



STATE OF CONNECTICUT – COUNTY OF TOLLAND
INCORPORATED 1786

TOWN OF ELLINGTON

55 MAIN STREET – PO BOX 187
ELLINGTON, CONNECTICUT 06029-0187
www.ellington-ct.gov

TEL. (860) 870-3120 **TOWN PLANNER'S OFFICE** FAX (860) 870-3122

PLANNING AND ZONING COMMISSION REGULAR MEETING AGENDA

MONDAY, FEBRUARY 26, 2024, 7:00 PM

IN-PERSON ATTENDANCE: TOWN HALL ANNEX, 57 MAIN STREET, ELLINGTON, CT

REMOTE ATTENDANCE: ZOOM MEETING, INSTRUCTIONS PROVIDED BELOW

I. CALL TO ORDER:

II. PUBLIC COMMENTS: (On non-agenda items)

III. PUBLIC HEARING(S):

1. Z202328 - Stephen D. Williams, owner/applicant, request for Special Permit and Site Plan Approval for two rear lots off Hawks Nest Trail, APN 004-002-0000, Rural Agricultural Residential (RAR) Zone. (Hearing continued from January 29, 2024)
2. Z202401 - Paul Misbach, owner/applicant, pursuant to Section 3.1.3 of the Ellington Zoning Regulations request for Special Permit for the construction of a 30X40 accessory detached garage at 58 Pinney Road, APN 0015-010-0000, in a Rural Agricultural Residential (RAR) Zone. (Notice requirements met, hearing may commence)

IV. OLD BUSINESS: None

V. NEW BUSINESS:

1. Pursuant to referral from the Board of Selectmen on February 12, 2024, request for Connecticut General Statute §8-24 review for purchase of 79 Kibbe Road as open space.

VI. ADMINISTRATIVE BUSINESS:

1. Approval of the January 29, 2024, Regular Meeting Minutes.
2. Election of Officers.
3. Correspondence/Discussion:
 - a. Request from CRCOG seeking Regional Planning Commission appointments.
 - b. Pursuant to May 2023 discussion for Z202303, review plans for press box at field M2 Robert Tedford Memorial Park.
 - c. Discuss status of commissioner training pursuant to PA 21-29.
 - d. Ellington Parks & Recreation Help Shape Our Parks Survey and Master Plan Virtual Meeting for Tuesday, February 27, 2024.
 - e. Letter from CT Siting Council dated February 5, 2024, declaratory ruling not issued for Petition 1589, USS Solar, 360 Somers Road, Ellington Airport.

VII. ADJOURNMENT:

Next Regular Meeting is scheduled for March 25, 2024.

Instructions to attend remotely via Zoom Meeting listed below. The agenda is posted on the Town of Ellington webpage (www.ellington-ct.gov) under Agenda & Minutes, Planning & Zoning Commission.

Join Zoom Meeting via link:

<https://us06web.zoom.us/j/86912688777>

Meeting ID: 869 1268 8777

Passcode: 445580

Join Zoom Meeting by phone:

1-646-558-8656 US (New York)

Meeting ID: 869 1268 8777

Passcode: 445580

Stormwater Management Memorandum

Hayes Avenue – Hawks Nest Trail

Ellington, CT

PREPARED FOR

Town of Ellington, CT

55 Main Street

Ellington, CT 06029

Issued: February 1, 2024

RECEIVED
FEB 01 2024
TOWN OF ELLINGTON
PLANNING DEPARTMENT



PROJECT DESCRIPTION

This project is located in a rear lot off of Hawks Nest Trail in Ellington, CT. The existing lot consists of an entirely wooded area consisting of hydrologic soil groups B and C (loam / sandy loam), as well as a wetlands located on the eastern portion of the property. This wetlands drains to a small brook that discharges through a neighboring property which has flooding issues during large rain events, likely due to hydraulic restrictions with their driveway culvert. The purpose of this memo and preliminary drainage analysis is to ensure that this proposed design is feasible and will have no negative effects related to stormwater and drainage to further this existing issue.

The proposed driveway will be located within an easement between lot 55 Hayes Ave. and Lot 2 Hawks Nest Trail. The project proposes two residential lots with on site well water and septic leaching fields. There will be a shared gravel driveway between the two houses as located on the eastern portion of the rear lot, west of the wetlands.

Under existing conditions most of the water on site flows directly west to east before sheet flowing into the wetlands. Under proposed conditions, the flow of stormwater will be generally undisturbed besides on-site detention proposed to ensure no net increase of peak flows. A majority of stormwater from the rear lot will be collected via two swales. The northern part of this site will be diverted into a grass swale then to a 12" culvert which discharges into the detention pond. The southern part of this site will either directly sheet flow into the detention pond or also be collected in a grass swale which discharges into the detention pond. The detention pond utilizes a single 3' wide broad-crested weir at elevation 338.10 which discharges into a small existing swale that is to be protected with modified riprap, and then flow into the wetlands as under existing conditions.

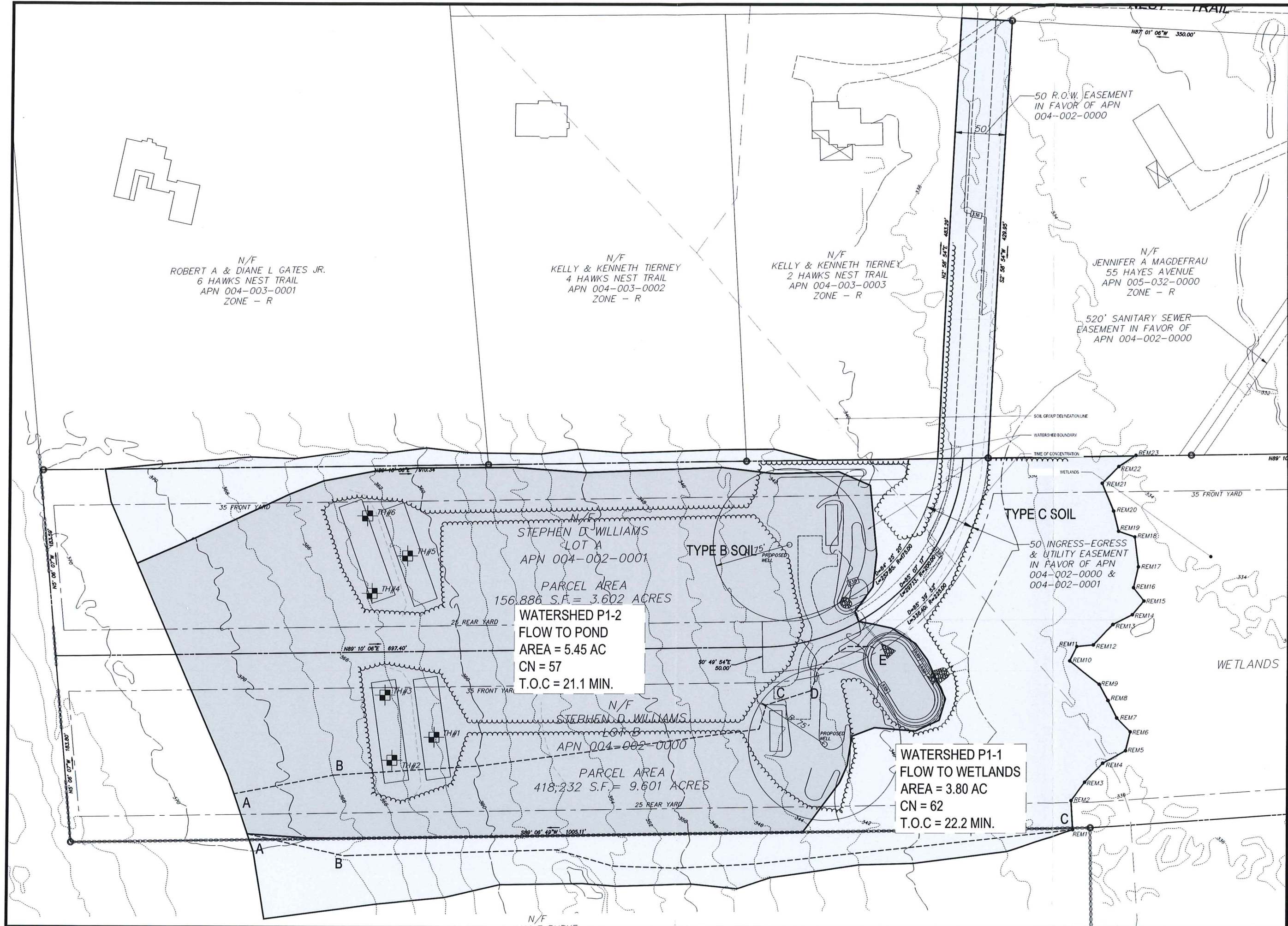
Please see hydrologic calculations for existing and proposed watersheds located in Appendix A and B.

Please see Appendix C for peak flow comparison. Stormwater discharges are decreased in all design storms. (2-year, 10-year, 25-year, 100-year NOAA Type D storms)

All other appendices are for reference and do not contain further calculations.

attached file: \70662.02 survey rev1.dwg

PAPER SPACE LAYOUT NAME:
TWISTYVIEW
LAYER MANAGER NAME:
PLOT TABLE: STB



N/F
ROBERT A & DIANE L GATES JR.
6 HAWKS NEST TRAIL
APN 004-003-0001
ZONE - R

N/F
KELLY & KENNETH TIERNEY
4 HAWKS NEST TRAIL
APN 004-003-0002
ZONE - R

N/F
KELLY & KENNETH TIERNEY
2 HAWKS NEST TRAIL
APN 004-003-0003
ZONE - R

N/F
JENNIFER A MAGDEFRAU
55 HAYES AVENUE
APN 005-032-0000
ZONE - R

520' SANITARY SEWER
EASEMENT IN FAVOR OF
APN 004-002-0000

50 R.O.W. EASEMENT
IN FAVOR OF APN
004-002-0000

STEPHEN D WILLIAMS
LOT A
APN 004-002-0001
PARCEL AREA
156,886 S.F. = 3.602 ACRES
WATERSHED P1-2
FLOW TO POND
AREA = 5.45 AC
CN = 57
T.O.C = 21.1 MIN.

STEPHEN D WILLIAMS
LOT B
APN 004-002-0000
PARCEL AREA
418,232 S.F. = 9.601 ACRES

WATERSHED P1-1
FLOW TO WETLANDS
AREA = 3.80 AC
CN = 62
T.O.C = 22.2 MIN.

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| SURVEY BOOK: 06- |
| SURVEYOR: GSL |
| DRAWN: RS |
| CHECKED: WW |
| APPROVED: WW |

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SCALE: HORZ.: 1" = 40'
VERT.: 1" = 40'
SURVEY DATUM: HORZ.: NAD 1983
VERT.: NAVD 1988
GRAPHIC SCALE



Prepared By:
APN 004-002-0000 SITE PLAN
PROPOSED WATERSHED AREA MAP
PREPARED FOR
STEPHEN D. WILLIAMS
HAWKS NEST TRAIL - HAYES AVENUE
ELLINGTON CONNECTICUT

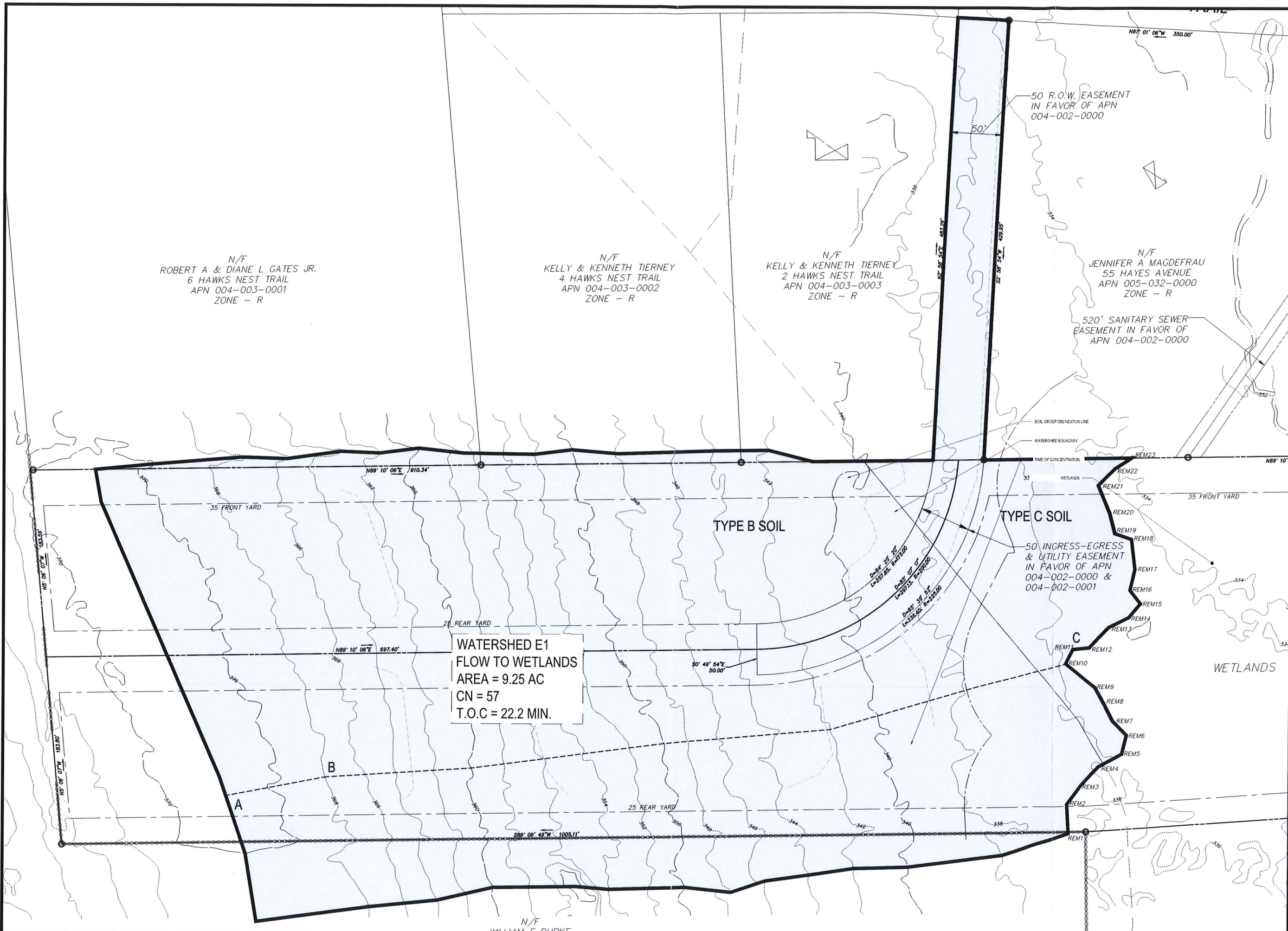
PROJ. No.: 70662.02
DATE: DEC 2023

PWAM

File Location Name: Y:\GIS\Survey\70662.02\Williams_Hawk_Nest\Survey\ACAD\Drainage_Analysis\Proposed_Watershed_Analysis.dwg
Date of Plot: February 01, 2024 - 2:57 PM

attached to file: 17066202 survey rev1.dwg

PAPER SPACE LAYOUT NAME:
VIEWNAME:
LAYER MANAGER NAME:
PLOT TABLE: STB



WATERSHED E1
 FLOW TO WETLANDS
 AREA = 9.25 AC
 CN = 57
 T.O.C = 22.2 MIN.

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SCALE: HORIZ.: 1" = 40'
 VERT.:
 SURVEY DATUM: HORIZ: NAD 1983
 VERT: NAVD 1988



Prepared By:

APN 004-002-0000 SITE PLAN
 EXISTING WATERSHED AREA MAP
 PREPARED FOR
 STEPHEN D. WILLIAMS
 HAWKS NEST TRAIL - HAYES AVENUE
 ELLINGTON CONNECTICUT

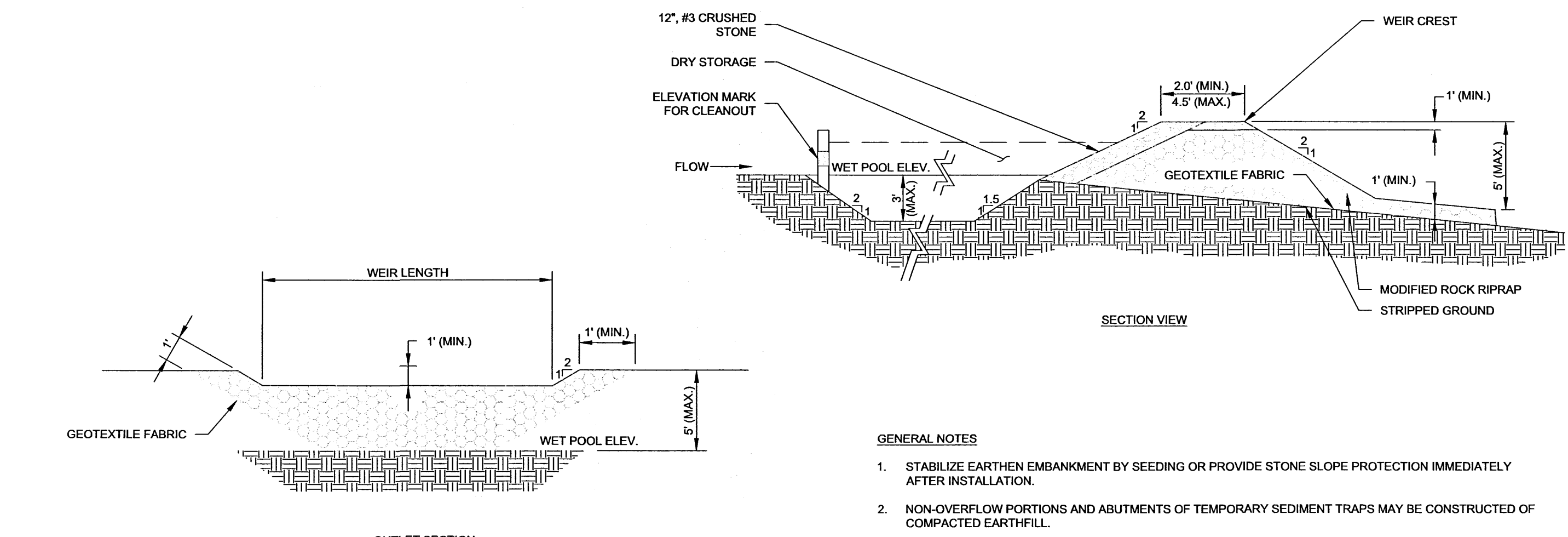
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 DATE: DEC 2023

EWAM

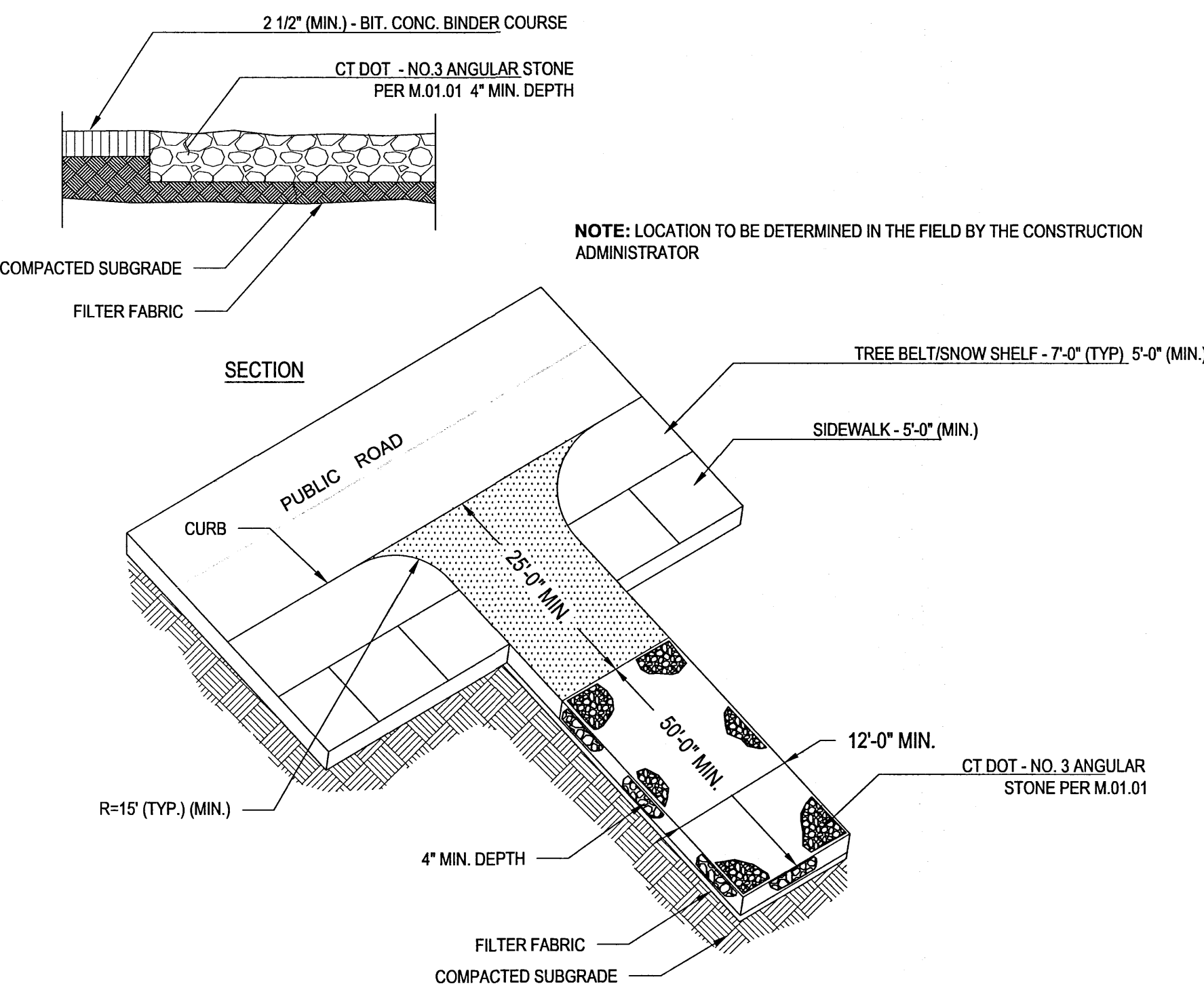
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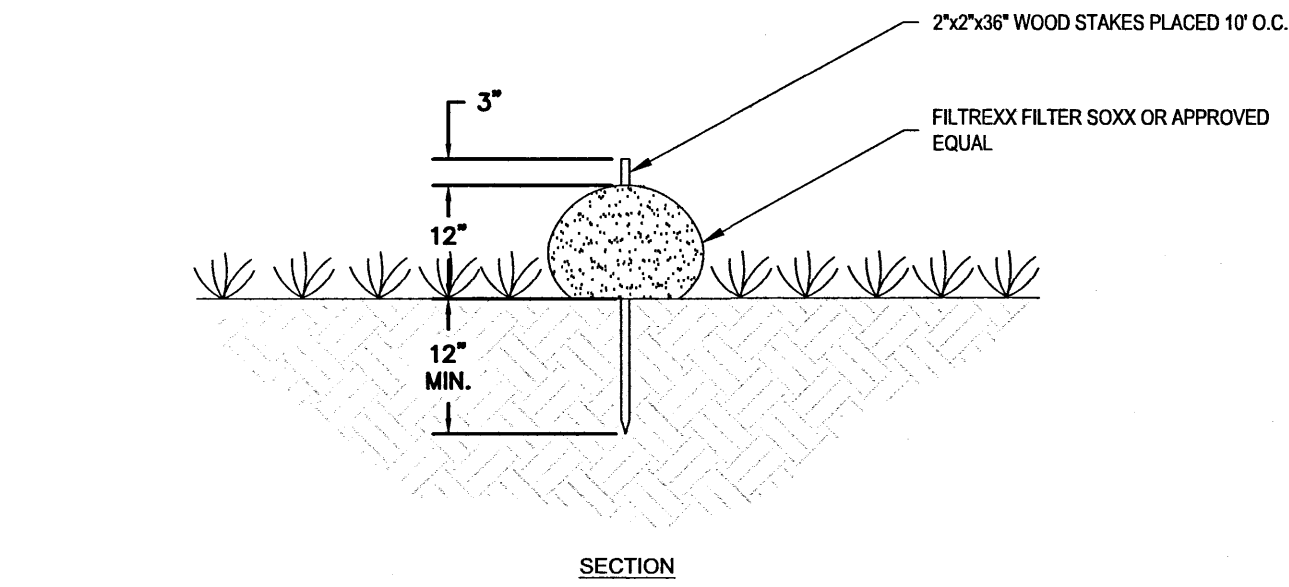
PAPER SPACE LAYOUT NAME:
 TWSVIEW
 VIEWNAME:
 LAYER MANAGER NAME:
 PLOT TABLE: STB



TEMPORARY SEDIMENT TRAP
 SCALE: NONE

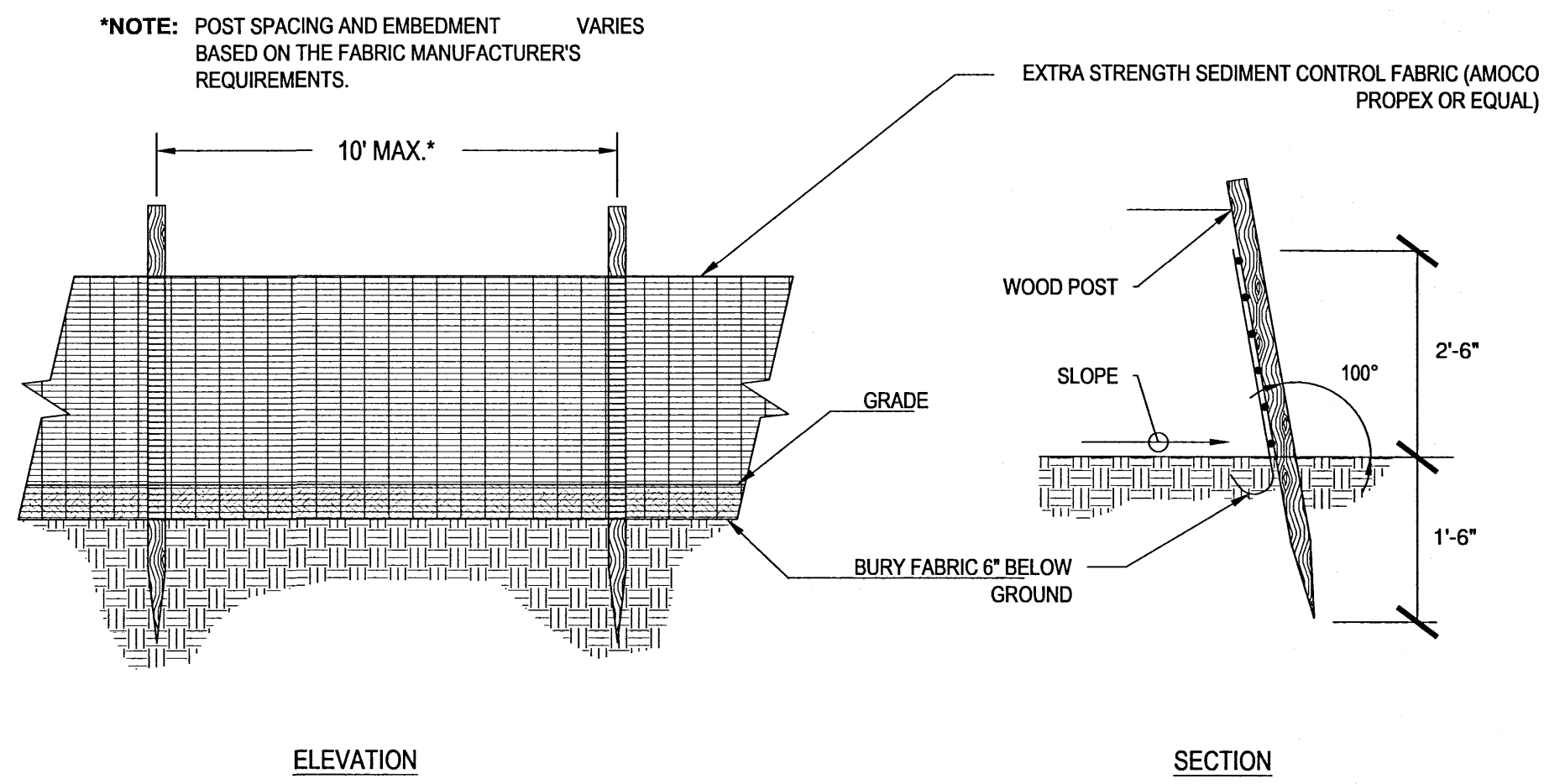


CONSTRUCTION ENTRANCE (CE)
 N.T.S.

