



STATE OF CONNECTICUT – COUNTY OF TOLLAND
INCORPORATED 1786

TOWN OF ELLINGTON

55 MAIN STREET – PO BOX 187
ELLINGTON, CONNECTICUT 06029-0187
www.ellington-ct.gov

TEL. (860) 870-3120 **TOWN PLANNER'S OFFICE** FAX (860) 870-3122

INLAND WETLANDS AGENCY REGULAR MEETING AGENDA MONDAY, JANUARY 22, 2024, 7:00 P.M.

**IN-PERSON ATTENDANCE: TOWN HALL ANNEX, 57 MAIN STREET, ELLINGTON, CT
REMOTE ATTENDANCE: VIA ZOOM MEETING, INSTRUCTIONS PROVIDED BELOW**

I. CALL TO ORDER

II. PUBLIC COMMENTS (on non-agenda items):

III. PUBLIC HEARING(S): *(Notice requirements met, hearing may commence.)*

1. IW202320 – Town of Ellington, owner/applicant, request for a permit to conduct regulated activity to construct a sidewalk and associated improvements along Route 83 (West Road) from the Vernon town line to Main Street.

IV. OLD BUSINESS: None

V. NEW BUSINESS:

1. Tymac Holdings LLC, owner/ Craig Webb, applicant, request for positive referral to the Planning & Zoning Commission on a re-subdivision (S202401) to convey and combine property APN 023-001-0000 with 12 Garnet Lane, APN 023-001-0015, pursuant to Conn. Gen. Stat. 8-26(e).

VI. ADMINISTRATIVE BUSINESS:

1. Approval of the December 11, 2023, Regular Meeting Minutes.
2. Correspondence/Discussion:
 - a. Connecticut Association of Wetland Scientists (CAWS) Annual Meeting.

VII. ADJOURNMENT:

Next Regular Meeting is scheduled for February 12, 2024

Instructions to attend remotely via Zoom Meeting listed below. The agenda is posted on the Town of Ellington webpage (www.ellington-ct.gov) under Agenda & Minutes, Inland Wetlands Agency.

Join Zoom Meeting via link:

Link: <https://us06web.zoom.us/j/83261931719>
Meeting ID: 832 6193 1719
Passcode: 113873

Join Zoom Meeting by phone:

+1 646 558 8656 US (New York)
Meeting ID: 832 6193 1719
Passcode: 113873

Town of Ellington Inland Wetlands and Watercourses Agency Application

Application # IW 202320
Date Submitted 12-4-2023

Notices associated with this application will be sent to the applicant unless otherwise requested.

Owner's Information

Name: TOWN OF ELLINGTON

Mailing

Address: 57 MAIN STREET

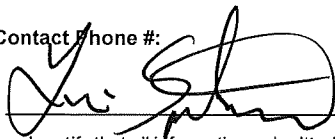
ELLINGTON, CT 06029

Email: LSpielman@Ellington-CT.gov

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No

Primary Contact Phone #: 860-870-3120

Secondary Contact Phone #:

Owner's
Signature: 

Date: 12-4-23

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Agency have been submitted. Moreover, by signing above I/we expressly provide written consent to the filing of the application and access to the site by the Agency or its staff.

Notices associated with this application will be sent to the applicant unless otherwise requested.

Applicant's Information (if different than owner)

Name: SAME AS OWNER

Mailing

Address: _____

Email: _____

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No

Primary Contact Phone #: _____

Secondary Contact Phone #: _____

Applicant's
Signature: _____

Date: _____

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Agency have been submitted.

Street Address: Multiple (Along Route 83/West Road from the Vernon town line to Main Street)

Assessor's Parcel Number (APN): N/A

Proposed upland review area affected in square feet: See Plans

Proposed wetlands/watercourses affected in square feet and linear feet (as applicable): See Plans

Total area of wetlands/watercourses on parcel in square feet or acres: N/A

Public Water: Yes No Public Sewer: Yes No *If not served by public water and sewer, applicant shall make application to North Central District Health Department (Enfield Office) if required.*

Is the project in a public water supply watershed area? Yes No

If YES, applicant is required to notify the Connecticut Water Company and Commissioner of Public Health by certified mail, return receipt within 7 days of this application (Conn. Gen Stat. Sec 22a-42f). Copy of application, plans, and supporting documents must accompany notice. Applicant can email the Commissioner of Public Health using their approved form. Proof of notice (return receipt and sent email) must be provided to the Planning Department.

Describe the nature of proposed regulated activity, request for acceptance of a permitted use as of right or a nonregulated use, map or regulation amendment, or other activity requiring review by the Agency or its Agent:
See attached Application Checklist and Appendix D for guidance when preparing application

Construction of sidewalks and associated improvements along Route 83 (West Road) from the _____

Vernon town line to Main Street. Please see attached narrative and plans. _____

Applicant shall provide certification in accordance with Wetlands Regulation, Section 7.4e, Application Requirements:

Whether or not any portion of the property on which the regulated activity is proposed is located within 500 feet of an adjoining town. Yes No

Whether or not a significant portion of the traffic to the completed project will use streets within an adjoining town to exit or enter the site. Yes No

Whether or not a significant portion of the sewer or water drainage from the project will flow through and significantly impact the sewer or water drainage system of an adjoining town. Yes No

Whether water run-off from the improved site will impact streets or other municipal/private property within an adjoining town. Yes No

FOR OFFICE USE ONLY

If YES to any of the above, the Agency shall, in accordance with CGS 8-7d(f) notify the clerk of any adjoining municipality of the pendency of any application, petition, appeal, request or plan concerning any project on any site. Notice of the pendency of such application shall be made by certified mail, return receipt requested, and shall be mailed within seven (7) days of the date of receipt of the application, petition, appeal, request or plan. **(See Agency requirements Section 8.4)**

Type of Project: (check one)

Commercial/Industrial Residential Mixed Use Timber Agricultural
 Other, explain: Municipal Improvements

Type of Application: (check one)

Notification for Non-Regulated Use (Section 4.2)
 Notification of Permitted Use as of Right (Section 4.1)
 Administrative Permit (Section 6.4)
 Agency Permit (**TWELVE COPIES REQUIRED**)
 Permit Modification
 Permit Extension
 Regulation Amendment
 Map Amendment
 Appeal of Administrative Permit

Application Submittals:

Completed Application Form (Section 7.4a)
 Application Fee (Section 7.4b)
 Abutters List (Section 7.4c)
 Certification as to Adjacent Towns (See above)
 Certification as to Connecticut Water Company & Commissioner of Public Health (See above)
 Notification Narrative and Supporting Documentation (If applicable, Appendix D)
 Project Narrative and Supporting Documentation (Section 7.4g, 1-11 inclusive, as deemed applicable)
 Project Site Plan - circle one: Administrative (Section 7.4h1) / Agency (Section 7.4h2)
 Supplemental Information (Section 7.5a-j, inclusive, as deemed applicable)



December 6, 2023

John D. Colonese, CZEO
Assistant Town Planner/Zoning & Wetlands Officer
P.O. Box 187
Ellington, CT 06029

Re: L047-0002 Route 83 Sidewalk Improvements
West Road, Ellington, CT

John,

The Town of Ellington is proposing to install approximately 2 miles of sidewalk along West Road (Rt. 83) from the Vernon town line to the existing walks on Main Street. We have identified 5 areas of sidewalk construction activities which are likely within an upland review area. There may be other areas along the corridor which have wetlands or floodplain within 100' of the sidewalk activities, but the following 5 locations are the ones we identified as directly abutting wetland areas.

1. 212 & 216 West Road (Country Warehouse, LLC, dba Kloter Farms) A 30' pedestrian bridge is proposed to span Marsh Brook on the west side of West Road. Concrete abutments will be installed on both sides of the brook near the top of bank. See sheet 21 of 23 for site plan and S1.0 for bridge design.
2. 193 West Road (Michael A. Wearne) & Estate of Gardner L. Chapman. An existing drainage ditch/intermittent watercourse conveys runoff from a large watershed to a 24" culvert under West Road. Due to complaints of overtopping of the road in this location, we prepared a watershed analysis which demonstrates that the existing culvert is undersized. We have passed this information along to DOT and they are working on a solution. The sidewalk project proposes no impact to the ditch/watercourse. A 4' high chain link fence is proposed to separate the walk from the existing headwall. See sheet 19 of 23.
3. 171 West Road (Leeron Associates, LLC, dba, Lee's Auto Ranch) & 175 West Road (Meadowview Plaza LLC) The project proposes to fill approximately 378 s.f. of existing man made drainage ditch/watercourse between the Lee's Auto Ranch detention basin and the southern driveway for Meadowview Plaza. Alternatives were considered to avoid this impact including construction of a 30' span pedestrian bridge. However, DOT objected to the pedestrian bridge with concerns that they would not be able to access their existing paved leakoff for maintenance. After meeting with DOT and discussing alternatives, they requested we pursue the proposed improvements. A manhole will be installed to connect the detention basin outlet, the drainage ditch and the DOT leakoff. The sidewalk will then be constructed over the drainage

Re: L047-0002 Route 83 Sidewalk Improvements
West Road, Ellington, CT

improvements. These improvements will also enable us to remove the existing guide rail and improve traffic safety. See sheet 17 of 23.

4. 135 West Road (Cornerstone Ellington LLC, Big Y Plaza) A sidewalk is proposed within a new sidewalk easement which passes by within 12 feet of the headwall of a 36" RCP culvert. No disturbance is proposed to the culvert or drainage ditch/watercourse feeding the culvert. See sheet 15 of 23.
5. 133 West Road (Isabell A. Helenski) A sidewalk was recently installed along the Big Y Plaza frontage to the north. This walk will continue along the frontage of the Helenski property within the state right-of-way. Some of this work including the repaving of the Helenski driveway apron may be within the regulated area of a riprapped drainage area and headwall at the southwest corner of the Big Y Plaza parcel. See sheet 13 of 23.

In summary, the sidewalk project contains only one area of direct impact to potential regulated areas (#3 above), and this impact was proposed only after considering all feasible and prudent alternatives. The other areas are near potential regulated areas but do not encroach into these areas or their vegetated buffers.

I can be reached by phone at 860-623-0569 or email at dsteele@jrusso.com

Sincerely,

Ellington Town Engineer

A handwritten signature in black ink, appearing to read "Dana Steele". The signature is written in a cursive, flowing style.

Dana Steele, P.E.

J.R. Russo & Associates, LLC

Ellington Department of Public Works

West Road (Route 83) Sidewalk Installation

LOTICIP Project No. L047-002

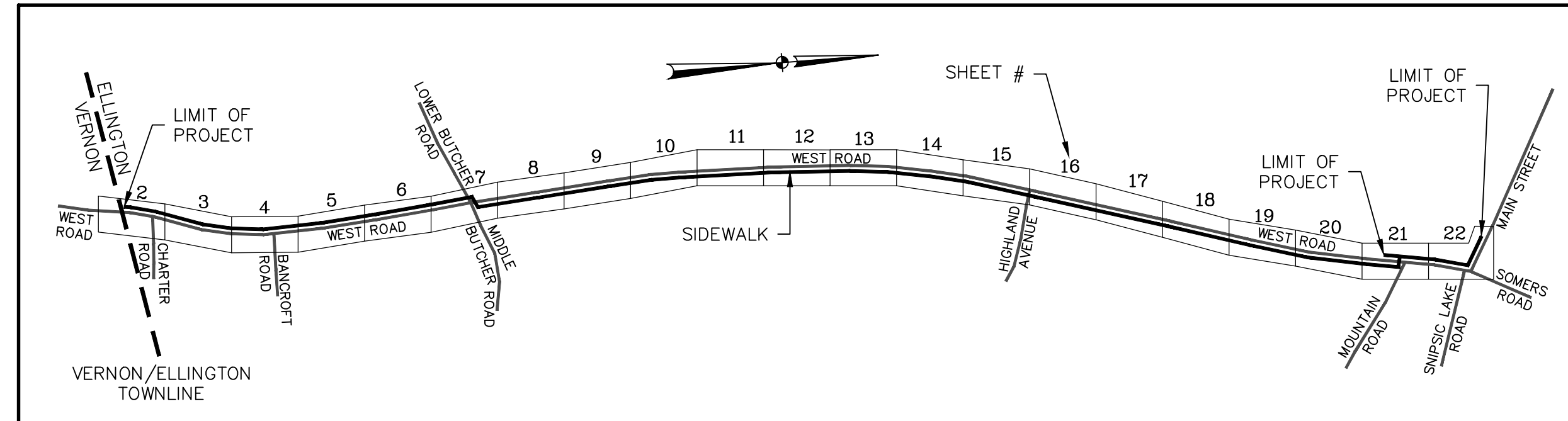
FIRST SELECTMAN.....LORI L. SPIELMAN
DIRECTOR OF PUBLIC WORKS.....THOMAS MODZELEWSKI

GENERAL NOTES:

1. Horizontal datum based on N.A.D. 1983. Elevations based on N.A.V.D. 1988 Datum.
2. All underground utility locations on this plan are approximate and may not be complete. Anyone using this information without verifying the locations does so at their own risk. No construction will be done on this site prior to utility mark out. "Call Before You Dig 1-800-922-4455".
3. Town of Ellington to obtain temporary Rights to Grade from all properties abutting new sidewalk.

