



STATE OF CONNECTICUT – COUNTY OF TOLLAND
INCORPORATED 1786

TOWN OF ELLINGTON

55 MAIN STREET – PO BOX 187
ELLINGTON, CONNECTICUT 06029-0187
www.ellington-ct.gov

TEL. (860) 870-3120 TOWN PLANNER'S OFFICE FAX (860) 870-3122

INLAND WETLANDS AGENCY REGULAR MEETING AGENDA

MONDAY, MARCH 11, 2024, 7:00 P.M.

IN-PERSON ATTENDANCE: TOWN HALL ANNEX, 57 MAIN STREET, ELLINGTON, CT
REMOTE ATTENDANCE: VIA ZOOM MEETING, INSTRUCTIONS PROVIDED BELOW

I. CALL TO ORDER

II. PUBLIC COMMENTS (on non-agenda items):

III. PUBLIC HEARING(S): *(Notice requirements met, hearings may commence.)*

1. IW202404 – Fifty (50) West Road LLC, owner/applicant request for permit to conduct regulated activity to construct water quality basins and associated improvements to serve adjacent industrial and commercial development at 50 West Road, APN 019-005-0000.
2. IW202405 – MCC Lake Properties Trust, owner/applicant, request for permit to conduct regulated activity to demolish and rebuild the existing home, garage, patio, parking, and associated improvements at 28 East Shore Road, APN 169-035-0000.

IV. OLD BUSINESS: None

V. NEW BUSINESS:

VI. ADMINISTRATIVE BUSINESS:

1. Approval of the February 12, 2024, Regular Meeting Minutes.
2. Correspondence/Discussion:
 - a. Ad Hoc Ellington Trails Committee request to use pressure treated wood to anchor the 36-foot bridge on hiking trail off Windermere Avenue accepted as file IW202402.
 - b. CT DEEP Municipal Inland Wetlands Agency Comprehensive Training Program.

VII. ADJOURNMENT:

Next Regular Meeting is scheduled for April 8, 2024

Instructions to attend remotely via Zoom Meeting listed below. The agenda is posted on the Town of Ellington webpage (www.ellington-ct.gov) under Agenda & Minutes, Inland Wetlands Agency.

Join Zoom Meeting via link:

Link: <https://us06web.zoom.us/j/89101701455>
Meeting ID: 891 0170 1455
Passcode: 864016

Join Zoom Meeting by phone:

+1 646 558 8656 US (New York)
Meeting ID: 891 0170 1455
Passcode: 864016

Town of Ellington Inland Wetlands and Watercourses Agency Application

Application # EW202404
Date Submitted 2/5/2024

Notices associated with this application will be sent to the applicant unless otherwise requested.


Owner's Information

Name: Fifty (50) West Road, LLC
Mailing Address: 2 Center Square
East Longmeadow, MA 01028
Email: everett@barnyard.com

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No

Primary Contact Phone #: 860-454-9103 x114

Secondary Contact Phone #: _____

Owner's Signature:  Date: 2/5/24

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Agency have been submitted. Moreover, by signing above I/we expressly provide written consent to the filing of the application and access to the site by the Agency or its staff.

Notices associated with this application will be sent to the applicant unless otherwise requested.

Applicant's Information (if different than owner)

Name: _____
Mailing Address: Same as owner

Email: _____

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No

Primary Contact Phone #: _____

Secondary Contact Phone #: _____

Applicant's Signature: _____ Date: _____

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Agency have been submitted.

Street Address: 50 West Road

Assessor's Parcel Number (APN): 019 - 005 - 0000

Proposed upland review area affected in square feet: 93,700

Proposed wetlands/watercourses affected in square feet and linear feet (as applicable): 3,214 SF, 20 LF

Total area of wetlands/watercourses on parcel in square feet or acres: 137,795 SF

Public Water: Yes No Public Sewer: Yes No *If not served by public water and sewer, applicant shall make application to North Central District Health Department (Enfield Office) if required.*

Is the project in a public water supply watershed area? Yes No
If YES, applicant is required to notify the Connecticut Water Company and Commissioner of Public Health by certified mail, return receipt within 7 days of this application (Conn. Gen Stat. Sec 22a-42f). Copy of application, plans, and supporting documents must accompany notice. Applicant can email the Commissioner of Public Health using their approved form. Proof of notice (return receipt and sent email) must be provided to the Planning Department.

Describe the nature of proposed regulated activity, request for acceptance of a permitted use as of right or a nonregulated use, map or regulation amendment, or other activity requiring review by the Agency or its Agent:
See attached Application Checklist and Appendix D for guidance when preparing application

Construction of water quality basins to serve adjacent industrial and commercial development.
See attached narrative.

RECEIVED
FEB 05 2024
TOWN OF ELLINGTON
PLANNING DEPARTMENT

Applicant shall provide certification in accordance with Wetlands Regulation, Section 7.4e, Application Requirements:

Whether or not any portion of the property on which the regulated activity is proposed is located within 500 feet of an adjoining town. Yes No

Whether or not a significant portion of the traffic to the completed project will use streets within an adjoining town to exit or enter the site. Yes No

Whether or not a significant portion of the sewer or water drainage from the project will flow through and significantly impact the sewer or water drainage system of an adjoining town. Yes No

Whether water run-off from the improved site will impact streets or other municipal/private property within an adjoining town. Yes No

FOR OFFICE USE ONLY

If YES to any of the above, the Agency shall, in accordance with CGS 8-7d(f) notify the clerk of any adjoining municipality of the pendency of any application, petition, appeal, request or plan concerning any project on any site. Notice of the pendency of such application shall be made by certified mail, return receipt requested, and shall be mailed within seven (7) days of the date of receipt of the application, petition, appeal, request or plan. **(See Agency requirements Section 8.4)**

Type of Project: (check one)

Commercial/Industrial ___ Residential ___ Mixed Use ___ Timber ___ Agricultural
___ Other, explain: _____

Type of Application: (check one)

- ___ Notification for Non-Regulated Use (Section 4.2)
- ___ Notification of Permitted Use as of Right (Section 4.1)
- ___ Administrative Permit (Section 6.4)
- Agency Permit **(TWELVE COPIES REQUIRED)**
- ___ Permit Modification
- ___ Permit Extension
- ___ Regulation Amendment
- ___ Map Amendment
- ___ Appeal of Administrative Permit

Application Submittals:

- Completed Application Form (Section 7.4a)
- Application Fee (Section 7.4b)
- Abutters List (Section 7.4c)
- Certification as to Adjacent Towns (See above)
- Certification as to Connecticut Water Company & Commissioner of Public Health (See above)
- Notification Narrative and Supporting Documentation (If applicable, Appendix D)
- Project Narrative and Supporting Documentation (Section 7.4g, 1-11 inclusive, as deemed applicable)
- Project Site Plan - circle one: Administrative (Section 7.4h1) Agency (Section 7.4h2)
- Supplemental Information (Section 7.5a-j, inclusive, as deemed applicable)



TOWN OF ELLINGTON INLAND WETLANDS & WATERCOURSES APPLICATION CHECKLIST

(For use as a guide in preparation and review of plans. Not intended to replace regulations.)

GENERAL REQUIREMENTS FOR ALL APPLICANTS

COUNTER STAFF TO CONFIRM AT TIME OF SUBMITTAL

- Complete application, signed by the owner & applicant;
- Required fee (See: Town Ordinance or Appendix A);
- Site Plan - 12 copies (Two should be 24" x 36", signed & sealed, **INCLUDING SOIL SCIENTIST'S SIGNATURE**; others may be 11" x 17" if legible);
- If the proposed project located within a public water supply watershed area the **applicant** is required to notify the Connecticut Water Company and Commissioner of Public Health by certified mail, return receipt within 7 days of this application (Conn. Gen Stat. Sec 22a-42f). Copy of application, plans, and supporting documents must accompany notice. Applicant can email the Commissioner of Public Health using their approved form. Proof of notice (return receipt and sent email) must be provided to the Planning Department.

NARRATIVE REQUIREMENTS BELOW (See Section 7.4.g)

PLEASE REVIEW WITH STAFF AS SOME ITEMS MAY NOT BE REQUIRED DEPENDING ON THE COMPLEXITY OF THE APPLICATION

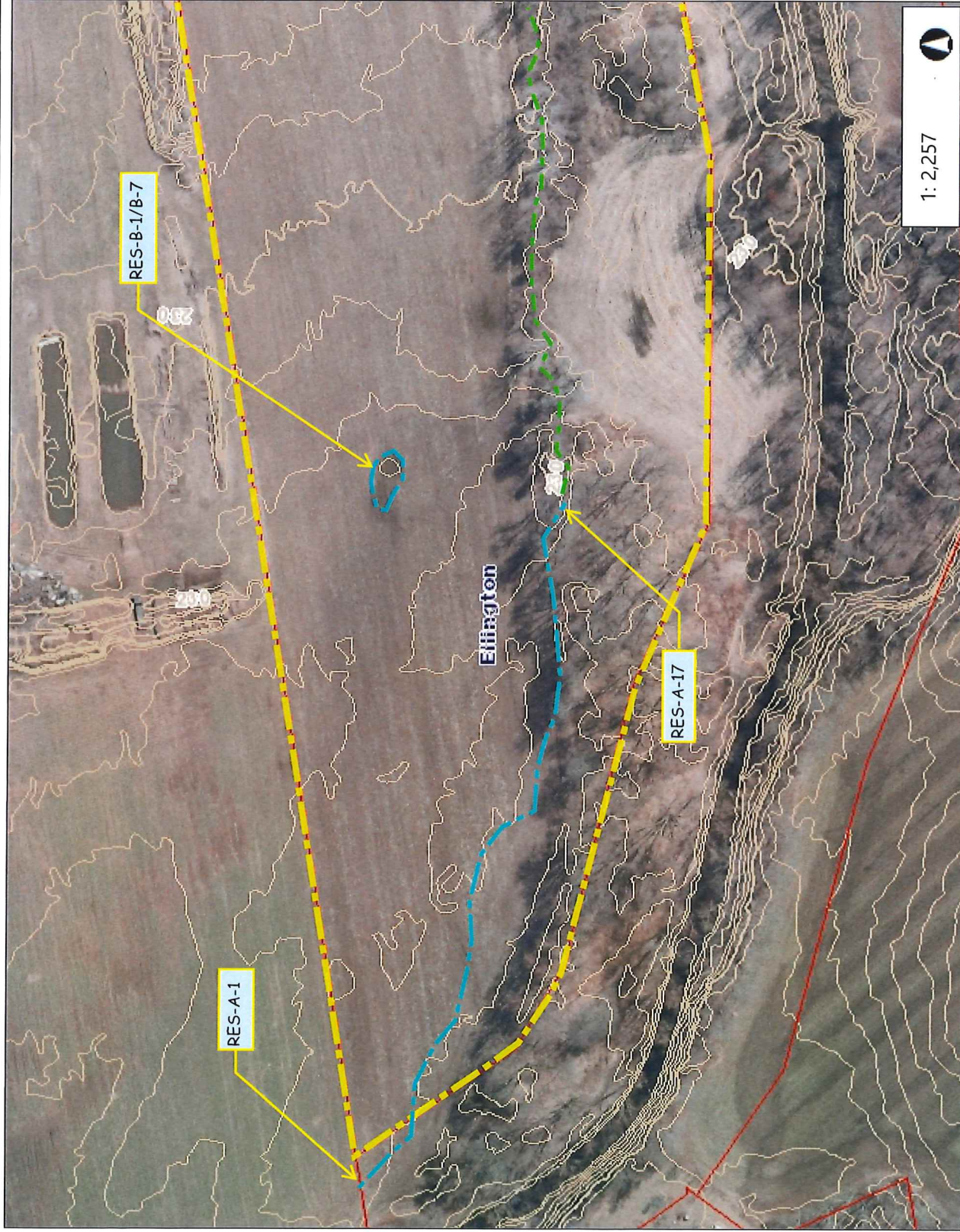
Check each item supplied or list recommended abbreviation: N/A = Not Applicable; N/P = Not Provided; W/R = Waiver Requested)

1. The amount of regulated upland review area affected, in square feet;
2. The amount of inland wetlands & watercourses affected, in square or linear feet, as applicable;
3. The overall (aggregate) area affected;
4. The amount of permanent versus temporary impact;
5. The general characteristics of the regulated areas being affected by the proposal in terms of land cover, vegetation, soil types, slope, and relationship to other regulated areas on and off the project site;
6. The purpose and a description of the proposed activity;
7. The proposed erosion and sedimentation controls and other best management practices and mitigation measures which may be considered as a condition of issuing a permit for the proposed regulated activity including, but not limited to, measures to:
 - prevent or minimize pollution or other environmental damage,
 - maintain or enhance existing environmental quality, or
 - in the following order of priority, restore, enhance and create productive wetland or watercourse resources.
8. For commercial and industrial uses, a general description of the business operations, including but not limited to:
 - the type of business,
 - production and manufacturing procedures,
 - handling and disposition of any process wastewaters, cooling waters, and/or stormwater,
 - types of materials used and stored on site,
 - spill contingency plans,
 - septic disposal (unless tied to sewers),
 - waste/refuse storage, handling and disposal, and similar operations.

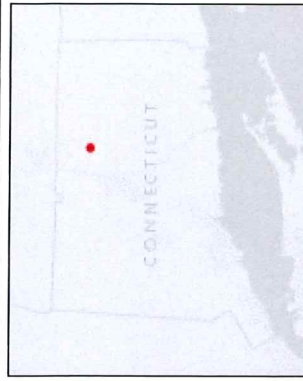
NARRATIVE continued:

- ✓ 9. For commercial and industrial uses, a list of current State of Connecticut and Federal environmental and land use permits issued for the facility. Such list shall also include a disclosure of any enforcement action taken by the State DEEP regarding the facility, either current or within the previous five years from the date of the subject application, including any consent orders, fines, penalties and/or resolution of such enforcement actions.
- ✓ 10. A construction or project narrative describing:
- method of construction,
 - duration of construction activity,
 - methods to control stormwater and limit erosion before, during & following construction,
 - type of equipment to be used,
 - type and location of access to the regulated area,
 - storage and disposal of excess materials or stockpiles,
 - type and composition of any fill material,
 - removal and disposition of trees and stumps,
 - measures to dewater, divert flows, and similar activities.
- ✓ 11. A description of any changes to water velocity, volume or course, the anticipated impacts of these changes, and measures to mitigate those impacts.
- ✓ 12. A list of any other local, State of Connecticut or U.S. environmental or land use approvals required for the proposed regulated activity such as but not limited to, DEEP Construction or Commercial Stormwater Permit Registration, Army Corp permits, ConnDOT, STC, and waste water or process water discharge permits.
- ✓ 13. Where stormwater systems are proposed, detailed storm drainage calculations, construction details and other support documentation, certified by a Professional Engineer licensed to practice in the State of Connecticut.
- ✓ 14. If the area to be disturbed is ½ acre or more in area, a detailed erosion control plan and narrative, in compliance with the latest State DEEP Guidelines for Soil Erosion and Sediment Control.
- ✓ 15. A disclosure listing any previous Ellington inland wetland permit applications and Ellington wetland enforcement actions regarding the subject parcel(s).
- ✓ 16. A graphic and textual description of all alternatives to the proposed regulated activity considered, and a general discussion of each, including the reason or reasons for choosing the proposed alternative. This requirement relates to the evaluation of the initial application only, and shall not be construed as a conclusion by the Agency or its agent that the proposed activity is "significant." The determination of significance shall be made by the Agency or its agent after review of the initial application, and if the proposed regulated activity or any component of that activity is deemed "significant," the applicant may be required by the Agency or its agent to submit a more detailed analysis of alternatives, in order to allow the Agency to make the necessary findings with respect to prudent and feasible alternatives.

If the Agency determines, based upon its review of the initial submittal that either the proposed activity involves a significant activity as determined by the Agency, or additional technical or other information is necessary in order to properly and fully evaluate the proposed activity, any or all of the additional information listed in Section 7.5 of the IWWA Regulations may be required. Submittal of additional information is guided by Section 8.6.



1: 2,257



Legend

- Parcels for Protected Open Sp
- Town Boundary
- State Boundary
- Town Boundary
- Coastline
- Light Gray Canvas Base

Wetlands delineated by REMA, March 2024

Notes

0.1 Miles
0 0.04 0.1 Miles

© Connecticut Environmental Conditions Online THIS MAP IS NOT TO BE USED FOR NAVIGATION

This map is intended for general planning, management, education, and research purposes only. Data shown on this map may not be complete or current. The data shown may have been compiled at different times and at different map scales, which may not match the scale at which the data is shown on this map.

Fifty (50) West Road, LLC – West Road Property

Narrative:

1. The amount of regulated upland review area affected, in square feet & acreage;

Total Upland Review Area (URA) disturbance = 93,700 S.F., or 2.15 Acres.

The amount of inland wetlands & watercourses affected, in square or linear feet, as applicable;

Total wetlands disturbance = 3,214 SF, permanent. Total watercourse disturbance = 20 LF (permanent).

The overall (aggregate) area affected;

Overall (aggregate wetlands, watercourses and URAs = = 96,910 S.F., or 2.22 Acres.

The amount of permanent versus temporary impact;

Permanent impacts to wetlands or watercourses = 1,788 SF and 20 LF, respectively. Impacts to URAs = 96,910 S.F., or 2.22 Acres, of that approximately 2.15 acres is permanent. However, the impacts will create approximately 3 surface acres of water quality ponds. Approximately 2.22 acres of earthen materials will be impacted in the URA and impacted wetlands during construction of the improvements. Associated potential for erosion would be temporary, with impacts terminating upon stabilization with permanent vegetation and completion of the construction of the water quality basins.

2. The general characteristics of the regulated areas being affected by the proposal in terms of land cover, vegetation, soil types, slope, and relationship to other regulated areas on and off the project site;

The majority of the site where impacts are proposed are currently (or until recently has been) in agricultural use (corn crop) and has been routinely plowed for years, including the small pocket of wetlands soils in the middle of the agricultural field that is currently farmed. The Hockanum River is located to the south of the parcel. Areas adjacent to Hockanum River are characterized as wooded with scrub growth on the periphery of the adjacent field. The soil survey indicate site soils are sandy and silty loams. A copy of the printout of soils depicted on the Web Soil Survey (NRCS) is attached.

3. The purpose and a description of the proposed activity;

The proposed activity includes development of the eastern portion of the parcel into light industrial and commercial uses. Ultimate development of the parcels will

Fifty (50) West Road, LLC – West Road Property

include four retail/commercial buildings and three light industrial buildings (tradesmen/contractor storage and operations centers. Access will be from both Lower Butcher Road and West Road. The eastern portion of the site, adjacent to the wetlands and Hockanum River will not be developed with buildings or associated paved parking or access drives, but will include stormwater management facilities to capture and treat stormwater runoff from the eastern developed portion of the parcel.

The proposed erosion and sedimentation controls and other best management practices and mitigation measures which may be considered as a condition of issuing a permit for the proposed regulated activity including, but not limited to, measures to:

- a. prevent or minimize pollution or other environmental damage,
- b. maintain or enhance existing environmental quality, or
- c. in the following order of priority, restore, enhance and create productive wetland or watercourse resources.

Proposed sediment and erosion control measures will follow the guidelines established in the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control (Guidelines). The measures include but are not limited to the use of silt fence erosion control and sediment logs in areas downgradient of earthen activities, rip rap protection on all stormwater system outlets, a construction exit, erosion control blankets on steep slopes, stabilizing vegetation, conveyance of stormwater runoff into water quality basins and control of stormwater discharge. The proposed measures are depicted on the Grading, Drainage & Soil Erosion and Sediment Control Plan and related details are shown on the Detail Sheets.

The stormwater quality basins proposed are sized to both mitigate peak rates of runoff and treat the minimum CT DEEP-recommended water quality volume. Plantings in the basin will include wetlands and transition species native to the area. These plantings will help promote uptake and filtration of stormwater and assist in the settling of pollutants in the basins main pool and sediment forebay. These measures will protect the receiving watercourse into which stormwater from the site's developed areas will be discharged. The water quality basins are designed to minimize pollution to the receiving watercourse.

The wetlands in the center of the corn field (0.04 acres) has been highly impacted for years by agricultural activities and is a low function wetland. The wetlands adjacent to the Hockanum River are of higher value and function. Care was taken in the design of the site development to minimize impact to these wetlands adjacent to the Hockanum River. The shortest route that would have the least impact on these wetlands was selected. The design of the site maintains an approximate 50-foot no-disturb buffer adjacent to

Fifty (50) West Road, LLC – West Road Property

these wetlands. Currently, most of this 50-foot buffer is plowed annually for crop planting. Once the site work for construction of the water quality basins is completed, this 50-foot buffer area will be planted in conservation seed mix and allowed to go fallow. This will create a natural transition between the water quality basins and the adjacent wetlands and offer a level of protection to both the wetlands and the Hockanum River Replacing approximately 1.2 acres of active agricultural use within 50-ft of a wetland with a natural vegetative buffer will provide for mitigation of the 0.4 acres of wetlands directly disturbed in the farm field.

Additionally, although designed for treatment of stormwater runoff, the water quality basins will develop many of the same characteristics of a wetland and shallow waterbody, thus creating productive wetlands/waterbody resources in an area that is currently routinely farmed.

4. For commercial and industrial uses, a general description of the business operations, including but not limited to:
 - a. the type of business,
 - b. production and manufacturing procedures,
 - c. handling and disposition of any process wastewaters, cooling waters, and/or stormwater,
 - d. types of materials used and stored on site,
 - e. spill contingency plans,
 - f. septic disposal (unless tied to sewers),
 - g. waste/refuse storage, handling and disposal, and similar operations.

The type of business proposed is both light industrial and commercial. The light industrial will consist of contractor/tradesmen office and inside storage/operations areas. Two of the buildings will have at-grade access for loading. The third will have both access at grade and depressed loading docks. There are no production or manufacturing activities proposed. An outside storage area is proposed and is anticipated may be used by a contractor that requires outside storage of equipment or inert materials. The commercial component will consist of retail, office and possible restaurant uses.

There will be no processed wastewater associated with the proposed uses. There are no cooling waters generated with the proposed uses. Stormwater will be collected by conventional storm drain collections systems and discharged to stormwater quality basins designed to mitigate peak rates of runoff and treat the minimum water quality volume.

Sanitary sewer service is available at the site (in West Road and along the northern boundary of the parcel). Adequate sewer allocation is available for the proposed uses. There are no septic systems proposed.

Fifty (50) West Road, LLC – West Road Property

All generated waste will be disposed in on-site dumpsters for off-site disposal.

5. For commercial and industrial uses, a list of current State of Connecticut and Federal environmental and land use permits issued for the facility. Such list shall also include a disclosure of any enforcement action taken by the State DEEP regarding the facility, either current or within the previous five years from the date of the subject application, including any consent orders, fines, penalties and/or resolution of such enforcement actions.

There are no known State or Federal permits issued for the parcel. The proposal will, however, include an Encroachment Permit from The State of Connecticut DOT for the driveway curb cut to West Road. This permit is applied for and issued subsequent to receipt of local land use permits. There are no known enforcement actions taken by the CT DEEP on this parcel.

The proposal will require registration with the CT DEEP for the construction General Permit for stormwater discharges.

6. A construction or project narrative describing:
 - a. method of construction,
 - b. duration of construction activity,
 - c. methods to control stormwater and limit erosion before, during & following construction,
 - d. type of equipment to be used,
 - e. type and location of access to the regulated area,
 - f. storage and disposal of excess materials or stockpiles,
 - g. type and composition of any fill material,
 - h. removal and disposition of trees and stumps,
 - i. measures to dewater, divert flows, and similar activities.

Methods of construction will include those typical of site development using heavy and light equipment by skilled operators and hand tools and manual labor for: installation of erosion control devices, construction of temporary sediment control traps and diversion swales, stripping and stockpiling of topsoil, rough grading of site and construction of water quality basin and outlet controls, construction of storm drainage systems, construction of pavement subgrades and processed base courses and gravel drives and cart paths, construction of building foundations and structures, placement of bituminous pavement section, installation of plantings and establishment of stabilizing vegetation, pavement markings and signage.

It is anticipated that construction of the industrial buildings would begin in the summer of 2024 and be completed in the fall of 2026. The commercial buildings will be constructed as market conditions dictate.

During construction stormwater would be controlled by diverting runoff into

Fifty (50) West Road, LLC – West Road Property

temporary sediment traps. It is anticipated that one temporary basin would be constructed along the north boundary of the site, adjacent to the Natural Country Foods parcel and another in the area of Water Quality Basin #2 and diverting surface runoff into the temporary basins. As the site becomes stabilized, accumulated sediments would be removed from the temporary basins and the final water quality basins would be completed with specified vegetation. Once all disturbed areas are adequately vegetated, the temporary erosion control devices would be removed.

Equipment used would include excavators, dozers, dump trucks, water trucks, skid steers, compactors, graders, etc.

Access to the regulated areas in the areas of the proposed water quality basins would be via a constructed gravel access road constructed around the perimeters of the water quality basins.

Soil stockpiles are proposed outside of the upland review areas of the site. It is anticipated that construction laydown areas and raw material storage areas would also be outside of the upland review, near Building #7.

Overall, the site will require import of fill. It is anticipated that materials removed for the excavation of the water quality basins will be used as fill for construction in the areas of the industrial buildings. Construction in the commercial building areas will require import of fill. Removal of topsoil and replacement with an equal amount of gravel fill and processed stone is anticipated. Imported materials will include soil and processed clean fill, bituminous materials, and building construction materials.

There are few trees and shrubs on the parcel that will require removal for the construction of the water quality basin outfalls. Those removed would be disposed offsite.

Surface water runoff would be diverted into temporary sedimentation basins during construction. Dewatering will likely be required during construction of the water quality basins. Dewatering waste waters will be collected and discharged to a dewatering filter pit in upland areas. The procedures for dewatering will follow the requirements of the Guidelines. The proposed location of the dewatering settling basin is shown on Sheet EC-2.

7. A description of any changes to water velocity, volume or course, the anticipated impacts of these changes, and measures to mitigate those impacts.

The proposed water quality basins are designed to mitigate any increase in peak rate of runoff from the site. The outflow from the basins will be discharged into the Hockanum River at the west end of the parcel. Under existing conditions, runoff from the parcel flows both westward to the river and north through the Natural

Fifty (50) West Road, LLC – West Road Property

Country Farms Site. Runoff from the CT DOT drainage system that drains West Road and areas east of West Road also flows through the parcel and north into the Natural Country Farms Site. The proposed development maintains flow to both the north and west. The water quality basins and outlet controls reduce peak rated of runoff to the west to below existing conditions peak rates of runoff. Flow is also proportioned so that no increase of flow to the north is realized.

8. A list of any other local, State of Connecticut or U.S. environmental or land use approvals required for the proposed regulated activity such as but not limited to, DEEP Construction or Commercial Stormwater Permit Registration, Army Corp permits, Conn DOT, OSTA, and wastewater or process water discharge permits.

The project will require registration for a General Permit for the Discharge of Stormwater and Dewatering Wastewaters from Construction Activities by the CT DEEP. A determination from OSTA will be required and an encroachment permit will be required from the CT DOT District Office. The permit procurement process related to these permits will begin subsequent of issuance of the local land use permits.

9. Where stormwater systems are proposed, detailed storm drainage calculations, construction details and other support documentation, certified by a Professional Engineer licensed to practice in the State of Connecticut.

A comprehensive stormwater management report accompanies the applications.

10. If the area to be disturbed is ½ acre or more in area, a detailed erosion control plan and narrative, in compliance with the latest State DEEP Guidelines for Soil Erosion and Sediment Control.

The submittal package includes Sheets EC-1, EC-2 and EC-3 (Soil Erosion and Sediment Control Plans), that includes a narrative. The detail sheets also include erosion control details.

11. A disclosure listing any previous Ellington inland wetland permit applications and Ellington wetland enforcement actions regarding the subject parcel(s).

None are known

12. A graphic and textual description of all alternatives to the proposed regulated activity considered, and a general discussion of each, including the reason or reasons for choosing the proposed alternative. This requirement relates to the evaluation of the initial application only and shall not be construed as a conclusion by the Agency or its agent that the proposed activity is "significant."

Fifty (50) West Road, LLC – West Road Property

The determination of significance shall be made by the Agency or its agent after review of the initial application, and if the proposed regulated activity or any component of that activity is deemed "significant," the applicant may be required by the Agency or its agent to submit a more detailed analysis of alternatives, in order to allow the Agency to make the necessary findings with respect to prudent and feasible alternatives.

The proposal includes two direct wetlands impacts: 1) the impact associated with the 1,788 S.F. wetlands in the corn field, and 2) the impact associated with the storm drain discharge from the water quality basin.

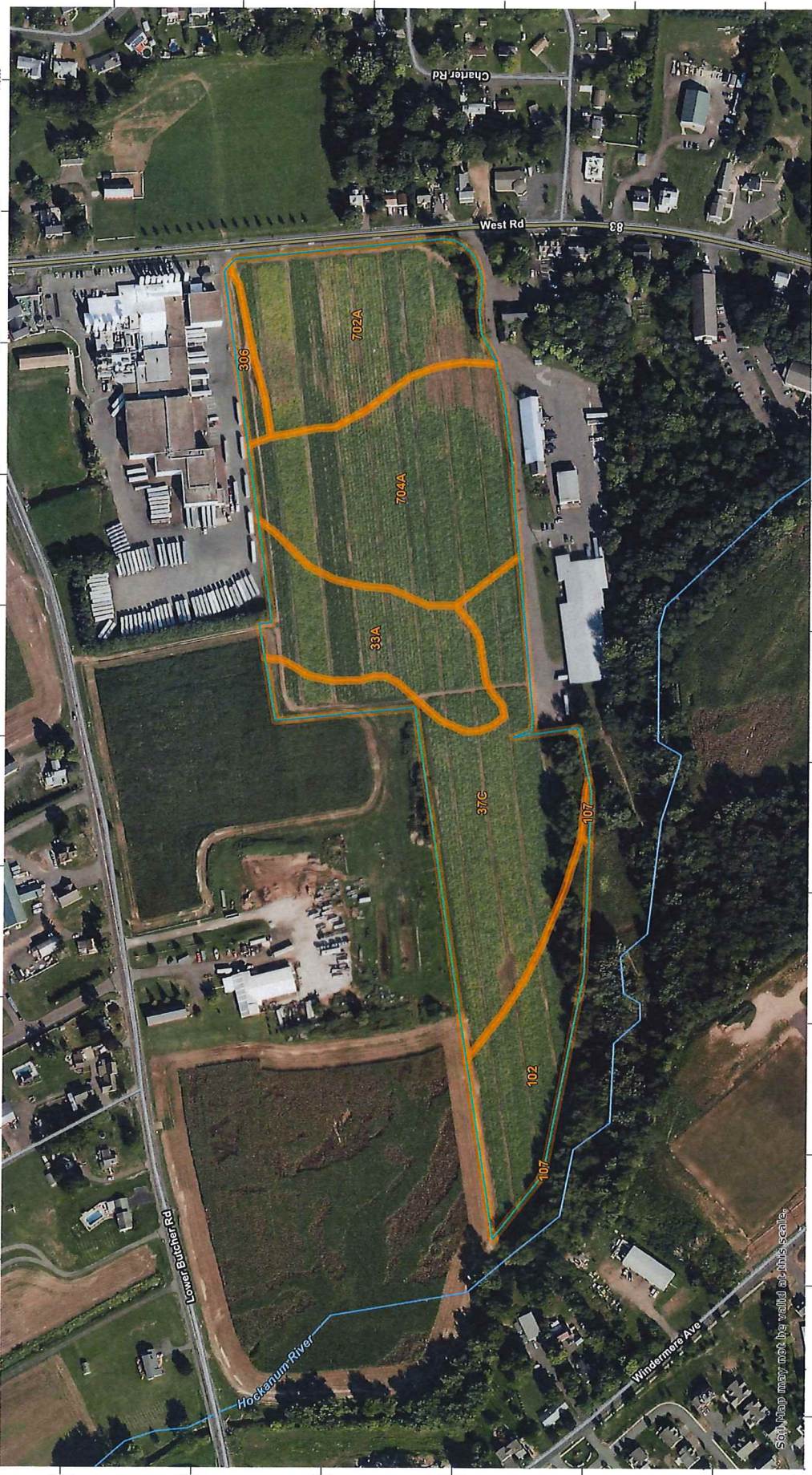
The 1,788 S.F. wetlands in the field have been highly impacted over the years and have very low functionality. The stormwater management basins require a large surface area to attain the minimum required storage volumes in an area of the site with little elevation difference between the discharge and inflow elevations. The only feasible option for locating the required stormwater quality basins is in the farmed field, as the field is hydraulically down-gradient of the developed portions of the site. The required size of the basins results in impacts to the small, isolated pocket of wetlands soils. There are no other feasible or prudent alternatives for the location of the basins. As such, impacts to this small-isolated wetland is proposed to be mitigated by providing an extensive, natural vegetative buffer between the water quality basins and the wetlands adjacent to the Hockanum River.

The location of the stormwater outfall and associated piping provides for the least direct wetlands impact, as the location is the narrowest stretch of wetlands between the parcel and the Hockanum River. Any other location on the site would result in a greater wetlands impact.

Soil Map—State of Connecticut
(SOILS - PARCEL BOUNDARY)

72° 28' 29" W 708600 708700 708800 708900 709000 709100 710000 710100 710200 710300 710400 710500 710600 710700 710800 710900 711000 72° 27' 47" W

41° 52' 36" N 4629000 4629100 4629200 4629300 4629400 4629500 4629600 4629700 4629800 4629900 4630000 41° 52' 18" N



Soil Map may not be valid at this scale.

Map Scale: 1:3,000 if printed on B landscape (17" x 11") sheet.
 0 40 80 160 320 Meters
 0 100 200 400 600 Feet
 Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 18N WGS84

Natural Resources
Conservation Service

Web Soil Survey
National Cooperative Soil Survey

MAP LEGEND

- Area of Interest (AOI)
- Area of Interest (AOI)
- Soils
- Soil Map Unit Polygons
- Soil Map Unit Lines
- Soil Map Unit Points
- Special Point Features
- Blowout
- Borrow Pit
- Clay Spot
- Closed Depression
- Gravel Pit
- Gravelly Spot
- Landfill
- Lava Flow
- Marsh or swamp
- Mine or Quarry
- Miscellaneous Water
- Perennial Water
- Rock Outcrop
- Saline Spot
- Sandy Spot
- Severely Eroded Spot
- Sinkhole
- Slide or Slip
- Sodic Spot
- Spoil Area
- Stony Spot
- Very Stony Spot
- Wet Spot
- Other
- Special Line Features
- Water Features
- Streams and Canals
- Transportation
- Rails
- Interstate Highways
- US Routes
- Major Roads
- Local Roads
- Background
- Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:12,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: State of Connecticut
Survey Area Data: Version 22, Sep 12, 2022

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jun 14, 2022—Oct 6, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
33A	Hartford sandy loam, 0 to 3 percent slopes	3.4	13.1%
37C	Manchester gravelly sandy loam, 3 to 15 percent slopes	7.1	27.3%
102	Pootatuck fine sandy loam	3.2	12.2%
107	Limerick and Lim soils	0.1	0.2%
306	Udorthents-Urban land complex	0.5	1.8%
702A	Tisbury silt loam, 0 to 3 percent slopes	5.1	19.7%
704A	Enfield silt loam, 0 to 3 percent slopes	6.7	25.7%
Totals for Area of Interest		26.0	100.0%



REPORT DATE: February 28, 2024

PAGE 1 OF 3

REMA ECOLOGICAL SERVICES, LLC

43 Blue Ridge Drive, Vernon, CT 06066

860.649.REMA (7362) / 860.883.8690

ON-SITE SOIL INVESTIGATION & WETLAND DELINEATION REPORT

PROJECT NAME & SITE LOCATION:

+/- 25.91 acres (Study Area)

50 West Road

Ellington, CT

REMA Job No.: 23-2594-ELL26

Field Investigation Date(s): 2/27, 3/23/2023

Field Investigation Method(s):

Spade and Auger

Backhoe Test Pits

Other: _____

REPORT PREPARED FOR:

Fifty (50) West Road, LLC

2 Center Square East

Longmeadow, MA 01028

Field Conditions:

Weather: Mostly Sunny, 40s to 60s

Soil Moisture: Low-moderate

Snow Depth: none

Frost Depth: none

RECEIVED

FEB 29 2024

**TOWN OF ELLINGTON
PLANNING DEPARTMENT**

Purpose of Investigation:

- Wetland Delineation/Flagging in Field
- Wetland Mapping on Sketch Plan or Topographic Plan
- High Intensity Soil Mapping by Soil Scientist
- Medium Intensity Soil Mapping from *The Soil Survey of Connecticut* Maps (USDA-NRCS)
- Other: _____

Base Map Source: CT Soil Survey web; USDA-NRCS (attached), Figure A (attached)

Wetland Boundary Marker Series: RES-A-1 to RES-A-39 (open line); RES-B-1 to RES-B-7 (closed loop)

General Site Description/Comments: The "study area" or "site" consists of a +/- 25.91-acre, commercially zoned parcel, to the west of West Road, in Ellington, CT. The Hockanum River flows just off the southwestern boundary of the site. In its present state the site is characterized mostly by a large agricultural field, used to grow silage corn. The southwestern portion of the site also contains a floodplain forested wetland, a wet meadow, and scrub shrub wetland cover types. A small portion of the delineated wetland has also been put to agriculture. The site's soils are derived from both glaciofluvial (i.e., stratified sand and gravel), and alluvial (i.e., stratified sand and silt) deposits, including within the delineated wetlands. With the exception of a very small, isolated wetland pocket (B-series), which is mapped as the poorly drained Aquents (306w), that is disturbed soils, the balance of the site is characterized by undisturbed (except for the plow layer) soil types. The wetland-type soils are the Pootatuck (102) soils series and the Limerick & Lim (107) soil series complex. The upland-type soils include the Manchester (37), Enfield (704), Tisbury (702), and Hartford (33) soil series. The woody vegetation associated with the delineated wetlands (outside of the agricultural field) includes silver maple, butternut, apple, black cherry, boxelder, sycamore, cottonwood, pin oak, and tree-of-heaven, in the overstory. The woody understory includes Japanese knotweed, multiflora rose, gray and silky dogwoods, willows, Morrow's honeysuckle, and elderberry. Observed herbs include sedges, sensitive fern, jewelweed, poison ivy, asters, roughstem and tall goldenrods, Evening primrose, red top, garlic mustard, and reed canary grass. Lianas include Asiatic bittersweet, fox grape, and poison ivy.

ON-SITE SOIL INVESTIGATION & WETLAND DELINEATION REPORT (CONTINUED)

PROJECT NAME & SITE LOCATION: +/- 25.91 acres (Study Area)
50 West Road, Ellington, CT

SOIL MAP UNITS**Upland Soils**

Enfield silt loam (704). This series consists of deep, well drained soils formed in a coarse-silty mantle underlain by sandy water deposited glacial outwash materials. They are level to very steep soils on outwash plains and high stream terraces. The soils formed in loamy over stratified sandy and gravelly glacial outwash derived mainly from a variety of acid rocks. Typically, these soils have a dark grayish brown silt loam surface layer 8 inches thick. The subsoil from 8 to 26 inches is strong brown and light olive brown silt loam. The substratum from 26 to 60 inches is brown to reddish brown is stratified sand and gravel.

Tisbury silt loam (702). This series consists of deep, moderately well drained soils formed in a coarse-silty mantle underlain by sandy water deposited glacial outwash materials. They are level to gently sloping soils in broad drainage swales and low lying positions on outwash plains and terraces. The soils formed in loamy over stratified sandy and gravelly glacial outwash derived mainly from a acid crystalline rocks (granite, gneiss and schist). Typically, these soils have a very dark grayish brown silt loam surface layer 8 inches thick. The subsoil from 8 to 26 inches is yellowish brown and brownish yellow silt loam, with mottles common below 16 inches. The substratum from 26 to 60 inches is grayish brown, mottled stratified sand and gravel.

Hartford sandy loam (33). The Hartford series consists of deep, somewhat excessively drained soils formed in a coarse-loamy mantle underlain by sandy water deposited glacial outwash materials. They are level to very steep soils on outwash plains and high stream terraces. The soils formed in loamy over stratified sandy and gravelly glacial outwash derived mainly from Triassic sandstone, shale, conglomerate and basalt. Typically, these soils have a dark brown sandy loam surface layer 9 inches thick. The upper part of the subsoil from 9 to 16 inches is yellowish red sandy loam. The lower part of the subsoil from 16 to 24 inches is reddish brown loamy sand. The substratum from 24 to 60 inches is reddish brown gravelly stratified sand and gravel.

Manchester gravelly sandy loam (37). This series consists of very deep, excessively drained soils formed in a shallow, loamy sand mantle underlain by gravelly sand, water deposited glacial outwash materials. They are level to very steep soils on outwash plains, terraces, deltas, kames and eskers. The soils formed in loamy over stratified sandy and gravelly glacial outwash derived mainly from Triassic sandstone, shale, conglomerate and basalt. Typically, these soils have a reddish brown gravelly sandy loam surface layer 6 inches thick. The subsoil layer from 6 to 16 inches is yellowish red gravelly sandy loam. The substratum from 16 to 60 inches is yellowish brown stratified sand and gravel.

Wetland Soils

Pootatuck fine sandy loam (102). This series consists of deep, moderately well drained soils formed in coarse-loamy, alluvial sediments. They are nearly level soils on floodplains of rivers and major streams. The soils formed in recent alluvium derived mainly from schist, gneiss or granite. Typically, these soils have a very dark grayish brown fine sandy loam surface layer 5 inches thick. The subsoil from 5 to 30 inches is dark yellowish brown fine sandy loam in the upper subsoil and dark brown, mottled sandy loam in the lower subsoil. From 30 to 60 inches the substratum is dark brown and grayish brown, mottled gravelly sand.

ON-SITE SOIL INVESTIGATION & WETLAND DELINEATION REPORT (CONTINUED)

PROJECT NAME & SITE LOCATION: +/- 25.91 acres (Study Area)
50 West Road, Ellington, CT

SOIL MAP UNITS

Limerick and Lim silt loams (107). The Limerick series consists of deep, poorly drained soils formed in coarse-silty, alluvial sediments. They are nearly level soils on floodplains along low gradient rivers and streams, subject to frequent flooding. They are in relatively low areas. The soils formed in recent alluvium derived from a variety of crystalline and acid rocks. Typically, the Limerick soil has a very dark grayish brown silt loam surface layer 8 inches thick. The substratum from 8 to 60 inches consists of olive gray and dark gray, mottled layers of silt loam and very fine sandy loam.

The Lim series consists of very deep, poorly drained loamy soils formed in alluvial sediments. They are nearly level soils on flood plains and are subject to frequent flooding. The slope ranges from 0 to 3 percent. Saturated hydraulic conductivity ranges from moderately low to moderately high in the solum and high or very high in the sandy substratum, which typically begins below 29 inches. Lim soils formed in recent alluvium derived from mixed crystalline and sedimentary rocks.

Aquents (306W). This soil map unit consists of poorly drained and very poorly drained, disturbed land areas. They are most often found on landscapes which have been subject to prior filling and/or excavation activities. In general, this soil map unit occurs where two or more feet of the original soil surface has been filled over, graded or excavated. The Aquents are characterized by a seasonal to prolonged high ground water table and either support or are capable of supporting wetland vegetation. Aquents are recently formed soils which have an aquic moisture regime. An aquic moisture regime is associated with a reducing soil environment that is virtually free of dissolved oxygen because the soil is saturated by groundwater or by water of the capillary fringe. The key feature is the presence of a ground water table at or very near to the soil surface for a period of fourteen days or longer during the growing season.

Any accompanying soil logs and soil maps, and the on-site soil investigation narrative are in accordance with the taxonomic classification of the National Cooperative Soil Survey of the USDA Natural Resource Conservation Service, and with the Connecticut Soil Legend (DEP Bulletin No.5, 1983), as amended by USDA-NRCS. Jurisdictional wetland boundaries were delineated pursuant to the Connecticut General Statutes (CGS Sections 22a-36 to 22a-45), as amended. The site investigation was conducted and/or reviewed by the undersigned Registered Soil Scientist(s) [registered with the Society of Soil Scientists of Southern New England (SSSSNE) in accordance with the standards of the Federal Office of Personnel Management].

