

NORTH SCOTT COMMUNITY SCHOOL DISTRICT

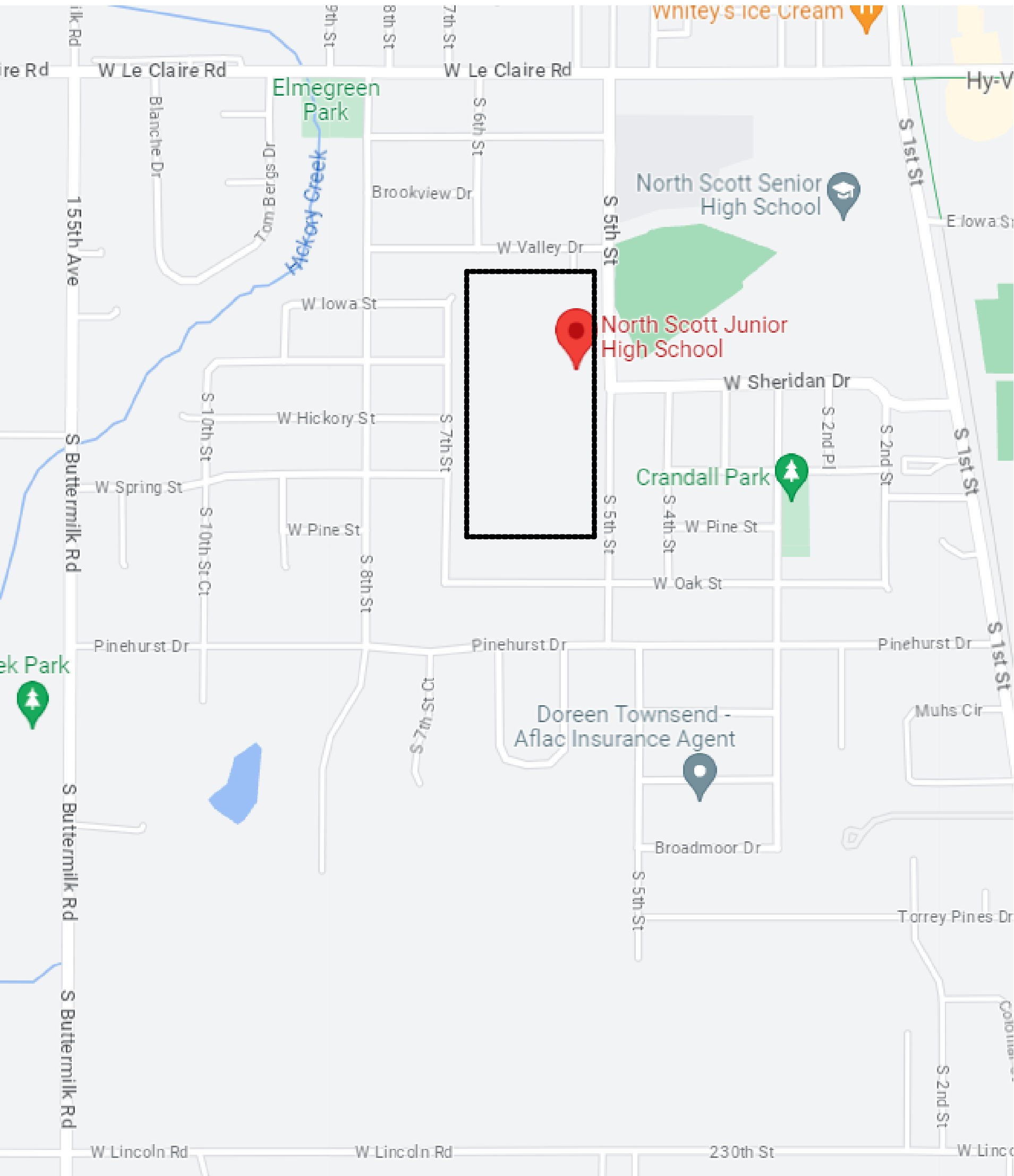
ADDITION AND RENOVATIONS TO JUNIOR HIGH

502 South 5th Street

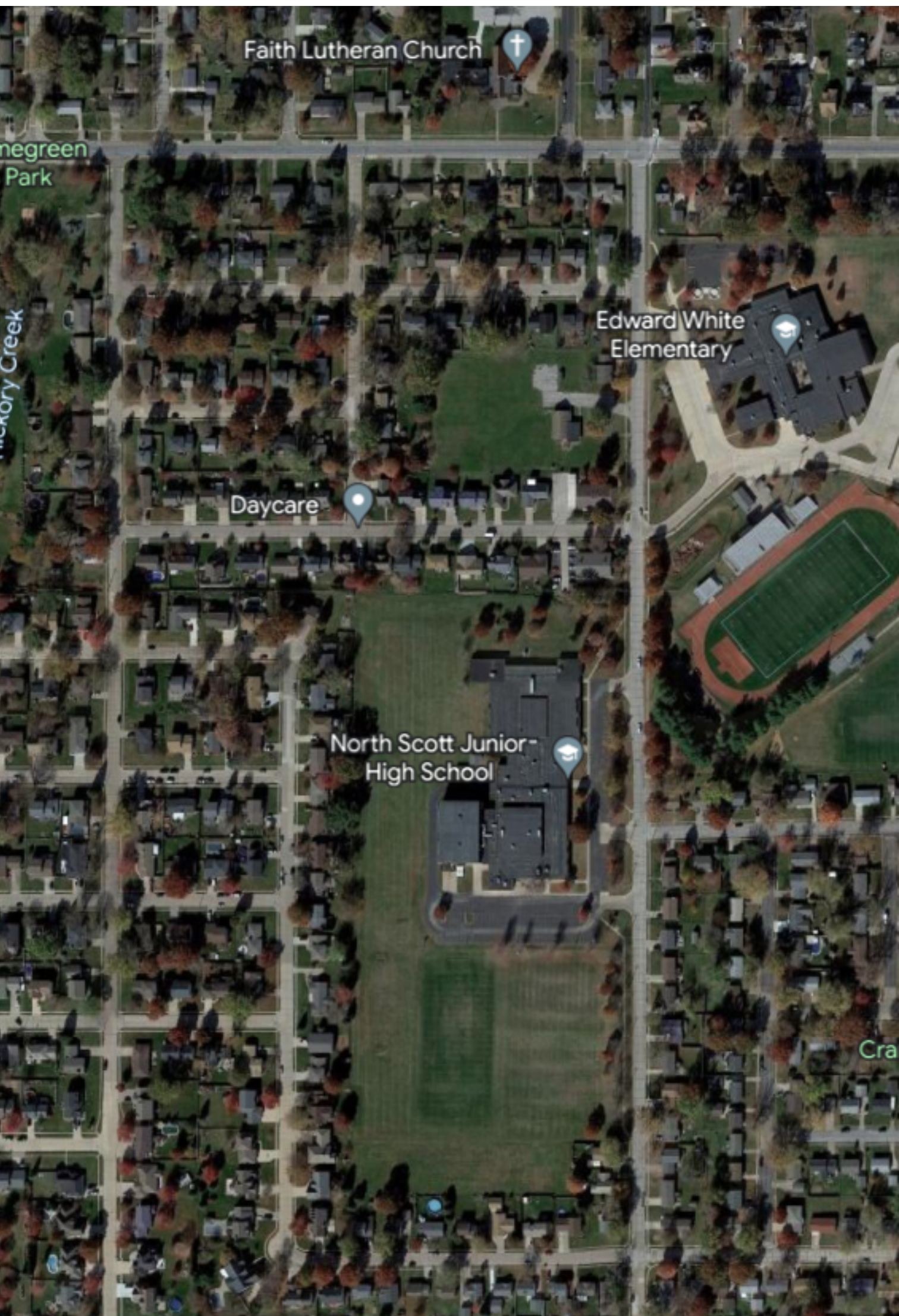
Eldridge, IA 52748



SITE LOCATION MAP



CAMPUS PLAN



BOARD OF EDUCATION

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John Maxwell, Member
Joni Dittmer, Member
Frank Wood, Member
Molly Bergfeld, Member
Carrie Keppy, Member

Joe Stutting, Superintendent

SCHEDULE OF DRAWINGS

GENERAL DRAWINGS		PLUMBING DRAWINGS	
G-001	TITLE SHEET	P-000	PLUMBING LEGEND
G-101	CODE INFORMATION & SAFETY REFERENCE PLANS	P0101A	PLUMBING FIRST FLOOR DEMOLITION PLAN - MODULE A
G-201	SYMBOLS AND PROJECT GENERAL NOTES	P0101B	PLUMBING DEMOLITION PLANS - MODULE B
CONSTRUCTION DRAWINGS		P0102A	PLUMBING ROOF DEMOLITION PLAN - MODULE A
SLP-1	SITE LOGISTIC PLAN	P-101A	PLUMBING FIRST FLOOR DOMESTIC WATER PLAN - MODULE A
SLP-2	SITE LOGISTIC PLAN	P-101B	PLUMBING PLANS - MODULE B
CIVIL DRAWINGS		P-201A	PLUMBING FIRST FLOOR SANITARY & VENT PLAN - MODULE A
C-100	EXISTING CONDITIONS AND DEMOLITION PLAN	P-202A	PLUMBING ROOF PLAN - MODULE A
C-101	SITE LAYOUT AND UTILITY PLAN	F-300	PLUMBING SCHEDULES AND DETAILS
C-102	SITE GRADING AND EROSION CONTROL	F-400	PLUMBING DOMESTIC WATER RISER DIAGRAM
STRUCTURAL DRAWINGS		F-401	PLUMBING SANITARY AND VENT RISER DIAGRAM
S-000	GENERAL NOTES	MECHANICAL DRAWINGS	
S-001	GENERAL NOTES	M-000	MECHANICAL LEGEND
S-100	FOUNDATION PLAN	M0101A	MECHANICAL FIRST FLOOR HVAC DEMOLITION PLAN - MODULE A
S-101	ROOF FRAMING PLAN	M0101B	MECHANICAL FIRST FLOOR HVAC DEMOLITION PLAN - MODULE B
S-300	CONCRETE DETAILS	M0102A	MECHANICAL ROOF HVAC DEMOLITION PLAN - MODULE A
S-400	MASONRY DETAILS	M-101A	MECHANICAL FIRST FLOOR HVAC PLAN - MODULE A
S-500	STEEL DETAILS	M-101B	MECHANICAL FIRST FLOOR HVAC PLAN - MODULE B
ARCHITECTURAL DRAWINGS		M-201A	MECHANICAL FIRST FLOOR CONTROLS AND HYDRO-PNEUMATIC - MODULE A
AD-101	FIRST FLOOR DEMOLITION PLAN	M-201B	MECHANICAL FIRST FLOOR CONTROLS - MODULE B
A-101A	FIRST FLOOR PLAN - MODULE A	M-202A	MECHANICAL ROOF HVAC PLAN - MODULE A
A-101B	FIRST FLOOR PLAN - MODULE B	M-301	MECHANICAL CONTROLS LEGEND
AF-101A	FIRST FLOOR FINISH PLAN - MODULE A	M-302	MECHANICAL RTU CONTROL DIAGRAM
AF-101B	FIRST FLOOR FINISH PLAN - MODULE B	M-303	MECHANICAL VAV AND ELECTRIC HEATER CONTROL DIAGRAM
AC-101A	FIRST FLOOR REFLECTED CEILING PLAN - MODULE A	M-304	MECHANICAL EXHAUST FAN CONTROL DIAGRAM
AC-101B	FIRST FLOOR REFLECTED CEILING PLAN - MODULE B	M-305	ALTERNATE BID RTU CONTROL DIAGRAM
AR-101A	ROOF PLAN - MODULE A	M-400	MECHANICAL SCHEDULES AND DETAILS
AR-101B	ROOF PLAN - MODULE B	M-500	MECHANICAL DETAILS
A-201	EXTERIOR BUILDING ELEVATIONS	ELECTRICAL DRAWINGS	
A-211	INTERIOR ELEVATIONS	E-000	ELECTRICAL SYMBOLS AND GENERAL NOTES
A-212	INTERIOR ELEVATIONS	ED-101A	ELECTRICAL FIRST FLOOR POWER DEMOLITION PLAN - MODULE A
A-301	BUILDING SECTIONS	ED-101B	ELECTRICAL DEMOLITION PLANS - MODULE B
A-311	WALL SECTIONS	ED-201A	ELECTRICAL FIRST FLOOR LIGHTING DEMOLITION PLAN - MODULE A
A-401	ENLARGED TOILET ROOM PLANS, ELEVATIONS & DETAILS	E-101A	ELECTRICAL FIRST FLOOR POWER PLAN - MODULE A
A-501	ELECTRICAL DETAILS	E-101B	ELECTRICAL FIRST FLOOR POWER PLAN - MODULE B
A-502	EXTERIOR DETAILS	E-102A	FIRST FLOOR MECHANICAL COORDINATION PLAN - MODULE A
A-511	INTERIOR DETAILS	E-103A	ELECTRICAL ROOF POWER PLAN - MODULE A
A-521	TYPICAL ROOF DETAILS SINGLE PLY MEMBRANE	E-201A	ELECTRICAL FIRST FLOOR LIGHTING PLAN - MODULE A
A-522	TYPICAL ROOF DETAILS PREFINISHED METAL	E-300	ELECTRICAL ONE-LINE SCHEDULES AND DETAILS
A-601	DOOR AND FRAME DETAILS	E-400	ELECTRICAL AV DIAGRAM AND SCHEDULE
A-611	PARTITION TYPES & DETAILS	E-500	ELECTRICAL PANEL SCHEDULES
A-901	PERSPECTIVE VIEWS		

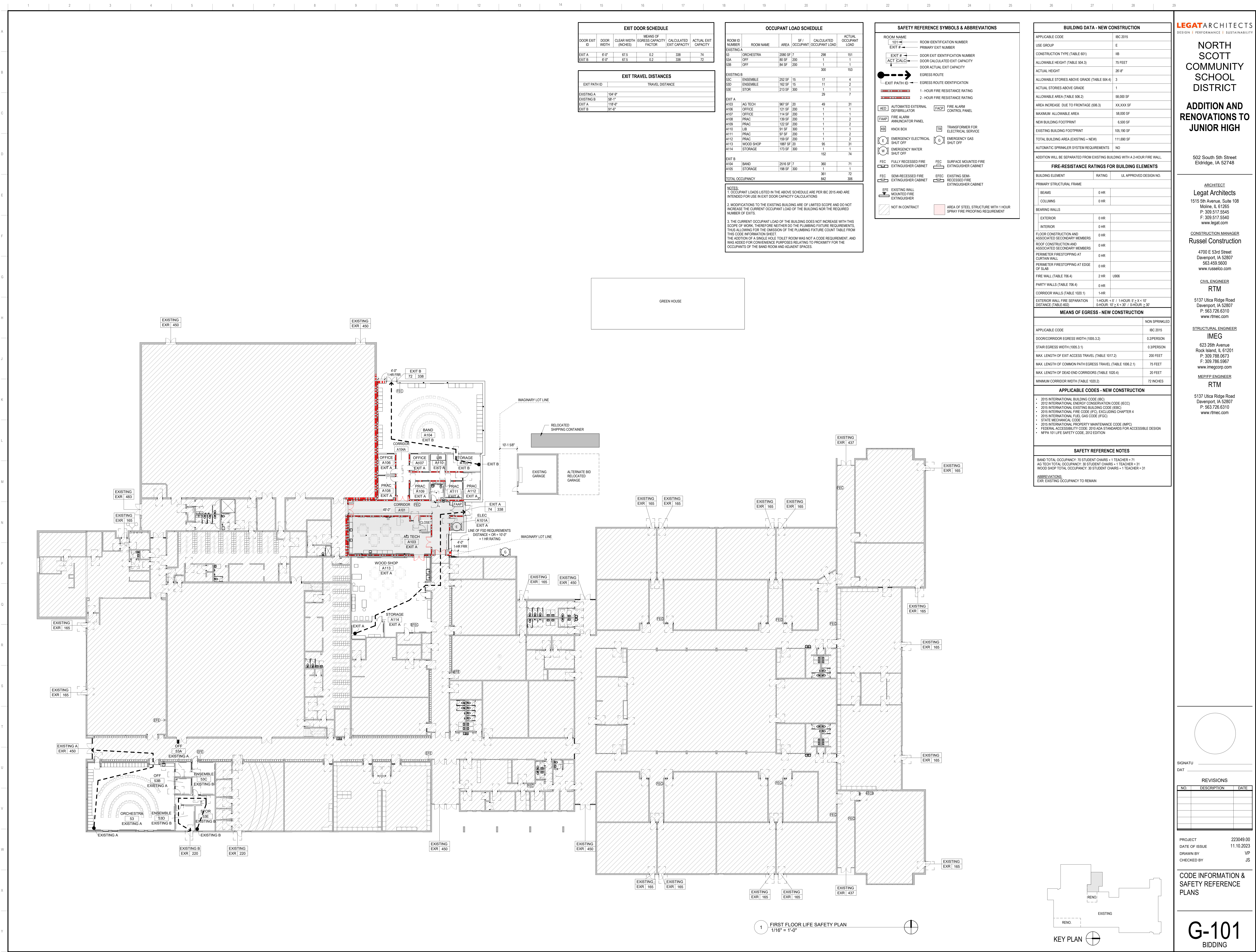
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NO.	DESCRIPTION	DATE

PROJECT NUMBER	223049.00
DATE OF ISSUE	11.10.2023
DRAWN BY	VP
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TITLE SHEET



EXIT DOOR SCHEDULE						
DOOR EXIT ID	DOOR WIDTH	CLEAR WIDTH (INCHES)	MEANS OF EGRESS CAPACITY	CALCULATED EXIT CAPACITY	ACTUAL EXIT CAPACITY	
EXIT A	6'-0"	67.5	0.2	338	74	
EXIT B	6'-0"	67.5	0.2	338	72	

EXIT TRAVEL DISTANCES	
EXIT PATH ID	TRAVEL DISTANCE
EXISTING A	104'-9"
EXISTING B	58'-11"
EXIT A	119'-6"
EXIT B	91'-6"

OCCUPANT LOAD SCHEDULE						
ROOM ID NUMBER	ROOM NAME	AREA	SF / OCCUPANT	CALCULATED OCCUPANT LOAD	ACTUAL OCCUPANT LOAD	
EXISTING A						
E3	ORCHESTRA	2080 SF	7	298	151	
SSA	OFF	80 SF	200	1	1	
S3B	OFF	84 SF	200	1	1	
				300	153	
EXISTING B						
S3C	ENSEMBLE	257 SF	15	17	4	
S3D	ENSEMBLE	162 SF	15	11	2	
S3E	STOR	213 SF	300	1	1	
				29	7	
EXIT A						
A103	AG TECH	967 SF	20	49	31	
A106	OFFICE	121 SF	200	1	1	
A107	OFFICE	114 SF	200	1	1	
A108	PRAC	139 SF	200	1	2	
A109	PRAC	122 SF	200	1	2	
A110	LIB	95 SF	300	1	1	
A111	PRAC	97 SF	200	1	2	
A112	PRAC	159 SF	200	1	2	
A113	WOOD SHOP	1807 SF	20	95	31	
A114	STORAGE	173 SF	300	1	1	
				152	74	
EXIT B						
A104	BAND	2516 SF	7	360	71	
A105	STORAGE	198 SF	300	1	1	
				361	72	
TOTAL OCCUPANCY				842	305	

NOTES:
1. OCCUPANT LOADS LISTED IN THE ABOVE SCHEDULE ARE PER IBC 2015 AND ARE INTENDED FOR USE IN EXIT DOOR CAPACITY CALCULATIONS.
2. MODIFICATIONS TO THE EXISTING BUILDING ARE OF LIMITED SCOPE AND DO NOT INCREASE THE CURRENT OCCUPANT LOAD OF THE BUILDING NOR THE REQUIRED NUMBER OF EXITS.
3. THE CURRENT OCCUPANT LOAD OF THE BUILDING DOES NOT INCREASE WITH THIS SCOPE OF WORK, THEREFORE NEITHER DO THE PLUMBING FIXTURE REQUIREMENTS, THUS ALLOWING FOR THE OMISSION OF THE PLUMBING FIXTURE COUNT TABLE FROM THIS CODE INFORMATION SHEET. THE ADDITION OF A SINGLE HOLE TOILET ROOM WAS NOT A CODE REQUIREMENT, AND WAS ADDED FOR CONVENIENCE PURPOSES RELATING TO PROXIMITY FOR THE OCCUPANTS OF THE BAND ROOM AND ADJACENT SPACES.

SAFETY REFERENCE SYMBOLS & ABBREVIATIONS			
ROOM NAME	ROOM IDENTIFICATION NUMBER		
EXIT #	PRIMARY EXIT NUMBER		
EXIT #	DOOR EXIT IDENTIFICATION NUMBER		
ACT / CALC	DOOR CALCULATED EXIT CAPACITY		
	DOOR ACTUAL EXIT CAPACITY		
	EGRESS ROUTE		
EXIT PATH ID	EGRESS ROUTE IDENTIFICATION		
	1-HOUR FIRE RESISTANCE RATING		
	2-HOUR FIRE RESISTANCE RATING		
AED	AUTOMATED EXTERNAL DEFIBRILLATOR	FACP	FIRE ALARM CONTROL PANEL
FAAP	FIRE ALARM ANNUNCIATOR PANEL		
KB	KNOX BOX	TS	TRANSFORMER FOR ELECTRICAL SERVICE
E	EMERGENCY ELECTRICAL SHUT OFF	G	EMERGENCY GAS SHUT OFF
E	EMERGENCY WATER SHUT OFF		
FEC	FULLY RECESSED FIRE EXTINGUISHER CABINET	FEC	SURFACE MOUNTED FIRE EXTINGUISHER CABINET
FEC	SEMI-RECESSED FIRE EXTINGUISHER CABINET	EFEC	EXISTING SEMI-RECESSED FIRE EXTINGUISHER CABINET
IFE	EXISTING WALL MOUNTED FIRE EXTINGUISHER		
	NOT IN CONTRACT		
			AREA OF STEEL STRUCTURE WITH 1 HOUR SPRAY FIRE PROOFING REQUIREMENT

BUILDING DATA - NEW CONSTRUCTION	
APPLICABLE CODE	IBC 2015
USE GROUP	E
CONSTRUCTION TYPE (TABLE 601)	IIIB
ALLOWABLE HEIGHT (TABLE 504.3)	75 FEET
ACTUAL HEIGHT	26'-0"
ALLOWABLE STORES ABOVE GRADE (TABLE 504.4)	3
ACTUAL STORES ABOVE GRADE	1
ALLOWABLE AREA (TABLE 506.2)	58,000 SF
AREA INCREASE DUE TO FRONTAGE (506.3)	XX,XXX SF
MAXIMUM ALLOWABLE AREA	58,000 SF
NEW BUILDING FOOTPRINT	6,500 SF
EXISTING BUILDING FOOTPRINT	105,190 SF
TOTAL BUILDING AREA (EXISTING + NEW)	111,690 SF
AUTOMATIC SPRINKLER SYSTEM REQUIREMENTS	NO
ADDITION WILL BE SEPARATED FROM EXISTING BUILDING WITH A 2-HOUR FIRE WALL	
FIRE-RESISTANCE RATINGS FOR BUILDING ELEMENTS	
BUILDING ELEMENT	RATING
PRIMARY STRUCTURAL FRAME	
BEAMS	0 HR
COLUMNS	0 HR
BEARING WALLS	
EXTERIOR	0 HR
INTERIOR	0 HR
FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS	0 HR
ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS	0 HR
PERIMETER FIRESTOPPING AT CURTAIN WALL	0 HR
PERIMETER FIRESTOPPING AT EDGE OF SLAB	0 HR
FIRE WALL (TABLE 706.4)	2 HR U908
PARTY WALLS (TABLE 706.4)	0 HR
CORRIDOR WALLS (TABLE 1020.1)	1-HR
EXTERIOR WALL FIRE SEPARATION DISTANCE (TABLE 602)	1-HOUR: < 5' / 1-HOUR: 5' ≥ K < 10' / 2-HOUR: 10' ≥ K < 30' / 3-HOUR: ≥ 30'
MEANS OF EGRESS - NEW CONSTRUCTION	
APPLICABLE CODE	IBC 2015
DOOR/CORRIDOR EGRESS WIDTH (1009.3.2)	0.2/PERSON
STAR EGRESS WIDTH (1009.3.1)	0.3/PERSON
MAX. LENGTH OF EXIT ACCESS TRAVEL (TABLE 1017.2)	200 FEET
MAX. LENGTH OF COMMON PATH EGRESS TRAVEL (TABLE 1006.2.1)	75 FEET
MAX. LENGTH OF DEAD END CORRIDORS (TABLE 1020.4)	20 FEET
MINIMUM CORRIDOR WIDTH (TABLE 1020.2)	72 INCHES
APPLICABLE CODES - NEW CONSTRUCTION	
• 2015 INTERNATIONAL BUILDING CODE (IBC) • 2012 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) • 2015 INTERNATIONAL EXISTING BUILDING CODE (IEBC) • 2015 INTERNATIONAL FIRE CODE (IFC), EXCLUDING CHAPTER 4 • 2015 INTERNATIONAL FUEL GAS CODE (IFGC) • STATE MECHANICAL CODE • 2015 INTERNATIONAL PROPERTY MAINTENANCE CODE (IMPC) • FEDERAL ACCESSIBILITY CODE, 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN • NFPA 101 LIFE SAFETY CODE, 2012 EDITION	
SAFETY REFERENCE NOTES	
BAND TOTAL OCCUPANCY: 70 STUDENT CHAIRS + 1 TEACHER = 71 AG TECH TOTAL OCCUPANCY: 30 STUDENT CHAIRS + 1 TEACHER = 31 WOOD SHOP TOTAL OCCUPANCY: 30 STUDENT CHAIRS + 1 TEACHER = 31	
ABBREVIATIONS: EXR: EXISTING OCCUPANCY TO REMAIN	

LEGAT ARCHITECTS
DESIGN | PERFORMANCE | SUSTAINABILITY

NORTH SCOTT COMMUNITY SCHOOL DISTRICT

ADDITION AND RENOVATIONS TO JUNIOR HIGH

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CODE INFORMATION & SAFETY REFERENCE PLANS

G-101
BIDDING

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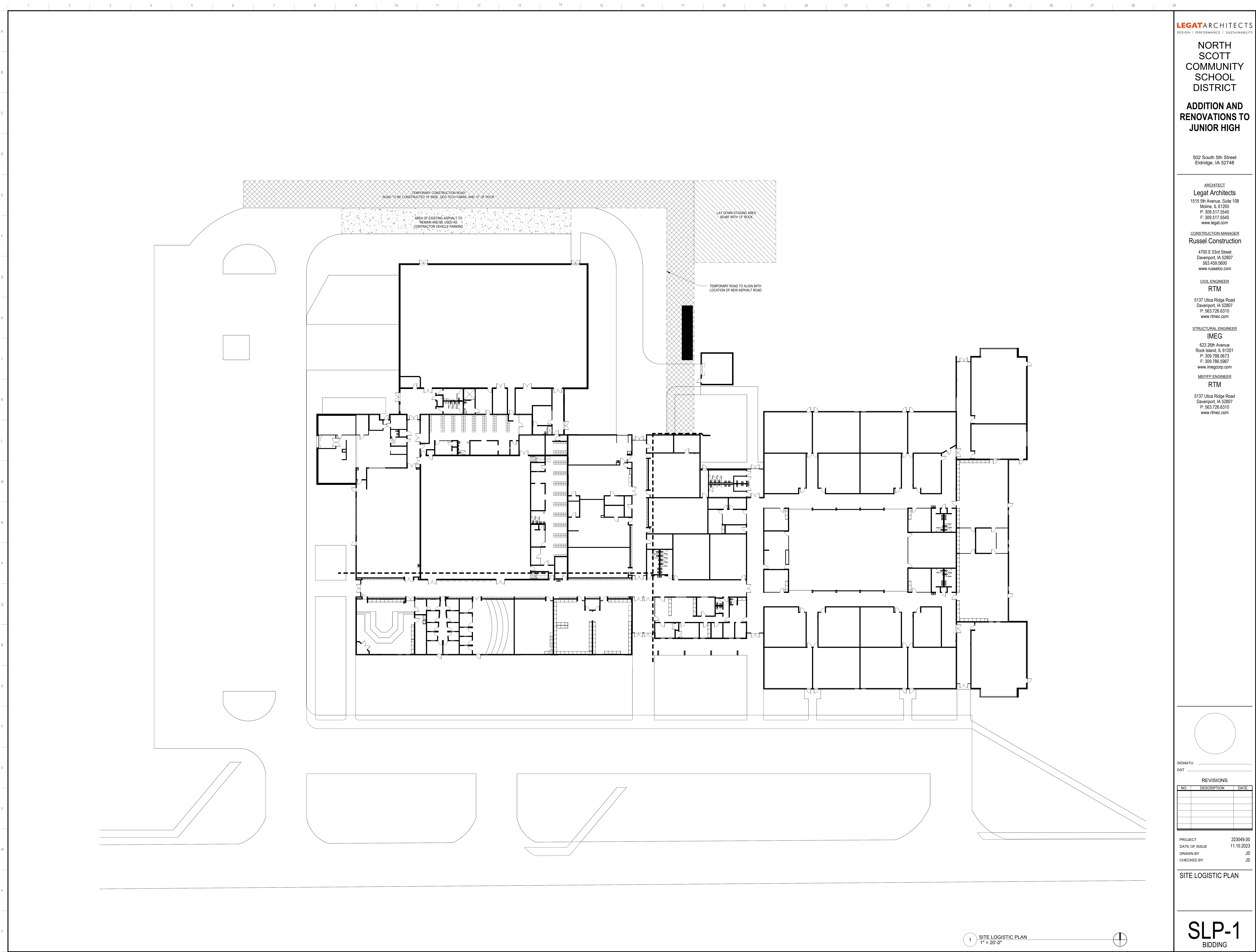
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DATE OF ISSUE	11.10.2023	
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SYMBOLS AND PROJECT GENERAL NOTES		

G-201

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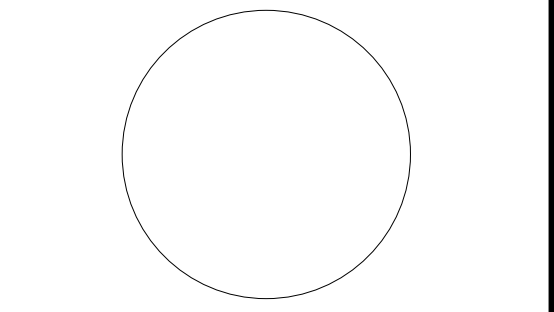
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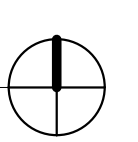
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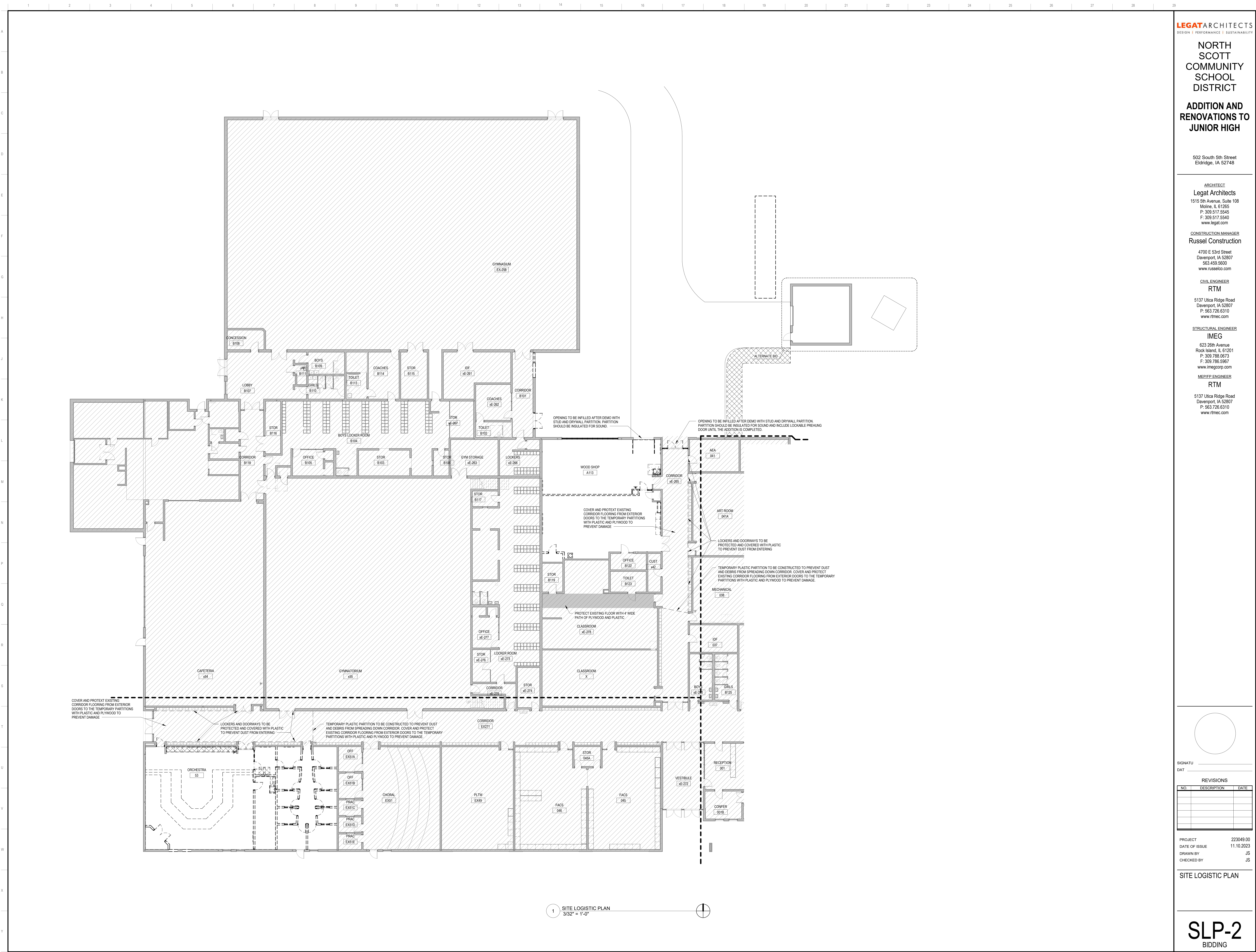
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SITE LOGISTIC PLAN

SLP-1
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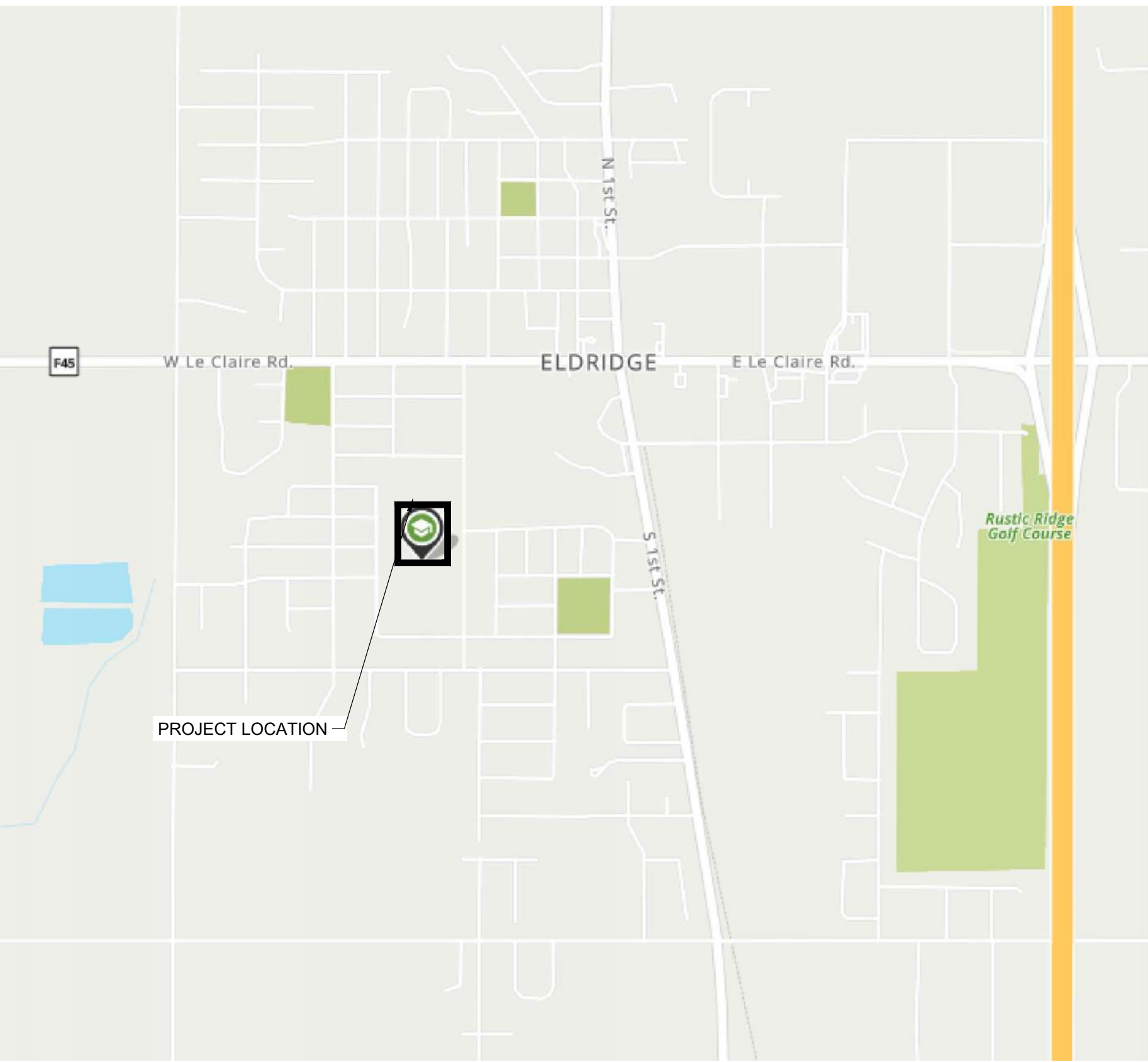
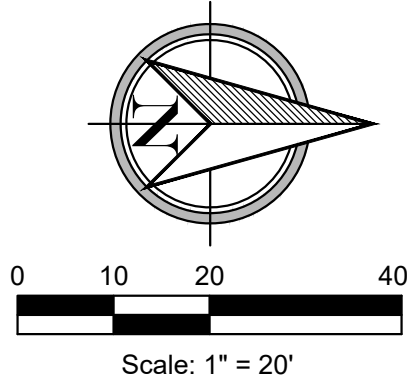
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SITE LOGISTIC PLAN

SLP-2
BIDDING

1 SITE LOGISTIC PLAN
3/32" = 1'-0"



LOCATION MAP

FEATURES LEGEND

PROPOSED	EXISTING	
		STORM MANHOLE
		STORM OVERFLOW STRUCTURE
		FLARED END SECTION
		DOWNSPOUT
		GAS METER
		STORM SEWER
		GAS LINE
		TREE REMOVAL
		ASPHALT PAVMENT REMOVAL
		PCC SIDEWALK REMOVAL
		PIPE REMOVAL
		BUILDING (GARAGE) REMOVAL

HORIZONTAL CONTROL - NAD 83			
POINT #	NORTHING	EASTING	DESCRIPTION
100	614432.2650	2435534.9860	CP SPIKE
201	614712.6500	2435573.2920	CP MAG
2000	614432.3310	2435535.0170	CHK



- DEMOLITION NOTES**
- PRIOR TO ANY EXCAVATION AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER AND/OR ENGINEER, AND CONSULT WITH OWNERS PERSONNEL AND UTILITY COMPANIES' REPRESENTATIVES TO DETERMINE POSSIBLE UTILITY LOCATIONS AND DEPTHS. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE RESULTING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
 - PROTECT ALL ITEMS WITHIN THE CONTRACT LIMITS NOT INDICATED TO BE REMOVED.
 - ANY EXISTING FACILITIES THAT ARE DAMAGED DUE TO CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
 - SAWCUT EDGES OF PAVEMENT FULL DEPTH PRIOR TO REMOVAL TO PREVENT DAMAGE TO ADJACENT SLABS AND FIXTURES.
 - CONTRACTOR SHALL KEEP REQUIRED AREAS SECURE WHEN FENCING OR OTHER BARRIERS ARE NECESSARILY REMOVED.
 - IMMEDIATELY NOTIFY ENGINEER OF UNEXPECTED SUB-SURFACE CONDITIONS. DISCONTINUE WORK IN AREA UNTIL NOTIFIED BY ENGINEER TO RESUME WORK.
 - ALL DIMENSIONS SHOWN ARE TO BACK OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
 - NOTIFY UTILITY COMPANIES TO REMOVE AND RELOCATE UTILITY SERVICES AND FACILITIES AS NEEDED.
 - COORDINATE WITH OWNER OR ADJACENT PROPERTY OWNERS AS NECESSARY WHEN SCHEDULING DISCONNECTION OF UTILITIES OR SERVICE DISRUPTIONS.
 - USE GRANULAR BACKFILL MATERIALS FOR ALL UTILITY EXCAVATIONS WITHIN 2' OF PAVED SURFACES.
 - ALL CONSTRUCTION DEBRIS SHALL BE DISPOSED OF PROPERLY OFF-SITE.

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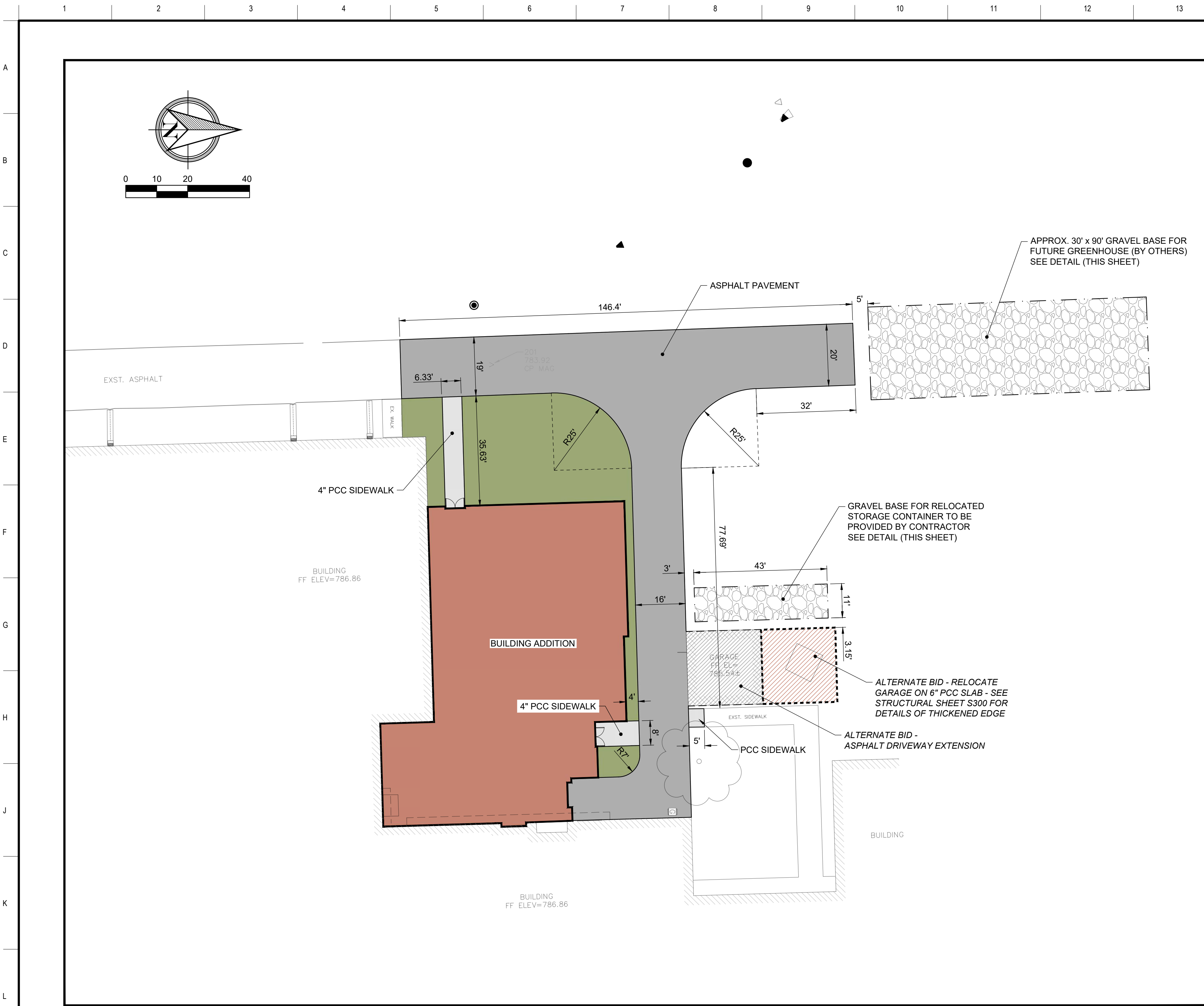
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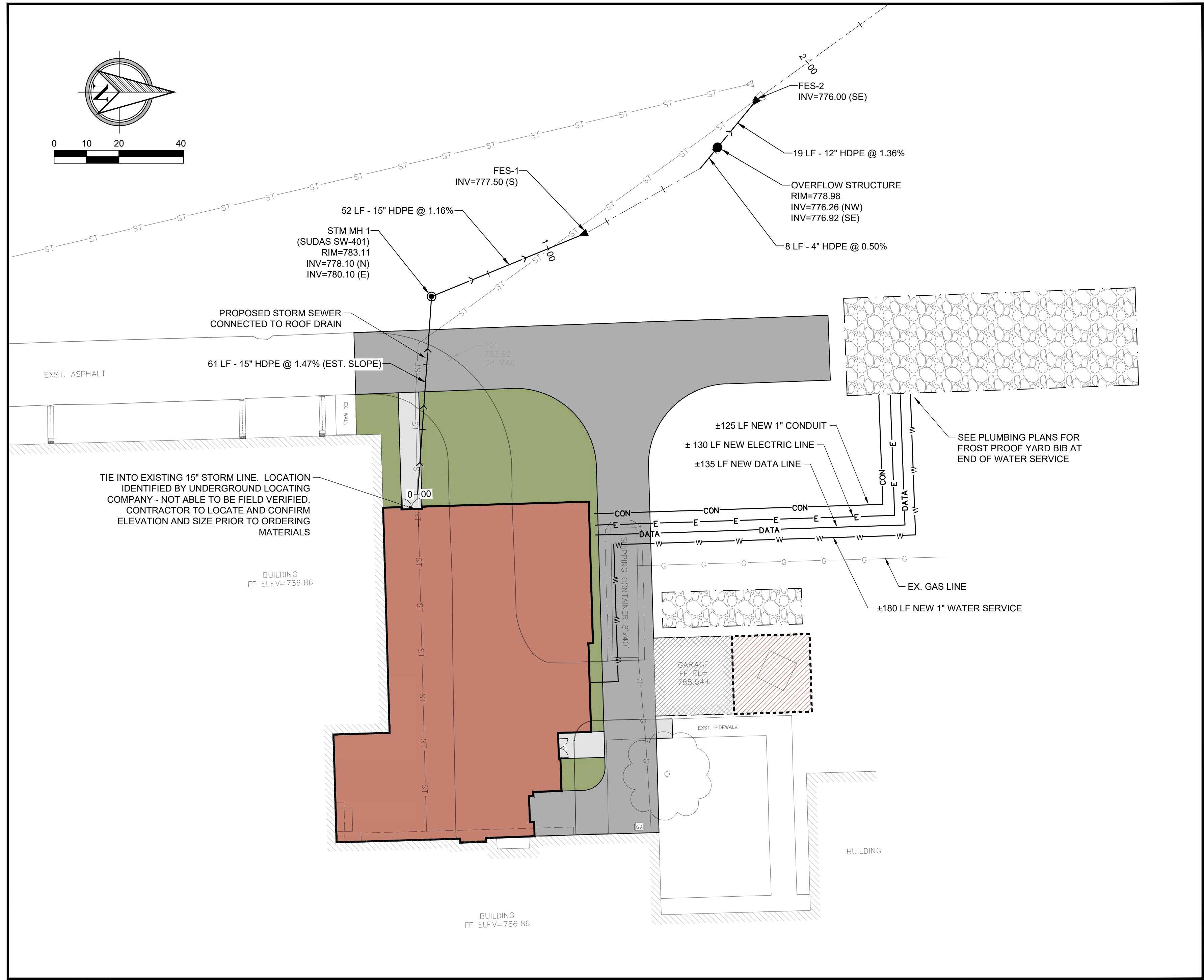
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**EXISTING CONDITIONS
& DEMOLITION PLAN**

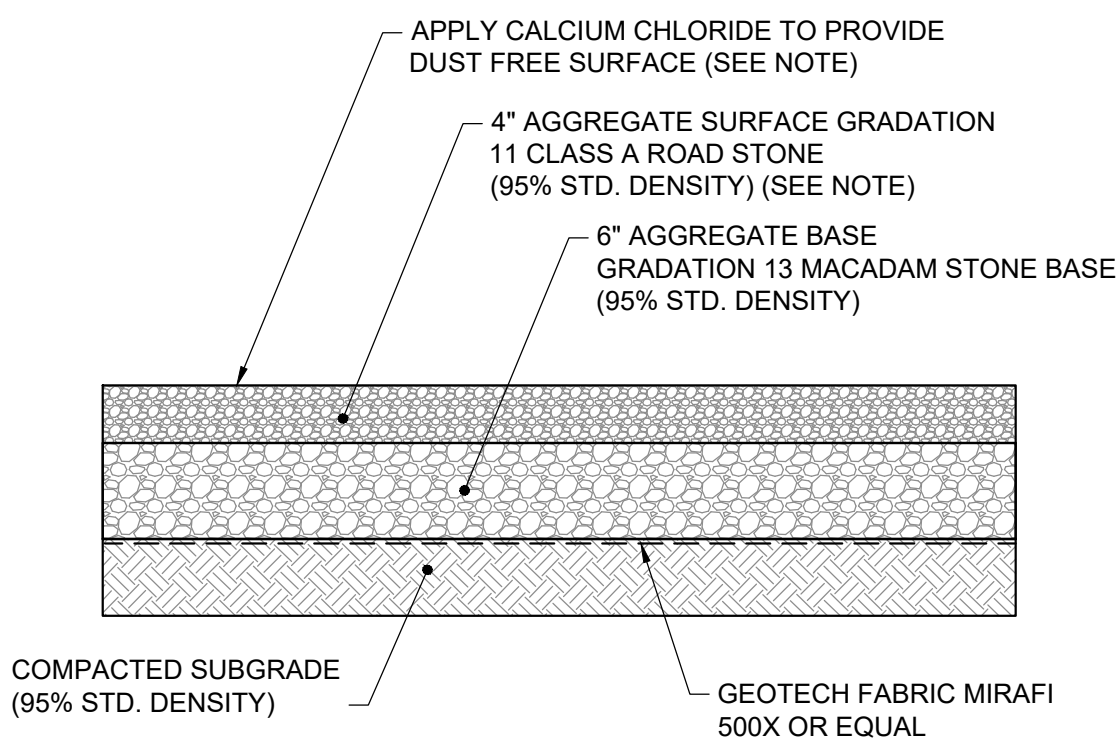
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SITE LAYOUT PLAN

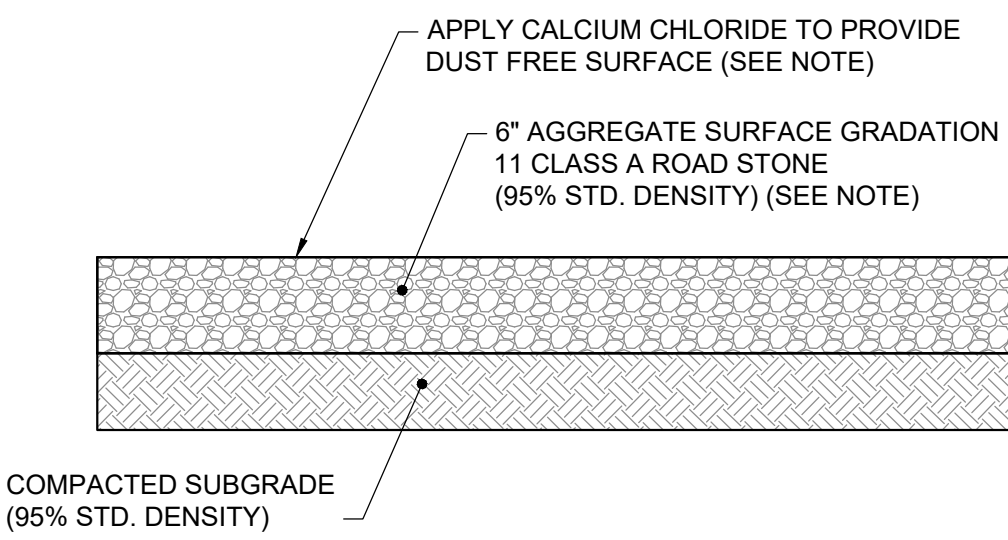


UTILITY LAYOUT PLAN



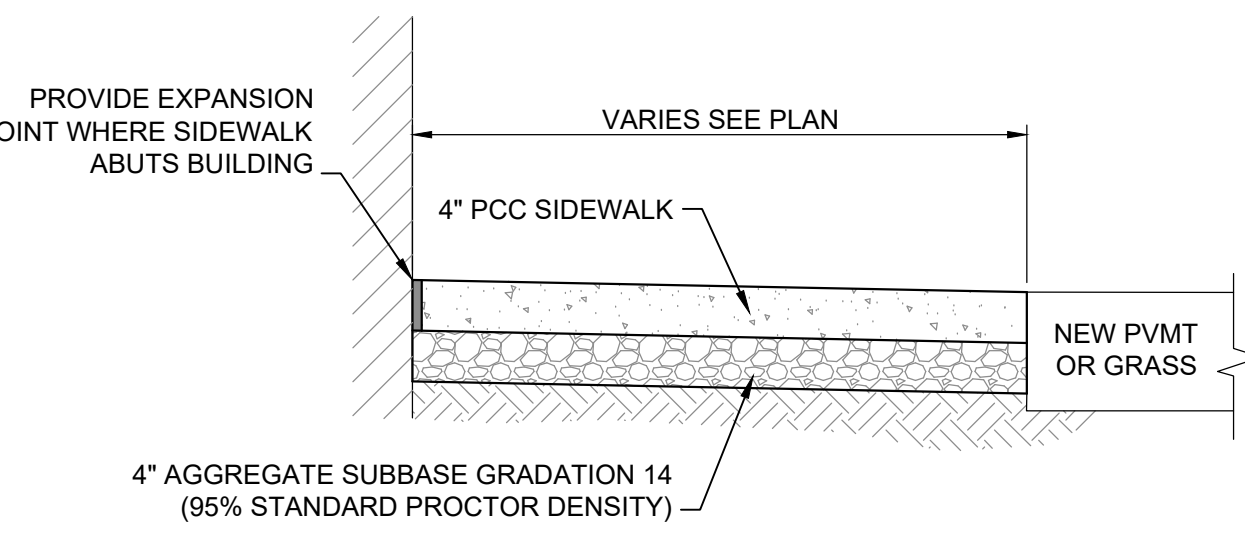
NOTE:
TO PROVIDE A DUST FREE SURFACE, IT IS ACCEPTABLE TO SUBSTITUTE 4" OF GRADATION 11 CRUSHED ASPHALT FOR THE 4" OF GRADATION 11 CLASS A ROAD STONE AND ELIMINATE THE CALCIUM CHLORIDE APPLICATION ON THE AGGREGATE.

GRANULAR SURFACING SECTION FOR RELOCATED SHIPPING CONTAINER

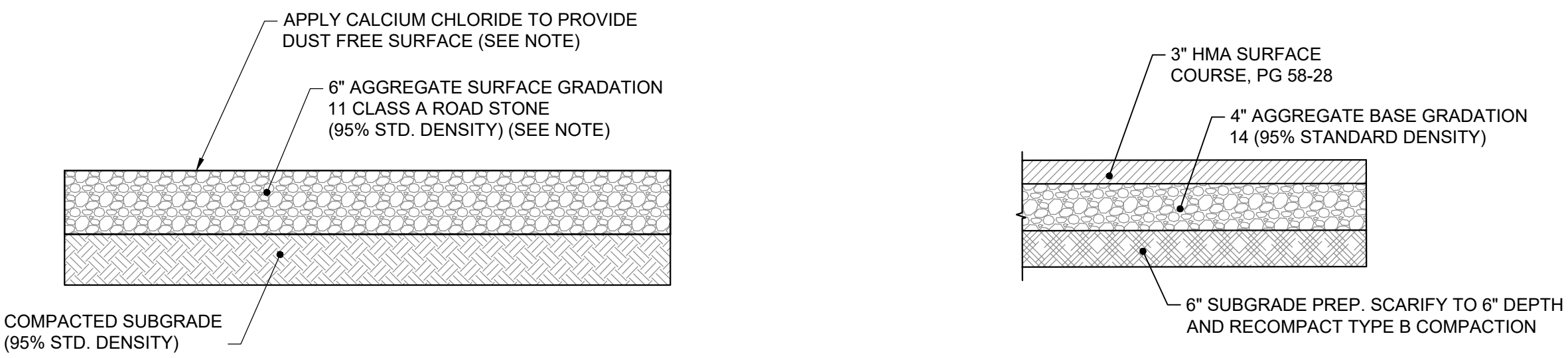


NOTE:
TO PROVIDE A DUST FREE SURFACE, IT IS ACCEPTABLE TO SUBSTITUTE 4" OF GRADATION 11 CRUSHED ASPHALT FOR THE 4" OF GRADATION 11 CLASS A ROAD STONE AND ELIMINATE THE CALCIUM CHLORIDE APPLICATION ON THE AGGREGATE.

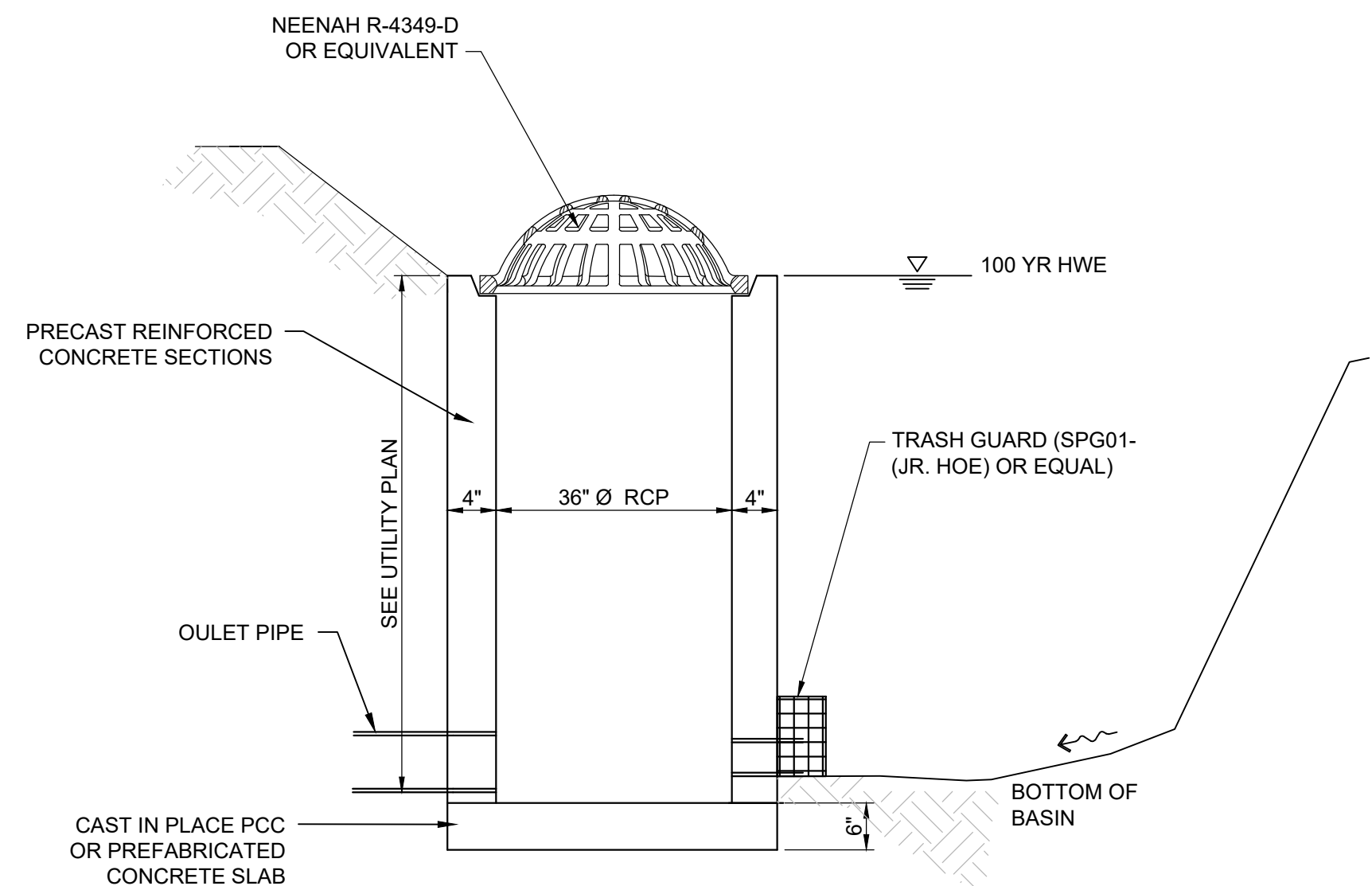
GRANULAR SURFACING SECTION FOR FUTURE GREENHOUSE



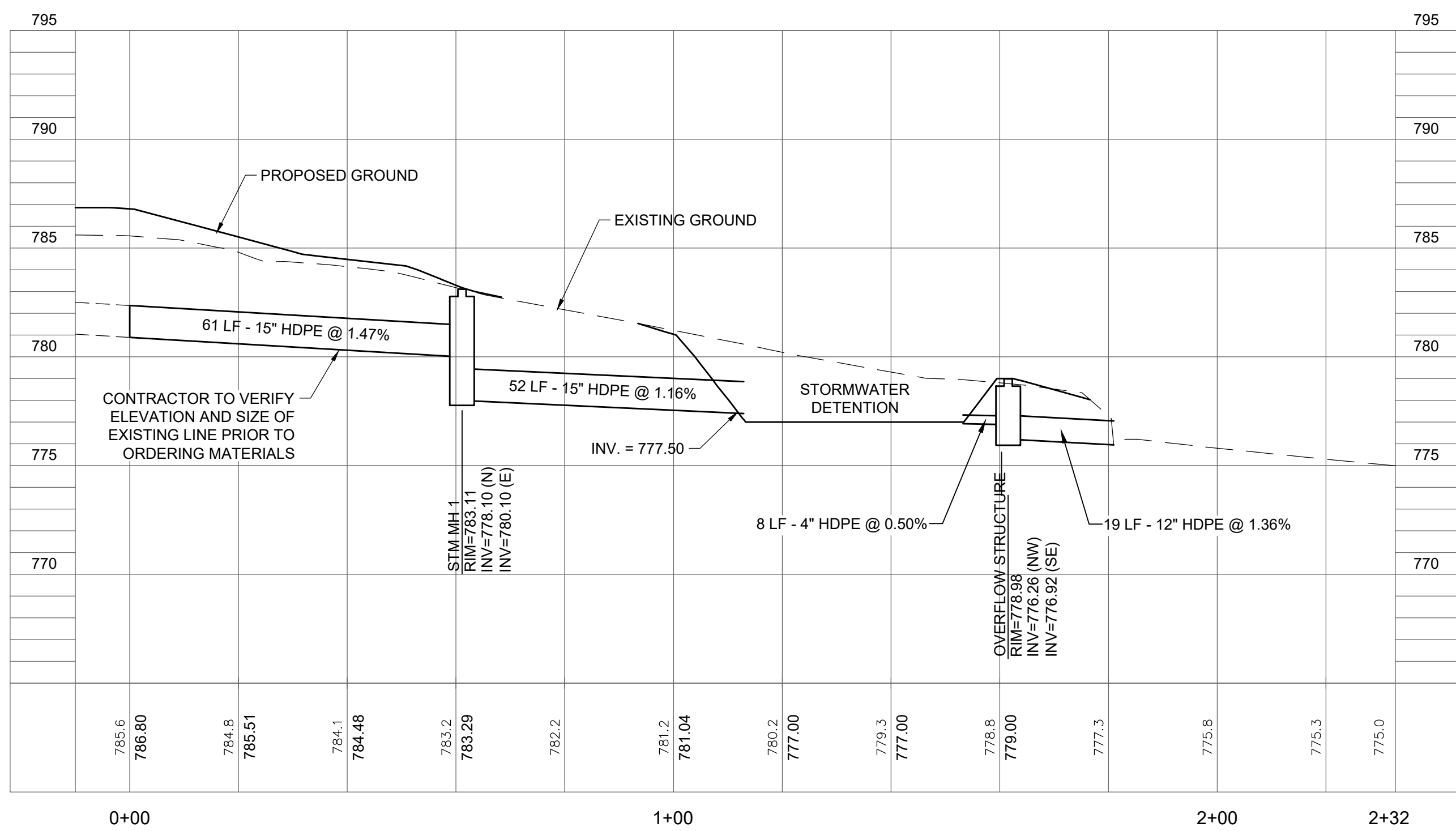
PCC SIDEWALK DETAIL - ADJACENT TO BUILDING



TYPICAL HMA PAVEMENT SECTION



TYPICAL DETENTION OUTFALL STRUCTURE



STORM SEWER PROFILE

- GENERAL NOTES:**
- ALL IMPROVEMENTS SHOWN SHALL COMPLY WITH THE CURRENT EDITIONS OF THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS), CITY OF ELDREDGE SUPPLEMENTAL SPECIFICATIONS AND STANDARD DETAILS, IOWA STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION (WHERE SPECIFIED), AND CITY OF ELDREDGE CODE OF ORDINANCES AND STANDARDS.
 - TOPOGRAPHIC SURVEY AND BOUNDARY LOCATION FOR THE SITE WAS PROVIDED BY ABBITT LAND SURVEY & DEVELOPMENT.
 - LOCATIONS OF UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES WERE DETERMINED FROM AVAILABLE SURVEYS, RECORDS, AND FIELD INVESTIGATION. THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. OTHER UTILITIES MAY ALSO EXIST THAT ARE NOT SHOWN ON THE PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES.
 - CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY CONFLICTS OR DISCREPANCIES BETWEEN THE DRAWINGS AND THE EXISTING CONDITIONS, FEATURES, OR ANY OTHER CONFLICTING INFORMATION CONTAINED IN THE PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH THE WORK.
 - CONTRACTOR SHALL PROTECT ALL ABOVE AND BELOW GRADE EXISTING UTILITIES, PAVED STREETS AND OTHER ITEMS TO REMAIN, INCLUDING ANY NOT SHOWN IN THE PLANS. DAMAGE TO EXISTING UTILITIES, PAVING OR OTHER ITEMS SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.
 - IMMEDIATELY NOTIFY ENGINEER OF UNEXPECTED SUB-SURFACE CONDITIONS. DISCONTINUE WORK IN AREA UNTIL NOTIFIED BY ENGINEER TO RESUME WORK.
 - DEVELOPER OR CONTRACTOR RESPONSIBLE FOR ALL FIELD TESTING AND MATERIALS TESTING AS MAY BE REQUIRED BY THE CITY.
 - WORK SHALL BE PERFORMED IN A MANNER WHICH PROVIDES THE LEAST INTERFERENCE AND MOST PROTECTION TO THE PUBLIC. CONTRACTOR'S OPERATIONS SUBJECT TO APPROVAL BY THE CITY PRIOR TO BEGINNING WORK.
 - CONTRACTOR SHALL KEEP REQUIRED AREAS SECURE WHEN FENCING OR OTHER BARRIERS ARE NECESSARILY REMOVED.
 - ALL DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS SHALL BE PROPERLY DISPOSED OF OFF-SITE.
 - KEEP ADJACENT PUBLIC STREETS FREE FROM SOIL AND DEBRIS GENERATED BY THE PROJECT. CLEAN SOIL AND DEBRIS FROM THE ADJACENT STREETS ON A DAILY BASIS AS SOON AS FEASIBLE.
- CONSTRUCTION STAKING AND LAYOUT NOTES:**
- CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING CONSTRUCTION LAYOUT FOR ALL CONSTRUCTION.
 - NOTIFY ENGINEER OF DISCREPANCIES BETWEEN EXISTING CONDITIONS AND DRAWINGS BEFORE PROCEEDING WITH WORK.
 - PAVING DIMENSIONS SHOWN ARE TO BACK OF CURB AND EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.
 - RADI ARE TO EDGE OF PAVEMENT OR TO BACK OF CURB LINE LOCATION UNLESS NOTED OTHERWISE.
 - SIDEWALK CURB RAMP SHALL BE BUILT IN ACCORDANCE WITH FEDERAL AND STATE ACCESSIBILITY STANDARDS.
 - SUBMIT SIDEWALK JOINTING PLAN TO ARCHITECT PRIOR TO CONSTRUCTION.
 - VERIFY LOCATION OF CURB CUTS PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL PROTECT ALL LAND CORNERS, PROPERTY PINS, AND PERMANENT REFERENCE MARKERS UNLESS NOTED OTHERWISE. LAND CORNERS, PROPERTY PINS, AND PERMANENT REFERENCE MARKERS DISTURBED BY THE CONTRACTOR SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR IN THE STATE OF IOWA AT THE CONTRACTOR'S EXPENSE.
 - STAKING ELEVATIONS SHALL BE OBTAINED FROM THE PRINTED PLANS. IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN THE PRINTED PLANS AND THE ELECTRONIC FILES BEFORE PROCEEDING WITH WORK.
 - ELECTRONIC AUTODESK CIVIL3D FILES WILL BE PROVIDED TO AID CONSTRUCTION LAYOUT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LAYOUT THE LOCATIONS AND GRADES BASED ON THE PRINTED PLANS, USING THE PROVIDED ELECTRONIC FILES FOR ASSISTANCE. IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN THE PRINTED PLANS AND THE ELECTRONIC FILES BEFORE PROCEEDING WITH WORK.
 - VERIFY ALL COORDINATES PRIOR TO CONSTRUCTION. CHECK HORIZONTAL AND VERTICAL INFORMATION INCLUDING BUT NOT LIMITED TO ALIGNMENTS, LOCATIONS, ELEVATIONS, AND DIMENSIONS, THAT EITHER THE PLANS SHOW OR THE ENGINEER PROVIDES, FOR COMPATIBILITY WITH EXISTING FIELD CONDITIONS. NOTIFY ENGINEER OF ANY DISCREPANCIES OR CONFLICTS FOR REVIEW PRIOR TO STAKING.

- PAVING NOTES:**
- SITE PAVING AND JOINTING: COMPLY WITH DETAILS ON PLANS AND SUDAS STANDARD DETAILS.

- UTILITY NOTES:**
- THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ELDREDGE CODE OF ORDINANCES, CURRENT EDITION OF STATEWIDE URBAN STANDARDS AND SPECIFICATIONS (SUDAS), CITY OF ELDREDGE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION (WHERE SPECIFIED), AND CITY OF ELDREDGE CODE OF ORDINANCES AND STANDARDS.
 - LOCATION OF UNDERGROUND UTILITIES SHOULD BE CONSIDERED AS APPROXIMATE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT EACH UTILITY COMPANY AND IOWA ONE-CALL FOR LOCATION OF EXISTING LINES IN OR NEAR THE CONSTRUCTION AREA. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY CONFLICTS BETWEEN THE DRAWINGS AND THE EXISTING FEATURES.
 - CONTRACTOR SHALL PROTECT ALL ABOVE AND BELOW GRADE EXISTING UTILITIES, PAVED STREETS AND OTHER ITEMS TO REMAIN, INCLUDING ANY NOT SHOWN IN THE PLANS. CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY OF ANY MAJOR CONFLICTS BETWEEN THE DRAWING AND THE EXISTING FEATURES. DAMAGE TO EXISTING UTILITIES, PAVING OR OTHER ITEMS SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.
 - NOTIFY UTILITY COMPANIES TO REMOVE AND RELOCATE UTILITIES IF NEEDED.
 - COORDINATE WITH OWNER AND ADJOINING PROPERTIES WHEN SCHEDULING DISCONNECTION OF UTILITIES OR SERVICE DISRUPTIONS.
 - USE GRANULAR BACKFILL MATERIALS FOR ALL UTILITY EXCAVATIONS WITHIN 2' OF PAVED SURFACES.
 - ADJUSTMENTS OF UTILITY FIXTURES, VALVES, AND CASTINGS SHALL BE INCIDENTAL TO THE PAVEMENT AND GRADING ITEMS, UNLESS NOTED OTHERWISE. ANY DAMAGE MADE TO UTILITIES DURING ADJUSTMENT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR.
 - EXISTING UTILITY MARKERS SHALL BE CAREFULLY REMOVED, STORED, AND REINSTALLED AS REQUIRED FOR CONSTRUCTION. UTILITY MARKERS LOST OR DESTROYED SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

- STORM SEWER NOTES:**
- SEE CITY OF ELDREDGE SPECIFICATIONS FOR ALLOWABLE PIPE MATERIALS.
 - LENGTHS OF PIPE RUNS SHOWN ARE MEASURED FROM CENTER TO CENTER OF STRUCTURES. SLOPES AND LENGTHS ARE BASED UPON THOSE MEASUREMENTS.
 - ADHERE TO ALL IOWA DNR WATER AND SEWER SEPARATION REQUIREMENTS.

- TRENCH EXCAVATION AND BACKFILL:**
- EXCAVATE TRENCH TO UNIFORM WIDTHS AS SHOWN IN STANDARD DETAILS. TRENCH BOTTOM SHALL PROVIDE A SMOOTH, FIRM, STABLE, AND ROCK FREE FOUNDATION FOR THE ENTIRE LENGTH OF THE PIPE.
 - FOR UTILITIES IN FILL, CONSTRUCT COMPACTED EMBANKMENT TO A MINIMUM OF 2' ABOVE TOP OF PIPE ELEVATION PRIOR TO TRENCHING.
 - NOTIFY OWNER IF UNSUITABLE MATERIALS EXIST IN THE TRENCH. OVEREXCAVATE AS DEEMED NECESSARY BY THE OWNER, AND INSTALL TRENCH STABILIZATION MATERIAL BELOW THE BEDDING ELEVATION TO PROVIDE FOR PROPER PIPE OR STRUCTURE SUPPORT.
 - BACKFILL WITH GRANULAR MATERIALS AS SPECIFIED ABOVE TO 1' ABOVE PIPE FOR FLEXIBLE PIPE MATERIALS AND TO SPRINGLINE FOR RIGID PIPE MATERIALS.
 - REMAINDER OF TRENCH SHALL BE BACKFILLED WITH SUITABLE EXCAVATED MATERIALS IN LOCATIONS BEYOND 2' OF PAVED SURFACES. USE GRANULAR BACKFILL MATERIALS WITHIN 2' OF PAVED SURFACES AS SPECIFIED ABOVE.
 - PLACE AND COMPACT SPECIFIED BACKFILL MATERIALS TO THE PROPOSED SUBGRADE OR SURFACE ELEVATIONS. COMPACT TO 95% OF STANDARD PROCTOR DENSITY BENEATH PAVEMENT AND WITHIN PUBLIC RIGHT-OF-WAY AND 90% OF STANDARD PROCTOR DENSITY IN OTHER LOCATIONS.

UTILITY NOTE

ALL UTILITIES, MAINS, SERVICE CONNECTIONS, AND STRUCTURES ARE APPROXIMATE ONLY AND WERE OBTAINED FROM RECORDS MADE AVAILABLE TO THE ENGINEER. THERE MAY BE OTHER EXISTING UTILITIES, MAINS, SERVICE CONNECTIONS, AND STRUCTURES NOT KNOWN AND NOT SHOWN ON THIS THESE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATION, DEPTH, AND SIZE OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. CALL IOWA ONECALL (1-800-292-8889) FOR UTILITY LOCATES A MINIMUM OF 48-HOURS PRIOR TO DIGGING. REVIEW EXISTING UTILITY RECORDS SUPPLIED BY THE ARCHITECT AND PERFORM EXPLORATORY DIGGING AS NECESSARY TO VERIFY UTILITIES PRIOR TO ORDERING MATERIALS AND CONSTRUCTION OF IMPROVEMENTS.

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ADDITION AND RENOVATIONS TO JUNIOR HIGH

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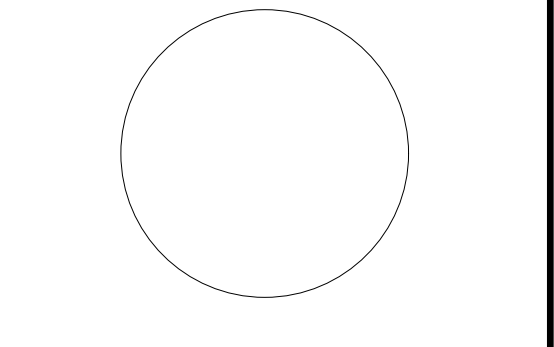
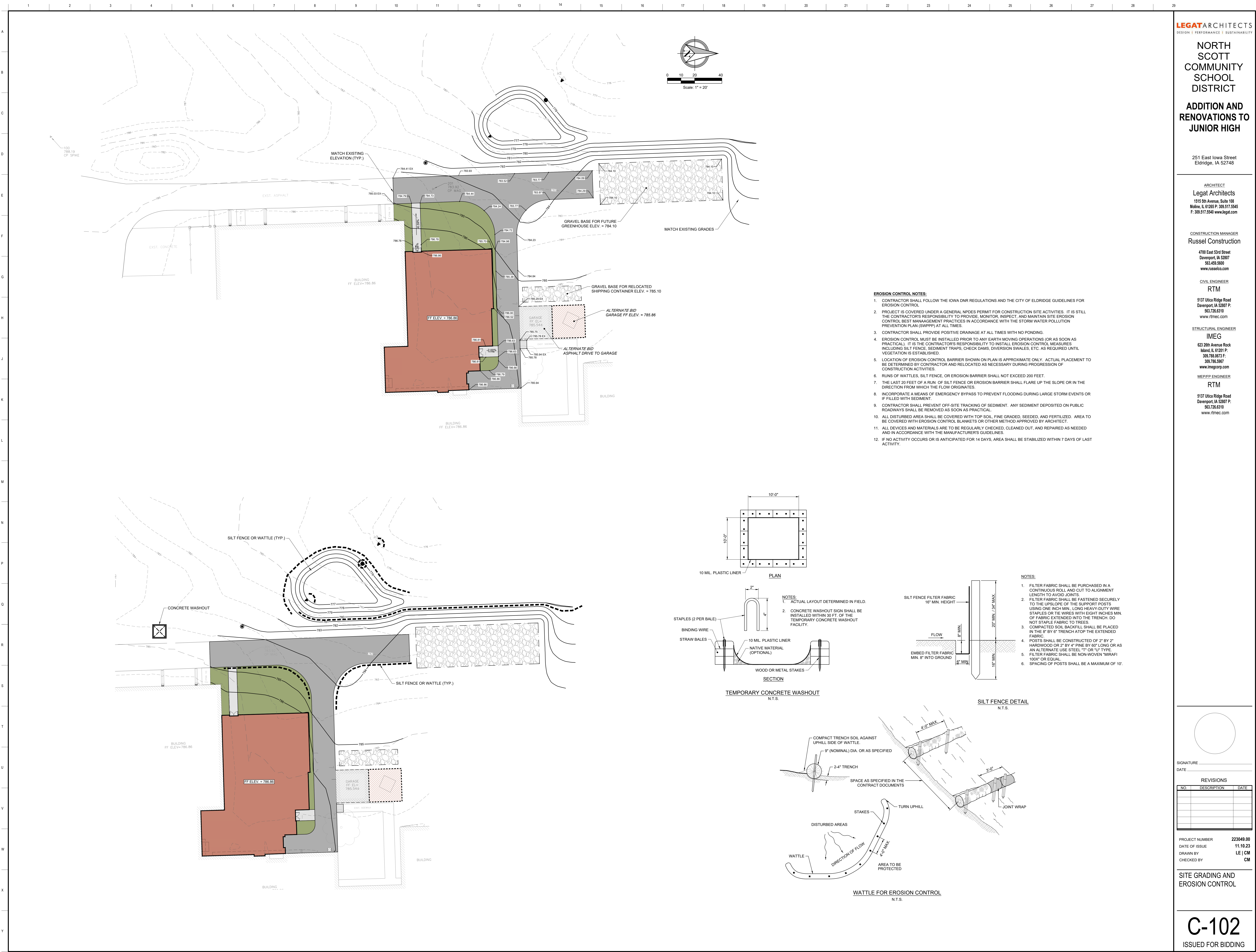
DATE _____

REVISIONS

NO.	DESCRIPTION	DATE

PROJECT NUMBER 223049.00
DATE OF ISSUE 11.10.23
DRAWN BY LE | CM
CHECKED BY CM

SITE LAYOUT AND UTILITY PLAN



SIGNATURE _____

DATE _____

REVISIONS		
NO.	DESCRIPTION	DATE

PROJECT NUMBER 223049.00
DATE OF ISSUE 11.10.23
DRAWN BY LE | CM
CHECKED BY CM

SITE GRADING AND
EROSION CONTROL

NORTH
SCOTT
COMMUNITY
SCHOOL
DISTRICT

ADDITION AND
RENOVATIONS TO
JUNIOR HIGH

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MEPE/PM

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DESIGN CRITERIA

1. STRUCTURE HAS BEEN DESIGNED TO COMPLY WITH:

- IBC 2015
- ASCE 7-10
- ACI 318-14
- AISC 360-10
- AISI S100
- AWS D1.1, AND D1.3
- RISK CATEGORY III
- LIVE LOADS:
 - 20 PSF (REDUCIBLE)
- TYPICAL ROOF:
 - SNOW: 25 PSF
- GROUND SNOW:
 - 25 PSF
- SNOW EXPOSURE FACTOR:
 - 1.0
- THERMAL FACTOR:
 - 1.0
- IMPORTANCE FACTOR:
 - 1.1
- FLAT ROOF SNOW:
 - 22 PSF
- SEE S-001 FOR SNOW DRIFT PLAN

5. SEISMIC:

SEISMIC DESIGN CATEGORY

IMPORTANCE FACTOR

SOIL CLASS

Ss

Ss1

Ss2

Ss3

Ss4

Ss5

Ss6

Ss7

Ss8

Ss9

Ss10

Ss11

Ss12

Ss13

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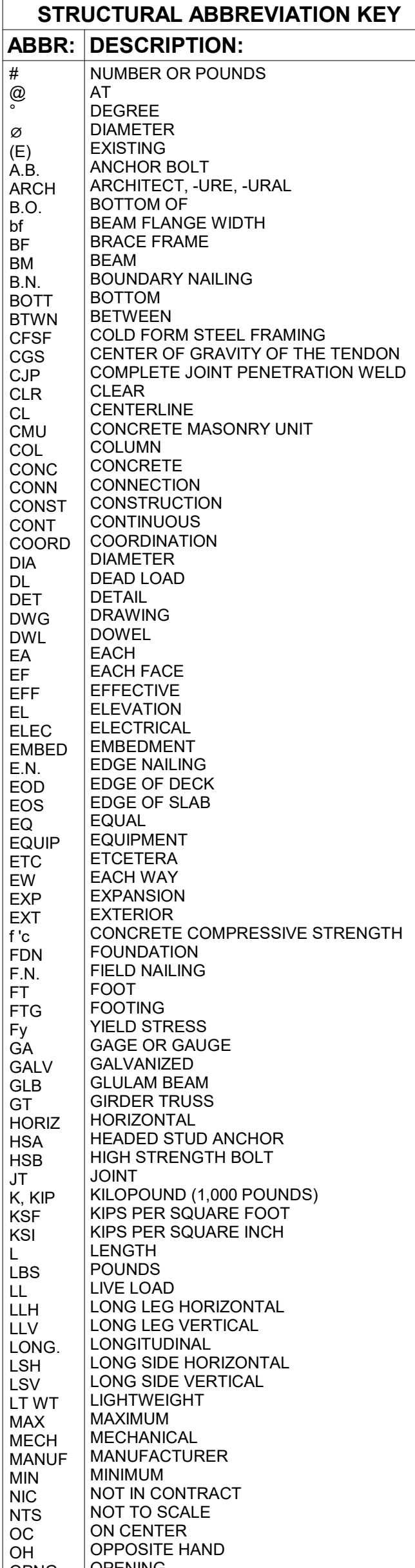
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Ss293

VIATION



STEEL SYMBOLS:		
SYMBOL	DESCRIPTION	DETAIL REFERENCE
	STEEL DECK (DIRECTION)	N/A



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[illegible]

PROJECT	223049.00
DATE OF ISSUE	11.10.23
DRAWN BY	ARUMON
CHECKED BY	TODBAR

GENERAL NOTES

S-001
BIDDING

CMU WALL REINFORCING SCHEDULE				
MARK	WALL THICKNESS	VERTICAL REINFORCEMENT	HORIZONTAL REINFORCEMENT	REMARKS
MW1	8"	#5 @ 32" OC	SEE NOTE 1	-
MW2	8"	#5 @ 16" OC	#5 @ 48" OC (SEE NOTE 2)	-
MW3	8"	#5 @ 32" OC	#5 @ 48" OC	FIREWALL SEE ARCH

- NOTES:
1. TYP. HORIZ. REINF. PER SPECIFICATIONS AND IS INTENDED TO BE A DUOWALL - TRUSS TYPE OR EQUIVALENT @ 18" OC.
 2. LOCATE FIRST LAYER OF HORIZONTAL BARS AT 8" MAX. FROM BASE WALL, AND FROM TOP AND BOTTOM OF WALL OPENINGS.
 3. REINFORCED CORES ARE ALWAYS GROUTED.
 4. SEE S-400 FOR TYP. CMU DETAILING.
 5. REINFORCE NON-STRUCTURAL CMU WALL WITH #4 @ 120" OC.