CONSTRUCTION NOTES:

1. The Contractor shall accept the site in the condition in which it exists at the time of the award of the Contract.
2. Contractor shall be responsible for pedestrian and traffic control during construction. All efforts will be made to minimize impacts to vehicular and pedestrian traffic. The Contractor shall provide a pedestrian and vehicular traffic management plan to the Owner for review prior to construction.
3. The Contractor shall be responsible for providing all measures necessary to protect existing utilities, persons and property at the site at all times. Promptly repair damage to adjacent facilities at no cost to the Owner. Where utility poles and guys are called to be relocated or braced by the utility custodian, the contractor shall be responsible for coordination of this work with the utility custodian so as not to delay completion of their work. Utility Company contact information is as follows: For CL&P poles contact Eversource - Matt Grindl (860) 871-3478. For SNET poles contact Frontier - Marc Sweeney (203) 889-6218.
4. Locate existing underground utilities in areas of work. If utilities are to remain in place, provide adequate support and protection during earthwork operations, comply with OSHA requirements. Repair any damaged utilities as acceptable to the Engineer, at no additional cost to the Owner.
5. Remove from site debris, rubbish, and other materials resulting from demolition operations. Transport and legally dispose off site. Leave site in clean condition at the end of each work day.
6. Specific iron pins or monuments are identified on the Drawings within the limits of grading and are to be reset in accordance with an agreed upon unit price. Any iron pins or property line monumentation outside of the defined limits of work as shown on the plans which are disturbed during construction shall be reset/replaced by a CT licensed land surveyor at the expense of the Contractor.
7. Contractor shall contact Mr. Arthur Von Plachecki, CTDOT District 1 Survey Unit, 860-258-4576 or Arthur.VonPlachecki@ct.gov prior to any construction with the State right-of-way. If any NGS, CGS, CTDOT Mounuments, Boundary/Survey markers are disturbed or damaged during construction, the Department will furnish new monuments, which the permittee (Contractor) will be required to install at the direction of the District 1 Suvey Unit and according to CTDOT specifications. The permittee will be responsible for all Engineering costs should the monument(s) be disturbed or damaged. The CHD survey monuments shall be verified and accepted by the District 1 Survey Unit prior to releasing the encroachment permit bond.
8. All fill, backfill and pavements shall be compacted to achieve a minimum dry density of 95 percent of the Modified Proctor maximum dry density of the material used (AASHTO T 180, Method D) by the nuclear method. The contractor shall be responsible to coordinate testing to be performed by an independent testing company provided by the Owner. Compaction testing of trench backfill shall be performed once per every 500 cubic yards of trench backfill, every vertical lift or at least once daily. Compaction testing of pavement, subbase and base material shall be performed once every 200 feet.
9. If any existing signs are damaged during construction, it is the Contractor's responsibility to replace those damaged signs.
10. All construction materials and methods within the State R.O.W. shall conform to the Department's specifications Form 818.



LOCATION MAP
1"=1000'

DRAWING INDEX

SHEET TITLE	SHEET NO.	LATEST REVISION
CIVIL		
COVER SHEET	1 of 23	11-9-23
LAYOUT PLAN (VERNON TOWNLINE - 10 WEST ROAD)	2 of 23	11-9-23
LAYOUT PLAN (9 - 25 WEST ROAD)	3 of 23	9-29-23
LAYOUT PLAN (25 - 43 WEST ROAD)	4 of 23	8-30-23
LAYOUT PLAN (43 - 61 WEST ROAD)	5 of 23	11-9-23
LAYOUT PLAN (61 - 77 WEST ROAD)	6 of 23	3-29-23
LAYOUT PLAN (70 - 85 WEST ROAD)	7 of 23	8-23-23
LAYOUT PLAN (85 - 93 WEST ROAD)	8 of 23	3-29-23
LAYOUT PLAN (93 - 105 WEST ROAD)	9 of 23	8-23-23
LAYOUT PLAN (105 - 115 WEST ROAD)	10 of 23	8-23-23
LAYOUT PLAN (115 - 123 WEST ROAD)	11 of 23	8-23-23
LAYOUT PLAN (123 - 127 WEST ROAD)	12 of 23	3-29-23
LAYOUT PLAN (127 - 135 WEST ROAD)	13 of 23	3-29-23
LAYOUT PLAN (135 WEST ROAD)	14 of 23	3-29-23
LAYOUT PLAN (135 WEST ROAD - HIGHLAND AVENUE)	15 of 23	4-26-23
LAYOUT PLAN (HIGHLAND AVENUE - 171 WEST ROAD)	16 of 23	3-29-23
LAYOUT PLAN (171 - 175 WEST ROAD)	17 of 23	10-9-23
LAYOUT PLAN (175 WEST ROAD)	18 of 23	10-9-23
LAYOUT PLAN (175 - 193 WEST ROAD)	19 of 23	8-29-23
LAYOUT PLAN (193 - 203 WEST ROAD)	20 of 23	8-31-23
LAYOUT PLAN (205 - 216 WEST ROAD)	21 of 23	9-11-23
LAYOUT PLAN (211 WEST ROAD - MAIN STREET)	22 of 23	3-29-23
DETAILS	23 of 23	11-9-23

CT DOT HIGHWAY DETAILS

ENDWALL	HW-506_01a
CATCH BASIN	HW-586_01
CATCH BASIN TOP	HW-586_07a
DRAINAGE MANHOLE	HW-586_10c
CONCRETE SIDEWALKS	HW-921_01
BIT. CONC. SIDEWALK & BIT. CONC. DRIVEWAY	HW-922_01
CONC. DRIVEWAY RAMPS	HW-924_01

TRAFFIC CONTROL SIGNAL PLANS

WEST RD (RT. 83) AT MIDDLE/LOWER BUTCHER RD - INT # 047-204
WEST RD. (RT. 83) AT BIG Y ENTRANCE - INT # 047-215
WEST RD. (RT. 83) AT MOUNTAIN RD. - INT # 047-213
WEST RD. (RT. 83) AT MAIN ST (RT. 286) & SNIPSIC LAKE RD - INT # 047-203

PEDESTRIAN BRIDGE PLANS

NORTHERN PED. BRIDGE FOUNDATION PLAN	S1.0	10-1-21
DETAILS AND ELEVATION	S2.0	10-1-21
BASIS OF DESIGN PEDESTRIAN BRIDGE	S3.0	10-1-21



REVISIONS	
BY: LF/TAC	CHK: JEU

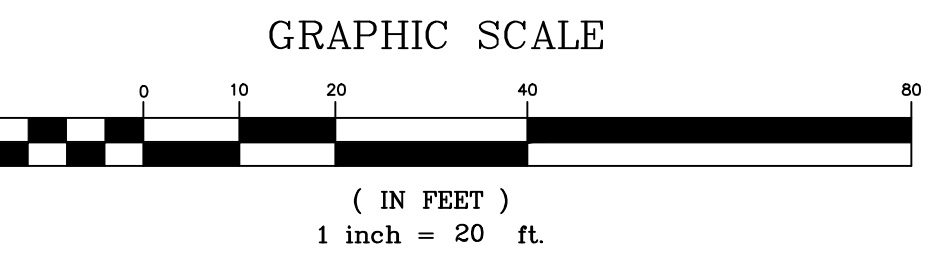
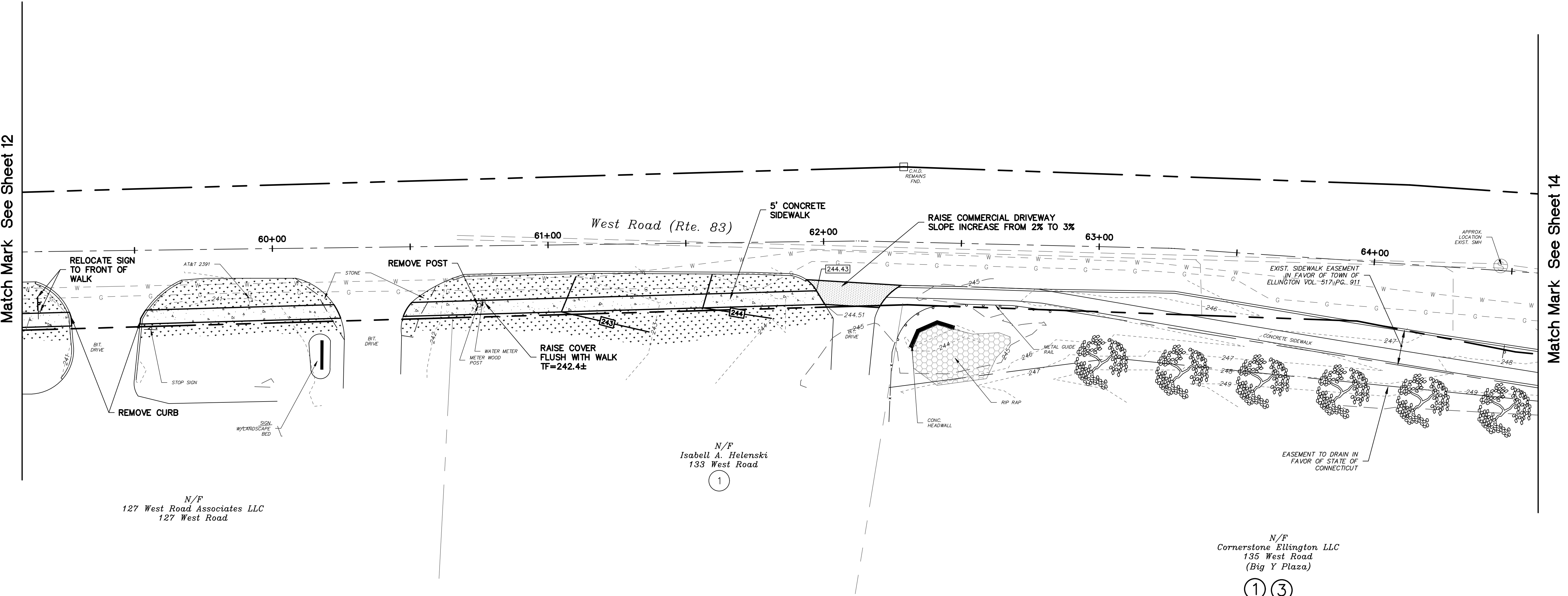
Sidewalk Project

