



T M P A R C H I T E C T U R E I N C
1191 WEST SQUARE LAKE ROAD · BLOOMFIELD HILLS · MICHIGAN · 48302
PH · 248.338.4561 FX · 248.338.0223 EM · INFO@TMP-ARCHITECTURE.COM

JENKINS EARLY CHILDHOOD CENTER ROOF UPGRADES

DEXTER COMMUNITY SCHOOLS

DEXTER, MICHIGAN 48130
PROJECT NUMBER 22076H
CONSTRUCTION DOCUMENTS-BID PACK #8

CONSULTANTS:
MECHANICAL ENGINEER

LIST OF DRAWINGS

GENERAL INFORMATION

TS.1	COVER SHEET
TG.1	GENERAL INFORMATION

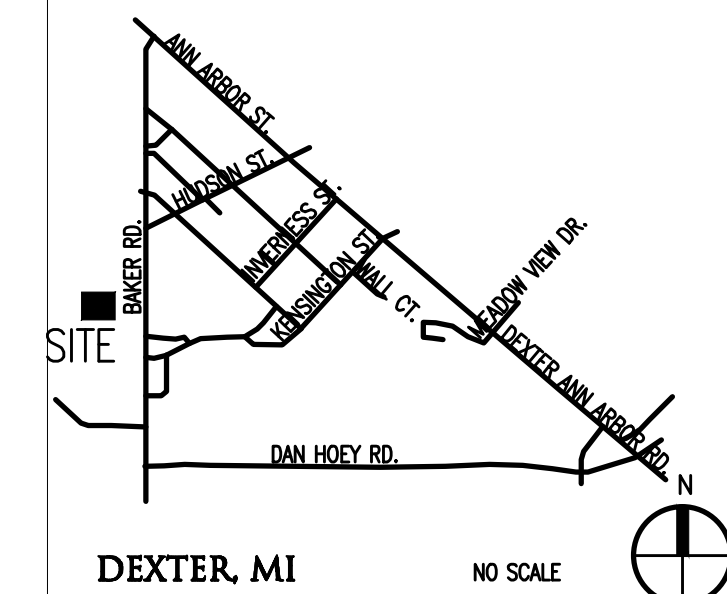
ARCHITECTURAL -----
A1.2 ROOF PLAN
A4.1 ROOF DETAILS

MECHANICAL

ELECTRICAL _____

TECHNOLOGY.....

PROJECT DATA:
LOCATION MAP



BUILDING: _____
EXISTING BUILDING AREA = 12,463 SQ. FT.

CODE:

GOVERNING CODES:

- 2016 SCHOOL FIRE SAFETY RULES
(2012 Life Safety Code, plus amendments)
- 2015 MICHIGAN BUILDING CODE
- 2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS
- 2015 MICHIGAN PLUMBING CODE
- 2015 MICHIGAN MECHANICAL CODE
- 2015 MICHIGAN UNDERGROUND ENERGY CODE
(ANSI/APSES Standard 2013)
- 2014 MICHIGAN ELECTRICAL RULES (2014 NEC, plus Part 8 Rules)
- 2010 MICHIGAN ELEVATOR RULES
(ASME A17.1-2010, ASME A18-1-2011)
- MICHIGAN BARRIER FREE CODE
(Michigan Building Code 2015 and ICC A117.1-2009)
- 2013 MICHIGAN UNIFORM CODE RULES
(ASME Boiler and Pressure Vessel Code, 2010 edition, plus 11a addenda)

(National Board Inspection Code [NBIC], 2011 edition)

CONSTRUCTION CLASSIFICATION : TYPE II (000) (NFA)
TYPE II B (MBC)

USE GROUP CLASSIFICATION : "E" EDUCATION

07-31-2023	CONSTRUCTION DOCUMENTS
06-30-2023	OWNER REVIEW
DATE	ISSUED FOR:

LICENSEE'S STATEMENT:

