISTING AND OR ADJACENT CONSTRUCTION AT NO COST TO THE OWNER.
- ALL DASHED LINES ARE DEMOLITION LINES UNLESS OTHERWISE NOTED.

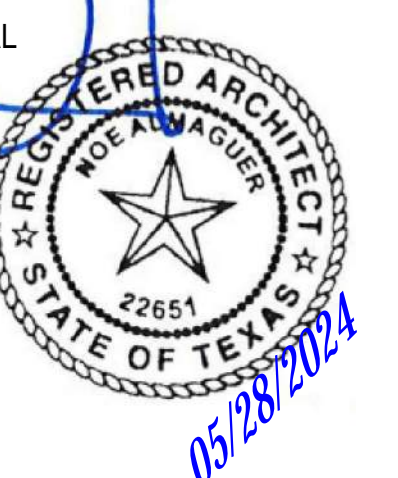
Sheet List Table

Sheet Number	Sheet Title	DATE	REV01	REV02	REV03
ARCHITECTURE: E - Willow Creek Elementary School					
E000	COVER SHEET	05/28/2024			
E100	GENERAL INFORMATION AND DRAWING INDEX	05/22/2024			
E200	Willow Creek Elementary School SITE PLAN	05/28/2024			
E400	TYPICAL FENCE DETAILS - E	05/28/2024			

03 DRAWING INDEX
 NTS

REVISIONS

WILLOW CREEK ELEMENTARY SCHOOL
 TOMBALL INDEPENDENT SCHOOL DISTRICT
 18302 N ELDRIDGE PKWY
 TOMBALL, TX 77377



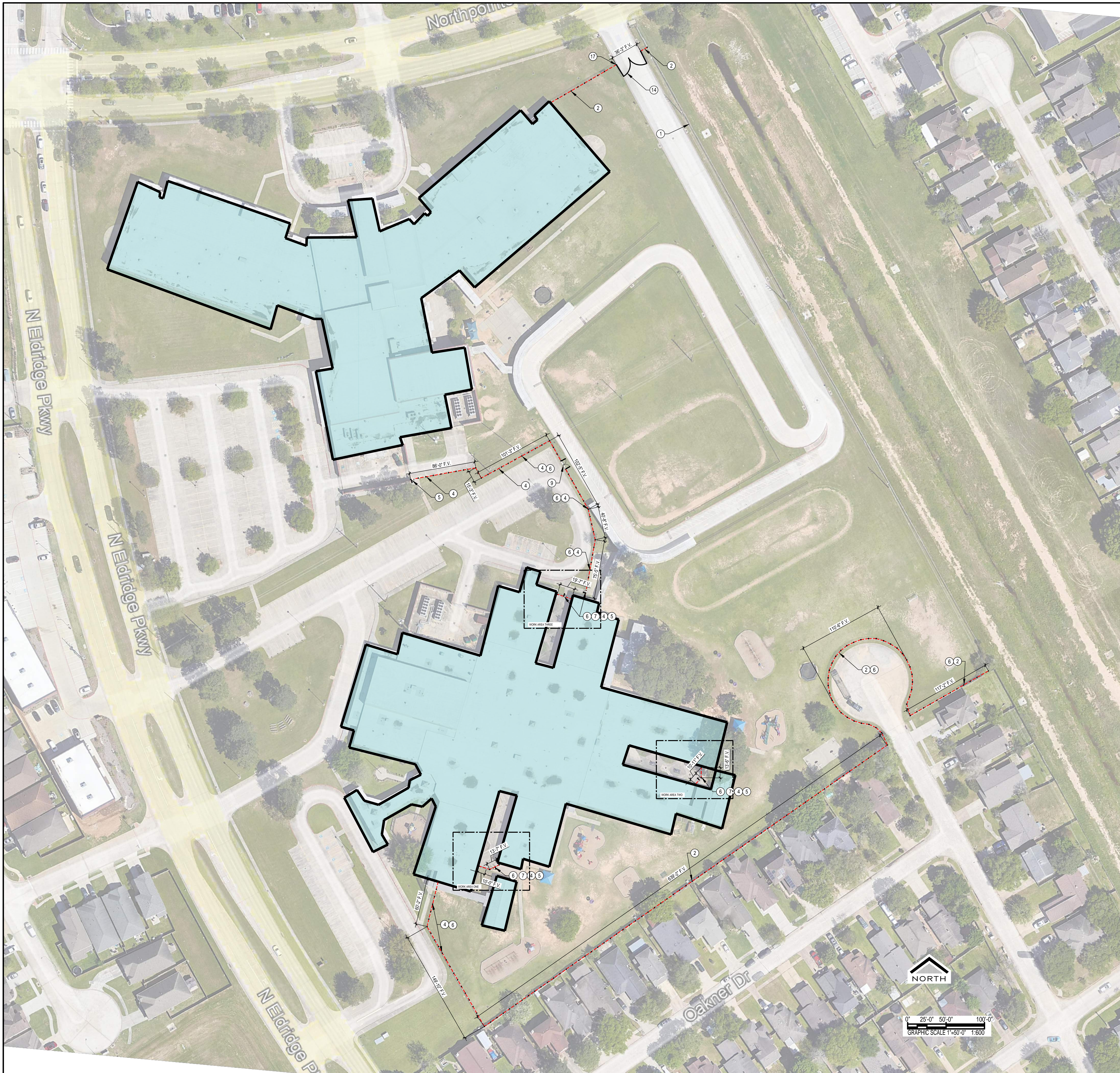
ARCHITECTS
 AND PLANNING
 CONSULTANTS

11767 KATY FREEWAY, STE 430
 HOUSTON, TEXAS 77079

PROJ. NO.: 24-10
 DATE:
 ISSUED FOR:

GENERAL INFORMATION
 AND DRAWING INDEX

E100



F:\2024\24-10 Isd facilities secure fencing\DWG\SE200 Willow Creek Elementary School SITE PLAN.dwg, May 27, 2024, 6:56pm

01 WILLOW CREEK ELEMENTARY SCHOOL SITE PLAN
 1" = 50'-0" XREF

KEYNOTES	
NUM	DESCRIPTION
1	EXISTING FENCE AND OR GATE TO REMAIN
2	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE
3	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE GATE 42" WIDE WITH PANIC HARDWARE
4	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL FENCE
5	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL FENCE GATE 42" WIDE WITH PANIC HARDWARE
6	REMOVE EXISTING FENCE
7	REMOVE EXISTING GATE
8	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL SLIDING FENCE GATE TWENTY FOOT WIDE
9	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL DOUBLE SWING FENCE GATE TWELVE FOOT WIDE
10	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE GATE 36" WIDE
11	CUT OPENING IN EXISTING FENCE TO INSTALL GATE
12	INSTALL SLATS IN EXISTING SEVEN FOOT HIGH CHAINLINK FENCE
13	INSTALL SIX FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE WITH SLAT INSERTS
14	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK DOUBLE FENCE GATE 36 FEET WIDE
15	INSTALL PANIC HARDWARE ON EXISTING DOOR. INCLUDE PROTECTION OF DOOR PANIC DEVICE FROM OUTSIDE ACTIVATION
16	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE SLIDING FENCE GATE TWENTY FOOT WIDE
17	PROVIDE KNOXBOX FOR FIRE DEPARTMENT ACCESS
18	REVERSE SWING OF GATE, REMOVE EXISTING MAGLOCK DEVICE AND PROVIDE PANICE DEVIDE PER KEYNOTE 15
19	PAINT FENCE BLACK.
20	REPAIR EXISTING GATE OPERATOR TO WORKING CONDITION.

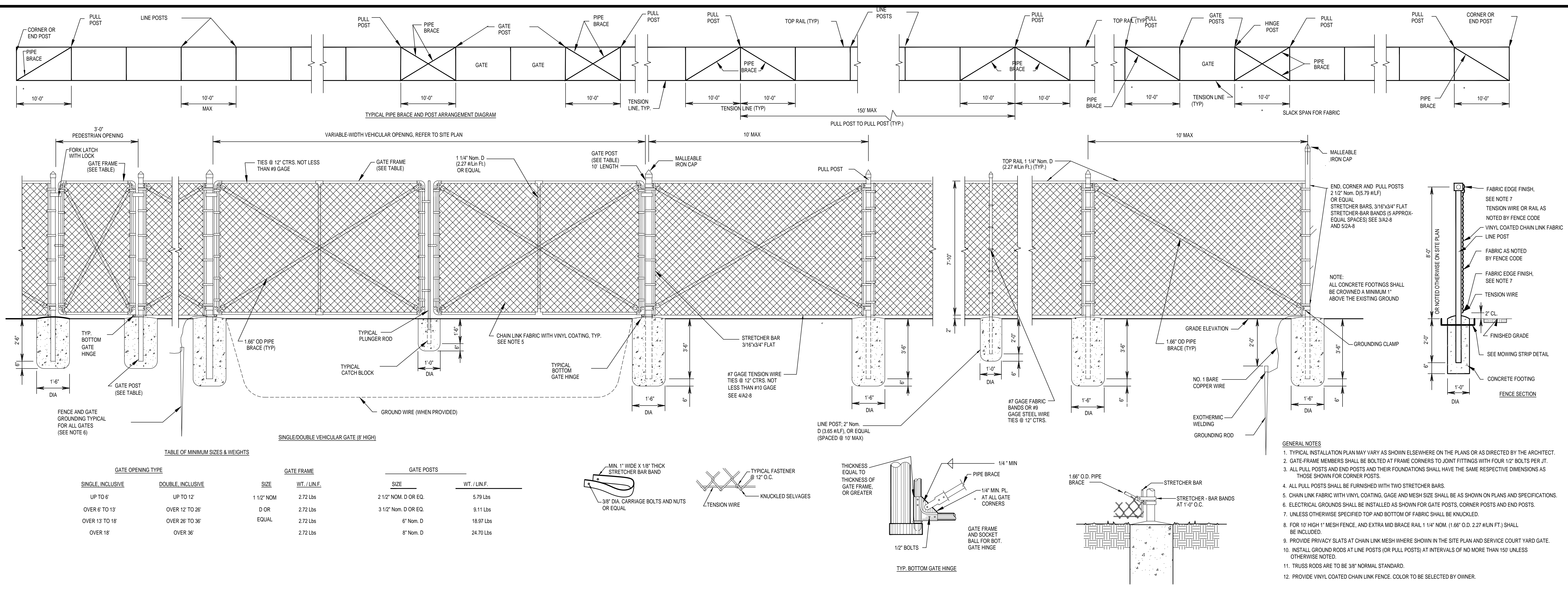
02 KEYNOTES
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REVISIONS

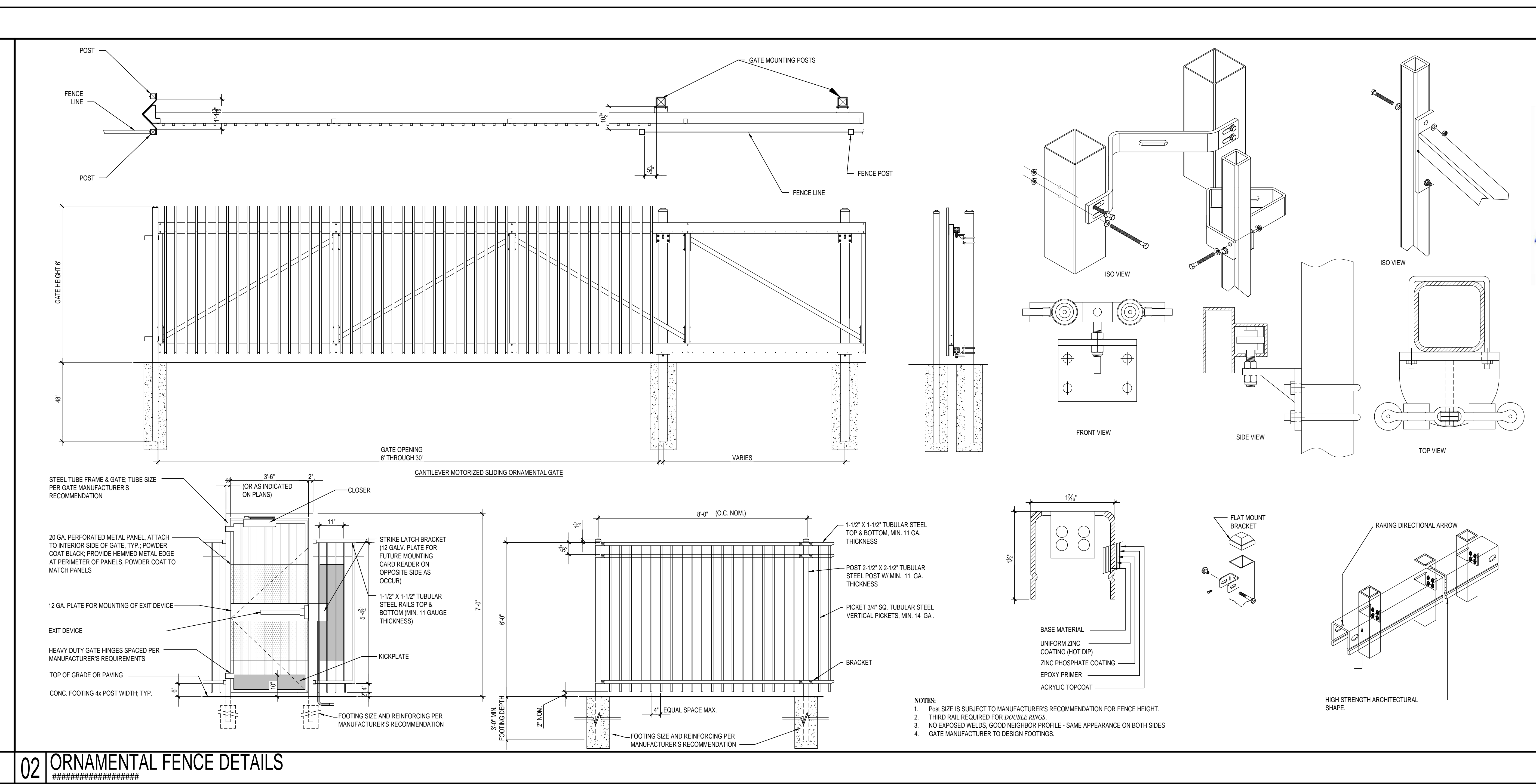
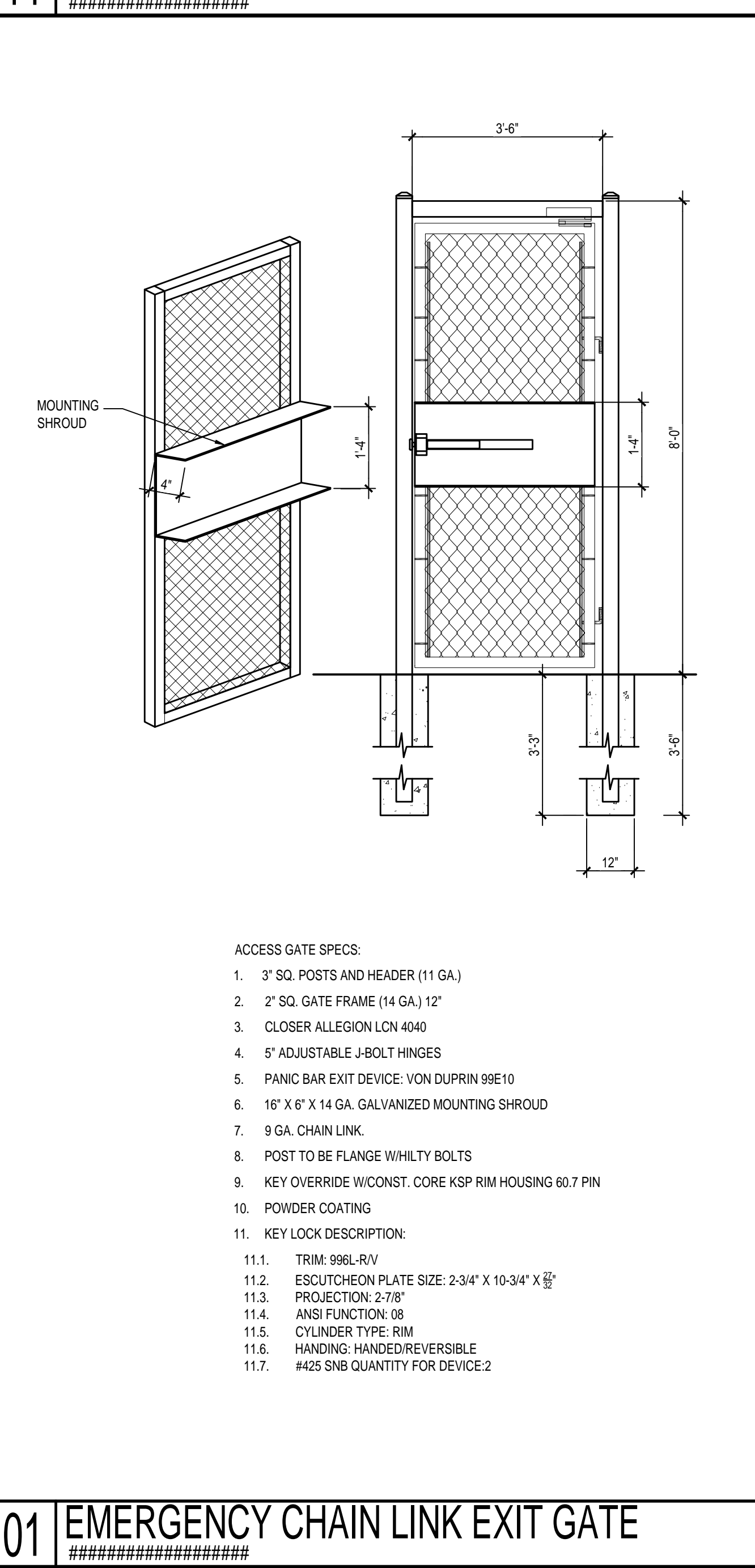
WILLOW CREEK ELEMENTARY SCHOOL
 TOMBALL INDEPENDENT SCHOOL DISTRICT
 18302 N ELDRIDGE PKWY
 TOMBALL, TX 77377



PROJ. NO.: 24-10
 DATE:
 ISSUED FOR:
 WILLOW CREEK
 ELEMENTARY SCHOOL
 SITE PLAN
 E200



11 CHAIN LINK DETAILS



01 EMERGENCY CHAIN LINK EXIT GATE

02 ORNAMENTAL FENCE DETAILS



TOMBALL INDEPENDENT SCHOOL DISTRICT

310 S. Cherry Street
TOMBALL, TEXAS 77375

DISTRICT-WIDE SECURITY FENCING IMPROVEMENTS

ADMINISTRATION

DR. MARTHA SALAZAR-ZAMORA	SUPERINTENDENT OF SCHOOLS
DR. AMY SCHINDEWOLF	CHIEF OF STAFF
DR. STEVEN GUTIERREZ	CHIEF OPERATING OFFICER
DR. MICHAEL WEBB	CHIEF ACADEMIC OFFICER
ZACHERY BOLES	CHIEF FINANCIAL OFFICER
DR. MINDY MUNOZ	ASST. SUPERINTENDENT OF SECONDARY SCHOOLS
DR. GEORGE FLORES	ASST. SUPERINTENDENT OF ELEMENTARY SCHOOLS
DR. LEE WRIGHT	ASST. SUPERINTENDENT OF STRATEGIC INNOVATION
MARK WHITE	ASST. SUPERINTENDENT OF ACCOUNTABILITY
DR. ALICIA REEVES	ASST. SUPERINTENDENT OF HUMAN TALENT

BOARD OF TRUSTEES

MR. JOHN E. McSTRAVICK	PRESIDENT
MR. JUSTIN UNSER	VICE PRESIDENT
MR. MARK LEWANDOWSKI	SECRETARY
DR. MICHAEL J. PRATT	ASSISTANT SECRETARY
MR. LEE McLEOD	BOARD TRUSTEE
MRS. TINA SALEM	BOARD TRUSTEE
MR. MATT SCHIEL	BOARD TRUSTEE

PROJECT TEAM



OWNER
Tomball Independent School District
310 S. Cherry Street
Tomball, TX 77375
Phone Number: 281-357-3100



PROGRAM MANAGER
2925 Briarpark Dr. #400
Houston, Texas 77042
Phone Number: 713-266-6900



ARCHITECT
11767 Katy Freeway, Suite 430
Houston, Texas 77079
Phone Number: 713-782-8188

ISSUED FOR BIDDING - 5/28/24

REVISIONS

TOMBALL INTERMEDIATE SCHOOL
TOMBALL INDEPENDENT SCHOOL DISTRICT
723 W MAIN ST
TOMBALL, TX 77375



ARCHITECTS
AND PLANNING
CONSULTANTS
11767 KATY FREEWAY, STE 430
HOUSTON, TEXAS 77079

PROJ. NO.: 24-10
DATE:
ISSUED FOR:

COVER SHEET

F000

GROUP OR DIVISION NUMBER
 A000—SEQUENTIAL SHEET NUMBER WITHIN GROUP
 DENOTES SCHOOL DESIGNATION

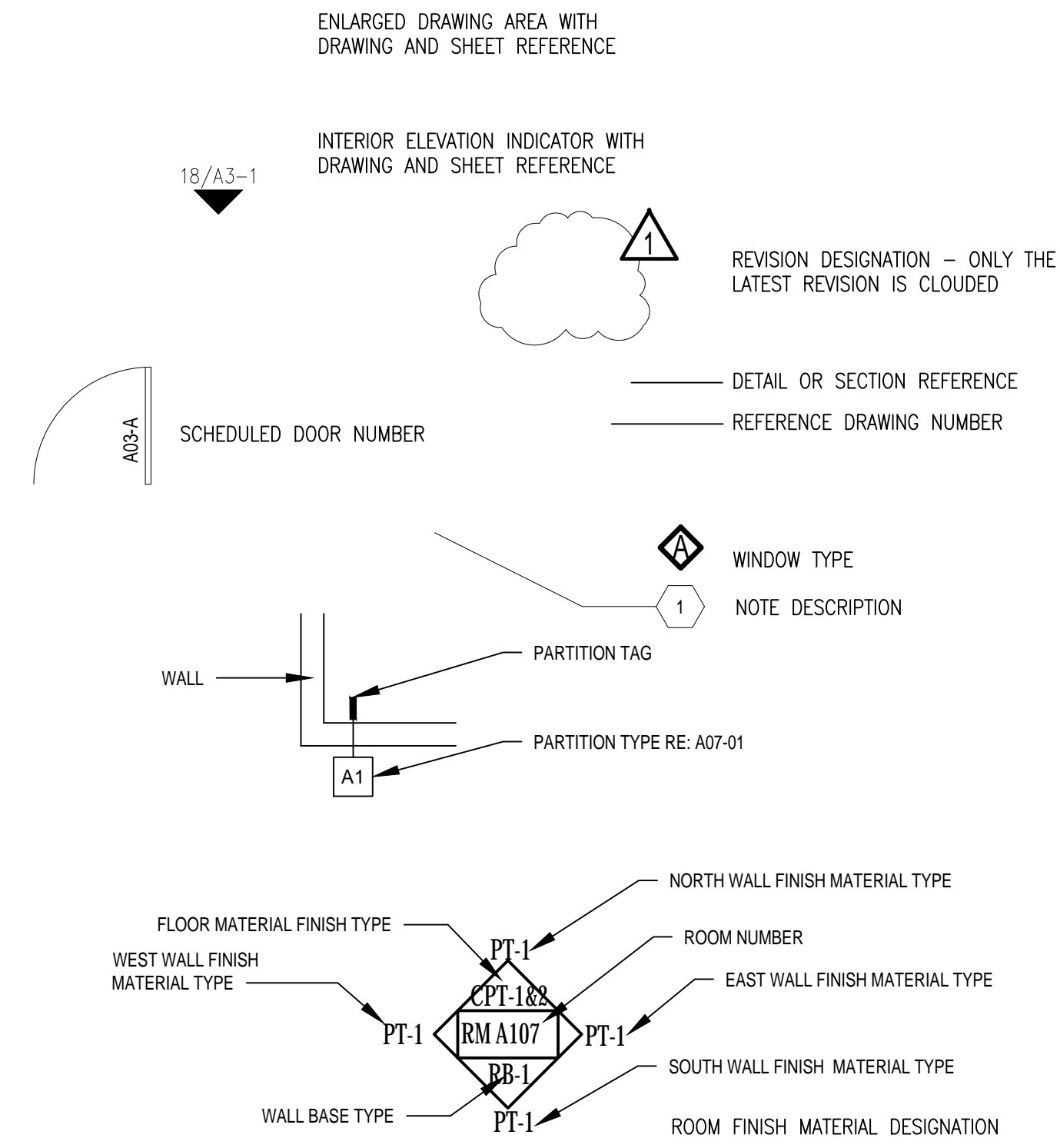
20 SHEET GROUPING
 NTS

21	22	23	24	25
16	17	18	19	20
11	12	13	14	15
6	7	8	9	10
1	2	3	4	5

15 GRID
 NTS

A/C	AIR CONDITIONING	GEN	GENERAL
AB	ANCHOR BOLT	GL	GLASS
AC	ACOUSTIC, ACOUSTICAL	GP	GYPSUM PLASTER
ACC DR	ACCESS DOOR	GRD	GRADE
ACT	ACOUSTIC DOOR	GRT	GROUT
AD	AREA DRAIN	GYP	GYPSUM
AFF	ABOVE FINISH FLOOR	GYP BD	GYPSUM BOARD
ALUM	ALUMINUM	HC	HANDICAP
ANOD	ANODIZED	HD W	HARDWARE
AP	ACCESS PANEL	HOWD	HARDWOOD
AUX	AUXILIARY	HVAC	HEATING, VENTILATING & AIR CONDITIONING
AV	AIR VENT	HW	HOT WATER
BLDG	BUILDING	ID	INSIDE DIAMETER
BLK(G)	BLOCKING	IN	INCHES
BOT	BOTTOM	JAN	JANITOR
BR	BRICK	JT	JOINT
BR	BUILT UP ROOF	LAM(D)	LAMINATE(D)
CI	CHANNEL	LAV	LAVATORY
CAB	CABINET	LH	LEFT HAND
CC	CENTER TO CENTER	MEP	MECHANICAL ELECTRICAL PLUMBING
CD	CEILING DIFFUSER	MET	METAL
CG	CEILING GRILLE	MATL	MATERIAL
CHBD	CHALK BOARD	MAX	MAXIMUM
CHW	CHILLED WATER	MECH	MECHANICAL
		MFR	MANUFACTURER
		MIN	MINIMUM
CI	CAST IRON	NIC	NOT IN CONTRACT
CP	CAST IN PLACE	NTS	NOT TO SCALE
CJ	CONSTRUCTION JOINT	OFF	OFFICE
CJT	CONTROL JOINT	OH	OVERHEAD
CLG	CEILING	OPNG	OPENING
CLO	CLOSET	PL	PLATE
CLRM	CLASSROOM	P LAM	PLASTIC LAMINATE
CD	CLEAN OUT	PLBG	PLUMBING
COL	COLUMN	PLYWD	PLYWOOD
CONC	CONCRETE	PNL	PANEL
CONN	CONNECTION	PRESS	PRESSURE
CONST	CONSTRUCTION	PVMT	PAVEMENT
CONT	CONTINUOUS	PWR	POWER
CORR	CORRIDOR	R	RADIUS, RISER
CPT	CARPET	RCP	REFLECTED CEILING PLAN
CR	CEILING REGISTER	RA	RETURN AIR
CT	CERAMIC TILE	RD	ROOF DRAIN
CW	COLD WATER	RE	REFER
		REQD	REQUIRED
DC	DOOR CLOSER	RM	ROOM
DEMO	DEMOLISH/DEMOLITION	RO	ROUGH OPENING
DET	DETAIL	RT	RIGHT
DM	DIMENSION	SCHED	SCHEDULE(D)
DL	DOOR LOUVER	SF	SQUARE FEET
DN	DOWN	SM	SIMILAR
DR	DOOR	SND	SOUND
DS	DOWNSPOUT	SPEC(S)	SPECIFICATION(S)
DWG	DRAWING	SQ	SQUARE
EA	EACH	SQ IN	SQUARE INCHES
EDF	ELECTRIC DRINKING FOUNTAIN	STL	STEEL
EF	EXHAUST FAN, EACH FACE	STRUCT	STRUCTURE, STRUCTURAL
EJC	EXPANSION JOINT COVER	SYST	SYSTEM
EJT	EXPANSION JOINT	T&B	TOP AND BOTTOM
ELAST	ELASTOMERIC	TC	TOP OF CURB
EL	ELEVATION	TEL	TELEPHONE
ELEC(L)	ELECTRICAL	TEMP	TEMPORARY, TEMPERATURE
ELEV	ELEVATOR/ELEVATION	THK	THICK
EMER	EMERGENCY	THR	THRESHOLD
ENCL	ENCLOSURE	TOC	TOP OF CONCRETE
ENT	ENTRANCE	TV	TELEVISION
EQ	EQUAL	UG	UNDERGROUND
EQUIP	EQUIPMENT	UL	UNDERWRITERS LABORATORY
EXIST	EXISTING	VAC	VACUUM
EXP	EXPANSION	VAV	VARIABLE AIR VOLUME
EXT	EXTERIOR	VCT	VINYL COMPOSITION TILE
FACP	FIRE ALARM CONTROL PANEL	VOL	VOLUME
FD	FLOOR DRAIN	W	WITH
FDN	FOUNDATION	WO	WITHOUT
FF	FINISH FLOOR	WC	WATER CLOSET
FIN	FINISH	WD	WOOD
FIXT	FIXTURE	WH	WATER HEATER, WALL HUNG
FJT	FLUSH JOINT	WP	WEEP HOLE
FL(G)	FLOORING		WATERPROOFING, WATERPROOF
FT	FOOT		
FTG	FOOTING		
FURN	FURNITURE		
FV	FIELD VERIFY		
GA	GAUGE		
GALV	GALVANIZED		
GC	GENERAL CONTRACTOR		