Prepared For
Ellington Department of Public Works

West Road
Ellington, Connecticut

Layout Plan

DATE	7-26-2021
SCALE	1"=20'
JOB NUMBER	2017-803
SHEET	13 of 23



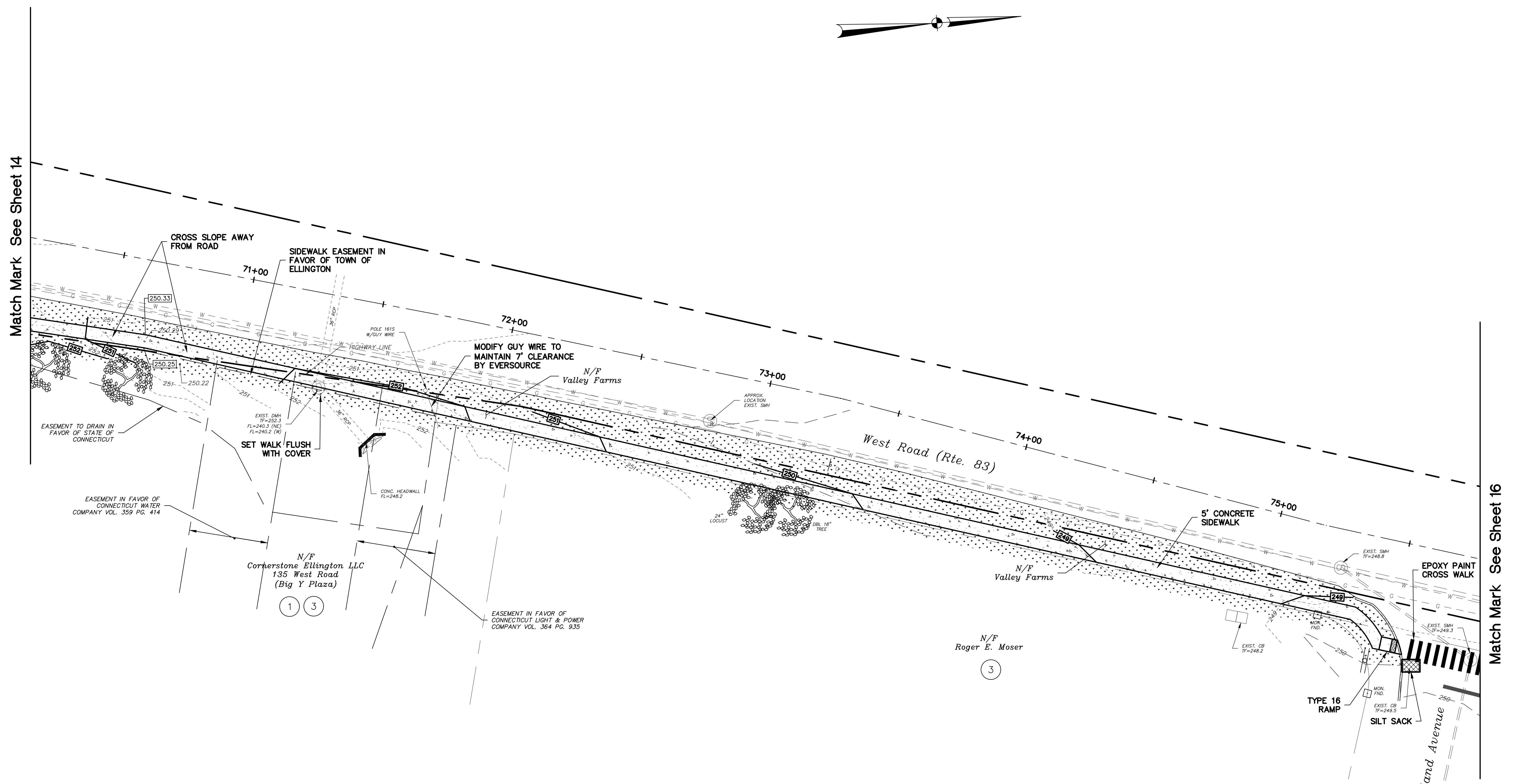
LEGEND

- EXISTING UTILITY HANDHOLE
- EXISTING UTILITY POLE
- PROPOSED UTILITY POLE
- ☆ EXISTING LIGHT POLE
- ◁ EXISTING BUILDING LIGHT
- - - OH - - - EXISTING OVERHEAD ELECTRIC
- - - E - - - EXISTING UNDERGROUND ELECTRIC
- EXISTING WATER GATE
- EXISTING HYDRANT
- - - W - - - EXISTING WATER LINE
- EXISTING GAS GATE
- - - G - - - EXISTING GAS LINE
- EXISTING CATCH BASIN
- ⊕ EXISTING DRAINAGE MANHOLE
- ⊗ EXISTING STORM SEWER
- ⊙ EXISTING SANITARY MANHOLE
- ⊖ EXISTING SANITARY SEWER
- - - S - - - EXISTING SIGN
- ⊕ PROPOSED SIGN
- ⊕ EXISTING MAILBOX
- ⊕ PROPOSED MAILBOX
- ⊕ EXISTING IRON PIN (FOUND)
- ⊕ EXISTING MONUMENT (FOUND)
- EXISTING SPOT GRADE
- PROPOSED SPOT GRADE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING TREELINE
- TURF ESTABLISHMENT

RIGHTS-OF-WAY LEGEND

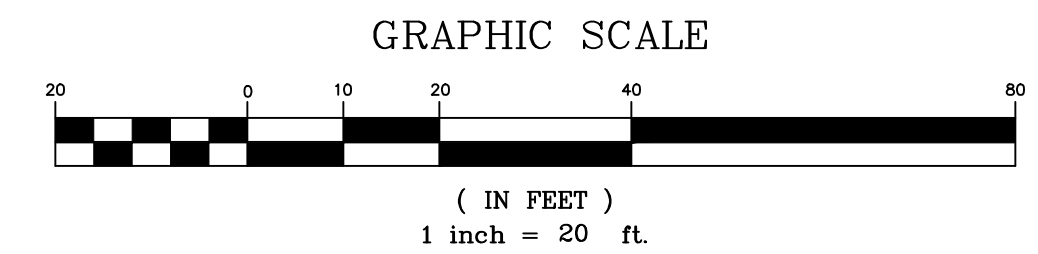
- ① TEMPORARY RIGHTS TO REMOVE AND REPLACE DRIVEWAY AND CURBING
- ② TEMPORARY RIGHTS TO REMOVE LANDSCAPING
- ③ PERMANENT EASEMENT TO INSTALL SIDEWALK
- ④ TEMPORARY RIGHTS TO REMOVE & REPLACE SIDEWALK
- ⑤ PERMANENT EASEMENT TO SLOPE

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Match Mark See Sheet 14

Match Mark See Sheet 16



LEGEND

⊕	EXISTING UTILITY HANDHOLE
○	EXISTING UTILITY POLE
○	PROPOSED UTILITY POLE
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⊕	TURF ESTABLISHMENT

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NO.	DATE	DESCRIPTION

4/26/23 Lower walk at Inletoff
3/29/23 70% submission

REVISIONS

BY: LF/TAC	CHK: JEU
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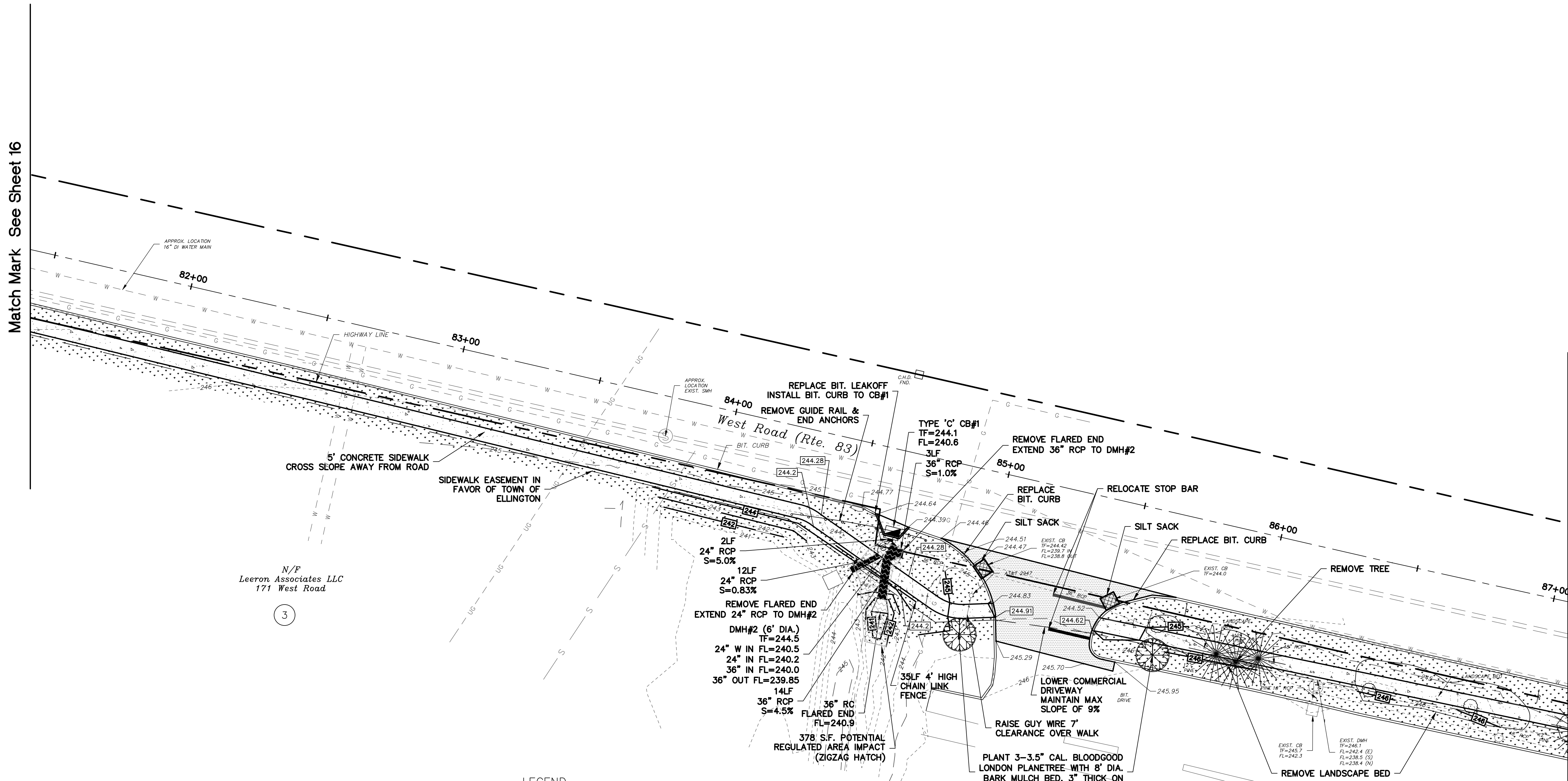
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Layout Plan

DATE	7-26-2021
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SHEET	15 of 23

