

ROOFING AND HVAC PLANNING STUDY

at Chimacum School District

studio Meng Strazzara

October 11, 2023

SUBJECT BUILDINGS:

CHIMACUM CREEK PRIMARY

CHIMACUM ELEMENTARY

CHIMACUM JUNIOR-SENIOR HIGH



CHIMACUM
SCHOOL DISTRICT



studio **MENG**
STRAZZARA



Roofing and HVAC Replacement Planning For the Primary and Main Campuses

Introduction

The Chimacum School District (CSD) is proactive in its facility management endeavors to identify and plan for not only programmatic changes, but also its continued maintenance. The purpose of this planning study is focused on the latter, more specifically the Heating, Ventilation and Air Conditioning (HVAC) systems employed at both the Main and Primary campuses as well as the membrane roofing conditions around the associated rooftop units at the Main Campus. CSD engaged Studio Meng Strazzara to aid in the development of a strategy for addressing the update of its HVAC equipment over the next few years.

Planning Resources

Below is a list and description of the (3) main resources utilized in this study:

1. **Record Drawings.** Drawing Sets of the existing conditions provided the Design Team with locational and routing information about HVAC systems as well as the composition of associated architectural building assemblies.
2. **Site Visits.** Design Team investigated the HVAC systems at both campuses to confirm accuracy of the Record Drawings and to get first hand knowledge of the existing HVAC conditions.
3. **Facility Condition Assessments.** MENG Analysis has been engaged by CSD on two occasions, 2017 and 2021, to update the district-wide Facility Condition Assessment (FCA). FCA is a structured process, typically performed by a multi-disciplinary team of architects, engineers, construction, and cost specialists, focused on documenting the conditions of site infrastructure and building systems. See the Appendix for the full FCA report from 2021, which includes both campuses.

Photos of Existing Conditions

As part of the process, the Design Team walked the Chimacum Creek Primary (CCP) and Main campuses to investigate the existing HVAC and roofing conditions. See the Appendix for photo documentation of that exercise. Photos are organized by both the building (Primary, Elementary, Junior-Senior High) and the Zones identified in the Key Plans.

Study Organization

While the most efficient and cost-effective approach would be replacement of HVAC equipment and roofing in one all-encompassing package, that is not financially practical for CSD. HVAC and roofing scopes are extensive and costs are in the millions for this venture. As such, the study has been

organized by zones of development among the subject buildings involved in order to facilitate a Phased approach for implementation. Following is how the Zones are distributed:

- Chimacum Primary Building is broken into 4 areas, Zones 1-4.
- Elementary School Building is broken into 2 areas, Zones A1 and A2.
- Junior-Senior High School Building is broken into 8 areas, Zones B-J. Zone E is further broken into E1, E2, and E3 as these are distinct areas within the main Zone.

Following the narrative are Key Plans identifying the established Zones at both the Primary and Main campuses.

General Approach to Roofing Replacement

The current 2018 Washington State Energy Code (Commercial Provisions) requires that the R-value* for roof assemblies be either R-49 batt insulation in attic spaces or a continuous layer of R-38 entirely above the structural deck of the roof.

- Batt insulation is a 'puffy' blanket type material. While it is offered in forms of wool and even natural cotton, the most popular batt insulation is fiberglass for its affordability. Due to the depth and delicate nature of batt insulation, it is typically installed between wall studs, floor joists, and/or roof rafters for structural support. The required R-49 batt insulation at the roof level is about 14" in depth.
- Rigid insulation, as the name suggests, is a highly dense product that takes the form of a continuous foam board and offers the highest R-value per inch of commonly used insulations. It can structurally be walked upon, making it an ideal insulation for use on flat roof conditions. The required R-38 above a roof deck would require about 7 inches of depth (based on polyisocyanurate (polyiso) rigid insulation, which provides an R-value of about 5.8 per inch).

*R-value is a method used to measure how much resistance a material has to heat flow. The higher the R-value, the more the resistance and the better the material is at insulating a facility.

Below is a summary of each Zone, including a brief description of the existing conditions and a proposed strategy for improvements. Where applicable, focus of the scope is on HVAC modifications, upgrades, and/or replacement as well as architectural replacement of roofing at 'flat' roof conditions.

Chimacum Creek Primary

ZONE 1: Fenced Mechanical Yard of Condensing Units

1. HVAC

a. Existing:

- i. The fenced yard houses 4 outdoor heat pumps that serve the indoor fan coil units located in the attic. The heat pumps are over 20 years old and have exceeded their expected service life of 15 years.

b. Proposed:

- i. Replace the 4 outdoor heat pumps, corresponding indoor fan coil units, and refrigerant piping with new. The existing refrigerant piping is routed in the wall. New refrigerant piping should be routed up the building wall into the attic and enclosed with lineset covers and painted to match the building. Provide new DDC controls for each new unit.

ZONE 2: Fenced Mechanical Yard of Condensing Units

1. HVAC

a. Existing:

- i. The fenced yard houses 5 outdoor heat pumps that serve the indoor fan coil units located in the attic. The heat pumps are over 20 years old and have exceeded their expected service life of 15 years.

b. Proposed:

- i. Replace the 5 outdoor heat pumps, corresponding indoor fan coil units, and refrigerant piping with new. The existing refrigerant piping is routed in the wall. New refrigerant piping should be routed up the building wall into the attic and enclosed with lineset covers and painted to match the building. Provide new DDC controls for each new unit.

ZONE 3: Fenced Mechanical Yard of Condensing Units

1. HVAC

a. Existing:

- i. The fenced yard houses 7 outdoor heat pumps that serve the indoor fan coil units located in the attic. The heat pumps are over 20 years old and have exceeded their expected service life of 15 years.

b. Proposed:

- i. Replace the 7 outdoor heat pumps, corresponding indoor fan coil units, and refrigerant piping with new. The existing refrigerant piping is routed in the wall. New refrigerant piping should be routed up the building wall into the attic and enclosed

with lineset covers and painted to match the building. Provide new DDC controls for each new unit.

ZONE 4: Fenced Mechanical Yard of Condensing Units

1. HVAC

a. Existing:

- i. The fenced yard houses 7 outdoor heat pumps that serve the indoor fan coil units located in the attic. The heat pumps are over 20 years old and have exceeded their expected service life of 15 years.

b. Proposed:

- i. Replace the 7 outdoor heat pumps, corresponding indoor fan coil units, and refrigerant piping with new. The existing refrigerant piping is routed in the wall. New refrigerant piping should be routed up the building wall into the attic and enclosed with lineset covers and painted to match the building. Provide new DDC controls for each new unit.

Main Campus – Elementary School Building

ZONE A: (A1) - Rooftop Condensing Units, Interior Boiler, Interior Air Handling Units, Single-ply Membrane Roofing

1. HVAC

a. Existing:

- i. The existing HVAC systems utilizes an interior boiler that serves hot water to 22 interior air handling units located in the attic for the majority of the spaces in the 400, 500, and 600 wings. 6 Packaged rooftop heat pumps which are rusty and past their service life are located on the roof to serve the 400 west wing.

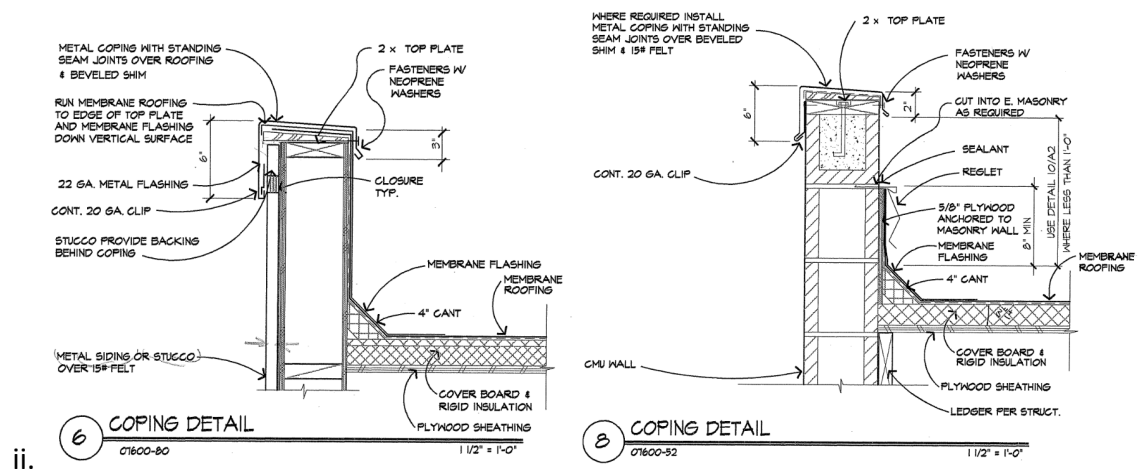
b. Proposed:

- i. The interior hydronic fan coil units should be replaced with new along with new controls, hydronic control valves, economizer dampers, and accessories. The packaged rooftop heat pumps should all be replaced. The 3 roof hoods should also be replaced with the roofing.

2. Roofing

a. Existing

- i. Membrane roofing over 3" rigid insulation and coped parapet conditions.



ii. b. Proposed

- i. Demolish existing: roofing membrane system; cover board; cant strips; parapet coping.
Provide new: 4" additional polyiso rigid insulation atop existing insulation; build up (heighten) parapets and equipment curbs as required to accommodate added rigid insulation; 1/2" cover board; membrane roofing system; structural support as required for new HVAC equipment.

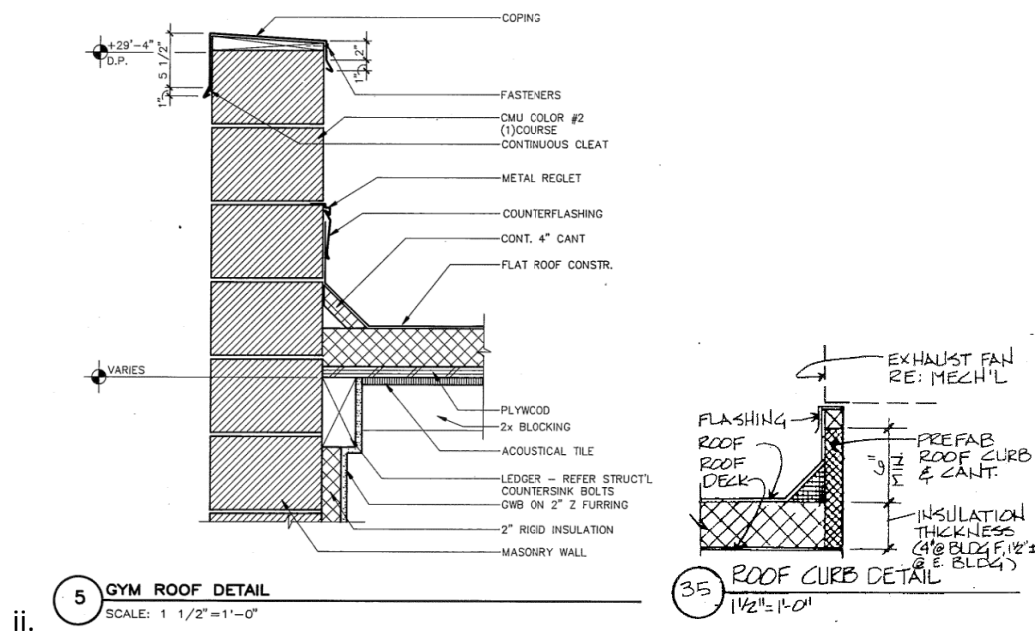
ZONE A: (A2) - Single-ply Membrane Roofing

1. HVAC (Not Applicable)

2. Roofing

a. Existing

- i. Membrane roofing over 4" rigid insulation and coped parapet conditions.



b. Proposed

- i. Demolish existing: roofing membrane system; cover board; cant strips; parapet coping.
Provide new: 3" additional polyiso rigid insulation atop existing insulation; build up (heighten) parapets and equipment curbs as required to accommodate added rigid insulation; ½" cover board; membrane roofing system.