1 ABBREVIATIONS
 NTS



16 LEGEND
 NTS

10 GENERAL NOTES
 NTS

- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, SUPERVISION, PERMITS, EQUIPMENT, TOOLS, TRANSPORTATION, WAREHOUSING, AND ANY OTHER SERVICES REQUIRED TO COMPLETE THE SCOPE OF WORK IN A TIMELY AND EFFICIENT MANNER.
- INDIVIDUAL ITEMS OF WORK ARE DETAILED IN THE SCOPE OF WORK SECTION, APPLICABLE TECHNICAL SPECIFICATIONS, THE ATTACHED DRAWINGS, AND THE NOTES AND LEGENDS ON THE DRAWINGS. THE CONTRACTOR IS RESPONSIBLE TO COMPLETE THE REQUIREMENTS FOUND IN ANY OF THE ABOVE. CONTRACTOR SHALL VERIFY DIMENSIONS AND JOB CONDITIONS AT THE JOB SITE PRIOR TO START OF CONSTRUCTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL ALL TEMPORARY BRACING AND SHORING TO INSURE THE SAFETY OF THE WORK UNTIL IT IS IN ITS COMPLETED FORM.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT ALL APPLICABLE SAFETY LAWS ARE STRICTLY ENFORCED AND TO MAINTAIN A SAFE CONSTRUCTION PROJECT. CONTRACTOR TO PROVIDE A JOB SPECIFIC SAFETY PLAN FOR CLIENT REVIEW PRIOR TO START OF WORK.
- DAILY, AND UPON COMPLETION OF THE WORK, CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS, RUBBISH, WASTE, AND SURPLUS MATERIAL FROM THE PREMISES. CONTRACTOR WILL INCUR ALL COSTS FOR DISPOSAL.
- SUBCONTRACTORS SHALL COOPERATE AND COORDINATE BETWEEN VARIOUS TRADES, AND WITH OTHERS WHOSE WORK IS DEPENDENT ON EACH OTHER. SUBCONTRACTOR SHALL INFORM HIMSELF AS TO THE RELATIONSHIP BETWEEN HIS WORK AND OTHER TRADES.
- EACH SUBCONTRACTOR WHOSE WORK IS EXECUTED IN RELATION TO PRIOR WORK SHALL CAREFULLY INSPECT HIS PRIOR WORK AND SUBMIT WRITTEN NOTICE OF ANY DEFECTS, IMPROPER WORKMANSHIP OR MATERIALS, OR OTHER CONDITIONS THAT WOULD AFFECT THE SATISFACTORY EXECUTION AND PERMANENCY OF HIS WORK. NO FURTHER WORK SHALL BE EXECUTED UNTIL SUCH DEFECTS OR CONDITIONS HAVE BEEN CORRECTED OR AN AGREEMENT REACHED WITH OWNER REGARDING DEFECTS WHICH MAY DEVELOP DUE TO CONDITIONS SO NOTED.
- BEFORE ORDERING ANY MATERIAL, OR DOING ANY WORK, THE CONTRACTOR SHALL VERIFY MEASUREMENTS OF THE WORK AND BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. GIVE NOTIFICATION OF ANY DIFFERENCE WHICH MAY BE FOUND BEFORE PROCEEDING WITH THE WORK.
- COOPERATE WITH LOCAL AND OTHER GOVERNMENTAL OFFICIALS AND INSPECTIONS NECESSARY, PROVIDING ASSISTANCE TO EXPEDITE THE INSPECTION.
- ALL WORKMANSHIP MATERIALS, AND CONSTRUCTION RELATING TO THE PROJECT SHALL BE IN COMPLIANCE WITH AND CONFORM TO THE GOVERNING BUILDING CODES AND OTHER APPLICABLE CODES. ALL WORK SHALL BE IN COMPLIANCE WITH THE LATEST EDITION OF THE UNIFORM BUILDING CODE, INTERNATIONAL BUILDING CODE OR NFPA BUILDING CODE CURRENTLY IN FORCE BY THE LOCAL JURISDICTION, AND THE CLIENT PROVIDED ON SITE ACTIVITY SUPPLEMENT AND ALL OTHER LOCAL ORDINANCES AND REQUIREMENTS.
- ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE CODES, AND/OR REGULATIONS HAVING JURISDICTION OVER THE WORK AND SHALL BE PERFORMED IN A GOOD WORKMANSHIP LIKE MANNER IN ACCORDANCE WITH ACCEPTED TRADE STANDARDS BY EXPERIENCED CRAFTSMEN SKILLED IN THEIR RESPECTIVE TRADES.
- PRIOR TO THE COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL CAREFULLY STUDY THE CONTRACT DOCUMENTS AND SHALL IMMEDIATELY REPORT TO THE ARCHITECT ANY ERROR, INCONSISTENCY, OR OMISSION.
- WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND ARCHITECT MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS.
- SUBCONTRACTORS ARE RESPONSIBLE FOR CONFIRMING DIMENSIONS AND FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, AND CORRELATING DIMENSIONS AT THE JOB SITE.
- G.C. SHALL PERFORM CONSTRUCTION ACTIVITIES AND FURNISH AND INSTALL MATERIALS IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL CODES INCLUDING A.D.A.
- ALL DIMENSIONS CONTAINED IN THE SCOPE OF WORK SHALL BE VERIFIED BY CONTRACTOR AND WITH DRAWINGS. DIMENSIONS PROVIDED IN THE SCOPE OF WORK ARE APPROXIMATE VALUES PROVIDED FOR CONVENIENCE AND REFERENCE ONLY.
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- CONTRACTOR SHALL REMOVE TRASH AND DEBRIS REGULARLY AS NECESSARY TO ELIMINATE INTERFERENCE WITH ROADS, STREET, WALKS, AND ALL OTHER ADJACENT FACILITIES.
- CONTRACTOR SHALL REMOVE TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.
- CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF TEMPORARY DUST AND OR SOUND PARTITION BETWEEN CONSTRUCTION AREA AND AREAS NOT IN SCOPE AS NECESSARY. DEMOLITION ACTIVITIES SHALL BE PERFORMED SO AS TO PRODUCE MINIMAL DISTURBANCE TO EXISTING FACILITY AND OCCUPANTS (I.E. MINIMIZE EXCESSIVE AND PROLONGED NOISE LEVELS AND DUST).
- CONTRACTOR SHALL REPAIR, REPLACE, OR PATCH EXISTING BUILDINGS, DRIVEWAYS, SIDEWALKS, CANOPES, AND OR PARKING AREAS DAMAGED, MODIFIED, AND OR DISTURBED BY DEMOLITION WORK AT NO COST TO THE OWNER.
- ALL EXISTING EQUIPMENT THAT REMAINS SHALL BE PROTECTED DURING DEMOLITION AND OR CONSTRUCTION TO PREVENT DAMAGE. ANY DAMAGE TO REMAINING EXISTING EQUIPMENT SUSTAINED DURING DEMOLITION AND OR CONSTRUCTION SHALL BE EQUIVALENTLY REPLACED OR EQUIVALENTLY REPAIRED AT NO COST TO THE OWNER.
- CONTRACTOR SHALL PROVIDE TRAFFIC HANDLING MEASURES TO PROTECT THE GENERAL PUBLIC AT ALL TIMES, AS NECESSARY AND AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- DO NOT INTERRUPT EXISTING UTILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES INCLUDING BUT NOT LIMITED TO THE FOLLOWING: ELECTRIC, GAS, WATER, TELEPHONE, STORM SEWER, AND SANITARY SEWER FOR FIELD LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITY LINES. PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORK, CONTRACTOR SHALL IDENTIFY ALL ELECTRICAL CIRCUITS SERVICING THE AREA INVOLVED WITH THIS DEMOLITION. THOSE CIRCUITS SHALL THEN BE LOCKED OUT AND TAGGED OUT IF THEY DO NOT SERVICE ANY OF THE REMAINING BUILDING. THOSE CIRCUITS WHICH ARE IDENTIFIED TO SERVICE BOTH THE AREA TO BE DEMOLISHED AND THE REMAINING BUILDING SHALL BE SPLIT SO AS TO KILL ALL ELECTRICAL POWER TO THE AREA TO BE DEMOLISHED WHILE MAINTAINING POWER TO THE REMAINDER OF THE BUILDING.
- PROTECT EXISTING SITE ELEMENTS AND EXISTING LANDSCAPING TO REMAIN. PROTECTION SHALL INCLUDE BUT NOT BE LIMITED TO EXISTING TREES AND OTHER EXISTING VEGETATION INDICATED TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING, OR SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIAL OR EXCAVATED MATERIAL WITHIN DRIP LINES.
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Sheet List Table				
Sheet Number	Sheet Title	DATE	REV01	REV02
ARCHITECTURE: F - Tomball Intermediate School				
F000	COVER SHEET	05/28/2024		
F100	GENERAL INFORMATION AND DRAWING INDEX	05/28/2024		
F200	TOMBALL INTERMEDIATE SCHOOL SITE PLAN	05/28/2024		
F400	TYPICAL FENCE DETAILS	05/28/2024		

03 DRAWING INDEX
 NTS

REVISIONS

TOMBALL INTERMEDIATE SCHOOL
 TOMBALL INDEPENDENT SCHOOL DISTRICT
 723 W MAIN ST
 TOMBALL, TX 77757



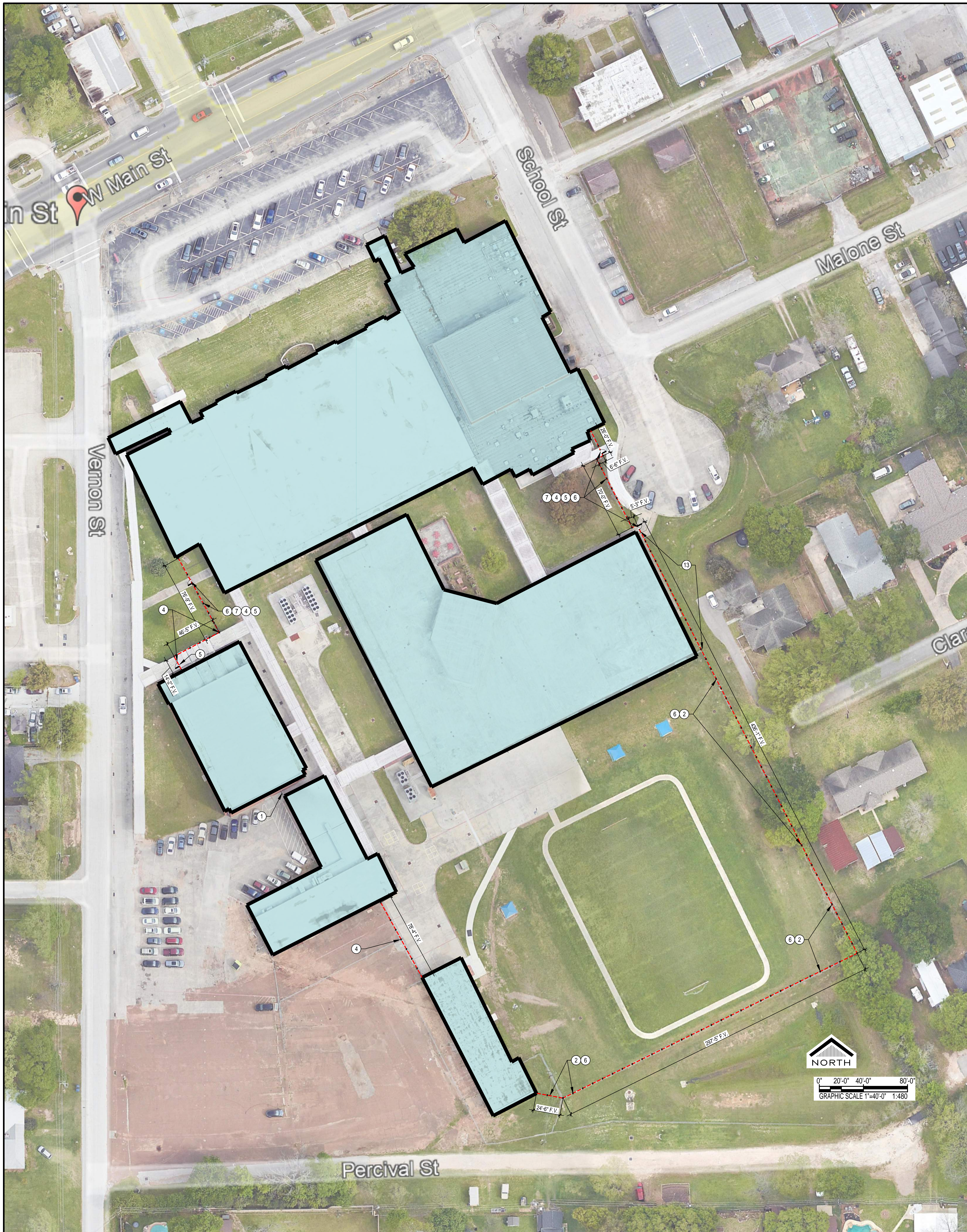
ARCHITECTS
 AND PLANNING
 CONSULTANTS

11767 KATY FREEWAY, STE 430
 HOUSTON, TEXAS 77079

PROJ. NO.: 24-10
 DATE:
 ISSUED FOR:

GENERAL INFORMATION
 AND DRAWING INDEX

F100



01 TOMBALL INTERMEDIATE SCHOOL
1" = 40'-0" XREF

KEYNOTES	
NUM	DESCRIPTION
1	EXISTING FENCE AND OR GATE TO REMAIN
2	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE
3	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE GATE 42" WIDE WITH PANIC HARDWARE
4	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL FENCE
5	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL FENCE GATE 42" WIDE WITH PANIC HARDWARE
6	REMOVE EXISTING FENCE
7	REMOVE EXISTING GATE
8	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL SLIDING FENCE GATE TWENTY FOOT WIDE
9	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL DOUBLE SWING FENCE GATE TWELVE FOOT WIDE
10	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE GATE 36" WIDE
11	CUT OPENING IN EXISTING FENCE TO INSTALL GATE
12	INSTALL SLATS IN EXISTING SEVEN FOOT HIGH CHAINLINK FENCE
13	INSTALL SIX FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE WITH SLAT INSERTS
14	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK DOUBLE FENCE GATE 36 FEET WIDE
15	INSTALL PANIC HARDWARE ON EXISTING DOOR. INCLUDE PROTECTION OF DOOR PANIC DEVICE FROM OUTSIDE ACTIVATION
16	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE SLIDING FENCE GATE TWENTY FOOT WIDE
17	PROVIDE KNOXBOX FOR FIRE DEPARTMENT ACCESS
18	REVERSE SWING OF GATE, REMOVE EXISTING MAGLOCK DEVICE AND PROVIDE PANICE DEVIDE PER KEYNOTE 15
19	PAINT FENCE BLACK.
20	REPAIR EXISTING GATE OPERATOR TO WORKING CONDITION.

03 KEYNOTES
1:1

REVISIONS

TOMBALL INTERMEDIATE SCHOOL
TOMBALL INDEPENDENT SCHOOL DISTRICT
723 W MAIN ST
TOMBALL, TX 77375



PROJ. NO.: 24-10
DATE:
ISSUED FOR:
TOMBALL INTERMEDIATE SCHOOL SITE PLAN
F200



TOMBALL INDEPENDENT SCHOOL DISTRICT

310 S. Cherry Street
TOMBALL, TEXAS 77375

DISTRICT-WIDE SECURITY FENCING IMPROVEMENTS

ADMINISTRATION

DR. MARTHA SALAZAR-ZAMORA	SUPERINTENDENT OF SCHOOLS
DR. AMY SCHINDEWOLF	CHIEF OF STAFF
DR. STEVEN GUTIERREZ	CHIEF OPERATING OFFICER
DR. MICHAEL WEBB	CHIEF ACADEMIC OFFICER
ZACHERY BOLES	CHIEF FINANCIAL OFFICER
DR. MINDY MUNOZ	ASST. SUPERINTENDENT OF SECONDARY SCHOOLS
DR. GEORGE FLORES	ASST. SUPERINTENDENT OF ELEMENTARY SCHOOLS
DR. LEE WRIGHT	ASST. SUPERINTENDENT OF STRATEGIC INNOVATION
MARK WHITE	ASST. SUPERINTENDENT OF ACCOUNTABILITY
DR. ALICIA REEVES	ASST. SUPERINTENDENT OF HUMAN TALENT

BOARD OF TRUSTEES

MR. JOHN E. McSTRAVICK	PRESIDENT
MR. JUSTIN UNSER	VICE PRESIDENT
MR. MARK LEWANDOWSKI	SECRETARY
DR. MICHAEL J. PRATT	ASSISTANT SECRETARY
MR. LEE McLEOD	BOARD TRUSTEE
MRS. TINA SALEM	BOARD TRUSTEE
MR. MATT SCHIEL	BOARD TRUSTEE

PROJECT TEAM



OWNER
Tomball Independent School District
310 S. Cherry Street
Tomball, TX 77375
Phone Number: 281-357-3100



PROGRAM MANAGER
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Houston, Texas 77042
Phone Number: 713-266-6900



ARCHITECT
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Houston, Texas 77079
Phone Number: 713-782-8188

ISSUED FOR BIDDING - 5/28/24

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TOMBALL, TX 77377



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AND PLANNING
CONSULTANTS
11767 KATY FREEWAY, STE 430
HOUSTON, TEXAS 77079

PROJ. NO.: 24-10
DATE:
ISSUED FOR:

COVER SHEET

G000

GROUP OR DIVISION NUMBER
 A000—SEQUENTIAL SHEET NUMBER WITHIN GROUP
 DENOTES SCHOOL DESIGNATION

20 SHEET GROUPING
 NTS

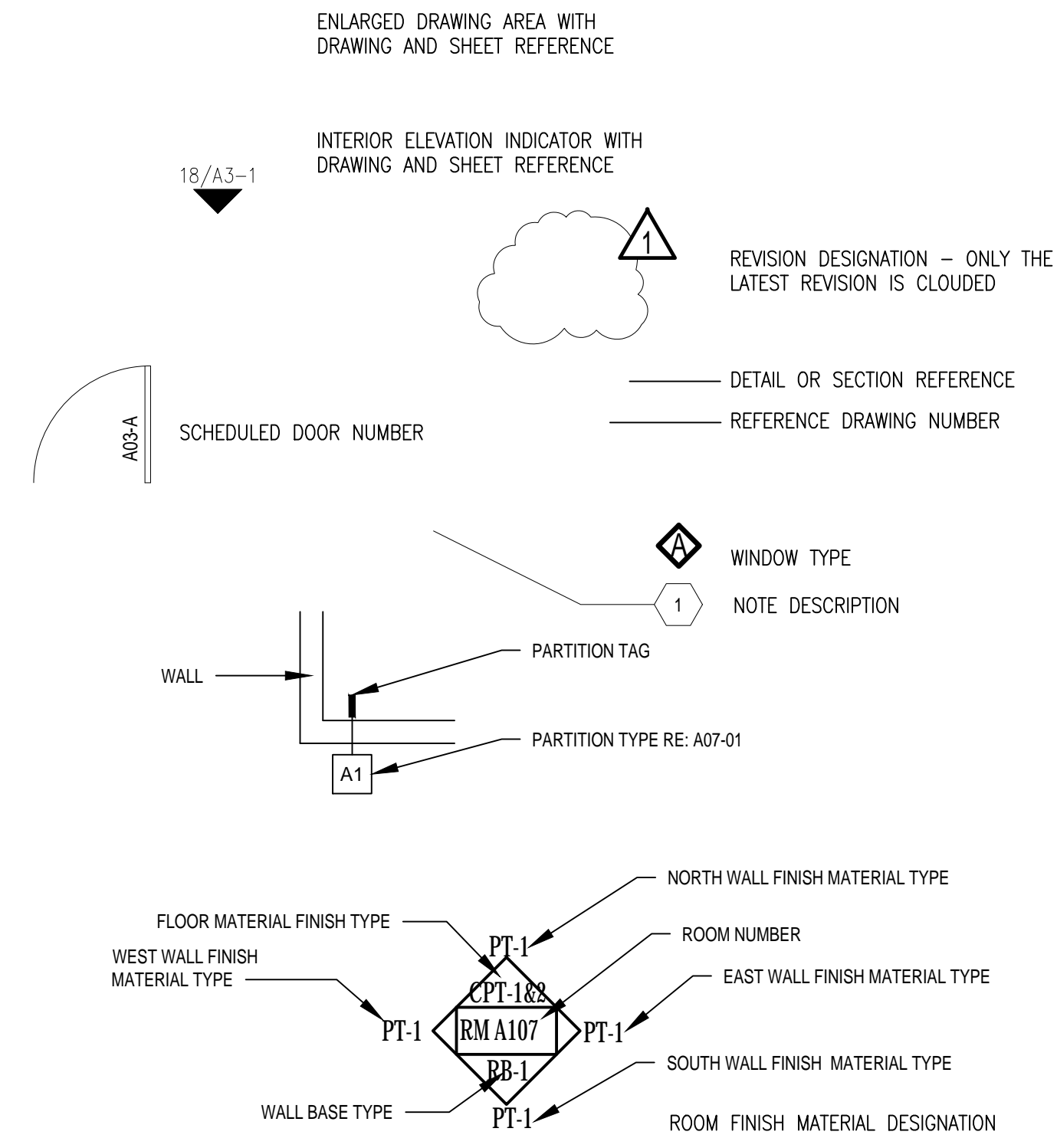
21	22	23	24	25
16	17	18	19	20
11	12	13	14	15
6	7	8	9	10
1	2	3	4	5

15 GRID
 NTS

A/C	AIR CONDITIONING	GEN	GENERAL
AB	ANCHOR BOLT	GL	GLASS
AC	ACOUSTIC, ACOUSTICAL	GP	GYPSSUM PLASTER
ACC DR	ACCESS DOOR	GRD	GRADE
ACT	ACOUSTIC DOOR	GRT	GROUT
AD	AREA DRAIN	GYP	GYPSSUM
AFF	ABOVE FINISH FLOOR	GYP BD	GYPSSUM BOARD
ALUM	ALUMINUM	HC	HANDICAP
ANOD	ANODIZED	HD W	HARDWARE
AP	ACCESS PANEL	HOWD	HARDWOOD
AUX	AUXILIARY	HVAC	HEATING, VENTILATING & AIR CONDITIONING
AV	AIR VENT	HW	HOT WATER
BLDG	BUILDING	ID	INSIDE DIAMETER
BLK(G)	BLOCKING	IN	INCHES
BOT	BOTTOM	JAN	JANITOR
BR	BRICK	JT	JOINT
BR	BUILT UP ROOF	LAM(D)	LAMINATE(D)
CI	CHANNEL	LAV	LAVATORY
CAB	CABINET	LH	LEFT HAND
CC	CENTER TO CENTER	MEP	MECHANICAL ELECTRICAL PLUMBING
CD	CEILING DIFFUSER	MET	METAL
CG	CEILING GRILLE	MATL	MATERIAL
CHBD	CHALK BOARD	MAX	MAXIMUM
CHW	CHILLED WATER	MECH	MECHANICAL
		MFR	MANUFACTURER
		MIN	MINIMUM
CI	CAST IRON	NIC	NOT IN CONTRACT
CJ	CAST IN PLACE	NTS	NOT TO SCALE
CJT	CONSTRUCTION JOINT	OFF	OFFICE
CLG	CEILING	OH	OVERHEAD
CLO	CLOSET	OPNG	OPENING
CLRM	CLASSROOM	PL	PLATE
CO	CLEAN OUT	P LAM	PLASTIC LAMINATE
COL	COLUMN	PLBG	PLUMBING
CONC	CONCRETE	PLYWD	PLYWOOD
CONN	CONNECTION	PNL	PANEL
CONST	CONSTRUCTION	PRESS	PRESSURE
CONT	CONTINUOUS	PVMT	PAVEMENT
CORR	CORRIDOR	PWR	POWER
CPT	CARPET	R	RADIUS, RISER
CR	CEILING REGISTER	RCP	REFLECTED CEILING PLAN
CT	CERAMIC TILE	RA	RETURN AIR
CW	COLD WATER	RD	ROOF DRAIN
		RE	REFER
DC	DOOR CLOSER	REQD	REQUIRED
DEMO	DEMOLISH/DEMOLITION	RM	ROOM
DET	DETAIL	RO	ROUGH OPENING
DM	DIMENSION	RT	RIGHT
DL	DOOR LOUVER	SCHED	SCHEDULE(D)
DN	DOWN	SF	SQUARE FEET
DR	DOOR	SM	SIMILAR
DS	DOWNSPOUT	SND	SOUND
DWG	DRAWING	SPEC(S)	SPECIFICATION(S)
EA	EACH	SQ	SQUARE
EDF	ELECTRIC DRINKING FOUNTAIN	SQ IN	SQUARE INCHES
EF	EXHAUST FAN, EACH FACE	STL	STEEL
EJC	EXPANSION JOINT COVER	STRUCT	STRUCTURE, STRUCTURAL
EJT	EXPANSION JOINT	SYST	SYSTEM
ELAST	ELASTOMERIC	T&B	TOP AND BOTTOM
ELEV	ELEVATION	TC	TOP OF CURB
ELEC(L)	ELECTRICAL	TEL	TELEPHONE
ELEV	ELEVATOR/ELEVATION	TEMP	TEMPORARY, TEMPERATURE
EMER	EMERGENCY	THK	THICK
ENCL	ENCLOSURE	THR	THRESHOLD
ENT	ENTRANCE	TOC	TOP OF CONCRETE
EQ	EQUAL	TV	TELEVISION
EQUIP	EQUIPMENT	UG	UNDERGROUND
EXIST	EXISTING	UL	UNDERWRITERS LABORATORY
EXP	EXPANSION	VAC	VACUUM
EXT	EXTERIOR	VAV	VARIABLE AIR VOLUME
FACP	FIRE ALARM CONTROL PANEL	VCT	VINYL COMPOSITION TILE
FD	FLOOR DRAIN	VOL	VOLUME
FDN	FOUNDATION	W	WITH
FF	FINISH FLOOR	WO	WITHOUT
FIN	FINISH	WC	WATER CLOSET
FIT	FIXTURE	WD	WOOD
FJT	FLUSH JOINT	WH	WATER HEATER, WALL HUNG
FL(G)	FLOORING	WHP	WEEP HOLE
FT	FOOT	WP	WATERPROOFING, WATERPROOF
FTG	FOOTING		
FURN	FURNITURE		
FV	FIELD VERIFY		
GA	GAUGE		
GALV	GALVANIZED		
GC	GENERAL CONTRACTOR		

1 ABBREVIATIONS
 NTS

16 LEGEND
 NTS



10 GENERAL NOTES
 NTS

- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, SUPERVISION, PERMITS, EQUIPMENT, TOOLS, TRANSPORTATION, WAREHOUSING, AND ANY OTHER SERVICES REQUIRED TO COMPLETE THE SCOPE OF WORK IN A TIMELY AND EFFICIENT MANNER.
- INDIVIDUAL ITEMS OF WORK ARE DETAILED IN THE SCOPE OF WORK SECTION, APPLICABLE TECHNICAL SPECIFICATIONS, THE ATTACHED DRAWINGS, AND THE NOTES AND LEGENDS ON THE DRAWINGS. THE CONTRACTOR IS RESPONSIBLE TO COMPLETE THE REQUIREMENTS FOUND IN ANY OF THE ABOVE. CONTRACTOR SHALL VERIFY DIMENSIONS AND JOB CONDITIONS AT THE JOB SITE PRIOR TO START OF CONSTRUCTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL ALL TEMPORARY BRACING AND SHORING TO INSURE THE SAFETY OF THE WORK UNTIL IT IS IN ITS COMPLETED FORM.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT ALL APPLICABLE SAFETY LAWS ARE STRICTLY ENFORCED AND TO MAINTAIN A SAFE CONSTRUCTION PROJECT. CONTRACTOR TO PROVIDE A JOB SPECIFIC SAFETY PLAN FOR CLIENT REVIEW PRIOR TO START OF WORK.
- DAILY, AND UPON COMPLETION OF THE WORK, CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS, RUBBISH, WASTE, AND SURPLUS MATERIAL FROM THE PREMISES. CONTRACTOR WILL INCUR ALL COSTS FOR DISPOSAL.
- SUBCONTRACTORS SHALL COOPERATE AND COORDINATE BETWEEN VARIOUS TRADES, AND WITH OTHERS WHOSE WORK IS DEPENDENT ON EACH OTHER. SUBCONTRACTOR SHALL INFORM HIMSELF AS TO THE RELATIONSHIP BETWEEN HIS WORK AND OTHER TRADES.
- EACH SUBCONTRACTOR WHOSE WORK IS EXECUTED IN RELATION TO PRIOR WORK SHALL CAREFULLY INSPECT HIS PRIOR WORK AND SUBMIT WRITTEN NOTICE OF ANY DEFECTS, IMPROPER WORKMANSHIP OR MATERIALS, OR OTHER CONDITIONS THAT WOULD AFFECT THE SATISFACTORY EXECUTION AND PERMANENCY OF HIS WORK. NO FURTHER WORK SHALL BE EXECUTED UNTIL SUCH DEFECTS OR CONDITIONS HAVE BEEN CORRECTED OR AN AGREEMENT REACHED WITH OWNER REGARDING DEFECTS WHICH MAY DEVELOP DUE TO CONDITIONS SO NOTED.
- BEFORE ORDERING ANY MATERIAL, OR DOING ANY WORK, THE CONTRACTOR SHALL VERIFY MEASUREMENTS OF THE WORK AND BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. GIVE NOTIFICATION OF ANY DIFFERENCE WHICH MAY BE FOUND BEFORE PROCEEDING WITH THE WORK.
- COOPERATE WITH LOCAL AND OTHER GOVERNMENTAL OFFICIALS AND INSPECTIONS NECESSARY, PROVIDING ASSISTANCE TO EXPEDITE THE INSPECTION.
- ALL WORKMANSHIP MATERIALS, AND CONSTRUCTION RELATING TO THE PROJECT SHALL BE IN COMPLIANCE WITH AND CONFORM TO THE GOVERNING BUILDING CODES AND OTHER APPLICABLE CODES. ALL WORK SHALL BE IN COMPLIANCE WITH THE LATEST EDITION OF THE UNIFORM BUILDING CODE, INTERNATIONAL BUILDING CODE OR NFPA BUILDING CODE CURRENTLY IN FORCE BY THE LOCAL JURISDICTION, AND THE CLIENT PROVIDED ON SITE ACTIVITY SUPPLEMENT AND ALL OTHER LOCAL ORDINANCES AND REQUIREMENTS.
- ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE CODES, AND/OR REGULATIONS HAVING JURISDICTION OVER THE WORK AND SHALL BE PERFORMED IN A GOOD WORKMANSHIP LIKE MANNER IN ACCORDANCE WITH ACCEPTED TRADE STANDARDS BY EXPERIENCED CRAFTSMEN SKILLED IN THEIR RESPECTIVE TRADES.
- PRIOR TO THE COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL CAREFULLY STUDY THE CONTRACT DOCUMENTS AND SHALL IMMEDIATELY REPORT TO THE ARCHITECT ANY ERROR, INCONSISTENCY, OR OMISSION.
- WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND ARCHITECT MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS.
- SUBCONTRACTORS ARE RESPONSIBLE FOR CONFIRMING DIMENSIONS AND FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, AND CORRELATING DIMENSIONS AT THE JOB SITE.
- G.C. SHALL PERFORM CONSTRUCTION ACTIVITIES AND FURNISH AND INSTALL MATERIALS IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL CODES INCLUDING A.D.A.
- ALL DIMENSIONS CONTAINED IN THE SCOPE OF WORK SHALL BE VERIFIED BY CONTRACTOR AND WITH DRAWINGS. DIMENSIONS PROVIDED IN THE SCOPE OF WORK ARE APPROXIMATE VALUES PROVIDED FOR CONVENIENCE AND REFERENCE ONLY.
- DRAWINGS SHOW INTENT OF WORK TO BE PERFORMED. CONTRACTOR SHALL PROVIDE MATERIALS, LABOR, CONNECTIONS, FABRICATIONS, AND ACCESSORIES FOR A COMPLETED PROJECT.
- PROJECT REQUIRES SURETY BOND.
- OBTAIN PERMITS, APPROVALS, INSPECTIONS, CERTIFICATE OF COMPLIANCE, CERTIFICATE OF OCCUPANCY, AND OTHER DOCUMENTS NECESSARY TO COMPLETE THE PROJECT.
- REVIEW THE CONTRACT DOCUMENTS AND PERFORM WORK IN COMPLIANCE WITH THOSE DOCUMENTS.
- COORDINATE WORK WITH THE OWNER'S CONSTRUCTION COORDINATOR, INCLUDING WORK SCHEDULE, AND PERFORM WORK ONLY WITH OWNER'S PRIOR APPROVAL.
- MAINTAIN REQUIRED DOCUMENTS AND UP-TO-DATE CONSTRUCTION PLANS AT JOB SITE. THE CONTRACTOR SHALL SUBMIT AS-BUILT DRAWINGS TO THE CLIENT PROJECT MANAGER UPON COMPLETION OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY PRECAUTIONS DURING CONSTRUCTION AND TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THAT THERE WILL BE NO CONSTRUCTION RELATED DAMAGE TO THE EXISTING BUILDING CONSTRUCTIONS. IF SUCH DAMAGE OCCURS, THEN THE G.C. SHALL PROMPTLY MAKE ALL NECESSARY REPAIRS TO RETURN THE DAMAGED CONSTRUCTION TO A LIKE-NEW CONDITION AND THE EXPENSE OF SAID REPAIRS SHALL BE BORNE SOLELY BY THE G.C.
- CONTRACTOR SHALL PROVIDE A ONE (1) YEAR WARRANTY ON LABOR AND MATERIALS FROM THE DATE OF ACCEPTANCE BY OWNER'S CONSTRUCTION COORDINATOR.
- MATERIAL SUBSTITUTIONS WILL NOT BE ALLOWED UNLESS SUBMITTED IN WRITING.
- SCHEDULE SHOULD BE OPTIMIZED FOR SHORTEST ECONOMICAL COMPLETION.
- BE RESPONSIBLE FOR FINAL CLEANING PRIOR TO TURNING SPACE OVER TO OWNER.
- PROVIDE A LIST OF ALL SUBCONTRACTORS TO BE USED AND SUBMIT LIST TO CLIENT WITHIN 10 WORKING DAYS OF THE CONTRACT.
- MAINTAIN HANDBOOKS, OPERATING MANUALS, PAPERWORK AND KEYS IN A SAFE AND ORGANIZED MANNER. KEYS SHALL BE TAGGED FOR PROPER LOCATIONS. THESE SHALL BE TURNED OVER TO THE TENANT CONSTRUCTION COORDINATOR ALONG WITH CERTIFICATES OF OCCUPANCY, LIEN WAIVERS, WARRANTIES, AND GUARANTEES.
- DO NOT SCALE THESE DRAWINGS FOR DIMENSIONAL INFORMATION. REFER TO DIMENSIONS ON THE SITE PLAN AND THE ENLARGED PLANS. IF THERE IS A CONFLICT WITH THE PLAN DIMENSIONS OR AN EXISTING FIELD CONDITION CONTACT THE ARCHITECT.
- CONTRACTOR TO PROVIDE LETTER AT END OF PROJECT CERTIFYING THAT MATERIALS USED ON PROJECT ARE ASBESTOS FREE.
- BUILDERS QUOTE SHOULD BE IN COMPLIANCE WITH ALL CLIENT TERMS, CONDITIONS, AND SECURITY REQUIREMENTS. SAME IS TRUE FOR CURRENT CONTRACT SERVICE PROVIDERS SHOULD THEY DO THE WORK.
- DEMOLITION PLANS INDICATE SOME OF THE SCOPE-OF-WORK INVOLVED FOR THE DEMOLITION PHASE OF THIS PROJECT. CONTRACTOR SHALL REVIEW ALL SHEETS FOR ADDITIONAL DEMOLITION SCOPE.
- CONTRACTOR SHALL VERIFY EXISTING SITE AND BUILDING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO DEMOLITION ACTIVITIES AND WORK.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS BEFORE COMMENCING WORK.
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Sheet Number	Sheet Title	DATE	REV01	REV02	REV03
ARCHITECTURE: G - Grand Lakes Junior High					
G000	COVER SHEET	05/28/2024			
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03 DRAWING INDEX
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REVISIONS