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Match Mark See Sheet 16



Match Mark See Sheet 18

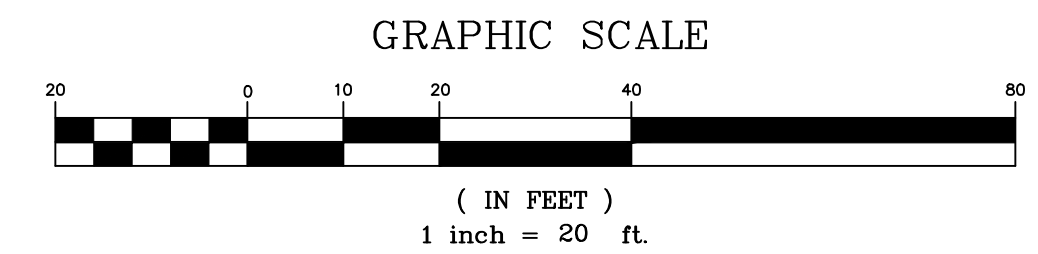
N/F
Leeron Associates LLC
171 West Road

N/F
Meadowview Plaza LLC
175 West Road

LEGEND

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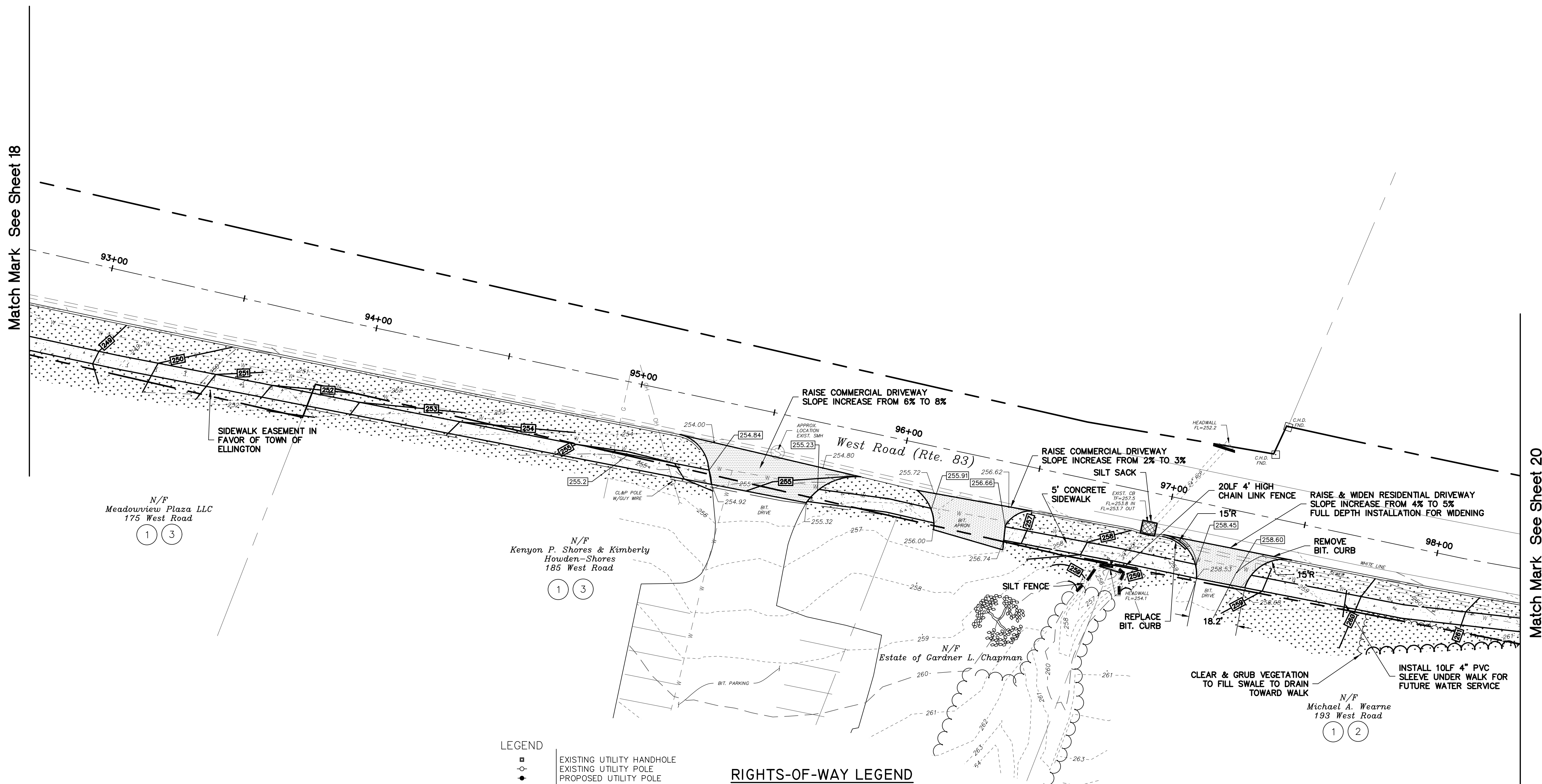


NO.	DATE	DESCRIPTION
1	10/18/22	Add street trees
2	3/29/23	70% submission
3	10/19/23	Remove bridge, add CBI, DMH2

REVISIONS
BY: LF/TAC CHK: JEU

Sidewalk Project
Prepared For
Ellington Department of Public Works
West Road
Ellington, Connecticut

Layout Plan
DATE 7-26-2021
SCALE 1"=20'
JOB NUMBER 2017-803
SHEET 17 of 23



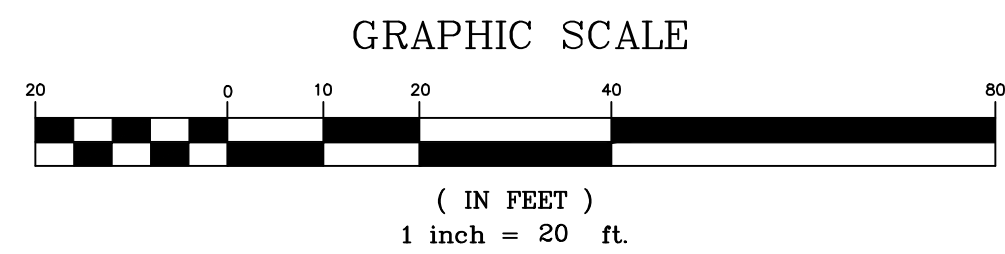
Match Mark See Sheet 18

Match Mark See Sheet 20

LEGEND

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NO.	DATE	DESCRIPTION

REVISIONS

BY: LF/TAC CHK: JEU

8/29/23 Show culvert, widen driveway, add sleeve
3/29/23 70% submission

Sidewalk Project
Prepared For
Ellington Department of Public Works
West Road
Ellington, Connecticut

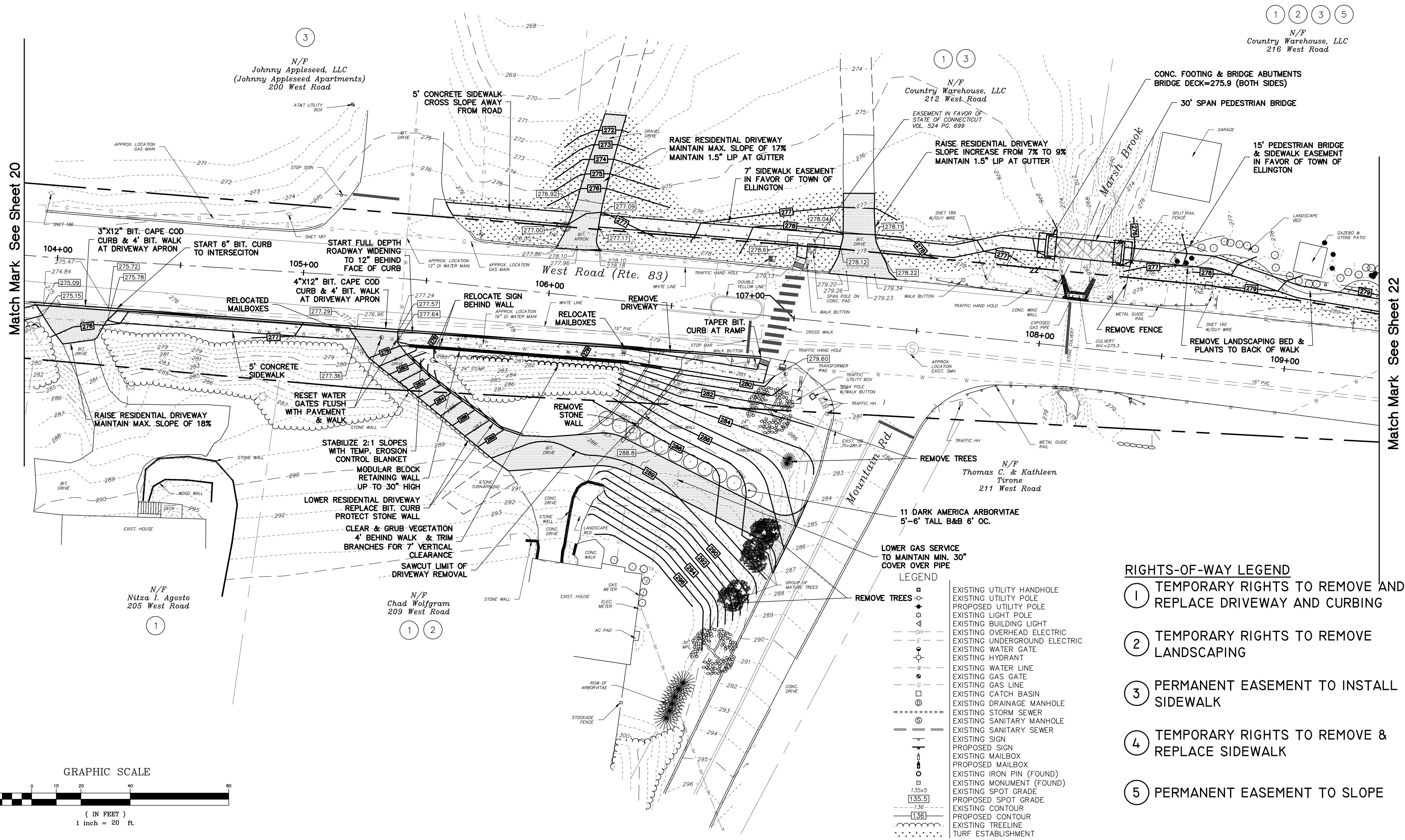
Layout Plan

DATE
7-26-2021

SCALE
1"=20'

JOB NUMBER
2017-803

SHEET
19 of 23



1 2 3 5
N/F
Country Warehouse, LLC
212 West Road

N/F
Johnny Appleseed, LLC
(Johnny Applesed Apartments)
200 West Road

1 3
N/F
Country Warehouse, LLC
212 West Road

CONC. FOOTING & BRIDGE ABUTMENTS
BRIDGE DECK=275.9 (BOTH SIDES)

30' SPAN PEDESTRIAN BRIDGE

15' PEDESTRIAN BRIDGE
SLOPE INCREASE FROM 7% TO 9%
MAINTAIN 1.5' LIP AT GUTTER

RAISE RESIDENTIAL DRIVEWAY
MAINTAIN MAX. SLOPE OF 17%
MAINTAIN 1.5" LIP AT GUTTER

RAISE RESIDENTIAL DRIVEWAY
SLOPE INCREASE FROM 7% TO 9%
MAINTAIN 1.5" LIP AT GUTTER

7' SIDEWALK EASEMENT
IN FAVOR OF TOWN OF
ELLINGTON

104+00
3"x12" BIT. CAPE COD
CURB & 4' BIT. WALK
AT DRIVEWAY APRON

START 6" BIT. CURB
TO INTERSECTION

START FULL DEPTH
ROADWAY WIDENING
TO 12" BEHIND
FACE OF CURB

105+00
4"x12" BIT. CAPE COD
CURB & 4' BIT. WALK
AT DRIVEWAY APRON

106+00
RELOCATE SIGN
BEHIND WALL

REMOVE DRIVEWAY

107+00
TAPER BIT.
CURB AT RAMP

108+00
REMOVE FENCE

109+00
REMOVE LANDSCAPING BED &
PLANTS TO BACK OF WALK

RAISE RESIDENTIAL DRIVEWAY
MAINTAIN MAX. SLOPE OF 18%

STABILIZE 2:1 SLOPES
WITH TEMP. EROSION
CONTROL BLANKET

MODULAR BLOCK
RETAINING WALL
UP TO 30" HIGH

LOWER RESIDENTIAL DRIVEWAY
REPLACE BIT. CURB
PROTECT STONE WALL

CLEAR & GRUB VEGETATION
4' BEHIND WALK & TRIM
BRANCHES FOR 7' VERTICAL
CLEARANCE

SAWCUT LIMIT OF
DRIVEWAY REMOVAL

REMOVE STONE
WALL

N/F
Thomas C. & Kathleen
Tirone
211 West Road

11 DARK AMERICA ARBORVITAE
5'-6" TALL B&B 6' OC.

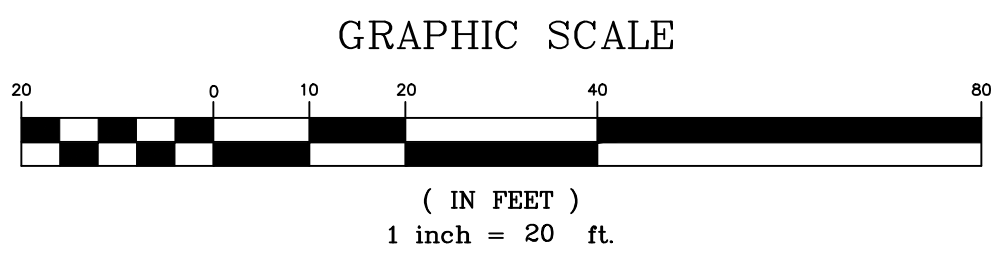
LOWER GAS SERVICE
TO MAINTAIN MIN. 30"
COVER OVER PIPE

LEGEND

REMOVE TREES	EXISTING UTILITY HANDHOLE
EXISTING UTILITY POLE	PROPOSED UTILITY POLE
EXISTING LIGHT POLE	EXISTING BUILDING LIGHT
EXISTING OVERHEAD ELECTRIC	EXISTING UNDERGROUND ELECTRIC
EXISTING WATER GATE	EXISTING HYDRANT
EXISTING WATER LINE	EXISTING GAS GATE
EXISTING GAS GATE	EXISTING GAS LINE
EXISTING CATCH BASIN	EXISTING DRAINAGE MANHOLE
EXISTING STORM SEWER	EXISTING SANITARY MANHOLE
EXISTING SANITARY SEWER	EXISTING SIGN
PROPOSED SIGN	EXISTING MAILBOX
PROPOSED MAILBOX	EXISTING IRON PIN (FOUND)
EXISTING MONUMENT (FOUND)	EXISTING SPOT GRADE
PROPOSED SPOT GRADE	EXISTING CONTOUR
PROPOSED CONTOUR	EXISTING TREELINE
TURF ESTABLISHMENT	

RIGHTS-OF-WAY LEGEND

- 1 TEMPORARY RIGHTS TO REMOVE AND REPLACE DRIVEWAY AND CURBING
- 2 TEMPORARY RIGHTS TO REMOVE LANDSCAPING
- 3 PERMANENT EASEMENT TO INSTALL SIDEWALK
- 4 TEMPORARY RIGHTS TO REMOVE & REPLACE SIDEWALK
- 5 PERMANENT EASEMENT TO SLOPE