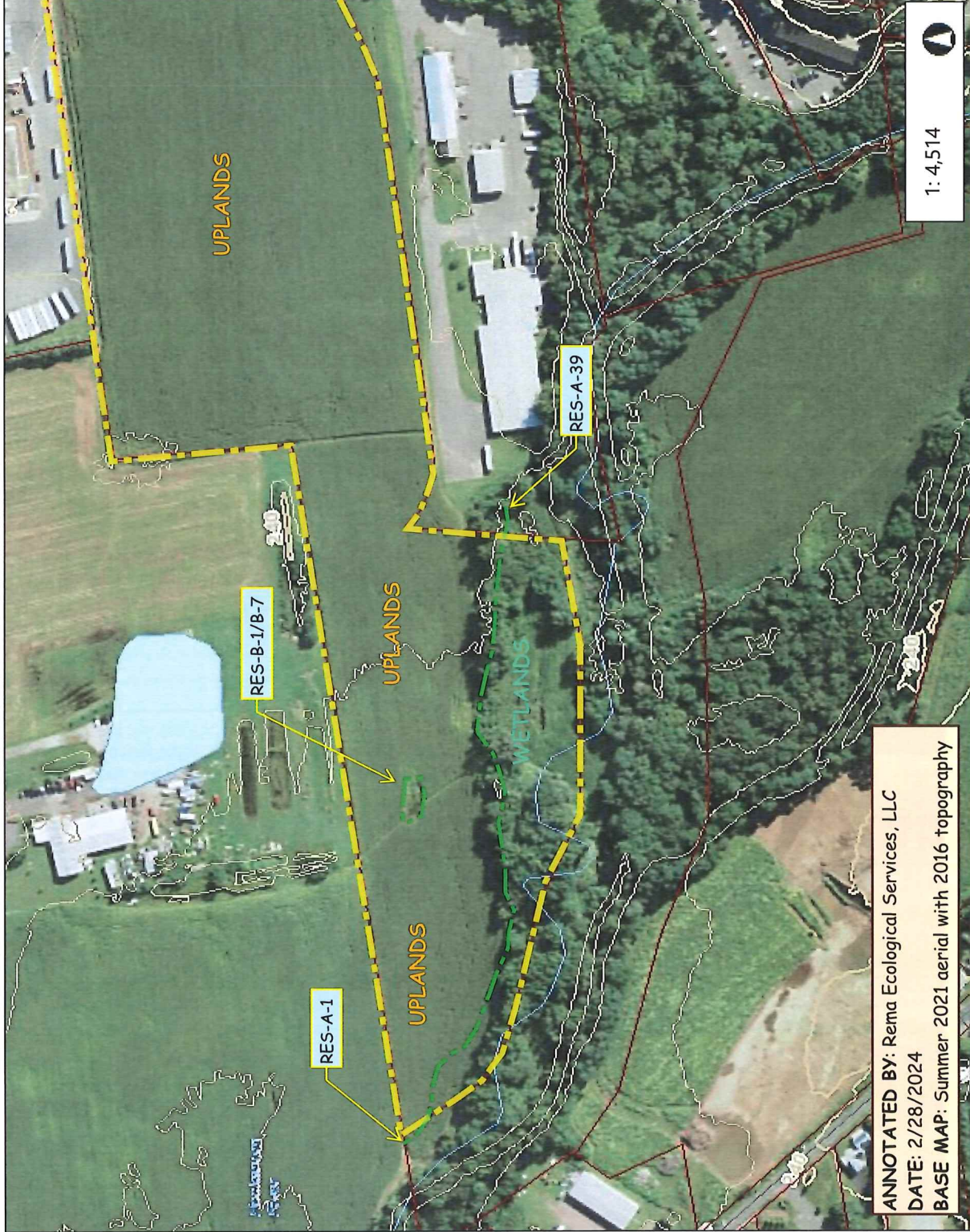
Respectfully submitted,

REMA ECOLOGICAL SERVICES, LLC



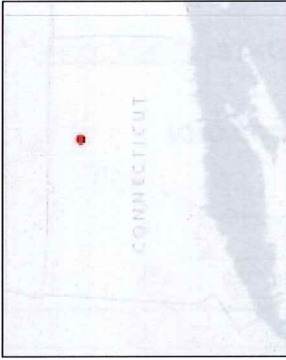
George T. Logan, MS, PWS, CSE
Registered Professional Soil Scientist
Field Investigator/Senior Reviewer

FIGURE A: WETLAND DELINEATIONS SKETCH MAP
50 West Road, Ellington, CT



ANNOTATED BY: Rema Ecological Services, LLC
DATE: 2/28/2024
BASE MAP: Summer 2021 aerial with 2016 topography

1: 4,514



Legend

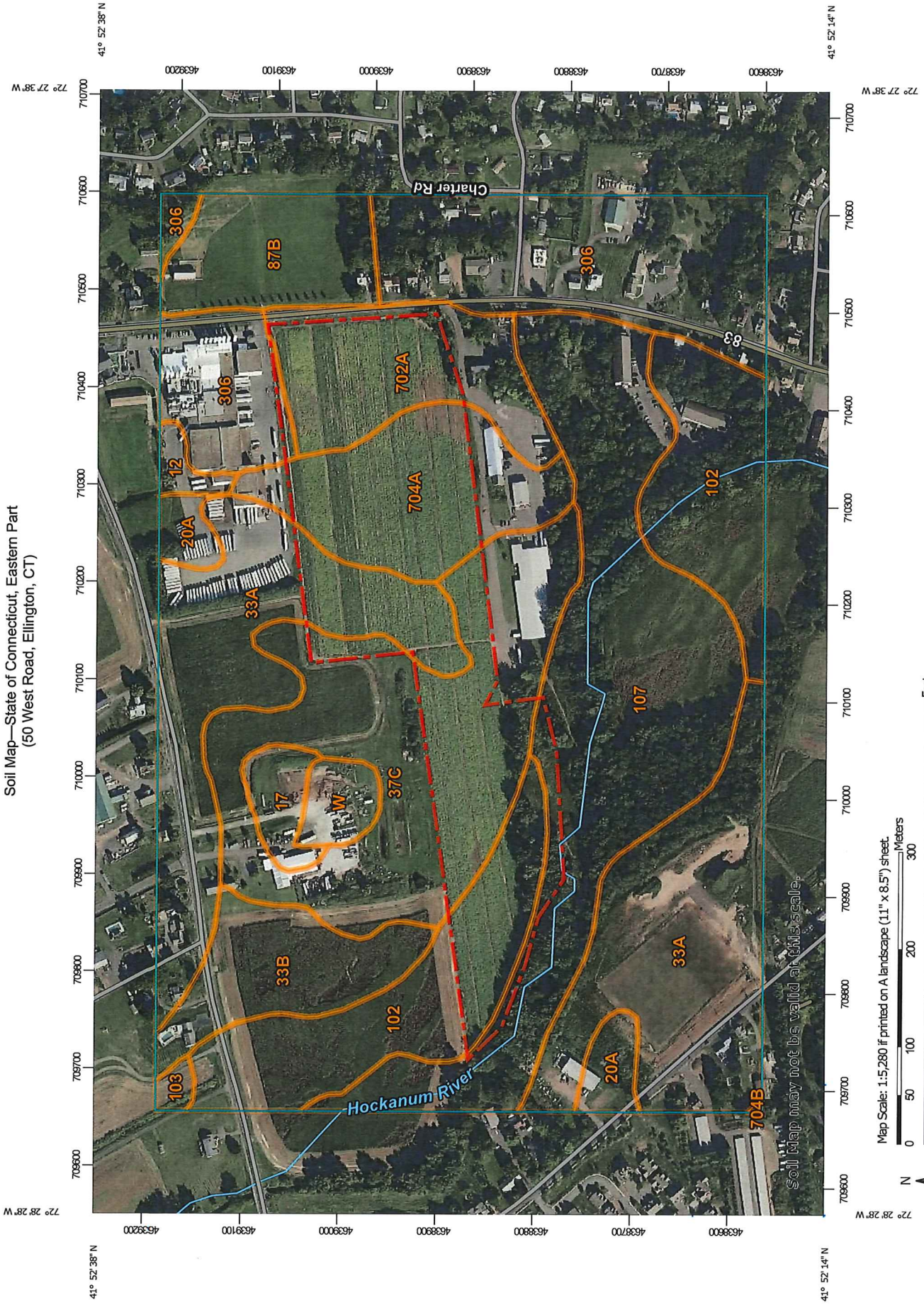
- Federal Open Space
- DEEP Property
- State Forest
- State Park
- State Park Scenic Reserve
- State Park Trail
- Natural Area Preserve
- Historic Preserve
- Wildlife Area
- Wildlife Sanctuary
- DEP Owned Waterbody
- Water Access
- Flood Control
- Fish Hatchery
- Other
- Parcels for Protected Open Sp
- Geographic Names7
- Geographic Place 3
- Airport
- Airport
- Helipoint
- Railroad
- Streets
- Interstate Highway
- US Highway
- State Highway

Notes

This map is intended for general planning, management, education, and research purposes only. Data shown on this map may not be complete or current. The data shown may have been compiled at different times and at different map scales, which may not match the scale at which the data is shown on this map.

© Connecticut Environmental Conditions Online THIS MAP IS NOT TO BE USED FOR NAVIGATION

Soil Map—State of Connecticut, Eastern Part
(50 West Road, Ellington, CT)










































Map Scale: 1:5,280 if printed on A landscape (11" x 8.5") sheet.

Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 18N WGS84

Soil Map may not be valid at this scale.

MAP LEGEND

 Area of Interest (AOI)	 Spoil Area
 Soils	 Stony Spot
 Area of Interest (AOI)	 Very Stony Spot
 Soil Map Unit Polygons	 Wet Spot
 Soil Map Unit Lines	 Other
 Soil Map Unit Points	 Special Line Features
 Special Point Features	 Streams and Canals
 Blowout	 RAILS
 Borrow Pit	 Interstate Highways
 Clay Spot	 US Routes
 Closed Depression	 Major Roads
 Gravel Pit	 Local Roads
 Gravelly Spot	 Aerial Photography
 Landfill	
 Lava Flow	
 Marsh or swamp	
 Mine or Quarry	
 Miscellaneous Water	
 Perennial Water	
 Rock Outcrop	
 Saline Spot	
 Sandy Spot	
 Severely Eroded Spot	
 Sinkhole	
 Slide or Slip	
 Sodic Spot	

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:12,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: State of Connecticut, Eastern Part
Survey Area Data: Version 1, Sep 15, 2023

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jun 14, 2022—Oct 6, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
12	Raypol silt loam, 0 to 3 percent slopes	0.8	0.5%
17	Timakwa and Natchaug soils, 0 to 2 percent slopes	1.7	1.2%
20A	Ellington silt loam, 0 to 5 percent slopes	2.3	1.6%
33A	Hartford sandy loam, 0 to 3 percent slopes	28.2	19.4%
33B	Hartford sandy loam, 3 to 8 percent slopes	6.1	4.2%
37C	Manchester gravelly sandy loam, 3 to 15 percent slopes	20.4	14.0%
87B	Wethersfield loam, 3 to 8 percent slopes	6.0	4.1%
102	Pootatuck fine sandy loam	17.4	11.9%
103	Rippowam fine sandy loam	0.4	0.3%
107	Limerick and Lim soils, 0 to 3 percent slopes, frequently flooded	25.1	17.2%
306	Udorthents-Urban land complex	18.4	12.6%
702A	Tisbury silt loam, 0 to 3 percent slopes	8.2	5.6%
704A	Enfield silt loam, 0 to 3 percent slopes	9.2	6.3%
704B	Enfield silt loam, 3 to 8 percent slopes	0.0	0.0%
W	Water	1.5	1.1%
Totals for Area of Interest		145.6	100.0%

INDUSTRIAL/COMMERCIAL DEVELOPMENT

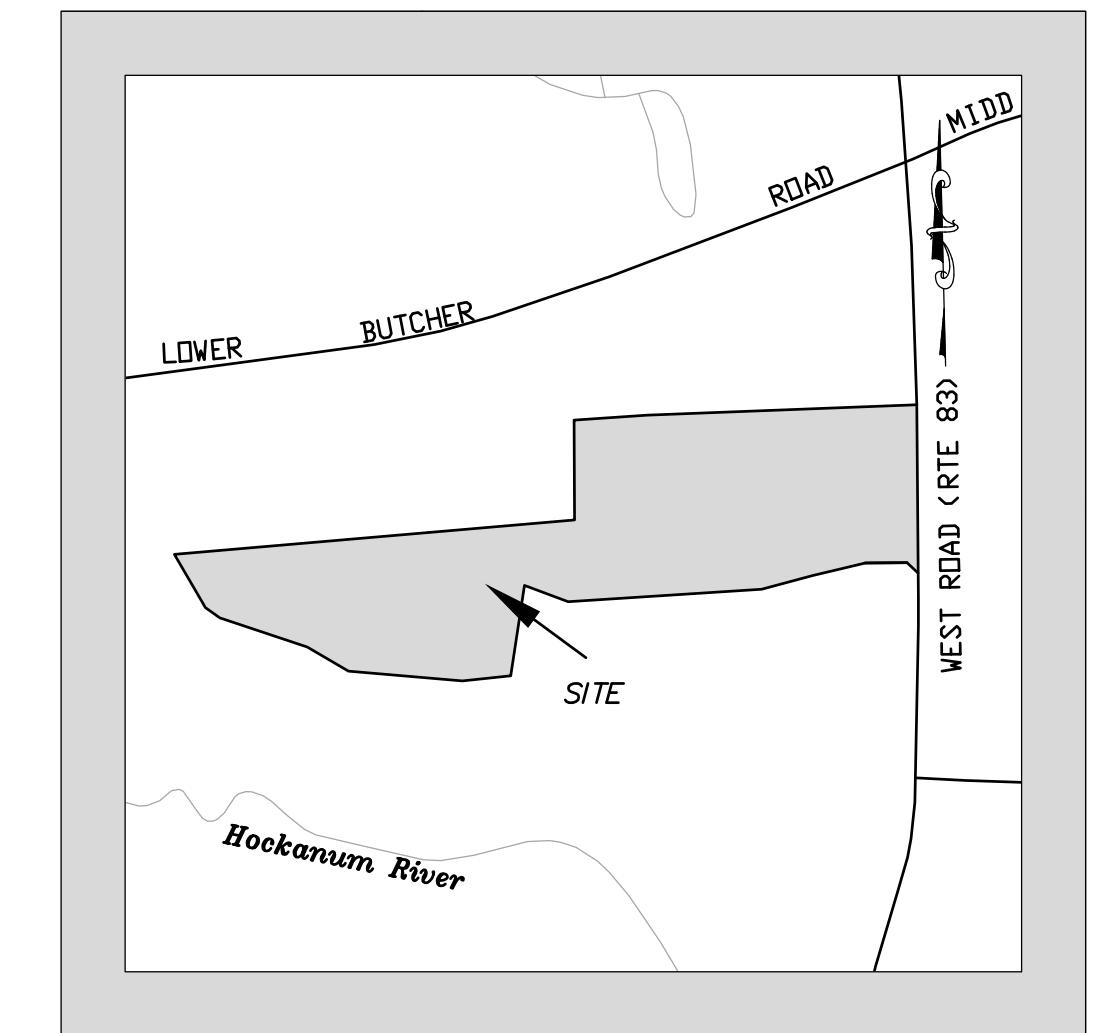
50 West Road

APN: 019-005-000

Ellington, Connecticut

Inland Wetlands & Watercourses Agency Application

February 2, 2024

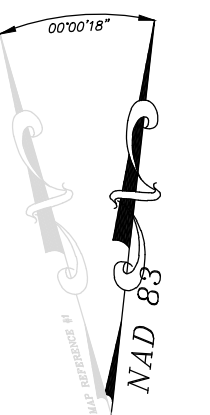


DEVELOPMENT TEAM

Property Owner	Fifty (50) West Road, LLC.
Applicant/Developer	Fifty (50) West Road, LLC.
Civil Engineer	F. A. Hesketh & Associates, Inc.
Landscape Architect	F. A. Hesketh & Associates, Inc.
Land Surveyor	F. A. Hesketh & Associates, Inc.
Wetland Consultant	REMA Ecological Services, LLC.

LIST OF DRAWINGS

	Title Sheet
LA-1 thru LA-3	Layout Plan
LS-1 thru LS-3	Landscape Plan
GR-1 thru GR-3	Grading and Drainage Plan
EC-1 thru EC-3	Soil Erosion and Sedimentation Control Plan
UT-1 & UT-2	Utility Plan
SD-1 thru SD-6	Site Details
PS-1	Property/Topographic Survey



PROPOSED ACCESS AND UTILITY EASEMENT IN FAVOR OF FIFTY (50) WEST ROAD, LLC.

N/F
ROGER E. MOSER
E.L.R. VOL: 454 PG: 1133

REVISED EASEMENT PER IMPROVEMENT LOCATION SURVEY SANITARY SEWER RELOCATION PREPARED FOR COUNTRY PURE FOODS, ELLINGTON, CT. SCHINDLER SURVEYS LAND BOUNDARY CONSULTANTS ELLINGTON, CONNECTICUT DATED: 12/10/99 SCALE: 1"=40'

N/F
NATURAL COUNTRY FARMS, INC
E.L.R. VOL: 429 PG: 995

20' SAN. SEWER EASEMENT IN FAVOR OF THE TOWN OF ELLINGTON
E.L.R. VOL: 119 PG: 1075

CONTROL POINT
CP#601
N=879971.44
E=1078044.08
ELEV.=244.31

PROPOSED SLOPE EASEMENT IN FAVOR OF THE TOWN OF ELLINGTON
SEE MAP REFERENCE #9

PROPOSED SIDEWALK EASEMENT IN FAVOR OF THE TOWN OF ELLINGTON
SEE MAP REFERENCE #9

N/F
FARM HOLDINGS, LLC.
E.L.R. VOL: 463 PG: 178

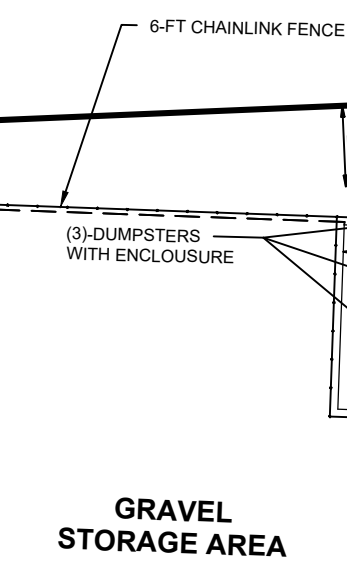
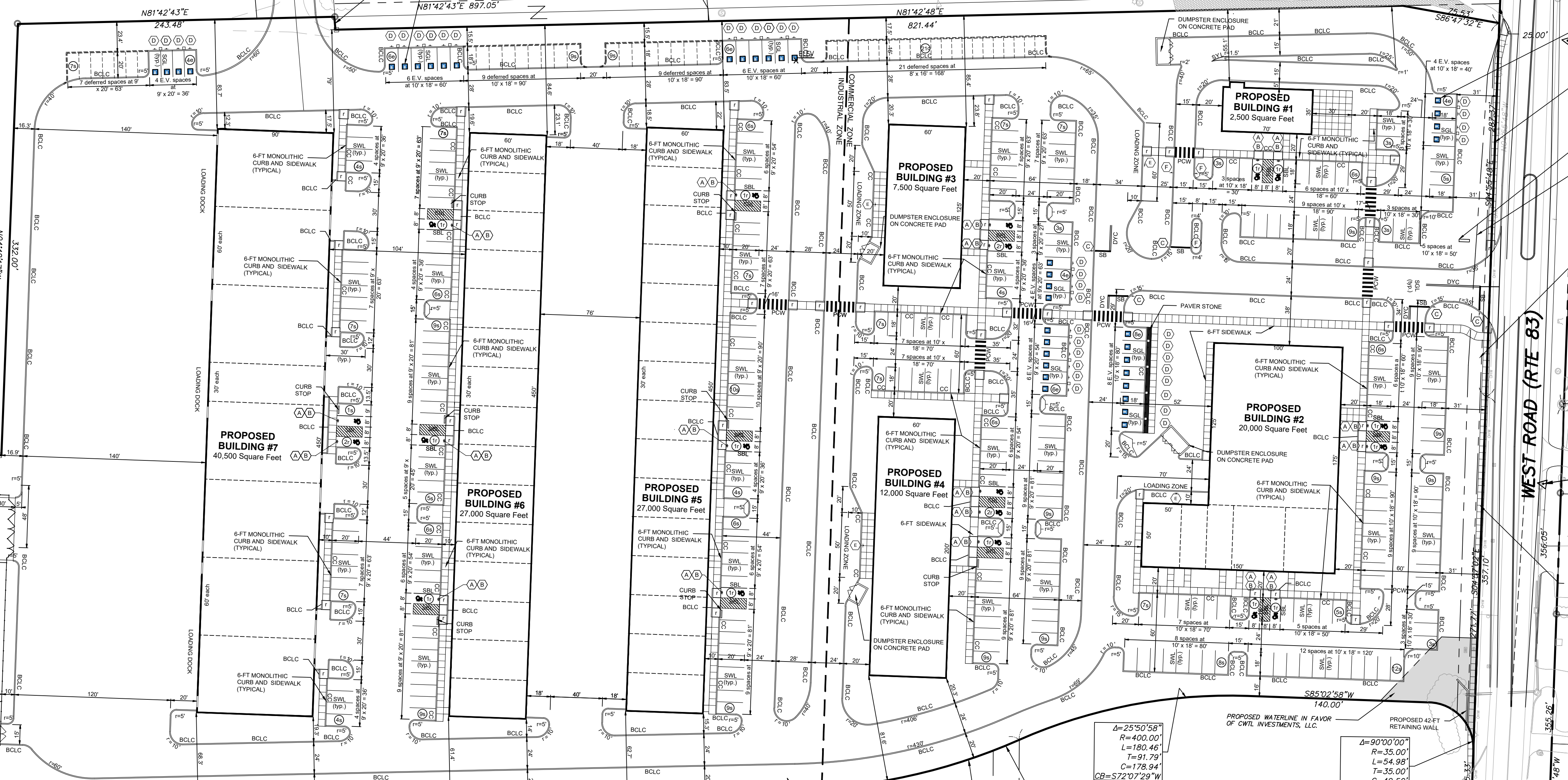
N/F
FARM HOLDINGS, LLC.
E.L.R. VOL: 463 PG: 178

N/F
RACHAEL M. LEITE
E.L.R. VOL: 463 PG: 178

N/F
DIANE O'HAGAN
E.L.R. VOL: 274 PG: 631

N/F
RON POULIN, LLC
E.L.R. VOL: 515 PG: 874

N/F
ROBERT P. BUETTNER
SANDRA J. BUETTNER
E.L.R. VOL: 473 PG: 681



$\Delta=52^{\circ}31'57''$
 $R=175.00'$
 $L=160.45'$
 $T=86.36'$
 $C=154.89'$
 $CB=N73^{\circ}49'59''W$

$\Delta=22^{\circ}37'07''$
 $R=450.00'$
 $L=177.65'$
 $T=78.77'$
 $C=176.49'$
 $CB=S70^{\circ}30'34''W$

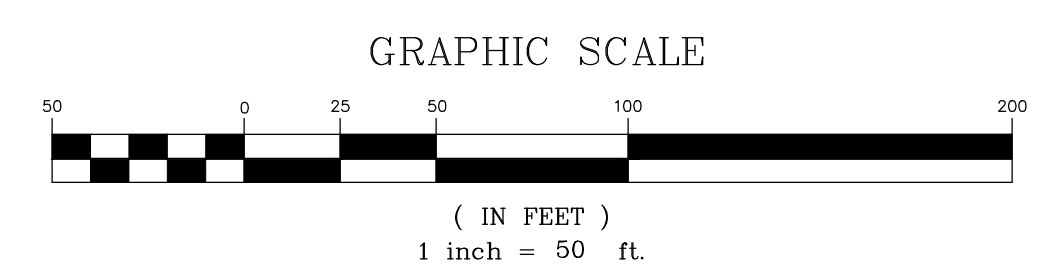
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 $R=450.00'$
 $L=155.97'$
 $T=78.77'$
 $C=155.19'$
 $CB=S71^{\circ}53'23''W$

$\Delta=2^{\circ}45'38''$
 $R=450.00'$
 $L=21.68'$
 $T=10.84'$
 $C=21.68'$
 $CB=S60^{\circ}34'49''W$

$\Delta=25^{\circ}50'58''$
 $R=400.00'$
 $L=180.46'$
 $T=91.79'$
 $C=178.94'$
 $CB=S72^{\circ}07'29''W$

$\Delta=90^{\circ}00'00''$
 $R=35.00'$
 $L=54.98'$
 $T=35.00'$
 $C=49.50'$
 $CB=N49^{\circ}57'02''W$

SEE SHEET LA-3 FOR LEGEND AND NOTES

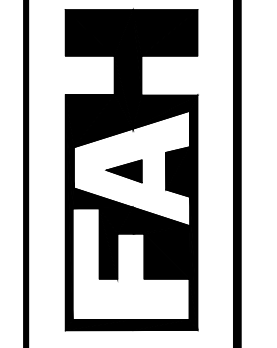


No.	Date	Revisions:	Description

LAYOUT PLAN
PREPARED FOR
FIFTY (50) WEST ROAD, LLC
50 WEST ROAD
ELLINGTON, CONNECTICUT
Date: 02-02-2024 Drawn by: DRT Job no: 23104
Scale: 1" = 50' Checked by: GAH Sheet no: 1 OF 3
0:\2023\23104 - 50 West Road - Ellington\Submittal\2024-02-02\WR LA-1, 2024-02-02.dwg, LA-1, Feb. 02, 2024 - 12:03:34 PM

LA-1

F. A. Hesketh & Associates, Inc.
6 Creamery Brook, East Granby, CT 06026
Phone (860) 653-8000 Fax (860) 844-8600
www.fahsketh.com mail:fahsketh.com



Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects

ZONING DATA TABLE

Zone: Commercial, Industrial

Zoning Data Analysis

Regulation	Section	Required	Proposed
Minimum Lot Area	Section 4.2.1	40,000 SF	1,128,455 SF
Minimum Width	Section 4.2.1	200 Feet	559,141 Feet
Minimum Front Yard	Section 4.2.1	100 Feet	111± Feet
Minimum Side Yard	Section 4.2.1	10 Feet	55.1 ± Feet (Bldg. 1) 59.3 ± Feet (Bldg. 5)
Minimum Rear Yard	Section 4.2.1	50 Feet (I) 10 Feet (C)	156 ± Feet (Bldg. 7) 672 ± Feet (Bldg. 3)
Maximum Building Height	Section 4.2.3	38 Feet	35 ± Feet
Maximum Floor Area	Section 4.2.3	2,500 SF (C) N/A (I)	2,500 (Bldg 1)
Maximum Lot Coverage	Section 4.2.3	60 Percent	47 ± Percent
Minimum Parking	Section 6.2.3.A	254 Spaces	364 Spaces

(C) - Commercial
(I) - Industrial

DEVELOPMENT DATA

Building	Square Feet	Use	Phase
Building 1	2,500 Sq.Ft.	Restaurant	Future
Building 2	20,000 Sq. Ft.	Retail	Future
Building 3	7,500 Sq. Ft.	Mixed Use	Future
Building 4	12,000 Sq. Ft.	Mixed Use	Proposed
Building 5	27,000 Sq. Ft.	Industrial/Warehouse	Proposed
Building 6	27,000 Sq. Ft.	Industrial/Warehouse	Proposed
Building 7	40,500 Sq. Ft.	Industrial/Warehouse	Proposed

PARKING TABULATION

Required Parking per Section 6.2.3

a) Retail Trade/Office Uses: 1 Parking Space for each 200 square feet of **net floor area**

b) Restaurant Uses: 1 Parking Space for each 100 square feet of **net floor area**

c) Industrial/Warehouse Uses: 1 Parking Space for each 2,000 square feet of **bdg floor area used for storage or 1 space/ employee (whichever is greater.**

Net Floor Area: shall mean the floor area used, designed or intended to be used for service to the public as customers, patrons, clients, patients or members, including those areas occupied by fixtures and equipment used for the display and/or sale of merchandise. "Net Floor Area" shall not include areas used principally for non-public purposes such as storage and incidental repair, for rest rooms, for utilities, or for required stairways or elevators.

Required Parking Calculation

Assume 80% Net Floor Area of all Retail Trade Use and Restaurant buildings

a) Restaurant: 2,500 Sq. Ft (Building #1)

2,500 Sq. Ft. x 80% = 2,000 Sq.Ft. Net Floor Area

2,000 Sq. Ft. / 1 Parking Space for each 100 Sq. Ft. Net Floor Area = 20 Spaces

b) Retail Trade/Office Uses: 39,500 Sq.Ft. (Buildings #2, #3 and #4) x 80% = 31,600 Sq.Ft. Net Floor Area

31,600 Sq. Ft. / 1 Parking Space for each 200 Sq.Ft. Net Floor Area = 158 Spaces

c) Industrial/Warehouse Uses: 94,500 Sq. Ft. (Buildings #5, #6, and #7)

94,500 Sq. Ft. / 1 Parking Space for each 2,000 Sq. Ft. floor area = 47 Spaces
Or 38 units x 2 employees/unit x 1/space per employee = 76 Spaces

Total Required Spaces = 20 Spaces + 158 Spaces + 76 Spaces = 254 Spaces

Proposed Parking

s Standard Parking Spaces

9 foot x 20 foot spaces 161 Spaces

10 foot x 18 foot spaces 108 Spaces

9 foot x 20 foot spaces (deferred) 7 Spaces

10 foot x 18 foot spaces (deferred) 18 Spaces

c Compact Parking Spaces =

8 foot x 16 foot spaces (deferred) 21 Spaces

r Reserved (Accessible) Parking Spaces

8 foot x 20 foot spaces 13 Spaces

8 foot x 18 foot spaces 6 Spaces

e EV Charging Spaces

9 foot x 20 foot spaces 14 Spaces

10 foot x 18 foot spaces 24 Spaces

Total Proposed Spaces = 372 Spaces

PAVEMENT MARKING LEGEND

Symbol	Type
SWL	Painted Single White Line
SBL	Painted Single Blue Line
DYC	Painted Double Yellow Line
SB	Painted White Stop Bar
PCW	Painted Crosswalk
SGL	Painted Green Line (4 inches wide)

PARKING LEGEND

Symbol	Type
(-s)	Standard Space 9' x 20' or 10 x 18'
(-d)	Standard Space (Deferred) 9' x 20' or 10 x 18'
(-r)	Reserved Space 8' x 20' or 8 x 18'
(-c)	Compact Space (Deferred) 8' x 16'
(-e)	Electric Vehicle Charging Space 9' x 20' or 10 x 18'

CURB TYPE LEGEND

Symbol	Type
CC	Concrete Curb
BCLC	Bituminous Concrete Lip Curb

SIGNAGE AND PAVEMENT MARKING NOTES

1. Stop bars shall be painted with white traffic paint (12 inches wide)
2. All standard parking stalls and centerlines shall be painted with white traffic paint (4 inches wide).
3. Traffic control arrows shall be painted with white traffic paint.
4. All accessible parking stalls, aisles and symbols of accessibility shall be painted with blue traffic paint (4 inches wide).
5. Centerlines shall be painted with yellow traffic paint and shall consist of double lines (4 inches wide)
6. Fire lanes and other areas of parking prohibition shall be painted with yellow traffic paint (4 inches wide)
7. All on-site traffic paint shall conform to CT DOT Form 818-M.07.21
8. All pavement markings and signs shall conform to "Manual On Uniform Traffic Control Devices", "Standard Alphabets For Highway Signs And Pavement Markings", CT DOT 818, State Building Code and ADA Requirements and as shown on the details
9. Sign catalog numbers obtained from "Connecticut Department of Transportation, Bureau. of Engineering and Highway Operations, Catalog of Signs", October 12, 2021. Contractor to confirm sign types prior to installation.

LOADING SPACE TABULATION

Required Loading per Section 6.2.11

one (1) 10'x50' Loading Space per 10,000 Sq. Ft. of floor area

Required Loading Calculation

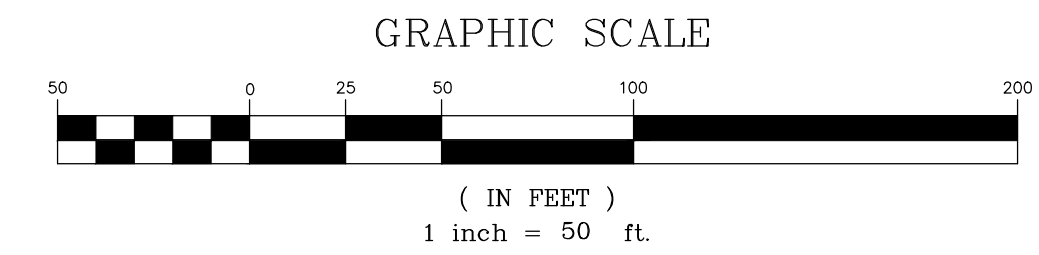
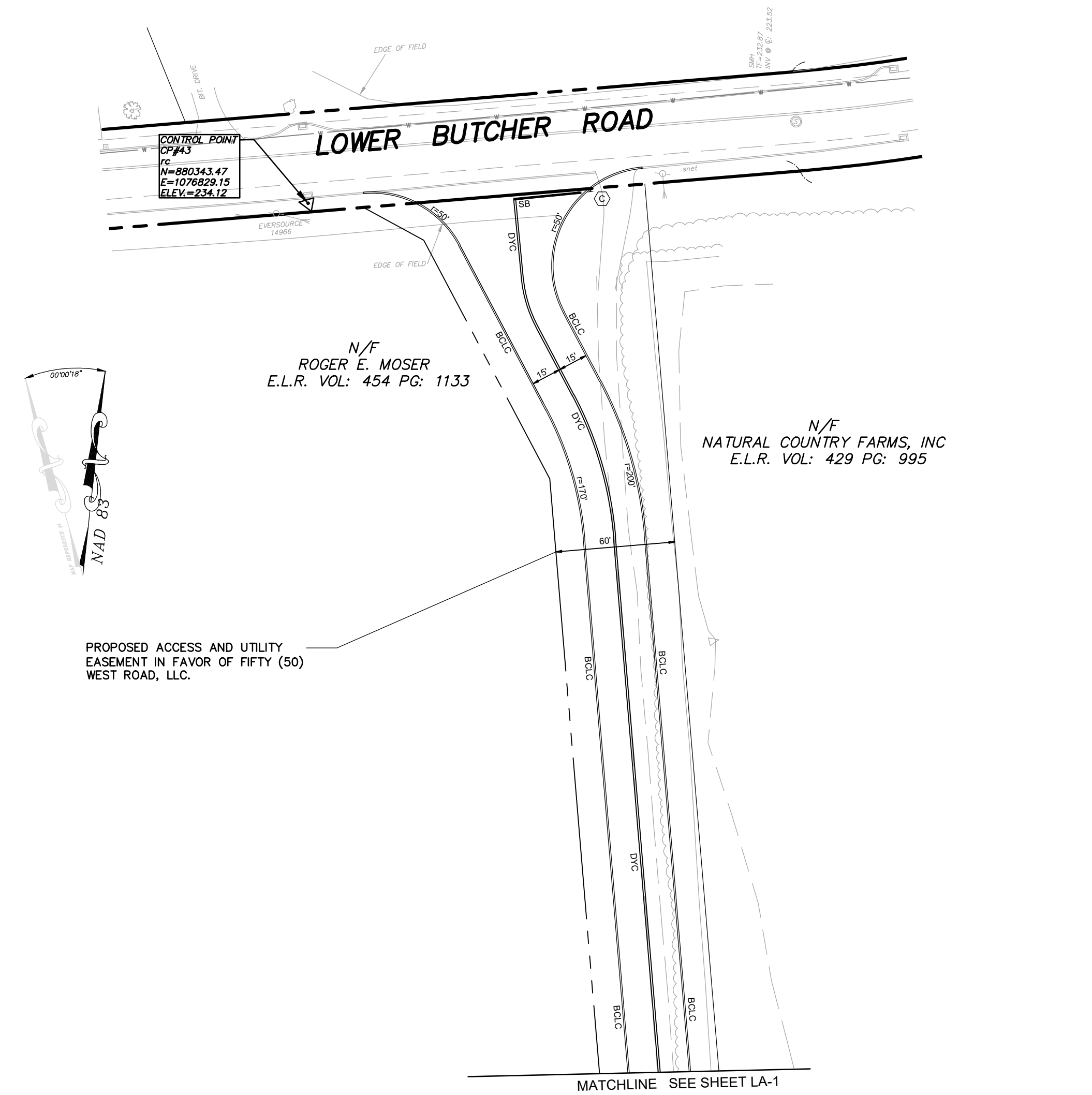
Building #1 = 2,500 Sq. Ft.	1 Loading Space Required	1 Loading Space Provided
Building #2 = 20,000 Sq. Ft.	2 Loading Spaces Required	2 Loading Spaces Provided
Building #3 = 7,500 Sq. Ft.	1 Loading Space Required	1 Loading Space Provided
Building #4 = 12,000 Sq. Ft.	2 Loading Spaces Required	1 Loading Space Provided *
Building #5 = 27,000 Sq. Ft.	3 Loading Spaces Required	3 Loading Spaces Provided **
Building #6 = 27,000 Sq. Ft.	3 Loading Spaces Required	3 Loading Spaces Provided **
Building #7 = 40,500 Sq. Ft.	5 Loading Spaces Required	7 Loading Space2 Provided

* Per section 6.2.11 The Commission may reduce the size of a loading space(s) and/or the number of spaces where it can be demonstrated that such a reduction is warranted based on the use of the building. Building #4 is anticipated to be a mixed use of office and retail and the one loading space will be sufficient for the proposed use.

** These buildings are accessed via overhead doors in the rear of the buildings, which have a 76-foot distance between the structures. Sufficient area is provided in the rear of the buildings to facilitate loading via 10'x50' loading spaces.