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REGISTRATION SEALS

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PROJECT TITLE

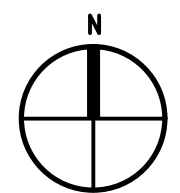
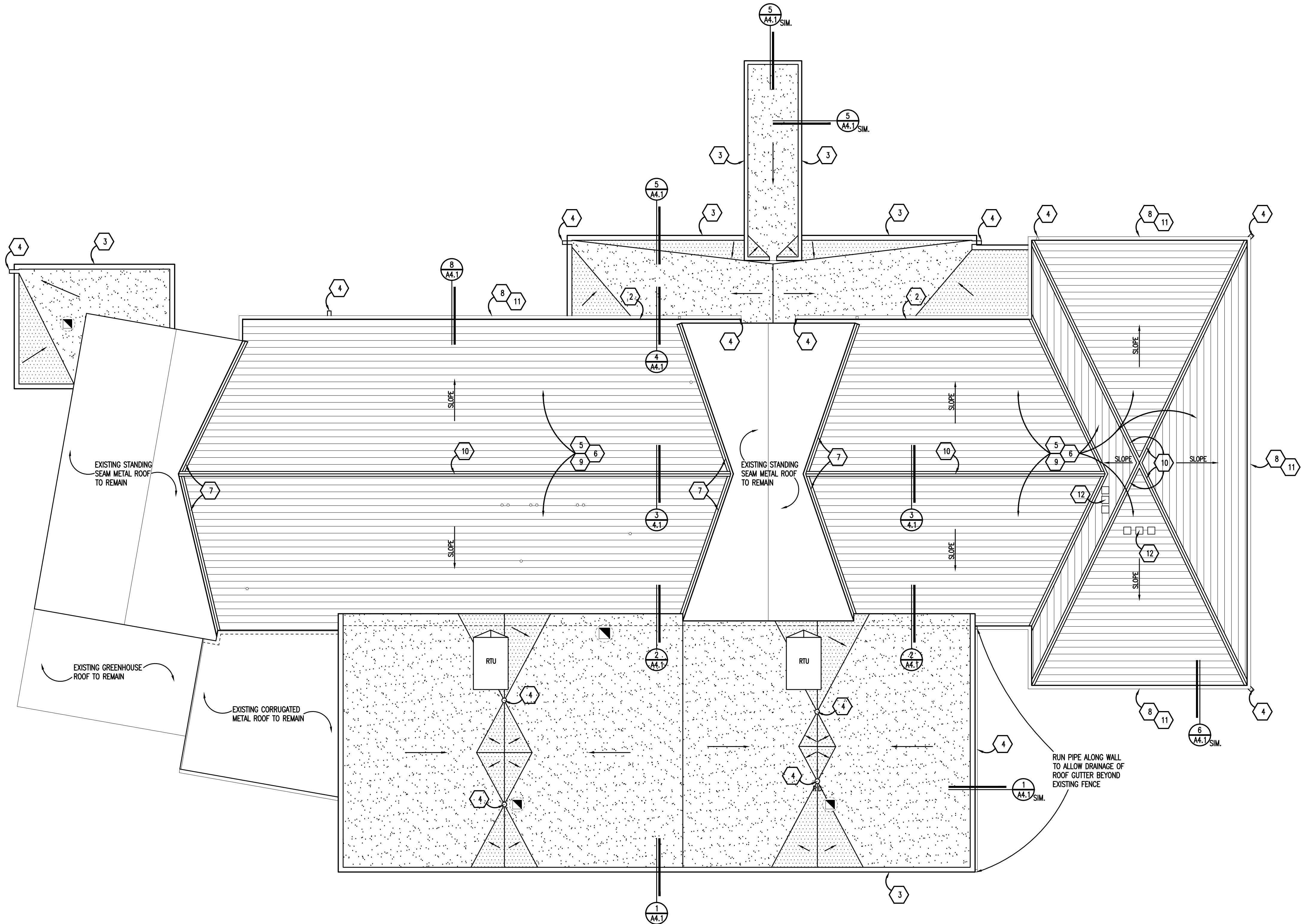
**Jenkins ECC
Roof Upgrades**

PROJECT NO.

22076H

DRAWING NO.

TS.1



ROOF PLAN
SCALE: 1/8" = 1'-0"

ROOF PLAN LEGEND

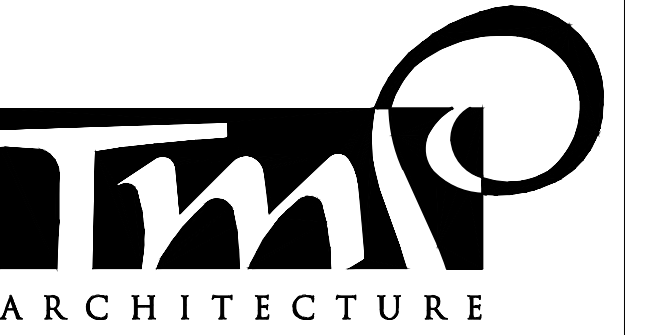
- R.D. EXISTING ROOF DRAIN
- ⊕ EF/2/H EXISTING EXHAUST FAN/INTAKE HOOD
- EXISTING RELIEF VENT
- EXISTING VENT PIPE
- RTU EXISTING ROOF TOP MECHANICAL UNIT
- ⊗ EXISTING SKYLIGHT
- NEW ROOF MEMBRANE ON HIGH DENSITY COVER BOARD ON EXIST. INSULATION SADDLE ON UNIFORM (NON-TAPERED) INSULATION.
- NEW ROOF MEMBRANE ON HIGH DENSITY COVER BOARD ON EXIST. TAPERED INSULATION ON UNIFORM (NON-TAPERED) INSULATION.
- INDICATES PITCH OF ROOF SURFACE TOWARD DRAINS (TAPERED INSULATION OR SADDLES)
- INDICATES SLOPE OF ROOF DECK AND SUPPORTING STEEL (ROOF SURFACE ALSO IF NOT OTHERWISE INDICATED)