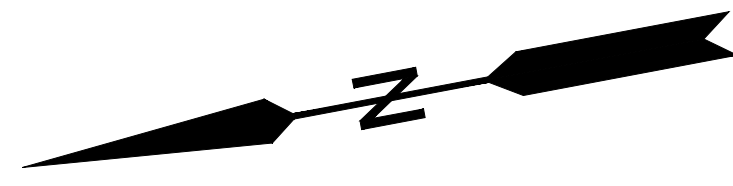
Match Mark See Sheet 20

Match Mark See Sheet 22

REVISIONS	
9/11/23	Add curbing, move 209 curbcut
5/25/23	D.O.T. TRAFFIC EASEMENT ADDED
3/29/23	70% submission

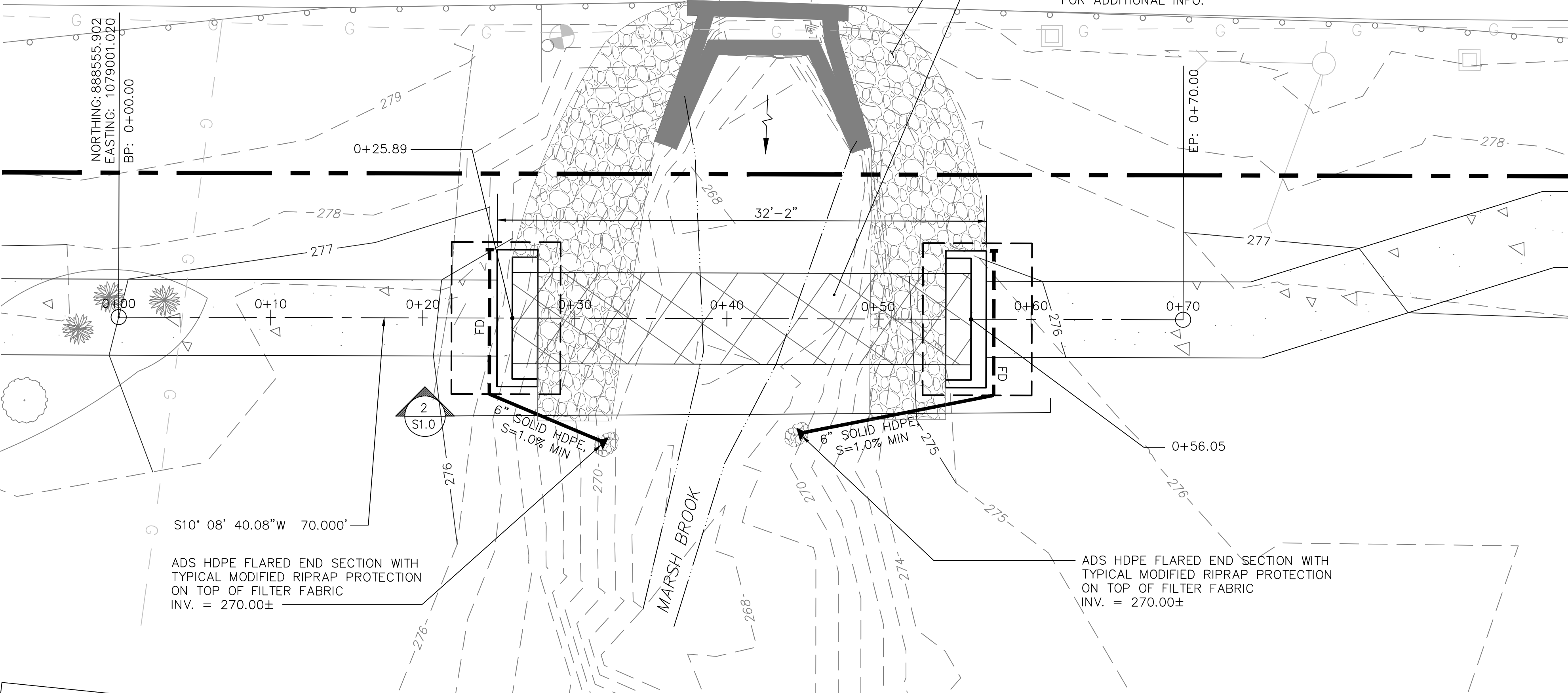
Sidewalk Project
Prepared For
Ellington Department of Public Works
West Road
Ellington, Connecticut

Layout Plan	
DATE	7-26-2021
SCALE	1"=20'
JOB NUMBER	2017-803
SHEET	21 of 23

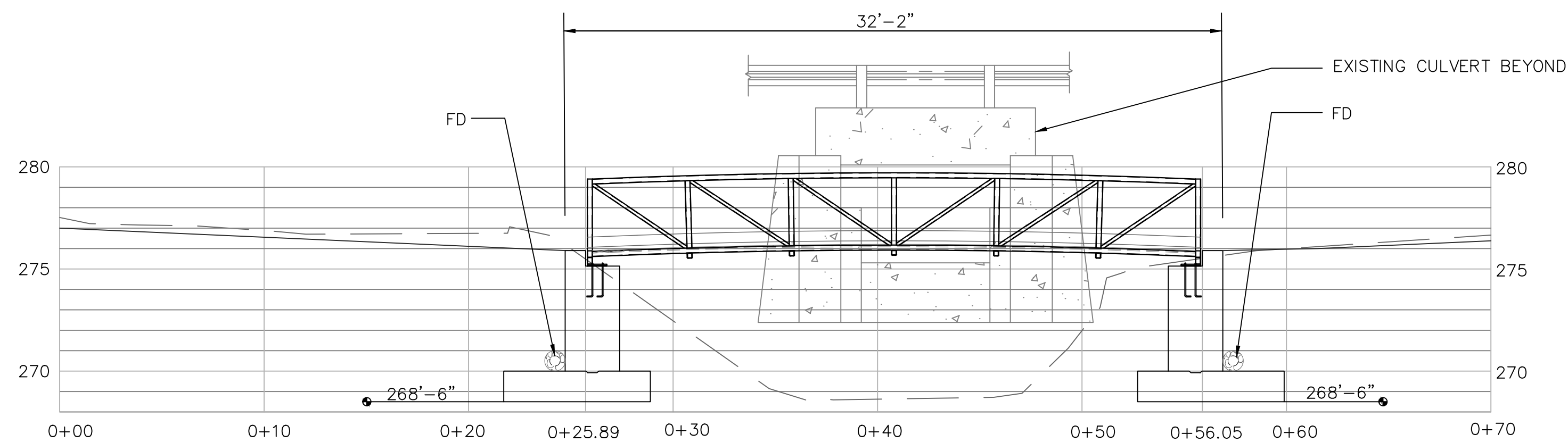


WEST ROAD (RTE. 83)

12" THICK MODIFIED RIPRAP PROTECTION ON GEOTEXTILE (TYP. BOTH SIDES).
 30'-0" SPAN PEDESTRIAN BRIDGE. REFER TO S2.0 AND S3.0 FOR ADDITIONAL INFO.



1 PLAN VIEW
 S1.0 SCALE: 1" = 5'-0"



2 SECTION
 S1.0 SCALE: 1" = 5'-0"

DESIGN DATA

CODES AND STANDARDS USED:

2018 CONNECTICUT BUILDING CODE
 2015 INTERNATIONAL BUILDING CODE
 AMERICAN CONCRETE INSTITUTE BUILDING CODE (ACI-318)
 AMERICAN INSTITUTE OF STEEL CONSTRUCTION "ALLOWABLE STRESS DESIGN" (AISC-14TH EDITION, ANSI/AISC 360-10)
 AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS 7TH EDITION
ALLOWABLE STRESSES:

ANGLES, & PLATES ASTM A36;
 REINFORCING STEEL - ASTM A-615, GRADE 60 & ASTM A-185 (EPOXY COATED)
 CONCRETE - f'_c AT 28 DAYS = 4,500 PSI WITH AIR FOR ALL FOOTINGS & WALLS
 GROUT - f'_c AT 28 DAYS = 5,000 PSI
 ALLOWABLE SOIL BEARING PRESSURES: 4,000 PSF (GEOTECHNICAL REPORT)

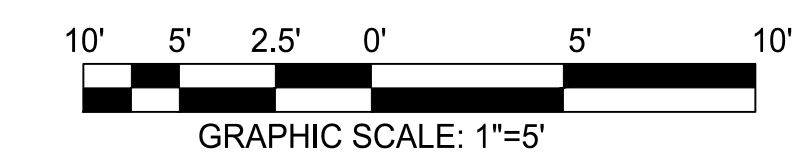
MINIMUM LIVE LOAD: REFER TO BRIDGE MANUFACTURER FOR ADDITIONAL INFO.

BRIDGE DESIGN WAS ONLY BASED ON COMBINATIONS OF THE FOLLOWING LOADS WHICH WILL PRODUCE MAXIMUM CRITICAL MEMBER STRESSES.