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 TOMBALL INDEPENDENT SCHOOL DISTRICT
 20247 CYPRESS ROSE HILL RD
 TOMBALL, TX 77377



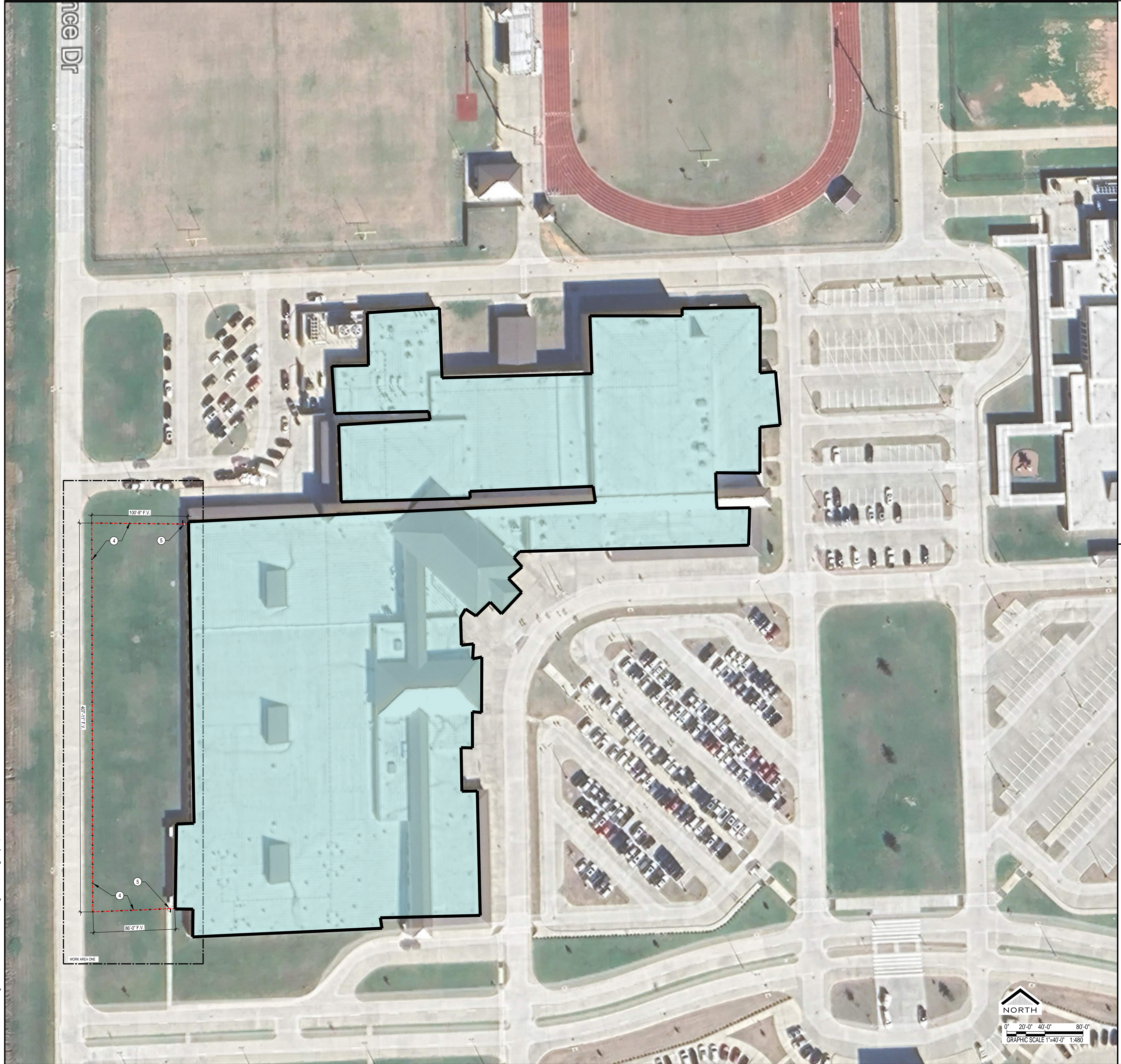
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11767 KATY FREEWAY, STE 430
 HOUSTON, TEXAS 77079

PROJ. NO.: 24-10
 DATE:
 ISSUED FOR:

GENERAL INFORMATION
 AND DRAWING INDEX

G100



F:\2024\24-10 bid facilities secure fencing\DWG\2500 Grand Lakes Junior High Site Plan.dwg May 28, 2024 - 7:54am

01 GRAND LAKES JUNIOR HIGH SITE PLAN
1" = 40'-0" XREF

KEYNOTES	
NUM	DESCRIPTION
1	EXISTING FENCE AND OR GATE TO REMAIN
2	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE
3	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE GATE 42" WIDE WITH PANIC HARDWARE
4	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL FENCE
5	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL FENCE GATE 42" WIDE WITH PANIC HARDWARE
6	REMOVE EXISTING FENCE
7	REMOVE EXISTING GATE
8	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL SLIDING FENCE GATE TWENTY FOOT WIDE
9	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL DOUBLE SWING FENCE GATE TWELVE FOOT WIDE
10	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE GATE 36" WIDE
11	CUT OPENING IN EXISTING FENCE TO INSTALL GATE
12	INSTALL SLATS IN EXISTING SEVEN FOOT HIGH CHAINLINK FENCE
13	INSTALL SIX FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE WITH SLAT INSERTS
14	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK DOUBLE FENCE GATE 36 FEET WIDE
15	INSTALL PANIC HARDWARE ON EXISTING DOOR. INCLUDE PROTECTION OF DOOR PANIC DEVICE FROM OUTSIDE ACTIVATION
16	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE SLIDING FENCE GATE TWENTY FOOT WIDE
17	PROVIDE KNOXBOX FOR FIRE DEPARTMENT ACCESS
18	REVERSE SWING OF GATE, REMOVE EXISTING MAGLOCK DEVICE AND PROVIDE PANICE DEVIDE PER KEYNOTE 15
19	PAINT FENCE BLACK.
20	REPAIR EXISTING GATE OPERATOR TO WORKING CONDITION.

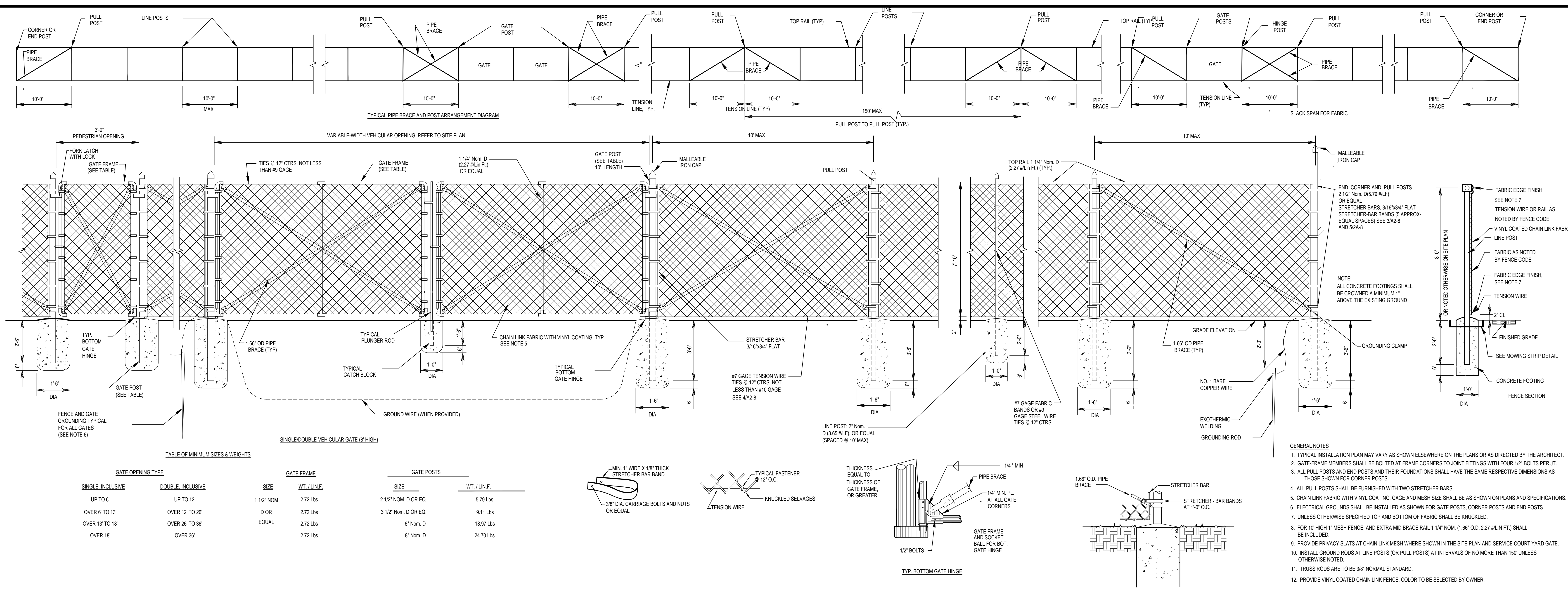
02 KEYNOTES
1:1

REVISIONS

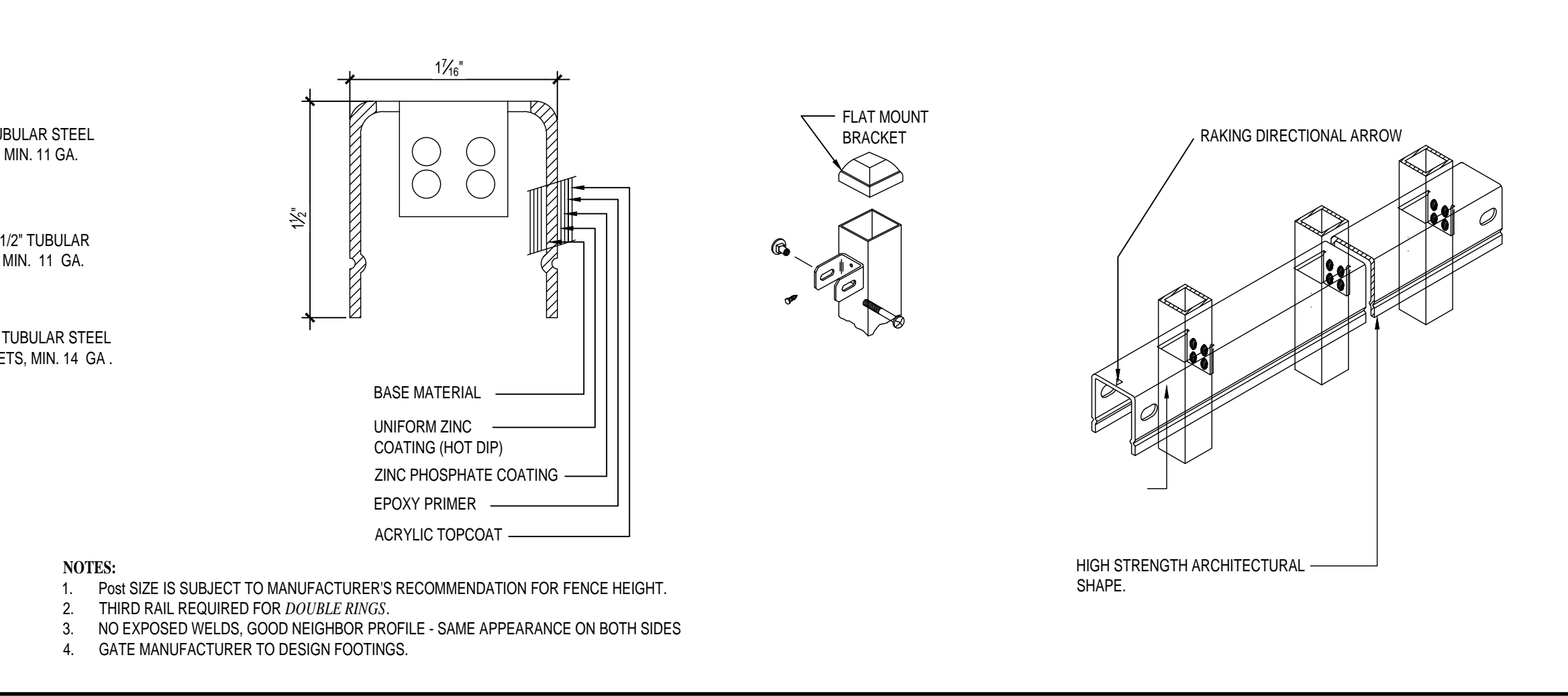
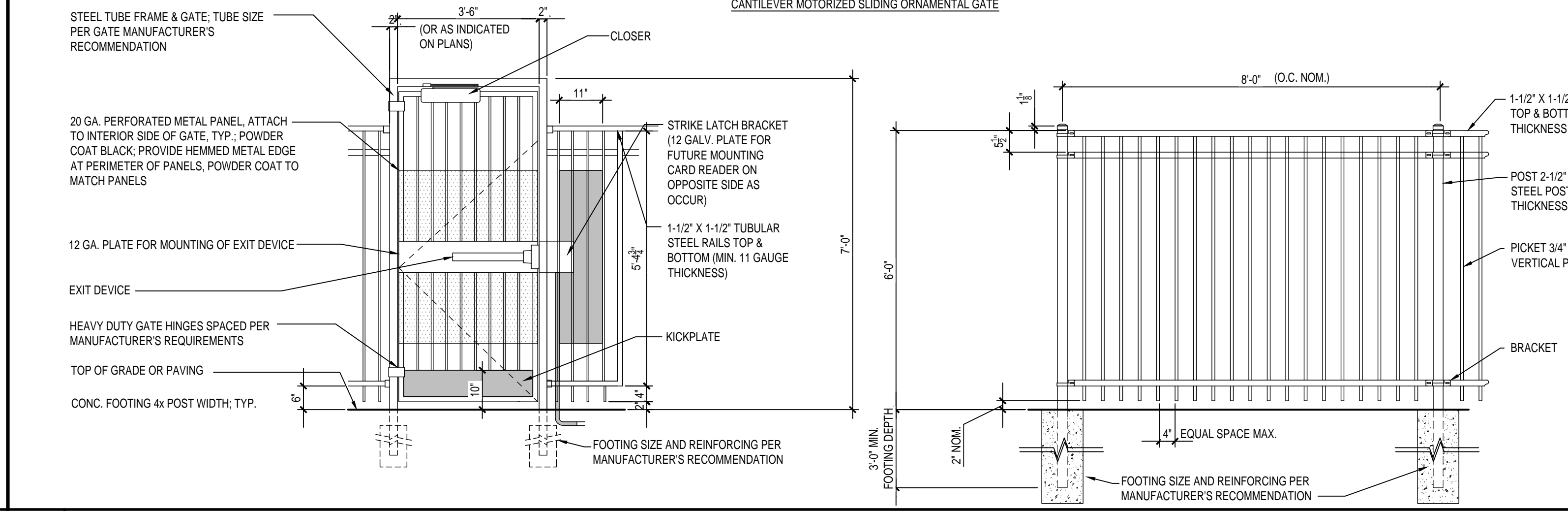
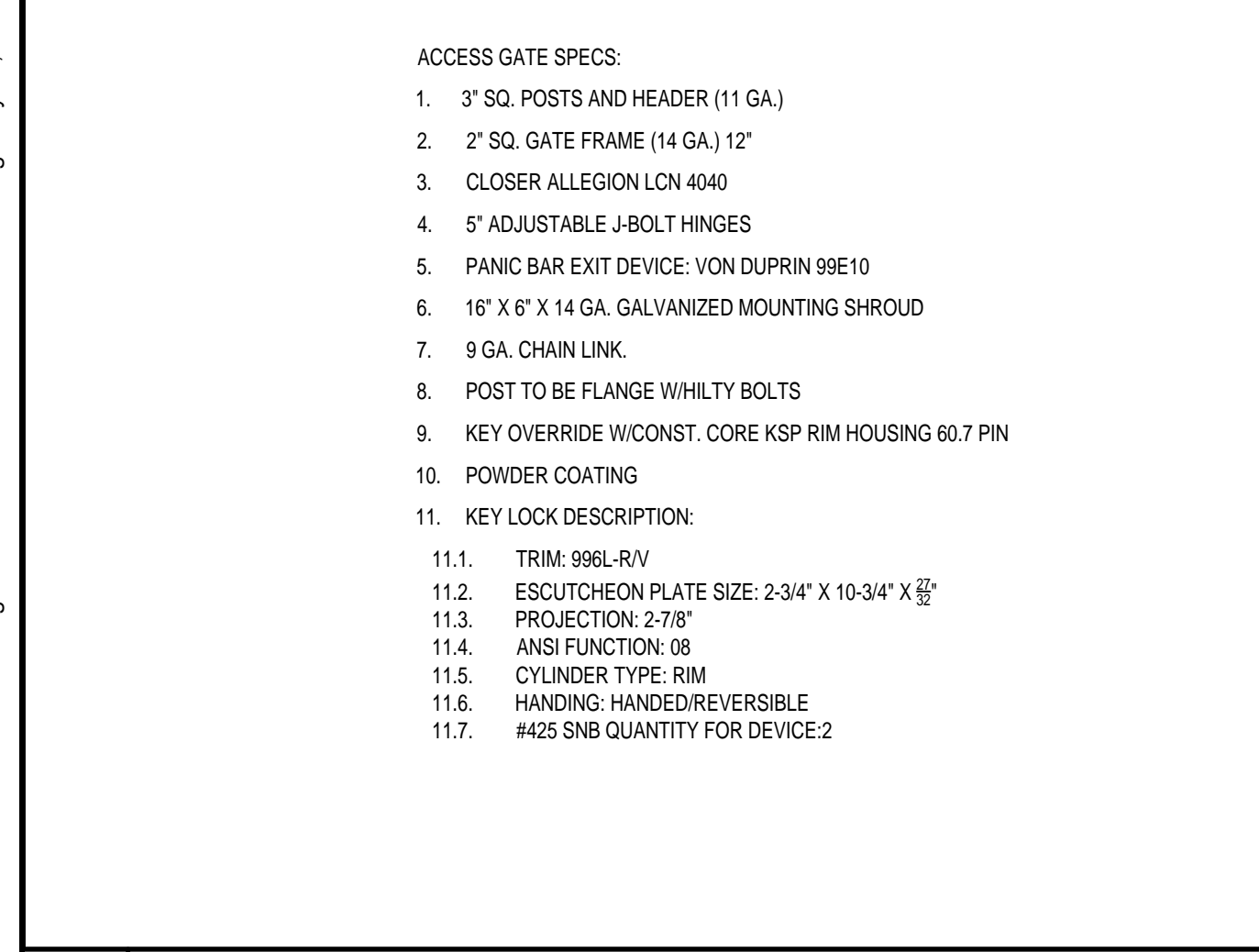
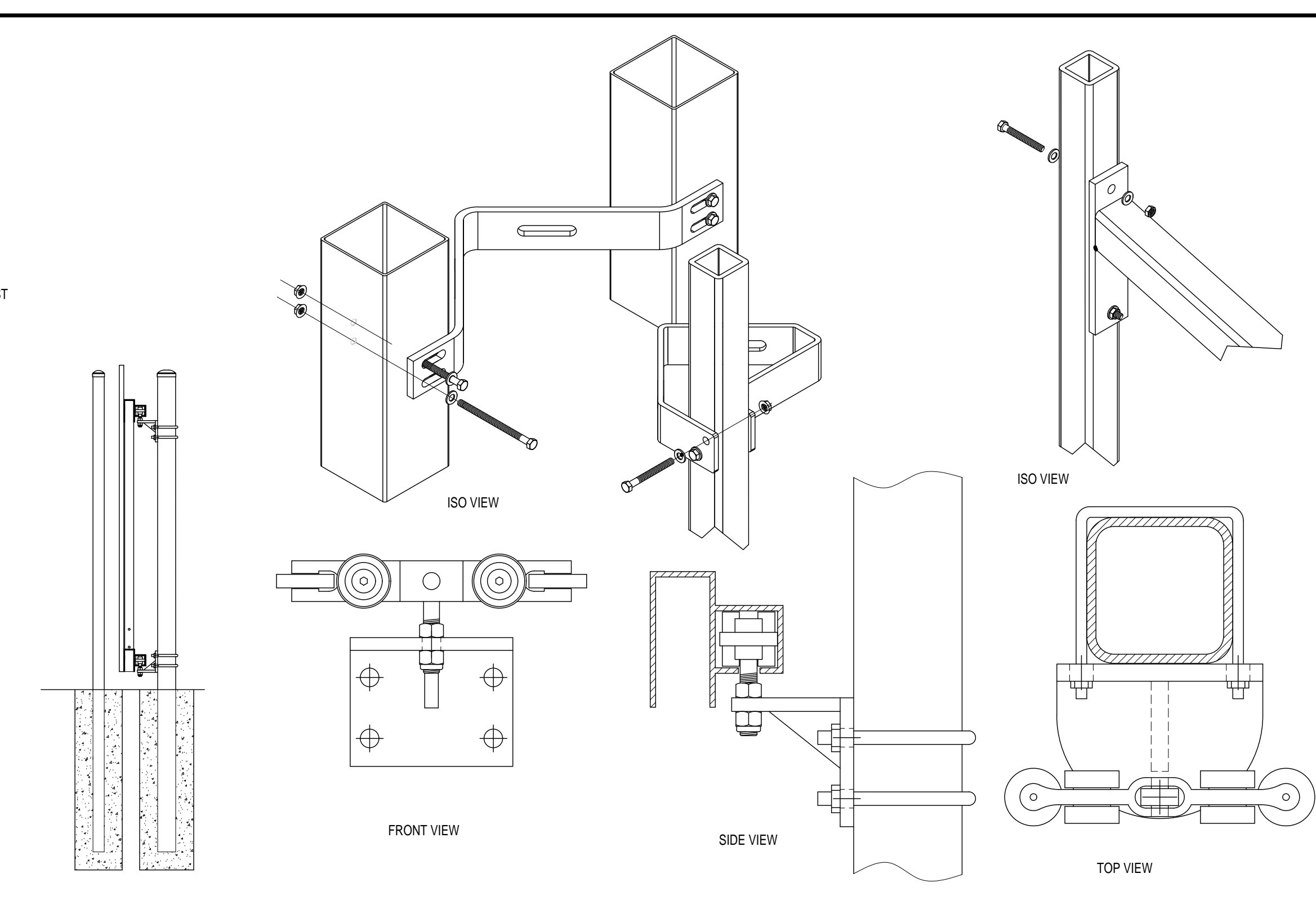
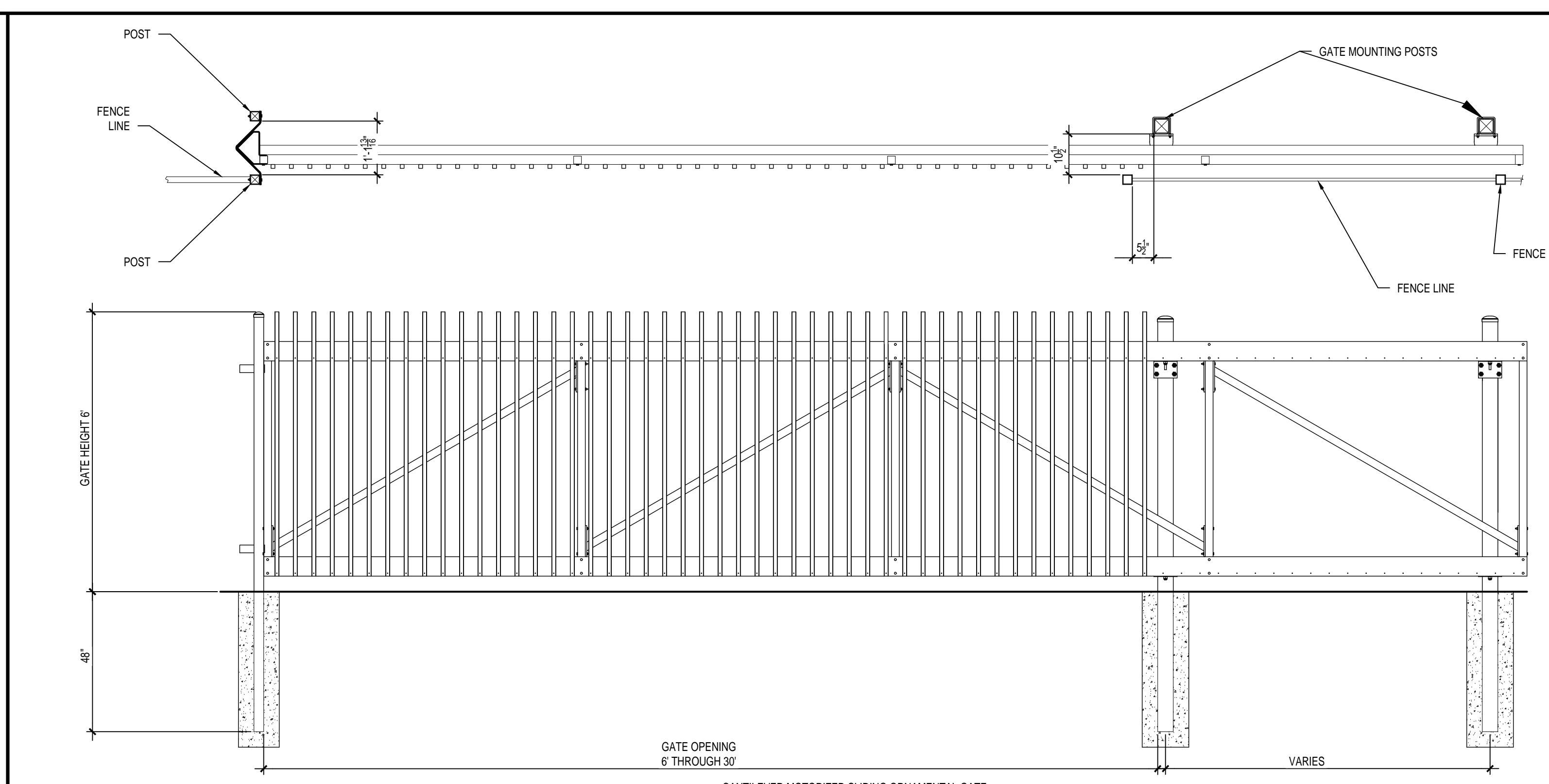
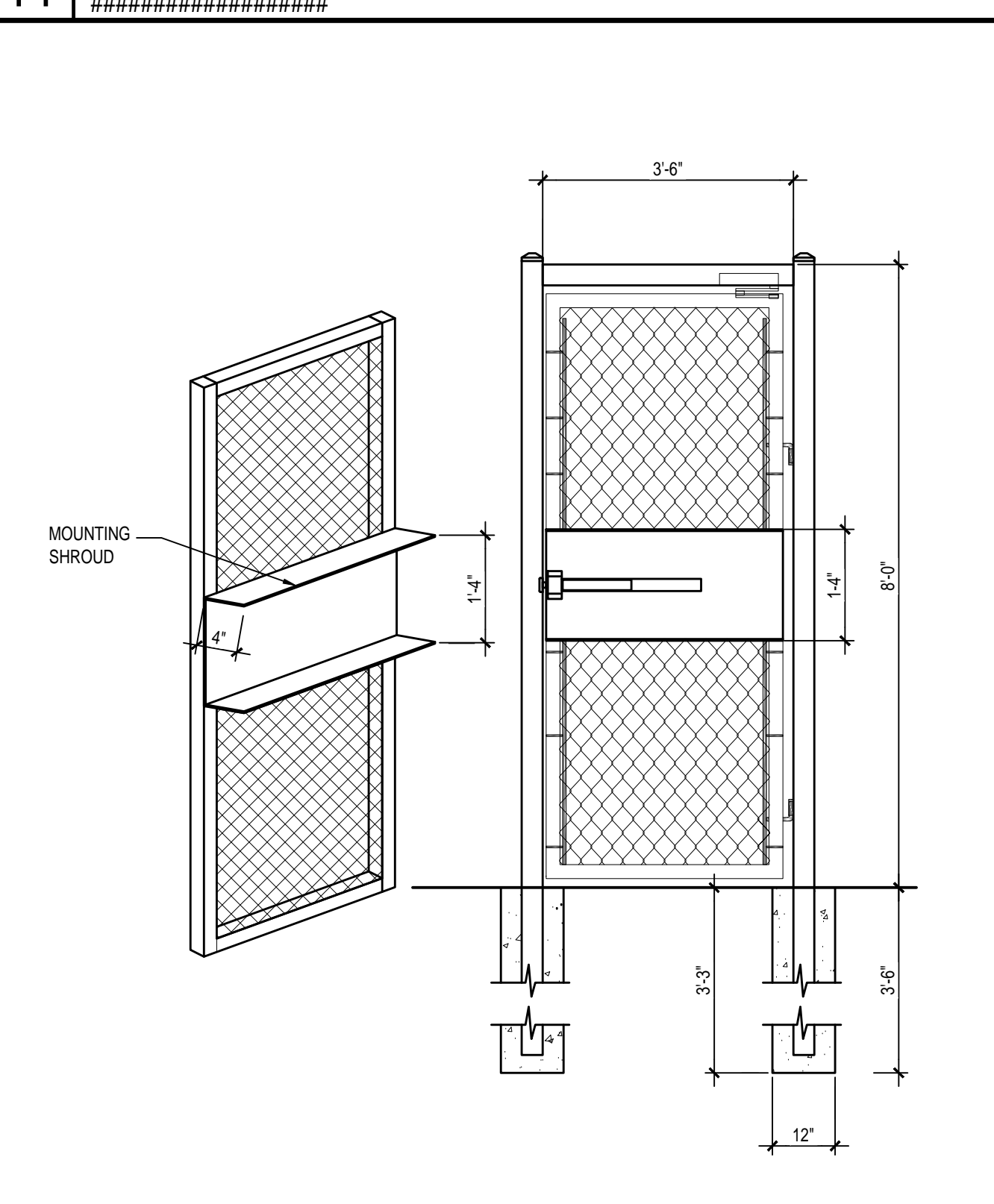
GRAND LAKES JUNIOR HIGH
TOMBALL INDEPENDENT SCHOOL DISTRICT
20247 CYPRESS ROSE HILL RD
TOMBALL, TX 77377