Main Campus – Junior-Senior High School Building

ZONE B: Packaged Rooftop HVAC Units, Single-ply Membrane Roofing

1. HVAC

a. Existing:

- i. The roof houses 8 packaged rooftop heat pumps. 7 of them are old and rusty and have outlived their expected service life. 1 unit has been previously replaced

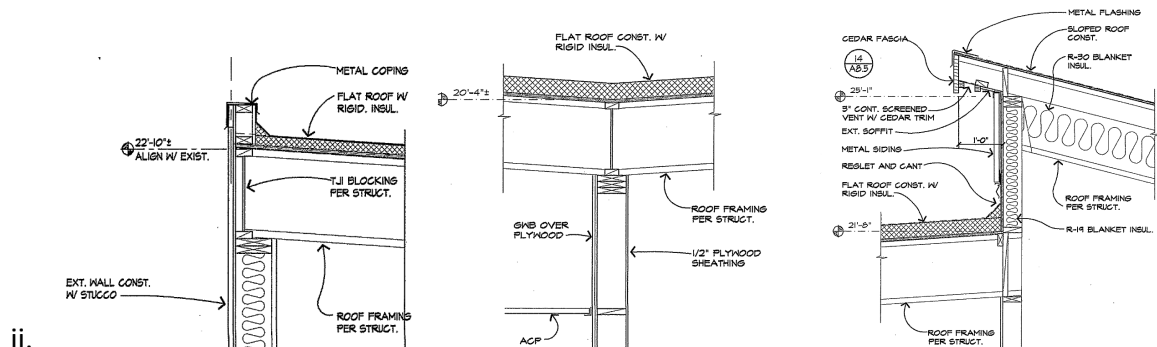
b. Proposed:

- i. Replace 7 packaged rooftop heat pumps. Provide new DDC controls for each new unit.

2. Roofing

a. Existing

- i. Membrane roofing over 2" rigid insulation and parapet conditions.



ii.

b. Proposed

- i. Demolish existing: roofing membrane system; cover board; cant strips; parapet coping.
Provide new: 5" additional polyiso rigid insulation atop existing insulation; build up (heighten) parapets and equipment curbs as required to accommodate added rigid insulation; ½" cover board; membrane roofing system; structural support as required for new HVAC equipment.

ZONE C: Single-ply Membrane Roofing

1. HVAC

a. Existing:

- i. An old electric resistance fan coil unit is located in the space. This unit provides heating only and the space is not equipped with cooling.

b. Proposed:

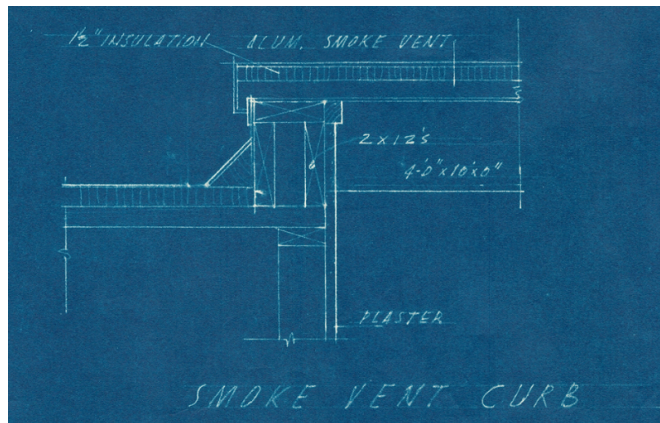
- i. Replace the existing heating only unit with a heat pump with heating and cooling.
Provide a DOAS (dedicated outside air system) with energy recovery to provide

ventilation to the space. The DOAS is code required as part of upgrading to cooling and will provide significant energy savings. Provide new DDC controls and CO2 sensors to monitor space conditions. Provide HVLS (high volume low speed fans) to destratify and distribute the air.

2. Roofing

a. Existing

- i. Membrane roofing over 2" rigid insulation. 2" rigid insulation assumed from drawing detail.



ii.

b. Proposed

- i. Demolish existing: roofing membrane system; cover board; cant strips; parapet coping. Provide new: 5" additional polyiso rigid insulation atop existing insulation; build up (heighten) parapets and equipment curbs as required to accommodate added rigid insulation; 1/2" cover board; membrane roofing system.

ZONE D: Single-ply Membrane Roofing

1. HVAC

a. Existing:

- i. An old electric resistance fan coil unit is located in the space. This unit provides heating only and the space is not equipped with cooling.

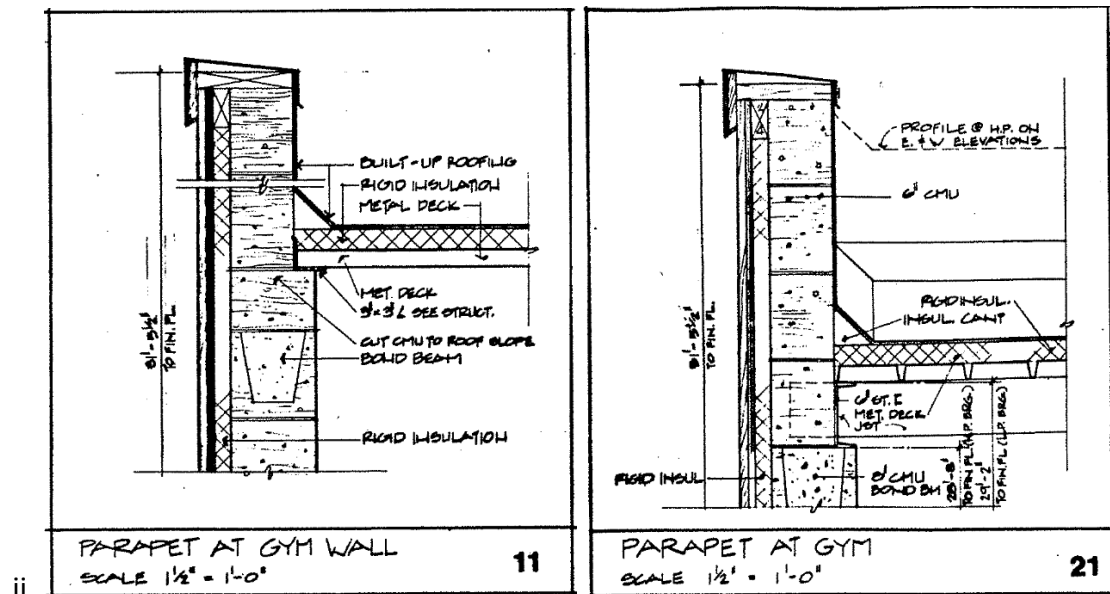
b. Proposed:

- i. Replace the existing heating only unit with a heat pump with heating and cooling. Provide a DOAS (dedicated outside air system) with energy recovery to provide ventilation to the space. The DOAS is code required as part of upgrading to cooling and will provide significant energy savings. Provide new DDC controls and CO2 sensors to monitor space conditions. Provide HVLS (high volume low speed fans) to destratify and distribute the air.

2. Roofing

a. Existing

- i. Membrane roofing over 2" rigid insulation. 2" rigid insulation assumed from drawing detail.



b. Proposed

- i. Demolish existing: roofing membrane system; cover board; cant strips; parapet coping.
Provide new: 5" additional polyiso rigid insulation atop existing insulation; build up (heighten) parapets and equipment curbs as required to accommodate added rigid insulation; 1/2" cover board; membrane roofing system.

ZONE E: (E1) Packaged Rooftop HVAC Units, Exhaust Fans, Conduit Runs, Single-ply Membrane Roofing

1. HVAC

a. Existing:

- i. The roof houses 6 packaged rooftop heat pumps. 5 of them are old and rusty and have outlived their expected service life. 1 unit has been previously replaced. The roof also holds 5 rooftop hood and 2 exhaust fans.

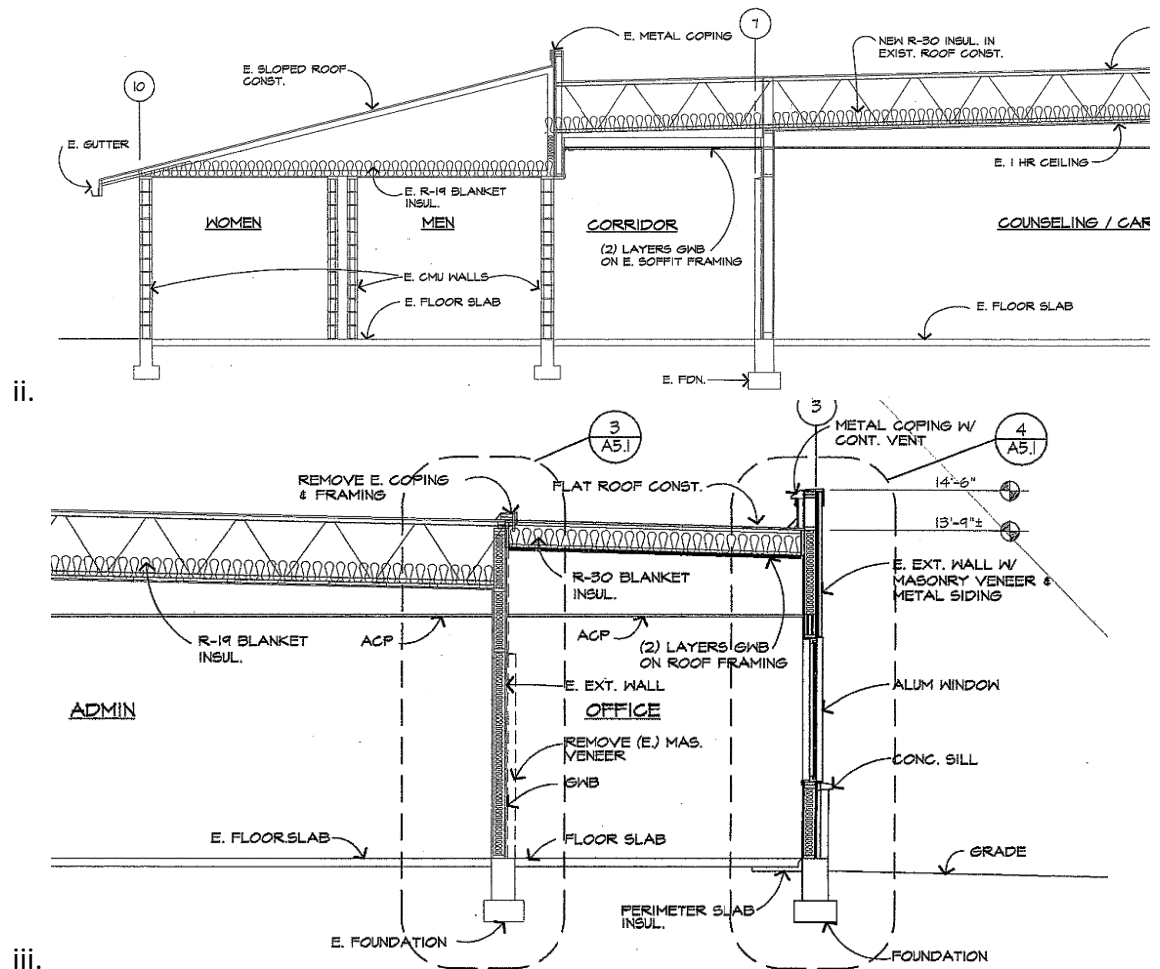
b. Proposed:

- i. Replace 5 packaged rooftop heat pumps. Provide new DDC controls for each new unit. The rooftop exhaust fans and hoods should be replaced as part of the reroofing project. New DDC controls should be provided for the exhaust fans.

2. Roofing

a. Existing

- i. From the record drawings, the areas of Zone E1 utilize the roof joists to provide either R-19 or R-30 batt insulation. Examples are shown in ii and iii below. Areas of the building prior to the '1999 Modernization and Additions' are shown with 6" batt insulation located within the joist cavity, just above the ceiling. For purposes of this study, we have assumed 6" to be comparable to batt insulation for 2x6 studs, equivalent to R-19. Areas involved in the 1999 Modernization and Additions are shown as upgraded R-30 batt insulation. Further investigation will be required to determine the extent of each.



b. Proposed

- i. Demolish existing: roofing membrane system; cover board; cant strips; parapet coping. Provide new: 7" polyiso rigid insulation atop existing decking; build up (heighten) parapets and equipment curbs as required to accommodate added rigid insulation; ½" cover board; membrane roofing system; structural support as required for new HVAC equipment.

ZONE E: (E2) Packaged Rooftop HVAC Units, Exhaust Fans, Conduit Runs, Single-ply Membrane Roofing

1. HVAC

a. Existing:

- i. The roof houses 1 packaged rooftop heat pump. The packaged rooftop heat pump is old and rusty and has outlived its expected service life. 2 roof hoods are also located on the roof.