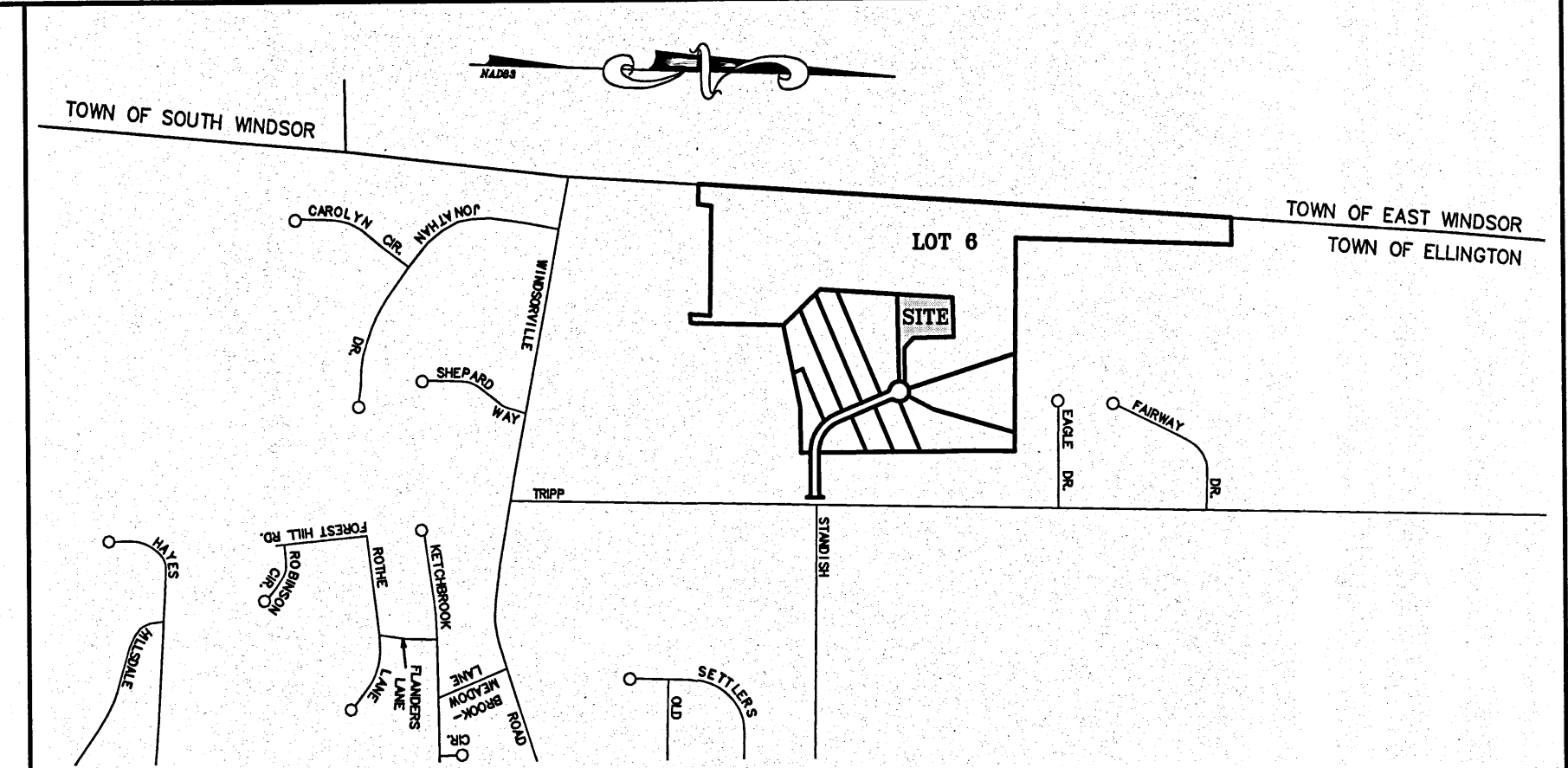
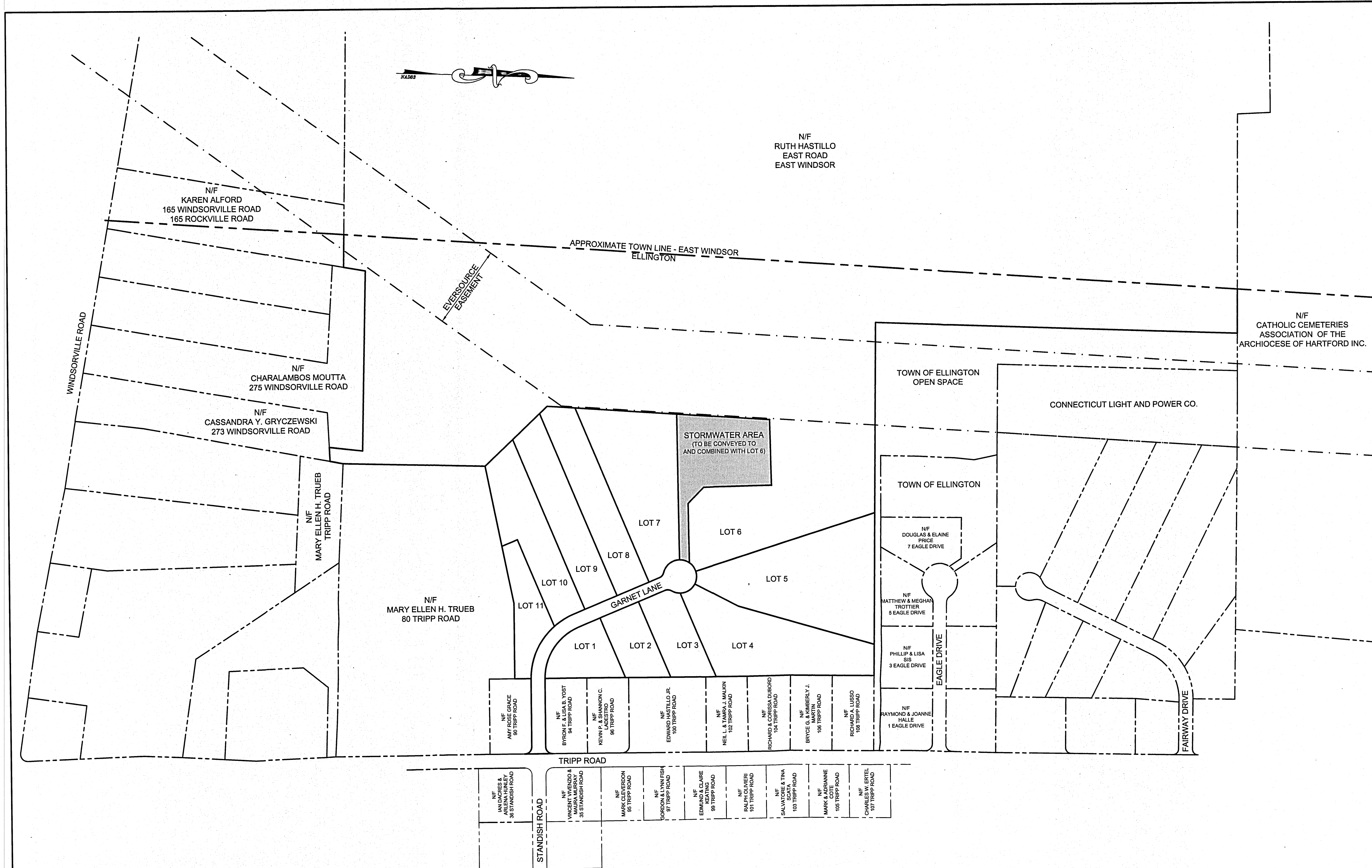
- 60 PSF UNIFORM LIVE LOADING ON THE FULL DECK AREA OR ONE 4,000 POUND VEHICLE LOAD. THE VEHICLE LOAD SHALL BE DISTRIBUTED AS A FOUR-WHEEL VEHICLE WITH 60% OF THE LOAD ON THE REAR WHEELS. THE WHEEL TRACK WIDTH OF THE VEHICLE SHALL BE 2'-8" AND THE WHEEL BASE SHALL BE 4'-0". THE VEHICLE SHALL BE POSITIONED SO AS TO PRODUCE THE MAXIMUM STRESS IN EACH MEMBER, INCLUDING DECKING.
- 25 PSF WIND LOAD ON THE FULL HEIGHT OF THE BRIDGE, AS IF ENCLOSED.
- 20 PSF UPWARD FORCE APPLIED AT THE WINDWARD QUARTER POINT OF THE TRANSVERSE BRIDGE WIDTH (AASHTO 3.15.3).

GENERAL NOTES

- A. FILL AND BACKFILL**
- ANY PLACED MATERIAL SHALL BE COMPACTED WITH A MECHANICAL VIBRATOR TO A MINIMUM OF 95% PROCTOR DENSITY AS DEFINED BY ASTM D1557.
 - SEE PLANS FOR GRAVEL FILL REQUIREMENTS.
 - NO WALLS ARE TO BE BACKFILLED UNTIL CONCRETE HAS BEEN IN PLACE A MINIMUM OF 7 DAYS UNLESS DIRECTED BY THE ENGINEER.
- B. CONCRETE**
- CONCRETE STRENGTH AT 28 DAYS SHALL BE AS INDICATED IN DESIGN DATA.
 - PROTECTIVE COVER, SPLICE LAP AND EMBEDMENT FOR REINFORCING STEEL SHALL BE PER ACI SPECIFICATION.
 - ALL DETAILING, FABRICATION AND ERECTION OF REINFORCING BARS MUST FOLLOW ACI 318-14.
 - REINFORCING STEEL SHALL BE ASTM A615, GRADE 60.
 - NO TACK WELDING OF REINFORCING WILL BE PERMITTED.
 - UNLESS NOTED OTHERWISE, ALL LAP SPLICES SHALL BE CLASS B, IN ACCORDANCE WITH ACI 318-14.
 - NO CALCIUM CHLORIDE OR ADMIXTURES CONTAINING CHLORIDES SHALL BE USED IN THE CONCRETE.
 - ALL HORIZONTAL STEEL SHOWN IN SECTIONS AND DETAILS SHALL BE CONTINUOUS, UNLESS OTHERWISE NOTED. ALL LAPS SHALL BE CLASS "B" SPLICES IN ACCORDANCE WITH ACI 318.
 - AT INTERSECTIONS OF REINFORCED CONCRETE WALLS, PROVIDE CORNER DOWELS OF SAME SIZE AND AT THE SAME SPACING AS THE SMALLER HORIZONTAL REINFORCING. DOWELS SHALL HAVE A CLASS B LAP WITH HORIZONTAL REINFORCING IN EACH DIRECTION. SEE DETAILS.
 - ALL KEYS IN CONCRETE WALLS SHALL BE 2X4 UNLESS NOTED OTHERWISE.
 - ALL CONCRETE TO REMAIN EXPOSED TO VIEW SHALL RECEIVE A SMOOTH RUBBED FINISH.
 - CONTRACTOR SHALL FOLLOW ACI REQUIREMENTS FOR ALL REINFORCING CLEARANCES
- C. FOOTINGS**
- ELEVATION OF BOTTOM OF FOOTINGS TO BE VERIFIED WITH FIELD CONDITIONS. ALL FOOTINGS SHALL BE PLACED A MINIMUM OF 4'-0" BELOW FINAL GRADES.
 - ALL FOOTINGS TO BEAR ON FIRM, UNDISTURBED SOIL HAVING A SAFE BEARING CAPACITY AS STATED IN THE DESIGN DATA.
 - "FD" INDICATES 6" PERFORATED HDPE DRAIN WRAPPED WITH 12" OF WASHED 3/4" CRUSHED STONE AND FILTER FABRIC.
- D. FOUNDATIONS** COORDINATE ALL WORK WITH GEOTECHNICAL REPORT
- BACKFILLING SHALL BE ACCOMPLISHED TO EQUAL HEIGHTS ON BOTH SIDES OF THE FOUNDATION WALLS TO PREVENT MOVEMENTS DUE TO UNBALANCED EARTH PRESSURE. WHERE EARTH IS ON ONE SIDE ONLY, BACKFILLING AND COMPACTION SHALL NOT START UNTIL ADEQUATE BRACING IS PROVIDED FOR WALL SUPPORT (EXCEPT AT RETAINING WALLS).
 - REMOVAL OF UNSUITABLE SUBSOILS SHALL BE COORDINATED WITH GEOTECHNICAL REPORT.
 - ALL CONTROLLED COMPACTED BACKFILL UNDER FOOTINGS AND WITHIN THE FOOTPRINT OF THE STRUCTURE SHALL BE COMPACTED TO 95% OF THE MODIFIED OPTIMUM DENSITY.
 - BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE AT LEAST 4'-0" BELOW FINISHED GRADE. PRIOR TO PROCEEDING WITH FOOTING EXCAVATION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF FINISH GRADES AND BOTTOM OF EXTERIOR FOOTING ELEVATIONS TO MAINTAIN THE 4'-0" FROST PROTECTION.
 - ALL SOIL SURROUNDING AND UNDER ALL FOOTINGS SHALL BE PROTECTED FROM FREEZING AND FROST ACTION DURING THE COURSE CONSTRUCTION.
 - WHERE SUBSURFACE PIPING PASSES THROUGH FOUNDATION WALLS, THE TOP OF THE FOOTINGS SHALL BE AT LEAST 8" BELOW THE INVERT ELEVATION OF THE PIPING AND CONDUITS COORDINATE ALL INVERTS WITH MECHANICAL, PLUMBING, FIRE PROTECTION, ELECTRICAL, SITE AND SITE UTILITY DRAWINGS.
 - KEEP FOUNDATION EXCAVATIONS FREE OF WATER AT ALL TIMES.
 - PLACEMENT OF ALL COMPACTED FILL MATERIALS MUST BE UNDER SUPERVISION OF AN APPROVED TESTING LABORATORY OR GEOTECHNICAL ENGINEER. CONCRETE FOUNDATIONS SHALL NOT BE PLACED UNTIL SUBGRADE HAS BEEN CHECKED IN PLACE AND APPROVED BY A TESTING LABORATORY OR GEOTECHNICAL ENGINEER.
 - EXISTING ON-SITE EXCAVATED MATERIALS SHALL NOT BE ACCEPTABLE BACKFILL MATERIAL FOR BACKFILLING OF FOUNDATION WALLS, OR WITHIN 2 FEET OF PAVEMENT GRADES UNLESS APPROVED BY THE GEOTECHNICAL ENGINEER
 - THE FOUNDATION DESIGN OF THE STRUCTURE HAS BEEN PREPARED BASED ON THE SOIL BORINGS, SOILS REPORT AND RECOMMENDATIONS PROVIDED BY THE GEOTECHNICAL ENGINEER, WELTI GEOTECHNICAL, P.C., DATED AUGUST 12, 2021. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE MATERIAL PRIOR TO PREPARING HIS BID TO ASSURE HE UNDERSTANDS THE SOIL CONDITIONS AND THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
 - THE FOUNDATION DESIGN OF THE STRUCTURE HAS BEEN PREPARED BASED ON THE SITE GRADING PLAN PREPARED BY J.R. RUSSO & ASSOCIATES, LLC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE DRAWINGS PRIOR TO PREPARING HIS BID TO ASSURE HE UNDERSTANDS THE SITE CONDITIONS AND THE REQUIREMENTS OF THE SITE ENGINEER.
 - NO WALLS ARE TO BE BACKFILLED FOR A MINIMUM OF 3 DAYS AFTER CONCRETE PLACEMENT UNLESS APPROVED BY THE ENGINEER.
- E. STRUCTURAL STEEL**
- ALL WELDING TO BE PERFORMED BY AWS CERTIFIED WELDERS AND IN ACCORDANCE WITH ALL AWS STANDARDS.
 - ALL WELDING TO BE PERFORMED USING E70-XX ELECTRODES.
 - THE STEEL ERECTOR IS RESPONSIBLE FOR SUPPLYING TEMPORARY BRACING AND GUYING OF STEEL FRAMING UNTIL ALL CONNECTIONS AND FLOORING HAVE BEEN COMPLETED.