FOUNDATION WALL REINFORCING SCHEDULE				
WALL THICKNESS	HORIZONTAL	VERTICAL	REMARKS	
	EXTERIOR FACE	INTERIOR FACE	EXTERIOR FACE	INTERIOR FACE
0" TO 10"	#5 @ 12" OC	-	#5 @ 12" OC	-
1'-0" TO 1'-4"	#5 @ 12" OC	#5 @ 12" OC	#5 @ 12" OC	#5 @ 12" OC

- NOTE:
1. CENTERED IN WALL THICKNESS.

CONTINUOUS FOOTING SCHEDULE				
MARK	WIDTH	THICKNESS	LONG DIRECTION	SHORT DIRECTION
CF2.0	2'-0"	1'-0"	(2) #5	#5 @ 12" OC
CF3.0	3'-0"	1'-0"	(3) #5	#5 @ 12" OC
CF3.5	3'-6"	1'-0"	(4) #5	#5 @ 12" OC

SPREAD FOOTING SCHEDULE				
MARK	E-W DIRECTION	N-S DIRECTION	THICKNESS	REINFORCING
SF4.0	4'-0"	4'-0"	1'-0"	(3) #5
				(4) #5

- NOTES:
1. SEE S-300 FOR TYPICAL SLAB ON GRADE CONSTRUCTION DETAILS.
 2. TOP OF FOUNDATION WALL EL. 100'-0". UON. REFER TO THIS SHEET FOR SCHEDULES.
 3. TOP OF INTERIOR FOOTING EL. 96'-4". UON.
 4. SEE S-300 FOR OVER-EXCAVATION IS REQUIRED PER GEOTECHNICAL ENGINEER. SEE THIS SHEET FOR DETAILS.
 5. SEE S-300 FOR BASE PLATE DETAILS.
 6. TOP OF PIER EL. 98'-4". UON. SEE S-300 FOR DETAILS.
 7. PROVIDE THICKENED SLAB UNDER ALL NON-STRUCTURAL CMU WALLS. SEE S-300 FOR SLAB DETAIL AND ARCHITECTURAL PLANS FOR EXTENT AND LOCATIONS.
 8. FOR PIERING AND CONDUIT THROUGH FOUNDATIONS. SEE S-5-300.
 9. SEE THIS SHEET FOR CMU WALL SCHEDULE.
 10. SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT GIVEN HERE.

- KEYNOTES: (E) (S)
1. PROVIDE 1" EXPANSION JOINT PER 25'-0". SEE ARCHITECTURAL DRAWINGS FOR FIRE SAFETY INFORMATION.
 2. HSS4x4x3/8 POST CENTERED WITHIN CMU BLOCK.
 3. ALTERNATE BID: PROVIDE 6" SLAB-ON-GRADE #5 @ 12" OC EACH WAY T.O. SLAB EL. (99'-0"). SLAB SHALL HAVE THICKENED EDGES PER S-5-300.
 4. BASE BID: DEMO (E) SLAB UNDER NEW NON-STRUCTURAL CMU WALL TO PROVIDE THICKENED SLAB PER S-5-300. ALTERNATE BID: DEMO FULL EXTEND OF (E) SLAB. PROVIDE NEW 8" CONCRETE SLAB-ON-GRADE WITH 6W2.1W2.1 WWR. T.O. SLAB EL. (100'-0").
 5. DEMO AND REPLACE (E) SLAB FOR NEW SANITARY LINE. CONTRACTOR TO COORDINATE DEMO SLAB WITH MECHANICAL DRAWINGS. PROVIDE 4" CONCRETE SLAB-ON-GRADE WITH W2.1W2.1 WWR. SEE S-5-300 FOR MORE REINFORCING REQUIREMENTS.
 6. (E) 8" CONC WALL FOR STOOP. DEMO TOP TWO FEET OF (E) CONCRETE STOOP. SEE TYPICAL SLAB ON GRADE CONSTRUCTION DETAILS AND S-5-300 FOR MORE INFORMATION.

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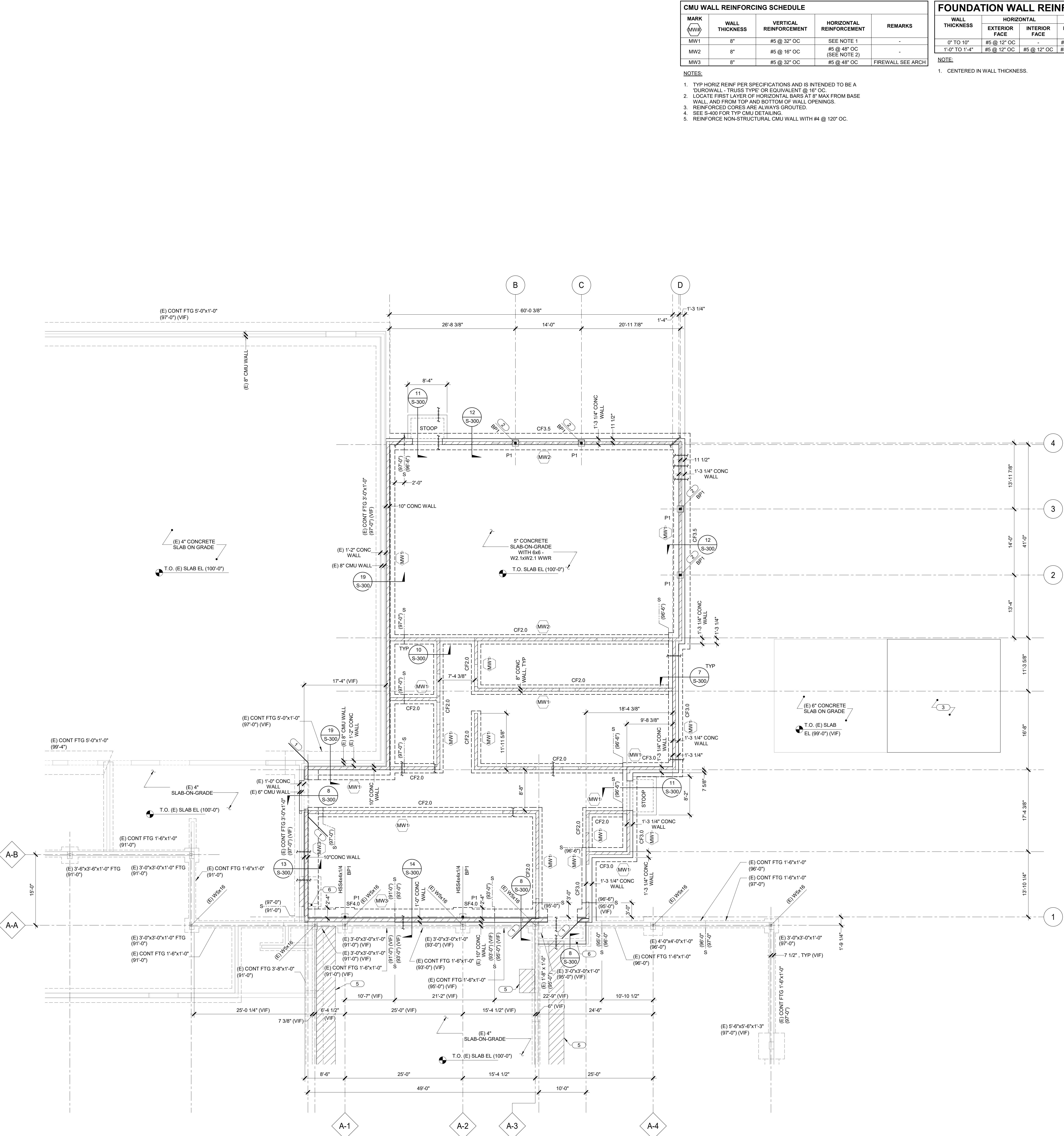
FOUNDATION PLAN

S-100
BIDDING

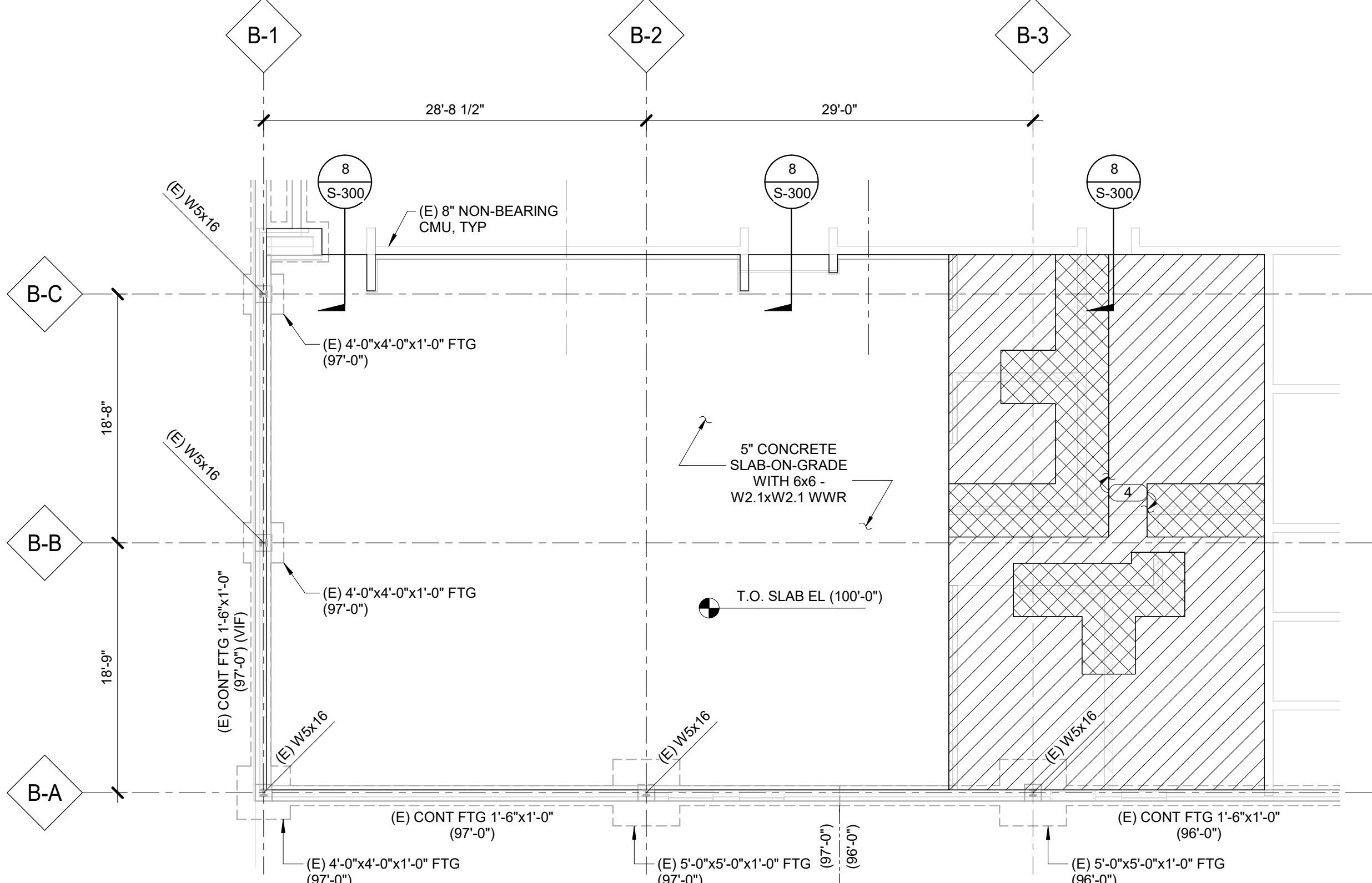
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REF. SCALE IN INCHES: 1" = 1'-0"



1 FOUNDATION PLAN - MODULE A
1/8" = 1'-0"



2 FOUNDATION PLAN - MODULE B
1/8" = 1'-0"

NOTES:

1. SEE PLAN FOR DECK HEARING BEARING WALLS.
2. SEE S-500 FOR TYPICAL SHEAR CONNECTION DETAILS.
3. SEE S-150 FOR CMU WALL SCHEDULE. TOP OF WALLS EL. (14'-4") UON.
4. SEE THIS SHEET FOR UNITS IN STRUCTURAL CMU WALLS AND UNITS IN STRUCTURAL CMU FOUNDATION WALLS. SEE S-500 FOR UNITS IN NON-STRUCTURAL WALLS.
5. PROVIDE SINGLE DEEP FRAME JOINTS FOR JOINT OPENINGS PER S-500.
6. SEE S-250 FOR JOINT REINFORCING WHERE CONCENTRATED REINFORCING IS REQUIRED.
7. SEE ARCHITECTURAL AND FOUNDATION DRAWINGS FOR DIMENSIONS NOT GIVEN HERE.
8. FASTENING WAS NOT SHOWN OR DETAILING ON EQUIPMENT SCHEDULE. PLAN NOTIFY ENGINEER IF ACTUAL EQUIPMENT LOCATIONS AND WEIGHTS DIFFER FROM WEIGHTS AND LOCATIONS SHOWN.
9. PROVIDE CSO FROM UNITS TO CURB PER 12S-500.

KEYNOTES: #

1. 1/2 (20GA) TYPE B STEEL DECK 2" SPAN MINIMUM. FASTENING 36K(1) WITH 5/8" PUDLE WEILDS AND 1/2 SPAN MINIMUM SCREWS. SEE S-500 FOR UNITS IN NON-STRUCTURAL WALLS.
2. MASONRY (LVL) AT CMU WALL. SEE 13S-340 FOR MORE INFORMATION.
3. L4X3 (2X3S LVL) LOOSE LINTEL ABOVE WINDOWS FOR BRICK REVEAL. SEE S-500 FOR UNITS IN NON-STRUCTURAL WALLS.
4. MASONRY (LVL) 2" DEEP LINTEL OVER DOORWAY. SEE S-500 FOR INFORMATION. NEE LINTEL IN EXISTING WALL SHALL ONLY BEAR ON EXISTING MASONRY.
5. BRICK REVEAL PER 18S-400.
6. CONCRETE BEAMS FOR CONCRETE FRAMING FOR MORE INFORMATION. SEE 18S-400.
7. MECHANICAL UNIT UNDER ALTERNATE BID. PROVIDE AND PLACE AS NOTED. SEE S-500 FOR MORE INFO. PROVIDE 1" RTU INSTALLATION.
8. PROVIDE 1" INSULATED ACOUSTICAL ROOF DECK. 2" SPAN MINIMUM. FASTENING 32S (2) WITH 5/8" PUDLE WEILDS AND 1/2 SPAN MINIMUM. SEE S-500 FOR UNITS IN NON-STRUCTURAL WALLS.
9. INFILL EXISTING OPENING WITH (4") (VF) CMU AND BRICK VENEER. EXISTING MASONRY IS NON-BEARING.
10. EXISTING 12" MED. DENSITY CONCRETE CMU WALL. LOCATE OPENING ABOVE LARGER OPENING. ALL OPENINGS SHALL BE 8" MINIMUM CLEARANCE TO THE PRIMED AND PAINTED PER ARCHITECTURAL SPECS.
11. EXISTING 12" MED. DENSITY CONCRETE CMU WALL. LOCATE OPENING ABOVE LARGER OPENING. ALL OPENINGS SHALL BE 8" MINIMUM CLEARANCE TO THE PRIMED AND PAINTED PER ARCHITECTURAL SPECS.
12. PROVIDE 12S-400 TOP OF HISS POST DETAIL.
13. TOP OF WALL ELEVATION CHANGE.

RTM
5137 Utica Ridge Road
Davenport, IA 52807
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www.rtmec.com

 **1** **ROOF FRAMING PLAN - MODULE A**
1/8" = 1'-0"

 **2** **(E) FRAMING PLAN - MODULE B**
1/8" = 1'-0"

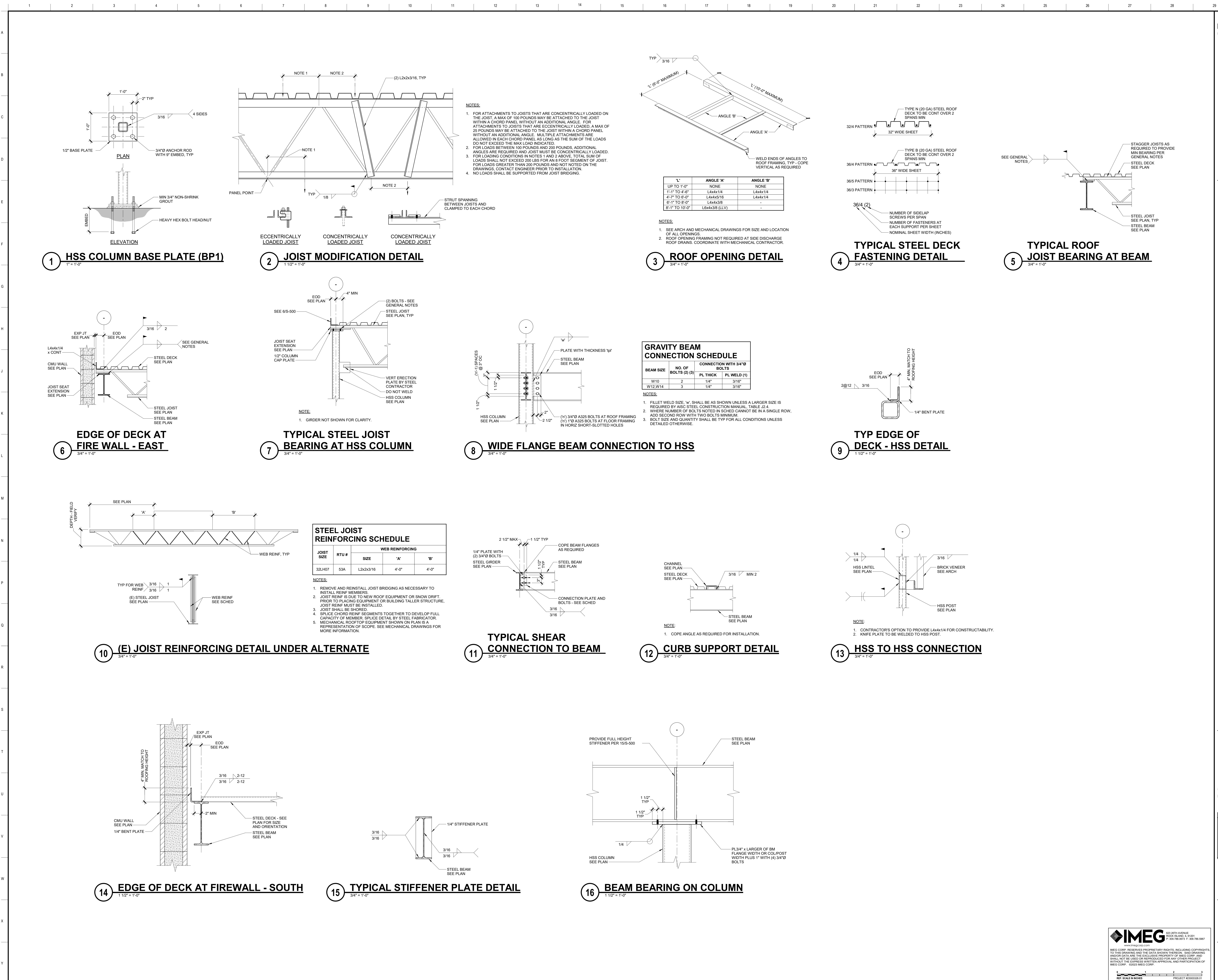
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DATE OF ISSUE	11.10.23
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ROOF FRAMING PLAN

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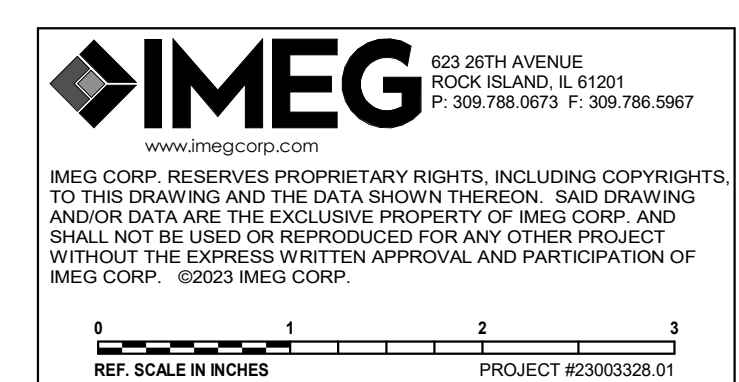
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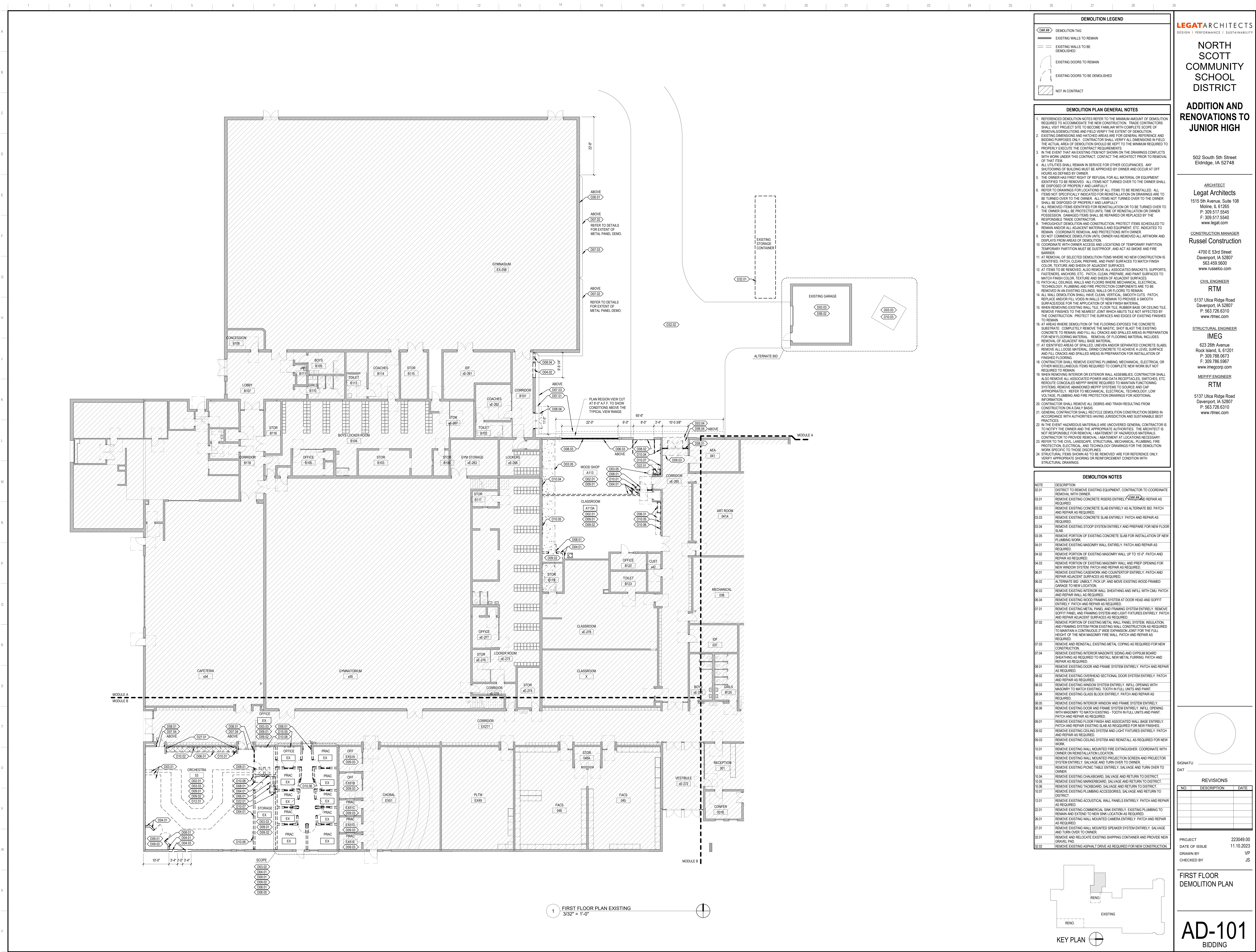
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STEEL DETAILS

S-500
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- DEMOLITION LEGEND
- DEMOLITION TAG

EXISTING WALLS TO REMAIN

EXISTING WALLS TO BE DEMOLISHED

EXISTING DOORS TO REMAIN

EXISTING DOORS TO BE DEMOLISHED

NOT IN CONTRACT
- DEMOLITION PLAN GENERAL NOTES
1. REFERENCED DEMOLITION NOTES REFER TO THE MINIMUM AMOUNT OF DEMOLITION REQUIRED TO ACCOMMODATE THE NEW CONSTRUCTION. TRADE CONTRACTORS SHALL VISIT PROJECT SITE TO BECOME FAMILIAR WITH COMPLETE SCOPE OF REMOVALS/DEMOLITIONS AND FIELD VERIFY THE EXTENT OF DEMOLITION.

2. EXISTING DIMENSIONS AND HATCHED AREAS ARE FOR GENERAL REFERENCE AND BIDDING PURPOSES ONLY. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD. THE ACTUAL AREA OF DEMOLITION SHOULD BE KEPT TO THE MINIMUM REQUIRED TO PROPERLY EXECUTE THE CONTRACT REQUIREMENTS.

3. IN THE EVENT THAT AN EXISTING ITEM NOT SHOWN ON THE DRAWINGS CONFLICTS WITH WORK UNDER THIS CONTRACT, CONTACT THE ARCHITECT PRIOR TO REMOVAL OF THAT ITEM.

4. ALL UTILITIES SHALL REMAIN IN SERVICE FOR OTHER OCCUPANCIES. ANY SHUTOFFS OF BUILDING MUST BE APPROVED BY OWNER AND OCCUR AT OFF HOURS AS DEFINED BY OWNER.

5. THE OWNER HAS FIRST RIGHT OF REFUSAL FOR ALL MATERIAL OR EQUIPMENT IDENTIFIED TO BE REMOVED. ALL ITEMS NOT TURNED OVER TO THE OWNER SHALL BE DISPOSED OF PROPERLY AND LAWFULLY.

6. REFER TO DRAWINGS FOR LOCATIONS OF ALL ITEMS TO BE REINSTALLED. ALL ITEMS NOT SPECIFICALLY INDICATED FOR REINSTALLATION ON DRAWINGS ARE TO BE TURNED OVER TO THE OWNER. ALL ITEMS NOT TURNED OVER TO THE OWNER SHALL BE DISPOSED OF PROPERLY AND LAWFULLY.

7. ALL REMOVED ITEMS IDENTIFIED FOR REINSTALLATION OR TO BE TURNED OVER TO THE OWNER SHALL BE PROTECTED UNTIL TIME OF REINSTALLATION OR OWNER POSSESSION. DAMAGED ITEMS SHALL BE REPAIRED OR REPLACED BY THE RESPONSIBLE TRADE CONTRACTOR.

8. THROUGHOUT DEMOLITION AND CONSTRUCTION, PROTECT ITEMS SCHEDULED TO REMAIN AND/OR ALL ADJACENT MATERIALS AND EQUIPMENT, ETC. INDICATED TO REMAIN. COORDINATE REMOVAL AND PROTECTION WITH OWNER.

9. DO NOT COMMENCE DEMOLITION UNTIL OWNER HAS REMOVED ALL ARTWORK AND DISPLAYS FROM AREAS OF DEMOLITION.

10. COORDINATE WITH OWNER ACCESS AND LOCATIONS OF TEMPORARY PARTITION. TEMPORARY PARTITION MUST BE DUSTPROOF, AND ACT AS SMOKE AND FIRE BARRIER.

11. AT REMOVAL OF SELECTED DEMOLITION ITEMS WHERE NO NEW CONSTRUCTION IS IDENTIFIED, PATCH, CLEAN, PREPARE, AND PAINT SURFACES TO MATCH FINISH COLOR, TEXTURE AND SHEEN OF ADJACENT SURFACES.

12. AT ITEMS TO BE REMOVED, ALSO REMOVE ALL ASSOCIATED BRACKETS, SUPPORTS, FASTENERS, ANCHORS, ETC. PATCH, CLEAN, PREPARE, AND PAINT SURFACES TO MATCH FINISH COLOR, TEXTURE AND SHEEN OF ADJACENT SURFACES.

13. PATCH ALL CEILING, WALLS AND FLOORS WHERE MECHANICAL, ELECTRICAL, TECHNOLOGY, PLUMBING AND FIRE PROTECTION COMPONENTS ARE TO BE REMOVED IN AN EXISTING CEILING, WALLS OR FLOORS TO REMAIN.

14. ALL WALL DEMOLITION SHALL HAVE CLEAN, VERTICAL, SMOOTH CUTS. PATCH, REPLACE AND/OR FILL VOIDS IN WALLS TO REHABILITATE A SMOOTH SURFACE. PATCH, CLEAN, PREPARE, AND PAINT SURFACES TO MATCH FINISH COLOR, TEXTURE AND SHEEN OF ADJACENT SURFACES.

15. WHEN REMOVING EXISTING WALL, FLOOR TILE, RUBBER BASE OR CEILING TILE, REMOVE FINISHES TO THE NEAREST JOINT WHICH ABUTS THE NOT AFFECTED BY THE CONSTRUCTION. PROTECT THE SURFACES AND EDGES OF EXISTING FINISHES TO REMAIN.

16. AT AREAS WHERE DEMOLITION OF THE FLOORING EXPOSES THE CONCRETE SUBSTRATE, COMPLETELY REMOVE THE MASTIC, SHOT BLAST THE EXISTING CONCRETE TO REHABILITATE, AND FILL ALL CRACKS AND SPALLS AREAS IN PREPARATION FOR NEW FLOORING MATERIAL. REMOVAL OF FLOORING MATERIAL INCLUDES REMOVAL OF ADJACENT WALL BASE MATERIAL.

17. AT IDENTIFIED AREAS OF SPALLED, UNEVEN AND/OR SEPARATED CONCRETE SLABS, REMOVE ALL LOOSE MATERIAL, GRAVEL CONCRETE TO ACHIEVE LEVEL SURFACE AND FILL CRACKS AND SPALLS AREAS IN PREPARATION FOR INSTALLATION OF FINISHED FLOORING.

18. CONTRACTOR SHALL REMOVE EXISTING PLUMBING, MECHANICAL, ELECTRICAL OR OTHER MISCELLANEOUS ITEMS REQUIRED TO COMPLETE NEW WORK BUT NOT REQUIRED TO REMAIN.

19. WHEN REMOVING INTERIOR OR EXTERIOR WALL ASSEMBLIES, CONTRACTOR SHALL ALSO REMOVE ALL ASSOCIATED POWER AND DATA RECEPTACLES, SWITCHES, ETC. REROUTES CONCEALED MEPPF WHERE REQUIRED TO MAINTAIN FUNCTIONING SYSTEMS. REMOVE ABANDONED MEPPF SYSTEMS TO SOURCE AND CAP APPROPRIATELY. REFER TO MECHANICAL, ELECTRICAL, TECHNOLOGY, LOW VOLTAGE, PLUMBING AND FIRE PROTECTION DRAWINGS FOR ADDITIONAL INFORMATION.

20. CONTRACTOR SHALL REMOVE ALL DEBRIS AND TRASH RESULTING FROM CONSTRUCTION ON A DAILY BASIS.

21. GENERAL CONTRACTOR SHALL RECYCLE DEMOLITION CONSTRUCTION DEBRIS IN ACCORDANCE WITH AUTHORITIES HAVING JURISDICTION AND SUSTAINABLE BEST PRACTICES.

22. IN THE EVENT HAZARDOUS MATERIALS ARE UNCOVERED GENERAL CONTRACTOR IS TO NOTIFY THE OWNER AND THE APPROPRIATE AUTHORITIES. THE ARCHITECT IS NOT RESPONSIBLE FOR REMOVAL / ABATEMENT OF HAZARDOUS MATERIALS. CONTRACTOR TO PROVIDE REMOVAL / ABATEMENT AT LOCATIONS NECESSARY.

23. REFER TO THE CIVIL, LANDSCAPE, STRUCTURAL, MECHANICAL, PLUMBING, FIRE PROTECTION, ELECTRICAL, AND TECHNOLOGY DRAWINGS FOR THE DEMOLITION WORK SPECIFIC TO THESE COMPONENTS.

24. STRUCTURAL ITEMS SHOWN AS TO BE REMOVED ARE FOR REFERENCE ONLY. VERIFY APPROPRIATE SHORING OR REINFORCEMENT CONDITION WITH STRUCTURAL DRAWINGS.

DEMOLITION NOTES	
NOTE	DESCRIPTION
02.01	DISTRICT TO REMOVE EXISTING EQUIPMENT, CONTRACTOR TO COORDINATE REMOVAL WITH OWNER.
03.01	REMOVE EXISTING CONCRETE RISERS ENTIRELY. PATCH AND REPAIR AS REQUIRED.
03.02	REMOVE EXISTING CONCRETE SLAB ENTIRELY AS ALTERNATE BID. PATCH AND REPAIR AS REQUIRED.
03.03	REMOVE EXISTING CONCRETE SLAB ENTIRELY. PATCH AND REPAIR AS REQUIRED.
03.04	REMOVE EXISTING STOOP SYSTEM ENTIRELY AND PREPARE FOR NEW FLOOR SLAB.
03.05	REMOVE PORTION OF EXISTING CONCRETE SLAB FOR INSTALLATION OF NEW PLUMBING WORK.
04.01	REMOVE EXISTING MASONRY WALL ENTIRELY. PATCH AND REPAIR AS REQUIRED.
04.02	REMOVE PORTION OF EXISTING MASONRY WALL UP TO 10'-0". PATCH AND REPAIR AS REQUIRED.
04.03	REMOVE PORTION OF EXISTING MASONRY WALL AND PREP OPENING FOR NEW WINDOW SYSTEM. PATCH AND REPAIR AS REQUIRED.
06.01	REMOVE EXISTING CASEWORK AND COUNTERTOP ENTIRELY. PATCH AND REPAIR ADJACENT SURFACES AS REQUIRED.
06.02	ALTERNATE BID: UNBOLT, PICK UP, AND MOVE EXISTING WOOD FRAMED GARAGE TO NEW LOCATION.
06.03	REMOVE EXISTING INTERIOR WALL SHEATHING AND INFILL WITH GVL. PATCH AND REPAIR WALL AS REQUIRED.
06.04	REMOVE EXISTING WOOD FRAMING SYSTEM AT DOOR HEAD AND SOFFIT ENTIRELY. PATCH AND REPAIR AS REQUIRED.
07.01	REMOVE EXISTING METAL PANEL AND FRAMING SYSTEM ENTIRELY. REMOVE SOFFIT PANEL AND FRAMING SYSTEM AND LIGHT FIXTURES ENTIRELY. PATCH AND REPAIR ADJACENT SURFACES AS REQUIRED.
07.02	REMOVE PORTION OF EXISTING METAL WALL PANEL SYSTEM, INSULATION, AND FRAMING SYSTEM FROM EXISTING WALL CONSTRUCTION AS REQUIRED TO MAINTAIN A CONTINUOUS 2" WIDE EXPANSION JOINT FOR THE FULL HEIGHT OF THE NEW MASONRY FIRE WALL. PATCH AND REPAIR AS REQUIRED.
07.03	REMOVE AND REINSTALL EXISTING METAL COPING AS REQUIRED FOR NEW CONSTRUCTION.
07.04	REMOVE EXISTING INTERIOR MASONITE SIDING AND GYPSUM BOARD SHEATHING AS REQUIRED TO INSTALL NEW METAL PURRING. PATCH AND REPAIR AS REQUIRED.
08.01	REMOVE EXISTING DOOR AND FRAME SYSTEM ENTIRELY. PATCH AND REPAIR AS REQUIRED.
08.02	REMOVE EXISTING OVERHEAD SECTIONAL DOOR SYSTEM ENTIRELY. PATCH AND REPAIR AS REQUIRED.
08.03	REMOVE EXISTING WINDOW SYSTEM ENTIRELY. INFILL OPENING WITH MASONRY TO MATCH EXISTING. TOOTH IN FULL UNITS AND PAINT.
08.04	REMOVE EXISTING GLASS BLOCK ENTIRELY. PATCH AND REPAIR AS REQUIRED.
08.05	REMOVE EXISTING INTERIOR WINDOW AND FRAME SYSTEM ENTIRELY.
08.06	REMOVE EXISTING DOOR AND FRAME SYSTEM ENTIRELY. INFILL OPENING WITH MASONRY TO MATCH EXISTING. TOOTH IN FULL UNITS AND PAINT. PATCH AND REPAIR AS REQUIRED.
09.01	REMOVE EXISTING FLOOR FINISH AND ASSOCIATED WALL BASE ENTIRELY. PATCH AND REPAIR EXISTING SLAB AS REQUIRED FOR NEW FINISHES.
09.02	REMOVE EXISTING CEILING SYSTEM AND LIGHT FIXTURES ENTIRELY. PATCH AND REPAIR AS REQUIRED.
09.03	REMOVE EXISTING CEILING SYSTEM AND REINSTALL AS REQUIRED FOR NEW WORK.
10.01	REMOVE EXISTING WALL MOUNTED FIRE EXTINGUISHER. COORDINATE WITH OWNER ON REINSTALLATION LOCATION.
10.02	REMOVE EXISTING WALL MOUNTED PROJECTION SCREEN AND PROJECTOR SYSTEM ENTIRELY. SALVAGE AND TURN OVER TO OWNER.
10.03	REMOVE EXISTING PIVOT TABLE ENTIRELY. SALVAGE AND TURN OVER TO OWNER.
10.04	REMOVE EXISTING CHALKBOARD. SALVAGE AND RETURN TO DISTRICT.
10.05	REMOVE EXISTING MARKERBOARD. SALVAGE AND RETURN TO DISTRICT.
10.06	REMOVE EXISTING TACKBOARD. SALVAGE AND RETURN TO DISTRICT.
10.07	REMOVE EXISTING PLUMBING ACCESSORIES. SALVAGE AND RETURN TO DISTRICT.
12.01	REMOVE EXISTING ACOUSTICAL WALL PANELS ENTIRELY. PATCH AND REPAIR AS REQUIRED.
22.01	REMOVE EXISTING COMMERCIAL SINK ENTIRELY. EXISTING PLUMBING TO REMAIN AND EXTEND TO NEW SINK LOCATION AS REQUIRED.
26.01	REMOVE EXISTING WALL MOUNTED CAMERA ENTIRELY. PATCH AND REPAIR AS REQUIRED.
27.01	REMOVE EXISTING WALL MOUNTED SPEAKER SYSTEM ENTIRELY. SALVAGE AND TURN OVER TO OWNER.
32.01	REMOVE AND RELOCATE EXISTING SHIPPING CONTAINER AND PROVIDE NEW GRAVEL PAD.
32.02	REMOVE EXISTING ASPHALT DRIVE AS REQUIRED FOR NEW CONSTRUCTION.

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223049.00

11.10.2023

VP

JS

FIRST FLOOR
DEMOLITION PLAN

KEY PLAN

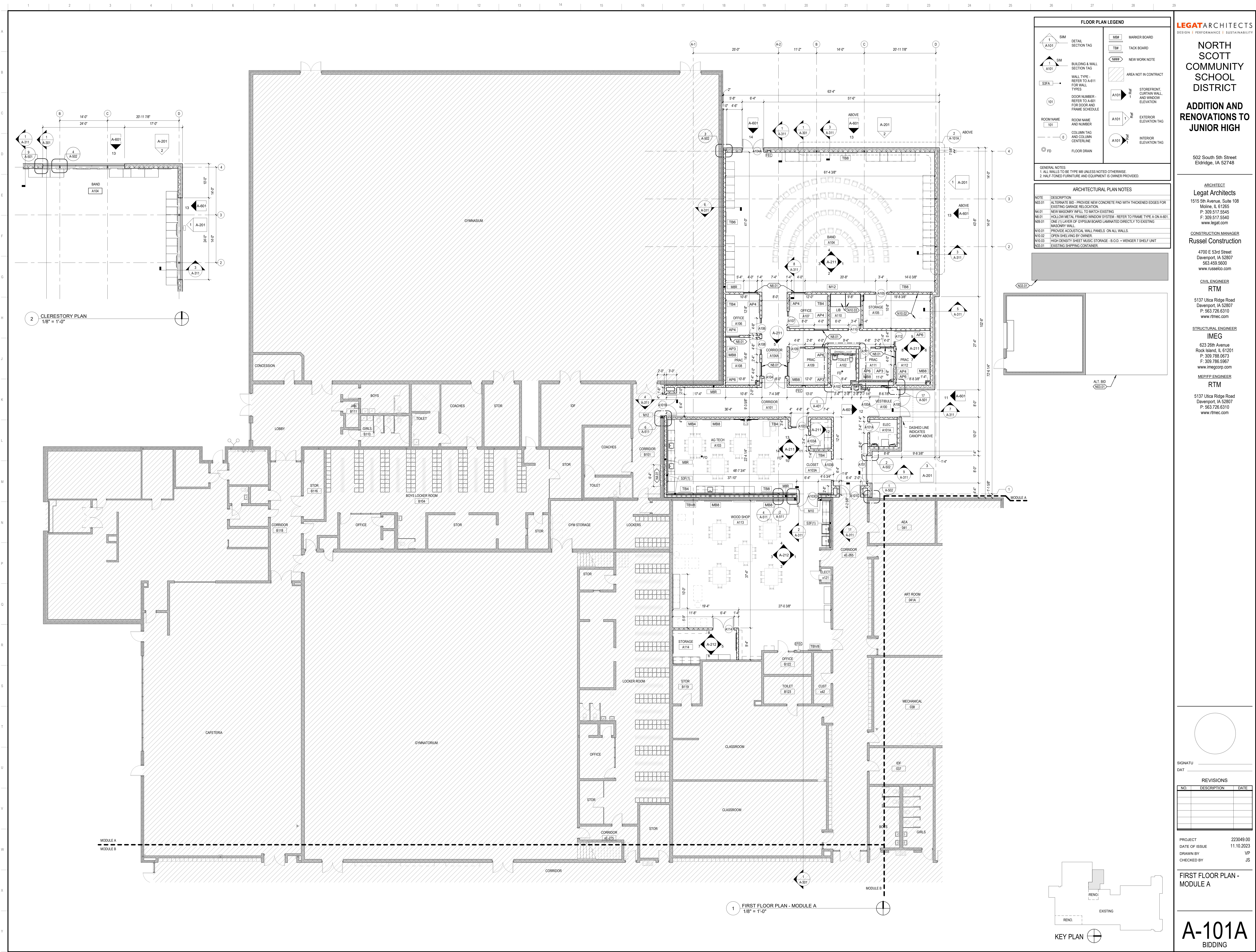
EXISTING

RENO.

AD-101

BIDDING

1 FIRST FLOOR PLAN EXISTING
3/32" = 1'-0"



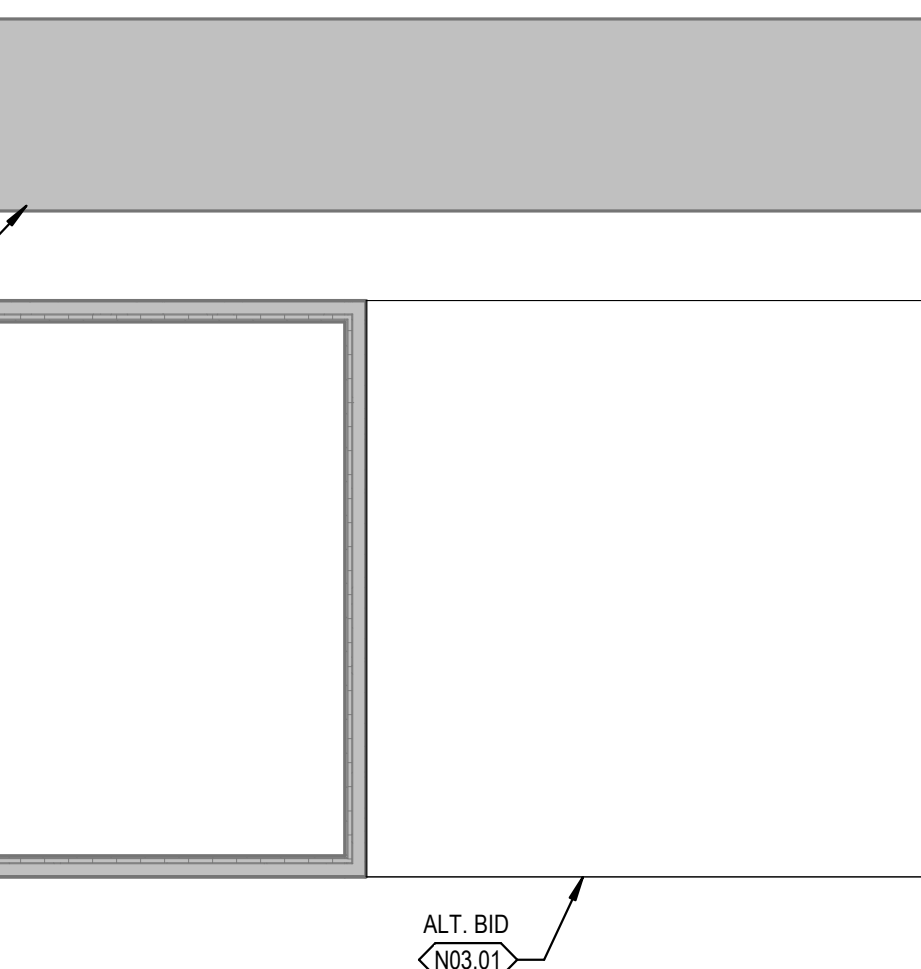
FLOOR PLAN LEGEND

	SIM		MARKER BOARD
	DETAIL SECTION TAG		TACK BOARD
	BUILDING & WALL SECTION TAG		NEW WORK NOTE
	WALL TYPE - REFER TO A-611 FOR WALL TYPES		AREA NOT IN CONTRACT
	DOOR NUMBER - REFER TO A-601 FOR DOOR AND FRAME SCHEDULE		STOREFRONT, CURTAIN WALL, AND WINDOW ELEVATION
	ROOM NAME AND NUMBER		EXTERIOR ELEVATION TAG
	COLUMN TAG AND COLUMN CENTERLINE		INTERIOR ELEVATION TAG
	FLOOR DRAIN		

GENERAL NOTES:
1. ALL WALLS TO BE TYPE M8 UNLESS NOTED OTHERWISE.
2. HALF-TONED FURNITURE AND EQUIPMENT IS OWNER PROVIDED.

ARCHITECTURAL PLAN NOTES

NOTE	DESCRIPTION
N03.01	ALTERNATE BID - PROVIDE NEW CONCRETE PAD WITH THICKENED EDGES FOR EXISTING GARAGE RELOCATION.
N04.01	NEW MASONRY INFILL TO MATCH EXISTING.
N05.01	HOLLOW METAL FRAMED WINDOW SYSTEM - REFER TO FRAME TYPE A ON A-601.
N06.01	ONE (1) LAYER OF GYPSUM BOARD LAMINATED DIRECTLY TO EXISTING MASONRY WALL.
N10.01	PROVIDE ACOUSTICAL WALL PANELS ON ALL WALLS.
N10.02	OPEN SHELVING BY OWNER.
N10.03	HIGH DENSITY SHEET MUSIC STORAGE - B.O.D. = WENGER 7 SHELF UNIT.
N03.01	EXISTING SHIPPING CONTAINER.



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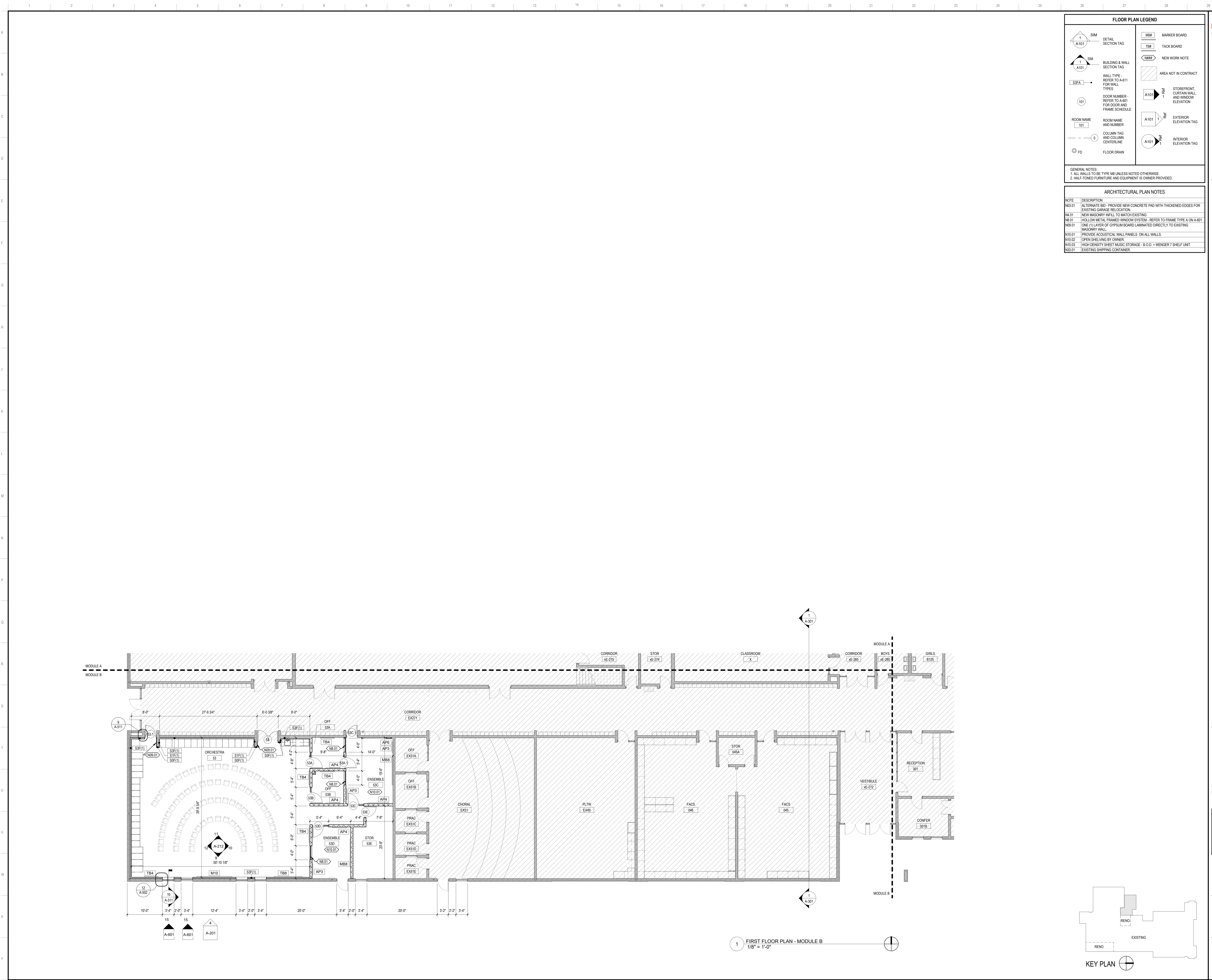
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FIRST FLOOR PLAN - MODULE A

A-101A
BIDDING



FLOOR PLAN LEGEND			
	SIM		MSB
	SM		TBB
	SSFA		NEW
	101		AREA NOT IN CONTRACT
	ROOM NAME AND NUMBER		A101
	0		A101
	FD		A101

GENERAL NOTES:
1. ALL WALLS TO BE TYPE M8 UNLESS NOTED OTHERWISE.
2. HALF-TONED FURNITURE AND EQUIPMENT IS OWNER PROVIDED.

ARCHITECTURAL PLAN NOTES	
NOTE	DESCRIPTION
N03.01	ALTERNATE BID - PROVIDE NEW CONCRETE PAD WITH THICKENED EDGES FOR EXISTING GARAGE RELOCATION.
N04.01	NEW MASONRY INFILL TO MATCH EXISTING.
N08.01	HOLLOW METAL FRAMED WINDOW SYSTEM - REFER TO FRAME TYPE A ON A-601.
N09.01	MASONRY WALL.
N10.01	ONE (1) LAYER OF GYPSUM BOARD LAMINATED DIRECTLY TO EXISTING MASONRY WALL.
N10.01	PROVIDE ACOUSTICAL WALL PANELS ON ALL WALLS.
N10.02	OPEN SHELVING BY OWNER.
N10.03	HIGH DENSITY SHEET MUSIC STORAGE - B.O.D. = WENGER 7 SHELF UNIT.
N03.01	EXISTING SHIPPING CONTAINER.

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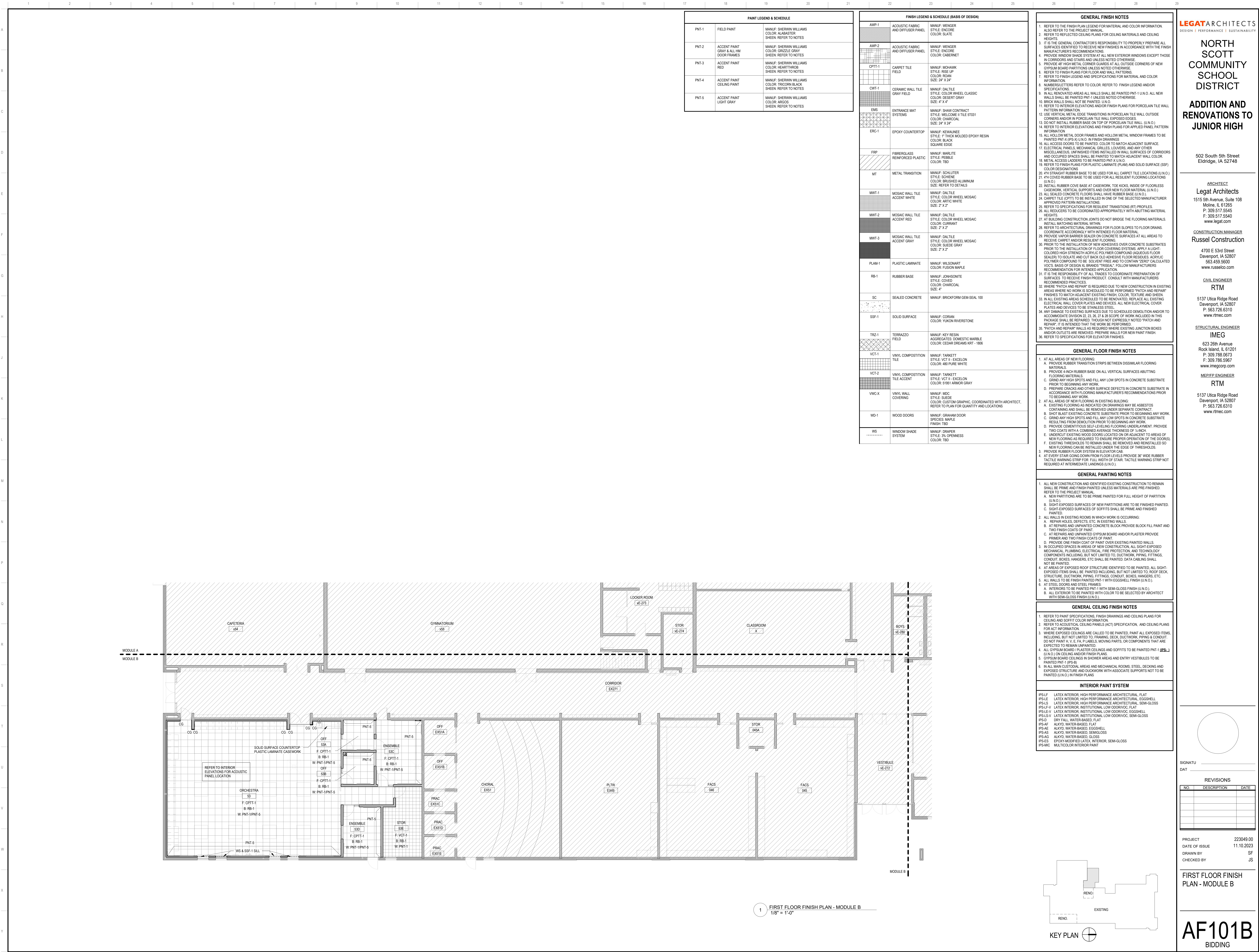
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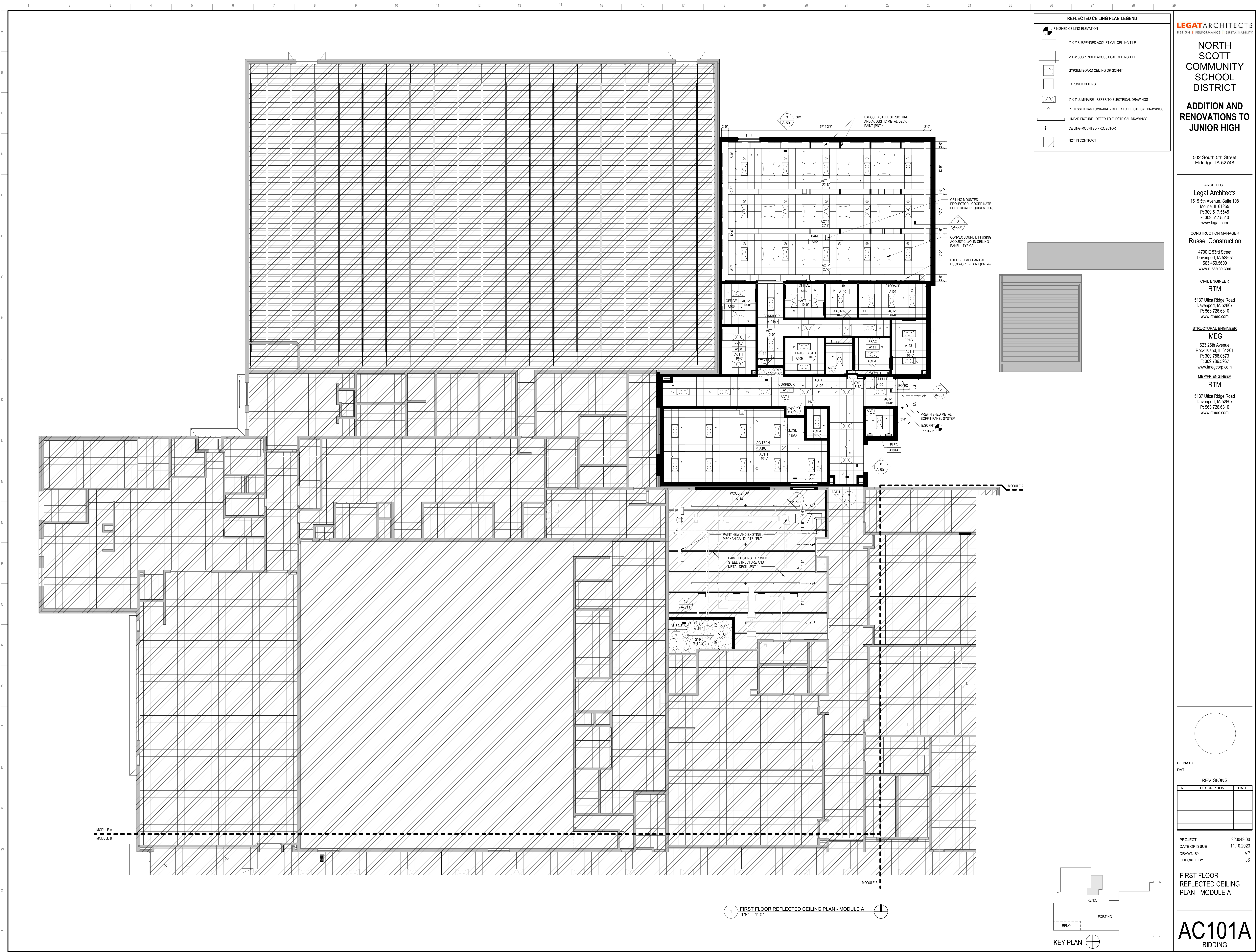
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FIRST FLOOR PLAN -
MODULE B

A-101B
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STRUCTURAL ENGINEER

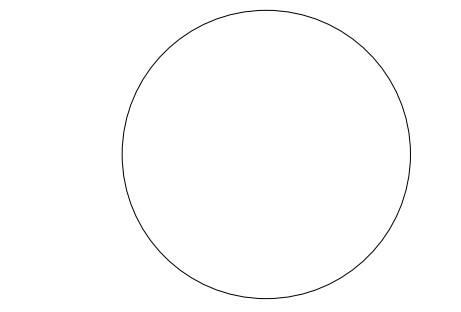
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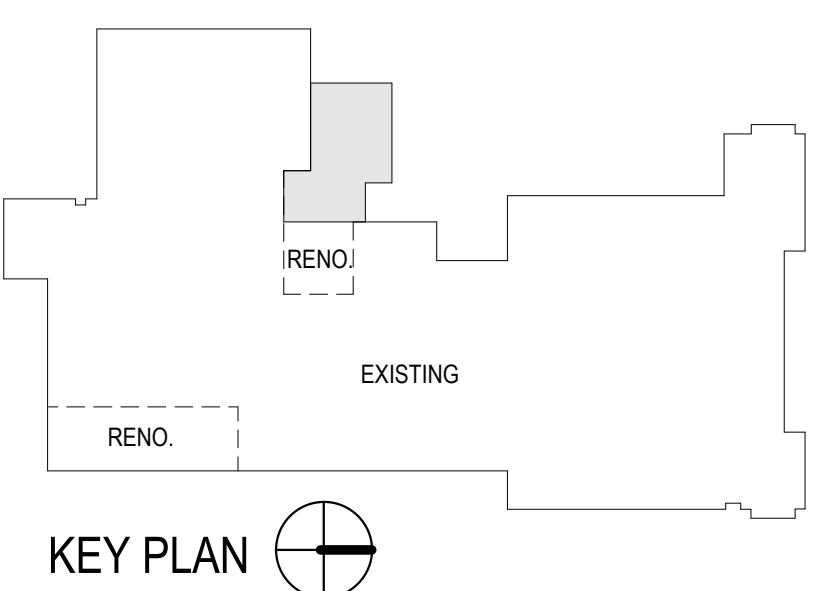
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NO.	DESCRIPTION	DATE

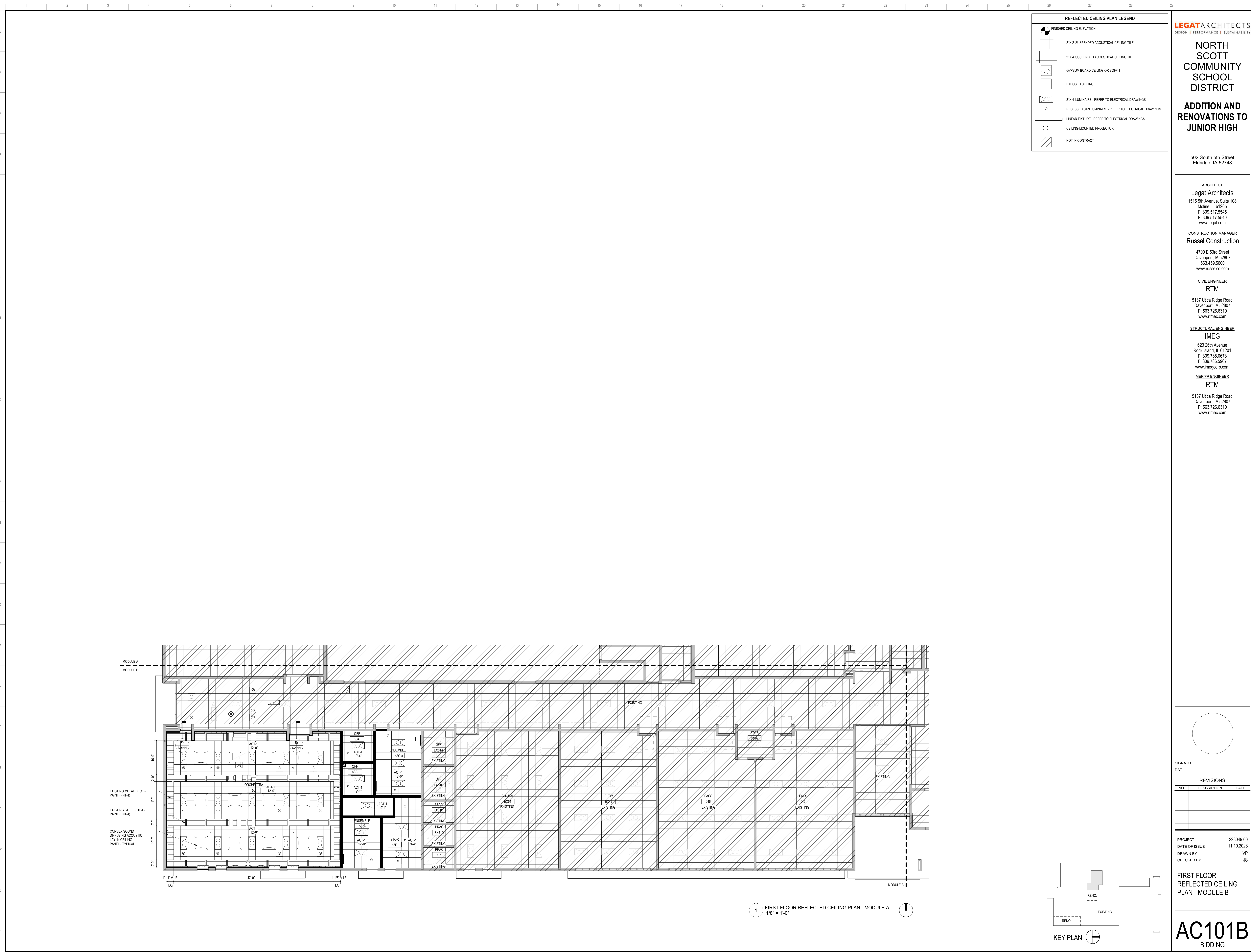
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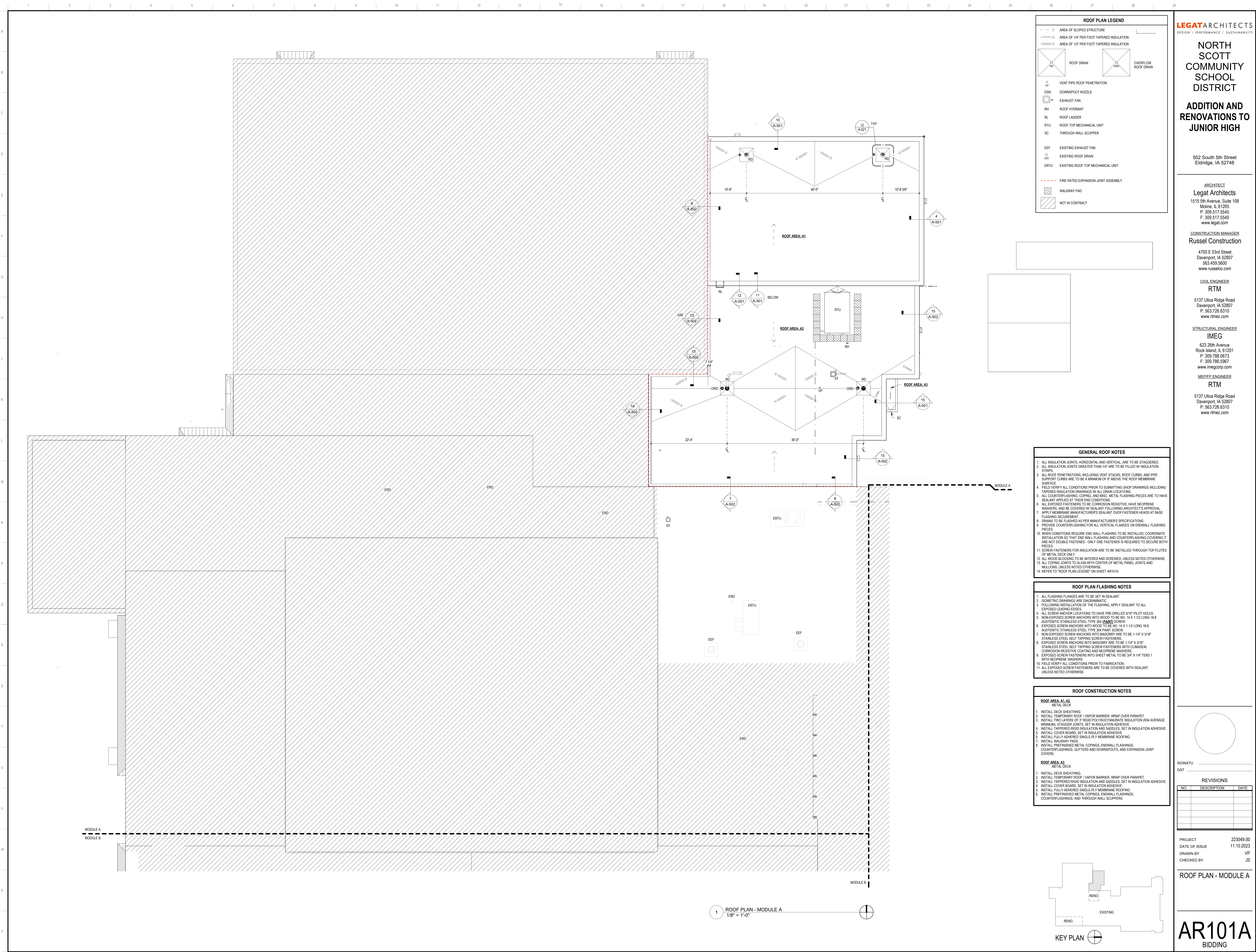
FIRST FLOOR
REFLECTED CEILING
PLAN - MODULE A

AC101A
BIDDING



1 FIRST FLOOR REFLECTED CEILING PLAN - MODULE A
1/8" = 1'-0"





ROOF PLAN LEGEND

---> AREA OF SLOPED STRUCTURE
---> AREA OF 1/4" PER FOOT TAPERED INSULATION
---> AREA OF 1/2" PER FOOT TAPERED INSULATION

RD ROOF DRAIN
ORD OVERFLOW ROOF DRAIN

VP VENT PIPE ROOF PENETRATION
DSN DOWNSPOUT NOZZLE
EF EXHAUST FAN
RH ROOF HYDRANT
RL ROOF LADDER
RTU ROOF TOP MECHANICAL UNIT
SC THROUGH WALL SCUPPER

EEF EXISTING EXHAUST FAN
ORD EXISTING ROOF DRAIN
ERTU EXISTING ROOF TOP MECHANICAL UNIT

--- FIRE RATED EXPANSION JOINT ASSEMBLY

WALKWAY PAD
NOT IN CONTRACT

- GENERAL ROOF NOTES**
1. ALL INSULATION JOINTS, HORIZONTAL AND VERTICAL, ARE TO BE STAGGERED.
 2. ALL INSULATION JOINTS GREATER THAN 1/4" ARE TO BE FILLED W/ INSULATION STRIPS.
 3. ALL ROOF PENETRATIONS, INCLUDING VENT STACKS, ROOF CURBS, AND PIPE SUPPORT CURBS ARE TO BE A MINIMUM OF 8" ABOVE THE ROOF MEMBRANE SURFACE.
 4. FIELD VERIFY ALL CONDITIONS PRIOR TO SUBMITTING SHOP DRAWINGS INCLUDING TAPERED INSULATION DRAWINGS W/ ALL DRAIN LOCATIONS.
 5. ALL COUNTERFLASHING, COPING, AND MISC. METAL FLASHING PIECES ARE TO HAVE SEALANT APPLIED AT THEIR END CONDITIONS.
 6. ALL EXPOSED FASTENERS TO BE CORROSION RESISTIVE, HAVE NEOPRENE WASHERS, AND BE COVERED W/ SEALANT FOLLOWING ARCHITECT'S APPROVAL.
 7. APPLY MEMBRANE MANUFACTURER'S SEALANT OVER FASTENER HEADS AT BASE FLASHING SECUREMENT.
 8. DRAINS TO BE FLASHED AS PER MANUFACTURER'S SPECIFICATIONS.
 9. PROVIDE COUNTERFLASHING FOR ALL VERTICAL FLANGES ON ENDWALL FLASHING PIECES.
 10. WHEN CONDITIONS REQUIRE END WALL FLASHING TO BE INSTALLED, COORDINATE INSTALLATION SO THAT END WALL FLASHING AND COUNTERFLASHING COVERING IT, ARE NOT DOUBLE FASTENED - ONLY ONE FASTENER IS REQUIRED TO SECURE BOTH PIECES.
 11. SCREW FASTENERS FOR INSULATION ARE TO BE INSTALLED THROUGH TOP FLUTES OF METAL DECK ONLY.
 12. ALL WOOD BLOCKING TO BE MITERED AND SCREWED, UNLESS NOTED OTHERWISE.
 13. ALL COPING JOINTS TO ALIGN WITH CENTER OF METAL PANEL JOINTS AND MULLIONS, UNLESS NOTED OTHERWISE.
 14. REFER TO "ROOF PLAN LEGEND" ON SHEET AR101A.

- ROOF PLAN FLASHING NOTES**
1. ALL FLASHING FLANGES ARE TO BE SET IN SEALANT.
 2. ISOMETRIC DRAWINGS ARE DIAGRAMMATIC.
 3. FOLLOWING INSTALLATION OF THE FLASHING, APPLY SEALANT TO ALL EXPOSED LEADING EDGES.
 4. ALL SCREW ANCHOR LOCATIONS TO HAVE PRE-DRILLED 5/16" PILOT HOLES.
 5. NON-EXPOSED SCREW ANCHORS INTO WOOD TO BE NO. 14 X 1-1/2 LONG 18-8 AUSTENITIC STAINLESS STEEL TYPE 304 (P&MT) SCREW.
 6. EXPOSED SCREW ANCHORS INTO WOOD TO BE NO. 14 X 1-1/2 LONG 18-8 AUSTENITIC STAINLESS STEEL TYPE 304 PAINT SCREW.
 7. NON-EXPOSED SCREW ANCHORS INTO MASONRY ARE TO BE 1-1/4" X 3/16" STAINLESS STEEL SELF TAPPING SCREW FASTENERS.
 8. EXPOSED SCREW ANCHORS INTO MASONRY ARE TO BE 1-1/4" X 3/16" STAINLESS STEEL SELF TAPPING SCREW FASTENERS WITH DUMASEAL CORROSION RESISTIVE COATING AND NEOPRENE WASHERS.
 9. EXPOSED SCREW FASTENERS INTO SHEET METAL TO BE 3/4" X 1/4" TEKS 1 WITH NEOPRENE WASHERS.
 10. FIELD VERIFY ALL CONDITIONS PRIOR TO FABRICATION.
 11. ALL EXPOSED SCREW FASTENERS ARE TO BE COVERED WITH SEALANT UNLESS NOTED OTHERWISE.

- ROOF CONSTRUCTION NOTES**
- ROOF AREA: A1, A2**
METAL DECK
1. INSTALL DECK SHEATHING.
 2. INSTALL TEMPORARY ROOF / VAPOR BARRIER, WRAP OVER PARAPET.
 3. INSTALL TWO LAYERS OF 3" RIGID POLYISOCYANURATE INSULATION (R34 AVERAGE MINIMUM), STAGGER JOINTS, SET IN INSULATION ADHESIVE.
 4. INSTALL TAPERED RIGID INSULATION AND SADDLES, SET IN INSULATION ADHESIVE.
 5. INSTALL COVER BOARD, SET IN INSULATION ADHESIVE.
 6. INSTALL FULLY ADHERED SINGLE PLY MEMBRANE ROOFING.
 7. INSTALL WALKWAY PADS.
 8. INSTALL PREFINISHED METAL COPINGS, ENDWALL FLASHINGS, COUNTERFLASHINGS, GUTTERS AND DOWNSPOUTS, AND EXPANSION JOINT COVERS.
- ROOF AREA: A3**
METAL DECK
1. INSTALL DECK SHEATHING.
 2. INSTALL TEMPORARY ROOF / VAPOR BARRIER, WRAP OVER PARAPET.
 3. INSTALL TAPERED RIGID INSULATION AND SADDLES, SET IN INSULATION ADHESIVE.
 4. INSTALL COVER BOARD, SET IN INSULATION ADHESIVE.
 5. INSTALL FULLY ADHERED SINGLE PLY MEMBRANE ROOFING.
 6. INSTALL PREFINISHED METAL COPINGS, ENDWALL FLASHINGS, COUNTERFLASHINGS, AND THROUGH WALL SCUPPERS.