SIGNAGE LEGEND

Symbol	Graphic	Catalog Number	Quantity
(A)		New Reserved Sign (CT Building Code)	19
(B)		31-0648	19
(C)		31-0552	6
(D)		Custom (12" x 18")	38
(E)		Custom (12" x 18")	4
(F)		31-0607	3



Revisions:

No.	Date	Description

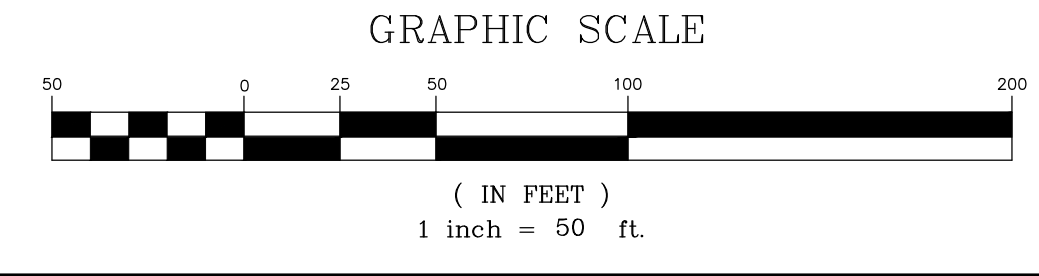
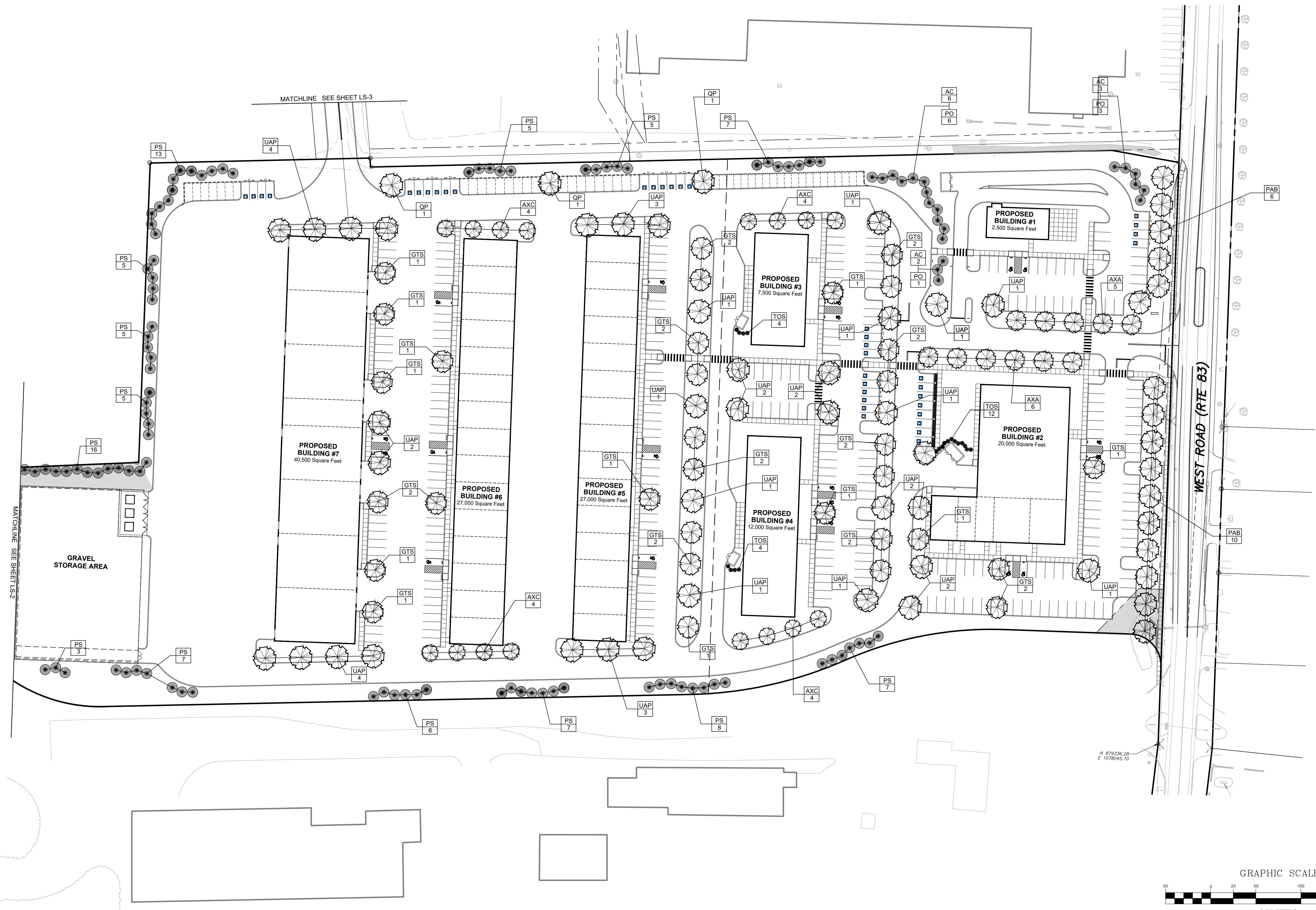
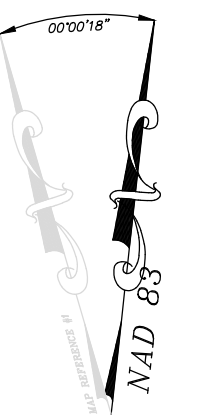
LAYOUT PLAN PREPARED FOR
FIFTY (50) WEST ROAD, LLC
50 WEST ROAD
ELLINGTON, CONNECTICUT

Date: 02-02-2024 Drawn by: DRT Job no: 23104
Checked by: GAH Sheet no: 3 OF 3
Scale: 1" = 50'

LA-3

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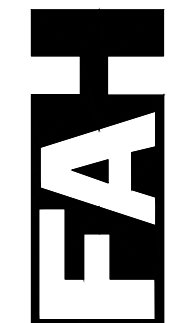
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No.	Date	Description

LANDSCAPE PLAN
 PREPARED FOR
FIFTY (50) WEST ROAD, LLC
 50 WEST ROAD
 ELLINGTON, CONNECTICUT
 Date: 02-02-2024 Drawn by: DRT Job no: 23104
 Scale: 1" = 50' Checked by: GAH Sheet no: 1 OF 3
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LS-1



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LANDSCAPE SCHEDULE (SHEET LS-2)

Deciduous Canopy Trees

Symbol	Botanical Name	Common Name	Quantity	Size	Root	Mature Height
NS	<i>Nyssa sylvatica</i>	Black Gum (Tupelo)	5	2 1/2 to 3 inch caliper	Balled and Burlapped	50 Feet
QB	<i>Quercus bicolor</i>	Swamp White Oak	2	2 1/2 to 3 inch caliper	Balled and Burlapped	60 Feet

Evergreen Trees

Symbol	Botanical Name	Common Name	Quantity	Size	Root	Mature Height
PS	<i>Pinus strobus</i>	Eastern White Pine	8	5 to 6 foot height	Balled and Burlapped	60 Feet

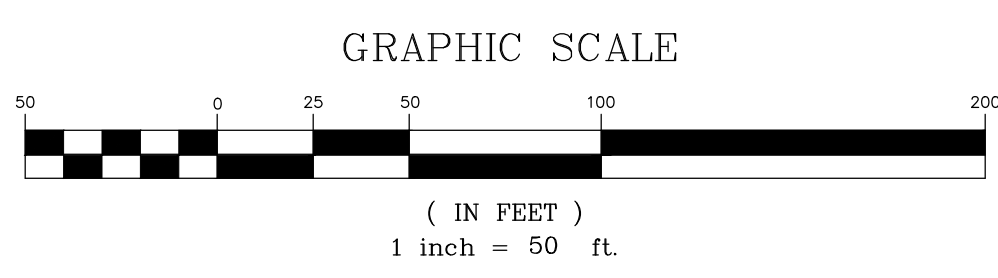
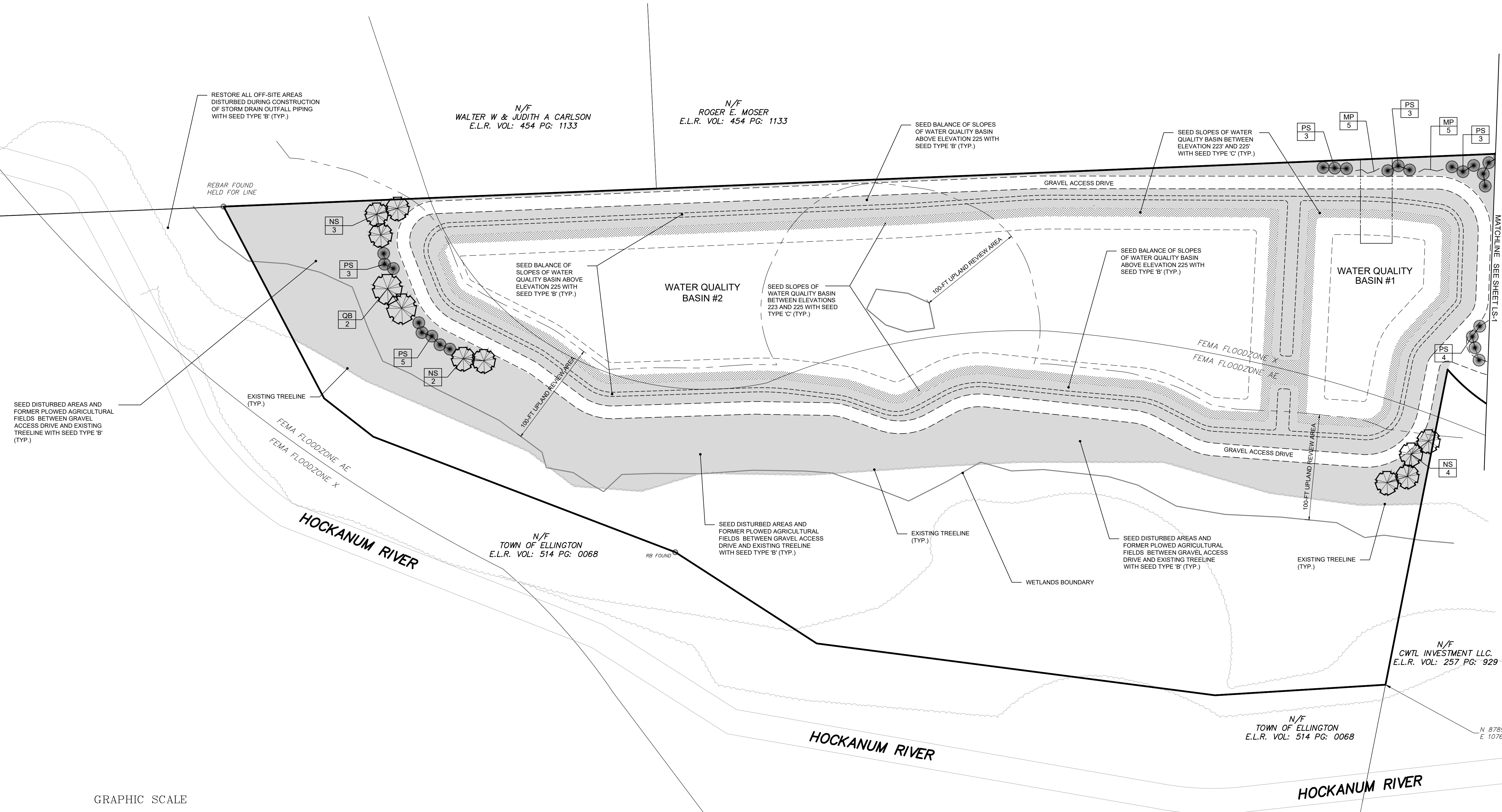
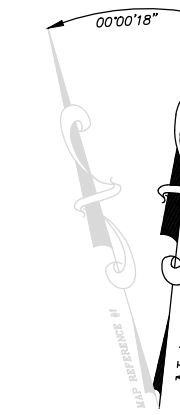
SEED TYPES

Seed Type B
 New England Erosion Control / Restoration Mix
 By: New England Wetland Plants, Inc. or approved equal
 Seed rate: 35 pounds per Acre

Switchgrass (*Panicum virgatum*), Virginia Wild Rye (*Elymus virginicus*), Creeping Red Fescue (*Festuca rubra*), Fox Sedge (*Carex vulpinoidea*), Creeping Bentgrass (*Agrostis stolonifera*), Silky Wild Rye (*Elymus villosus*), Partridge Pea (*Chamaecrista fasciculata*), Soft Rush (*Juncus effusus*), Flat-top Aster (*Aster umbellatus*), Nodding Bur-marigold (*Bidens cernua*), Joe-pye Weed (*Eupatorium maculatum*), Boneset (*Eupatorium perfoliatum*), Grass-leaved Goldenrod (*Solidago graminifolia*), Grey Goldenrod (*Solidago nemoralis*)

Seed Type "C"
 New England Wetmix
 by New England Wetland Plants, Inc.
 www.newp.com
 413-548-8000
 Application Rate: 1 lbs per 2,500 square feet

Fox Sedge (*Carex vulpinoidea*), Hop Sedge (*Carex lupulina*), Bearded Sedge (*Carex comosa*), Lurid Sedge (*Carex lurida*), Nodding Bur Marigold (*Bidens cernua*), Soft Rush (*Juncus effusus*), Grass-leaved Goldenrod (*Solidago graminifolia*), Blue Vervain (*Verbena hastata*), Boneset (*Eupatorium perfoliatum*), Flat-top Aster (*Aster umbellatus*), Hard-stem Bulrush (*Scirpus acutus*), Green Bulrush (*Scirpus atrovirens*), Woolgrass (*Scirpus cyperinus*), Sensitive Fern (*Onoclea sensibilis*), Spotted Joe-Pye Weed (*Eupatorium maculatum*), Water Plaintain (*Alisma plantago-aquatica*), Soft-Stem Bulrush (*Scirpus validus*), Ditch Stonecrop (*Penthorum sedoides*)

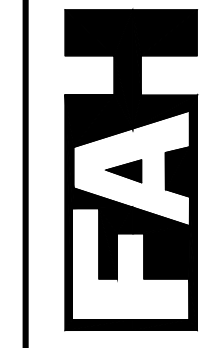


No.	Date	Description

LANDSCAPE PLAN
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FIFTY (50) WEST ROAD, LLC
 50 WEST ROAD
 ELLINGTON, CONNECTICUT
 Date: 02-02-2024 Drawn by: DRT Job no: 23104
 Scale: 1" = 50' Checked by: GAH Sheet no: 2 OF 3
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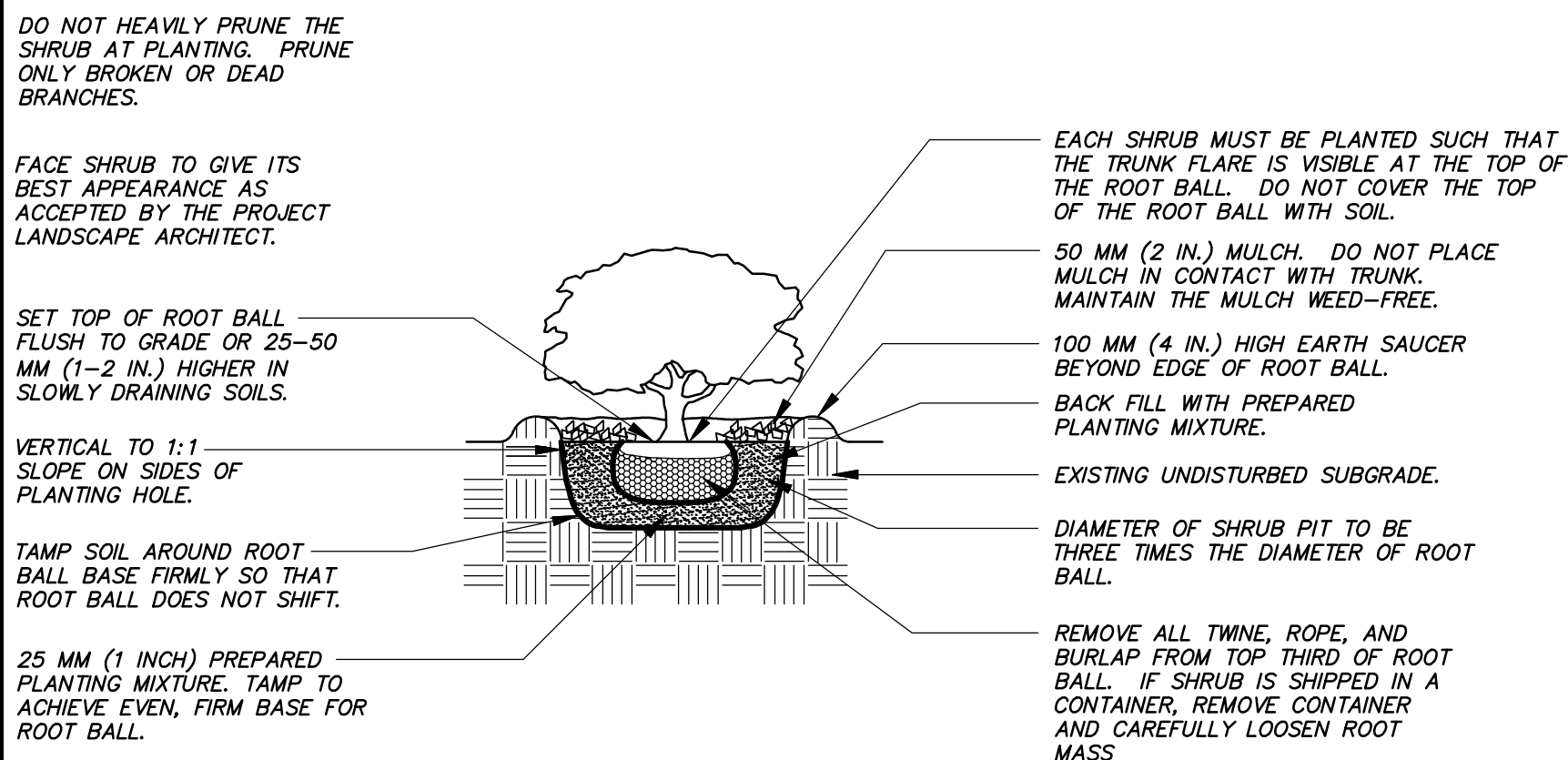
LS-2

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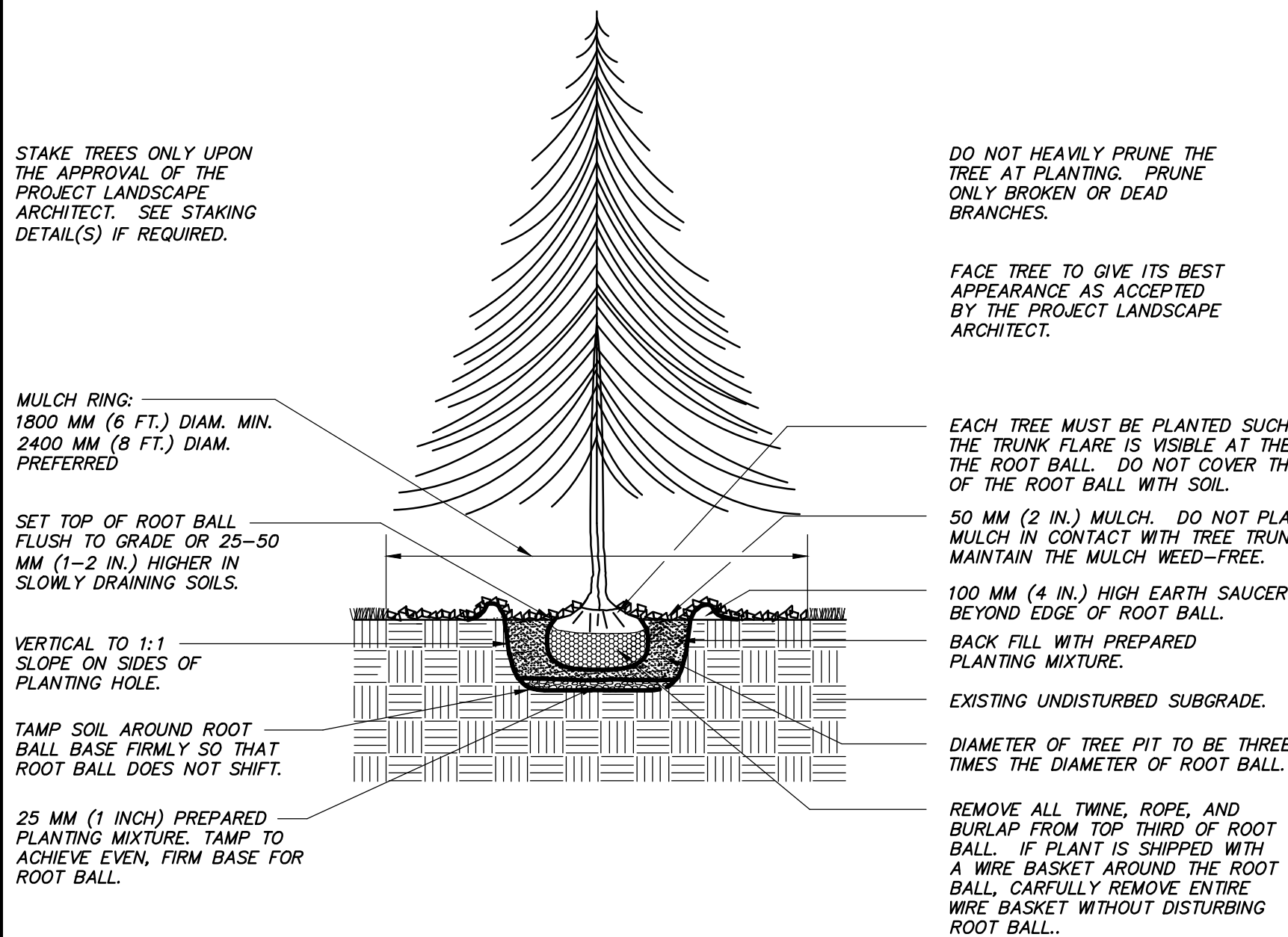


GENERAL LANDSCAPE NOTES

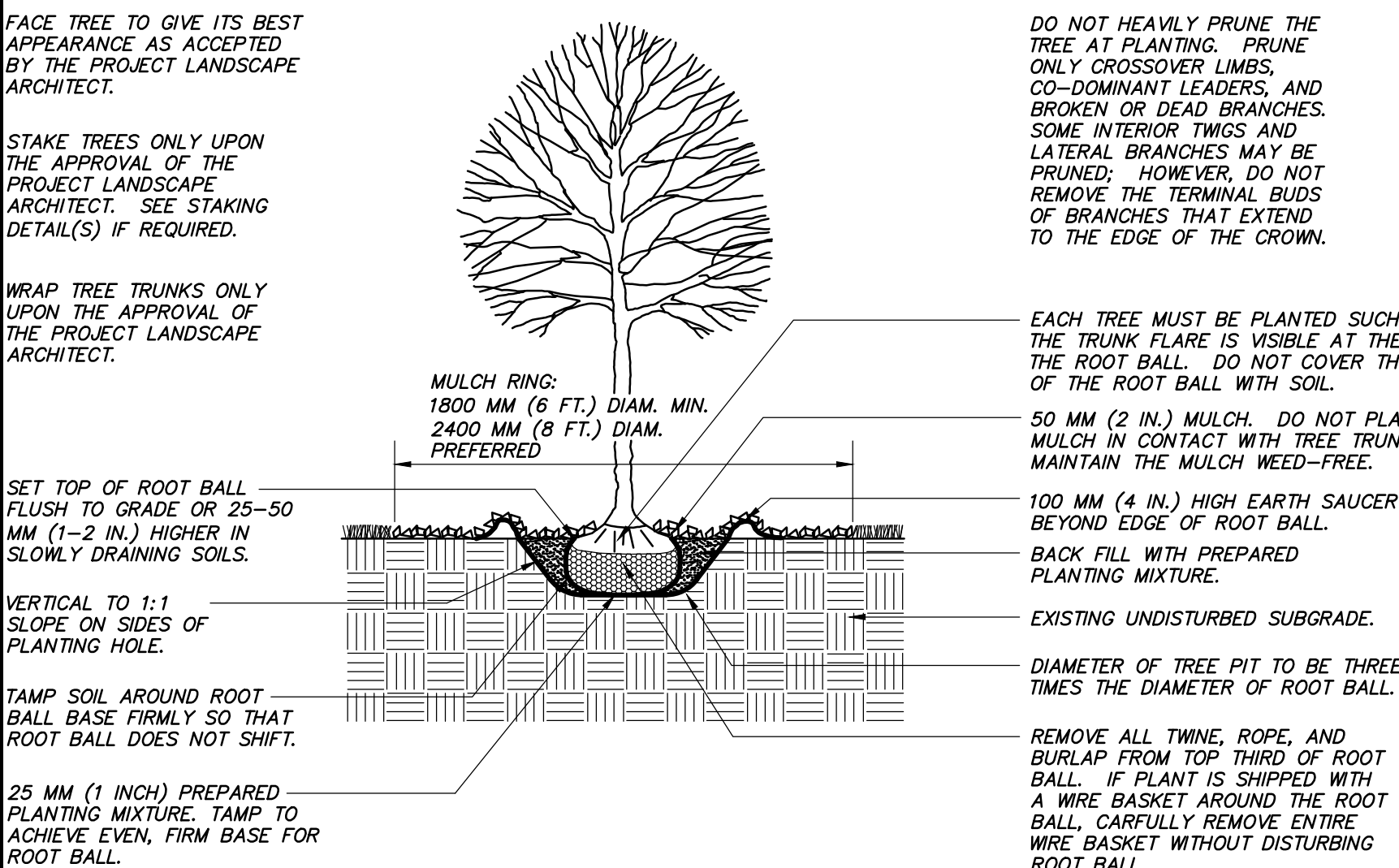
- All plants shall meet or exceed the specifications of Federal, State and County laws requiring inspection for plant disease and insect control.
- Plant material shall conform with the "American Standard for Nursery Stock" by the American Association of Nurserymen, Inc. (ANSI Z60.1-2014).
- All plants shall be certified true to name by the nursery source. Plant names shall be in accordance with "Horris Third" (1976) by the staff of the Liberty Hyde Bailey Hortorium, Cornell University. One plant from each species shall be tagged with name and size of the plant in accordance with the standards of practice of the American Association of Nurserymen. Botanical names shall take precedence over common names.
- Plant material shall be typical of their species and/or variety, with a normal habit of growth, sound, healthy and vigorous. They shall be well branched and densely foliated when in leaf, free of disease, insect pest, eggs or larvae. They shall have healthy well-developed root systems. All trees shall have straight single trunks with their main leader intact unless otherwise noted or approved.
- All landscaped areas to have 2" shredded bark mulch (color: black) over weed control fabric. No weed control fabric in areas of groundcover or perennial plantings.
- Provide protective covering of plant material during delivery and storage. Root balls shall not be cracked or broken. Do not prune plants prior to delivery. Remove unacceptable plant material immediately from the job site.
- Plant locations on the Drawings are approximate and are to be used only as a guide. Contractor shall provide all field engineering services to accurately stake out locations for all plants prior to installation. Do not begin excavation until Project Landscape Architect has approved specific layout.
- If requested by Project Landscape Architect, stake and guy each tree as shown on the applicable Drawings immediately after planting. Keep trees plumb and taut.
- If requested by Project Landscape Architect, wrap the trunks of all trees spirally from the ground line to above the lowest main branch.
- Perform all cultural care necessary to properly maintain plant viability and keep planted areas in a neat and orderly condition, including but not limited to:
 - Watering
 - Weed removal
 - Apply lime or sulphur to adjust soil pH to specific plant requirements
 - Restore or reshape earth saucers
 - Pruning
 - Adjust and tighten tree supports to maintain plants at their proper grades and vertical position
 - Replace mulch to maintain proper depth
- If there is a difference between the quantity of plant material specified on the Plan and the amount depicted on the Landscape Schedule, the amount on the Plan shall take precedence.
- Spade edge all planting beds within lawn areas. Provide clean spaded edge at perimeter of all planting beds and tree pits adjacent to lawn areas. Spade edge of newly planted lawn areas following second mowing.
- All planting beds and tree pits to receive approved mulch to depths indicated in the planting details.
- Landscape Contractor shall guarantee all plant material for one (1) full year from date of acceptance. Proper landscape maintenance shall be the responsibility of the owner.
- Plants shall be handled at all times in accordance with the best horticultural practices. Plants in-leaf shall be sprayed with anti-desiccant before digging. Plants shall be dug with firm natural balls and shall conform to the ratios and sizes as specified in ANSI Z60.1-2014. Balled and Burlapped plants shall be wrapped in burlap and tied firmly. Plant materials shall be delivered immediately prior to placement, shall be kept moist, and shall be protected from sun and wind. Plants having broken or cracked root balls prior to or during planting shall not be accepted.
- All single trunk, deciduous trees shall be wrapped immediately after planting with tree wrap. Wrap shall be wound spirally, from the bottom of the trunk to the second branches. All trees in windy areas shall be staked or guyed immediately after planting.
- The period of planting shall be from March 15th to May 15th and from September 15th to November 15th, weather permitting.
- All locations of existing and proposed utilities may not be shown on this plan. See other plan sheets for existing and proposed utility locations. Contractor shall be solely responsible for determining actual locations of utilities. Utility conflicts may require adjustments to proposed landscape installation. Contractor shall be responsible for repair on any utilities damaged during construction. Contractor shall contact "Call Before You Dig" 1-800-922-4455 (www.cbyd.com) two (2) working days prior to starting landscape installation to locate utilities.



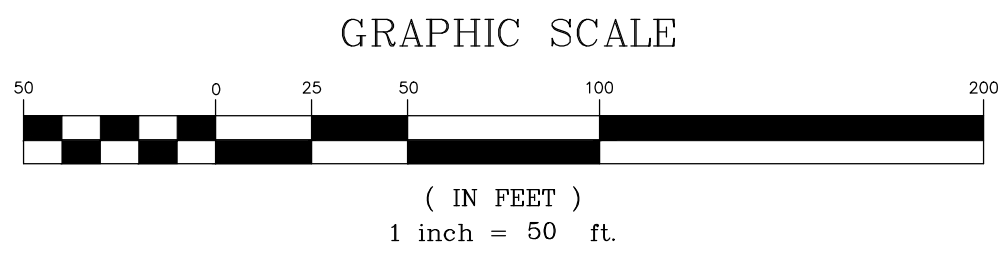
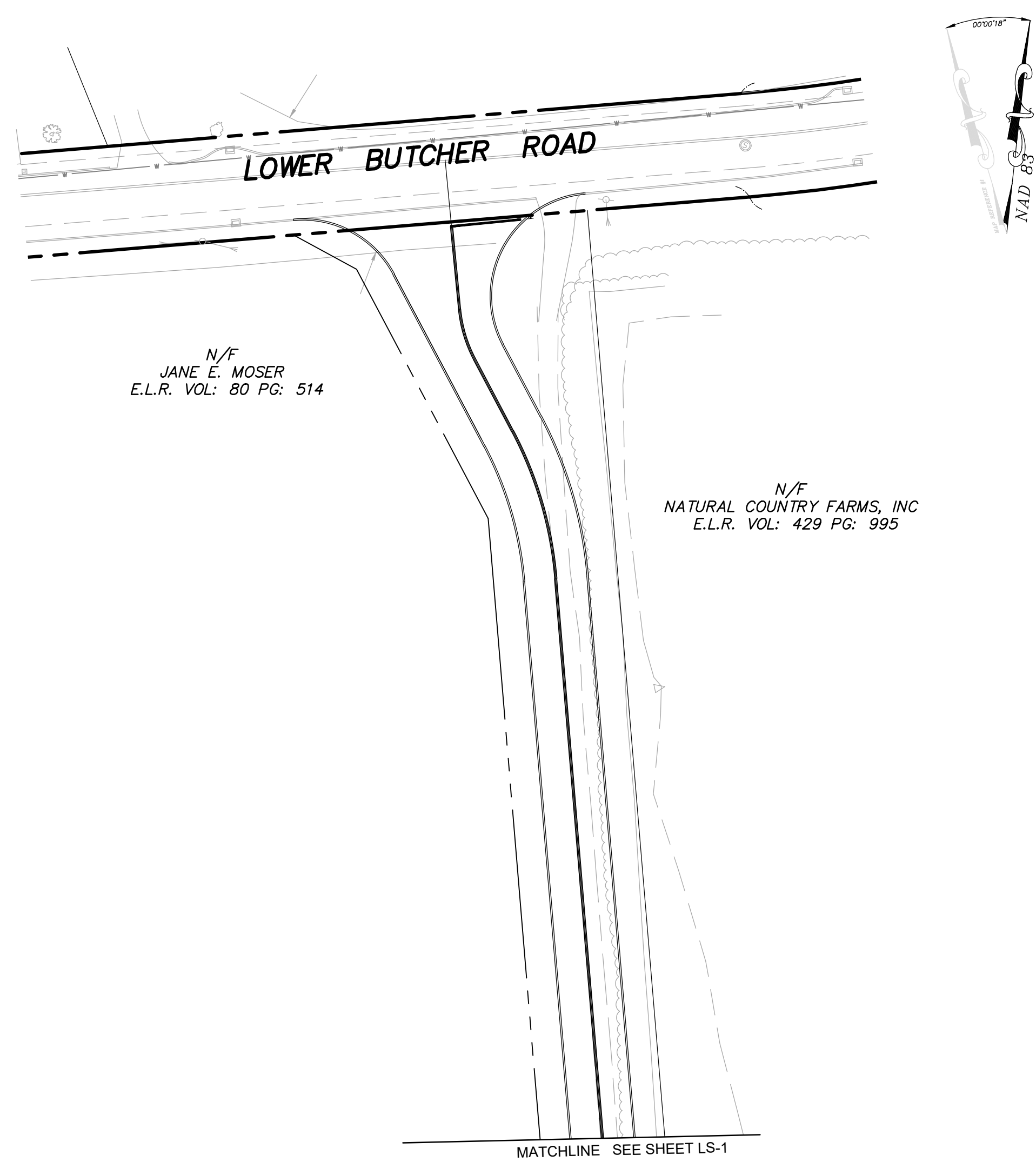
SHRUB PLANTING DETAIL
N.T.S.



EVERGREEN B&B TREE PLANTING DETAIL
N.T.S.



B&B TREE PLANTING DETAIL
N.T.S.



SEED TYPES

Seed Type A

Sun & Shade Mixture
By: Jonathan Green or approved equal
Seed rate: 25 pounds per 9,375 square feet
20% Darkstar II Perennial Ryegrass
20% Carmen Chewings Fescue
15% Deepblue Kentucky Bluegrass
15% Eugene Creeping Red Fescue
15% Yorkshire Dales Perennial Ryegrass
15% Salisbury Chewings Fescue

Seed Type B

New England Erosion Control / Restoration Mix
By: New England Wetland Plants, Inc. or approved equal
Seed rate: 35 pounds per Acre
Switchgrass (*Panicum virgatum*), Virginia Wild Rye (*Elymus virginicus*), Creeping Red Fescue (*Festuca rubra*), Fox Sedge (*Carex vulpinoidea*), Creeping Bentgrass (*Agrostis stolonifera*), Silky Wild Rye (*Elymus villosus*), Partridge Pea (*Chamaecrista fasciculata*), Soft Rush (*Juncus effusus*), Flat-top Aster (*Aster umbellatus*), Nodding Bur-marigold (*Bidens cernua*), Joe-pye Weed (*Eupatorium maculatum*), Boneset (*Eupatorium perfoliatum*), Grass-leaved Goldenrod (*Solidago graminifolia*), Grey Goldenrod (*Solidago nemoralis*)

Seed Type "C"

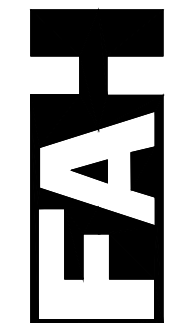
New England Wetmix
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413-548-8000
Application Rate: 1 lbs per 2,500 square feet
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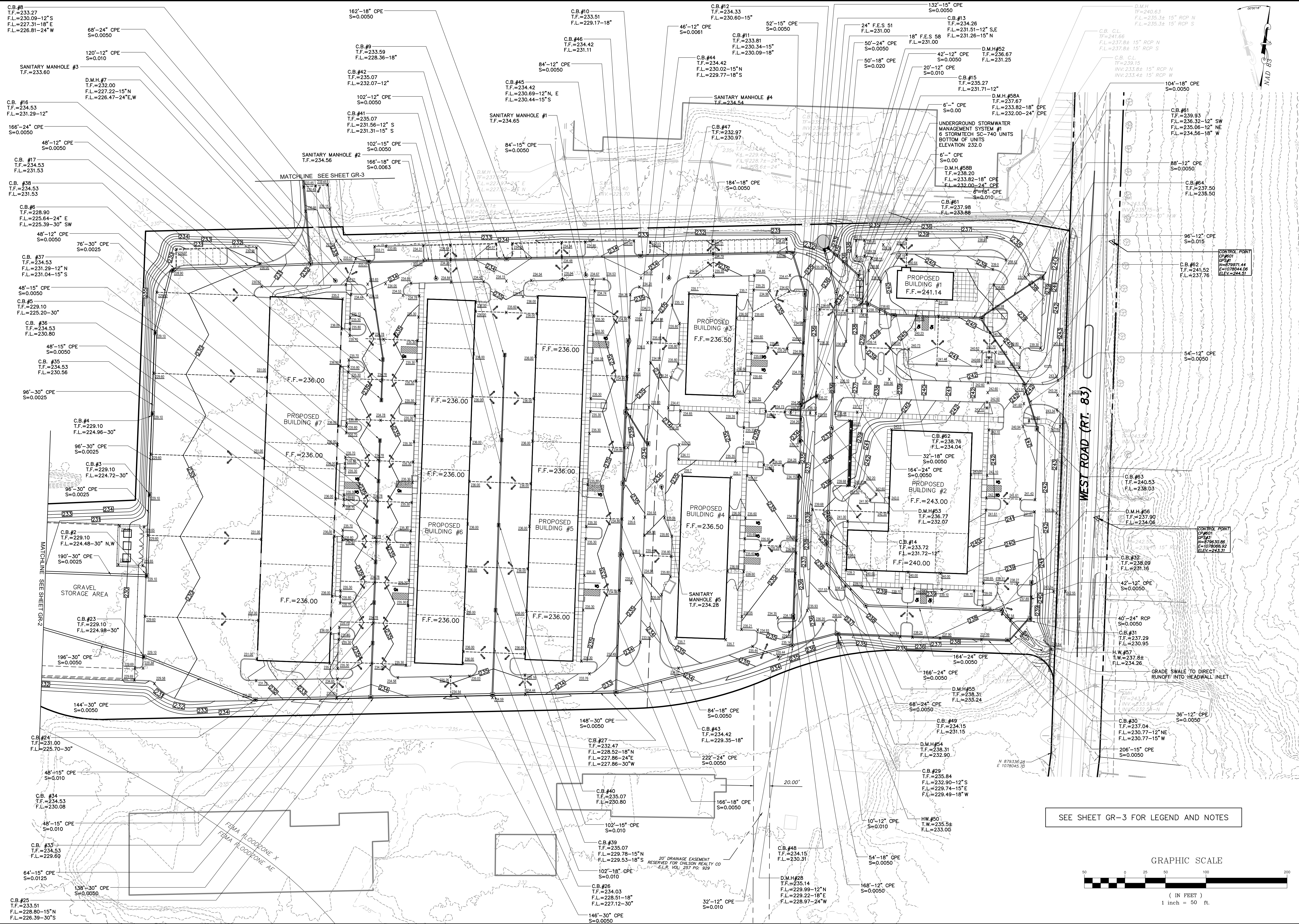
No.	Date	Description

LANDSCAPE PLAN
PREPARED FOR
FIFTY (50) WEST ROAD, LLC
50 WEST ROAD
ELLINGTON, CONNECTICUT
Date: 02-02-2024 Drawn by: DRT Job no: 23104
Checked by: GAH Sheet no: 3 OF 3
Scale: 1" = 50'

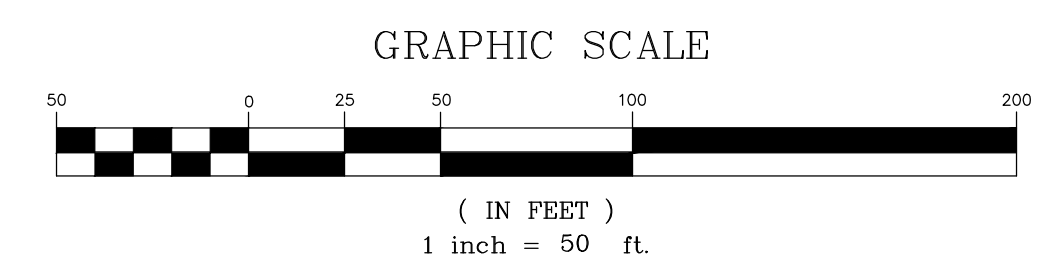
LS-3

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SEE SHEET GR-3 FOR LEGEND AND NOTES



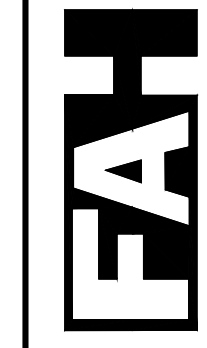
GRADING AND DRAINAGE PLAN

PREPARED FOR
FIFTY (50) WEST ROAD, LLC
50 WEST ROAD
ELLINGTON, CONNECTICUT

Date: 02-02-2024 Drawn by: DRT Job no: 23104
Checked by: GAH Sheet no: 1 OF 3
Scale: 1" = 50'

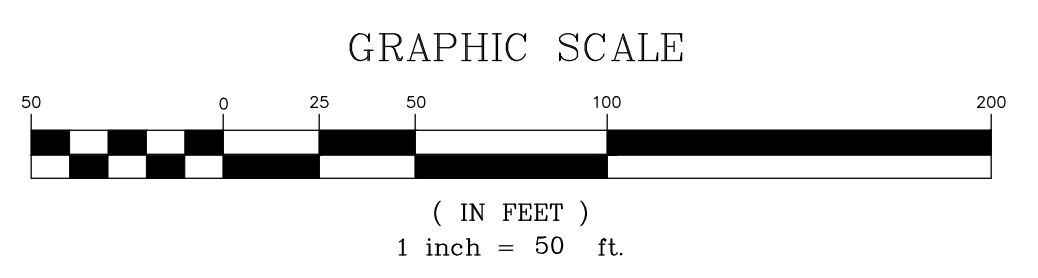
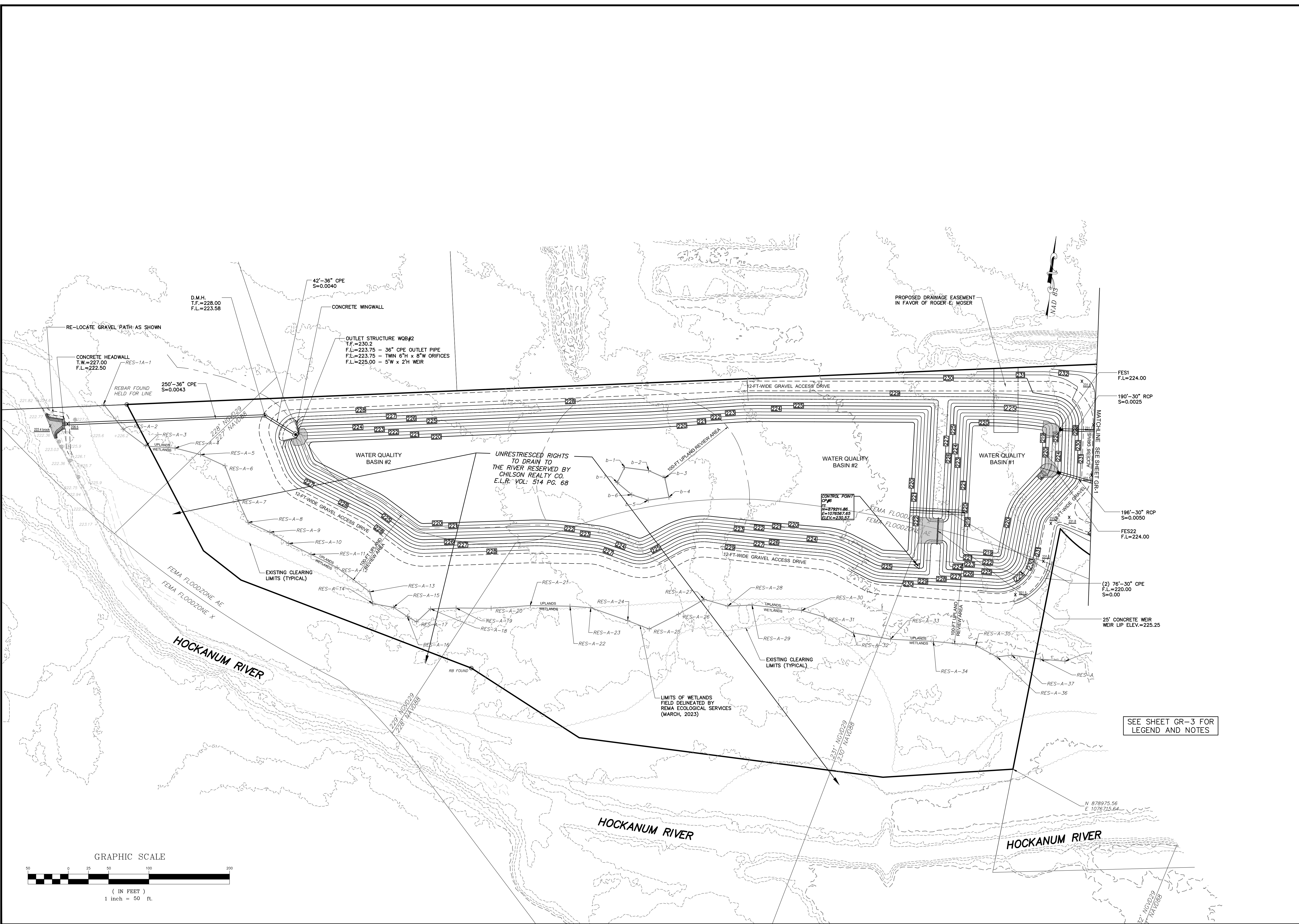
GR-1

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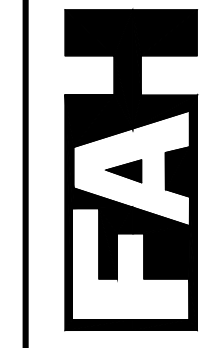
SEE SHEET GR-3 FOR
LEGEND AND NOTES

Revisions:

No.	Date	Description
1.	02-22-2024	P2C Submittal

GRADING AND DRAINAGE PLAN
PREPARED FOR
FIFTY (50) WEST ROAD, LLC
50 WEST ROAD
ELLINGTON, CONNECTICUT
Date: 02-02-2024 Drawn by: DRT Job no: 23104
Scale: 1" = 50' Checked by: GAH Sheet no: 2 OF 3
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GR-2



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LEGEND

- = PROPOSED DRAINAGE MANHOLE
- = PROPOSED SANITARY MANHOLE
- ▭ = PROPOSED CATCH BASIN
- = PROPOSED STORM DRAIN CULVERT
- ▣ = PROPOSED OUTLET STRUCTURE
- = PROPOSED UNDERGROUND STORMWATER CHAMBER
- = PROPOSED UNDERGROUND STORMWATER ISOLATOR CHAMBER
- x 100.00 = PROPOSED SPOT GRADE
- 154 = PROPOSED CONTOUR
- = PROPOSED DRAINAGE DIVIDE
- = EXISTING CONTOUR

SCHEDULE AND DESCRIPTION OF RESPONSIBILITY FOR MAINTENANCE OF THE ON-SITE STORM WATER SYSTEM:

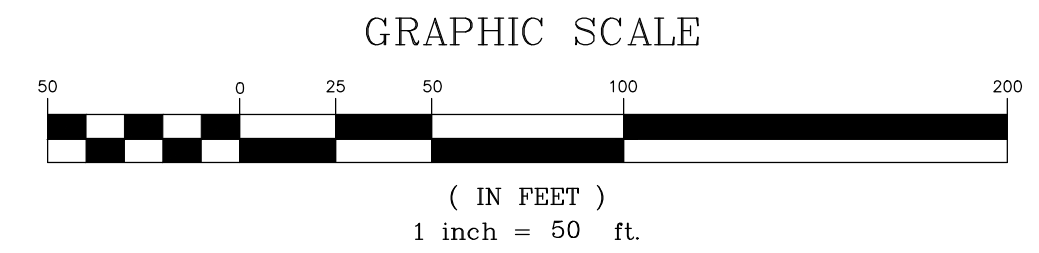
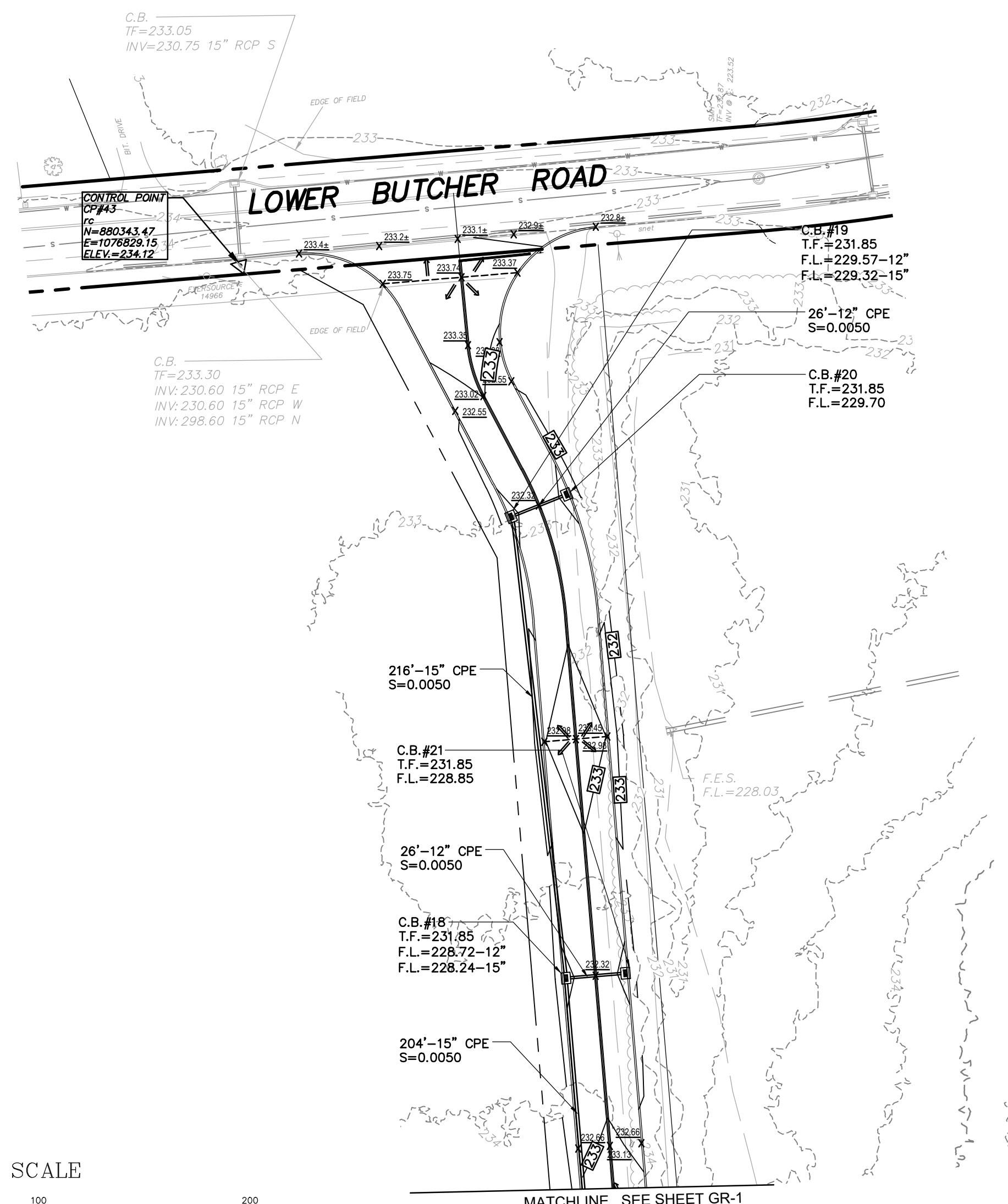
1. Maintenance of the on-site storm water system is the responsibility of the property owner. This includes all catch basins, system piping, manholes, roof leaders, water quality basins and basin outlet structures.
2. The following schedule of maintenance shall be followed:
 - a. In general, good housekeeping practices shall be incorporated into the routine site and facility maintenance plan to minimize deposition of sediment, litter and contaminants into the storm drainage system.
 - b. Paved parking and loading areas and walks shall be swept of debris, sand, and litter at least twice annually, in particular, late spring after winter sanding operations, and in late fall after leaf litter cleanup.
 - c. Catch basins and manholes shall be inspected annually, following spring site cleanup. Accumulated sediment and debris shall be removed and disposed at approved off-site locations.
 - d. Rip rap and crushed stone erosion control shall be inspected annually. Excess sediments shall be removed and repairs made when erosion is noted.
4. Water quality basin shall be inspected and maintained:
 - Remove excess sediment from sediment forebay as required. Follow DEEP recommendations of removal of sediment (by dredging) every 5-10 years, as needed.
 - Inspect submerged interconnected pipes between forebay and main pool to ensure they are not impeded by sediment accumulations or debris. Clean as necessary.
 - Inspect and overflow weir and crushed stone armoring separating sediment forebay from main pool. Repair, as necessary.
 - Remove woody vegetation that may impair operation of basin or jeopardize integrity of basin sideslopes. Cut woody vegetation to the ground and use a stop-growth to prevent further growth. Leave stumps in place.
 - Inspect and repair rip-rap structures and plunge pools.
 - Inspect/clean outlet structure, trash rack, and outlet piping.
5. Maintenance records documenting system inspection and cleaning operations shall be maintained by the property owner and shall be made available for inspection by the Town as requested.