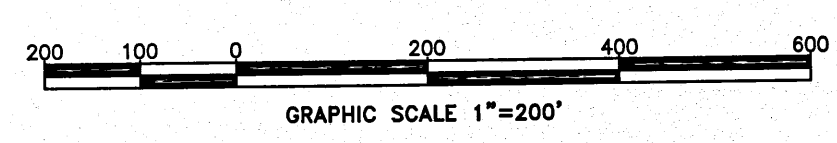


NORTHERN PEDESTRIAN BRIDGE FOUNDATION PLAN		Prepared For ELLINGTON DEPARTMENT OF PUBLIC WORKS	
REVISIONS		Date 10-01-21	
Mark	Date	Description	Scale AS NOTED
			Drawn By JWK
Project PEDESTRIAN BRIDGE FOR SIDEWALK PROJECT IN BETWEEN #171 AND #175 WEST STREET (CT ROUTE 83) ELLINGTON, CT		Approved MFP	
		Drawing No. S1.0	



KEY MAP - SCALE: 1" = 1,000'

- NOTES:
- THIS SURVEY AND MAP HAVE BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT". THIS IS A PROPERTY AND TOPOGRAPHIC SURVEY AND A RESURVEY OF THE PERIMETER BOUNDARY AND AN ORIGINAL SURVEY OF THE PROPOSED PROPERTY LINES CONFORMING TO HORIZONTAL ACCURACY CLASS A-2 AND TOPOGRAPHIC ACCURACY CLASS T-2.
 - THE PURPOSE OF THIS PLAN IS TO DEPICT PARCEL 023-001-0000 WHICH WILL BE CONVEYED AND COMBINED WITH APN 023-001-0015 (12 GARNET LANE).
 - BEARINGS AND ELEVATIONS DEPICTED ON THIS PLAN ARE BASED UPON THE 1983 NORTH AMERICAN DATUM (NAD 83/87) AND THE 1988 NORTH AMERICAN DATUM RESPECTIVELY AS PROVIDED BY GPS COORDINATES FROM J.R. RUSSO & ASSOCIATES.
 - TOPOGRAPHY DEPICTED ON THIS PLAN WAS FIELD VERIFIED BY GARDNER & PETERSON ASSOCIATES, LLC.
 - REFERENCE IS MADE TO THE FOLLOWING MAPS:
 - "FINAL APPROVAL COVER SHEET PREPARED FOR TYMAC HOLDINGS, LLC RIDGE CROSSING APN: 023-001-0000 TRIPP ROAD ELLINGTON CONNECTICUT GARDNER & PETERSON ASSOCIATES, LLC DATE: 12-01-2020 SHEETS 1-13 MAP NO. 10820 REVISIONS 01-21-2021 STAFF COMMENTS 03-26-2021 CWC COMMENTS 03-01-2022 FINAL APPROVAL"
 - "COMPLIATION PLAN MAP SHOWING EASEMENT AREA TO BE GRANTED TO THE CONNECTICUT LIGHT AND POWER COMPANY dba EVERSOURCE ENERGY ACROSS THE PROPERTIES OF TYMAC HOLDINGS, LLC WESLEY DRAKE SMITH & OLIVIA SMITH - #4 GARNET LANE RAYMOND & JOYCE KURKER - #7 GARNET LANE JASON & LISA LAFORTE - #9 GARNET LANE CRAIG WEBB - #12 GARNET LANE GARNET LANE ELLINGTON, CONNECTICUT FILE NO. E21013 GARDNER & PETERSON ASSOCIATES, LLC DATE 02-01-2021 SHEET NO. 1 OF 1 CL&P FILE E21013 MAP NO. 10820E REVISIONS 08-04-2022"
 - "IMPROVEMENT LOCATION SURVEY RECORD DRAWING PREPARED FOR TYMAC HOLDINGS, LLC RIDGE CROSSING STA 5+00 TO 15+00 GARNET LANE ELLINGTON, CONNECTICUT GARDNER & PETERSON ASSOCIATES, LLC SCALE: 1"=40' DATE 02-10-2022 SHEET NO. 2 OF 2 MAP NO. 10820AB REVISIONS 03-09-2022 STAFF COMMENTS 09-27-2023 MONUMENTS SET 11-13-2023"
 - THIS PARCEL IS LOCATED IN THE RURAL AGRICULTURAL RESIDENCE (RAR) ZONE.
 - WETLANDS DEPICTED ON THIS PARCEL WERE DELINEATED BY RICHARD ZULICK R.S.S.
 - UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING AND OTHER DATA SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES, GOVERNMENTAL AGENCIES AND/OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO GARDNER & PETERSON ASSOCIATES, LLC. THE EXISTENCE, SIZE AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.
 - THE OPEN SPACE CONTRIBUTION FOR THIS PARCEL HAS BEEN SATISFIED PER WARRANTY DEED RECORDED IN THE TOWN OF ELLINGTON VOLUME 242, PAGE 571.
 - THIS PARCEL IS MOSTLY LOCATED IN FLOOD HAZARD ZONE "X" (AREA DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN) PER FIRM FLOOD INSURANCE RATE MAP TOWN OF ELLINGTON, CONNECTICUT, TOLLAND COUNTY, COMMUNITY-PANEL NUMBER 090158 005 C, MAP REVISED FEBRUARY 5, 1997. A PORTION OF THE PROPERTY IS LOCATED IN ZONE AE.



LEGEND

—	PROPERTY LINE
- - -	ABUTTING PARCEL
- · - · -	EXISTING EASEMENT
- - - - -	APPROXIMATE TOWN LINE

OWNER-APN 023-001-0000
 TYMAC HOLDINGS, LLC
 PO BOX 439
 ELLINGTON CT , CT 06029

OWNER/APPLICANT-LOT 6
 CRAIG WEBB
 12 GARNET LANE
 ELLINGTON, CT 06029

APPROVED BY THE TOWN PLANNING AND ZONING COMMISSION OF THE TOWN OF ELLINGTON ON THIS _____ DAY OF _____ 20____ IN ACCORDANCE WITH SECTION 8-26c OF THE CONNECTICUT GENERAL STATUTES, ALL WORK IN CONNECTION WITH THE SUBDIVISION MUST BE COMPLETED BY _____ 20____.

SECRETARY _____ CHAIRMAN _____

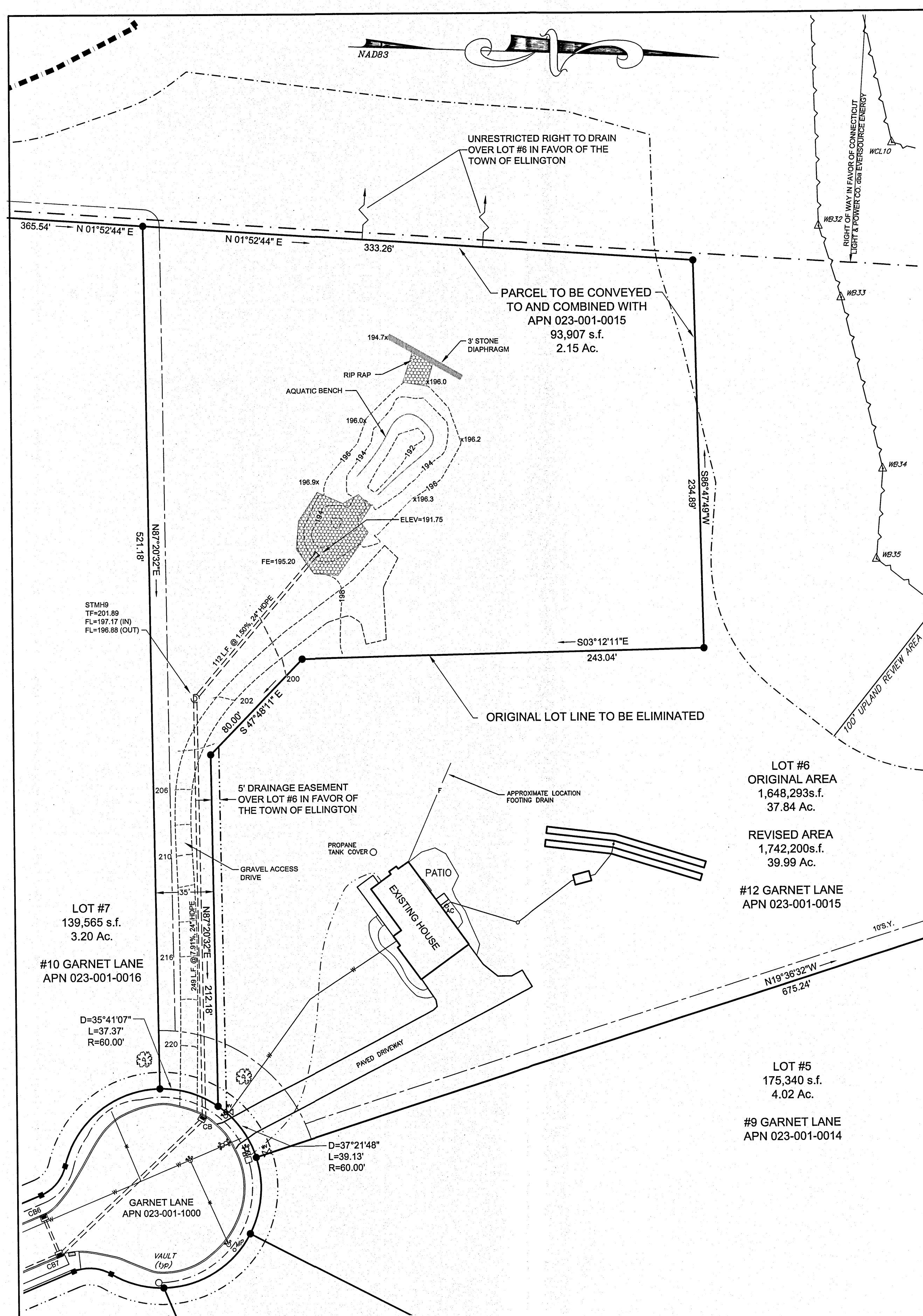
I, _____, CLERK OF THE TOWN OF ELLINGTON, DECLARE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

[Signature]
 _____ PETERSON
 LICENSE NO. _____ REGISTRATION NO. 23430

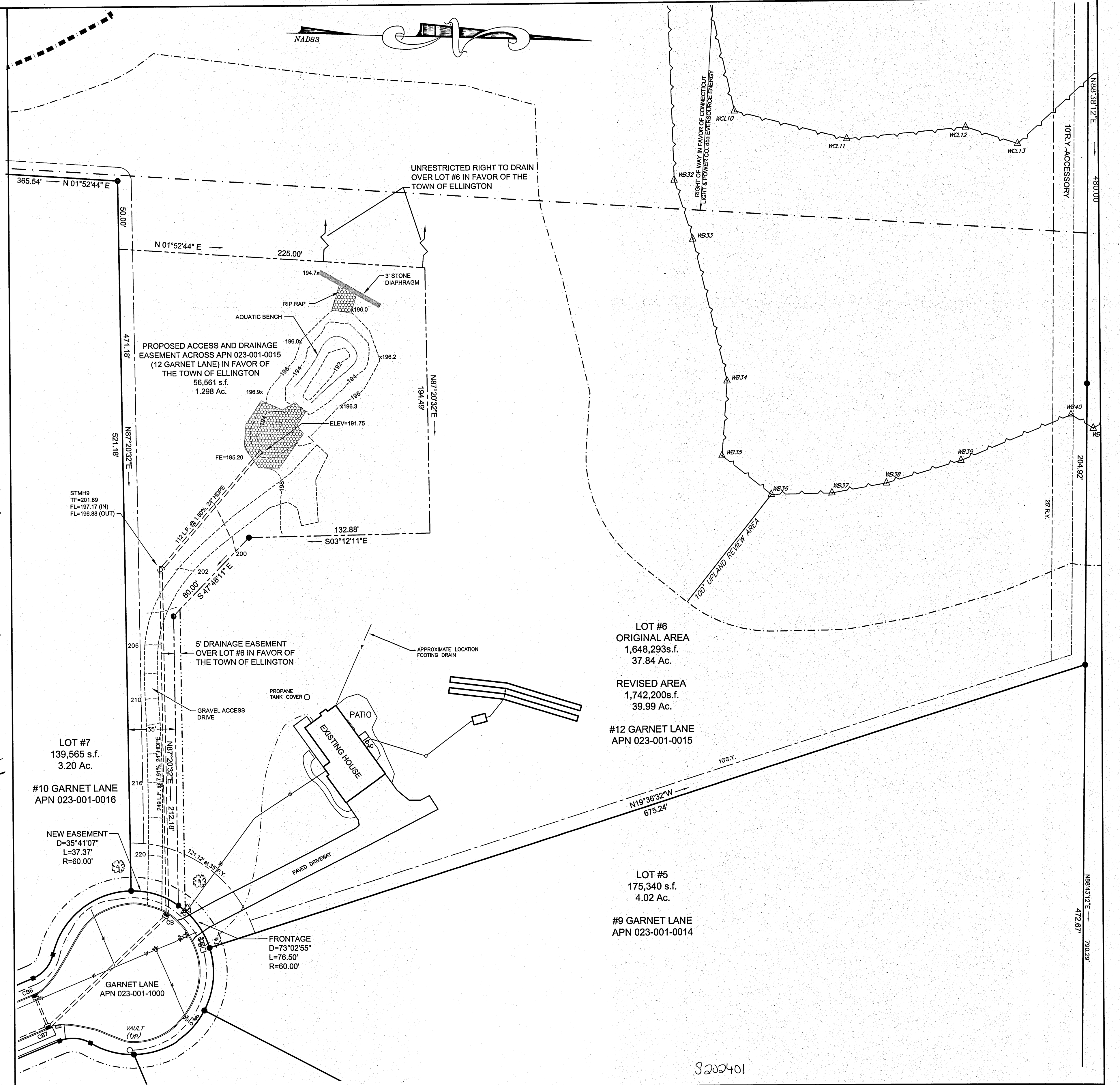
SHEET INDEX	TITLE	SCALE	DESCRIPTION
1	COVER SHEET	1"=200'	PLAN OVERVIEW
2	BOUNDARY PLAN	1"=40'	APN 023-001-0000 & LOT 6
3	BOUNDARY PLAN	1"=50'	LOT 6
4	BOUNDARY PLAN	1"=50'	LOT 6