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DESIGN | PERFORMANCE | SUSTAINABILITY

NORTH SCOTT COMMUNITY SCHOOL DISTRICT

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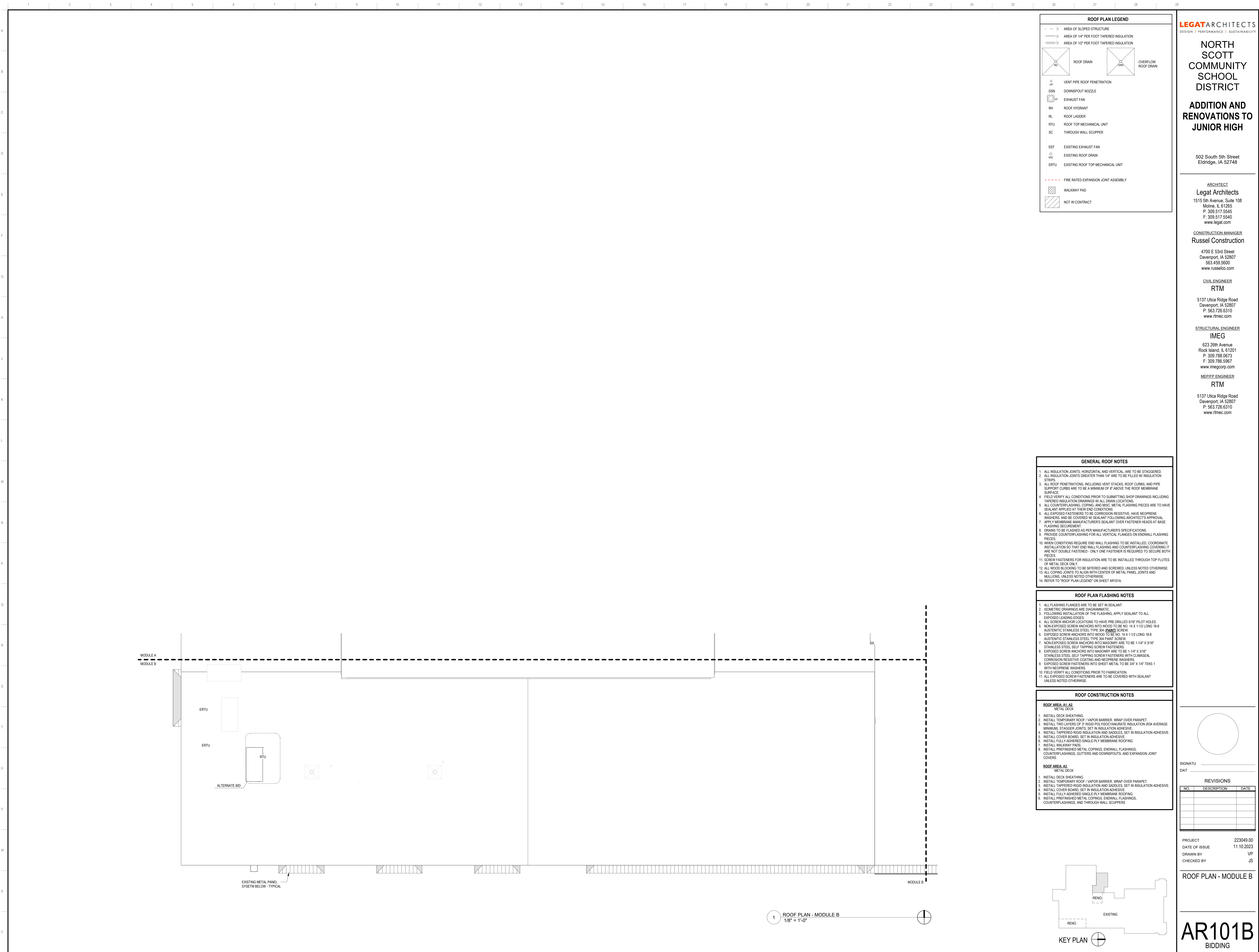
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ROOF PLAN - MODULE A

AR101A
BIDDING



ROOF PLAN LEGEND

AREA OF SLOPED STRUCTURE
AREA OF 1/4" PER FOOT TAPERED INSULATION
AREA OF 1/2" PER FOOT TAPERED INSULATION

ROOF DRAIN
OVERFLOW ROOF DRAIN

VENT PIPE ROOF PENETRATION
DOWNSPOUT NOZZLE
EXHAUST FAN
ROOF HYDRANT
ROOF LADDER
ROOF TOP MECHANICAL UNIT
THROUGH WALL SCUPPER

EXISTING EXHAUST FAN
EXISTING ROOF DRAIN
EXISTING ROOF TOP MECHANICAL UNIT

FIRE RATED EXPANSION JOINT ASSEMBLY

WALKWAY PAD
NOT IN CONTRACT

GENERAL ROOF NOTES

1. ALL INSULATION JOINTS, HORIZONTAL AND VERTICAL, ARE TO BE STAGGERED.
2. ALL INSULATION JOINTS GREATER THAN 1/4" ARE TO BE FILLED W/ INSULATION STRIPS.
3. ALL ROOF PENETRATIONS, INCLUDING VENT STACKS, ROOF CURBS, AND PIPE SUPPORT CURBS ARE TO BE A MINIMUM OF 8" ABOVE THE ROOF MEMBRANE SURFACE.
4. FIELD VERIFY ALL CONDITIONS PRIOR TO SUBMITTING SHOP DRAWINGS INCLUDING TAPERED INSULATION DRAWINGS W/ ALL DRAIN LOCATIONS.
5. ALL COUNTERFLASHING, COPING, AND MISC. METAL FLASHING PIECES ARE TO HAVE SEALANT APPLIED AT THEIR END CONDITIONS.
6. ALL EXPOSED FASTENERS TO BE CORROSION RESISTIVE, HAVE NEOPRENE WASHERS, AND BE COVERED W/ SEALANT FOLLOWING ARCHITECT'S APPROVAL.
7. APPLY MEMBRANE MANUFACTURER'S SEALANT OVER FASTENER HEADS AT BASE FLASHING SECUREMENT.
8. DRAINAGE TO BE FLASHED AS PER MANUFACTURER'S SPECIFICATIONS.
9. PROVIDE COUNTERFLASHING FOR ALL VERTICAL FLANGES ON ENDWALL FLASHING PIECES.
10. WHEN CONDITIONS REQUIRE END WALL FLASHING TO BE INSTALLED, COORDINATE INSTALLATION SO THAT END WALL FLASHING AND COUNTERFLASHING COVERING IT ARE NOT DOUBLE FASTENED - ONLY ONE FASTENER IS REQUIRED TO SECURE BOTH PIECES.
11. SCREW FASTENERS FOR INSULATION ARE TO BE INSTALLED THROUGH TOP FLUTES OF METAL DECK ONLY.
12. ALL WOOD IS LOOKING TO BE MITERED AND SCREWED, UNLESS NOTED OTHERWISE.
13. ALL COPING JOINTS TO ALIGN WITH CENTER OF METAL PANEL JOINTS AND MULLIONS, UNLESS NOTED OTHERWISE.
14. REFER TO "ROOF PLAN LEGEND" ON SHEET AR101A.

ROOF PLAN FLASHING NOTES

1. ALL FLASHING FLANGES ARE TO BE SET IN SEALANT.
2. ISOMETRIC DRAWINGS ARE DIAGRAMMATIC.
3. FOLLOWING INSTALLATION OF THE FLASHING, APPLY SEALANT TO ALL EXPOSED LEADING EDGES.
4. ALL SCREW ANCHOR LOCATIONS TO HAVE PRE-DRILLED 5/16" PILET HOLES.
5. NON-EXPOSED SCREW ANCHORS INTO WOOD TO BE NO. 14 X 1-1/2 LONG 16-8 AUSTENITIC STAINLESS STEEL TYPE 304 (PANEL) SCREW.
6. EXPOSED SCREW ANCHORS INTO WOOD TO BE NO. 14 X 1-1/2 LONG 16-8 AUSTENITIC STAINLESS STEEL TYPE 304 PAINT SCREW.
7. NON-EXPOSED SCREW ANCHORS INTO MASONRY ARE TO BE 1-1/4" X 3/16" STAINLESS STEEL SELF TAPPING SCREW FASTENERS.
8. EXPOSED SCREW ANCHORS INTO MASONRY ARE TO BE 1-1/4" X 3/16" STAINLESS STEEL SELF TAPPING SCREW FASTENERS WITH CUMANEAL CORROSION RESISTIVE COATING AND NEOPRENE WASHERS.
9. EXPOSED SCREW FASTENERS INTO SHEET METAL TO BE 3/8" X 1/4" TEXS 1 WITH NEOPRENE WASHERS.
10. FIELD VERIFY ALL CONDITIONS PRIOR TO FABRICATION.
11. ALL EXPOSED SCREW FASTENERS ARE TO BE COVERED WITH SEALANT UNLESS NOTED OTHERWISE.

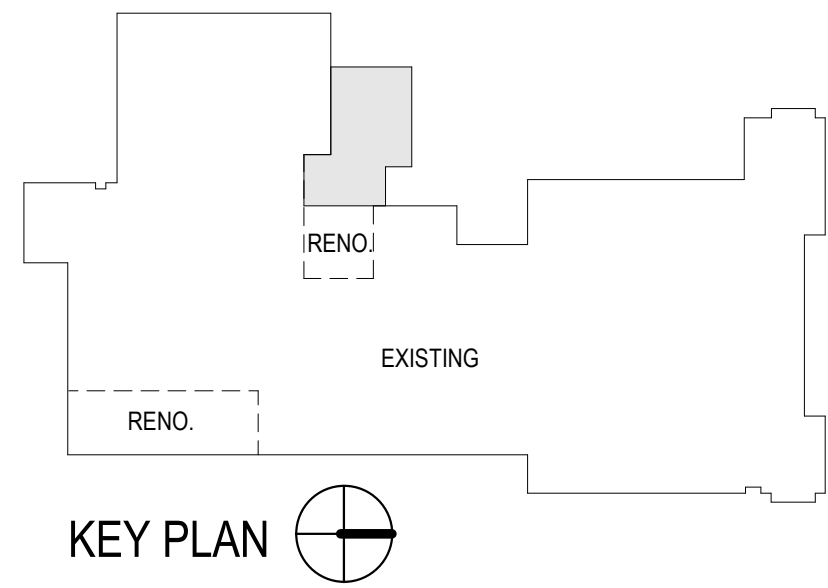
ROOF CONSTRUCTION NOTES

ROOF AREA: A1, A2
METAL DECK

1. INSTALL DECK SHEATHING.
2. INSTALL TEMPORARY ROOF / VAPOR BARRIER, WRAP OVER PARAPET.
3. INSTALL TWO LAYERS OF 2" RIGID POLYISOCYANURATE INSULATION (R24 AVERAGE MINIMUM), STAGGER JOINTS, SET IN INSULATION ADHESIVE.
4. INSTALL TAPERED RIGID INSULATION AND SADDLES, SET IN INSULATION ADHESIVE.
5. INSTALL COVER BOARD, SET IN INSULATION ADHESIVE.
6. INSTALL FULLY ADHERED SINGLE-PLY MEMBRANE ROOFING.
7. INSTALL WALKWAY PADS.
8. INSTALL PREFINISHED METAL COPINGS, ENDWALL FLASHINGS, COUNTERFLASHINGS, GUTTERS AND DOWNSPOUTS, AND EXPANSION JOINT COVERS.

ROOF AREA: A3
METAL DECK

1. INSTALL DECK SHEATHING.
2. INSTALL TEMPORARY ROOF / VAPOR BARRIER, WRAP OVER PARAPET.
3. INSTALL TAPERED RIGID INSULATION AND SADDLES, SET IN INSULATION ADHESIVE.
4. INSTALL COVER BOARD, SET IN INSULATION ADHESIVE.
5. INSTALL FULLY ADHERED SINGLE-PLY MEMBRANE ROOFING.
6. INSTALL PREFINISHED METAL COPINGS, ENDWALL FLASHINGS, COUNTERFLASHINGS, AND THROUGH WALL SCUPPERS.



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NORTH SCOTT COMMUNITY SCHOOL DISTRICT

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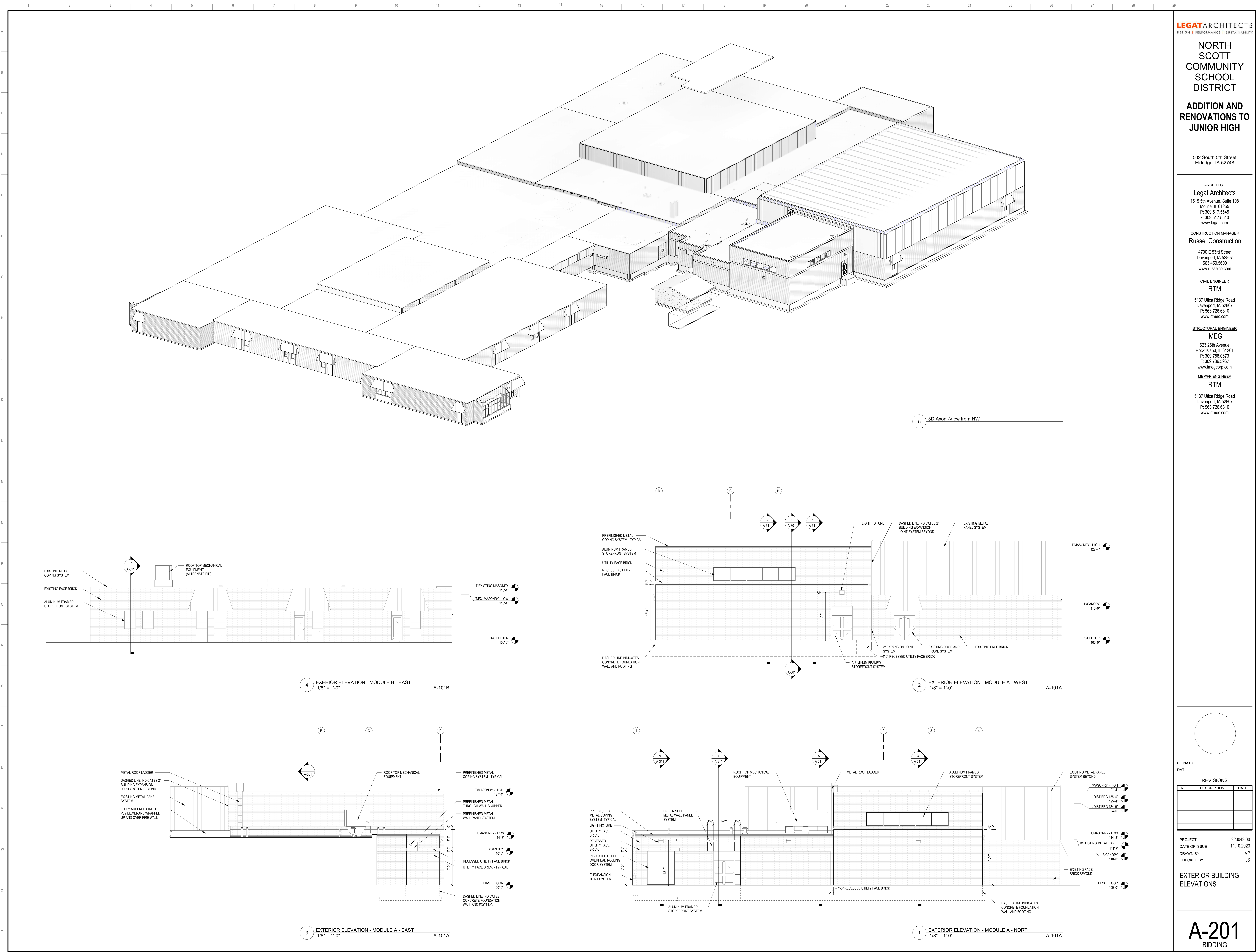
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ROOF PLAN - MODULE B

AR101B
BIDDING



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**NORTH
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SCHOOL
DISTRICT**
**ADDITION AND
RENOVATIONS TO
JUNIOR HIGH**

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Eldridge, IA 52748

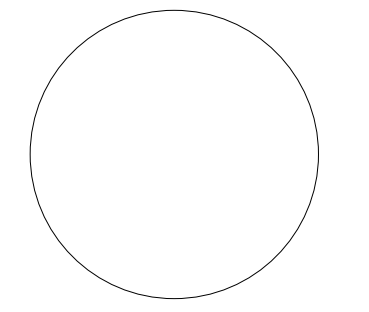
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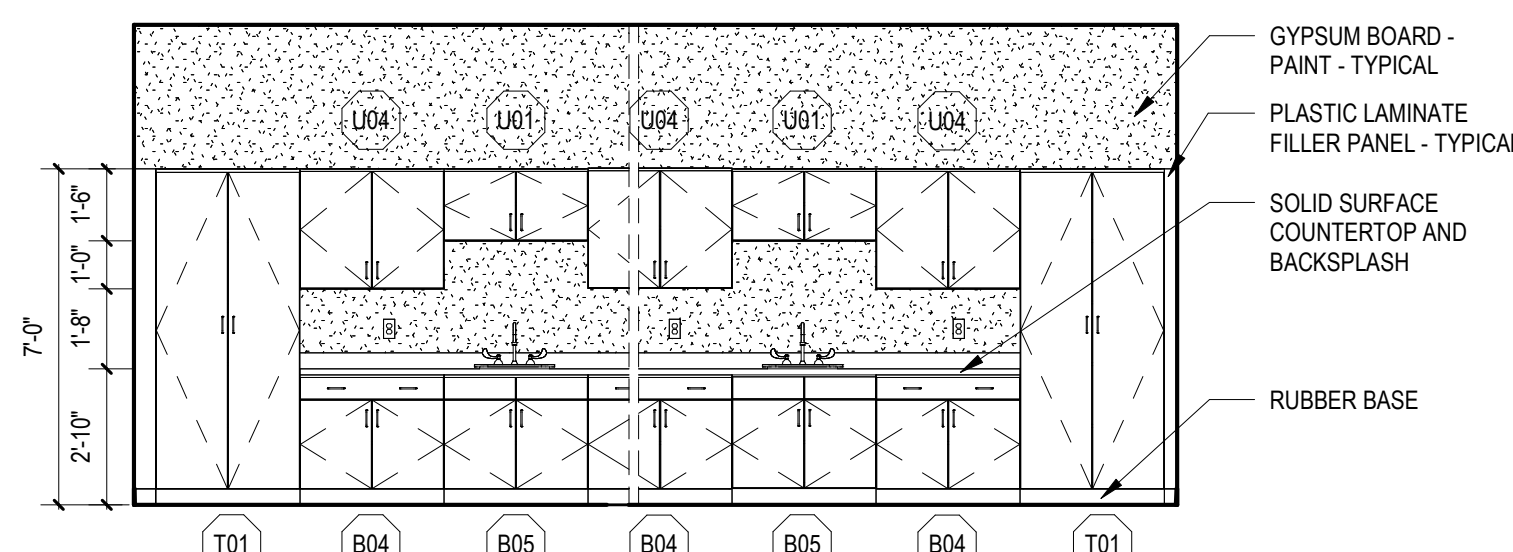
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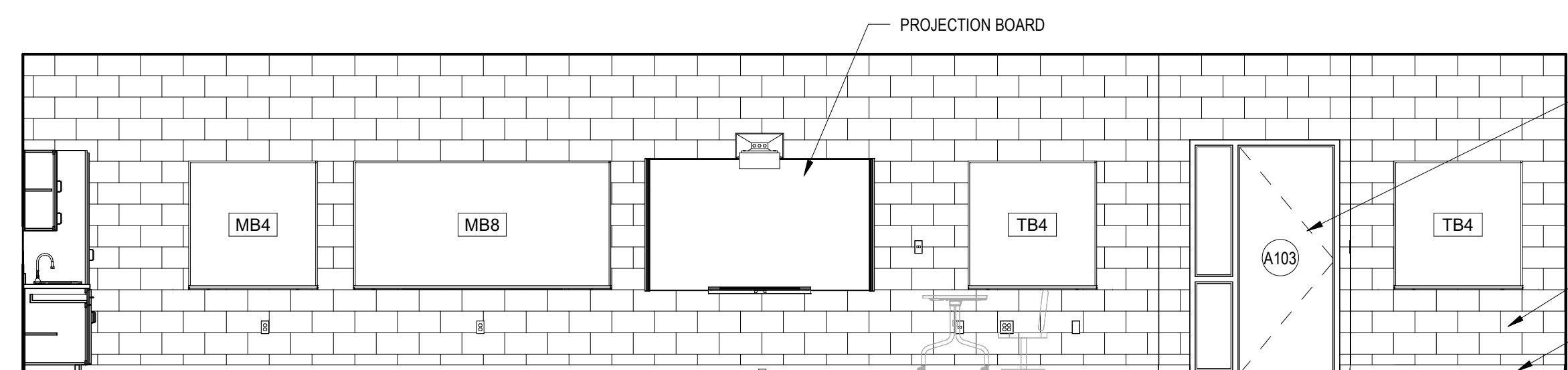
**EXTERIOR BUILDING
ELEVATIONS**

A-201
BIDDING

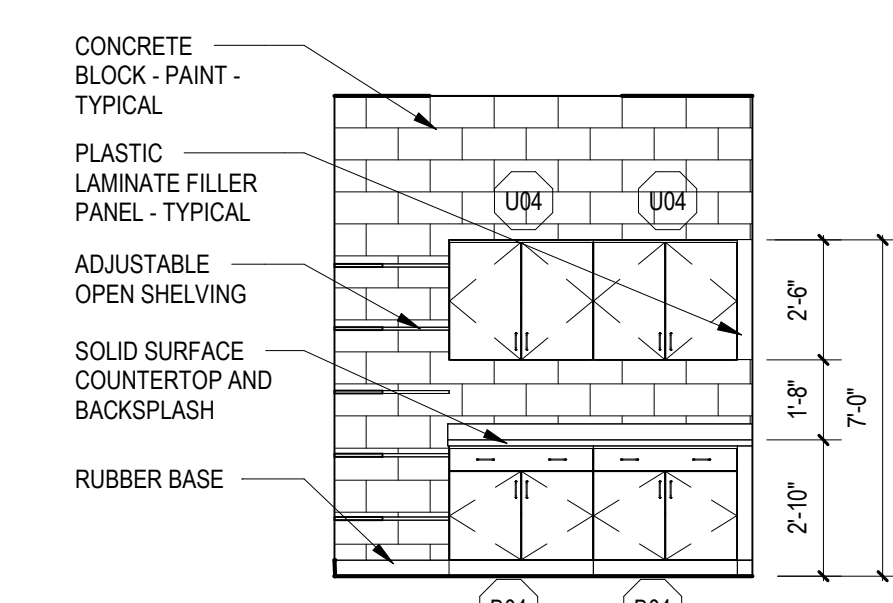
ACOUSTICAL TREATMENT LEGEND			
MARK	PANEL TYPE	PANEL COLOR	SIZE
DP1	DIFFUSER PANEL	RED	24"x48"x3"
DP2	DIFFUSER PANEL	GRAY	36"x48"x3"
DP3	DIFFUSER PANEL	RED	36"x72"x3"
DP4	DIFFUSER PANEL	GRAY	36"x72"x3"
DP5	DIFFUSER PANEL	RED	48"x96"x3"
AP1	ACOUSTICAL PANEL	GRAY	36"x48"x3"
AP2	ACOUSTICAL PANEL	GRAY	48"x48"x3"
AP3	ACOUSTICAL PANEL	RED	36"x72"x3"
AP4	ACOUSTICAL PANEL	RED	48"x72"x3"
AP5	ACOUSTICAL PANEL	GRAY	48"x96"x3"
AP6	ACOUSTICAL PANEL	RED	48"x96"x3"



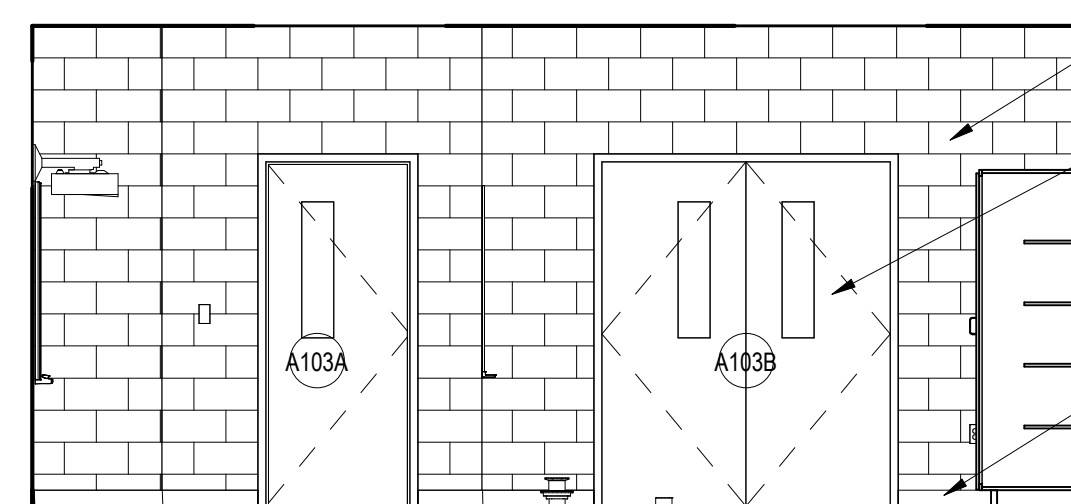
14 INTERIOR ELEVATION
1/4" = 1'-0" A-101A



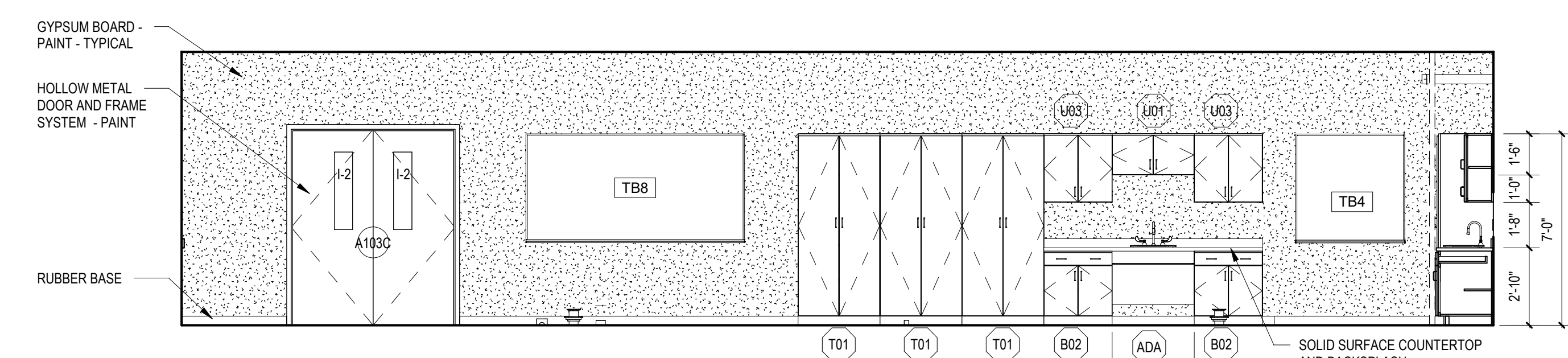
13 INTERIOR ELEVATION
1/4" = 1'-0" A-101A



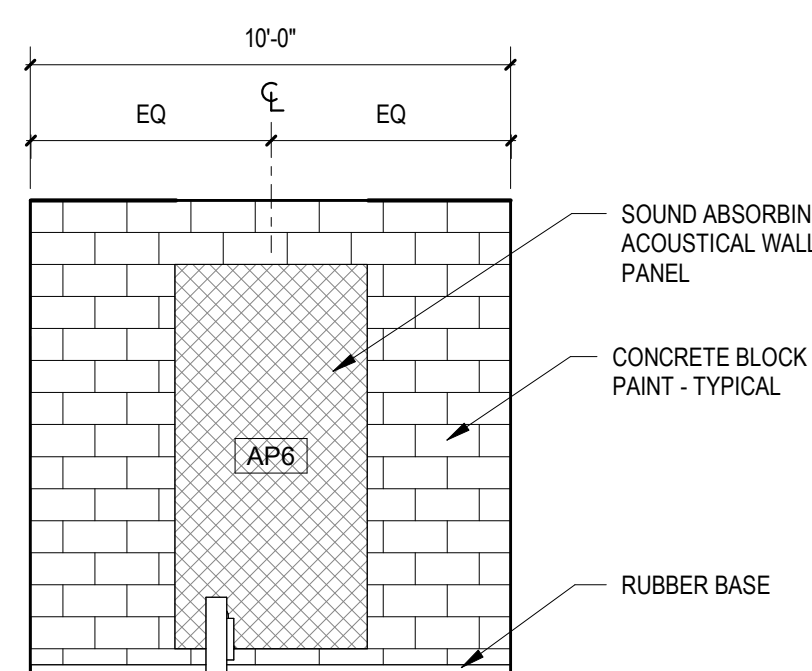
12 AG TECH STORAGE NORTH
1/4" = 1'-0" A-101A



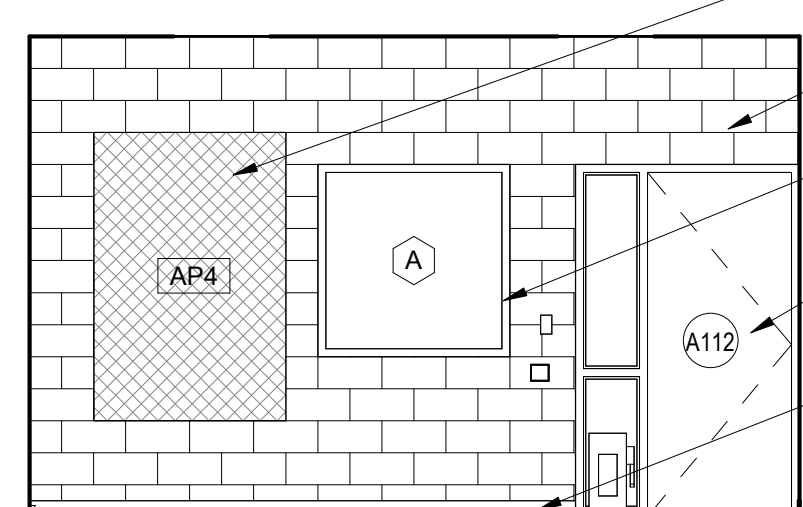
11 INTERIOR ELEVATION
1/4" = 1'-0" A-101A



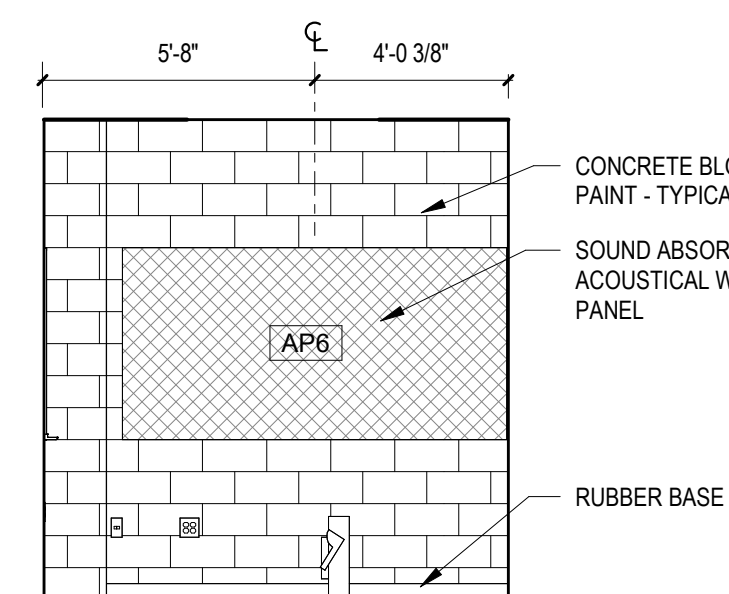
10 INTERIOR ELEVATION
1/4" = 1'-0" A-101A



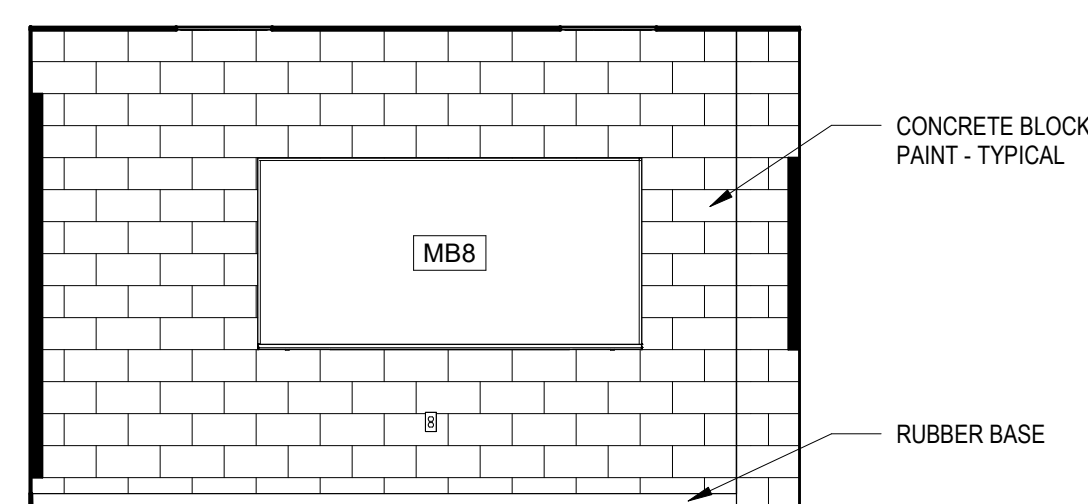
9 INTERIOR ELEVATION
1/4" = 1'-0" A-101A



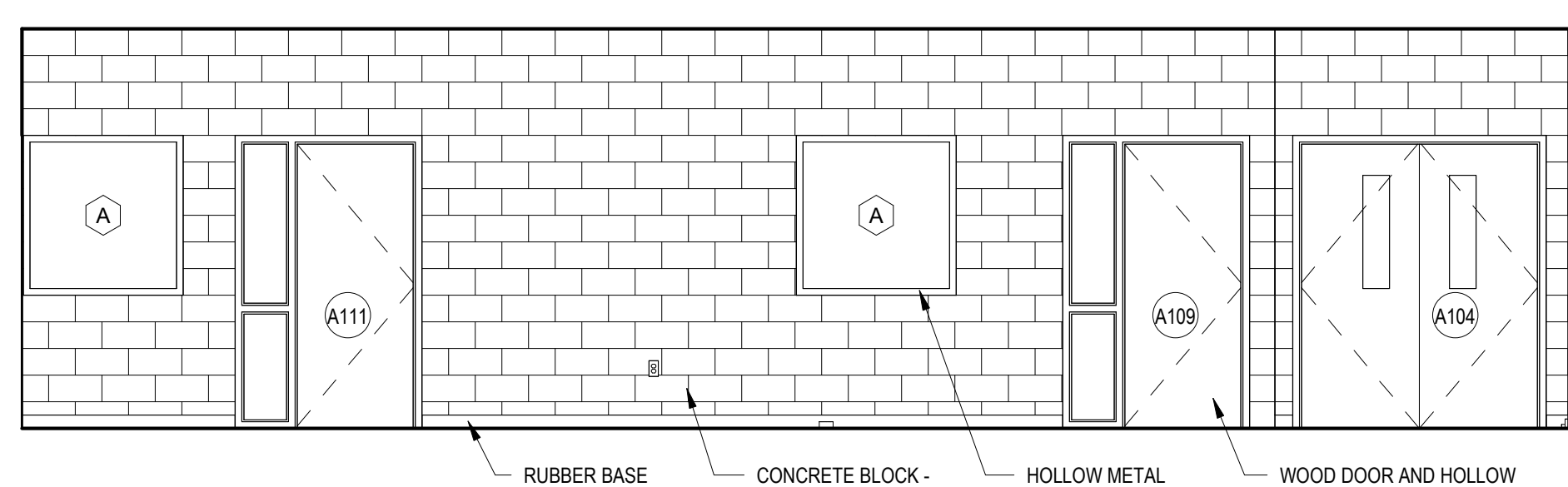
8 INTERIOR ELEVATION
1/4" = 1'-0" A-101A



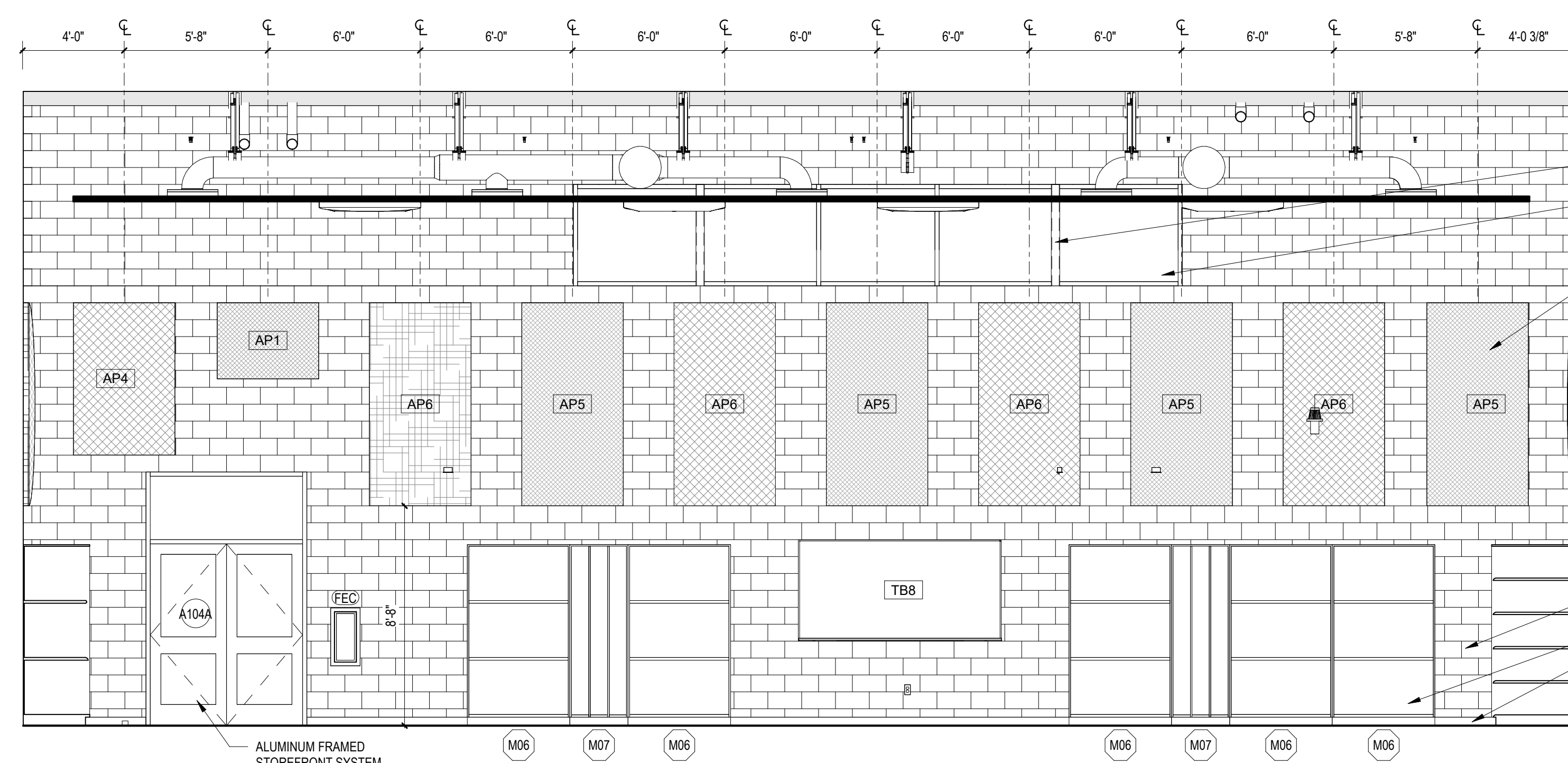
7 INTERIOR ELEVATION
1/4" = 1'-0" A-101A



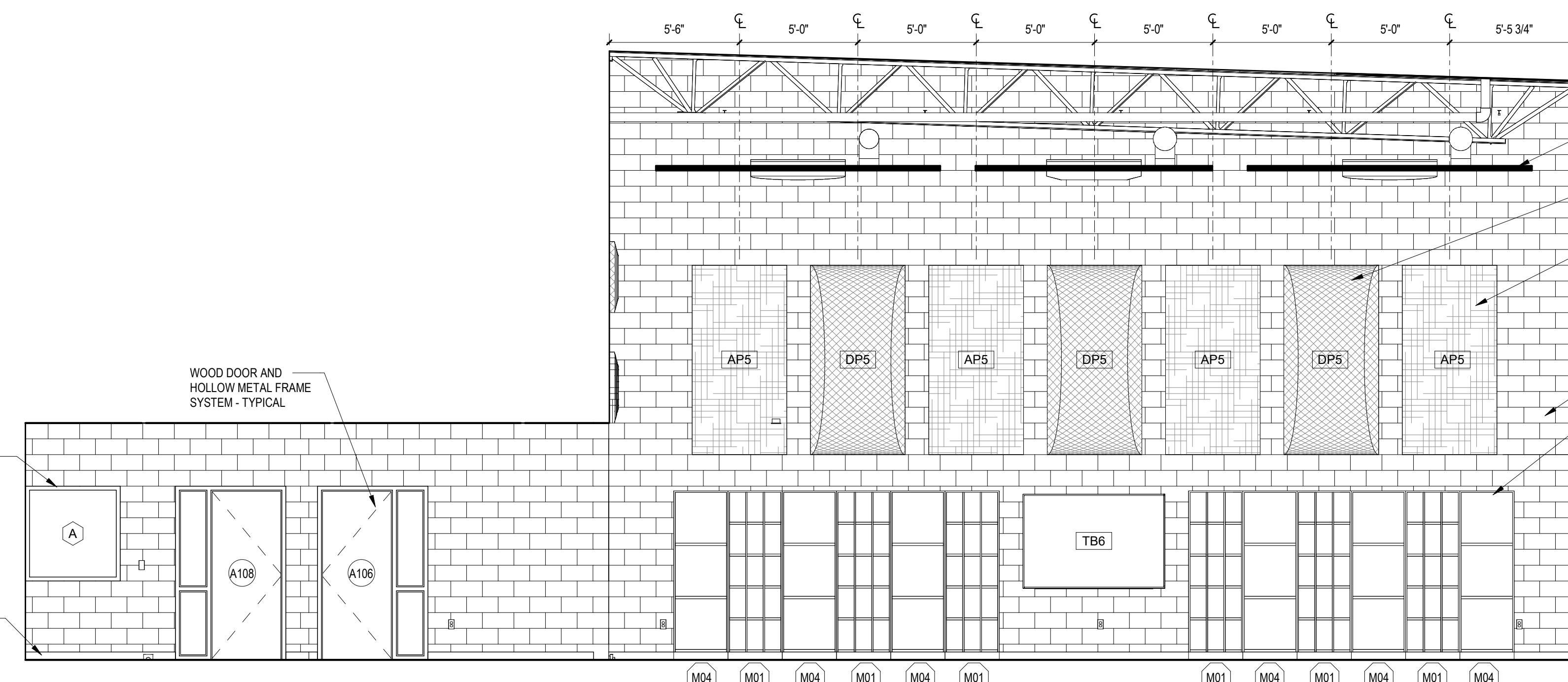
6 INTERIOR ELEVATION
1/4" = 1'-0" A-101A



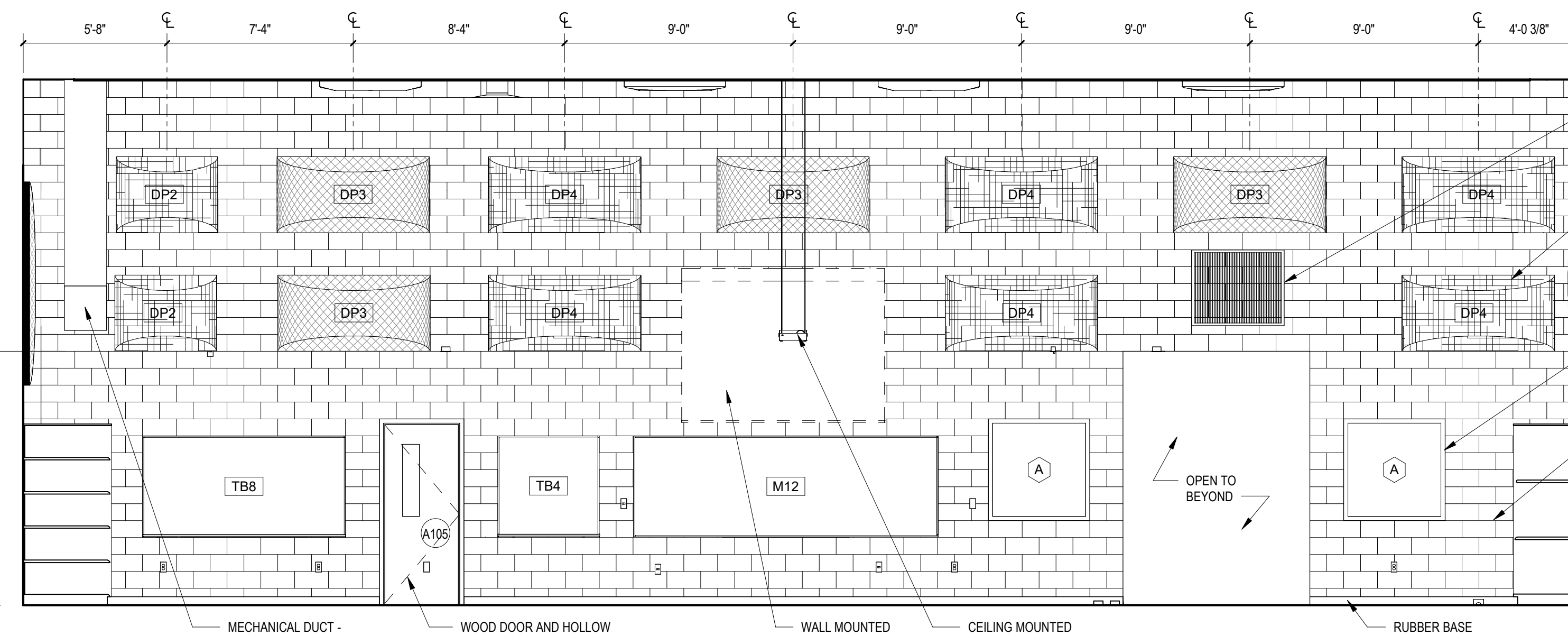
5 INTERIOR ELEVATION
1/4" = 1'-0" A-101A



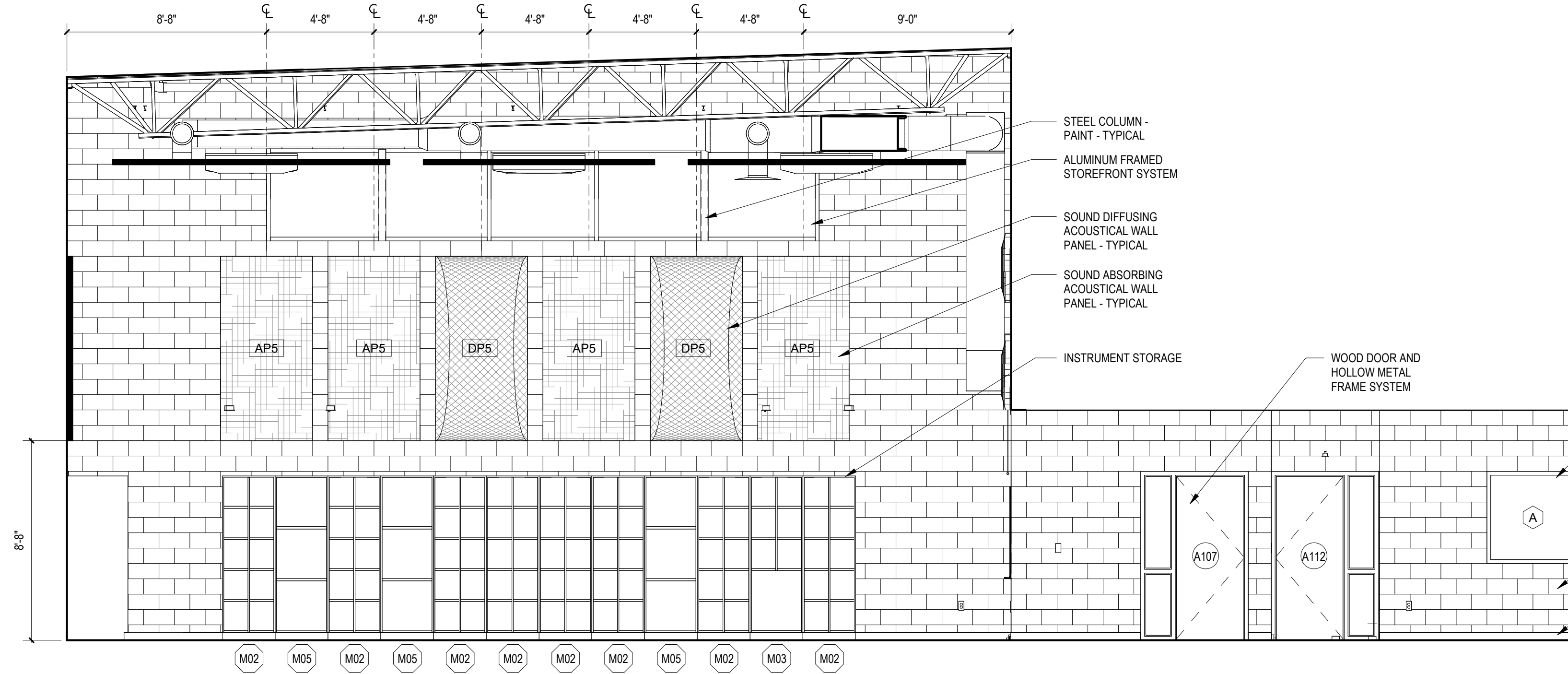
4 INTERIOR ELEVATION
1/4" = 1'-0" A-101A



3 INTERIOR ELEVATION
1/4" = 1'-0" A-101A



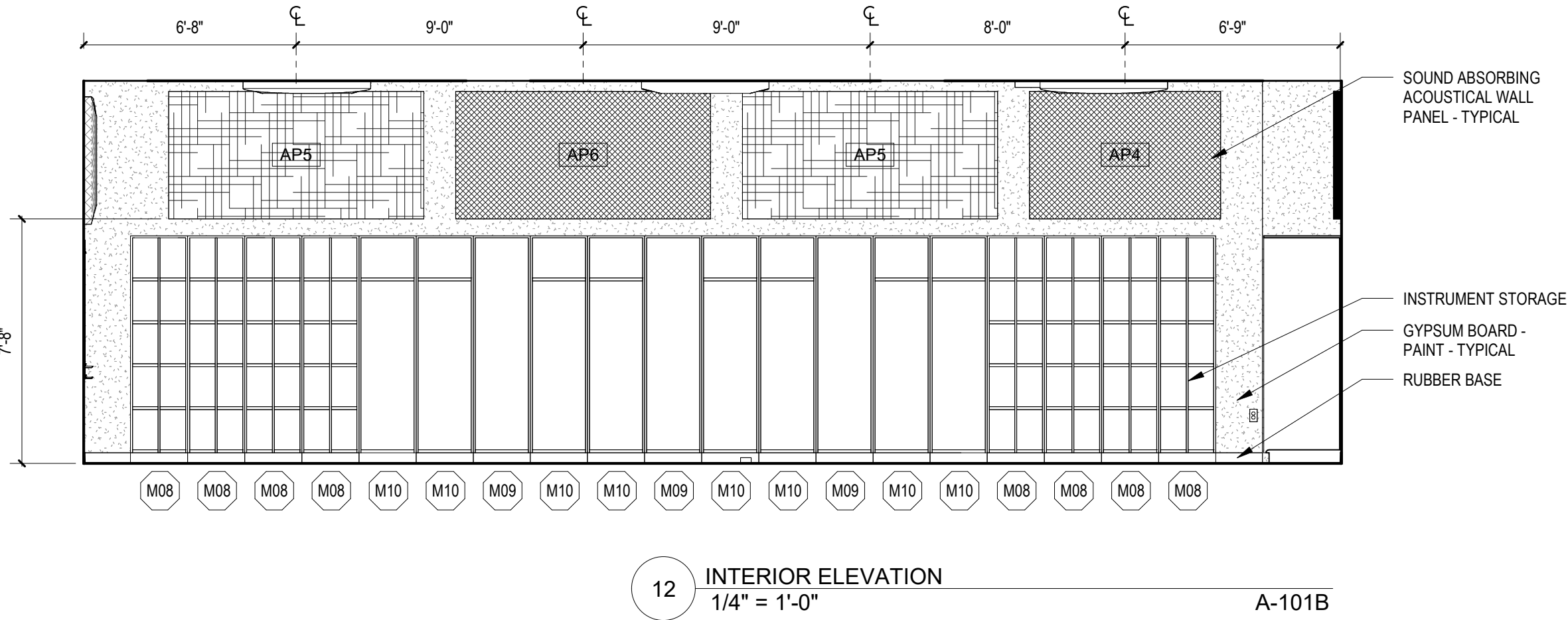
2 INTERIOR ELEVATION
1/4" = 1'-0" A-101A



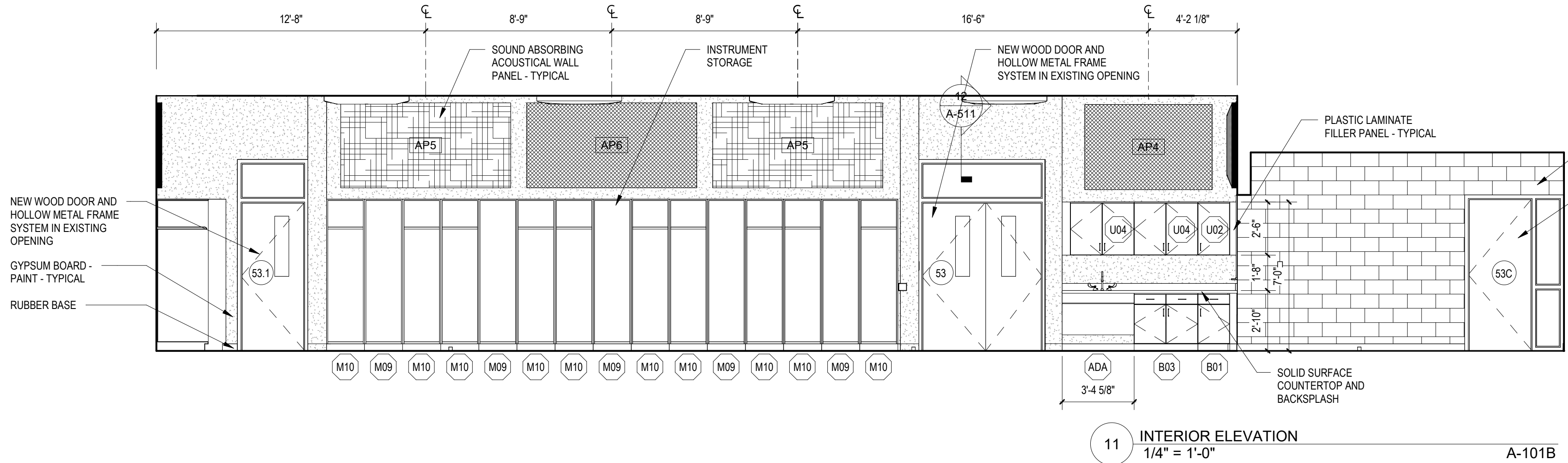
1 INTERIOR ELEVATION
1/4" = 1'-0" A-101A

CASEWORK SCHEDULE				
TYPE	DESCRIPTION	HEIGHT (INCHES)	WIDTH (INCHES)	DEPTH (INCHES)
BASE CABINETS				
ADA	PLASTIC LAMINATE ADA BASE SINK PANELS	34	<varies>	25
B01	PLASTIC LAMINATE BASE CABINET: (1) LOCKABLE DRAWER, (1) LOCKABLE DOOR, (1) ADJUSTABLE SHELF	32.5	18	24
B02	PLASTIC LAMINATE BASE CABINET: (1) LOCKABLE DRAWER, (2) LOCKABLE DOORS, (1) ADJUSTABLE SHELF	32.5	30	24
B03	PLASTIC LAMINATE BASE CABINET: (1) LOCKABLE DRAWER, (2) LOCKABLE DOORS, (1) ADJUSTABLE SHELF	32.5	36	24
B04	PLASTIC LAMINATE BASE CABINET: (1) LOCKABLE DRAWER, (2) LOCKABLE DOORS, (1) ADJUSTABLE SHELF	32.5	36	24
B05	PLASTIC LAMINATE SINK BASE CABINET: (2) LOCKABLE DOORS	32.5	36	24
MB01	METAL BASE CABINET: (2) LOCKABLE DRAWER, (2) LOCKABLE DOORS, (1) ADJUSTABLE SHELF	32.5	30	24
MB02	METAL BASE CABINET: (2) LOCKABLE DRAWER, (2) LOCKABLE DOORS, (1) ADJUSTABLE SHELF	32.5	36	24
INSTRUMENT STORAGE				
MT01	15 COMPARTMENT - B.O.D. - WENGER ULTRASTOR 2	86.625	27.5	31.75
MT02	10 COMPARTMENT - B.O.D. - WENGER ULTRASTOR 5	86.625	27.5	41.75
MT03	7 COMPARTMENT - B.O.D. - WENGER ULTRASTOR 7	86.625	27.5	41.75
MT04	3 COMPARTMENT - B.O.D. - WENGER ULTRASTOR 10	86.625	27.5	31.75
MT05	3 COMPARTMENT - B.O.D. - WENGER ULTRASTOR 11	86.625	27.5	41.75
MT06	3 COMPARTMENT - B.O.D. - WENGER ULTRASTOR 12	86.625	44.5	31.75
MT07	3 COMPARTMENT - B.O.D. - WENGER ULTRASTOR 46	86.625	27.5	31.75
MT08	10 COMPARTMENT - B.O.D. - WENGER ULTRASTOR 2N	86.625	21.5	39.25
MT09	1 COMPARTMENT - B.O.D. - WENGER ULTRASTOR 9N	86.625	21.5	29.25
MT10	2 COMPARTMENT - B.O.D. - WENGER ULTRASTOR 9N	86.625	21.5	29.25
TALL CABINETS				
MT101	METAL TALL CABINET: (2) LOCKABLE DOORS, 12 INCH CUBBIES, PEG BOARD BACK LINER	84	60	24
MT102	METAL TALL CABINET: (2) LOCKABLE DOORS, (5) ADJUSTABLE SHELVES	84	42	18
MT103	METAL TALL CABINET: (2) LOCKABLE DOORS, FLAMMABLES STORAGE UNIT	84	42	18
T01	PLASTIC LAMINATE TALL CABINET: (2) LOCKABLE DOORS, (5) ADJUSTABLE SHELVES	84	36	24
UPPER CABINETS				
MU01	METAL WALL CABINET: (2) LOCKABLE DOORS, (1) ADJUSTABLE SHELF	18	42	12
MU02	METAL WALL CABINET: (2) LOCKABLE DOORS, (1) ADJUSTABLE SHELF	30	30	12
MU03	METAL WALL CABINET: (2) LOCKABLE DOORS, (1) ADJUSTABLE SHELF	30	36	12
U01	PLASTIC LAMINATE WALL CABINET: (2) LOCKABLE DOORS, (1) ADJUSTABLE SHELF	18	36	12
U02	PLASTIC LAMINATE WALL CABINET: (1) LOCKABLE DOOR, (1) ADJUSTABLE SHELF	30	18	12
U03	PLASTIC LAMINATE WALL CABINET: (2) LOCKABLE DOORS, (1) ADJUSTABLE SHELF	30	30	12
U04	PLASTIC LAMINATE WALL CABINET: (2) LOCKABLE DOORS, (1) ADJUSTABLE SHELF	30	36	12

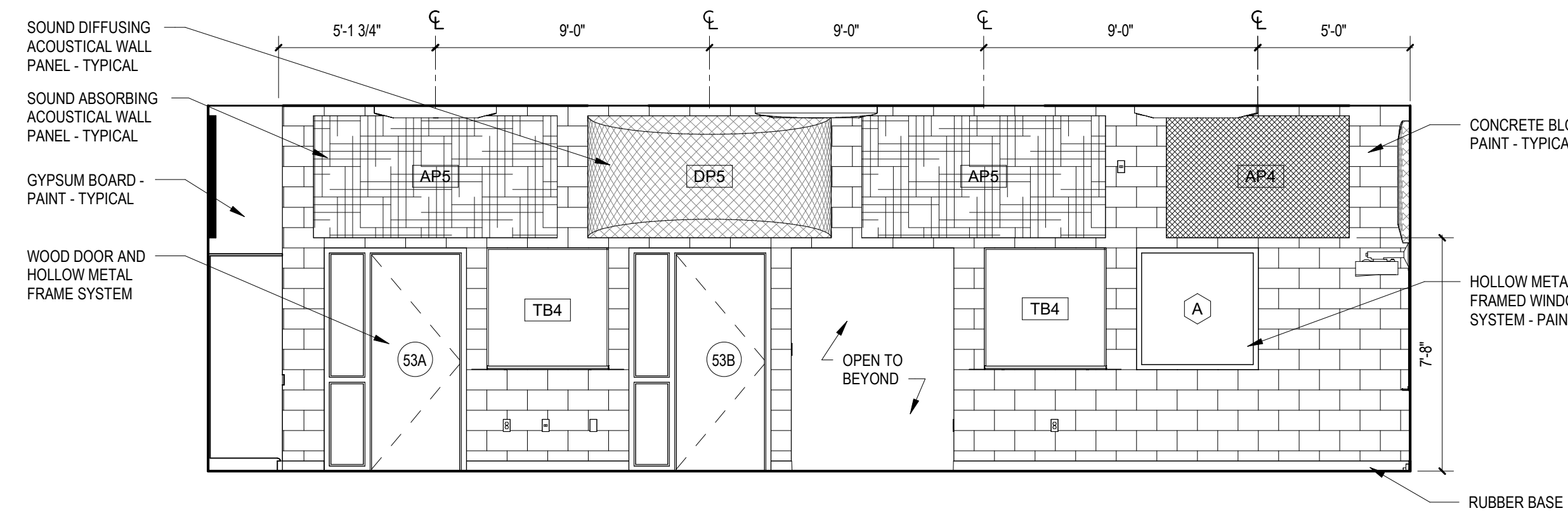
ACOUSTICAL TREATMENT LEGEND			
MARK	PANEL TYPE	PANEL COLOR	SIZE
DP1	DIFFUSER PANEL	RED	24"x48"x2"
DP2	DIFFUSER PANEL	GRAY	36"x48"x2"
DP3	DIFFUSER PANEL	RED	36"x12"x2"
DP4	DIFFUSER PANEL	GRAY	36"x72"x2"
DP5	DIFFUSER PANEL	RED	48"x96"x2"
AP1	ACOUSTICAL PANEL	GRAY	36"x48"x2"
AP2	ACOUSTICAL PANEL	GRAY	48"x96"x2"
AP3	ACOUSTICAL PANEL	RED	36"x72"x2"
AP4	ACOUSTICAL PANEL	RED	48"x12"x2"
AP5	ACOUSTICAL PANEL	GRAY	48"x96"x2"
AP6	ACOUSTICAL PANEL	RED	48"x96"x2"



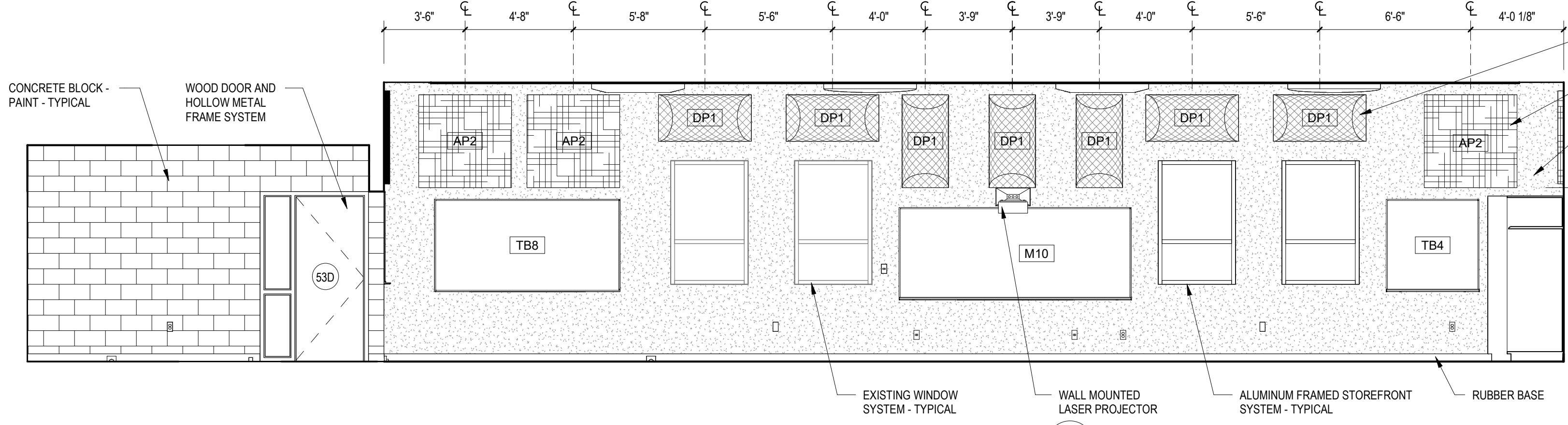
12 INTERIOR ELEVATION
1/4" = 1'-0" A-101B



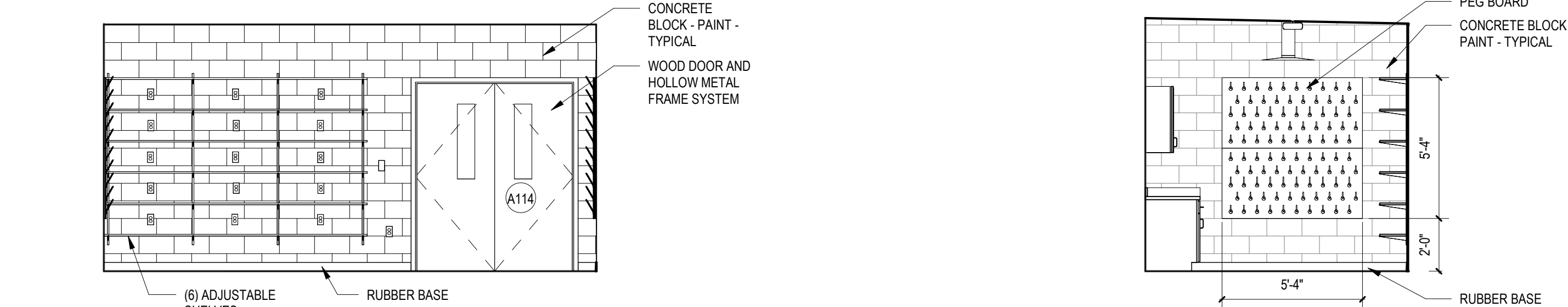
11 INTERIOR ELEVATION
1/4" = 1'-0" A-101B



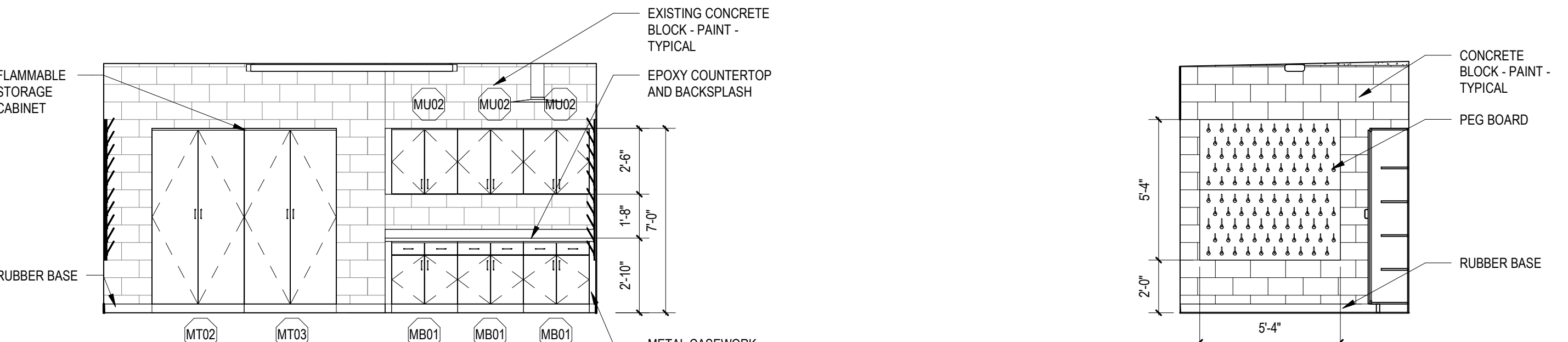
10 INTERIOR ELEVATION
1/4" = 1'-0" A-101B



9 INTERIOR ELEVATION
1/4" = 1'-0" A-101B

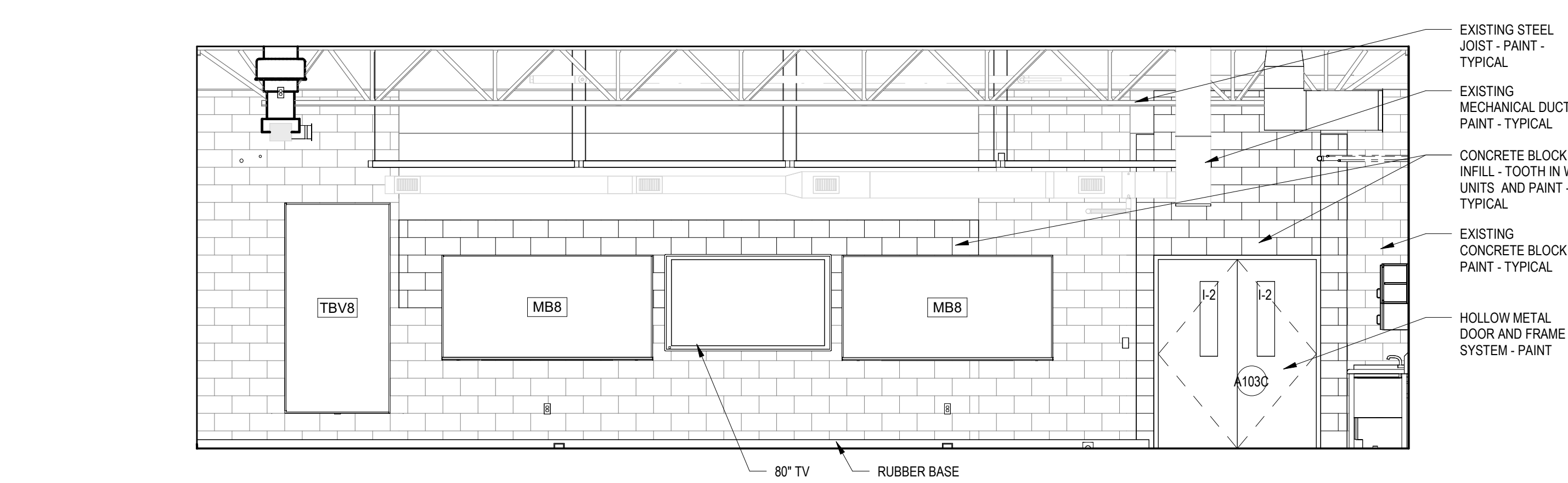


8 INTERIOR ELEVATION
1/4" = 1'-0" A-101A



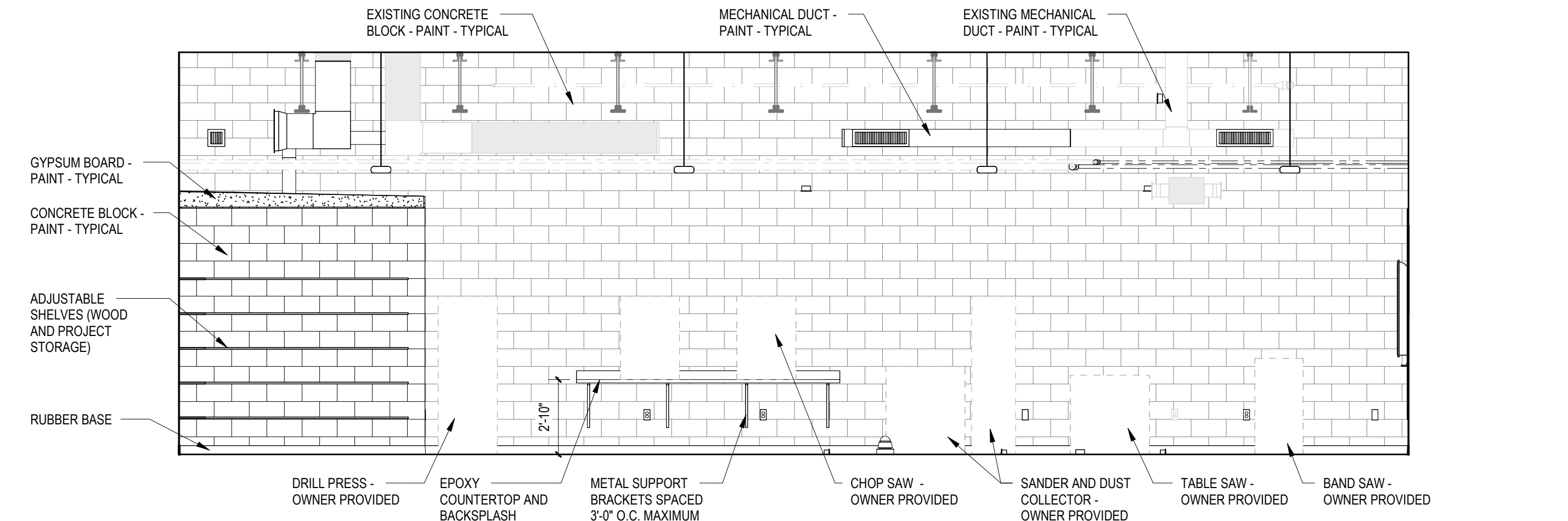
7 INTERIOR ELEVATION
1/4" = 1'-0" A-101A

6 INTERIOR ELEVATION
1/4" = 1'-0" A-101A

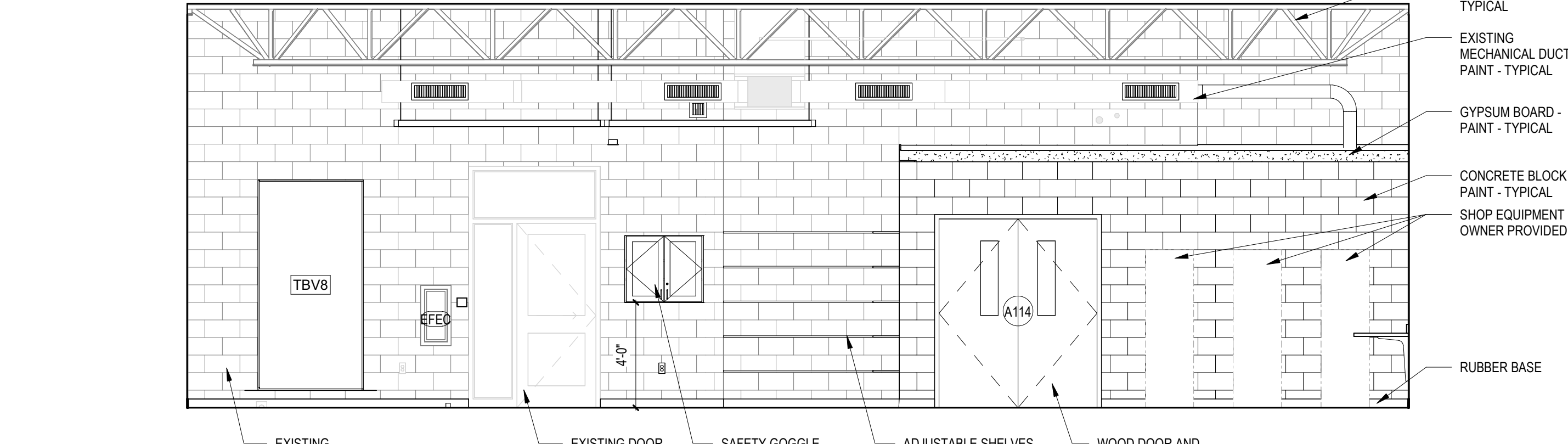


5 INTERIOR ELEVATION
1/4" = 1'-0" A-101A

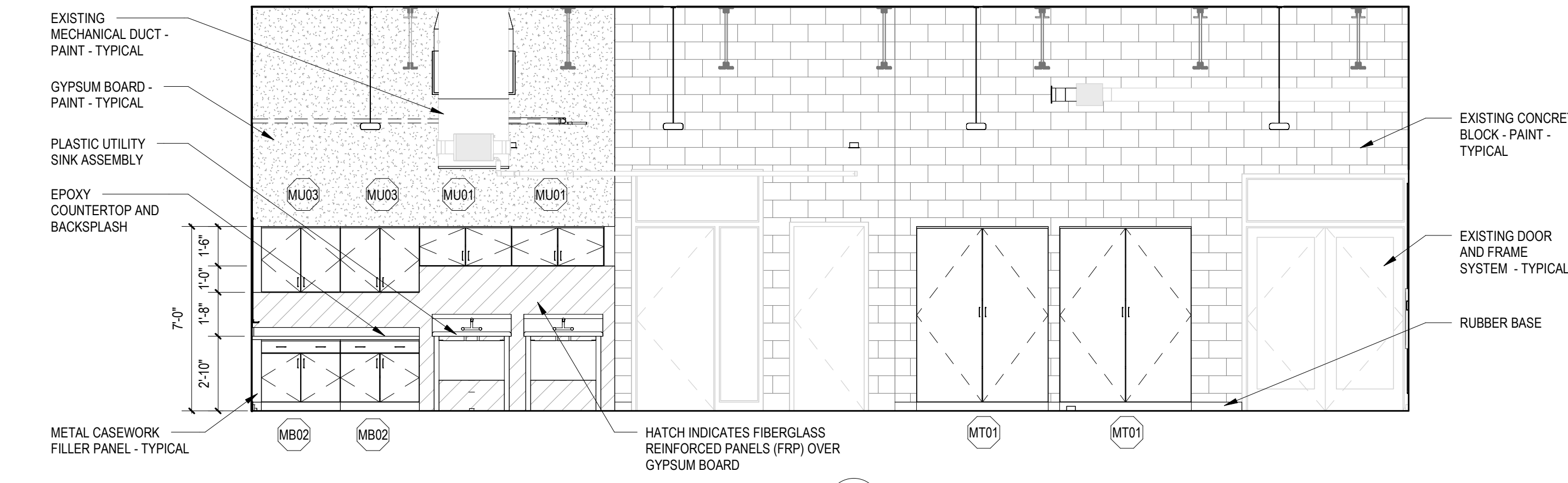
4 INTERIOR ELEVATION
1/4" = 1'-0" A-101A



3 INTERIOR ELEVATION
1/4" = 1'-0" A-101A



2 INTERIOR ELEVATION
1/4" = 1'-0" A-101A



1 INTERIOR ELEVATION
1/4" = 1'-0" A-101A

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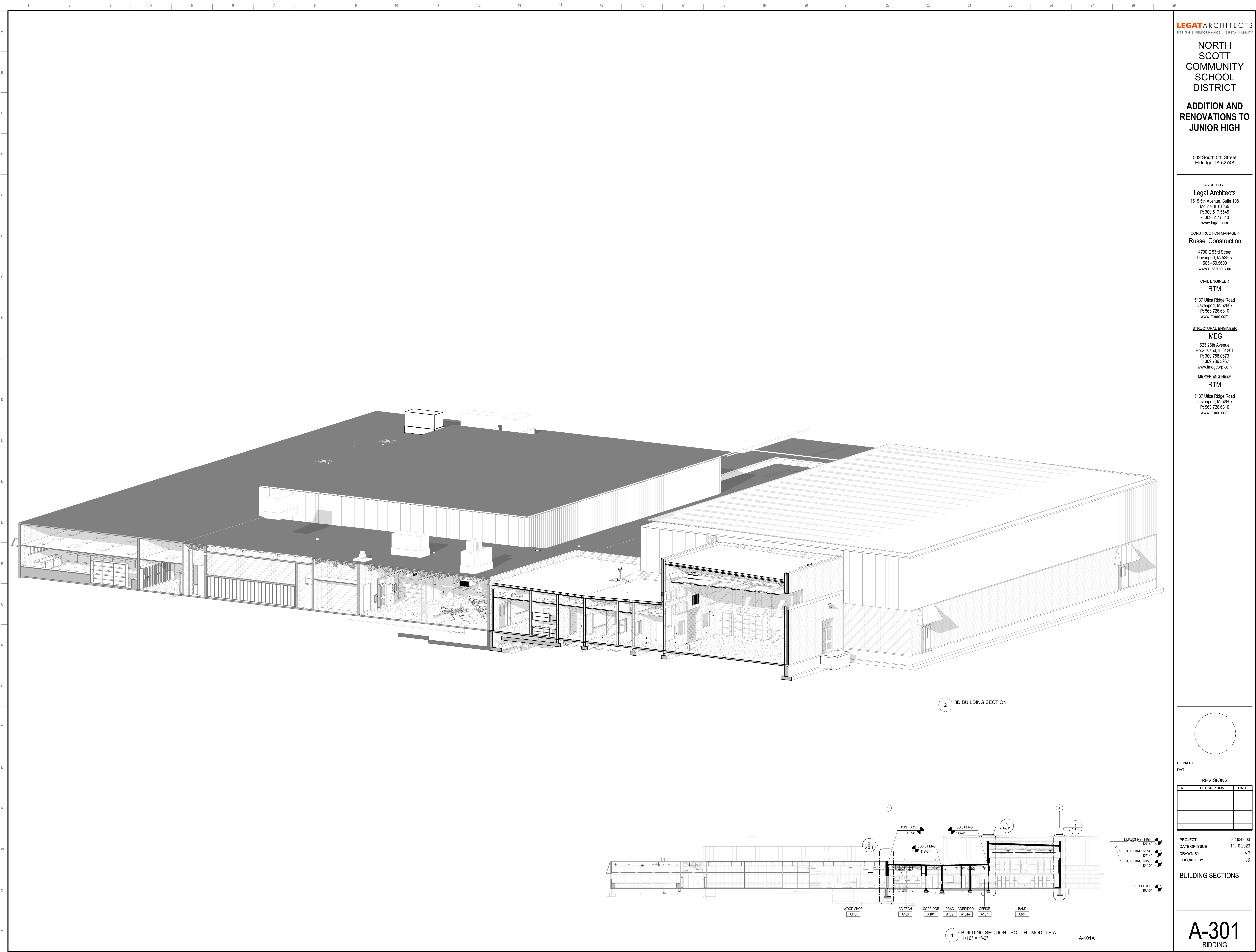
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INTERIOR ELEVATIONS



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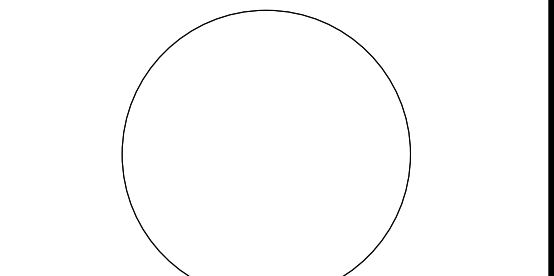
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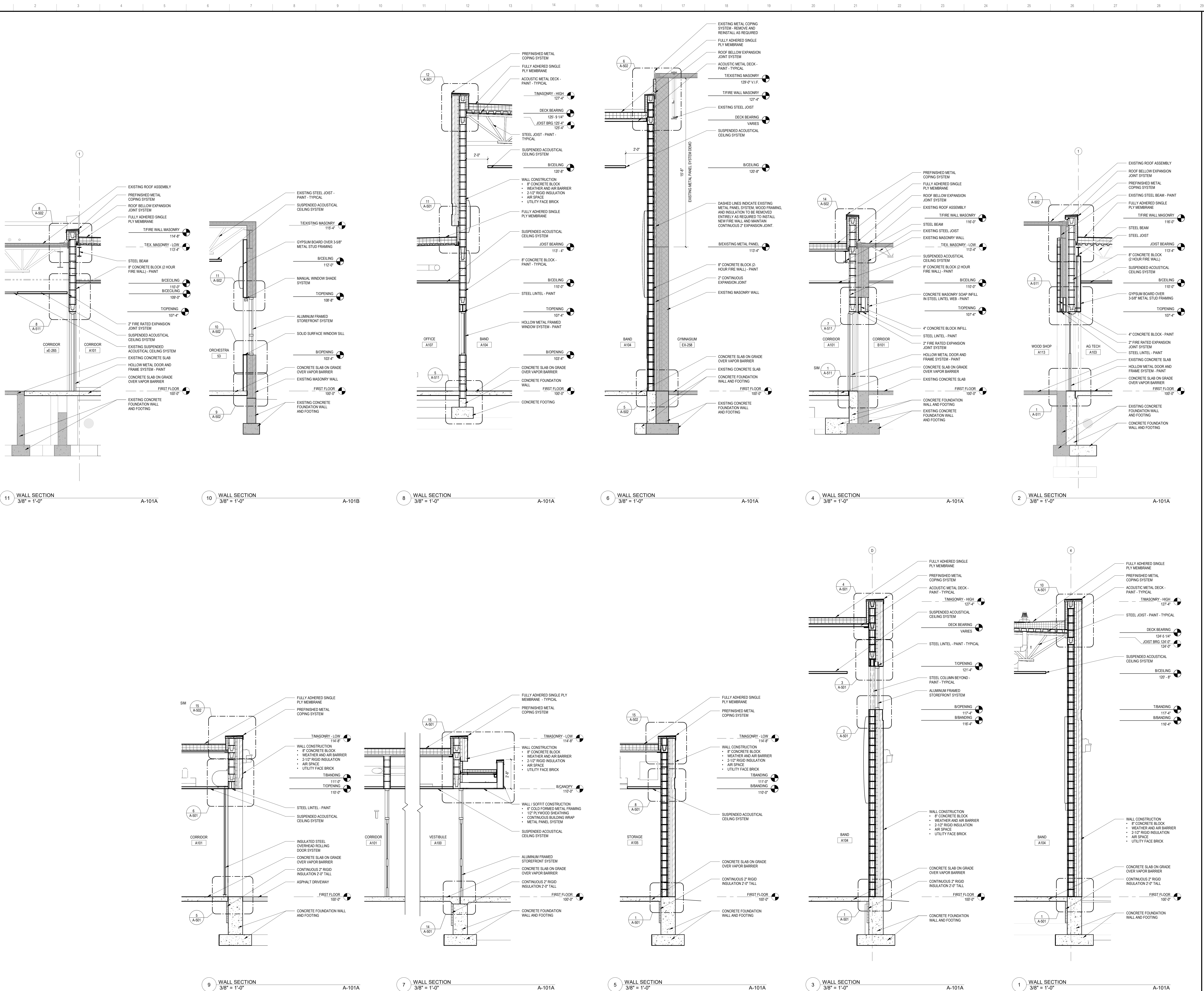
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BUILDING SECTIONS