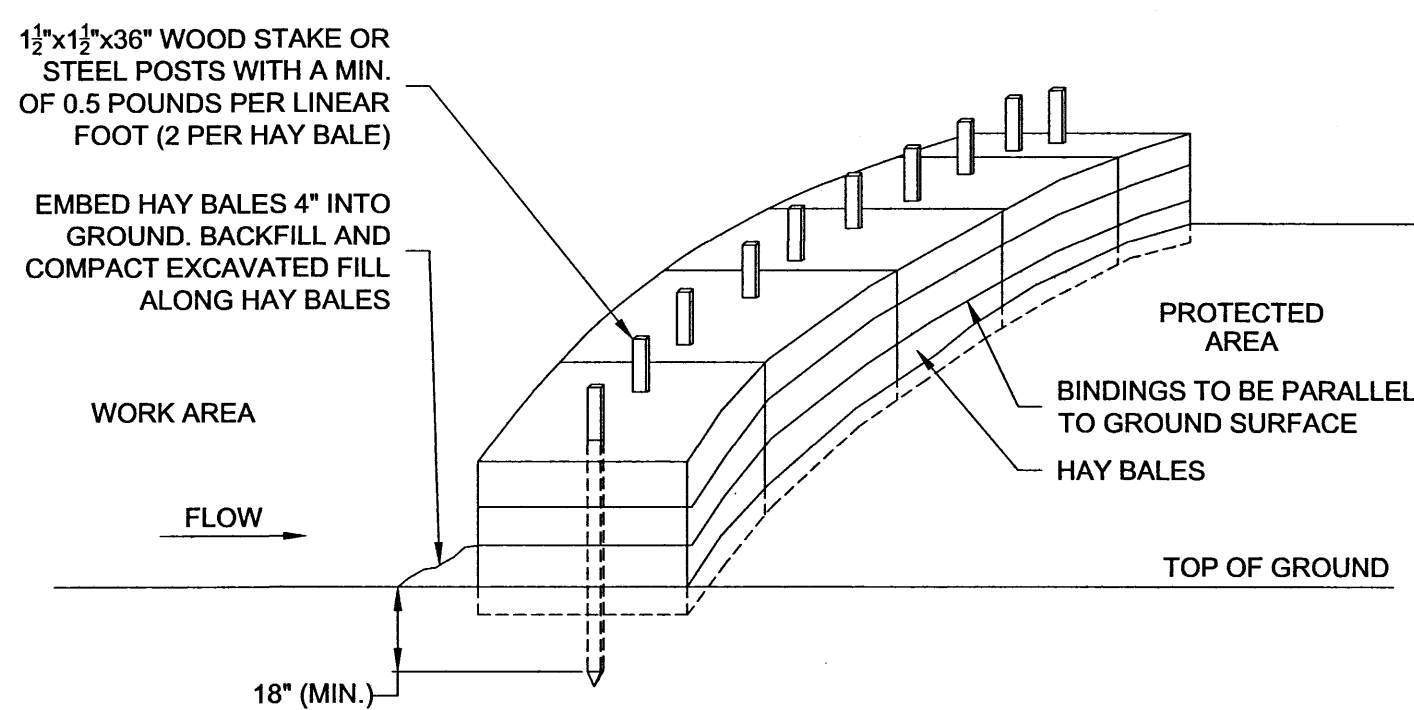


FILTER SOCK
 N.T.S.

- GENERAL NOTES**
1. STABILIZE EARTHEN EMBANKMENT BY SEEDING OR PROVIDE STONE SLOPE PROTECTION IMMEDIATELY AFTER INSTALLATION.
 2. NON-OVERFLOW PORTIONS AND ABUTMENTS OF TEMPORARY SEDIMENT TRAPS MAY BE CONSTRUCTED OF COMPACTED EARTH/FILL.

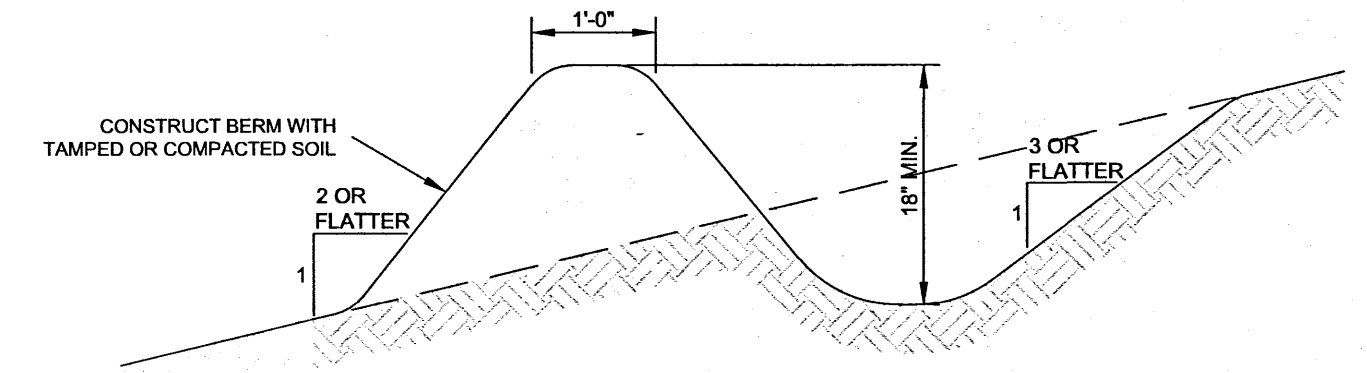


SILT FENCE BARRIER (SF)
 N.T.S.



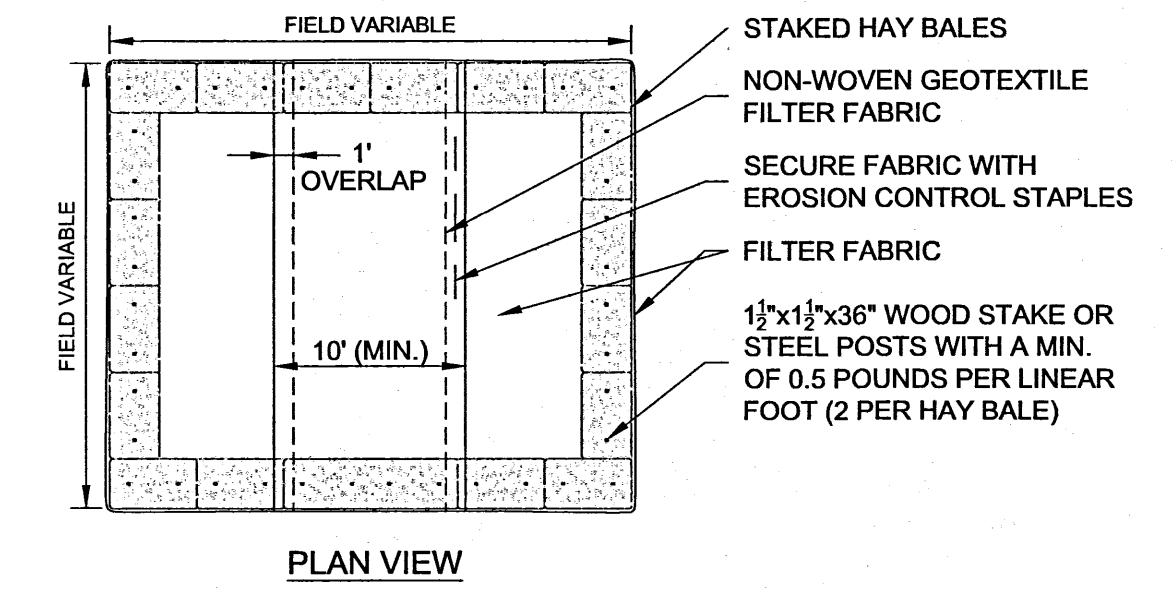
- NOTES:**
1. HAY BALES SHALL BE MADE OF HAY OR STRAW WITH 40 POUND MIN. WEIGHT AND 120 POUND MAX. WEIGHT HELD TOGETHER BY TWINE OR WIRE.
 2. PLACE HAY BALES ON CONTOUR AND WING THE LAST HAY BALES UP SLOPE SO THAT THE TOP OF THE LAST SEVERAL HAY BALES ARE HIGHER THAN THE LINE OF HAY BALES.
 3. DRIVE FIRST STAKE IN EACH BALE TOWARD THE PREVIOUSLY LAID BALE TO FORCE THEM TOGETHER.
 4. PUT ONE HAY BALE PERPENDICULAR ALONG HAY BALE BARRIER EACH 100 FEET.

HAY BALE BARRIER (HB)
 N.T.S.



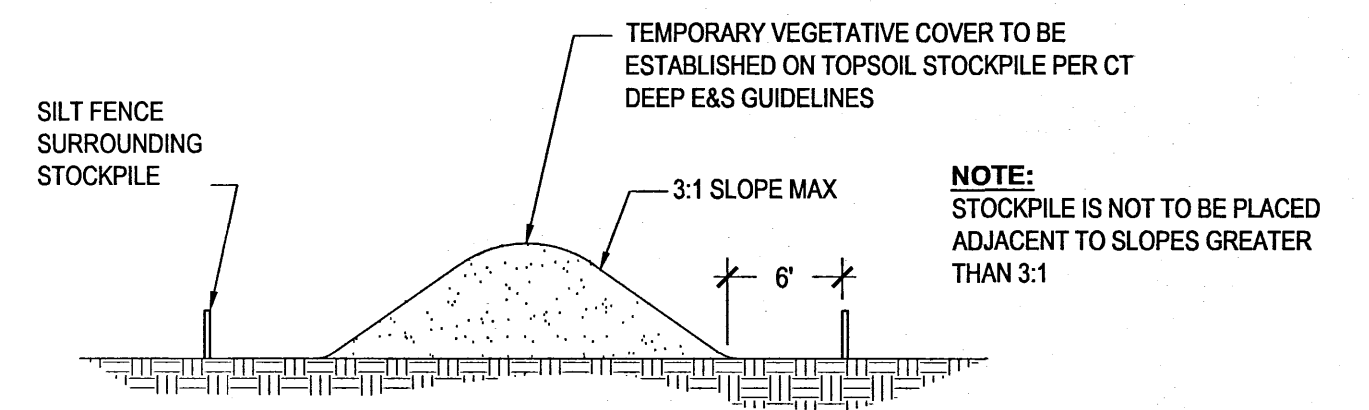
- GENERAL NOTES**
1. INSTALL TEMPORARY DIVERSION SWALES TO CHANNEL WATER FROM DISTURBED AREAS TO THE TEMPORARY SEDIMENT BASIN. ADJUST SWALE LOCATIONS AS NECESSARY PER CHANGING SITE CONDITIONS.
 2. CONTRIBUTING DRAINAGE AREA MUST NOT EXCEED ONE ACRE.

TEMPORARY DIVERSION SWALE
 SCALE: NONE

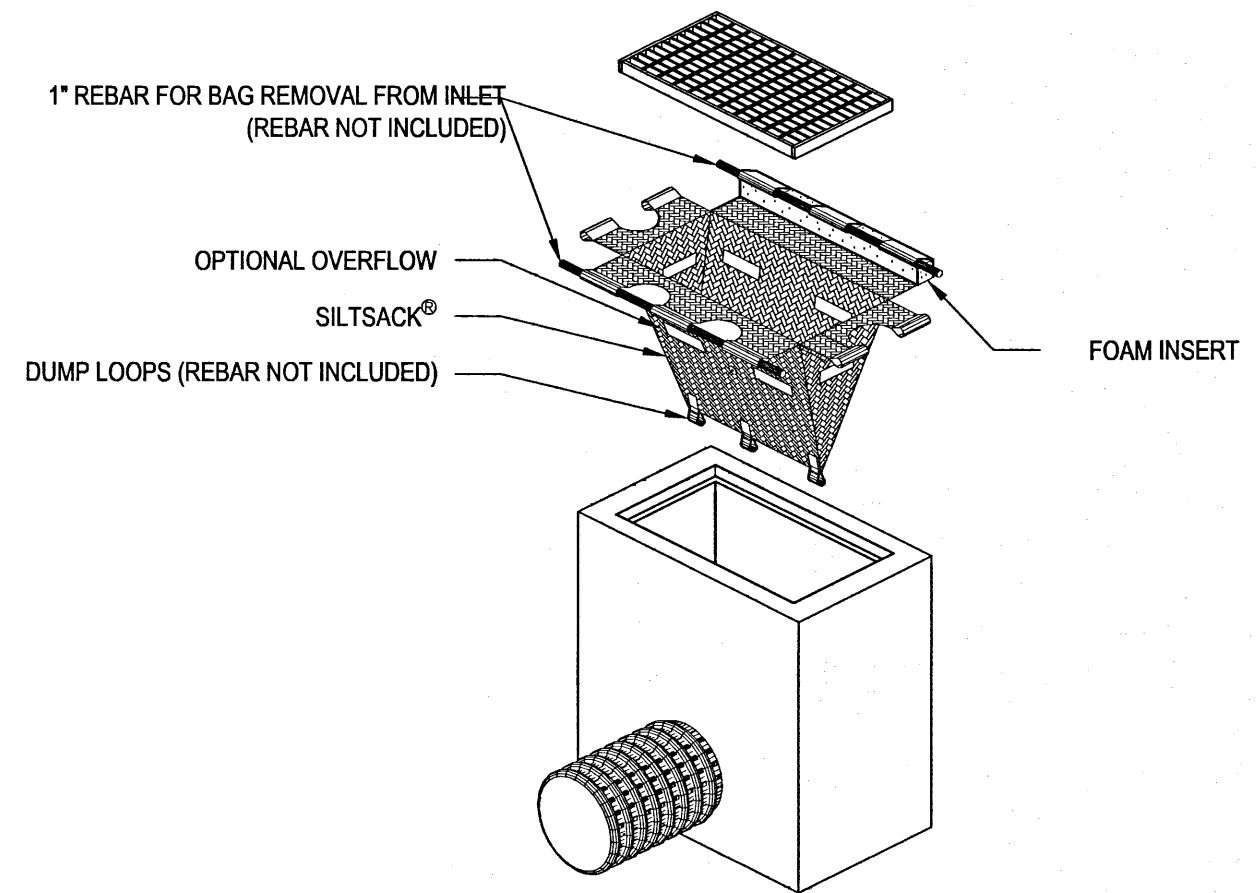


- NOTES:**
1. CONSTRUCT WASHOUT AREA LARGE ENOUGH TO ENSURE MATERIALS WILL BE CONTAINED WHERE WASTE CONCRETE CAN SOLIDIFY IN PLACE AND EXCESS WATER CAN SAFELY EVAPORATE.
 2. WASHOUT AREA SHALL BE LARGE ENOUGH TO RETAIN ALL LIQUID AND WASTE CONCRETE MATERIALS FROM WASHOUT OPERATION.
 3. WEEKLY INSPECTIONS OF WASHOUT AREAS SHALL BE CONDUCTED TO ASSESS THE HOLDING CAPACITY AND FUNCTIONALITY OF THE WASHOUT AREA.

TEMPORARY CONCRETE WASHOUT AREA (CWA)
 N.T.S.



TEMPORARY STOCKPILE (STK)
 N.T.S.



SILT SACK DETAIL (SS)
 N.T.S.

SILTSACK® SEDIMENT CONTROL DEVICE, TERRAFIX GEOSYNTHETICS INC. TORONTO, ONTARIO, CA
 WWW.TERRAFIXGEO.COM

RECEIVED
 FEB 01 2024
 10:11 AM EST
 PLANNING & DESIGN

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| SCALE: HORIZ.: 1" = 40' | VERT.: 1" = 4' |
| SURVEY DATUM: HORIZ.: NAD 1983 | |
| VERT.: NAVD 1988 | |
| GRAPHIC SCALE | |



Prepared By:

APN 004-002-0000 SITE PLAN
 EROSION CONTROL DETAILS
 PREPARED FOR
STEPHEN D. WILLIAMS
 HAWKS NEST TRAIL - HAYES AVENUE
 ELLINGTON CONNECTICUT

PROJ. No.: 70662.02
 DATE: DEC 2023

C-1.1

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 Date of Plot: February 01, 2024 - 3:28 PM

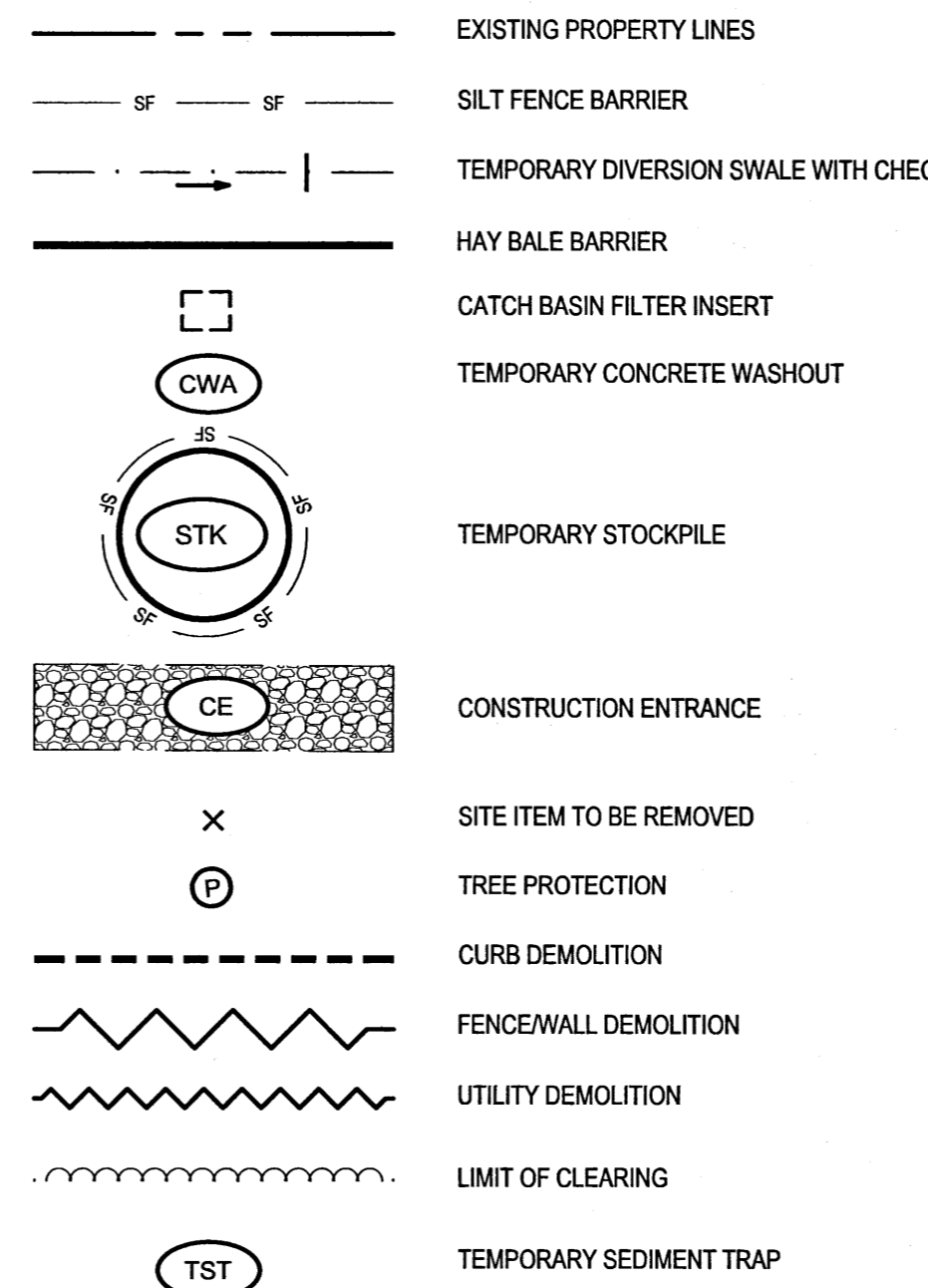
SITE PREPARATION NOTES:

- CONTRACTOR SHALL NOTIFY "CALL BEFORE YOU DIG" (1-800-922-4455) AND VERIFY UTILITY MARK-OUT WITH THE OWNER PRIOR TO THE INITIATION OF ANY SITE DISTURBANCE.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFICATION OF THE LOCATION AND NATURE OF ALL SUBSURFACE UTILITIES AT THE PROJECT WHICH MAY BE AFFECTED BY THE WORK. COORDINATE WITH RESPECTIVE UTILITY OWNERS AND PERFORM VERIFICATION OF TYPE, LOCATION, AND INVERTS AS REQUIRED.
- PROTECT ALL IMPROVEMENTS NOT INCLUDED WITHIN THE LIMITS OF WORK. ANY IMPROVEMENT WHICH IS DAMAGED SHALL BE REPAIRED OR REPLACED IN-KIND TO THE OWNER'S SATISFACTION.
- DURING DEMOLITION, PROTECT ALL ADJACENT CURBING, SIDEWALKS, RAMPS, ABOVE-GRADE AND BELOW-GRADE UTILITIES, DRAINAGE STRUCTURES, LIGHT BASES, AND OTHER IMPROVEMENTS POTENTIALLY AFFECTED BY THE WORK. CLEARLY DELINEATE THE LIMITS OF WORK AND MARK, BARRICADE, OR OTHERWISE IDENTIFY THOSE IMPROVEMENTS THAT ARE TO BE PROTECTED AND/OR AVOIDED. ANY IMPROVEMENT WHICH IS DAMAGED SHALL BE REPAIRED OR REPLACED IN-KIND TO THE OWNER'S SATISFACTION.
- THE LOCATIONS OF EXISTING SITE FEATURES AS SHOWN HAVE BEEN OBTAINED FROM MAPS, SURVEYS, FIELD INSPECTIONS, AND OTHER AVAILABLE INFORMATION. THEY MUST BE CONSIDERED APPROXIMATE BOTH TO LOCATION, SIZE, AND AS-BUILT CONDITION AND ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL FIELD CONDITIONS.
- THE DIMENSIONS SHOWN ON THE PLANS, INCLUDING THE INTENDED DIMENSIONS OF THE WORK, MAY VARY FROM ACTUAL EXISTING CONDITIONS IN THE FIELD. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASUREMENTS TO VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS AS WELL AS OTHER DIMENSIONS HE MAY DEEM APPROPRIATE TO FACILITATE THE COMPLETION OF THE WORK. NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
- IMPLEMENTING WORKER SAFETY AND/OR HEALTH PROTOCOLS THAT ADDRESS COMPLIANCE WITH RULES, LAWS, AND REGULATIONS PERTAINING TO CONSTRUCTION SAFETY AND/OR THE POTENTIAL AND/OR ACTUAL RISK OF EXPOSURE TO SITE-SPECIFIC PHYSICAL OR CHEMICAL HAZARDS IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
- UNLESS OTHERWISE INDICATED, ALL DISTURBED AREAS SHALL BE RESTORED WITH SIX (6) INCHES OF LOAM, SEEDED, FERTILIZED, AND MULCHED. PROVIDE ADDITIONAL EROSION CONTROLS AS REQUIRED.

EROSION AND SEDIMENT CONTROL NOTES:

- THIS PLAN IS FOR EROSION AND SEDIMENTATION (E&S) CONTROL ONLY. SEE OTHER PLANS FOR THE SCOPE OF CONSTRUCTION WORK.
- THE MEASURES SPECIFIED HEREON ARE THE MINIMUM REQUIREMENTS FOR E&S CONTROL AND ARE SHOWN IN GENERAL SIZE AND LOCATION ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL E&S CONTROL MEASURES ARE CONFIGURED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION OF SOILS AND PREVENT THE TRANSPORT OF SEDIMENTS AND OTHER POLLUTANTS TO ANY RESOURCE AREAS. ALL EROSION CONTROLS SHALL BE INSTALLED PRIOR TO ANY SITE WORK. CONTROLS SHOULD BE INSPECTED WEEKLY AND AFTER EACH RAINFALL. EXCAVATED MATERIAL SHOULD NOT BE DISPOSED OF IN THE WETLAND AREA. PROVIDE ADDITIONAL E&S MEASURES AS REQUIRED TO CONTROL EROSION AND SILTATION THROUGHOUT THE DURATION OF THE CONSTRUCTION AS CONDITIONS DICTATE AND/OR AS DIRECTED BY THE OWNER OR THE ENGINEER.
- MONITOR AND INSPECT ALL E&S MEASURES IN AN ONGOING MANNER THROUGHOUT THE WORK AND TAKE CORRECTIVE MEASURES, AS REQUIRED, TO MINIMIZE EROSION OF SOILS AND PREVENT THE TRANSPORT OF SEDIMENTS AND OTHER POLLUTANTS TO ANY RESOURCE AREAS.
- ANY EROSION AND SEDIMENTATION MEASURE IMPLEMENTED BEYOND THAT SHOWN HEREON SHALL CONFORM TO APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT'S 2002 "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL."
- ANY STOCKPILED MATERIAL SHALL BE SUBJECT TO EROSION CONTROL MEASURES THAT INCLUDE A MINIMUM OF SILT FENCE OR HAY BALE BARRIER, COVER STOCKPILES IF SIGNIFICANT RAINFALL IS PREDICTED.
- PROVIDE TEMPORARY SEEDING WITH MULCH ON ALL EXPOSED SOIL AREAS WHERE WORK WILL BE SUSPENDED FOR LONGER THAN 30 DAYS. APPLY SEED AND MULCH WITHIN THE FIRST 7 DAYS OF SUSPENDING WORK. WHEN SEEDING IS NOT POSSIBLE DUE TO SEASONAL WEATHER CONDITIONS OR OTHER FACTORS, PROVIDE TEMPORARY STRUCTURAL SOIL PROTECTION SUCH AS MULCH, WOODCHIPS, EROSION CONTROL MATTING, OR COMPOST.
- ALL TEMPORARY SLOPES IN EXCESS OF 3 (HORIZONTAL) TO 1 (VERTICAL) SHALL BE STABILIZED WITH EROSION CONTROL MATTING OR APPROVED EQUIVALENT.
- NO RUNOFF SHALL BE ALLOWED TO EXIT THE SITE PRIOR TO TREATMENT FOR SEDIMENT REMOVAL.
- THE CONTRACTOR SHALL MAINTAIN A CLEAN CONSTRUCTION SITE AND SHALL NOT ALLOW THE ACCUMULATION OF RUBBISH OR CONSTRUCTION DEBRIS. ALL TRASH SHALL BE CLEANED ON A DAILY BASIS AND THE SITE SHALL BE LEFT IN A NEAT CONDITION AT THE END OF EACH WORK DAY.
- TAKE ALL NECESSARY PRECAUTIONS TO AVOID THE SPILLAGE OF FUEL OR OTHER POLLUTANTS AND ADHERE TO ALL APPLICABLE POLICIES AND REGULATIONS RELATED TO SPILL PREVENTION, CONTROL, AND RESPONSE.
- FOR DUST CONTROL, PERIODICALLY MOISTEN EXPOSED SOIL SURFACES WITH WATER AND MAINTAIN ADEQUATE MOISTURE LEVELS.
- SWEEP ADJACENT ROADWAYS IF MUD OR SOIL IS TRACKED ON TO THEM, OR AS DIRECTED BY THE ENGINEER.
- SILT SACKS TO BE INSTALLED IN ALL PROPOSED CATCH BASINS ONCE CONSTRUCTED.