GENERAL GRADING NOTES:

1. SET/RAISE FRAMES OF ALL MANHOLES, CATCH BASINS, GAS AND WATER GATES, HAND HOLES, METER BOXES, AND ALL OTHER UTILITY APPURTENANCES TO MATCH PROPOSED FINISH GRADE.
2. MILL AND SAW CUT EXISTING PAVEMENT ALONG LIMITS OF WORK. CONSTRUCT APPROPRIATE PAVEMENT MATCH TREATMENT. BLEND ALL NEW WORK TO MATCH EXISTING.
3. GRADE ALL AREAS TO PRECLUDE PONDING.
4. GRADE TRANSITIONS TO ROADWAYS TO MAINTAIN GUTTER FLOW AND PRECLUDE PONDING.

DRAINAGE NOTES:

1. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE AND ARE BASED ON AVAILABLE AS-BUILT INFORMATION FROM UTILITY COMPANY RECORDS, THE PROPERTY OWNER, AND LIMITED SURVEY DATA. ALL EXISTING UTILITIES MAY NOT BE SHOWN AND THOSE SHOWN MAY NOT BE ACCURATE. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES ON THE SITE PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY AND NOTIFYING THE DESIGN SITE ENGINEER OF POTENTIAL CONFLICTS WITH PROPOSED ALIGNMENT AND GRADE AND/OR ANY ADJUSTMENTS TO THE PLANS WHICH ARE NECESSARY. TEST PITS WILL BE REQUIRED AT ALL PROPOSED UTILITY CROSSINGS IN ORDER TO DETERMINE UNDERGROUND UTILITY LOCATIONS AND TO IDENTIFY POTENTIAL CONFLICTS WITH VERTICAL AND HORIZONTAL ALIGNMENTS SHOWN ON THE PLANS. TEST PITS SHALL BE COMPLETED BY THE CONTRACTOR AT HIS EXPENSE.
2. CONTACT "CALL BEFORE YOU DIG" AT 1-800-922-4455 TO MARK THE LOCATION OF ALL UNDERGROUND UTILITIES AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
3. A PRE-CONSTRUCTION MEETING WITH TOWN STAFF SHALL BE HELD PRIOR TO START OF CONSTRUCTION.
4. ALL MATERIALS AND INSTALLATION ARE TO BE IN ACCORDANCE WITH THE TOWN OF ELLINGTON, CONN. D.O.T. FORM 818, OR CUSTODIAL UTILITY COMPANY SPECIFICATION, AS APPROPRIATE.
5. FLOW LINE AND INVERT ELEVATIONS OF ALL STORM AND SANITARY SEWERS MUST BE COORDINATED WITH FINAL ARCHITECTURAL DRAWINGS. NOTIFY DESIGN ENGINEER OF CONFLICTS PRIOR TO START OF CONSTRUCTION.
6. CONNECT ALL ROOF LEADERS TO STORM DRAIN SYSTEMS. COORDINATE DOWNSPOUT LOCATIONS WITH PROJECT ARCHITECT/M.E.P. AND PROJECT ENGINEER. THE LOCATIONS OF ROOF LEADERS AND DOWNSPOUT LOCATIONS ARE NOT PROVIDED ON THE PLANS. DETAILS OF LOCATIONS OF DOWNSPOUTS AND ROOF LEADERS WILL BE PROVIDED FOLLOWING COMPLETION OF ARCHITECTURAL DRAWINGS.
7. WHEN TRENCHING IS REQUIRED IN THE STATE R.O.W., BACKFILL AND COMPACT FILL AND CONSTRUCT PAVEMENT REPAIR IN ACCORDANCE WITH CT DOT STANDARDS AND SPECIFICATIONS. ANY WORK WITHIN THE RIGHT OF WAY OF WEST ROAD WILL REQUIRE AN ENCROACHMENT PERMIT FROM THE CT DOT DISTRICT OFFICE. THE CONTRACTOR IS RESPONSIBLE FOR PROCUREMENT OF SAID PERMIT.
8. WHEN TRENCHING IS REQUIRED IN THE TOWN R.O.W., BACKFILL AND COMPACT FILL AND CONSTRUCT PAVEMENT REPAIR IN ACCORDANCE WITH TOWN OF ELLINGTON STANDARDS. ANY WORK WITHIN THE TOWN RIGHT OF WAY OF LOWER BUTCHER ROAD WILL REQUIRE AN ENCROACHMENT PERMIT FROM THE TOWN OF ELLINGTON DEPARTMENT OF PUBLIC WORKS. THE CONTRACTOR IS RESPONSIBLE FOR PROCUREMENT OF SAID PERMIT.
9. RCP = REINFORCED CONCRETE PIPE (CLASS IV OR V AS SHOWN ON THE PLANS) CONFORMING TO CT DOT FORM 818, M.08.01-6.
10. PVC: DRAIN PIPE = SCH. 40 PVC PIPE CONFORMING TO CT DOT FORM 818, M.08.01-27.
11. CPE = CORRUGATED POLYETHYLENE PIPE CONFORMING TO CT DOT FORM 818, M.08.01-18, SMOOTH INTERIOR
12. CATCH BASINS, MANHOLES, AND OTHER DRAINAGE STRUCTURES SHALL CONFORM TO CONN. D.O.T. FORM 818 SECTION M.08.02.
13. WORK ASSOCIATED WITH THE CONSTRUCTION OF THE OUTFALL ALONG THE HOCKANUM RIVER WILL REQUIRE COORDINATION WITH THE TOWN OF ELLINGTON INLAND WETLANDS OFFICER, THE PROJECT ENGINEER, AND THE PROJECT SOIL/WETLAND SCIENTIST.



No.	Date	Description

GRADING AND DRAINAGE PLAN
PREPARED FOR
FIFTY (50) WEST ROAD, LLC
50 WEST ROAD
ELLINGTON, CONNECTICUT

Date: 02-02-2024 Drawn by: DRT Job no: 23104
Scale: 1" = 50' Checked by: GAH Sheet no: 3 OF 3

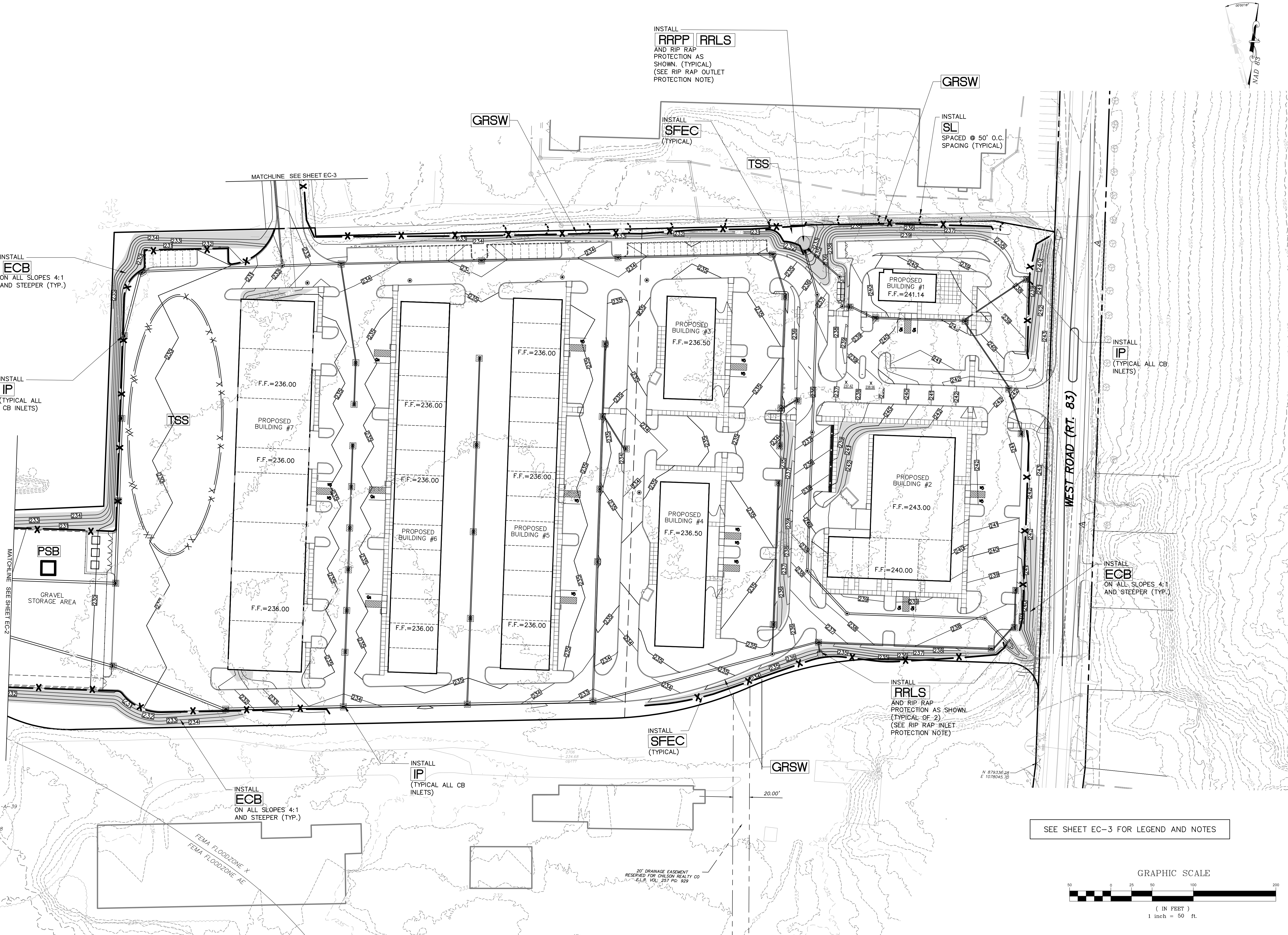
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GR-3

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Phone (860) 653-8000 Fax (860) 644-8600
www.fahesketh.com mail@fahesketh.com

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INSTALL
ECB
ON ALL SLOPES 4:1
AND STEEPER (TYP.)

INSTALL
IP
(TYPICAL ALL
CB INLETS)

MATCHLINE SEE SHEET EC-2

INSTALL
ECB
ON ALL SLOPES 4:1
AND STEEPER (TYP.)

INSTALL
RRLS
AND RIP RAP
PROTECTION AS
SHOWN. (TYPICAL)
(SEE RIP RAP OUTLET
PROTECTION NOTE)

INSTALL
SFEC
(TYPICAL)

GRSW

INSTALL
SL
SPACED @ 50' O.C.
SPACING (TYPICAL)

TSS

TSS

INSTALL
IP
(TYPICAL ALL CB
INLETS)

INSTALL
ECB
ON ALL SLOPES 4:1
AND STEEPER (TYP.)

INSTALL
RRLS
AND RIP RAP
PROTECTION AS SHOWN.
(TYPICAL OF 2)
(SEE RIP RAP INLET
PROTECTION NOTE)

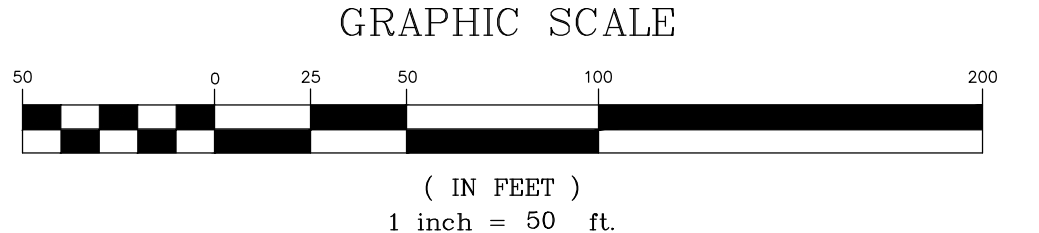
INSTALL
SFEC
(TYPICAL)

GRSW

FEMA FLOODZONE X
FEMA FLOODZONE AE

20' DRAINAGE EASEMENT
RESERVED FOR ONESON REALTY CO
E.L.R. VOL. 257 PG. 929

SEE SHEET EC-3 FOR LEGEND AND NOTES

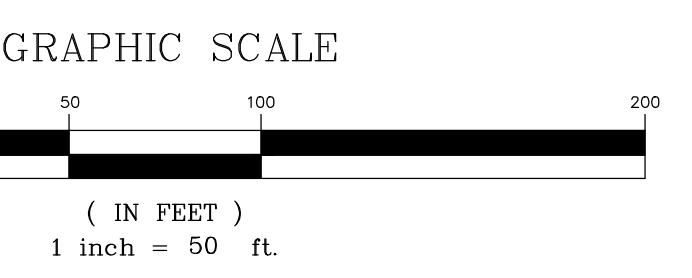
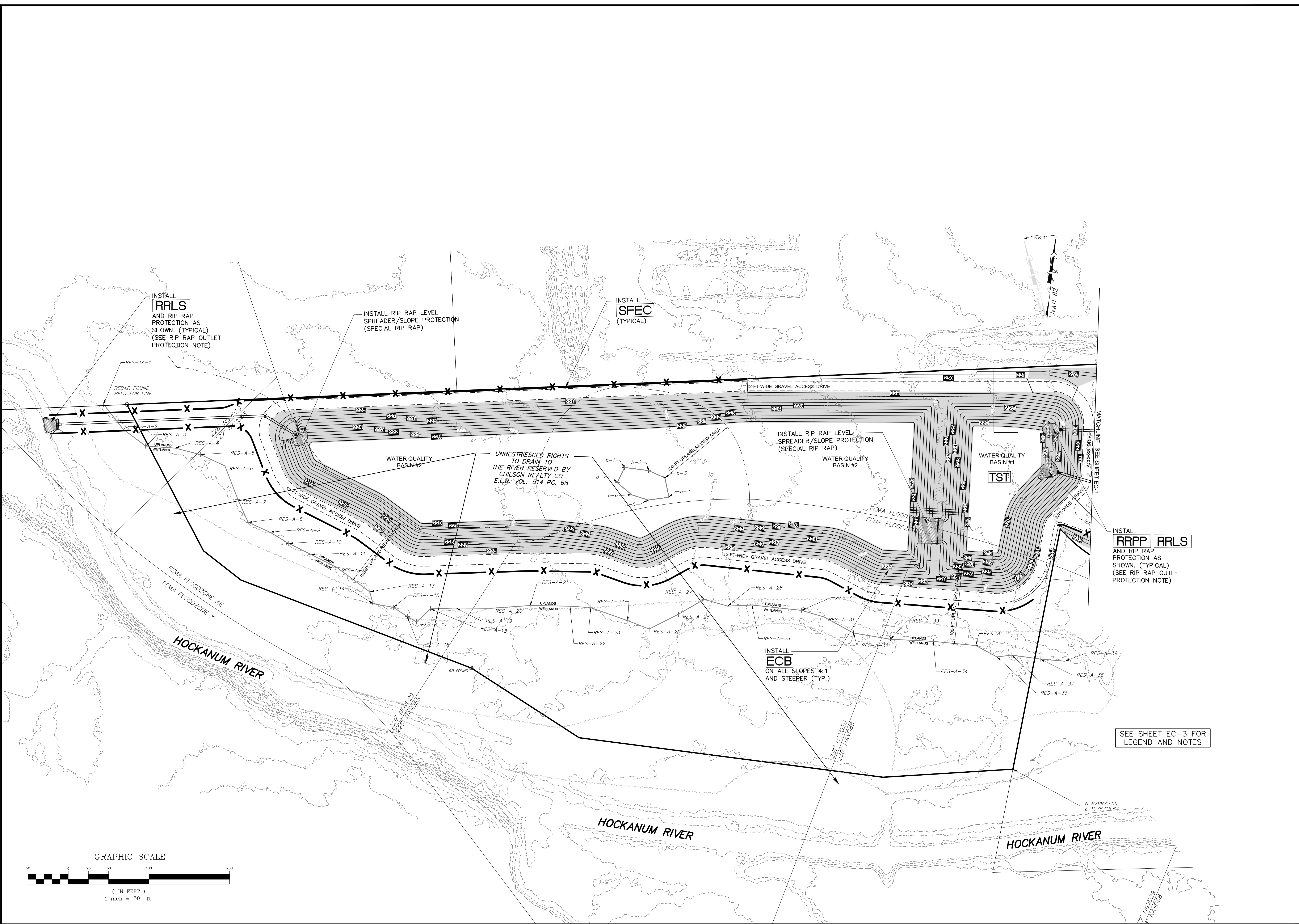


No.	Date	Description

SOIL EROSION AND SEDIMENT CONTROL PLAN
FIFTY (50) WEST ROAD, LLC
 50 WEST ROAD
 ELLINGTON, CONNECTICUT
 Date: 02-02-2024 Drawn by: DRT Job no: 23104
 Scale: 1" = 50' Checked by: GAH Sheet no: 1 OF 3
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EC-1

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SEE SHEET EC-3 FOR LEGEND AND NOTES

No.	Date	Description

SOIL EROSION AND SEDIMENT CONTROL PLAN
 PREPARED FOR
FIFTY (50) WEST ROAD, LLC
 50 WEST ROAD
 ELLINGTON, CONNECTICUT
 Date: 02-02-2024 Drawn by: DRT Job no: 23104
 Scale: 1" = 50' Checked by: GAH Sheet no: 2 OF 3
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EC-2

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LEGEND

- = PROPOSED OUTLET STRUCTURE
- = PROPOSED HEADWALL
- = PROPOSED CATCH BASIN
- = PROPOSED SANITARY MANHOLE
- = PROPOSED DRAINAGE MANHOLE
- = PROPOSED UNDERGROUND STORMWATER CHAMBER
- = PROPOSED UNDERGROUND STORMWATER ISOLATOR CHAMBER
- = PROPOSED FLARED END SECTION
- = PROPOSED STORM DRAIN CULVERT
- = PROPOSED SPOT GRADE
- = PROPOSED CONTOUR
- = PROPOSED DRAINAGE DIVIDE
- = PROPOSED CONSTRUCTION EXIT (CE)
- = PROPOSED CATCH BASIN INLET PROTECTION (IP)
- = PROPOSED RIPRAP PLUNGE POOL (RRPP)
- = PROPOSED SEDIMENT FENCE EROSION CONTROL (SFEC)
- = PROPOSED SEDIMENT LOG (SL)
- = PROPOSED RIPRAP LEVEL SPREADER (RRLS)
- = PROPOSED SEEDING AND MULCHING (TS)
- = PROPOSED EROSION CONTROL BLANKET (ECB)
- = CONSTRUCTION ENTRANCE
- = TEMPORARY EROSION CONTROL BLANKET
- = VEGETATIVE SWALE
- = INLET PROTECTION
- = PUMP SETTLING BASIN
- = RIP RAP LEVEL SPREADER
- = RIP RAP PLUNGE POOL
- = SEDIMENT FENCE EROSION CONTROL
- = SEDIMENT LOG
- = TEMPORARY SOIL STOCKPILES
- = TEMPORARY SOIL TRAP

PROJECT DESCRIPTION:

The proposed activity includes development of the eastern portion of the parcel into light industrial and commercial uses. Ultimate development of the parcels will include four retail/commercial buildings and three light industrial buildings (tradesmen/contractor storage and operations centers.) Access will be from both Lower Butcher Road and West Road. The western portion of the site, adjacent to the wetlands and Hockanum River will not be developed with buildings or associated paved parking or access drives, but will include stormwater management facilities to capture and treat stormwater runoff from the eastern developed portion of the parcel.

Proposed sediment and erosion control measures will follow the guidelines established in the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control (Guidelines). The measures include, but are not limited to the use of silt fence erosion control and sediment logs in areas downgradient of earthen activities, rip rap protection on all stormwater outfalls, a construction exit, erosion control blankets on steep slopes, stabilizing vegetation, conveyance of stormwater runoff into water quality basins and control of stormwater discharge.

The project will be serviced by the Connecticut Water Company (CWC) water systems for potable water and fire protection. Fire hydrants will be provided at the locations specified by the Ellington Fire Department. Sanitary sewage will be collected by on-site, private gravity sewers that will discharge into the existing gravity sewers on the Pure Country Farms Property to the north operated by the Ellington Water Pollution Control Authority (WPCA). Electric, telephone and communications services will be from existing infrastructure located on Lower Butcher Road and West Road.

Stormwater management includes conveyance of runoff from up-gradient CT DOT drainage systems through the site, the capture and treatment of on-site runoff with large-volume water quality basins. The basins are designed to handle the 100-year storm event (SCS methodologies). Additional capacity is provided in the basins to facilitate future development of the adjacent Moser parcel to the north.

The on-site storm drainage collection systems incorporate Best Management Practices (BMP's) including: pre-cast catch basins with 2-foot sumps and flared-end section discharges to rip rap plunge pools, and level spreaders. The design of the on-site storm drainage collection system is based on a 10-year design storm.

CONSTRUCTION SEQUENCE:

In general, the overall project will follow the sequence below:

1. Contact "call before you dig" at 1-800-922-4455 at least 48 hours prior to the start of construction to have existing utilities marked.
2. Attend a pre-construction meeting with the Owner, Project Engineer, and Town of Ellington staff.
3. Install construction entrance/exit to Lower Butcher Road.
4. Prior to the start of any excavation or topsoil stripping activities place sediment fence as shown to establish perimeter controls.
5. Construct temporary sediment trap (TST) in the northern area of site, adjacent to the 24-inch flared-end inlet adjacent to Natural Country Farms site.
6. Strip topsoil for construction of water quality basins. Stockpile and stabilize topsoil piles with perimeter silt fencing and temporary seeding.
7. Establish Pump Settling Basin (PSB) for dewatering activities.
8. Excavate/rough grade water quality basins. Construct gravel perimeter access road around basins.
9. Install basin outlet structure and outfall piping. Install piping and weir between WQB #1 and WQB #2. Construct stormwater outfall piping into WQB #1. Install rip rap erosion protection.
10. Stabilize sideslopes of basin by topsoiling, seeding, and install erosion control fabric.
11. Rough grade balance of site.
12. Construct sanitary sewer mains and manholes.
13. Construct balance of storm drain improvements.
14. Construct water service mains.
15. Construct underground gas, electric and tel./com. services.
16. Construct building foundations and building structures.
17. Construct concrete curbing, sidewalks and slabs.
18. Construct subbase, processed base course, and finish grade fill slopes.
19. Stabilize fill slopes by topsoil and seeding and installing erosion control blankets.
20. Install pavement binder course and wearing course for both driveway and parking areas. Install pavement markings and signs.
21. Place topsoil and establish lawns along all disturbed areas. Install plantings.
22. Remove erosion controls after disturbed areas are landscaped and mulched or new lawn areas are stabilized. Complete final cleaning of storm sewer system.
23. Remove sediment from storm drainage system and riprap aprons as required. Remove sediments from WQ Basin#1.
24. The approximate date for start of construction is summer 2023. The estimated completion date is late summer 2025.

EROSION AND SEDIMENT CONTROL NOTES

1. Disturbance of soil surfaces is regulated by State Law. All work shall comply with an approved "Erosion and Sediment Control Plan" to prevent or minimize soil erosion.
2. The installation and maintenance of erosion control devices is the responsibility of the land owner, developer, and the excavation contractor. Town officials shall be notified in writing of the name, address and telephone number of the individual responsible for this work (including any changes) at the required pre-construction conference.
3. The contractor shall use the "Connecticut Guidelines for Soil Erosion and Sediment Control" (2002), as amended as a guide in constructing the erosion and sediment controls indicated on these plans. The guidelines may be obtained from the Connecticut Department of Environmental Protection store, 79 Elm Street, Hartford, CT 06106-5127.
4. The contractor shall schedule operations to limit disturbance to the smallest practical area for the shortest possible time. Overall site disturbance shall be confined to those limits delineated on the plans.
5. The contractor is responsible for the timely installation, inspection, repair or replacement of erosion control devices to insure proper operation.
6. The contractor shall notify the design engineer of unsatisfactory erosion conditions not controlled by the erosion and sediment control plan and shall install additional measures as required.
7. All disturbed areas not covered by buildings, pavement, mulch or ground cover plantings shall be planted with grass per the landscape plan.
8. Accumulated sediment removed from erosion control devices is to be spread and stabilized in level, erosion resistant locations as general fill.
9. The contractor shall be responsible for cleaning any construction debris or sediment from existing roads as ordered by the Town and/or State, if any debris or sediment from construction activities enter onto these roadways.
10. Limit work within wetland regulated areas to the least disturbance necessary for construction. Restore disturbed areas as closely as possible to their original natural state.
11. Additional dust control measures as specified in D.O.T. 818 Section 9.39, Section 9.42 and Section 9.43 shall be furnished by the contractor as site conditions warrant or as directed by Town or State officials.
12. The contractor is responsible for cleaning and removal of sediment and/or debris from the storm drainage system throughout the duration of the project (i.e. sumps, plunge pools, level spreaders, etc.)
13. The erosion and sedimentation control measures shown on the plans are the minimum requirements for the work. Specific erosion control plans shall be developed by the Contractor for each phase of the work and shall be modified as construction conditions warrant. These phased plans shall be submitted to the Engineer and to Town staff for review and approval.

EROSION CONTROL DEVICES:

Refer to the "Connecticut Guidelines For Soil Erosion And Sediment Control - 2002" (see Erosion and Sediment Control Note 3) when constructing erosion control devices shown on this plan.

CE - CONSTRUCTION EXIT: a broken stone pad providing a hard surface points where vehicles will leave the site. The construction exits reduce tracking of sediment into adjacent pavement. Excess sediment should be periodically removed from the stone surface.

ECB - EROSION CONTROL BLANKET: A manufactured blanket composed of biodegradable/photo-degradable natural or polymer fibers and/or filaments that have been mechanically, structurally or chemically bound together to form a continuous matrix.

FES - FLARED END SECTION: a precast concrete culvert or formed polyethylene end structure designed to spread runoff to greater width of flow.

GRSW - VEGETATIVE SWALE: a shaped shallow earth drainage way used to convey excess surface runoff. Grass vegetation should be well established before use. Stabilization with netting or mulch may be required.

IP - INLET PROTECTION: a sediment control device used during construction that mounts under the grate of a catch basin, residing inside the structure. It is made of permeable geotextile that allows water to pass, but traps silt and sediment. (Silt Sack or approved equal.) The silt sack must be removed when silt/sediment reaches one half the height of the device. Remove sediments and deposit on stable area of site and rinse device for reuse. Replace when damaged.

PSB - PUMPING SETTLING BASIN: An enclosed sediment barrier or excavated pit constructed with a stable inlet and outlet such that sediment laden water from pumping operations is de-energized and temporarily stored, allowing sediments to be settled and/or filtered out before being released from the construction site.

RRLS - RIP RAP LEVEL SPREADER: A temporary discharge outlet to disperse or spread runoff as sheet flow over a vegetated area to promote infiltration and to prevent channelization and erosion. Level spreaders consist of a long linear shallow trench or low berm and a broad stable discharge structure constructed at zero grade (i.e., level lip) over which water flows as sheet flow across a stabilized, well-vegetated flat or gently sloped area without causing erosion.

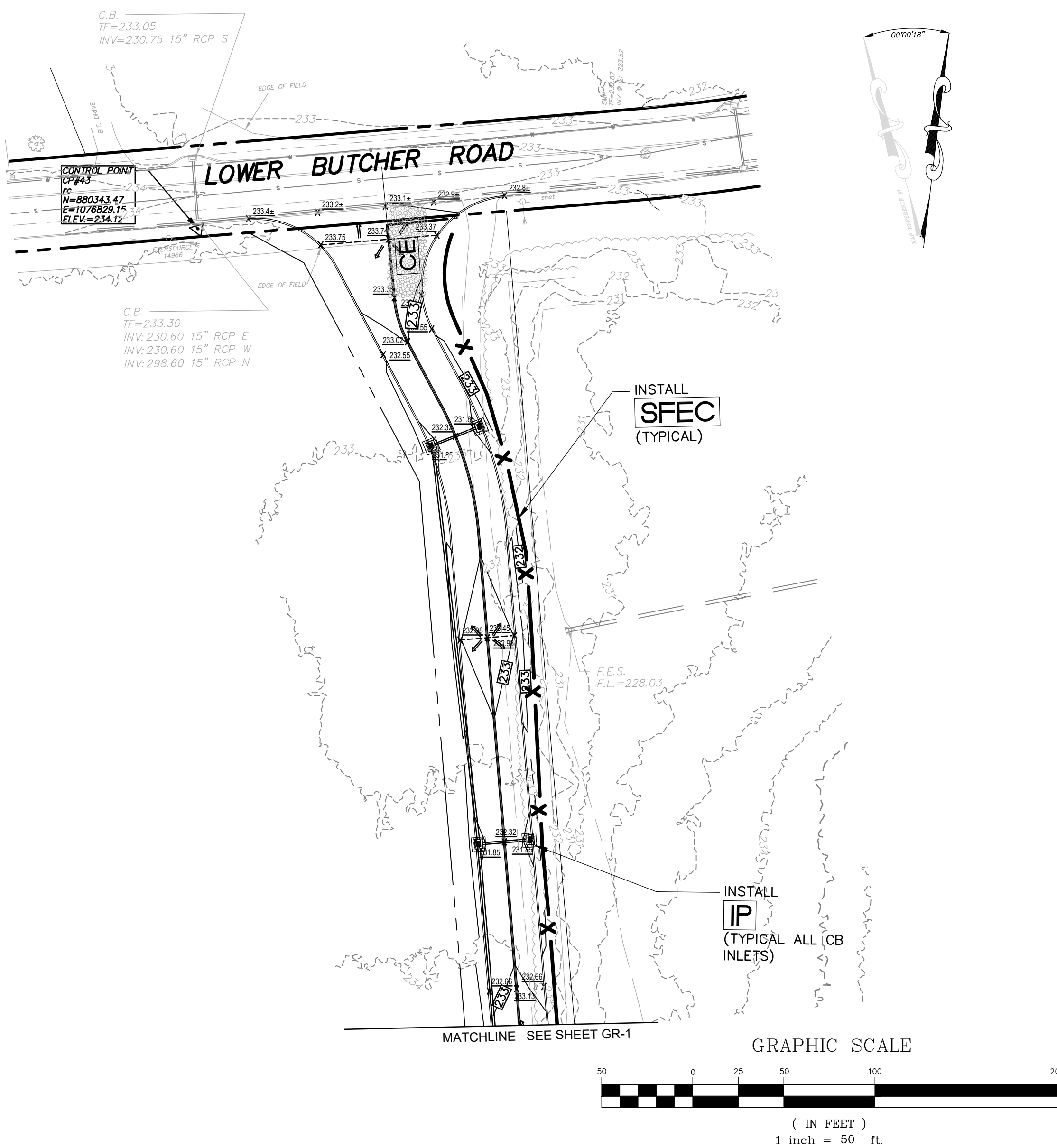
RRPP - RIP RAP PLUNGE POOL: a rip rap lined apron installed at a zero percent grade to absorb the initial impact of stormwater discharge from the storm drainage system and further reduce flow velocities to prevent erosion downstream. RRPP is designed per the "Connecticut Department of Transportation, Drainage Manual - 2000"

SFEC - SEDIMENT FENCE EROSION CHECK: a synthetic textile barrier designed to filter sediment from surface water runoff. Placement shall be similar to HBEC and installation requires anchoring the fence bottom to prevent bypass. All sediment shall be removed if deposits reach one (1) foot in depth. Additional support (such as snow fence or wire fence) on the downhill face may be required to strengthen sediment fence in high flow locations.

SL - SEDIMENT LOGS: A sediment control device consisting of an outside, open weave containment fabric filled with fibers. It is designed to provide a flexible, lightweight, porous, sediment control device with the ability to conform to the terrain upon which it is installed. It is designed to dissipate velocity of flow and filter and trap sediments up-gradient and within the device.

TSS - TEMPORARY SOIL STOCKPILE: Temporary location of stockpiled topsoil. Locations shall generally be on level ground away from drainageways and shall be ringed with silt fence and/or haybales. Stockpile shall be seeded if it remains in place for more than 30 days.

TST - TEMPORARY SEDIMENT TRAP: A temporary ponding area with a stone outlet formed by excavation and/or constructing an earthen embankment traps sediment from eroding areas before it can reach downstream waterways, drainage systems, developed areas or any other land to be protected. Sediment basins can be created with dams and barriers or excavation along waterways or any runoff path. They must be designed to detain sediment-laden runoff from small disturbed areas long enough to allow a majority of the sediment to settle out. Accumulated sediment must be removed periodically.



CLEARING NOTE.
FOR INSTALLATION OF NEW STANDARD ENDWALL(HEADWALL) AT OUTFALLS FOR WQB#2, CONDUCT THE MINIMUM NECESSARY TREE CLEARING REQUIRED TO INSTALL ENDWALL SECTIONS. TREES/BRUSH SHALL BE CUT TO THE GROUND AND STUMPS LEFT IN PLACE.

RIP RAP OUTLET PROTECTION NOTES.

1. AT ALL STORMWATER OUTFALLS WHERE RIP RAP PLUNGE POOLS ARE SHOWN, SUPPLEMENT WITH ADDITIONAL RIP RAP LINING (MODIFIED RIP RAP) TO PROVIDE EROSION CONTROL PROTECTION IN THE FORM OF AN APRON FROM THE LIMITS OF THE OUTER SIDE EDGES OF THE PLUNGE POOL TO THE BOTTOM OF THE BASIN FOR THE APPROXIMATE LIMITS SHOWN. SHAPE TO SPREAD FLOW EVENLY.
2. CONTRACTOR TO COORDINATE THE LIMITS WITH THE DESIGN ENGINEER DURING CONSTRUCTION.

CONTINGENCY PROVISIONS FOR EROSION & SEDIMENT CONTROL FAILURES AND EMERGENCIES:

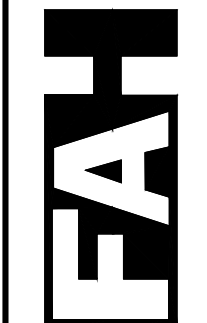
1. THE CONTRACTOR SHALL SCHEDULE WORK SO THAT NO EARTHWORK THAT IS POTENTIALLY EXPOSED TO EROSION IS CONDUCTED DURING SEVERE WEATHER EVENTS, OR WHEN SEVERE WEATHER IS FORECAST, WITHOUT IMPLEMENTATION OF PROPER EROSION CONTROL MEASURES.
2. THE CONTRACTOR SHALL STABILIZE OR OTHERWISE SECURE DISTURBED AREAS AT THE END OF EACH WORK DAY AND WORK WEEK TO MINIMIZE IMPACTS OF EROSION. SUCH MEASURES SHALL INCLUDE TEMPORARY DIVERSIONS, INSTALLATION OF STABILIZATION STRUCTURES, ETC.
3. THE CONTRACTOR SHALL KEEP, ON-SITE, EXTRAS HAY BALES, SILT FENCE, SEDIMENT LOGS (STRAW WATTLES), RIP RAP, AND EROSION CONTROL FABRIC FOR USE IN CASE OF AN EROSION CONTROL EMERGENCY.
4. IN THE EVENT THAT AN EROSION CONTROL EMERGENCY, THE CONTRACTOR SHALL TAKE REASONABLE MEASURES TO STABILIZE THE IMPACT AREAS, PREVENT FURTHER EROSION AND TRANSPORT OF SEDIMENTS, ETC. IN THE EVENT THAT SEDIMENTS ARE TRANSPORTED OFF THE SITE, THE CONTRACTOR SHALL NOTIFY THE OWNER, AND THE PROJECT ENGINEER. IN THE EVENT THAT SEDIMENTS ENTER ANY STORM DRAIN SYSTEMS, THE CONTRACTOR SHALL NOTIFY THE TOWN PUBLIC WORKS DEPARTMENT, OR THE CT DOT, AS APPROPRIATE AND TAKE IMMEDIATELY IMPLEMENT REMEDIAL MEASURES

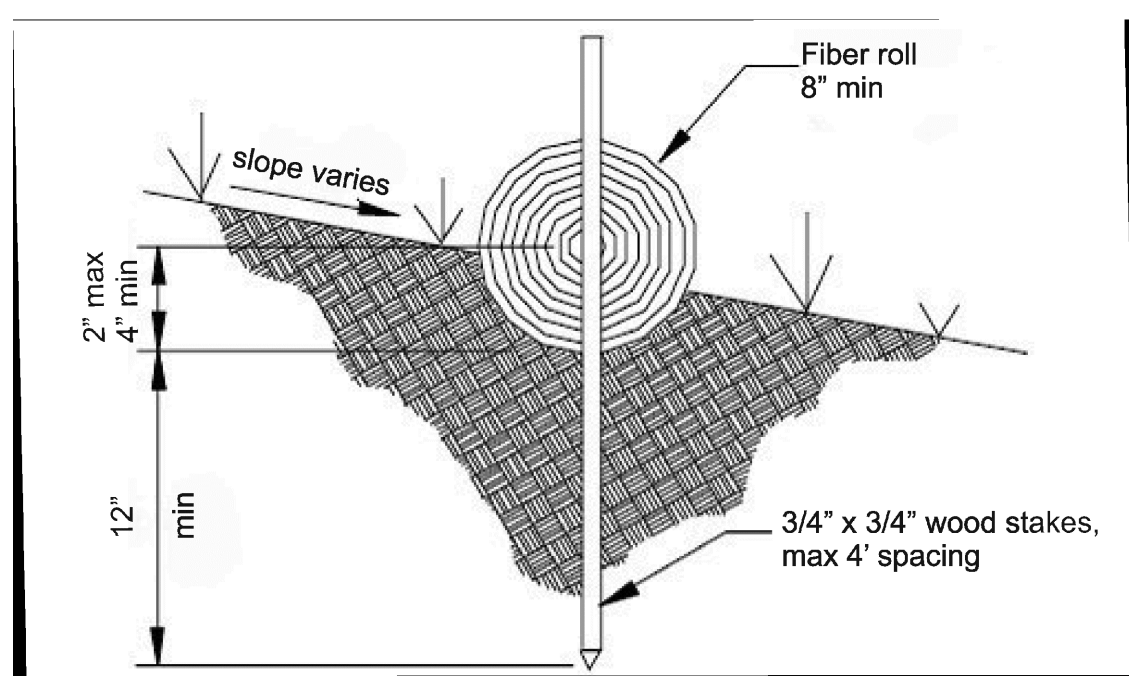
No.	Date	Description

SOIL EROSION AND SEDIMENT CONTROL PLAN
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FIFTY (50) WEST ROAD, LLC
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EC-3

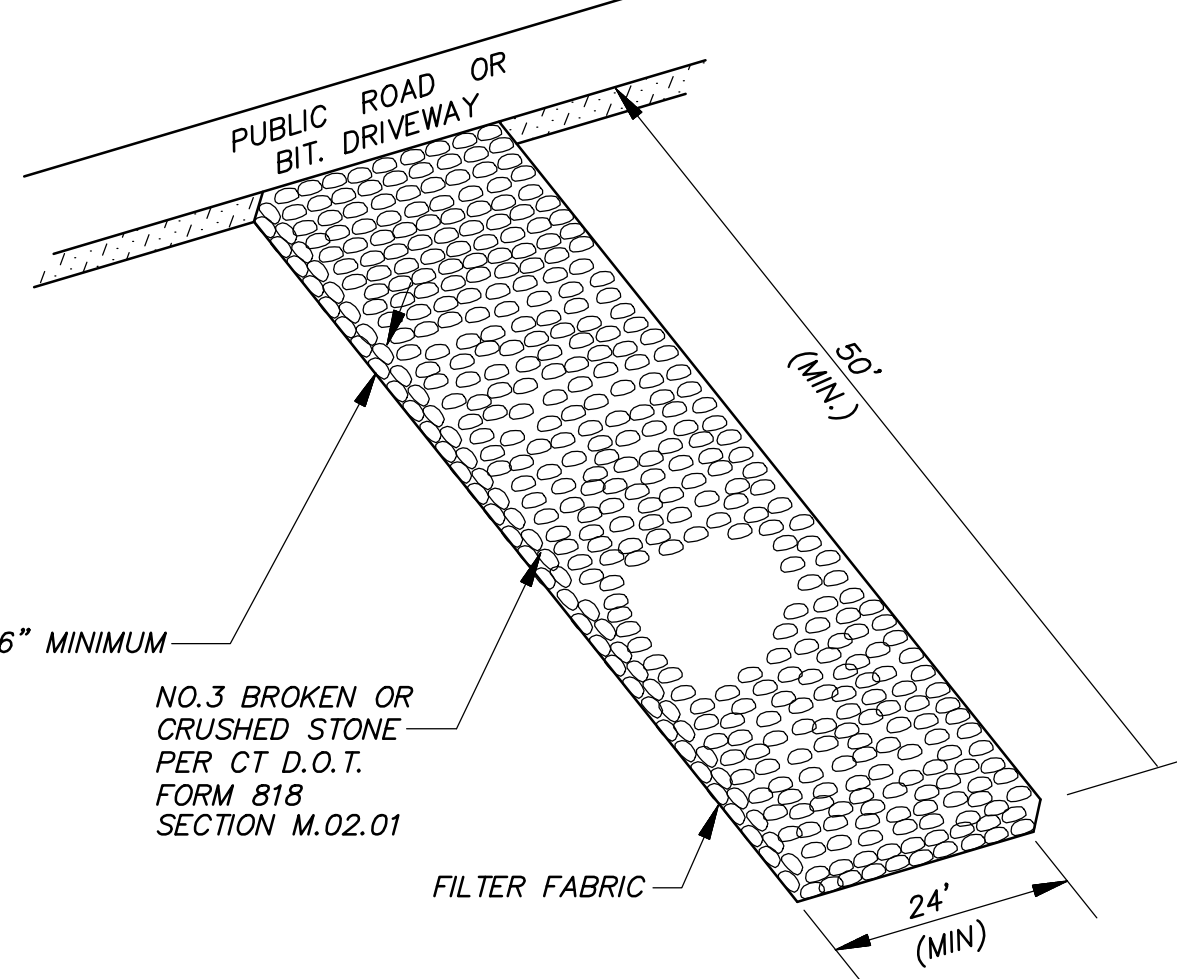
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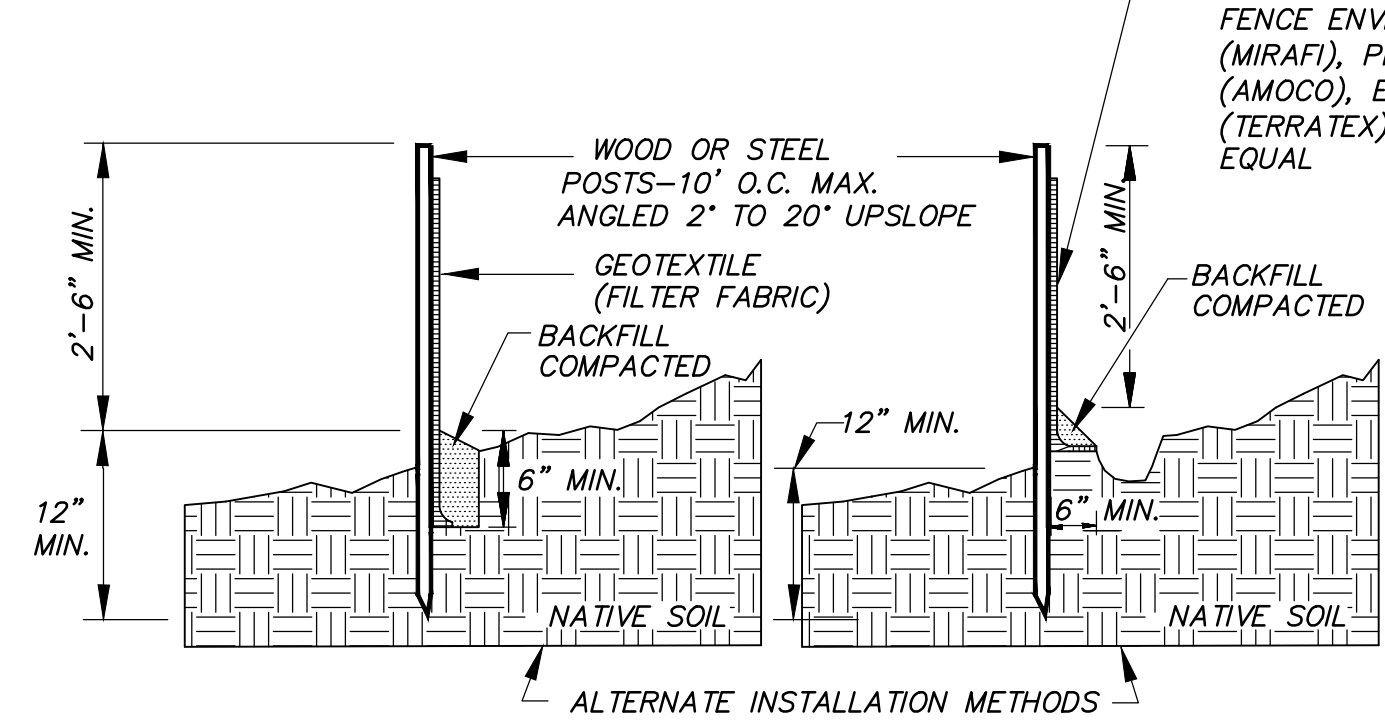


- NOTES:**
- USE SEDIMENT LOG BY AMERICAN EXCELSIOR, OR APPROVED EQUAL
 - MUST BE CERTIFIED WEED FREE.