A-301
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WALL SECTIONS

A-311
BIDDING

1

2

3

4

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X

Y

ABBREVIATIONS

DF

DRINKING FOUNTAIN WITH BOTTLE FILLER - ADA ACCESSIBLE

FD

FLOOR DRAIN

GB1

GRAB BAR 36"

GB2

GRAB BAR 42"

GB3

GRAB BAR 18"

HD

ELECTRIC HAND DRYER

M1

24" X 36" MIRROR

L1

LAVATORY - ADA ACCESSIBLE

SD

SOAP DISPENSER

SN

SANITARY NAPKIN DISPOSAL

TP

TOILET PAPER DISPENSER

WC1

WATER CLOSET - ADA ACCESSIBLE

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8

MIRROR DETAIL

3" = 1'-0"

4

INTERIOR TOILET ELEVATION - SOUTH

1/4" = 1'-0"

A-401

7

TYPICAL TOILET ROOM SIGNAGE

3" = 1'-0"

6

INTEGRAL RESINOUS WALL BASE WITH CERAMIC TILE

3" = 1'-0"

5

GRAB BAR MOUNTING DETAIL

3" = 1'-0"

4

INTERIOR TOILET ELEVATION - SOUTH

1/4" = 1'-0"

A-401

3

INTERIOR TOILET ELEVATION - WEST

1/4" = 1'-0"

A-401

2

INTERIOR TOILET ELEVATION - NORTH

1/4" = 1'-0"

A-401

1

ENLARGED PLAN - TOILET A102

1/4" = 1'-0"

A-101A

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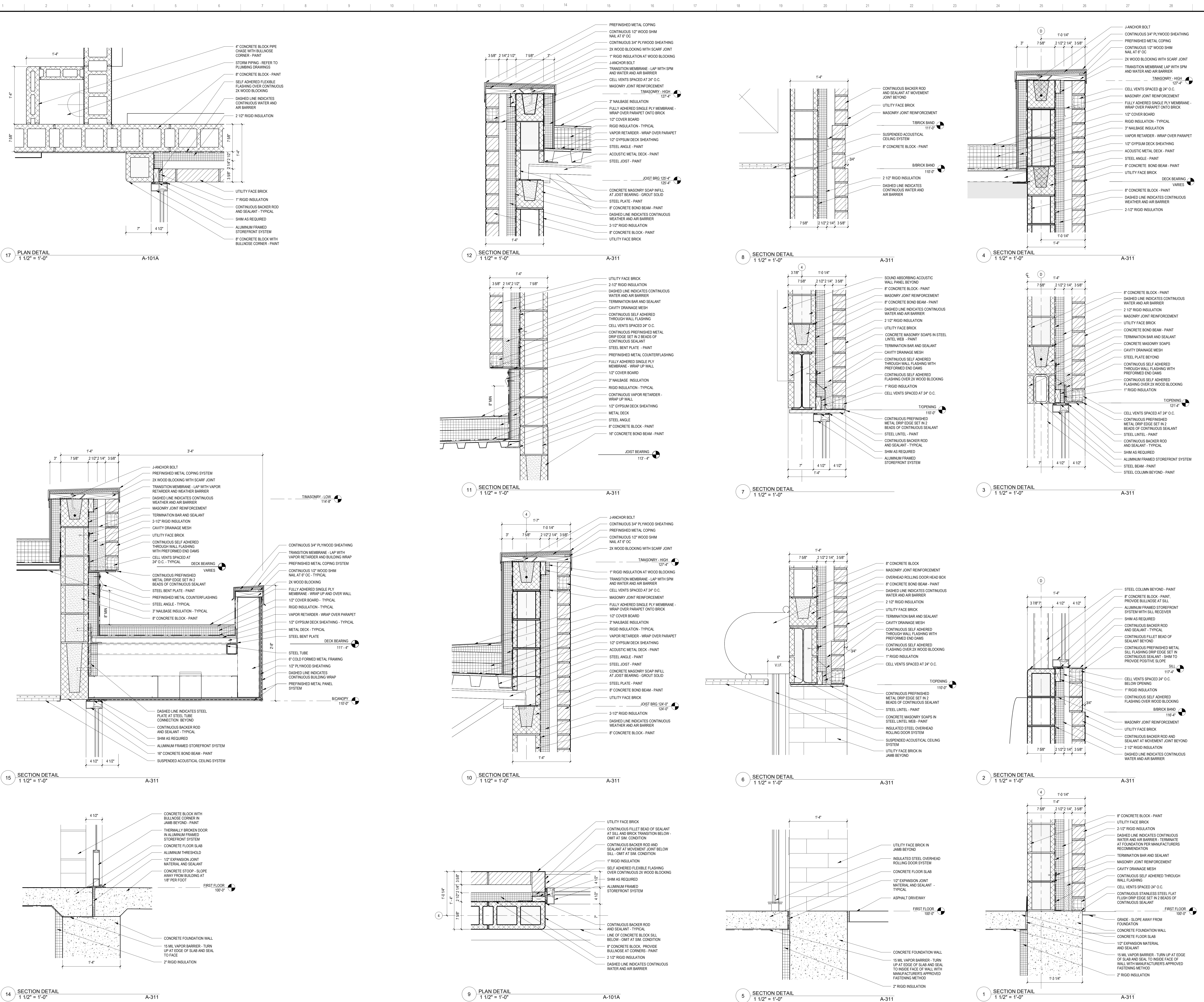
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ENLARGED TOILET ROOM PLANS, ELEVATIONS & DETAILS

A-401

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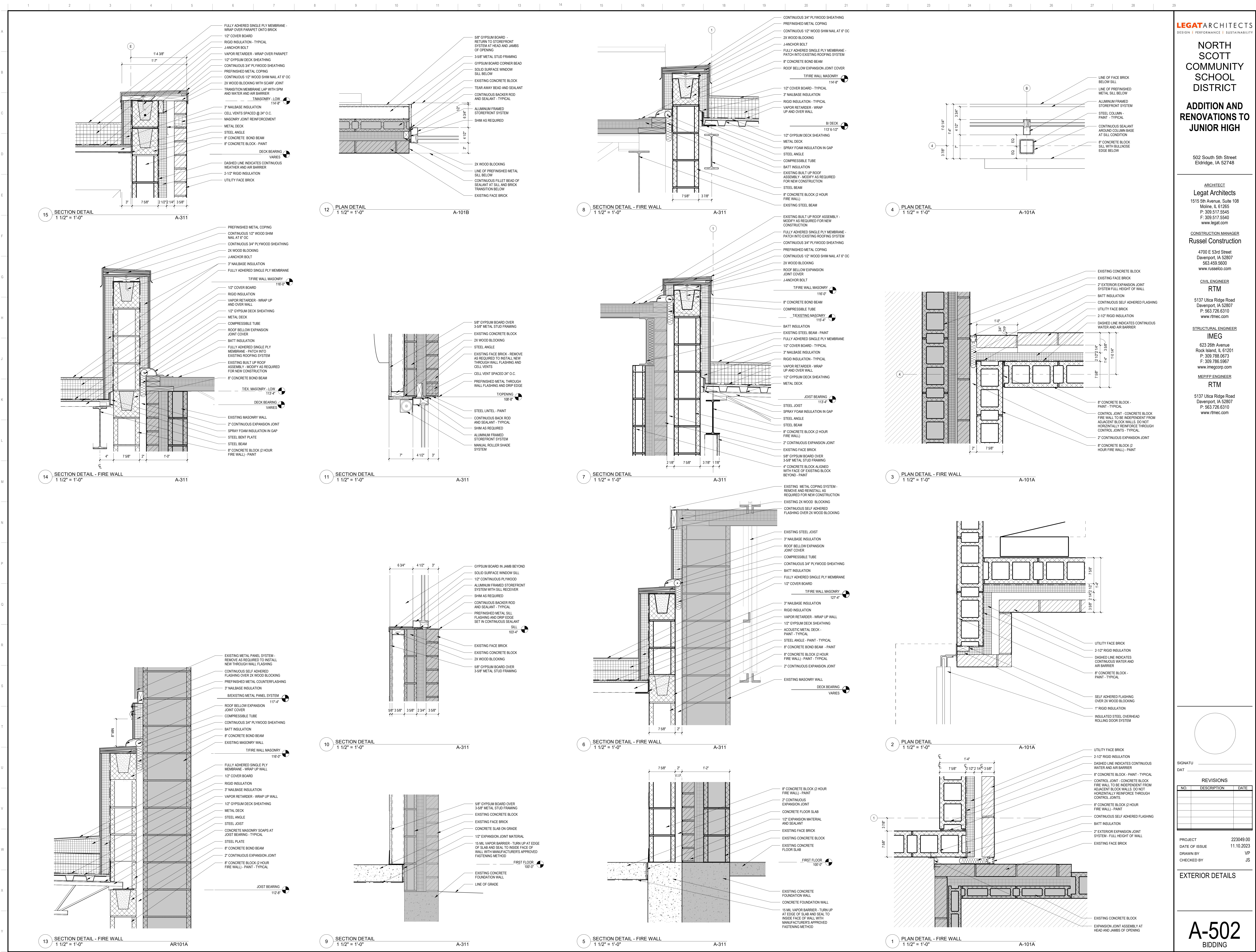
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EXTERIOR DETAILS

A-501

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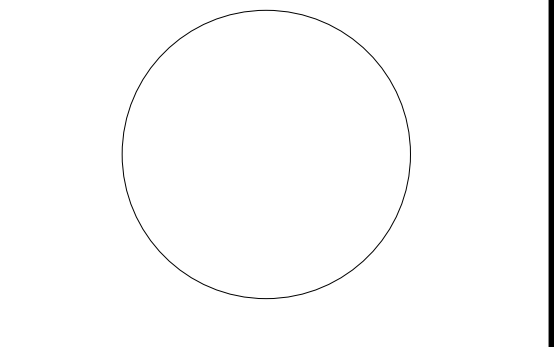
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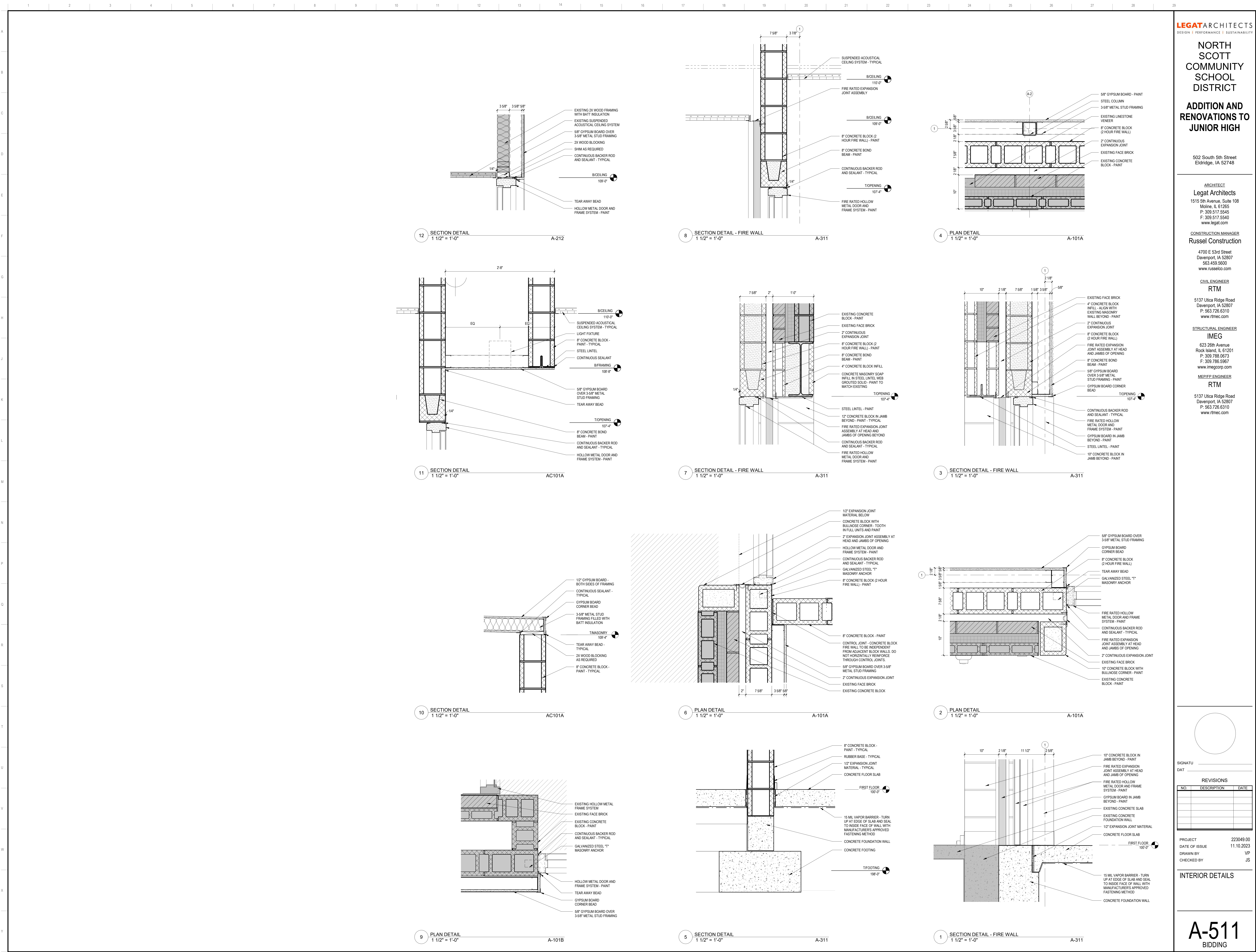
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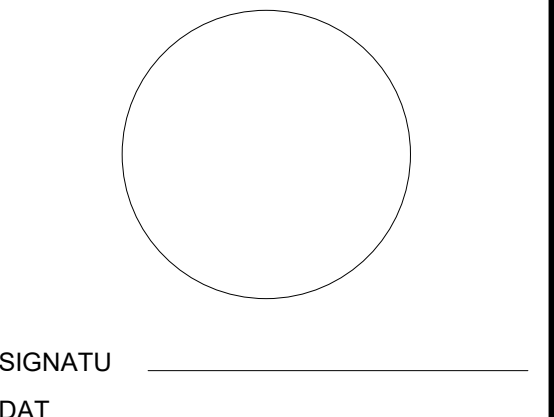
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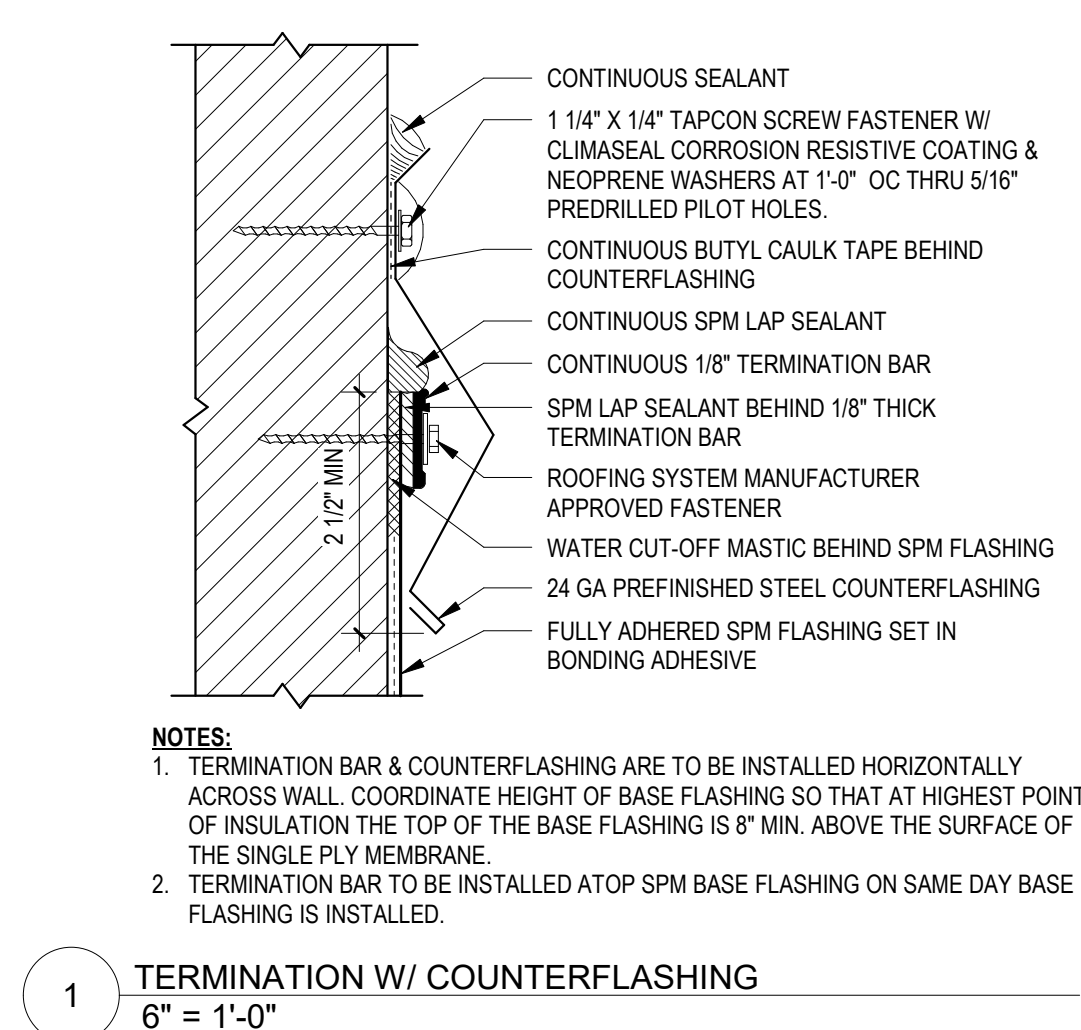
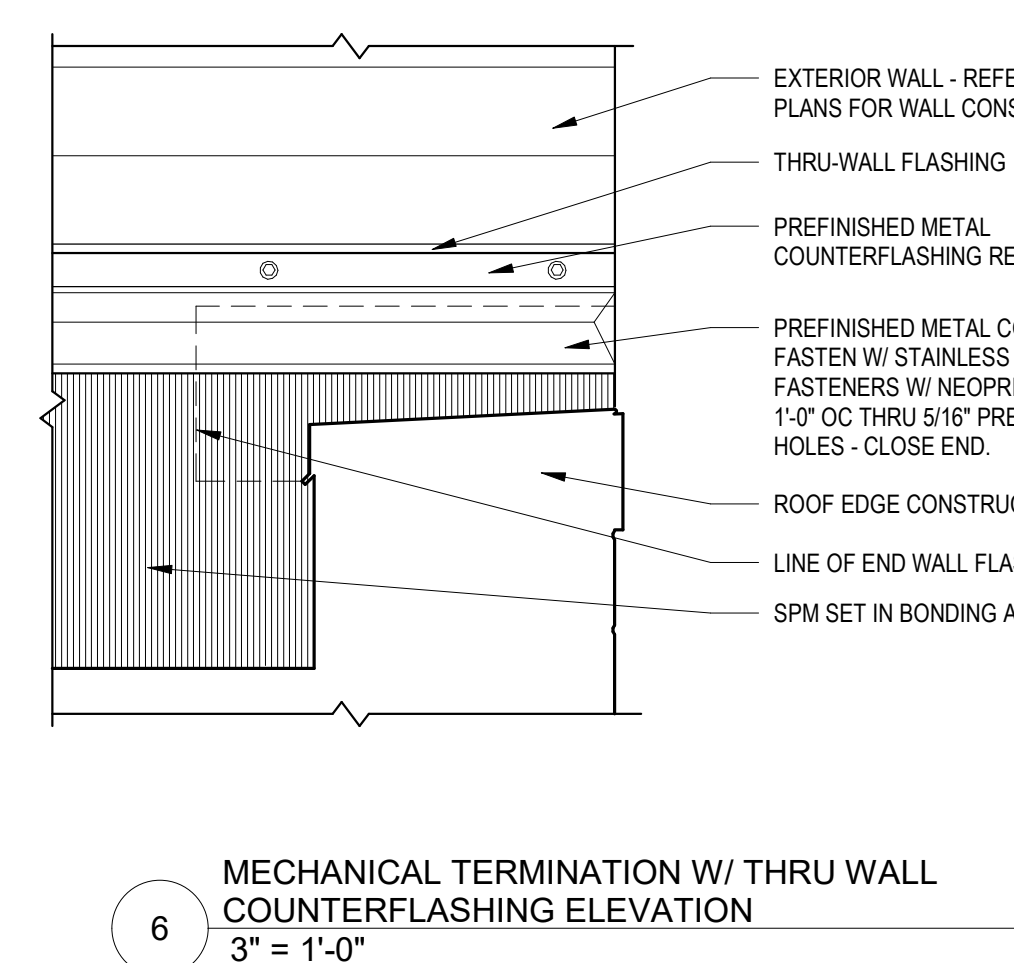
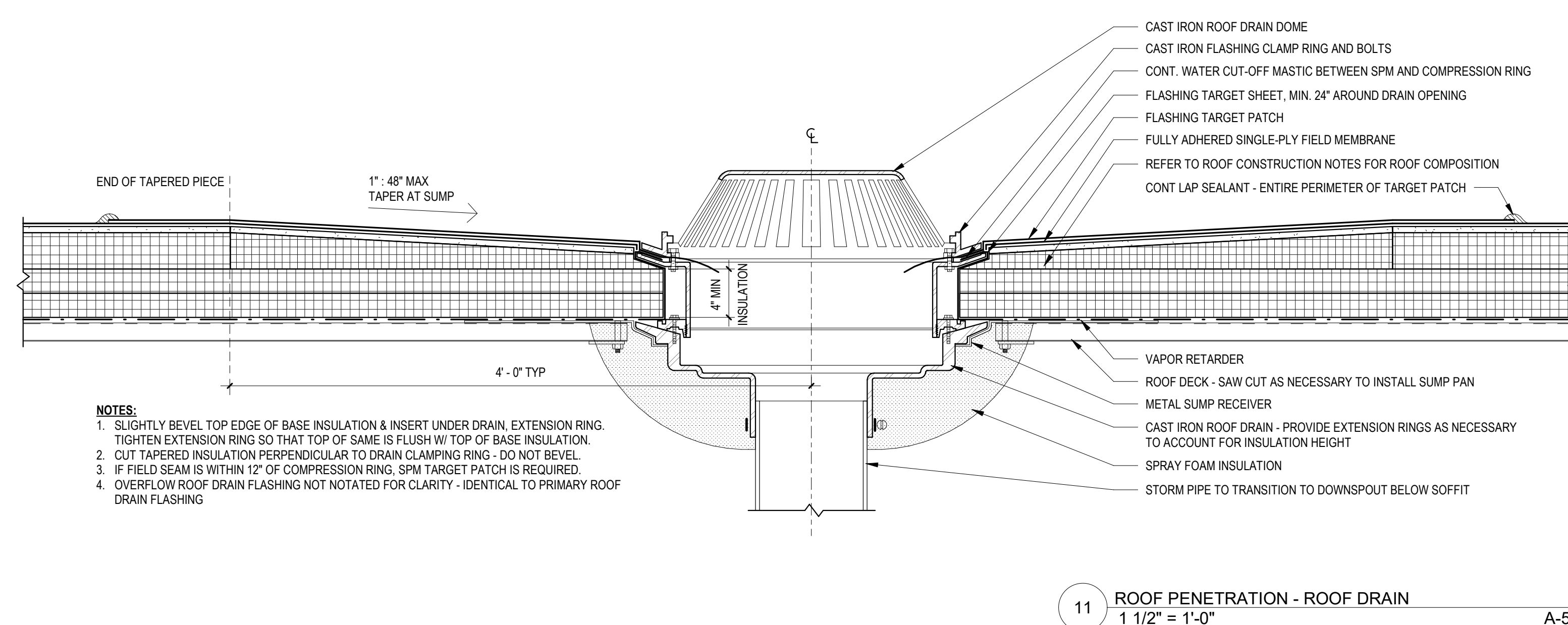
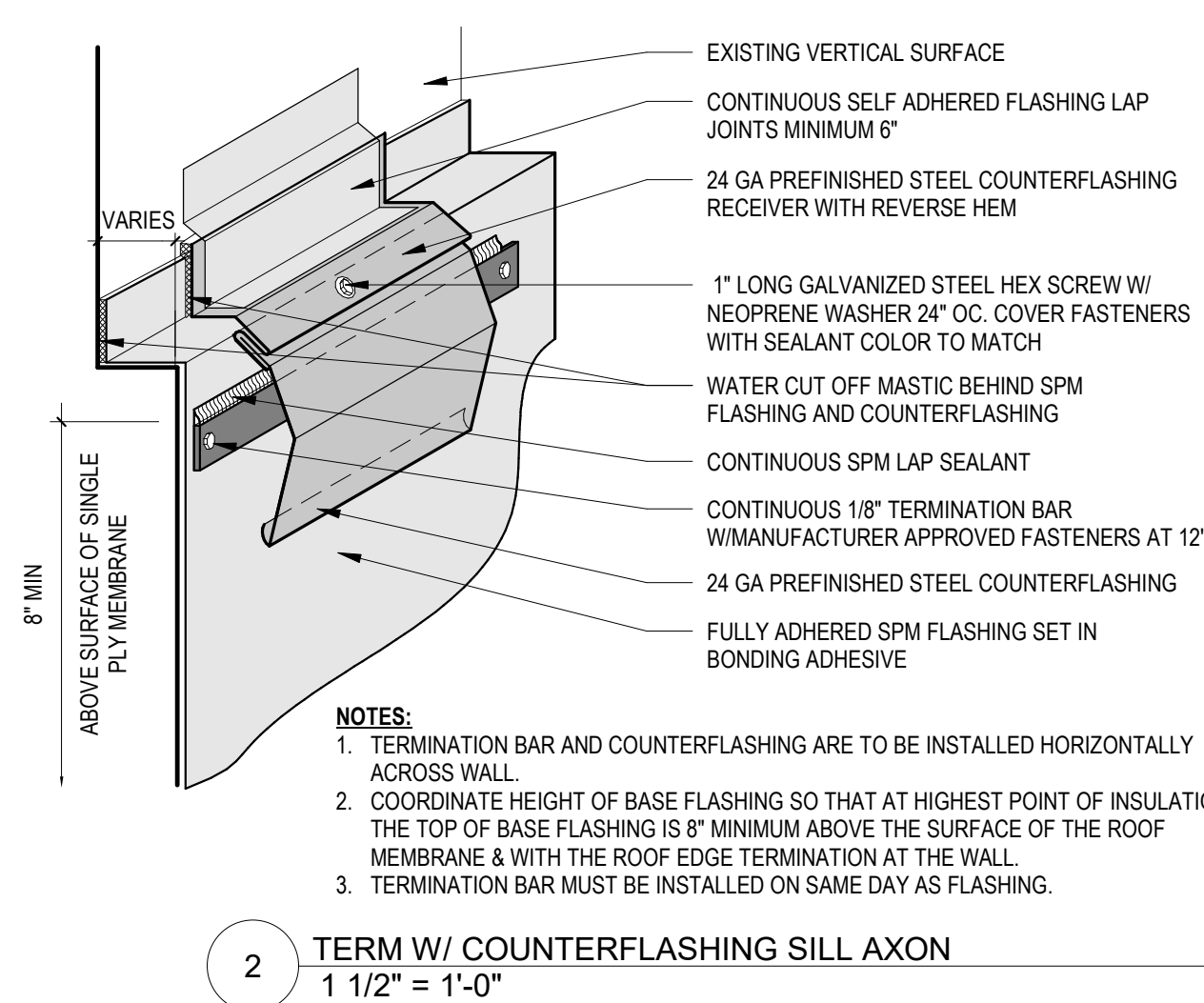
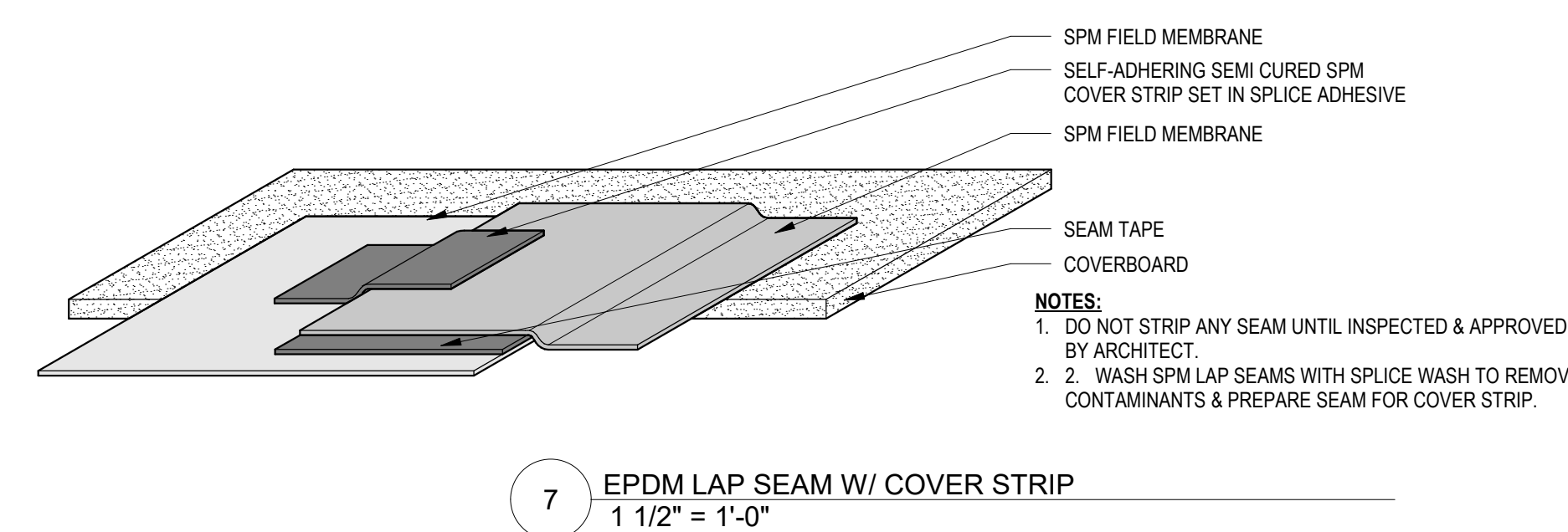
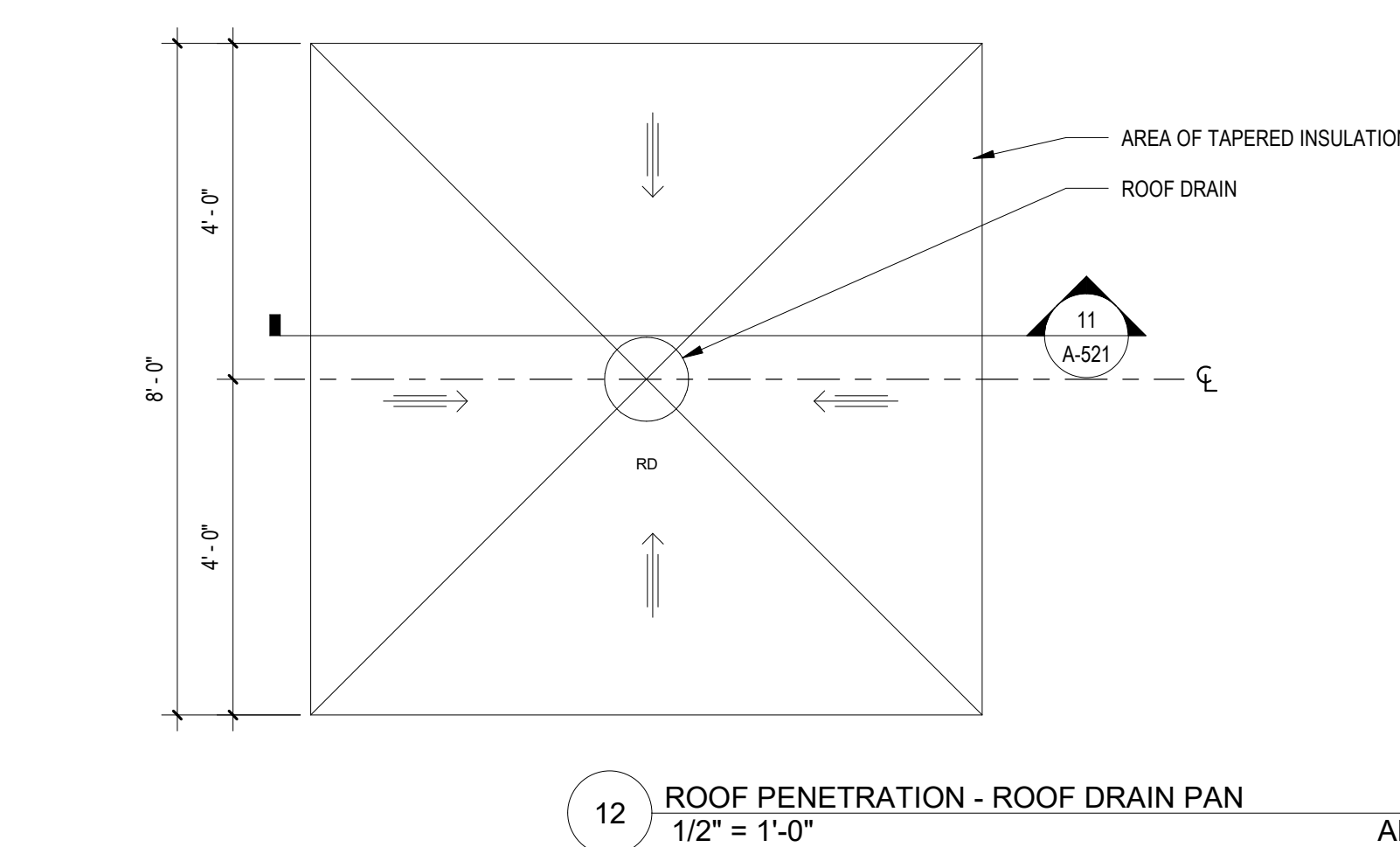
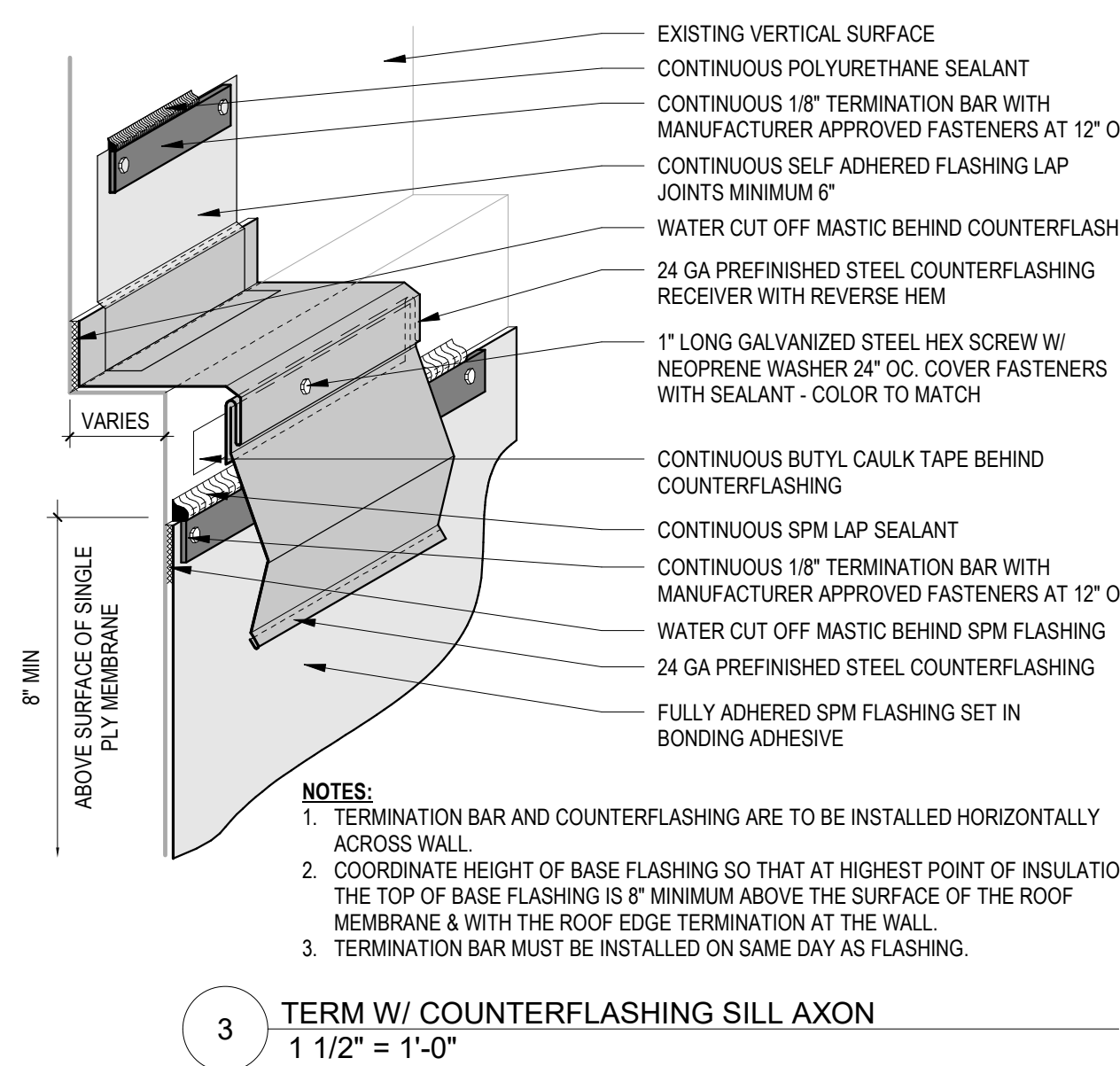
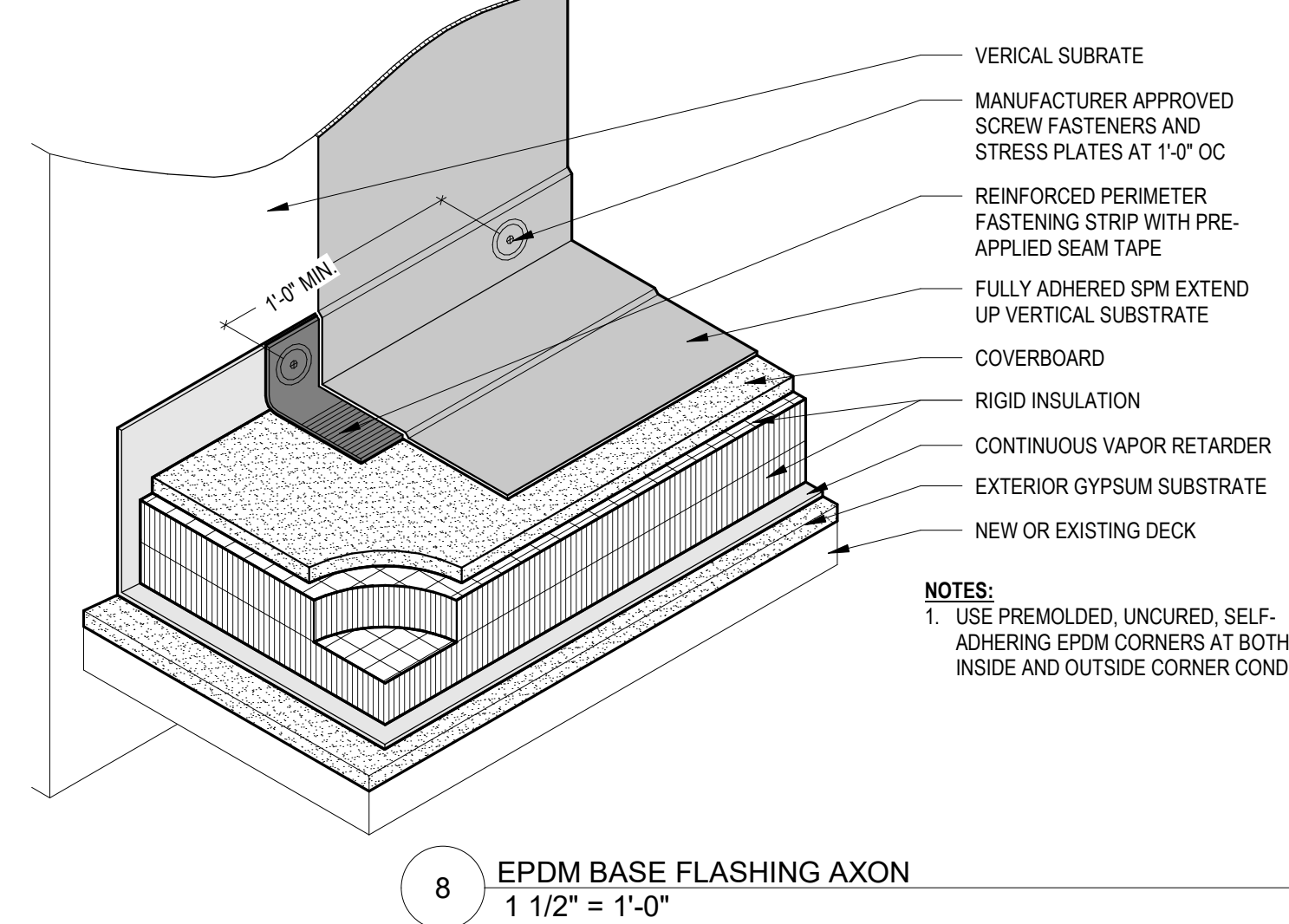
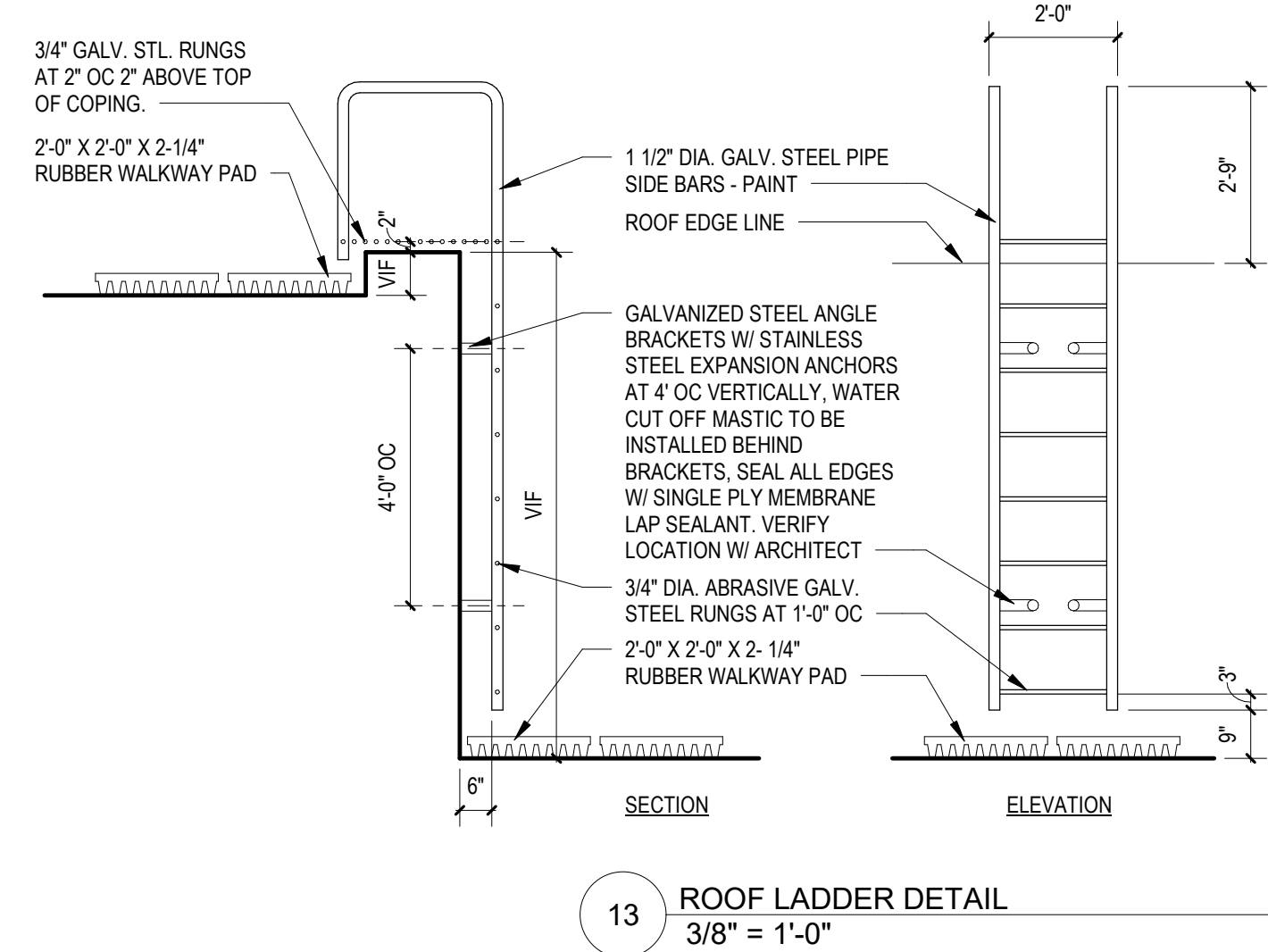
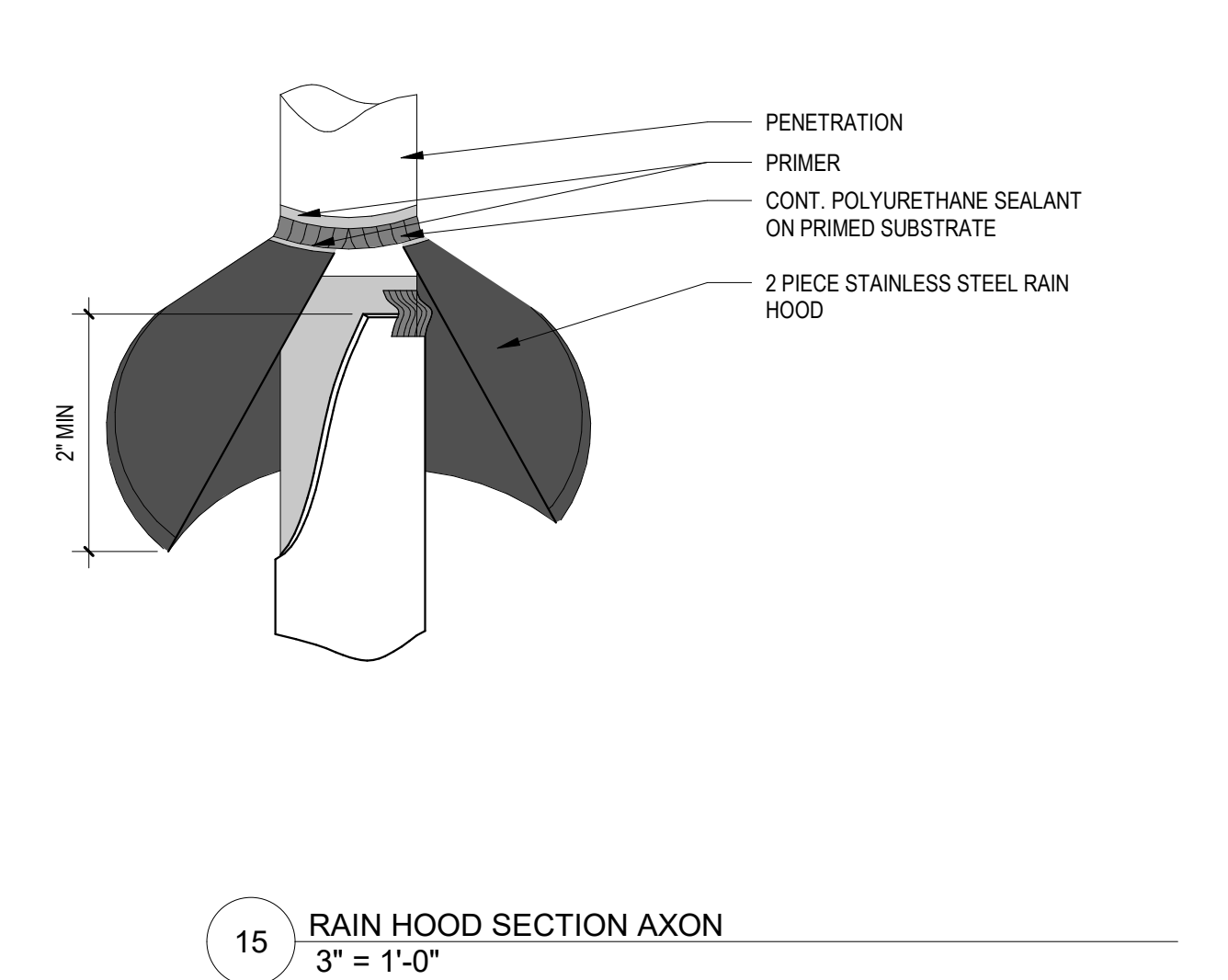
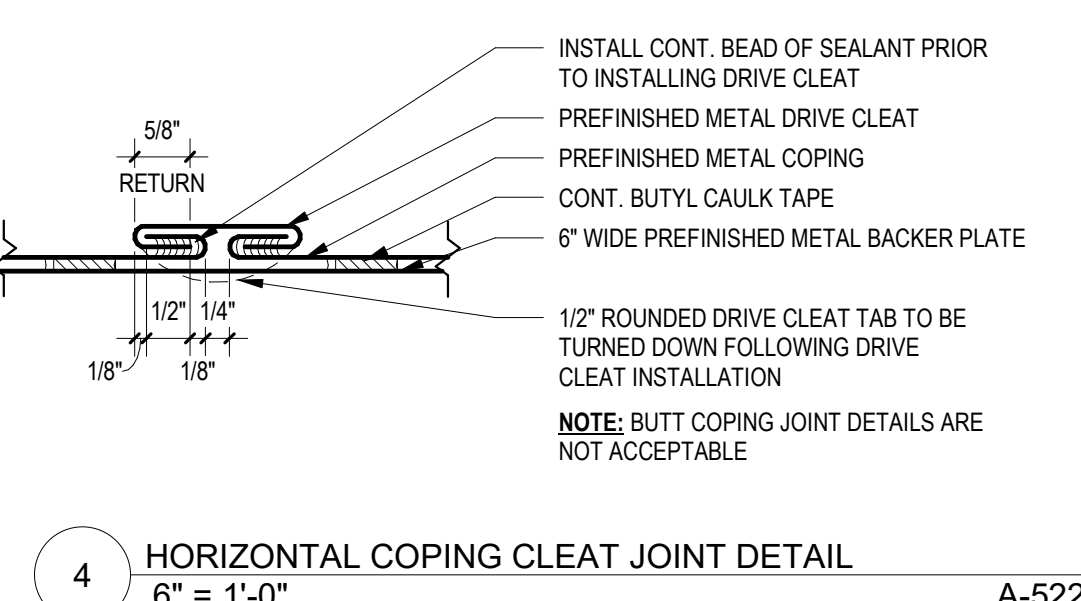
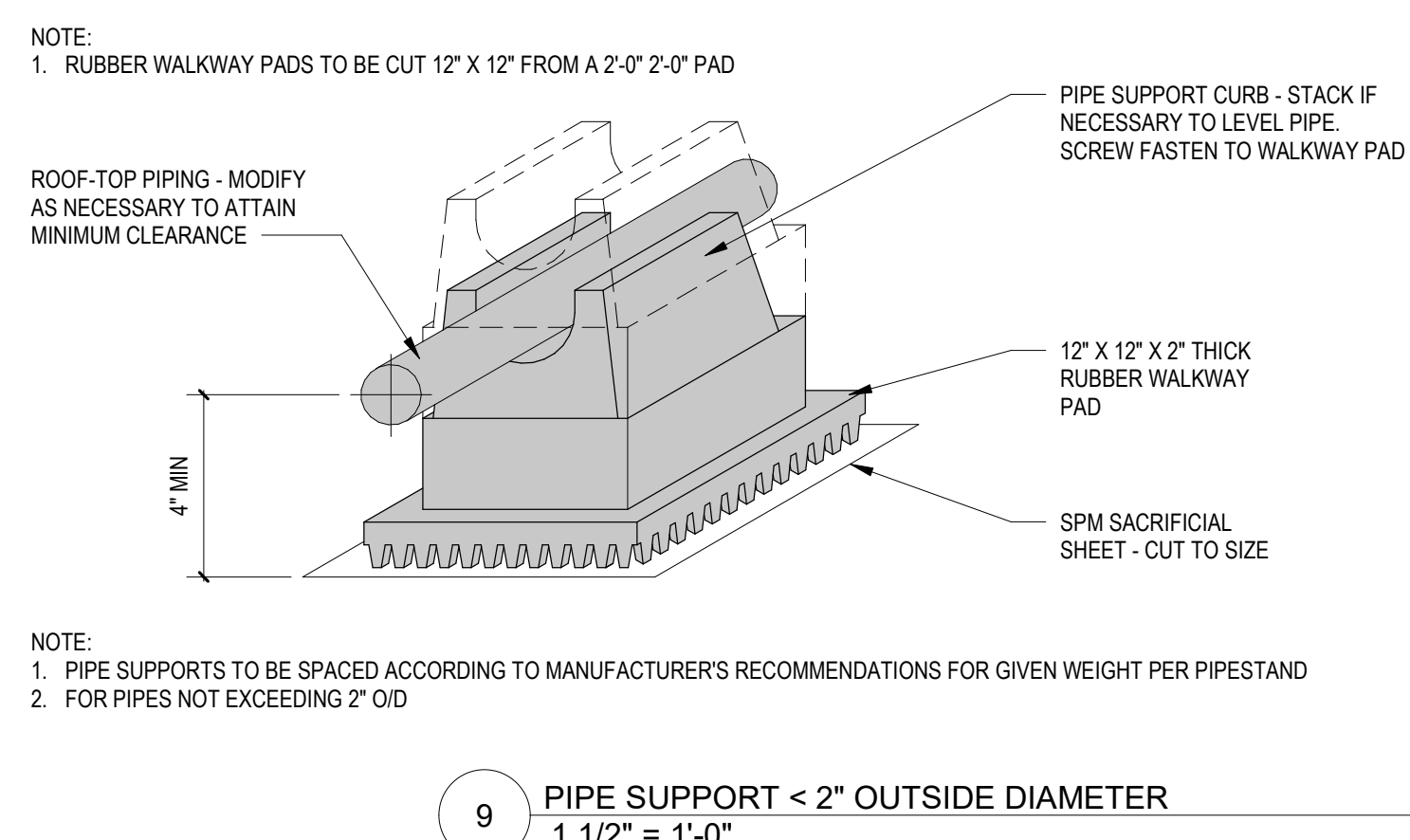
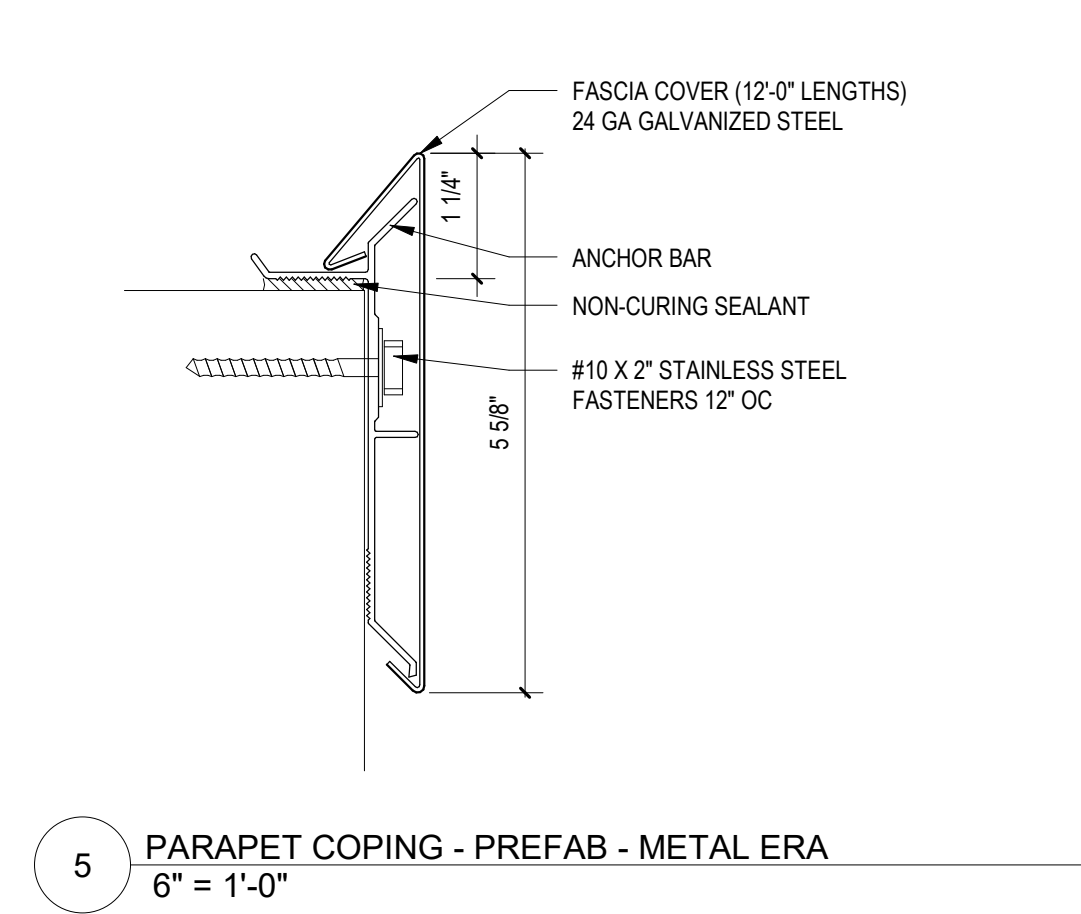
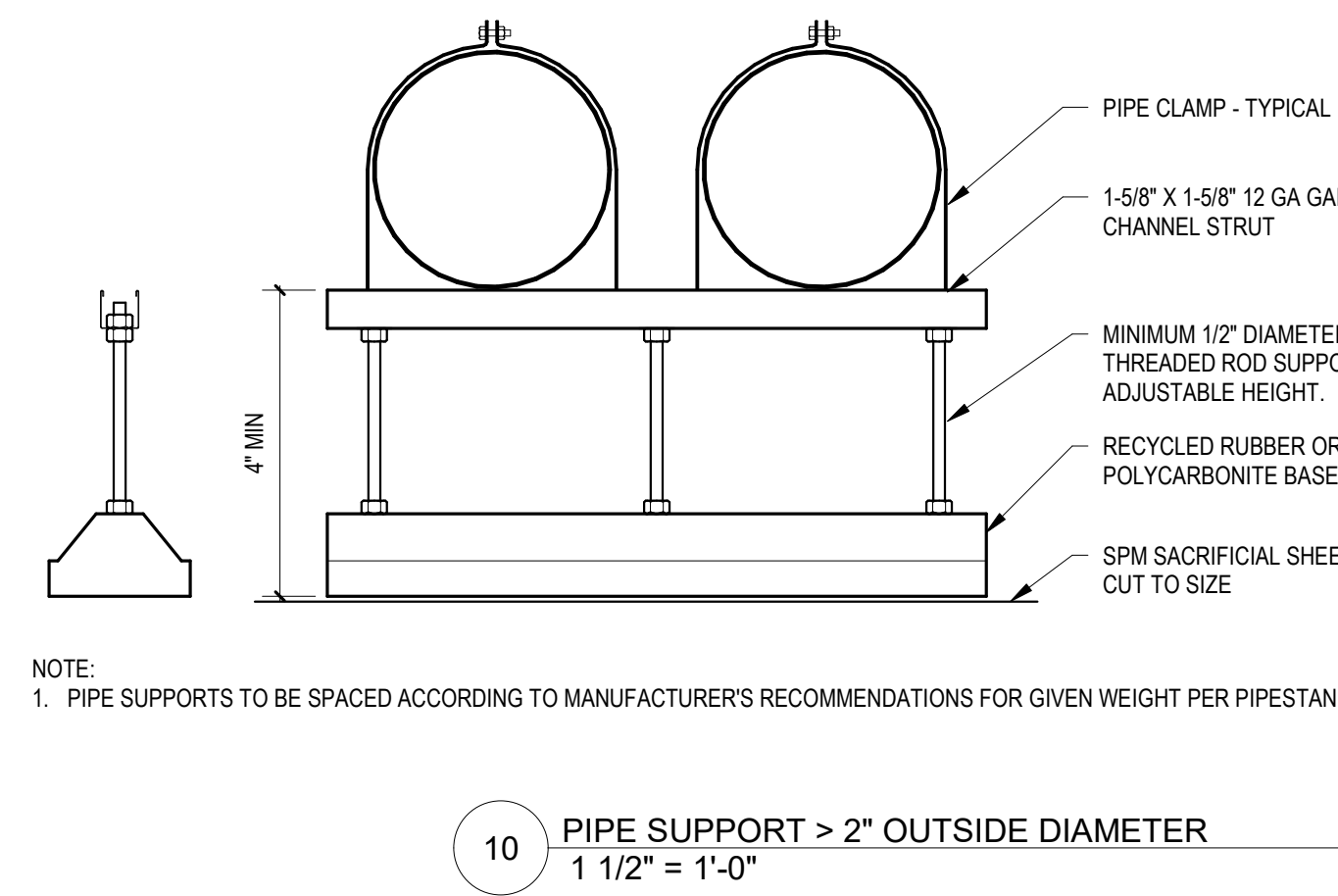
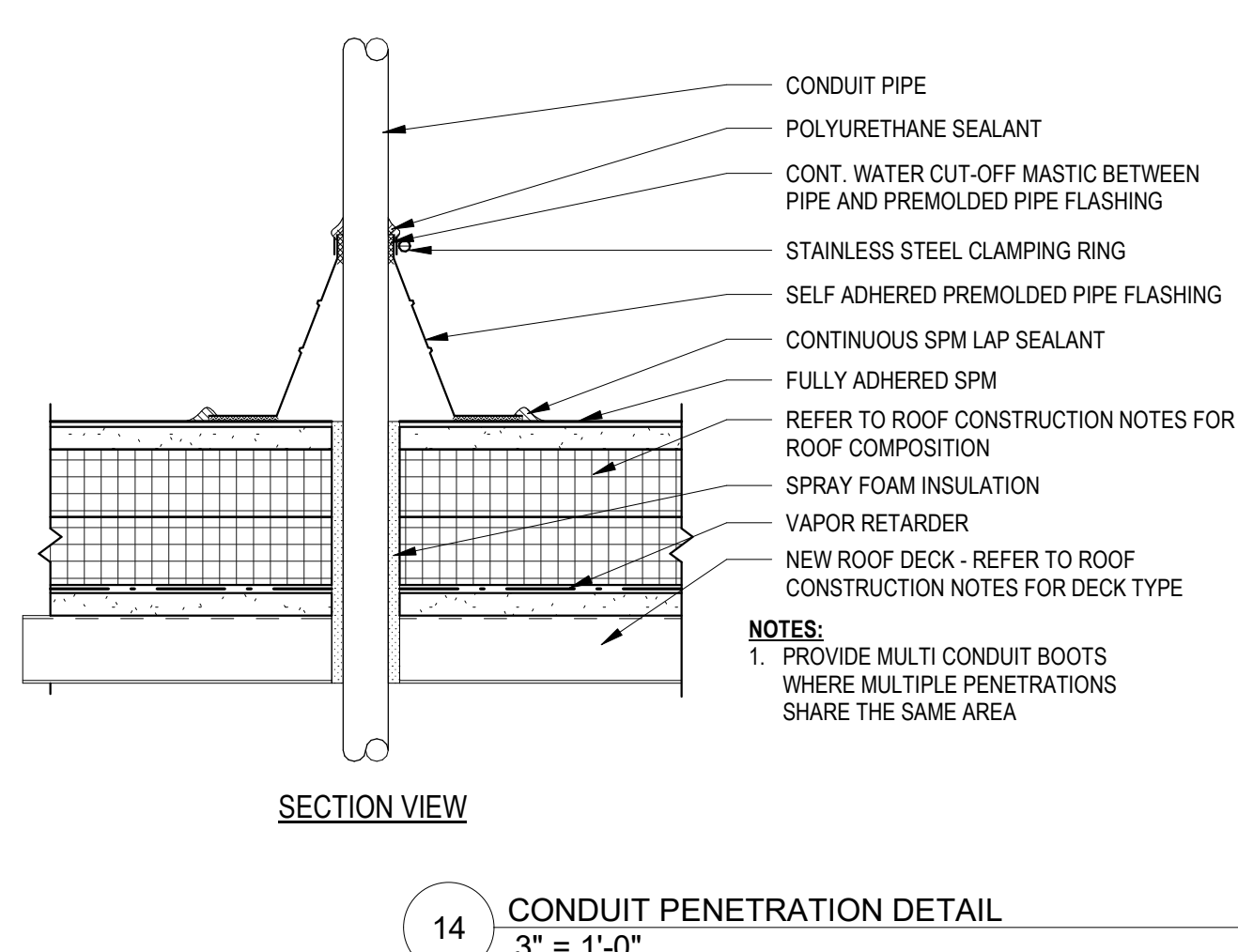
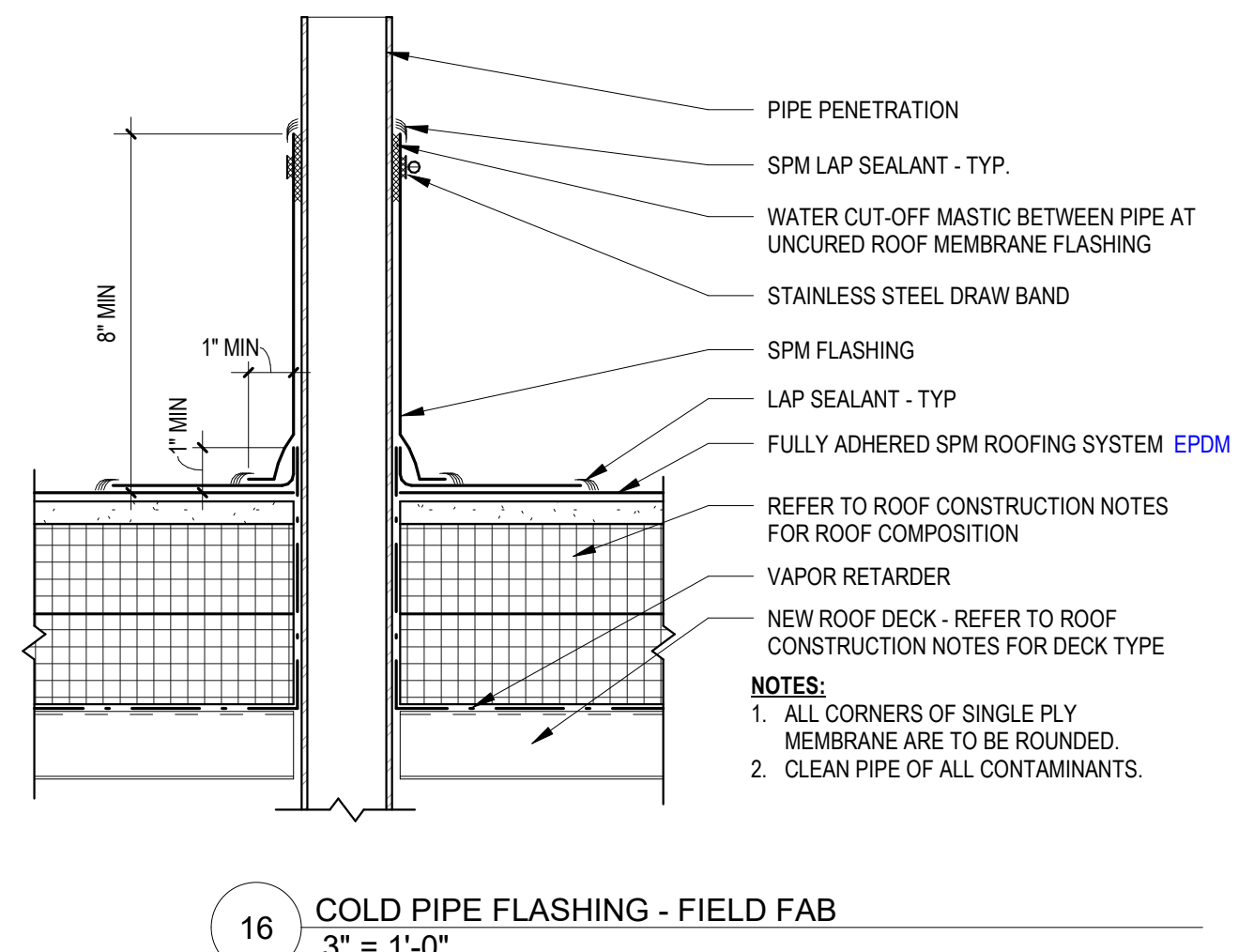
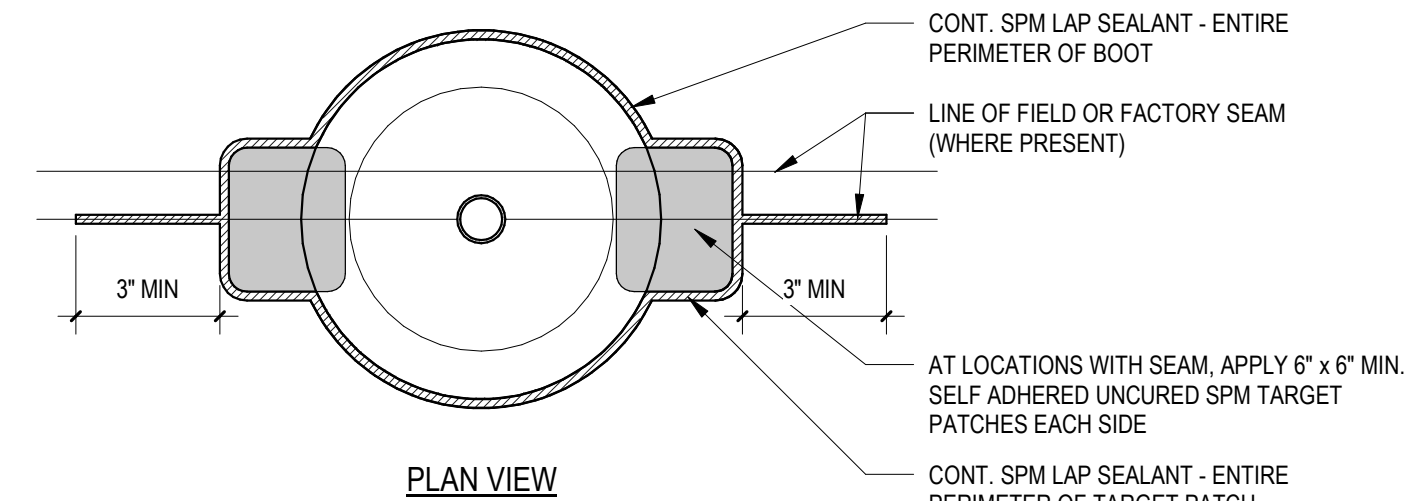
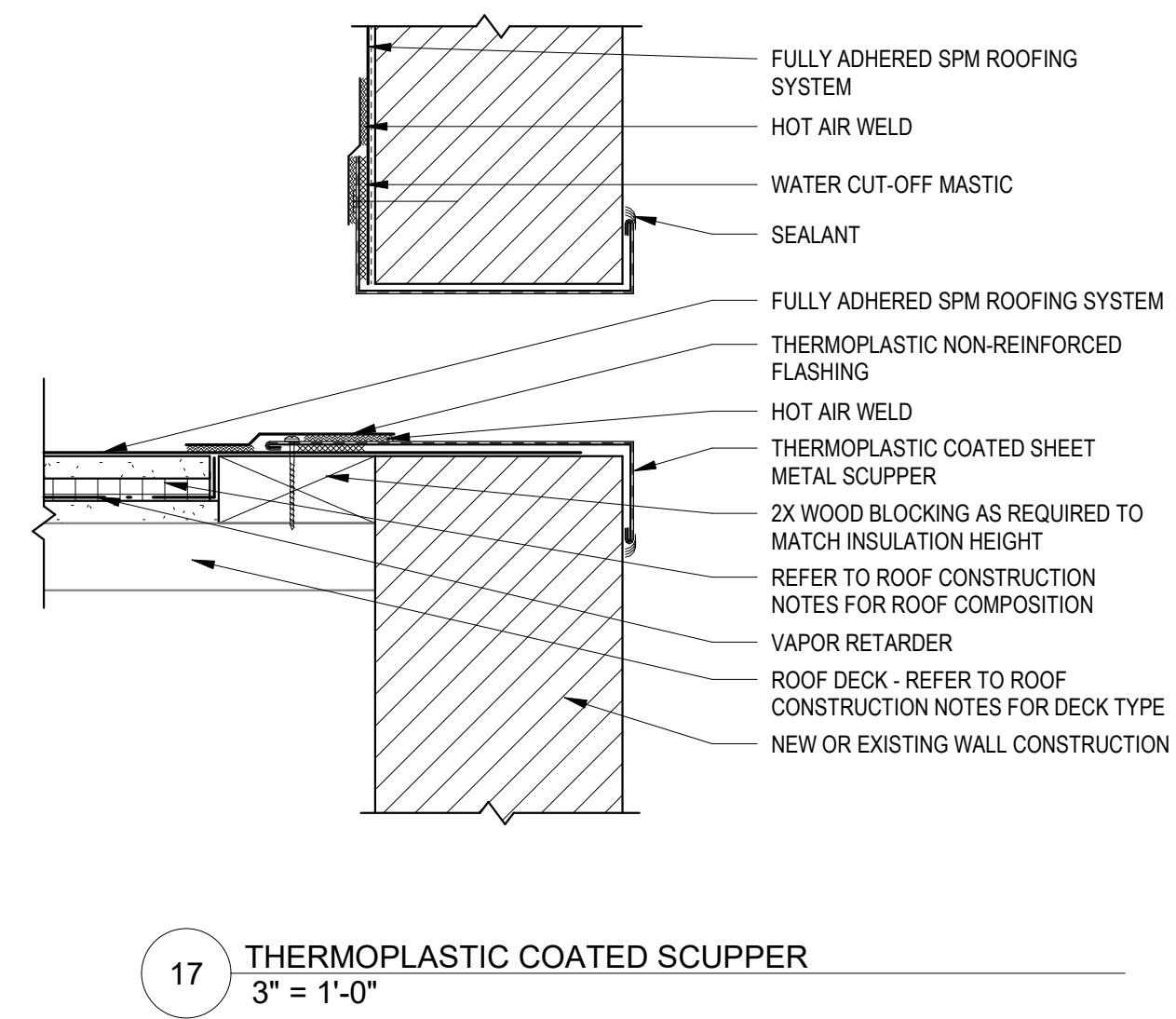
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GENERAL NOTES

GENERAL

1. ALL DOOR AND FRAME TYPES ARE SHOWN AS EXTERIOR VIEW.
2. FRAME WIDTHS ARE INDICATED ON THE FLOOR PLANS. FRAME HEIGHTS ARE INDICATED ON THE FRAME TYPES. DOOR DIMENSIONS ARE INDICATED ON THE DOOR AND FRAME SCHEDULE.
3. DIMENSIONS ARE INDICATED FOR BIDDING PURPOSES ONLY AND SHALL BE FIELD VERIFIED PRIOR TO PREPARATION OF SHOP DRAWINGS AND FABRICATION.
4. THE MANUFACTURERS SHALL BE RESPONSIBLE FOR THE ENGINEERING AND STRUCTURAL INTEGRITY OF THEIR FRAME SYSTEMS.
5. ALL FRAMES IN MASONRY OPENINGS REQUIRE A UNITEL. REFER TO DOOR AND FRAME SCHEDULE AND/OR STRUCTURAL DRAWINGS.
6. ALL OPENINGS IN FRAMES REQUIRE GLAZING PANELS OR INFILL PANELS EXCEPT FOR DOOR OPENINGS. GLAZING TYPES FOR EXTERIOR FRAMES ARE INDICATED ON THE FRAME TYPES. GLAZING TYPES FOR INTERIOR FRAMES ARE INDICATED ON THE DOOR AND FRAME SCHEDULE OR HEREIN.
7. ALL OPENINGS IN DOORS REQUIRE GLAZING PANELS UNLESS NOTED OTHERWISE. GLAZING TYPES FOR DOORS ARE INDICATED ON THE DOOR AND FRAME SCHEDULE OR HEREIN.
8. HARDWARE SETS AND GLAZING TYPES ARE SPECIFIED IN THE PROJECT MANUAL. FRAMES SHALL BE DESIGNED, CUT, AND FABRICATED TO MINIMIZE JOINTS.
9. JOINTS IN HOLLOW METAL FRAMES SHALL RECEIVE METAL FILLER, BE GRIND SMOOTH AND SHIPPED PRIMED PRIOR TO FINISH PAINT.
10. JOINTS IN EXTERIOR ALUMINUM FRAMES SHALL BE AIR AND WATER TIGHT IN ACCORDANCE WITH THE REQUIREMENTS IDENTIFIED IN THE PROJECT MANUAL. LAP AND SEAL ALL JOINTS. ALLOW FOR EXPANSION IN THE TRIM AND AT JOINTS AND INTERSECTIONS OF ADJACENT FRAMES.

ALUMINUM FRAMING SYSTEMS:

10. ALUMINUM STOREFRONT AND INTERIOR ALUMINUM FRAMES SHALL HAVE THE FOLLOWING CHARACTERISTICS UNLESS NOTED OTHERWISE:
 - A. FACE WIDTH: 2"
 - B. FRAME DEPTH: 4-1/4"
 - C. FRAME DEPTH: 4-1/4"
 - D. RETURN: 7/16"
 - E. ANCHORAGE AT ALUMINUM STOREFRONT AND WINDOW SYSTEMS:
 - A. PROVIDE ANCHORAGE IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS TO MEET THE REQUIRED DESIGN LOADS BUT NOT LESS THAN THREE (3) ANCHORS PER JAMB LOCATION.
 - B. PROVIDE ALUMINUM FASTENERS, NON-MAGNETIC STAINLESS STEEL FASTENERS, OR OTHER FASTENER TYPES WARRANTED BY THE SYSTEM MANUFACTURER TO BE NON-CORROSIVE, NON-CORRODIBLE, AND COMPATIBLE WITH OTHER BUILDING COMPONENTS.
 - C. PROVIDE REINFORCEMENT WHERE FASTENERS ARE SCREWED INTO ALUMINUM COMPONENTS LESS THAN 1/8" THICK.
 - D. DO NOT USE EXPOSED FASTENERS AT BUILDING EXTERIOR. AT BUILDING INTERIOR FASTENERS ARE TO MATCH THE FINISH OF THE FRAME.
 - E. INTERNALLY REINFORCE MULLIONS AS REQUIRED TO MEET SPANS AS INDICATED IN THE DRAWINGS AND PROJECT MANUAL.
 - F. NO EXPOSED FASTENERS.
11. ALL HOLLOW METAL FRAMES SHALL HAVE THE FOLLOWING CHARACTERISTICS UNLESS NOTED OTHERWISE:
 - A. FACE WIDTH: 2"
 - B. FRAME DEPTH: 4-1/4"
 - C. THROAT: 4/16"
 - D. RETURN: 7/16"
 - E. ANCHORAGE AT HOLLOW METAL FRAMES:
 - A. PROVIDE FASTENERS AT 1' ON CENTER AND MINIMALLY THREE (3) ANCHORS PER JAMB.
 - B. AT FRAMES INSTALLED PRIOR TO MASONRY INSTALLATION PROVIDE GALVANIZED STEEL T-ANCHORS.
 - C. AT FRAMES INSTALLED AFTER MASONRY INSTALLATION OR AT EXISTING MASONRY OPENINGS PROVIDE GALVANIZED STEEL SPACER BRACKETS, ANCHOR SLEEVES WELDED TO THE INTERIOR OF THE FRAME, AND COUNTERSUNK 3/8" FLATHEAD EXPANSION ANCHORS. COVER HEAD OF FASTENERS WITH METAL FILLER, GRIND SMOOTH, PRIME AND FINISH PAINT.
 - D. AT FRAMES INSTALLED IN STUD PARTITIONS PROVIDE GALVANIZED STEEL Z-TYPE SPACE BRACKETS.
15. JAMBS OF FRAMES INSTALLED IN EXTERIOR WALLS AND WHERE INDICATED SHALL BE GROUTED SOLID. COVER GROUT HOLES WITH METAL FILLER, GRIND SMOOTH, PRIME AND FINISH PAINT.