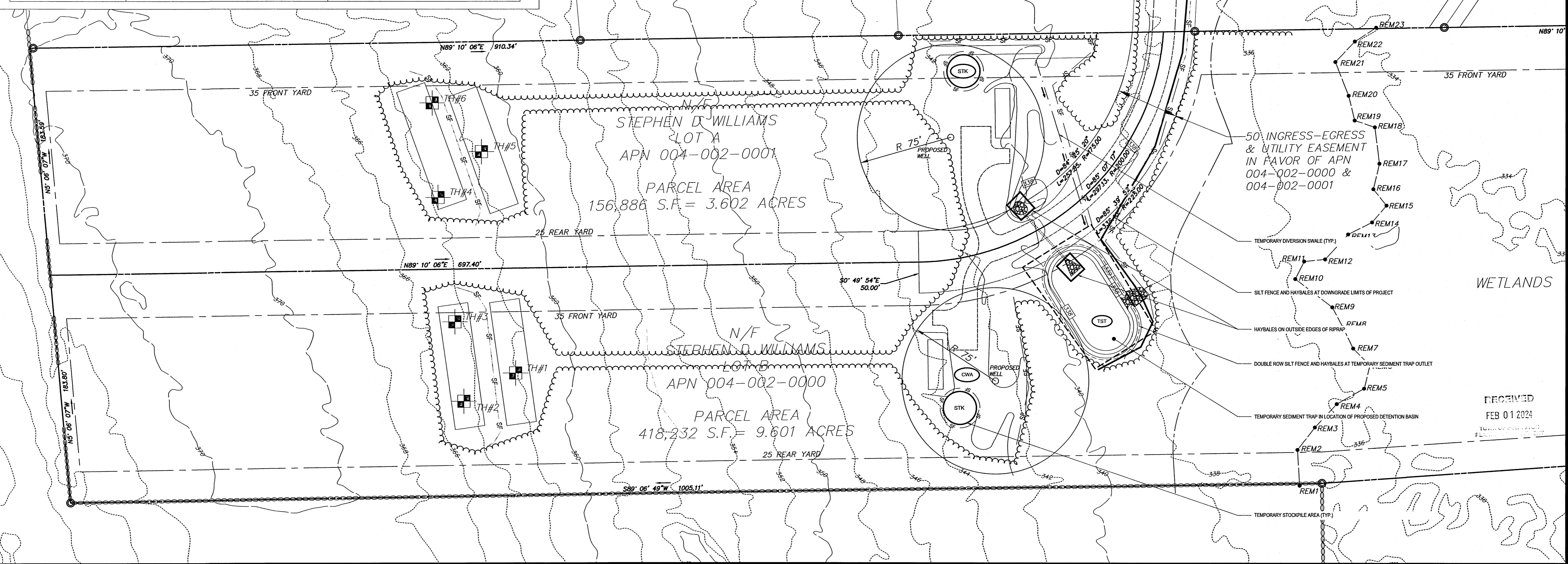
DEMOLITION AND EROSION CONTROL LEGEND



TEMPORARY SEDIMENT TRAP SIZING

INFLOW AREA = 5.45 Ac
 REQUIRED = 134 CY PER ACRES = 134 X 5.45 = 730.3 CY
 SIZE = APPROX. 100' WIDE X 65' LONG X 3' DEEP
 VOLUME PROVIDED = 722.2 CY

| TEMPORARY E&S MEASURES MAINTENANCE SCHEDULE | | |
|---|--|--|
| E&S MEASURE | MAINTENANCE MEASURES | SCHEDULE |
| FILTER INSERTS IN DRAINAGE SYSTEM | CLEAN CATCH BASIN GRATE, REMOVE SEDIMENT/DEBRIS FROM FILTER INSERTS | WEEKLY & WITHIN 24 HOURS AFTER STORM GENERATING A DISCHARGE |
| HAY BALES/SILT FENCE BARRIER | REPAIR/REPLACE WHEN FAILURE OBSERVED. REMOVE SILT WHEN ACCUMULATION REACHES APPROX. HALF HEIGHT OF BARRIER | WEEKLY & WITHIN 24 HOURS AFTER A STORM GENERATING A DISCHARGE |
| CONSTRUCTION ENTRANCE | SWEEP PAVED ROADWAY ADJACENT TO SITE ENTRANCE AS NECESSARY, REFRESH STONE AS NECESSARY, REMOVE SILTED GRAVEL | WEEKLY |
| MOISTEN EXPOSED SOILS | PERIODICALLY MOISTEN EXPOSED SOIL SURFACES WITH WATER ON UNPAVED TRAVELWAYS AND KEEP TRAVELWAYS DAMP | DAILY |
| TEMPORARY SEDIMENT TRAP | CHECK AND REPAIR OUTLET (SNAKE IF NECESSARY), CLEAN WHEN HALF FULL OF SEDIMENT (DEWATER IF NECESSARY), RESTORE TRAP TO ORIGINAL DIMENSIONS | WEEKLY & WITHIN 24 HOURS AFTER STORM GENERATING A DISCHARGE |
| TEMPORARY DIVERSION SWALE | REPAIR DAMAGED AREA WITHIN 24 HOURS OF OBSERVED FAILURE | WEEKLY & WITHIN 24 HOURS AFTER STORM GENERATING A DISCHARGE. INSPECT DAILY WHEN CONSTRUCTION ACTIVITIES ARE IN CLOSE PROXIMITY |



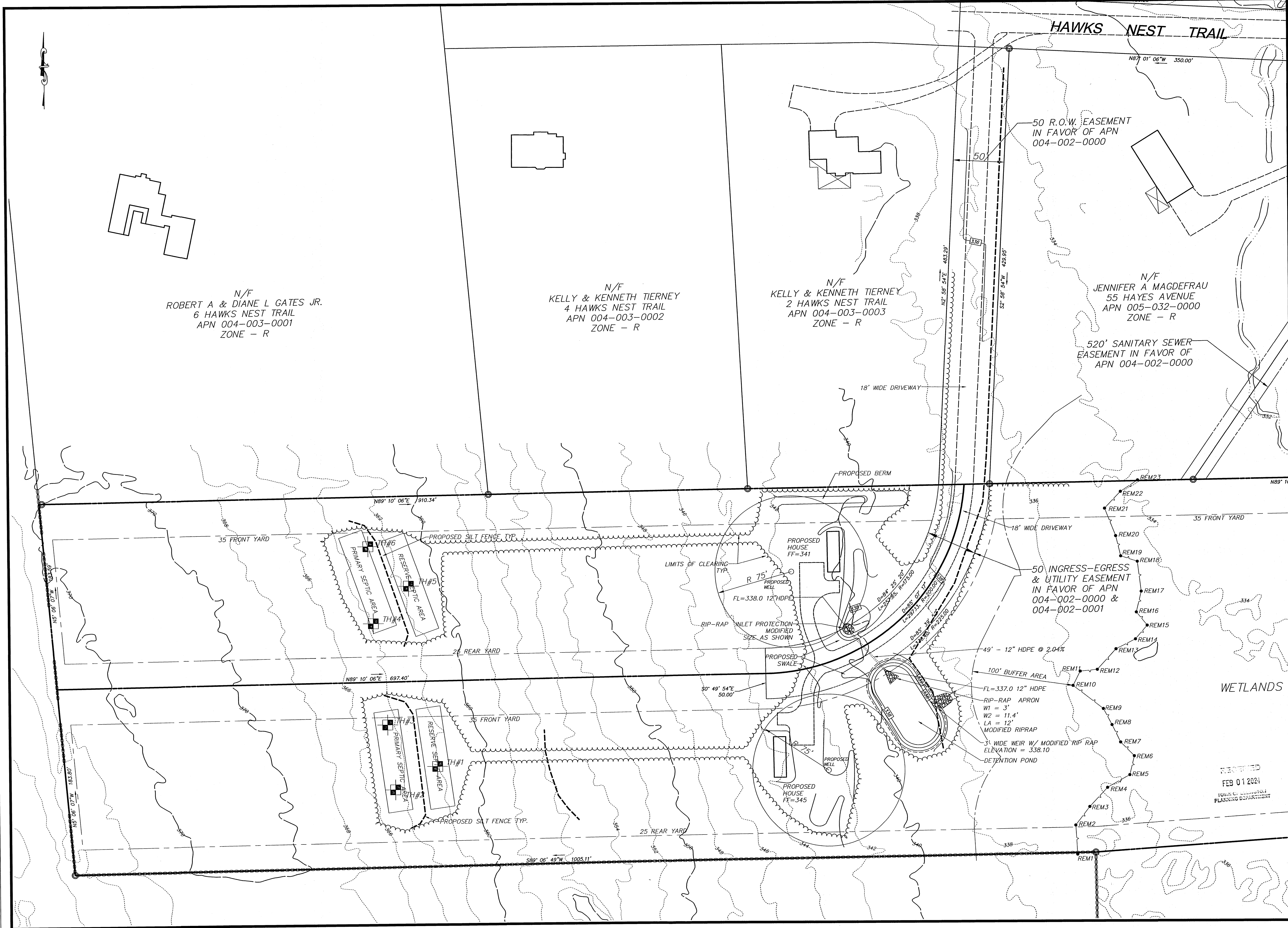
| PROJECT NO.: 70662.02 | DATE: DEC 2023 | | | | | | |
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| <p>C-1.0</p> | | | | | | | |
| <p>APN 004-002-0000 SITE PLAN EROSION CONTROL PLAN PREPARED FOR STEPHEN D. WILLIAMS HAWKS NEST TRAIL - HAYES AVENUE ELLINGTON CONNECTICUT</p> | | | | | | | |
| <p>RECEIVED FEB 01 2024</p> | | | | | | | |
| <p>Prepared By: benesch</p> <p>Alfred Benesch & Company 120 Habron Avenue, 2nd Floor Glassboro, Connecticut 08035 Phone: (856) 383-1088 www.benesch.com</p> | | | | | | | |
| <p>SCALE: HORIZ.: 1" = 40' VERT.: 1" = 40'</p> <p>SURVEY DATUM: HORIZ.: NAD 1983 VERT.: NAVD 1988</p> | <p>REVISIONS</p> <table border="1"> <tr> <th>No.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table> | No. | DATE | DESCRIPTION | | | |
| No. | DATE | DESCRIPTION | | | | | |
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| <p>FILED IN: 170662.02 SURVEY.rvt.dwg PLOT TABLE: STB</p> | <p>APN 004-002-0000 EROSION CONTROL PLAN PREPARED FOR STEPHEN D. WILLIAMS HAWKS NEST TRAIL - HAYES AVENUE ELLINGTON CONNECTICUT</p> | | | | | | |

attached refs: 170662.02 survey.rvt.dwg

OWNER: SPACE LAYOUT NAME:
 TISSOT, RAY
 VIEWNAME:
 LAYER MANAGER NAME:
 PLOT TABLE: STB

File Location: \\V:\Share\Survey\170662.02_Williams_Hawk_Nest\Survey\ACAD\C10 - E-SHT\Prep.dwg
 Date of Plot: February 01, 2024 - 3:28 PM

PAPER SPACE LAYOUT NAME:
 TWSVIEW
 VIEWNAME:
 LAYER MANAGER NAME:
 LAYOUT TABLE: STB



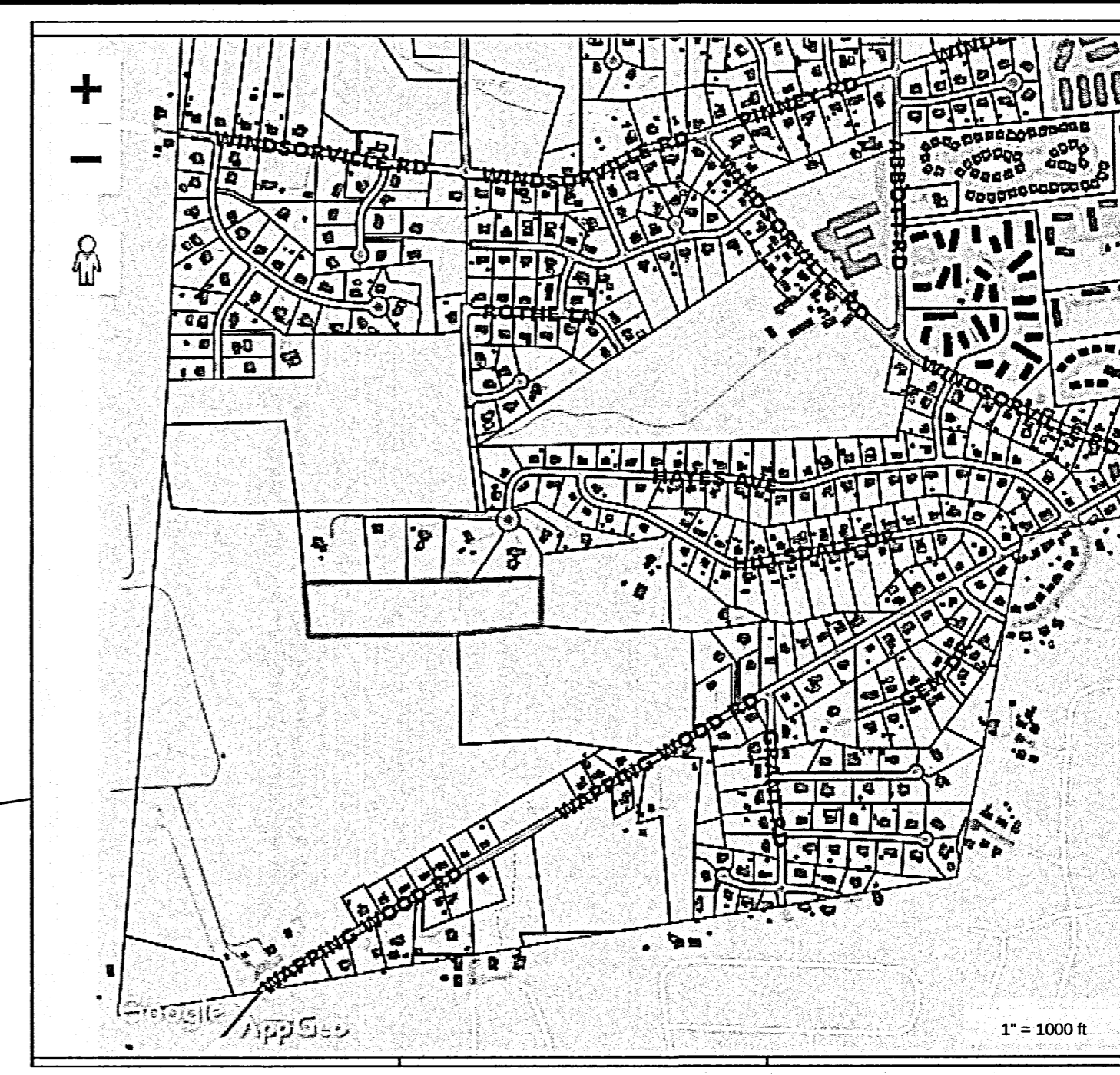
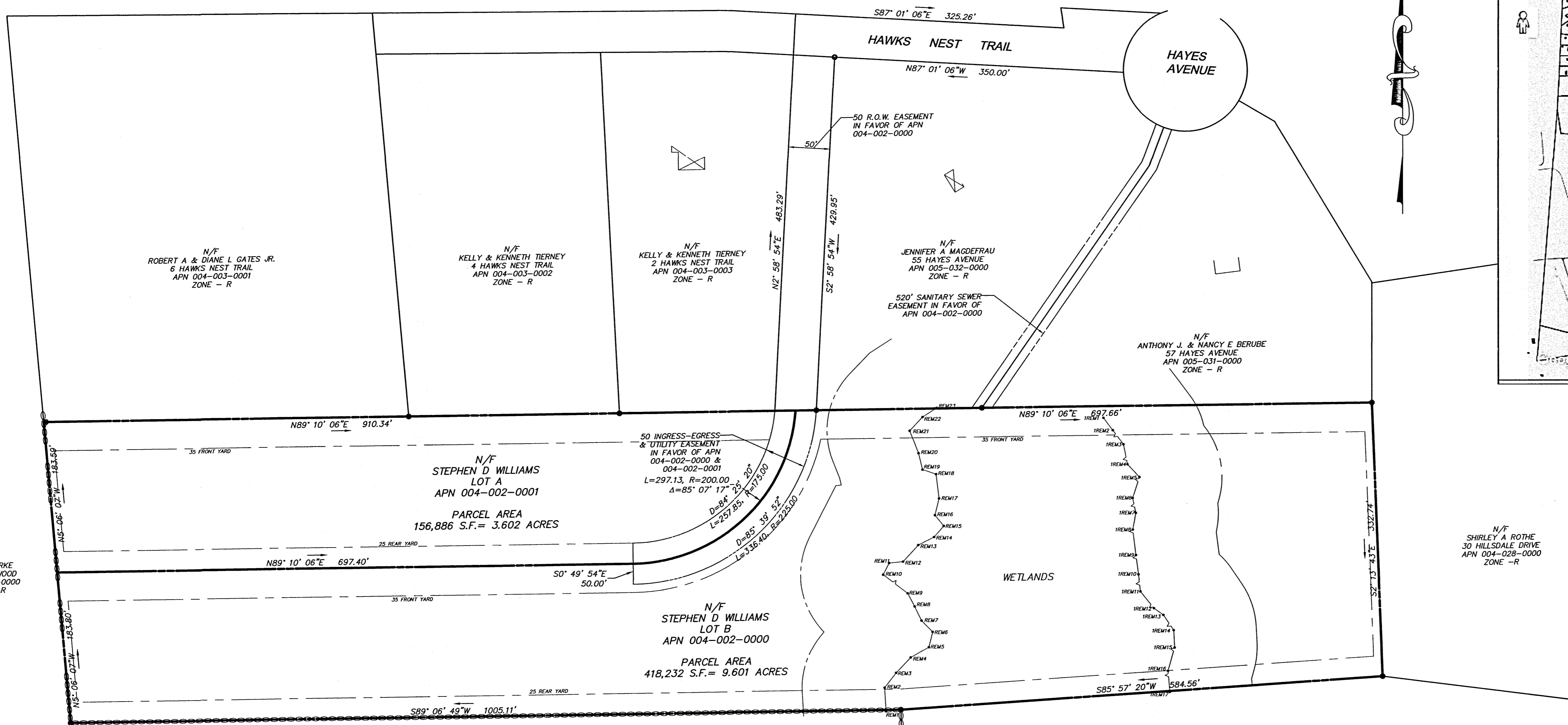
Prepared By: **benesch**
 Alfred Benesch & Company
 100 State Street
 Glastonbury, Connecticut 06033
 Phone (860) 633-8341, Fax (860) 633-1089
 www.benesch.com

APN 004-002-0000 SITE PLAN
 TOPOGRAPHIC SURVEY
 PREPARED FOR
STEPHEN D. WILLIAMS
 HAWKS NEST TRAIL - HAYES AVENUE
 ELLINGTON CONNECTICUT

PROJ. No.: 70662.02
 DATE: DEC 2023

SV.02

File Location/Name - Y:\Glastonbury\70662.02\Williams_Hawk_Nest\Survey\ACAD\70662.02.survey_rev1.dwg
 Date of Plot: February 01, 2024 - 2:53 PM



| NO. | DATE | DESCRIPTION |
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SCALE: HORIZ. 1" = 80'
 VERT. 1" = 20'
 SURVEY DATUM: HORIZ.: NAD 1983
 VERT.: NAVD 1988

benesch
 Alfred Benesch & Company
 128 Helena Avenue
 Glastonbury, CT 06033
 Phone (860) 633-8341, Fax: (860) 633-1068
 www.benesch.com

LEGEND

| UTILITY SERVICES (UNDERGROUND OR OVERHEAD) | |
|--|-----------------------------------|
| E | ELECTRIC SERVICE |
| G | GAS PIPES |
| SAN | SANITARY SEWER PIPES |
| --- | STORM WATER PIPES (LESS THAN 12") |
| --- | STORM WATER PIPES (12" OR LARGER) |
| STM | STEAM PIPES (SUPPLY & COND.) |
| T | TELEPHONE SERVICE |
| W | WATER PIPES |
| COM | COMMUNICATION/FIBER OPTIC SERVICE |
| FP | FIRE PROTECTION PIPES |
| UG | UNKNOWN UTILITY SERVICE |
| OH | OVERHEAD WIRES |

| PROPERTY/BOUNDARY LINES | |
|-------------------------|-------------------------------------|
| --- | PROPERTY/BOUNDARY LINES (CLASS A-2) |
| --- | PROPERTY/BOUNDARY LINES (CLASS D) |
| --- | EASEMENT LINES |

| FEATURE LINES | |
|---------------|------------------------------------|
| --- | CURBED ROADWAY |
| --- | EDGE OF PAVED ROAD/DRIVE |
| --- | BUILDING FOOTPRINT (AERIAL PHOTOS) |
| --- | RETAINING WALL |
| --- | STOCKADE FENCE |
| --- | CHAIN LINK/WIRE FENCE |
| --- | TREE/VEGETATION LINE |
| --- | STONE WALL |

| SYMBOL LEGEND | |
|---------------|-------------------------------------|
| □ | CATCH BASIN |
| ○ | ROUND DRAIN |
| □ | SQUARE DRAIN |
| ○ | STORM DRAIN MANHOLE |
| ○ | ELECTRIC MANHOLE |
| ○ | SANITARY MANHOLE |
| ○ | STEAM MANHOLE |
| ○ | TELEPHONE MANHOLE |
| ○ | WATER MANHOLE |
| ○ | MANHOLE (OF UNKNOWN TYPE) |
| ○ | HAND HOLE (SQ. / REC.) |
| ○ | WATER VALVE |
| ○ | GAS VALVE |
| ○ | HYDRANT |
| ○ | COMBO STANDPIPE |
| ○ | GUY WIRE |
| ○ | SIGN (SINGLE POST) |
| ○ | SIGN (DOUBLE POST) |
| ○ | BORING (AS DRILLED) |
| ○ | BORING (AS STRUCK) |
| ○ | SPOT ELEVATION |
| ○ | WETLANDS FLAG |
| ○ | PROPERTY MONUMENT |
| ○ | UTILITY MONUMENT (SET AS 2" OFFSET) |
| ○ | IRON PIPE OR REBAR FOUND |
| ○ | IRRIGATION CONTROL BOX |
| ○ | EMERGENCY PHONE |
| ○ | TRAFFIC CONTROLLER CABINET |
| ○ | UTILITY POLE / LIGHT |
| ○ | STREET LIGHT |
| ○ | LIGHT POST |
| ○ | BEULARD LIGHT |
| ○ | BOLLARD / ROCK |
| ○ | CONIFER SHRUB |
| ○ | DECIDUOUS SHRUB |
| ○ | DECIDUOUS TREE (SAMPLING) |
| ○ | DECIDUOUS TREE |
| ○ | CONIFER TREE |

| ABBREVIATIONS | |
|---------------|--|
| A/C | AIR CONDITIONER |
| AMT | AMERICAN TELEPHONE & TELEGRAPH COMPANY |
| BT | BITUMINOUS |
| BLK | BLACK |
| CB | CATCH BASIN |
| COM | COMMUNICATION |
| CON | CONCRETE |
| CONC | CONCRETE |
| CNC | CONNECTICUT NATURAL GAS |
| CL | CENTERSLINE |
| CLF | CHAIN LINK FENCE |
| CL&P | CONNECTICUT LIGHT & POWER COMPANY |
| CP | CONTROL POINT |
| DEC. | DECIDUOUS |
| DMH | DRAINAGE MANHOLE |
| E | EAST OR ELECTRIC |
| EL | ELECTRIC |
| ELEV | ELEVATION |
| EMH | ELECTRIC MANHOLE |
| FL | FLOW LINE |
| FND | FOUND |
| GRAN. | GRANITE |
| GSTC | GRANITE STONE CURB |
| HELOD | HARTFORD ELECTRIC COMPANY |
| HYD. | HYDRANT |
| H.H. | HAND HOLE |
| L.P. | LIGHT POLE |
| M.H. | MANHOLE |
| M | METER |
| M.W. | MONITOR WELL |
| N | NORTH |
| NAD | NORTH AMERICAN DATUM |
| NAV | NATIONAL AMERICAN VERTICAL DATUM |
| NE | NORTHEAST |
| N/F | NOW OR FORMERLY |
| NW | NORTHWEST |
| PC | POLYETHYLENE CHLORIDE |
| P.I.V. | POST INDICATOR VALVE |
| RET. | RETAINING |
| RCP | REINFORCED CONCRETE PIPE |
| R.L. | RAIN LEADER |
| S | SOUTH OR SUPPLY |
| SE | SOUTHEAST |
| SW | SOUTHWEST |
| SAN | SANITARY |
| SMH | SANITARY MANHOLE |
| SNET | SOUTHERN NEW ENGLAND TELEPHONE |
| SQ | SQUARE |
| STM | STEAM |
| TMH | TELEPHONE MANHOLE |
| TEL | TELEPHONE |
| T.F. | TOP OF FRAME |
| UNK. | UNKNOWN |
| W | WEST |
| W.G. | WATER GATE |

MAP REFERENCES

- PLAN OF LAND OF MR. BERMART SURVEYED JAN 23-28-31-FEB 7-8, 1908 CONTAINING BY CALCULATION 113 ACRES + 24 SQ. RODS SCALE 1/8 INCH = 1 CHAIN C.H. BANCROFT SURVEYOR
- MAP SHOWING LAND OF ANNA ZANKS TOWN OF ELLINGTON SCALE 1"=50' CERTIFIED SUBSTANTIALLY CORRECT EVERETT O GARDNER LS 4395 JULY 20 1964 ROCKVILLE CONN.
- SUBDIVISION PLAN KNOLLWOOD SECTION B-3 TOWN OF ELLINGTON, CONNECTICUT OWNER DENNIS M KUPERSCHMID ETUX GARDNER & PETERSON ASSOC 576 OLD POST ROAD TOLLAND CONNECTICUT PROFESSIONAL ENGINEER LAND SURVEYOR SCALE 1"=100' DATE 4-22-80 SHEET 1 OF 1 MAP 3 4759 REVISED 7-14-80
- PARCEL OF LAND OF HENRY R ROTHE JR ELLINGTON, CONN ALFRED E. SCHINDLER ALDN SURVEYOR ELLINGTON CONNECTICUT DRAWN BY AES SCALE 1"=100' DATE 5/19/80 JOB NO. 766-1
- RESUBDIVISION PLAN PREPARED FOR DENNIS AND TERRY KUPERSCHMID #53 HAYES AVENUE ELLINGTON, CONNECTICUT ENGINEERS AND SURVEYORS TARBELL HEINTZ & ASSOC, INC. SCALE AS SHOWN DATED 6-27-17 SHEET 1 OF 3
- TOPOGRAPHIC PLAN PERIMETER BOUNDARY SURVEY PREPARED FOR STEPHEN D WILLIAMS HAWKS NEST TRAIL / HAYES AVENUE ELLINGTON, CONNECTICUT JOB 1768-TOM DATE 5-30-22 SCALE 1"=100' SHEET 2 OF 2 BY TARBELL, HEINTZ & ASSOC., INC.