PROJ. NO.: 24-10
DATE:
ISSUED FOR:
GRAND LAKES JUNIOR HIGH SITE PLAN
G200



11 CHAIN LINK DETAILS



01 EMERGENCY CHAIN LINK EXIT GATE

02 ORNAMENTAL FENCE DETAILS

TYPICAL FENCE DETAILS

REVISIONS

GRAND LAKES JUNIOR HIGH
TOMBALL INDEPENDENT SCHOOL DISTRICT
 20247 CYPRESS ROSE HILL RD
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SEAL

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F:\2024\24-10 bid facilities secure fencing\DWG\STYPTICAL FENCE DETAILS.dwg May 27, 2024 - 6:55pm



TOMBALL INDEPENDENT SCHOOL DISTRICT

310 S. Cherry Street
TOMBALL, TEXAS 77375

DISTRICT-WIDE SECURITY FENCING IMPROVEMENTS

ADMINISTRATION

DR. MARTHA SALAZAR-ZAMORA	SUPERINTENDENT OF SCHOOLS
DR. AMY SCHINDEWOLF	CHIEF OF STAFF
DR. STEVEN GUTIERREZ	CHIEF OPERATING OFFICER
DR. MICHAEL WEBB	CHIEF ACADEMIC OFFICER
ZACHERY BOLES	CHIEF FINANCIAL OFFICER
DR. MINDY MUNOZ	ASST. SUPERINTENDENT OF SECONDARY SCHOOLS
DR. GEORGE FLORES	ASST. SUPERINTENDENT OF ELEMENTARY SCHOOLS
DR. LEE WRIGHT	ASST. SUPERINTENDENT OF STRATEGIC INNOVATION
MARK WHITE	ASST. SUPERINTENDENT OF ACCOUNTABILITY
DR. ALICIA REEVES	ASST. SUPERINTENDENT OF HUMAN TALENT

BOARD OF TRUSTEES

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MR. MATT SCHIEL	BOARD TRUSTEE

PROJECT TEAM



OWNER
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310 S. Cherry Street
Tomball, TX 77375
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PROGRAM MANAGER
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Houston, Texas 77042
Phone Number: 713-266-6900



ARCHITECT
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Houston, Texas 77079
Phone Number: 713-782-8188

ISSUED FOR BIDDING - 5/28/24

REVISIONS

WILLOW WOOD JUNIOR HIGH
TOMBALL INDEPENDENT SCHOOL DISTRICT
11770 GREGGSON RD
TOMBALL, TX 77377



ARCHITECTS
AND PLANNING
CONSULTANTS
11767 KATY FREEWAY, STE 430
HOUSTON, TEXAS 77079

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ISSUED FOR:

COVER SHEET

H000

GROUP OR DIVISION NUMBER
 A000—SEQUENTIAL SHEET NUMBER WITHIN GROUP
 DENOTES SCHOOL DESIGNATION

20 SHEET GROUPING
 NTS

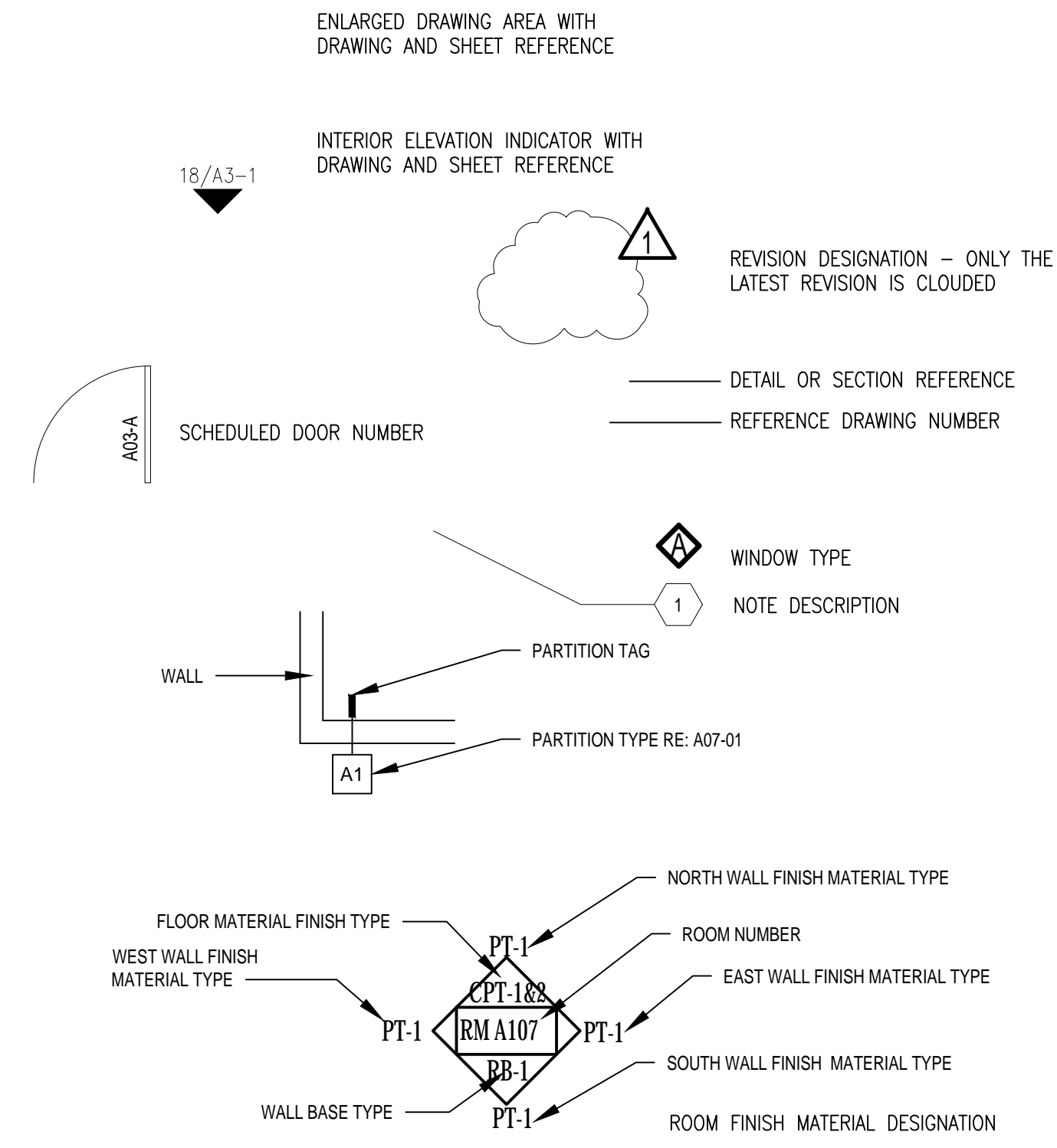
21	22	23	24	25
16	17	18	19	20
11	12	13	14	15
6	7	8	9	10
1	2	3	4	5

15 GRID
 NTS

A/C	AIR CONDITIONING	GEN	GENERAL
AB	ANCHOR BOLT	GL	GLASS
AC	ACOUSTIC, ACOUSTICAL	GP	GYPSUM PLASTER
ACC DR	ACCESS DOOR	GRD	GRADE
ACT	ACOUSTIC DOOR	GRT	GROUT
AD	AREA DRAIN	GYP	GYPSUM
AFF	ABOVE FINISH FLOOR	GYP BD	GYPSUM BOARD
ALUM	ALUMINUM	HC	HANDICAP
AMOD	ANODIZED	HD W	HARDWARE
AP	ACCESS PANEL	HOWD	HARDWOOD
AUX	AUXILIARY	HVAC	HEATING, VENTILATING & AIR CONDITIONING
AV	AIR VENT	HW	HOT WATER
BLDG	BUILDING	ID	INSIDE DIAMETER
BLK(G)	BLOCKING	IN	INCHES
BOT	BOTTOM	JAN	JANITOR
BR	BRICK	JT	JOINT
BR	BUILT UP ROOF	LAM(D)	LAMINATE(D)
CI	CHANNEL	LAV	LAVATORY
CAB	CABINET	LH	LEFT HAND
CC	CENTER TO CENTER	MEP	MECHANICAL ELECTRICAL PLUMBING
CD	CEILING DIFFUSER	MET	METAL
CG	CEILING GRILLE	MATL	MATERIAL
CHBD	CHALK BOARD	MAX	MAXIMUM
CHW	CHILLED WATER	MECH	MECHANICAL
		MFR	MANUFACTURER
		MIN	MINIMUM
CI	CAST IRON	NIC	NOT IN CONTRACT
CP	CAST IN PLACE	NTS	NOT TO SCALE
CJ	CONSTRUCTION JOINT	OFF	OFFICE
CJT	CONTROL JOINT	OH	OVERHEAD
CLG	CEILING	OPNG	OPENING
CLO	CLOSET	PL	PLATE
CLRM	CLASSROOM	P LAM	PLASTIC LAMINATE
CO	CLEAN OUT	PLBG	PLUMBING
COL	COLUMN	PLYWD	PLYWOOD
CONC	CONCRETE	PNL	PANEL
CONN	CONNECTION	PRESS	PRESSURE
CONST	CONSTRUCTION	PWIR	POWER
CONT	CONTINUOUS	R	RADIUS, RISER
CORR	CORRIDOR	RCP	REFLECTED CEILING PLAN
CPT	CARPET	RA	RETURN AIR
CR	CEILING REGISTER	RD	ROOF DRAIN
CT	CERAMIC TILE	RE	REFER
CW	COLD WATER	REQD	REQUIRED
		RH	ROOM
DC	DOOR CLOSER	RO	ROUGH OPENING
DEMO	DEMOLISH/DEMOLITION	RT	RIGHT
DET	DETAIL	SCHED	SCHEDULE(D)
DM	DIMENSION	SF	SQUARE FEET
DN	DOOR LOUVER	SM	SIMILAR
DN	DOWN	SND	SOUND
DR	DOOR	SPEC(S)	SPECIFICATION(S)
DS	DOWNSPOUT	SQ	SQUARE
DWG	DRAWING	SQ IN	SQUARE INCHES
EA	EACH	STL	STEEL
EDF	ELECTRIC DRINKING FOUNTAIN	STRUCT	STRUCTURE, STRUCTURAL
EF	EXHAUST FAN, EACH FACE	SYST	SYSTEM
EJC	EXPANSION JOINT COVER	T&B	TOP AND BOTTOM
EJT	EXPANSION JOINT	TC	TOP OF CURB
ELAST	ELASTOMERIC	TEL	TELEPHONE
EL	ELEVATION	TEMP	TEMPORARY, TEMPERATURE
ELEC(L)	ELECTRICAL	THK	THICK
ELEV	ELEVATOR/ELEVATION	THR	THRESHOLD
EMER	EMERGENCY	TOC	TOP OF CONCRETE
ENCL	ENCLOSURE	TV	TELEVISION
ENT	ENTRANCE	UG	UNDERGROUND
EQ	EQUAL	UL	UNDERWRITERS LABORATORY
EQUIP	EQUIPMENT	VAC	VACUUM
EXIST	EXISTING	VAV	VARIABLE AIR VOLUME
EXP	EXPANSION	VCT	VINYL COMPOSITION TILE
EXT	EXTERIOR	VOL	VOLUME
FACP	FIRE ALARM CONTROL PANEL	W/	WITH
FD	FLOOR DRAIN	W/O	WITHOUT
FDN	FOUNDATION	WC	WATER CLOSET
FF	FINISH FLOOR	WD	WOOD
FIN	FINISH	WH	WATER HEATER, WALL HUNG
FIN	FINISH	WHP	WEEP HOLE
FIT	FIXTURE	WP	WATERPROOFING, WATERPROOF
FJT	FLUSH JOINT		
FL(G)	FLOORING		
FT	FOOT		
FTG	FOOTING		
FURN	FURNITURE		
FV	FIELD VERIFY		
GA	GAUGE		
GALV	GALVANIZED		
GC	GENERAL CONTRACTOR		

1 ABBREVIATIONS
 NTS

16 LEGEND
 NTS



03 DRAWING INDEX
 NTS

10 GENERAL NOTES
 NTS

- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, SUPERVISION, PERMITS, EQUIPMENT, TOOLS, TRANSPORTATION, WAREHOUSING, AND ANY OTHER SERVICES REQUIRED TO COMPLETE THE SCOPE OF WORK IN A TIMELY AND EFFICIENT MANNER.
- INDIVIDUAL ITEMS OF WORK ARE DETAILED IN THE SCOPE OF WORK SECTION, APPLICABLE TECHNICAL SPECIFICATIONS, THE ATTACHED DRAWINGS, AND THE NOTES AND LEGENDS ON THE DRAWINGS. THE CONTRACTOR IS RESPONSIBLE TO COMPLETE THE REQUIREMENTS FOUND IN ANY OF THE ABOVE. CONTRACTOR SHALL VERIFY DIMENSIONS AND JOB CONDITIONS AT THE JOB SITE PRIOR TO START OF CONSTRUCTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL ALL TEMPORARY BRACING AND SHORING TO INSURE THE SAFETY OF THE WORK UNTIL IT IS IN ITS COMPLETED FORM.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT ALL APPLICABLE SAFETY LAWS ARE STRICTLY ENFORCED AND TO MAINTAIN A SAFE CONSTRUCTION PROJECT. CONTRACTOR TO PROVIDE A JOB SPECIFIC SAFETY PLAN FOR CLIENT REVIEW PRIOR TO START OF WORK.
- DAILY, AND UPON COMPLETION OF THE WORK, CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS, RUBBISH, WASTE, AND SURPLUS MATERIAL FROM THE PREMISES. CONTRACTOR WILL INCUR ALL COSTS FOR DISPOSAL.
- SUBCONTRACTORS SHALL COOPERATE AND COORDINATE BETWEEN VARIOUS TRADES, AND WITH OTHERS WHOSE WORK IS DEPENDENT ON EACH OTHER. SUBCONTRACTOR SHALL INFORM HIMSELF AS TO THE RELATIONSHIP BETWEEN HIS WORK AND OTHER TRADES.
- EACH SUBCONTRACTOR WHOSE WORK IS EXECUTED IN RELATION TO PRIOR WORK SHALL CAREFULLY INSPECT HIS PRIOR WORK AND SUBMIT WRITTEN NOTICE OF ANY DEFECTS, IMPROPER WORKMANSHIP OR MATERIALS, OR OTHER CONDITIONS THAT WOULD AFFECT THE SATISFACTORY EXECUTION AND PERMANENCY OF HIS WORK. NO FURTHER WORK SHALL BE EXECUTED UNTIL SUCH DEFECTS OR CONDITIONS HAVE BEEN CORRECTED OR AN AGREEMENT REACHED WITH OWNER REGARDING DEFECTS WHICH MAY DEVELOP DUE TO CONDITIONS SO NOTED.
- BEFORE ORDERING ANY MATERIAL, OR DOING ANY WORK, THE CONTRACTOR SHALL VERIFY MEASUREMENTS OF THE WORK AND BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. GIVE NOTIFICATION OF ANY DIFFERENCE WHICH MAY BE FOUND BEFORE PROCEEDING WITH THE WORK.
- COOPERATE WITH LOCAL AND OTHER GOVERNMENTAL OFFICIALS AND INSPECTIONS NECESSARY, PROVIDING ASSISTANCE TO EXPEDITE THE INSPECTION.
- ALL WORKMANSHIP MATERIALS, AND CONSTRUCTION RELATING TO THE PROJECT SHALL BE IN COMPLIANCE WITH AND CONFORM TO THE GOVERNING BUILDING CODES AND OTHER APPLICABLE CODES. ALL WORK SHALL BE IN COMPLIANCE WITH THE LATEST EDITION OF THE UNIFORM BUILDING CODE, INTERNATIONAL BUILDING CODE OR NFPA BUILDING CODE CURRENTLY IN FORCE BY THE LOCAL JURISDICTION, AND THE CLIENT PROVIDED ON SITE ACTIVITY SUPPLEMENT AND ALL OTHER LOCAL ORDINANCES AND REQUIREMENTS.
- ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE CODES, AND/OR REGULATIONS HAVING JURISDICTION OVER THE WORK AND SHALL BE PERFORMED IN A GOOD WORKMANSHIP LIKE MANNER IN ACCORDANCE WITH ACCEPTED TRADE STANDARDS BY EXPERIENCED CRAFTSMEN SKILLED IN THEIR RESPECTIVE TRADES.
- PRIOR TO THE COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL CAREFULLY STUDY THE CONTRACT DOCUMENTS AND SHALL IMMEDIATELY REPORT TO THE ARCHITECT ANY ERROR, INCONSISTENCY, OR OMISSION.
- WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND ARCHITECT MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS.
- SUBCONTRACTORS ARE RESPONSIBLE FOR CONFIRMING DIMENSIONS AND FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, AND CORRELATING DIMENSIONS AT THE JOB SITE.
- G.C. SHALL PERFORM CONSTRUCTION ACTIVITIES AND FURNISH AND INSTALL MATERIALS IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL CODES INCLUDING A.D.A.
- ALL DIMENSIONS CONTAINED IN THE SCOPE OF WORK SHALL BE VERIFIED BY CONTRACTOR AND WITH DRAWINGS. DIMENSIONS PROVIDED IN THE SCOPE OF WORK ARE APPROXIMATE VALUES PROVIDED FOR CONVENIENCE AND REFERENCE ONLY.
- DRAWINGS SHOW INTENT OF WORK TO BE PERFORMED. CONTRACTOR SHALL PROVIDE MATERIALS, LABOR, CONNECTIONS, FABRICATIONS, AND ACCESSORIES FOR A COMPLETED PROJECT.
- PROJECT REQUIRES SURETY BOND.
- OBTAIN PERMITS, APPROVALS, INSPECTIONS, CERTIFICATE OF COMPLIANCE, CERTIFICATE OF OCCUPANCY, AND OTHER DOCUMENTS NECESSARY TO COMPLETE THE PROJECT.
- REVIEW THE CONTRACT DOCUMENTS AND PERFORM WORK IN COMPLIANCE WITH THOSE DOCUMENTS.
- COORDINATE WORK WITH THE OWNER'S CONSTRUCTION COORDINATOR, INCLUDING WORK SCHEDULE, AND PERFORM WORK ONLY WITH OWNER'S PRIOR APPROVAL.
- MAINTAIN REQUIRED DOCUMENTS AND UP-TO-DATE CONSTRUCTION PLANS AT JOB SITE. THE CONTRACTOR SHALL SUBMIT AS-BUILT DRAWINGS TO THE CLIENT PROJECT MANAGER UPON COMPLETION OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY PRECAUTIONS DURING CONSTRUCTION AND TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THAT THERE WILL BE NO CONSTRUCTION RELATED DAMAGE TO THE EXISTING BUILDING CONSTRUCTIONS. IF SUCH DAMAGE OCCURS, THEN THE G.C. SHALL PROMPTLY MAKE ALL NECESSARY REPAIRS TO RETURN THE DAMAGED CONSTRUCTION TO A LIKE-NEW CONDITION AND THE EXPENSE OF SAID REPAIRS SHALL BE BORNE SOLELY BY THE G.C.
- CONTRACTOR SHALL PROVIDE A ONE (1) YEAR WARRANTY ON LABOR AND MATERIALS FROM THE DATE OF ACCEPTANCE BY OWNER'S CONSTRUCTION COORDINATOR.
- MATERIAL SUBSTITUTIONS WILL NOT BE ALLOWED UNLESS SUBMITTED IN WRITING.
- SCHEDULE SHOULD BE OPTIMIZED FOR SHORTEST ECONOMICAL COMPLETION.
- BE RESPONSIBLE FOR FINAL CLEANING PRIOR TO TURNING SPACE OVER TO OWNER.
- PROVIDE A LIST OF ALL SUBCONTRACTORS TO BE USED AND SUBMIT LIST TO CLIENT WITHIN 10 WORKING DAYS OF THE CONTRACT.
- MAINTAIN HANDBOOKS, OPERATING MANUALS, PAPERWORK AND KEYS IN A SAFE AND ORGANIZED MANNER. KEYS SHALL BE TAGGED FOR PROPER LOCATIONS. THESE SHALL BE TURNED OVER TO THE TENANT CONSTRUCTION COORDINATOR ALONG WITH CERTIFICATES OF OCCUPANCY, LIEN WAIVERS, WARRANTIES, AND GUARANTEES.
- DO NOT SCALE THESE DRAWINGS FOR DIMENSIONAL INFORMATION. REFER TO DIMENSIONS ON THE SITE PLAN AND THE ENLARGED PLANS. IF THERE IS A CONFLICT WITH THE PLAN DIMENSIONS OR AN EXISTING FIELD CONDITION CONTACT THE ARCHITECT.
- CONTRACTOR SHALL VERIFY EXISTING SITE AND BUILDING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO DEMOLITION ACTIVITIES AND WORK.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS BEFORE COMMENCING WORK.
- AFTER AWARD OF THE CONTRACT, CHANGE ORDER REQUESTS FOR ADDITIONAL MONEY WILL NOT BE APPROVED IF THE WORK COULD HAVE BEEN ANTICIPATED DURING A SITE VISIT BY THE CONTRACTOR.
- CONTRACTOR SHALL NOT SCALE DRAWINGS.
- CONTRACTOR SHALL REMOVE TRASH AND DEBRIS REGULARLY AS NECESSARY TO ELIMINATE INTERFERENCE WITH ROADS, STREET, WALKS, AND ALL OTHER ADJACENT FACILITIES.
- CONTRACTOR SHALL REMOVE TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.
- CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF TEMPORARY DUST AND OR SOUND PARTITION BETWEEN CONSTRUCTION AREA AND AREAS NOT IN SCOPE AS NECESSARY. DEMOLITION ACTIVITIES SHALL BE PERFORMED SO AS TO PRODUCE MINIMAL DISTURBANCE TO EXISTING FACILITY AND OCCUPANTS (I.E. MINIMIZE EXCESSIVE AND PROLONGED NOISE LEVELS AND DUST).
- CONTRACTOR SHALL REPAIR, REPLACE, OR PATCH EXISTING BUILDINGS, DRIVEWAYS, SIDEWALKS, CANOPIES, AND OR PARKING AREAS DAMAGED, MODIFIED, AND OR DISTURBED BY DEMOLITION WORK AT NO COST TO THE OWNER.
- ALL EXISTING EQUIPMENT THAT REMAINS SHALL BE PROTECTED DURING DEMOLITION AND OR CONSTRUCTION TO PREVENT DAMAGE. ANY DAMAGE TO REMAINING EXISTING EQUIPMENT SUSTAINED DURING DEMOLITION AND OR CONSTRUCTION SHALL BE EQUIVALENTLY REPLACED OR EQUIVALENTLY REPAIRED AT NO COST TO THE OWNER.
- CONTRACTOR SHALL PROVIDE TRAFFIC HANDLING MEASURES TO PROTECT THE GENERAL PUBLIC AT ALL TIMES, AS NECESSARY AND AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- DO NOT INTERRUPT EXISTING UTILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES INCLUDING BUT NOT LIMITED TO THE FOLLOWING: ELECTRIC, GAS, WATER, TELEPHONE, STORM SEWER, AND SANITARY SEWER FOR FIELD LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITY LINES. PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORK, CONTRACTOR SHALL IDENTIFY ALL ELECTRICAL CIRCUITS SERVICING THE AREA INVOLVED WITH THIS DEMOLITION. THESE CIRCUITS SHALL THEN BE LOCKED OUT AND TAGGED OUT IF THEY DO NOT SERVICE ANY OF THE REMAINING BUILDING. THOSE CIRCUITS WHICH ARE IDENTIFIED TO SERVICE BOTH THE AREA TO BE DEMOLISHED AND THE REMAINING BUILDING SHALL BE SPLIT SO AS TO KILL ALL ELECTRICAL POWER TO THE AREA TO BE DEMOLISHED WHILE MAINTAINING POWER TO THE REMAINDER OF THE BUILDING.
- PROTECT EXISTING SITE ELEMENTS AND EXISTING LANDSCAPING TO REMAIN. PROTECTION SHALL INCLUDE BUT NOT BE LIMITED TO EXISTING TREES AND OTHER EXISTING VEGETATION INDICATED TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING, OR SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIAL OR EXCAVATED MATERIAL WITHIN DRIP LINES.
- CONTRACTOR SHALL RE-GRADE AND HYDRO-MULCH AREAS AFFECTED BY DEMOLITION AND/OR NEW WORK. OWNER HAS RIGHT OF FIRST REFUSAL OF ALL ITEMS REMOVED AS PART OF THE SCOPE OF WORK, WHETHER IDENTIFIED AS SALVAGE OR NOT.
- NOTIFY THE BUILDING OWNER OF ANY MATERIALS, FIXTURES, ETC. TO BE REMOVED THAT ARE DEEMED SALVAGEABLE. TURN OVER ANY REQUESTED ITEMS TO THE BUILDING OWNER IN GOOD AND CLEAN CONDITION.
- ALL FURNITURE WILL BE REMOVED OR RELOCATED BY THE OWNER AS NECESSARY PRIOR TO THE DEMOLITION WORK OF THIS PROJECT. CONTRACTOR SHALL COORDINATE WITH OWNER AS REQUIRED.
- REMOVE EXISTING CONSTRUCTION TO THE EXTENT INDICATED ON THE DRAWINGS. SHOULD ANY DAMAGE OCCUR TO ANY EXISTING CONSTRUCTION TO REMAIN, THE CONTRACTOR SHALL REPAIR THE DAMAGE TO MATCH EXISTING AND OR ADJACENT CONSTRUCTION AT NO COST TO THE OWNER.
- ALL DASHED LINES ARE DEMOLITION LINES UNLESS OTHERWISE NOTED.