GLAZING TYPES

11. INSULATED CLEAR GLAZING UNIT
12. INSULATED TINTED GLAZING UNIT
13. TEMPERED GLAZING UNIT
14. FIRE RATED GLAZING UNIT

REFERENCED NOTES

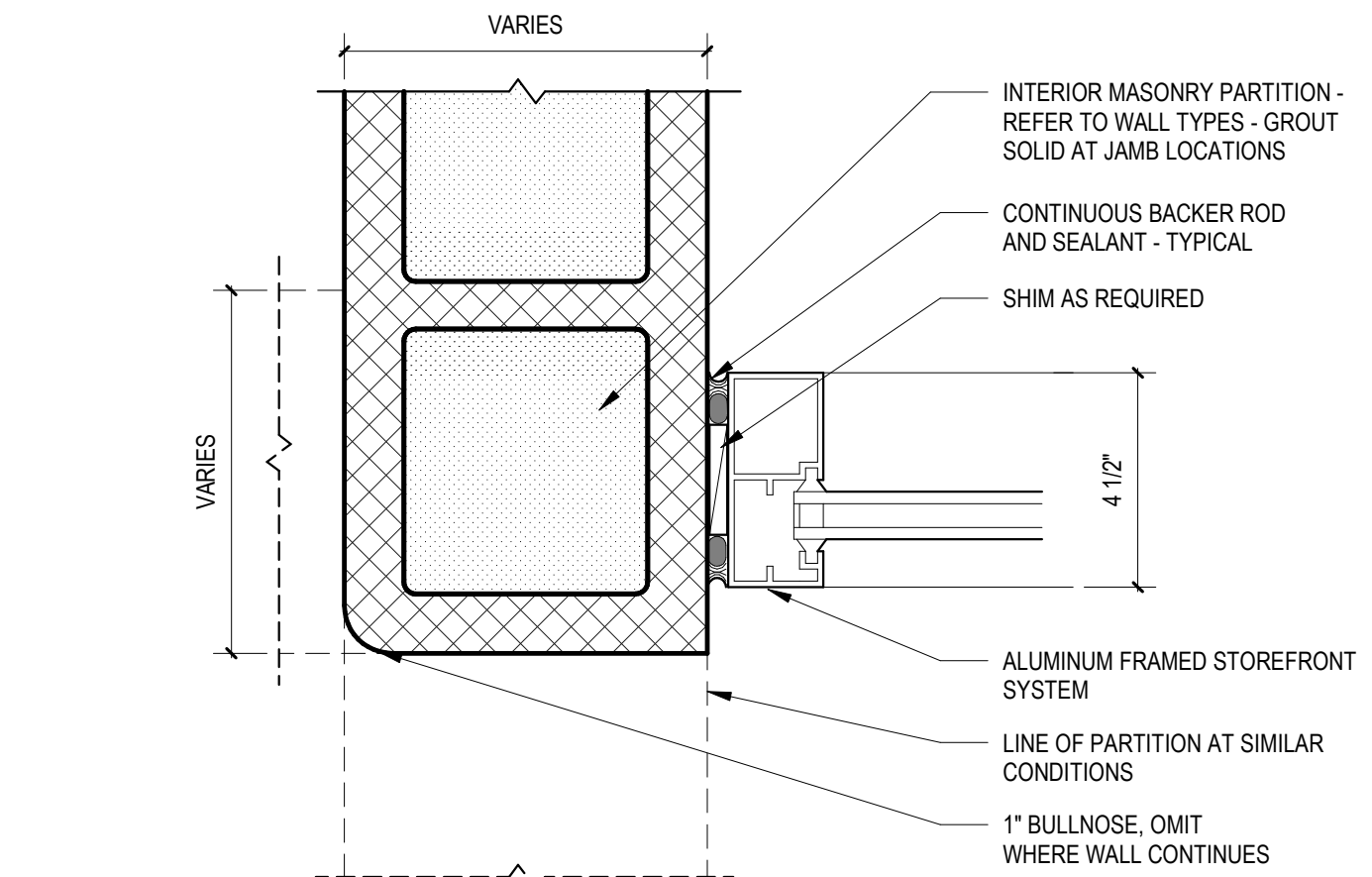
1. PROVIDE CARD READER SYSTEM.
2. PROVIDE ADA PUSH PAD.
3. PROVIDE PANIC HARDWARE.
4. PROVIDE ACOUSTICAL SOUND SEAL.
5. PROVIDE CONNECTION FIRE ALARM SYSTEM.
6. PROVIDE LOCKABLE PLASTIC COVER OVER OPERATION MECHANISM.

DOOR AND FRAME SCHEDULE

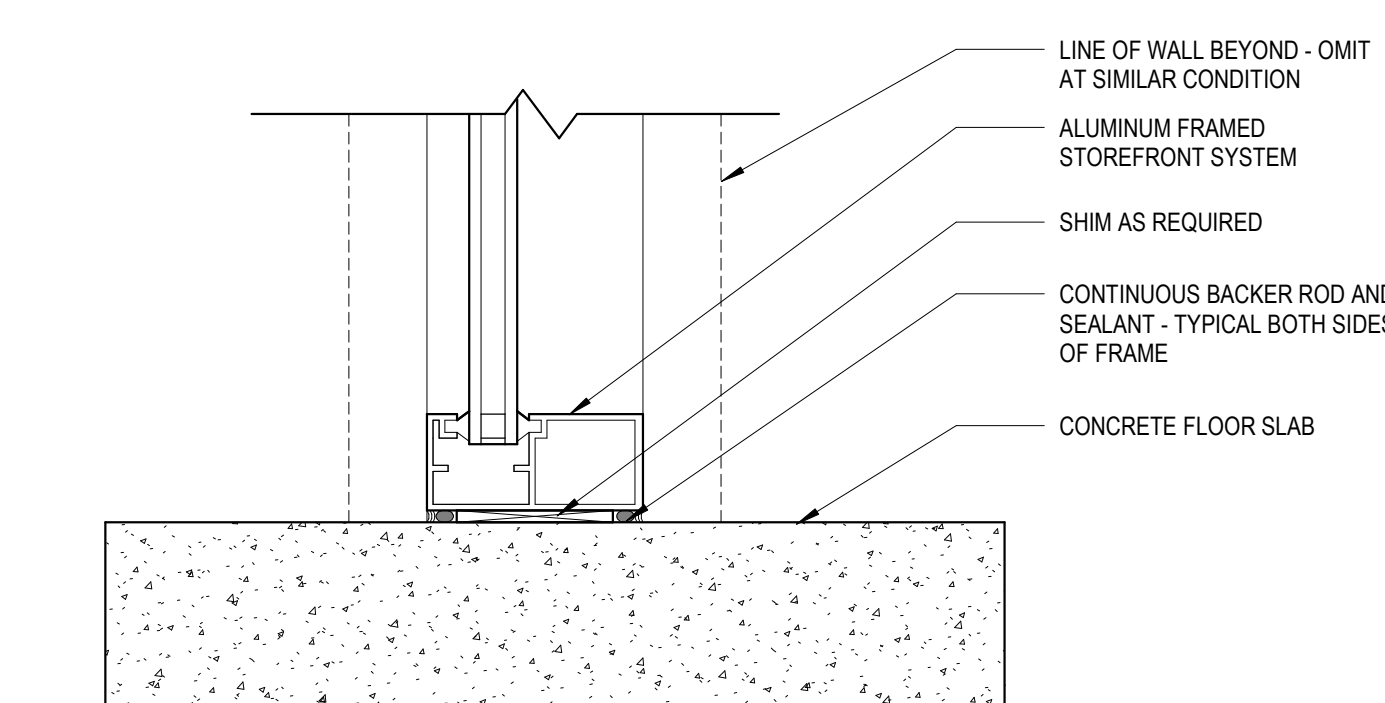
DOOR #	FROM ROOM	TO ROOM	TYPE	MATERIAL	WIDTH	HEIGHT	THICKNESS	TYPE	MATERIAL	DEPTH	HW	FIRE RATING (MINS)	FRAME DETAILS				REFERENCED NOTES
													HEAD	JAMB	JAMB	SEAL	
53	ORCHESTRA	CORRIDOR	N	WD	5'-0"	7'-0"	1-3/4"	DF	HM	5-3/4"			3A-601	3A-611	3A-611	-	4
53.1	ORCHESTRA	CORRIDOR	N	WD	3'-0"	7'-0"	1-3/4"	T	HM	5-3/4"			12A-511	3A-511	3A-511	-	4
53A	ORCHESTRA	OFF	F	WD	3'-0"	7'-2"	1-3/4"	S	HM	5-3/4"			3A-601	1A-601	1A-601	-	
53A.1	OFF	ENSEMBLE	F	WD	3'-0"	7'-2"	1-3/4"	DF	HM	5-3/4"			3A-601	1A-601	1A-601	-	
53B	ORCHESTRA	OFF	F	WD	3'-0"	7'-2"	1-3/4"	S	HM	5-3/4"			3A-601	1A-601	2A-601	-	
53C	ORCHESTRA	ENSEMBLE	F	WD	3'-0"	7'-2"	1-3/4"	S	HM	5-3/4"			3A-601	1A-601	1A-601	-	
53C.1	ENSEMBLE	CORRIDOR	N	WD	3'-0"	7'-2"	1-3/4"	DF	HM	5-3/4"			3A-601	1A-601	1A-601	-	4
53D	ORCHESTRA	ENSEMBLE	F	WD	3'-0"	7'-2"	1-3/4"	S	HM	5-3/4"			3A-601	1A-601	2A-601	-	
53E	ORCHESTRA	STOR	N	WD	3'-0"	7'-2"	1-3/4"	DF	HM	5-3/4"			3A-601	1A-601	1A-601	-	
A100	VESTIBULE	VESTIBULE	FG2	AL	6'-0"	7'-2"	1-3/4"	-	-	-			10A-601	17A-601	13A-601	-	1,2
A100A	CORRIDOR	VESTIBULE	FG2	AL	6'-0"	7'-2"	1-3/4"	-	-	-			10A-601	1A-601	1A-601	-	2
A101	CORRIDOR	CORRIDOR	CHRD	ST	8'-0"	10'-0"	-	FM	AA	0"			6A-601	2A-602	2A-602	3A-601	6
A101A	CORRIDOR	ELIC	N	WD	3'-0"	7'-2"	1-3/4"	DF	HM	5-3/4"			3A-601	1A-601	1A-601	-	
A101B	CORRIDOR	CORRIDOR	N	HM	6'-0"	7'-2"	1-3/4"	DF	HM	5-3/4"	90		7A-511	1A-601	3A-511	1A-511	5
A101C	CORRIDOR	CORRIDOR	N	HM	6'-0"	7'-2"	1-3/4"	DF	HM	5-3/4"	90		8A-511	1A-601	1A-601	-	5
A102	CORRIDOR	TOILET	F	WD	3'-0"	7'-2"	1-3/4"	DF	HM	5-3/4"			3A-601	1A-601	1A-601	-	
A103	AO TECH	CORRIDOR	F	WD	3'-0"	7'-2"	1-3/4"	S	HM	5-3/4"			3A-601	1A-601	1A-601	-	
A103A	AO TECH	CLOSET	N	WD	3'-0"	7'-2"	1-3/4"	DF	HM	5-3/4"			3A-601	1A-601	1A-601	-	
A103B	AO TECH	CORRIDOR	N	WD	6'-0"	7'-2"	1-3/4"	DF	HM	5-3/4"	45		3A-601	1A-601	1A-601	-	
A103C	AO TECH	WOOD SHOP	N	HM	6'-0"	7'-2"	1-3/4"	DF	HM	5-3/4"	90		3A-511	3A-511	3A-511	1A-511	4,5
A104	CORRIDOR	CORRIDOR	N	WD	6'-0"	7'-2"	1-3/4"	DF	HM	5-3/4"	45		11A-511	1A-601	1A-601	-	
A104A	BAND	BAND	FG2	AL	6'-0"	7'-2"	1-3/4"	DF	HM	5-3/4"			7A-501	3A-501 SM	3A-501 SM	1A-501	
A105	STORAGE	BAND	N	WD	3'-0"	7'-2"	1-3/4"	DF	HM	5-3/4"			3A-601	1A-601	1A-601	-	
A106	OFFICE	CORRIDOR	F	WD	3'-0"	7'-2"	1-3/4"	S	HM	5-3/4"			3A-601	1A-601	1A-601	-	
A107	CORRIDOR	OFFICE	F	WD	3'-0"	7'-2"	1-3/4"	S	HM	5-3/4"			3A-601	1A-601	1A-601	-	
A108	CORRIDOR	PRAC	F	WD	3'-0"	7'-2"	1-3/4"	S	HM	5-3/4"			3A-601	1A-601	1A-601	-	
A109	CORRIDOR	PRAC	F	WD	3'-0"	7'-2"	1-3/4"	S	HM	5-3/4"			3A-601	1A-601	2A-601	-	
A110	CORRIDOR	LIB	N	WD	3'-0"	7'-2"	1-3/4"	DF	HM	5-3/4"			3A-601	1A-601	1A-601	-	
A111	CORRIDOR	PRAC	N	WD	4'-0"	7'-2"	1-3/4"	S	HM	5-3/4"			3A-601	1A-601	1A-601	-	
A112	PRAC	CORRIDOR	F	WD	3'-0"	7'-2"	1-3/4"	S	HM	5-3/4"			3A-601	1A-601	1A-601	-	
A114	STORAGE	WOOD SHOP	N	WD	6'-0"	7'-2"	1-3/4"	DF	HM	5-3/4"			3A-601	1A-601	1A-601	-	

10 TYP. ALUMINUM HEAD DETAIL - MASONRY
3" = 1'-0"

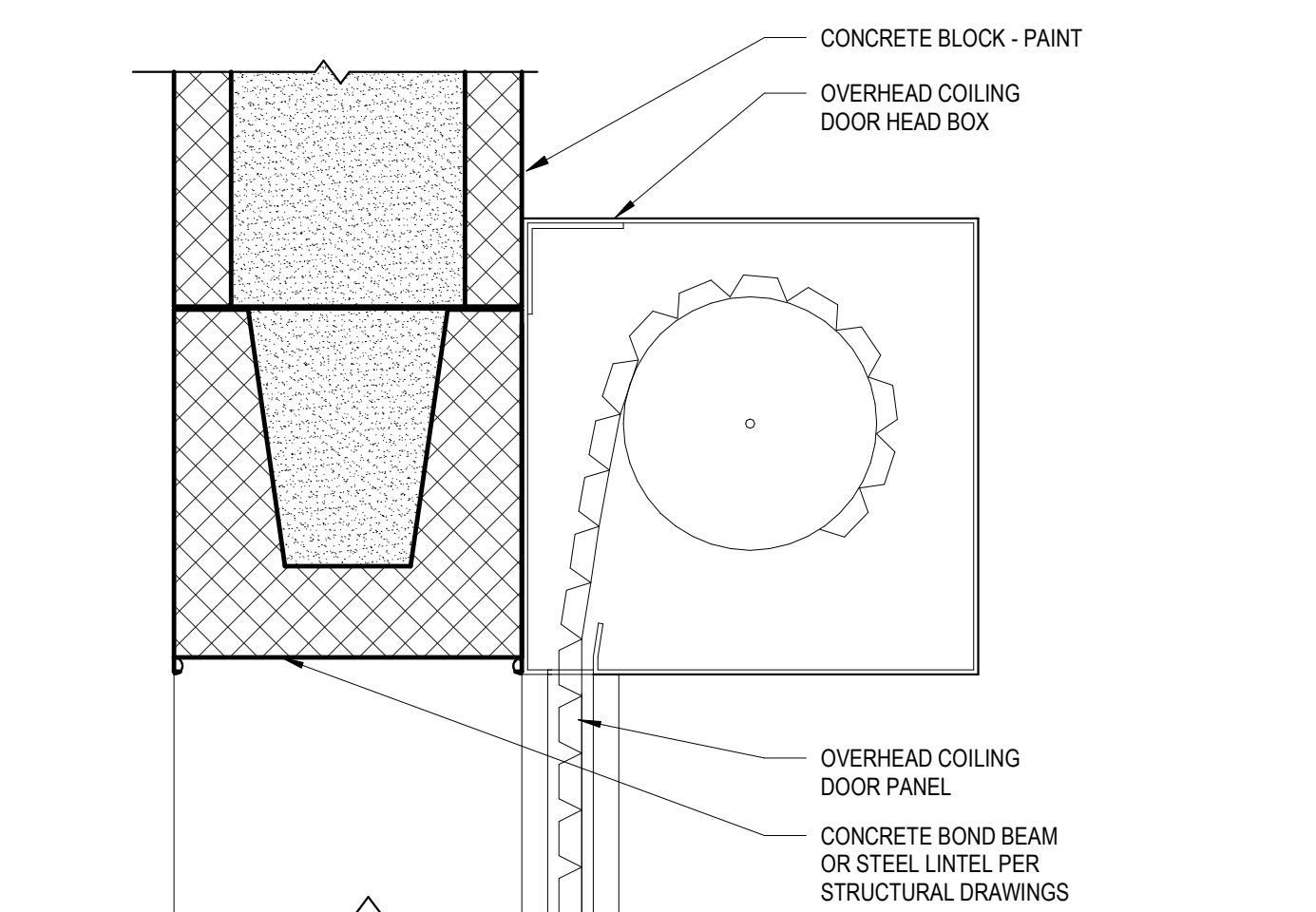
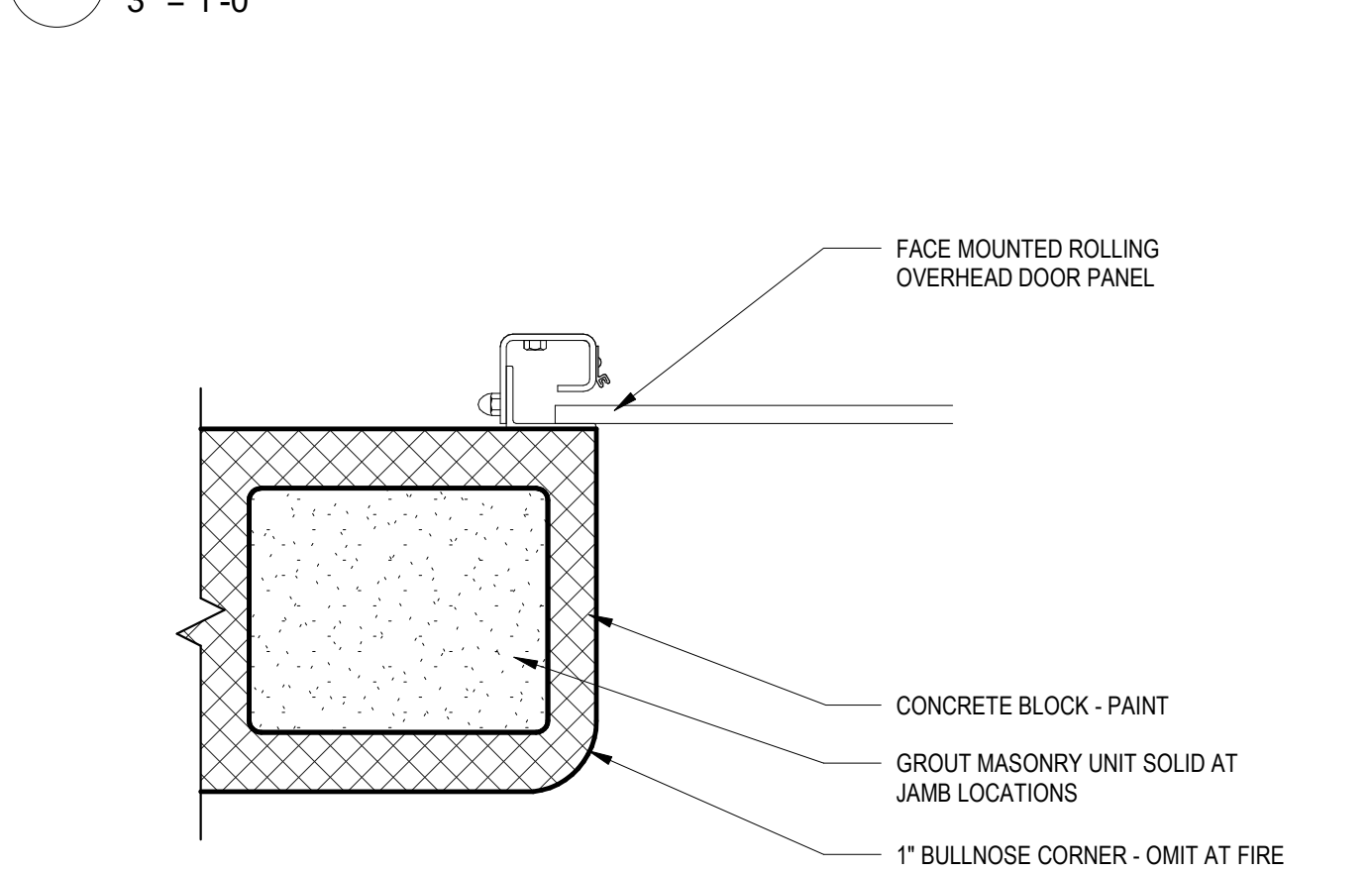
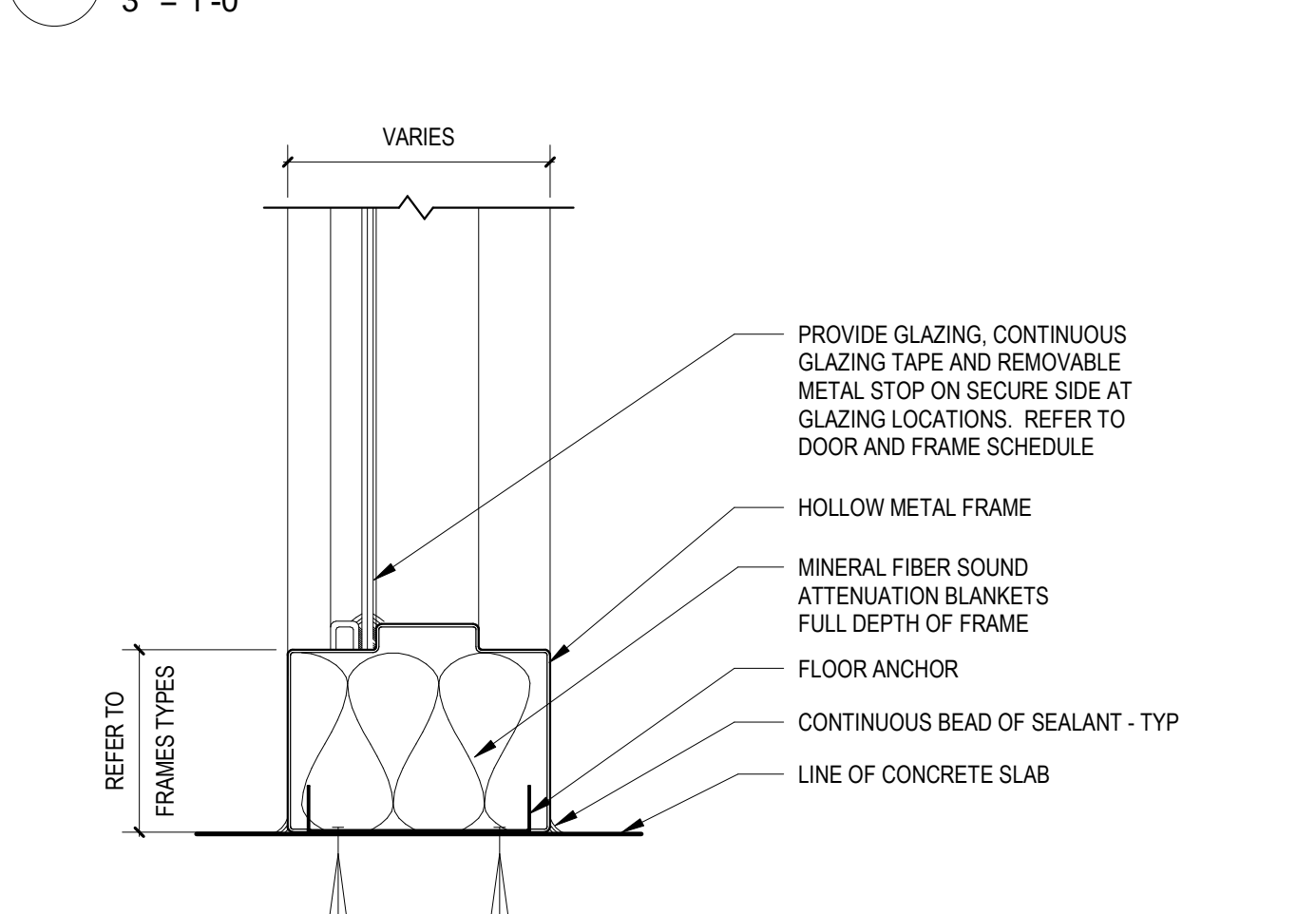
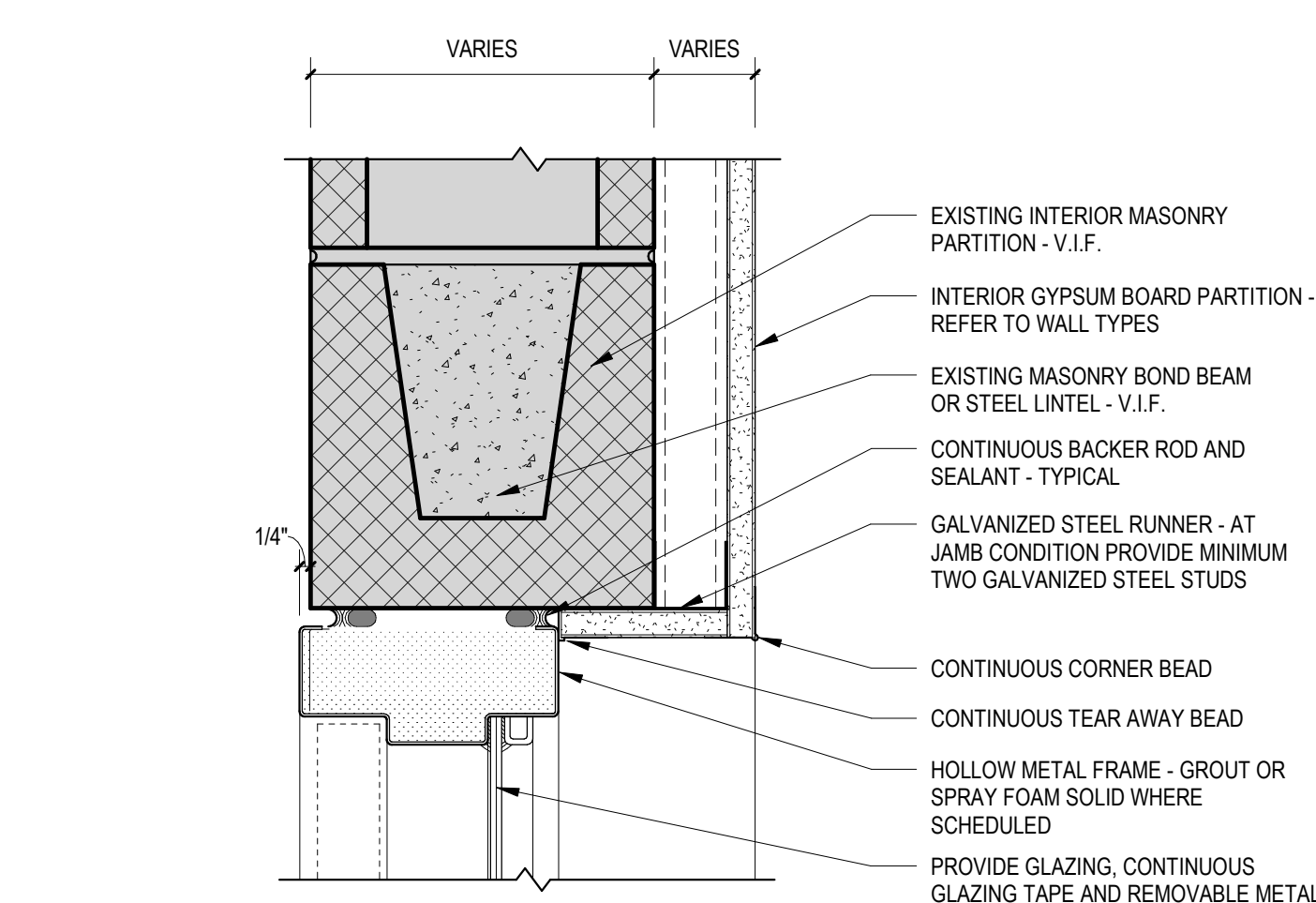
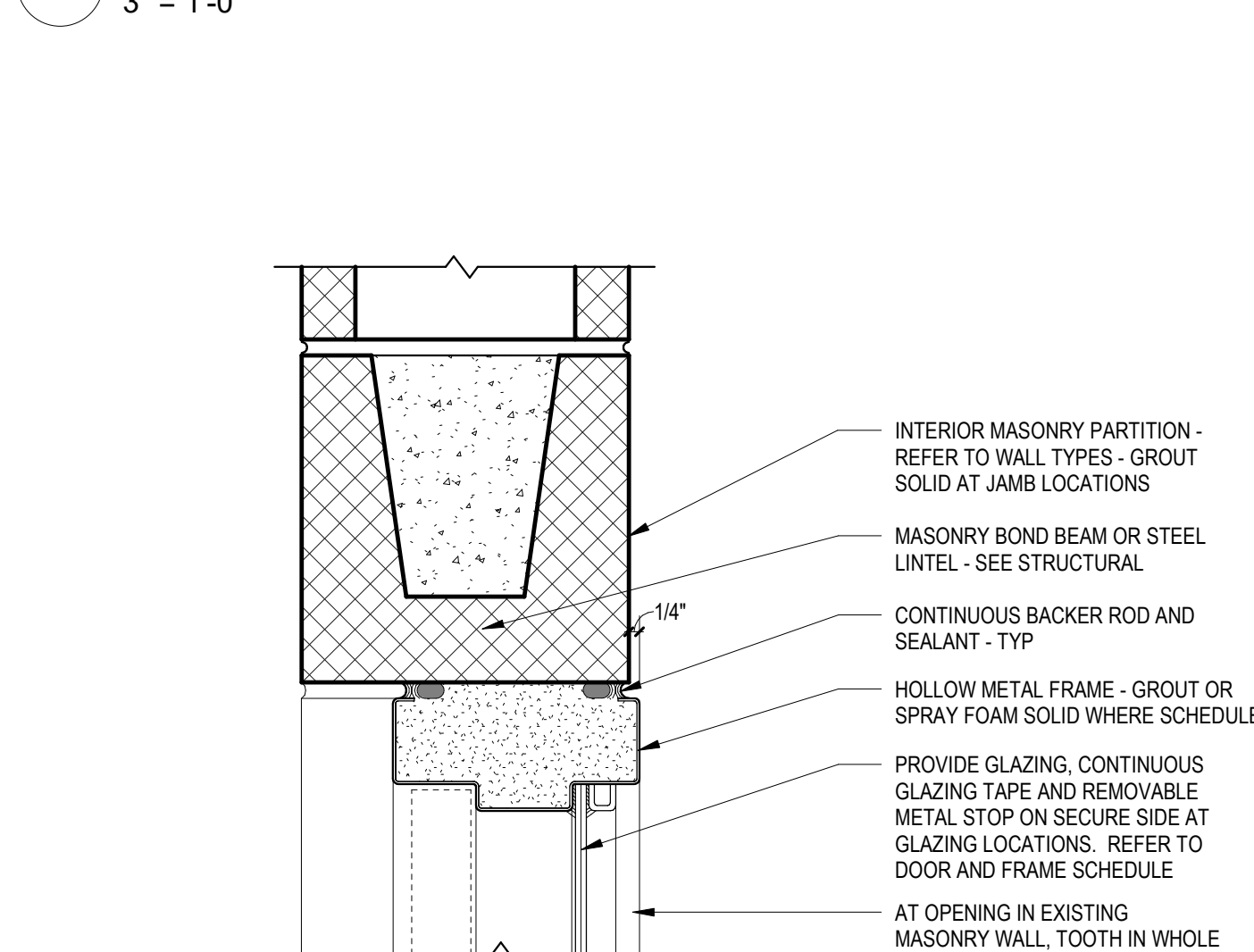
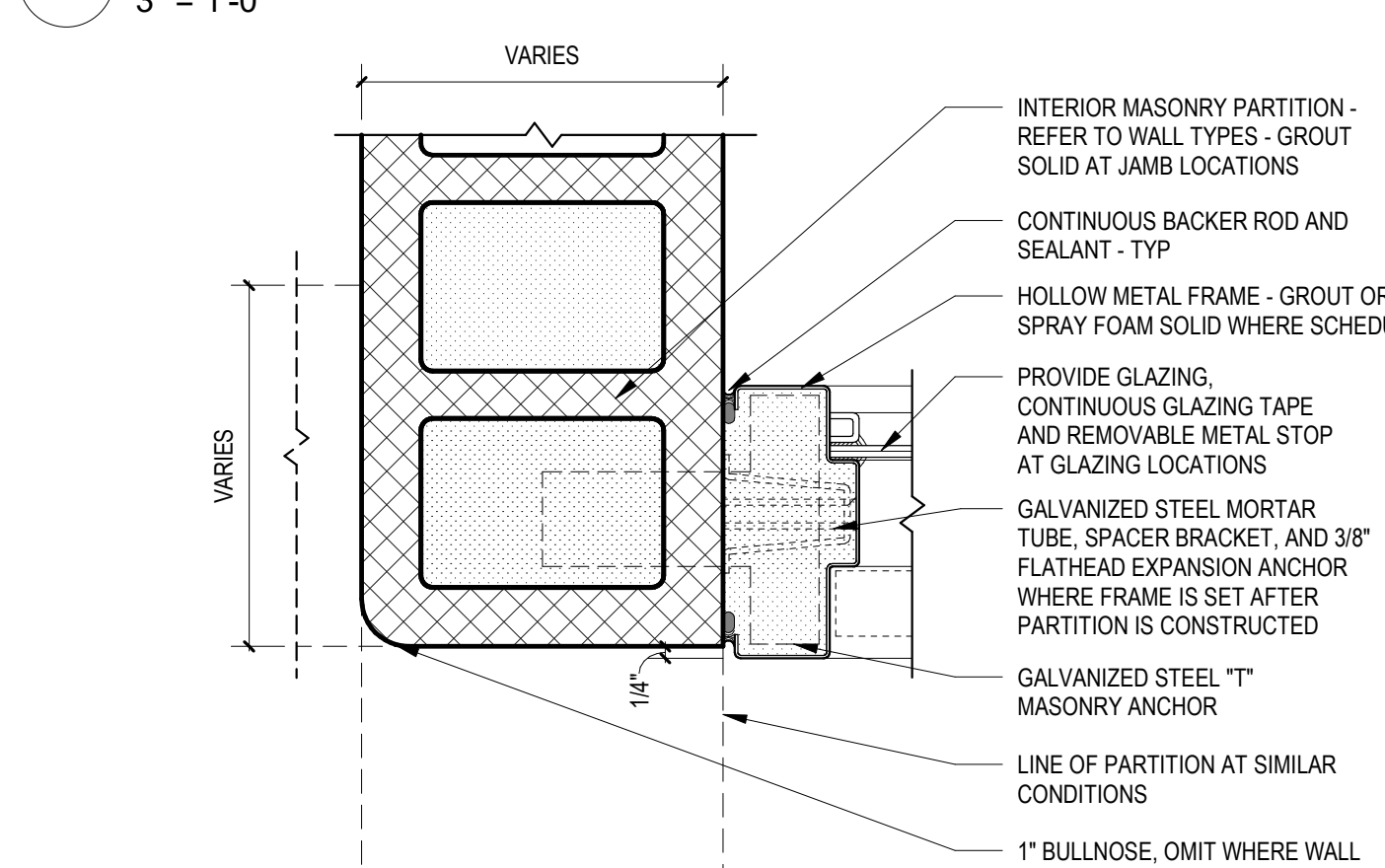
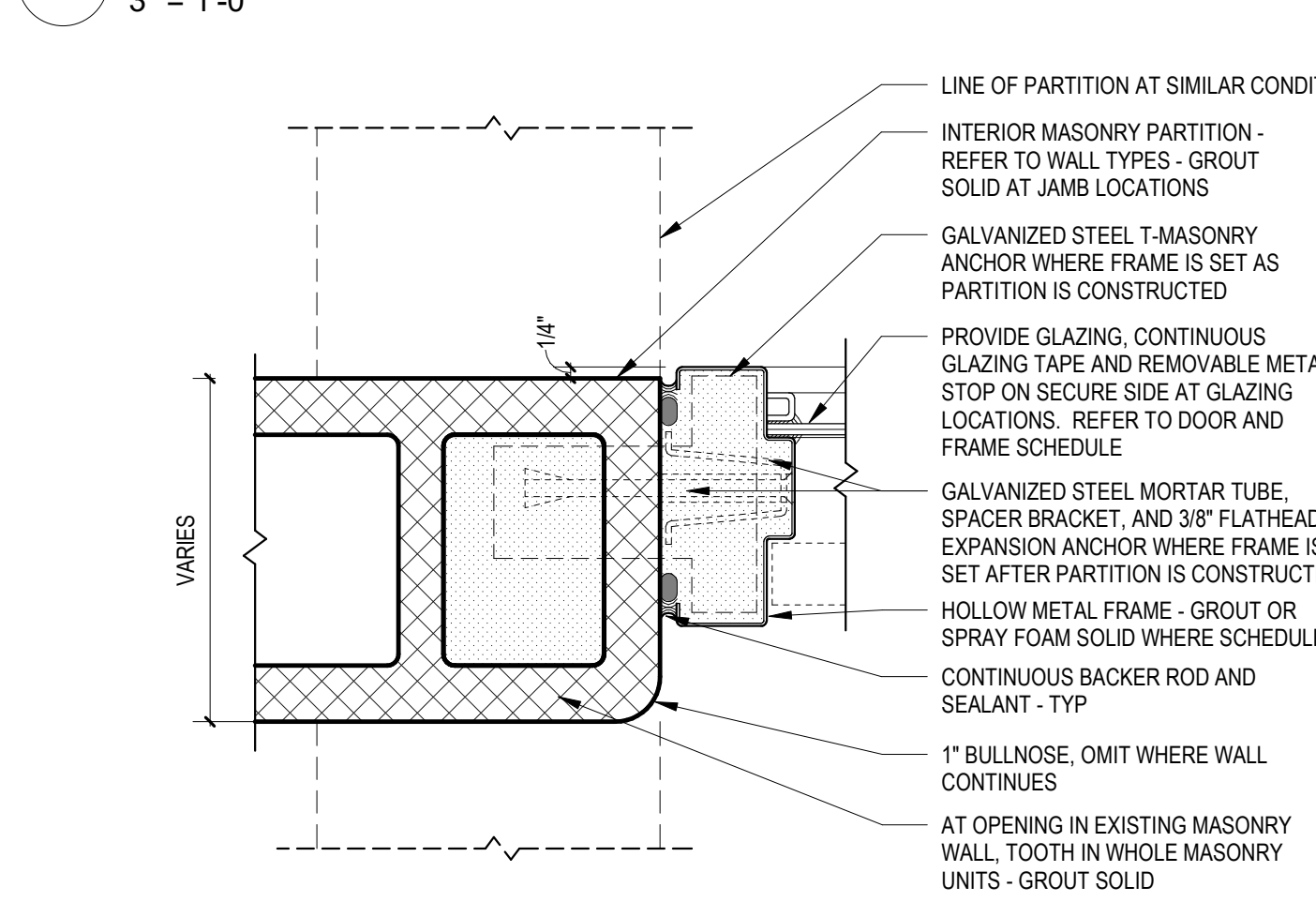
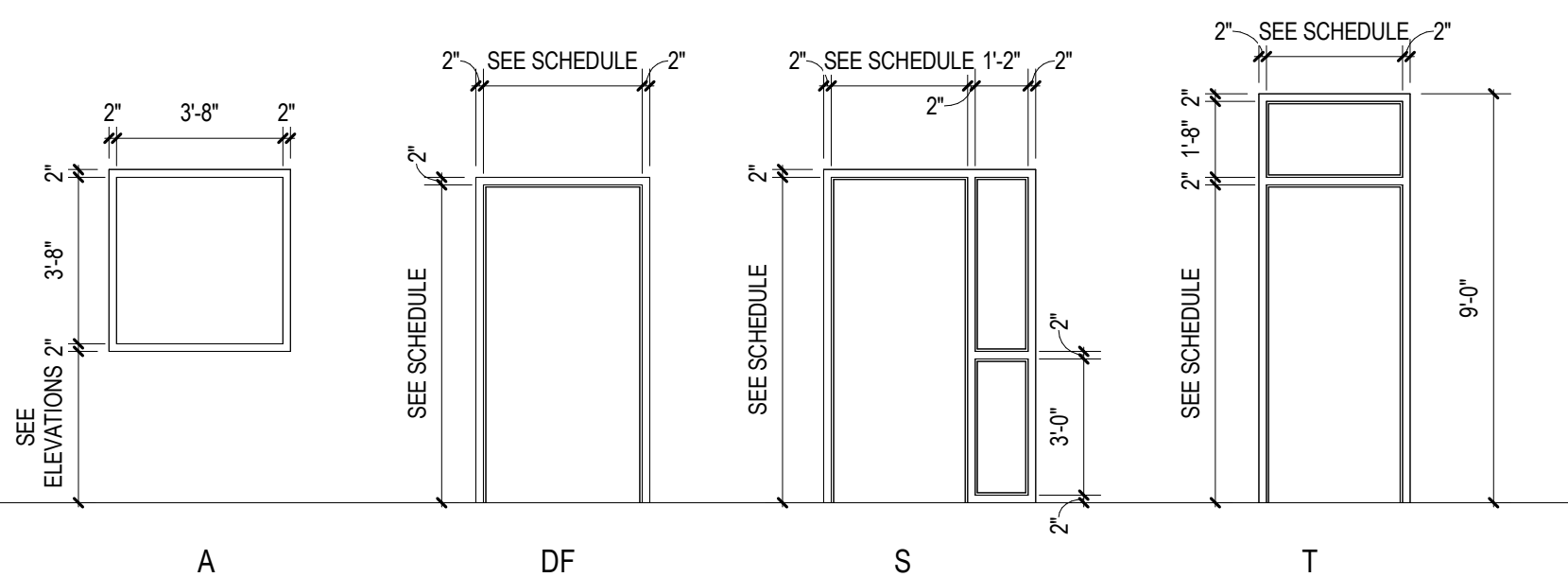
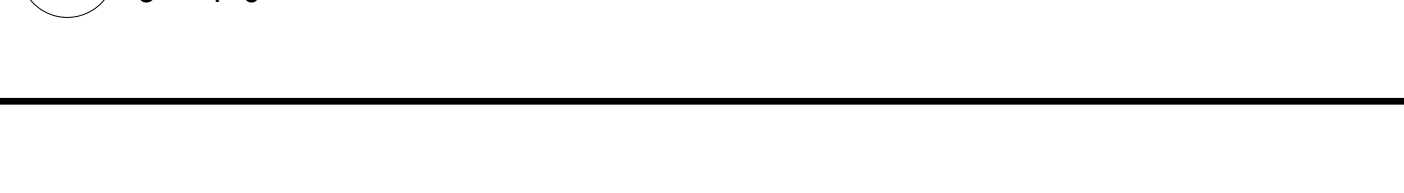
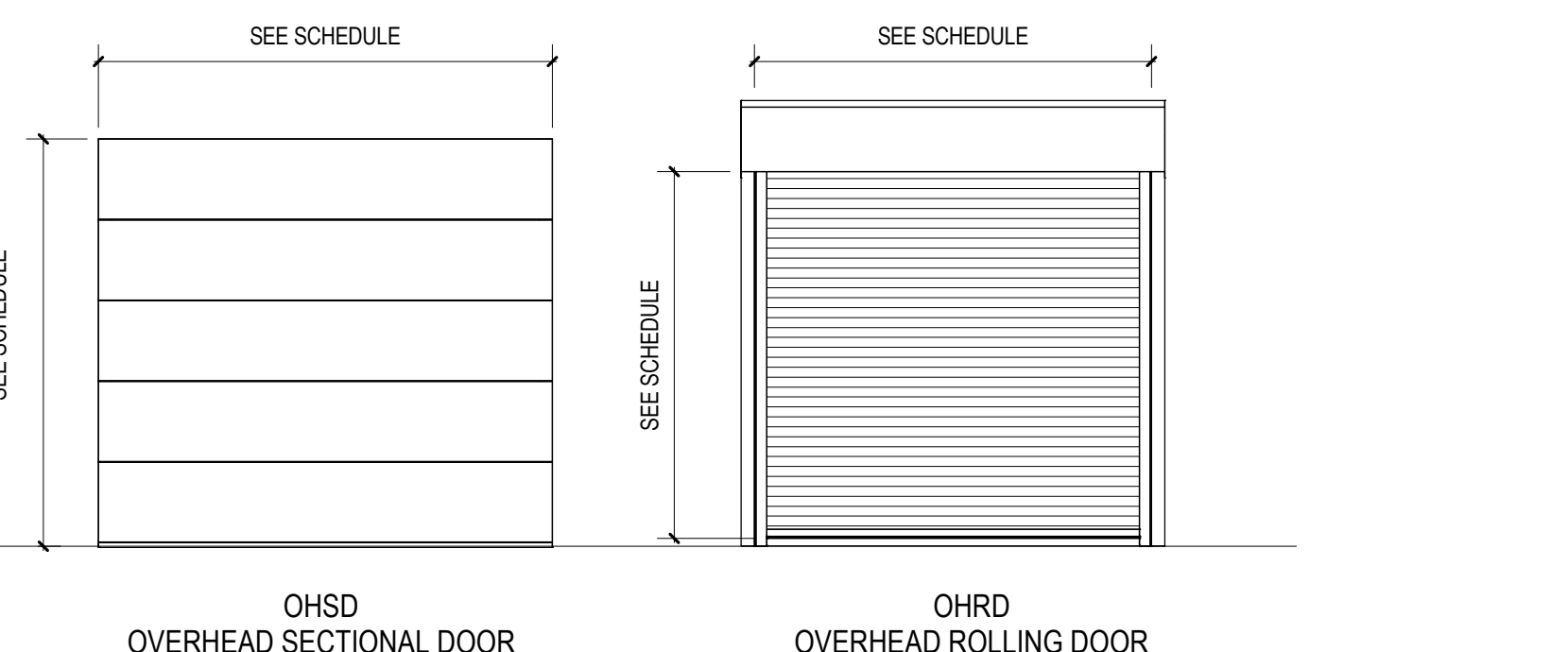
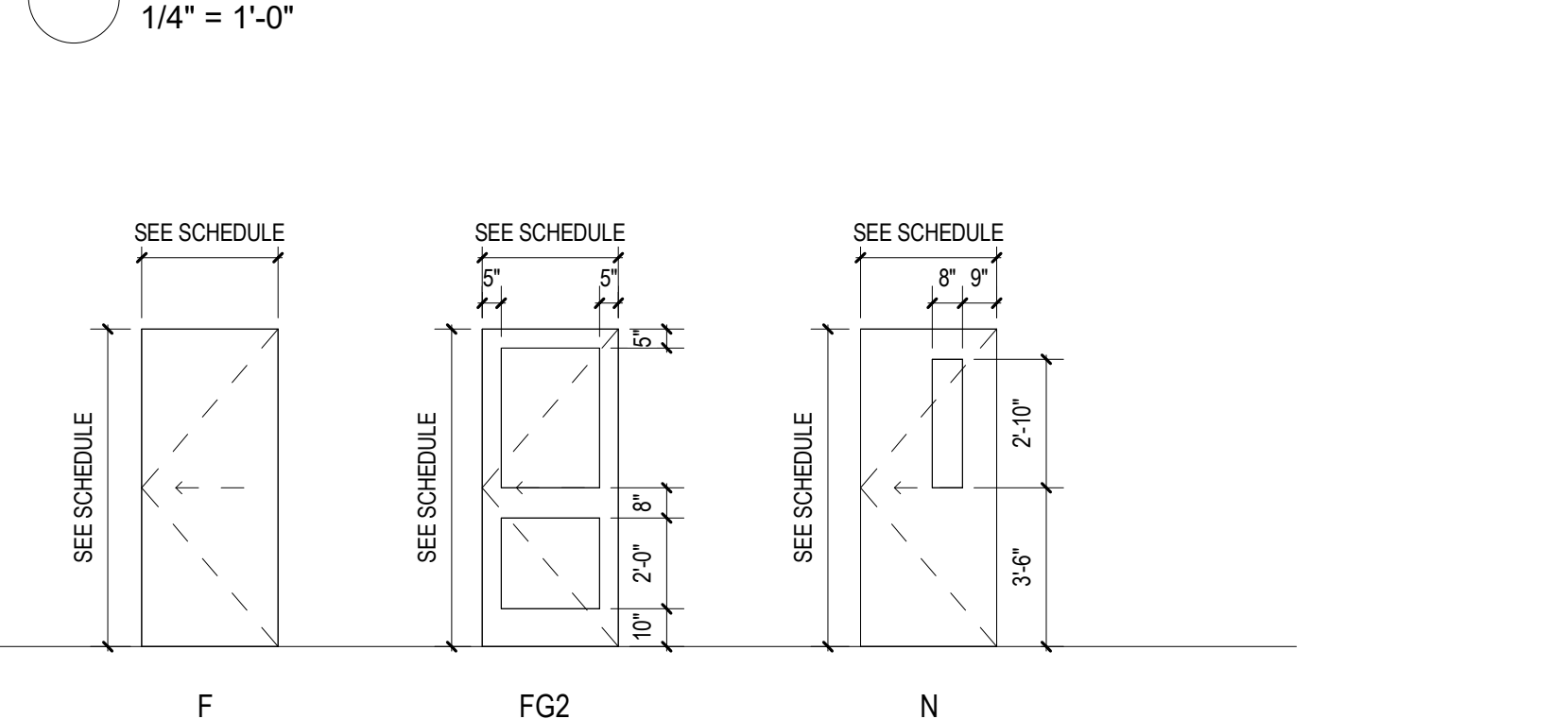
A-601

9 TYP. ALUMINUM JAMB DETAIL - MASONRY
3" = 1'-0"

A-601

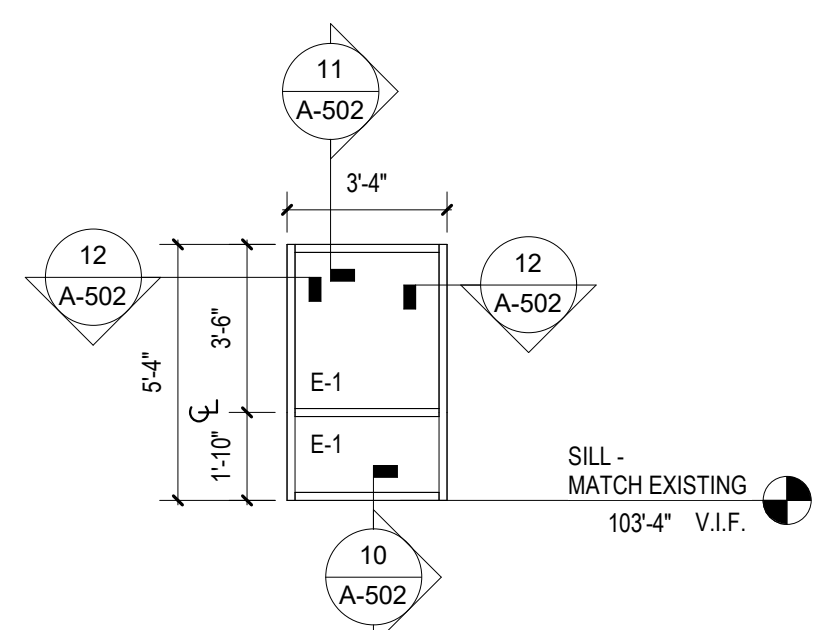
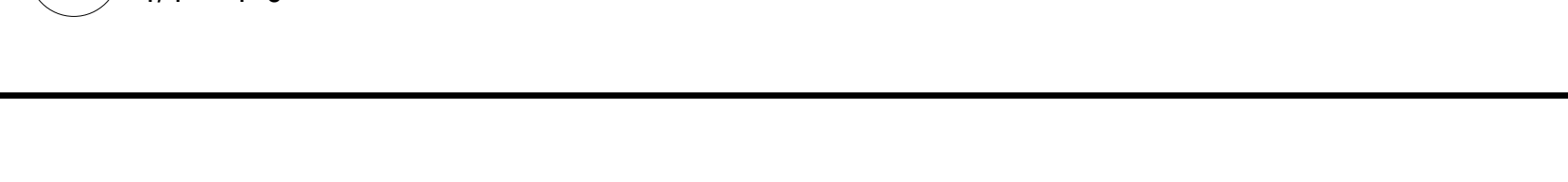
8 ALUM. SILL
3" = 1'-0"

A-601

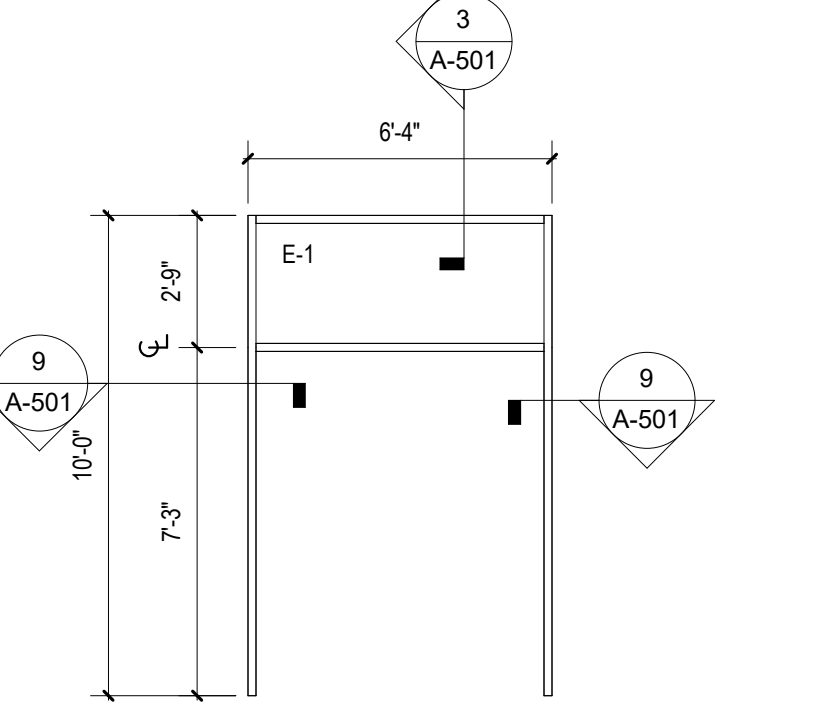
7 OVERHEAD DOOR HEAD DETAIL
3" = 1'-0"6 OVERHEAD DOOR JAMB DETAIL
3" = 1'-0"5 HOLLOW METAL DOOR SILL DETAIL
3" = 1'-0"4 TYP. HOLLOW METAL HEAD DETAIL - MASONRY
3" = 1'-0"3 TYP. HOLLOW METAL HEAD DETAIL - MASONRY
3" = 1'-0"2 TYP. HOLLOW METAL JAMB DETAIL - MASONRY
3" = 1'-0"1 TYP. HOLLOW METAL JAMB DETAIL - MASONRY
3" = 1'-0"FRAME TYPES
1/4" = 1'-0"

OVERHEAD SECTIONAL DOOR

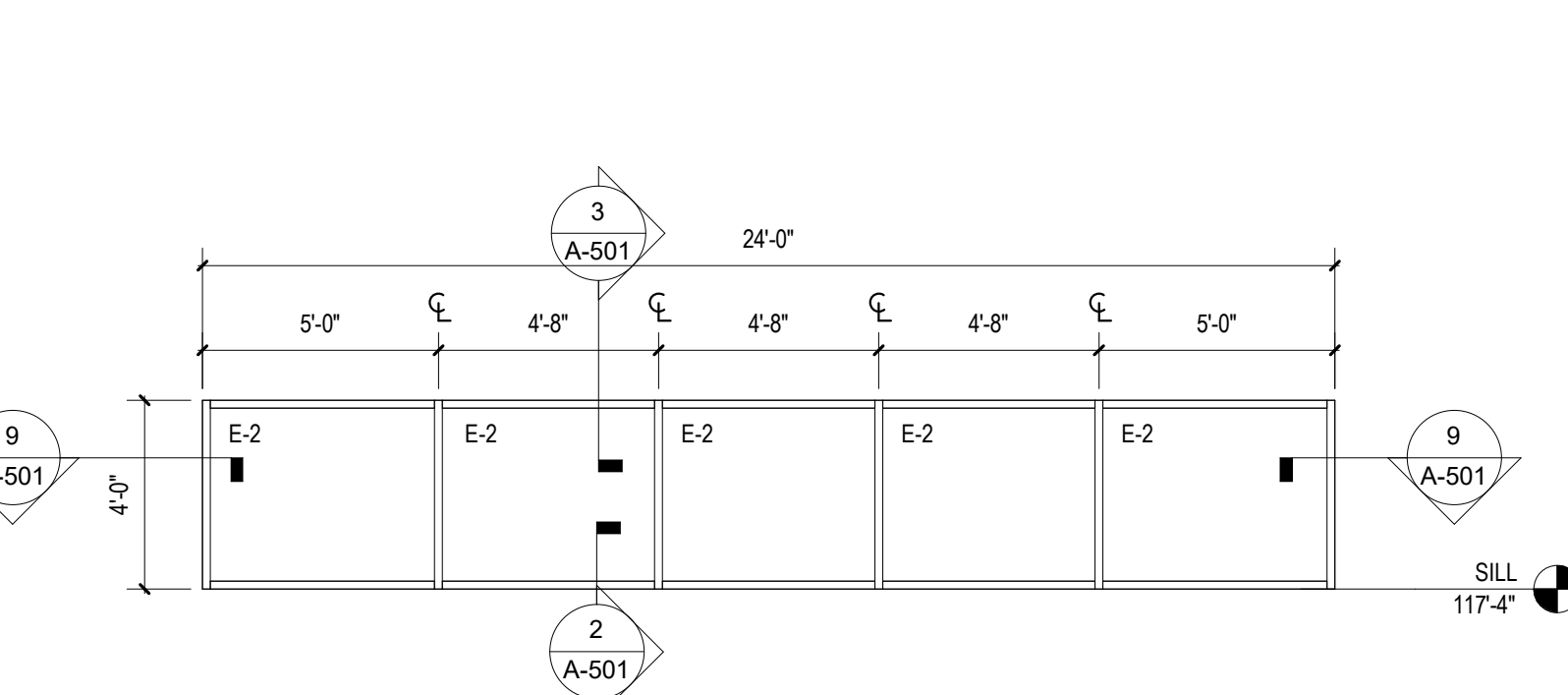
OVERHEAD ROLLING DOOR

DOOR TYPES
1/4" = 1'-0"15 ALUMINUM GLAZING ELEVATION
1/4" = 1'-0"

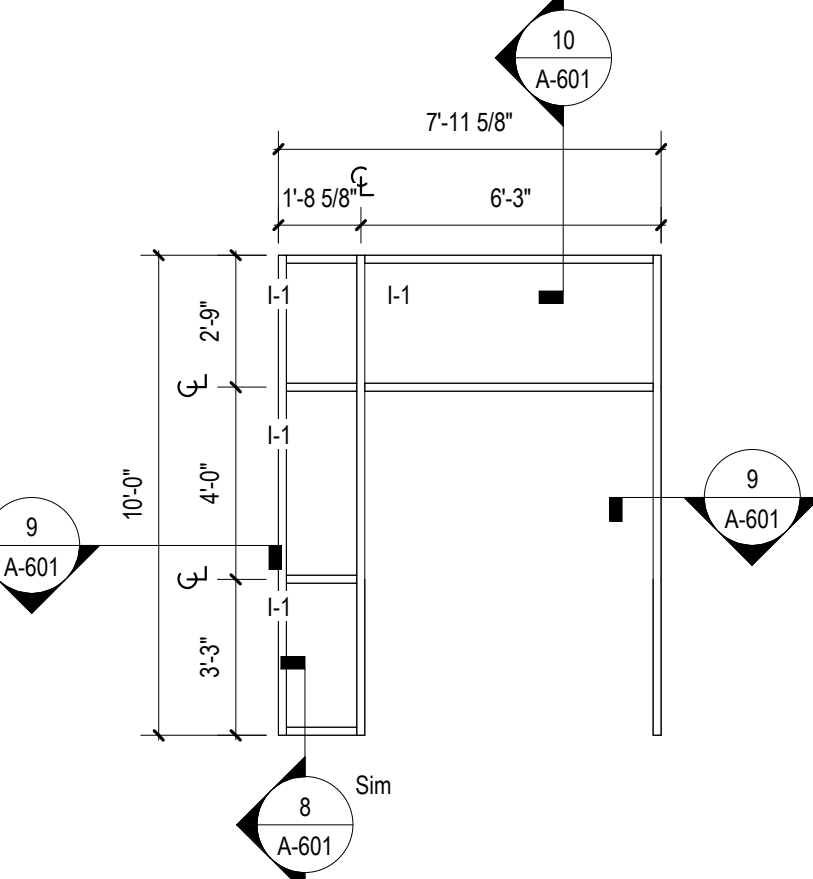
A-101B

14 ALUMINUM GLAZING ELEVATION
1/4" = 1'-0"

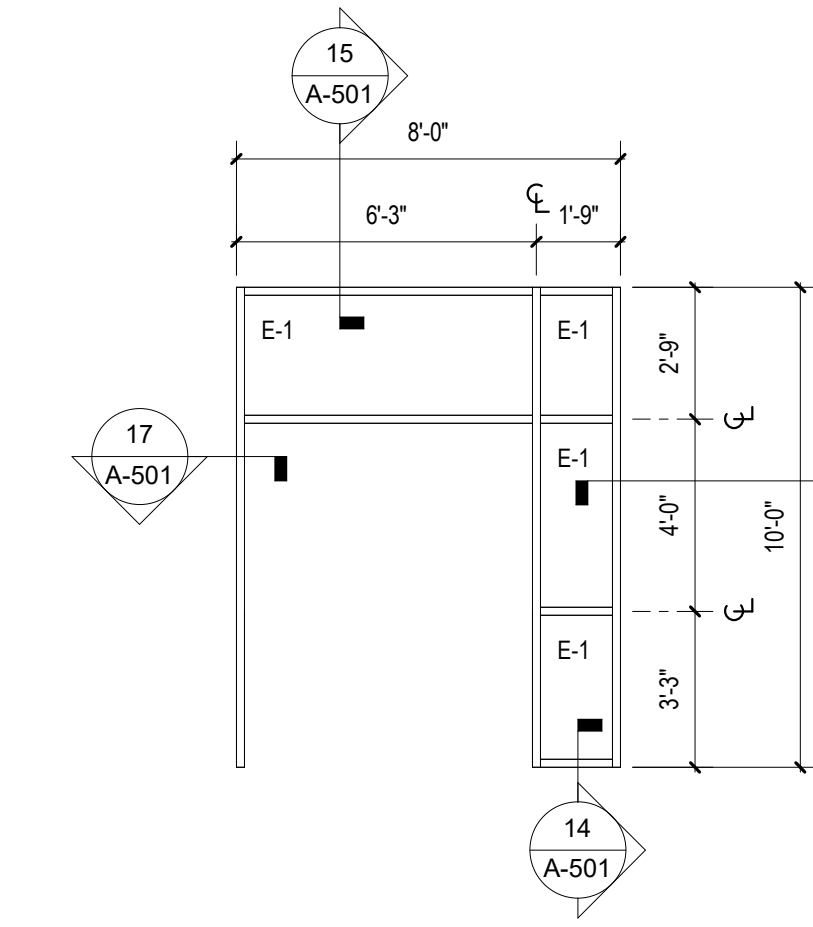
A-101A

13 ALUMINUM GLAZING ELEVATION
1/4" = 1'-0"

A-101A

12 INTERIOR ALUMINUM GLAZING ELEVATION
1/4" = 1'-0"

A-101A

11 ALUMINUM GLAZING ELEVATION
1/4" = 1'-0"

A-101A

NORTH
SCOTT
COMMUNITY
SCHOOL
DISTRICTADDITION AND
RENOVATIONS TO
JUNIOR HIGH502 South 5th Street
Eldridge, IA 52748

ARCHITECT

Legat Architects

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Moline, IL 61265
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F: 305.517.5540
www.legat.com

CONSTRUCTION MANAGER

Russel Construction

4700 E 53rd Street
Davenport, IA 52807
563.459.5600
www.russelco.com

CIVIL ENGINEER

RTM

5137 Utica Ridge Road
Davenport, IA 52807
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www.rtmec.com

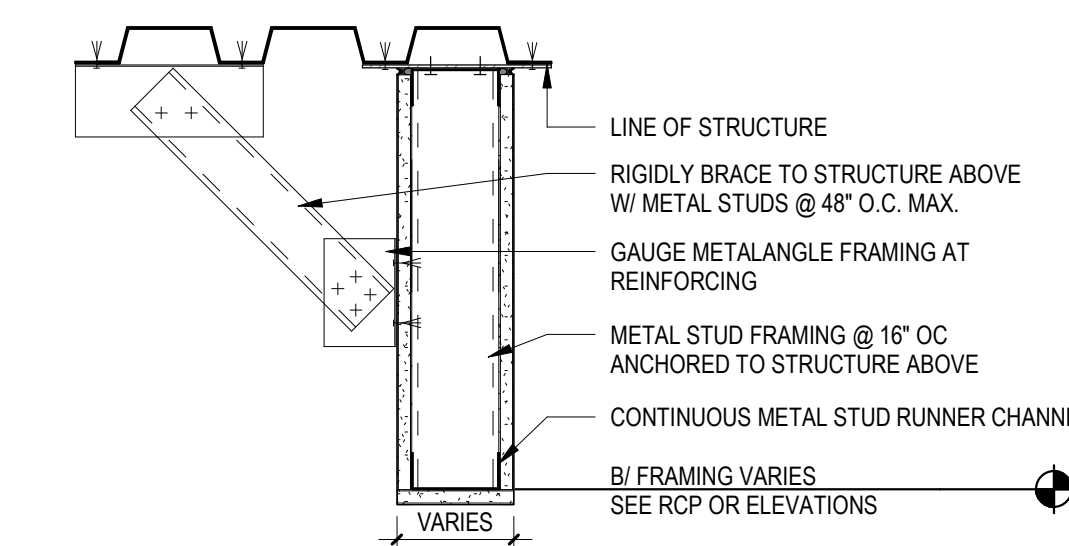
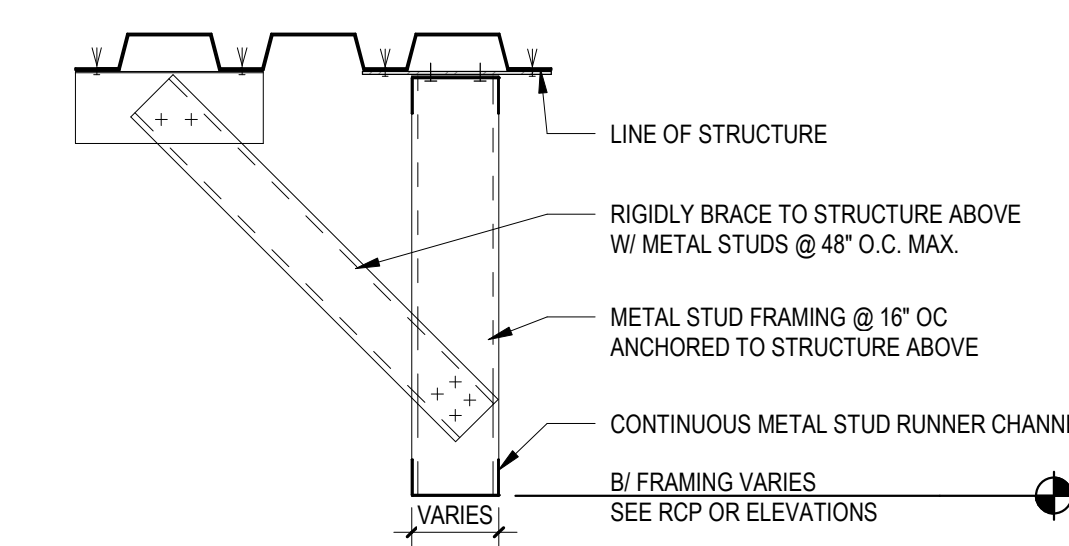
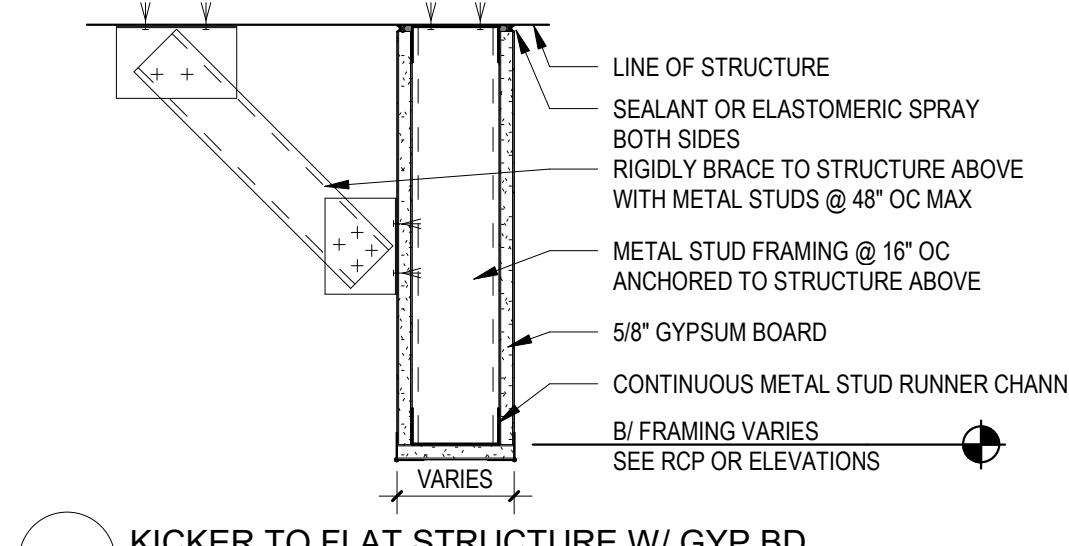
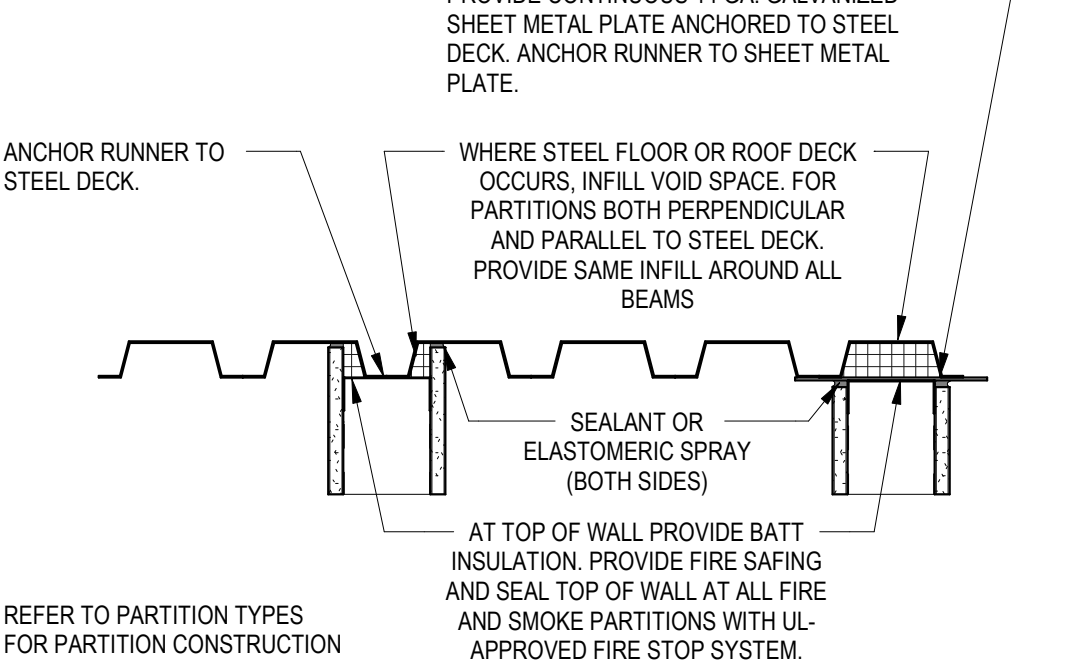
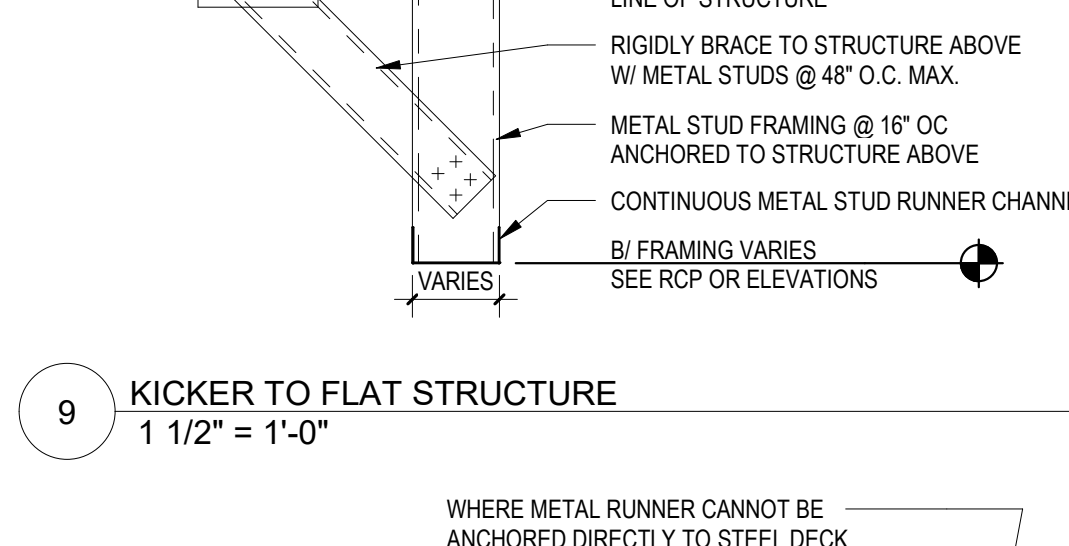
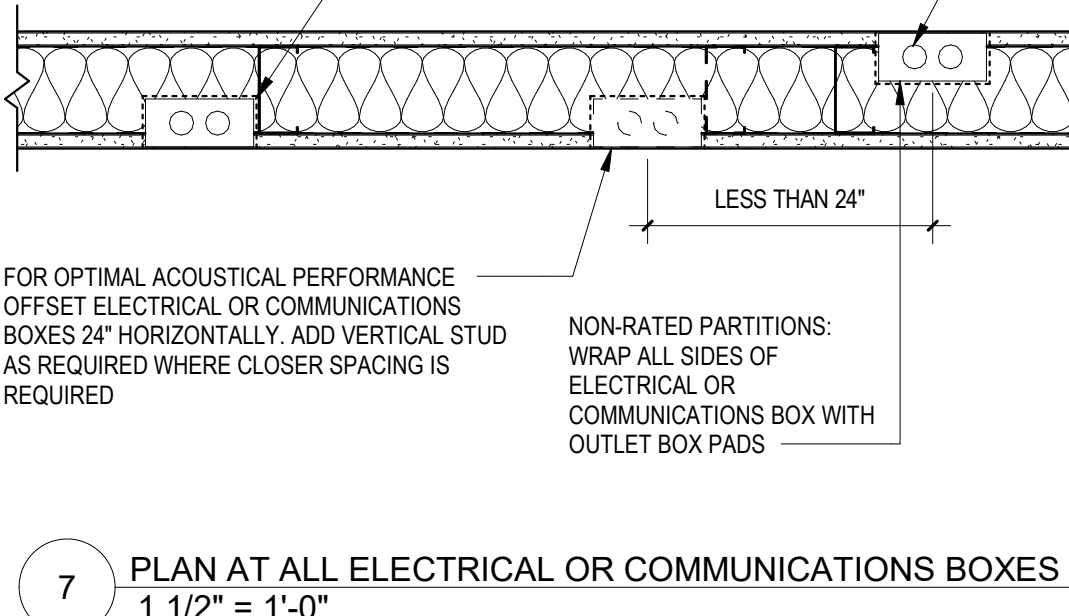
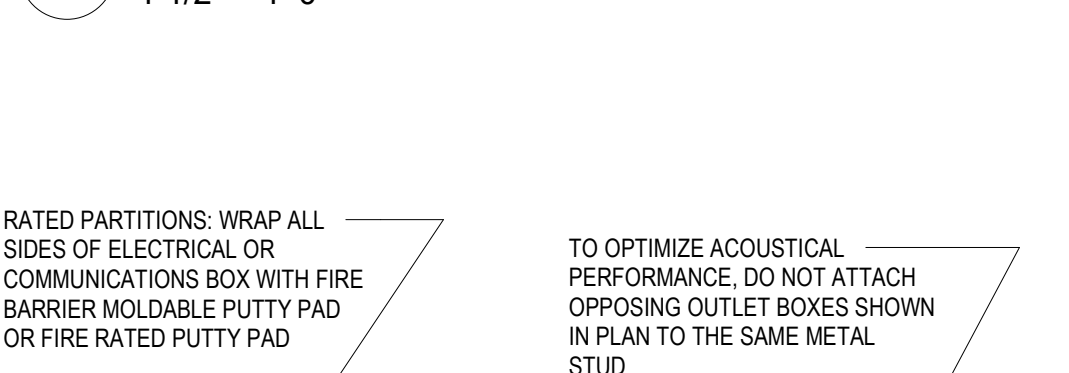
STRUCTURAL ENGINEER

IMEG

623 26th Avenue
Rock Island, IL 61201
P: 305.786.0673
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www.imegcorp.com