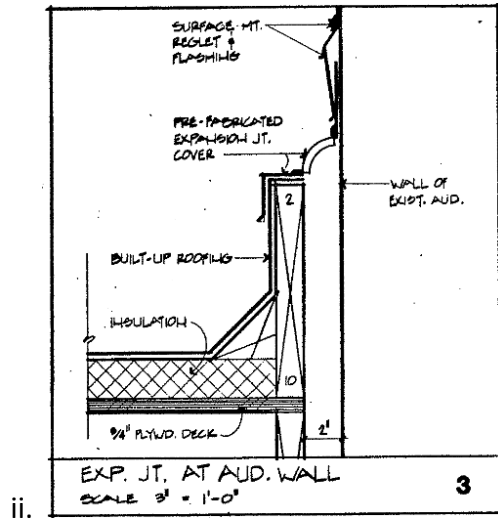
b. Proposed:

- i. Replace 1 packaged rooftop heat pump. Provide new DDC controls for the unit. The 2 rooftop hoods and curbs should be replaced as part of the reroofing project.

2. Roofing

a. Existing

- i. Assembly is membrane roofing over 3" rigid insulation. Detail in 'ii' below.



b. Proposed

- i. Demolish existing: roofing membrane system; cover board; cant strips; parapet coping. Provide new: 4" additional polyiso rigid insulation atop existing rigid insulation; build up (heighten) parapets and equipment curbs as required to accommodate added rigid insulation; 1/2" cover board; membrane roofing system; structural support as required for new HVAC equipment.

ZONE E: (E3) Packaged Rooftop HVAC Units, Exhaust Fans, Single-ply Membrane Roofing

1. HVAC

a. Existing:

- i. The roof houses 1 packaged rooftop heat pump. The packaged rooftop heat pump is old and rusty and has outlived its expected service life. 1 penthouse hood exhaust fan is also located on the roof and should be replaced.

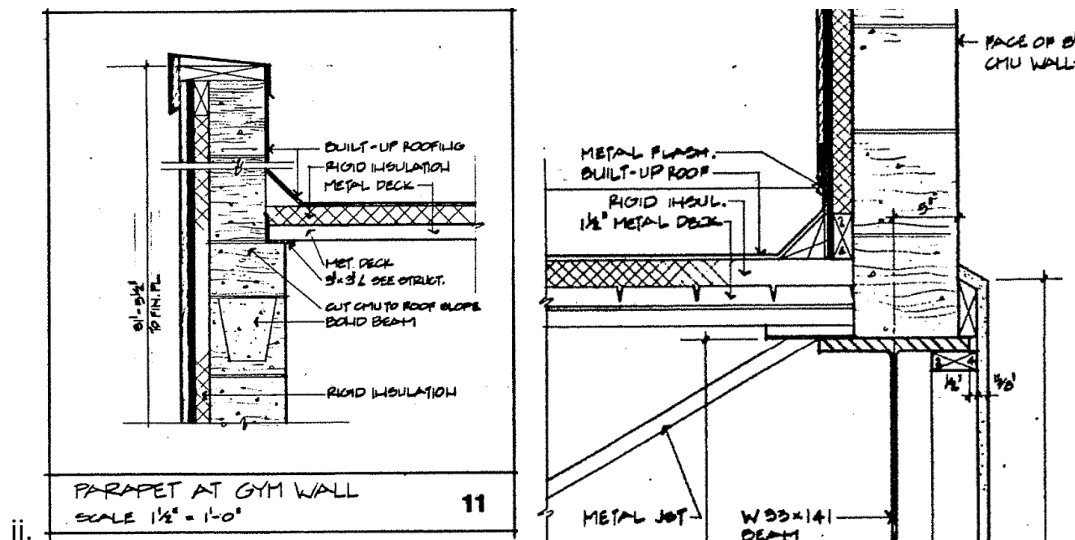
b. Proposed:

- i. Replace 1 packaged rooftop heat pump. Provide new DDC controls for the unit. Replace the rooftop penthouse fan with new and provide new DDC controls.

2. Roofing

a. Existing

- i. Assembly is membrane roofing over 3" rigid insulation. Details in 'ii' below.



b. Proposed

- i. Demolish existing: roofing membrane system; cover board; cant strips; parapet coping. Provide new: 4" additional polyiso rigid insulation atop existing rigid insulation; build up (heighten) parapets and equipment curbs as required to accommodate added rigid insulation; 1/2" cover board; membrane roofing system; structural support as required for new HVAC equipment.

ZONE F: Split-system Condensing Units, Rooftop Structure for Air Handling Units, Conduit Runs, Single-Membrane Roofing

1. HVAC

a. Existing:

- i. The roof houses a prebuilt mechanical room housing 7 electric furnaces with heat pump coils piped to the mechanical room exterior. These units are relatively new and in great shape. One ductless mini split system is currently located on the roof on sleepers and in good shape. 3 packaged rooftop heatpumps are also located on the roof.

b. Proposed:

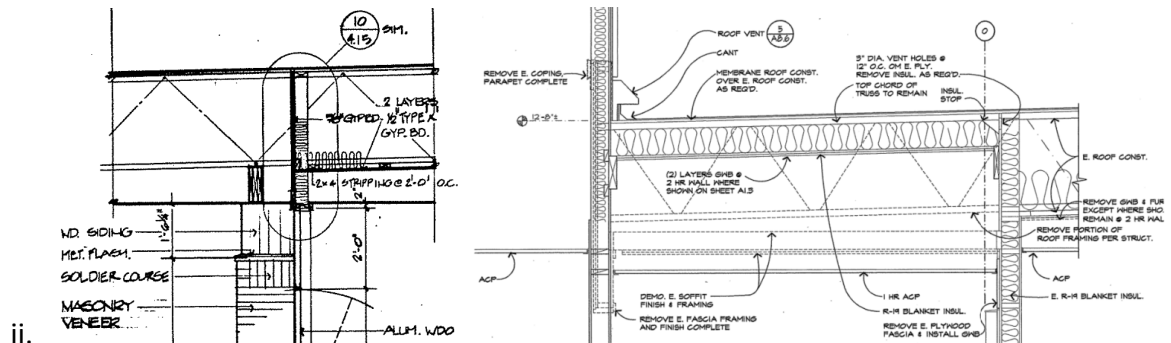
- i. Replace the previously removed outdoor heat pumps with new and connect to the existing electric furnaces. Replace the 3 packaged rooftop heatpumps with new and provide DDC controls.

2. Roofing

a. Existing

- i. Assembly is membrane roofing over structural decking. From the record drawings, roof insulation is achieved with batt insulation in the roof joists. Areas of the building prior to the '1999 Modernization and Additions' are shown with 6" batt insulation located within the joist cavity, just above the ceiling. For purposes of this study, we have assumed 6" to be comparable to batt insulation for 2x6 studs, equivalent

to R-19. Areas of the 1999 Modernization and Additions where the new addition connects to the existing conditions are shown as R-19 batt insulation as well.



b. Proposed

- i. Demolish existing: roofing membrane system; cover board; cant strips; parapet coping.
Provide new: 7" polyiso rigid insulation atop existing decking; build up (heighten) parapets and equipment curbs as required to accommodate added rigid insulation; 1/2" cover board; membrane roofing system; structural support as required for new HVAC equipment.

ZONE G: Packaged Rooftop HVAC Units, Exhaust Fans, Conduit Runs, Duct Runs, Single-ply Membrane Roofing

1. HVAC

a. Existing:

- i. The existing roof houses 14 packaged heat pumps, 13 exhaust fans, 1 large kitchen hood exhaust fan and 8 roof hoods, in addition to rooftop ductwork and electrical conduit. The heat pumps are all past their service life and rusty.

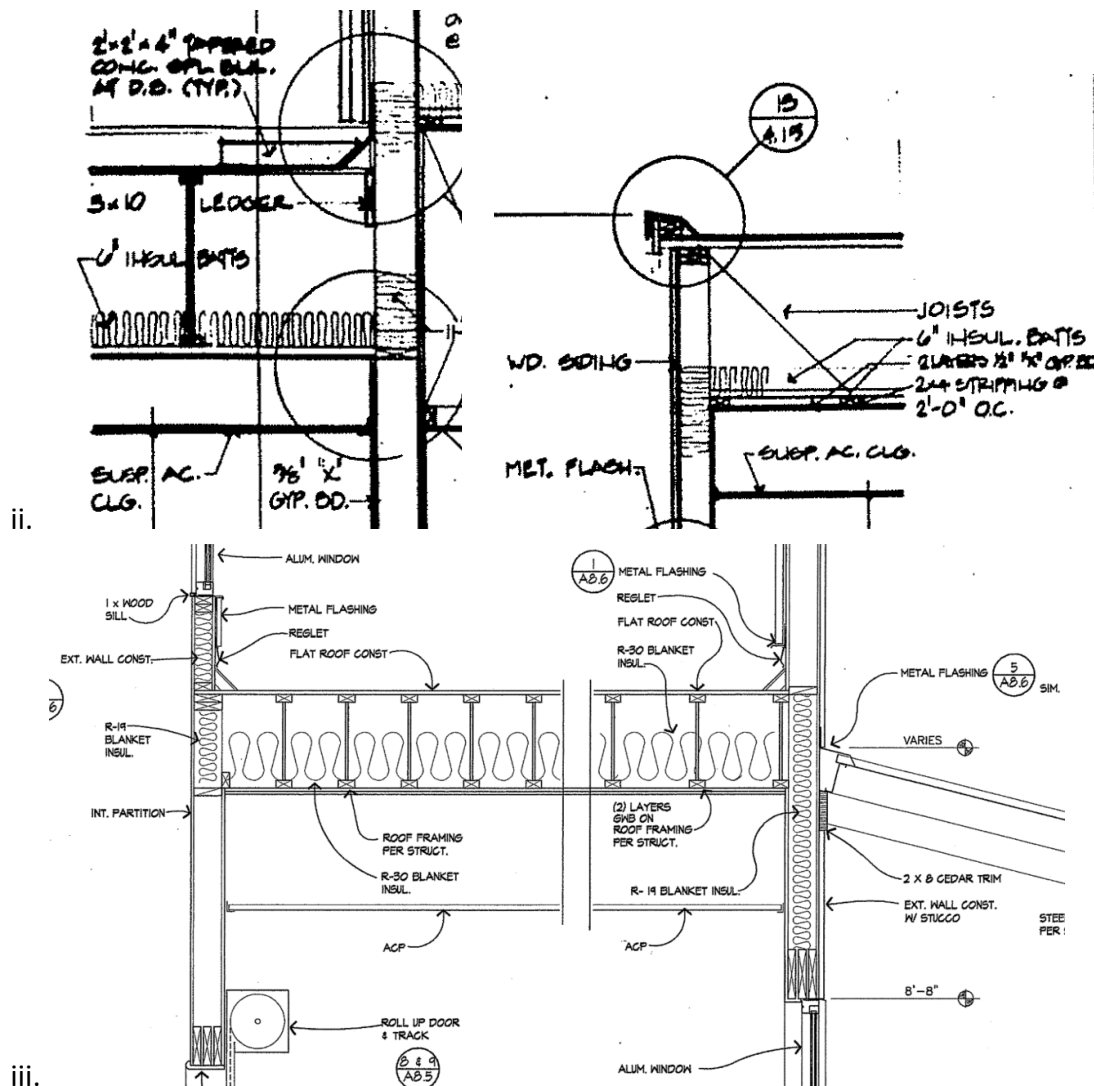
b. Proposed:

- i. Replace all the equipment on the roof with new during the reroof.

2. Roofing

a. Existing

- i. Assembly is membrane roofing over structural decking. From the record drawings, roof insulation is achieved with batt insulation in the roof joists. Areas of the building prior to the '1999 Modernization and Additions' are shown with 6" batt insulation located within the joist cavity, just above the ceiling. For purposes of this study, we have assumed 6" to be comparable to batt insulation for 2x6 studs, equivalent to R-19. Some areas involved in the 1999 Modernization and Additions (like the Kitchen) are shown as upgraded R-30 batt insulation. Further investigation will be required to determine the extent of each.