SEDIMENT LOG SECTION (SL)
N.T.S.

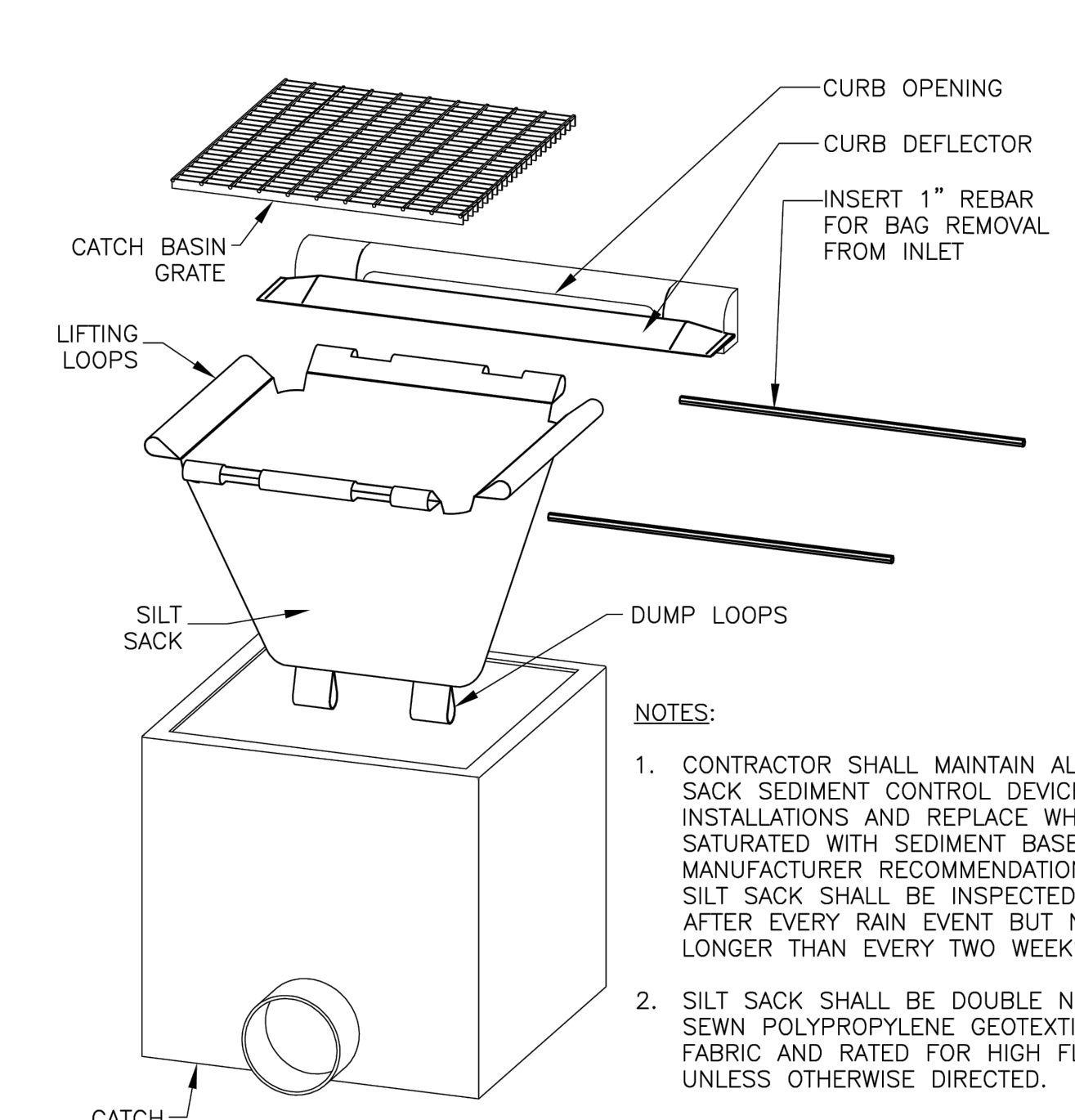


CONSTRUCTION EXIT (CE)
N.T.S.



- NOTE:**
- WOOD POSTS SHALL BE HARDWOOD 1 1/2" x 1 1/2" x 48" MIN. STEEL POST SHALL BE A MINIMUM OF 0.5 POUNDS PER LINEAR FOOT x 48".
 - JOINTS, WHEN REQUIRED, SHALL BE SPLICED & SECURELY SEALED TOGETHER, AT POST LOCATIONS ONLY, WITH A MINIMUM 6" OVERLAP.

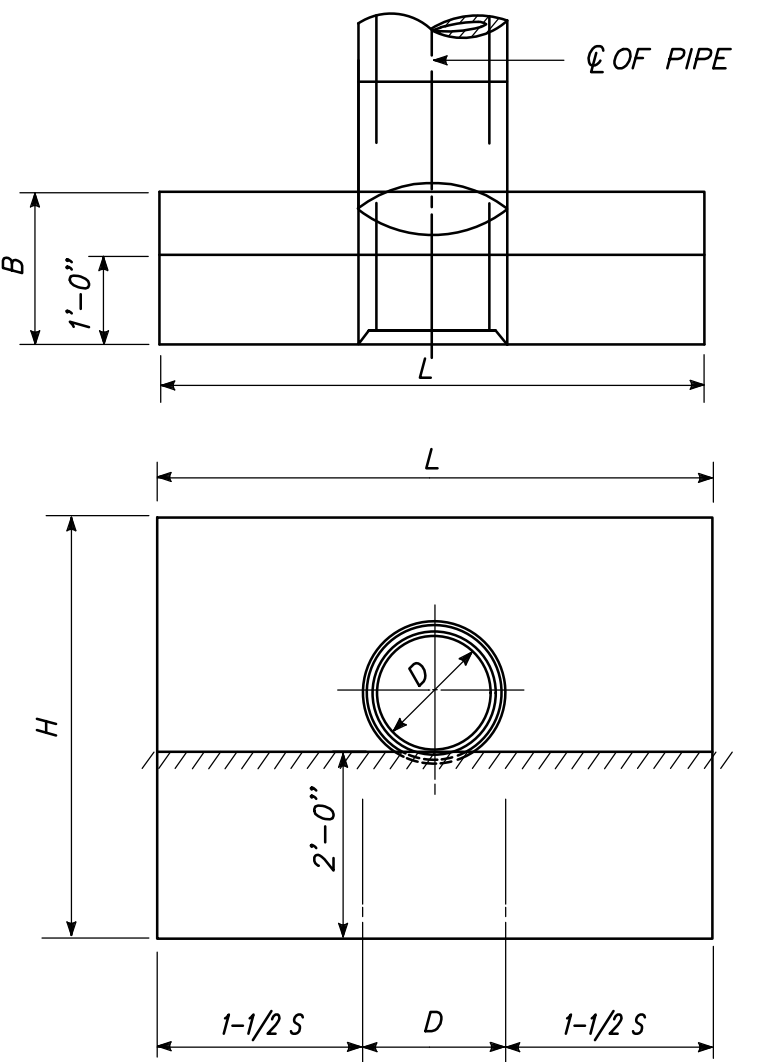
SEDIMENT FENCE EROSION CONTROL (SFEC)
N.T.S.



- NOTES:**
- CONTRACTOR SHALL MAINTAIN ALL SILT SACK SEDIMENT CONTROL DEVICE INSTALLATIONS AND REPLACE WHEN SATURATED WITH SEDIMENT BASED ON MANUFACTURER RECOMMENDATIONS. SILT SACK SHALL BE INSPECTED AFTER EVERY RAIN EVENT BUT NO LONGER THAN EVERY TWO WEEKS.
 - SILT SACK SHALL BE DOUBLE NEEDLE SEWN POLYPROPYLENE GEOTEXTILE FABRIC AND RATED FOR HIGH FLOW UNLESS OTHERWISE DIRECTED.
 - CONTRACTOR SHALL PROVIDE CURB OPENING DEFLECTOR AT ALL CATCH BASINS AS NECESSARY.

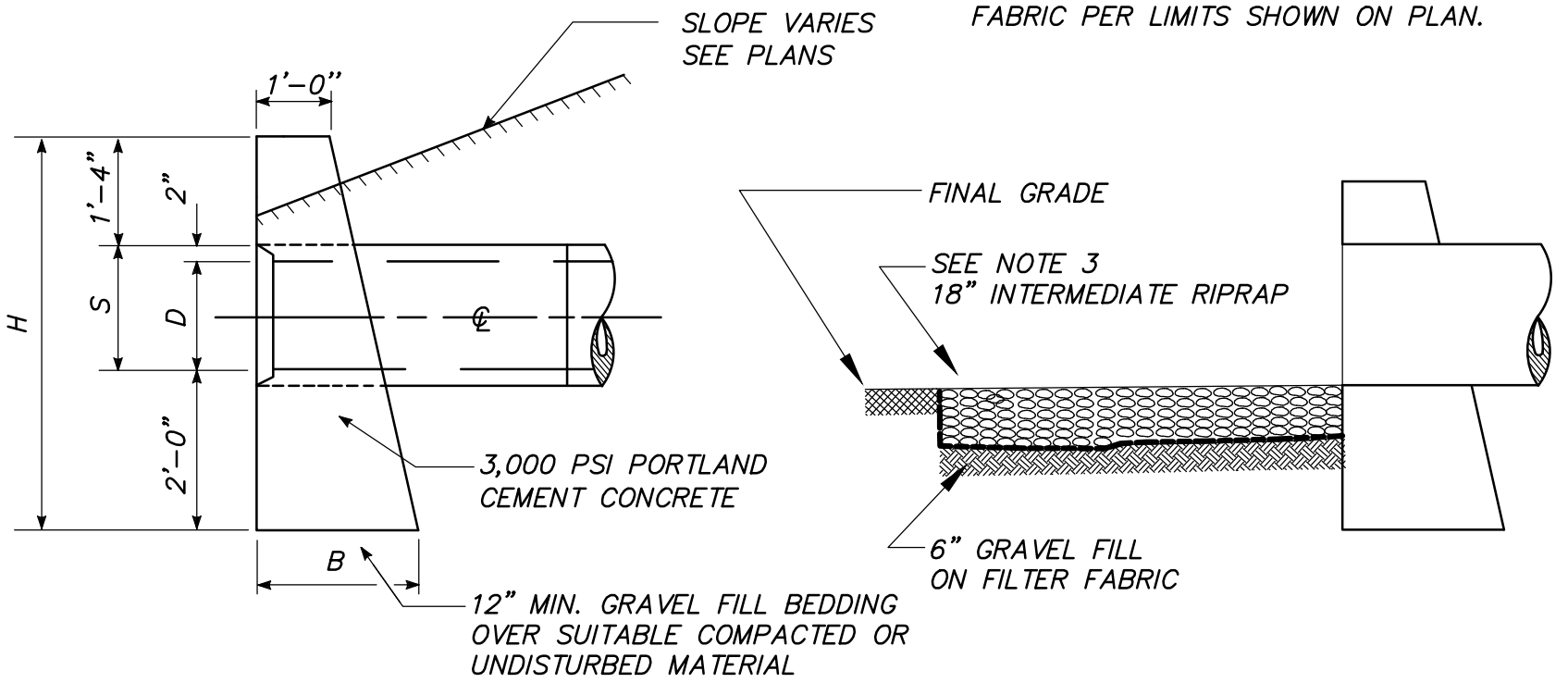
- NOTES:**
- INSTALL AND MAINTAIN IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 - USE APPROPRIATE SIZE FOR STRUCTURE.
 - FOR CURB INLETS, INSTALL CURB DEFLECTOR

INLET PROTECTION (IP) [SILT SACK INSERT]
N.T.S.



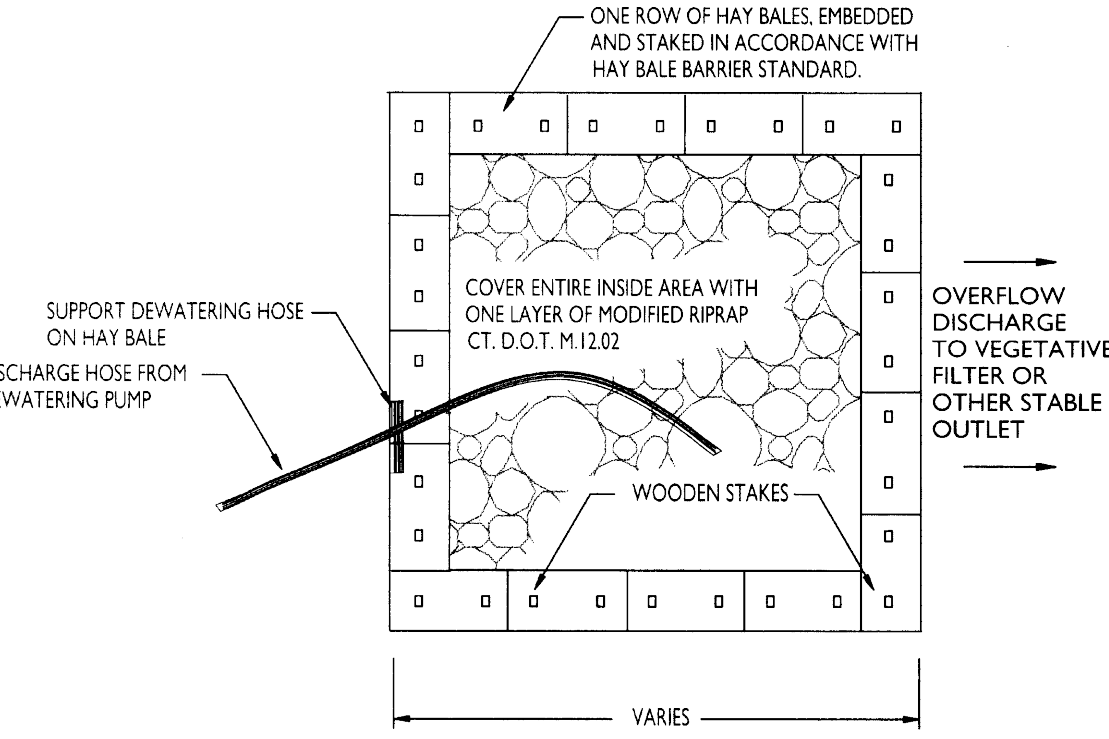
DIMENSIONS					
D	S	H	L	BATTER	B
12"	1'-2"	4'-6"	2'-1/2"	11-11 1/4"	1'-11 1/4"
15"	1'-5"	4'-9"	3'-6"	2'-1/2"	1'-11 7/8"
18"	1'-8"	5'-0"	4'-6"	2'-1/2"	2'-0 1/2"
24"	2'-2"	5'-6"	6'-6"	2'-1/2"	2'-1 3/4"
30"	2'-8"	6'-0"	10'-6"	2'-1/2"	2'-3"
36"	3'-2"	6'-6"	12'-6"	3"	2'-7 1/2"
42"	3'-8"	7'-0"	14'-6"	3"	2'-9"
48"	4'-2"	7'-6"	16'-6"	3"	2'-10 1/2"

- NOTES:**
- CONCRETE STRUCTURES SHALL CONFORM TO CT D.O.T. FORM 818, SECTION 5.06
 - GRAVEL FILL PER CT D.O.T. FORM 818, SECTION M.02.01
 - FOR INLET PROTECTION INSTALL A 6'x6' PAD OF 18"-LAYER OF INTERMEDIATE RIP RAP OVER FILTER FABRIC. FOR OUTLET PROTECTION, INSTALL 18"-LAYER OF INTERMEDIATE RIP RAP OVER FILTER FABRIC PER LIMITS SHOWN ON PLAN.



STANDARD ENDWALL (HEADWALL)
N.T.S.

Figure PSB-1 Example of Type I Pumping Settling Basin



DEWATERING DISCHARGE BASIN (PSB)
N.T.S.

- 1. USE ANTI-WASH/GEOTEXTE PRODUCT OR APPROVED EQUAL**

ANTI-WASH®/GEOJUTE®

6 Easy Steps to Install

- Prepare the soil by grading or raking area free of clods and large stones. Do not compact. If using fertilizer, add it to soil before grading.
- Seeds and mulch (if required) should be distributed evenly over the prepared soil.
- ANTI-WASH®/GEOJUTE® should be applied by unrolling down the slope or in the direction of water flow. Always bring ANTI-WASH®/GEOJUTE® down to level area before termination. Fold 6" under, and secure with staples.
- Secure ANTI-WASH®/GEOJUTE® at the top of the slope by staking it in 6" deep. Reinforce with a row of at least five (5) staples, spacing each about a foot apart, and covering with soil.
- Place staples 18" to 24" apart throughout to secure matting to ground. All staples must be driven flush with soil surface.
- Always overlap the edges 2" to 6" at the end of each roll, fold back 4" to 8" of the matting. Overlap this 4" to 8" over the start of the next roll. Securely staple the two layers to the ground.

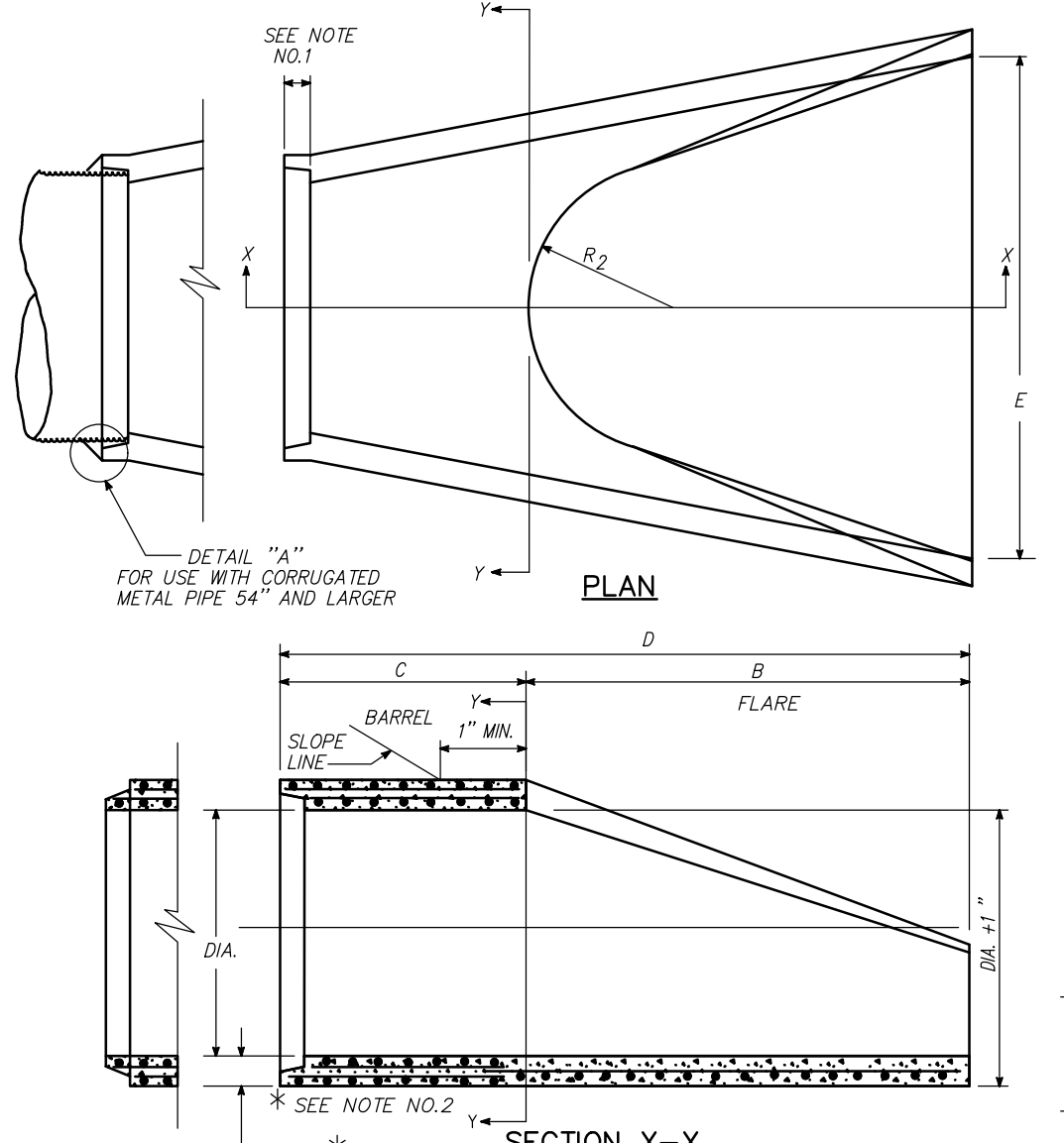
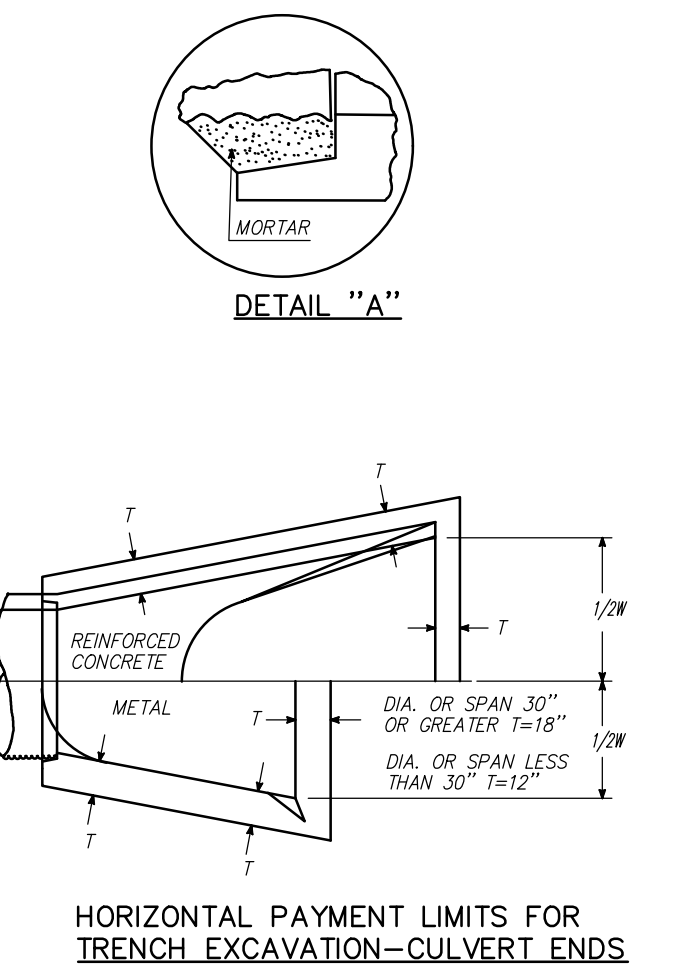
Always check with state or contracting agency for installation specifications or special requirements

Waterway Installation

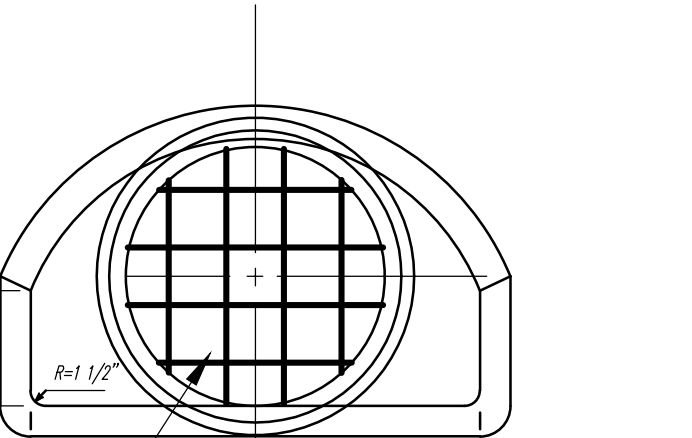
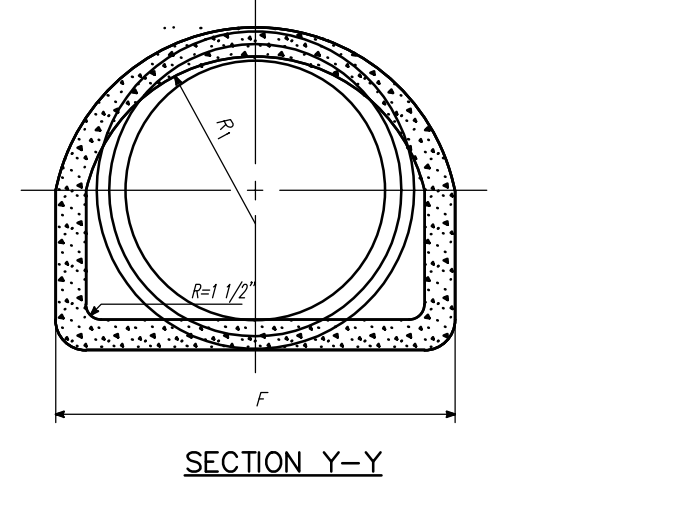
- Always lay jute in the direction of water flow.
- Extra staples are needed in waterways. Staples must be driven flush with soil surface.
- Check slots should be placed every 25' to 50', depending on the velocity of the water flow. A row of staples should be placed on either side of the check slot.
- Provide drains as needed.

Helpful Hints

- Keep dry in storage.
- Remember to lay ANTI-WASH®/GEOJUTE® loosely, do not stretch.
- Check slots may be needed on steep slopes to prevent subsurface movement of soil during prolonged or heavy rains.
- TO ESTABLISH A CHECK SLOT:
 - Dig 6" deep trench perpendicular to water flow.
 - Roll ANTI-WASH®/GEOJUTE® in two or three folds (see diagram) and set into trench.
 - Staple fabric securely in bottom of trench and continue rolling down hill.
- Because ANTI-WASH®/GEOJUTE® has 60 to 65% of open area, additional seed can be broadcast over the matting to cover bare spots that may appear due to improper seeding or poor germination.
- Recommended usage: Approximately 200 staples per 100 sq. yds.

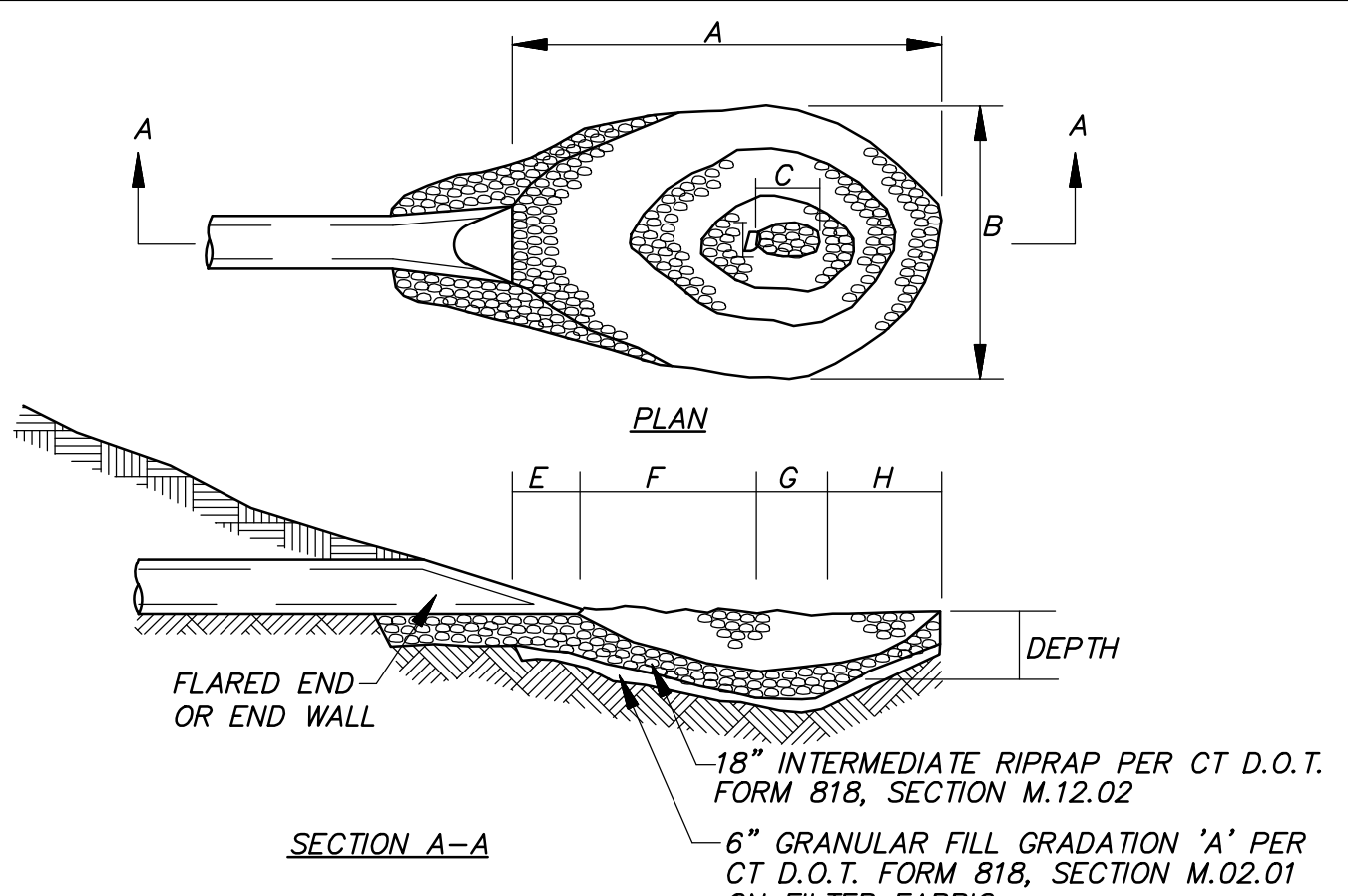


- NOTES:**
- JOINTS SHALL BE TONGUE AND GROOVE OR BELL AND SPIGOT AS REQUIRED TO CONFORM TO PIPE THICKNESS.
 - WALL THICKNESS SHALL CONFORM TO PIPE THICKNESS.



DIMENSIONS FOR REINFORCED CONCRETE CULVERT END											
DIA.	A	B	C	D	E	F	R ₁	R ₂	MIN. AREA OF REINFORCING STEEL SQ. IN. PER FT.	MIN. AREA OF REINFORCING STEEL SQ. IN. PER FT.	FLARE REINFORCING ONE LAYER ONLY IN CENTER OF WALL
12"	4"	2'-0"	4'-0 3/8"	6'-0 3/8"	2'-0"	1'-7 15/16"	10 1/4"	9"	0.049	0.054	0.054
15"	6"	2'-3"	3'-10"	6'-1"	2'-6"	2'-0 5/16"	1'-0 1/2"	11"	0.054	0.054	0.054
18"	6"	2'-3"	3'-10"	6'-1"	2'-6"	2'-0 5/16"	1'-0 1/2"	11"	0.054	0.054	0.054
21"	7"	2'-11"	3'-2"	6'-1"	2'-6"	2'-2 3/32"	1'-4"	11 1/4"	0.056	0.056	0.056
24"	9 1/2"	3'-7 1/2"	2'-8"	6'-1 1/2"	4'-0"	2'-0 3/16"	1'-4 13/16"	11 1/2"	0.072	0.072	0.072
30"	1'-0"	4'-6"	1'-5 3/4"	6'-1 3/4"	6'-0"	1'-5 1/4"	1'-8 1/2"	11-3"	0.084	0.084	0.084

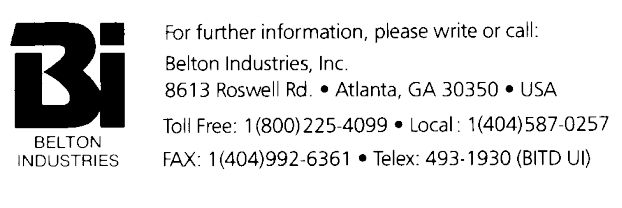
REINFORCED CONCRETE CULVERT END (FLARED END SECTION)
N.T.S.



PIPE SIZE	A	B	C	D	E	F	G	H	WT. RIPRAP TONS.	DEPTH
12"	10'	7'	1 1/2'	1'	1'	4 1/2'	1 1/2'	3'	6	1'-0"
15"	10'	8'	2'	1'	1'	5'	2'	4'	8	1'-4"
18"	12'	9'	2 1/2'	1 1/2'	1'	7'	2 1/2'	4 1/2'	12	1'-6"
21"	15'	10'	2 1/2'	1 1/2'	1'	8'	2 1/2'	5 1/2'	15	1'-10"
24"	20'	13'	3'	2'	2'	9 1/2'	3'	6'	22	2'-0"
30"	24'	16'	3 1/2'	2'	2'	9 1/2'	3 1/2'	7'	33	2'-4"
42"	28'	19'	4'	2'	2'	10'	4'	8'	42	2'-8"

RIPRAP PLUNGE POOL (RRPP)
N.T.S.

Specifications		Staples		Roll Packaging	
Property	Results	Type	Weight per Carton	Type	Weight
Fabric structure	Woven	11 gauge 6"	43 lbs.	Regular	100
Fabric width	48"	8 gauge 6"	39 lbs.	48" x 225'	100
Weight	92 lbs./yd ²	8 gauge 8"	50 lbs.	48" x 147'	65
Yarn count/Warp	78 per width, minimum	Typical usage: Approximately 200 staples per roll			
Wet	>450% of fabric weight	Other lengths of staples available on request.			
Water Absorption	60-65%	Available in regular and smolder resistant treated rolls.			
Open Area	60-65%	(Call or write for current product data sheet on smolder resistant fabric)			
Durability	approximately 50 rolls per acre (using 100 yd/roll)	Width x length			
Coverage		Type			



EROSION CONTROL BLANKET (ECB)
N.T.S.