32024d

RECEIVED JAN 08 2024 TOWN OF ELLINGTON PLANNING DEPARTMENT		FINAL APPROVAL COVER SHEET PREPARED FOR CRAIG WEBB RESUBDIVISION - RIDGE CROSSING APN: 023-001-0000 & 023-001-0015 (LOT 6) GARNET LANE ELLINGTON, CONNECTICUT GARDNER & PETERSON ASSOCIATES, LLC 178 HARTFORD TURNPIKE TOLLAND, CONNECTICUT	
REVISIONS		PROFESSIONAL ENGINEERS	LAND SURVEYORS
BY	SCALE	DATE	SHEET NO. MAP NO.
M.A.P.	1"=200'	12-28-2023	1 OF 4 10820-6R

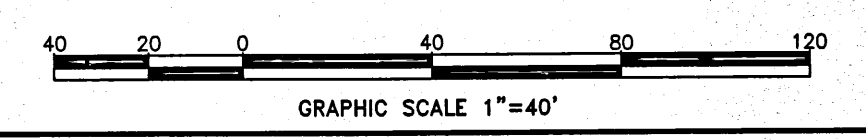


EXISTING LAYOUT



PROPOSED LAYOUT

- LEGEND**
- PROPERTY LINE
 - - - EXISTING CL&P EASEMENT
 - REBAR SET
 - - - EXISTING EASEMENT
 - - - PROPOSED EASEMENT
 - STREET TREES
 - METER PIT
 - - - PROPOSED ZONING SETBACK—PRINCIPAL STRUCTURE
 - - - PROPOSED ZONING SETBACK—ACCESSORY STRUCTURE
 - △ WETLAND BOUNDARY
 - FLOOD ZONE
 - STONEWALL



SEE SHEET 1 FOR NOTES AND CERTIFICATIONS
 I HEREBY DECLARE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Eric R. Peterson
 ERIC R. PETERSON
 L.S. 23430
 REGISTRATION NO.

RECEIVED JAN 08 2023		BOUNDARY PLAN PREPARED FOR CRAIG WEBB RESUBDIVISION - RIDGE CROSSING APN: 023-001-0000 & 023-001-0015 (LOT 6) GARNET LANE ELLINGTON, CONNECTICUT GARDNER & PETERSON ASSOCIATES, LLC 178 HARTFORD TURNPIKE TOLLAND, CONNECTICUT PROFESSIONAL ENGINEERS LAND SURVEYORS			
REVISIONS					
BY	SCALE	DATE	SHEET NO.	MAP NO.	
M.A.P.	1"=40'	12-28-2023	2 OF 4	10820-6R	



STATE OF CONNECTICUT – COUNTY OF TOLLAND
INCORPORATED 1786

TOWN OF ELLINGTON

55 MAIN STREET – PO BOX 187
ELLINGTON, CONNECTICUT 06029-0187
www.ellington-ct.gov

TEL. (860) 870-3120 TOWN PLANNER'S OFFICE FAX (860) 870-3122

INLAND WETLANDS AGENCY REGULAR MEETING MINUTES MONDAY, DECEMBER 11, 2023, 7:00 P.M.

IN PERSON ATTENDANCE: TOWN HALL ANNEX, 57 MAIN STREET
REMOTE ATTENDANCE: ZOOM MEETING
(ATTENDEES BELOW WERE IN PERSON UNLESS OTHERWISE NOTED)

PRESENT: Chairman Jean Burns, Vice Chairman Katherine Heminway, Regular members Ken Braga, Steve Hoffman, Ron Brown and Alternate Ryan Orszulak

ABSENT: Regular members Art Aube and Hocine Baouche, and Alternate Jon Kaczmarek

STAFF

PRESENT: John Colonese, Assistant Town Planner/Wetland Enforcement Officer and Barbra Galovich, Land Use Assistant/Recording Clerk

I. CALL TO ORDER: Chairman Jean Burns called the Ellington Inland Wetlands Agency meeting to order at 7:00 pm.

II. PUBLIC COMMENTS (on non-agenda items): None

III. PUBLIC HEARINGS: None

IV. OLD BUSINESS: None

V. NEW BUSINESS:

1. IW202319 – Charles Schaub, owner/John Clarke, applicant, request to accept notification of a timber harvest permitted as of right at 45 Crane Road, APN 069-001-0000.

John Clarke, 24 St. Mary's Drive, Jefferson, MA 01522, CT Licensed Forester, was present via Zoom to represent the application.

John Clarke stated there will be timber harvest activity within the upland review areas on the property. The wetlands are mostly along Crane Road as well as near Abbott Road. John said the edges of the work area have been marked so there will not be any timber harvesting or crossings within wetlands on the property.

Chairman Burns asked when the timber harvest would start, John Clarke responded he was not sure on the start date. Commissioner Heminway asked if the harvest would be from Crane Road across the entire property to Abbott Road. John Clarke stated the plan is to harvest most of the parcel, noting they will not harvest near Crane Road due to the wetlands and agricultural fields. They plan to leave a 20' to 30' buffer along the properties on Abbott Road and Zimmerman Way.

Commissioner Hoffman asked who will be completing the timber harvest. John Clarke stated J.D. McKinney Logging from Warren, MA will be conducting the activity. Commissioner Heminway asked if the access to the parcel would be from Crane Road, John Clarke confirmed the access will be from Crane Road.

Commissioner Hoffman asked if the logging operation around the wetland areas can be monitored. John Colonese said he can work with the forester to confirm the harvest plan is followed. John Colonese asked if a construction entrance will be installed. John Clarke said they would install a tracking pad if necessary. John Clarke added that the harvest plan is established, and the wetland areas have been marked out with blue paint.

MOVED (BRAGA) SECONDED (HOFFMAN) AND PASSED UNANIMOUSLY TO ACCEPT IW202319 – Charles Schaub, owner/John Clarke, applicant, request to accept notification of a timber harvest permitted as of right at 45 Crane Road, APN 069-001-0000.

2. IW202320 – Town of Ellington, owner/applicant, request for a permit to conduct regulated activity to construct a sidewalk and associated improvements along Route 83 (West Road) from the Vernon town line to Main Street.

John Colonese stated there are multiple areas along West Road that are regulated by the Agency for the installation of the sidewalks. John briefly reviewed an area requiring filling along a possible watercourse and existing detention basin and another requiring a footbridge over a brook. The Agency decided to hold a public hearing on the application for those areas where the activity may be determined to have a significant impact.

MOVED (BRAGA) SECONDED (HEMINWAY) AND PASSED UNANIMOUSLY TO RECEIVE AND SCHEDULE A PUBLIC HEARING ON JANUARY 22, 2024, 7PM, TOWN HALL ANNEX, 57 MAIN STREET, ELLINGTON, AND ZOOM VIDEO CONFERENCING FOR IW202320 – Town of Ellington, owner/applicant, request for a permit to conduct regulated activity to construct a sidewalk and associated improvements along Route 83 (West Road) from the Vernon town line to Main Street.

VI. ADMINISTRATIVE BUSINESS:

1. Approval of the November 13, 2023, Regular Meeting Minutes.

MOVED (BRAGA) SECONDED (HEMINWAY) AND PASSED UNANIMOUSLY TO APPROVE NOVEMBER 13, 2023, REGULAR MEETING MINUTES AS WRITTEN.

2. Correspondence/Discussion:
 - a. Town of Ellington Crystal Lake Beach Maintenance

John Colonese stated the Public Works Department intends to increase the height of the earthen berm along the northern edge of the parking area at Crystal Lake Beach and add riprap stone to an area to help with erosion issues. John noted the town is working with a consultant to create a master plan for the beach, which among other potential improvements, will make recommendations on drainage. The current maintenance is just a temporary drainage improvement until a master plan is finalized.

VII. ADJOURNMENT:

**MOVED (BRAGA) SECONDED (HEMINWAY) AND PASSED UNANIMOUSLY TO ADJOURN
DECEMBER 11, 2023, REGULAR MEETING OF THE INLAND WETLANDS AGENCY AT 7:26
PM.**

Respectfully submitted,

Barbra Galovich, Recording Clerk

Connecticut Association of Wetland Scientists

ANNUAL MEETING

[CLICK HERE TO REGISTER](#)

2024 CAWS ANNUAL MEETING

Thursday, March 7, 2024

8:00 AM - 4:00 PM

The Heritage Hotel Golf, Spa & Conference Center
522 Heritage Road, Southbury, CT 06488

2024 Annual Meeting Highlights

Topics will include:

- **Project Spotlight: Strong Pond Dam Removed! Collaboration Restores Aquatic Connectivity in the Norwalk River**
Alex Krofta (Save the Sound), Michael Chelminski (Stantec)
- **Project Spotlight: A Special Wetland, Eversource Energy's Atlantic White Cedar Mitigation Project — The 1st Year**
Melissa Kaplan, PWS (BSC Group)
- **Town of Fairfield Vernal Pool Mapping**
Timothy Bishop (Town of Fairfield Conservation Department)
- Presentation from the Connecticut Department of Energy and Environmental Protection
- Presentation from the U.S. Fish & Wildlife Service
- Presentation from the Connecticut Siting Council
- **2024 Connecticut In-lieu Fee Program Update**
Anthony Zemba (LandTech)
- 2023 LeFor and Mehrhoff Grant Recipients Reports

Plus: grant awards, CAWS happenings, and an exhibitor hall featuring displays by product and service suppliers and conservation organizations. CEUs (TBA) and Certificates of Completion will be provided.

Cost is \$75 for members and \$100 for non-members (students \$50.00 with ID!) and includes continental breakfast and lunch!

Register [online here](#).

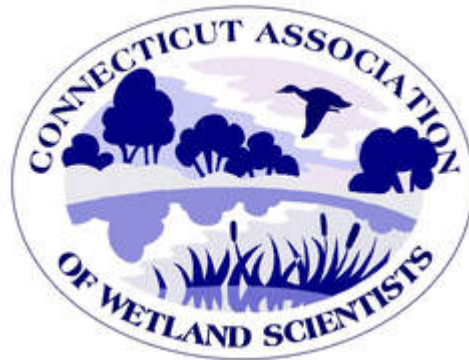
Join CAWS today and pay the member rate! Learn more about CAWS membership.

Exhibitors and sponsors welcome! Make an impression on those involved in the study and management of wetlands and other

Connecticut Association of Wetland Scientists

Opportunities! Sponsors will be recognized on content throughout the program. Please reach out in info@ctwetlands.org if you are interested.

If you are interested in helping with developing this year's or future Annual Meetings, please reach out to wetlands@ctwetlands.org



CONNECTICUT ASSOCIATION OF WETLAND SCIENTISTS