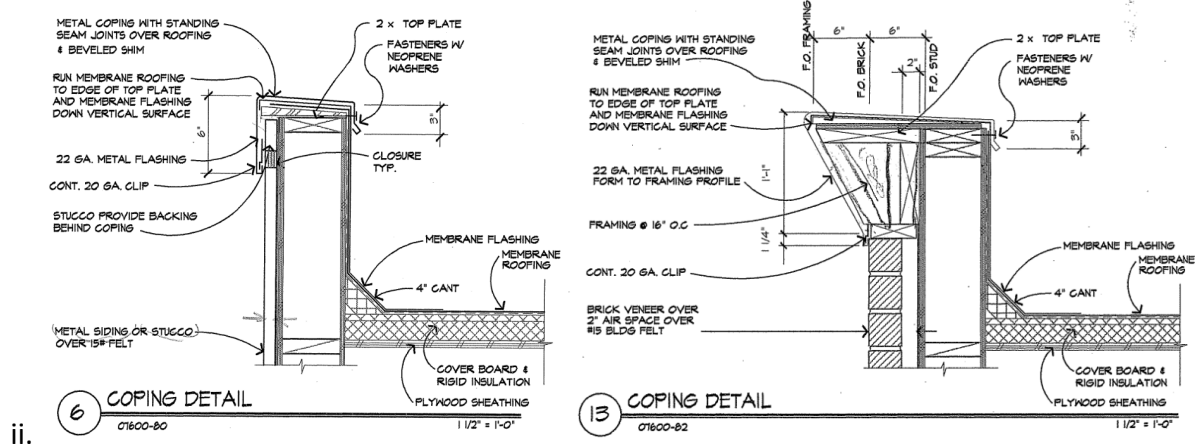


b. Proposed

- i. Demolish existing: roofing membrane system; cover board; cant strips; parapet coping. Provide new: 7" polyiso rigid insulation atop existing decking; build up (heighten) parapets and equipment curbs as required to accommodate added rigid insulation; 1/2" cover board; membrane roofing system; structural support as required for new HVAC equipment.

ZONE H: Single-ply Membrane Roofing

1. HVAC (Not Applicable)
2. Roofing
 - a. Existing
 - i. Membrane roofing over 2" rigid insulation.



ii. b. Proposed

- i. Demolish existing: roofing membrane system; cover board; cant strips; parapet coping.
Provide new: 5" additional polyiso rigid insulation atop existing; build up (heighten) parapets and equipment curbs as required to accommodate added rigid insulation; 1/2" cover board; membrane roofing system.

ZONE I: HVAC Unit, Duct Run, Conduit Runs, Single-ply Membrane Roofing

1. HVAC

a. Existing:

- i. The roof houses an electric make-up air unit for the shop and rooftop discharge ductwork. The unit is old and rusty.

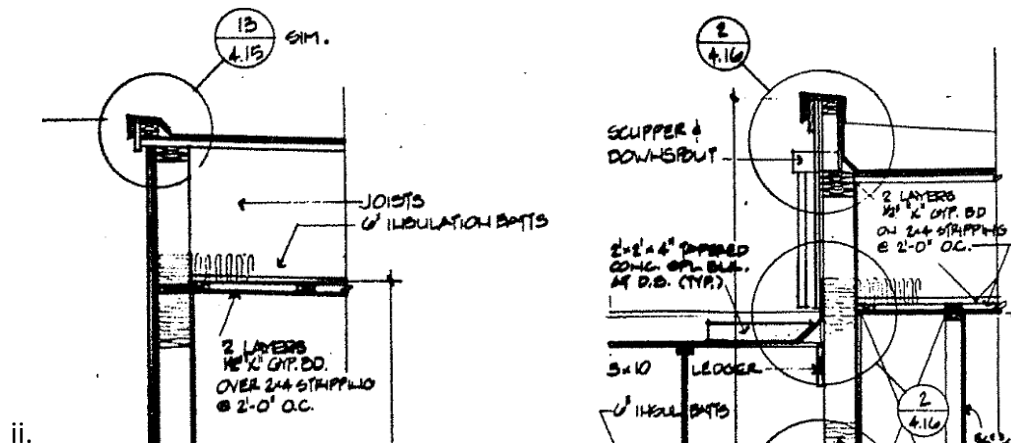
b. Proposed:

- i. Replace the make-up air unit and corresponding ductwork with new when the roof is replaced.

2. Roofing

a. Existing

- i. Membrane roofing over structural decking. 6" batt insulation is located withing the joist cavity, just above the ceiling. For purposes of this study, we have assumed 6" to be comparable to batt insulation for 2x6 studs, equivalent to R-19.



b. Proposed

- i. Demolish existing: roofing membrane system; cover board; cant strips; parapet coping. Provide new: 7" polyiso rigid insulation atop existing decking; build up (heighten) parapets and equipment curbs as required to accommodate added rigid insulation; ½" cover board; membrane roofing system.

ZONE J: Fenced Mechanical Yard of Condensing Units, Mechanical Attic Housing Air Handling Units

1. HVAC

a. Existing:

- i. An attic area houses 5 split system heat pumps. The indoor fan coil units are located in the attic and equipped with a common economizer plenum. The corresponding outdoor heat pump compressors are located in a fenced yard on the ground. The units are old and in need of replacement.

b. Proposed:

- i. Replace the indoor and outdoor units with new. The existing refrigerant piping is routed in the wall. New refrigerant piping should be routed up the building wall into the attic and enclosed with lineset covers and painted to match the building. Provide new DDC controls for each new unit.

2. Roofing (Not Applicable)

Photovoltaic System

1. Per current standards, a solar system is estimated at a requirement of 0.5w/SF. Based on this wattage per area calculation, the following would be proposed at Chimacum Creek Primary, Elementary Building, Junior-Senior High Building:

a. Chimacum Creek Primary

- i. 15KW system required (.5w/SF x 29,875 SF).
- ii. This system would need roughly 1,400 square feet of roof area.

b. Elementary Building

- i. 19KW system required (.5w/SF x 38,004 SF).
- ii. This system would need roughly 1,800 square feet of roof area.

- c. Junior-Senior High Building
 - i. 47KW system required (.5w/SF x 94,291 SF).
 - ii. This system would need roughly 4,300 square feet of roof area.

Window Replacement

One of CSD's endeavors is to update single-pane windows from some of the previous construction projects to double pane systems in order meet current energy requirements. While not specific this roofing and HVAC replacement study, we would recommend that the clerestory windows along the north, south, and west elevations of the Junior-Senior High School Commons (Zone H) be replaced while working on the roofing. Contractors would already be mobilized on the roof. In addition, the height of the windows is in such close proximity to the 'raised roof' (additional insulation) that care should be taken to make sure the two activities are coordinated well together.



Cost Estimate

See Cost Estimate section of study for rough estimate of proposed replacement work. Cost Estimate is broken down by the different Zones in the narrative/Key Plans. As the photovoltaic systems and storefront replacement are associated with several Zones, estimates for these items have been separated.

ROOFING AND HVAC PLANNING STUDY

at Chimacum School District

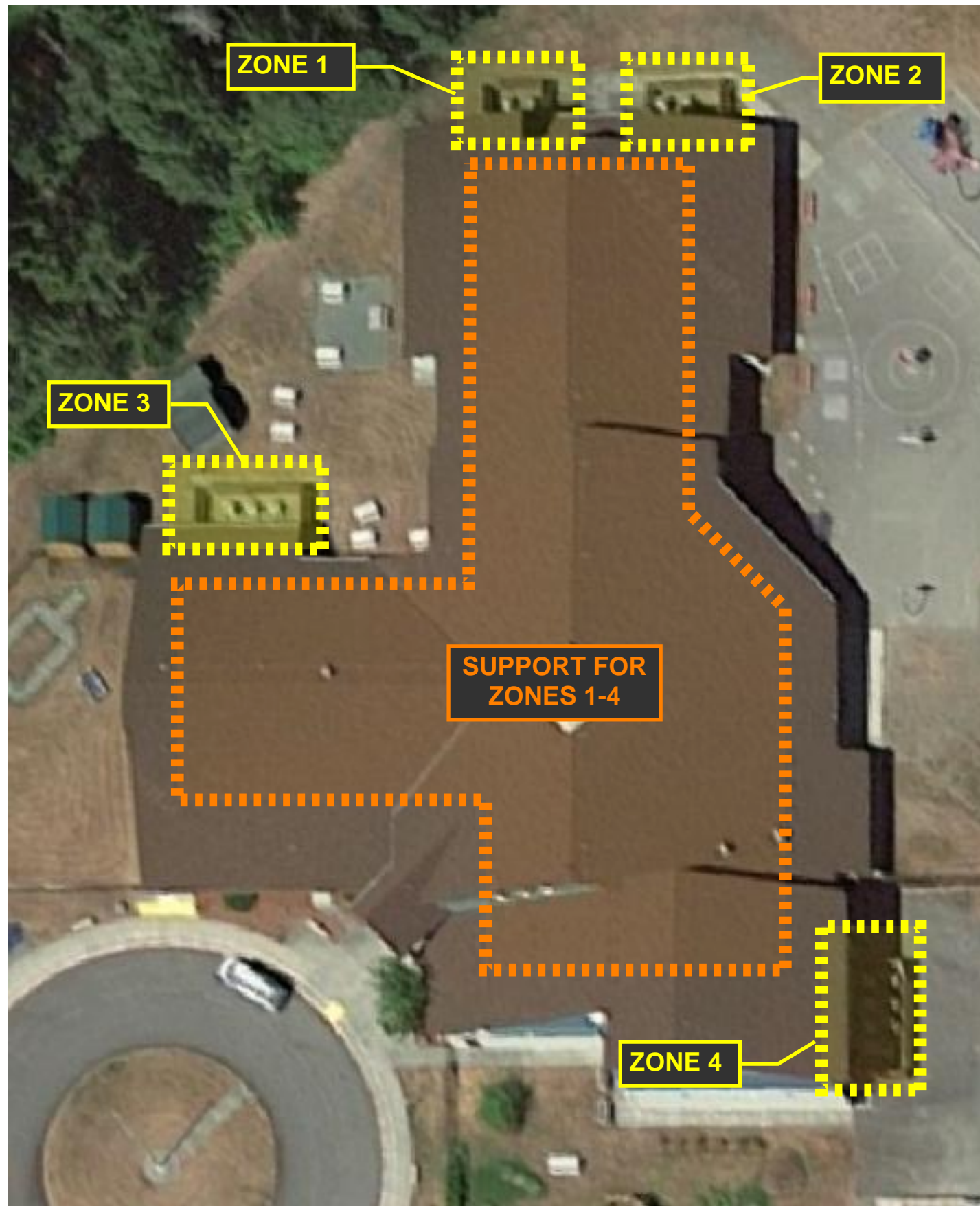
KEY PLANS OF PROJECT ZONES

- P-01__Primary Building Zones
- M-01__Elementary & Junior-Senior High Building Zones
- M-02__Square Foot Areas of Zones at Elementary & J-S High Buildings
- M-03__Status of Rigid Insulation Depth at Flat Roof Conditions



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MECHANICAL EQUIPMENT ZONES

1. FENCED EQUIPMENT YARD, CONDENSER UNITS FOR SPLIT SYSTEM.
2. FENCED EQUIPMENT YARD, CONDENSER UNITS FOR SPLIT SYSTEM.
3. FENCED EQUIPMENT YARD, CONDENSER UNITS FOR SPLIT SYSTEM.
4. FENCED EQUIPMENT YARD, CONDENSER UNITS FOR SPLIT SYSTEM.

MECHANICAL ATTIC HIGHLIGHTED AS SUPPORT FOR ZONES 1-4.