KEYNOTES

- NOT USED.
- PROVIDE NEW STEPPED BASE FLASHING AT WALL ADJACENT TO ROOF, RETURN COUNTER FLASHING TO ORIGINAL POSITION AND PROVIDE SEALANT AT SEAMS.
- PROVIDE NEW METAL ROOF EDGE AT ROOF PARAPET, COLOR TO MATCH EXISTING.
- PROVIDE NEW SCUPPER, ROOF DRAIN SCREEN, OR DOWNSPOUT, SIZE TO MATCH EXISTING.
- REMOVE EXISTING SHINGLES, RIDGE VENTS, INVERTER FLASHINGS AND ROOFING FELT UNDERLAYMENT COMPLETE DOWN TO EXISTING PLYWOOD SHEATHING.
- VISUALLY INSPECT AND REPLACE DETERIORATED/DAMAGED SHEATHING.
- LIFT EXISTING METAL VALLEY / REMOVE EX. BASE FLASHING AND SEALANT ADJACENT TO ROOF, PREP FOR NEW FLASHING/SEALANT.
- REMOVE AND REPLACE DETERIORATED LOOSE ALUMINUM FASCIA WRAP AND WOOD FASCIA BOARD AS NECESSARY, PREP TO RECEIVE NEW FINISH.
- PROVIDE NEW ASPHALT SHINGLES OVER NEW SELF-ADHERING ROLLED UNDERLAYMENT.
- PROVIDE NEW CONT. RIDGE VENT AND CAP SHINGLES.
- PROVIDE NEW ALUMINUM GUTTER TO MATCH EXISTING.
- PROVIDE NEW ROOF VENTS TO MATCH EXISTING SIZE. COORDINATE COLOR WITH ROOF SHINGLE.

ROOF PLAN NOTES

- CONTRACTOR SHALL COORDINATE WITH OWNER CONSTRUCTION LIMITS, SITE PARKING, AND ON-SITE STORAGE/STAGING AREAS PRIOR TO START OF WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR IN-FIELD DIMENSIONS AND CONDITIONS. CONTRACTOR SHALL VISIT SITE AND VERIFY EXISTING CONDITIONS PRIOR TO BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF ALL ITEMS INDICATED "REMOVE" OFF-SITE IN A LEGAL MANNER. OWNER'S TRASH DUMPSTER SHALL NOT BE USED FOR DISPOSAL OF ANY MATERIALS, TRASH, ETC.
- CONTRACTOR SHALL CLEAN SITE OF ALL DEBRIS AT THE END OF EACH WORK DAY. MATERIALS SHALL NOT REMAIN IN LOCATIONS THAT HINDER ACCESS TO THE SITE DURING CONSTRUCTION, AS THE BUILDING AND SITE WILL BE OCCUPIED DURING CONSTRUCTION.
- CONTRACTOR SHALL KEEP ALL WORK AREAS CLEAN, BROOMED AND DUST-FREE.
- CONTRACTORS SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, ETC. IN-FIELD. DIMENSIONS FOLLOWED BY "4" SHOULD BE REVIEWED, AND ALL NECESSARY ADJUSTMENTS MADE, PRIOR TO FABRICATION AND/OR INSTALLATION OF AFFECTED WORK. NOTIFY ARCHITECT'S REPRESENTATIVE IF DISCREPANCIES ARRIVE BEFORE PROCEEDING WITH WORK.
- CONTRACTOR SHALL PROVIDE MAGNETIC CLEANUP OF ALL AREAS ON GRADE USED FOR COLLECTION AREAS OF DEMOLITION MATERIALS AS REQUIRED TO REMOVE LOOSE NAILS.
- CONTRACTOR SHALL SIZE GUTTERS, SCUPPERS, AND DOWNSPOUTS AS NEEDED IF EXISTING TO BE MATCHED ARE INADEQUATE FOR PROPER DRAINAGE, V.I.F.
- WHERE WOOD NAILERS ARE SHOWN IN PLANE OF ROOF INSULATION, CUT NAILERS AS REQUIRED TO MATCH INSULATION THICKNESS.
- TYPICAL ROOF IS FLEXIBLE SHEET ROOFING ON RIGID INSULATION ON METAL DECK (TAPERED INSULATION AT SADDLES AND ELSEWHERE WHERE INDICATED).
- TAPERED INSULATION SADDLES/CRICKETS SHALL BE 1/2" PER FOOT MIN.



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REGISTRATION SEAL

CONSULTANT

PROJECT TITLE

**Jenkins Early
Childhood Center
Roof Upgrades**

**Dexter Community
Schools**

DRAWING TITLE
Roof Plan

ISSUE DATES

DATE	ISSUED FOR:
07-31-2023	CONSTRUCTION DOCUMENTS
06-30-2023	OWNER REVIEW
DRAWN	ASH
CHECKED	...
APPROVED	...

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DRAWING NO.

A1.2



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DRAWING TITLE
Roof Details

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A4.1