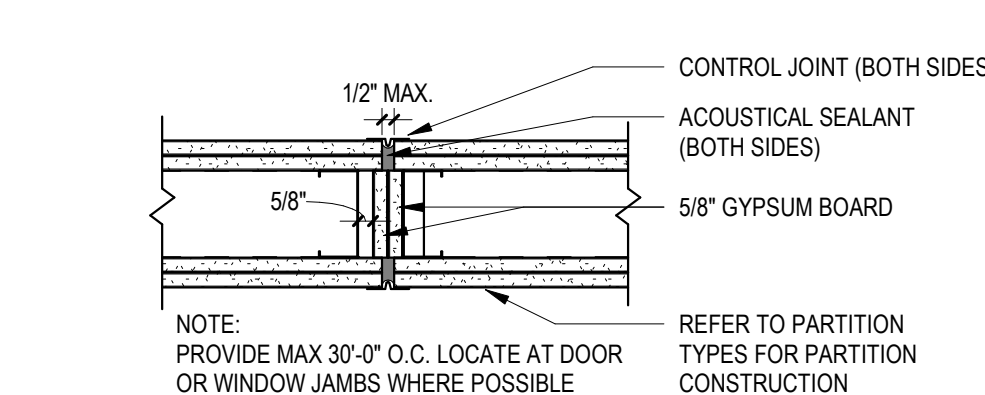
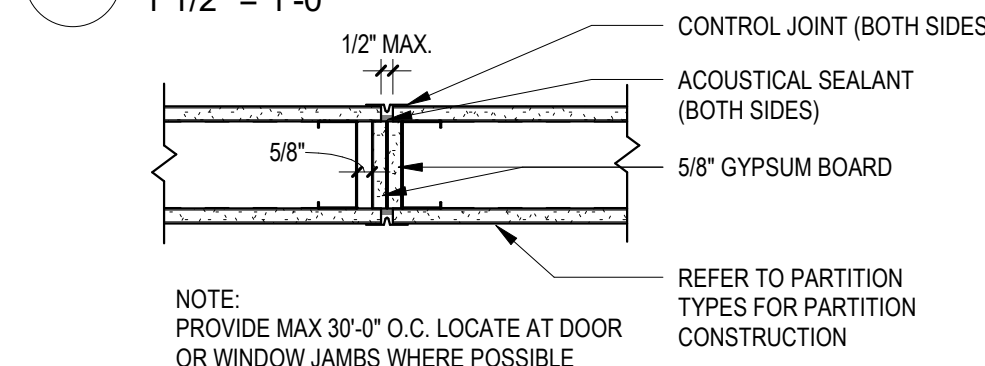
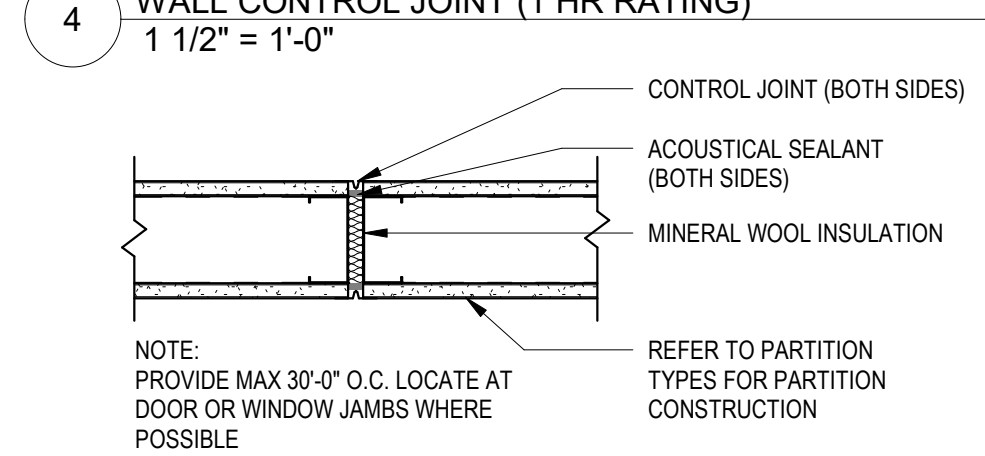
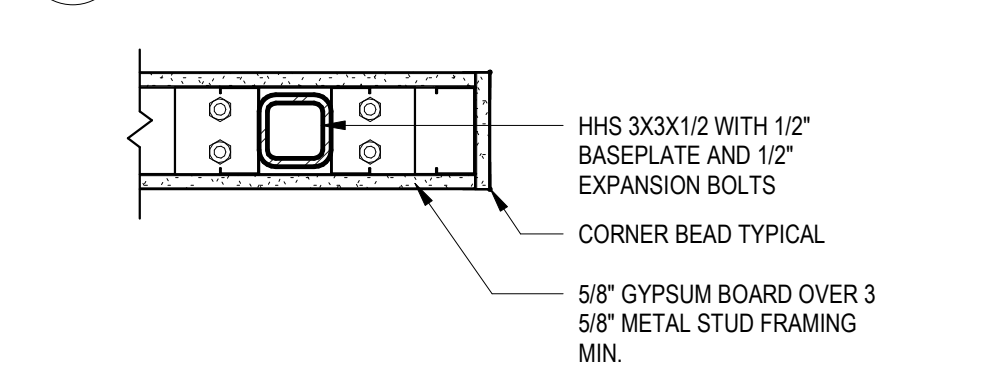
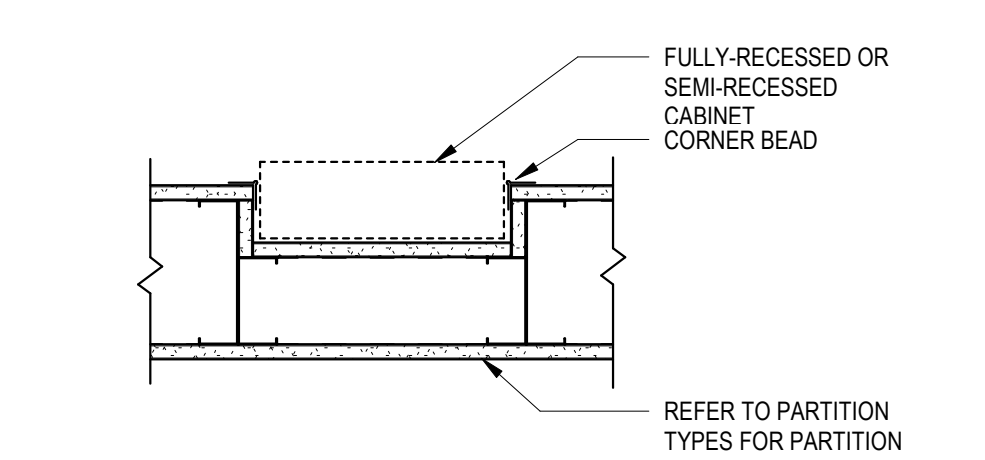
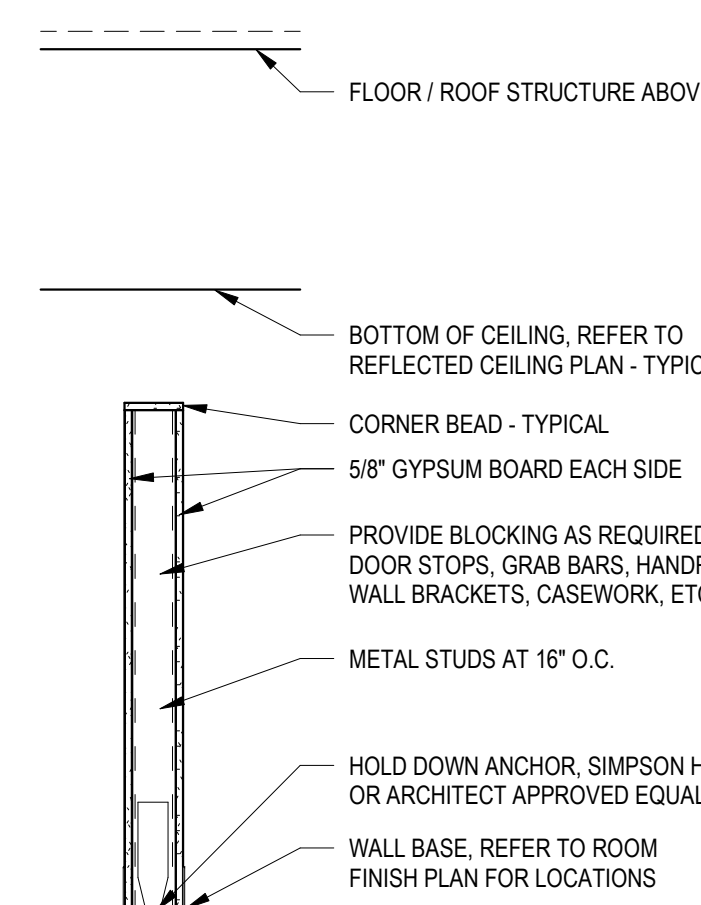
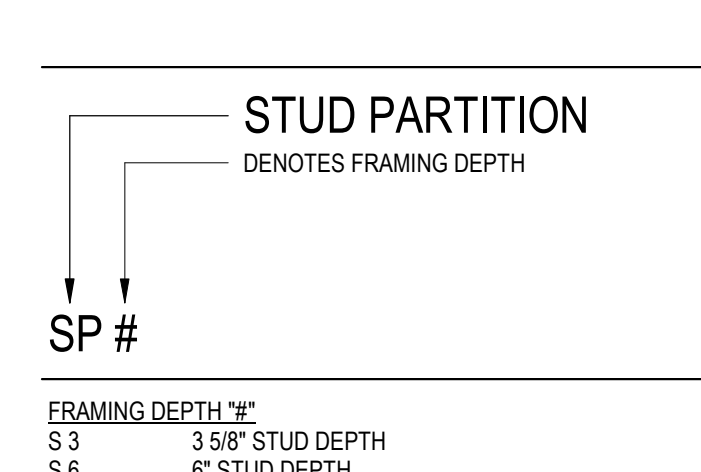
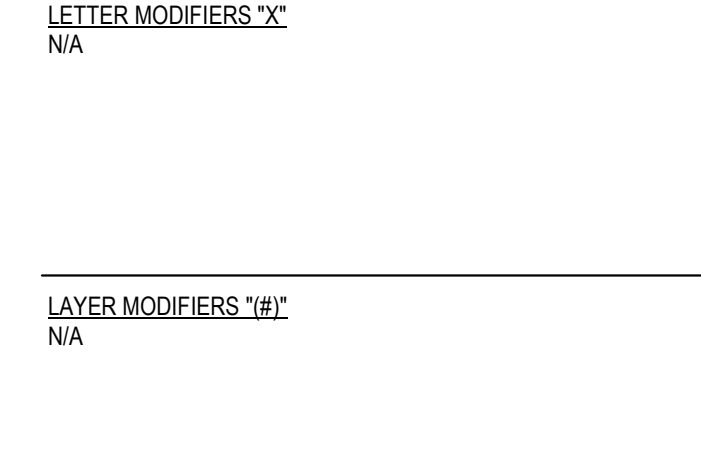
ME/PE ENGINEER

RTM

5137 Utica Ridge Road
Davenport, IA 52807
P: 563.726.6310
www.rtmec.com12 KICKER TO METAL DECK W/ GYP BD
1 1/2\"/>11 KICKER TO METAL DECK
1 1/2\"/>10 KICKER TO FLAT STRUCTURE W/ GYP BD
1 1/2\"/>8 STUD TO STEEL DETAIL
1 1/2\"/>6 BACKER ROD & SEALANT DETAIL
1 1/2\"/>

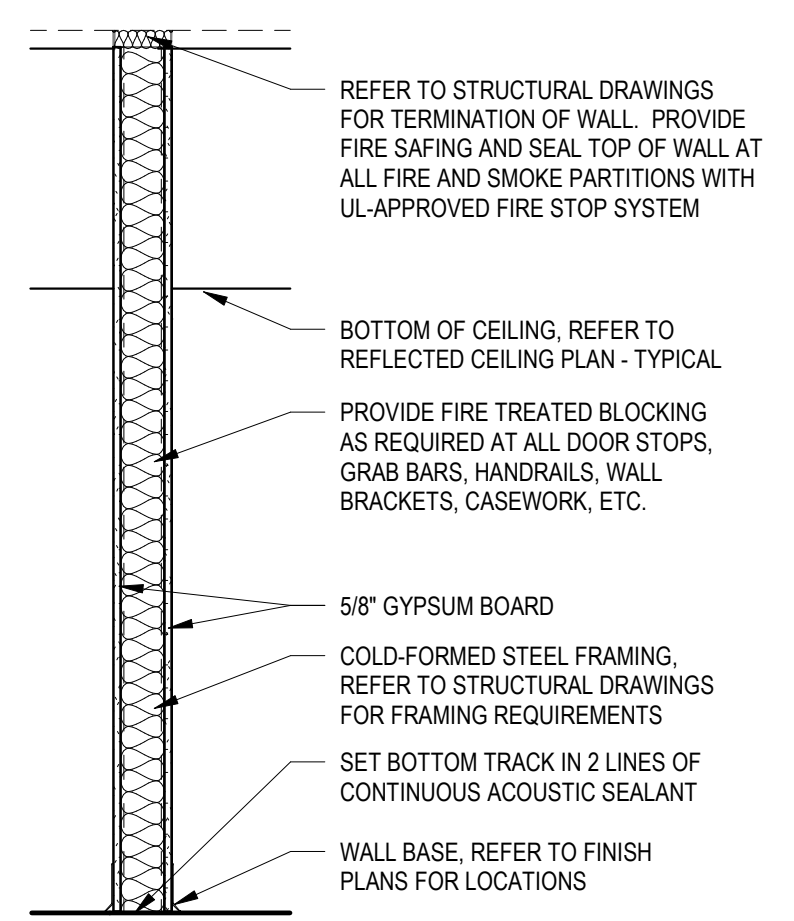
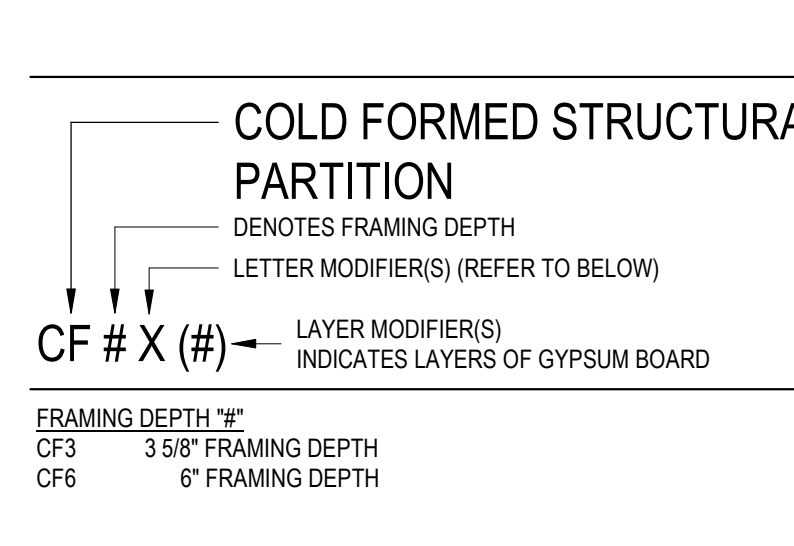
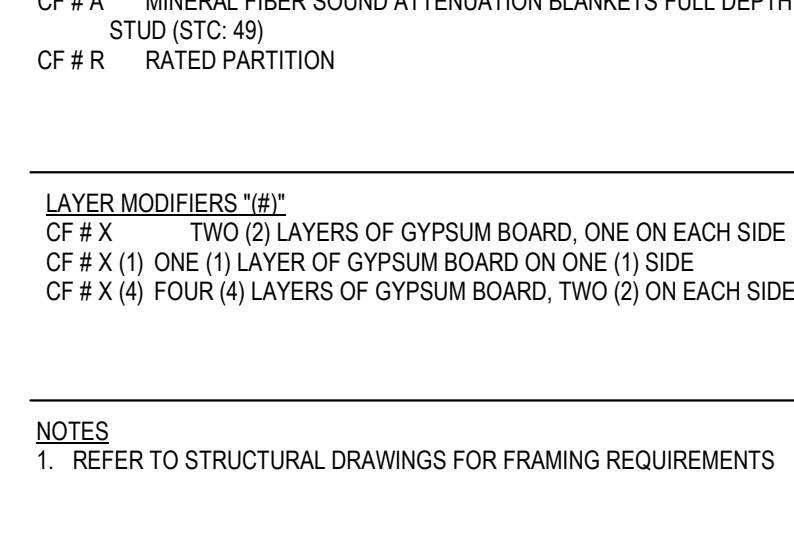
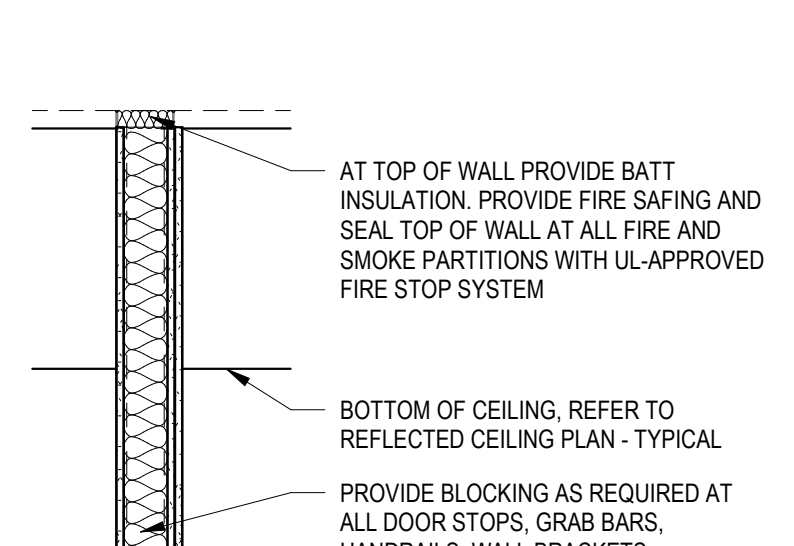
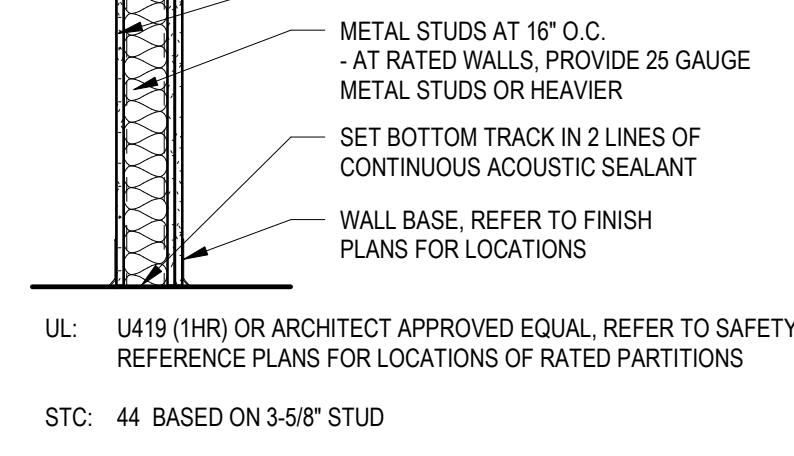
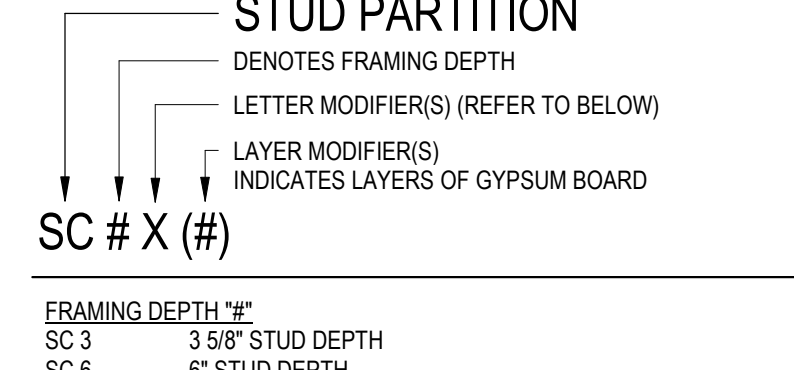
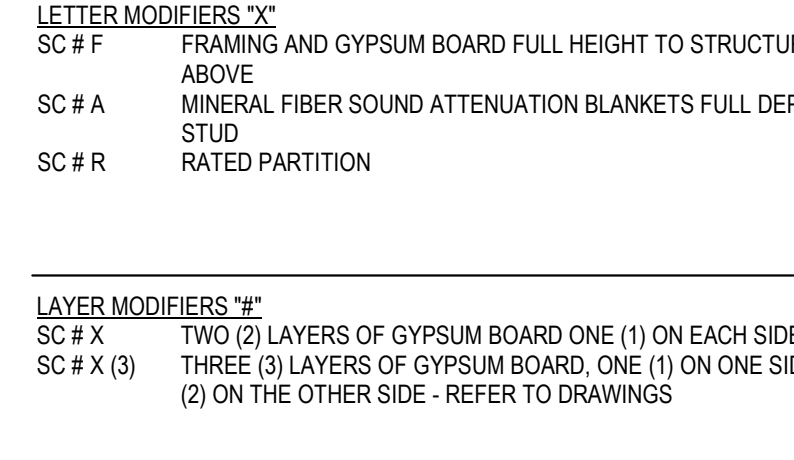
INSTALLATION INSTRUCTIONS

1. REMOVE LOOSE MATERIALS AND FOREIGN MATTER THAT COULD IMPAIR ADHESION OF SEALANT.
2. CLEAN JOINT, AND PRIME AS NECESSARY, IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
3. PERFORM PREPARATION IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND ASTM C1190.
4. INSTALL BACKER ROD, USE BOND BREAKER BACKING TAPE WHERE BACKER ROD CANNOT BE USED.
5. MASK ELEMENTS AND SURFACES ADJACENT TO JOINTS FROM DAMAGE AND DISFIGUREMENT DUE TO SEALANT WORK; BE AWARE THAT SEALANT DRIPS AND SMEARS MAY NOT BE COMPLETELY REMOVABLE.
6. PERFORM INSTALLATION PER MANUFACTURER'S INSTRUCTIONS AND ASTM C1190.
7. TOOL SURFACE CONCAVE, UNLESS OTHERWISE INDICATED; REMOVE MASKING MATERIAL IMMEDIATELY AFTER TOOLING SEALANT SURFACE.

6 BACKER ROD & SEALANT DETAIL
1 1/2\"/>5 WALL CONTROL JOINT (2 HR RATING)
1 1/2\"/>4 WALL CONTROL JOINT (1 HR RATING)
1 1/2\"/>3 WALL CONTROL JOINT (1 HR) - INSULATION
1 1/2\"/>2 PARTIAL HEIGHT PARTITION PLAN DETAIL
1 1/2\"/>1 RECESSED POCKET
1 1/2\"/>1 STUD PARTITION
1 1/2\"/>2 STUD PARTITION
1 1/2\"/>3 STUD PARTITION
1 1/2\"/>

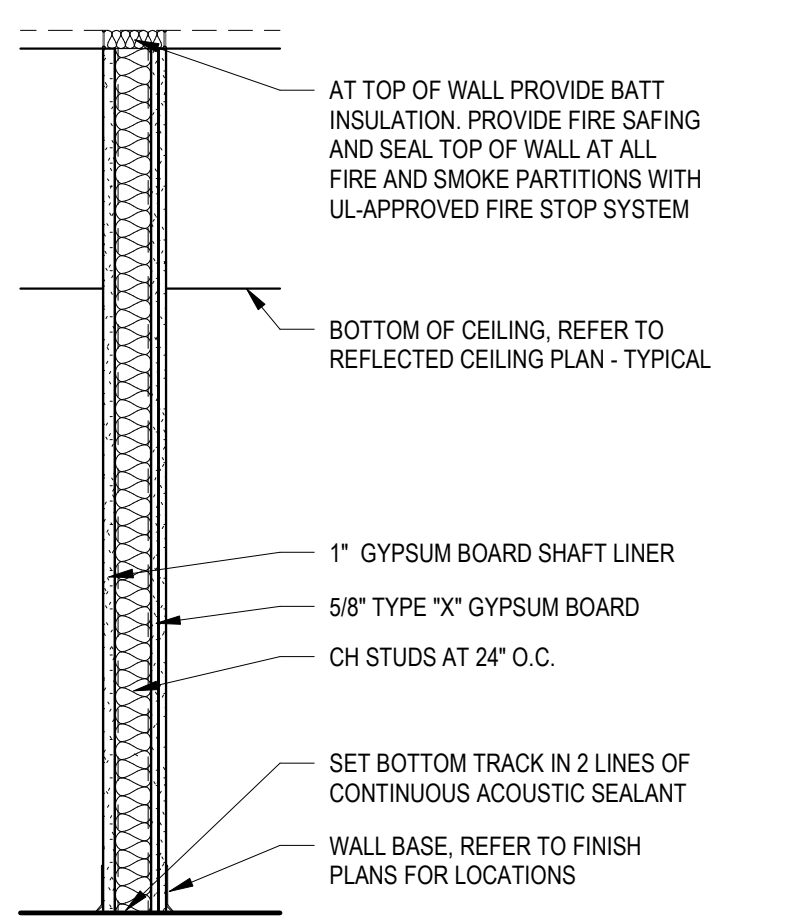
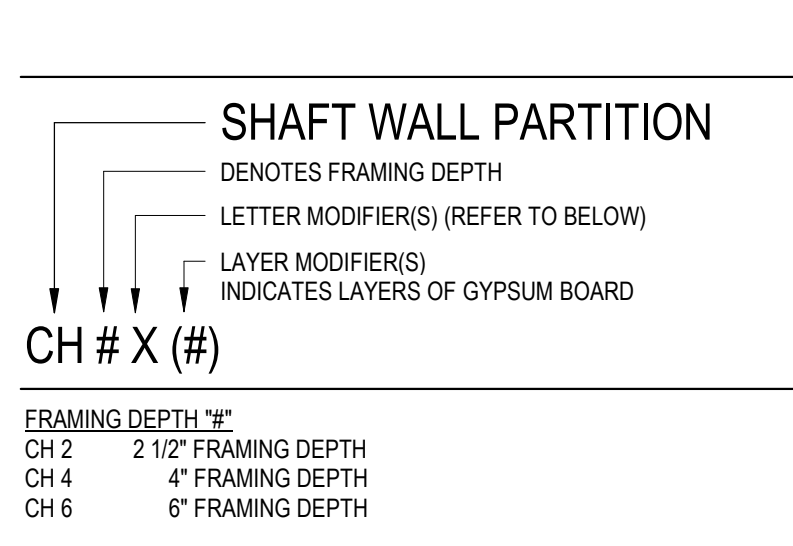
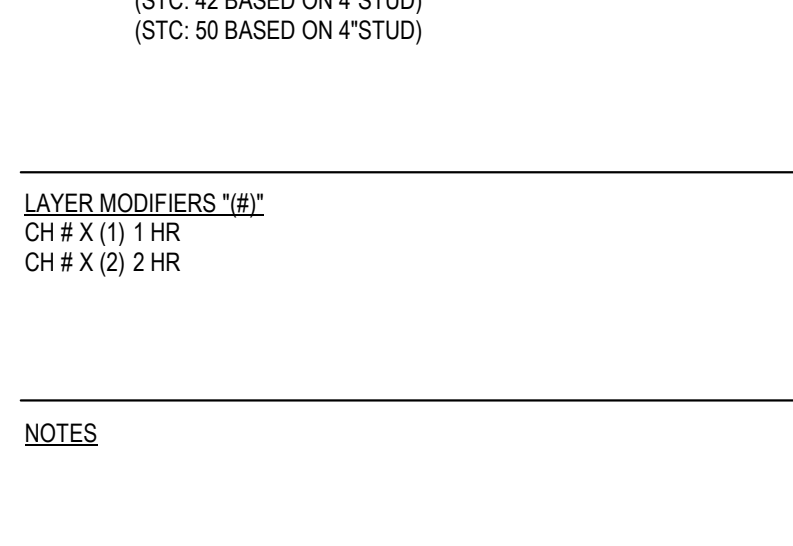
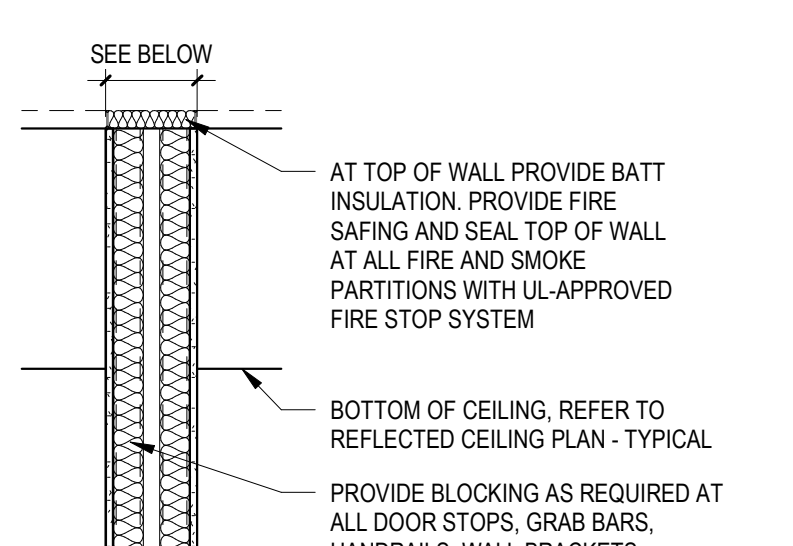
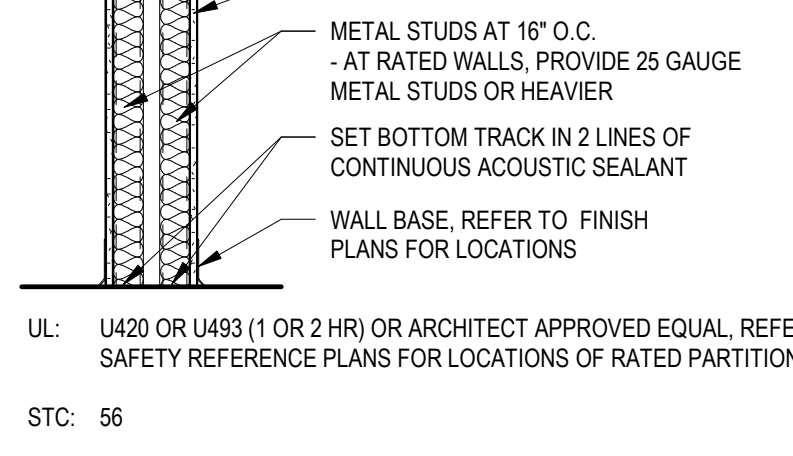
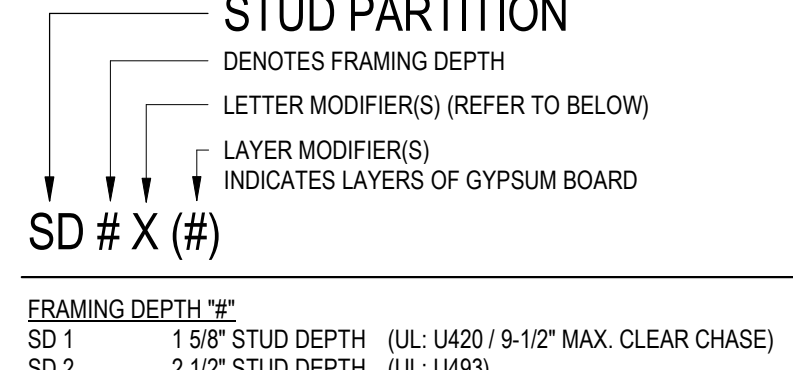
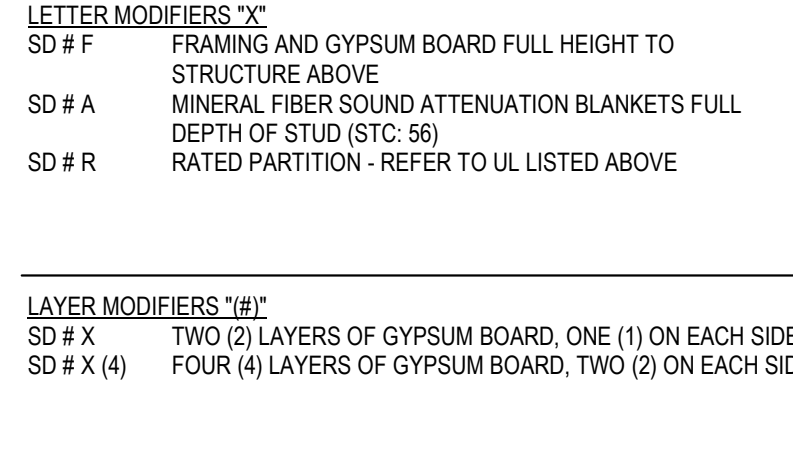
NOTES

1. IMPACT-RESISTANT / ABUSE-RESISTANT GYPSUM BOARD REQUIRES 20 GA MINIMUM STUDS.

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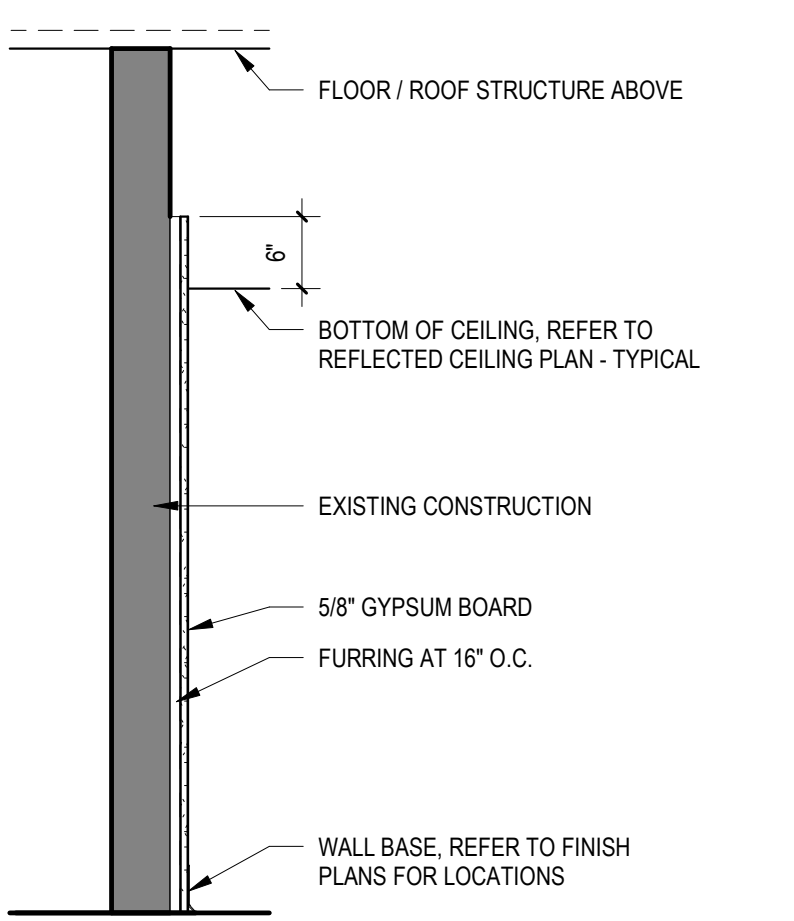
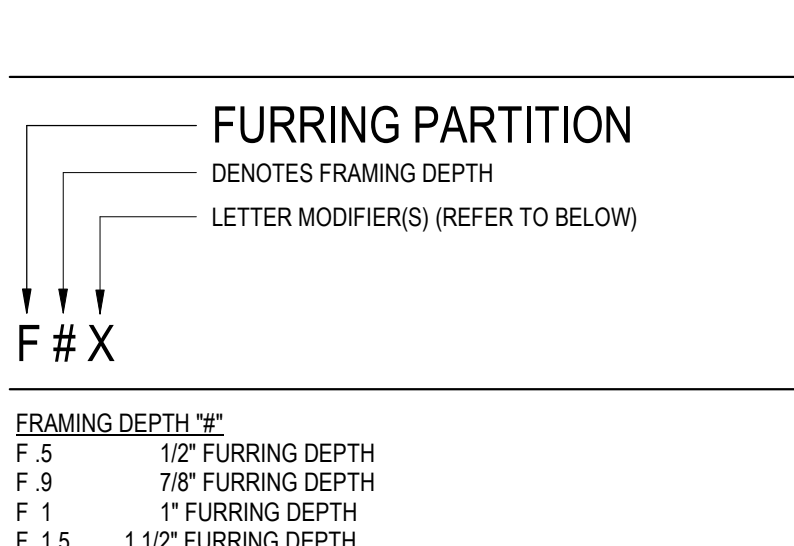
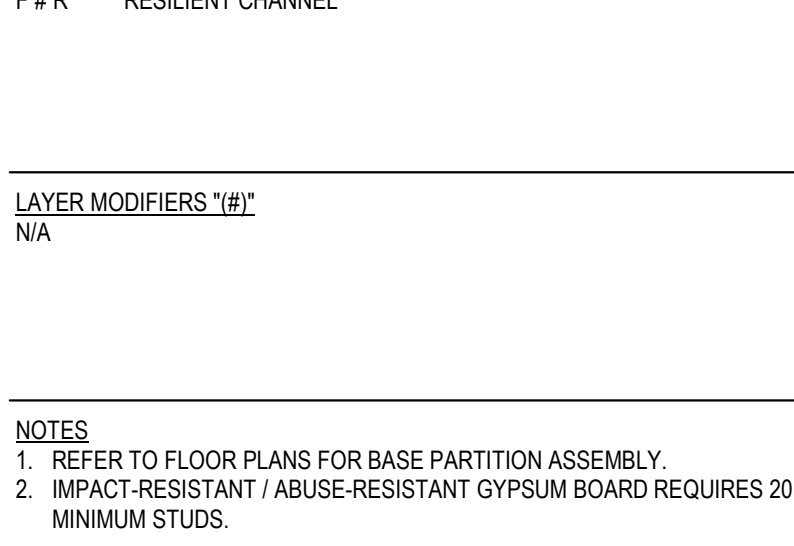
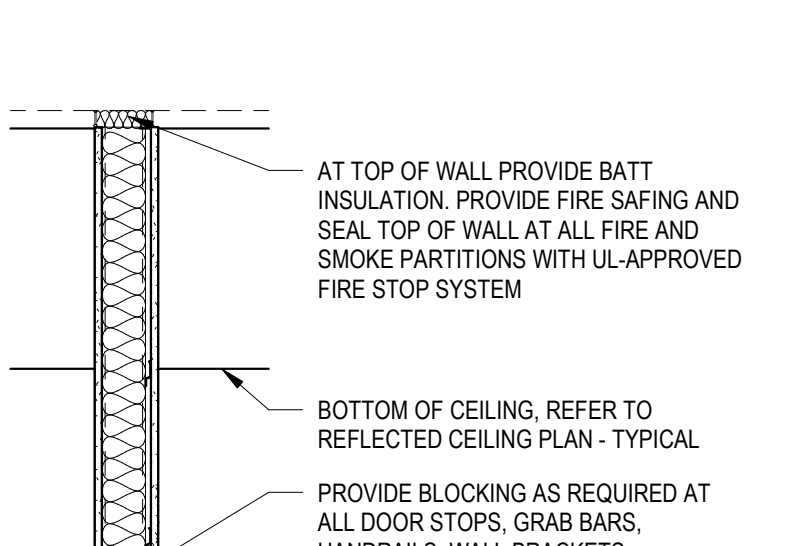
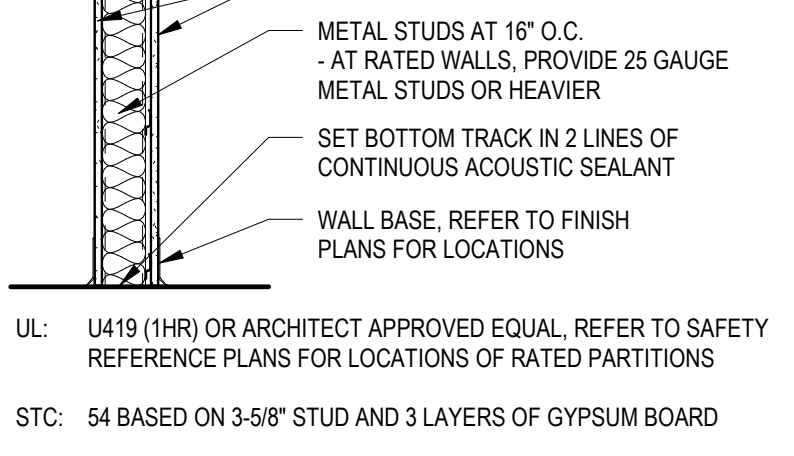
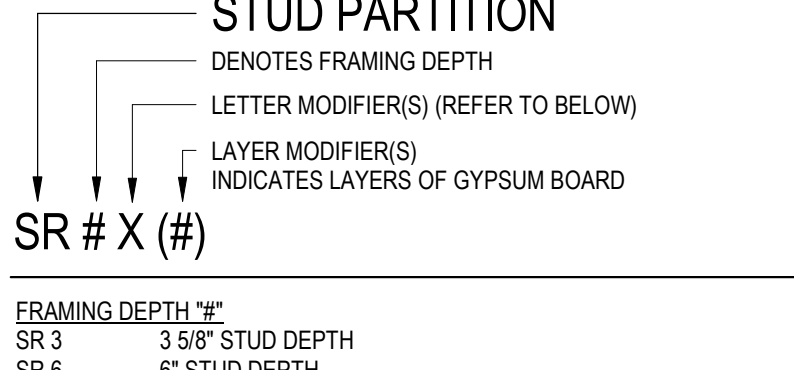
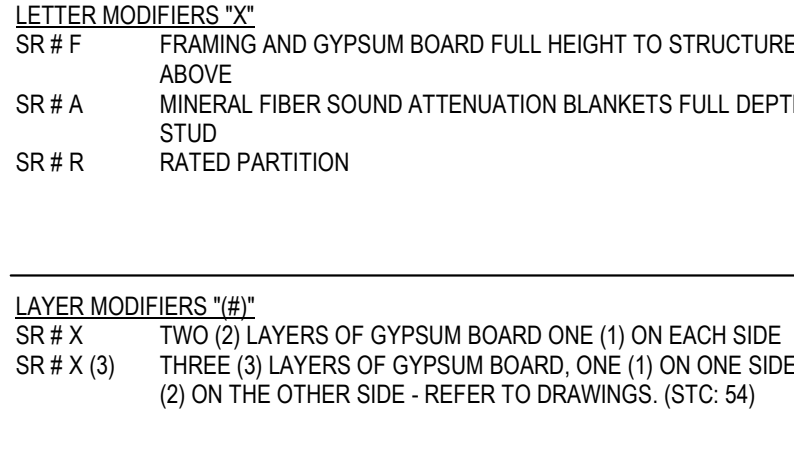
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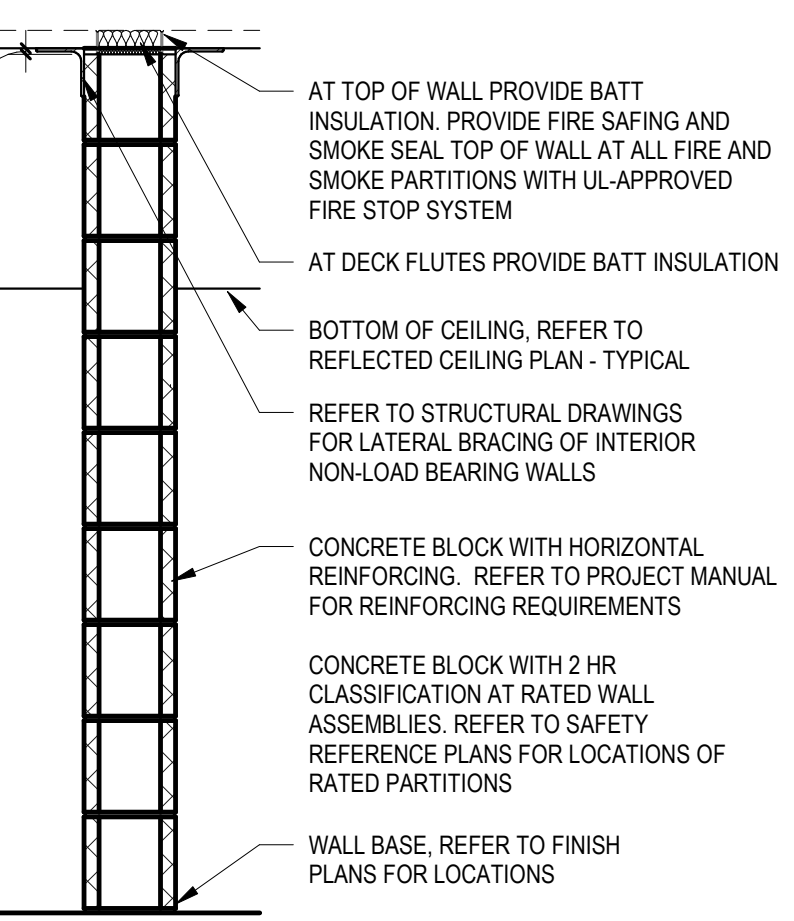
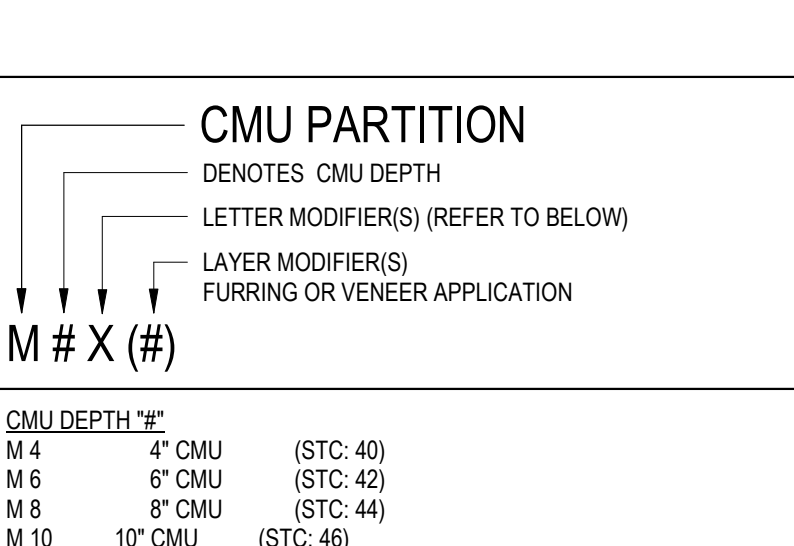
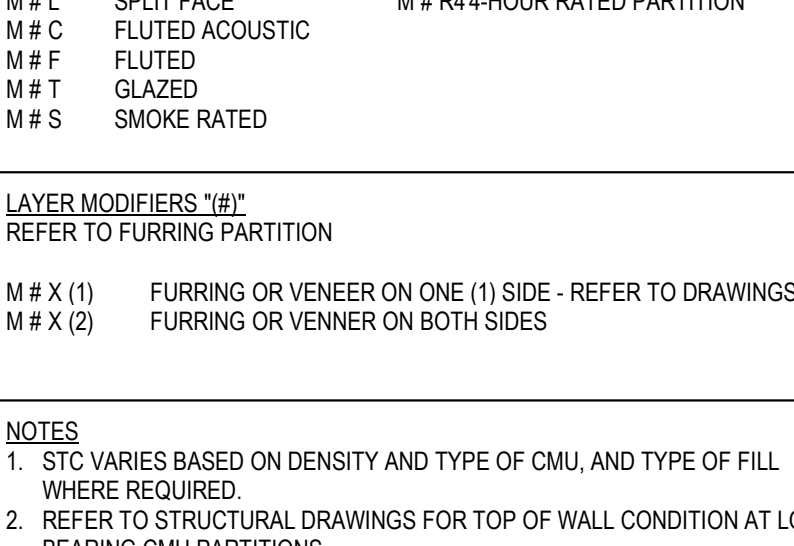
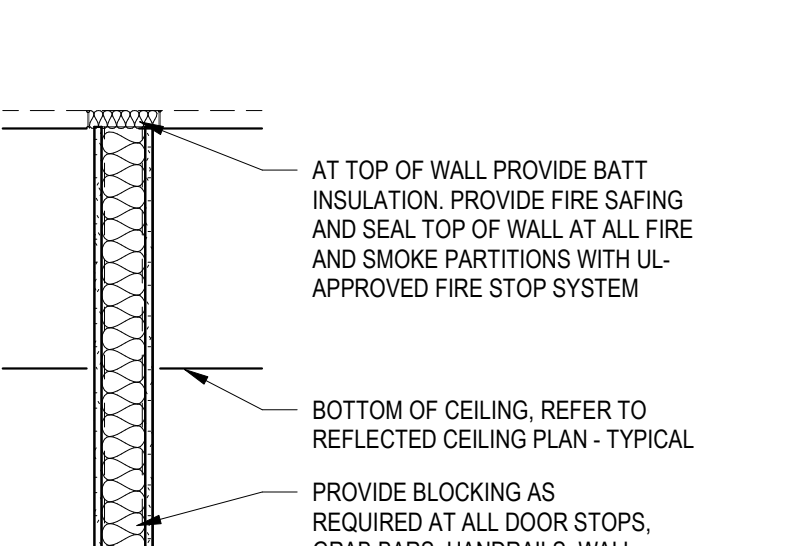
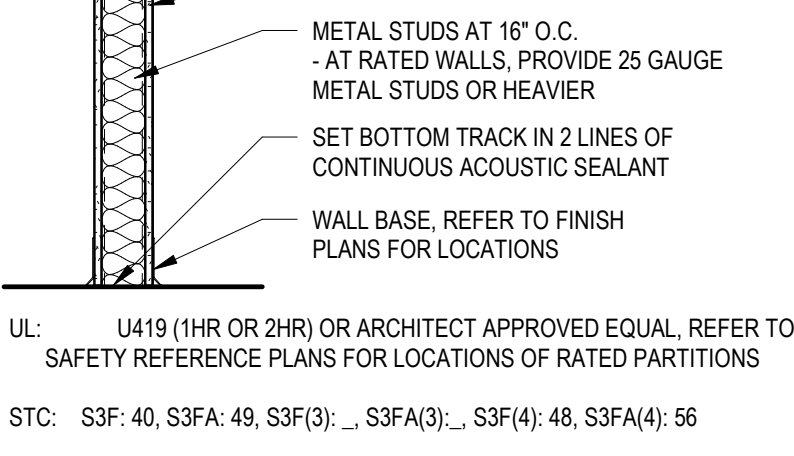
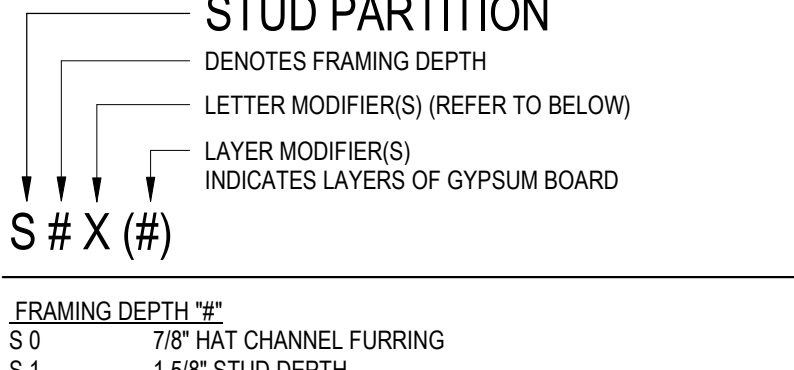
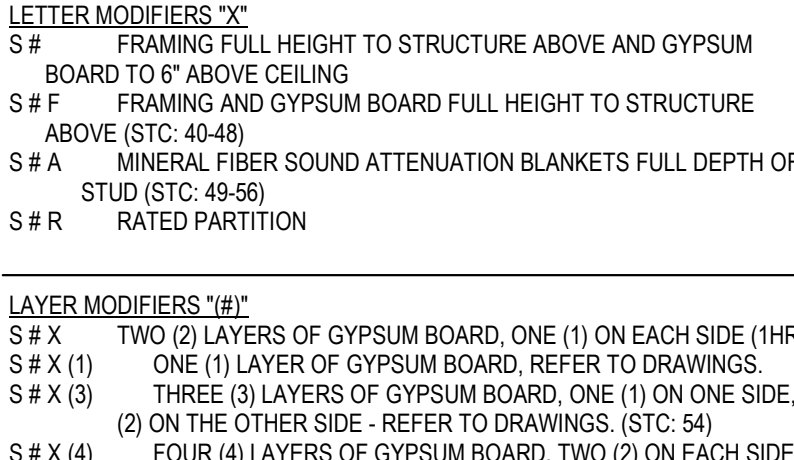
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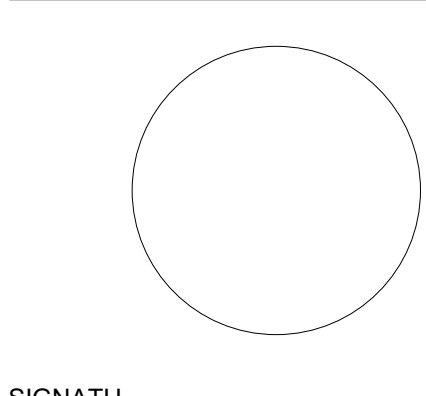
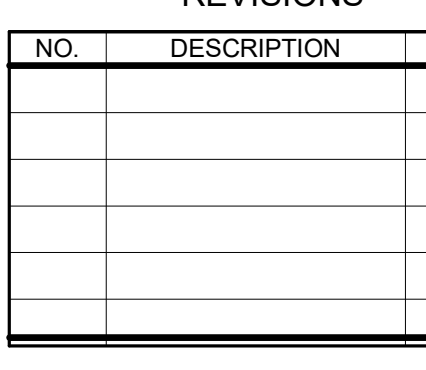
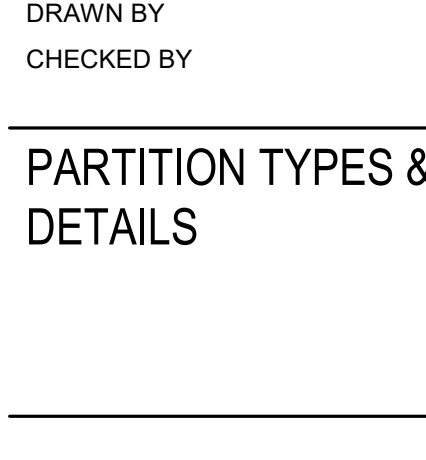
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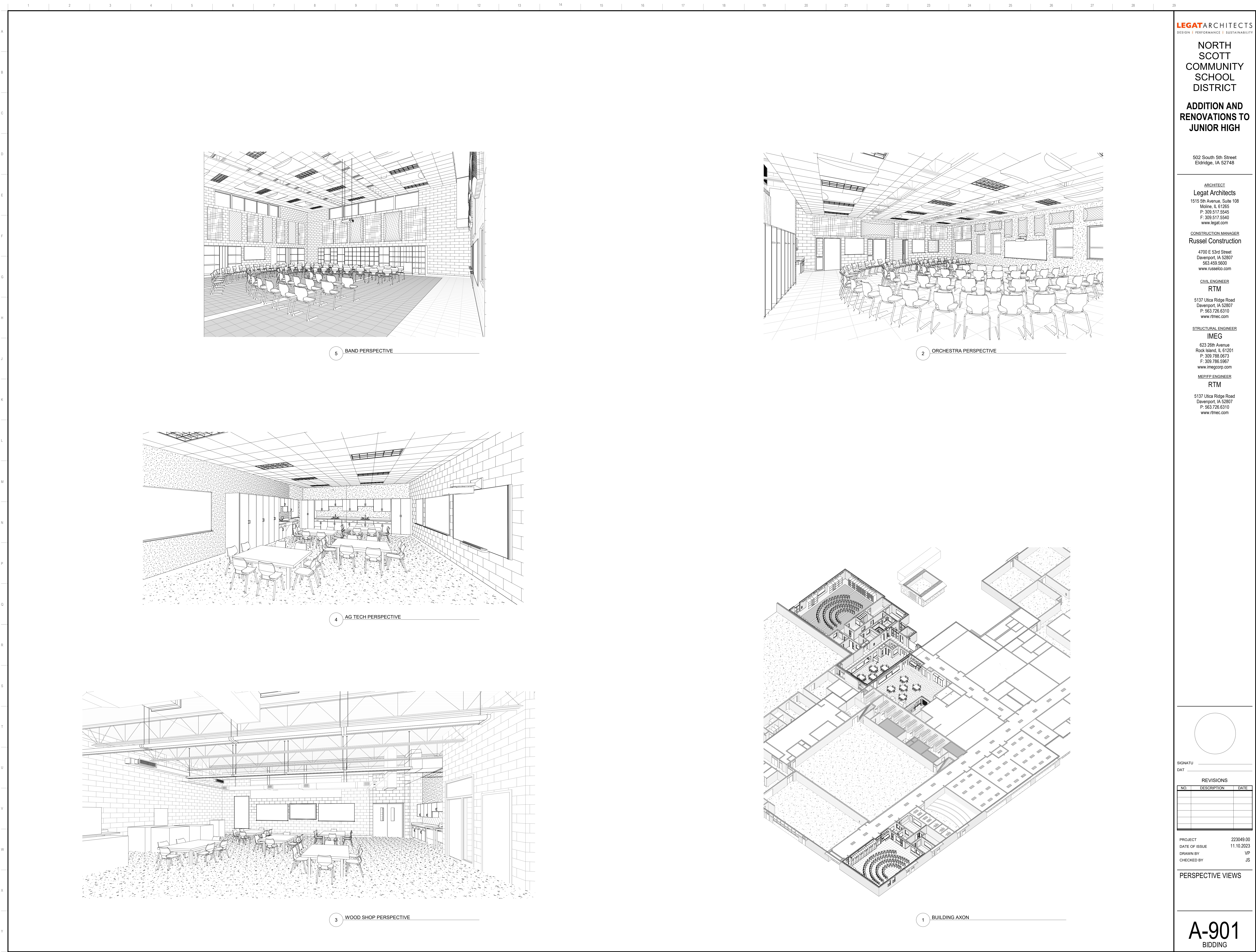
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NOTES

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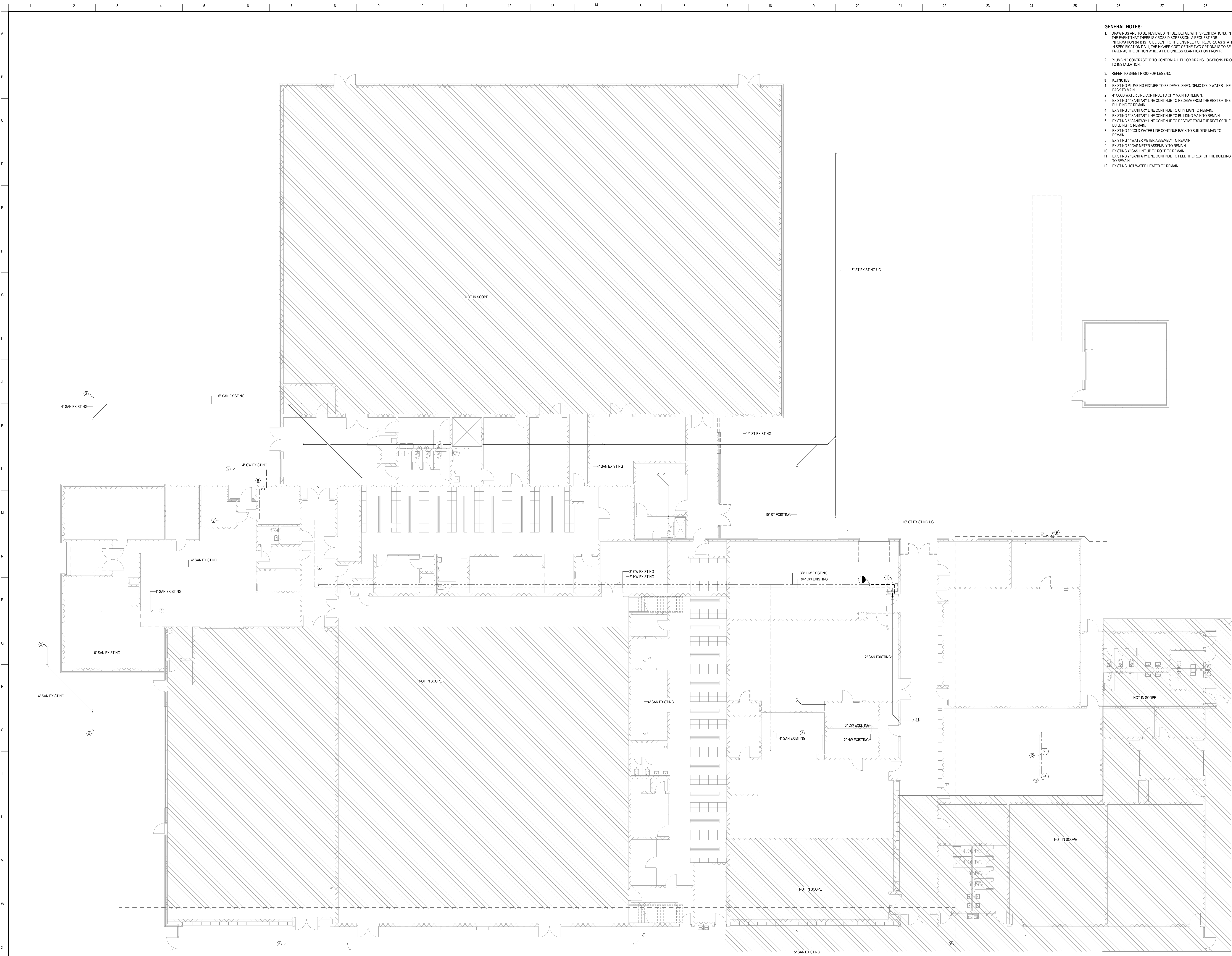
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CHECKED BY JS

PERSPECTIVE VIEWS

A-901
BIDDING



- GENERAL NOTES:**
- DRAWINGS ARE TO BE REVIEWED IN FULL DETAIL WITH SPECIFICATIONS. IN THE EVENT THAT THERE IS CROSS DISCREPANCY, A REQUEST FOR INFORMATION (RFI) IS TO BE SENT TO THE ENGINEER OF RECORD. AS STATED IN SPECIFICATION DIV 1, THE HIGHER COST OF THE TWO OPTIONS IS TO BE TAKEN AS THE OPTION WILL AT BID UNLESS CLARIFICATION FROM RFI.
 - PLUMBING CONTRACTOR TO CONFIRM ALL FLOOR DRAINS LOCATIONS PRIOR TO INSTALLATION.
 - REFER TO SHEET P-000 FOR LEGEND.
- # KEYNOTES**
- EXISTING PLUMBING FIXTURE TO BE DEMOLISHED. DEMO COLD WATER LINE BACK TO MAIN.
 - 4\"/>
 - EXISTING 4\"/>
 - EXISTING 6\"/>
 - EXISTING 5\"/>
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 - EXISTING 1\"/>
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 - EXISTING 4\"/>
 - EXISTING 2\"/>
 - EXISTING HOT WATER HEATER TO REMAIN.

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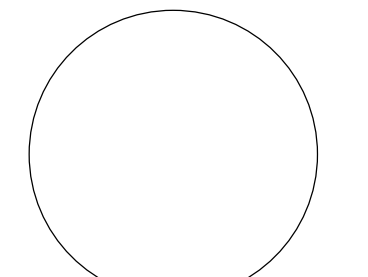
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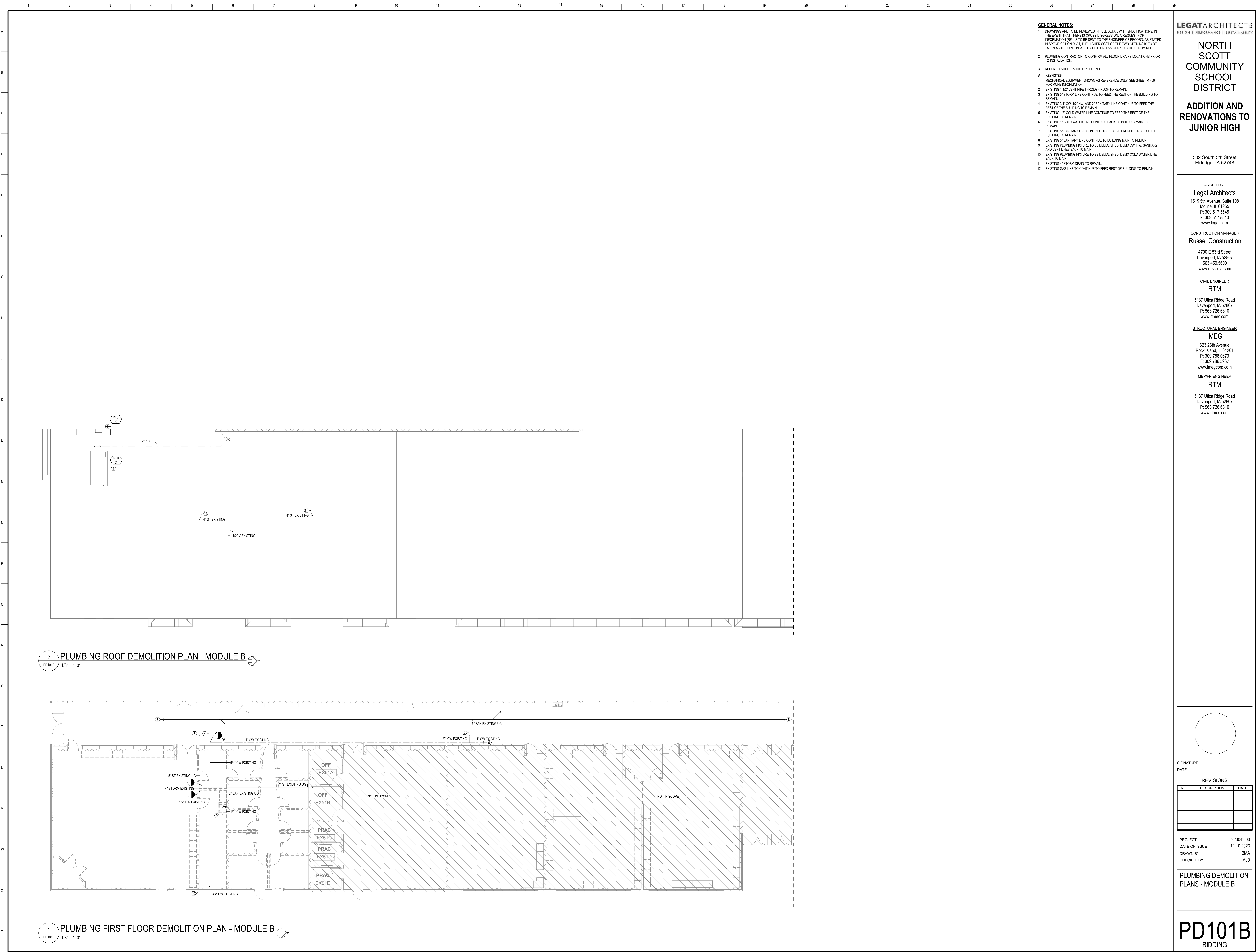

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PLUMBING FIRST FLOOR DEMOLITION PLAN - MODULE A

PD101A
BIDDING



- GENERAL NOTES:**
- DRAWINGS ARE TO BE REVIEWED IN FULL DETAIL WITH SPECIFICATIONS. IN THE EVENT THAT THERE IS CROSS DISCREPANCY, A REQUEST FOR INFORMATION (RFI) IS TO BE SENT TO THE ENGINEER OF RECORD, AS STATED IN SPECIFICATION DIV 1. THE HIGHER COST OF THE TWO OPTIONS IS TO BE TAKEN AS THE OPTION UNLESS CLARIFICATION FROM RFI.
 - PLUMBING CONTRACTOR TO CONFIRM ALL FLOOR DRAINS LOCATIONS PRIOR TO INSTALLATION.
 - REFER TO SHEET P-000 FOR LEGEND.
- # KEYNOTES**
- MECHANICAL EQUIPMENT SHOWN AS REFERENCE ONLY. SEE SHEET M-000 FOR MORE INFORMATION.
 - EXISTING 1-1/2" VENT PIPE THROUGH ROOF TO REMAIN.
 - EXISTING 5" STORM LINE CONTINUE TO FEED THE REST OF THE BUILDING TO REMAIN.
 - EXISTING 3/4" CW, 1/2" HW, AND 2" SANITARY LINE CONTINUE TO FEED THE REST OF THE BUILDING TO REMAIN.
 - EXISTING 1/2" COLD WATER LINE CONTINUE TO FEED THE REST OF THE BUILDING TO REMAIN.
 - EXISTING 1" COLD WATER LINE CONTINUE BACK TO BUILDING MAIN TO REMAIN.
 - EXISTING 2" SANITARY LINE CONTINUE TO RECEIVE FROM THE REST OF THE BUILDING TO REMAIN.
 - EXISTING 2" SANITARY LINE CONTINUE TO BUILDING MAIN TO REMAIN.
 - EXISTING PLUMBING FIXTURE TO BE DEMOLISHED. DEMO CW, HW, SANITARY, AND VENT LINES BACK TO MAIN.
 - EXISTING PLUMBING FIXTURE TO BE DEMOLISHED. DEMO COLD WATER LINE BACK TO MAIN.
 - EXISTING 4" STORM DRAIN TO REMAIN.
 - EXISTING GAS LINE TO CONTINUE TO FEED REST OF BUILDING TO REMAIN.

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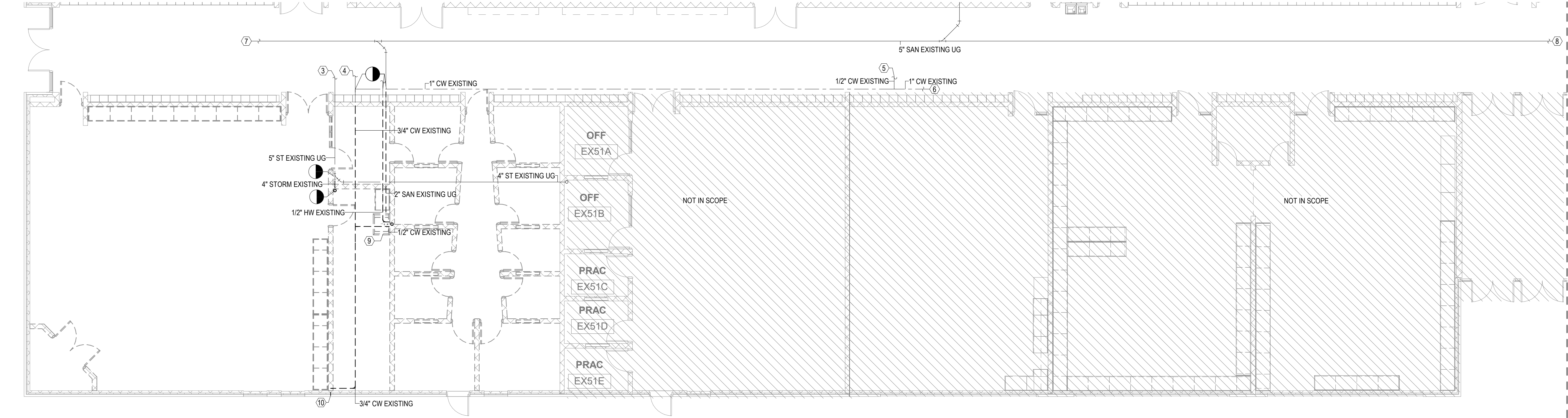
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2 PLUMBING ROOF DEMOLITION PLAN - MODULE B
PD101B 1/8" = 1'-0"



1 PLUMBING FIRST FLOOR DEMOLITION PLAN - MODULE B
PD101B 1/8" = 1'-0"

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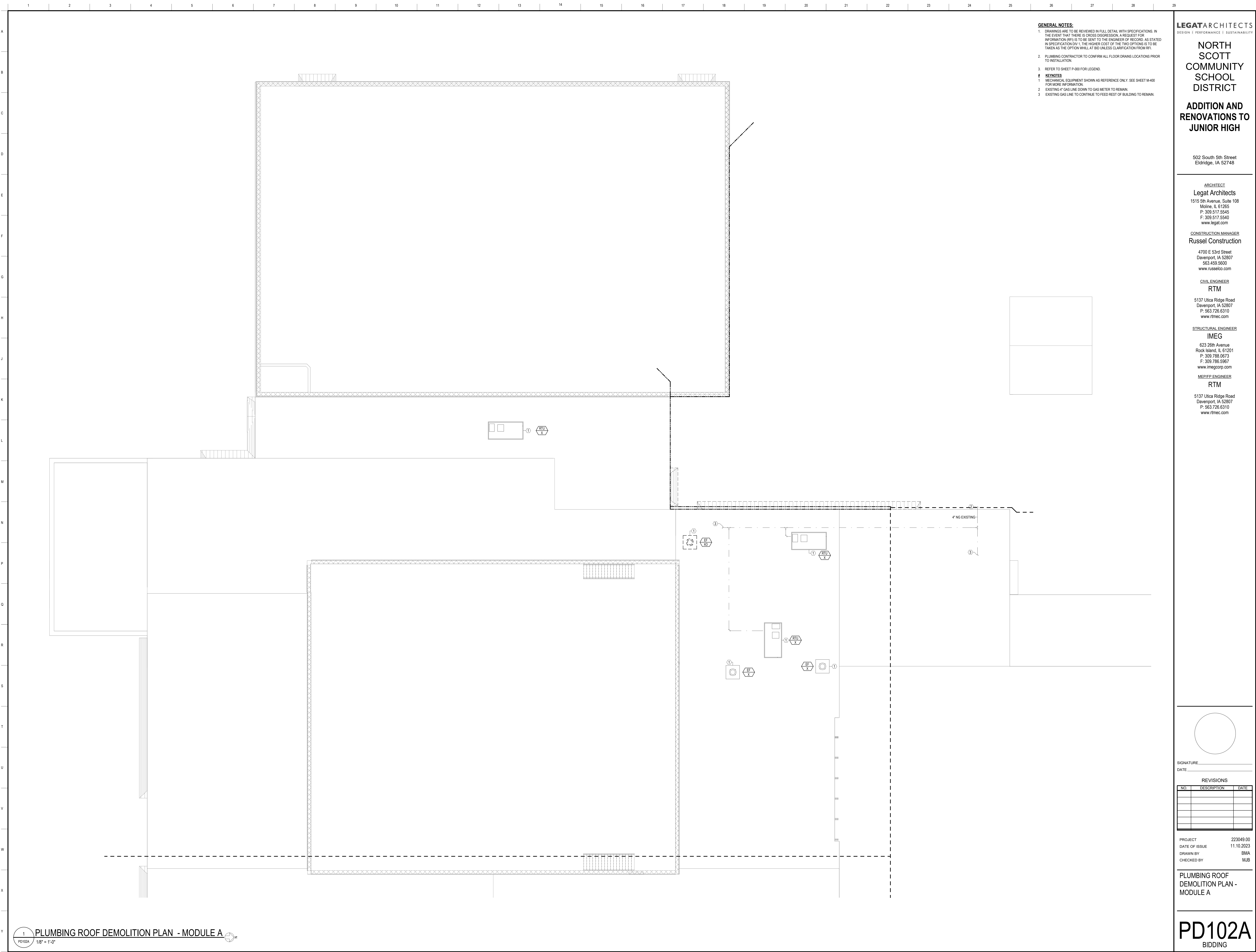
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**PLUMBING DEMOLITION
PLANS - MODULE B**

PD101B
BIDDING



GENERAL NOTES:
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2. PLUMBING CONTRACTOR TO CONFIRM ALL FLOOR DRAINS LOCATIONS PRIOR TO INSTALLATION.
3. REFER TO SHEET P-000 FOR LEGEND.
KEYNOTES
1. MECHANICAL EQUIPMENT SHOWN AS REFERENCE ONLY. SEE SHEET M-400 FOR MORE INFORMATION.
2. EXISTING 4\"/>

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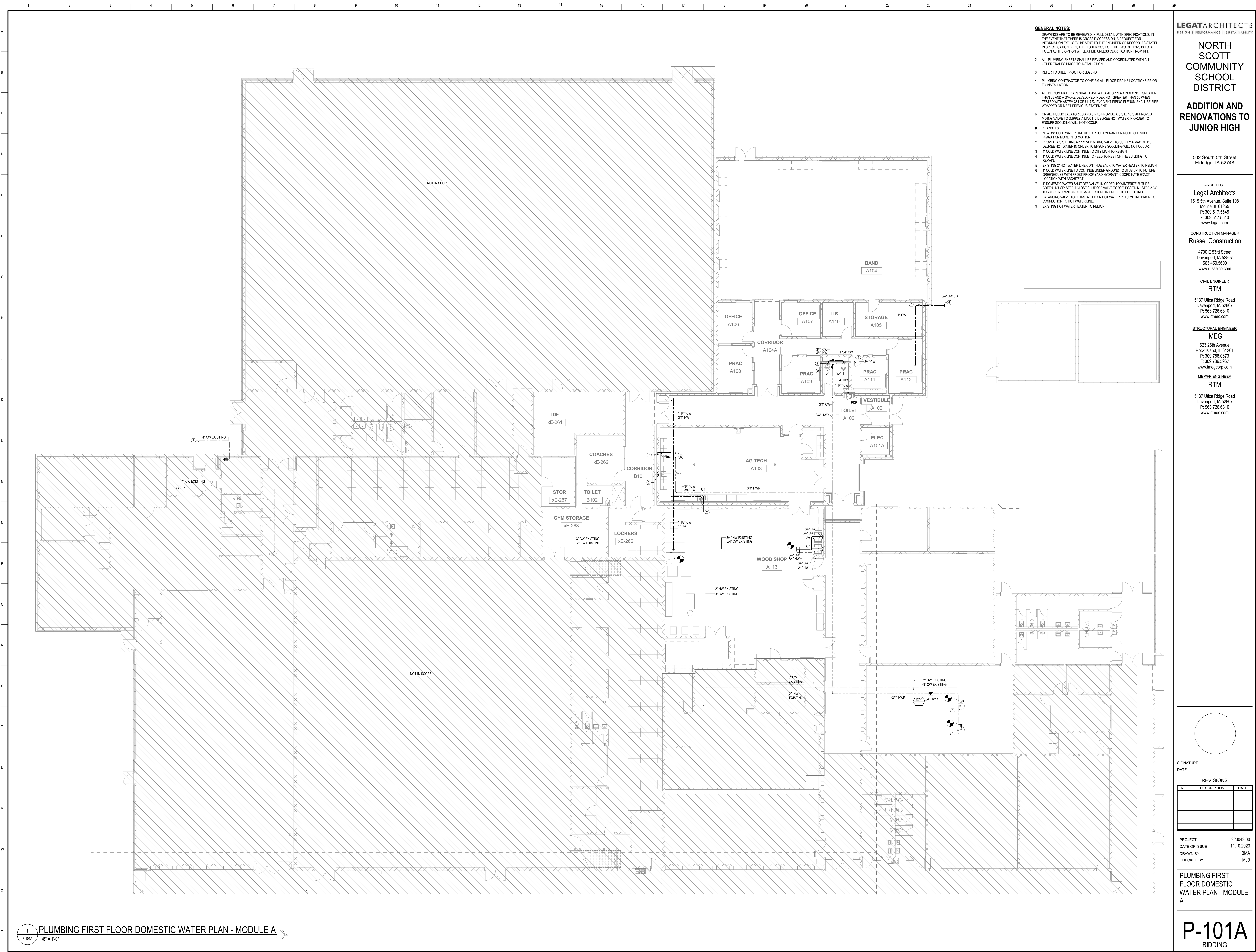
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CHECKED BY: MJB

PLUMBING ROOF DEMOLITION PLAN - MODULE A

PD102A
BIDDING



- GENERAL NOTES:**
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 - ALL PLUMBING SHEETS SHALL BE REVISED AND COORDINATED WITH ALL OTHER TRADES PRIOR TO INSTALLATION.
 - REFER TO SHEET P-100 FOR LEGEND.
 - PLUMBING CONTRACTOR TO CONFIRM ALL FLOOR DRAIN LOCATIONS PRIOR TO INSTALLATION.
 - ALL PLENUM MATERIALS SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN 25 AND A SMOKE DEVELOPED INDEX NOT GREATER THAN 50 WHEN TESTED WITH ASTM 384 OR UL 723. PVC VENT PIPING PLENUM SHALL BE FIRE WRAPPED OR MEET PREVIOUS STATEMENT.
 - ON ALL PUBLIC LAVATORIES AND SINKS PROVIDE A.S.S.E. 1070 APPROVED MIXING VALVE TO SUPPLY A MAX 110 DEGREE HOT WATER IN ORDER TO ENSURE SCOLDING WILL NOT OCCUR.
- KEYNOTES**
- NEW 3/4" COLD WATER LINE UP TO ROOF HYDRANT ON ROOF. SEE SHEET P-202A FOR MORE INFORMATION.
 - PROVIDE A.S.S.E. 1070 APPROVED MIXING VALVE TO SUPPLY A MAX OF 110 DEGREE HOT WATER IN ORDER TO ENSURE SCOLDING WILL NOT OCCUR.
 - 4" COLD WATER LINE CONTINUE TO CITY MAIN TO REMAIN.
 - 1" COLD WATER LINE CONTINUE TO FEED TO REST OF THE BUILDING TO REMAIN.
 - EXISTING 2" HOT WATER LINE CONTINUE BACK TO WATER HEATER TO REMAIN.
 - 1" COLD WATER LINE TO CONTINUE UNDER GROUND TO STUB UP TO FUTURE GREENHOUSE WITH FROST PROOF YARD HYDRANT. COORDINATE EXACT LOCATION WITH ARCHITECT.
 - 7" DOMESTIC WATER SHUT OFF VALVE. IN ORDER TO WINTERIZE FUTURE GREENHOUSE. STEP 1 CLOSE SHUT OFF VALVE TO 12" POSITION. STEP 2 GO TO YARD HYDRANT AND ENGAGE FIXTURE IN ORDER TO BLEED LINES.
 - BALANCING VALVE TO BE INSTALLED ON HOT WATER RETURN LINE PRIOR TO CONNECTION TO HOT WATER LINE.
 - EXISTING HOT WATER HEATER TO REMAIN.

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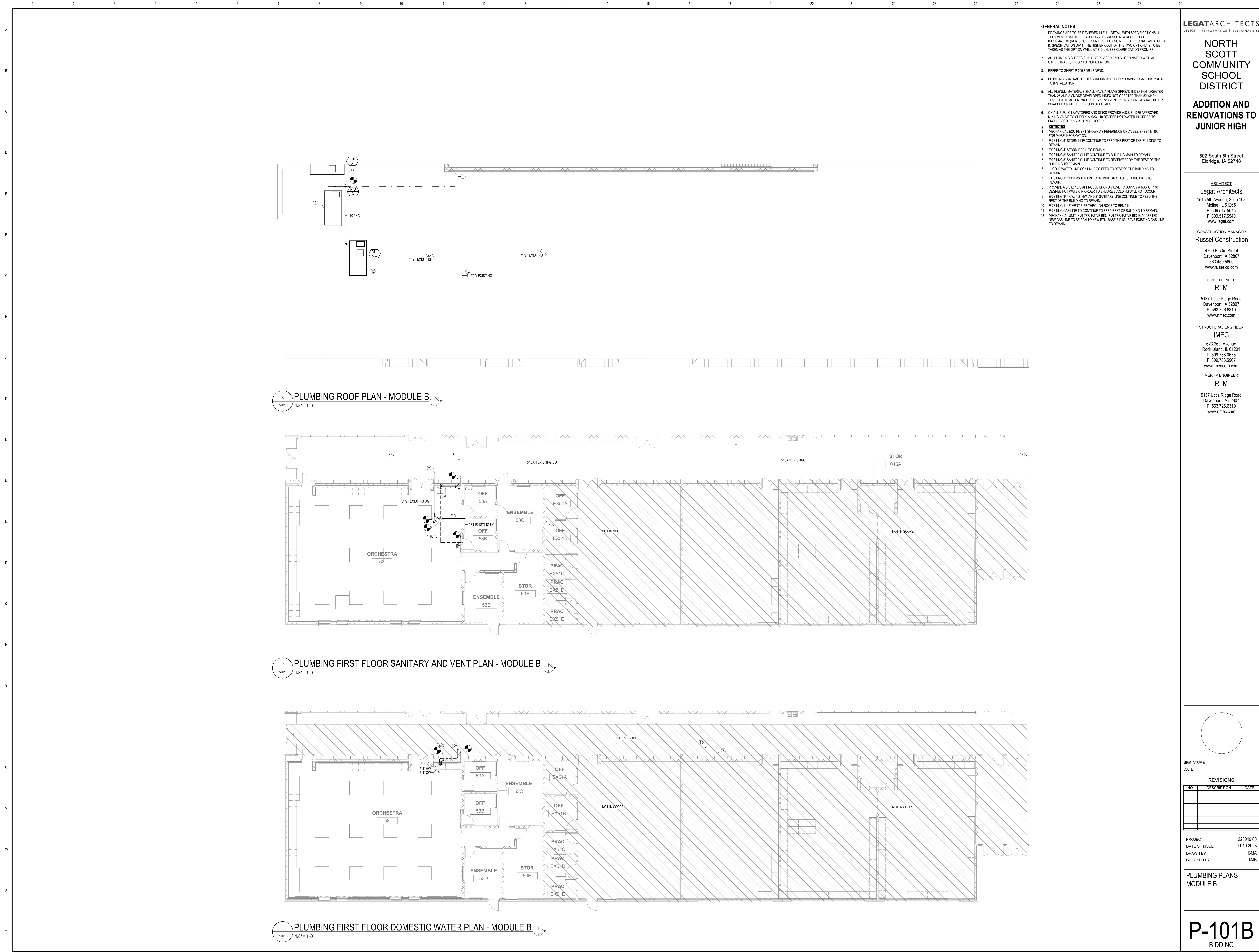
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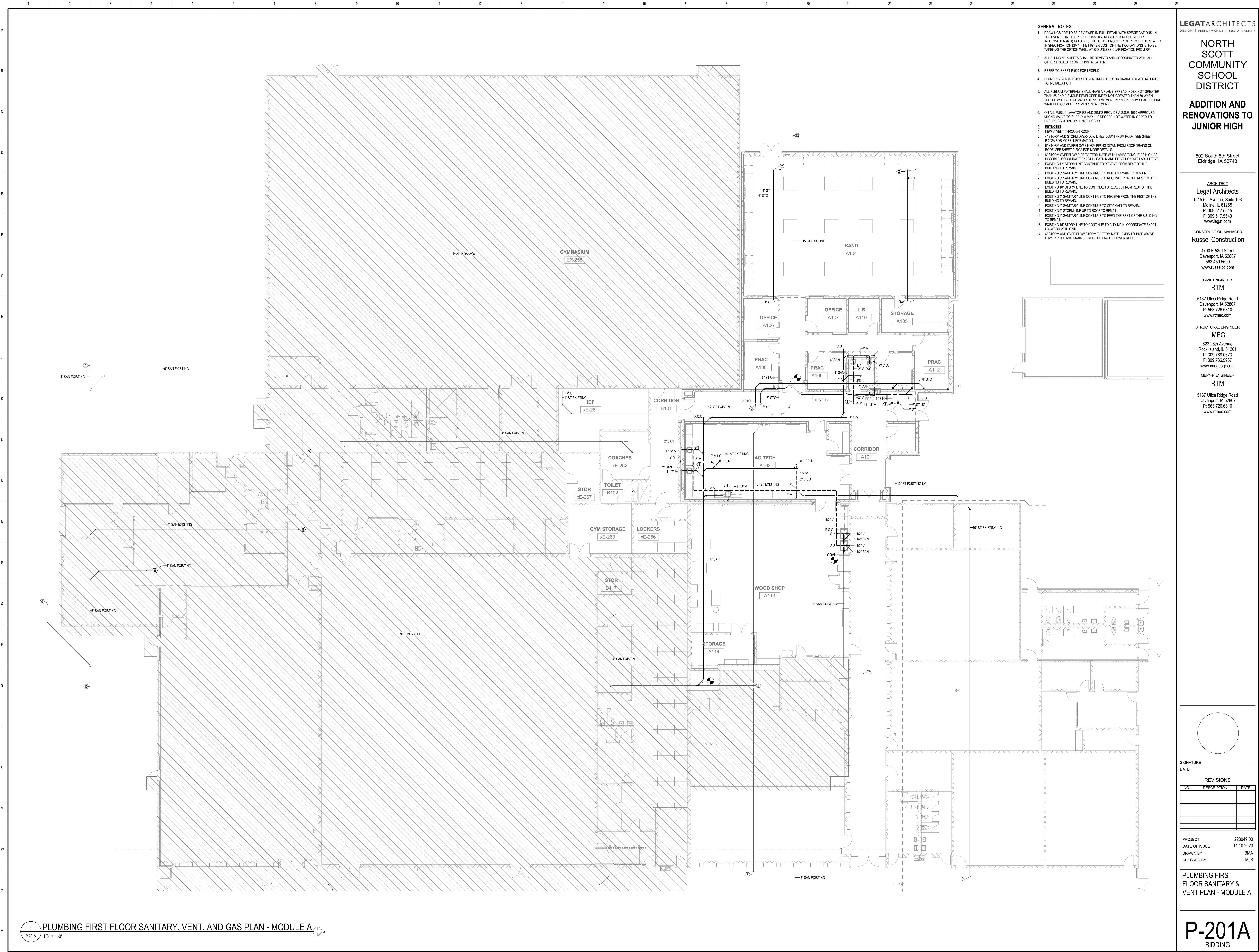
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PLUMBING FIRST FLOOR DOMESTIC WATER PLAN - MODULE A





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 - ALL PLUMBING SHEETS SHALL BE REVISED AND COORDINATED WITH ALL OTHER TRADES PRIOR TO INSTALLATION.
 - REFER TO SHEET P-100 FOR LEGEND.
 - PLUMBING CONTRACTOR TO CONFIRM ALL FLOOR DRAINS LOCATIONS PRIOR TO INSTALLATION.
 - ALL PLUMBING MATERIALS SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN 25 AND A SMOKE DEVELOPED INDEX NOT GREATER THAN 50 WHEN TESTED WITH ASTM 384 OR UL 723. PVC VENT PIPING PLUMBING SHALL BE FIRE WRAPPED OR MEET PREVIOUS STATEMENT.
 - ON ALL PUBLIC LAVATORIES AND SINKS PROVIDE A S.S.E. 100 APPROVED MIXING VALVE TO SUPPLY A MAX 110 DEGREE HOT WATER IN ORDER TO ENSURE SCALDING WILL NOT OCCUR.
- KEYNOTES**
- NEW 3" VENT THROUGH ROOF.
 - 4" STORM AND STORM OVERFLOW LINES DOWN FROM ROOF. SEE SHEET P-202A FOR MORE INFORMATION.
 - 8" STORM AND OVERFLOW STORM PIPING DOWN FROM ROOF DRAINS ON ROOF. SEE SHEET P-202A FOR MORE DETAILS.
 - 8" STORM OVERFLOW PIPE TO TERMINATE WITH LAMBS TONGUE AS HIGH AS POSSIBLE. COORDINATE EXACT LOCATION AND ELEVATION WITH ARCHITECT.
 - EXISTING 12" STORM LINE CONTINUE TO RECEIVE FROM REST OF THE BUILDING TO REMAIN.
 - EXISTING 8" SANITARY LINE CONTINUE TO BUILDING MAIN TO REMAIN.
 - EXISTING 12" STORM LINE TO CONTINUE TO RECEIVE FROM REST OF THE BUILDING TO REMAIN.
 - EXISTING 12" STORM LINE TO CONTINUE TO RECEIVE FROM REST OF THE BUILDING TO REMAIN.
 - EXISTING 8" SANITARY LINE CONTINUE TO CITY MAIN TO REMAIN.
 - EXISTING 4" STORM LINE UP TO ROOF TO REMAIN.
 - EXISTING 2" SANITARY LINE CONTINUE TO FEED THE REST OF THE BUILDING TO REMAIN.
 - EXISTING 18" STORM LINE TO CONTINUE TO CITY MAIN. COORDINATE EXACT LOCATION WITH CIVIL.
 - 4" STORM AND OVER FLOW STORM TO TERMINATE LAMBS TONGUE ABOVE LOWER ROOF AND DRAIN TO ROOF DRAINS ON LOWER ROOF.