Sheet List Table

Sheet Number	Sheet Title	DATE	REV01	REV02	REV03
ARCHITECTURE: H - Willow Wood Junior High					
H000	COVER SHEET	05/28/2024			
H100	GENERAL INFORMATION AND DRAWING INDEX	05/28/2024			
H200	WILLOW WOOD JUNIOR HIGH SCHOOL	05/28/2024			
H400	TYPICAL FENCE DETAILS	05/28/2024			

REVISIONS

WILLOW WOOD JUNIOR HIGH
TOMBALL INDEPENDENT SCHOOL DISTRICT
 11770 GREGGSON RD
 TOMBALL, TX 77377



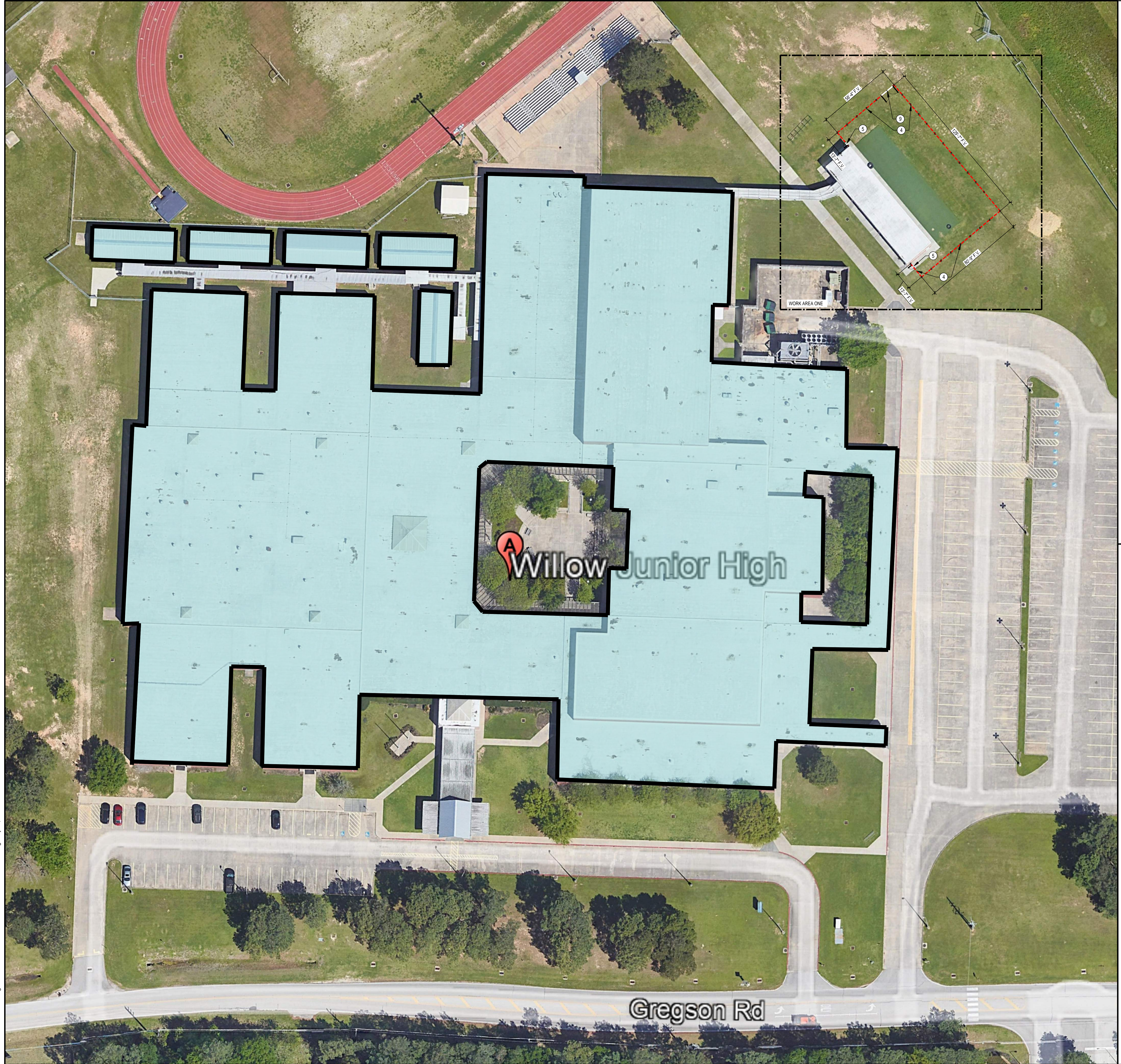
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H100

F:\2024\24-10 bid facilities secure (ending)\DWGS\H100 GENERAL INFORMATION AND DRAWING INDEX.dwg, May 27, 2024, 6:56pm



A Willow Junior High

Gregson Rd

F:\2024\24-10 best facilities secure fencing\DWGS\H200 WILLOW WOOD JUNIOR HIGH SCHOOL.dwg May 28, 2024 - 8:03am

01 WILLOW WOOD JUNIOR HOIGH SCHOOL SITE PLAN
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REVISIONS

WILLOW WOOD JUNIOR HIGH
TOMBALL INDEPENDENT SCHOOL DISTRICT
11770 GREGGSON RD
TOMBALL, TX 77377

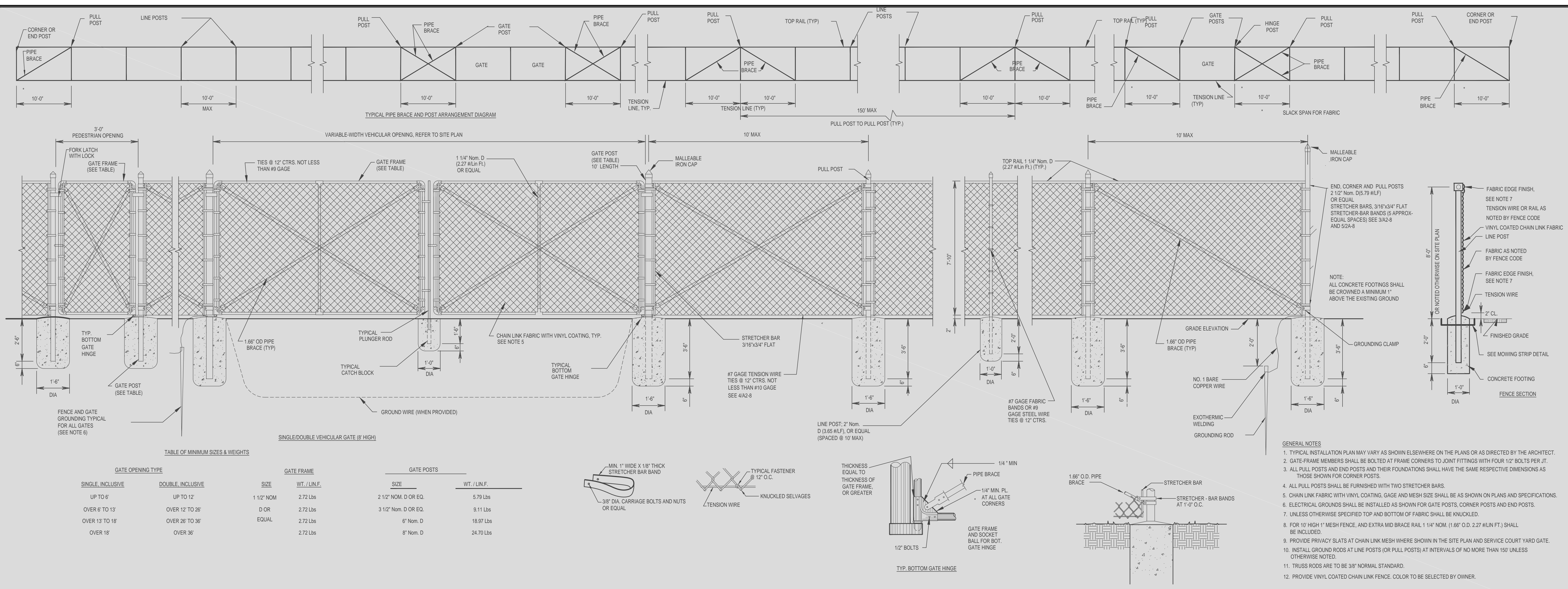


WWA ARCHITECTS

ARCHITECTS AND PLANNING CONSULTANTS

11767 KATY FREEWAY, STE 430 HOUSTON, TEXAS 77079

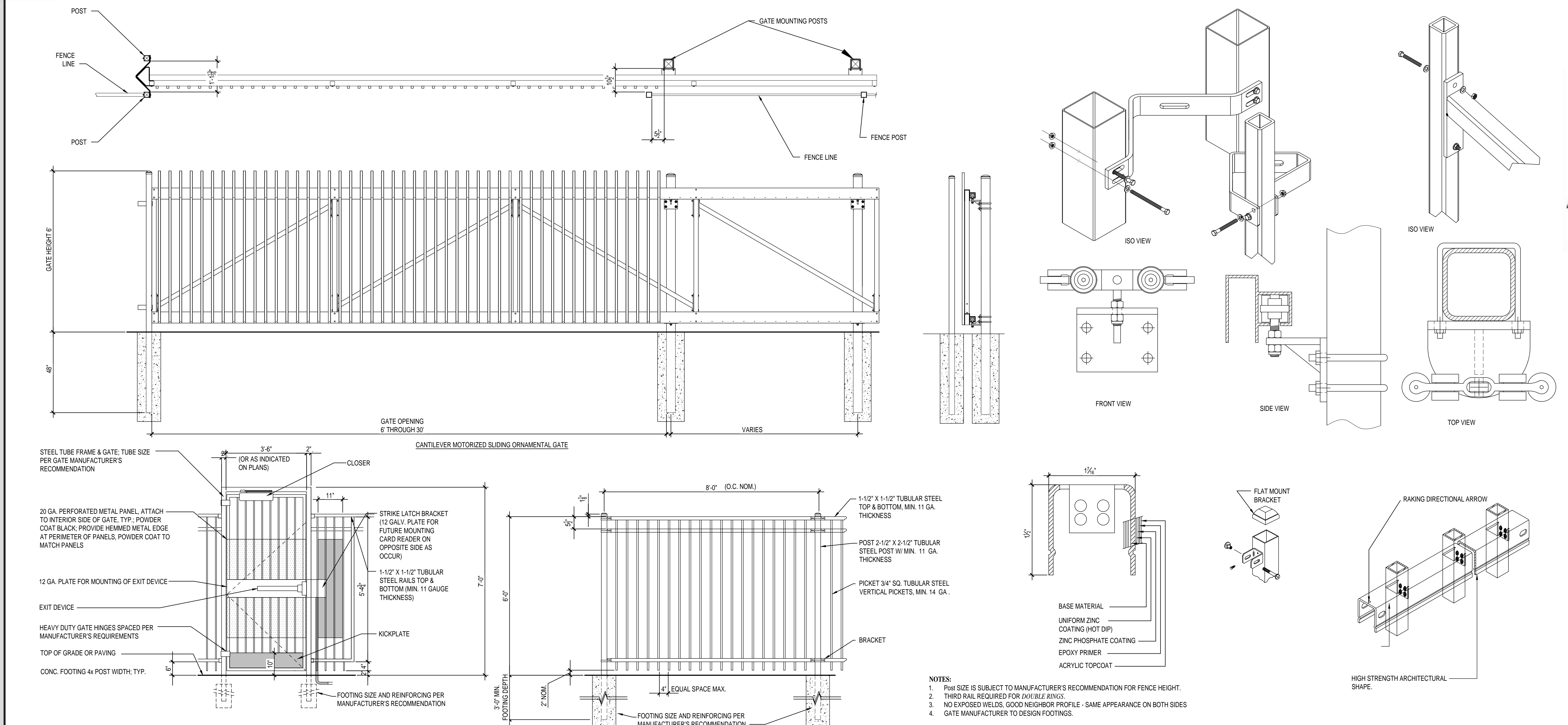
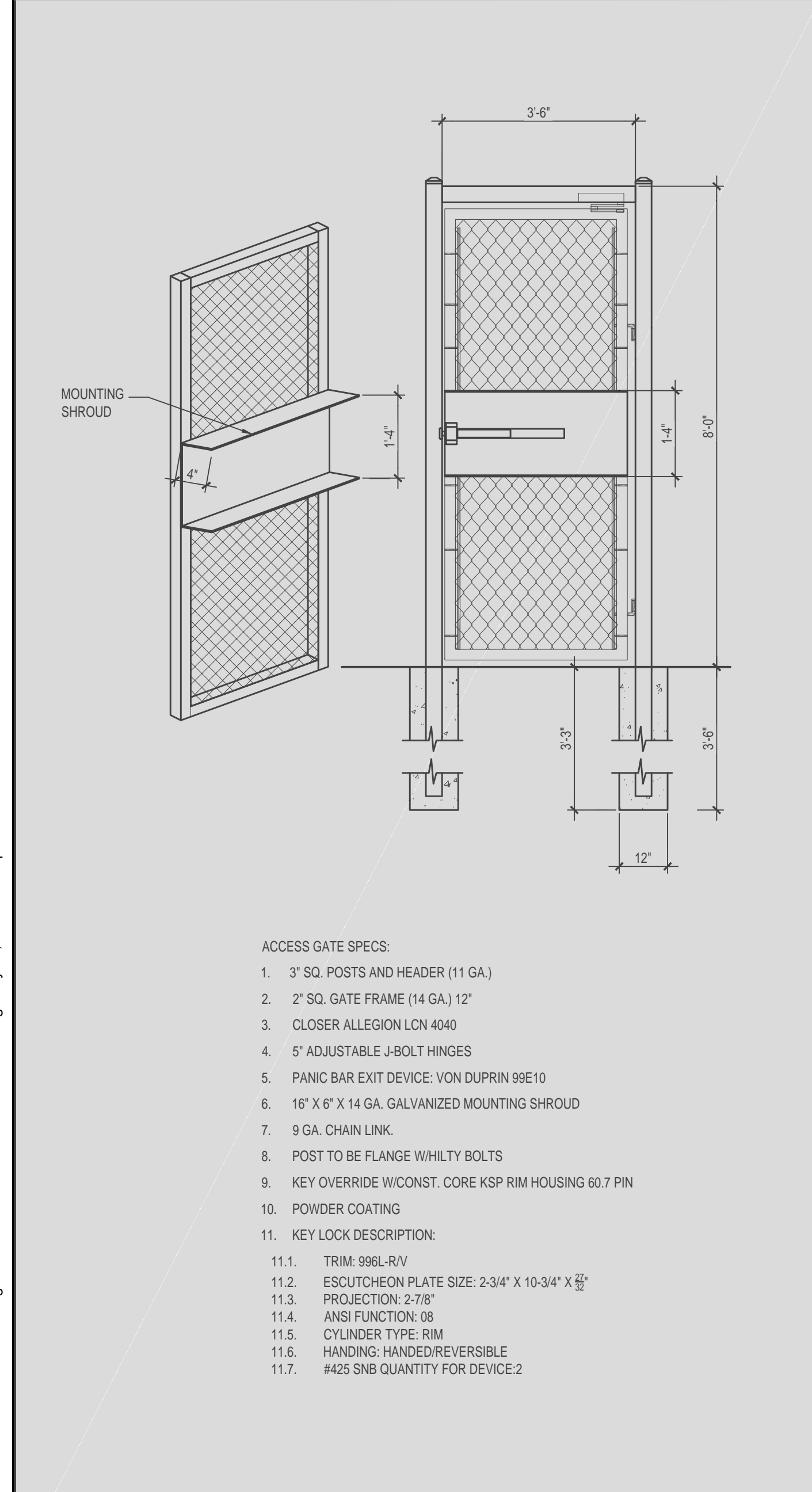
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H200



REVISIONS

WILLOW WOOD JUNIOR HIGH
 TOMBALL INDEPENDENT SCHOOL DISTRICT
 11770 GREGGSON RD
 TOMBALL, TX 77377

11 CHAIN LINK DETAILS



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TYPICAL FENCE DETAILS

H400

F:\2024\24-10 bid facilities secure fencing\DWG\STYPTICAL FENCE DETAILS.dwg May 27, 2024 - 6:56pm



TOMBALL INDEPENDENT SCHOOL DISTRICT

310 S. Cherry Street
TOMBALL, TEXAS 77375

DISTRICT-WIDE SECURITY FENCING IMPROVEMENTS

ADMINISTRATION

DR. MARTHA SALAZAR-ZAMORA	SUPERINTENDENT OF SCHOOLS
DR. AMY SCHINDEWOLF	CHIEF OF STAFF
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MRS. TINA SALEM	BOARD TRUSTEE
MR. MATT SCHIEL	BOARD TRUSTEE

PROJECT TEAM



OWNER
Tomball Independent School District
310 S. Cherry Street
Tomball, TX 77375
Phone Number: 281-357-3100



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Houston, Texas 77042
Phone Number: 713-266-6900



ARCHITECT
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Phone Number: 713-782-8188

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REVISIONS

TOMBALL CONNECTIONS ACADEMY
TOMBALL INDEPENDENT SCHOOL DISTRICT
1302 KEEFER RD
TOMBALL, TX 77375



ARCHITECTS
AND PLANNING
CONSULTANTS
11767 KATY FREEWAY, STE 430
HOUSTON, TEXAS 77079

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COVER SHEET

J000

GROUP OR DIVISION NUMBER
 A000—SEQUENTIAL SHEET NUMBER WITHIN GROUP
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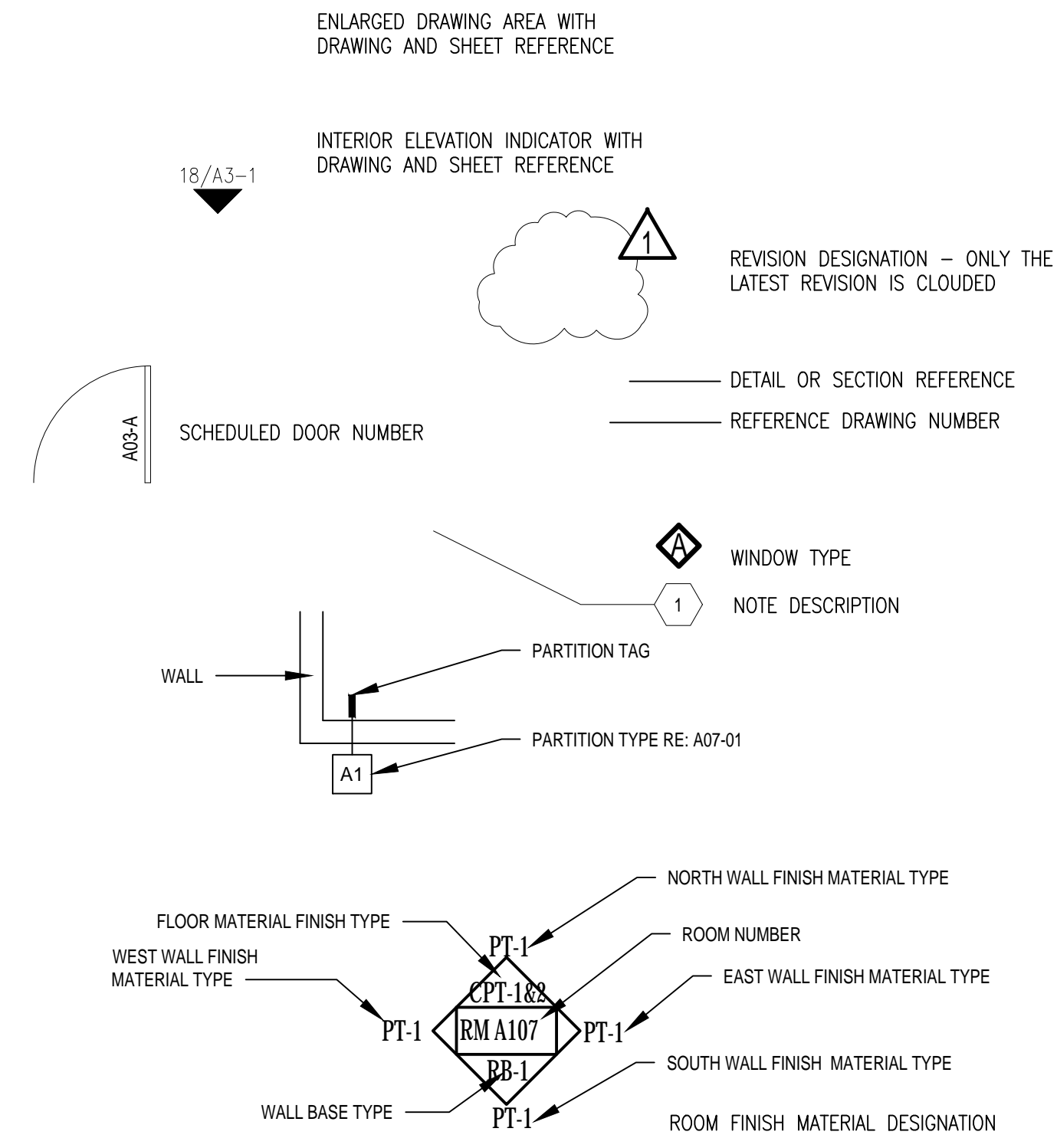
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16	17	18	19	20
11	12	13	14	15
6	7	8	9	10
1	2	3	4	5

15 GRID
 NTS

A/C	AIR CONDITIONING	GEN	GENERAL
AB	ANCHOR BOLT	GL	GLASS
AC	ACOUSTIC, ACOUSTICAL	GP	GYPSUM PLASTER
ACC DR	ACCESS DOOR	GRD	GRADE
ACT	ACOUSTIC DOOR	GRT	GROUT
AD	AREA DRAIN	GYP	GYPSUM
AFF	ABOVE FINISH FLOOR	GYP BD	GYPSUM BOARD
ALUM	ALUMINUM	HC	HANDICAP
ANOD	ANODIZED	HD W	HARDWARE
AP	ACCESS PANEL	HOWD	HARDWOOD
AUX	AUXILIARY	HVAC	HEATING, VENTILATING & AIR CONDITIONING
AV	AIR VENT	HW	HOT WATER
BLDG	BUILDING	ID	INSIDE DIAMETER
BLK(G)	BLOCKING	IN	INCHES
BOT	BOTTOM	JAN	JANITOR
BR	BRICK	JT	JOINT
BR	BUILT UP ROOF	LAM(D)	LAMINATE(D)
CI	CHANNEL	LAV	LAVATORY
CAB	CABINET	LH	LEFT HAND
CC	CENTER TO CENTER	MEP	MECHANICAL ELECTRICAL PLUMBING
CD	CEILING DIFFUSER	MET	METAL
CG	CEILING GRILLE	MATL	MATERIAL
CHBD	CHALK BOARD	MAX	MAXIMUM
CHW	CHILLED WATER	MECH	MECHANICAL
		MFR	MANUFACTURER
		MIN	MINIMUM
CI	CAST IRON	NIC	NOT IN CONTRACT
CP	CAST IN PLACE	NTS	NOT TO SCALE
CJ	CONSTRUCTION JOINT	OFF	OFFICE
CJT	CONTROL JOINT	OH	OVERHEAD
CLG	CEILING	OPNG	OPENING
CLO	CLOSET	PL	PLATE
CLRM	CLASSROOM	P LAM	PLASTIC LAMINATE
CD	CLEAN OUT	PLBG	PLUMBING
COL	COLUMN	PLYWD	PLYWOOD
CONC	CONCRETE	PNL	PANEL
CONN	CONNECTION	PRESS	PRESSURE
CONST	CONSTRUCTION	PVMT	PAVEMENT
CONT	CONTINUOUS	PWR	POWER
CORR	CORRIDOR	R	RADIUS, RISER
CPT	CARPET	RCP	REFLECTED CEILING PLAN
CR	CEILING REGISTER	RA	RETURN AIR
CT	CERAMIC TILE	RD	ROOF DRAIN
CW	COLD WATER	RE	REFER
		REQD	REQUIRED
DC	DOOR CLOSER	RM	ROOM
DEMO	DEMOLISH/DEMOLITION	RO	ROUGH OPENING
DET	DETAIL	RT	RIGHT
DM	DIMENSION	SCHED	SCHEDULE(D)
DL	DOOR LOUVER	SF	SQUARE FEET
DN	DOWN	SIM	SIMILAR
DR	DOOR	SND	SOUND
DS	DOWNSPOUT	SPEC(S)	SPECIFICATION(S)
DWG	DRAWING	SQ	SQUARE
EA	EACH	SQ IN	SQUARE INCHES
EDF	ELECTRIC DRINKING FOUNTAIN	STL	STEEL
EF	EXHAUST FAN, EACH FACE	STRUCT	STRUCTURE, STRUCTURAL
EJC	EXPANSION JOINT COVER	SYST	SYSTEM
EJT	EXPANSION JOINT	T&B	TOP AND BOTTOM
ELAST	ELASTOMERIC	TC	TOP OF CURB
ELEV	ELEVATION	TEL	TELEPHONE
ELEC(L)	ELECTRICAL	TEMP	TEMPORARY, TEMPERATURE
ELEV	ELEVATOR/ELEVATION	THK	THICK
EMER	EMERGENCY	THR	THRESHOLD
ENCL	ENCLOSURE	TOC	TOP OF CONCRETE
ENT	ENTRANCE	TV	TELEVISION
EQ	EQUAL	UG	UNDERGROUND
EQUIP	EQUIPMENT	UL	UNDERWRITERS LABORATORY
EXIST	EXISTING	VAC	VACUUM
EXP	EXPANSION	VAV	VARIABLE AIR VOLUME
EXT	EXTERIOR	VCT	VINYL COMPOSITION TILE
FACP	FIRE ALARM CONTROL PANEL	VOL	VOLUME
FD	FLOOR DRAIN	W	WITH
FDN	FOUNDATION	WO	WITHOUT
FF	FINISH FLOOR	WC	WATER CLOSET
FIN	FINISH	WD	WOOD
FIXT	FIXTURE	WH	WATER HEATER, WALL HUNG
FJT	FLUSH JOINT	WHP	WEEP HOLE
FLG	FLOORING	WP	WATERPROOFING, WATERPROOF
FT	FOOT		
FTG	FOOTING		
FURN	FURNITURE		
FV	FIELD VERIFY		
GA	GAUGE		
GALV	GALVANIZED		
GC	GENERAL CONTRACTOR		