 **AERIAL VIEW SHOWING ZONES**
SCALE: NOT TO SCALE

ACTUAL PROJECT
 

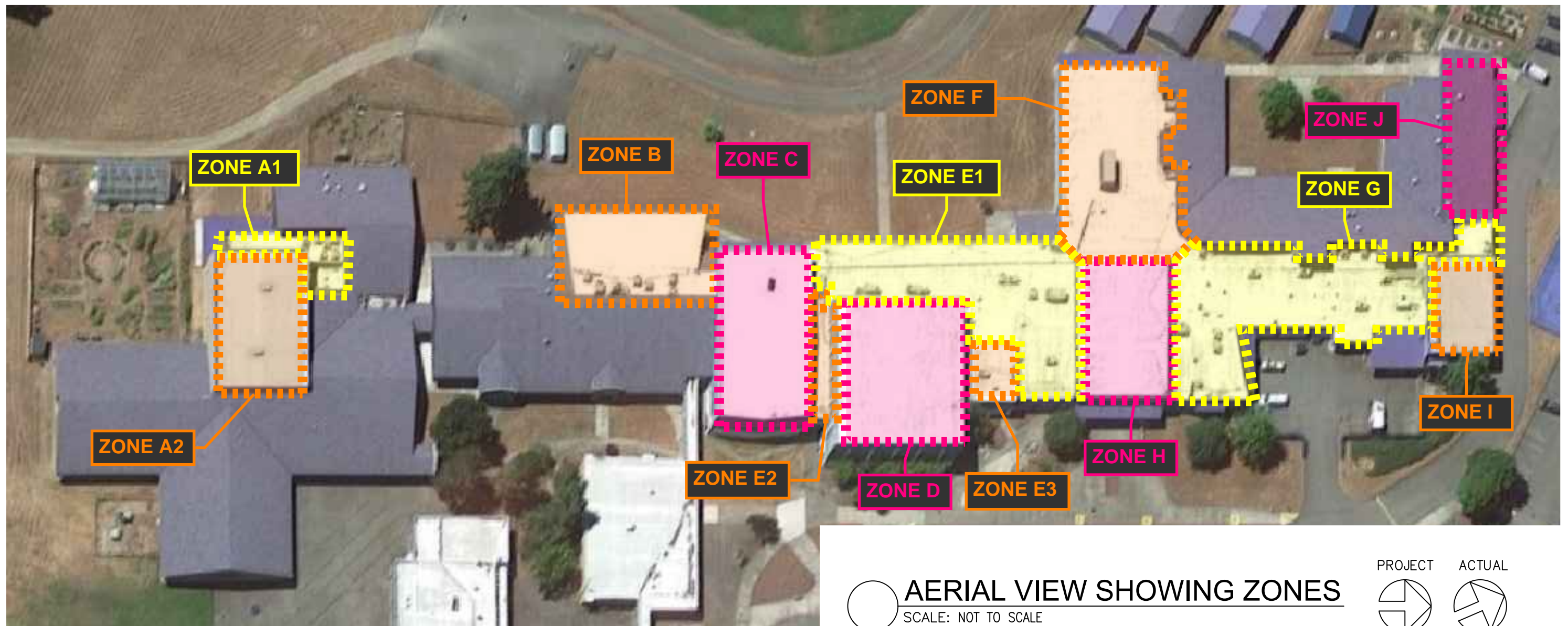


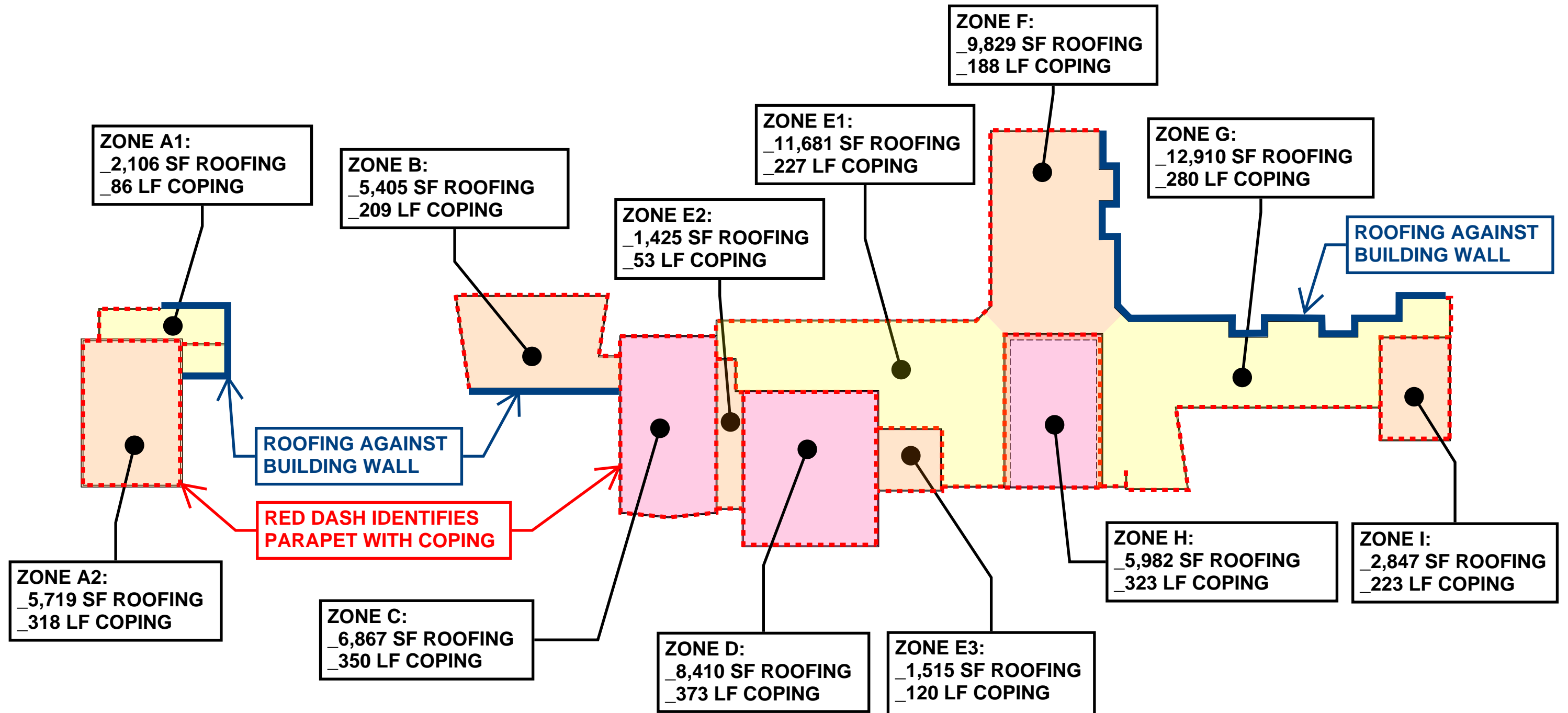
MECHANICAL EQUIPMENT ZONES

- A. ELEMENTARY BUILDING: A1, LOWER TIER FLAT ROOF; A2 UPPER TIER FLAT ROOF (GYMNASIUM).
- B. FLAT ROOF, BAND/CHOIR CLASSROOMS.
- C. FLAT ROOF, AUDITORIUM BUILDING.
- D. FLAT ROOF, GYMNASIUM BUILDING.

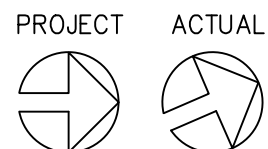
- E. FLAT ROOF CONDITIONS: E1, LOWER ROOF AT LOCKERS/ADMIN/COUNSELLING; E2, RAISED ROOF AT BREEZEWAY BETWEEN GYM/AUDITORIUM; E3 RAISED ROOF AT WEIGHT ROOM.

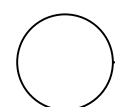
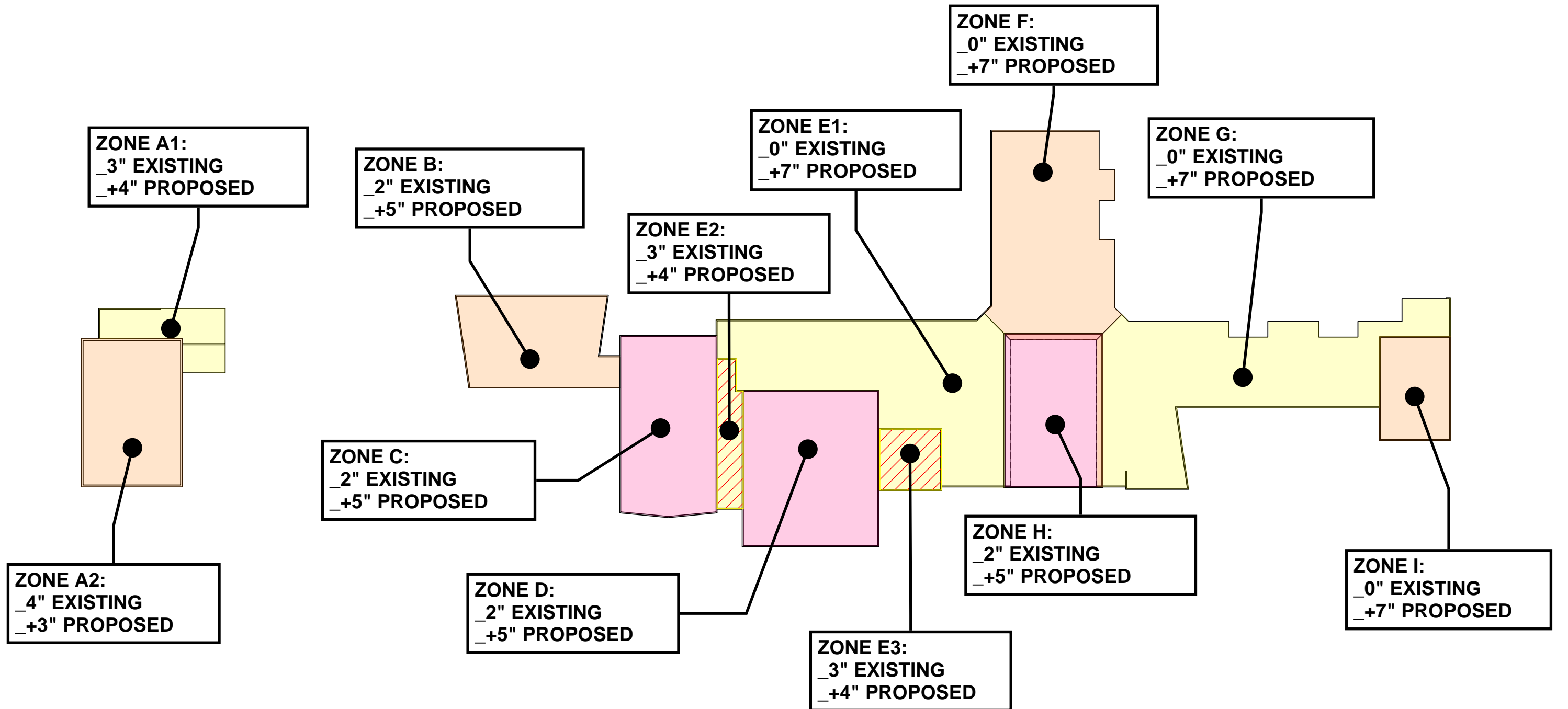
- F. FLAT ROOF, 200 WING CLASSROOMS.
- G. FLAT ROOF, LIBRARY/ SCIENCE/ HOME ECONOMICS/ KITCHEN.
- H. FLAT ROOF, JUNIOR-SENIOR COMMONS.
- I. FLAT ROOF, WOOD SHOP.
- J. FLAT ROOF, 100 WING CLASSROOMS.






AREAS AND LINEAL FEET OF ROOF ZONES
 SCALE: 1/64"=1'-0"

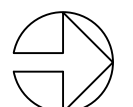




RIGID INSULATION AT ROOF ZONES

SCALE: 1/64"=1'-0"

PROJECT



ACTUAL



ROOFING AND HVAC PLANNING STUDY

at Chimacum School District

COST ESTIMATE

- Roofing/HVAC Equipment Replacement by Zones
- Photovoltaic System
- Window Replacement at Commons 100 Clerestory



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**CHIMACUM SCHOOL DISTRICT
ROOFING AND HVAC REPLACEMENT
CHIMACUM, WA
BOND STUDY**

**ESTIMATE ISSUE DATE: October 11, 2023
ESTIMATE REVISION: 3**

**Submitted To:
BRYANT DRAPER
STUDIO MENG STRAZZARA**

CLARIFICATIONS AND ASSUMPTIONS

RC Cost Group Estimating Team:

Lead Estimator: Andy Cluness

Exclusions from Construction Cost:

- Design fees
- Owners administration costs
- Building and land acquisition fees
- Legal and accounting fees
- Removal of unforeseen underground obstructions
- Owner’s furniture, furnishings and equipment
- Owners supplied materials
- Moving owners equipment and furniture
- Compression of schedule, premium or shift work
- Assessments, finance, legal and development charges
- Builder’s risk, project wrap-up and other owner provided insurance program
- Washington State Sales Tax
- AV Equipment
- Builders Risk Insurance

Assumption used in establishing the estimate:

- The project will be procured utilizing the Deisng, Bid, Build Project Delivery Method
- Construction Start Date: July 2025
- Escalation has been included at the following to Start of Construction: 4.00% per annum

Items that may affect the cost estimate:

- Modifications to the scope of work included in this estimate.
- Special phasing requirements other than mentioned above.
- Restrictive technical specifications or excessive contract conditions.
- Any non-competitive bid situations.
- Bids delayed beyond the projected schedule.