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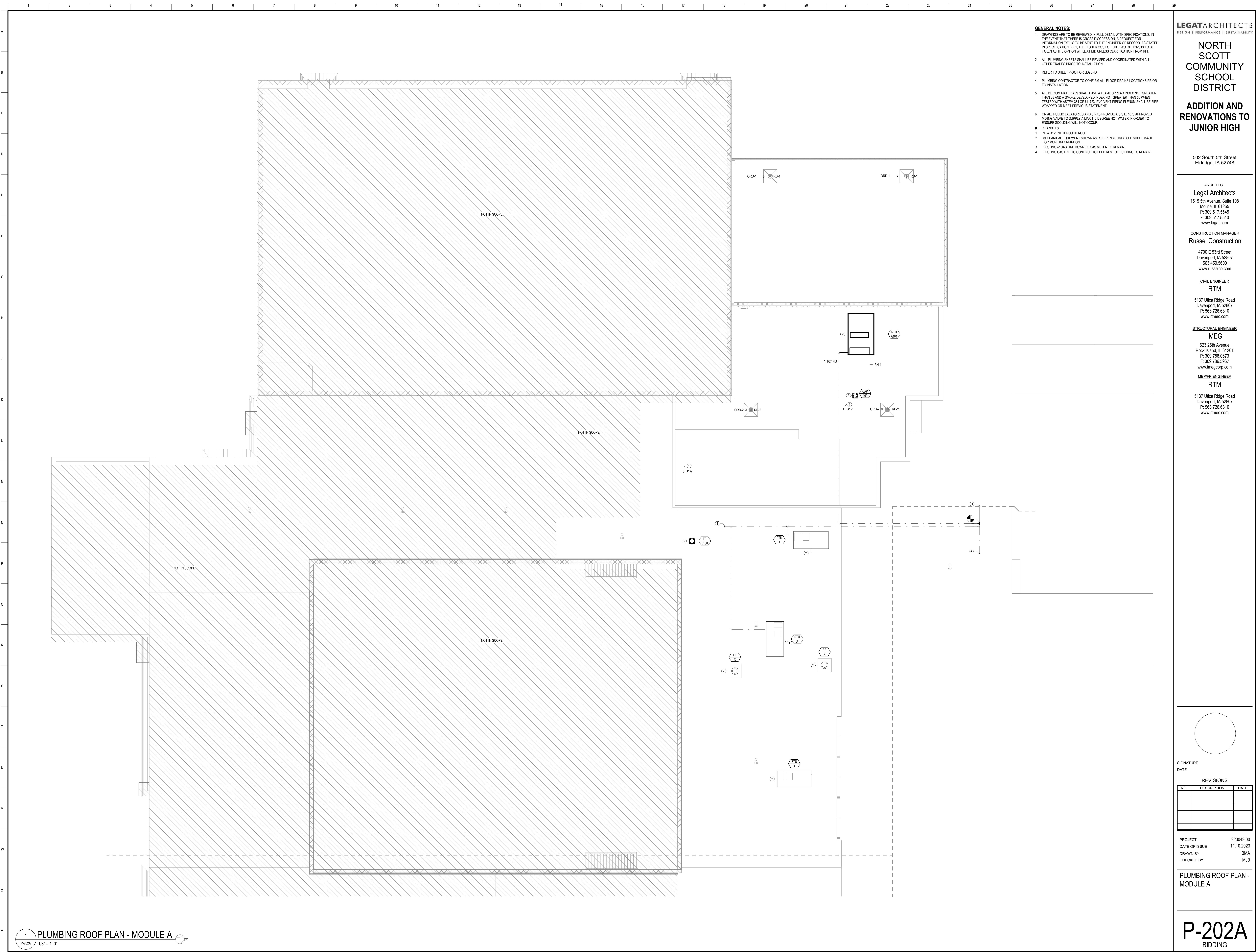
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NO.	DESCRIPTION	DATE

PROJECT: 223049.00
DATE OF ISSUE: 11.10.2023
DRAWN BY: BMA
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PLUMBING FIRST FLOOR SANITARY & VENT PLAN - MODULE A

P-201A
BIDDING



- GENERAL NOTES:**
- DRAWINGS ARE TO BE REVIEWED IN FULL DETAIL WITH SPECIFICATIONS. IN THE EVENT THAT THERE IS CROSS DISGRESSION, A REQUEST FOR INFORMATION (RFI) IS TO BE SENT TO THE ENGINEER OF RECORD AS STATED IN SPECIFICATION DIV. 1. THE HIGHER COST OF THE TWO OPTIONS IS TO BE TAKEN AS THE OPTION WILL AT BID UNLESS CLARIFICATION FROM RFI.
 - ALL PLUMBING SHEETS SHALL BE REVISED AND COORDINATED WITH ALL OTHER TRADES PRIOR TO INSTALLATION.
 - REFER TO SHEET P-100 FOR LEGEND.
 - PLUMBING CONTRACTOR TO CONFIRM ALL FLOOR DRAINS LOCATIONS PRIOR TO INSTALLATION.
 - ALL PLENUM MATERIALS SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN 25 AND A SMOKE DEVELOPED INDEX NOT GREATER THAN 50 WHEN TESTED WITH ASTM 384 OR UL 723. PVC VENT PIPING PLENUM SHALL BE FIRE WRAPPED OR MEET PREVIOUS STATEMENT.
 - ON ALL PUBLIC LAVATORIES AND SINKS PROVIDE A S.S.E. 100% APPROVED MIXING VALVE TO SUPPLY A MAX 110 DEGREE HOT WATER IN ORDER TO ENSURE SCOLDING WILL NOT OCCUR.
- KEYNOTES**
- NEW 3" VENT THROUGH ROOF
 - MECHANICAL EQUIPMENT SHOWN AS REFERENCE ONLY. SEE SHEET M-100 FOR MORE INFORMATION
 - EXISTING 4" GAS LINE DOWN TO GAS METER TO REMAIN
 - EXISTING GAS LINE TO CONTINUE TO FEED REST OF BUILDING TO REMAIN

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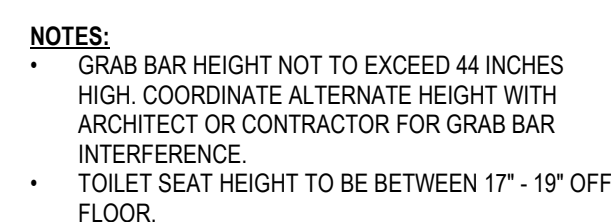
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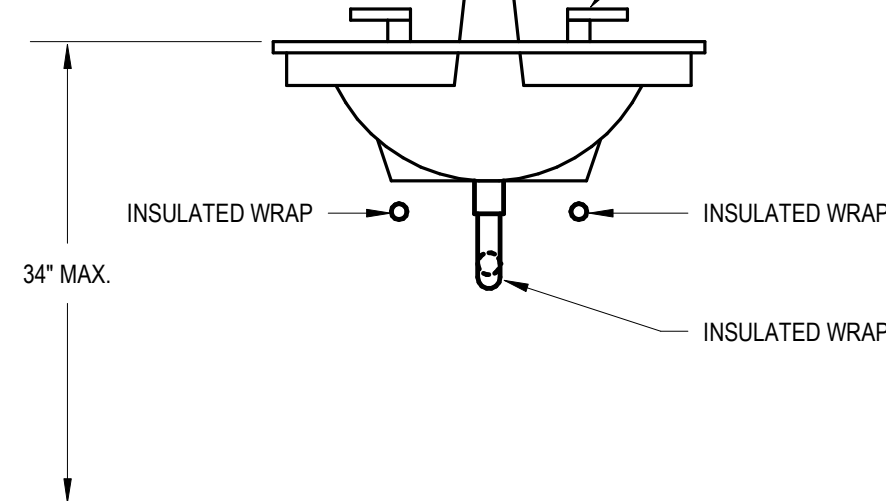
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PLUMBING ROOF PLAN - MODULE A

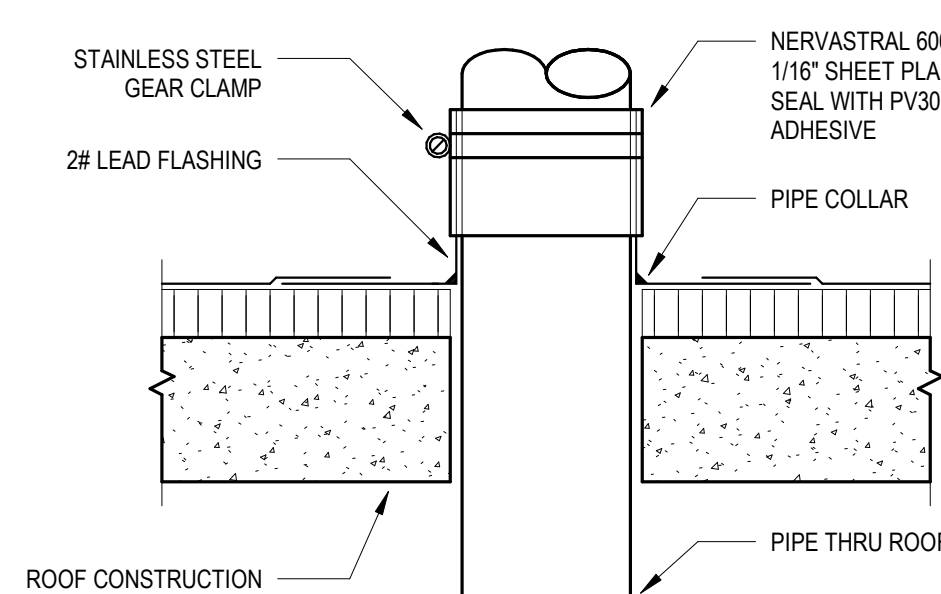
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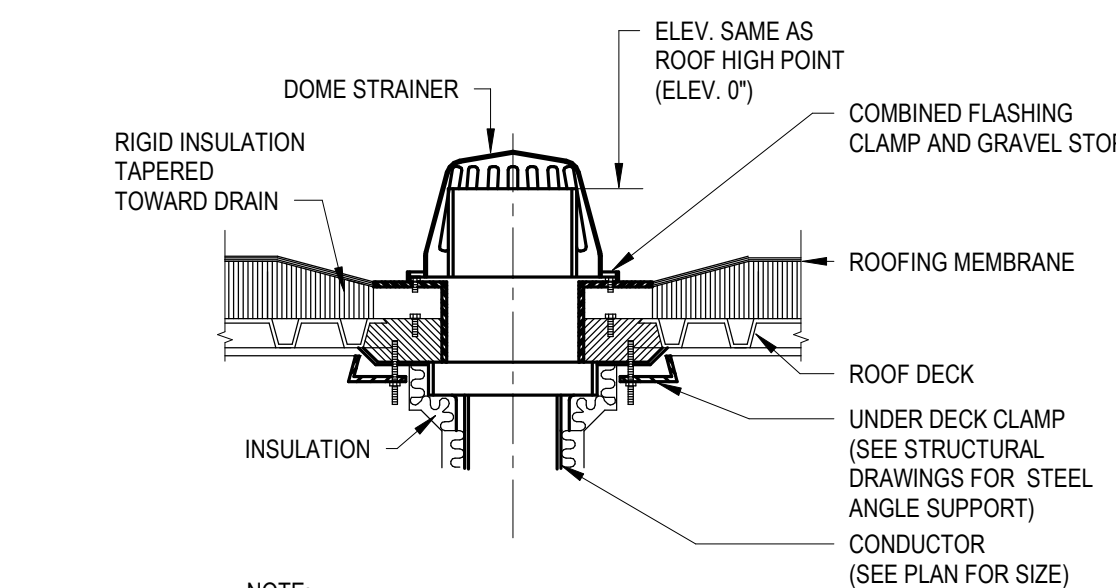
2 ADA COMPLYING WATER - CLOSET INSTALLATION
P-300 3/8" = 1'-0"



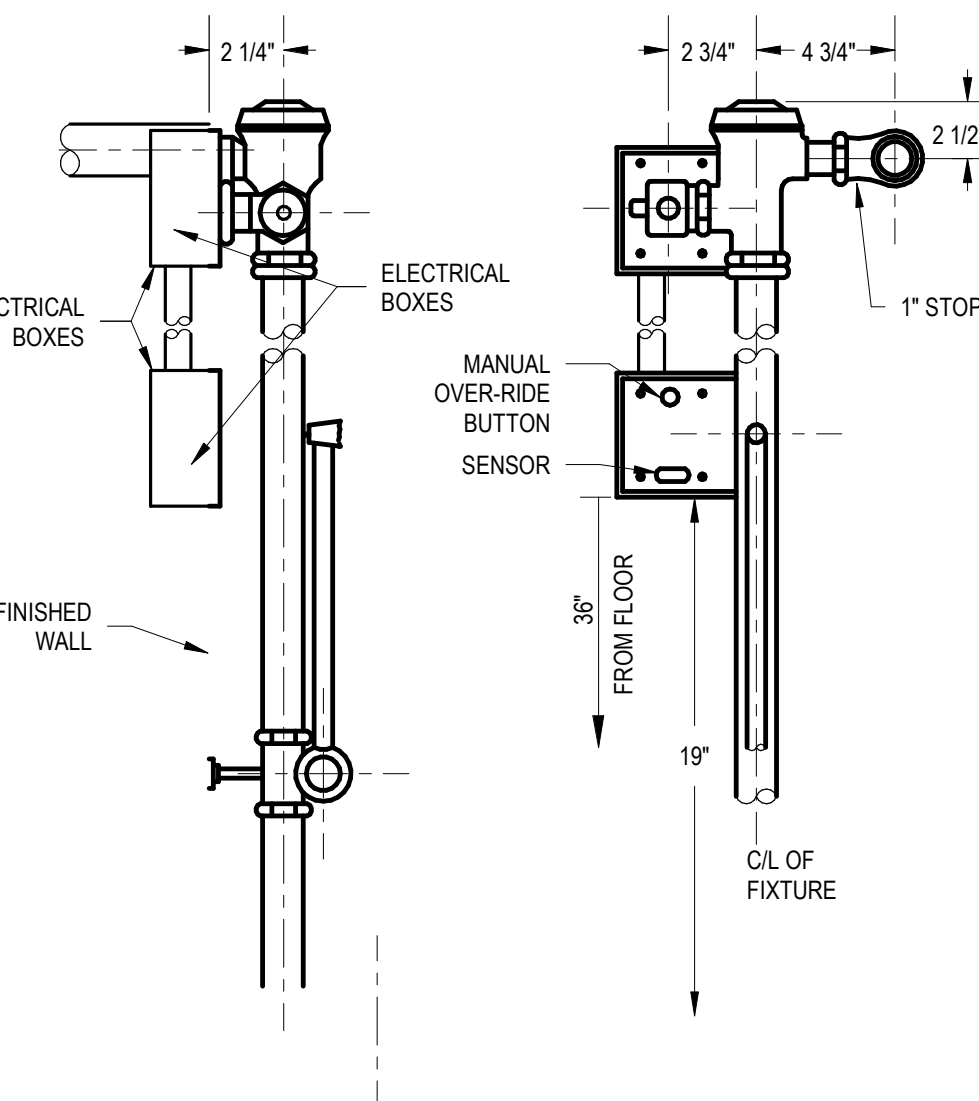
4 ADA COMPLYING LAVATORY INSTALLATION
P-300 NOT TO SCALE



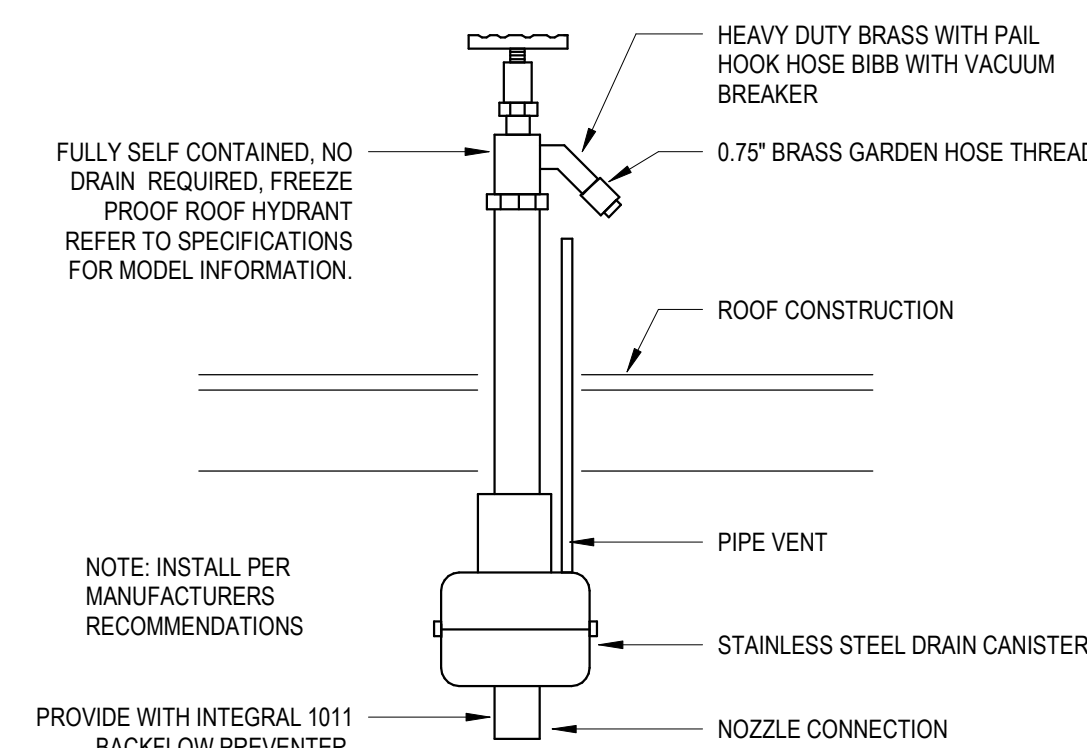
8 VENT THRU ROOF DETAIL
P-300 NTS



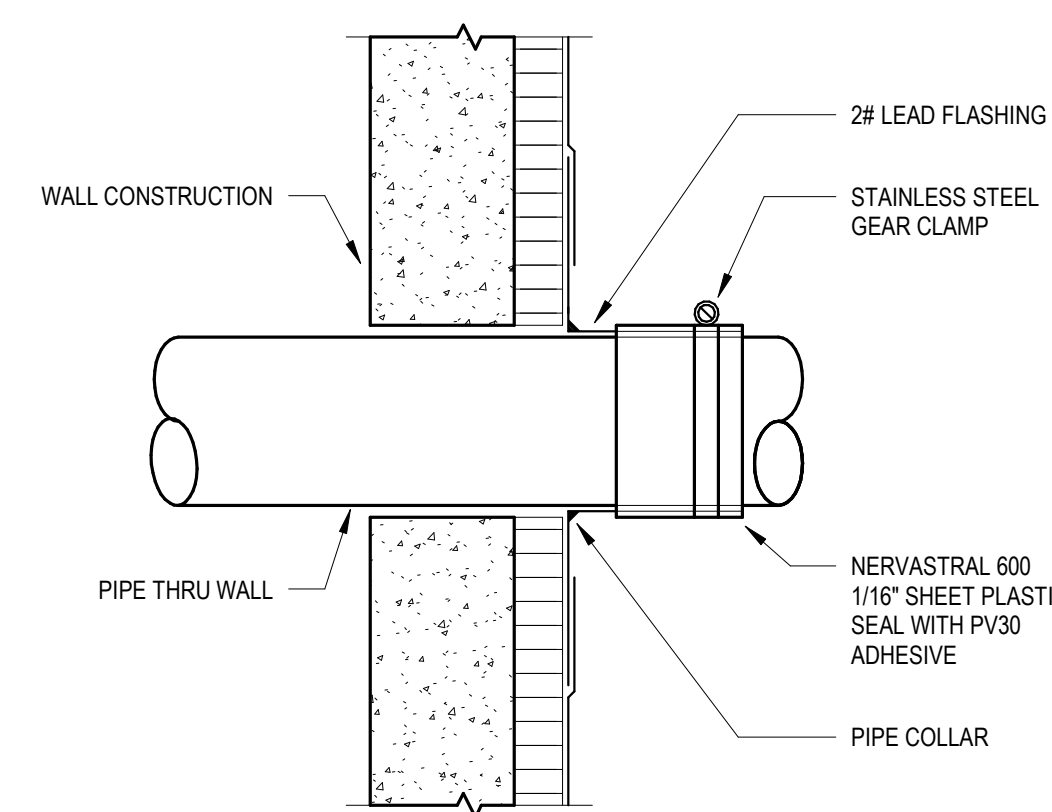
11 ROOF DRAIN - OVERFLOW
P-300 NOT TO SCALE



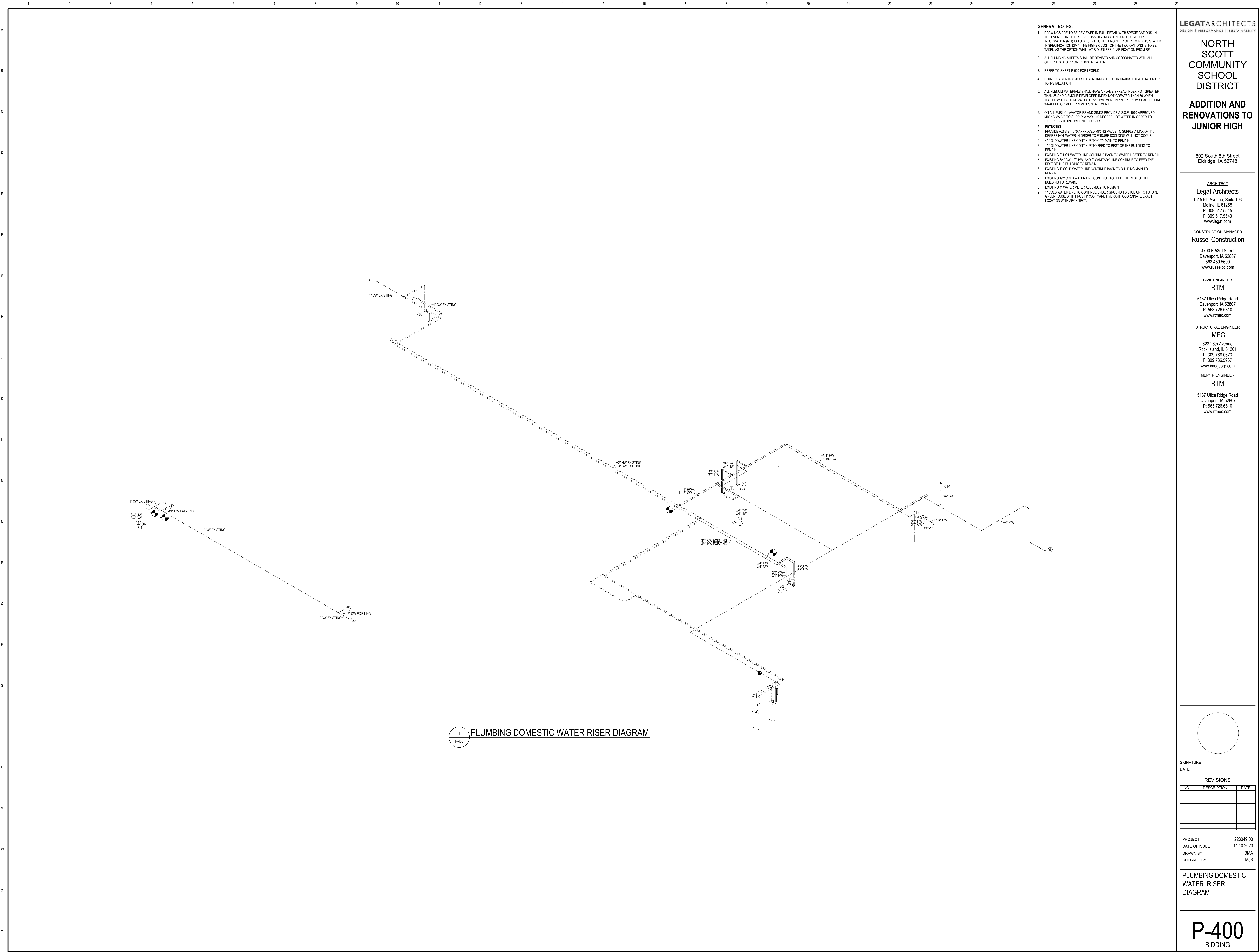
13 WATER CLOSET DETAIL - SENSOR OPERATED
P-300 NOT TO SCALE



6 ROOF HYDRANT DETAIL
P-300 NTS



9 VENT THRU WALL DETAIL
P-300 NTS



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 - ALL PLUMBING SHEETS SHALL BE REVISED AND COORDINATED WITH ALL OTHER TRADES PRIOR TO INSTALLATION.
 - REFER TO SHEET P-400 FOR LEGEND.
 - PLUMBING CONTRACTOR TO CONFIRM ALL FLOOR DRAINS LOCATIONS PRIOR TO INSTALLATION.
 - ALL PLENUM MATERIALS SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN 25 AND A SMOKE DEVELOPED INDEX NOT GREATER THAN 50 WHEN TESTED WITH ASTM 384 OR UL 723. PVC VENT PIPING PLENUM SHALL BE FIRE WRAPPED OR MEET PREVIOUS STATEMENT.
 - ON ALL PUBLIC LAVATORIES AND SINKS PROVIDE A S.S.E. 1070 APPROVED MIXING VALVE TO SUPPLY A MAX 110 DEGREE HOT WATER IN ORDER TO ENSURE SCOLDING WILL NOT OCCUR.
- KEYNOTES**
- PROVIDE A S.S.E. 1070 APPROVED MIXING VALVE TO SUPPLY A MAX OF 110 DEGREE HOT WATER IN ORDER TO ENSURE SCOLDING WILL NOT OCCUR.
 - 4" COLD WATER LINE CONTINUE TO CITY MAIN TO REMAIN.
 - 1" COLD WATER LINE CONTINUE TO FEED TO REST OF THE BUILDING TO REMAIN.
 - EXISTING 2" HOT WATER LINE CONTINUE BACK TO WATER HEATER TO REMAIN.
 - EXISTING 3/4" CW, 1/2" HW, AND 2" SANITARY LINE CONTINUE TO FEED THE REST OF THE BUILDING TO REMAIN.
 - EXISTING 1" COLD WATER LINE CONTINUE BACK TO BUILDING MAIN TO REMAIN.
 - EXISTING 1/2" COLD WATER LINE CONTINUE TO FEED THE REST OF THE BUILDING TO REMAIN.
 - EXISTING 4" WATER METER ASSEMBLY TO REMAIN.
 - 1" COLD WATER LINE TO CONTINUE UNDER GROUND TO STUB UP TO FUTURE GREENHOUSE WITH FROST PROOF YARD HYDRANT. COORDINATE EXACT LOCATION WITH ARCHITECT.

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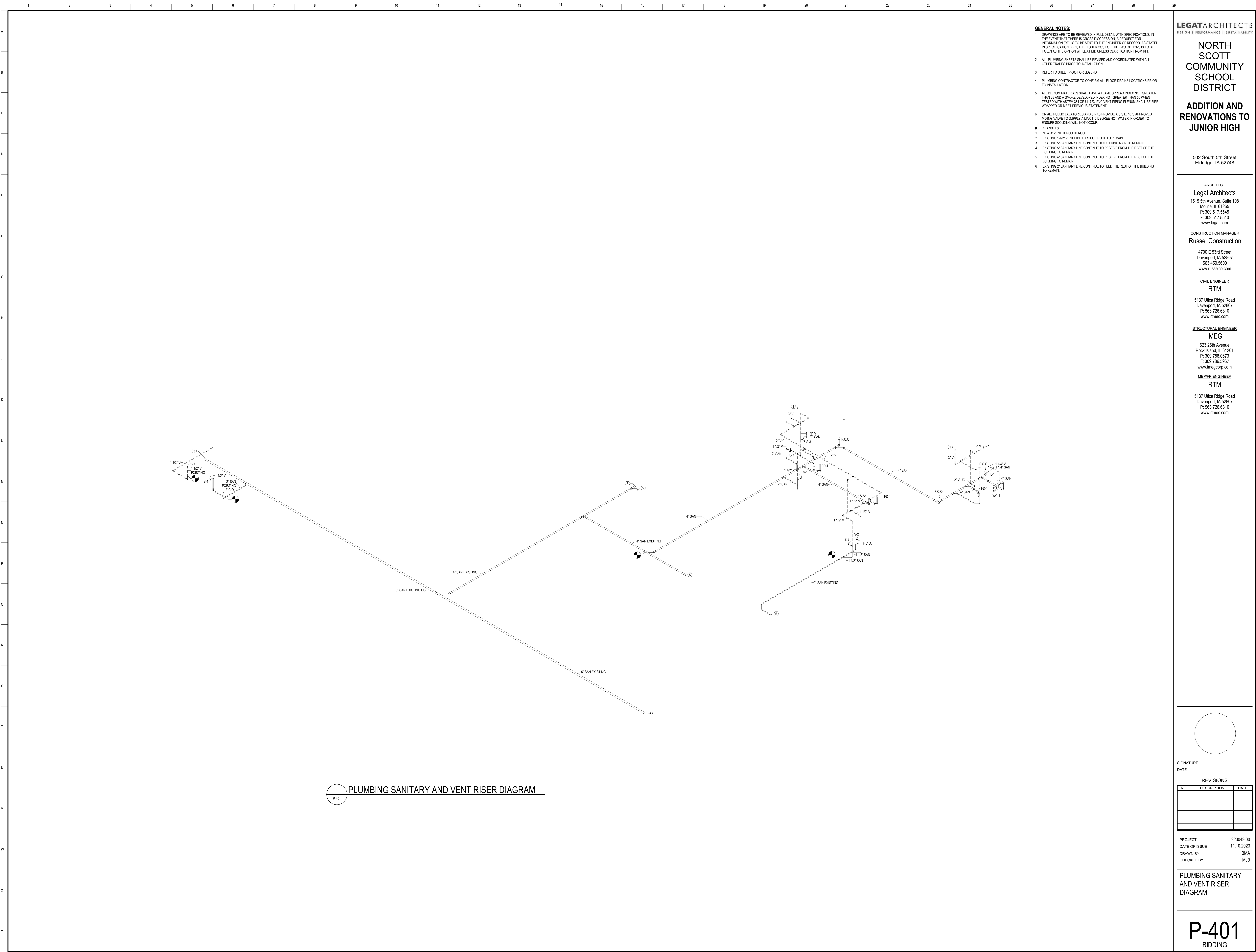
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PLUMBING DOMESTIC WATER RISER DIAGRAM

P-400
BIDDING



- GENERAL NOTES:**
- DRAWINGS ARE TO BE REVIEWED IN FULL DETAIL WITH SPECIFICATIONS. IN THE EVENT THAT THERE IS CROSS DISCRESSION, A REQUEST FOR INFORMATION (RFI) IS TO BE SENT TO THE ENGINEER OF RECORD. AS STATED IN SPECIFICATION DIV. 1, THE HIGHER COST OF THE TWO OPTIONS IS TO BE TAKEN AS THE OPTION WILL AT BID UNLESS CLARIFICATION FROM RFI.
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 - REFER TO SHEET P-400 FOR LEGEND.
 - PLUMBING CONTRACTOR TO CONFIRM ALL FLOOR DRAINS LOCATIONS PRIOR TO INSTALLATION.
 - ALL PLENUM MATERIALS SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN 25 AND A SMOKE DEVELOPED INDEX NOT GREATER THAN 50 WHEN TESTED WITH ASTM 384 OR UL 723. PVC VENT PIPING PLENUM SHALL BE FIRE WRAPPED OR MEET PREVIOUS STATEMENT.
 - ON ALL PUBLIC LAVATORIES AND SINKS PROVIDE A S.S.E. 1070 APPROVED MIXING VALVE TO SUPPLY A MAX 110 DEGREE HOT WATER IN ORDER TO ENSURE SCALDING WILL NOT OCCUR.
- KEYNOTES**
- NEW 3" VENT THROUGH ROOF
 - EXISTING 1 1/2" VENT PIPE THROUGH ROOF TO REMAIN.
 - EXISTING 2" SANITARY LINE CONTINUE TO BUILDING MAIN TO REMAIN.
 - EXISTING 2" SANITARY LINE CONTINUE TO RECEIVE FROM THE REST OF THE BUILDING TO REMAIN.
 - EXISTING 4" SANITARY LINE CONTINUE TO RECEIVE FROM THE REST OF THE BUILDING TO REMAIN.
 - EXISTING 2" SANITARY LINE CONTINUE TO FEED THE REST OF THE BUILDING TO REMAIN.

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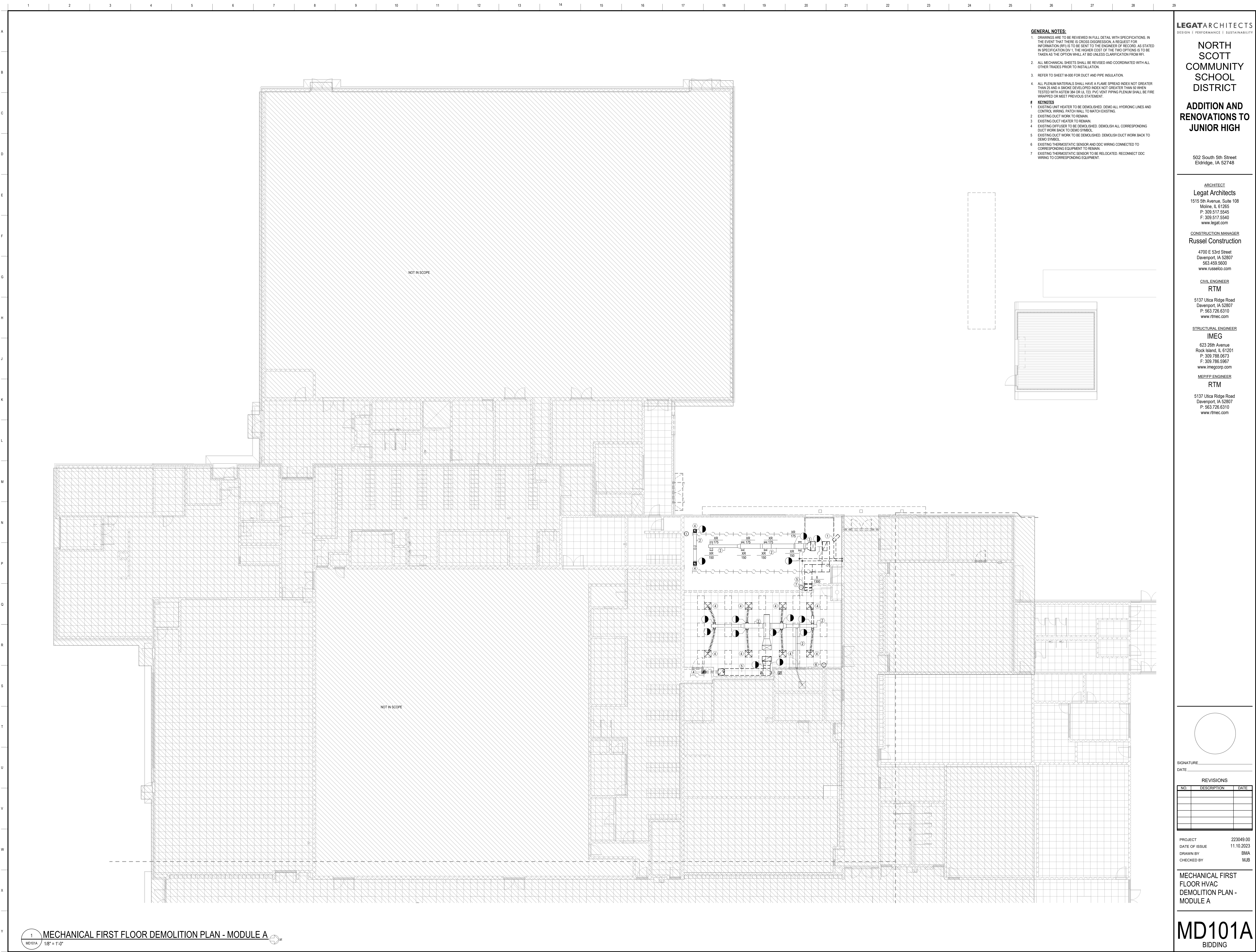
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PLUMBING SANITARY
AND VENT RISER
DIAGRAM

P-401
BIDDING



- GENERAL NOTES:**
- DRAWINGS ARE TO BE REVIEWED IN FULL DETAIL WITH SPECIFICATIONS. IN THE EVENT THAT THERE IS DISCREPANCY, A REQUEST FOR INFORMATION (RFI) IS TO BE SENT TO THE ENGINEER OF RECORD, AS STATED IN SPECIFICATION DIV 1. THE HIGHER COST OF THE TWO OPTIONS IS TO BE TAKEN AS THE OPTION WILL AT BID UNLESS CLARIFICATION FROM PES.
 - ALL MECHANICAL SHEETS SHALL BE REVISED AND COORDINATED WITH ALL OTHER TRADES PRIOR TO INSTALLATION.
 - REFER TO SHEET M-000 FOR DUCT AND PIPE INSULATION.
 - ALL PLENUM MATERIALS SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN 25 AND A SMOKE DEVELOPED INDEX NOT GREATER THAN 50 WHEN TESTED WITH ASTM E84 OR UL 23. PVC VENT PIPING PLENUM SHALL BE FIRE WRAPPED OR MEET PREVIOUS STATEMENT.
- KEYNOTES**
- EXISTING UNIT HEATER TO BE DEMOLISHED. DEMO ALL HYDRONIC LINES AND CONTROL WIRING. PATCH WALL TO MATCH EXISTING.
 - EXISTING DUCT WORK TO REMAIN.
 - EXISTING DUCT HEATER TO REMAIN.
 - EXISTING DIFFUSER TO BE DEMOLISHED. DEMOLISH ALL CORRESPONDING DUCT WORK BACK TO DEMO SYMBOL.
 - EXISTING DUCT WORK TO BE DEMOLISHED. DEMOLISH DUCT WORK BACK TO DEMO SYMBOL.
 - EXISTING THERMOSTATIC SENSOR AND DDC WIRING CONNECTED TO CORRESPONDING EQUIPMENT TO REMAIN.
 - EXISTING THERMOSTATIC SENSOR TO BE RELOCATED. REDCONNECT DDC WIRING TO CORRESPONDING EQUIPMENT.

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MECHANICAL FIRST FLOOR HVAC DEMOLITION PLAN - MODULE A



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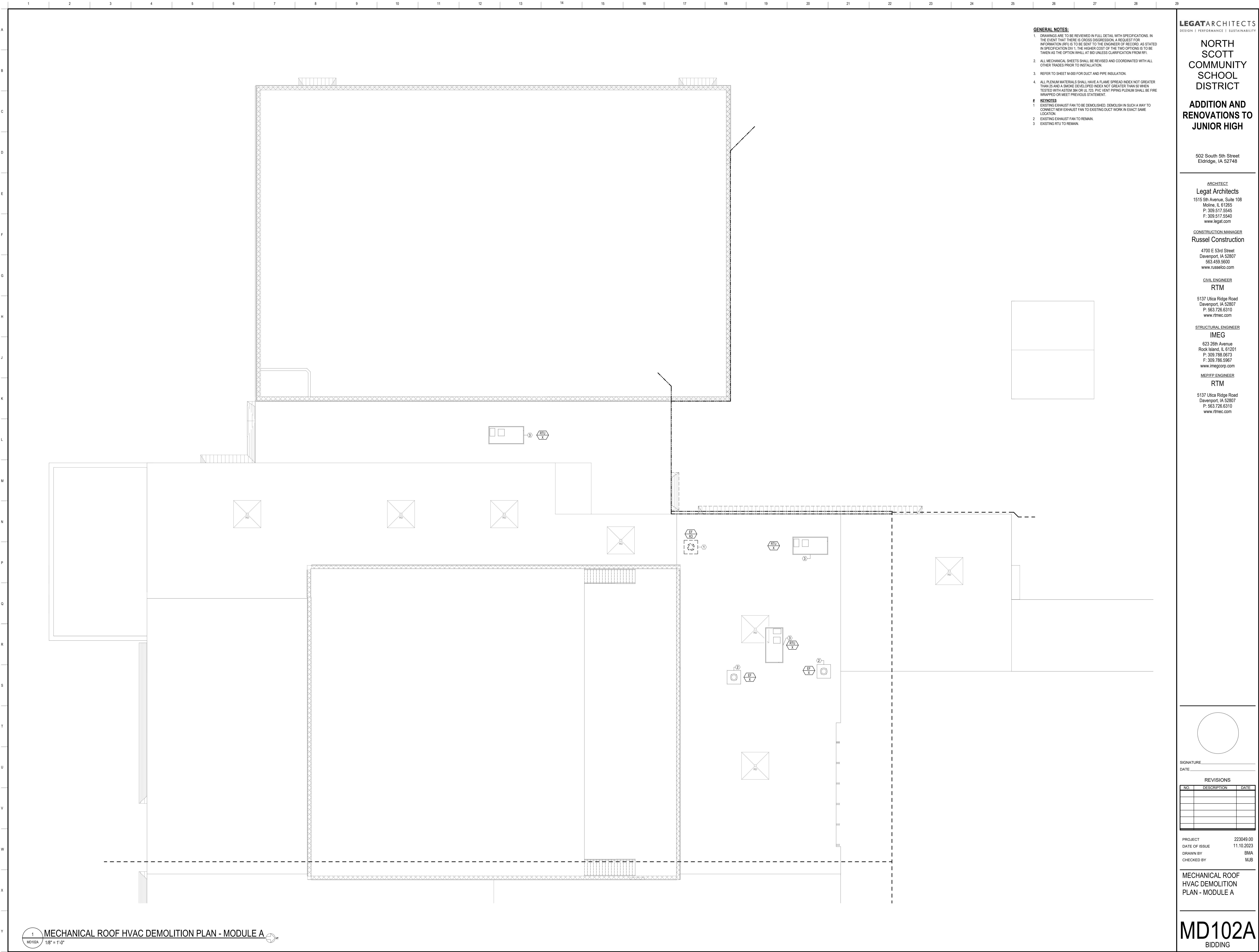
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- ALL MECHANICAL SHEETS SHALL BE REVISED AND COORDINATED WITH ALL OTHER TRADES PRIOR TO INSTALLATION.
- REFER TO SHEET M-000 FOR DUCT AND PIPE INSULATION.
- ALL PLENUM MATERIALS SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN 25 AND A SMOKE DEVELOPED INDEX NOT GREATER THAN 50 WHEN TESTED WITH ASTM 354 OR UL 23. PVC VENT PIPING PLENUM SHALL BE FIRE WRAPPED OR MEET PREVIOUS STATEMENT.

KEYNOTES

- EXISTING EXHAUST FAN TO BE DEMOLISHED. DEMOLISH IN SUCH A WAY TO CONNECT NEW EXHAUST FAN TO EXISTING DUCT WORK IN EXACT SAME LOCATION.
- EXISTING EXHAUST FAN TO REMAIN.
- EXISTING RTU TO REMAIN.

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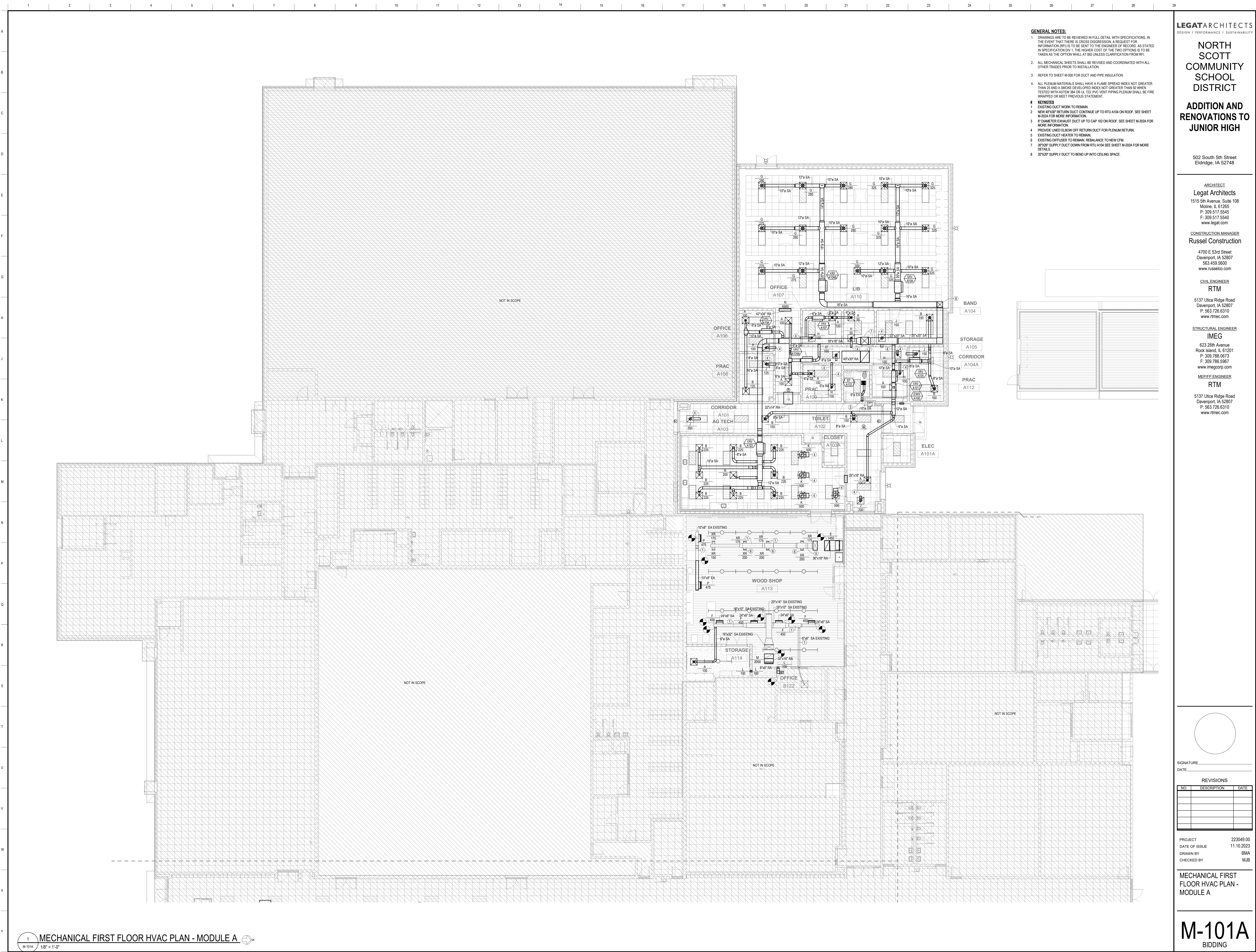
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**MECHANICAL ROOF
HVAC DEMOLITION
PLAN - MODULE A**

MD102A
BIDDING



- GENERAL NOTES:**
- DRAWINGS ARE TO BE REVIEWED IN FULL DETAIL WITH SPECIFICATIONS. IN THE EVENT THAT THERE IS CROSS DISGRESSION, A REQUEST FOR INFORMATION (RFI) IS TO BE SENT TO THE ENGINEER OF RECORD, AS STATED IN SPECIFICATION DIV. 1. THE HIGHER COST OF THE TWO OPTIONS IS TO BE TAKEN AS THE OPTION WILL AT BID UNLESS CLARIFICATION FROM PES.
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 - REFER TO SHEET M-000 FOR DUCT AND PIPE INSULATION.
 - ALL PLENUM MATERIALS SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN 25 AND A SMOKE DEVELOPED INDEX NOT GREATER THAN 50 WHEN TESTED WITH ASTM E84 OR UL 23. PVC VENT PIPING PLENUM SHALL BE FIRE WRAPPED OR MEET PREVIOUS STATEMENT.
- KEYNOTES**
- EXISTING DUCT WORK TO REMAIN.
 - NEW 47"x30" RETURN DUCT CONTINUE UP TO RTU A104 ON ROOF. SEE SHEET M-202A FOR MORE INFORMATION.
 - 8" DIAMETER EXHAUST DUCT UP TO CAP 102 ON ROOF. SEE SHEET M-202A FOR MORE INFORMATION.
 - PROVIDE LINED ELBOW OFF RETURN DUCT FOR PLENUM RETURN.
 - EXISTING DUCT HEATER TO REMAIN.
 - EXISTING DIFFUSER TO REMAIN. REBALANCE TO NEW CFM.
 - 20"x30" SUPPLY DUCT DOWN FROM RTU A104 SEE SHEET M-202A FOR MORE DETAILS.
 - 20"x30" SUPPLY DUCT TO BEND UP INTO CEILING SPACE.

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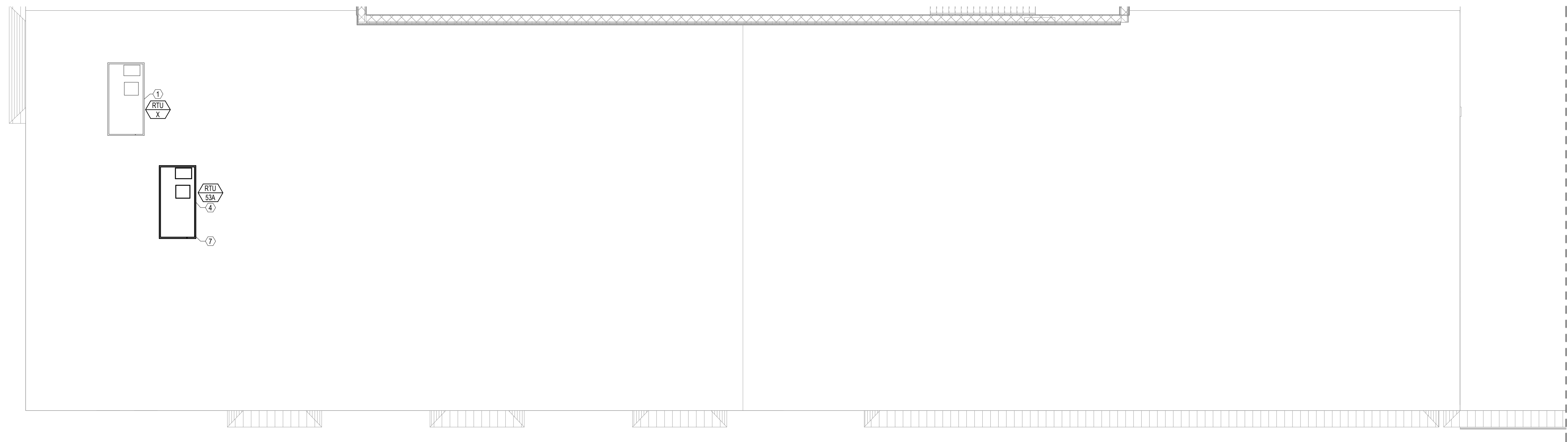
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MECHANICAL FIRST FLOOR HVAC PLAN - MODULE A

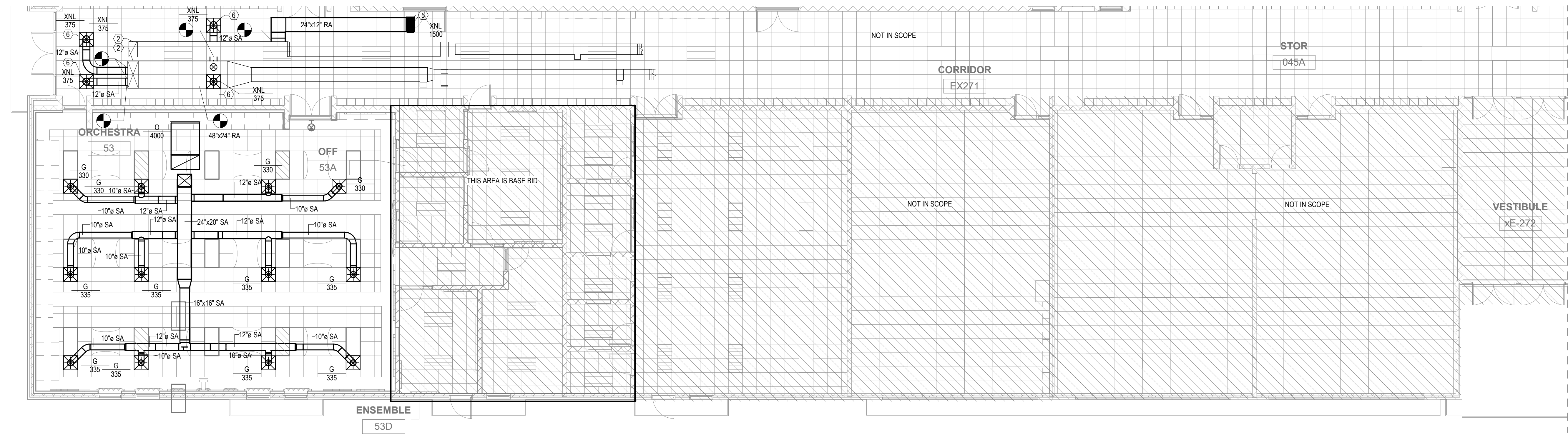
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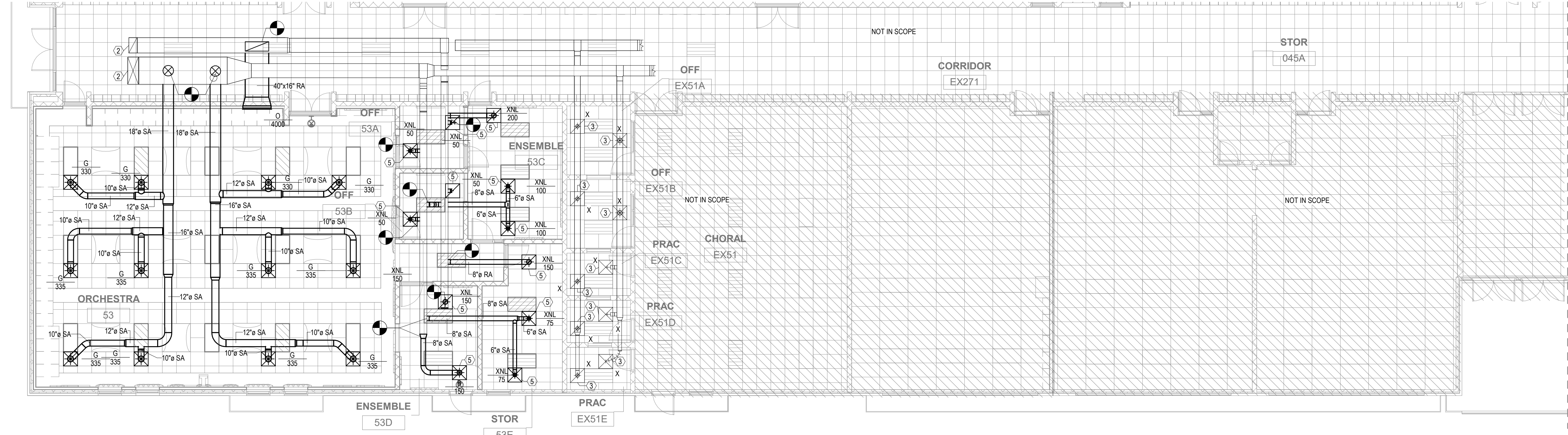
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3 MECHANICAL ROOF HVAC PLAN - MODULE B
M-101B 1/8" = 1'-0"



2 MECHANICAL FIRST FLOOR HVAC PLAN - MODULE B - ALTERNATIVE BID
M-101B 1/8" = 1'-0"



1 MECHANICAL FIRST FLOOR HVAC PLAN - MODULE B
M-101B 1/8" = 1'-0"

GENERAL NOTES:

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- REFER TO SHEET M-000 FOR DUCT AND PIPE INSULATION.
- ALL PLENUM MATERIALS SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN 25 AND A SMOKE DEVELOPED INDEX NOT GREATER THAN 50 WHEN TESTED WITH ASTM 344 OR UL 23. PVC VENT PIPING PLENUM SHALL BE FIRE WRAPPED OR MEET PREVIOUS STATEMENT.

KEYNOTES

- EXISTING RTU TO REMAIN.
- EXISTING 48"x18" SUPPLY DUCT DOWN AND EXISTING 26"x14" RETURN DUCT UP TO RTU X ON ROOF. EXISTING DUCTS AND MECHANICAL EQUIPMENT ON ROOF TO REMAIN.
- EXISTING DIFFUSER TO REMAIN. RECONNECT CORRESPONDING DUCTWORK TO MAINS.
- MECHANICAL EQUIPMENT IS IN ALTERNATIVE BID. USE IF ALTERNATIVE BID IS APPROVED.
- EXISTING DIFFUSER TO BE RELOCATED INTO NEW CEILING GRID AND BE RECONNECTED INTO EXISTING DUCTWORK AND REBALANCED TO NEW CFM.
- ALTERNATIVE BID. EXISTING DIFFUSER TO BE RELOCATED IN THIS LOCATION. RECONNECT TO EXISTING DUCT MAINS IN CORRIDOR AND REBALANCE TO NEW CFM.
- SEE CONTROLS DRAWINGS ON SHEET M-305 FOR MORE INFORMATION.

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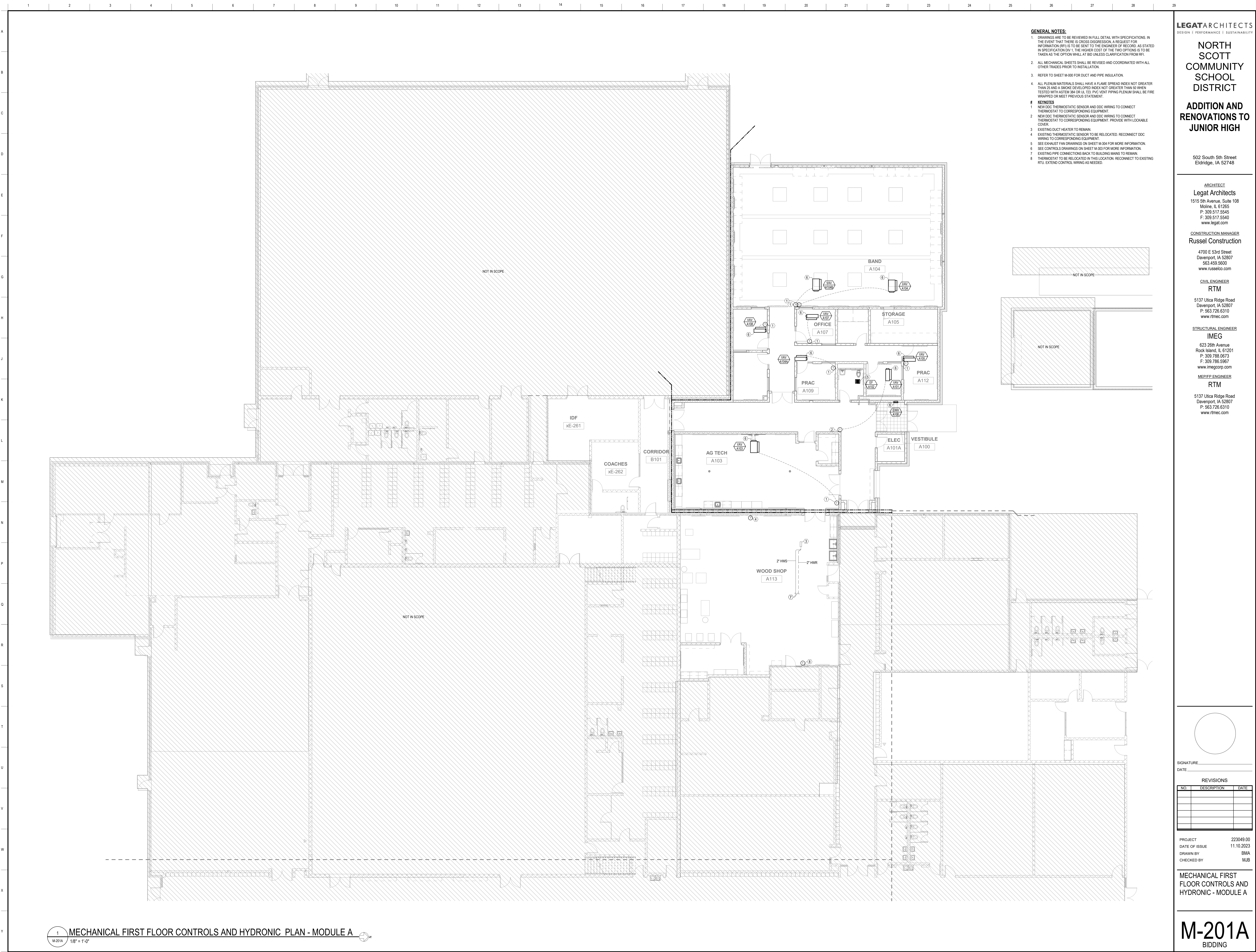
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NO.	DESCRIPTION	DATE

PROJECT 223049.00
DATE OF ISSUE 11.10.2023
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MECHANICAL FIRST FLOOR HVAC PLAN - MODULE B

M-101B
BIDDING



- GENERAL NOTES:**
- DRAWINGS ARE TO BE REVIEWED IN FULL DETAIL WITH SPECIFICATIONS. IN THE EVENT THAT THERE IS DISCREPANCY, A REQUEST FOR INFORMATION (RFI) IS TO BE SENT TO THE ENGINEER OF RECORD. AS STATED IN SPECIFICATION DIV. 1, THE HIGHER COST OF THE TWO OPTIONS IS TO BE TAKEN AS THE OPTION WILL AT BID UNLESS CLARIFICATION FROM RFI.
 - ALL MECHANICAL SHEETS SHALL BE REVISED AND COORDINATED WITH ALL OTHER TRADES PRIOR TO INSTALLATION.
 - REFER TO SHEET M-000 FOR DUCT AND PIPE INSULATION.
 - ALL PLENUM MATERIALS SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN 25 AND A SMOKE DEVELOPED INDEX NOT GREATER THAN 50 WHEN TESTED WITH ASTM 844 OR UL 22. PVC VENT PIPING PLENUM SHALL BE FIRE WRAPPED OR MEET PREVIOUS STATEMENT.
- KEYNOTES**
- NEW DDC THERMOSTATIC SENSOR AND DDC WIRING TO CONNECT THERMOSTAT TO CORRESPONDING EQUIPMENT.
 - NEW DDC THERMOSTATIC SENSOR AND DDC WIRING TO CONNECT THERMOSTAT TO CORRESPONDING EQUIPMENT. PROVIDE WITH LOCKABLE COVER.
 - EXISTING DUCT HEATER TO REMAIN.
 - EXISTING THERMOSTATIC SENSOR TO BE RELOCATED. RECONNECT DDC WIRING TO CORRESPONDING EQUIPMENT.
 - SEE EXHAUST FAN DRAWINGS ON SHEET M-304 FOR MORE INFORMATION.
 - SEE CONTROLS DRAWINGS ON SHEET M-303 FOR MORE INFORMATION.
 - EXISTING PIPE CONNECTIONS BACK TO BUILDING MAINS TO REMAIN.
 - THERMOSTAT TO BE RELOCATED IN THIS LOCATION. RECONNECT TO EXISTING RTU. EXTEND CONTROL WIRING AS NEEDED.

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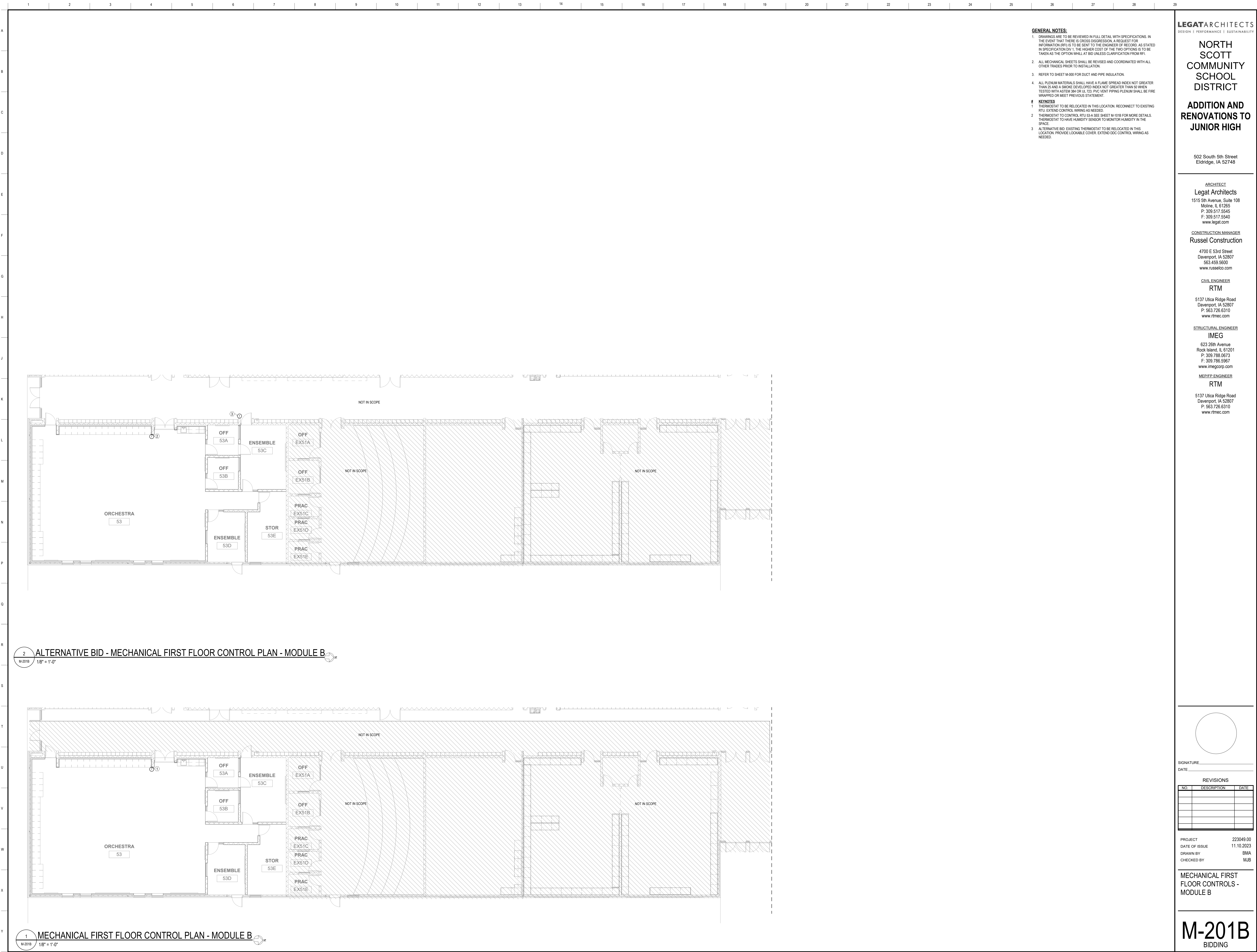
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MECHANICAL FIRST FLOOR CONTROLS AND HYDRONIC - MODULE A

M-201A
BIDDING



GENERAL NOTES:

- DRAWINGS ARE TO BE REVIEWED IN FULL DETAIL WITH SPECIFICATIONS. IN THE EVENT THAT THERE IS CROSS DISGRESSION, A REQUEST FOR INFORMATION (RFI) IS TO BE SENT TO THE ENGINEER OF RECORD, AS STATED IN SPECIFICATION DIV. 1. THE HIGHER COST OF THE TWO OPTIONS IS TO BE TAKEN AS THE OPTION WILL AT BID UNLESS CLARIFICATION FROM PES.
- ALL MECHANICAL SHEETS SHALL BE REVISED AND COORDINATED WITH ALL OTHER TRADES PRIOR TO INSTALLATION.
- REFER TO SHEET M-000 FOR DUCT AND PIPE INSULATION.
- ALL PLENUM MATERIALS SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN 25 AND A SMOKE DEVELOPED INDEX NOT GREATER THAN 50 WHEN TESTED WITH ASTM 384 OR UL 103. PVC VENT PIPING PLENUM SHALL BE FIRE WRAPPED OR MEET PREVIOUS STATEMENT.

KEYNOTES

- THERMOSTAT TO BE RELOCATED IN THIS LOCATION. RECONNECT TO EXISTING RTU. EXTEND CONTROL WIRING AS NEEDED.
- THERMOSTAT TO CONTROL RTU 53 A SEE SHEET M-101B FOR MORE DETAILS. THERMOSTAT TO HAVE HUMIDITY SENSORS TO MONITOR HUMIDITY IN THE SPACE.
- ALTERNATIVE BID: EXISTING THERMOSTAT TO BE RELOCATED IN THIS LOCATION. PROVIDE LOCKABLE COVER. EXTEND DDC CONTROL WIRING AS NEEDED.

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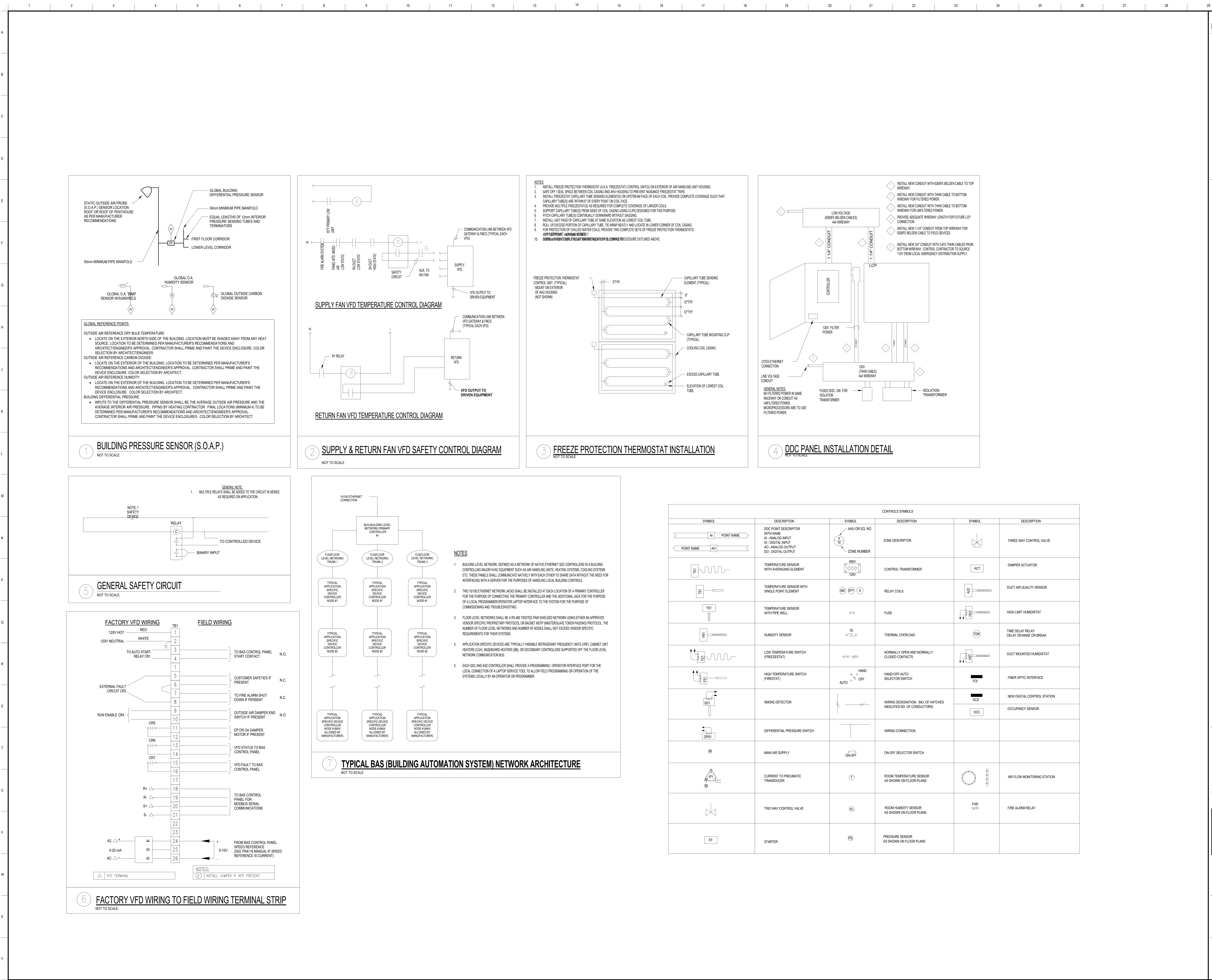
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MECHANICAL ROOF
HVAC PLAN - MODULE A

M-202A
BIDDING



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CONTROLS SYMBOLS					
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	DDC POINT DESCRIPTOR WITH NAME AI - ANALOG INPUT DI - DIGITAL INPUT AO - ANALOG OUTPUT DO - DIGITAL OUTPUT		ZONE DESCRIPTOR		THREE WAY CONTROL VALVE
	TEMPERATURE SENSOR WITH AVERAGING ELEMENT		CONTROL TRANSFORMER		DAMPER ACTUATOR
	TEMPERATURE SENSOR WITH SINGLE POINT ELEMENT		RELAY COILS		DUCT AIR QUALITY SENSOR
	TEMPERATURE SENSOR WITH PIPE WELL		FUSE		HIGH LIMIT HUMIDISTAT
	HUMIDITY SENSOR		THERMAL OVERLOAD		TIME DELAY RELAY DELAY ON MAKE OR BREAK
	LOW TEMPERATURE SWITCH (FREEZE/STAT)		NORMALLY OPEN AND NORMALLY CLOSED CONTACTS		DUCT MOUNTED HUMIDISTAT
	HIGH TEMPERATURE SWITCH (FREE/STAT)		HAND-OFF-AUTO SELECTOR SWITCH		FIBER OPTIC INTERFACE
	SMOKE DETECTOR		WIRING DESIGNATION (NO. OF HATCHES INDICATES NO. OF CONDUCTORS)		NEW DIGITAL CONTROL STATION
	DIFFERENTIAL PRESSURE SWITCH		WIRING CONNECTION		OCCUPANCY SENSOR
	MAIN AIR SUPPLY		ON-OFF SELECTOR SWITCH		
	CURRENT TO PNEUMATIC TRANSDUCER		ROOM TEMPERATURE SENSOR AS SHOWN ON FLOOR PLANS		AIR FLOW MONITORING STATION
	TWO WAY CONTROL VALVE		ROOM HUMIDITY SENSOR AS SHOWN ON FLOOR PLANS		FIRE ALARM RELAY
	STARTER		PRESSURE SENSOR AS SHOWN ON FLOOR PLANS		

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MECHANICAL CONTROLS LEGEND

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THE REHEAT SHALL BE ENABLED WHEN THE SPACE SHALL OPERATE AT ITS MINIMUM HEATING AIRFLOW.

Supply T₁ REHEAT MODE
The SUPPLY AIR TEMPERATURE SENSOR SHALL M.C. SCHEDULE.

VENTILATION CONTROL (FIXED):
WHEN THE UNIT IS UNOCCUPIED MODE, THE VENT. DESIGN OUTDOOR AIRFLOW (SEE TO SCHEDULE).

SPACE SENSOR FAILURE:
IF THERE IS A FAULT WITH THE OPERATION OF THE MINIMUM AIR FLOW IF THE VAV IS IN THE OCCUPIED.

PRIMARY AIR

Primary Air VP

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VAV BOX CONTROL DIAGRAM

[illegible]

A. General: A unit mounted thermostat will cycle the staged electric heating to maintain an adjustable setpoint.

ALTERNATIVE BID IS FOR CONTROLS CONTRACTOR TO BE HIRED TO TIE INTO DISTRICT JOHNSON CONTROLS METESYS SYSTEM.

```

graph TD
    A[Setpt Adjust] --> B{AJ}
    B --> C{AJ}
    C --> D[TS1]
  
```

TYPICAL FOR CABINET HEATER

MISC.