1 ABBREVIATIONS
 NTS

16 LEGEND
 NTS



10 GENERAL NOTES
 NTS

- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, SUPERVISION, PERMITS, EQUIPMENT, TOOLS, TRANSPORTATION, WAREHOUSING, AND ANY OTHER SERVICES REQUIRED TO COMPLETE THE SCOPE OF WORK IN A TIMELY AND EFFICIENT MANNER.
- INDIVIDUAL ITEMS OF WORK ARE DETAILED IN THE SCOPE OF WORK SECTION, APPLICABLE TECHNICAL SPECIFICATIONS, THE ATTACHED DRAWINGS, AND THE NOTES AND LEGENDS ON THE DRAWINGS. THE CONTRACTOR IS RESPONSIBLE TO COMPLETE THE REQUIREMENTS FOUND IN ANY OF THE ABOVE. CONTRACTOR SHALL VERIFY DIMENSIONS AND JOB CONDITIONS AT THE JOB SITE PRIOR TO START OF CONSTRUCTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL ALL TEMPORARY BRACING AND SHORING TO INSURE THE SAFETY OF THE WORK UNTIL IT IS IN ITS COMPLETED FORM.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT ALL APPLICABLE SAFETY LAWS ARE STRICTLY ENFORCED AND TO MAINTAIN A SAFE CONSTRUCTION PROJECT. CONTRACTOR TO PROVIDE A JOB SPECIFIC SAFETY PLAN FOR CLIENT REVIEW PRIOR TO START OF WORK.
- DAILY, AND UPON COMPLETION OF THE WORK, CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS, RUBBISH, WASTE, AND SURPLUS MATERIAL FROM THE PREMISES. CONTRACTOR WILL INCUR ALL COSTS FOR DISPOSAL.
- SUBCONTRACTORS SHALL COOPERATE AND COORDINATE BETWEEN VARIOUS TRADES, AND WITH OTHERS WHOSE WORK IS DEPENDENT ON EACH OTHER. SUBCONTRACTOR SHALL INFORM HIMSELF AS TO THE RELATIONSHIP BETWEEN HIS WORK AND OTHER TRADES.
- EACH SUBCONTRACTOR WHOSE WORK IS EXECUTED IN RELATION TO PRIOR WORK SHALL CAREFULLY INSPECT HIS PRIOR WORK AND SUBMIT WRITTEN NOTICE OF ANY DEFECTS, IMPROPER WORKMANSHIP OR MATERIALS, OR OTHER CONDITIONS THAT WOULD AFFECT THE SATISFACTORY EXECUTION AND PERMANENCY OF HIS WORK. NO FURTHER WORK SHALL BE EXECUTED UNTIL SUCH DEFECTS OR CONDITIONS HAVE BEEN CORRECTED OR AN AGREEMENT REACHED WITH OWNER REGARDING DEFECTS WHICH MAY DEVELOP DUE TO CONDITIONS SO NOTED.
- BEFORE ORDERING ANY MATERIAL, OR DOING ANY WORK, THE CONTRACTOR SHALL VERIFY MEASUREMENTS OF THE WORK AND BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. GIVE NOTIFICATION OF ANY DIFFERENCE WHICH MAY BE FOUND BEFORE PROCEEDING WITH THE WORK.
- COOPERATE WITH LOCAL AND OTHER GOVERNMENTAL OFFICIALS AND INSPECTIONS NECESSARY, PROVIDING ASSISTANCE TO EXPEDITE THE INSPECTION.
- ALL WORKMANSHIP MATERIALS, AND CONSTRUCTION RELATING TO THE PROJECT SHALL BE IN COMPLIANCE WITH AND CONFORM TO THE GOVERNING BUILDING CODES AND OTHER APPLICABLE CODES. ALL WORK SHALL BE IN COMPLIANCE WITH THE LATEST EDITION OF THE UNIFORM BUILDING CODE, INTERNATIONAL BUILDING CODE OR NFPA BUILDING CODE CURRENTLY IN FORCE BY THE LOCAL JURISDICTION, AND THE CLIENT PROVIDED ON SITE ACTIVITY SUPPLEMENT AND ALL OTHER LOCAL ORDINANCES AND REQUIREMENTS.
- ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE CODES, AND/OR REGULATIONS HAVING JURISDICTION OVER THE WORK AND SHALL BE PERFORMED IN A GOOD WORKMANSHIP LIKE MANNER IN ACCORDANCE WITH ACCEPTED TRADE STANDARDS BY EXPERIENCED CRAFTSMEN SKILLED IN THEIR RESPECTIVE TRADES.
- PRIOR TO THE COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL CAREFULLY STUDY THE CONTRACT DOCUMENTS AND SHALL IMMEDIATELY REPORT TO THE ARCHITECT ANY ERROR, INCONSISTENCY, OR OMISSION.
- WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND ARCHITECT MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS.
- SUBCONTRACTORS ARE RESPONSIBLE FOR CONFIRMING DIMENSIONS AND FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, AND CORRELATING DIMENSIONS AT THE JOB SITE.
- G.C. SHALL PERFORM CONSTRUCTION ACTIVITIES AND FURNISH AND INSTALL MATERIALS IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL CODES INCLUDING A.D.A.
- ALL DIMENSIONS CONTAINED IN THE SCOPE OF WORK SHALL BE VERIFIED BY CONTRACTOR AND WITH DRAWINGS. DIMENSIONS PROVIDED IN THE SCOPE OF WORK ARE APPROXIMATE VALUES PROVIDED FOR CONVENIENCE AND REFERENCE ONLY.
- DRAWINGS SHOW INTENT OF WORK TO BE PERFORMED. CONTRACTOR SHALL PROVIDE MATERIALS, LABOR, CONNECTIONS, FABRICATIONS, AND ACCESSORIES FOR A COMPLETED PROJECT.
- PROJECT REQUIRES SURETY BOND.
- OBTAIN PERMITS, APPROVALS, INSPECTIONS, CERTIFICATE OF COMPLIANCE, CERTIFICATE OF OCCUPANCY, AND OTHER DOCUMENTS NECESSARY TO COMPLETE THE PROJECT.
- REVIEW THE CONTRACT DOCUMENTS AND PERFORM WORK IN COMPLIANCE WITH THOSE DOCUMENTS.
- COORDINATE WORK WITH THE OWNER'S CONSTRUCTION COORDINATOR, INCLUDING WORK SCHEDULE, AND PERFORM WORK ONLY WITH OWNER'S PRIOR APPROVAL.
- MAINTAIN REQUIRED DOCUMENTS AND UP-TO-DATE CONSTRUCTION PLANS AT JOB SITE. THE CONTRACTOR SHALL SUBMIT AS-BUILT DRAWINGS TO THE CLIENT PROJECT MANAGER UPON COMPLETION OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY PRECAUTIONS DURING CONSTRUCTION AND TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THAT THERE WILL BE NO CONSTRUCTION RELATED DAMAGE TO THE EXISTING BUILDING CONSTRUCTIONS. IF SUCH DAMAGE OCCURS, THEN THE G.C. SHALL PROMPTLY MAKE ALL NECESSARY REPAIRS TO RETURN THE DAMAGED CONSTRUCTION TO A LIKE-NEW CONDITION AND THE EXPENSE OF SAID REPAIRS SHALL BE BORNE SOLELY BY THE G.C.
- CONTRACTOR SHALL PROVIDE A ONE (1) YEAR WARRANTY ON LABOR AND MATERIALS FROM THE DATE OF ACCEPTANCE BY OWNER'S CONSTRUCTION COORDINATOR.
- MATERIAL SUBSTITUTIONS WILL NOT BE ALLOWED UNLESS SUBMITTED IN WRITING.
- SCHEDULE SHOULD BE OPTIMIZED FOR SHORTEST ECONOMIC COMPLETION.
- BE RESPONSIBLE FOR FINAL CLEANING PRIOR TO TURNING SPACE OVER TO OWNER.
- PROVIDE A LIST OF ALL SUBCONTRACTORS TO BE USED AND SUBMIT LIST TO CLIENT WITHIN 10 WORKING DAYS OF THE CONTRACT.
- MAINTAIN HANDBOOKS, OPERATING MANUALS, PAPERWORK AND KEYS IN A SAFE AND ORGANIZED MANNER. KEYS SHALL BE TAGGED FOR PROPER LOCATIONS. THESE SHALL BE TURNED OVER TO THE TENANT CONSTRUCTION COORDINATOR ALONG WITH CERTIFICATES OF OCCUPANCY, LIEN WAIVERS, WARRANTIES, AND GUARANTEES.
- DO NOT SCALE THESE DRAWINGS FOR DIMENSIONAL INFORMATION. REFER TO DIMENSIONS ON THE SITE PLAN AND THE ENLARGED PLANS. IF THERE IS A CONFLICT WITH THE PLAN DIMENSIONS OR AN EXISTING FIELD CONDITION CONTACT THE ARCHITECT.
- CONTRACTOR TO PROVIDE LETTER AT END OF PROJECT CERTIFYING THAT MATERIALS USED ON PROJECT ARE ASBESTOS FREE.
- BUILDERS QUOTE SHOULD BE IN COMPLIANCE WITH ALL CLIENT TERMS, CONDITIONS, AND SECURITY REQUIREMENTS. SAME IS TRUE FOR CURRENT CONTRACT SERVICE PROVIDERS SHOULD THEY DO THE WORK.
- DEMOLITION PLANS INDICATE SOME OF THE SCOPE-OF-WORK INVOLVED FOR THE DEMOLITION PHASE OF THIS PROJECT. CONTRACTOR SHALL REVIEW ALL SHEETS FOR ADDITIONAL DEMOLITION SCOPE.
- CONTRACTOR SHALL VERIFY EXISTING SITE AND BUILDING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO DEMOLITION ACTIVITIES AND WORK.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS BEFORE COMMENCING WORK.
- AFTER AWARD OF THE CONTRACT, CHANGE ORDER REQUESTS FOR ADDITIONAL MONEY WILL NOT BE APPROVED IF THE WORK COULD HAVE BEEN ANTICIPATED DURING A SITE VISIT BY THE CONTRACTOR.
- CONTRACTOR SHALL NOT SCALE DRAWINGS.
- CONTRACTOR SHALL REMOVE TRASH AND DEBRIS REGULARLY AS NECESSARY TO ELIMINATE INTERFERENCE WITH ROADS, STREET, WALKS, AND ALL OTHER ADJACENT FACILITIES.
- CONTRACTOR SHALL REMOVE TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.
- CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF TEMPORARY DUST AND OR SOUND PARTITION BETWEEN CONSTRUCTION AREA AND AREAS NOT IN SCOPE AS NECESSARY. DEMOLITION ACTIVITIES SHALL BE PERFORMED SO AS TO PRODUCE MINIMAL DISTURBANCE TO EXISTING FACILITY AND OCCUPANTS (I.E. MINIMIZE EXCESSIVE AND PROLONGED NOISE LEVELS AND DUST).
- CONTRACTOR SHALL REPAIR, REPLACE, OR PATCH EXISTING BUILDINGS, DRIVEWAYS, SIDEWALKS, CANOPES, AND OR PARKING AREAS DAMAGED, MODIFIED, AND OR DISTURBED BY DEMOLITION WORK AT NO COST TO THE OWNER.
- ALL EXISTING EQUIPMENT THAT REMAINS SHALL BE PROTECTED DURING DEMOLITION AND OR CONSTRUCTION TO PREVENT DAMAGE. ANY DAMAGE TO REMAINING EXISTING EQUIPMENT SUSTAINED DURING DEMOLITION AND OR CONSTRUCTION SHALL BE EQUIVALENTLY REPLACED OR EQUIVALENTLY REPAIRED AT NO COST TO THE OWNER.
- CONTRACTOR SHALL PROVIDE TRAFFIC HANDLING MEASURES TO PROTECT THE GENERAL PUBLIC AT ALL TIMES, AS NECESSARY AND AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- DO NOT INTERRUPT EXISTING UTILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES INCLUDING BUT NOT LIMITED TO THE FOLLOWING: ELECTRIC, GAS, WATER, TELEPHONE, STORM SEWER, AND SANITARY SEWER FOR FIELD LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITY LINES. PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORK, CONTRACTOR SHALL IDENTIFY ALL ELECTRICAL CIRCUITS SERVICING THE AREA INVOLVED WITH THIS DEMOLITION. THESE CIRCUITS SHALL THEN BE LOCKED OUT AND TAGGED OUT IF THEY DO NOT SERVICE ANY OF THE REMAINING BUILDING. THOSE CIRCUITS WHICH ARE IDENTIFIED TO SERVICE BOTH THE AREA TO BE DEMOLISHED AND THE REMAINING BUILDING SHALL BE SPLIT SO AS TO KILL ALL ELECTRICAL POWER TO THE AREA TO BE DEMOLISHED WHILE MAINTAINING POWER TO THE REMAINDER OF THE BUILDING.
- PROTECT EXISTING SITE ELEMENTS AND EXISTING LANDSCAPING TO REMAIN. PROTECTION SHALL INCLUDE BUT NOT BE LIMITED TO EXISTING TREES AND OTHER EXISTING VEGETATION INDICATED TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING, OR SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SNOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIAL OR EXCAVATED MATERIAL WITHIN DRIP LINES.
- CONTRACTOR SHALL RE-GRADE AND HYDRO-MULCH AREAS AFFECTED BY DEMOLITION AND/OR NEW WORK. OWNER HAS RIGHT OF FIRST REFUSAL OF ALL ITEMS REMOVED AS PART OF THE SCOPE OF WORK, WHETHER IDENTIFIED AS SALVAGE OR NOT.
- NOTIFY THE BUILDING OWNER OF ANY MATERIALS, FIXTURES, ETC. TO BE REMOVED THAT ARE DEEMED SALVAGEABLE. TURN OVER ANY REQUESTED ITEMS TO THE BUILDING OWNER IN GOOD AND CLEAN CONDITION.
- ALL FURNITURE WILL BE REMOVED OR RELOCATED BY THE OWNER AS NECESSARY PRIOR TO THE DEMOLITION WORK OF THIS PROJECT. CONTRACTOR SHALL COORDINATE WITH OWNER AS REQUIRED.
- REMOVE EXISTING CONSTRUCTION TO THE EXTENT INDICATED ON THE DRAWINGS. SHOULD ANY DAMAGE OCCUR TO ANY EXISTING CONSTRUCTION TO REMAIN, THE CONTRACTOR SHALL REPAIR THE DAMAGE TO MATCH EXISTING AND OR ADJACENT CONSTRUCTION AT NO COST TO THE OWNER.
- ALL DASHED LINES ARE DEMOLITION LINES UNLESS OTHERWISE NOTED.

REVISIONS

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 1302 KEEFER RD
 TOMBALL, TX 77575



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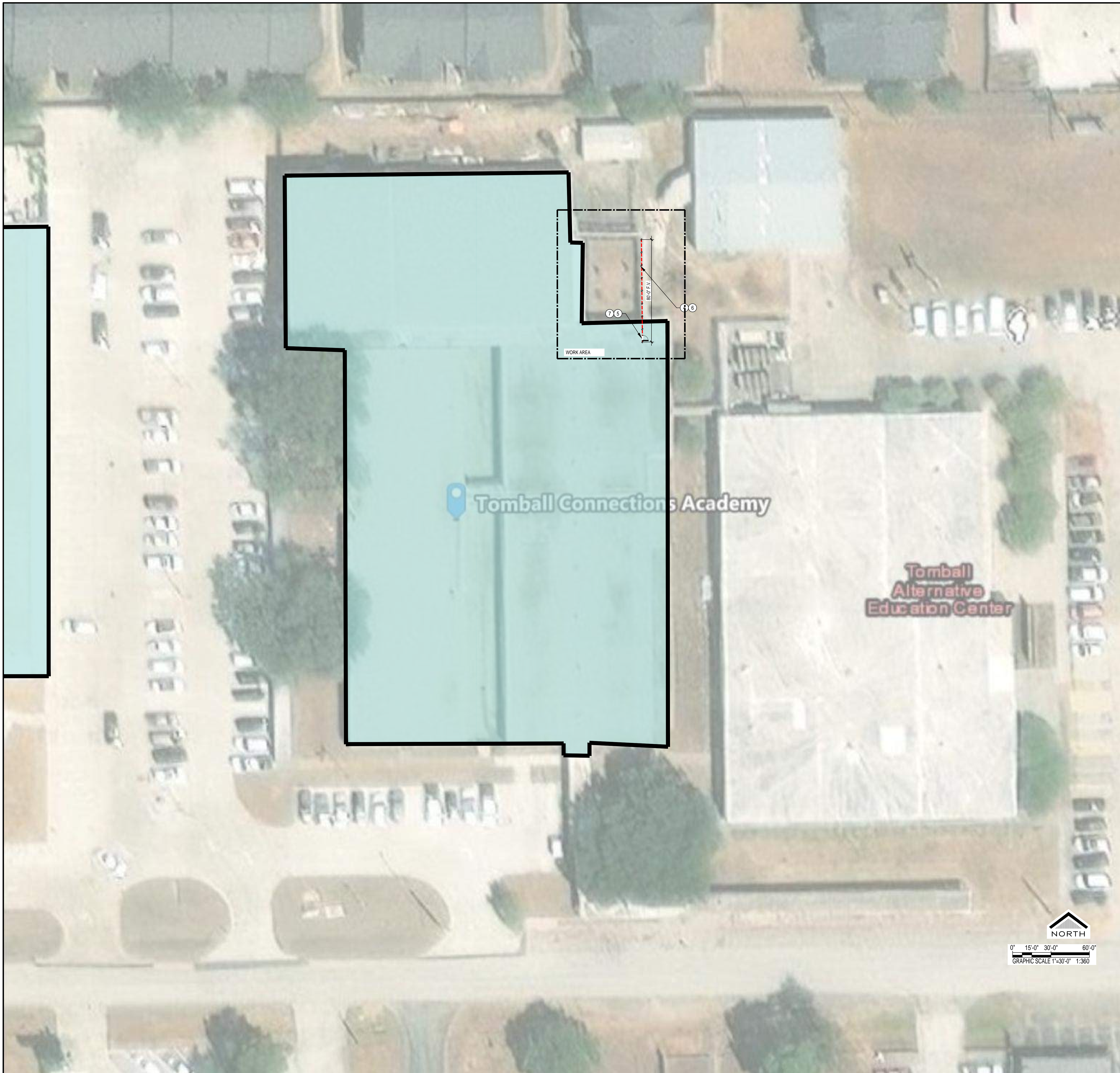
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GENERAL INFORMATION
 AND DRAWING INDEX

J100

03 DRAWING INDEX
 NTS



05 PHOTO 3
1" = 30'-0" XREF



04 PHOTO 2
1" = 30'-0" XREF



03 PHOTO 1
1" = 30'-0" XREF

KEYNOTES	
NUM	DESCRIPTION
1	EXISTING FENCE AND OR GATE TO REMAIN
2	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE
3	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE GATE 42" WIDE WITH PANIC HARDWARE
4	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL FENCE
5	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL FENCE GATE 42" WIDE WITH PANIC HARDWARE
6	REMOVE EXISTING FENCE
7	REMOVE EXISTING GATE
8	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL SLIDING FENCE GATE TWENTY FOOT WIDE
9	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL DOUBLE SWING FENCE GATE TWELVE FOOT WIDE
10	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE GATE 36" WIDE
11	CUT OPENING IN EXISTING FENCE TO INSTALL GATE
12	INSTALL SLATS IN EXISTING SEVEN FOOT HIGH CHAINLINK FENCE
13	INSTALL SIX FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE WITH SLAT INSERTS
14	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK DOUBLE FENCE GATE 36 FEET WIDE
15	INSTALL PANIC HARDWARE ON EXISTING DOOR. INCLUDE PROTECTION OF DOOR PANIC DEVICE FROM OUTSIDE ACTIVATION
16	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE SLIDING FENCE GATE TWENTY FOOT WIDE
17	PROVIDE KNOXBOX FOR FIRE DEPARTMENT ACCESS
18	REVERSE SWING OF GATE, REMOVE EXISTING MAGLOCK DEVICE AND PROVIDE PANIC DEVICE PER KEYNOTE 15
19	PAINT FENCE BLACK.
20	REPAIR EXISTING GATE OPERATOR TO WORKING CONDITION.

02 KEYNOTES
1:1

01 TOMBALL CONNECTIONS ACADEMY
1" = 30'-0" XREF

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F:\2024\24-10\Isd facilities secure fencing\DWGS\200 TOMBALL CONNECTIONS.dwg May 27, 2024 - 6:56pm



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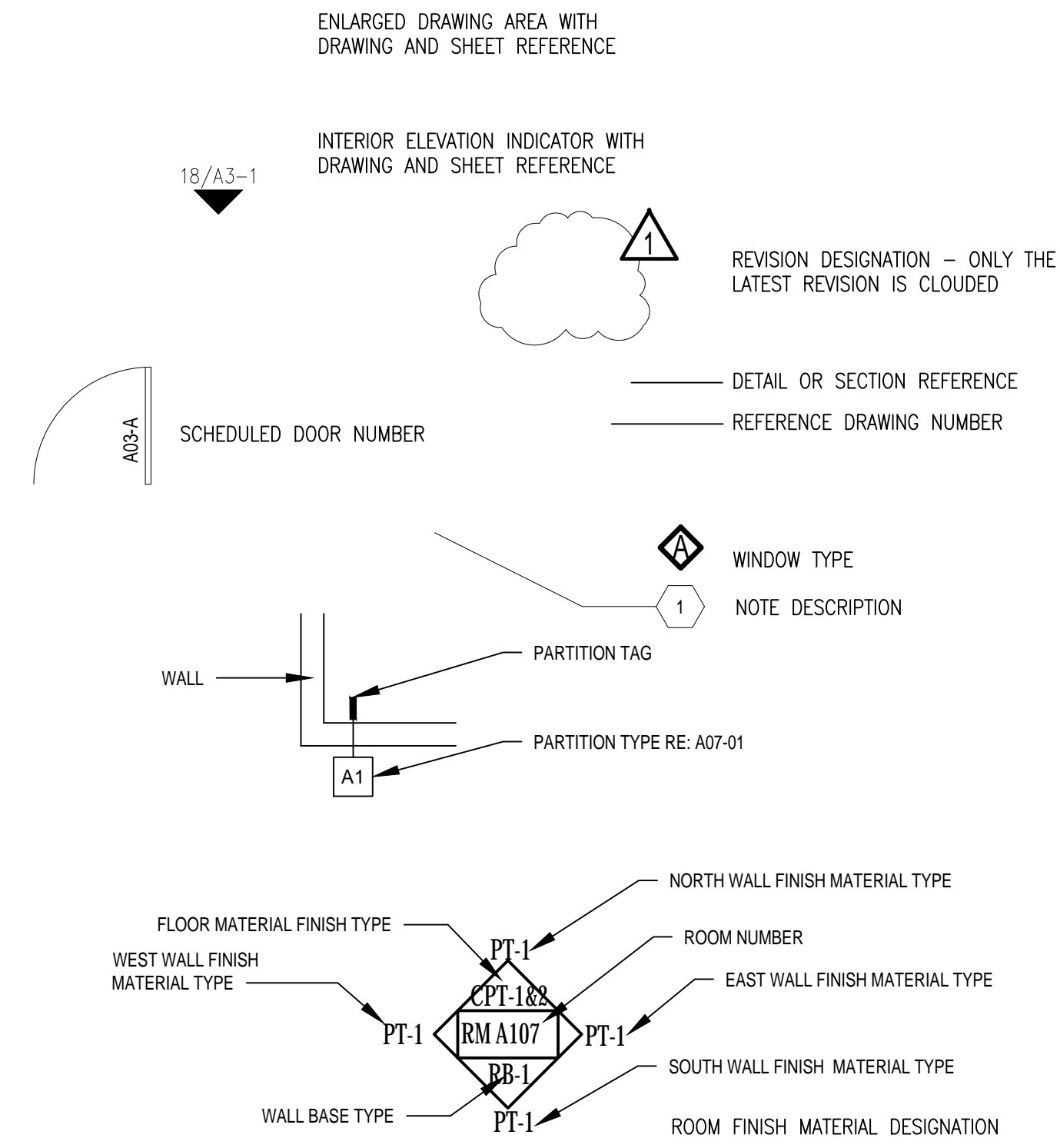
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ALUM	ALUMINUM	HC	HANDICAP
AMOD	ANODIZED	HD W	HARDWARE
AP	ACCESS PANEL	HOWD	HARDWOOD
AUX	AUXILIARY	HVAC	HEATING, VENTILATING & AIR CONDITIONING
AV	AIR VENT	HW	HOT WATER
BLDG	BUILDING	ID	INSIDE DIAMETER
BLK(G)	BLOCKING	IN	INCHES
BOT	BOTTOM	JAN	JANITOR
BR	BRICK	JT	JOINT
BR	BUILT UP ROOF	LAM(D)	LAMINATE(D)
CI	CHANNEL	LAV	LAVATORY
CAB	CABINET	LH	LEFT HAND
CC	CENTER TO CENTER	MEP	MECHANICAL ELECTRICAL PLUMBING
CD	CEILING DIFFUSER	MET	METAL
CG	CEILING GRILLE	MATL	MATERIAL
CHBD	CHALK BOARD	MAX	MAXIMUM
CHW	CHILLED WATER	MECH	MECHANICAL
		MFR	MANUFACTURER
		MIN	MINIMUM
CI	CAST IRON	NIC	NOT IN CONTRACT
CJ	CAST IN PLACE	NTS	NOT TO SCALE
CJ	CONSTRUCTION JOINT	OFF	OFFICE
CJT	CONTROL JOINT	OH	OVERHEAD
CLG	CEILING	OPNG	OPENING
CLO	CLOSET	PL	PLATE
CLRM	CLASSROOM	P LAM	PLASTIC LAMINATE
CD	CLEAN OUT	PLBG	PLUMBING
COL	COLUMN	PLYWD	PLYWOOD
CONC	CONCRETE	PNL	PANEL
CONN	CONNECTION	PRESS	PRESSURE
CONST	CONSTRUCTION	PVMT	PAVEMENT
CONT	CONTINUOUS	PWR	POWER
CORR	CORRIDOR	R	RADIUS, RISER
CPT	CARPET	RCP	REFLECTED CEILING PLAN
CR	CEILING REGISTER	RA	RETURN AIR
CT	CERAMIC TILE	RD	ROOF DRAIN
CW	COLD WATER	RE	REFER
		REQD	REQUIRED
DC	DOOR CLOSER	RH	ROOM
DEMO	DEMOLISH/DEMOLITION	RO	ROUGH OPENING
DET	DETAIL	RT	RIGHT
DM	DIMENSION	SCHED	SCHEDULE(D)
DL	DOOR LOUVER	SF	SQUARE FEET
DN	DOWN	SM	SIMILAR
DR	DOOR	SND	SOUND
DS	DOWNSPOUT	SPEC(S)	SPECIFICATION(S)
DWG	DRAWING	SQ	SQUARE
EA	EACH	SQ IN	SQUARE INCHES
EDF	ELECTRIC DRINKING FOUNTAIN	STL	STEEL
EF	EXHAUST FAN, EACH FACE	STRUCT	STRUCTURE, STRUCTURAL
EJC	EXPANSION JOINT COVER	SYST	SYSTEM
EJT	EXPANSION JOINT	T&B	TOP AND BOTTOM
ELAST	ELASTOMERIC	TC	TOP OF CURB
EL	ELEVATION	TEL	TELEPHONE
ELEC(L)	ELECTRICAL	TEMP	TEMPORARY, TEMPERATURE
ELEV	ELEVATOR/ELEVATION	THK	THICK
EMER	EMERGENCY	THR	THRESHOLD
ENCL	ENCLOSURE	TOC	TOP OF CONCRETE
ENT	ENTRANCE	TV	TELEVISION
EQ	EQUAL	UG	UNDERGROUND
EQUIP	EQUIPMENT	UL	UNDERWRITERS LABORATORY
EXIST	EXISTING	VAC	VACUUM
EXP	EXPANSION	VAV	VARIABLE AIR VOLUME
EXT	EXTERIOR	VCT	VINYL COMPOSITION TILE
FACP	FIRE ALARM CONTROL PANEL	VOL	VOLUME
FD	FLOOR DRAIN	W	WITH
FDN	FOUNDATION	WO	WITHOUT
FF	FINISH FLOOR	WC	WATER CLOSET
FIN	FINISH	WD	WOOD
FIXT	FIXTURE	WH	WATER HEATER, WALL HUNG
FJT	FLUSH JOINT	WHP	WEEP HOLE
FL(G)	FLOORING	WP	WATERPROOFING, WATERPROOF
FT	FOOT		
FTG	FOOTING		
FURN	FURNITURE		
FV	FIELD VERIFY		
GA	GAUGE		
GALV	GALVANIZED		
GC	GENERAL CONTRACTOR		

1 ABBREVIATIONS
 NTS



16 LEGEND
 NTS

10 GENERAL NOTES
 NTS

- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, SUPERVISION, PERMITS, EQUIPMENT, TOOLS, TRANSPORTATION, WAREHOUSING, AND ANY OTHER SERVICES REQUIRED TO COMPLETE THE SCOPE OF WORK IN A TIMELY AND EFFICIENT MANNER.
- INDIVIDUAL ITEMS OF WORK ARE DETAILED IN THE SCOPE OF WORK SECTION, APPLICABLE TECHNICAL SPECIFICATIONS, THE ATTACHED DRAWINGS, AND THE NOTES AND LEGENDS ON THE DRAWINGS. THE CONTRACTOR IS RESPONSIBLE TO COMPLETE THE REQUIREMENTS FOUND IN ANY OF THE ABOVE. CONTRACTOR SHALL VERIFY DIMENSIONS AND JOB CONDITIONS AT THE JOB SITE PRIOR TO START OF CONSTRUCTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL ALL TEMPORARY BRACING AND SHORING TO INSURE THE SAFETY OF THE WORK UNTIL IT IS IN ITS COMPLETED FORM.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT ALL APPLICABLE SAFETY LAWS ARE STRICTLY ENFORCED AND TO MAINTAIN A SAFE CONSTRUCTION PROJECT. CONTRACTOR TO PROVIDE A JOB SPECIFIC SAFETY PLAN FOR CLIENT REVIEW PRIOR TO START OF WORK.
- DAILY, AND UPON COMPLETION OF THE WORK, CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS, RUBBISH, WASTE, AND SURPLUS MATERIAL FROM THE PREMISES. CONTRACTOR WILL INCUR ALL COSTS FOR DISPOSAL.
- SUBCONTRACTORS SHALL COOPERATE AND COORDINATE BETWEEN VARIOUS TRADES, AND WITH OTHERS WHOSE WORK IS DEPENDENT ON EACH OTHER. SUBCONTRACTOR SHALL INFORM HIMSELF AS TO THE RELATIONSHIP BETWEEN HIS WORK AND OTHER TRADES.
- EACH SUBCONTRACTOR WHOSE WORK IS EXECUTED IN RELATION TO PRIOR WORK SHALL CAREFULLY INSPECT HIS PRIOR WORK AND SUBMIT WRITTEN NOTICE OF ANY DEFECTS, IMPROPER WORKMANSHIP OR MATERIALS, OR OTHER CONDITIONS THAT WOULD AFFECT THE SATISFACTORY EXECUTION AND PERMANENCY OF HIS WORK. NO FURTHER WORK SHALL BE EXECUTED UNTIL SUCH DEFECTS OR CONDITIONS HAVE BEEN CORRECTED OR AN AGREEMENT REACHED WITH OWNER REGARDING DEFECTS WHICH MAY DEVELOP DUE TO CONDITIONS SO NOTED.
- BEFORE ORDERING ANY MATERIAL, OR DOING ANY WORK, THE CONTRACTOR SHALL VERIFY MEASUREMENTS OF THE WORK AND BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. GIVE NOTIFICATION OF ANY DIFFERENCE WHICH MAY BE FOUND BEFORE PROCEEDING WITH THE WORK.
- COOPERATE WITH LOCAL AND OTHER GOVERNMENTAL OFFICIALS AND INSPECTIONS NECESSARY, PROVIDING ASSISTANCE TO EXPEDITE THE INSPECTION.
- ALL WORKMANSHIP MATERIALS, AND CONSTRUCTION RELATING TO THE PROJECT SHALL BE IN COMPLIANCE WITH AND CONFORM TO THE GOVERNING BUILDING CODES AND OTHER APPLICABLE CODES. ALL WORK SHALL BE IN COMPLIANCE WITH THE LATEST EDITION OF THE UNIFORM BUILDING CODE, INTERNATIONAL BUILDING CODE OR NFPA BUILDING CODE CURRENTLY IN FORCE BY THE LOCAL JURISDICTION, AND THE CLIENT PROVIDED ON SITE ACTIVITY SUPPLEMENT AND ALL OTHER LOCAL ORDINANCES AND REQUIREMENTS.
- ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE CODES, AND/OR REGULATIONS HAVING JURISDICTION OVER THE WORK AND SHALL BE PERFORMED IN A GOOD WORKMANSHIP LIKE MANNER IN ACCORDANCE WITH ACCEPTED TRADE STANDARDS BY EXPERIENCED CRAFTSMEN SKILLED IN THEIR RESPECTIVE TRADES.
- PRIOR TO THE COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL CAREFULLY STUDY THE CONTRACT DOCUMENTS AND SHALL IMMEDIATELY REPORT TO THE ARCHITECT ANY ERROR, INCONSISTENCY, OR OMISSION.
- WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND ARCHITECT MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS.
- SUBCONTRACTORS ARE RESPONSIBLE FOR CONFIRMING DIMENSIONS AND FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, AND CORRELATING DIMENSIONS AT THE JOB SITE.
- G.C. SHALL PERFORM CONSTRUCTION ACTIVITIES AND FURNISH AND INSTALL MATERIALS IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL CODES INCLUDING A.D.A.
- ALL DIMENSIONS CONTAINED IN THE SCOPE OF WORK SHALL BE VERIFIED BY CONTRACTOR AND WITH DRAWINGS. DIMENSIONS PROVIDED IN THE SCOPE OF WORK ARE APPROXIMATE VALUES PROVIDED FOR CONVENIENCE AND REFERENCE ONLY.
- DRAWINGS SHOW INTENT OF WORK TO BE PERFORMED. CONTRACTOR SHALL PROVIDE MATERIALS, LABOR, CONNECTIONS, FABRICATIONS, AND ACCESSORIES FOR A COMPLETED PROJECT.
- PROJECT REQUIRES SURETY BOND.
- OBTAIN PERMITS, APPROVALS, INSPECTIONS, CERTIFICATE OF COMPLIANCE, CERTIFICATE OF OCCUPANCY, AND OTHER DOCUMENTS NECESSARY TO COMPLETE THE PROJECT.
- REVIEW THE CONTRACT DOCUMENTS AND PERFORM WORK IN COMPLIANCE WITH THOSE DOCUMENTS.
- COORDINATE WORK WITH THE OWNER'S CONSTRUCTION COORDINATOR, INCLUDING WORK SCHEDULE, AND PERFORM WORK ONLY WITH OWNER'S PRIOR APPROVAL.
- MAINTAIN REQUIRED DOCUMENTS AND UP-TO-DATE CONSTRUCTION PLANS AT JOB SITE. THE CONTRACTOR SHALL SUBMIT AS-BUILT DRAWINGS TO THE CLIENT PROJECT MANAGER UPON COMPLETION OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY PRECAUTIONS DURING CONSTRUCTION AND TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THAT THERE WILL BE NO CONSTRUCTION RELATED DAMAGE TO THE EXISTING BUILDING CONSTRUCTIONS. IF SUCH DAMAGE OCCURS, THEN THE G.C. SHALL PROMPTLY MAKE ALL NECESSARY REPAIRS TO RETURN THE DAMAGED CONSTRUCTION TO A LIKE-NEW CONDITION AND THE EXPENSE OF SAID REPAIRS SHALL BE BORNE SOLELY BY THE G.C.
- CONTRACTOR SHALL PROVIDE A ONE (1) YEAR WARRANTY ON LABOR AND MATERIALS FROM THE DATE OF ACCEPTANCE BY OWNER'S CONSTRUCTION COORDINATOR.
- MATERIAL SUBSTITUTIONS WILL NOT BE ALLOWED UNLESS SUBMITTED IN WRITING.
- SCHEDULE SHOULD BE OPTIMIZED FOR SHORTEST ECONOMICAL COMPLETION.
- BE RESPONSIBLE FOR FINAL CLEANING PRIOR TO TURNING SPACE OVER TO OWNER.
- PROVIDE A LIST OF ALL SUBCONTRACTORS TO BE USED AND SUBMIT LIST TO CLIENT WITHIN 10 WORKING DAYS OF THE CONTRACT.
- MAINTAIN HANDBOOKS, OPERATING MANUALS, PAPERWORK AND KEYS IN A SAFE AND ORGANIZED MANNER. KEYS SHALL BE TAGGED FOR PROPER LOCATIONS. THESE SHALL BE TURNED OVER TO THE TENANT CONSTRUCTION COORDINATOR ALONG WITH CERTIFICATES OF OCCUPANCY, LIEN WAIVERS, WARRANTIES, AND GUARANTEES.
- DO NOT SCALE THESE DRAWINGS FOR DIMENSIONAL INFORMATION. REFER TO DIMENSIONS ON THE SITE PLAN AND THE ENLARGED PLANS. IF THERE IS A CONFLICT WITH THE PLAN DIMENSIONS OR AN EXISTING FIELD CONDITION CONTACT THE ARCHITECT.
- CONTRACTOR TO PROVIDE LETTER AT END OF PROJECT CERTIFYING THAT MATERIALS USED ON PROJECT ARE ASBESTOS FREE.
- BUILDERS QUOTE SHOULD BE IN COMPLIANCE WITH ALL CLIENT TERMS, CONDITIONS, AND SECURITY REQUIREMENTS. SAME IS TRUE FOR CURRENT CONTRACT SERVICE PROVIDERS SHOULD THEY DO THE WORK.
- DEMOLITION PLANS INDICATE SOME OF THE SCOPE-OF-WORK INVOLVED FOR THE DEMOLITION PHASE OF THIS PROJECT. CONTRACTOR SHALL REVIEW ALL SHEETS FOR ADDITIONAL DEMOLITION SCOPE.
- CONTRACTOR SHALL VERIFY EXISTING SITE AND BUILDING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO DEMOLITION ACTIVITIES AND WORK.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS BEFORE COMMENCING WORK.
- AFTER AWARD OF THE CONTRACT, CHANGE ORDER REQUESTS FOR ADDITIONAL MONEY WILL NOT BE APPROVED IF THE WORK COULD HAVE BEEN ANTICIPATED DURING A SITE VISIT BY THE CONTRACTOR.
- CONTRACTOR SHALL NOT SCALE DRAWINGS.
- CONTRACTOR SHALL REMOVE TRASH AND DEBRIS REGULARLY AS NECESSARY TO ELIMINATE INTERFERENCE WITH ROADS, STREET, WALKS, AND ALL OTHER ADJACENT FACILITIES.
- CONTRACTOR SHALL REMOVE TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.
- CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF TEMPORARY DUST AND OR SOUND PARTITION BETWEEN CONSTRUCTION AREA AND AREAS NOT IN SCOPE AS NECESSARY. DEMOLITION ACTIVITIES SHALL BE PERFORMED SO AS TO PRODUCE MINIMAL DISTURBANCE TO EXISTING FACILITY AND OCCUPANTS (I.E. MINIMIZE EXCESSIVE AND PROLONGED NOISE LEVELS AND DUST).
- CONTRACTOR SHALL REPAIR, REPLACE, OR PATCH EXISTING BUILDINGS, DRIVEWAYS, SIDEWALKS, CANOPES, AND OR PARKING AREAS DAMAGED, MODIFIED, AND OR DISTURBED BY DEMOLITION WORK AT NO COST TO THE OWNER.
- ALL EXISTING EQUIPMENT THAT REMAINS SHALL BE PROTECTED DURING DEMOLITION AND OR CONSTRUCTION TO PREVENT DAMAGE. ANY DAMAGE TO REMAINING EXISTING EQUIPMENT SUSTAINED DURING DEMOLITION AND OR CONSTRUCTION SHALL BE EQUIVALENTLY REPLACED OR EQUIVALENTLY REPAIRED AT NO COST TO THE OWNER.
- CONTRACTOR SHALL PROVIDE TRAFFIC HANDLING MEASURES TO PROTECT THE GENERAL PUBLIC AT ALL TIMES, AS NECESSARY AND AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- DO NOT INTERRUPT EXISTING UTILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES INCLUDING BUT NOT LIMITED TO THE FOLLOWING: ELECTRIC, GAS, WATER, TELEPHONE, STORM SEWER, AND SANITARY SEWER FOR FIELD LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITY LINES. PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORK, CONTRACTOR SHALL IDENTIFY ALL ELECTRICAL CIRCUITS SERVICING THE AREA INVOLVED WITH THIS DEMOLITION. THESE CIRCUITS SHALL THEN BE LOCKED OUT AND TAGGED OUT IF THEY DO NOT SERVICE ANY OF THE REMAINING BUILDING. THOSE CIRCUITS WHICH ARE IDENTIFIED TO SERVICE BOTH THE AREA TO BE DEMOLISHED AND THE REMAINING BUILDING SHALL BE SPLIT SO AS TO KILL ALL ELECTRICAL POWER TO THE AREA TO BE DEMOLISHED WHILE MAINTAINING POWER TO THE REMAINDER OF THE BUILDING.
- PROTECT EXISTING SITE ELEMENTS AND EXISTING LANDSCAPING TO REMAIN. PROTECTION SHALL INCLUDE BUT NOT BE LIMITED TO EXISTING TREES AND OTHER EXISTING VEGETATION INDICATED TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING, OR SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SNOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIAL OR EXCAVATED MATERIAL WITHIN DRIP LINES.
- CONTRACTOR SHALL RE-GRADE AND HYDRO-MULCH AREAS AFFECTED BY DEMOLITION AND/OR NEW WORK. OWNER HAS RIGHT OF FIRST REFUSAL OF ALL ITEMS REMOVED AS PART OF THE SCOPE OF WORK, WHETHER IDENTIFIED AS SALVAGE OR NOT.
- NOTIFY THE BUILDING OWNER OF ANY MATERIALS, FIXTURES, ETC. TO BE REMOVED THAT ARE DEEMED SALVAGEABLE. TURN OVER ANY REQUESTED ITEMS TO THE BUILDING OWNER IN GOOD AND CLEAN CONDITION.
- ALL FURNITURE WILL BE REMOVED OR RELOCATED BY THE OWNER AS NECESSARY PRIOR TO THE DEMOLITION WORK OF THIS PROJECT. CONTRACTOR SHALL COORDINATE WITH OWNER AS REQUIRED.
- REMOVE EXISTING CONSTRUCTION TO THE EXTENT INDICATED ON THE DRAWINGS. SHOULD ANY DAMAGE OCCUR TO ANY EXISTING CONSTRUCTION TO REMAIN, THE CONTRACTOR SHALL REPAIR THE DAMAGE TO MATCH EXISTING AND OR ADJACENT CONSTRUCTION AT NO COST TO THE OWNER.
- ALL DASHED LINES ARE DEMOLITION LINES UNLESS OTHERWISE NOTED.