OVERALL SUMMARY CONSTRUCTION COST

		GFA	\$/SF	\$
<u>Chimacum Creek Primary</u>				
Building: HVAC	Zone 1			371,272
Building: HVAC	Zone 2			445,819
Building: HVAC	Zone 3			602,221
Building: HVAC	Zone 4			602,221
<u>Main Campus: Elementary School Building</u>				
Building: HVAC, Roofing and Parapet Coping Replacement	Zone A1	2,106 SF	938.75	1,977,005
Building: HVAC, Roofing and Parapet Coping Replacement	Zone A2	5,719 SF	57.21	327,179
<u>Main Campus: Junior - Senior High School Building</u>				
Building: HVAC, Roofing and Parapet Coping Replacement	Zone B	5,405 SF	162.91	880,529
Building: HVAC, Roofing and Parapet Coping Replacement	Zone C	6,867 SF	217.18	1,491,372
Building: HVAC, Roofing and Parapet Coping Replacement	Zone D	8,410 SF	187.49	1,576,817
Building: HVAC, Roofing and Parapet Coping Replacement	Zone E1	11,681 SF	99.29	1,159,794
Building: HVAC, Roofing and Parapet Coping Replacement	Zone E2	1,425 SF	135.83	193,556
Building: HVAC, Roofing and Parapet Coping Replacement	Zone E3	1,515 SF	131.50	199,223
Building: HVAC, Roofing and Parapet Coping Replacement	Zone F	9,829 SF	113.58	1,116,426
Building: HVAC, Roofing and Parapet Coping Replacement	Zone G	12,910 SF	169.55	2,188,921
Building: HVAC, Roofing and Parapet Coping Replacement	Zone H	5,982 SF	62.33	372,865
Building: HVAC, Roofing and Parapet Coping Replacement	Zone I	2,847 SF	116.22	330,887
Building: HVAC	Zone J			445,819
TOTAL CONSTRUCTION COST: HVAC, ROOFING & PARAPET COPING REPLACEMENT				14,281,927
Photovoltaic System:				394,660
TOTAL CONSTRUCTION COST: PHOTOVOLTAIC SYSTEM				394,660
Junior - Senior High Fire Suppression System				235,334
TOTAL CONSTRUCTION COST: FIRE SUPPRESSION SYSTEM				235,334
Building Demolition and Abatement				956,993
TOTAL CONSTRUCTION COST: BUILDING DEMOLITION & ABATEMENT				956,993
Clerestory Glazing Improvements				62,943
TOTAL CONSTRUCTION COST: CLERESTORY GLAZING IMPROVEMENTS				62,943
Structural Upgrades for new HVAC units at Zones A1, B, E, F				298,992
TOTAL CONSTRUCTION COST: STRUCTURAL UPGRADES FOR HVAC				298,992
TOTAL CONSTRUCTION COST: ALL ITEMS				16,230,848

**CHIMACUM SCHOOL DISTRICT
ROOFING AND HVAC REPLACEMENT
CHIMACUM, WA
BOND STUDY**



Date: **October 11, 2023**

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTALS
Building: HVAC Replacement: Zone 1 "Chimacum Creek Primary"				
D3010 HVAC HVAC Replacement	1	LS	230,000.00	230,000
D5000 Electrical Electrical provisions for HVAC Upgrades	1	LS	24,000.00	24,000
Sub-Total				254,000
General Conditions/General Requirements	10.50%			26,670
Estimating / Design Contingency	12.50%			35,084
Insurance & Bonds	1.60%			5,052
General Contractor's Overhead and Profit	7.35%			23,579
Escalation: July 2025	7.81%			26,887
Total Construction Cost				371,272

Building: HVAC Replacement: Zone 2 "Chimacum Creek Primary"				
D3010 HVAC HVAC Replacement	1	LS	275,000.00	275,000
D5000 Electrical Electrical provisions for HVAC Upgrades	1	LS	30,000.00	30,000
Sub-Total				305,000
General Conditions/General Requirements	10.50%			32,025
Estimating / Design Contingency	12.50%			42,128
Insurance & Bonds	1.60%			6,066
General Contractor's Overhead and Profit	7.35%			28,314
Escalation: July 2025	7.81%			32,286
Total Construction Cost				445,819

Building: HVAC Replacement: Zone 3 "Chimacum Creek Primary"				
D3010 HVAC HVAC Replacement	1	LS	370,000.00	370,000
D5000 Electrical Electrical provisions for HVAC Upgrades	1	LS	42,000.00	42,000
Sub-Total				412,000
General Conditions/General Requirements	10.50%			43,260
Estimating / Design Contingency	12.50%			56,908
Insurance & Bonds	1.60%			8,195
General Contractor's Overhead and Profit	7.35%			38,247
Escalation: July 2025	7.81%			43,612
Total Construction Cost				602,221

Building: HVAC Replacement: Zone 4 "Chimacum Creek Primary"				
D3010 HVAC HVAC Replacement	1	LS	370,000.00	370,000
D5000 Electrical Electrical provisions for HVAC Upgrades	1	LS	42,000.00	42,000

**CHIMACUM SCHOOL DISTRICT
ROOFING AND HVAC REPLACEMENT
CHIMACUM, WA
BOND STUDY**



Date: **October 11, 2023**

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTALS
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Sub-Total				412,000
General Conditions/General Requirements	10.50%			43,260
Estimating / Design Contingency	12.50%			56,908
Insurance & Bonds	1.60%			8,195
General Contractor's Overhead and Profit	7.35%			38,247
Escalation: July 2025	7.81%			43,612
Total Construction Cost				602,221

Building: HVAC and Roofing Replacement: Zone A1 "Elementary School Building"

B2012 Parapets

Furring strips, blocking , sheathing, vapor retarder, cover board and roofing membrane	237	SF	24.00	5,676
Metal coping	86	LF	46.50	3,999

B3011 Roof finishes

Membrane roofing system including cover board	2,106	SF	15.90	33,485
Rigid insulation, 4"	2,106	SF	7.40	15,584
Repair work as required, allow	2,106	SF	3.00	6,318

B3014 Flashings and trim

Sheet metal flashings and trim at roof	1	LS	4,106.70	4,107
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B3016 Gutters and downspouts

Roof drainage modifications	1	LS	2,569.32	2,569
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B3021 Glazed roof openings

Skylights, assumed not required				N/A
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Miscellaneous

Rough carpentry / equipment curbs	1	LS	1,368.90	1,369
Fall restraint anchors, allow	1	LS	4,738.50	4,739

F 2010 Building Elements Demolition

Remove and dispose roofing system components	2,106	SF	1.85	3,896
Remove and dispose existing coping	86	LF	3.95	340
Remove and dispose membrane at parapets	237	SF	1.92	454

D3010 HVAC

HVAC Replacement	1	LS	1,100,000.00	1,100,000
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D5000 Electrical

Electrical provisions for HVAC Upgrades	1	LS	170,000.00	170,000
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Sub-Total				1,352,536
General Conditions/General Requirements	10.50%			142,016
Estimating / Design Contingency	12.50%			186,819
Insurance & Bonds	1.60%			26,902
General Contractor's Overhead and Profit	7.35%			125,558
Escalation: July 2025	7.81%			143,173
Total Construction Cost				1,977,005

Building: HVAC and Roofing Replacement: Zone A2 "Elementary School Building"

**CHIMACUM SCHOOL DISTRICT
ROOFING AND HVAC REPLACEMENT
CHIMACUM, WA
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Date: **October 11, 2023**

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTALS
B2012 Parapets				
Furring strips, blocking , sheathing, vapor retarder, cover board and roofing membrane	875	SF	24.00	20,988
Metal coping	318	LF	46.50	14,787
B3011 Roof finishes				
Membrane roofing system including cover board	5,719	SF	15.90	90,932
Rigid insulation, 3"	5,719	SF	5.55	31,740
Repair work as required, allow	5,719	SF	3.00	17,157
B3014 Flashings and trim				
Sheet metal flashings and trim at roof	1	LS	11,152.05	11,152
B3016 Gutters and downspouts				
Roof drainage modifications	1	LS	6,977.18	6,977
B3021 Glazed roof openings				
Skylights, assumed not required				N/A
Miscellaneous				
Rough carpentry / equipment curbs	1	LS	3,717.35	3,717
Fall restraint anchors, allow	1	LS	12,867.75	12,868
F 2010 Building Elements Demolition				
Remove and dispose roofing system components	5,719	SF	1.85	10,580
Remove and dispose existing coping	318	LF	3.95	1,256
Remove and dispose membrane at parapets	875	SF	1.92	1,679
Sub-Total				223,834
General Conditions/General Requirements	10.50%			23,503
Estimating / Design Contingency	12.50%			30,917
Insurance & Bonds	1.60%			4,452
General Contractor's Overhead and Profit	7.35%			20,779
Escalation: July 2025	7.81%			23,694
Total Construction Cost				327,179

Building: HVAC and Roofing Replacement: Zone B "Junior - Senior High School Building"

B2012 Parapets				
Furring strips, blocking , sheathing, vapor retarder, cover board and roofing membrane	575	SF	24.00	13,794
Metal coping	209	LF	46.50	9,719
B3011 Roof finishes				
Membrane roofing system including cover board	5,405	SF	15.90	85,940
Rigid insulation, 5"	5,405	SF	9.25	49,996
Repair work as required, allow	5,405	SF	3.00	16,215
B3014 Flashings and trim				
Sheet metal flashings and trim at roof	1	LS	10,539.75	10,540
B3016 Gutters and downspouts				
Roof drainage modifications	1	LS	6,594.10	6,594

**CHIMACUM SCHOOL DISTRICT
ROOFING AND HVAC REPLACEMENT
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Date: **October 11, 2023**

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTALS
B3021 Glazed roof openings Skylights, assumed not required				N/A
Miscellaneous				
Rough carpentry / equipment curbs	1	LS	3,513.25	3,513
Fall restraint anchors, allow	1	LS	12,161.25	12,161
F 2010 Building Elements Demolition				
Remove and dispose roofing system components	5,405	SF	1.85	9,999
Remove and dispose existing coping	209	LF	3.95	826
Remove and dispose membrane at parapets	575	SF	1.92	1,104
D3010 HVAC				
HVAC Replacement	1	LS	340,000.00	340,000
D5000 Electrical				
Electrical provisions for HVAC Upgrades	1	LS	42,000.00	42,000
Sub-Total				602,400
General Conditions/General Requirements	10.50%			63,252
Estimating / Design Contingency	12.50%			83,206
Insurance & Bonds	1.60%			11,982
General Contractor's Overhead and Profit	7.35%			55,922
Escalation: July 2025	7.81%			63,767
Total Construction Cost				880,529
Building: HVAC and Roofing Replacement: Zone C "Junior - Senior High School Building"				
B2012 Parapets				
Furring strips, blocking , sheathing, vapor retarder, cover board and roofing membrane	963	SF	24.00	23,100
Metal coping	350	LF	46.50	16,275
B3011 Roof finishes				
Membrane roofing system including cover board	6,867	SF	15.90	109,185
Rigid insulation, 5"	6,867	SF	9.25	63,520
Repair work as required, allow	6,867	SF	3.00	20,601
B3014 Flashings and trim				
Sheet metal flashings and trim at roof	1	LS	13,390.65	13,391
B3016 Gutters and downspouts				
Roof drainage modifications	1	LS	8,377.74	8,378
B3021 Glazed roof openings Skylights, assumed not required				N/A
Miscellaneous				
Rough carpentry / equipment curbs	1	LS	4,463.55	4,464
Fall restraint anchors, allow	1	LS	15,450.75	15,451
F 2010 Building Elements Demolition				
Remove and dispose roofing system components	6,867	SF	1.85	12,704
Remove and dispose existing coping	350	LF	3.95	1,383
Remove and dispose membrane at parapets	963	SF	1.92	1,848

**CHIMACUM SCHOOL DISTRICT
ROOFING AND HVAC REPLACEMENT
CHIMACUM, WA
BOND STUDY**



Date: **October 11, 2023**

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTALS
D3010 HVAC HVAC Replacement	1	LS	660,000.00	660,000
D5000 Electrical Electrical provisions for HVAC Upgrades	1	LS	70,000.00	70,000
Sub-Total				1,020,298
General Conditions/General Requirements	10.50%			107,131
Estimating / Design Contingency	12.50%			140,929
Insurance & Bonds	1.60%			20,294
General Contractor's Overhead and Profit	7.35%			94,716
Escalation: July 2025	7.81%			108,004
Total Construction Cost				1,491,372

Building: HVAC and Roofing Replacement: Zone D "Junior - Senior High School Building"