WETLANDS

WETLANDS

I HAVE REVIEWED THIS PLAN AND FIND THAT THE WETLAND BOUNDARIES DEPICTED HEREIN SUBSTANTIALLY REFLECT THE WETLAND DELINEATIONS CONDUCTED IN THE FIELD IN ACCORDANCE WITH THE CONNECTICUT GENERAL STATUTES, IN APRIL OF 2022.

George T. Logan DATE: 7/19/2022

GEORGE T. LOGAN, MS,PWS,CSE
 REGISTERED SOIL SCIENTIST
 CERTIFIED PROFESSIONAL WETLAND SCIENTIST

SURVEY NOTES

- THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300B-1 THRU 20-300B-20 AND THE NAVD '83 DATUMS. COORDINATES WERE ESTABLISHED ON THE SITE BASED UPON GPS OBSERVATIONS TAKEN ON DEC 2023 USING TRIMBLE GNSS RTK R10 RECEIVERS AND SOLUTIONS PROVIDED THROUGH THE KEYNET NETWORK.
- THE TYPE OF SURVEY IS A PROPERTY/BOUNDARY SURVEY.
- THE BOUNDARY DETERMINATION CATEGORY IS DEPENDENT RESURVEY.
- THE ACCURACIES ARE AS FOLLOWS:
 HORIZONTAL CONTROL CLASS "A-2"
 BOUNDARY CLASS "A-2"
 TOPOGRAPHY CLASS "T-D"
- UNDERGROUND UTILITIES (IF DEPICTED) HAVE BEEN COMPILED, IN PART, BASED UPON INFORMATION FURNISHED BY OTHERS. THIS INFORMATION IS TO BE CONSIDERED APPROXIMATE AND ALFRED BENESCH & COMPANY DOES NOT TAKE RESPONSIBILITY FOR SUBSEQUENT ERRORS OR OMISSIONS WHICH MAY HAVE BEEN INCORPORATED INTO THIS PLAN AS A RESULT. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCES OF WHICH ARE UNKNOWN TO ALFRED BENESCH & COMPANY. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION. CALL "CALL BEFORE YOU DIG" 1-800-922-4455.
- PARCEL APN 001-002-0000 PER VOL 50 PG 648 VOL 32 PG 518 AND VOL 21 PG 21 IS ENCUMBERED WITH A HIGHWAY LAID OVER SID PREMISES AS RECORDED
- TOPOGRAPHY TAKEN FOR THE 2016 STATE OF CONNECTICUT LIDAR.

RECEIVED
 FEB 01 2024
 TOWN OF ELLINGTON
 PLANNING DEPARTMENT

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS DEPICTED AND NOTED HEREON.

David A. Caricchio 2/1/2024
 DAVID A. CARICCHIO, P.L.S. No. 70036
 ALFRED BENESCH & COMPANY, GLASTONBURY, CONNECTICUT
 (not valid without original signature and embossed seal)

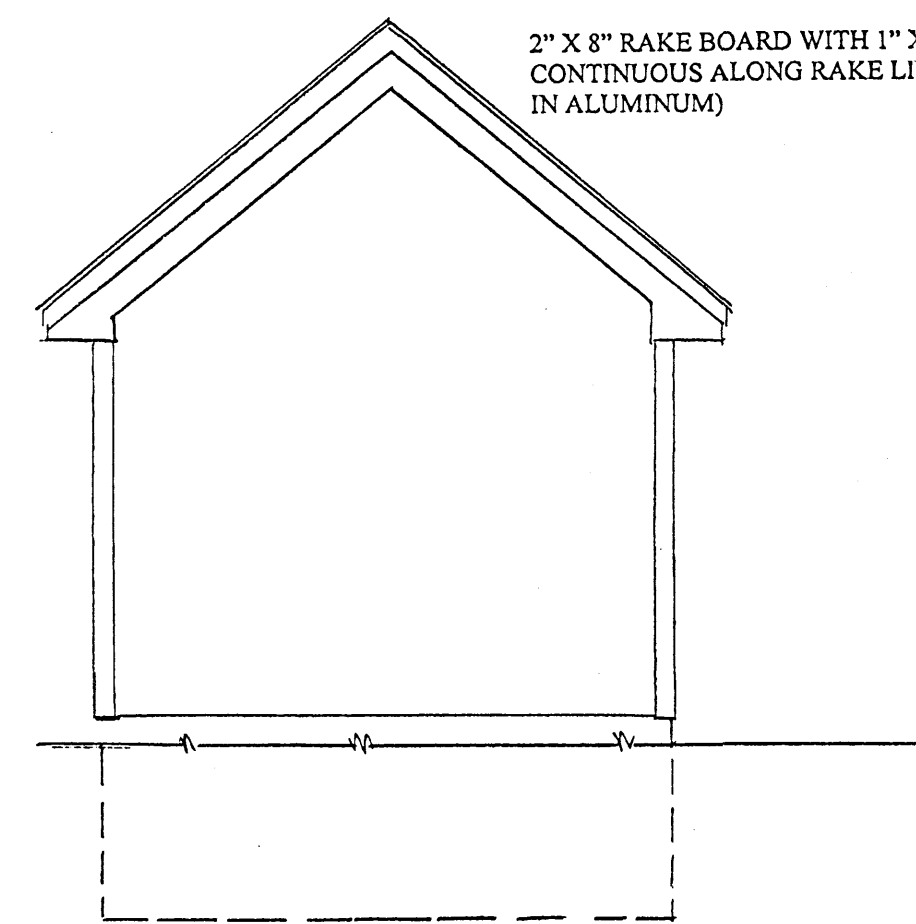


Prepared By:
 APN 004-002-0000 LOT SPLIT
 BOUNDARY SURVEY
 PREPARED FOR
 STEPHEN D. WILLIAMS
 HAWKS NEST TRAIL - HAYES AVENUE
 ELLINGTON
 CONNECTICUT

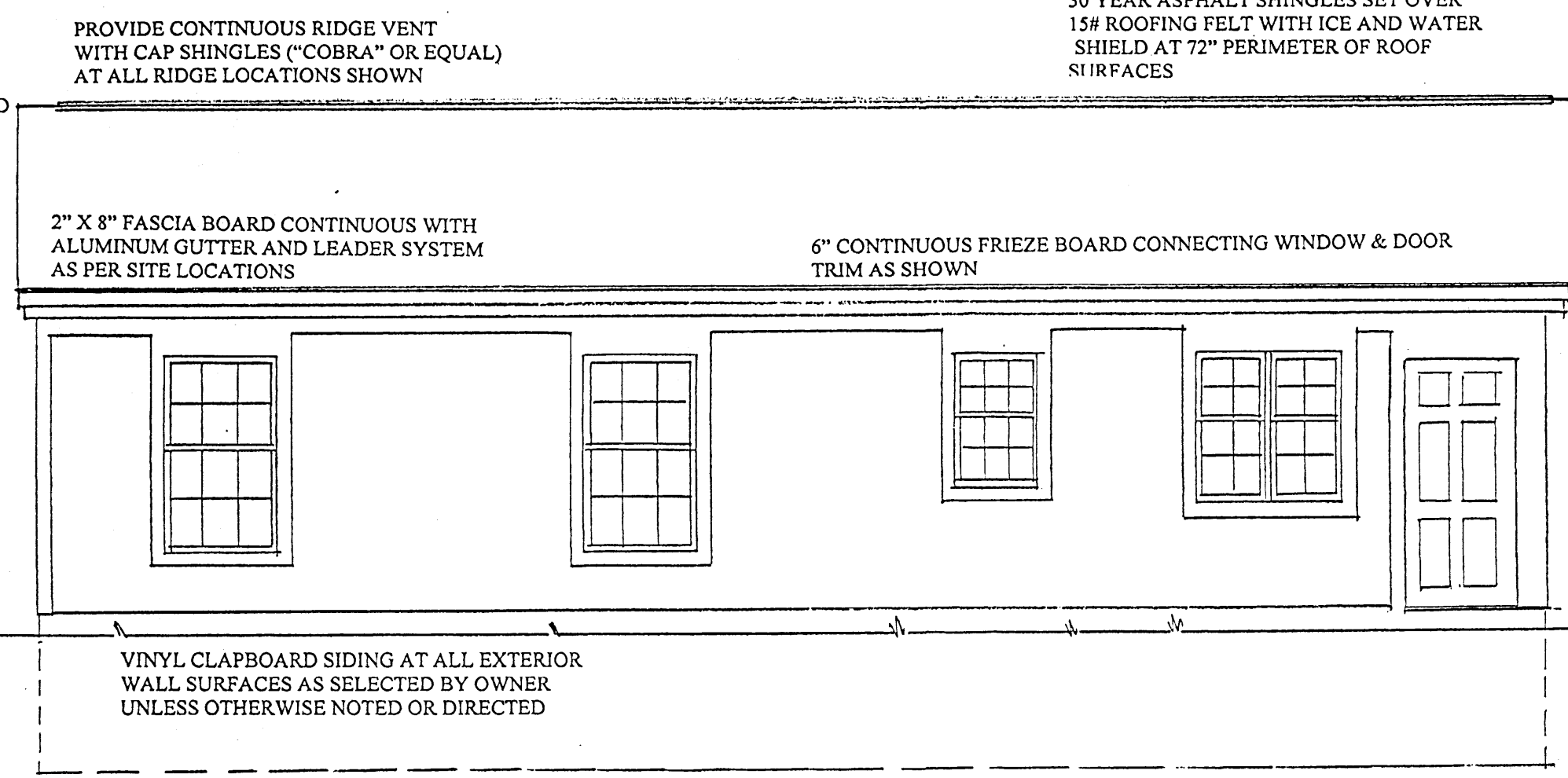
PROJ. No.: 70662.02
 DATE: DEC 2023

SV.01

File Location/Name - Y:\Glastonbury\70662.02_Williams_Hawk_Nest\Survey\ACAD\70662.02_survey.dwg
 Date of Plot February 01, 2024 - 2:03 PM



1
A-1
TYPICAL SIDE ELEVATION
Scale: 1/4" = 1'-0"



SEE FOUNDATION DETAILS FOR HAUNCHED MONOLITHIC POUR OF CONCRETE SLAB AND FROST WALLS SHOWN DOTTED

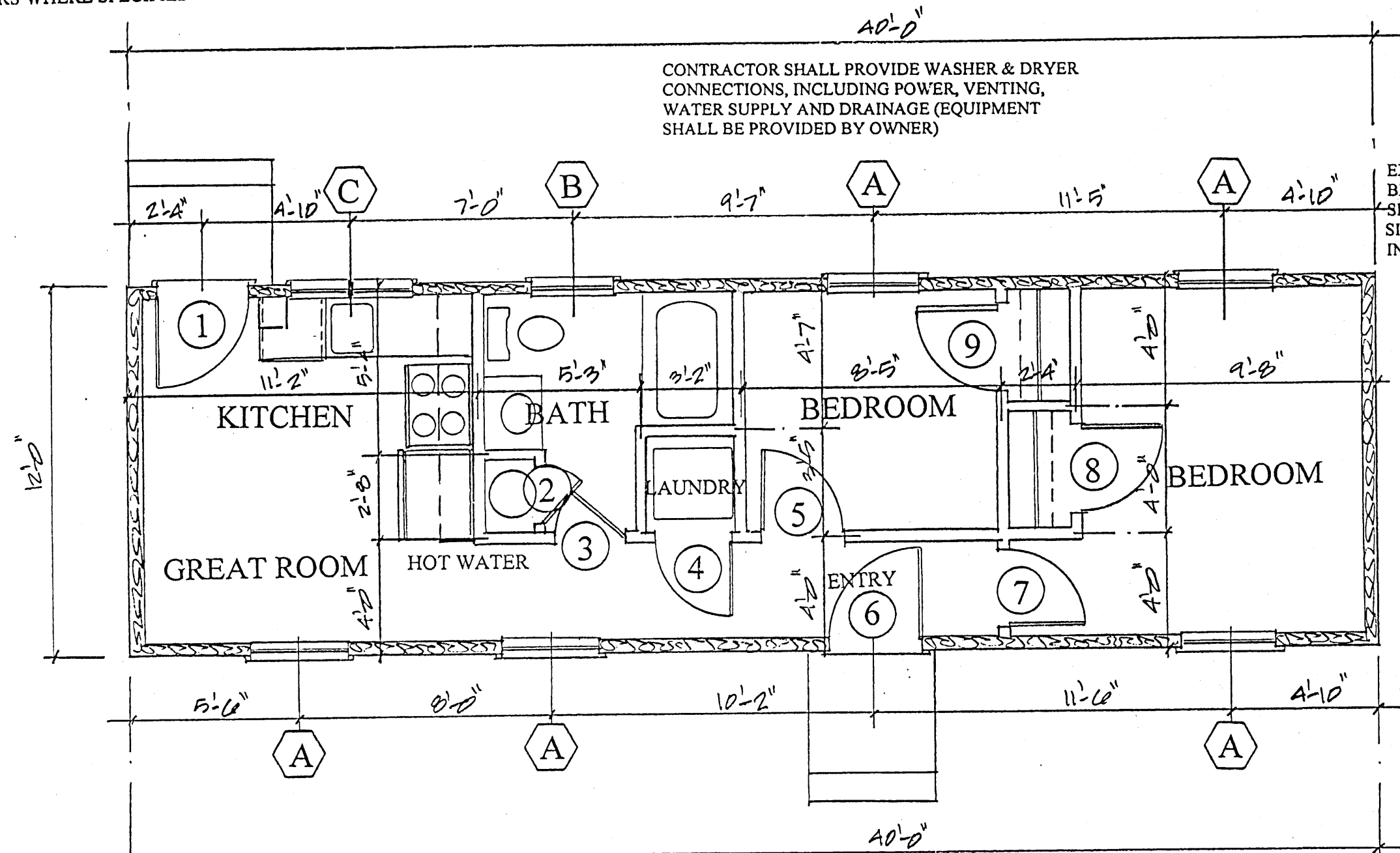
2
A-1
REAR ELEVATION
Scale: 1/4" = 1'-0"

ELECTRICIAN SHALL PERFORM A "WALK-THRU" WITH THE OWNER, AND ARCHITECT TO VERIFY PLACEMENT OF ALL LIGHTING FIXTURES, OUTLETS, SWITCHES AND OTHER COMPONENTS OF THE ELECTRICAL LAYOUT SHOWN. ELECTRICIAN SHALL BE RESPONSIBLE FOR MAINTAINING ALL CODE REQUIREMENTS IN THE PLACEMENT OF THE ELECTRICAL ITEMS.

ALL FRAMED OPENINGS 5'-0" OR GREATER SHALL HAVE TRIPLE KING & JACK STUDS AND MINIMUM HEADER OF (3) 1 3/4" X 9 1/2" MICROLAM BEAM (DOUBLE JACK MINIMUM) MICROLAM HEADERS WHERE SPECIFIED

SHEATHING FROM FIRST FLOOR WALLS SHALL EXTEND DOWN BELOW SHOE PLATE OF WALL TO ALLOW FULL COVER OF BOXED SILL AND PERIMETER PLATE AT FOUNDATION (ALL NAILING 6" O.C. INTO PERIMETER PLATE)

SEE ROOF PLAN A-1 THIS SHEET FOR PITCHES AND STRUCTURE



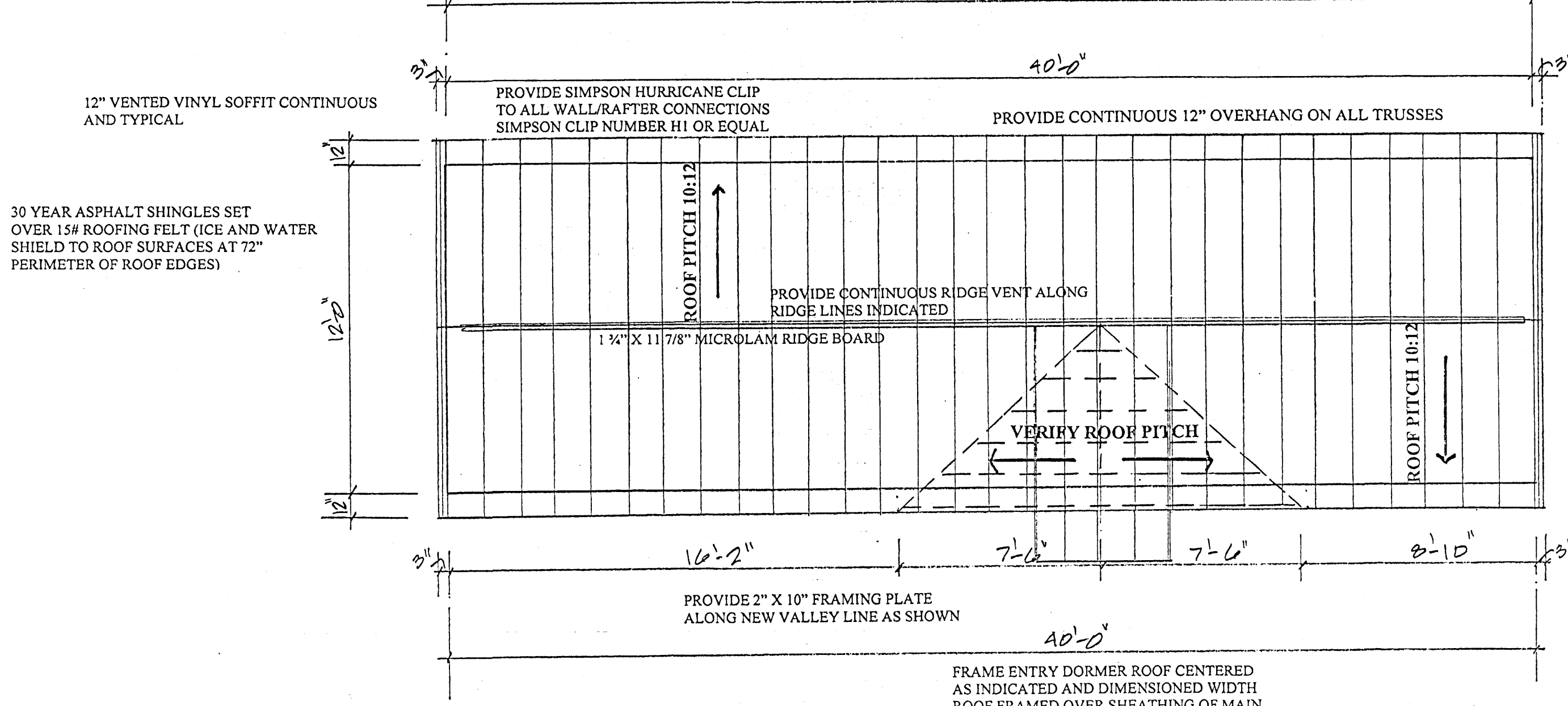
3
A-1
FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

ALL BASEBOARD MOULDING, DOOR AND WINDOW CASINGS, CROWN MOULDING AND OTHER TRIMS AS PER OWNER/CONTRACTOR

PROVIDE CONTINUOUS SEALANT AT FLOOR AND WALL PERIMETER TO INFILL JOINT AT BASE PLATE AND PLYWOOD FLOORING.

ALL DOOR AND WINDOW JAMBS, HEADS AND SILLS TO BE SEALED BETWEEN THE SCHEDULED DOOR OR WINDOW WITH LOW EXPANSION FOAM SEALANT FOR THE ENTIRE DOOR OR WINDOW UNIT

PROVIDE ROOF BLOCKING 48" IN FROM ALL ROOF PERIMETERS NAILED 6" O.C. CONTINUOUS

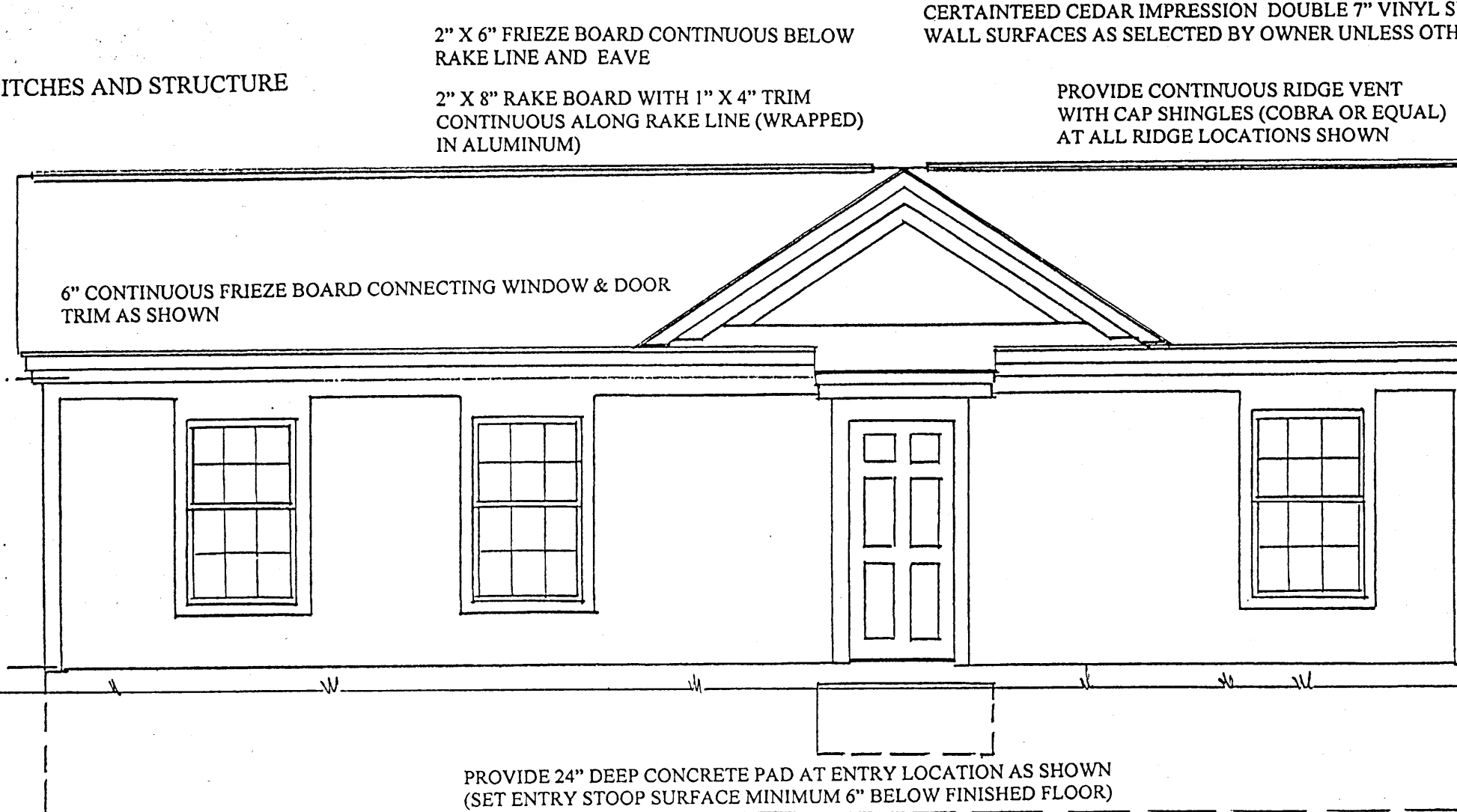
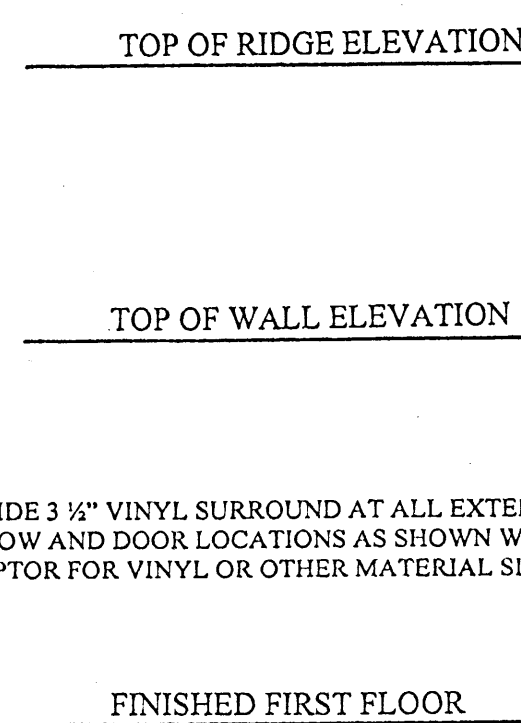


ALL ROOF SHINGLES SHALL HAVE 6 NAIL ROWS MINIMUM

4
A-1
ROOF FRAMING PLAN
Scale: 1/4" = 1'-0"

FRAME ENTRY DORMER ROOF CENTERED ON ENTRY TO INTERSECTION FLUSH WITH MAIN RIDGE AS SHOWN

SEE ROOF PLAN A-1 THIS SHEET FOR PITCHES AND STRUCTURE



CONTRACTOR SHALL FRAME SUPPORT RAFTERS AS SHOWN FOR NEW ENTRY PORCH SHED ROOF TO EXTEND 24" BEYOND FACE OF NEW HOME AS SHOWN

SEE FOUNDATION DETAILS FOR HAUNCHED MONOLITHIC POUR OF CONCRETE SLAB AND FROST WALLS SHOWN DOTTED

5
A-1
FRONT ELEVATION
Scale: 1/4" = 1'-0"

2" X 10" RAFTERS @ 16" O.C. WITH 1/2" PLYWOOD ROOF SHEATHING 15# ROOFING FELT AND 30 YEAR ASPHALT SHINGLES AS SELECTED BY OWNER
OR PRE ENGINEERED ROOF TRUSSES @ 24" O.C. 5/8" PLYWOOD SHEATHING, 15# ROOFING FELT, AND 30 YEAR ASPHALT SHINGLES AS SELECTED BY OWNER

RECEIVED
FEB 01 2024

| REVISIONS: |
|------------|
| |
| |
| |
| |
| |

From: [Lisa Houlihan](#)
To: [Steve.Williams\(sdwhomes@gmail.com\)](mailto:Steve.Williams(sdwhomes@gmail.com))
Cc: [Barbra Galovich](#)
Subject: Ellington PZC Application Z
Date: Wednesday, February 21, 2024 9:43:56 AM
Attachments: [2024_02-26 PZC Agenda - final.pdf](#)

Dear Steve,

RE: Z202328 - Stephen D. Williams, owner/applicant, request for Special Permit and Site Plan Approval for two rear lots off Hawks Nest Trail, APN 004-002-0000, Rural Agricultural Residential (RAR) Zone.