REVISIONS

TOMBALL HIGH SCHOOL
 TOMBALL INDEPENDENT SCHOOL DISTRICT
 30330 QUINN RD
 TOMBALL, TX 77575



ARCHITECTS
 AND PLANNING
 CONSULTANTS

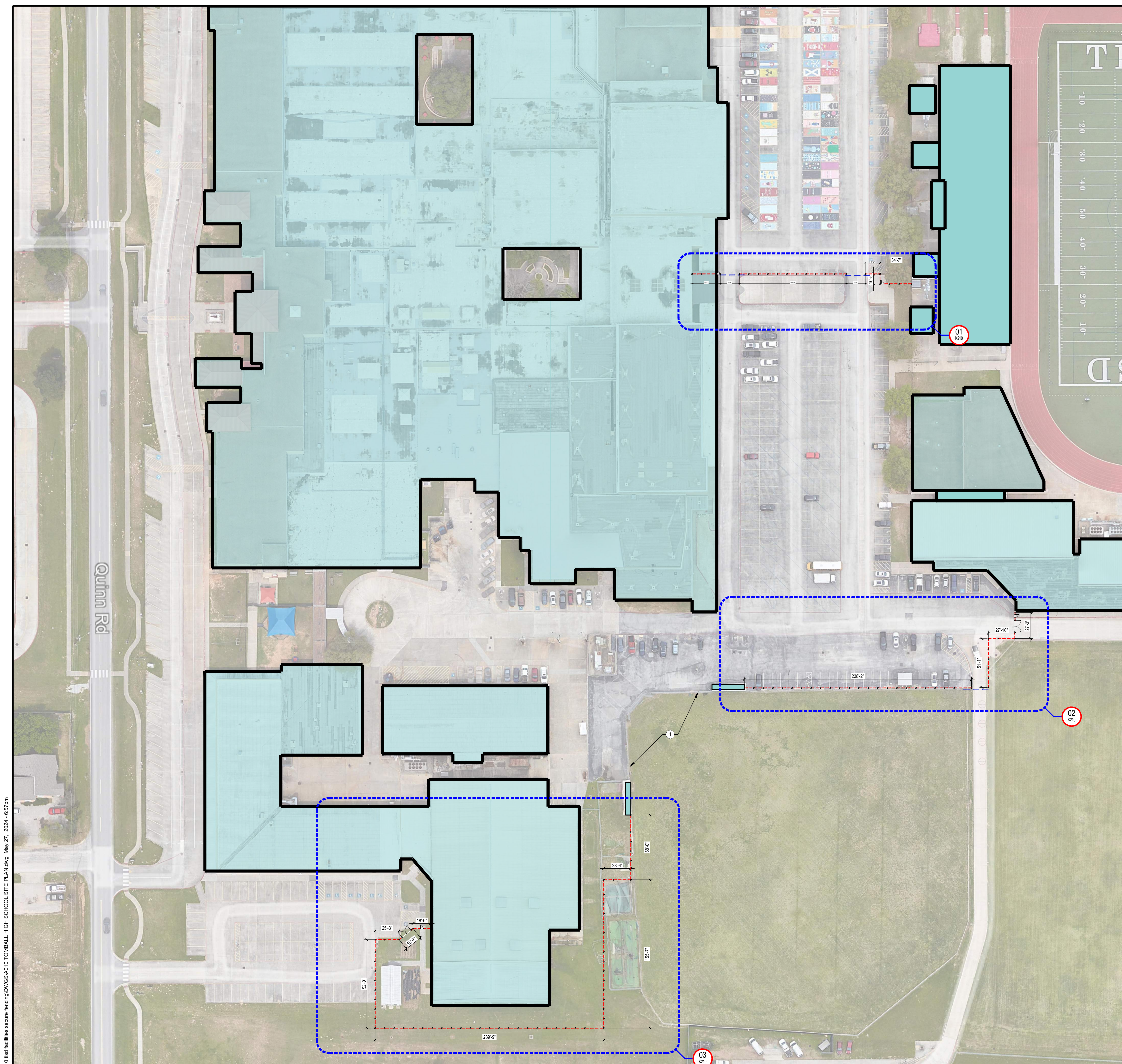
11767 KATY FREEWAY, STE 430
 HOUSTON, TEXAS 77079

PROJ. NO.: 24-10
 DATE:
 ISSUED FOR:

GENERAL INFORMATION
 AND DRAWING INDEX

K100

03 DRAWING INDEX
 NTS



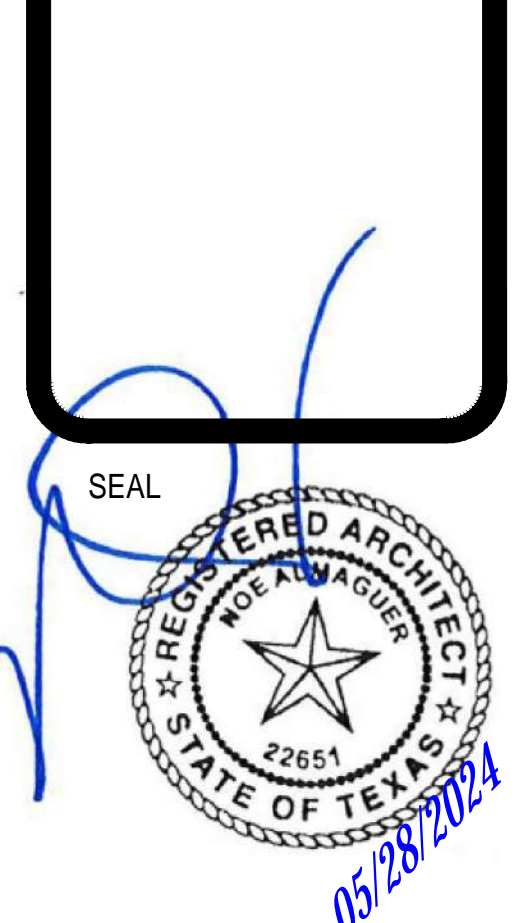
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 01 TOMBALL HIGH SCHOOL SITE PLAN
 1" = 40'-0" XREF

NUM	DESCRIPTION
1	EXISTING FENCE AND OR GATE TO REMAIN
2	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE
3	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE GATE 42" WIDE WITH PANIC HARDWARE
4	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL FENCE
5	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL FENCE GATE 42" WIDE WITH PANIC HARDWARE
6	REMOVE EXISTING FENCE
7	REMOVE EXISTING GATE
8	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL SLIDING FENCE GATE TWENTY FOOT WIDE
9	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL DOUBLE SWING FENCE GATE TWELVE FOOT WIDE
10	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE GATE 36" WIDE
11	CUT OPENING IN EXISTING FENCE TO INSTALL GATE
12	INSTALL SLATS IN EXISTING SEVEN FOOT HIGH CHAINLINK FENCE
13	INSTALL SIX FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE WITH SLAT INSERTS
14	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK DOUBLE FENCE GATE 36 FEET WIDE
15	INSTALL PANIC HARDWARE ON EXISTING DOOR. INCLUDE PROTECTION OF DOOR PANIC DEVICE FROM OUTSIDE ACTIVATION
16	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE SLIDING FENCE GATE TWENTY FOOT WIDE
17	PROVIDE KNOXBOX FOR FIRE DEPARTMENT ACCESS
18	REVERSE SWING OF GATE, REMOVE EXISTING MAGLOCK DEVICE AND PROVIDE PANICE DEVIDE PER KEYNOTE 15
19	PAINT FENCE BLACK.
20	REPAIR EXISTING GATE OPERATOR TO WORKING CONDITION.

02 KEYNOTES
1:1

REVISIONS

TOMBALL HIGH SCHOOL
 TOMBALL INDEPENDENT SCHOOL DISTRICT
 30330 QUINN RD
 TOMBALL, TX 77375



PROJ. NO.: 24-10
 DATE:
 ISSUED FOR:
 TOMBALL HIGH SCHOOL
 SITE PLAN
 K200



TOMBALL INDEPENDENT SCHOOL DISTRICT

310 S. Cherry Street
TOMBALL, TEXAS 77375

DISTRICT-WIDE SECURITY FENCING IMPROVEMENTS

ADMINISTRATION

DR. MARTHA SALAZAR-ZAMORA	SUPERINTENDENT OF SCHOOLS
DR. AMY SCHINDEWOLF	CHIEF OF STAFF
DR. STEVEN GUTIERREZ	CHIEF OPERATING OFFICER
DR. MICHAEL WEBB	CHIEF ACADEMIC OFFICER
ZACHERY BOLES	CHIEF FINANCIAL OFFICER
DR. MINDY MUNOZ	ASST. SUPERINTENDENT OF SECONDARY SCHOOLS
DR. GEORGE FLORES	ASST. SUPERINTENDENT OF ELEMENTARY SCHOOLS
DR. LEE WRIGHT	ASST. SUPERINTENDENT OF STRATEGIC INNOVATION
MARK WHITE	ASST. SUPERINTENDENT OF ACCOUNTABILITY
DR. ALICIA REEVES	ASST. SUPERINTENDENT OF HUMAN TALENT

BOARD OF TRUSTEES

MR. JOHN E. McSTRAVICK	PRESIDENT
MR. JUSTIN UNSER	VICE PRESIDENT
MR. MARK LEWANDOWSKI	SECRETARY
DR. MICHAEL J. PRATT	ASSISTANT SECRETARY
MR. LEE McLEOD	BOARD TRUSTEE
MRS. TINA SALEM	BOARD TRUSTEE
MR. MATT SCHIEL	BOARD TRUSTEE

PROJECT TEAM



OWNER
Tomball Independent School District
310 S. Cherry Street
Tomball, TX 77375
Phone Number: 281-357-3100



PROGRAM MANAGER
2925 Briarpark Dr. #400
Houston, Texas 77042
Phone Number: 713-266-6900



ARCHITECT
11767 Katy Freeway, Suite 430
Houston, Texas 77079
Phone Number: 713-782-8188

ISSUED FOR BIDDING - 5/28/24

REVISIONS

TOMBALL STAR ACADEMY
TOMBALL INDEPENDENT SCHOOL DISTRICT
11211 FARM TO MARKET 2920 BUILDING 3
TOMBALL, TX 77375



ARCHITECTS
AND PLANNING
CONSULTANTS
11767 KATY FREEWAY, STE 430
HOUSTON, TEXAS 77079

PROJ. NO.: 24-10
DATE:
ISSUED FOR:

COVER SHEET

M000

GROUP OR DIVISION NUMBER
 A000—SEQUENTIAL SHEET NUMBER WITHIN GROUP
 DENOTES SCHOOL DESIGNATION

20 SHEET GROUPING
 NTS

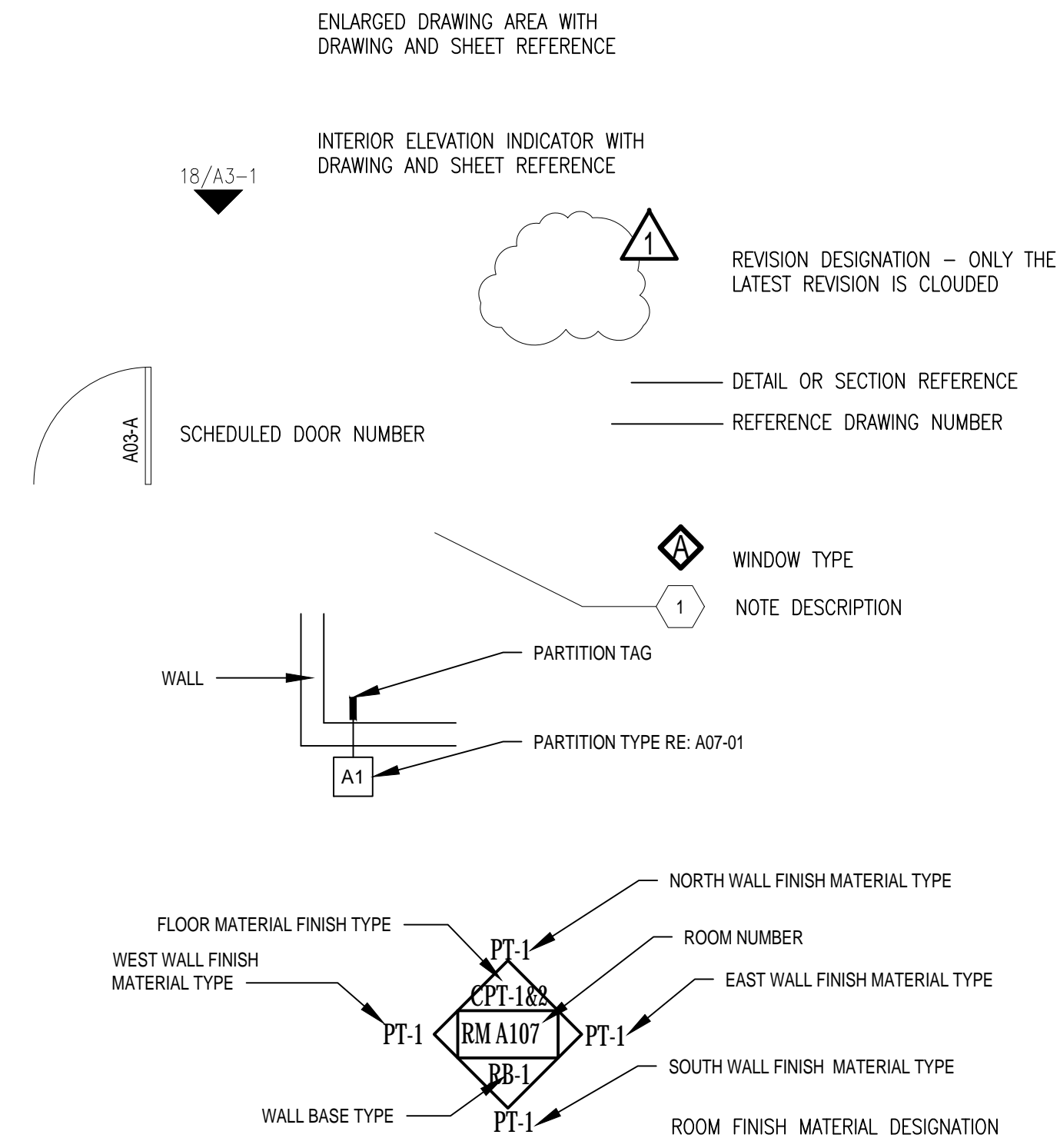
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1	2	3	4	5

15 GRID
 NTS

A/C	AIR CONDITIONING	GEN	GENERAL
AB	ANCHOR BOLT	GL	GLASS
AC	ACOUSTIC, ACOUSTICAL	GP	GYPSSUM PLASTER
ACC DR	ACCESS DOOR	GRD	GRADE
ACT	ACOUSTIC DOOR	GRT	GROUT
AD	AREA DRAIN	GYP	GYPSSUM
AFF	ABOVE FINISH FLOOR	GYP BD	GYPSSUM BOARD
ALUM	ALUMINUM	HC	HANDICAP
ANOD	ANODIZED	HD W	HARDWARE
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BOT	BOTTOM	JAN	JANITOR
BR	BRICK	JT	JOINT
BR	BUILT UP ROOF	LAM(D)	LAMINATE(D)
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		MFR	MANUFACTURER
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CP	CAST IN PLACE	NTS	NOT TO SCALE
CJ	CONSTRUCTION JOINT	OFF	OFFICE
CJT	CONTROL JOINT	OH	OVERHEAD
CLG	CEILING	OPNG	OPENING
CLO	CLOSET	PL	PLATE
CLRM	CLASSROOM	P LAM	PLASTIC LAMINATE
CD	CLEAN OUT	PLBG	PLUMBING
COL	COLUMN	PLYWD	PLYWOOD
CONC	CONCRETE	PNL	PANEL
CONN	CONNECTION	PRESS	PRESSURE
CONST	CONSTRUCTION	PVMT	PAVEMENT
CONT	CONTINUOUS	PWR	POWER
CORR	CORRIDOR	R	RADIUS, RISER
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DS	DOWNSPOUT	SPEC(S)	SPECIFICATION(S)
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ELEV	ELEVATOR/ELEVATION	THK	THICK
EMER	EMERGENCY	THR	THRESHOLD
ENCL	ENCLOSURE	TOC	TOP OF CONCRETE
ENT	ENTRANCE	TV	TELEVISION
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EQUIP	EQUIPMENT	UL	UNDERWRITERS LABORATORY
EXIST	EXISTING	VAC	VACUUM
EXP	EXPANSION	VAV	VARIABLE AIR VOLUME
EXT	EXTERIOR	VCT	VINYL COMPOSITION TILE
FACP	FIRE ALARM CONTROL PANEL	VOL	VOLUME
FD	FLOOR DRAIN	W	WITH
FDN	FOUNDATION	WO	WITHOUT
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FIN	FINISH	WD	WOOD
FIXT	FIXTURE	WH	WATER HEATER, WALL HUNG
FJT	FLUSH JOINT	WHP	WEEP HOLE
FL(G)	FLOORING	WP	WATERPROOFING, WATERPROOF
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FV	FIELD VERIFY		
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 NTS

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 NTS



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- CONTRACTOR SHALL PROVIDE A ONE (1) YEAR WARRANTY ON LABOR AND MATERIALS FROM THE DATE OF ACCEPTANCE BY OWNER'S CONSTRUCTION COORDINATOR.
- MATERIAL SUBSTITUTIONS WILL NOT BE ALLOWED UNLESS SUBMITTED IN WRITING. SCHEDULE SHOULD BE OPTIMIZED FOR SHORTEST ECONOMIC COMPLETION.
- BE RESPONSIBLE FOR FINAL CLEANING PRIOR TO TURNING SPACE OVER TO OWNER.
- PROVIDE A LIST OF ALL SUBCONTRACTORS TO BE USED AND SUBMIT LIST TO CLIENT WITHIN 10 WORKING DAYS OF THE CONTRACT.
- MAINTAIN HANDBOOKS, OPERATING MANUALS, PAPERWORK AND KEYS IN A SAFE AND ORGANIZED MANNER. KEYS SHALL BE TAGGED FOR PROPER LOCATIONS. THESE SHALL BE TURNED OVER TO THE TENANT CONSTRUCTION COORDINATOR ALONG WITH CERTIFICATES OF OCCUPANCY, LIEN WAIVERS, WARRANTIES, AND GUARANTEES.
- DO NOT SCALE THESE DRAWINGS FOR DIMENSIONAL INFORMATION. REFER TO DIMENSIONS ON THE SITE PLAN AND THE ENLARGED PLANS. IF THERE IS A CONFLICT WITH THE PLAN DIMENSIONS OR AN EXISTING FIELD CONDITION CONTACT THE ARCHITECT.
- CONTRACTOR TO PROVIDE LETTER AT END OF PROJECT CERTIFYING THAT MATERIALS USED ON PROJECT ARE ASBESTOS FREE.
- BUILDERS QUOTE SHOULD BE IN COMPLIANCE WITH ALL CLIENT TERMS, CONDITIONS, AND SECURITY REQUIREMENTS. SAME IS TRUE FOR CURRENT CONTRACT SERVICE PROVIDERS SHOULD THEY DO THE WORK.
- DEMOLITION PLANS INDICATE SOME OF THE SCOPE-OF-WORK INVOLVED FOR THE DEMOLITION PHASE OF THIS PROJECT. CONTRACTOR SHALL REVIEW ALL SHEETS FOR ADDITIONAL DEMOLITION SCOPE.
- CONTRACTOR SHALL VERIFY EXISTING SITE AND BUILDING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO DEMOLITION ACTIVITIES AND WORK.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS BEFORE COMMENCING WORK.
- AFTER AWARD OF THE CONTRACT, CHANGE ORDER REQUESTS FOR ADDITIONAL MONEY WILL NOT BE APPROVED IF THE WORK COULD HAVE BEEN ANTICIPATED DURING A SITE VISIT BY THE CONTRACTOR.
- CONTRACTOR SHALL NOT SCALE DRAWINGS.
- CONTRACTOR SHALL REMOVE TRASH AND DEBRIS REGULARLY AS NECESSARY TO ELIMINATE INTERFERENCE WITH ROADS, STREET, WALKS, AND ALL OTHER ADJACENT FACILITIES.
- CONTRACTOR SHALL REMOVE TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.
- CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF TEMPORARY DUST AND OR SOUND PARTITION BETWEEN CONSTRUCTION AREA AND AREAS NOT IN SCOPE AS NECESSARY. DEMOLITION ACTIVITIES SHALL BE PERFORMED SO AS TO PRODUCE MINIMAL DISTURBANCE TO EXISTING FACILITY AND OCCUPANTS (I.E. MINIMIZE EXCESSIVE AND PROLONGED NOISE LEVELS AND DUST).
- CONTRACTOR SHALL REPAIR, REPLACE, OR PATCH EXISTING BUILDINGS, DRIVEWAYS, SIDEWALKS, CANOPES, AND OR PARKING AREAS DAMAGED, MODIFIED, AND OR DISTURBED BY DEMOLITION WORK AT NO COST TO THE OWNER.
- ALL EXISTING EQUIPMENT THAT REMAINS SHALL BE PROTECTED DURING DEMOLITION AND OR CONSTRUCTION TO PREVENT DAMAGE. ANY DAMAGE TO REMAINING EXISTING EQUIPMENT SUSTAINED DURING DEMOLITION AND OR CONSTRUCTION SHALL BE EQUIVALENTLY REPLACED OR EQUIVALENTLY REPAIRED AT NO COST TO THE OWNER.
- CONTRACTOR SHALL PROVIDE TRAFFIC HANDLING MEASURES TO PROTECT THE GENERAL PUBLIC AT ALL TIMES, AS NECESSARY AND AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- DO NOT INTERRUPT EXISTING UTILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES INCLUDING BUT NOT LIMITED TO THE FOLLOWING: ELECTRIC, GAS, WATER, TELEPHONE, STORM SEWER, AND SANITARY SEWER FOR FIELD LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITY LINES. PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORK, CONTRACTOR SHALL IDENTIFY ALL ELECTRICAL CIRCUITS SERVICING THE AREA INVOLVED WITH THIS DEMOLITION. THESE CIRCUITS SHALL THEN BE LOCKED OUT AND TAGGED OUT IF THEY DO NOT SERVICE ANY OF THE REMAINING BUILDING. THOSE CIRCUITS WHICH ARE IDENTIFIED TO SERVICE BOTH THE AREA TO BE DEMOLISHED AND THE REMAINING BUILDING SHALL BE SPLIT SO AS TO KILL ALL ELECTRICAL POWER TO THE AREA TO BE DEMOLISHED WHILE MAINTAINING POWER TO THE REMAINDER OF THE BUILDING.
- PROTECT EXISTING SITE ELEMENTS AND EXISTING LANDSCAPING TO REMAIN. PROTECTION SHALL INCLUDE BUT NOT BE LIMITED TO EXISTING TREES AND OTHER EXISTING VEGETATION INDICATED TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING, OR SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SNOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIAL OR EXCAVATED MATERIAL WITHIN DRIP LINES.
- CONTRACTOR SHALL RE-GRADE AND HYDRO-MULCH AREAS AFFECTED BY DEMOLITION AND/OR NEW WORK. OWNER HAS RIGHT OF FIRST REFUSAL OF ALL ITEMS REMOVED AS PART OF THE SCOPE OF WORK, WHETHER IDENTIFIED AS SALVAGE OR NOT.
- NOTIFY THE BUILDING OWNER OF ANY MATERIALS, FIXTURES, ETC. TO BE REMOVED THAT ARE DEEMED SALVAGEABLE. TURN OVER ANY REQUESTED ITEMS TO THE BUILDING OWNER IN GOOD AND CLEAN CONDITION.
- ALL FURNITURE WILL BE REMOVED OR RELOCATED BY THE OWNER AS NECESSARY PRIOR TO THE DEMOLITION WORK OF THIS PROJECT. CONTRACTOR SHALL COORDINATE WITH OWNER AS REQUIRED.
- REMOVE EXISTING CONSTRUCTION TO THE EXTENT INDICATED ON THE DRAWINGS. SHOULD ANY DAMAGE OCCUR TO ANY EXISTING CONSTRUCTION TO REMAIN, THE CONTRACTOR SHALL REPAIR THE DAMAGE TO MATCH EXISTING AND OR ADJACENT CONSTRUCTION AT NO COST TO THE OWNER.
- ALL DASHED LINES ARE DEMOLITION LINES UNLESS OTHERWISE NOTED.