B2012 Parapets Furring strips, blocking , sheathing, vapor retarder, cover board and roofing membrane	1,026	SF	24.00	24,618
Metal coping	373	LF	46.50	17,345
B3011 Roof finishes Membrane roofing system including cover board	8,410	SF	15.90	133,719
Rigid insulation, 5"	8,410	SF	9.25	77,793
Repair work as required, allow	8,410	SF	3.00	25,230
B3014 Flashings and trim Sheet metal flashings and trim at roof	1	LS	16,399.50	16,400
B3016 Gutters and downspouts Roof drainage modifications	1	LS	10,260.20	10,260
B3021 Glazed roof openings Skylights, assumed not required				N/A
Miscellaneous Rough carpentry / equipment curbs	1	LS	5,466.50	5,467
Fall restraint anchors, allow	1	LS	18,922.50	18,923
F 2010 Building Elements Demolition Remove and dispose roofing system components	8,410	SF	1.85	15,559
Remove and dispose existing coping	373	LF	3.95	1,473
Remove and dispose membrane at parapets	1,026	SF	1.92	1,969
D3010 HVAC HVAC Replacement	1	LS	660,000.00	660,000
D5000 Electrical Electrical provisions for HVAC Upgrades	1	LS	70,000.00	70,000
Sub-Total				1,078,754
General Conditions/General Requirements	10.50%			113,269
Estimating / Design Contingency	12.50%			149,003
Insurance & Bonds	1.60%			21,456

**CHIMACUM SCHOOL DISTRICT
ROOFING AND HVAC REPLACEMENT
CHIMACUM, WA
BOND STUDY**



Date: **October 11, 2023**

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTALS
General Contractor's Overhead and Profit	7.35%			100,142
Escalation: July 2025	7.81%			114,192
Total Construction Cost				1,576,817

Building: HVAC and Roofing Replacement: Zone E1 "Junior - Senior High School Building"

B2012 Parapets				
Furring strips, blocking , sheathing, vapor retarder, cover board and roofing membrane	879	SF	24.00	21,091
Metal coping	320	LF	46.50	14,860
B3011 Roof finishes				
Membrane roofing system including cover board	11,681	SF	15.90	185,728
Rigid insulation, 7"	11,681	SF	12.95	151,269
Repair work as required, allow	11,681	SF	3.00	35,043
B3014 Flashings and trim				
Sheet metal flashings and trim at roof	1	LS	22,777.95	22,778
B3016 Gutters and downspouts				
Roof drainage modifications	1	LS	14,250.82	14,251
B3021 Glazed roof openings				
Skylights, assumed not required				N/A
Miscellaneous				
Rough carpentry / equipment curbs	1	LS	7,592.65	7,593
Fall restraint anchors, allow	1	LS	26,282.25	26,282
F 2010 Building Elements Demolition				
Remove and dispose roofing system components	11,681	SF	1.85	21,610
Remove and dispose existing coping	320	LF	3.95	1,262
Remove and dispose membrane at parapets	879	SF	1.92	1,687
D3010 HVAC				
HVAC Replacement	1	LS	250,000.00	250,000
D5000 Electrical				
Electrical provisions for HVAC Upgrades	1	LS	40,000.00	40,000
Sub-Total				793,454
General Conditions/General Requirements	10.50%			83,313
Estimating / Design Contingency	12.50%			109,596
Insurance & Bonds	1.60%			15,782
General Contractor's Overhead and Profit	7.35%			73,658
Escalation: July 2025	7.81%			83,992
Total Construction Cost				1,159,794

Building: HVAC and Roofing Replacement: Zone E2 "Junior - Senior High School Building"

B2012 Parapets				
Furring strips, blocking , sheathing, vapor retarder, cover board and roofing membrane	107	SF	24.00	2,573
Metal coping	39	LF	46.50	1,813

**CHIMACUM SCHOOL DISTRICT
ROOFING AND HVAC REPLACEMENT
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Date: **October 11, 2023**

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTALS
B3011 Roof finishes				
Membrane roofing system including cover board	1,425	SF	15.90	22,658
Rigid insulation, 7"	1,425	SF	12.95	18,454
Repair work as required, allow	1,425	SF	3.00	4,275
B3014 Flashings and trim				
Sheet metal flashings and trim at roof	1	LS	2,778.75	2,779
B3016 Gutters and downspouts				
Roof drainage modifications	1	LS	1,738.50	1,739
B3021 Glazed roof openings				
Skylights, assumed not required				N/A
Miscellaneous				
Rough carpentry / equipment curbs	1	LS	926.25	926
Fall restraint anchors, allow	1	LS	3,206.25	3,206
F 2010 Building Elements Demolition				
Remove and dispose roofing system components	1,425	SF	1.85	2,636
Remove and dispose existing coping	39	LF	3.95	154
Remove and dispose membrane at parapets	107	SF	1.92	206
D3010 HVAC				
HVAC Replacement	1	LS	65,000.00	65,000
D5000 Electrical				
Electrical provisions for HVAC Upgrades	1	LS	6,000.00	6,000
Sub-Total				132,418
General Conditions/General Requirements	10.50%			13,904
Estimating / Design Contingency	12.50%			18,290
Insurance & Bonds	1.60%			2,634
General Contractor's Overhead and Profit	7.35%			12,293
Escalation: July 2025	7.81%			14,017
Total Construction Cost				193,556

Building: HVAC and Roofing Replacement: Zone E3 "Junior - Senior High School Building"

B2012 Parapets				
Furring strips, blocking , sheathing, vapor retarder, cover board and roofing membrane	114	SF	24.00	2,735
Metal coping	41	LF	46.50	1,927
B3011 Roof finishes				
Membrane roofing system including cover board	1,515	SF	15.90	24,089
Rigid insulation, 7"	1,515	SF	12.95	19,619
Repair work as required, allow	1,515	SF	3.00	4,545
B3014 Flashings and trim				
Sheet metal flashings and trim at roof	1	LS	2,954.25	2,954
B3016 Gutters and downspouts				
Roof drainage modifications	1	LS	1,848.30	1,848

**CHIMACUM SCHOOL DISTRICT
ROOFING AND HVAC REPLACEMENT
CHIMACUM, WA
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Date: **October 11, 2023**

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTALS
B3021 Glazed roof openings Skylights, assumed not required				N/A
Miscellaneous				
Rough carpentry / equipment curbs	1	LS	984.75	985
Fall restraint anchors, allow	1	LS	3,408.75	3,409
F 2010 Building Elements Demolition				
Remove and dispose roofing system components	1,515	SF	1.85	2,803
Remove and dispose existing coping	41	LF	3.95	164
Remove and dispose membrane at parapets	114	SF	1.92	219
D3010 HVAC				
HVAC Replacement	1	LS	65,000.00	65,000
D5000 Electrical				
Electrical provisions for HVAC Upgrades	1	LS	6,000.00	6,000
Sub-Total				136,296
General Conditions/General Requirements	10.50%			14,311
Estimating / Design Contingency	12.50%			18,826
Insurance & Bonds	1.60%			2,711
General Contractor's Overhead and Profit	7.35%			12,653
Escalation: July 2025	7.81%			14,428
Total Construction Cost				199,223
Building: HVAC and Roofing Replacement: Zone F "Junior - Senior High School Building"				
B2012 Parapets				
Furring strips, blocking , sheathing, vapor retarder, cover board and roofing membrane	517	SF	24.00	12,408
Metal coping	188	LF	46.50	8,742
B3011 Roof finishes				
Membrane roofing system including cover board	9,829	SF	15.90	156,281
Rigid insulation, 7"	9,829	SF	12.95	127,286
Repair work as required, allow	9,829	SF	3.00	29,487
B3014 Flashings and trim				
Sheet metal flashings and trim at roof	1	LS	19,166.55	19,167
B3016 Gutters and downspouts				
Roof drainage modifications	1	LS	11,991.38	11,991
B3021 Glazed roof openings Skylights, assumed not required				N/A
Miscellaneous				
Rough carpentry / equipment curbs	1	LS	6,388.85	6,389
Fall restraint anchors, allow	1	LS	22,115.25	22,115
F 2010 Building Elements Demolition				
Remove and dispose roofing system components	9,829	SF	1.85	18,184
Remove and dispose existing coping	188	LF	3.95	743
Remove and dispose membrane at parapets	517	SF	1.92	993

**CHIMACUM SCHOOL DISTRICT
ROOFING AND HVAC REPLACEMENT
CHIMACUM, WA
BOND STUDY**



Date: **October 11, 2023**

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTALS
D3010 HVAC HVAC Replacement	1	LS	275,000.00	275,000
D5000 Electrical Electrical provisions for HVAC Upgrades	1	LS	75,000.00	75,000
Sub-Total				763,785
General Conditions/General Requirements	10.50%			80,197
Estimating / Design Contingency	12.50%			105,498
Insurance & Bonds	1.60%			15,192
General Contractor's Overhead and Profit	7.35%			70,903
Escalation: July 2025	7.81%			80,851
Total Construction Cost				1,116,426

Building: HVAC and Roofing Replacement: Zone G "Junior - Senior High School Building"

B2012 Parapets Furring strips, blocking , sheathing, vapor retarder, cover board and roofing membrane	770	SF	24.00	18,480
Metal coping	280	LF	46.50	13,020
B3011 Roof finishes Membrane roofing system including cover board	12,910	SF	15.90	205,269
Rigid insulation, 7"	12,910	SF	12.95	167,185
Repair work as required, allow	12,910	SF	3.00	38,730
B3014 Flashings and trim Sheet metal flashings and trim at roof	1	LS	25,174.50	25,175
B3016 Gutters and downspouts Roof drainage modifications	1	LS	15,750.20	15,750
B3021 Glazed roof openings Skylights, assumed not required				N/A
Miscellaneous Rough carpentry / equipment curbs	1	LS	8,391.50	8,392
Fall restraint anchors, allow	1	LS	29,047.50	29,048
F 2010 Building Elements Demolition Remove and dispose roofing system components	12,910	SF	1.85	23,884
Remove and dispose existing coping	280	LF	3.95	1,106
Remove and dispose membrane at parapets	770	SF	1.92	1,478
D3010 HVAC HVAC Replacement	1	LS	800,000.00	800,000
D5000 Electrical Electrical provisions for HVAC Upgrades	1	LS	150,000.00	150,000
Sub-Total				1,497,515
General Conditions/General Requirements	10.50%			157,239
Estimating / Design Contingency	12.50%			206,844
Insurance & Bonds	1.60%			29,786

**CHIMACUM SCHOOL DISTRICT
ROOFING AND HVAC REPLACEMENT
CHIMACUM, WA
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Date: **October 11, 2023**

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTALS
General Contractor's Overhead and Profit	7.35%			139,017
Escalation: July 2025	7.81%			158,520
Total Construction Cost				2,188,921

Building: HVAC and Roofing Replacement: Zone H "Junior - Senior High School Building"

B2012 Parapets				
Furring strips, blocking , sheathing, vapor retarder, cover board and roofing membrane	888	SF	24.00	21,318
Metal coping	323	LF	46.50	15,020
B3011 Roof finishes				
Membrane roofing system including cover board	5,982	SF	15.90	95,114
Rigid insulation, 5"	5,982	SF	9.25	55,334
Repair work as required, allow	5,982	SF	3.00	17,946
B3014 Flashings and trim				
Sheet metal flashings and trim at roof	1	LS	11,664.90	11,665
B3016 Gutters and downspouts				
Roof drainage modifications	1	LS	7,298.04	7,298
B3021 Glazed roof openings				
Skylights, assumed not required				N/A
Miscellaneous				
Rough carpentry / equipment curbs	1	LS	3,888.30	3,888
Fall restraint anchors, allow	1	LS	13,459.50	13,460
F 2010 Building Elements Demolition				
Remove and dispose roofing system components	5,982	SF	1.85	11,067
Remove and dispose existing coping	323	LF	3.95	1,276
Remove and dispose membrane at parapets	888	SF	1.92	1,705
Sub-Total				255,090
General Conditions/General Requirements	10.50%			26,784
Estimating / Design Contingency	12.50%			35,234
Insurance & Bonds	1.60%			5,074
General Contractor's Overhead and Profit	7.35%			23,680
Escalation: July 2025	7.81%			27,003
Total Construction Cost				372,865

Building: HVAC and Roofing Replacement: Zone I "Junior - Senior High School Building"

B2012 Parapets				
Furring strips, blocking , sheathing, vapor retarder, cover board and roofing membrane	613	SF	24.00	14,718
Metal coping	223	LF	46.50	10,370
B3011 Roof finishes				
Membrane roofing system including cover board	2,847	SF	15.90	45,267
Rigid insulation, 7"	2,847	SF	12.95	36,869
Repair work as required, allow	2,847	SF	3.00	8,541
B3014 Flashings and trim				