Attached is a copy of the agenda for the upcoming Ellington Planning and Zoning Commission meeting for pending application Z202328. I've prepared suggested conditions of approval for the commission to consider and am emailing to share them with you – see the below.

1. The development is subject to meeting the requirements of Ellington Zoning Regulations Section 9.6 Post Approval Requirements.
2. Prior to the boundary survey being recorded on the land records, the ownership for 2 Hawks Nest Trail shall be updated.
3. The 50' easement shall be assigned a new street name, as approved by town officials.
4. The plans shall be revised to reflect the street name for the right-of-way, the assessor parcel numbers, and house numbers prior to being recorded on the Ellington Land Records.
5. The developer shall be responsible for the cost and installation of the street name sign. The street name sign is subject to approval by the Ellington Department of Public Works and shall be installed prior to issuance of a certificate of occupancy.
6. An agreement for the 50' right-of-way and ingress/egress/utility easement defining provisions for ownership, maintenance, and other legalities recommended by the Ellington Town Attorney, shall be recorded on the Ellington Land Records.
7. Property pins shall be installed prior to lot transfer or issuance of certificate of occupancy, whichever occurs first.
8. Special Permit and Site Plan Approval is based on plans C-1.2, C-1.1, C-1.0, SV.03 & SV.01 dated Dec 2023 and SV.02 dated Dec 2023, revised 1/31/24 and 2/1/2024, and Stormwater Management Memorandum issued February 1, 2024, prepared by Alfred Benesch & Company. Deviation to the site development plan that propose to increase impervious surface or change land cover may require the developer/property owner to revise to the Stormwater Management Memorandum and demonstrate to the town that onsite stormwater management facilities adequately manage the stormwater runoff and do not increase peak flows.

A report is expected before noon today from Dana Steele, Town Engineer, and a copy will be emailed to you.

I'm out of the office starting today at 4:30 until Monday, 2/26/24, at 4 pm. Please call or email if you have any questions or would like to discuss the above.

Kind regards,

Lisa

Lisa M. Houlihan, AICP, CZEO

Ellington Town Planner

PO Box 187 / 55 Main Street / Ellington, CT 06029

Phone: 860-870-3120 / Fax: 860-870-3122

Website: www.ellington-ct.gov Email: lhoulihan@ellington-ct.gov

From: [Dana Steele](#)
To: [Lisa Houlihan](#)
Cc: [Barbra Galovich](#)
Subject: RE: Z202328 - Stephen Williams, Hawks Nest Trail - Hayes Ave
Date: Wednesday, February 21, 2024 11:02:00 AM
Attachments: [image001.png](#)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Lisa,

I have reviewed the revised plans and drainage report by Alfred Benesch & Co. dated 2/1/24 for the above referenced application. My recommended conditions of approval are as follows:

1. Specify the depth of soil mix on the detention basin detail (sheet C-1.2).
2. Provide a dimensioned detail of the basin weir outlet and apron. The weir should be designed to retain runoff to the top of the weir without drainage through the riprap voids.
3. Provide two temporary sediment traps, one for each lot upstream from the detention basin (infiltration BMP) to avoid clogging the detention basin during construction. Indicate the minimum storage capacity of each trap based on the watershed area in accordance with the CT Soil Erosion & Sedimentation Guidelines.
4. The Engineer shall observe the construction of the detention basin and shall provide a report confirming conformance with the design specifications and adequacy of the receiving soils for infiltration prior to issuance of a certificate of occupancy.
5. The plans shall include a maintenance schedule for the detention basin to ensure the basin continues to drain between storm events.

Dana P. Steele, P.E.
Ellington Town Engineer



J.R. RUSSO & ASSOCIATES, LLC
P.O. Box 938, 1 Shoham Road
East Windsor, CT 06088
(CT) 860.623.0569 (MA) 413.785.1158
dstele@jrusso.com | www.jrusso.com

\$260.00

Town of Ellington Planning & Zoning Commission Application

| | |
|---|--|
| Type of Application: <input type="checkbox"/> Zone Change <input type="checkbox"/> Amendment to Regulation <input type="checkbox"/> Site Plan Approval <input checked="" type="checkbox"/> Special Permit <input type="checkbox"/> Modification <input type="checkbox"/> CGS 8-24 | Application # <u>2202401</u> Date Received <u>1/29/2024</u> |
|---|--|

Notices associated with this application will be sent to the applicant, if different than the owner, unless otherwise requested.

Owner's Information

Name: Paul Misbach

Mailing Address: 58 Pinney Rd.
Ellington, CT. 06029

Email: PMisbach 23 @ yahoo.com

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No

Primary Contact Phone #: 860-324-2268

Secondary Contact Phone #: _____

Signature: [Signature] Date: 1-29-24

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Commission have been submitted. Moreover, by signing above I/we expressly provide written consent to the filing of the application and access to the site by the Commission or its staff.

Notices associated with this application will be sent to the applicant, if different than the owner, unless otherwise requested.

Applicant's Information (if different than owner)

Name: _____

Mailing Address: Same as owner

Email: _____

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No

Primary Contact Phone #: _____

Secondary Contact Phone #: _____

Signature: _____ Date: _____

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Commission have been submitted.

Street Address: 58 Pinney Road

Assessor's Parcel Number (APN): 015 - 010 - 0000 Existing Zone: RAR Proposed Zone: N/A
(If unaware of APN, please ask staff for assistance) (If none, insert "N/A")

Public Water: Yes No Public Sewer: Yes No *If not served by public water and sewer, applicant/owner shall make application to North Central District Health Department (Enfield Office).*

Is parcel within 500' to any municipal boundary? Yes No

Are there any wetlands/watercourses within 100' of construction activity or within 250' of wetlands/watercourses when located in the Shenipsit Lake Drainage Basin? Yes No *If yes, pursuant to state law application must be made to the Inland Wetlands Agency prior to or simultaneously with application to the Planning and Zoning Commission.*

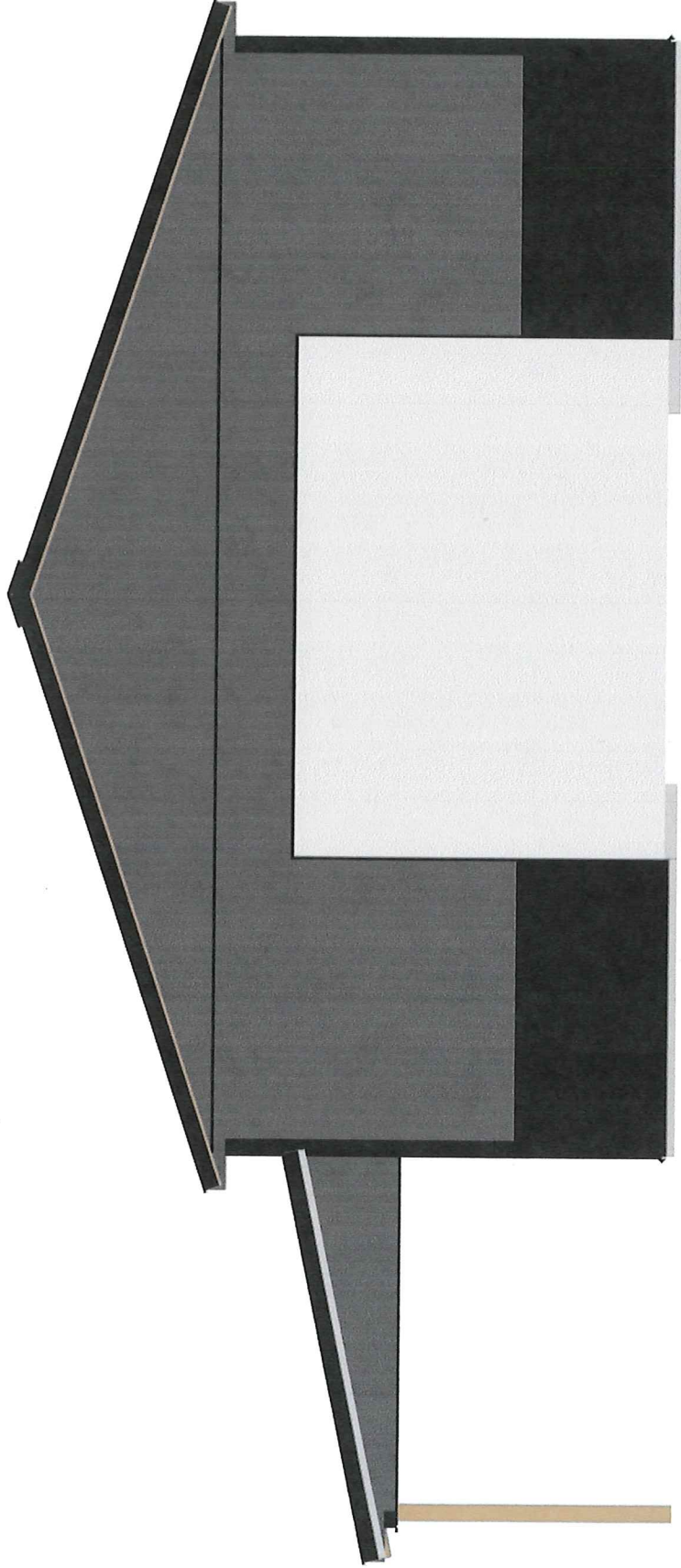
Is the project in a public water supply watershed area? Yes No *If yes, applicant shall notify Connecticut Water Company and Commissioner of Public Health about the proposed project by certified mail return receipt within 7 days of application (§8-3i(b)). Copy of application, plans, and supporting documents must accompany notice. Proof of notice and copies of return receipts must be provided to the Planning Department.*

Description of Request (If more space is needed, please attach additional sheets)

I would like to have a 30x40 Pole barn from New Holland Building put up at the end of my driveway. Building will have metal siding and roof with a Concrete floor. It will be used a storage for items such as my lawn mower, tools, and boat. Current shed is rotted and a poor site to my neighbors.

Job: Misbach- 30 x 40 x 12 - 10 x 40 x 8 OLT
Date: 1/22/2024
Time: 5:23 AM

Front Elevation



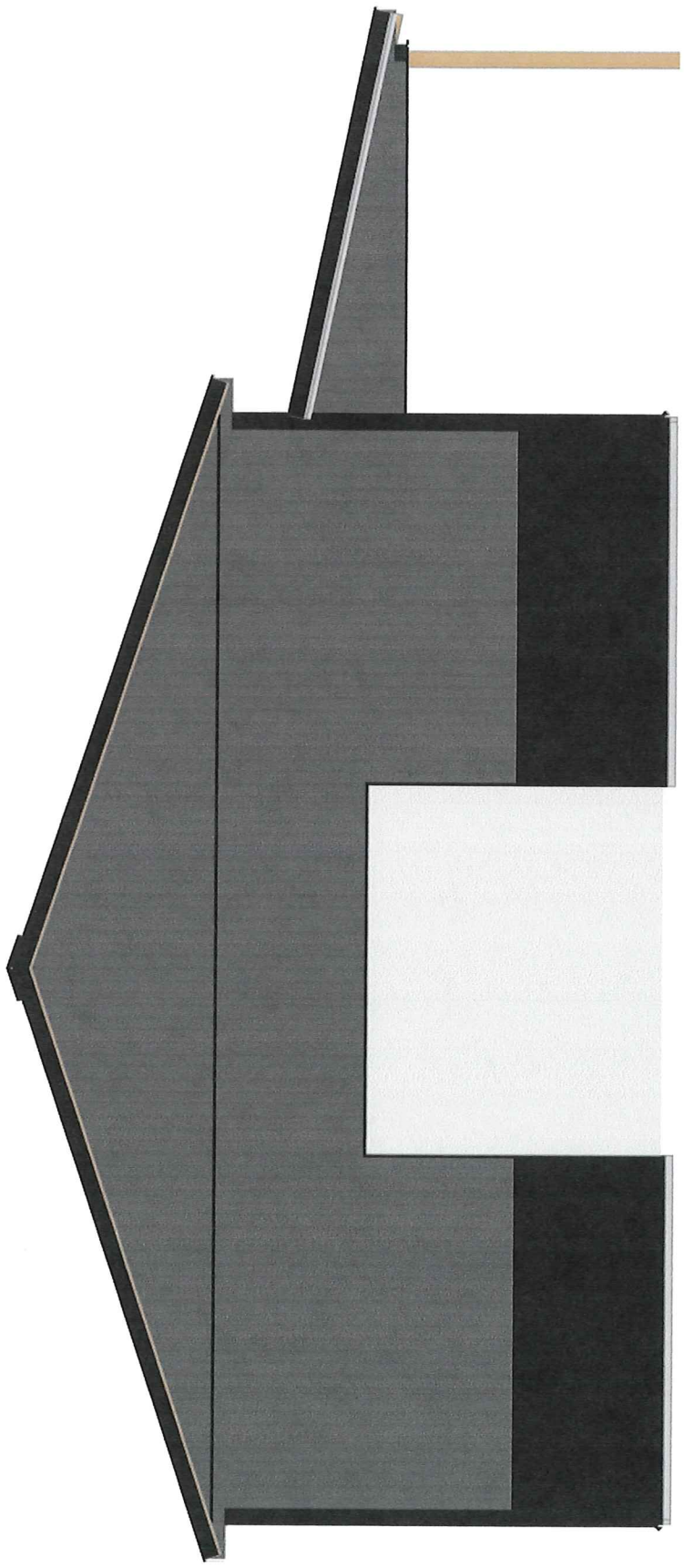
Job: Misbach - 30 x 40 x 12 - 10 x 40 x 8 OLT
Date: 1/22/2024
Time: 5:23 AM

Right Elevation



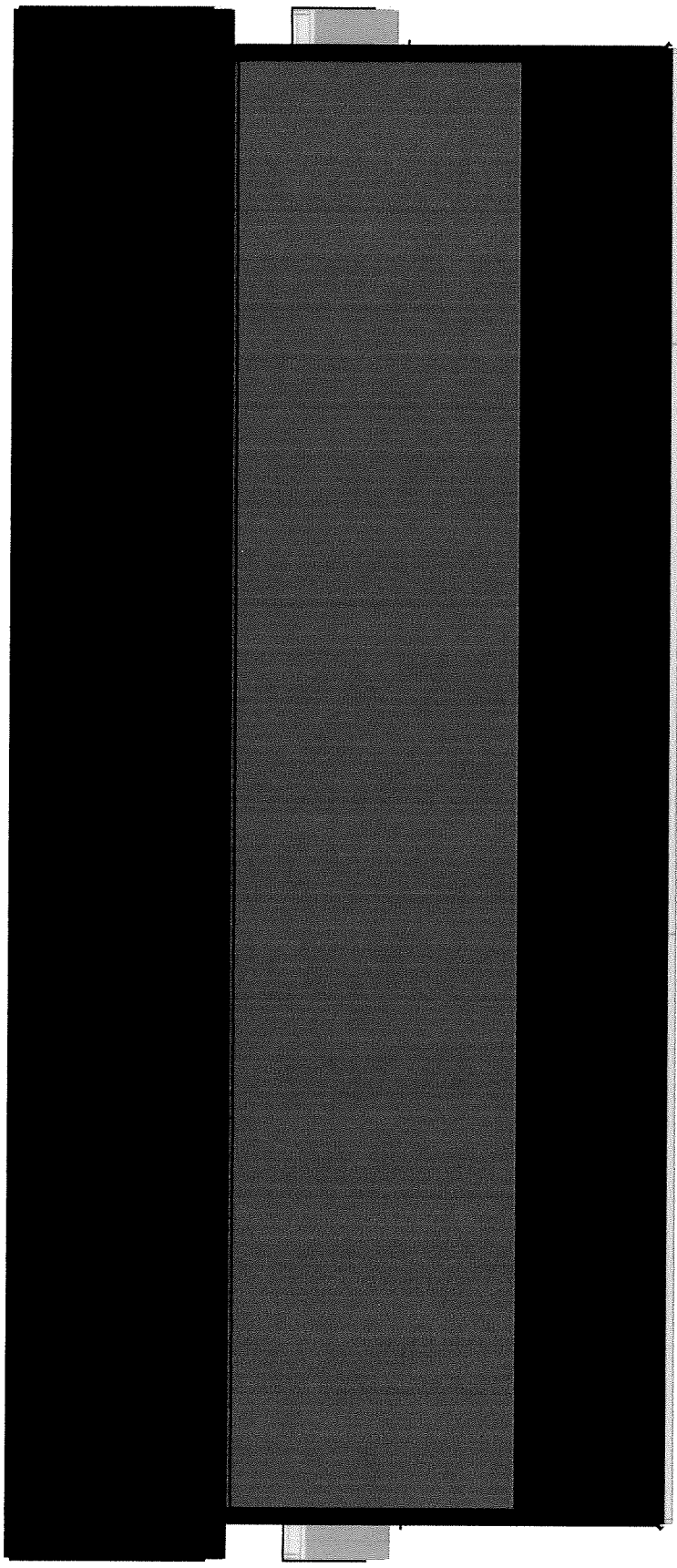
Job: Misbach- 30 x 40 x 12 - 10 x 40 x 8 OLT
Date: 1/22/2024
Time: 5:23 AM

Back Elevation



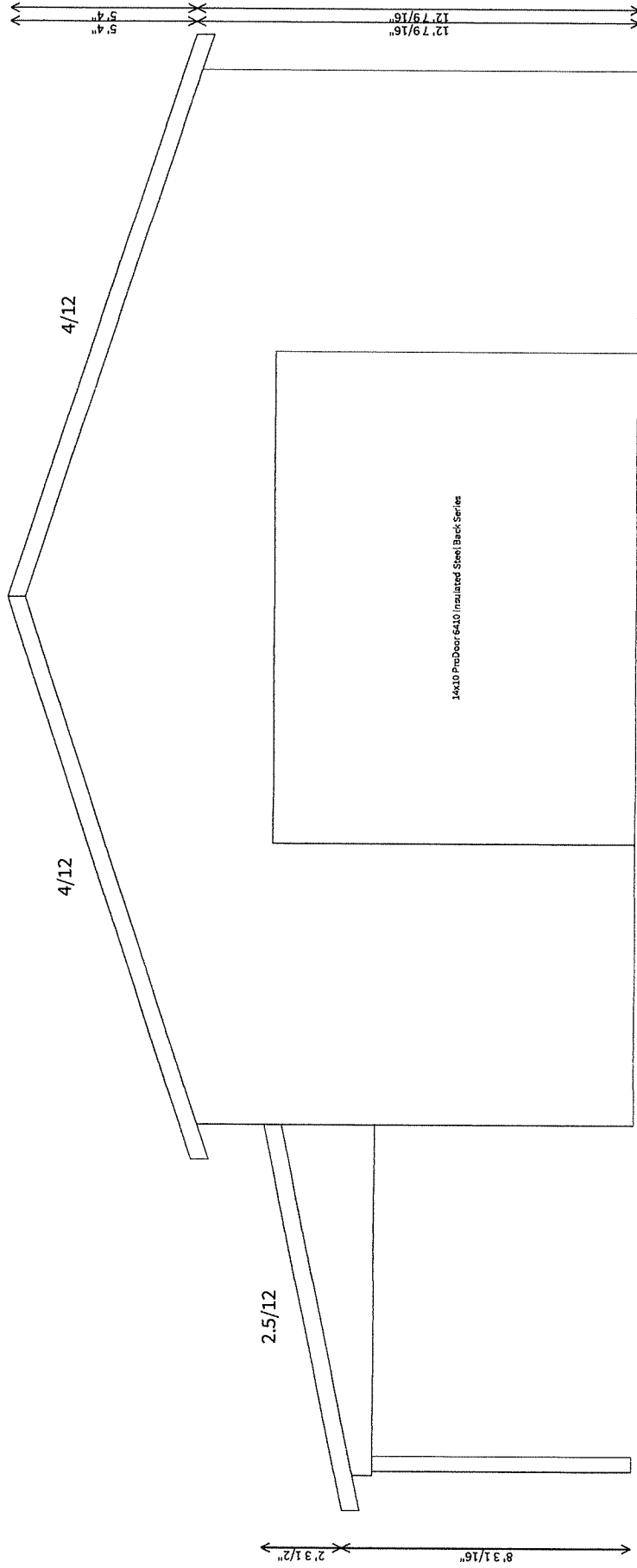
Job: Misbach-30 x 40 x 12 - 10 x 40 x 8 OLT
Date: 1/22/2024
Time: 5:23 AM

Left Elevation



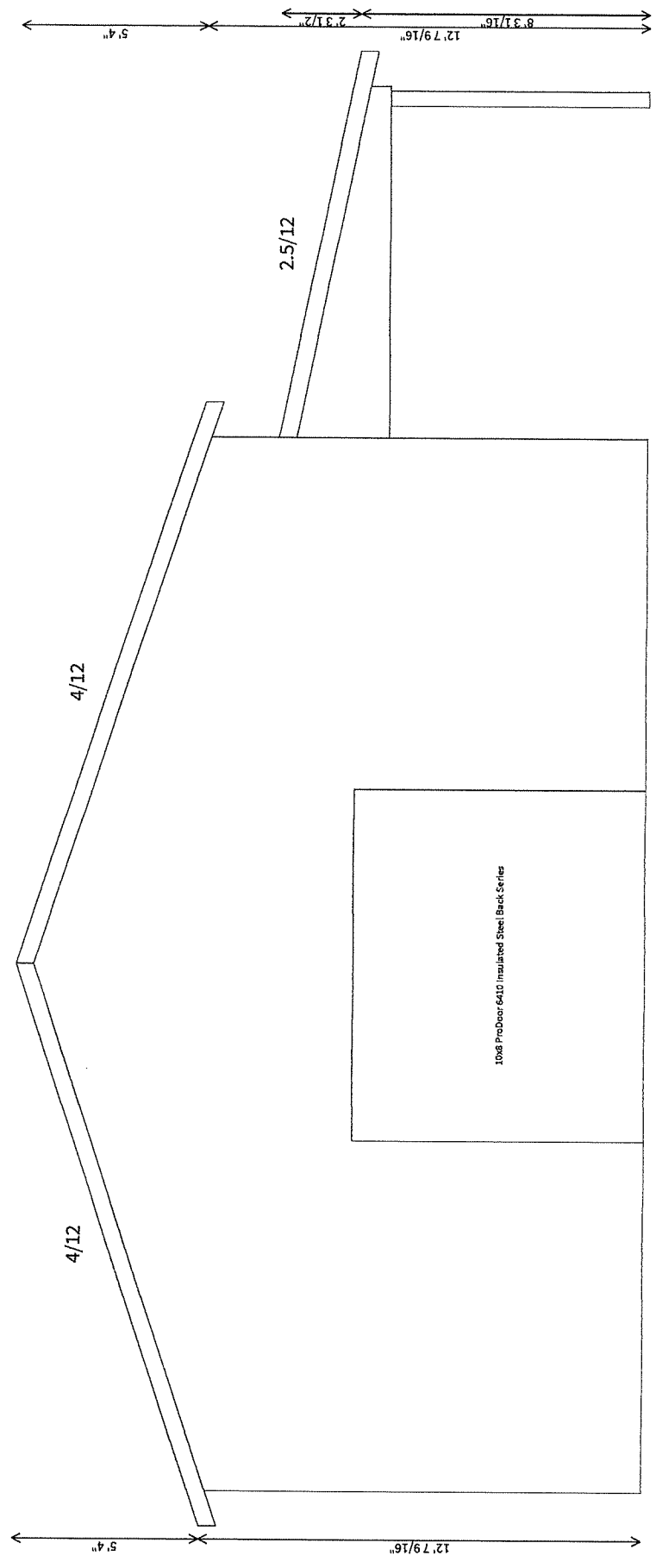
Job: Misbach- 30 x 40 x 12 - 10 x 40 x 8 OLT
Date: 1/22/2024
Time: 5:23 AM

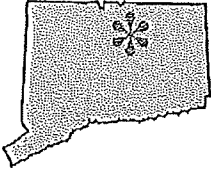
Front Elevation



Job: Misbach- 30 x 40 x 12 - 10 x 40 x 8 OLT
Date: 1/22/2024
Time: 5:23 AM

Back Elevation





North Central District Health Department

- Enfield - 31 North Main Street - Enfield, CT 06082 - (860) 745-0383 Fax 745-3188
- Vernon - 375 Hatford Turnpike, Room 120 - Vernon-Rockville, CT 06066 - (860) 872-1501 Fax 872-1531
- Windham - Town Hall - 979 Main Street - Willimantic, CT 06226 - (860) 465-3033 Fax 465-3032
- Stafford - Town Hall, 1 Main Street - Stafford Springs, CT 06076 - (860) 684-5609 Fax 684-1768

Plan Approval

For

Building Additions, Conversions, Changes of Use, or Accessory Structures

| | | | | |
|----------------------|---------------|-----------|----|-------|
| 58 | Pinney Rd | Ellington | | |
| Street # | Street Name | Town | | |
| Paul/allison Misbach | 58 Pinney Rd | Ellington | CT | 06029 |
| Owner Name | Owner Address | Town | ST | Zip |

This approval indicates that the proposal has been reviewed by the Health Department and is in compliance with applicable regulations as contained in the Public Health Code for this project. **Permission is hereby granted on 2/5/2024, to construct a 30x40 Pole Barn w/Lean to use for storage and parking as shown on plan received 1/29/2024.**

The pole barn with lean as shown on the plan shall be located greater than 10' from any portion of the septic system or water supply well servicing the residence and a recent septic pumpers report has been received indicating a working system at this time.

This department recommends the regular pumping and inspection of your septic tank.


Note as this property is serviced by a private water supply well: if anything toxic, i.e. gasoline, paint products, fertilizers etc. are stored in the barn, then those items must be properly stored, keep all sources of pollution at least 75 feet away from the well.

The periodic water quality testing of the well water is recommended.

This approval does not imply other Town department approvals that may be required. Note all zoning and or building department requirements must be met prior to installation.

Please Note that the above approval indicates compliance with Connecticut Public Health Requirements. Any other permits required from Zoning, Inland Wetlands or Building Officials are not ensured by this approval.