REVISIONS

TOMBALL STAR ACADEMY
 TOMBALL INDEPENDENT SCHOOL DISTRICT
 11211 FARM TO MARKET 2920 BUILDING 3
 TOMBALL, TX 77375



ARCHITECTS
 AND PLANNING
 CONSULTANTS

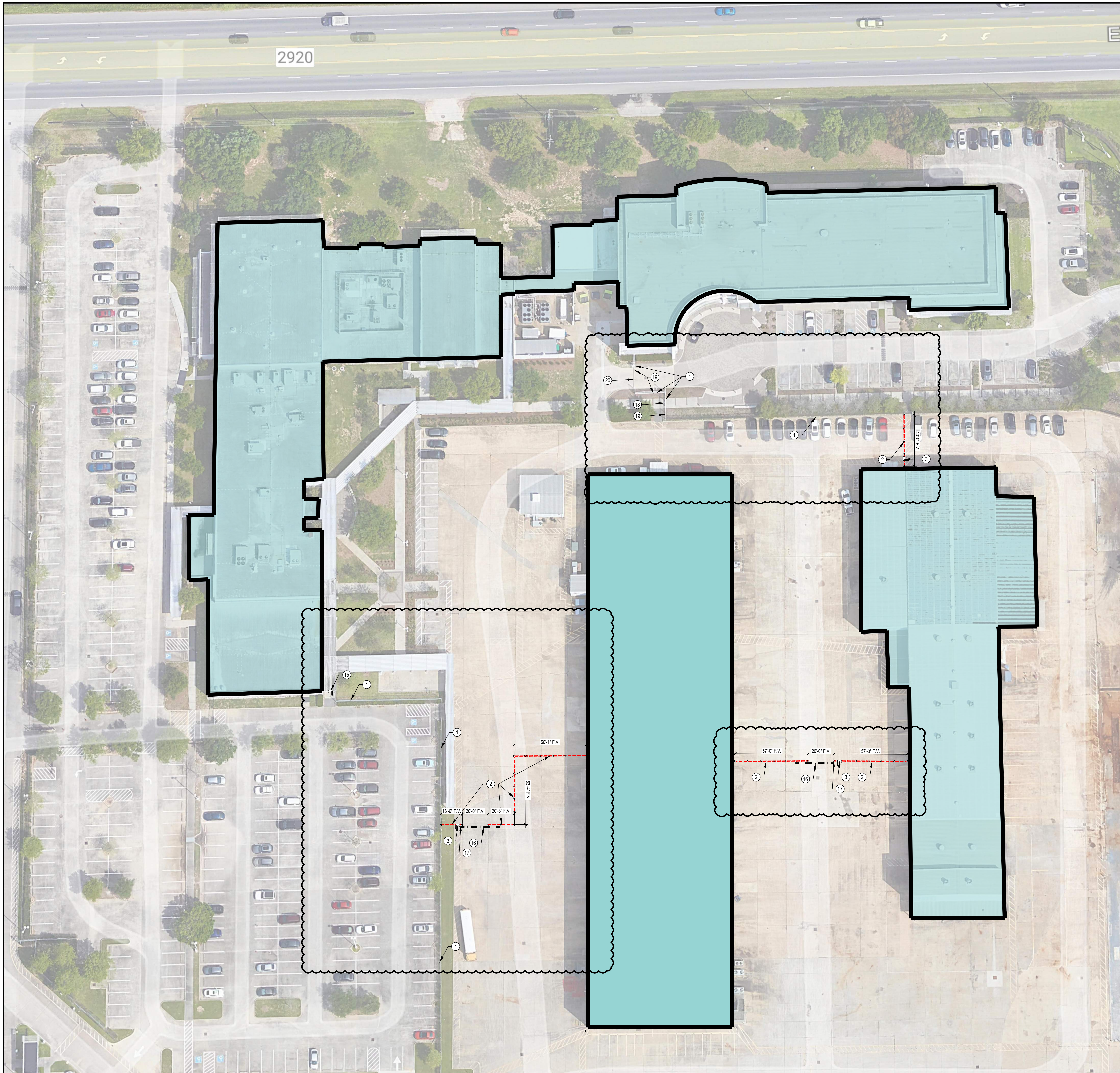
11767 KATY FREEWAY, STE 430
 HOUSTON, TEXAS 77079

PROJ. NO.: 24-10
 DATE:
 ISSUED FOR:

GENERAL INFORMATION
 AND DRAWING INDEX

M100

03 DRAWING INDEX
 NTS



F:\2024\24-10\bid facilities secure fencing\DWG\TOMBALL STAR ACADEMY SITE PLAN.dwg May 27, 2024 - 6:56pm

NUM	DESCRIPTION
1	EXISTING FENCE AND OR GATE TO REMAIN
2	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE
3	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE GATE 42" WIDE WITH PANIC HARDWARE
4	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL FENCE
5	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL FENCE GATE 42" WIDE WITH PANIC HARDWARE
6	REMOVE EXISTING FENCE
7	REMOVE EXISTING GATE
8	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL SLIDING FENCE GATE TWENTY FOOT WIDE
9	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL DOUBLE SWING FENCE GATE TWELVE FOOT WIDE
10	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE GATE 36" WIDE
11	CUT OPENING IN EXISTING FENCE TO INSTALL GATE
12	INSTALL SLATS IN EXISTING SEVEN FOOT HIGH CHAINLINK FENCE
13	INSTALL SIX FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE WITH SLAT INSERTS
14	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK DOUBLE FENCE GATE 36 FEET WIDE
15	INSTALL PANIC HARDWARE ON EXISTING DOOR. INCLUDE PROTECTION OF DOOR PANIC DEVICE FROM OUTSIDE ACTIVATION
16	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE SLIDING FENCE GATE TWENTY FOOT WIDE
17	PROVIDE KNOXBOX FOR FIRE DEPARTMENT ACCESS
18	REVERSE SWING OF GATE, REMOVE EXISTING MAGLOCK DEVICE AND PROVIDE PANICE DEVIDE PER KEYNOTE 15
19	PAINT FENCE BLACK.
20	REPAIR EXISTING GATE OPERATOR TO WORKING CONDITION.

REVISIONS

TOMBALL STAR ACADEMY
 TOMBALL INDEPENDENT SCHOOL DISTRICT
 11211 FARM TO MARKET 2920 BUILDING 3
 TOMBALL, TX 77375



ARCHITECTS
 AND PLANNING
 CONSULTANTS
 11767 KATY FREEWAY, STE 430
 HOUSTON, TEXAS 77079

PROJ. NO.: 24-10
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 ISSUED FOR:

TOMBALL STAR
 ACADEMY SITE PLAN

M200



TOMBALL INDEPENDENT SCHOOL DISTRICT

310 S. Cherry Street
TOMBALL, TEXAS 77375

DISTRICT-WIDE SECURITY FENCING IMPROVEMENTS

ADMINISTRATION

DR. MARTHA SALAZAR-ZAMORA	SUPERINTENDENT OF SCHOOLS
DR. AMY SCHINDEWOLF	CHIEF OF STAFF
DR. STEVEN GUTIERREZ	CHIEF OPERATING OFFICER
DR. MICHAEL WEBB	CHIEF ACADEMIC OFFICER
ZACHERY BOLES	CHIEF FINANCIAL OFFICER
DR. MINDY MUNOZ	ASST. SUPERINTENDENT OF SECONDARY SCHOOLS
DR. GEORGE FLORES	ASST. SUPERINTENDENT OF ELEMENTARY SCHOOLS
DR. LEE WRIGHT	ASST. SUPERINTENDENT OF STRATEGIC INNOVATION
MARK WHITE	ASST. SUPERINTENDENT OF ACCOUNTABILITY
DR. ALICIA REEVES	ASST. SUPERINTENDENT OF HUMAN TALENT

BOARD OF TRUSTEES

MR. JOHN E. McSTRAVICK	PRESIDENT
MR. JUSTIN UNSER	VICE PRESIDENT
MR. MARK LEWANDOWSKI	SECRETARY
DR. MICHAEL J. PRATT	ASSISTANT SECRETARY
MR. LEE McLEOD	BOARD TRUSTEE
MRS. TINA SALEM	BOARD TRUSTEE
MR. MATT SCHIEL	BOARD TRUSTEE

PROJECT TEAM



OWNER
Tomball Independent School District
310 S. Cherry Street
Tomball, TX 77375
Phone Number: 281-357-3100



PROGRAM MANAGER
2925 Briarpark Dr. #400
Houston, Texas 77042
Phone Number: 713-266-6900



ARCHITECT
11767 Katy Freeway, Suite 430
Houston, Texas 77079
Phone Number: 713-782-8188

ISSUED FOR BIDDING - 5/28/24

REVISIONS

TOMBALL MEMORIAL HS
TOMBALL INDEPENDENT SCHOOL DISTRICT
19100 NORTHPOINTE RIDGE LN
TOMBALL, TX 77375



ARCHITECTS
AND PLANNING
CONSULTANTS
11767 KATY FREEWAY, STE 430
HOUSTON, TEXAS 77079

PROJ. NO.: 24-10
DATE:
ISSUED FOR:

COVER SHEET

N000

GROUP OR DIVISION NUMBER
 A000—SEQUENTIAL SHEET NUMBER WITHIN GROUP
 DENOTES SCHOOL DESIGNATION

20 SHEET GROUPING
 NTS

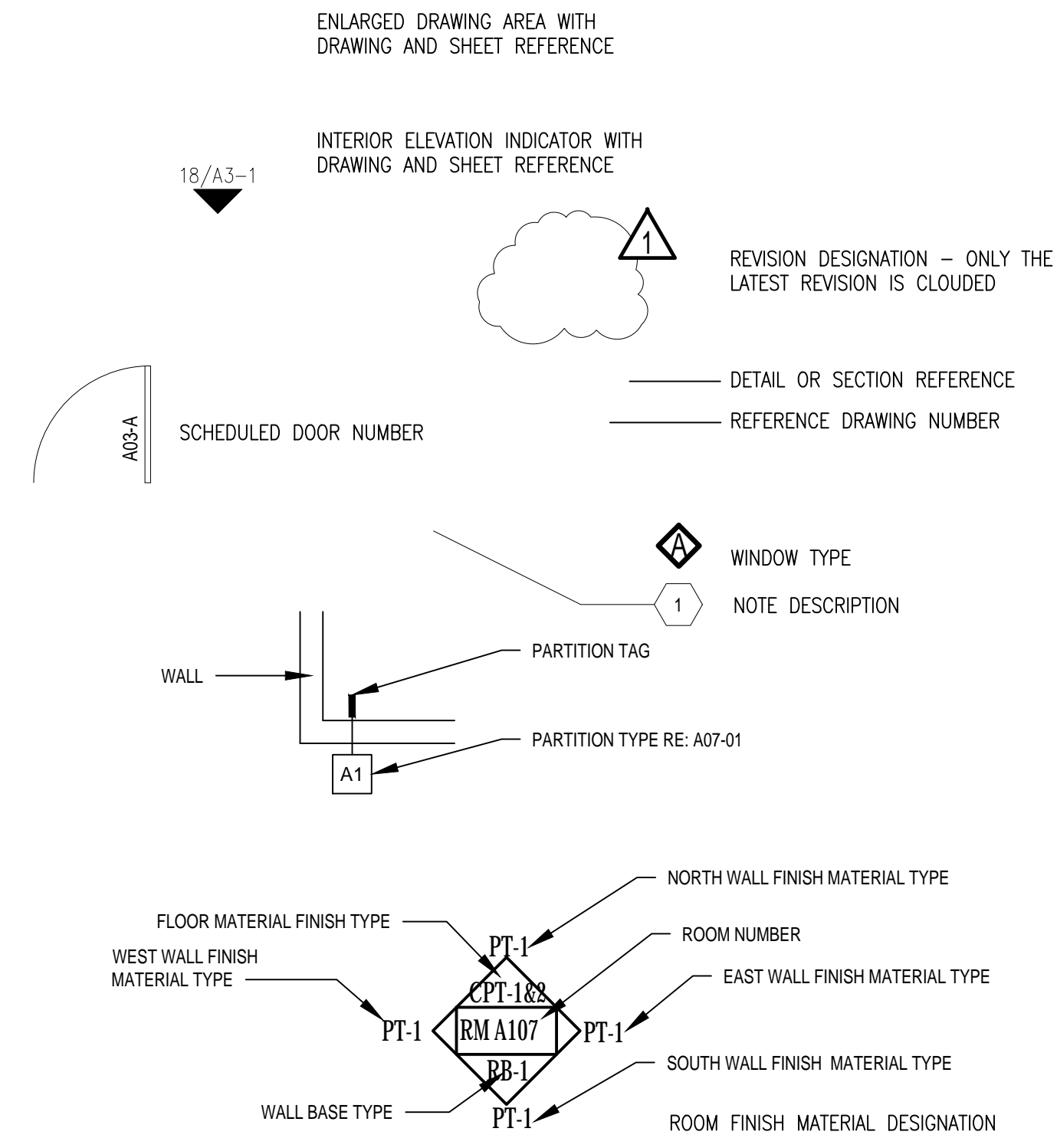
21	22	23	24	25
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6	7	8	9	10
1	2	3	4	5

15 GRID
 NTS

A/C	AIR CONDITIONING	GEN	GENERAL
AB	ANCHOR BOLT	GL	GLASS
AC	ACOUSTIC, ACOUSTICAL	GP	GYPSSUM PLASTER
ACC DR	ACCESS DOOR	GRD	GRADE
ACT	ACOUSTIC DOOR	GRT	GROUT
AD	AREA DRAIN	GYP	GYPSSUM
AFF	ABOVE FINISH FLOOR	GYP BD	GYPSSUM BOARD
ALUM	ALUMINUM	HC	HANDICAP
ANOD	ANODIZED	HD W	HARDWARE
AP	ACCESS PANEL	HOWD	HARDWOOD
AUX	AUXILIARY	HVAC	HEATING, VENTILATING & AIR CONDITIONING
AV	AIR VENT	HW	HOT WATER
BLDG	BUILDING	ID	INSIDE DIAMETER
BLK(G)	BLOCKING	IN	INCHES
BOT	BOTTOM	JAN	JANITOR
BR	BRICK	JT	JOINT
BR	BUILT UP ROOF	LAM(D)	LAMINATE(D)
CI	CHANNEL	LAV	LAVATORY
CAB	CABINET	LH	LEFT HAND
CC	CENTER TO CENTER	MEP	MECHANICAL ELECTRICAL PLUMBING
CD	CEILING DIFFUSER	MET	METAL
CG	CEILING GRILLE	MATL	MATERIAL
CHBD	CHALK BOARD	MAX	MAXIMUM
CHW	CHILLED WATER	MECH	MECHANICAL
		MFR	MANUFACTURER
		MIN	MINIMUM
CI	CAST IRON	NIC	NOT IN CONTRACT
CP	CAST IN PLACE	NTS	NOT TO SCALE
CJ	CONSTRUCTION JOINT	OFF	OFFICE
CJT	CONTROL JOINT	OH	OVERHEAD
CLG	CEILING	OPNG	OPENING
CLO	CLOSET	PL	PLATE
CLRM	CLASSROOM	P LAM	PLASTIC LAMINATE
CD	CLEAN OUT	PLBG	PLUMBING
COL	COLUMN	PLYWD	PLYWOOD
CONC	CONCRETE	PNL	PANEL
CONN	CONNECTION	PRESS	PRESSURE
CONST	CONSTRUCTION	PVMT	PAVEMENT
CONT	CONTINUOUS	PWR	POWER
CORR	CORRIDOR	R	RADIUS, RISER
CPT	CARPET	RCP	REFLECTED CEILING PLAN
CR	CEILING REGISTER	RA	RETURN AIR
CT	CERAMIC TILE	RD	ROOF DRAIN
CW	COLD WATER	RE	REFER
		REQD	REQUIRED
DC	DOOR CLOSER	RM	ROOM
DEMO	DEMOLISH/DEMOLITION	RO	ROUGH OPENING
DET	DETAIL	RT	RIGHT
DM	DIMENSION	SCHED	SCHEDULE(D)
DL	DOOR LOUVER	SF	SQUARE FEET
DN	DOWN	SM	SIMILAR
DR	DOOR	SND	SOUND
DS	DOWNSPOUT	SPEC(S)	SPECIFICATION(S)
DWG	DRAWING	SQ	SQUARE
EA	EACH	SQ IN	SQUARE INCHES
EDF	ELECTRIC DRINKING FOUNTAIN	STL	STEEL
EF	EXHAUST FAN, EACH FACE	STRUCT	STRUCTURE, STRUCTURAL
EJC	EXPANSION JOINT COVER	SYST	SYSTEM
EJT	EXPANSION JOINT	T&B	TOP AND BOTTOM
ELAST	ELASTOMERIC	TC	TOP OF CURB
EL	ELEVATION	TEL	TELEPHONE
ELEC(L)	ELECTRICAL	TEMP	TEMPORARY, TEMPERATURE
ELEV	ELEVATOR/ELEVATION	THK	THICK
EMER	EMERGENCY	THR	THRESHOLD
ENCL	ENCLOSURE	TOC	TOP OF CONCRETE
ENT	ENTRANCE	TV	TELEVISION
EQ	EQUAL	UG	UNDERGROUND
EQUIP	EQUIPMENT	UL	UNDERWRITERS LABORATORY
EXIST	EXISTING	VAC	VACUUM
EXP	EXPANSION	VAV	VARIABLE AIR VOLUME
EXT	EXTERIOR	VCT	VINYL COMPOSITION TILE
FACP	FIRE ALARM CONTROL PANEL	VOL	VOLUME
FD	FLOOR DRAIN	W/	WITH
FDN	FOUNDATION	W/O	WITHOUT
FF	FINISH FLOOR	WC	WATER CLOSET
FIN	FINISH	WD	WOOD
FIXT	FIXTURE	WH	WATER HEATER, WALL HUNG
FJT	FLUSH JOINT	WHP	WEEP HOLE
FL(G)	FLOORING	WP	WATERPROOFING, WATERPROOF
FT	FOOT		
FTG	FOOTING		
FURN	FURNITURE		
FV	FIELD VERIFY		
GA	GAUGE		
GALV	GALVANIZED		
GC	GENERAL CONTRACTOR		

1 ABBREVIATIONS
 NTS

16 LEGEND
 NTS



10 GENERAL NOTES
 NTS

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- COORDINATE WORK WITH THE OWNER'S CONSTRUCTION COORDINATOR, INCLUDING WORK SCHEDULE, AND PERFORM WORK ONLY WITH OWNER'S PRIOR APPROVAL.
- MAINTAIN REQUIRED DOCUMENTS AND UP-TO-DATE CONSTRUCTION PLANS AT JOB SITE. THE CONTRACTOR SHALL SUBMIT AS-BUILT DRAWINGS TO THE CLIENT PROJECT MANAGER UPON COMPLETION OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SAFETY PRECAUTIONS DURING CONSTRUCTION AND TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THAT THERE WILL BE NO CONSTRUCTION RELATED DAMAGE TO THE EXISTING BUILDING CONSTRUCTIONS. IF SUCH DAMAGE OCCURS, THEN THE G.C. SHALL PROMPTLY MAKE ALL NECESSARY REPAIRS TO RETURN THE DAMAGED CONSTRUCTION TO A LIKE-NEW CONDITION AND THE EXPENSE OF SAID REPAIRS SHALL BE BORNE SOLELY BY THE G.C.
- CONTRACTOR SHALL PROVIDE A ONE (1) YEAR WARRANTY ON LABOR AND MATERIALS FROM THE DATE OF ACCEPTANCE BY OWNER'S CONSTRUCTION COORDINATOR.
- MATERIAL SUBSTITUTIONS WILL NOT BE ALLOWED UNLESS SUBMITTED IN WRITING.
- SCHEDULE SHOULD BE OPTIMIZED FOR SHORTEST ECONOMIC COMPLETION.
- BE RESPONSIBLE FOR FINAL CLEANING PRIOR TO TURNING SPACE OVER TO OWNER.
- PROVIDE A LIST OF ALL SUBCONTRACTORS TO BE USED AND SUBMIT LIST TO CLIENT WITHIN 10 WORKING DAYS OF THE CONTRACT.
- MAINTAIN HANDBOOKS, OPERATING MANUALS, PAPERWORK AND KEYS IN A SAFE AND ORGANIZED MANNER. KEYS SHALL BE TAGGED FOR PROPER LOCATIONS. THESE SHALL BE TURNED OVER TO THE TENANT CONSTRUCTION COORDINATOR ALONG WITH CERTIFICATES OF OCCUPANCY, LIEN WAIVERS, WARRANTIES, AND GUARANTEES.
- DO NOT SCALE THESE DRAWINGS FOR DIMENSIONAL INFORMATION. REFER TO DIMENSIONS ON THE SITE PLAN AND THE ENLARGED PLANS. IF THERE IS A CONFLICT WITH THE PLAN DIMENSIONS OR AN EXISTING FIELD CONDITION CONTACT THE ARCHITECT.
- CONTRACTOR TO PROVIDE LETTER AT END OF PROJECT CERTIFYING THAT MATERIALS USED ON PROJECT ARE ASBESTOS FREE.
- BUILDERS QUOTE SHOULD BE IN COMPLIANCE WITH ALL CLIENT TERMS, CONDITIONS, AND SECURITY REQUIREMENTS. SAME IS TRUE FOR CURRENT CONTRACT SERVICE PROVIDERS SHOULD THEY DO THE WORK.
- DEMOLITION PLANS INDICATE SOME OF THE SCOPE-OF-WORK INVOLVED FOR THE DEMOLITION PHASE OF THIS PROJECT. CONTRACTOR SHALL REVIEW ALL SHEETS FOR ADDITIONAL DEMOLITION SCOPE.
- CONTRACTOR SHALL VERIFY EXISTING SITE AND BUILDING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO DEMOLITION ACTIVITIES AND WORK.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS BEFORE COMMENCING WORK.
- AFTER AWARD OF THE CONTRACT, CHANGE ORDER REQUESTS FOR ADDITIONAL MONEY WILL NOT BE APPROVED IF THE WORK COULD HAVE BEEN ANTICIPATED DURING A SITE VISIT BY THE CONTRACTOR.
- CONTRACTOR SHALL NOT SCALE DRAWINGS.
- CONTRACTOR SHALL REMOVE TRASH AND DEBRIS REGULARLY AS NECESSARY TO ELIMINATE INTERFERENCE WITH ROADS, STREET, WALKS, AND ALL OTHER ADJACENT FACILITIES.
- CONTRACTOR SHALL REMOVE TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.
- CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF TEMPORARY DUST AND OR SOUND PARTITION BETWEEN CONSTRUCTION AREA AND AREAS NOT IN SCOPE AS NECESSARY. DEMOLITION ACTIVITIES SHALL BE PERFORMED SO AS TO PRODUCE MINIMAL DISTURBANCE TO EXISTING FACILITY AND OCCUPANTS (I.E. MINIMIZE EXCESSIVE AND PROLONGED NOISE LEVELS AND DUST).
- CONTRACTOR SHALL REPAIR, REPLACE, OR PATCH EXISTING BUILDINGS, DRIVEWAYS, SIDEWALKS, CANOPES, AND OR PARKING AREAS DAMAGED, MODIFIED, AND OR DISTURBED BY DEMOLITION WORK AT NO COST TO THE OWNER.
- ALL EXISTING EQUIPMENT THAT REMAINS SHALL BE PROTECTED DURING DEMOLITION AND OR CONSTRUCTION TO PREVENT DAMAGE. ANY DAMAGE TO REMAINING EXISTING EQUIPMENT SUSTAINED DURING DEMOLITION AND OR CONSTRUCTION SHALL BE EQUIVALENTLY REPLACED OR EQUIVALENTLY REPAIRED AT NO COST TO THE OWNER.
- CONTRACTOR SHALL PROVIDE TRAFFIC HANDLING MEASURES TO PROTECT THE GENERAL PUBLIC AT ALL TIMES, AS NECESSARY AND AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- DO NOT INTERRUPT EXISTING UTILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES INCLUDING BUT NOT LIMITED TO THE FOLLOWING: ELECTRIC, GAS, WATER, TELEPHONE, STORM SEWER, AND SANITARY SEWER FOR FIELD LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITY LINES. PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORK, CONTRACTOR SHALL IDENTIFY ALL ELECTRICAL CIRCUITS SERVICING THE AREA INVOLVED WITH THIS DEMOLITION. THESE CIRCUITS SHALL THEN BE LOCKED OUT AND TAGGED OUT IF THEY DO NOT SERVICE ANY OF THE REMAINING BUILDING. THOSE CIRCUITS WHICH ARE IDENTIFIED TO SERVICE BOTH THE AREA TO BE DEMOLISHED AND THE REMAINING BUILDING SHALL BE SPLIT SO AS TO KILL ALL ELECTRICAL POWER TO THE AREA TO BE DEMOLISHED WHILE MAINTAINING POWER TO THE REMAINDER OF THE BUILDING.
- PROTECT EXISTING SITE ELEMENTS AND EXISTING LANDSCAPING TO REMAIN. PROTECTION SHALL INCLUDE BUT NOT BE LIMITED TO EXISTING TREES AND OTHER EXISTING VEGETATION INDICATED TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING, OR SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIAL OR EXCAVATED MATERIAL WITHIN DRIP LINES.
- CONTRACTOR SHALL RE-GRADE AND HYDRO-MULCH AREAS AFFECTED BY DEMOLITION AND/OR NEW WORK.
- OWNER HAS RIGHT OF FIRST REFUSAL OF ALL ITEMS REMOVED AS PART OF THE SCOPE OF WORK, WHETHER IDENTIFIED AS SALVAGE OR NOT.
- NOTIFY THE BUILDING OWNER OF ANY MATERIALS, FIXTURES, ETC. TO BE REMOVED THAT ARE DEEMED SALVAGEABLE. TURN OVER ANY REQUESTED ITEMS TO THE BUILDING OWNER IN GOOD AND CLEAN CONDITION.
- ALL FURNITURE WILL BE REMOVED OR RELOCATED BY THE OWNER AS NECESSARY PRIOR TO THE DEMOLITION WORK OF THIS PROJECT. CONTRACTOR SHALL COORDINATE WITH OWNER AS REQUIRED.
- REMOVE EXISTING CONSTRUCTION TO THE EXTENT INDICATED ON THE DRAWINGS. SHOULD ANY DAMAGE OCCUR TO ANY EXISTING CONSTRUCTION TO REMAIN, THE CONTRACTOR SHALL REPAIR THE DAMAGE TO MATCH EXISTING AND OR ADJACENT CONSTRUCTION AT NO COST TO THE OWNER.
- ALL DASHED LINES ARE DEMOLITION LINES UNLESS OTHERWISE NOTED.

REVISIONS

TOMBALL MEMORIAL HS
 TOMBALL INDEPENDENT SCHOOL DISTRICT
 19100 NORTHPOINTE RIDGE LN
 TOMBALL, TX 77377



ARCHITECTS
 AND PLANNING
 CONSULTANTS

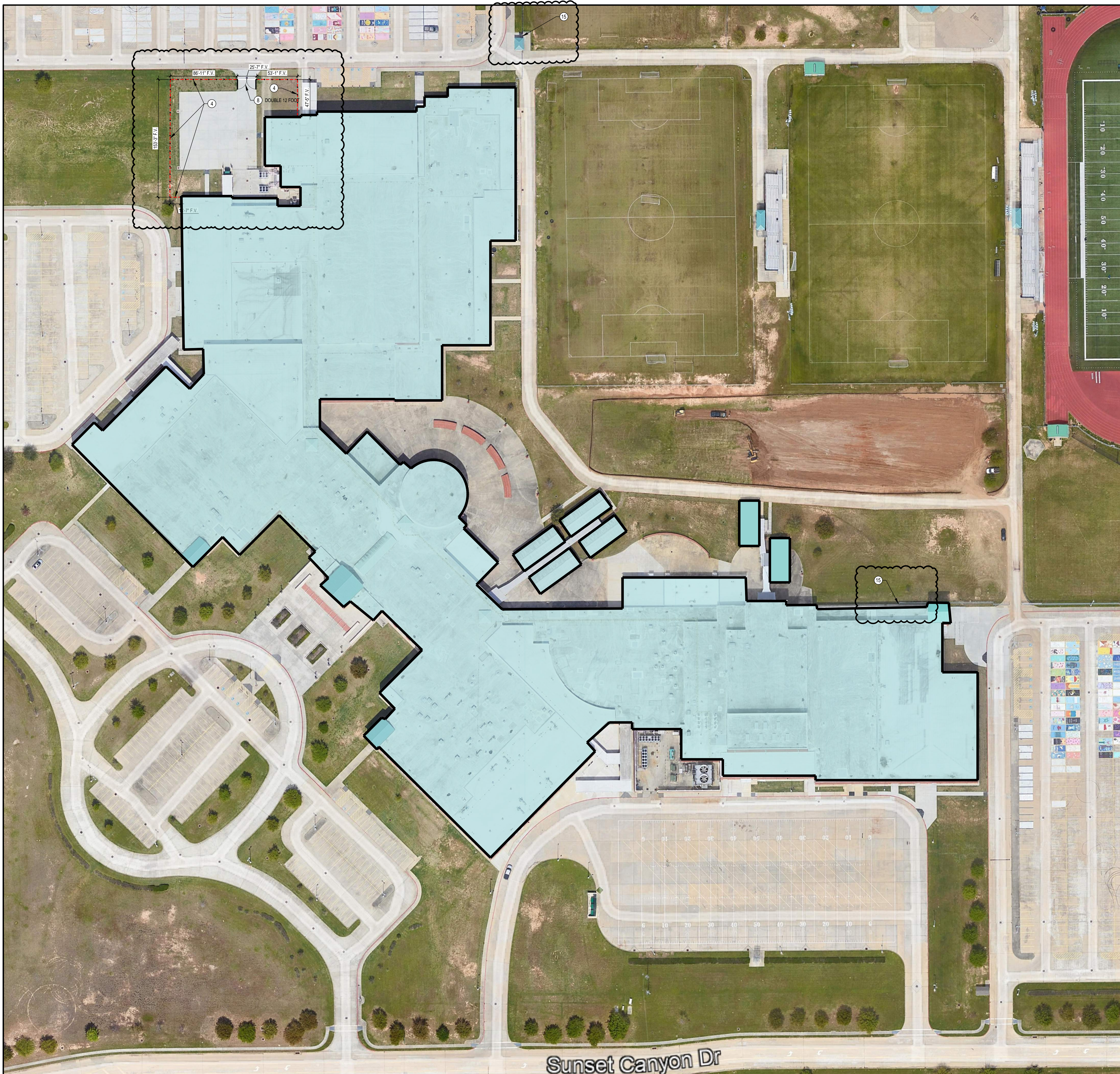
11767 KATY FREEWAY, STE 430
 HOUSTON, TEXAS 77079

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03 DRAWING INDEX
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F:\2024\24-10\1841 facilities secure fencing\DWG\Tomball Memorial HS SITE PLAN.dwg May 27, 2024 - 6:58pm

01 TOMBALL MEMORIAL HS SITE PLAN
1" = 50'-0" XREF

KEYNOTES	
NUM	DESCRIPTION
1	EXISTING FENCE AND OR GATE TO REMAIN
2	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE
3	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE GATE 42" WIDE WITH PANIC HARDWARE
4	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL FENCE
5	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL FENCE GATE 42" WIDE WITH PANIC HARDWARE
6	REMOVE EXISTING FENCE
7	REMOVE EXISTING GATE
8	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL SLIDING FENCE GATE TWENTY FOOT WIDE
9	INSTALL SIX FOOT HIGH BLACK ORNAMENTAL DOUBLE SWING FENCE GATE TWELVE FOOT WIDE
10	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE GATE 36" WIDE
11	CUT OPENING IN EXISTING FENCE TO INSTALL GATE
12	INSTALL SLATS IN EXISTING SEVEN FOOT HIGH CHAINLINK FENCE
13	INSTALL SIX FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE WITH SLAT INSERTS
14	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK DOUBLE FENCE GATE 36 FEET WIDE
15	INSTALL PANIC HARDWARE ON EXISTING DOOR. INCLUDE PROTECTION OF DOOR PANIC DEVICE FROM OUTSIDE ACTIVATION
16	INSTALL EIGHT FOOT HIGH BLACK PVC COATED, ANTI-SCALE CHAINLINK FENCE SLIDING FENCE GATE TWENTY FOOT WIDE
17	PROVIDE KNOXBOX FOR FIRE DEPARTMENT ACCESS
18	REVERSE SWING OF GATE, REMOVE EXISTING MAGLOCK DEVICE AND PROVIDE PANICE DEVIDE PER KEYNOTE 15
19	PAINT FENCE BLACK.
20	REPAIR EXISTING GATE OPERATOR TO WORKING CONDITION.

02 KEYNOTES
1:1

REVISIONS

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