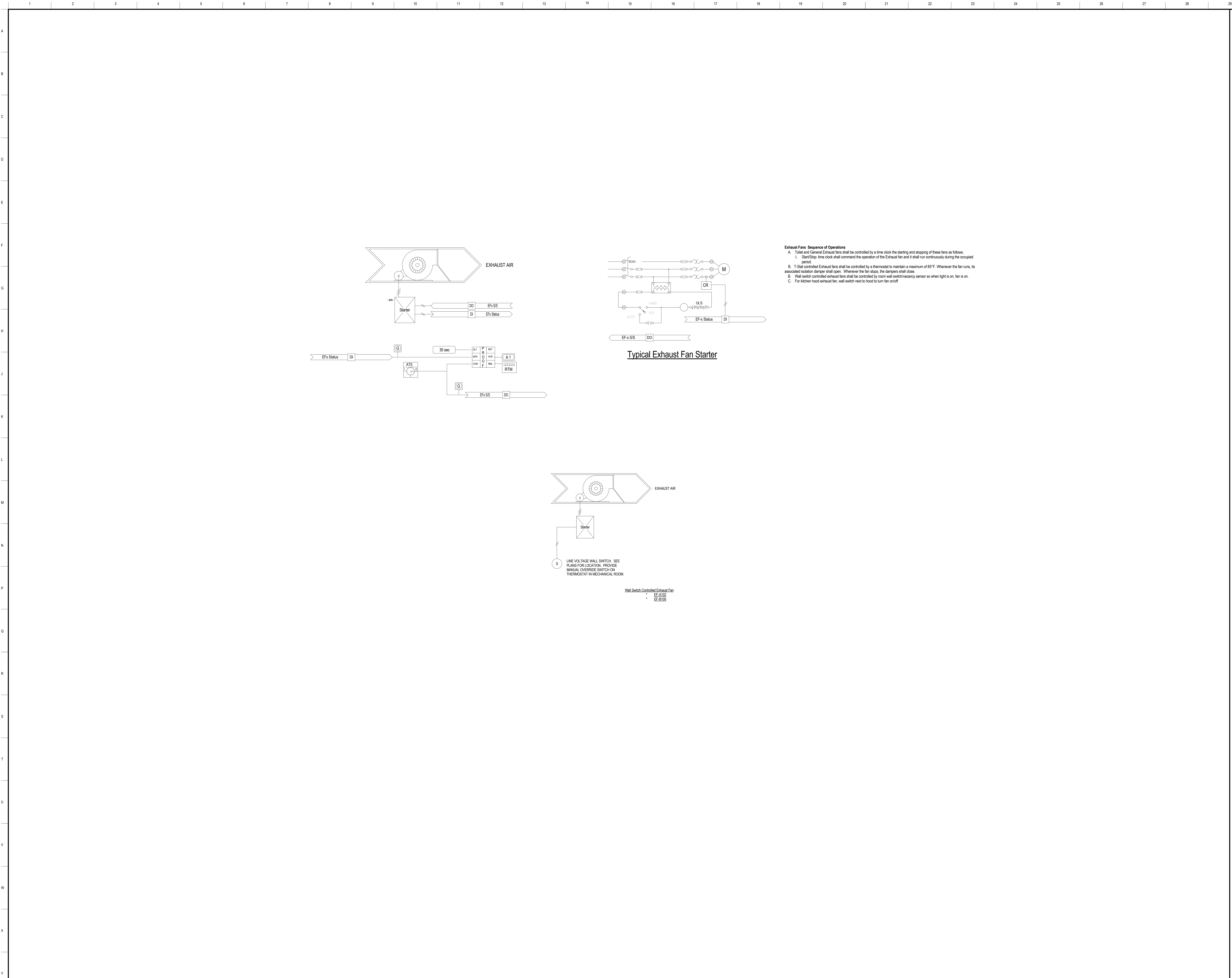
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MECHANICAL VAV AND ELECTRIC HEATER CONTROL DIAGRAM

M-303
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MECHANICAL EXHAUST
FAN CONTROL
DIAGRAM

M-304

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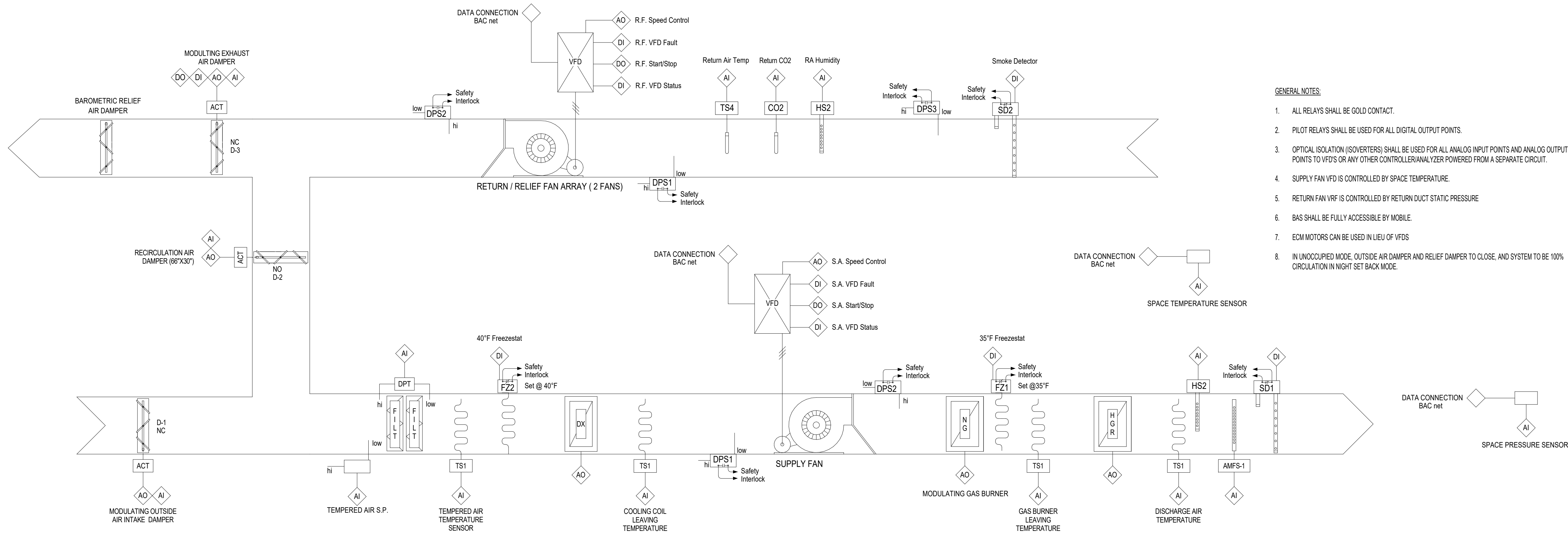
ALTERNATIVE BID RTU CONTROL DIAGRAM

M-305
BIDDING

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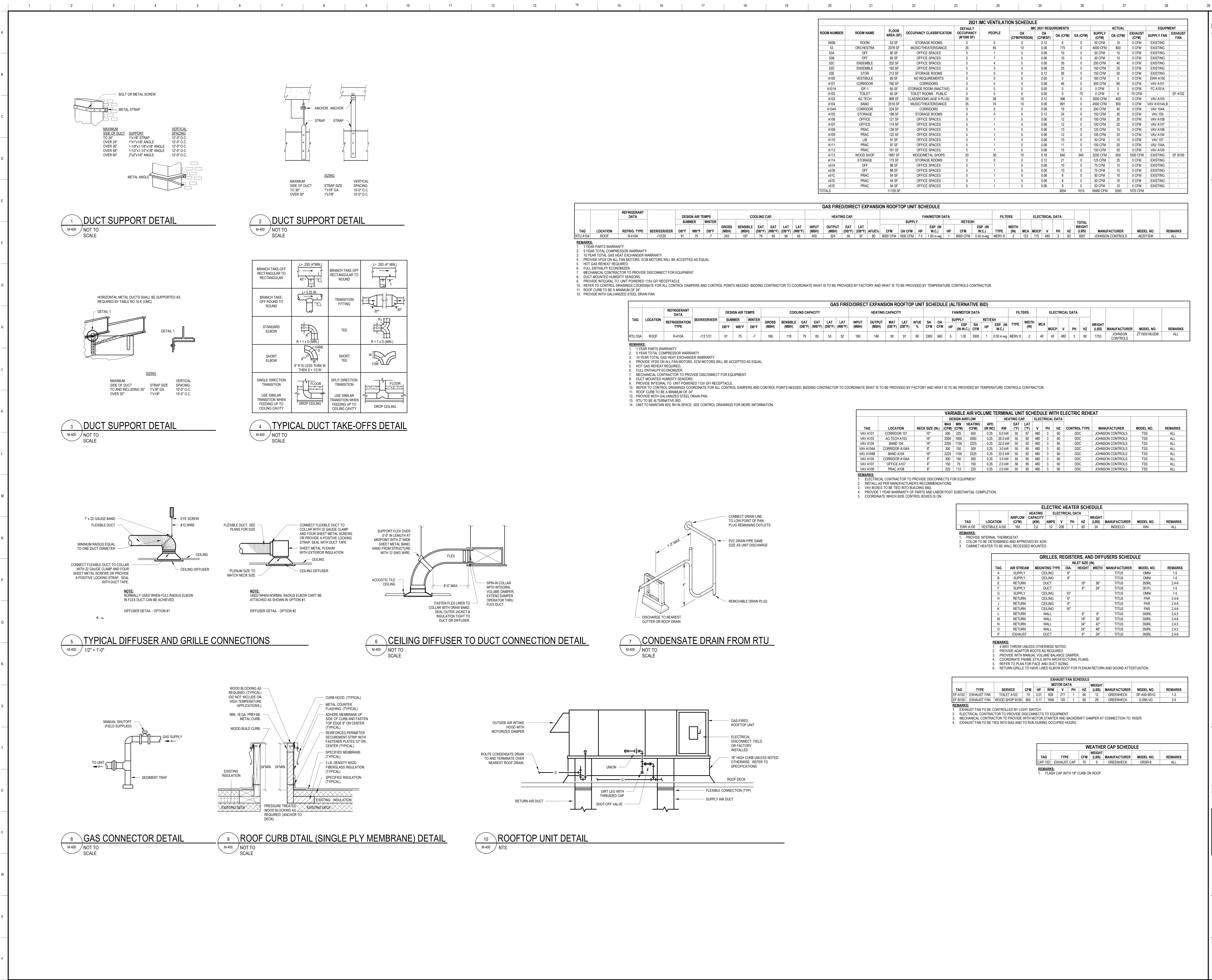
ALTERNATIVE BID IS FOR CONTROLS CONTRACTOR TO BE HIRED TO TIE INTO DISTRICT JOHNSON CONTROLS METESYS SYSTEM.

RETURN/RELIEF FAN VFD CONNECTIONS TYPICAL OF ONE VFD (TO CONTROL TWO RETURN FANS)



GENERAL NOTES

1. ALL RELAYS SHALL BE GOLD CONTACT.
2. PILOT RELAYS SHALL BE USED FOR ALL DIGITAL OUTPUT POINTS.
3. OPTICAL ISOLATION (ISOVERTERS) SHALL BE USED FOR ALL ANALOG INPUT POINTS AND ANALOG OUTPUT POINTS TO VFD'S OR ANY OTHER CONTROLLER/ANALOG POWERED FROM A SEPARATE CIRCUIT.
4. SUPPLY FAN VFD IS CONTROLLED BY SPACE TEMPERATURE.
5. RETURN FAN VFD IS CONTROLLED BY RETURN DUCT STATIC PRESSURE.
6. BAS SHALL BE FULLY ACCESSIBLE BY MOBILE.
7. ECOMOTORS CAN BE USED IN LEU OF VFD'S.
8. IN UNOCCUPIED MODE, OUTSIDE AIR DAMPER AND RELIEF DAMPER TO CLOSE, AND SYSTEM TO BE 100% CIRCULATION IN NIGHT SET BACK MODE.



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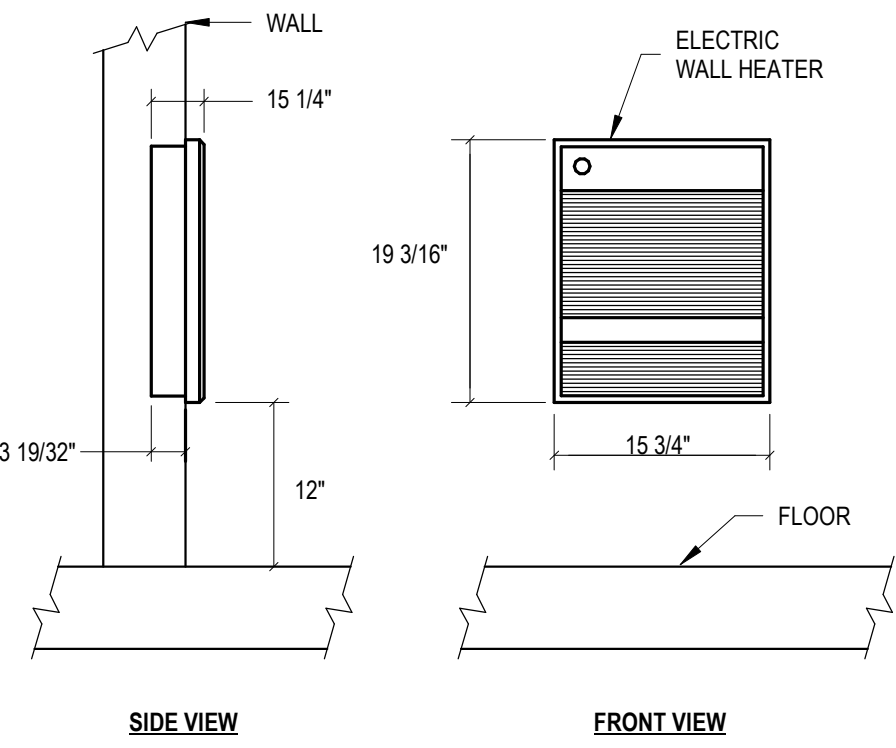
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MECHANICAL
SCHEDULES AND
DETAILS

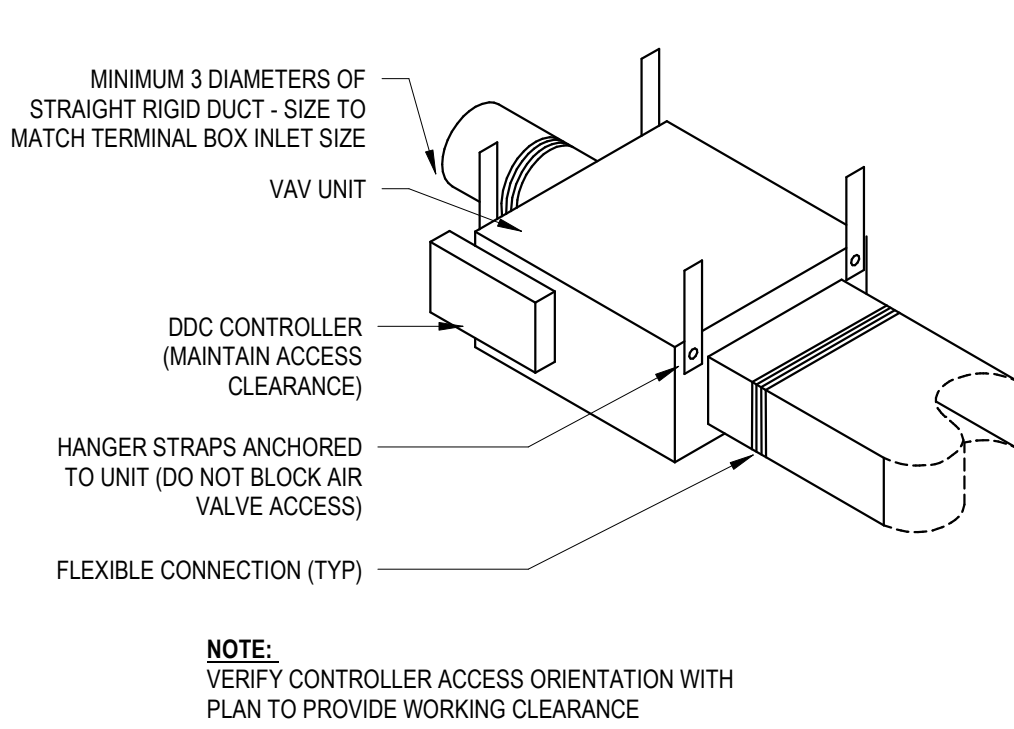
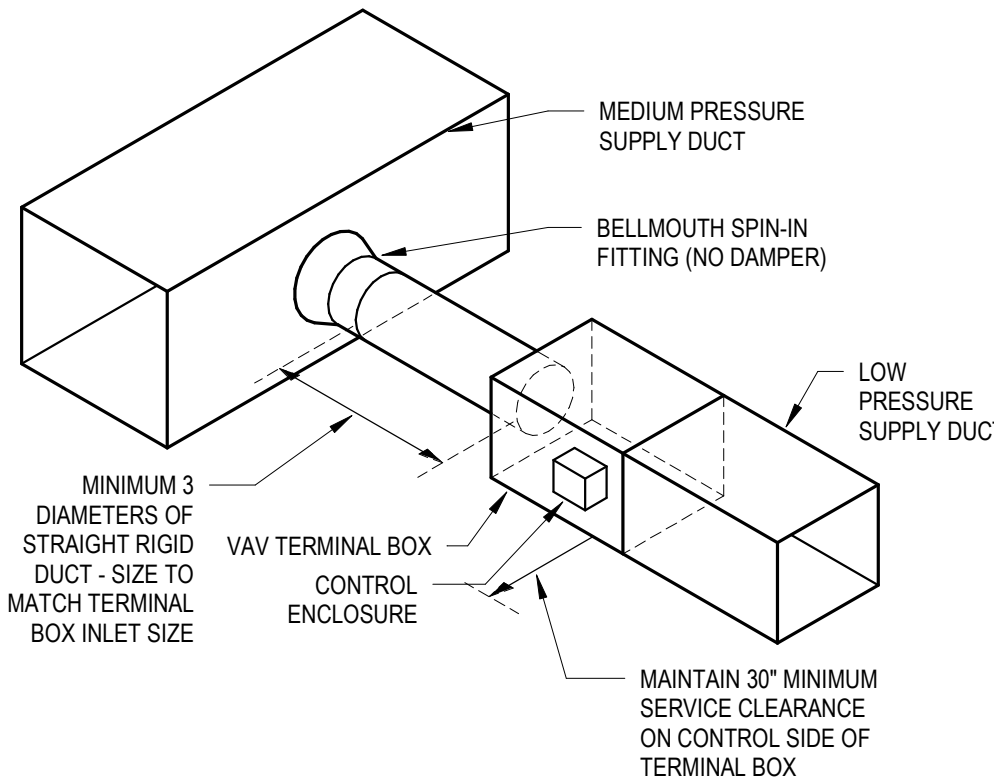
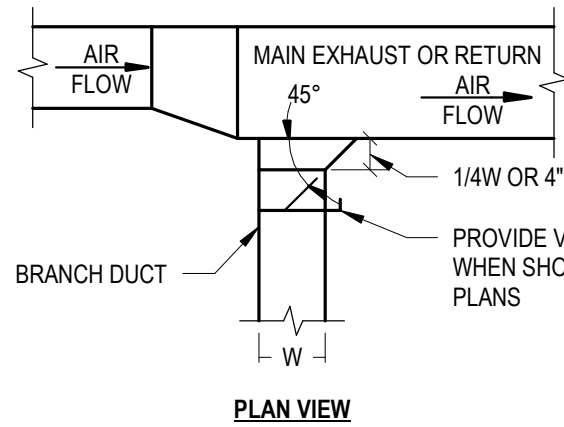
M-400
BIDDING

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NOTE:
FIELD VERIFY DIMENSIONS OF EXACT UNIT PURCHASED

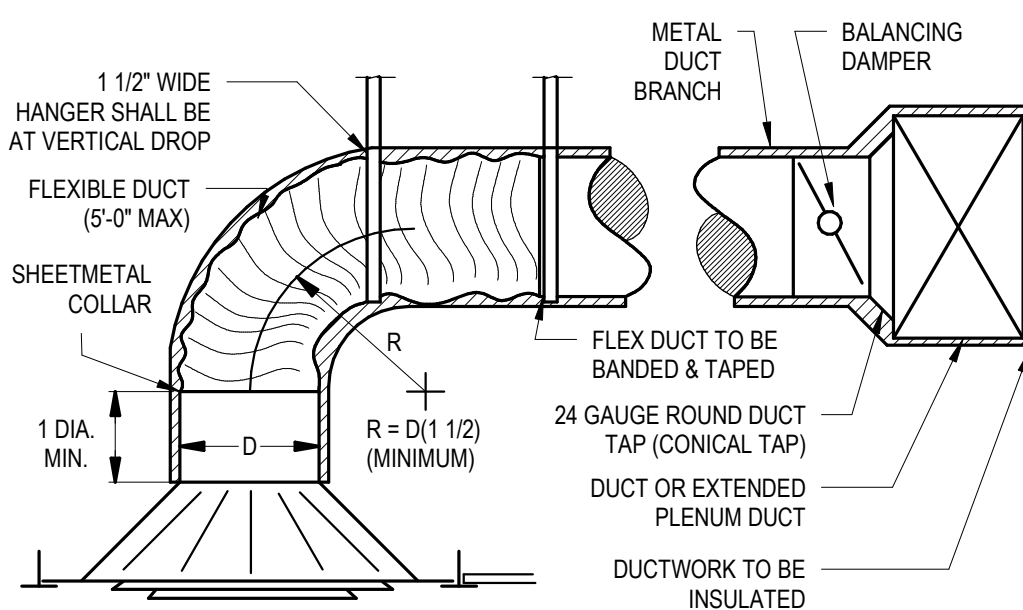
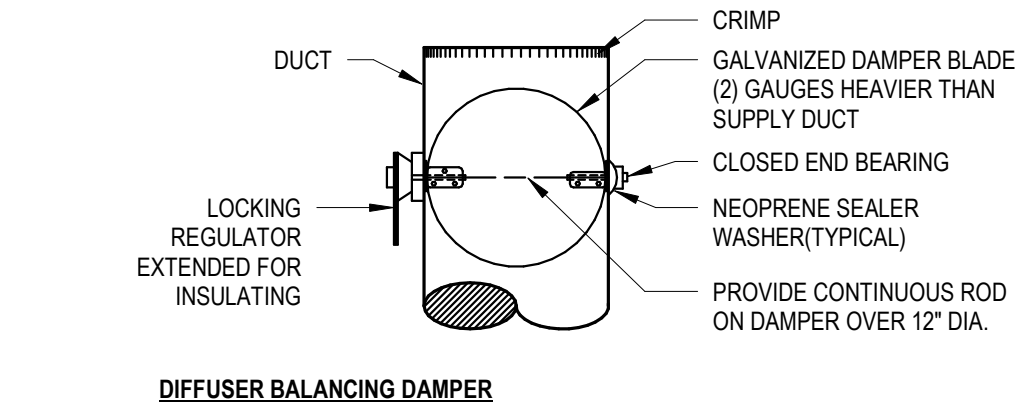


1 ELECTRIC WALL HEATER (RECESSED)
SCALE: N.T.S.

2 EXHAUST OR RETURN BRANCH DUCTWORK DETAIL
SCALE: N.T.S.

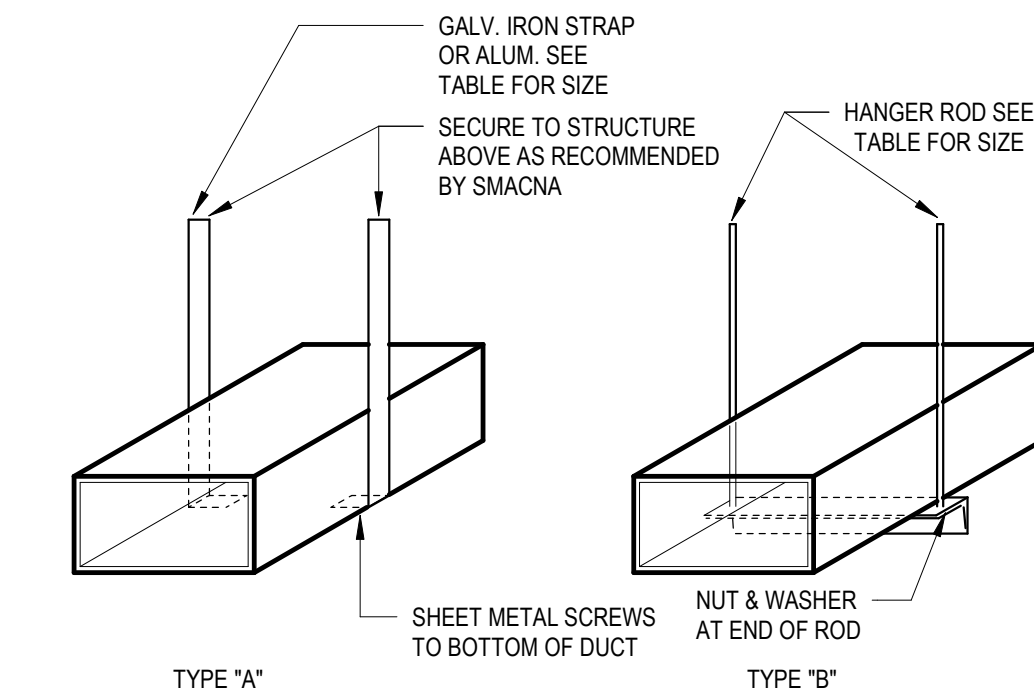
3 VAV TERMINAL BOX INSTALLATION
SCALE: N.T.S.

4 VAV UNIT DETAIL
SCALE: N.T.S.



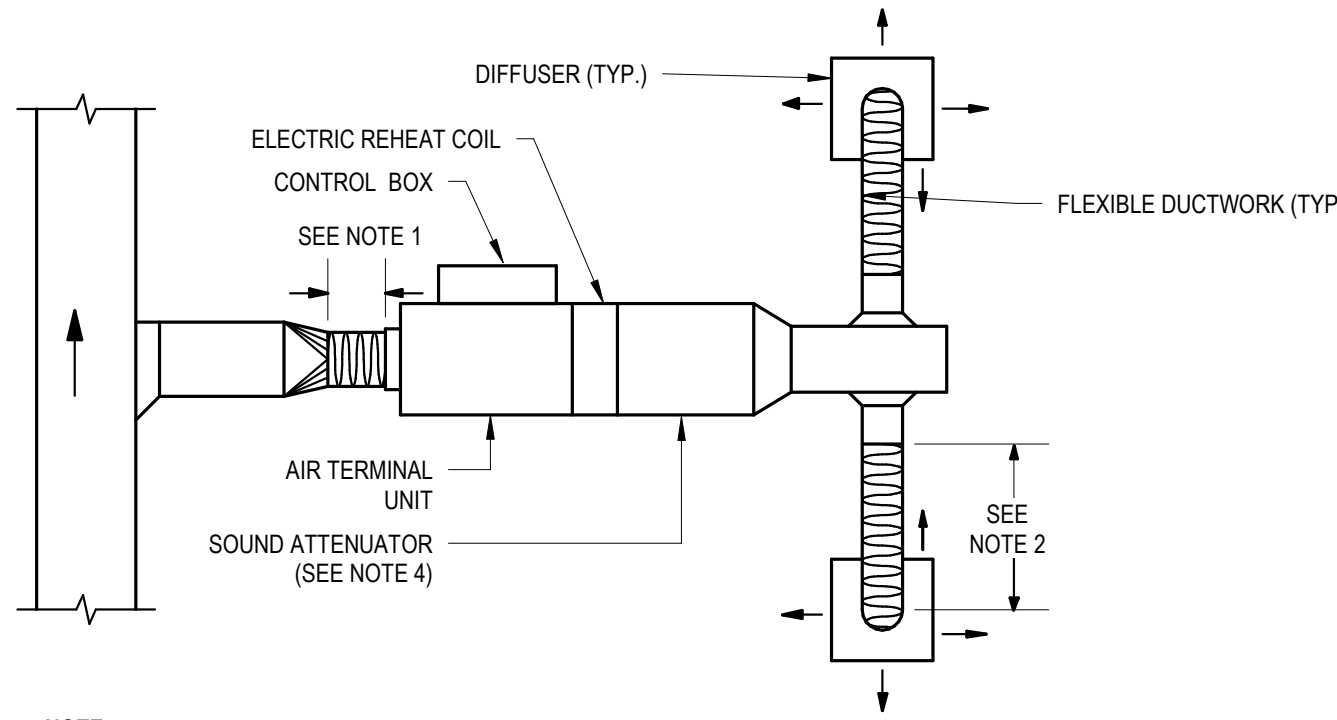
- NOTES:
- CEILING DIFFUSER SHALL BE SQUARE FACE, ROUND NECK & SIMILAR TO: TITUS TMS, CARNES SFTA, OR KRUEGER 1400.
 - DIFFUSER FRAME WITH EXTENDED PANELS NOT ACCEPTED.
 - PROVIDE LAY-IN TYPE DIFFUSER FRAMES FOR INVERTED T-BAR CEILING.
 - PROVIDE SURFACE MOUNTING FLANGE FOR POP BOARD CEILING AND OTHER SPECIAL CEILING.
 - FLEX DUCT SHALL BE BENDED AND TAPED. PROVIDE BEAD ON METAL COLLAR IF DUCT SIZES EXCEEDS 12" DIAMETER.
 - LOW PRESSURE DUCTWORK ONLY.
 - OMIT VOLUME DAMPERS ABOVE GYPSUM BOARD CEILING AND USE DAMPER BEHIND CEILING DIFFUSER FOR BALANCE.
 - THE HANGERS SUPPORTING FLEX DUCT SHALL BE NOT LESS THAN 1-1/2" WIDE IN DIRECT CONTACT WITH DUCT.

MINIMUM CONICAL TAP METAL GAUGE			
TAP DIA. (IN.)	GAUGE - GALV. STOCK	DAMPER GAUGE	
8 AND BELOW			
8 - 14	24	22	
15 - 16	22	20	
17 - 26	20	18	
27 - 30	18	16	



DUCT HANGER SCHEDULE						
DUCT SIZE (INCH)	TYPE OF HANGER	HANGER SPACING (FT)	STRAP SIZE	ROD SIZE (INCH)	ANGLE FOR BRACING	
UP TO 12	A	8'-0"	1"x1/8GA	N.A.	N.A.	
13 TO 18	A	6'-0"	1"x1/8GA	N.A.	N.A.	
19 TO 30	AB	8'-0"	1"x1/8GA	1/4"	1-1/2"x1-1/2"x1/8"	
31 TO 42	B	8'-0"	N.A.	1/4"	1-1/2"x1-1/2"x1/8"	
43 TO 54	B	8'-0"	N.A.	1/4"	1-1/2"x1-1/2"x1/8"	
55 TO 80	B	8'-0"	N.A.	1/4"	1-1/2"x1-1/2"x1/8"	
61 TO 84	B	8'-0"	N.A.	1/4"	1-1/2"x1-1/2"x1/8"	
85 TO 96	B	8'-0"	N.A.	1/4"	1-1/2"x1-1/2"x1/8"	
OVER 96	B	8'-0"	N.A.	3/8"	2"x2"x1/4"	

- NOTES:
- FOR SEVERAL DUCTS ON ONE HANGER, TYPE 'B' MAY BE USED. SIZE OF HANGER WILL BE SELECTED ON THE SUM OF DUCT WIDTHS EQUAL TO MAX WIDTH OF DUCT SCHEDULE.
 - ON TYPE 'A' HANGER, PROVIDE 3 HANGERS AT EACH TAKE-OFF OR BRANCH.

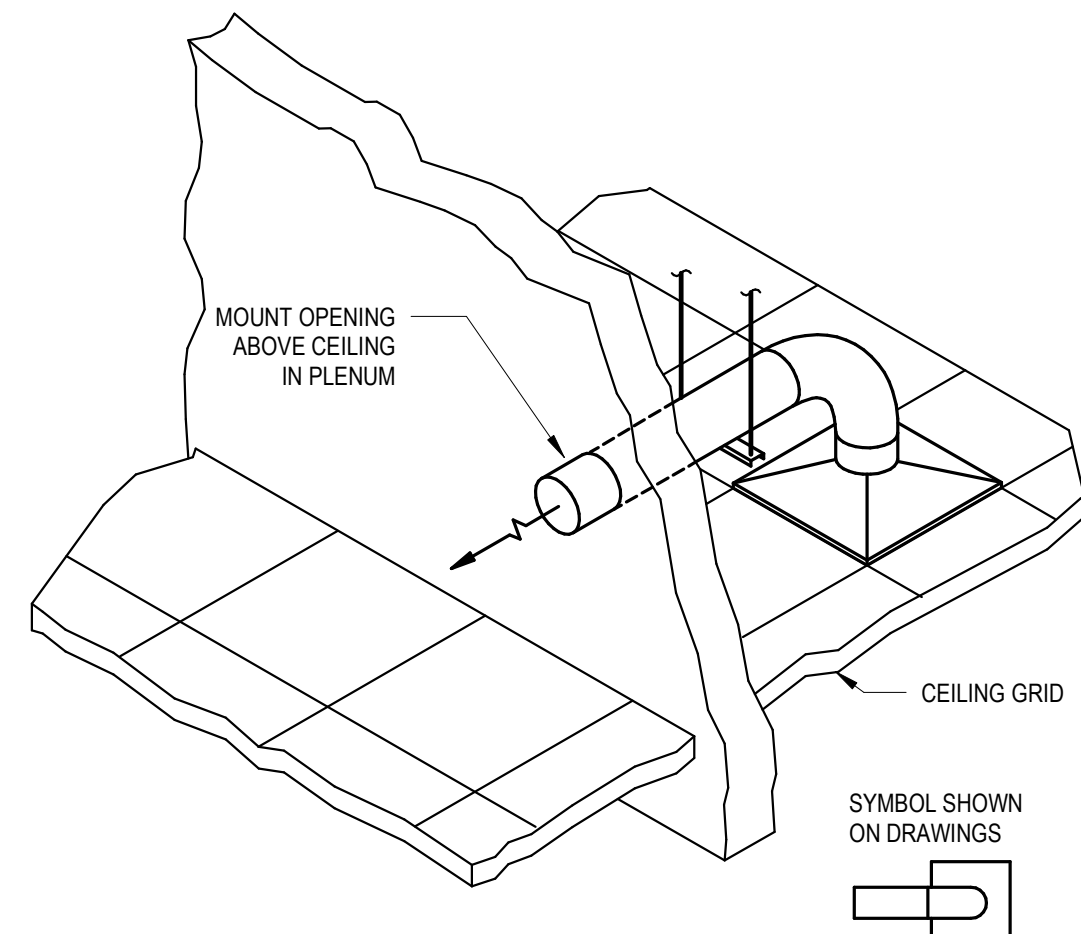
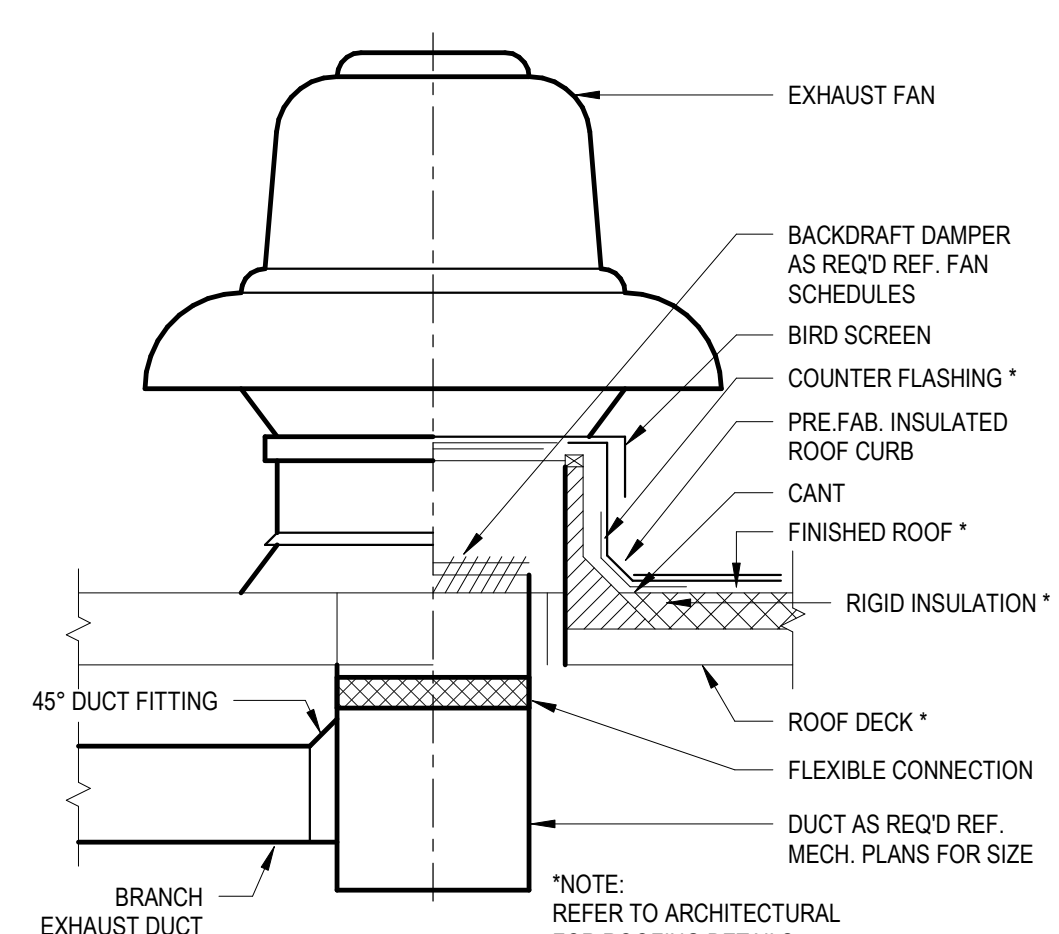
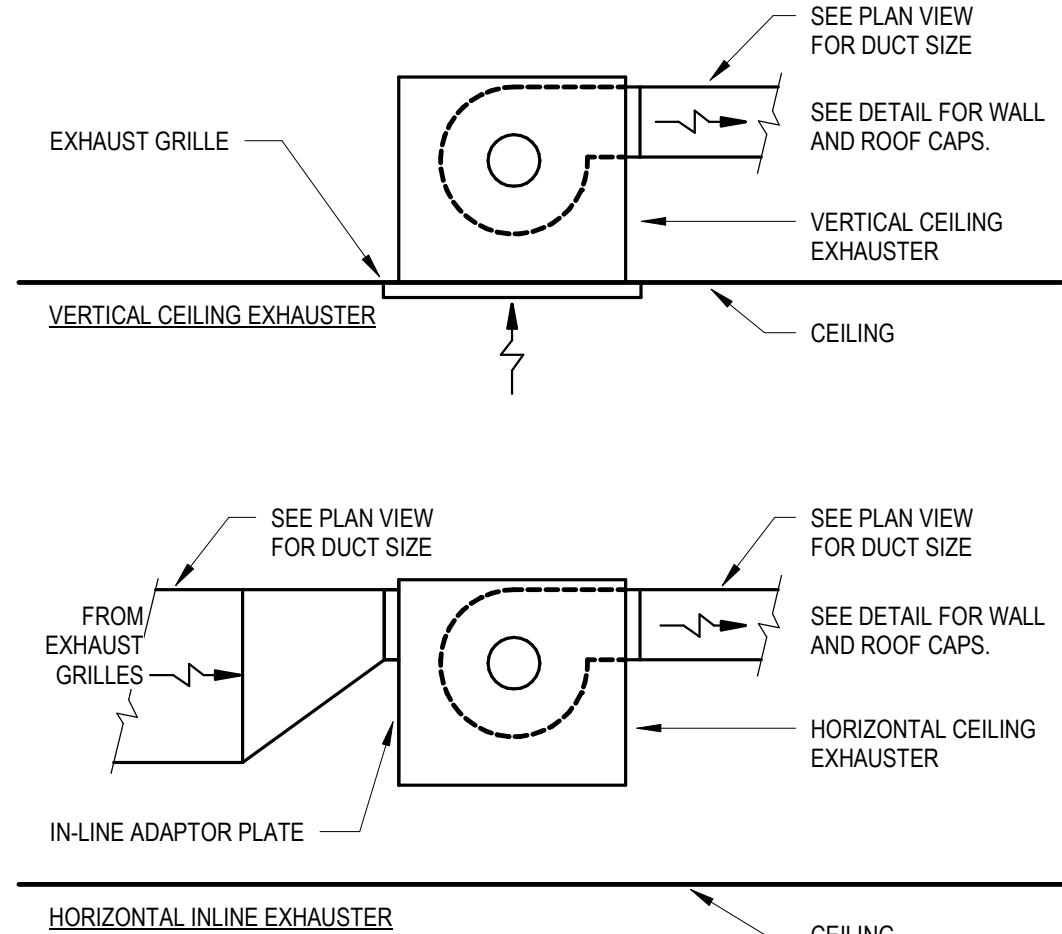
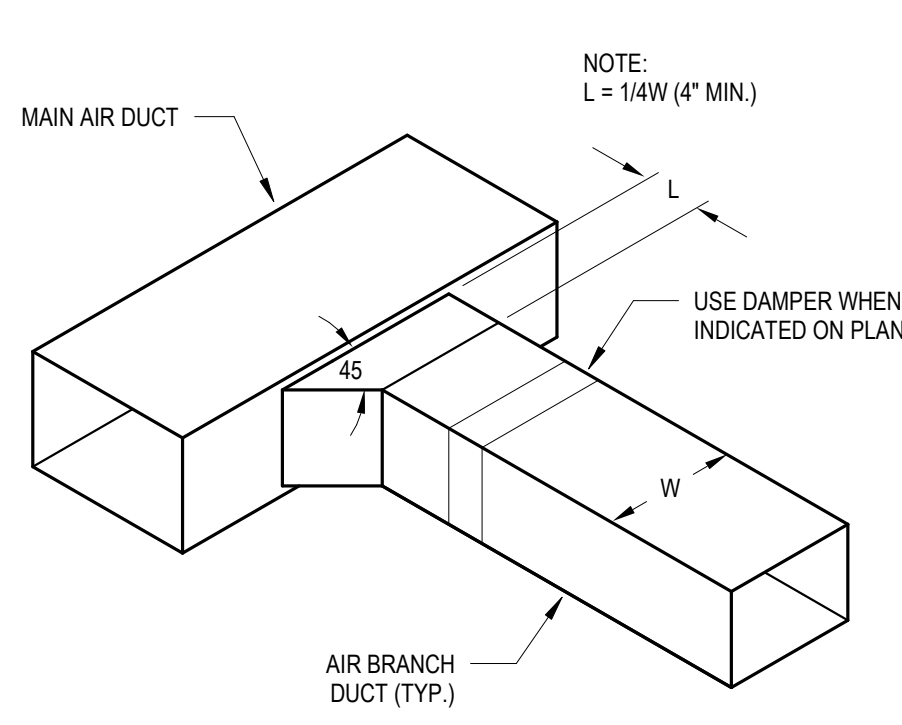
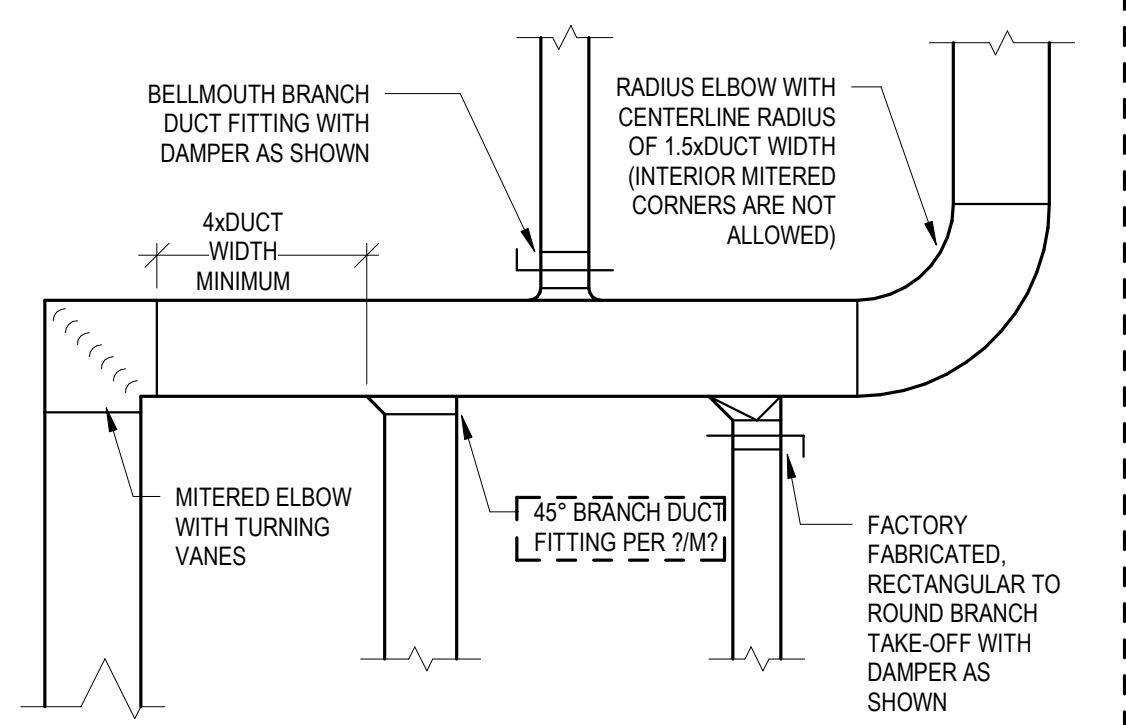


- NOTE:
- FLEXIBLE DUCT CONNECTION OF 3'-0" (914mm) MAXIMUM LENGTH SHALL BE PROVIDED FOR AIR TERMINAL UNIT INLET DUCT CONNECTION.
 - FLEXIBLE DUCT CONNECTION (WHEN USED) FROM TERMINAL UNIT SUPPLY AIR DUCT TO DIFFUSER SHALL NOT EXCEED 9'-0" (2743mm).
 - BENDS SHALL BE MADE WITH NOT LESS THAN ONE DUCT DIAMETER CENTER LINE RADIUS.
 - USE SOUND ATTENUATOR ONLY IF REQUIRED TO MEET DESIGN ROOM NC LEVEL.
 - COORDINATE WHICH SIDE CONTROL BOX IS ON.

5 CEILING DIFFUSERS AND BRANCH DUCTS DETAIL
SCALE: N.T.S.

6 DUCT SUPPORT DETAIL
SCALE: N.T.S.

7 FLEXIBLE DUCT CONNECTION FOR AIR TERMINAL UNITS DETAIL
NOT TO SCALE



8 DUCTWORK CONSTRUCTION DETAIL
1/2" = 1'-0"

9 INLINE EXHAUSTER DETAIL
NOT TO SCALE

10 EXHAUST FAN DETAIL
NOT TO SCALE

11 TRANSFER DUCT DETAIL
NOT TO SCALE

LEGAT ARCHITECTS

DESIGN | PERFORMANCE | SUSTAINABILITY

NORTH
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SCHOOL
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ADDITION AND
RENOVATIONS TO
JUNIOR HIGH

502 South 5th Street
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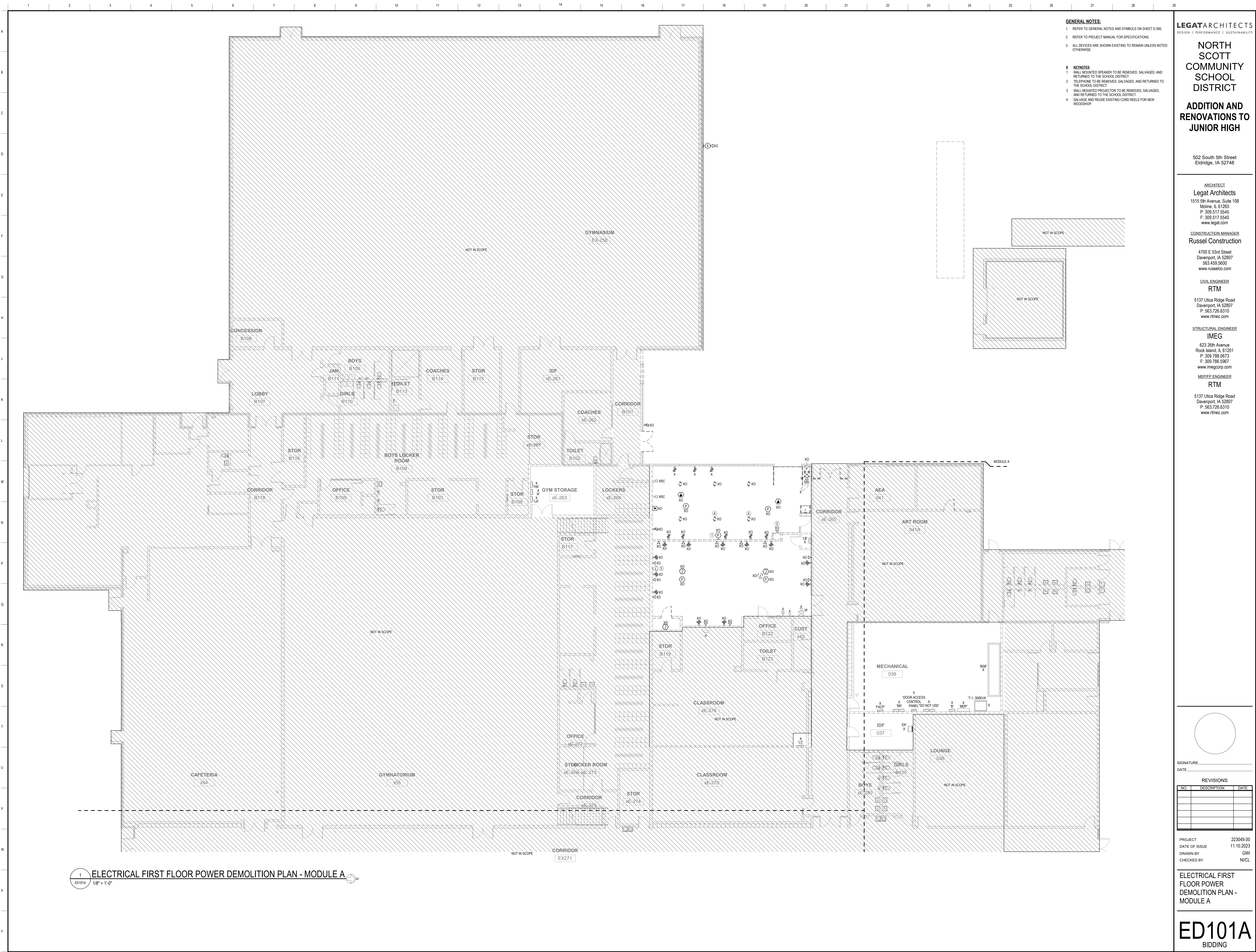
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MECHANICAL DETAILS

M-500
BIDDING





GENERAL NOTES:
1. REFER TO GENERAL NOTES AND SYMBOLS ON SHEET E-000.
2. REFER TO PROJECT MANUAL FOR SPECIFICATIONS.
3. ALL DEVICES ARE SHOWN EXISTING TO REMAIN UNLESS NOTED OTHERWISE.

KEYNOTES
1. WALL MOUNTED SPEAKER TO BE REMOVED, SALVAGED, AND RETURNED TO THE SCHOOL DISTRICT.
2. TELEPHONE TO BE REMOVED, SALVAGED, AND RETURNED TO THE SCHOOL DISTRICT.
3. WALL MOUNTED PROJECTOR TO BE REMOVED, SALVAGED, AND RETURNED TO THE SCHOOL DISTRICT.
4. SALVAGE AND REUSE EXISTING CORD REELS FOR NEW WOODSHOP.

LEGAT ARCHITECTS
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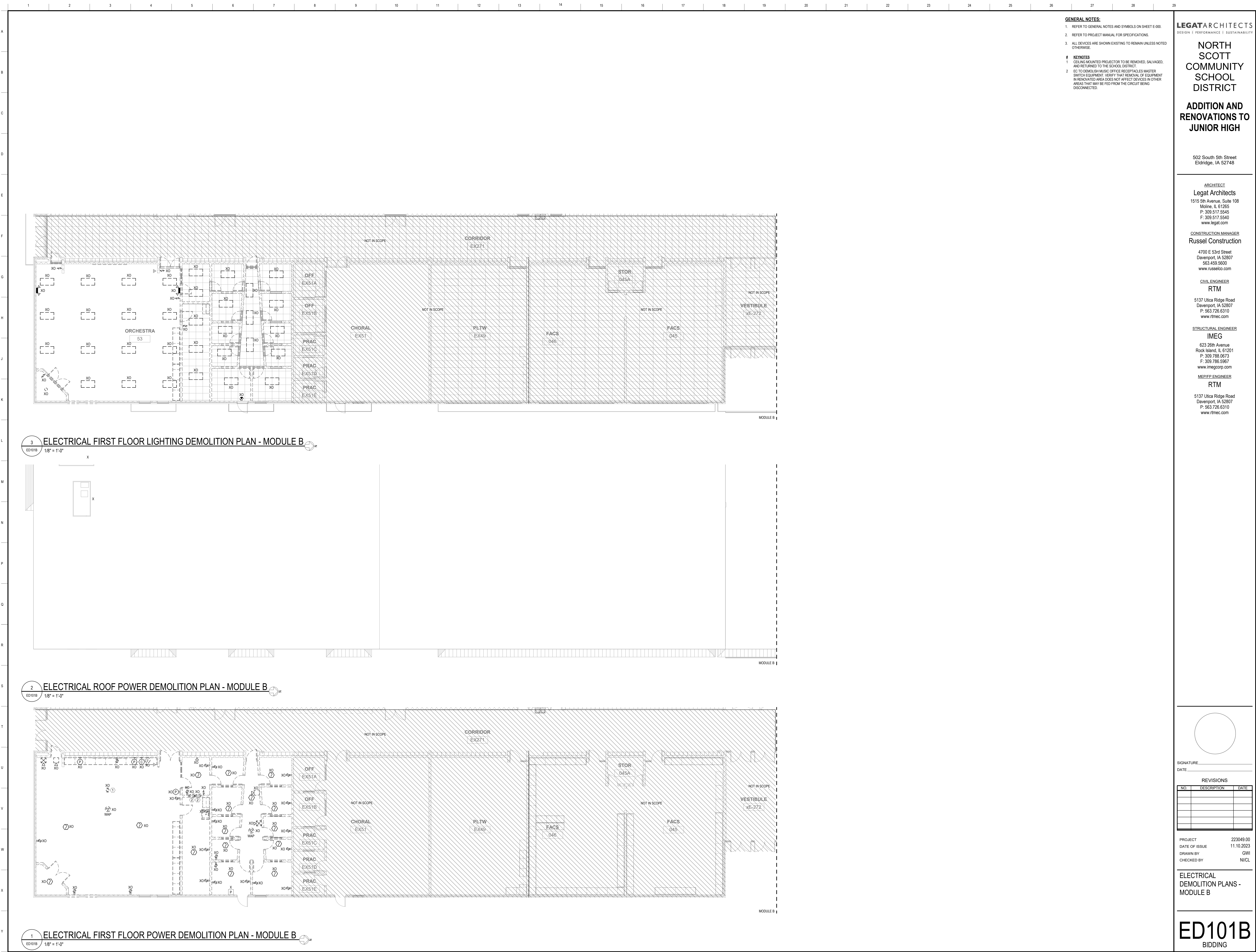
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ELECTRICAL FIRST
FLOOR POWER
DEMOLITION PLAN -
MODULE A

ED101A
BIDDING



GENERAL NOTES:
1. REFER TO GENERAL NOTES AND SYMBOLS ON SHEET E-001.
2. REFER TO PROJECT MANUAL FOR SPECIFICATIONS.
3. ALL DEVICES ARE SHOWN EXISTING TO REMAIN UNLESS NOTED OTHERWISE.

KEYNOTES
1. CEILING MOUNTED PROJECTOR TO BE REMOVED, SALVAGED, AND RETURNED TO THE SCHOOL DISTRICT.
2. EG TO DEMOLISH MUSIC OFFICE RECEPTACLES MASTER SWITCH EQUIPMENT. VERIFY THAT REMOVAL OF EQUIPMENT IN RENOVATED AREA DOES NOT AFFECT DEVICES IN OTHER AREAS THAT MAY BE FED FROM THE CIRCUIT BEING DISCONNECTED.

LEGAT ARCHITECTS
DESIGN | PERFORMANCE | SUSTAINABILITY

**NORTH
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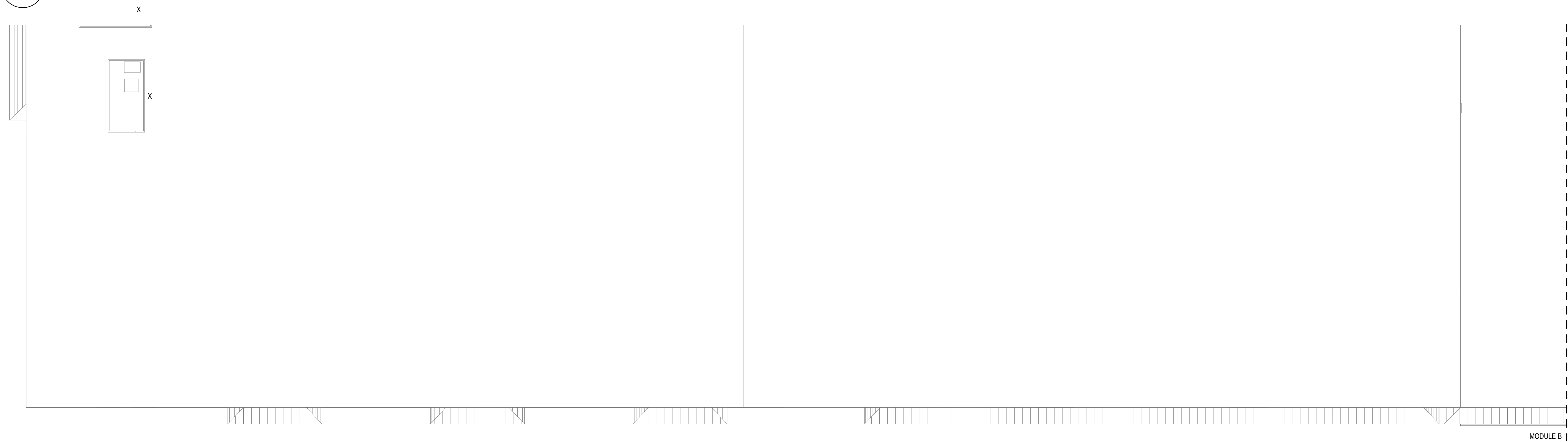
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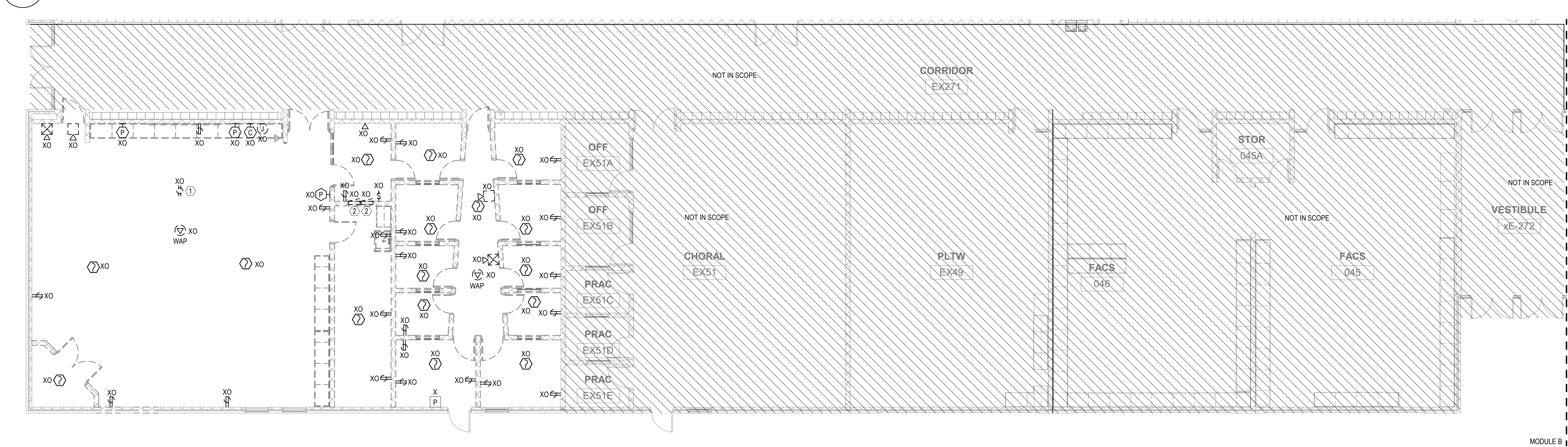
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3 ELECTRICAL FIRST FLOOR LIGHTING DEMOLITION PLAN - MODULE B



2 ELECTRICAL ROOF POWER DEMOLITION PLAN - MODULE B



1 ELECTRICAL FIRST FLOOR POWER DEMOLITION PLAN - MODULE B



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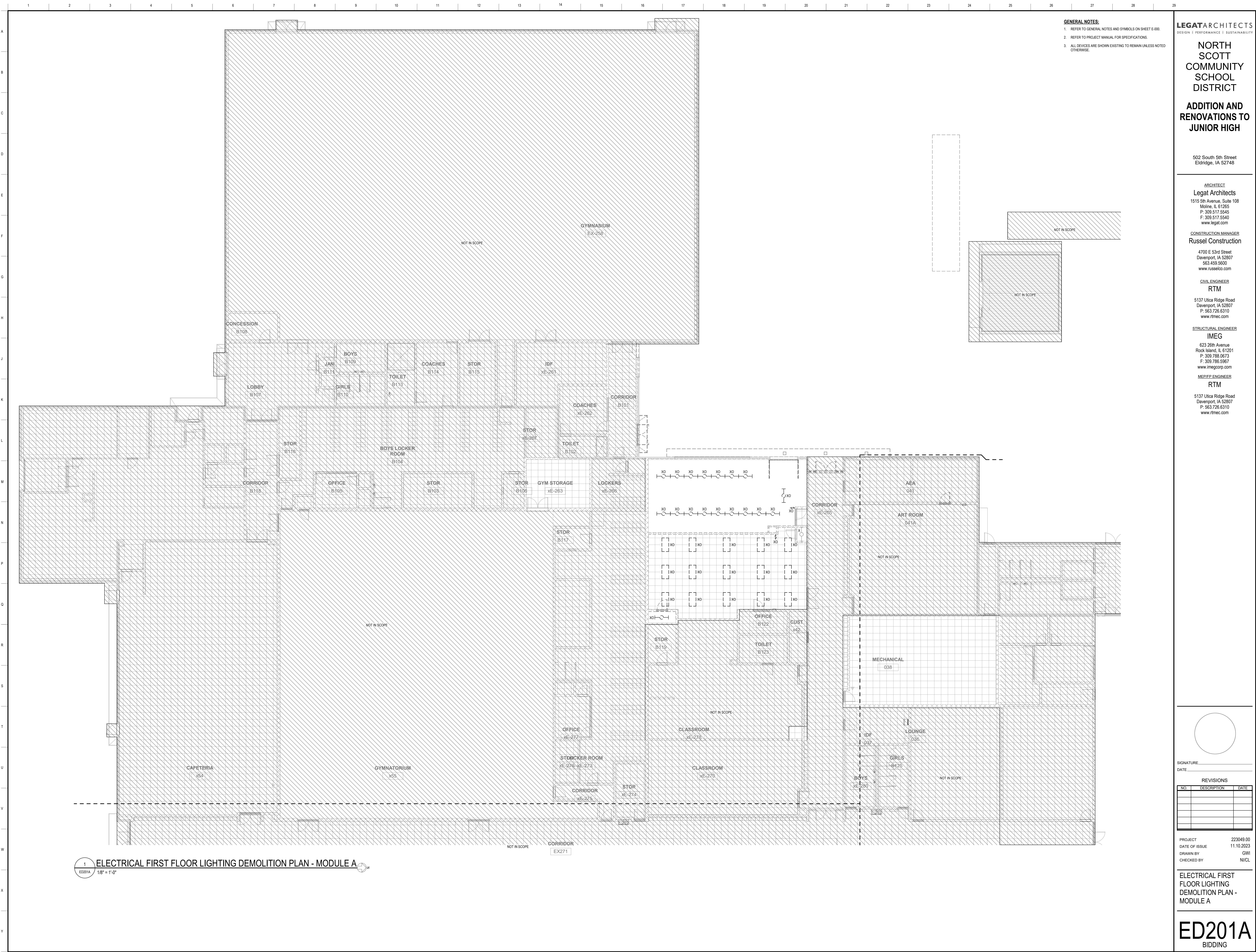
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ELECTRICAL
DEMOLITION PLANS -
MODULE B

ED101B
BIDDING



GENERAL NOTES:
1. REFER TO GENERAL NOTES AND SYMBOLS ON SHEET E-001.
2. REFER TO PROJECT MANUAL FOR SPECIFICATIONS.
3. ALL DEVICES ARE SHOWN EXISTING TO REMAIN UNLESS NOTED OTHERWISE.

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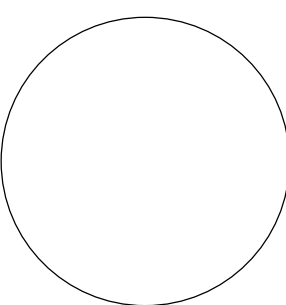
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1 ELECTRICAL FIRST FLOOR LIGHTING DEMOLITION PLAN - MODULE A
ED201A 1/8" = 1'-0"


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ELECTRICAL FIRST FLOOR LIGHTING DEMOLITION PLAN - MODULE A

ED201A
BIDDING





- GENERAL NOTES:**
- REFER TO GENERAL NOTES AND SYMBOLS ON SHEET E-000.
 - REFER TO PROJECT MANUAL FOR SPECIFICATIONS.
 - PROVIDE SEPARATE GROUNDING CONDUCTOR SIZED PER NEC 250.122 INSTALLED ON ALL MECHANICAL EQUIPMENT. REFER TO SHEET E-300 FOR FEEDER, GROUND & CONDUIT SIZES.
 - PROVIDE ALL NECESSARY ROUGH-INS AND CABLING FOR CARD READERS AND CAMERAS. SECURITY DEVICES (ACCESS CONTROL DEVICES, CAMERAS) ARE OWNER PROVIDED. INSTALLED BY EC. VERIFY EXACT REQUIREMENTS WITH DOOR PROVIDER.
 - ALL DEVICES ARE SHOWN NEW UNLESS NOTED OTHERWISE.
 - FIRE ALARM CONTRACTOR TO VERIFY FINAL SPACING REQUIREMENTS FOR THE NOTIFICATION DEVICES PROVIDED. REVISE THE LAYOUT AS NECESSARY.
 - REFER TO ARCHITECTURAL DRAWINGS FOR RATED WALL REQUIREMENTS FOR ALL ELECTRICAL AND COMMUNICATION BOXES.
 - FOR ALL OCCUPANCY SENSORS, PROVIDE ALL NECESSARY COMPONENTS FOR A COMPLETE AND OPERATIONAL SYSTEM, INCLUDING ALL OCCUPANCY SENSORS, POWER PACKS, WALL OVERRIDE SWITCHES, RELAYS, ETC.
 - EMERGENCY FIXTURES TO DIM AND BE CONTROLLED WITH LOCAL FIXTURES. PROVIDE NECESSARY RELAYS TO TURN FIXTURES TO 100% WITH THE LOSS OF POWER.

- # KEYNOTES**
- PENDANT MOUNTED SPEAKER. COORDINATE LOCATIONS AND REQUIREMENTS WITH AV VENDOR.
 - ALTERNATE BID FOR THIS EQUIPMENT SHALL INCLUDE THE REQUIRED EQUIPMENT DISCONNECT, CONDUIT, WIRING, BREAKER SIZE, TO FEED ALTERNATE EQUIPMENT, AND DUCT SMOKE DETECTOR. REFER TO MECHANICAL SCHEDULES AND MECHANICAL EQUIPMENT CONNECTION SCHEDULE ON SHEET E-300 FOR ALTERNATE BID EQUIPMENT INFORMATION.
 - PROVIDE AV RACK FOR ORCHESTRA ROOM IN ENSEMBLE ROOM.
 - PROVIDE (3) DATA CABLES AT CABINET FOR CONNECTION TO DATA NETWORK.
 - REFER TO THE ORCHESTRA AND BAND ROOM AV SCHEMATIC DIAGRAM FOR THE AND CABLING EQUIPMENT IN CAB-1 LOCATED ON SHEET E-400.
 - COORDINATE POWER AND DATA ROUGH-IN LOCATIONS WITH THE PROJECTOR MANUFACTURERS MOUNTING RECOMMENDATIONS AND OWNER/ARCHITECT PRIOR TO INSTALLATION.
 - RECEPTACLE IS POWERED BY MECHANICAL EQUIPMENT.
 - MECHANICAL EQUIPMENT IS EXISTING TO REMAIN.

LEGAT ARCHITECTS
DESIGN | PERFORMANCE | SUSTAINABILITY

NORTH SCOTT COMMUNITY SCHOOL DISTRICT

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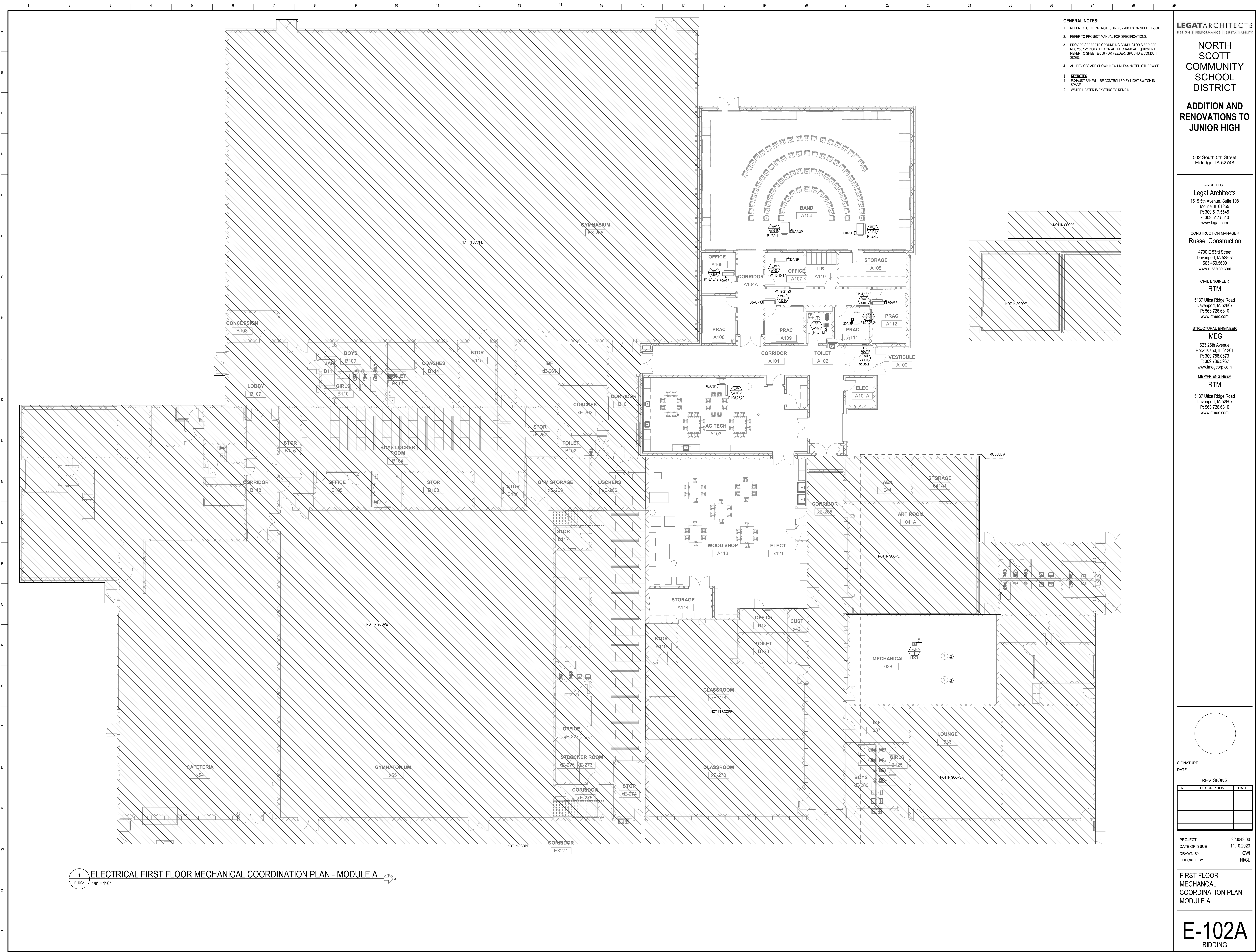
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ELECTRICAL FIRST FLOOR PLANS - MODULE B

E-101B
BIDDING



GENERAL NOTES:
1. REFER TO GENERAL NOTES AND SYMBOLS ON SHEET E-000.
2. REFER TO PROJECT MANUAL FOR SPECIFICATIONS.
3. PROVIDE SEPARATE GROUNDING CONDUCTOR SIZED PER NEC 250.122 INSTALLED ON ALL MECHANICAL EQUIPMENT. REFER TO SHEET E-300 FOR FEEDER, GROUND & CONDUIT SIZES.
4. ALL DEVICES ARE SHOWN NEW UNLESS NOTED OTHERWISE.
KEYNOTES
1. EXHAUST FAN WILL BE CONTROLLED BY LIGHT SWITCH IN SPACE.
2. WATER HEATER IS EXISTING TO REMAIN.

LEGATARCHITECTS
DESIGN | PERFORMANCE | SUSTAINABILITY

NORTH SCOTT COMMUNITY SCHOOL DISTRICT
ADDITION AND RENOVATIONS TO JUNIOR HIGH
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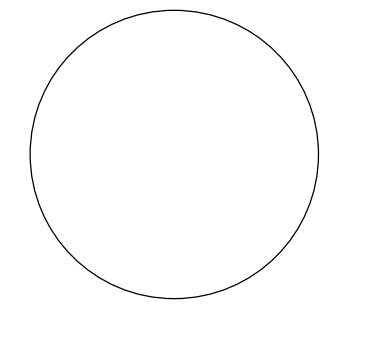
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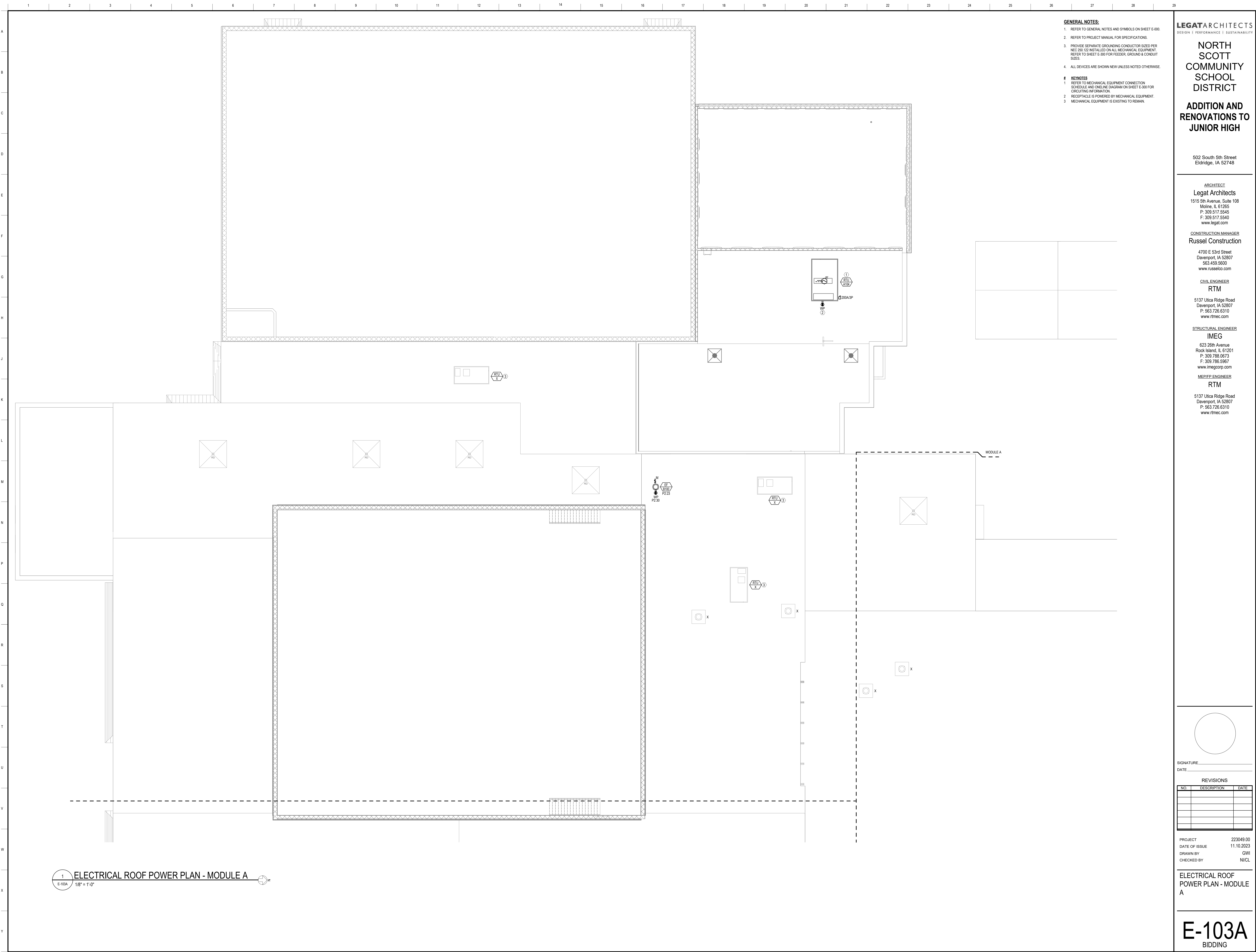
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FIRST FLOOR
MECHANICAL
COORDINATION PLAN -
MODULE A

1 E-102A 1/8" = 1'-0" ELECTRICAL FIRST FLOOR MECHANICAL COORDINATION PLAN - MODULE A



- GENERAL NOTES:**
- REFER TO GENERAL NOTES AND SYMBOLS ON SHEET E-000.
 - REFER TO PROJECT MANUAL FOR SPECIFICATIONS.
 - PROVIDE SEPARATE GROUNDING CONDUCTOR SIZED PER NEC 250.122 INSTALLED ON ALL MECHANICAL EQUIPMENT. REFER TO SHEET E-300 FOR FEEDER, GROUND & CONDUIT SIZES.
 - ALL DEVICES ARE SHOWN NEW UNLESS NOTED OTHERWISE.
- KEYNOTES**
- REFER TO MECHANICAL EQUIPMENT CONNECTION SCHEDULE AND ONLINE DIAGRAM ON SHEET E-300 FOR CIRCUITING INFORMATION.
 - RECEPTACLE IS POWERED BY MECHANICAL EQUIPMENT.
 - MECHANICAL EQUIPMENT IS EXISTING TO REMAIN.

LEGATARCHITECTS
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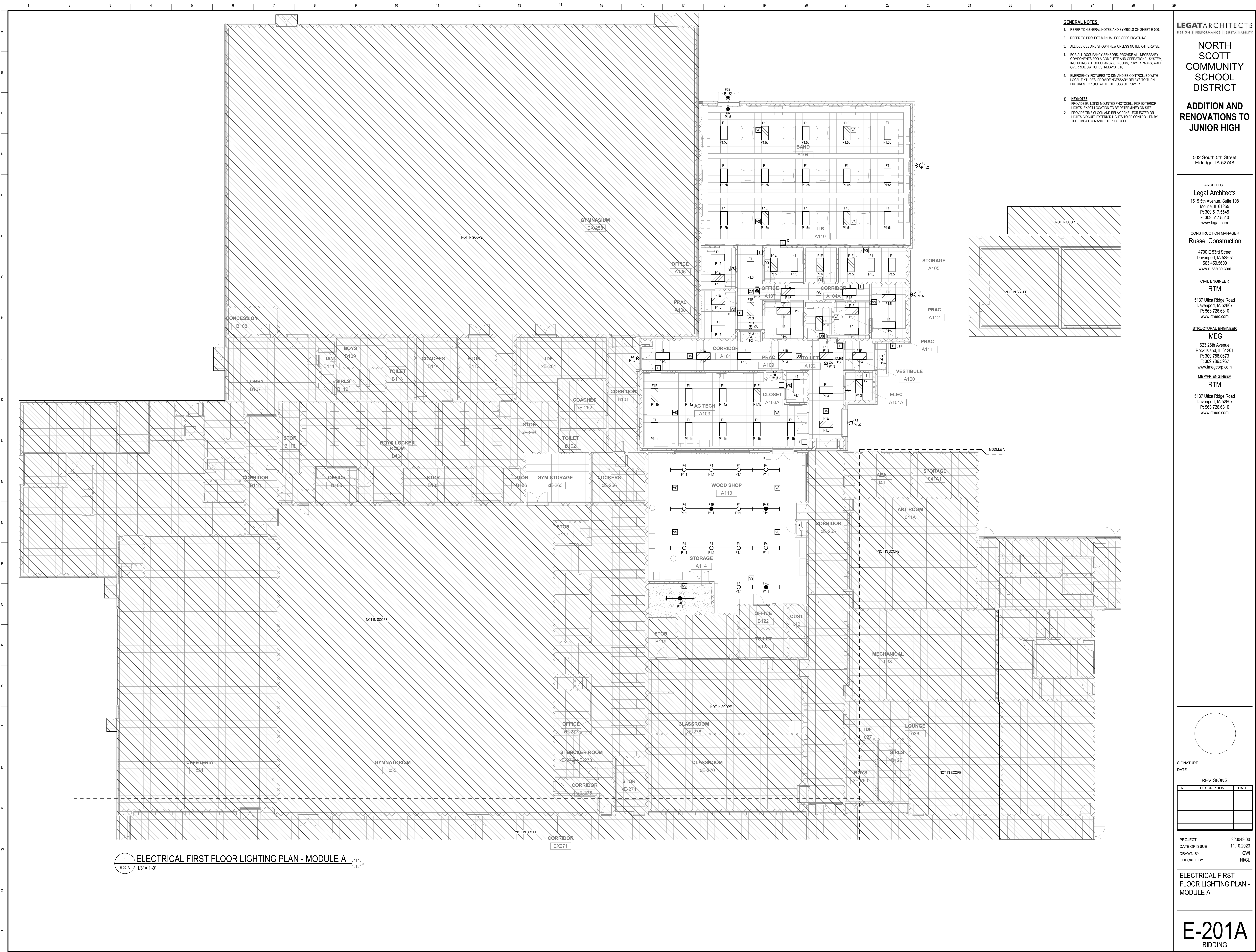
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E-103A
ELECTRICAL ROOF POWER PLAN - MODULE A
1/8" = 1'-0"

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**ELECTRICAL ROOF
POWER PLAN - MODULE
A**

E-103A
BIDDING



- GENERAL NOTES:**
1. REFER TO GENERAL NOTES AND SYMBOLS ON SHEET E-001.
 2. REFER TO PROJECT MANUAL FOR SPECIFICATIONS.
 3. ALL DEVICES ARE SHOWN NEW UNLESS NOTED OTHERWISE.
 4. FOR ALL OCCUPANCY SENSORS, PROVIDE ALL NECESSARY COMPONENTS FOR A COMPLETE AND OPERATIONAL SYSTEM, INCLUDING ALL OCCUPANCY SENSORS, POWER PACKS, WALL OVERRIDE SWITCHES, RELAYS, ETC.
 5. EMERGENCY FIXTURES TO DIM AND BE CONTROLLED WITH LOCAL FIXTURES. PROVIDE NECESSARY RELAYS TO TURN FIXTURES TO 100% WITH THE LOSS OF POWER.
- KEYNOTES**
1. PROVIDE BUILDING MOUNTED PHOTOCELL FOR EXTERIOR LIGHTS. EXACT LOCATION TO BE DETERMINED ON SITE.
 2. PROVIDE TIME CLOCK AND RELAY PANEL FOR EXTERIOR LIGHTS CIRCUIT. EXTERIOR LIGHTS TO BE CONTROLLED BY THE TIME CLOCK AND THE PHOTOCELL.

LEGAT ARCHITECTS
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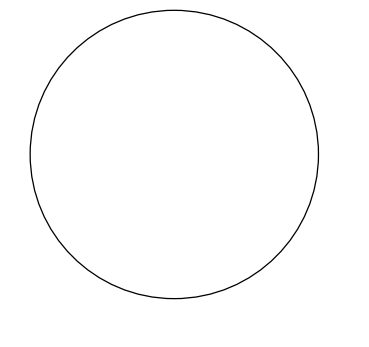
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ELECTRICAL FIRST FLOOR LIGHTING PLAN - MODULE A

E-201A
BIDDING