Approved by:

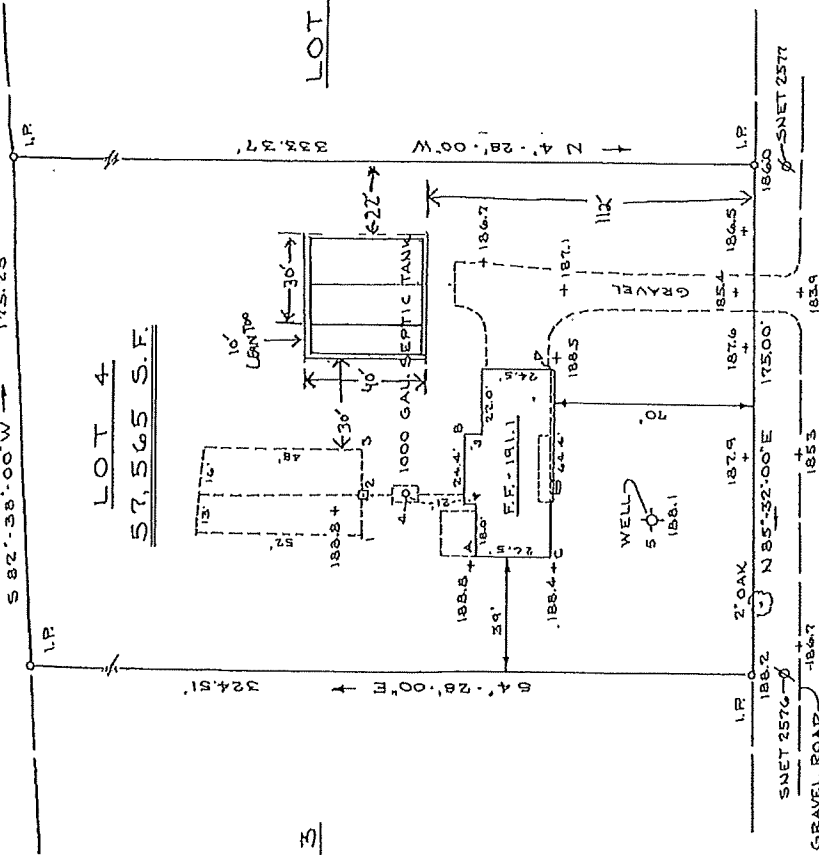


Jessica Cunningham

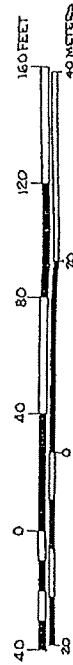
Sanitarian

LEONARD & NANCY E. BOSH

175.23'



PINNEY ROAD



I HEREBY CERTIFY THAT THIS MAP AND SURVEY WERE PREPARED IN ACCORDANCE WITH THE STANDARDS OF A CLASS A-2 SURVEY AS DEFINED IN THE CODE OF PRACTICE FOR STANDARDS OF ACCURACY OF SURVEYS AND MAPS, ADOPTED DECEMBER 10, 1975 AS AMENDED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC.

Alfred E. Schindler
SURVEYOR
DATE 2/6/80
L.S. 5731
REGISTRATION NO.

ALFRED E. SCHINDLER
LAND SURVEYOR
ELLINGTON, CONN.

| FROM CORNER TO POINT | A | B | C | D |
|----------------------|-----|-----|-----|-------|
| 1 | 41' | | | |
| 2 | | 39' | | |
| 3 | | | 37' | |
| 4 | | | | 31' |
| 5 | | | | 36.7' |
| | | | | 61.4' |

NO. CENTRAL DISTRICT HEALTH DEPT.
APPROVED NOT APPROVED

Pole Barn
2/5/24
DATE
~~HEALTH OFFICIAL~~

LEGEND:
PRESENT ELEVATIONS - 188.5
UTILITY POLE - Ø SNET 2577
IRON PIPE - 0 I.P.

- NOTES:
- BUILDING AND WELL LOCATIONS DETERMINED BY FIELD MEASUREMENT AND ARE LOCATED AS SHOWN.
 - SEWAGE DISPOSAL SYSTEM LOCATION SUPPLIED BY BUILDER.
 - ELEVATIONS BASED ON ASSUMED DATUM.
 - DRIVEWAY AND FINISH GRADING NOT COMPLETED AS OF THIS DATE.
 - REFERENCE IS MADE TO A MAP ENTITLED: "SUBDIVISION OF PROPERTY OF DAVID J. WEBSTER ELLINGTON, CONN. SCALE: 1"=50', PREPARED BY THIS OFFICE JUNE 9, 1975.

AS-BUILT PLAN OF LOT 4
SCHNEIDER BUILDERS, INC.
ELLINGTON,
CONN.

SCALE 1"=40'
DATE 2/6/80
DRAWN BY A.E.S.
REVISED

PREPARED FOR WILBUR SCHNEIDER
ELLINGTON, CONN.

DRAWING NUMBER
747-2-4A-B

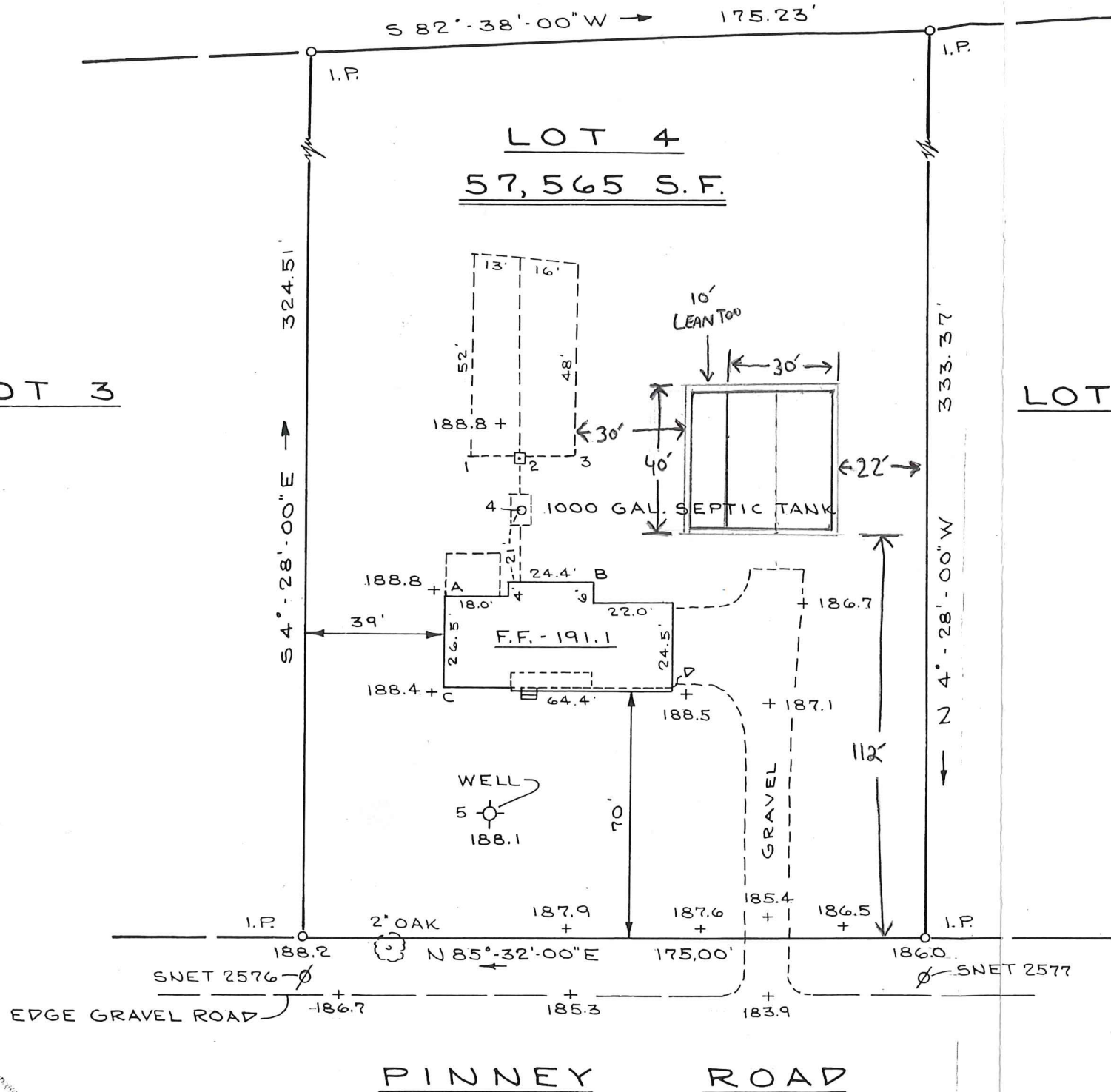
LEONARD & NANCY E. BOSH

| FROM CORNER | A | B | C | D |
|-------------|-----|-----|-------|-------|
| TO POINT 1 | 41' | | | |
| " " 2 | | 39' | | |
| " " 3 | | 37' | | |
| " " 4 | 31' | | | |
| " " 5 | | | 36.7' | 61.4' |

LOT 3

LOT 4
57,565 S.F.

LOT 5



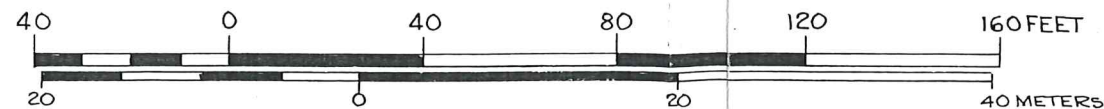
LEGEND:

PRESENT ELEVATIONS - + 188.5
 UTILITY POLE - ∅ SNET 2577
 IRON PIPE - 0 I.P.

NOTES:

1. BUILDING AND WELL LOCATIONS DETERMINED BY FIELD MEASUREMENT AND ARE LOCATED AS SHOWN.
2. SEWAGE DISPOSAL SYSTEM LOCATION SUPPLIED BY BUILDER.
3. ELEVATIONS BASED ON ASSUMED DATUM.
4. DRIVEWAY AND FINISH GRADING NOT COMPLETED AS OF THIS DATE.
5. REFERENCE IS MADE TO A MAP ENTITLED: "SUBDIVISION OF PROPERTY OF DAVID J. WEBSTER ELLINGTON, CONN. SCALE: 1"=50"; PREPARED BY THIS OFFICE JUNE 9, 1975.

Submitted by: *Paul Misbach* Date: 1-29-24



AS-BUILT PLAN OF LOT 4
 SCHNEIDER BUILDERS, INC.
 ELLINGTON, CONN.

SCALE: 1" = 40'
 DATE: 2/6/80

DRAWN BY A.E.S.
 REVISED

PREPARED FOR WILBUR SCHNEIDER
 ELLINGTON, CONN.

DRAWING NUMBER
 747-2-4 AB

I HEREBY CERTIFY THAT THIS MAP AND SURVEY WERE PREPARED IN ACCORDANCE WITH THE STANDARDS OF A CLASS A-2 SURVEY AS DEFINED IN THE CODE OF PRACTICE FOR STANDARDS OF ACCURACY OF SURVEYS AND MAPS, ADOPTED DECEMBER 10, 1975 AS AMENDED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC.

Alfred E. Schindler
 SURVEYOR

2/6/80
 DATE

L.S. 5731
 REGISTRATION NO.

ALFRED E. SCHINDLER
 LAND SURVEYOR
 ELLINGTON, CONN.

Town of Ellington

Planning Department

55 Main ST., PO Box 187, Ellington, CT, 06029/Phone: 860-870-3120/Fax: 860-870-3122/planner@ellington-ct.gov



MEMO

DATE: February 20, 2024
TO: Planning and Zoning Commission
FROM: Lisa M. Houlihan, AICP, Town Planner
SUBJECT: Request for CGS §8-24 review from the Board of Selectmen for an open space purchase - 79 Kibbe Road

The property proposed for potential open space purchase, 79 Kibbe Road, is located north of Kibbe Road, east of Route 83, and south and west of Shenipsit State Forest. For many years an informal right-of-way on the property, known as Sykes Road, served as the main recreational and emergency access to the forest in Ellington. Around 2011 when the property transferred as part of an estate, barriers were installed and access to the property ceased.

The subject property includes many characteristics favorable for open space, including a tributary to Broad Brook. Enclosed for your review you'll find the following:

- CGS §8-24 Request
- GIS printout
- Digital property card
- Kibbe Road Drainage Improvements Progress Print

I look forward to discussing the statutory referral with you at the upcoming meeting.

Barbra Galovich

From: Julia Connor
Sent: Thursday, February 15, 2024 12:43 PM
To: Arlo; Lisa Houlihan
Cc: Barbra Galovich
Subject: CGS 8-24 Report

Good afternoon,

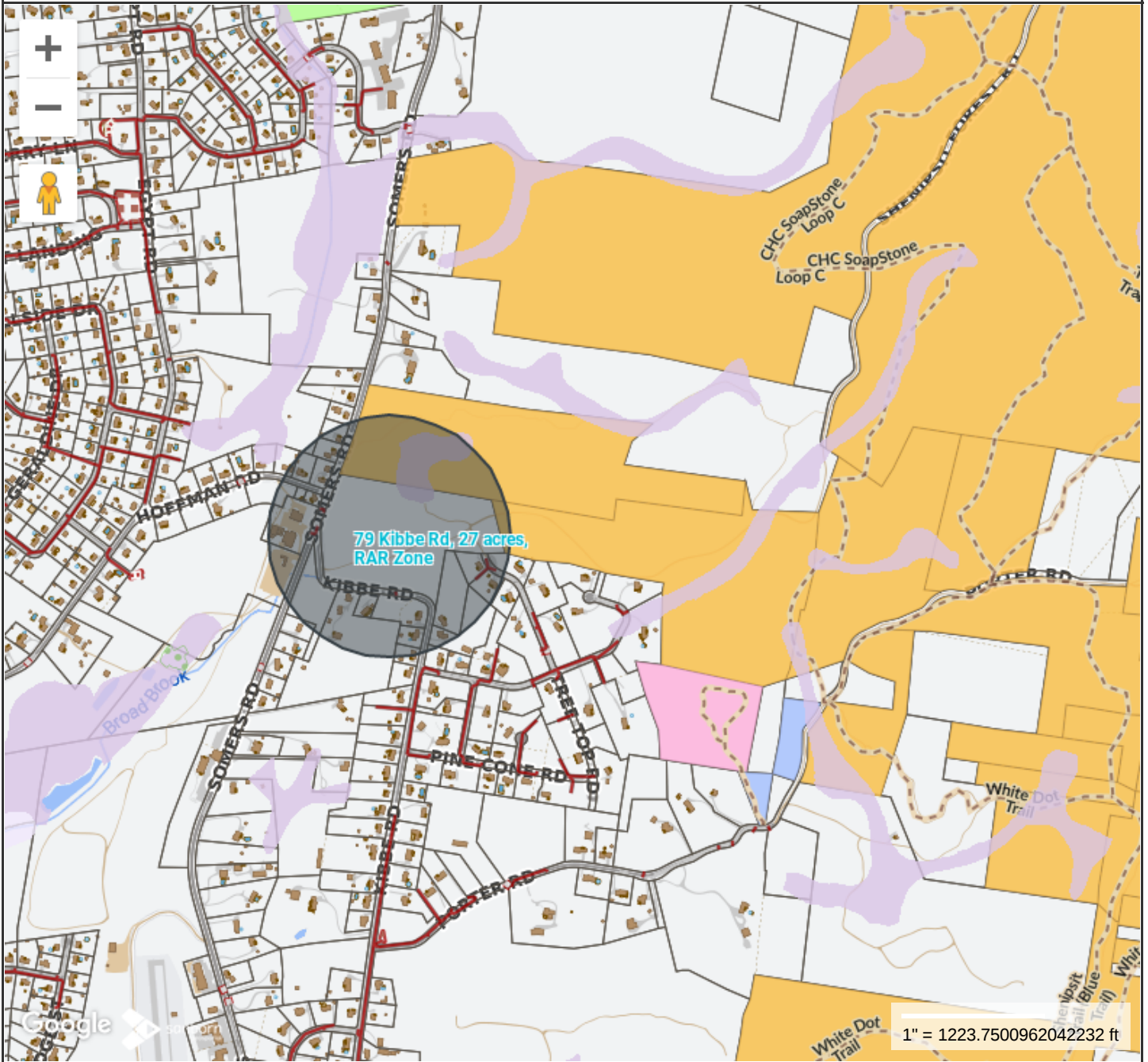
The BOS made the following motion at their Monday meeting:

MOVED (TURNER), SECONDED (STOMBERG) AND PASSED UNANIMOUSLY TO REFER THE PURCHASE OF OPEN SPACE AT 79 KIBBE ROAD, A 27-ACRE PARCEL KNOWN AS THE BRADY PROPERTY, TO THE PLANNING AND ZONING COMMISSION TO SUBMIT A REPORT TO THE BOARD OF SELECTMEN IN ACCORDANCE WITH CONNECTICUT GENERAL STATUTE SECTION 8-24.

Best,

Julia Connor
Executive Assistant,
First Selectman's Office &
Communications Coordinator
Town of Ellington
860-870-3100

79 Kibbe Rd - Stormwater & Open Space/Trails GIS



**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**





Town of Ellington, CT makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 11/11/2021
Data updated daily

Print map scale is approximate. Critical layout or measurement activities should not be done using this resource.












Map Theme Legends

Wetlands





-  Site Certified Wetlands/Watercourse
-  Swamp Areas
-  Poorly Drained and Very Poorly Drained Soils
-  Alluvial and Floodplain Soils

CT DEEP

Stormwater System

-  Drain Outfall
-  Manhole
-  Drain Feature Point
-  Catch Basin
-  Open Channel
-  Drain Line
-  Flow Direction
-  Drain Lateral
-  Drain Culvert
-  Detention Basins
-  Drainage Basins
 - AB - Abbey Brook
 - BB - Broad Brook
 - BU - Buckhorn Brook
 - CB - Charters Brook
 - EB - Edson Brook
 - GS - Gulf Stream
 - HR - Hockanum River
 - KB - Ketch Brook
 - MB - Marsh Brook
 - MR - Middle River
 - WR - Willimantic River

Trails, Open Space and Farmland

-  LAND TRUST OPEN SPACE
-  PRESERVED FARMLAND
-  STATE OPEN SPACE
-  TOWN OPEN SPACE

The Assessor's office is responsible for the maintenance of records on the ownership of properties. Assessments are computed at 70% of the estimated market value of real property at the time of the last revaluation which was 2020.



Information on the Property Records for the Municipality of Ellington was last updated on 2/20/2024.



Parcel Information

| | | | | | |
|-----------------------|-------------|----------------|--------------|----------------|-------------------------|
| Location: | 79 KIBBE RD | Property Use: | Vacant Land | Primary Use: | Residential Vacant Land |
| Unique ID: | 00384800 | Map Block Lot: | 142 002 0000 | Acres: | 27.0000 |
| 490 Acres: | 27.00 | Zone: | RAR | Volume / Page: | 0429/0900 |
| Developers Map / Lot: | | Census: | 5352 | | |

Value Information

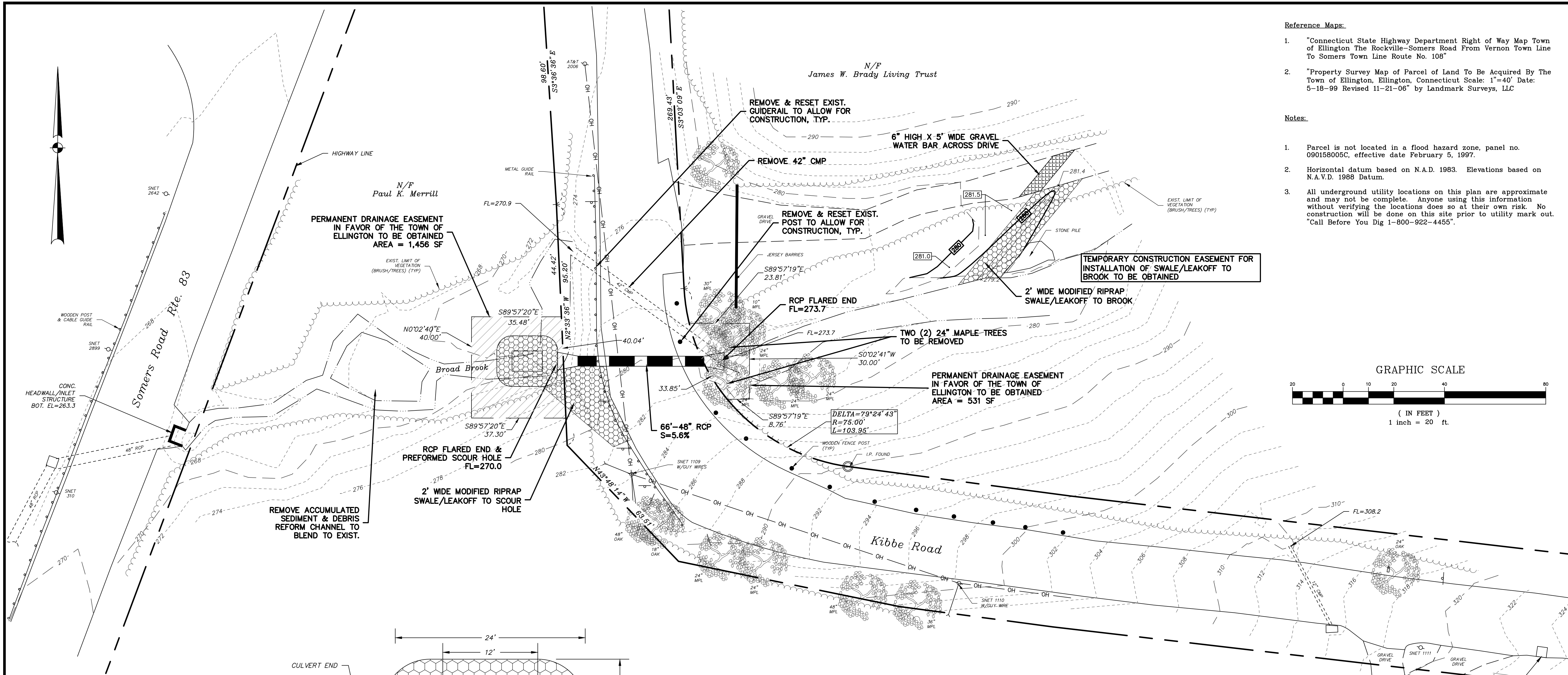
| | Appraised Value | Assessed Value |
|-----------------------|-----------------|----------------|
| Land | 171,190 | 7,370 |
| Buildings | 0 | 0 |
| Detached Outbuildings | 0 | 0 |
| Total | 171,190 | 7,370 |

Owner's Information

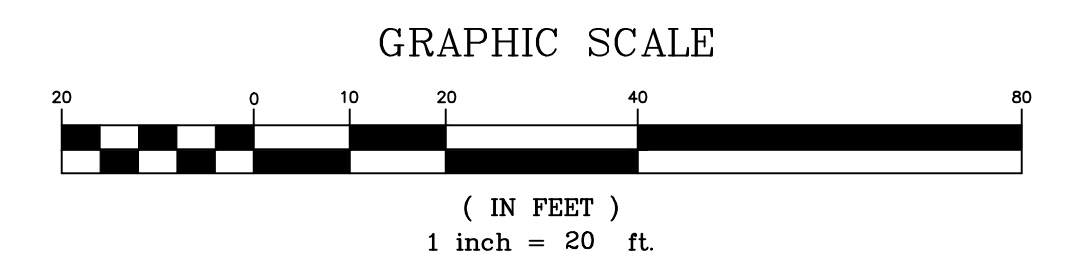
| Owner's Data |
|--|
| BRADY SCOTT J TRUSTEE OF JAMES W BRADY LIVING TRUST 12 EAST CIDER MILL RD ELLINGTON, CT 06029 |

Owner History - Sales

| Owner Name | Volume | Page | Sale Date | Deed Type | Sale Price |
|---------------------------------------|--------|------|------------|---------------|------------|
| BRADY SCOTT J TRUSTEE | 0429 | 0900 | 11/28/2011 | Quit Claim | \$0 |
| BRADY JAMES W TRUSTEE | 0429 | 0898 | 11/28/2011 | Quit Claim | \$0 |
| BRADY JAMES W TRUSTEE | 0423 | 0914 | 04/06/2011 | Quit Claim | \$0 |
| BRADY JAMES W JR | 0144 | 0647 | 12/05/1986 | | \$0 |
| BRADY JAMES W JR + PATRICIA | 0105 | 0648 | 02/14/1977 | Warranty Deed | \$0 |
| BRADY JAMES 1/5 + BRADY MARJORIE 4/5 | 0088 | 0381 | 03/26/1973 | Warranty Deed | \$0 |
| SIKES MARY D 1/5 + BRADY MARJORIE 4/5 | 0048 | 0621 | 10/11/1944 | | \$0 |