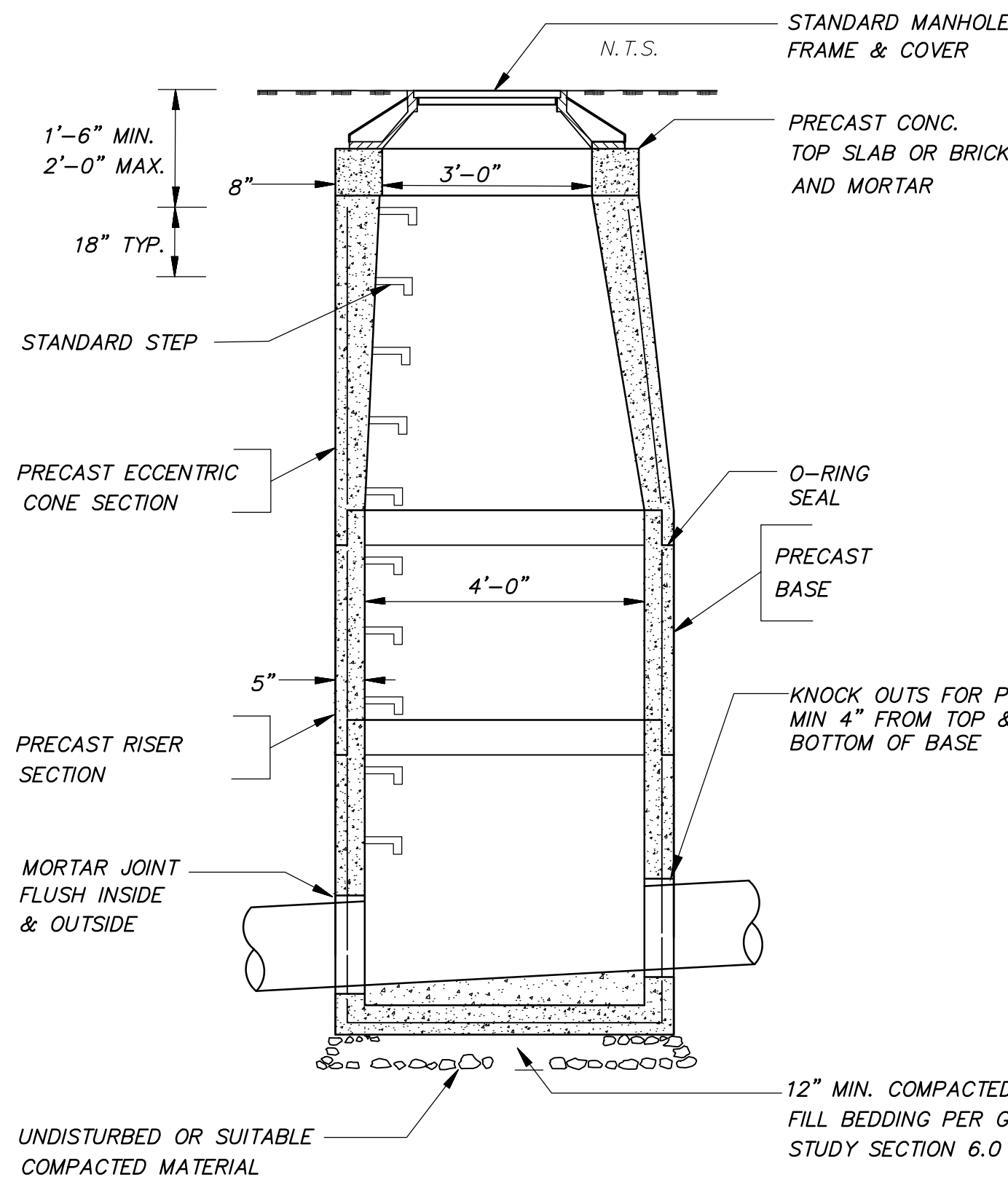
SITE DETAILS

PREPARED FOR: **FIFTY (50) WEST ROAD, LLC**
50 WEST ROAD
ELLINGTON, CONNECTICUT

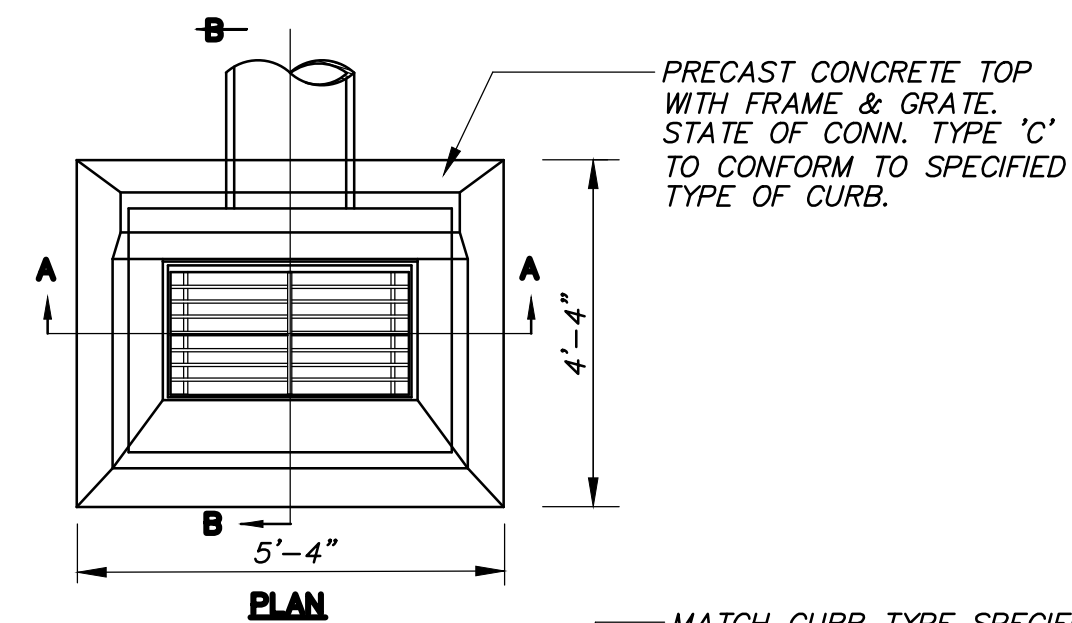
DATE: 02-02-2024
DRAWN BY: DRT
CHECKED BY: GAH
JOB NO: 23104
SHEET NO: 7 OF 6

Scale: N.T.S.
Revision: 1
Description: Erosion Control Blanket

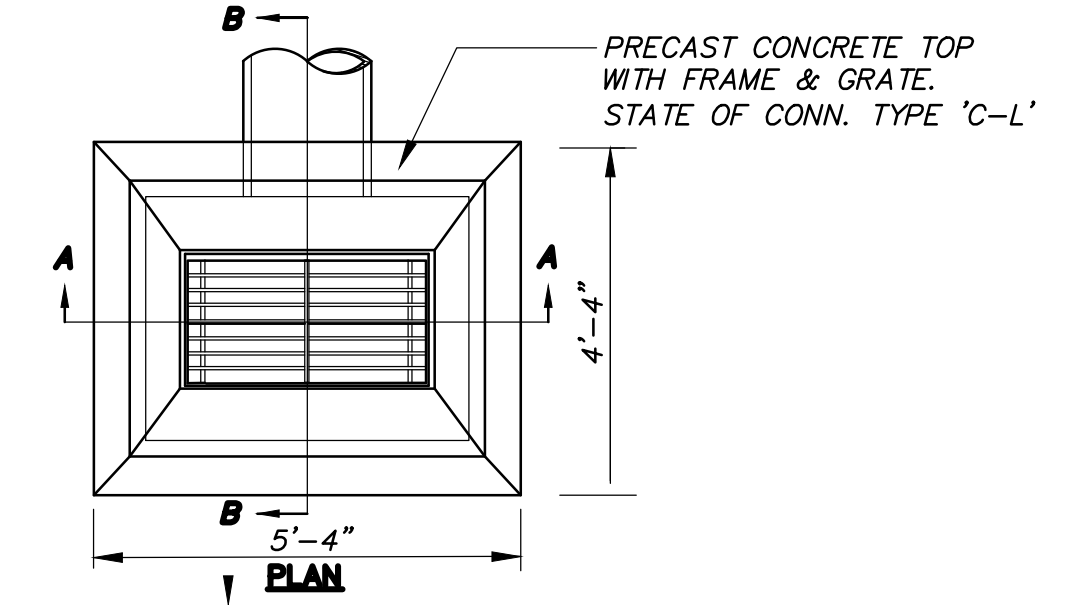
SD-1



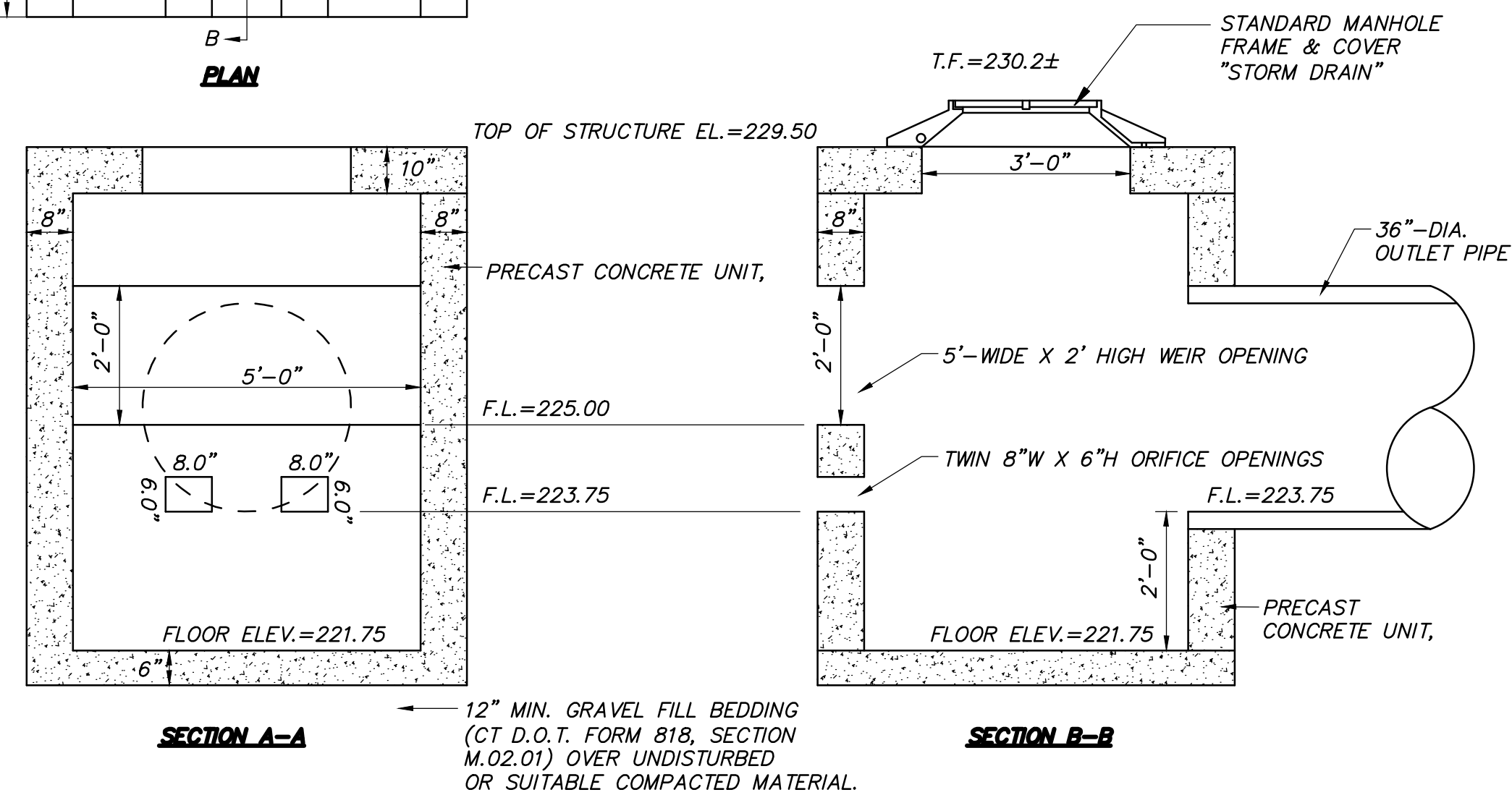
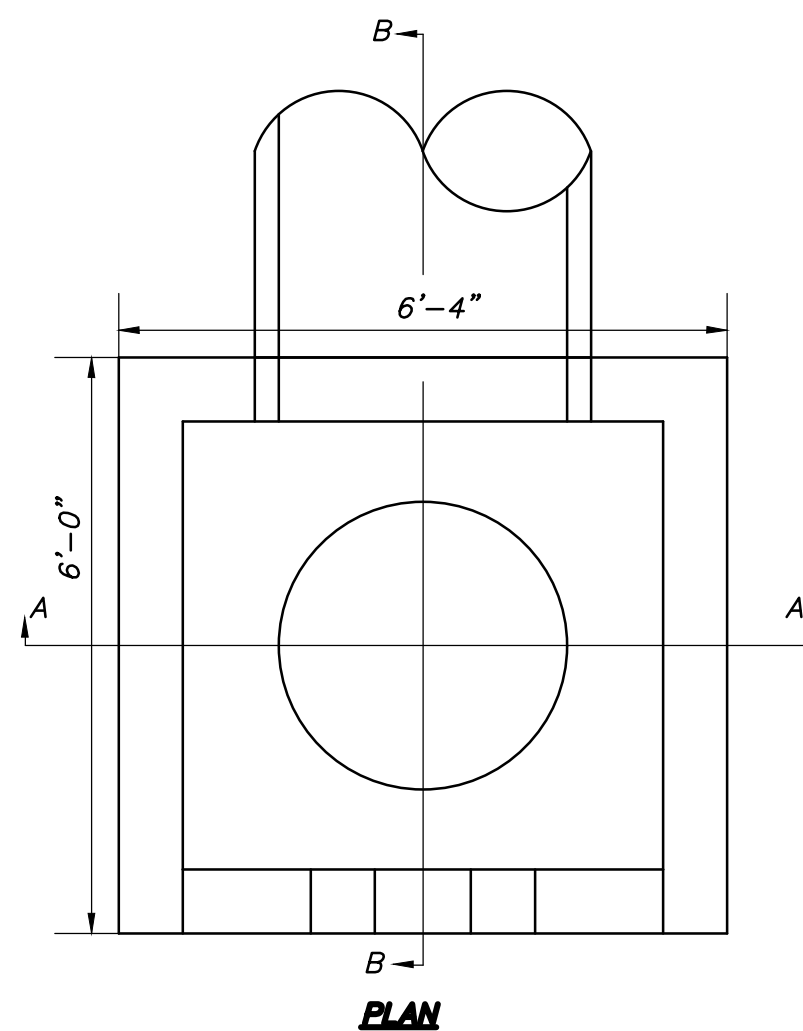
STORM SEWER MANHOLE
N.T.S.



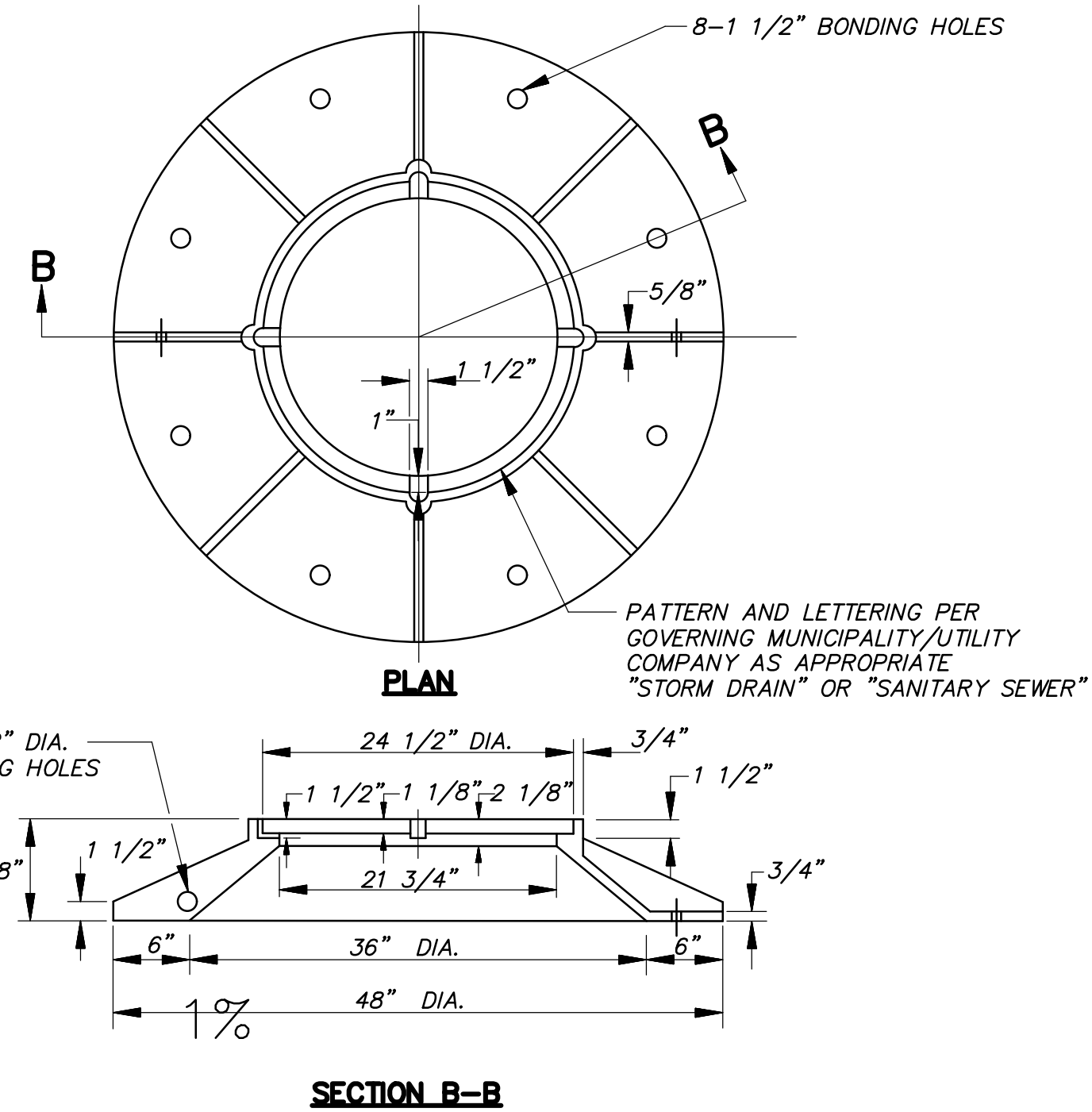
TYPE 'C' CATCH BASIN
N.T.S.



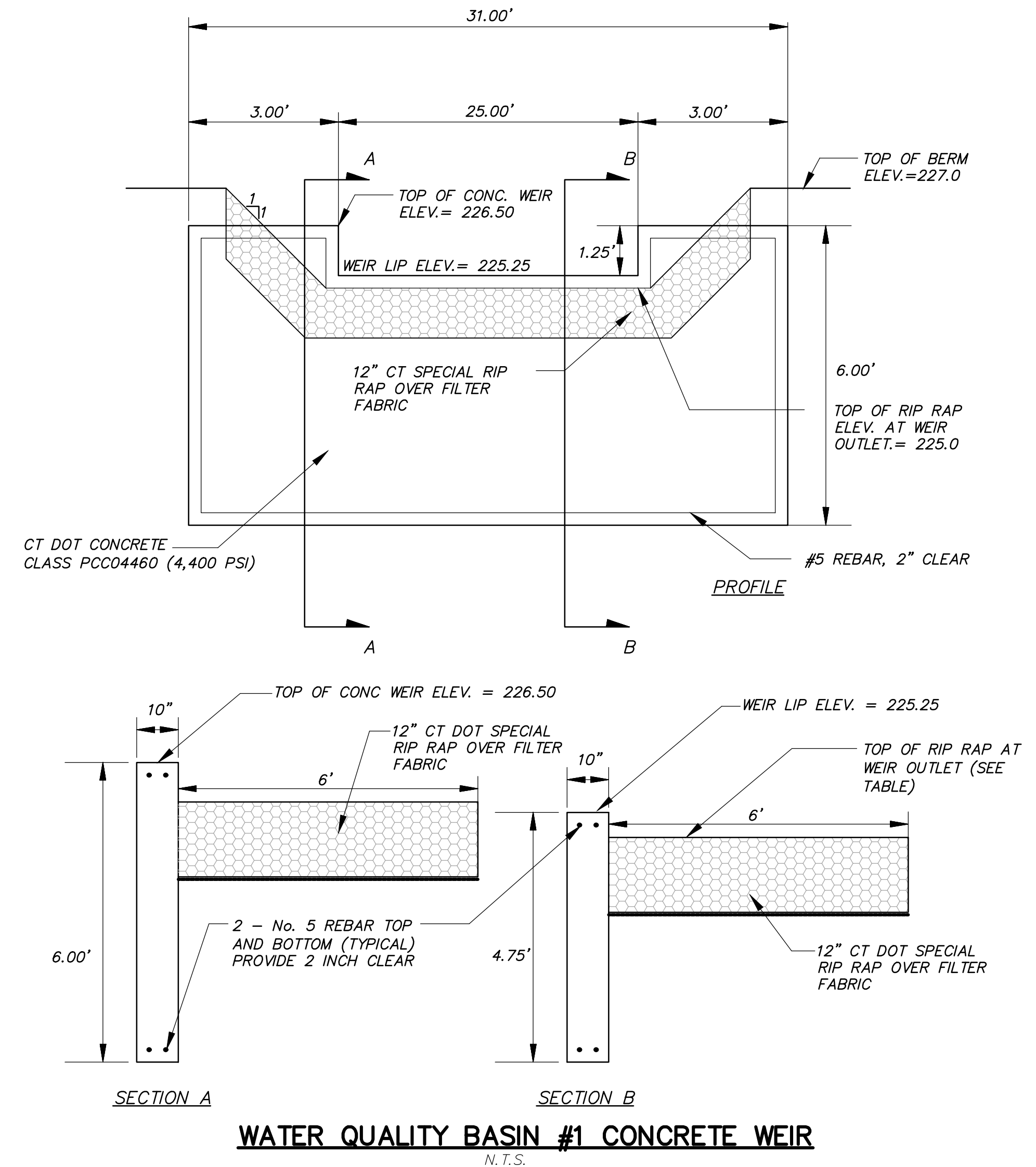
TYPE 'C-L' CATCH BASIN
N.T.S.



WATER QUALITY BASIN #2 OUTLET STRUCTURE
N.T.S.



STANDARD FRAME & COVER
N.T.S.



No.	Date	Description

Revisions:

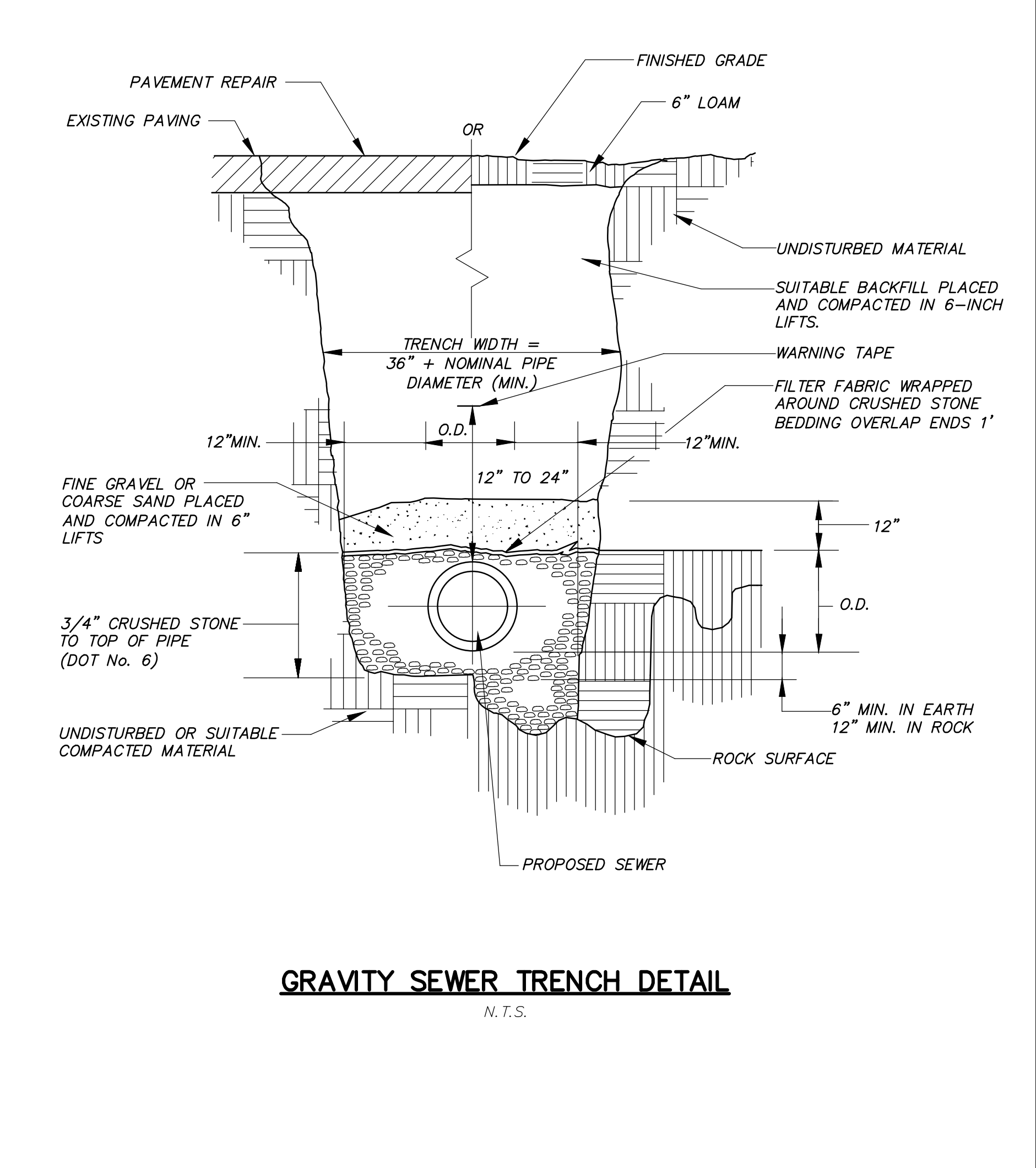
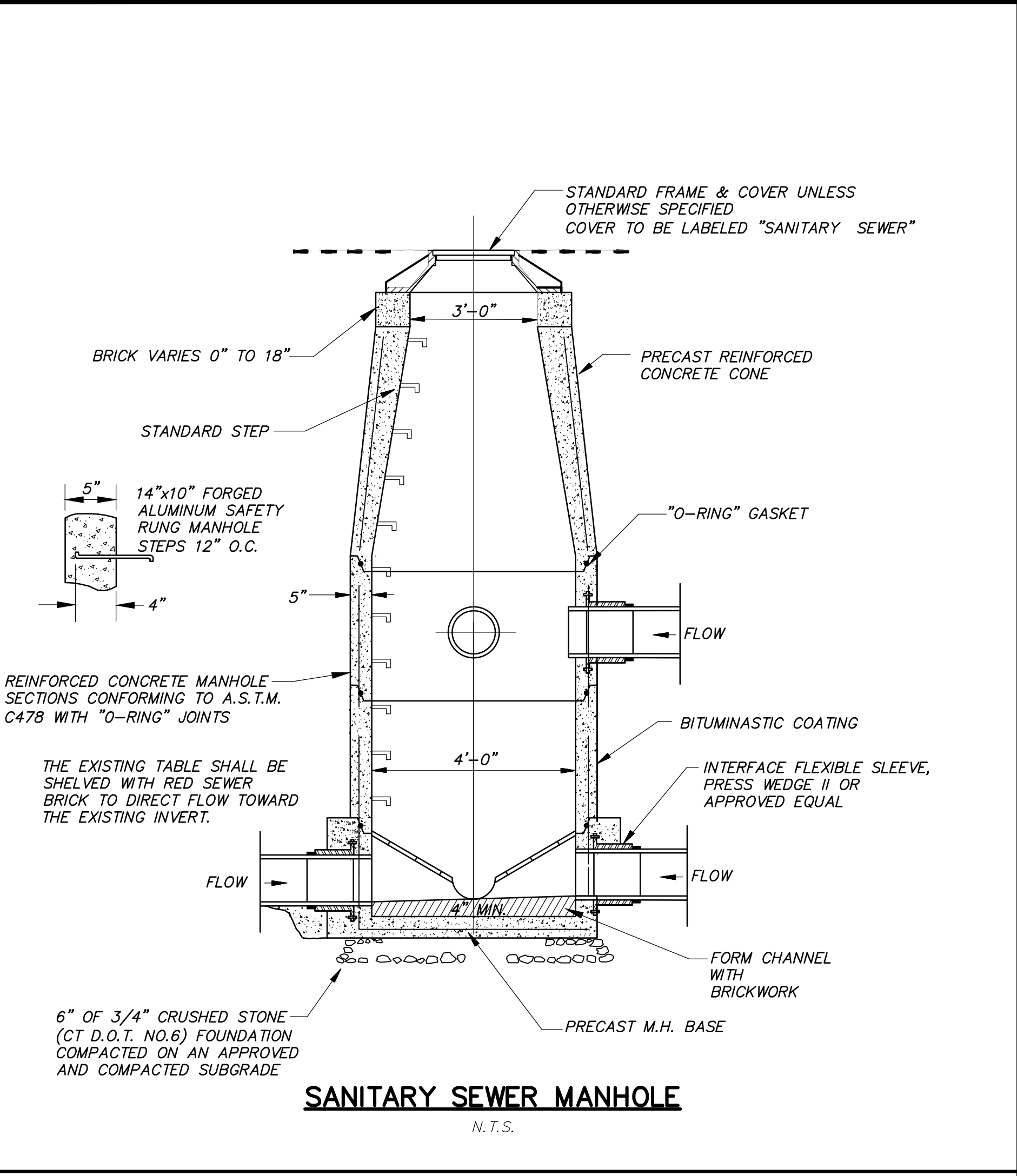
PREPARED FOR
FIFTY (50) WEST ROAD, LLC
50 WEST ROAD
ELLINGTON, CONNECTICUT

Date: 02-02-2024
Drawn by: DRT
Job no: 23104

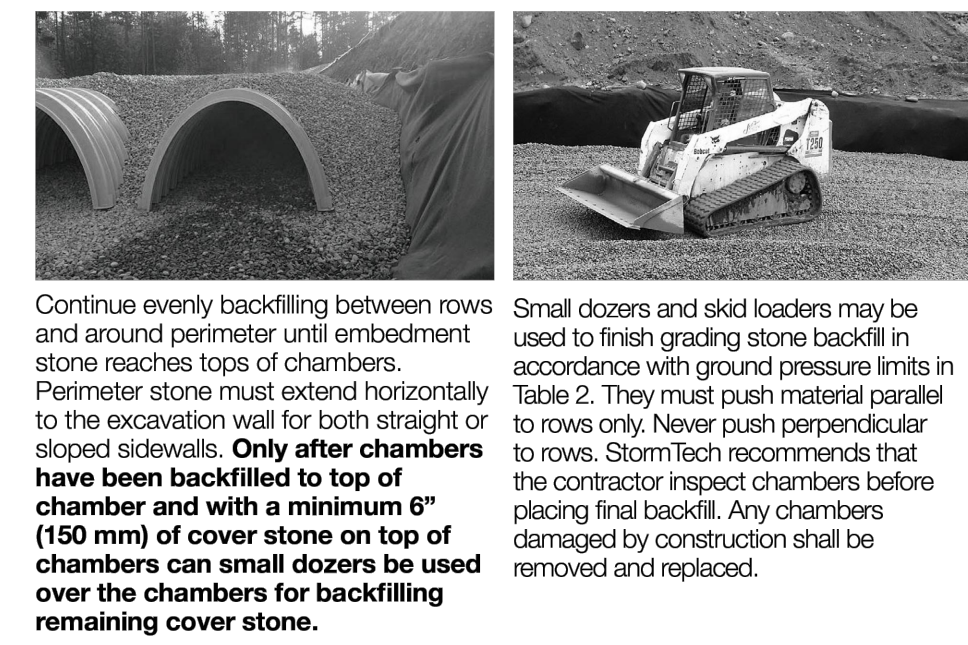
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Checked by: GAH
Sheet no: 4 OF 6

0:\2023\23104 - 50 West Road - Ellington\Submittal\2024-02-02\WEIR SD-1 2024-02-02.dwg, SD-4, Feb. 02, 2024 - 12:05:57 PM

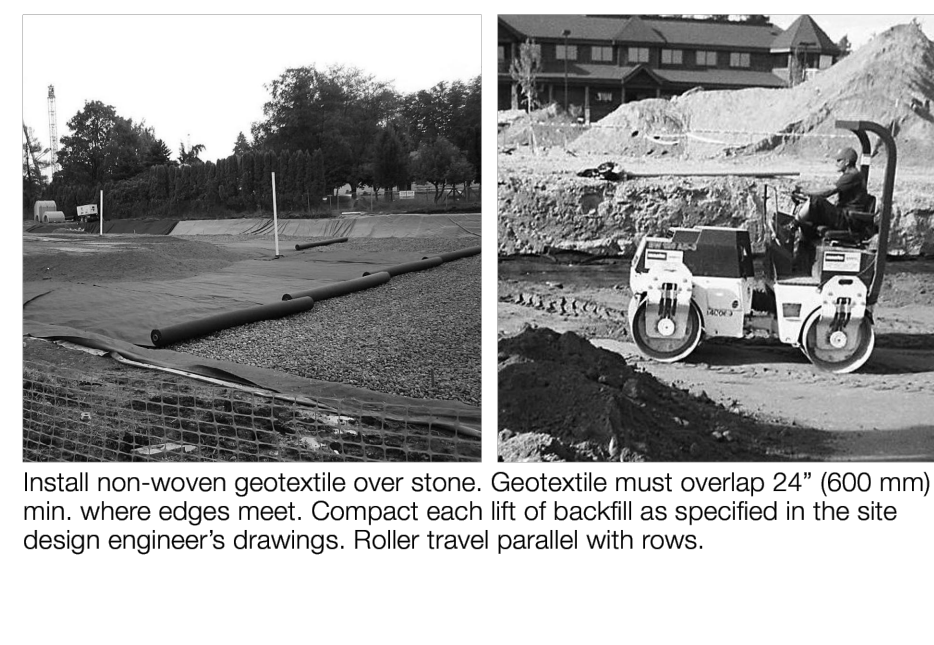
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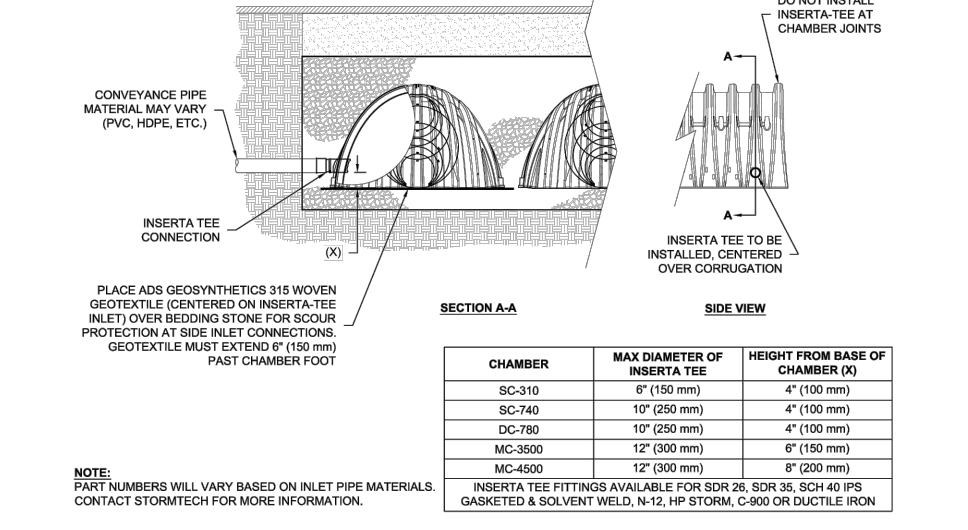
Backfill - Embedment Stone & Cover Stone



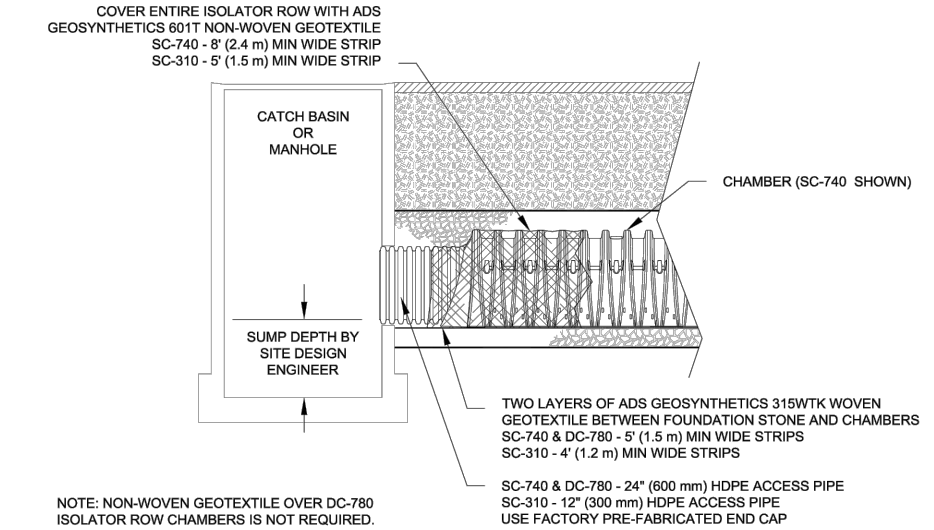
Final Backfill of Chambers - Fill Material



Inserta Tee Detail



StormTech Isolator Row Detail



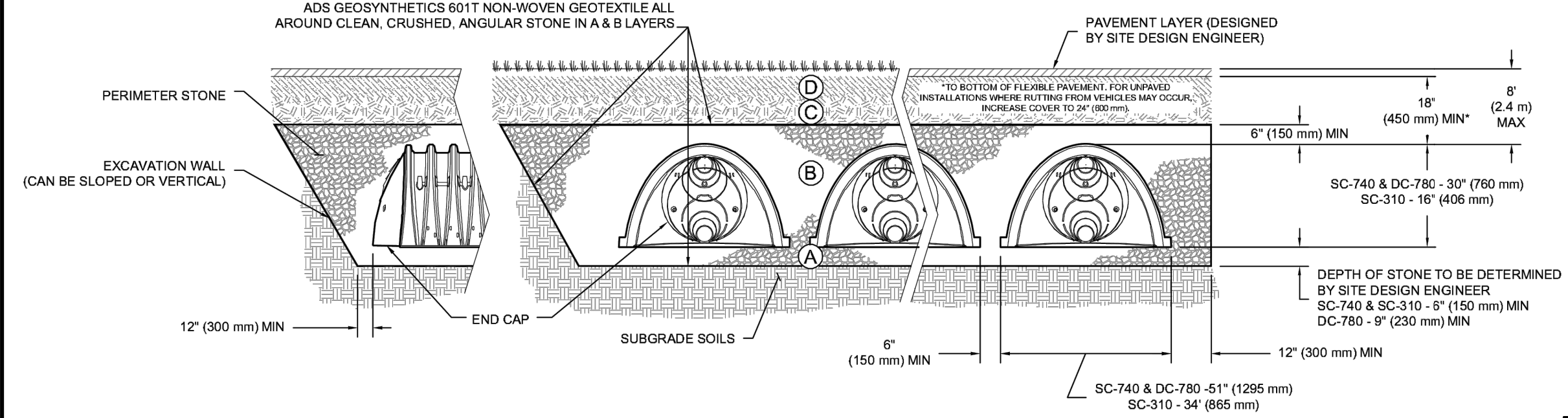
StormTech
Detention - Retention - Water Quality
Division of ADS

	SC-160LP	SC-310	SC-740	DC-780	MC-3500	MC-4500
Chamber Area (Sq Ft.)	11.4	20	27.8	27.8	43.2	30.1
Treated Flow Rate per chamber (CFS)	0.055	0.11	0.15	0.15	0.24	0.17

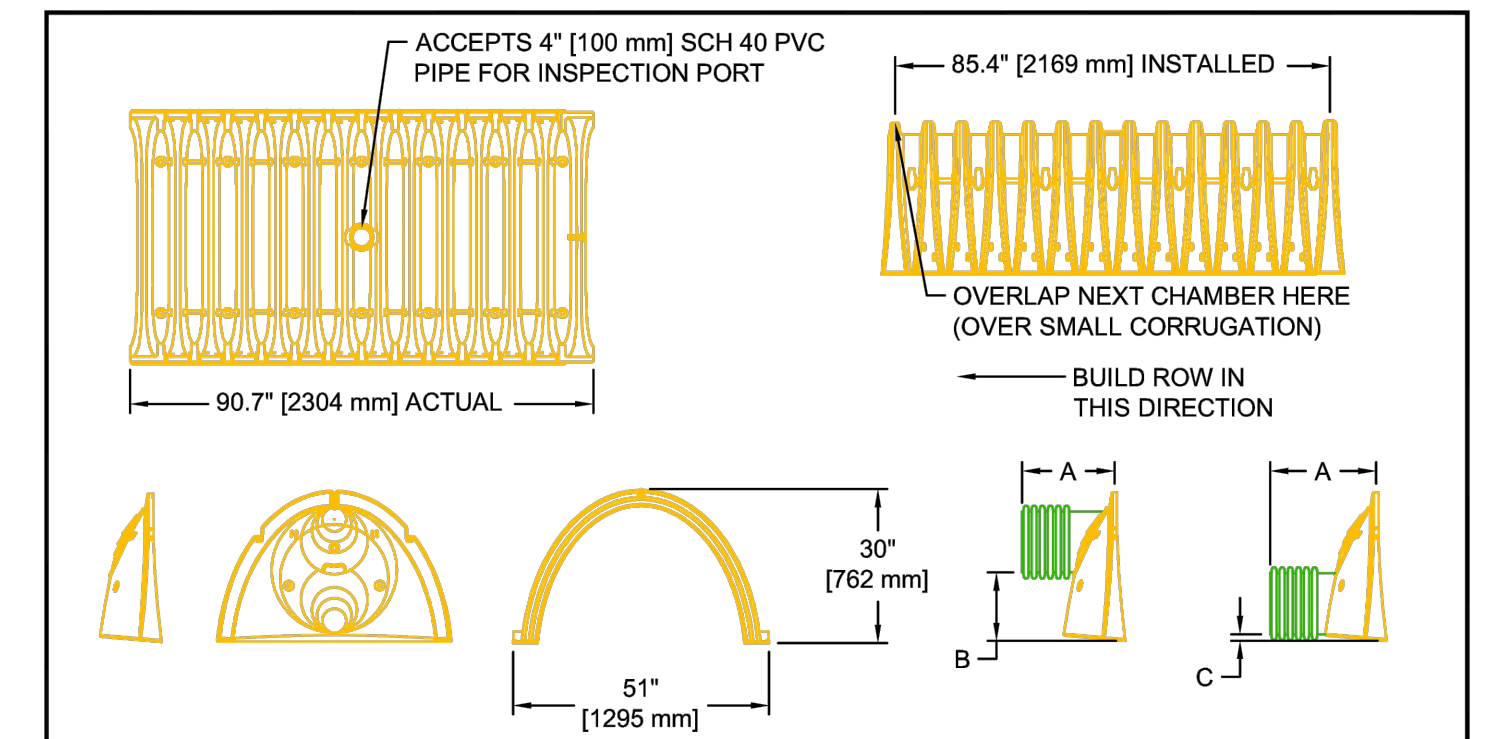
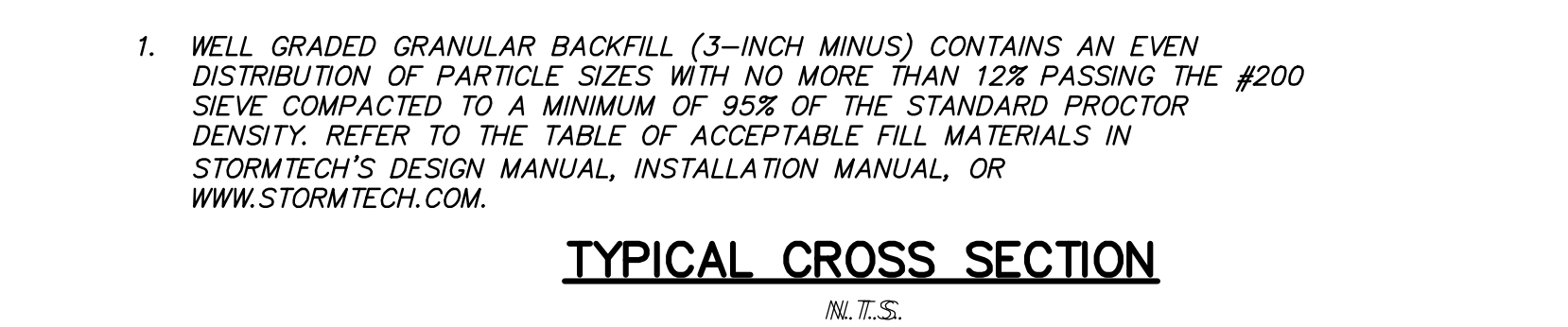
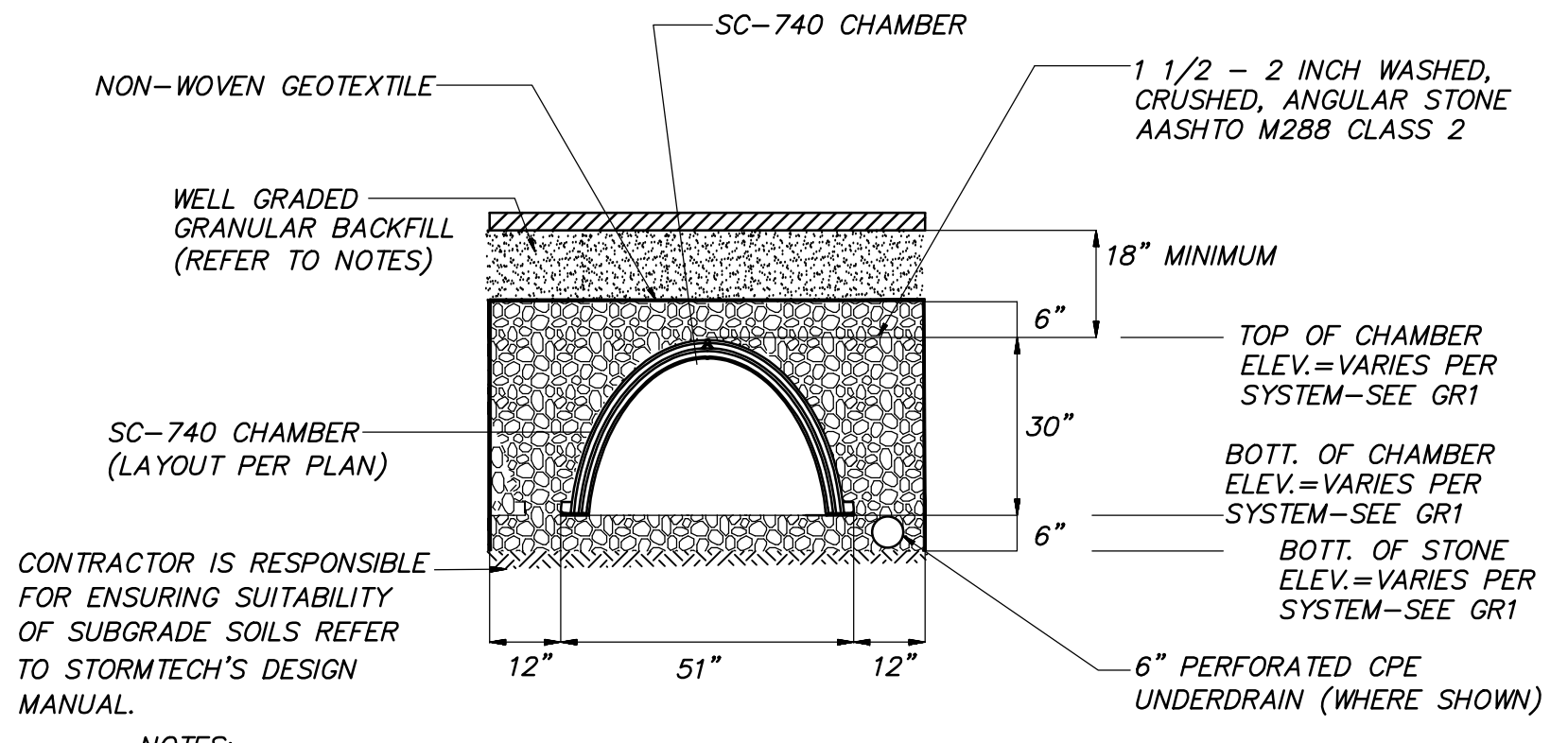
NOTE: Testing of the Isolator Row verified by NJCAT. It has shown to have a TSS removal efficiency of 84% for SIL-CO-SIL 250. MASTEP verification of up to 83% TSS of the OK-110. NJCAT verified Treated Flow Rate (GPM / Sq. Ft.) 2.5

For more information contact ADS at 800-821-6710 or visit www.ads-pipe.com

Figure 2 - Fill Material Locations



- NOTES:**
- CONTRACTOR SHALL SUBMIT DETAILED SHOP DRAWINGS OF STORMTECH SYSTEMS AND MANIFOLDS FOR APPROVAL BY DESIGN ENGINEERS



SC-740 TECHNICAL SPECIFICATIONS

SCALE	NTS
DATE:	3/28/10
DRAWN BY:	KLJ
CHECKED:	

THE DESIGN ENGINEER SHALL REVIEW THIS DRAWING PRIOR TO CONSTRUCTION. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO VERIFY THE PRODUCTION OF THIS DRAWING MEETS ALL APPLICABLE CODES, REGULATIONS, AND SPECIFICATIONS.

13 INNOVATION DRIVE, SUITE 1100, ROCKY HILL, CT 06067
PHONE: 860.892.2894 FAX: 860.892.2895
WWW.STORMTECH.COM

STORMTECH SC-740 END CAP DETAIL
N.T.S.