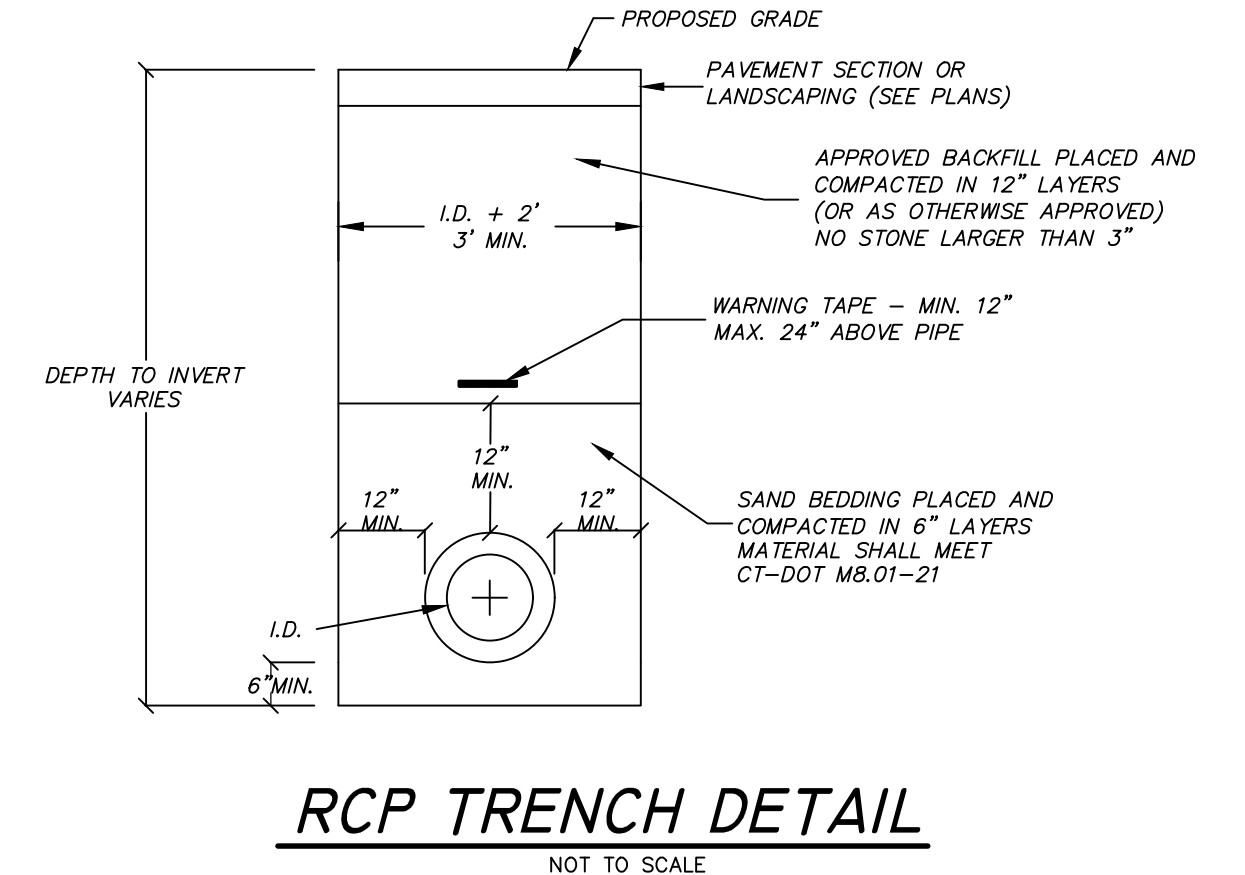
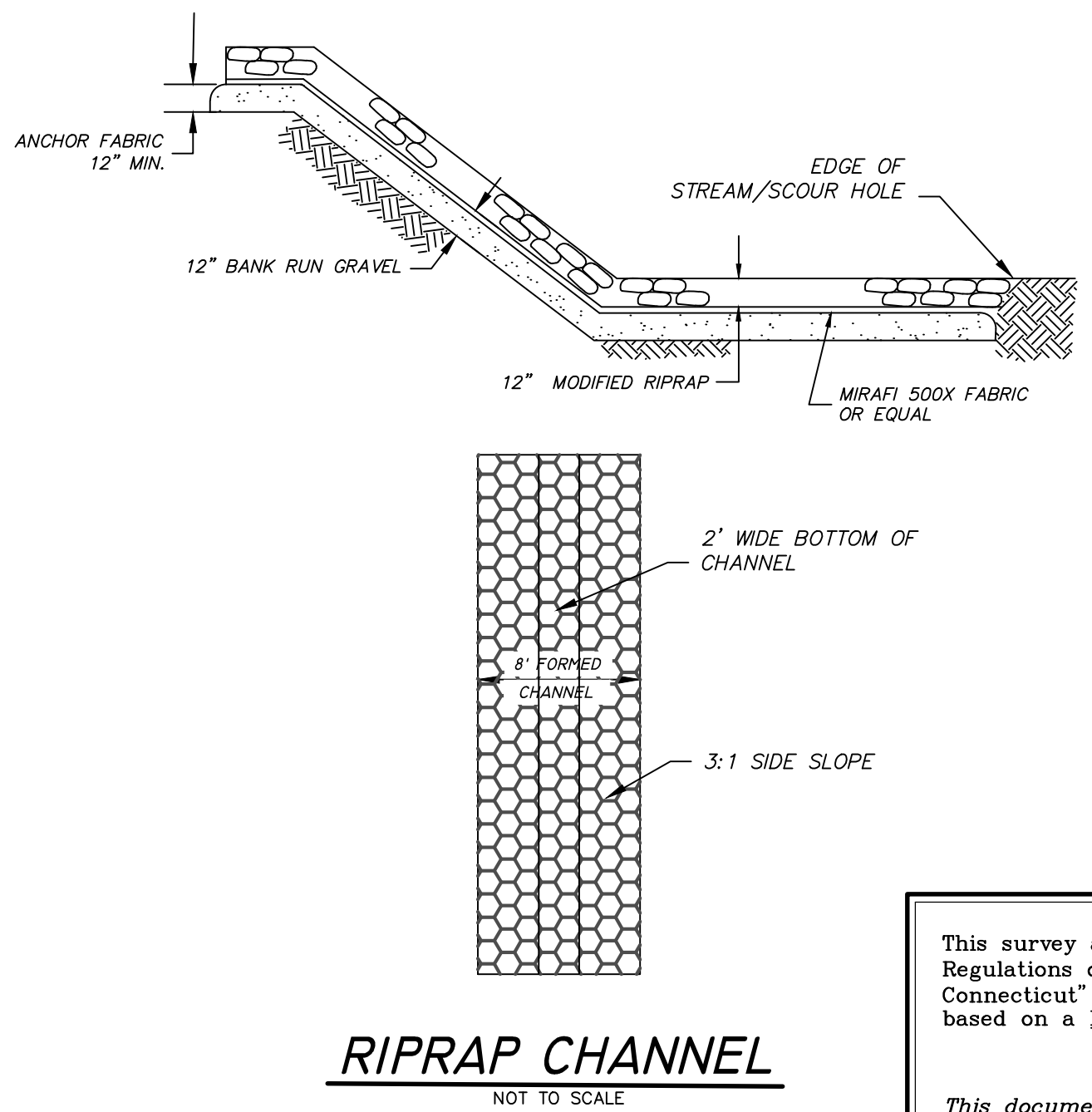
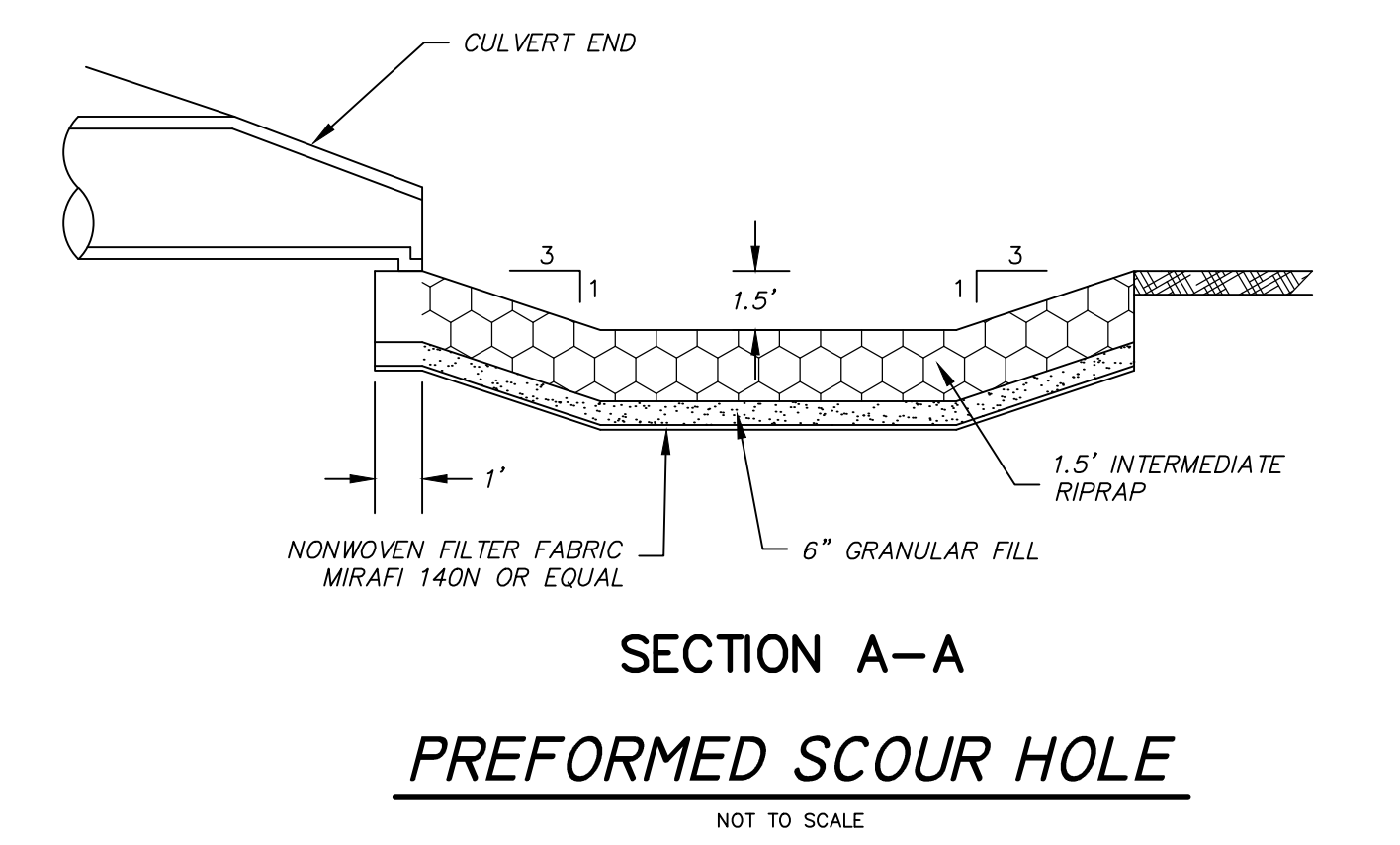
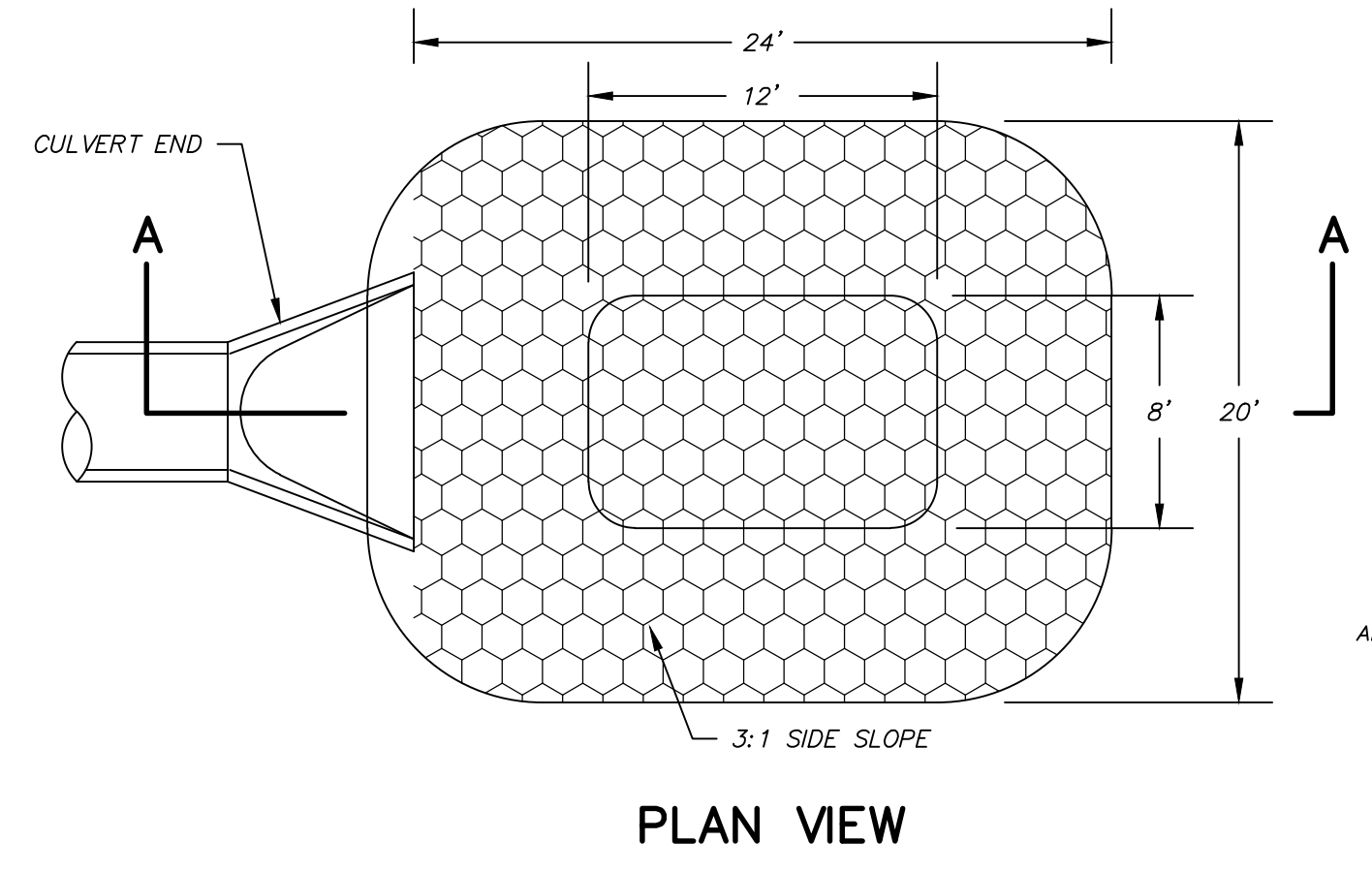


- Reference Maps:**
- "Connecticut State Highway Department Right of Way Map Town of Ellington The Rockville-Somers Road From Vernon Town Line To Somers Town Line Route No. 108"
 - "Property Survey Map of Parcel of Land To Be Acquired By The Town of Ellington, Ellington, Connecticut Scale: 1"=40' Date: 5-18-99 Revised 11-21-06" by Landmark Surveys, LLC
- Notes:**
- Parcel is not located in a flood hazard zone, panel no. 090158005C, effective date February 5, 1997.
 - Horizontal datum based on N.A.D. 1983. Elevations based on N.A.V.D. 1988 Datum.
 - All underground utility locations on this plan are approximate and may not be complete. Anyone using this information without verifying the locations does so at their own risk. No construction will be done on this site prior to utility mark out. "Call Before You Dig 1-800-922-4455".



PROGRESS PRINT 10-20-21

- LEGEND**
- o- EXISTING UTILITY POLE
 - OH- EXISTING OVERHEAD ELECTRIC
 - EXISTING CATCH BASIN
 - PROPOSED CATCH BASIN
 - EXISTING DRAINAGE MANHOLE
 - PROPOSED DRAINAGE MANHOLE
 - ====- EXISTING STORM SEWER
 - ====- PROPOSED STORM SEWER
 - x- EXISTING SIGN
 - EXISTING IRON PIN (FOUND)
 - PROPOSED IRON PIN (TO BE SET)
 - PROPOSED MONUMENT (TO BE SET)
 - EXISTING MONUMENT (FOUND)
 - E- EXISTING SPOT GRADE
 - E- PROPOSED SPOT GRADE
 - 135.5- EXISTING CONTOUR
 - 136- PROPOSED CONTOUR
 - ~~~- EXISTING TREELINE
 - ~~~- PROPOSED TREELINE
 - - - - - PROPERTY LINE
 - - - - - EASEMENT LINE
 - - - - - STAKED HAYBALES OR SILT FENCE



This survey and map has been prepared in accordance with Sections 20-300b-1 thru 20-300b-20 of the Regulations of Connecticut State Agencies - "Minimum Standards for Surveys and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc. It is a **Property Survey** based on a Resurvey conforming to Horizontal Class A-2 & a Topographic Survey conforming to Class T-2.

This document and copies thereof are valid only if they bear the live signature and embossed seal of the designated professional. Unauthorized alterations render any declaration hereon null and void.



| REVISIONS | |
|------------|----------|
| BY: LF/TAC | CHK: JEU |

Drainage Improvements
 Ellington Department of Public Works
 Kibbe Road
 Ellington, Connecticut

| |
|-------------------------------|
| Site Plan |
| DATE xx-xx-21 |
| SCALE 1"=20' |
| JOB NUMBER 2021-805 |
| SHEET x of x |



STATE OF CONNECTICUT – COUNTY OF TOLLAND
INCORPORATED 1786

TOWN OF ELLINGTON

55 MAIN STREET – PO BOX 187
ELLINGTON, CONNECTICUT 06029-0187

www.ellington-ct.gov

TEL. (860) 870-3120 TOWN PLANNER'S OFFICE FX (860) 870-3122

PLANNING AND ZONING COMMISSION REGULAR MEETING MINUTES MONDAY, JANUARY 29, 2024, 7:00 PM

IN-PERSON ATTENDANCE: TOWN HALL ANNEX, 57 MAIN STREET, ELLINGTON, CT
REMOTE ATTENDANCE: ZOOM VIDEO CONFERENCING
(ATTENDEES BELOW WERE IN PERSON UNLESS OTHERWISE NOTED)

**MEMBERS PRESENT: VICE CHAIRMAN SEAN KELLY, SECRETARY ROBERT SANDBERG, JR.,
REGULAR MEMBERS WILLIAM HOGAN, F. MICHAEL FRANCIS,
MICHAEL SWANSON, JON MOSER, AND ALTERNATE JEREMIAH
WILLIAMS**

MEMBERS ABSENT: CHAIRMAN ARLO HOFFMAN AND ALTERNATE RACHEL DEARBORN

**STAFF PRESENT: LISA HOULIHAN, TOWN PLANNER AND BARBRA GALOVICH,
RECORDING CLERK**

I. CALL TO ORDER: Vice Chairman Sean Kelly called the meeting to order at 7:00 pm.

II. PUBLIC COMMENTS (On non-agenda items): None

III. PUBLIC HEARING(S): (Notice requirements met, hearings may commence)

1. Z202327 – Danielle Stites, Irene Gilbert, Rick DeCarli, and Judy Norwood, owners/Rick and Daryl DeCarli, applicants, request for zone change from Industrial (I) Zone to Rural Agricultural Residential (RAR) Zone for APN 100-008-0000, 191 Sadds Mill Road APN 100-008-0001 and 189 Sadds Mill Road APN 100-008-0002.

Time: 7:00 pm

Seated: Kelly, Sandberg, Hogan, Francis, Swanson, Moser, and Williams

Attorney Joseph Ryan, 16 Virginia Drive, was present to represent the application.

Attorney Ryan explained the properties are located on Sadds Mill Road on the right-hand side going towards East Windsor just beyond Powder Hill Gravel. Currently there is a zone boundary that crosses over the property splitting it between Rural Agricultural Residential (RAR) and Industrial (I). The owners of the property are asking for the agricultural boundary to be moved to include all three properties, APN 100-008-0000, 191 Sadds Mill Road APN 100-008-0001, and 189 Sadds Mill Road APN 100-008-0002.

Attorney Ryan stated the reason for the request is the owners were looking for assistance from the Department of Agriculture, but they denied their request due to portions of the properties being zoned industrial. The farm has been in operation going on 5 generations. Up to now, they have relied upon the exemption in the subdivision section for agriculture splits. Attorney Ryan noted the family would like to be able to comply with the subdivision regulations, which is the ultimate plan of subdividing the house lot from the horse facility. The old farmhouse is already a lot, and then the rear lot should be the arena property. Attorney Ryan said part of the problem with being under the industrial zone is meeting the minimum lot frontage for each lot.

Attorney Ryan explained the history of the properties. Back in the 1960s a couple of guys named Parker and Sweet had a sand business and when the business was diminished, they wanted to use it for refuse disposal area and had the zone changed to industrial. The Capitol Region of

Governments Commission, at that time, wanted parcels from Jobs Hill Road to the Enfield and East Windsor town lines to be zoned industrial to align with an old plan to extend Route 291 to the area. It's been 55 years with the parcels being zoned industrial without the highway extension or industrial development so it's time to move the parcels back to a residential zone.

Secretary Sandberg inquired how many total lots would be affected. Attorney Ryan noted there will be 3 lines, but that's not part of this application. This is just a zone change request to support the large riding arena, multiple agricultural structures, paddocks, and two existing homes that are there for the family members.

Lisa Houlihan noted Attorney Ryan's 35 to 37 years working with the town as the Town Attorney and before that being seated on the Planning and Zoning Commission. Lisa shared there is no public water or sewer on these parcels.

Secretary Sandberg stated normally the Commission doesn't look to change an industrial zone back to residential zone but given the history of these properties and the history of farmland, he is fine with the request. Jon Moser is in support of the application given the history of the property.

All other seated commissioners were good with the application and no one from the public had any comments.

MOVED (SANDBERG) SECONDED (SWANSON) AND PASSED UNANIMOUSLY TO CLOSE THE PUBLIC HEARING FOR Z202327 – Danielle Stites, Irene Gilbert, Rick DeCarli, and Judy Norwood, owners/Rick and Daryl DeCarli, applicants, request for zone change from Industrial (I) Zone to Rural Agricultural Residential (RAR) Zone for APN 100-008-0000, 191 Sadds Mill Road APN 100-008-0001 and 189 Sadds Mill Road APN 100-008-0002.

MOVED (SANDBERG) SECONDED (FRANCIS) AND PASSED UNANIMOUSLY TO APPROVE Z202327 – Danielle Stites, Irene Gilbert, Rick DeCarli, and Judy Norwood, owners/Rick and Daryl DeCarli, applicants, request for zone change from Industrial (I) Zone to Rural Agricultural Residential (RAR) Zone for APN 100-008-0000, 191 Sadds Mill Road APN 100-008-0001 and 189 Sadds Mill Road APN 100-008-0002, **AS SHOWN ON MAP FOR RICHARD J. & DARYL A. DECARLI AS PREPARED BY ZUVIC INFRASTRUCTURE SOLUTIONS DATED NOVEMBER 15, 2023. EFFECTIVE DATE: FEBRUARY 15, 2024**

2. S202401 - Tymac Holdings, LLC, owner/Craig Webb, applicant, request for re-subdivision to convey and combine APN 023-001-0000 with 12 Garnet Lane, APN 023-001-0015, Ridge Crossing Subdivision, Rural Agricultural Residential (RAR) Zone.

Time: 7:14 pm

Seated: Kelly, Sandberg, Hogan, Francis, Swanson, Moser, and Williams

Craig Webb, 12 Garnet Lane, was present to represent the application.

Lisa Houlihan noted the Commission members have a copy of the applicant's narrative, and comments from the Public Works Director and Town Attorney.

Craig Webb stated about a year ago he purchased one of the lots on Garnet Lane. The parcel is 38-acres and combining it with the abutting lot will allow it to be used for its full potential as agricultural farmland. There's already some fields and meadow areas and the lot is very wet with poorly drained soil. Next to Mr. Webb's parcel is a 2.15-acre lot with a detention basin constructed on it as part of the subdivision plan approved by the Planning & Zoning Commission. This parcel is intended to be conveyed to the Town of Ellington when construction is complete. Mr. Webb is requesting to have the small parcel conveyed to him, rather than the Town. Mr. Webb is proposing to eliminate the boundary lines and incorporate the entire land into 12 Garnet Lane.

Craig Webb noted that right now the rest of the acreage on his parcel can only be accessed by the driveway to the basin area or going across his yard and down a steep embankment. Craig has been maintaining the detention basin and brush hogging as necessary since the installation.

Craig would like to install an accessory barn onto the property in the future. By combining the lots Craig hopes to provide a little level of security and eliminate ATV's and dirt bikes from entering the parcel.

Lisa Houlihan explained Ellington does not own the detention basin yet and maintenance is still the developer's responsibility. Lisa reviewed the Public Works Director's comments and noted the Town Attorney has reviewed the proposal. Tymac still owns the 2.15-acre parcel and if this application is approved it will be conveyed to Craig Webb. The easement agreement between Craig Webb and the Town will need to be filed on the land records.

Commissioner Hogan asked who will be maintaining the detention basin since the 2.15-acre parcel will not be deeded to the Town of Ellington. Craig Webb noted that he will continue to maintain the detention basin and the Town will have an easement with rights to access for any reason. If the parcel is owned by the Town, then the Town is totally responsible for the maintenance of the basin.

No one from the public spoke regarding the application.

MOVED (HOGAN) SECONDED (FRANCIS) AND PASSED UNANIMOUSLY TO CLOSE THE HEARING FOR S202401 - Tymac Holdings, LLC, owner/Craig Webb, applicant, request for re-subdivision to convey and combine APN 023-001-0000 with 12 Garnet Lane, APN 023-001-0015, Ridge Crossing Subdivision, Rural Agricultural Residential (RAR) Zone.

MOVED (HOGAN) SECONDED (FRANCIS) AND PASSED UNANIMOUSLY TO APPROVE W/CONDITIONS - S202401 - Tymac Holdings, LLC, owner/Craig Webb, applicant, request for re-subdivision to convey and combine APN 023-001-0000 with 12 Garnet Lane, APN 023-001-0015, Ridge Crossing Subdivision, Rural Agricultural Residential (RAR) Zone.

CONDITIONS:

- 1. THE OWNER SHALL PROVIDE THE TOWN WITH A FORMAL EASEMENT WITH UNRESTRICTED RIGHTS TO DRAIN, ACCESS, MAINTENANCE AND REPAIR OF DRAINAGE FACILITIES FOR APN 023-001-0000.**
 - 2. SUBJECT TO APPROVAL BY THE TOWN ATTORNEY.**
3. Z202328 – Stephen D. Williams, owner/applicant, request for Special Permit and Site Plan Approval for two rear lots off of Hawks Nest Trail, APN 004-002-0000, Rural Agricultural Residential (RAR) Zone.

Time: 7:26 pm

Seated: Kelly, Sandberg, Hogan, Francis, Swanson, Moser, and Williams

Stephen Williams, 36 Buff Cap Road, Tolland, CT was present to represent the application. Stephen purchased the parcel 13 months ago, while there was a lawsuit pending. Stephen noted there is a stipulated agreement for the 50' access to the parcel between 55 Hayes Avenue and 2 Hawk's Nest Trail to be used as a driveway with the construction of no more than two dwellings. Stephen is looking for a special permit approval to have two rear lots and noted receipt of North Central District Health's septic and well approvals.

Lisa Houlihan explained the parcel is eligible for exemption from the Subdivision Regulations, but it's not exempt from the Zoning Regulations. Stephen previously provided a different plan to John Colonese, Zoning Enforcement Officer, for a permit to build which John had denied. Stephen appealed John's decision to the Zoning Board of Appeals. The Board upheld John's decision but granted Stephen a variance to allow access over an easement for two proposed rear lots. Stephen's attorney provided John Colonese with the deed history to show that the parcel is eligible for a free cut. Lisa Houlihan stated today's PZC application needs to show compliance to the rear lot requirements along with site development standards. Lisa shared comments from EMS and

Fire Services requesting that adequate width be provided for the driveway. The easement area from Hawk's Nest Trail to the border of his property is 50 feet wide, but it is only going to be improved 18 feet wide up to where the driveway splits and then it scales to 12 feet. Ms. Houlihan noted the plans will have to be changed to be 15 feet wide to comply with zoning standard. Lisa noted there are some drainage concerns as noted in the memo from the Town Engineer.

Lisa Houlihan stated a neighbor that resides at 55 Hayes Avenue reached out to the Planning Department within the last couple of days. The neighbor mentioned a complaint about drainage back in 2020 with John Colonese. There has been some increase in precipitation and water sheet flowing across her property. The owner of 55 Hayes Avenue asked for her letter and video to be part of Stephen Williams' file. Lisa noted the neighbor's concern now is that she doesn't want this site development increasing the issue she already has. Dana Steele provided a memo to the commission and requested more details.

Stephen Williams said the drainage letter from Benesch should be sufficient and is within the buffer areas and after determination of the square foot of the proposed dwelling, you would need to address drainage. It's almost impossible not knowing the size of the house, the bedrooms and everything, it really can't be done. There's a detention pond shown on the map, it is proposed and should take care of any drainage issues. Stephen mentioned the Town Engineer's comments about a low impact development standard versus huge detention basin, but he feels he needs more details.

Lisa Houlihan noted the requirements are part of the zoning regulations which was provided to Mr. Williams on January 4, 2024, in a memo, citing the specific sections of the zoning regulations including a plan that shows existing and proposed topography, storm water facilities, and erosion and sediment control measures. Lisa stated the information that was provided is inadequate to review drainage and to determine what will be built will not increase or cause any more drainage off site.

After an abrupt and vulgar comment from Stephen Williams, the Commission voted to continue the public hearing to the February 26, 2024, meeting and advised audience members that public comment would be taken in February.

MOVED (SANDBERG) SECONDED (SWANSON) AND PASSED UNANIMOUSLY TO CONTINUE THE PUBLIC HEARING TO MONDAY, FEBRUARY 26, 2024, TOWN HALL ANNEX, 57 MAIN STREET, ELLINGTON, CT FOR Z202328 – Stephen D. Williams, owner/applicant, request for Special Permit and Site Plan Approval for two rear lots off of Hawks Nest Trail, APN 004-002-0000, Rural Agricultural Residential (RAR) Zone.

IV. OLD BUSINESS: None

V. NEW BUSINESS:

1. Request to accept public improvements (Garnet Lane), release of performance bond, and establishment of maintenance bond for S202004 Ridge Crossing Subdivision, pursuant to a letter from Tymac Holding, LLC, dated December 5, 2023.

Lisa Houlihan explained Town Engineer Dana Steele, Assistant Planner Enforcement Officer John Colonese, and Director of Public Works Tom Modzelewski conducted an inspection of the subdivision and Mr. Steele provided a letter dated January 24, 2024, with their concerns. The project is not ready for acceptance, noting some conditions have not been completed. Mr. Steele recommended the performance bond be reduced to \$85,341.

MOVED (HOGAN) SECONDED (SWANSON) AND PASSED UNANIMOUSLY TO GRANT A REDUCTION OF PERFORMANCE BOND TO \$85,341, IN ACCORDANCE WITH THE TOWN ENGINEER'S LETTER DATED JANUARY 24, 2024, for a request to accept public improvements (Garnet Lane), release of performance bond, and establishment of maintenance bond for S202004 Ridge Crossing Subdivision, pursuant to a letter from Tymac Holding, LLC, dated December 5, 2023.

2. **BY CONSENSUS, RECEIVED AND SCHEDULED A PUBLIC HEARING ON FEBRUARY 26, 2024, 7PM, TOWN HALL ANNEX, 57 MAIN STREET, ELLINGTON, AND ZOOM VIDEO CONFERENCING FOR Z202401**– Paul Misbach, owner/applicant, pursuant to Section 3.1.3 of the Ellington Zoning Regulations request for Special Permit for the construction of a 30X40 accessory detached garage at 58 Pinney Road, APN 015-010-0000, in a Rural Agricultural Residential (RAR) Zone.

VI. ADMINISTRATIVE BUSINESS:

1. Approval of the December 18, 2023, Regular Meeting Minutes.

MOVED (HOGAN) SECONDED (FRANCIS) AND PASSED UNANIMOUSLY TO APPROVE DECEMBER 18, 2023, REGULAR MEETING MINUTES AS WRITTEN.

2. Correspondence/Discussion:

- a. Discuss status of Land Use Commissioner Training, Pursuant to Public Act No. 21-29... Training for Certain Land Use Officials.

VII. ADJOURNMENT:

MOVED (FRANCIS) SECONDED (HOGAN) AND PASSED UNANIMOUSLY TO ADJOURN THE PLANNING AND ZONING COMMISSION MEETING AT 7:53 PM.

Respectfully submitted by,

Barbra Galovich, Recording Clerk

Barbra Galovich

Subject: FW: FOR NEXT PZC AGENDA FW: URGENT REMINDER: CRCOG Regional Planning Commission Appointments (3/15/24)

From: Capitol Region Council of Governments <jknowlton@crcog.org>

Sent: Wednesday, February 7, 2024 12:00 PM

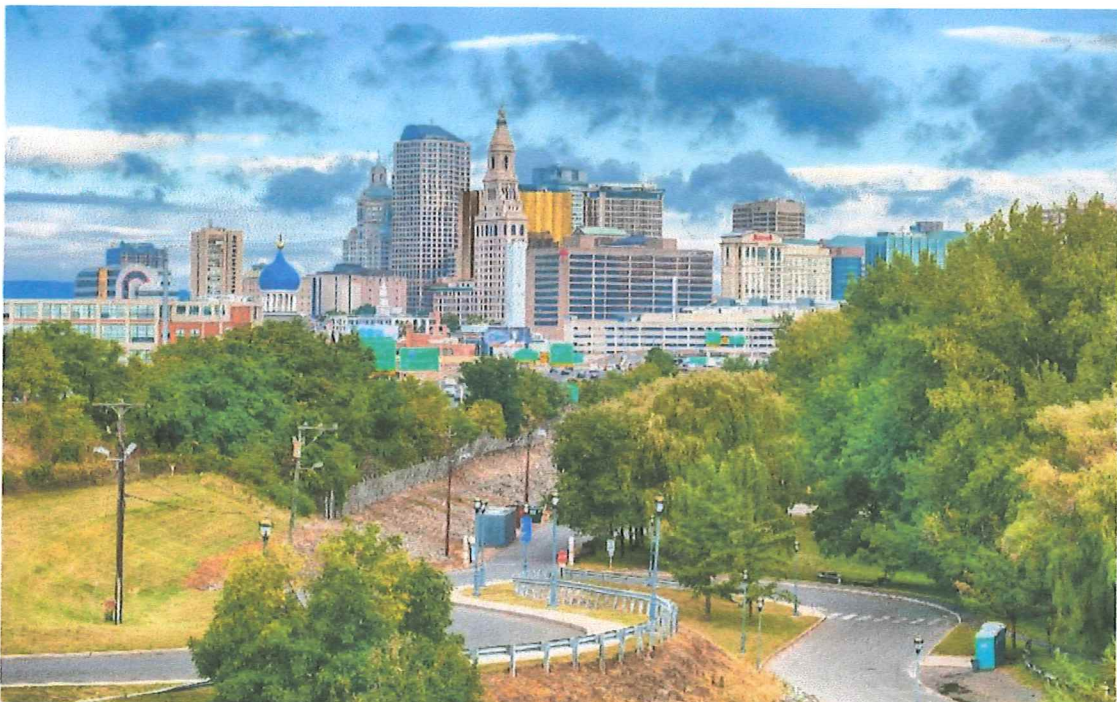
To: Lisa Houlihan <LHoulihan@ELLINGTON-CT.GOV>

Subject: URGENT REMINDER: CRCOG Regional Planning Commission Appointments (3/15/24)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

It's that time again...

2024 Regional Planning Commission Appointments



This serves as a reminder to submit your Municipality's Regional Planning Commission appointments. Thank you to those who have already completed the form. Staff also thanks those who have communicated the need for an extension. Others who require an extension please don't hesitate to reach out to Jacob Knowlton at jknowlton@crcog.org. Please notify Jacob of any issues, concerns, needs for extensions and/or expected date of appointment as all municipalities are required to have an RPC representative.

This year is of particular importance due to RPC's responsibility of **reviewing and approving the 2024 Regional Plan of Conservation and Development**.

Per Regional Planning Commission Bylaws, RPC appointments must be made by each CRCOG member Municipality every two years. We request that your Planning Commission or Planning and Zoning Commission appoint a representative and alternate to serve on the RPC from the date of appointment through December 31, 2025. If your commission members are appointed by the Board of Selectmen or Town/City Council, the RPC appointments must also be approved by these bodies. Please return the attached google form below **by March 15, 2024**.

Your participation on the Regional Planning Commission ensures that the concerns of your municipality are reflected in regional plans and policies developed by the commission. Two of the main responsibilities of the RPC are to keep an up-to-date Plan of Conservation and Development for the Capitol Region, and to comment on zoning and subdivision proposals occurring along town lines.

Please make sure that the person appointed to the RPC is willing to attend our meetings on a regular basis, and if possible, please appoint an alternate who is willing to attend in the member's absence. The 2024 RPC Meeting Schedule is attached. Meetings will be held quarterly generally on the third Thursday of meeting months, as noted on the schedule. All RPC meeting packages will be emailed to the appointed representatives as all RPC business is done virtually, until further notice.

RPC meetings are used to keep planning and zoning officials informed of CRCOG projects and programs related to regional and local planning. In addition, workshop sessions on current planning and zoning topics are periodically held, and members are given time to share information on municipal planning issues.

Please review the buttons below to find the appropriate memo with the 2024 RPC meeting schedule, as well as the Municipal RPC Appointment Google Form.

We look forward to working with your town's RPC representative in the coming year. If you have any questions, please feel free to contact me at 860-724-4241 or jknowlton@crcog.org.

* Hartford is unique in that it has four seats on the Regional Planning Commission in accordance with Special Act 73-79.

Official RPC Business will be Virtual

[RPC Appointment Google Form](#)

[RPC Memo & Meeting Schedule](#)

[Hartford RPC Appointment Google Form](#)

[Hartford RPC Memo & Meeting Schedule](#)

Training Requirements

Those in office on 1/1/2023 must complete four (4) hours of training by 1/1/2024, and once every four years thereafter, or once every term for which such member is elected

or appointed if such term is longer than four years per **Public Act 21-29** (as amended 10/1/2023).

More Info

Email Jacob with any questions at jknowlton@crcog.org



CRCOG | 241 Main Street, Hartford, CT 06106

[Unsubscribe lhoulihan@ellington-ct.gov](mailto:lhoulihan@ellington-ct.gov)

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Sent by jknowlton@crcog.org powered by



Town of Ellington

Planning Department

57 Main St., PO Box 187, Ellington, CT, 06029/Phone: 860-870-3120/Email: planner@ellington-ct.gov



MEMORANDUM

DATE: February 20, 2024

TO: Planning & Zoning Commission

FROM: Lisa M. Houlihan, AICP, Town Planner

SUBJECT: **Review of plans for press box at little league field M2 at Tedford Memorial Park pursuant to May 2023 approval for Z202303** – Town of Ellington, owner/Department of Public Works, applicant, request for modification to Site Plan and Special Permit for the installation of lighting for athletic facilities at 45 Sadds Mill Road, APN 079-004-0000, in a RAR (Rural Agricultural Residential) Zone

Last May the commission reviewed proposed athletic lighting at Robert Tedford Memorial Park, 45 Sadds Mill Road. During the public hearing, neighboring residents asked for the existing press box at field M1 to be relocated to field M2. Recently, the Ellington Little League met with staff from the Planning Department, the Recreation Department, and the Public Works Department to review plans to address recommendations made during review of Z202303.

Enclosed is a copy of the May 2023 meeting minutes for Z202303, press box concept renditions, and map/improvement narrative.

I look forward to reviewing this with you at the upcoming meeting.



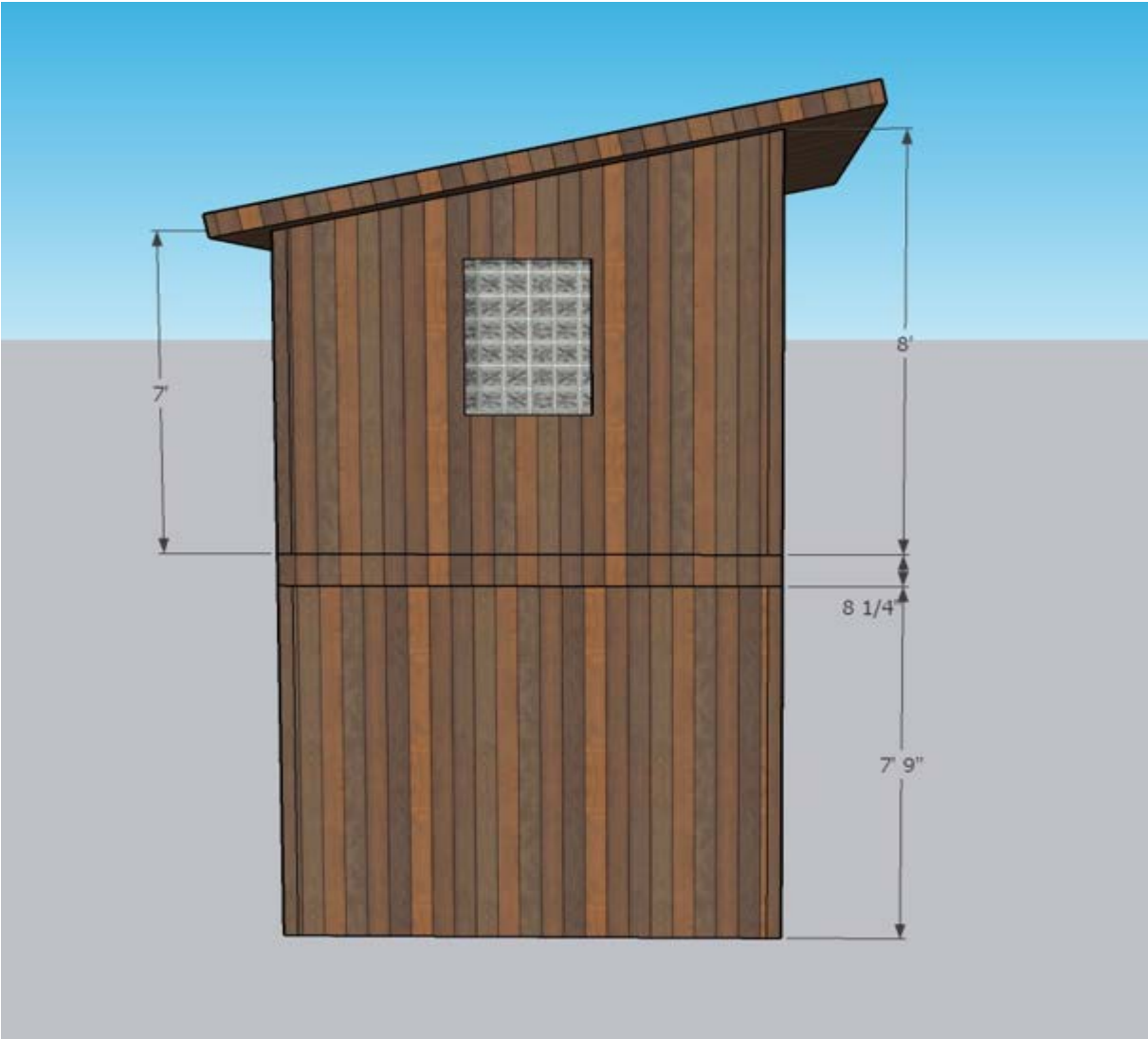
- A) New 10' x 18' press box storage shed. Details Attached. See attached pier plan (requesting DPW complete site work).
- B) Remove existing fence. New fence to be installed and tied into press box after it is constructed.
- C) Extend current power source to new press box (requesting DPW extend power conduit to new building).
- D) Move existing shed to farm field next to dugout (requesting DPW prepare shed pad).
- E) Extend bull pen to have 2nd lane & add mounds (requesting DPW complete site work).
- F) Install new permanent batting cage structure similar to other wooden structures at park (requesting DPW complete site work and structure).



Front view



Back view



Side view



STATE OF CONNECTICUT – COUNTY OF TOLLAND
INCORPORATED 1786

TOWN OF ELLINGTON

55 MAIN STREET – PO BOX 187
ELLINGTON, CONNECTICUT 06029-0187

www.ellington-ct.gov

TEL. (860) 870-3120 TOWN PLANNER'S OFFICE FX (860) 870-3122

PLANNING AND ZONING COMMISSION REGULAR MEETING MINUTES

MONDAY, MAY 22, 2023, 7:00 PM

IN-PERSON ATTENDANCE: TOWN HALL ANNEX, 57 MAIN STREET, ELLINGTON, CT

REMOTE ATTENDANCE: ZOOM VIDEO CONFERENCING

(ATTENDEES BELOW WERE IN PERSON UNLESS OTHERWISE NOTED)

MEMBERS PRESENT: CHAIRMAN ARLO HOFFMAN, VICE CHAIRMAN SEAN KELLY, SECRETARY ROBERT SANDBERG, JR, REGULAR MEMBERS F. MICHAEL FRANCIS, WILLIAM HOGAN, JON MOSER, MICHAEL SWANSON, AND ALTERNATES MARY CARDIN AND RACHEL DEARBORN

MEMBERS ABSENT: NONE

STAFF PRESENT: LISA HOULIHAN, TOWN PLANNER AND ACTING RECORDING CLERK.

I. CALL TO ORDER: Chairman Hoffman called the meeting to order at 7:02 pm.

II. PUBLIC COMMENTS (On non-agenda items): Karen Luciano, 36 Ardsley Lane, was present to express concern about a citizen walking an aggressive dog in her neighborhood.

III. PUBLIC HEARING(S):

1. Z202301 – Town of Ellington, owner/ Recreation Department, applicant, request to create an 18-hole disc golf course and associated improvements at Stein Road, APN 037-005-0082, in a Residential (R) zone.

Time: 7:03 pm

Seated: HOFFMAN, KELLY, SANDBERG, FRANCIS, HOGAN, MOSER, AND SWANSON

Chairman Hoffman noted the Commission received a letter of withdrawal for the application.

MOVED (SANDBERG) SECONDED (SWANSON) AND PASSED UNANIMOUSLY TO ACCEPT WITHDRAWAL OF Z202301 – Town of Ellington, owner/ Recreation Department, applicant, request for an 18-hole disc golf course and associated improvements at Stein Road, APN 037-005-0082, in a Residential (R) zone.

The Commission heard the following applications Z202303, Z202304 and Z202305 together.

2. Z202303 – Town of Ellington, owner/Department of Public Works, applicant, request for modification to Site Plan and Special Permit for the installation of lighting for athletic facilities at 45 Sadds Mill Road, APN 079-004-0000, in a RAR (Rural Agricultural Residential) Zone.

Time: 7:04 pm

Seated: HOFFMAN, KELLY, SANDBERG, FRANCIS, HOGAN, MOSER, AND SWANSON

James Ussery, JR Russo & Associates, LLC, One Shoham Road, East Windsor, CT, Ken Radziwon, Director of Public Works, 21 Main Street, Dustin Huguenin, Recreation Director, 31 Arbor Way, Ellington, CT, and Karen Dwyer, Chairman of the Ad Hoc Lighting Committee were

present to represent the application.

Lisa Houlihan noted letters from Karen L Dwyer, Chair of the Ad Hoc Lighting Committee; John & Kenlyn Streiber of 4 Hatheway Road and Allan & Carol Lawrence of 1 Hatheway Road were received in the Planning Office after the completion of the agenda packets. Ms. Houlihan said the Ad Hoc Lighting Committee is amendable to relocating the proposed lights from M1 to M2 at Robert Tedford Memorial Park, and the committee also agrees the plans should include lighting for the parking lot at Pinney Street Park. She stated the commission should also consider discussing the possibility of recommending plantings and/or reinforce the existing vegetation along the eastern property line to screen the park from the backyards of properties along the west side of Hatheway Road.

Mr. Ussery handed out new aerials of each park showing proposed lighting. He noted at Robert Tedford Memorial Park changes were made to address the public concerns. He noted the M1 little league field, which is the southeasterly corner of the park, will not have lighting. **The Adhoc Lighting Committee and the Ellington Little League reviewed the concerns of the neighbors and agreed the 4 lights and announcers booth will be moved to the M2 Little League field on the opposite side of the parking lot.**

Mr. Ussery stated the concern with Pinney Street lighting proposal did not show any proposed lights at the parking lot area. The Adhoc Lighting Committee agreed the lighting is necessary around the parking lot to address any safety concerns. Proposed lights around the perimeter of the parking lot were added to the project as an add-alternate.

Ms. Houlihan explained the proposed two discussion items are not conditions of approval, but recommendations from the Planning & Zoning Commission.

Commissioner Moser stated the Lighting Committee did a good job on the project and provided good compromises.

Alternate Cardin asked if Pinney Street Park has any streetlights in the area and in relation to the parking location. Mr. Ussery used Tedford Memorial Park as an example. He noted that CL&P has a large flood light facing the parking lot, where Pinney Street streetlights do not have that component on the poles along Pinney Street.

Commissioner Hogan asked how often the fields will be used, and what the time restrictions will be from each of the leagues that use the fields. James Ussery stated Ken Radziwon was communicating with the various leagues on the length of time each organization would be requesting. Commissioner Hogan expressed his concerns about the times each league would be requesting to keep the lights on at night. He noted without this information, it is difficult for the Commission to set conditions of approval pertaining to the lighting schedule. Commissioner Hogan explained there are current illumination regulations for the Town's commercial and industrial zones. Mr. Ussery stated the Connecticut Interscholastic Athletic Conference (CIAC) and Little League have lighting regulations. Commissioner Hogan asked that the lighting standards meet the Town's regulations.

Dustin Huguenin reviewed proposed shut off time for the lights. He stated the lights are to have a little extension of the daylight hours such as 9:00 pm on weekdays and on the weekends 10:00 pm to ensure individuals can safely leave the property. Karen L. Dwyer, Chair of the Ad Hoc Lighting Committee, introduced herself and noted the Lighting Committee met since the last Planning & Zoning Commission (PZC) meeting and they discussed in depth the lighting concerns at Robert Tedford Memorial Park and Pinney Street Park. They are looking to get this project implemented and agree to provide the Commission with any further information.

Mark Maciolek, 101 Main Street, said everyone wants the best for their kids and wants them to have opportunities in Ellington to make it enticing for young adults to get off their phone and on the fields.

David Gyure, 10 Hatheway, asked who is paying for the electricity, will it be the individual teams or the Town. He said other towns dim the lights to a lower level after a specific time. He suggested adding planted islands where the light poles are proposed to break-up the paved area which may deter the afterhours activity in the parking lot and suggested games start earlier if possible.

John Strieber, 4 Hatheway Road, noted he submitted a letter dated May 20, 2023, and read letter dated May 21, 2023 from Allan & Carol Lawrence into the record.

Kevin Schmidt, 16 Hatheway Road, asked about the proposed lighting at the tennis courts at Tedford Park. He noted that since the tennis courts are not utilized as much as the High School Tennis Courts, they may want to eliminate the tennis court lighting at Tedford Memorial Park and add parking lighting at Pinney Street Park. He said the tennis court lights are on sometimes all night, due to the fact they are not on a timer. Ms. Dwyer explained the lights can be monitored and noted the existing poles on site will only have fixtures upgraded.

Chairman Hoffman encouraged the commission to approve the lighting for the three locations with conditions of approval. Secretary Sandberg suggested the three applications can be re-evaluated by the PZC in a year.

MOVED (SANDBERG) SECONDED (SWANSON) AND PASSED UNANIMOUSLY TO CLOSE THE PUBLIC HEARING FOR Z202303 – Town of Ellington, owner/Department of Public Works, applicant, request for modification to Site Plan and Special Permit for the installation of lighting for athletic facilities at 45 Sadds Mill Road, APN 079-004-0000, in a RAR (Rural Agricultural Residential) Zone.

MOVED (SANDBERG) SECONDED (SWANSON) AND PASSED UNANIMOUSLY TO APPROVE WITH CONDITIONS Z202303 – Town of Ellington, owner/Department of Public Works, applicant, request for modification to Site Plan and Special Permit for the installation of lighting for athletic facilities at 45 Sadds Mill Road, APN 079-004-0000, in a RAR (Rural Agricultural Residential) Zone.

CONDITION(S):

- LIGHTS FOR FIELD M1 SHALL BE RELOCATED TO FIELD M2.
- LIGHTS SHALL BE SHUT OFF BY 9PM, SEVEN DAYS A WEEK.
- LIGHTS FOR THE TENNIS AND BASKETBALL COURTS SHALL FOLLOW EXISTING LIGHTING SCHEDULES.
- APPROVAL IS SUBJECT TO REVIEW IN ONE YEAR.

DISCUSSION: THE FOLLOWING COMMENTS ARE NOT CONDITIONS OF APPROVAL BUT RECOMMENDATIONS TO ADDRESS ISSUES FROM RESIDENTS RAISED DURING THE PUBLIC HEARING THAT ARE NOT DIRECTLY RELATED TO THE PROPOSED APPLICATION.

- RECOMMEND THE TOWN INSTALL PLANTINGS AND/OR REINFORCE THE EXISTING VEGETATION ALONG THE EASTERN PROPERTY LINE TO SCREEN THE PARK FROM THE BACKYARDS OF PROPERTIES ALONG THE WEST SIDE OF HATHEWAY ROAD.
- REFER LETTERS FROM RESIDENTS DESCRIBING VARIOUS NUISANCE ACTIVITIES AT THE PARK TO THE BOARD OF SELECTMEN, THE STATE TROOPER'S OFFICE, AND THE PARK AND RECREATION COMMISSION.

HELP SHAPE OUR PARKS

Join the Conversation



Your input matters!

We're creating a Parks Master Plan to enhance our community's parks and we need YOUR feedback. Take our brief survey to share your ideas, priorities, and suggestions for the future of our parks.

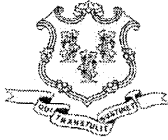


Scan the QR Code or
Visit the link Below to Begin

Join us for our first virtual Master Plan Update Meeting on February 27th at 6PM! Click the link below to get your personalized link 24 hours before the meeting begins!

WWW.RESEARCH.NET/R/ELLINGTONCT

<https://forms.gle/ip8s7YgrKzBXZJUDA>



STATE OF CONNECTICUT
CONNECTICUT SITING COUNCIL

Ten Franklin Square, New Britain, CT 06051

Phone: (860) 827-2935 Fax: (860) 827-2950

E-Mail: siting.council@ct.gov

Web Site: portal.ct.gov/csc

**VIA ELECTRONIC MAIL & CERTIFIED MAIL
RETURN RECEIPT REQUESTED**

February 5, 2024

Lee D. Hoffman, Esq.
Pullman & Comley, LLC
90 State House Square
Hartford, CT 06103-3702
lhoffman@pullcom.com

RE: **PETITION NO. 1589** – USS Somers Solar, LLC petition for a declaratory ruling, pursuant to Connecticut General Statutes §4-176 and §16-50k, for the proposed construction, maintenance and operation of a 3.0-megawatt AC solar photovoltaic electric generating facility located at 360 Somers Road, Ellington, Connecticut, and associated electrical interconnection.

Dear Attorney Hoffman:

At the energy/telecommunications meeting held on February 1, 2024, the Connecticut Siting Council (Council) did not issue a declaratory ruling, pursuant to Connecticut General Statutes §4-176 and §16-50k, for the proposed solar photovoltaic electric generating facility in Ellington, Connecticut. Due to a tie, the final vote failed; therefore, a declaratory ruling was not issued.

Enclosed are the Council's Findings of Fact, Opinion, and Decision and Order that were considered during the February 1, 2024 meeting.

Sincerely,

Melanie A. Bachman
Executive Director

MB/IN/dll

Enclosures (3)

c: Service List dated January 23, 2024
State Documents Librarian (via email – csl.cda@ct.gov)