Phone (860) 653-8000
Fax (860) 844-8600
e-mail mal@faheket.com

F.A.H. F. A. Hesketh & Associates, Inc.
6 Creamery Brook, East Granby, CT 06026
Civil & Traffic Engineers • Surveyors • Planners • Landscape Architects

FAH

No.	Date	Description

Revisions:

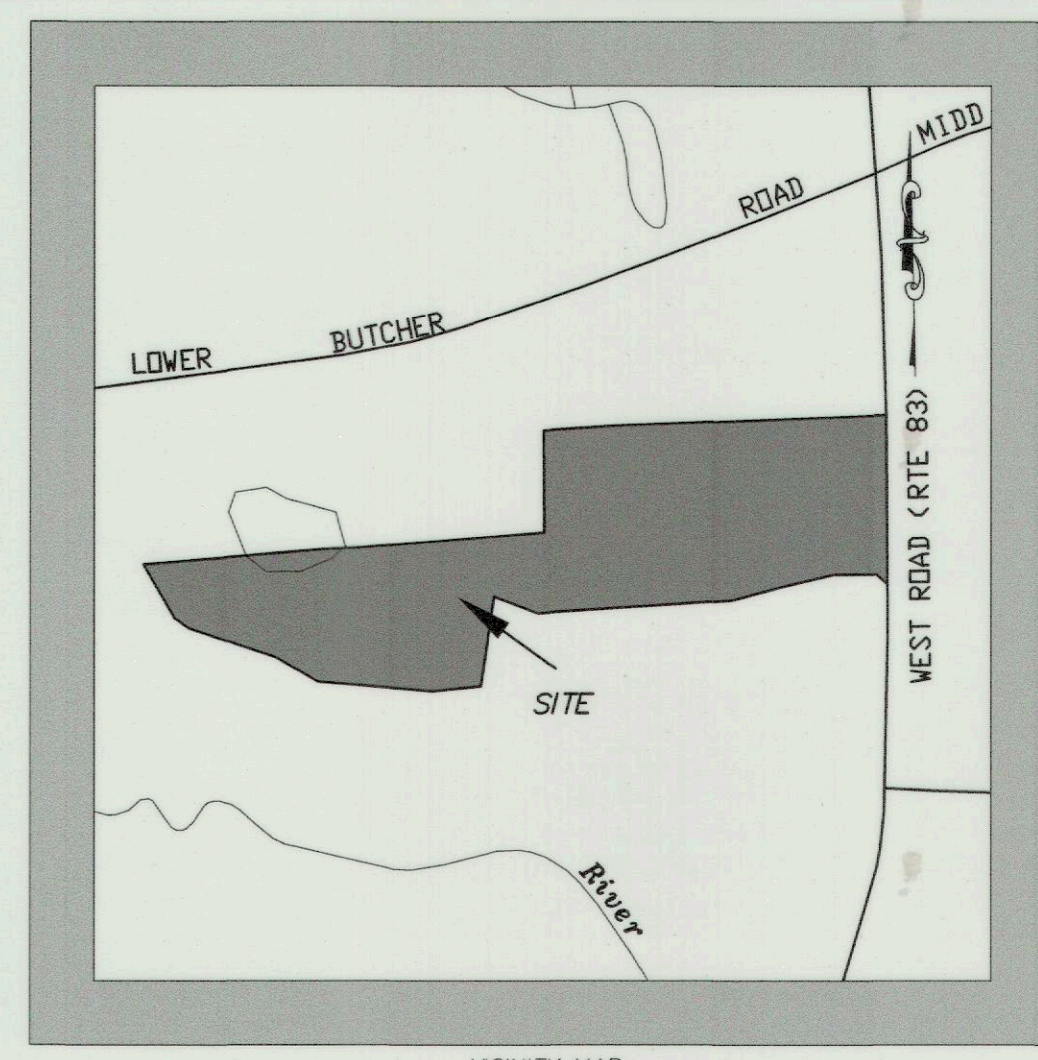
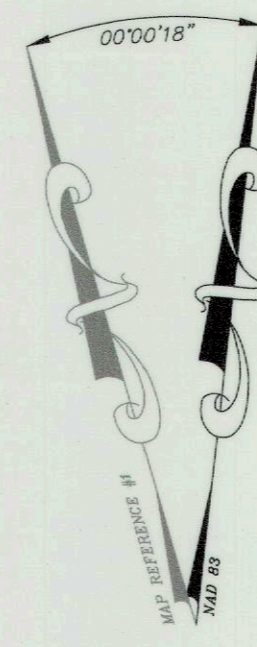
DATE: 02-02-2024 Drawn by: DRT Job no.: 23104
Scale: N.T.S. Checked by: GAH Sheet no.: 6 OF 6
Submitted: 02/04/2024 - 02/04/2024 - 02/04/2024 - 02/04/2024 - 02/04/2024 - 02/04/2024 - 02/04/2024 - 02/04/2024 - 02/04/2024 - 02/04/2024

SITE DETAILS
PREPARED FOR
FIFTY (50) WEST ROAD, LLC
50 WEST ROAD
ELLINGTON, CONNECTICUT

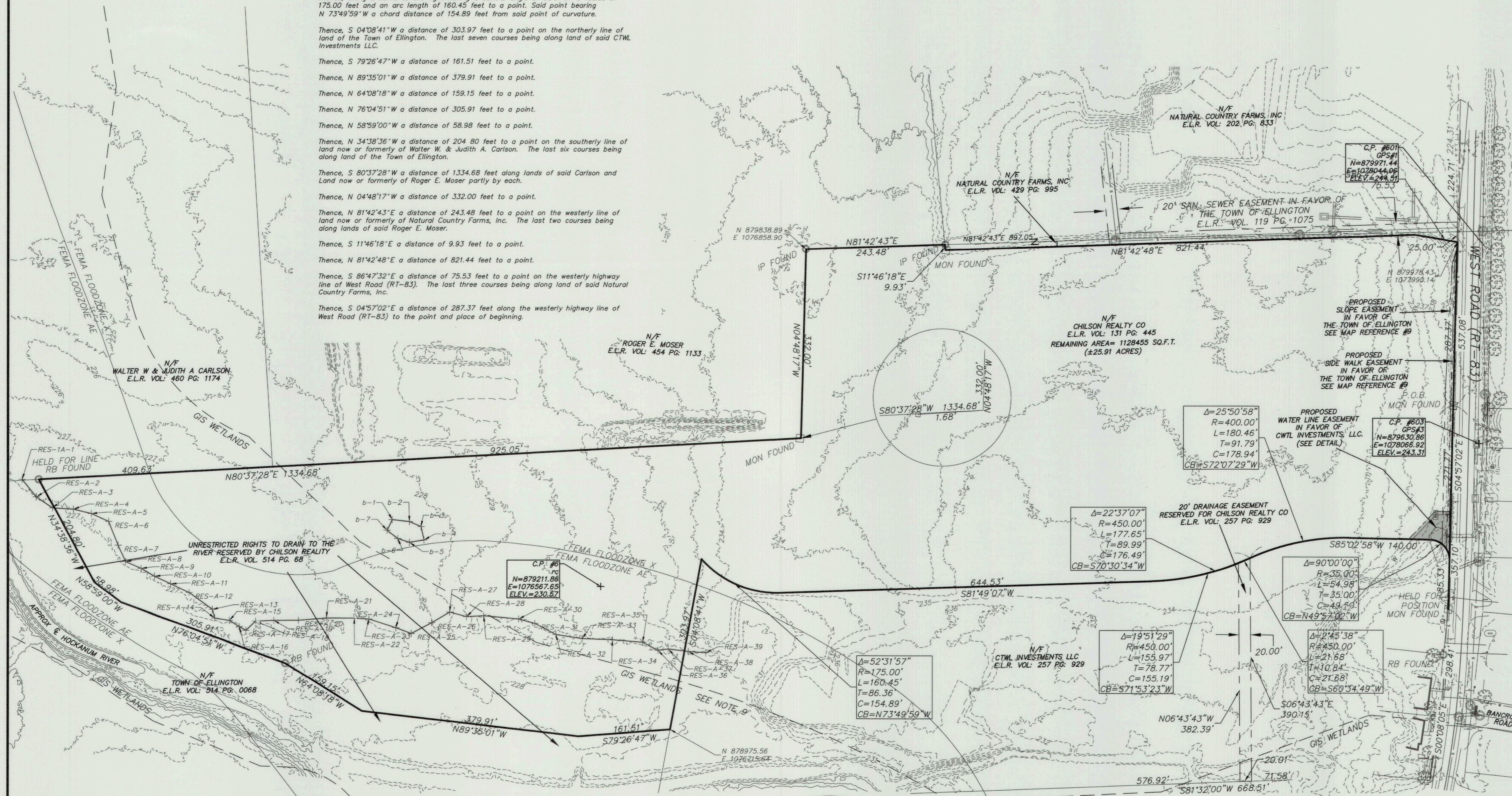
SD-6

Remaining Land of
Chilson Realty CO
25.91 +/- Acres

Beginning at a monument found on the westerly highway line of West Road (RT-83),
Thence, S 04°57'02"E a distance of 271.77 feet along the westerly highway line of West Road (RT-83) to the northwesterly corner of land of CTWL Investments LLC.
Thence along a curve to the left having a central angle of 90°00'00" a radius of 35.00 feet and an arc length of 54.98 feet to a point. Said point bearing N 49°57'02"W a chord distance of 49.50 feet from said northwesterly corner of land of CTWL Investments LLC.
Thence, S 85°02'58"W a distance of 140.00 feet to a point of curvature.
Thence, along a curve to the left having a central angle of 25°50'58" a radius of 400.00 feet and an arc length of 180.46 feet to a point of reverse curvature. Said point of reverse curvature bearing S 72°07'29"W a chord distance of 178.94 feet from said point of curvature.
Thence, along a curve to the right having a central angle of 22°37'07" a radius of 450.00 feet and an arc length of 172.65 feet to a point. Said point bearing S 70°30'34"W a chord distance of 176.49 feet from said point of reverse curvature.
Thence, S 81°49'07"W a distance of 644.53 feet to a point of curvature.
Thence, along a curve to the right having a central angle of 52°31'57" a radius of 175.00 feet and an arc length of 160.45 feet to a point. Said point bearing N 73°49'59"W a chord distance of 154.89 feet from said point of curvature.
Thence, S 04°08'41"W a distance of 303.97 feet to a point on the northerly line of land of the Town of Ellington. The last seven courses being along land of said CTWL Investments LLC.
Thence, S 79°26'47"W a distance of 161.51 feet to a point.
Thence, N 89°35'01"W a distance of 379.91 feet to a point.
Thence, N 64°08'18"W a distance of 159.15 feet to a point.
Thence, N 76°04'51"W a distance of 305.91 feet to a point.
Thence, N 58°59'00"W a distance of 58.98 feet to a point.
Thence, N 34°38'36"W a distance of 204.80 feet to a point on the southerly line of land now or formerly of Walter W. & Judith A. Carlson. The last six courses being along land of the Town of Ellington.
Thence, S 80°37'28"W a distance of 1334.68 feet along lands of said Carlson and Land now or formerly of Roger E. Moser partly by each.
Thence, N 04°48'17"W a distance of 332.00 feet to a point.
Thence, N 81°42'43"E a distance of 243.48 feet to a point on the westerly line of land now or formerly of Natural Country Farms, Inc. The last two courses being along lands of said Roger E. Moser.
Thence, S 11°46'18"E a distance of 9.93 feet to a point.
Thence, N 81°42'48"E a distance of 821.44 feet to a point.
Thence, S 86°47'32"E a distance of 75.53 feet to a point on the westerly highway line of West Road (RT-83). The last three courses being along land of said Natural Country Farms, Inc.
Thence, S 04°57'02"E a distance of 287.37 feet along the westerly highway line of West Road (RT-83) to the point and place of beginning.



VICINITY MAP
(NOT TO SCALE)

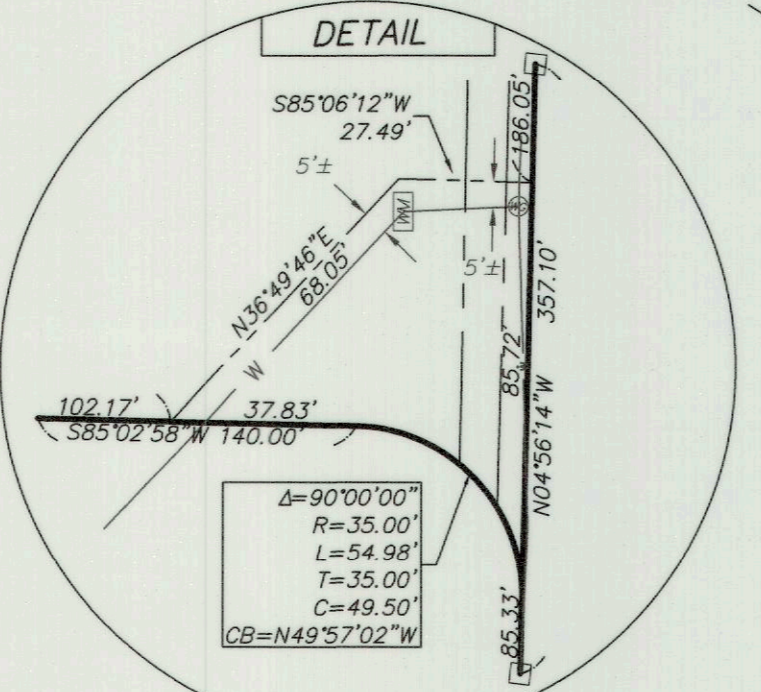


- NOTES:
1. THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20, AS AMENDED.
 2. IT IS A PROPERTY SURVEY INTENDED TO BE USED FOR ACQUISITION PURPOSES.
 3. THIS SURVEY FALLS INTO THE RESURVEY BOUNDARY DETERMINATION CATEGORY. PROPERTY LINES DEPICTED HEREON ARE BASED UPON MAP REFERENCES NUMBER 1.
 4. THIS SURVEY CONFORMS TO CLASS A-2 HORIZONTAL AND T-D VERTICAL ACCURACY STANDARDS.
 5. THE SUBJECT PARCEL IS CURRENTLY OWNED BY CHILSON REALTY CO. E.L.R. VOLUME 131 PG. 445.
 6. THE SUBJECT PARCEL IS LOCATED IN THE COMMERCIAL ZONE, IN THE TOWN OF ELLINGTON.
 7. BEARINGS AND COORDINATES DEPICTED HEREON REFER TO THE NORTH AMERICAN DATUM OF 1983 (NAD 83). ELEVATIONS (IF ANY) DEPICTED HEREON REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) AND ARE BASED UPON OPUS RAPID STATIC OBSERVATIONS PERFORMED ON MARCH 17TH, 2023, RESULTING IN THE FOLLOWING VALUES: CONTROL POINT #601 N=879971.4450, E=1078044.0640, ELEV=244.51 AND CONTROL POINT #603 N=879630.8590, E=1078066.9190, ELEV=243.31.
 8. CONTOURS DEPICTED HEREON (IF ANY), ARE FROM THE CONNECTICUT DEPARTMENT OF ENERGY AND ENVIRONMENTAL PROTECTION, 2016 DIGITAL LIDAR DOWNLOAD.
 9. WETLAND FLAGS DEPICTED HEREON WHERE SET IN THE FIELD BY A CERTIFIED SOIL SCIENTIST AND WHERE FIELD LOCATED UNDER THE DIRECT SUPERVISION OF THE UNDERSIGNED LAND SURVEYOR.
 10. THE GIS WETLANDS LINE DEPICTED HEREON WAS DIGITIZED FROM THE TOWN OF WINDSOR ONLINE GEOGRAPHIC INFORMATION SYSTEM (GIS) WETLAND MAPPING.
 11. THE FEMA FLOOD ZONE LINES DEPICTED HEREON (IF ANY), WERE DIGITIZED FROM MAP REFERENCE 5.
 12. THIS SURVEYOR HAS REVIEWED ALTA COMMITMENT FOR TITLE INSURANCE ISSUED BY CATIC, TITLE ORDER NUMBER 01616933, COMMITMENT DATE 01/19/2023 AND ALL SCHEDULE B, PART II EXCEPTIONS OF A SURVEY NATURE ARE NOTED OR DEPICTED HEREON.
 13. UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS (IF ANY) DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING, PAROL TESTIMONY, VISIBLE FEATURES AND OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THIS SURVEYOR. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.

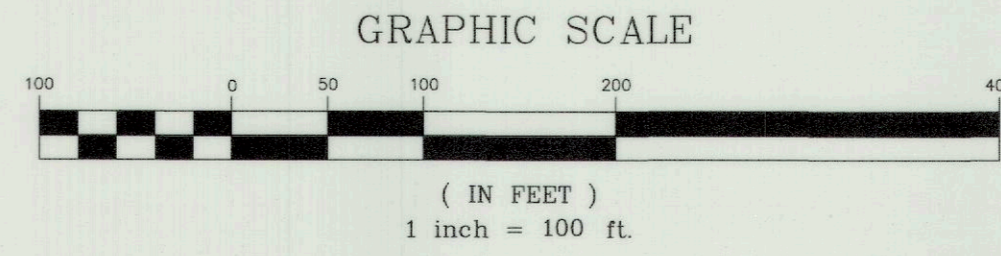
- MAP REFERENCES:
1. GENERAL LOCATION SURVEY, PARCEL OF LAND OF CHILSON REALTY, ELLINGTON, CONNECTICUT, BY SCHINDLER SURVEYS, ELLINGTON, CONNECTICUT, DATE: 2/21/2001, SCALE 1"=100'.
 2. RECONFIGURATION PLAN, PREPARED FOR NATURAL COUNTRY FARMS, INC. AND CHILSON REALTY CO. WEST ROAD, ELLINGTON, CONNECTICUT, BY LANDMARK SURVEYS, LLC, ELLINGTON, CONNECTICUT, DATE: 7/27/2011, SCALE 1"=40'.
 3. SUBDIVISION PLAN, LIMITED PROPERTY SURVEY, LAND OF CHILSON REALTY, ELLINGTON, CONNECTICUT, SCHINDLER SURVEYS, ELLINGTON, CONNECTICUT, DATE: 8-19-1998, SCALE 1"=100'.
 4. CONNECTICUT STATE HIGHWAY DEPARTMENT, RIGHT OF WAY MAP, TOWN OF ELLINGTON, THE ROCKVILLE-SOMERS ROAD, FROM VENON TOWN LINE TO SOMERS TOWN LINE, ROUTE NUMBER 108, SHEET 1&2 OF 5, DATE DEC. 6, 1927, SCALE 1"=40'.
 5. FEMA FLOOD RATE MAP, NATIONAL FLOOD INSURANCE PROGRAM, TOWN OF ELLINGTON, CONNECTICUT, TOLLAND COUNTY, PANEL 15 OF 15, PANEL NUMBER 0901580010N, DATE: MARCH 15TH 1982, MAP REVISED FEBRUARY 5, 1997.
 6. MAP OF PROPERTY OF VALLEY FARMS LOCATED IN ELLINGTON, CONNECTICUT, ALFRED E. SCHINDLER, LAND SURVEYOR, ELLINGTON, CT, SCALE 1"=100', DATE 10/18/88.
 7. SANITARY SEWER EASEMENT TO BE ACQUIRED BY THE TOWN OF ELLINGTON, ELLINGTON, CONNECTICUT, SCALE 1"=40', DATE: 2/23/82 BY ALFRED E. SCHINDLER, LAND SURVEYOR, ELLINGTON, CT.
 8. REVISION TO SUBDIVISION MAP, LIMITED PROPERTY SURVEY, LAND OF CHILSON REALTY CO., SCALE 1"=100', DATE 4/27/2020 BY LANDMARK SURVEYS, LLC.
 9. EASEMENT MAP, MAP SHOWING EASEMENT ACQUIRED FROM CHILSON REALTY CO. BY THE TOWN OF ELLINGTON, WEST ROAD, ELLINGTON, CONNECTICUT, SCALE 1"=20', DATE OCTOBER 14, 2022, BY J.R. RUSSO & ASSOCIATES, LLC.

LEGEND (SYMBOLS NOT TO SCALE)

<ul style="list-style-type: none"> ○ = CATCH BASIN ○ = SANITARY MANHOLE ○ = DRAINAGE MANHOLE ○ = WATER MANHOLE ○ = TELEPHONE MANHOLE ○ = ELECTRIC MANHOLE ○ = UNKNOWN MANHOLE ○ = YARD DRAIN ○ = CABLE MANHOLE ○ = FLARED END SECTION ○ = FIRE HYDRANT ○ = WATER GATE VALVE ○ = GAS GATE VALVE ○ = MISC. GATE VALVE ○ = VENT PIPE ○ = WELL ○ = MAIL BOX 	<ul style="list-style-type: none"> ○ = HAND HOLE ○ = CONTROLLER CABINET ○ = ELECTRIC TRANSFORMER ○ = UTILITY POLE ○ = GUY WIRE ○ = CROSSWALK POLE ○ = LIGHT POLE ○ = POST ○ = TRAFFIC LIGHT SUPPORT POLE ○ = STREET SIGN ○ = TREE (TYP.) ○ = MONITOR WELL ○ = ELECTRIC METER ○ = GAS METER ○ = WATER METER ○ = TELEPHONE ○ = AC UNIT 	<ul style="list-style-type: none"> — = TREE LINE — = STONE WALL — = GUIDE RAIL — = DIRECTION OF FLOW — = I.P. PROPERTY CORNER — = MONUMENT — = DRILL HOLE — = SURVEY CONTROL POINT — = FENCE LINE — = WATER LINE — = GAS LINE — = ELECTRIC LINE — = CABLE TELEVISION LINE — = OVERHEAD WIRES — = NOTHING — = EASTING — = NOW OR FORMERLY — = ELLINGTON LAND RECORDS 	<ul style="list-style-type: none"> Δ = DELTA ANGLE R = RADIUS T = TANGENT L = LENGTH C = CHORD CB = CHORD BEARING F.Y. = FRONT YARD S.Y. = SIDE YARD R.Y. = REAR YARD C.P. = CONTROL POINT
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THIS MAP PRODUCED BY ORIGINAL INK DRAWING ON POLYESTER FILM PRODUCED BY F.A. HESKETH & ASSOC. INC. EAST GRANBY, CT.



TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.
THIS MAP IS NOT VALID WITHOUT THE LIVE SIGNATURE AND IMPRESSION TYPE SEAL OF THE LAND SURVEYOR WHOSE NAME APPEARS HEREON.

TODD S. HESKETH LS 17945

PROPERTY SURVEY
CHILSON REALTY, CO
50 WEST ROAD
ELLINGTON, CONNECTICUT

Date: 03-17-2023 Drawn by: WJD Job no.: 23104
Scale: 1" = 100' Checked by: TSH Sheet no.: 1 OF 1

NO. 1515
LICENSED LAND SURVEYOR

F. A. Hesketh & Associates, Inc.
3 Creamery Brook East Granby, CT 06026
Phone (860) 653-8000 Fax (860) 844-8600
www.fahesket.com · mail@fahesket.com
Civil & Traffic Engineers · Surveyors · Planners · Landscape Architects



Town of Ellington Inland Wetlands and Watercourses Agency Application

Application # FW202405
Date Submitted 2/7/2024

Notices associated with this application will be sent to the applicant unless otherwise requested.

Owner's Information

Name: MCC Lake Properties Trust
Mailing Address: 1 Pinnacle Road
Ellington, CT 06029
Email: mccouzens@gmail.com

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No

Primary Contact Phone #: 860-214-4738

Secondary Contact Phone #: _____

Owner's Signature: *Matthew Couzens Jr* Date: 2/7/24

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Agency have been submitted. Moreover, by signing above I/we expressly provide written consent to the filing of the application and access to the site by the Agency or its staff.

Notices associated with this application will be sent to the applicant unless otherwise requested.

Applicant's Information (if different than owner)

Name: Same
Mailing Address: _____

Email: _____

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No

Primary Contact Phone #: _____

Secondary Contact Phone #: _____

Applicant's Signature: _____ Date: _____

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Agency have been submitted.

FEB 07 2024

Street Address: 28 East Shore Road

Assessor's Parcel Number (APN): 169 - 035 - 0000

Proposed upland review area affected in square feet: 6,400sf

Proposed wetlands/watercourses affected in square feet and linear feet (as applicable): None

Total area of wetlands/watercourses on parcel in square feet or acres: None

Public Water: Yes No Public Sewer: Yes No *If not served by public water and sewer, applicant shall make application to North Central District Health Department (Enfield Office) if required.*

Is the project in a public water supply watershed area? Yes No
If YES, applicant is required to notify the Connecticut Water Company and Commissioner of Public Health by certified mail, return receipt within 7 days of this application (Conn. Gen Stat. Sec 22a-42f). Copy of application, plans, and supporting documents must accompany notice. Applicant can email the Commissioner of Public Health using their approved form. Proof of notice (return receipt and sent email) must be provided to the Planning Department.

Describe the nature of proposed regulated activity, request for acceptance of a permitted use as of right or a nonregulated use, map or regulation amendment, or other activity requiring review by the Agency or its Agent:
See attached Application Checklist and Appendix D for guidance when preparing application

The existing house and detached garage will be demolished and replaced with a new house, parking and patio area. No construction is proposed within the wetlands.

TOWN OF ELLINGTON
PLANNING DEPARTMENT

Mail notices to: Gardner & Peterson Assoc., LLC
178 Hartford Tpke., Tolland, CT 06084

Applicant shall provide certification in accordance with Wetlands Regulation, Section 7.4e, Application Requirements:

Whether or not any portion of the property on which the regulated activity is proposed is located within 500 feet of an adjoining town. Yes No

Whether or not a significant portion of the traffic to the completed project will use streets within an adjoining town to exit or enter the site. Yes No

Whether or not a significant portion of the sewer or water drainage from the project will flow through and significantly impact the sewer or water drainage system of an adjoining town. Yes No

Whether water run-off from the improved site will impact streets or other municipal/private property within an adjoining town. Yes No

FOR OFFICE USE ONLY

If YES to any of the above, the Agency shall, in accordance with CGS 8-7d(f) notify the clerk of any adjoining municipality of the pendency of any application, petition, appeal, request or plan concerning any project on any site. Notice of the pendency of such application shall be made by certified mail, return receipt requested, and shall be mailed within seven (7) days of the date of receipt of the application, petition, appeal, request or plan. **(See Agency requirements Section 8.4)**

Type of Project: (check one)

Commercial/Industrial Residential Mixed Use Timber Agricultural

Other, explain: _____

Type of Application: (check one)

- Notification for Non-Regulated Use (Section 4.2)
- Notification of Permitted Use as of Right (Section 4.1)
- Administrative Permit (Section 6.4)
- Agency Permit **(TWELVE COPIES REQUIRED)**
- Permit Modification
- Permit Extension
- Regulation Amendment
- Map Amendment
- Appeal of Administrative Permit

Application Submittals:

- Completed Application Form (Section 7.4a)
- Application Fee (Section 7.4b)
- Abutters List (Section 7.4c)
- N/A Certification as to Adjacent Towns (See above)
- N/A Certification as to Connecticut Water Company & Commissioner of Public Health (See above)
- Notification Narrative and Supporting Documentation (If applicable, Appendix D)
- Project Narrative and Supporting Documentation (Section 7.4g, 1-11 inclusive, as deemed applicable)
- Project Site Plan - circle one: Administrative (Section 7.4h1) / Agency (Section 7.4h2)
- Supplemental Information (Section 7.5a-j, inclusive, as deemed applicable)

GARDNER & PETERSON ASSOCIATES, LLC

PROFESSIONAL ENGINEERS • LAND SURVEYORS

178 HARTFORD TURNPIKE
TOLLAND, CONNECTICUT 06084

KENNETH R. PETERSON, L.S.
ERIC R. PETERSON, P.E., L.S.
MARK A. PETERSON, P.E.

TELEPHONE: (860) 871-0808
info@GardnerPeterson.com
www.GardnerPeterson.com

Inland Wetland Agency Permit Application Narrative

MCC Lake Properties Trust
28 East Shore Road
Ellington, Connecticut

The owner/applicant, MCC Lake Properties Trust, would like to tear down the existing detached garage and house at 28 East Shore Road in order to construct a new home. The parcel is bound by other residential properties to the north, east and south and abuts Crystal Lake to the west.

The parcel currently contains a house, detached garage and a boathouse with a deck near the lake. The land slopes from east to west and the area within the upland review area is generally a lawn with a few trees. This application proposes to construct a portion of the new house, a walkway, lakeside sitting area and a water treatment collection area, if necessary, and sewer pump chamber within the upland review area. The site work within the 100' upland review area will disturb 6,400sf of land. The new house will be served by a private well and sanitary sewer. The site disturbance outside the upland review area includes the removal of the existing garage, house and walkway and the construction of a retaining wall, parking area, house, driveway and utility connections. The total proposed site disturbance is 0.3 acres.

The permit plan depicts erosion and sediment control measures in plan view in detail. These measures include siltfence, haybales, stockpile area, anti-tracking pad and a seeding schedule.

Site construction is expected to commence in the spring of 2024 which is commence with the lakeside improvements and removal of the existing garage. The second phase of construction consists of the removal and construction of the new house and associated utilities which will commence after the first phase is complete. All trees, stumps and excess soil will be removed from the site.

An inland wetland application (IW202316) was approved at this site on October 16, 2023 for the construction of a lakeside wall.

IWC Narrative.doc

ELLINGTON PLANNING DEPARTMENT
STAFF REVIEW SHEET

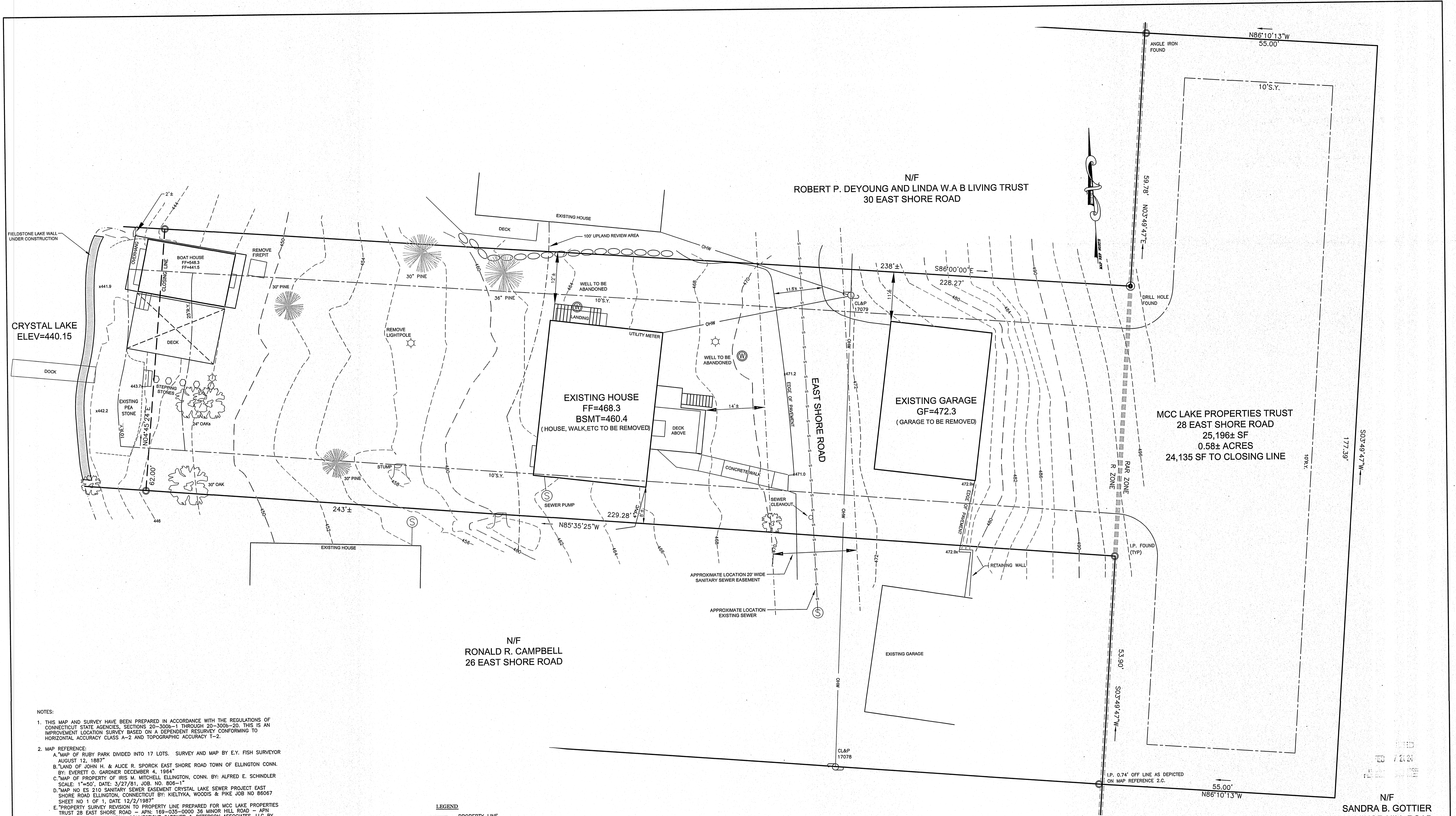
Inland Wetland Agency

IW202405 – MCC Lake Properties Trust owner/applicant request for permit to conduct regulated activity to demolish and rebuild the existing home, garage, patio, parking and associated improvements to 28 East Shore Road, APN 169-035-0000.

PUBLIC HEARING DATE: March 11, 2024

STAFF REVIEW RETURN DATE: March 6, 2024

DEPARTMENT	COMMENTS AND/OR REQUIREMENTS
Town Engineer	
Building Official	
North Central District Health Dept	
Fire Marshal	
Public Works Director/WPCA	DPW- No Comment. WPCA- The plan shows a relocation of the grinder pump. The homeowner will assume all responsibilities for the grinder pump after relocation. WPCA must be contacted & scheduled for inspections, permits & disconnection of existing grinder pump.
Assessor	
Traffic Authority	
Ambulance	



CRYSTAL LAKE
ELEV=440.15

N/F
ROBERT P. DEYOUNG AND LINDA W.A B LIVING TRUST
30 EAST SHORE ROAD

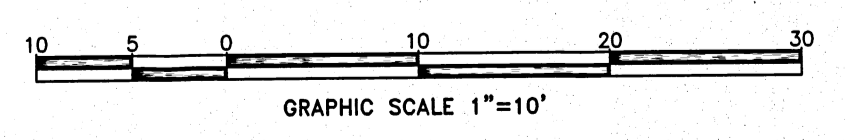
MCC LAKE PROPERTIES TRUST
28 EAST SHORE ROAD
25,196± SF
0.58± ACRES
24,135 SF TO CLOSING LINE

N/F
RONALD R. CAMPBELL
26 EAST SHORE ROAD

N/F
SANDRA B. GOTTIER
36 MINOR HILL ROAD

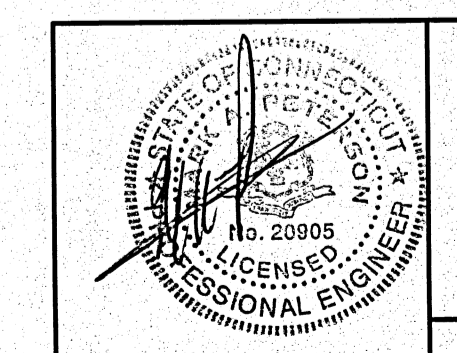
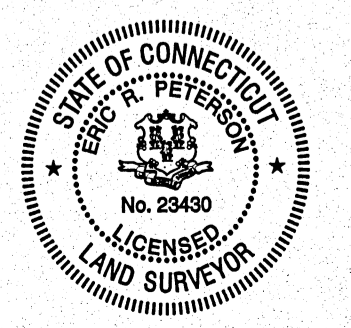
- NOTES:
- THIS MAP AND SURVEY HAVE BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20. THIS IS AN IMPROVEMENT LOCATION SURVEY BASED ON A DEPENDENT RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY T-2.
 - MAP REFERENCE:
A. MAP OF RUBY PARK DIVIDED INTO 17 LOTS. SURVEY AND MAP BY E.Y. FISH SURVEYOR AUGUST 12, 1887
B. LAND OF JOHN H. & ALICE R. SPORCK EAST SHORE ROAD TOWN OF ELLINGTON CONN. BY: EVERETT O. GARDNER DECEMBER 4, 1964
C. MAP OF PROPERTY OF IRIS M. MITCHELL ELLINGTON, CONN. BY: ALFRED E. SCHINDLER SCALE: 1"=50', DATE: 3/27/81, JOB. NO. 806-1
D. MAP NO. ES 210 SANITARY SEWER EASEMENT CRYSTAL LAKE SEWER PROJECT EAST SHORE ROAD ELLINGTON, CONNECTICUT BY: KIELTYKA, WOODS & PIKE JOB NO 86067 SHEET NO. 1 OF 1, DATE 12/2/1987
E. PROPERTY REVISION TO PROPERTY LINE PREPARED FOR MCC LAKE PROPERTIES TRUST 28 EAST SHORE ROAD - APN: 169-035-0000 36 MINOR HILL ROAD - APN 150-034-0002 ELLINGTON, CONNECTICUT GARDNER & PETERSON ASSOCIATES, LLC BY M.A.P. SCALE: 1"=20' DATE 11-15-2023 SHEET 1 OF 1 MAP NO. 11126A
 - BEARINGS DEPICTED ON THIS PLAN ARE BASED ON MAP REFERENCE 2A. ELEVATIONS ARE BASED ON AN ASSUMED BASE.
 - PROPERTY IS SUBJECT TO A SANITARY SEWER EASEMENT.
 - THE EXISTING LOT COVERAGE IS 17.1% WHICH INCLUDES BUILDINGS, PAVEMENT, CONCRETE, WALKS (DECKS & PEA STONE NOT INCLUDED).
 - UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING, OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO GARDNER & PETERSON ASSOCIATES, LLC. THE EXISTENCE, SIZE AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.

- LEGEND
- EXISTING IRON PIPE
 - EXISTING DRILL HOLE
 - - - 470 - - - EXISTING CONTOUR
 - ⊙ SEWER MANHOLE
 - ☆ EXISTING LIGHTPOLE
 - ⊙ PINE TREE
 - ⊙ OAK TREE
 - ⊙ STONEMALL
 - - - EDGE OF PEA STONE
 - OHW — UTILITY POLE/OVERHEAD WIRE
 - EDGE OF WATER
 - ⊙ WELL



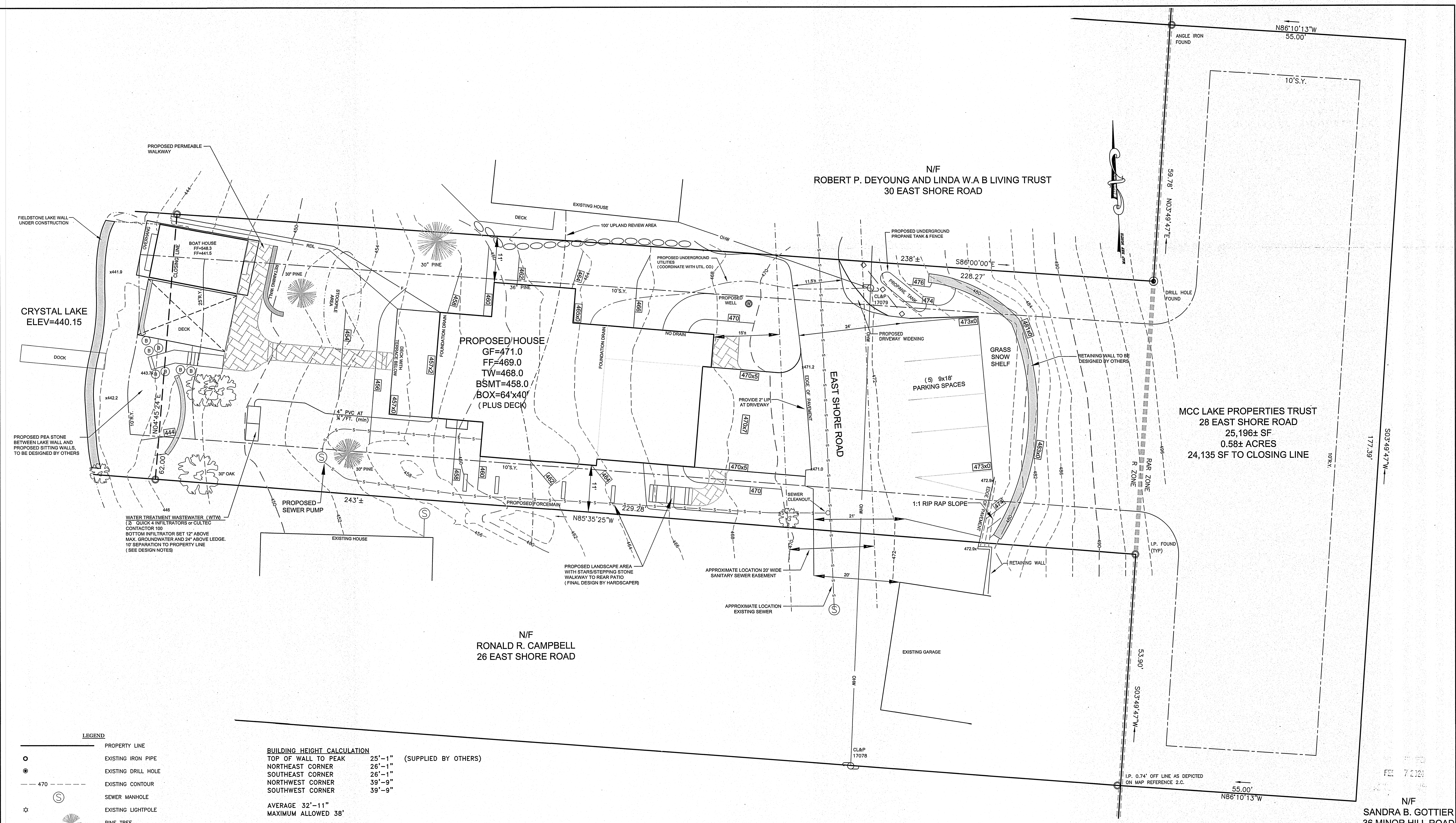
I HEREBY DECLARE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Eric R. Peterson
ERIC R. PETERSON
L.S. 23430
REGISTRATION NO.



IMPROVEMENT LOCATION SURVEY				
EXISTING CONDITION SURVEY				
PREPARED FOR				
MCC LAKE PROPERTIES TRUST				
APN: 169-035-0000				
28 EAST SHORE ROAD				
ELLINGTON, CONNECTICUT				
GARDNER & PETERSON ASSOCIATES, LLC				
178 HARTFORD TURNPIKE TOLLAND, CONNECTICUT				
PROFESSIONAL ENGINEERS LAND SURVEYORS				
REVISIONS 01-30-2024				
BY	SCALE	DATE	SHEET NO.	MAP NO.
M.A.P.	1"=10'	11-08-2022	1 OF 3	11126A

G:\PROJECTS\11126A\11126A-01-30-2024\308 East Shore Road.dwg
11/28/2024 11:12:24 AM



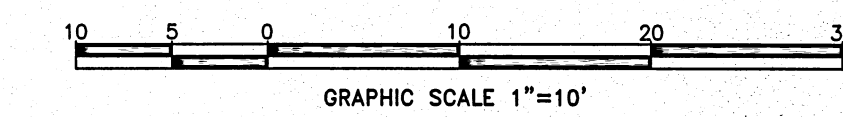
- LEGEND**
- PROPERTY LINE
 - ⊙ EXISTING IRON PIPE
 - ⊙ EXISTING DRILL HOLE
 - - - 470 - - - EXISTING CONTOUR
 - ⊙ EXISTING MANHOLE
 - ☆ EXISTING LIGHTPOLE
 - 🌲 PINE TREE
 - 🌳 OAK TREE
 - ⊖ STONEWALL
 - EDGE OF PEA STONE
 - OHW — UTILITY POLE/OVERHEAD WIRE
 - EDGE OF WATER
 - ⊙ WELL
 - PROPOSED CONTOUR
 - PROPOSED FOUNDATION DRAIN
 - PROPOSED SILTFENCE
 - PROPOSED HAYBALES
 - PROPOSED WALL
 - ⊙ PROPOSED BOULDERS

BUILDING HEIGHT CALCULATION
 TOP OF WALL TO PEAK 25'-1" (SUPPLIED BY OTHERS)
 NORTHEAST CORNER 26'-1"
 SOUTHEAST CORNER 26'-1"
 NORTHWEST CORNER 39'-9"
 SOUTHWEST CORNER 39'-9"
 AVERAGE 32'-11"
 MAXIMUM ALLOWED 38'

ZONING TABLE

R ZONE	REQUIRED	EXISTING	PROPOSED
MIN. LOT SIZE *	40,000 SQ.FT.	25,196± SQ.FT.	25,196± SQ.FT.
MIN. LOT WIDTH *	100 FEET	62± FEET	62± FEET
FRONT YARD	35 FEET	14± FEET	15± FEET
SIDE YARD	10 FEET	8± FEET—PRINCIPLE 2± FEET—ACCESSORY	11± FEET—PRINCIPLE 2± FEET—ACCESSORY
REAR YARD	25 FEET—PRINCIPLE 10 FEET—ACCESSORY	105± FEET—PRINCIPLE 9± FEET—ACCESSORY	70± FEET—PRINCIPLE 9± FEET—ACCESSORY
MAX. BUILDING HEIGHT	38 FEET		33 FEET
MAX. LOT COVERAGE	25%	17.1%	24.0%

*EXISTING NON-CONFORMING PARCEL
 ** PROPOSED LOT COVERAGE INCLUDES: HOUSE, ROAD, PARKING AREA, DRIVEWAY, STEPS, RETAINING WALLS, BOATHOUSE (WALKWAYS SHALL BE PERMEABLE PAVERS AND PEASTONE NOT COUNTED IN LOT COVERAGE)



IMPROVEMENT LOCATION SURVEY

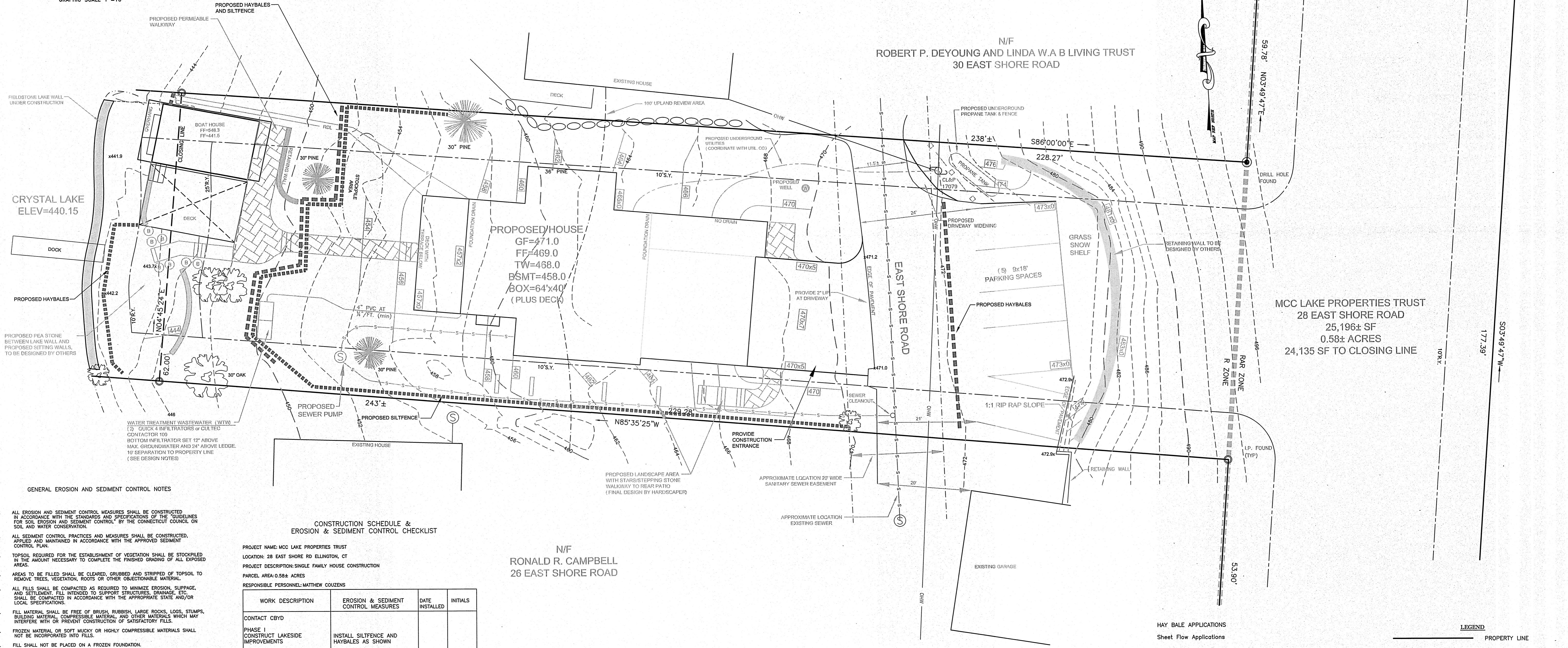
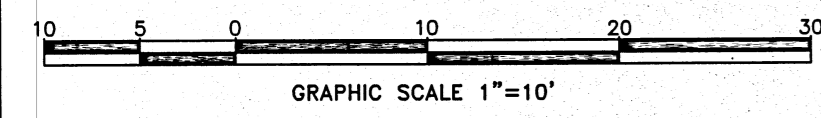
PERMIT PLAN
 PREPARED FOR
MCC LAKE PROPERTIES TRUST
 APN: 169-035-0000
 28 EAST SHORE ROAD
 ELLINGTON, CONNECTICUT

GARDNER & PETERSON ASSOCIATES, LLC
 178 HARTFORD TURNPIKE
 TOLLAND, CONNECTICUT

PROFESSIONAL ENGINEERS LAND SURVEYORS

REVISIONS	SCALE	DATE	SHEET NO.	MAP NO.
01-30-2024	1"=10'	11-08-2022	2 OF 3	11126A

11126.dwg 11/15/24



GENERAL EROSION AND SEDIMENT CONTROL NOTES

- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION.
- ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN THE AMOUNT NECESSARY TO COMPLETE THE FINISHED GRADING OF ALL EXPOSED AREAS.
- AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO MINIMIZE EROSION, SLURRING, AND SETTLEMENT. FILL INTENDED TO SUPPORT STRUCTURES, DRAINAGE, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH THE APPROPRIATE STATE AND/OR LOCAL SPECIFICATIONS.
- FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBISH, LARGE ROCKS, LOGS, STUMPS, BUILDING MATERIAL, COMPRESSIBLE MATERIAL, AND OTHER MATERIALS WHICH MAY INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIAL OR SOFT MUDDY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON A FROZEN FOUNDATION.
- ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH SOUND CONSTRUCTION PRACTICE.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISH GRADING. IF FINISH GRADING IS TO BE DELAYED FOR MORE THAN 30 DAYS AFTER DISTURBANCE OF SOIL, TEMPORARY SOIL STABILIZATION MEASURES SHALL BE APPLIED. AREAS LEFT OVER 30 DAYS SHALL BE CONSIDERED "LONG TERM" AND SHALL RECEIVE TEMPORARY SEEDING WITHIN THE FIRST 15 DAYS.
- SEE SITE TO BE GRADED TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCHING, AND MAINTENANCE UNLESS OTHERWISE SPECIFIED IN THE PLANS.
- CUT AND FILL SLOPES SHALL NOT BE STEEPER THAN 2:1. TOPSOIL SHALL BE SPREAD TO A MINIMUM DEPTH OF 4". ADDITIONAL TOPSOIL MAY BE REQUIRED TO MEET MINIMUM DEPTHS. NO TOPSOIL SHALL BE REMOVED FROM THIS SITE.
- APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL, CULTIPACKER TYPE SEEDER, OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER). NORMAL SEEDING DEPTH IS FROM 1/4" TO 1/2" INCH. HYDROSEEDING WHICH IS MULCHED MAY BE LEFT ON THE SOIL SURFACE.
- WHERE FEASIBLE, EXCEPT WHERE EITHER A CULTIPACKER TYPE SEEDER OR HYDROSEEDER IS USED, THE SEEDBED SHOULD BE FIRMED FOLLOWING SEEDING WITH A ROLLER OR LIGHT DRAG.
- FERTILIZER AND LIME ARE TO BE WORKED INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISC OPERATION SHOULD BE ALONG THE CONTOUR.
- REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER. REMOVE ALL OTHER DEBRIS SUCH AS WIRE, TREE ROOTS, PIECES OF CONCRETE, OR OTHER UNSUITABLE MATERIALS.
- INSPECT SEEDBED BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED BEFORE SEEDING, THEN FIRMED AS DESCRIBED ABOVE.
- WHERE GRASSES PREDOMINATE, FERTILIZE ACCORDING TO SOIL ANALYSIS, OR SPREAD 300 POUNDS OF 10-10-10 OR EQUIVALENT PER ACRE (2.5 POUNDS PER 1000 S.F.).
- CALCIUM CHLORIDE WILL BE AVAILABLE FOR DUST CONTROL ON GRAVEL TRAVEL SURFACES.

TEMPORARY SEEDING SCHEDULE:

SPECIES	LBS/ACRE	LBS/1000SF	SEEDING DATES
ANNUAL RYEGRASS	40	0.9	2/1-6/15, 8/1-10/1
WINTER RYE	40	0.9	4/1-6/15, 8/1-10/1
SUDANGRASS	11	0.25	5/15-8/15

TEMPORARY SEEDING IS NOT LIMITED TO THE SPECIES SHOWN. OTHER SPECIES RECOMMENDED BY THE SCs OR AS LIMITED BY SITE CONDITIONS MAY BE USED.

STRAW MULCH IS TO BE APPLIED TO SEEDBED AREA AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE, 70 TO 90 LBS. PER 1000 SQ. FT.

FINAL SEEDING SCHEDULE:

SPECIES	LBS/ACRE	LBS/1000SF	SEEDING DATES
KENTUCKY BLUEGRASS	40	0.90	4/15-8/15, 8/15-9/15
CREeping RED FESCUE	120	2.75	
PERENNIAL RYEGRASS	40	0.90	

PROVIDE 4 INCHES OF TOPSOIL MINIMUM, FREE OF ROOTS, LARGE STONES, AND OTHER OBJECTS.

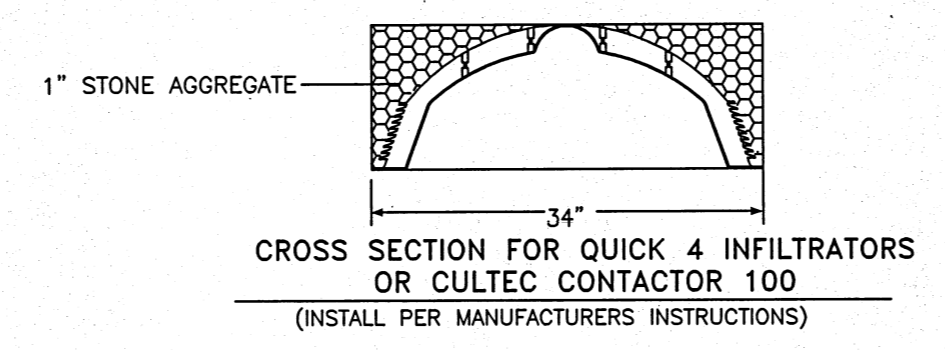
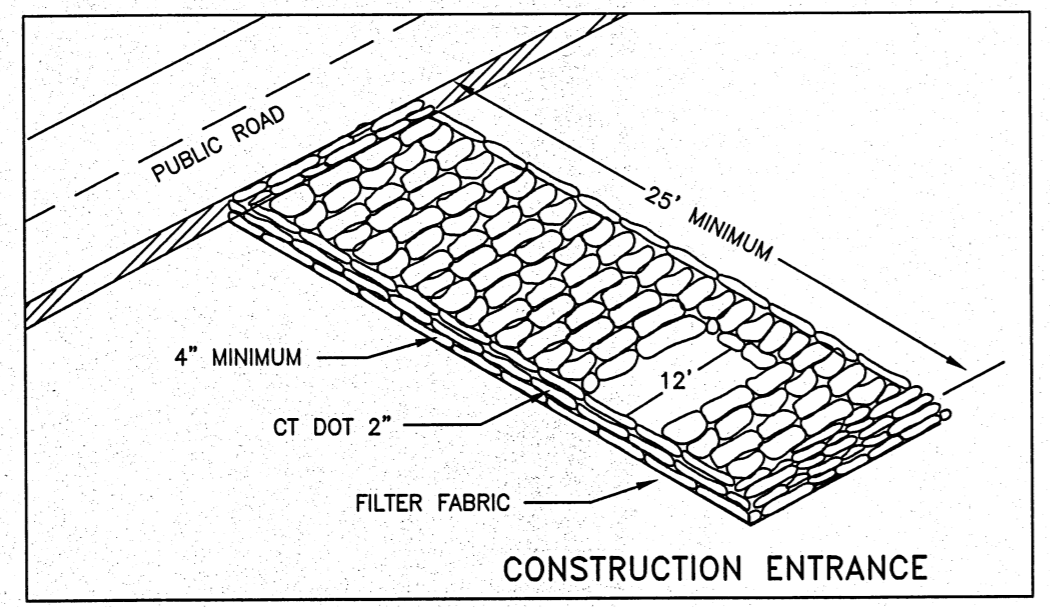
CONSTRUCTION SCHEDULE & EROSION & SEDIMENT CONTROL CHECKLIST

PROJECT NAME: MCC LAKE PROPERTIES TRUST
 LOCATION: 28 EAST SHORE RD ELLINGTON, CT
 PROJECT DESCRIPTION: SINGLE FAMILY HOUSE CONSTRUCTION
 PARCEL AREA: 0.58± ACRES
 RESPONSIBLE PERSONNEL: MATTHEW COUZENS

WORK DESCRIPTION	EROSION & SEDIMENT CONTROL MEASURES	DATE INSTALLED	INITIALS
CONTACT CBYD			
PHASE I CONSTRUCT LAKESIDE IMPROVEMENTS	INSTALL SILTFENCE AND HAYBALES AS SHOWN		
REMOVE GARAGE, CONSTRUCT WALL & PARKING AREA	INSPECT E&S MEASURES BEFORE ANTICIPATED STORMS AND AFTER-MAINTAIN E&S MEASURES AS NECESSARY		
PHASE II REMOVE EXISTING UTILITIES			
REMOVE EXISTING HOUSE, GARAGE, DRIVEWAY AND WALK			
ABANDON WELLS AND SEWER PUMP	INSTALL ANTI-TRACKING PAD		
REMOVE TREES AS NECESSARY	INSTALL HAYBALES/SILTFENCE		
CONSTRUCT HOUSE AND UTILITIES			
CONSTRUCT WALK & DRIVEWAY			
FINAL GRADE ALL DISTURBED AREAS			
LOAM AND SEED ALL DISTURBED AREAS	REMOVE EROSION CONTROLS WHEN SITE IS STABILIZED		

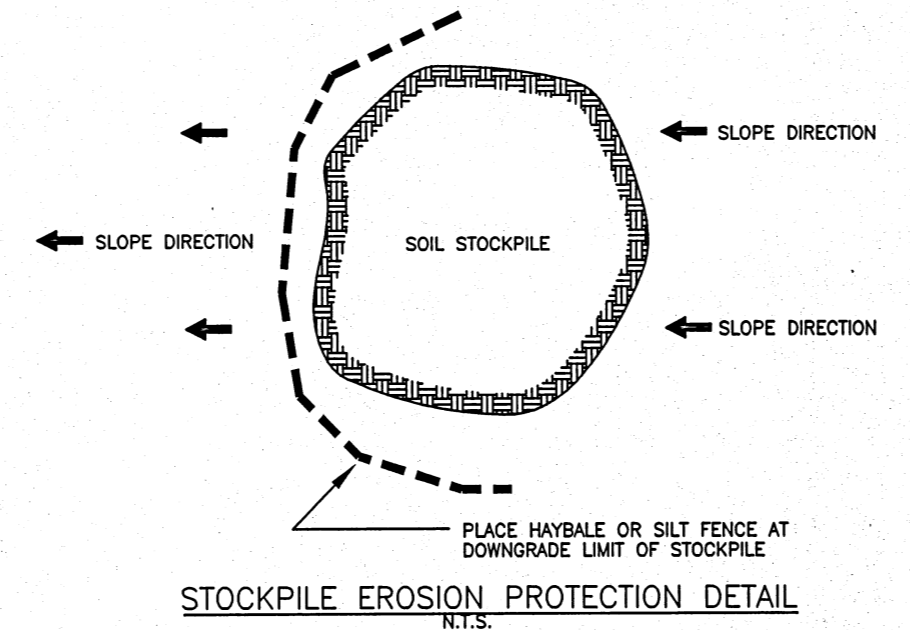
PROJECT DATES:
 DATE OF CONSTRUCTION START: SPRING 2024
 DATE OF CONSTRUCTION COMPLETION: TWO YEARS FROM START

EROSION AND SEDIMENT CONTROL PROCEDURES SHALL ESSENTIALLY BE IN ACCORDANCE WITH THESE PLANS, AS REQUIRED BY TOWN REGULATIONS, AND THE MANUAL "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" FOR CONNECTICUT, BY THE COUNCIL ON SOIL AND WATER CONSERVATION, 1985, REVISED TO 2002.

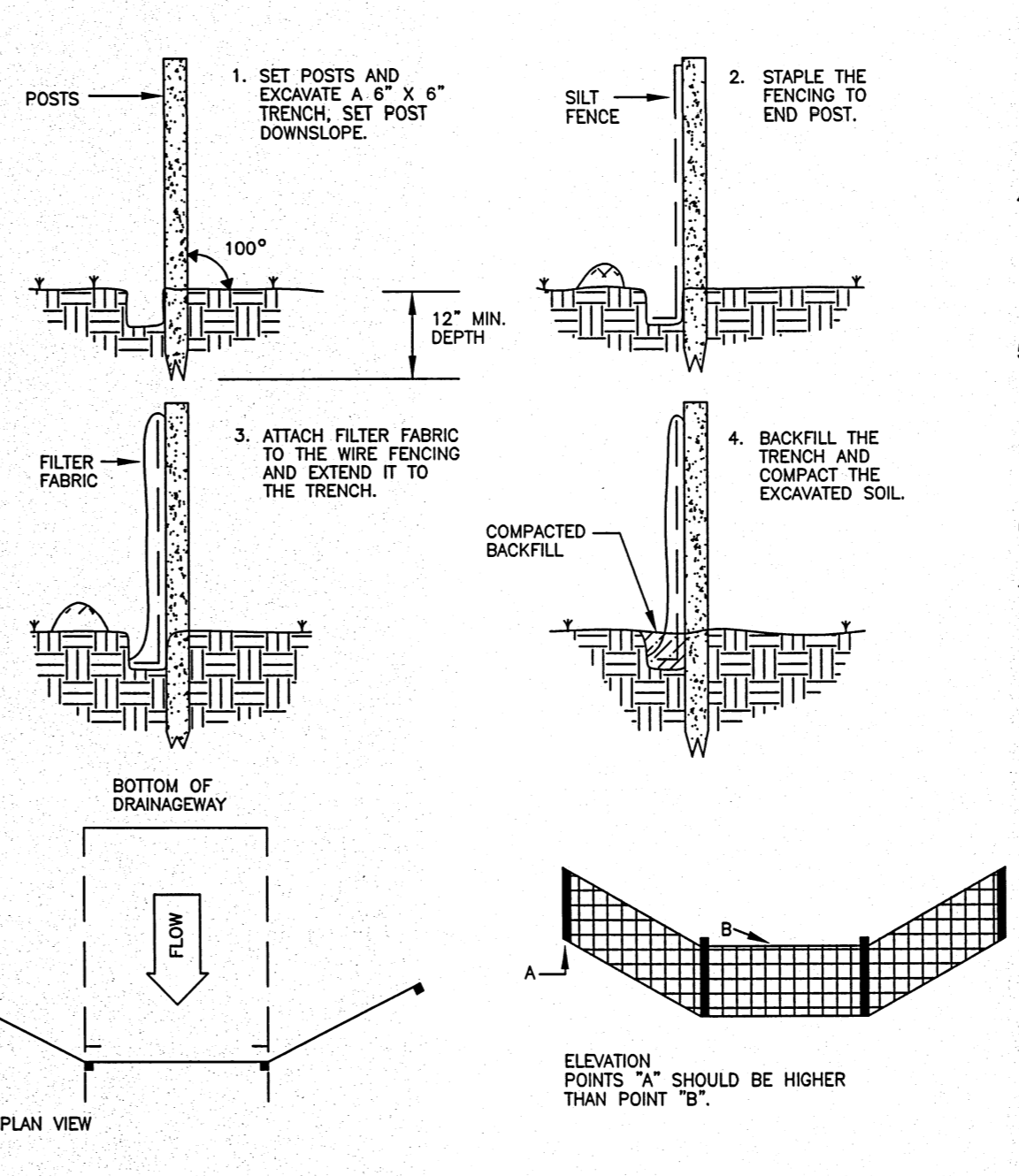


WATER TREATMENT WASTEWATER (WTW)
 ANY WASTEWATER FROM A DEVICE USED FOR THE TREATMENT OF WELL WATER THAT ENHANCES THE QUALITY OF WATER AND/OR PROVIDES FOR THE REMOVAL OF IRON, MANGANESE, RADIONUCLIDES OR OTHER SUBSTANCES SHALL DISCHARGE TO A WTW SYSTEM.

WTW BASED ON A MAXIMUM DISCHARGE OF 50 GPD.
 STORAGE VOLUME REQUIRED: 50 GPD x 1.5 = 75gallons
 STORAGE VOLUME PROVIDED: 2 units x 43gallons/unit = 86gallons



PLACEMENT AND CONSTRUCTION OF A SYNTHETIC FILTER BARRIER



HAY BALE APPLICATIONS

- Bales shall be placed in a single row, lengthwise on the contour, with ends of adjacent bales tightly abutting one another.
- All bales shall be either wire-bound or string-tied. Bales shall be installed so that bindings are oriented around the sides rather than along the tops and bottoms of the bales to prevent deterioration of the bindings.
- The barrier shall be entrenched and backfilled. A trench shall be excavated the width of a bale and the length of the proposed barrier to a minimum depth of 4 inches. After the bales are staked and chinked, the excavated soil shall be backfilled against the barrier. Backfill soil shall conform to the ground level on the downhill side and shall be built up to 4 inches against the uphill side of the barrier. Ideally, bales should be placed 10 feet away from the toe of slope.
- Each bale shall be securely anchored by at least two stakes or rebars driven through the bale. The first stake in each bale shall be driven toward the previously laid bale to force the bales together. Stakes or re-bars shall be driven deep enough into the ground to securely anchor the bales.
- The gaps between bales shall be chinked (filled by wedging) with straw to prevent water from escaping between the bales. (Loose straw scattered over the area immediately uphill from a straw bale barrier tends to increase barrier efficiency.) In sloping areas where surface flow follows the bale line, perpendicular bale checks shall be installed at appropriate intervals (100 feet maximum).
- Inspection shall be frequent and repair or replacement shall be made promptly as needed.
- Bale barriers shall be removed when they have served their usefulness, but not before the uplope areas have been permanently stabilized.

LEGEND

○	PROPERTY LINE
⊙	EXISTING IRON PIPE
⊙	EXISTING DRILL HOLE
---	EXISTING CONTOUR
⊙	SEWER MANHOLE
⊙	EXISTING LIGHTPOLE
⊙	PINE TREE
⊙	OAK TREE
⊙	STONEWALL
---	EDGE OF PEA STONE
---	UTILITY POLE/OVERHEAD WIRE
---	EDGE OF WATER
⊙	WELL
---	PROPOSED CONTOUR
---	PROPOSED FOUNDATION DRAIN
---	PROPOSED SILTFENCE
---	PROPOSED HAYBALES

IMPROVEMENT LOCATION SURVEY

EROSION & SEDIMENT CONTROL PLAN
 PREPARED FOR
MCC LAKE PROPERTIES TRUST
 APN: 169-035-0000
 28 EAST SHORE ROAD
 ELLINGTON, CONNECTICUT

GARDNER & PETERSON ASSOCIATES, LLC
 178 HARTFORD TURNPIKE
 TOLLAND, CONNECTICUT

BY	SCALE	DATE	SHEET NO.	MAP NO.
M.A.P.	1"=10'	11-08-2022	3 OF 3	11126A

REVISIONS

NO.	DATE	DESCRIPTION
01-30-2024		



STATE OF CONNECTICUT – COUNTY OF TOLLAND
INCORPORATED 1786

TOWN OF ELLINGTON

55 MAIN STREET – PO BOX 187
ELLINGTON, CONNECTICUT 06029-0187
www.ellington-ct.gov

TEL. (860) 870-3120 TOWN PLANNER'S OFFICE FAX (860) 870-3122

INLAND WETLANDS AGENCY REGULAR MEETING MINUTES MONDAY, FEBRUARY 12, 2024, 7:00 P.M.

IN PERSON ATTENDANCE: TOWN HALL ANNEX, 57 MAIN STREET
REMOTE ATTENDANCE: ZOOM MEETING
(ATTENDEES BELOW WERE IN PERSON UNLESS OTHERWISE NOTED)

PRESENT: Vice Chairman Katherine Heminway, Regular members Ken Braga, Ron Brown, Steve Hoffman, and Alternate Jon Kaczmarek

ABSENT: Chairman Jean Burns, Regular member Hocine Baouche and Alternate Ryan Orszulak

STAFF

PRESENT: John Colonese, Assistant Town Planner/Wetland Enforcement Officer and Barbra Galovich, Land Use Assistant/Recording Clerk

I. CALL TO ORDER: Vice Chairman Katherine Heminway called the Ellington Inland Wetlands Agency meeting to order at 7:00 pm.

II. PUBLIC COMMENTS (on non-agenda items): None

III. PUBLIC HEARINGS:

1. IW202401 – Kaz & Bogumila Podbielski, owner/applicant, request for permit to construct a single-family home, driveway, pipe culvert and associated improvements at 266 Crystal Lake Road, APN 083-018-0000.

Time: 7:01 pm

Seated: Heminway, Braga, Brown, Hoffman, and Kaczmarek

Vice Chairman Heminway noted a Wetlands Permit was approved for similar activity on July 18, 2005 (Permit No. IW200525) as part of the subdivision approval of 264 and 266 Crystal Lake Road. The parcel, now owned by Podbielski (266 Crystal Lake Road), was never developed and the wetlands permit subsequently expired. The site plan and pipe culvert sizing were reviewed by the Town Engineer and there are no comments. North Central District Health Department approval is required for the septic system and well prior to the issuance of a construction permit for the home.

Authur Podbielski, 27 Green Street, was present to represent the application. Authur stated the original wetlands permit was granted to Joseph MacVarish who was the owner at the time of the subdivision approval. The pipe size is proposed to be 40 feet long with a 30-inch diameter. Authur noted silt fence and haybales will be installed to protect the wetland area as shown. Commissioner Hoffman asked what the timeframe is for the project. Aurthur responded they would like to start construction upon all approvals in the spring, there will be a turnaround added to the driveway.

Commissioner Brown requested the applicant ensure the wetlands will be protected during the construction on the site. No one from the public commented on the application.

MOVED (BRAGA) SECONDED (BROWN) AND PASSED UNANIMOUSLY TO MAKE A DETERMINATION OF A SIGNIFICANT ACTIVITY FOR IW202401.

MOVED (BRAGA) SECONDED (BROWN) AND PASSED UNANIMOUSLY TO CLOSE THE PUBLIC HEARING FOR IW202401 – Kaz & Bogumila Podbielski, owner/applicant, request for permit to construct a single-family home, driveway, pipe culvert and associated improvements at 266 Crystal Lake Road, APN 083-018-0000.

MOVED (BRAGA) SECONDED (HOFFMAN) AND PASSED UNANIMOUSLY TO APPROVE WITH CONDITION(S) FOR IW202401 – Kaz & Bogumila Podbielski, owner/applicant, request for permit to construct a single-family home, driveway, pipe culvert and associated improvements at 266 Crystal Lake Road, APN 083-018-0000. **FINDING THAT THERE IS NO FEASIBLE AND PRUDENT ALTERNATIVE TO THE PROPOSED WATERCOURSE CROSSING.**

Condition(s):

1. Erosion control measures shall be installed then inspected by the wetlands agent prior to activity and remain operational until the site is stabilized.

IV. OLD BUSINESS: None

V. NEW BUSINESS:

1. IW202402 - Town of Ellington, owner/ Ad Hoc Ellington Trails Committee, applicant, request for acceptance to install a 36-foot bridge and extend 500 feet of trail as nonregulated uses on an open space parcel off of Windermere Avenue, APN 017-023-0000.

Linda Anderson, 9 Tolland Turnpike, Valerie Amsel, 102 Reeves Road and Tom Palshaw, 120 Pinney Street were present to represent the application. Linda explained the Trails Committee would like to extend the east spur trail and install a foot bridge for the public to have access to the river for bird watching and fishing. Valerie noted they will be using hand tools and possibly a small machine to transport materials to and from the area. Tom explained they would like to create a foot bridge to get across a wet area. Commissioner Hoffman asked what materials will be used to construct the walk bridge. Valerie noted they plan to use pressure treated 4X4 posts and frame with Trex decking. They don't want to disturb the area beyond the construction of the bridge. Commissioner Hoffman requested the use of steal posts instead of pressure treated wood to anchor the bridge. Commissioner Hoffman asked when the Trail Committee intends to do the work. Linda replied as soon as possible, weather permitting, as the area needs to dry up a little more before construction can begin.

MOVED (HOFFMAN) SECONDED (BRAGA) AND PASSED UNANIMOUSLY TO ACCEPT IW202402 - Town of Ellington, owner/ Ad Hoc Ellington Trails Committee, applicant, request for acceptance to install a 36-foot bridge and extend 500 feet of trail as nonregulated uses on an open space parcel off of Windermere Avenue, APN 017-023-0000.

2. IW202403 – CT Water Company, owner/ Lori Lichtenauer, applicant, request to accept notification of a timber harvest permitted as of right on 5 Snipsic Lake Road, APN 067-001-0000 and Snipsic Lake Road, APN 057-016-0000.

Lori Lichtenauer, 1 Kennedy Avenue, Unit 5403, Danbury, CT was present via Zoom to represent the application. Lori explained roughly 110 board feet will be harvested and the bid winning logger will need to install one temporary bridge crossing a stream to haul the materials from one small location. Lori pointed out the wetlands on one of the parcels and how the timber harvest would be

conducted. Commissioner Hoffman asked how large the harvest area will be. Lori stated it will be around 25 acres out of the 28 acres of land. Commissioner Hoffman asked about the time frame of the proposed harvesting. Lori noted the project will have to go out to sale first, so she anticipates it occurring in the summer. Commissioner Hoffman requested that the logger notify the town prior to commencement of the timber harvest.

MOVED (BRAGA) SECONDED (KACZMAREK) AND PASSED UNANIMOUSLY TO ACCEPT IW202403 – CT Water Company, owner/ Lori Lichtenauer, applicant, request to accept notification of a timber harvest permitted as of right on 5 Snipsic Lake Road, APN 067-001-0000 and Snipsic Lake Road, APN 057-016-0000.

3. IW202404 – Fifty (50) West Road LLC, owner/applicant request for permit to conduct regulated activity to construct water quality basins and associated improvements to serve adjacent industrial and commercial development at 50 West Road, APN 019-005-0000.

BY CONSENSUS, THE AGENCY RECEIVED AND SCHEDULED A PUBLIC HEARING ON MARCH 11, 2024, 7PM, TOWN HALL ANNEX, 57 MAIN STREET, ELLINGTON, AND ZOOM VIDEO CONFERENCING FOR IW202404 – Fifty (50) West Road LLC, owner/applicant request for permit to conduct regulated activity to construct water quality basins and associated improvements to serve adjacent industrial and commercial development at 50 West Road, APN 019-005-0000.

4. IW202405 – MCC Lake Properties Trust owner/applicant request for permit to conduct regulated activity to demolish and rebuild the existing home, garage, patio, parking and associated improvements to 28 East Shore Road, APN 169-035-0000.

BY CONSENSUS, THE AGENCY RECEIVED AND SCHEDULED A PUBLIC HEARING ON MARCH 11, 2024, 7PM, TOWN HALL ANNEX, 57 MAIN STREET, ELLINGTON, AND ZOOM VIDEO CONFERENCING FOR IW202405 – MCC Lake Properties Trust owner/applicant request for permit to conduct regulated activity to demolish and rebuild the existing home, garage, patio, parking, and associated improvements at 28 East Shore Road, APN 169-035-0000.

VI. ADMINISTRATIVE BUSINESS:

1. Approval of the January 22, 2024, Regular Meeting Minutes.

MOVED (BRAGA) SECONDED (BROWN) AND PASSED UNANIMOUSLY TO APPROVE JANUARY 22, 2024, REGULAR MEETING MINUTES AS WRITTEN.

2. Election of Officers.

- a. Chairman

MOVED (BRAGA) SECONDED (HEMINWAY) TO NOMINATE COMMISSIONER BURNS FOR CHAIRMAN OF THE INLAND WETLANDS AGENCY FOR THE YEAR OF 2024.

COMMISSIONER BURNS ACCEPTED THE NOMINATION.

HEARING NO FURTHER NOMINATIONS, NOMINATIONS CLOSED.

MOVED (HEMINWAY) SECONDED (BRAGA) PASSED UNANIMOUSLY TO ELECT COMMISSIONER BURNS FOR CHAIRMAN OF THE INLAND WETLANDS AGENCY FOR THE YEAR OF 2024.

- b. Vice-Chairman

MOVED (BRAGA) SECONDED (BROWN) TO NOMINATE COMMISSIONER HEMINWAY FOR VICE-CHAIRMAN OF THE INLAND WETLANDS AGENCY FOR THE YEAR OF 2024.

**COMMISSIONER HEMINWAY ACCEPTED THE NOMINATION.
HEARING NO FURTHER NOMINATIONS, NOMINATIONS CLOSED.**

MOVED (KACZMAREK) SECONDED (HOFFMAN) PASSED UNANIMOUSLY TO ELECT COMMISSIONER HEMINWAY FOR VICE-CHAIRMAN OF THE INLAND WETLANDS AGENCY FOR THE YEAR OF 2024.

3. Correspondence/Discussion:

- a. CT DOT Route 140 Roadway Realignment Project Crystal Lake Road and Burbank Road.

John Colonese noted the contractor for the CT DOT Route 140 project at Cystal Lake & Burbank Road contacted the Planning Department as they will be using parcel no. 128-041-0001 for their temporary work trailers and material staging area. They will use erosion control measures for any materials that are erodible, and the project is expected to last through the end of 2025.

- b. February 5, 2024, letter from the CT Siting Council for Petition 1589 for a 3MW solar facility at 360 Somers Road, vote to issue declaratory ruling failed.

- c. 117 West Shore Road – Replace existing shed.

John Colonese explained the owner of 117 West Shore Road would like to replace their existing shed and add some gravel for the base, as the current shed is on cement blocks. The Agency agreed Mr. Colonese could handle this proposed activity administratively.

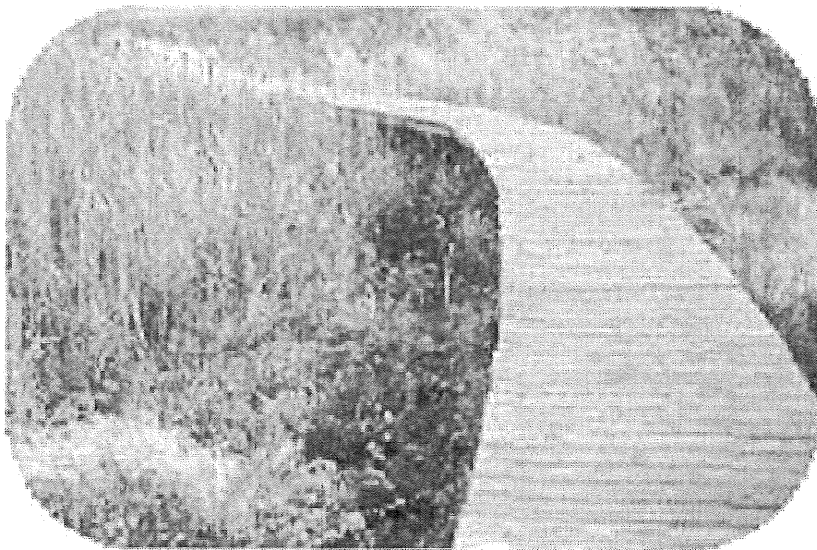
VII. ADJOURNMENT:

MOVED (BRAGA) SECONDED (BROWN) AND PASSED UNANIMOUSLY TO ADJOURN FEBRUARY 12, 2024, REGULAR MEETING OF THE INLAND WETLANDS AGENCY AT 7:46PM.

Respectfully submitted,

Barbra Galovich, Recording Clerk

COMMON QUESTIONS:
**CONSTRUCTING
WETLAND
BOARDWALKS
AND
TRAILS**



Prepared by:

Jon Kusler
Association of State Wetland Managers, Inc.

In Cooperation With:

The International Institute for Wetland
Science and Public Policy

PREFACE

This guide was prepared for land trusts, watershed councils, federal, state, and local land management agencies, landowners and others interested in wetland education, ecotourism or related subjects. The summary is based upon a series of studies and workshops conducted by the Association of State Wetland Managers (ASWM) including a survey of approximately 100 wetland interpretive sites in preparing a publication J. Kusler et. 1993 Wetland Interpretation and Ecotourism, Association of State Wetland Managers. Most of these sites involved the construction of a boardwalk and trail. This guide is also based upon three ecotourism workshops conducted by the ASWM and inputs from many individuals who have constructed wetland boardwalks and trails over the last decade.

Preparation of this guide was funded by the U.S. Environmental Protection Agency, Region 2, Division of Wetlands. The opinions expressed in the document are the author's and do not necessarily reflect the view of the sponsoring organizations and groups.

Photos by Jon Kusler, Association of State Wetland Managers, Inc., Berne, New York

It is very difficult to construct a railing system which will totally protect children. Some railings are designed with three or more horizontal rails (near the deck, half way up, and at the top of the railing supports) to obtain this result. But even than, a determined child may be able to squeeze between the railings. Some boardwalks utilize wire mesh to prevent this, but wire mesh is also not attractive.

What sort of materials should be used for boardwalk construction?

A. Most boardwalks are constructed of pressure treated four by four's or six by sixes (pilings) with two by six or two by eight cross members and two by six or two by eight deck material. However, some boardwalks also use two by tens for decking and cross members for longer spans or heavy use.

There has been some concern that chemicals from pressure treated wood may pollute nearby waters although there is apparently little empirical evidence to support this. Increasingly, plastic composites are used for boardwalk construction as an alternative to wood. However, they are quite expensive. In addition, some of the composites are brittle in freezing conditions and easily split when under even modest tension.

Most boardwalks use galvanized nails or screws to secure the decking. Bolts (stainless steel preferred but expensive) are usually used to secure cross members to the pilings. Screws and bolts are preferable to nails because nails can work themselves out with the flexing of the boardwalk. But nails are, of course, cheaper.

How can boardwalks be constructed to reduce potential flood damages?

A. Flooding is a particular concern in boardwalk construction for wetlands adjacent to major lakes, rivers, or estuaries since many boardwalks in these locations suffer flood damage. Water levels in many wetlands typically fluctuate two to five feet during spring runoff or rainy periods for many inland wetlands. Water level fluctuations of 10-feet or more are common for 100-year flood events for many riverine, coastal, and estuarine wetlands. Boardwalks constructed of wood typically float if not firmly attached. If firmly attached to pilings they may survive submergence for a period of hours or a few days. But, few can survive prolonged wave action and flowing water. Flowing water combined with upward buoyancy forces will often tear sections of a boardwalk from their pilings.

Fluctuating water levels pose a dilemma in boardwalk construction. In an ideal world, the deck of a boardwalk would be raised above anticipated flood elevations. But, this may be unsightly and impractical. On the other hand, few not for profits or local governments have sufficient funds to repeatedly rebuild a boardwalk each year.

Several strategies are available to address potential flood and erosion problems. They can often be combined.

- The first is to elevate the boardwalk enough to deal with yearly flooding (e.g., a foot or two of flooding) and then to rebuild or repair any damage after a major flood. This may be a cost effective strategy, particularly where a continued source of funds and maintenance staff are available and major floods are infrequent. Rebuilding and repair costs may be reduced through the use of additional strategies (see below).

Fwd: boardwalk

From: valerie Amsel <kayakval@att.net>
To: Linda Anderson <andylin49@earthlink.net>
Subject: Fwd: boardwalk
Date: Feb 20, 2024 9:54 AM

Sent from my iPhone

Begin forwarded message:

From: Alex Bradley <abradley@ctwoodlands.org>
Date: February 20, 2024 at 9:48:25 AM EST
To: Valerie Amsel <kayakval@att.net>
Subject: Re: boardwalk

Hi Valerie,

We have switched to almost exclusively use ground contact pressure treated. We have some many projects each season so the logistics of procuring and cost of using the alternatives would be unfeasible. The chemicals in PT these days are not as toxic. It no longer has arsenic.

We would like to use a local lumber yard but have a tax-exempt account with Lyon and Billiards, a CT based Company, and they have delivery services statewide in-house, which is very helpful.

So, while there is white oak as a lesser alternative and black locus as superior alternative options, we do not use it very often or at all these days.

Thanks,
Alex

Alexander G. Bradley (he/him)
Trails Stewardship Coordinator
Connecticut Forest & Park Association
Connecticut Woodlands Conservation Corps
16 Meriden Rd Rockfall, CT 06481
860-346-TREE (8733) x 106
abradley@ctwoodlands.org

www.ctwoodlands.org

From: Valerie Amsel <kayakval@att.net>
Sent: Sunday, February 18, 2024 11:20 AM
To: Alex Bradley <abradley@ctwoodlands.org>
Subject: boardwalk

Phil Wilsey recommended I contact you about building a boardwalk. We are looking to build a boardwalk in an area that gets wet in a rainstorm but dry at times. Usually we use ground contact contact 4x4 posts but our wetlands commission feels there may be leaching of the chemicals. Everything I see uses this. I looked at an article in the National Association of Wetland Managers which says there is no evidence that this is a problem. Do you use this or do you know of an alternative. Thanks, Valerie Amsel

UConn

COLLEGE OF AGRICULTURE, HEALTH, AND NATURAL RESOURCES
Center for Land Use Education and Research



CT DEEP Municipal Inland Wetlands Agency Comprehensive Training Program

Land Use Commissioner Training

CT DEEP Training / Certificate Courses

UConn CLEAR Training Courses

CLEAR Webinar Library

Description: This online training program allows municipal inland wetlands agencies and their staff to meet the regulatory and training requirements of the Connecticut Inland Wetlands and Watercourses Act (IWWA). This program instructs and guides agency members and staff on (1) the law they are implementing and enforcing and (2) the resources they are charged with protecting. Municipal inland wetlands agencies have the daunting task of balancing support for their community's economy with the need to protect and restore inland wetland and watercourse resources. This course assists agencies with their responsibilities by examining key sections of the



IWWA, important procedures and critical legal concepts for conducting agency business, stream crossing guidelines, habitat enhancement and restoration techniques, maps and site plans, and more! It is strongly recommended that all new municipal inland wetlands agency members and staff complete this training program. Veteran members and staff can benefit from taking the course as it provides a good review of fundamental subject matter.

Who should take this course: Municipal inland wetlands agency members & staff; anyone interested in learning about Connecticut's Inland Wetlands and Watercourses Act (IWWA), the municipal inland wetlands agency permitting process, and the functions and values of inland wetland and watercourse resources.

Format: Online, at your own pace, 8 modules with text and video content, interactive activities, and module assessments.

Estimated time to complete: 8 hours (Course must be completed within 60 days)

Completion reward: Certificate of Achievement issued by CT DEEP

Cost: Free

For questions regarding course content, please email darcy.winther@ct.gov. In the email subject line, please indicate: *IW Online Course Content Question*.

Technical support: jean.madden-hennessey@uconn.edu

REGISTER HERE

<https://uconn.geniussis.com/Registration.aspx>

Look for Municipal Inland Wetlands Agency Training in the list of courses

CONTACT

📞 860-345-4511

✉ clear@uconn.edu

📍 UConn Center for Land Use Education & Research
Middlesex County Extension
PO Box 70, 1066 Saybrook Road
Haddam, CT 06438