**CHIMACUM SCHOOL DISTRICT
ROOFING AND HVAC REPLACEMENT
CHIMACUM, WA
BOND STUDY**



Date: **October 11, 2023**

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTALS
Sheet metal flashings and trim at roof	1	LS	5,551.65	5,552
B3016 Gutters and downspouts Roof drainage modifications	1	LS	3,473.34	3,473
B3021 Glazed roof openings Skylights, assumed not required				N/A
Miscellaneous				
Rough carpentry / equipment curbs	1	LS	1,850.55	1,851
Fall restraint anchors, allow	1	LS	6,405.75	6,406
F 2010 Building Elements Demolition				
Remove and dispose roofing system components	2,847	SF	1.85	5,267
Remove and dispose existing coping	223	LF	3.95	881
Remove and dispose membrane at parapets	613	SF	1.92	1,177
D3010 HVAC HVAC Replacement	1	LS	80,000.00	80,000
D5000 Electrical Electrical provisions for HVAC Upgrades	1	LS	6,000.00	6,000
Sub-Total				226,371
General Conditions/General Requirements	10.50%			23,769
Estimating / Design Contingency	12.50%			31,267
Insurance & Bonds	1.60%			4,503
General Contractor's Overhead and Profit	7.35%			21,014
Escalation: July 2025	7.81%			23,963
Total Construction Cost				330,887

Building: HVAC and Roofing Replacement: Zone J "Junior - Senior High School Building"

D3010 HVAC HVAC Replacement	1	LS	275,000.00	275,000
D5000 Electrical Electrical provisions for HVAC Upgrades	1	LS	30,000.00	30,000
Sub-Total				305,000
General Conditions/General Requirements	10.50%			32,025
Estimating / Design Contingency	12.50%			42,128
Insurance & Bonds	1.60%			6,066
General Contractor's Overhead and Profit	7.35%			28,314
Escalation: July 2025	7.81%			32,286
Total Construction Cost				445,819

Photovoltaic System:

D5000 Electrical				
Junior-Senior High Solar	1	LS	150,000.00	150,000
Elementary Solar	1	LS	70,000.00	70,000
Chimacum Creek Primary	1	LS	50,000.00	50,000
Sub-Total				270,000

**CHIMACUM SCHOOL DISTRICT
ROOFING AND HVAC REPLACEMENT
CHIMACUM, WA
BOND STUDY**



Date: **October 11, 2023**

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTALS
General Conditions/General Requirements	10.50%			28,350
Estimating / Design Contingency	12.50%			37,294
Insurance & Bonds	1.60%			5,370
General Contractor's Overhead and Profit	7.35%			25,065
Escalation: July 2025	7.81%			28,581
Total Construction Cost				394,660

Junior - Senior High Fire Suppression System

D 4010 Sprinklers

Fire sprinkler system complete at auditorium, stage, gymnasium, lockers and weight room area	23,000	SFA	7.00	161,000
Sub-Total				161,000
General Conditions/General Requirements	10.50%			16,905
Estimating / Design Contingency	12.50%			22,238
Insurance & Bonds	1.60%			3,202
General Contractor's Overhead and Profit	7.35%			14,946
Escalation: July 2025	7.81%			17,043
Total Construction Cost				235,334

Building Demolition and Abatement

F 2020 Hazardous Components Abatement

HAZMAT Abatement: Library Building	6,350	GFA	7.00	44,450
HAZMAT Abatement: Elementary School Buildings	29,325	GFA	7.00	205,275
Sub-Total				654,711
General Conditions/General Requirements	10.50%			68,745
Estimating / Design Contingency	12.50%			90,432
Insurance & Bonds	1.60%			13,022
General Contractor's Overhead and Profit	7.35%			60,778
Escalation: July 2025	7.81%			69,305
Total Construction Cost				956,993

Clerestory Glazing Improvements

B2023 Storefronts

Clerestory glazing at Junior High Commons	364	SF	110.00	40,040
Sub-Total				43,061
General Conditions/General Requirements	10.50%			4,521
Estimating / Design Contingency	12.50%			5,948
Insurance & Bonds	1.60%			856
General Contractor's Overhead and Profit	7.35%			3,997
Escalation: July 2025	7.81%			4,558
Total Construction Cost				62,943

Date: October 11, 2023

ITEM DESCRIPTION	QUANTITY	UNIT	UNIT COST	TOTALS
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Structural Upgrades for new HVAC units at Zones A1, B, E, F

B 1020 Roof Construction				
Structural upgrades at Zones A1 for HVAC Units	2,106	SFA	6.40	13,478
Structural upgrades at Zones B for HVAC Units	5,405	SFA	6.40	34,592
Structural upgrades at Zones E for HVAC Units	14,621	SFA	6.40	93,574
Structural upgrades at Zones F for HVAC Units	9,829	SFA	6.40	62,906

	Sub-Total	204,550
General Conditions/General Requirements	10.50%	21,478
Estimating / Design Contingency	12.50%	28,254
Insurance & Bonds	1.60%	4,069
General Contractor's Overhead and Profit	7.35%	18,989
Escalation: July 2025	7.81%	21,653
Total Construction Cost		298,992

ROOFING AND HVAC PLANNING STUDY

at Chimacum School District

APPENDIX

- Photos for Planning Zones
- Facility Condition Assessment Report



CHIMACUM
SCHOOL DISTRICT

studio **MENG**
STRAZZARA

APPENDIX – PHOTOS OF PLANNING ZONES

CHIMACUM CREEK PRIMARY, ZONES 1-5



Zone 1 - 1



Zone 1 - 2



Zone 1 - 3



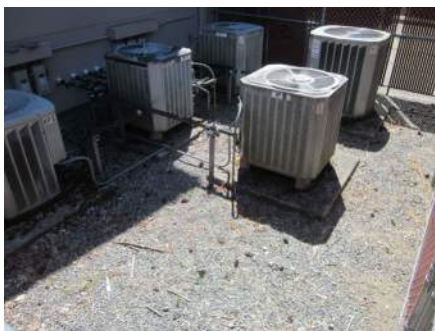
Zone 2 - 1



Zone 2 - 2



Zone 2 - 3



Zone 2 - 4

APPENDIX – PHOTOS OF PLANNING ZONES



Zone 3 - 1



Zone 3 - 2



Zone 3 - 3



Zone 4 - 1



Zone 4 - 2



Zone 4 - 3



Zone 4 - 4



Zone 4 - 5



Zone 4 - 5



Zone 4 - 7

APPENDIX – PHOTOS OF PLANNING ZONES



Zone 5 - 1



Zone 5 - 2



Zone 5 - 3



Zone 5 - 4



Zone 5 - 5



Zone 5 - 6



Zone 5 - 7



Zone 5 - 8

APPENDIX – PHOTOS OF PLANNING ZONES

ELEMENTARY BUILDING, ZONE A



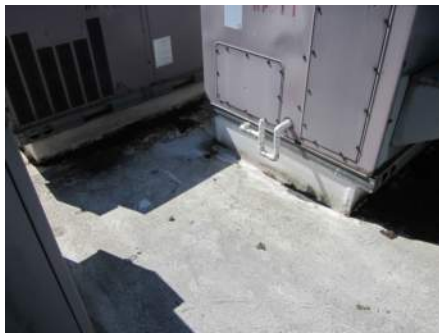
Zone A1 - 1



Zone A1 - 2



Zone A1 - 3



Zone A1 - 4



Zone A1 - 5



Zone A1 - 6



Zone A1 - 7



Zone A1 - 8



Zone A1 - 9

APPENDIX – PHOTOS OF PLANNING ZONES



Zone A1 - 10



Zone A1 - 11



Zone A1 - 12



Zone A1 - 13

APPENDIX – PHOTOS OF PLANNING ZONES

JUNIOR-SENIOR HIGH BUILDING, ZONES B-J



Zone B - 1



Zone B - 2



Zone B - 3



Zone B - 4



Zone B - 5



Zone B - 6



Zone B - 7

APPENDIX – PHOTOS OF PLANNING ZONES



Zone C - 1



Zone C - 2



Zone C - 3



Zone C - 4



Zone C - 5



Zone C - 6



Zone D - 1



Zone D - 2



Zone D - 3



Zone D - 4



Zone D - 5

APPENDIX – PHOTOS OF PLANNING ZONES



Zone E - 1



Zone E - 2



Zone E - 3



Zone E - 4



Zone E - 5



Zone E - 6



Zone E - 7



Zone E - 8

APPENDIX – PHOTOS OF PLANNING ZONES



Zone E - 9



Zone E - 10



Zone E - 11



Zone E - 12



Zone E - 13



Zone E - 14



Zone E - 15



Zone E - 16



Zone E - 17



Zone E - 18



Zone E - 19



Zone E - 20

APPENDIX – PHOTOS OF PLANNING ZONES



Zone E - 21



Zone E - 22



Zone E - 23



Zone E - 24



Zone E - 25



Zone E - 26



Zone E - 27



Zone E - 28



Zone E - 29



Zone E - 30

APPENDIX – PHOTOS OF PLANNING ZONES



Zone F - 1



Zone F - 2



Zone F - 3



Zone F - 4



Zone F - 5



Zone F - 6



Zone F - 7



Zone F - 8



Zone F - 9



Zone F - 10

APPENDIX – PHOTOS OF PLANNING ZONES



Zone G - 1



Zone G - 2



Zone G - 3



Zone G - 4



Zone G - 5



Zone G - 6



Zone G - 7



Zone G - 8



Zone G - 9



Zone G - 10



Zone G - 11



Zone G - 12

APPENDIX – PHOTOS OF PLANNING ZONES



Zone G - 13



Zone G - 14



Zone G - 15



Zone G - 16



Zone G - 17



Zone G - 18



Zone G - 19



Zone G - 20



Zone G - 21



Zone G - 22

APPENDIX – PHOTOS OF PLANNING ZONES



Zone H - 1



Zone H - 2



Zone H – 3



Zone H - 4



Zone H - 5



Zone I - 1



Zone I - 2



Zone I – 3

APPENDIX – PHOTOS OF PLANNING ZONES



Zone J - 1



Zone J - 2



Zone J – 3



Zone J - 4



Zone J - 5



Zone J – 6



Zone J - 7

APPENDIX - FCA REPORT

Chimacum School District

2021 Facility Condition Assessment

Report Volume 2: Facility Detail Report



CHIMACUM
SCHOOL DISTRICT

DEEP ROOTS BROAD HORIZONS



Prepared by MENG Analysis October 20, 2021

Facility Summary

Chimacum School District
Chimacum Creek Primary
Chimacum Creek Primary Building

313 Ness Corner Road
Port Hadlock, WA 98339

Facility Size - Gross S.F.	29,739
Year Of Original Construction	2001
Facility Use Type	Elementary School
Construction Type	Light
# of Floors	1
Energy Source	Electric
Year Of Last Renovation	2001
Historic Register	No



		Total Project Cost		Total Project Cost - Present Value
Weighted Avg Condition Score	2.3			
Facility Condition Index (FCI)	0.09	Predicted Renewal Budget (ALL)	\$3,932,000	\$3,575,000
Current Replacement Value (CRV)	\$12,000,000	Observed Deficiencies (ALL)	\$1,242,000	\$1,211,000
Beginning Budget Year	2021			

Facility Condition Summary

Modern, single-story elementary school with structure, exterior, and interior finishes in mostly good condition, including new roof covering, and relatively fresh exterior and interior paint, excluding classrooms. The original split Dx heat pump outside condensing units and inside auxiliary electric resistance heat controllers are nearing end of life, with aging controls, exacerbated by unclear thermal envelope issues, with overall HVAC in fair condition. The insulated attic space is inherently problematic - the attic space volume may be greater than the occupied space - in the winter some occupied spaces never reach target comfort temperature (70 to 72 deg F), as most the heat rises up through the uninsulated ceiling to the large attic space above, while in the summer the hot attic makes cooling the occupied space directly below less energy efficient at the least - this is a complicated issue, needing further investigation. Plumbing is modern in good condition. Fire protection is wet pipe fire sprinkler in good condition. Electrical is overall in good condition with no issues reported, other than no standby power. The main electrical board has capacity for future expansion. All other electrical systems are all functional. The lighting levels are good.

Facility Summary

Chimacum School District
Chimacum Creek Primary
Chimacum Creek Primary Building

313 Ness Corner Road
Port Hadlock, WA 98339

Facility Components

Systems		Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
A Substructure				2.0			
A10	Foundations						
A1010	Standard Foundations	2001	2001	2	MAL	07/09/21	Standard concrete foundation in good condition.
A1030	Slab On Grade	2001	2001	2	MAL	07/09/21	Standard concrete slab on grade in good condition.
B Shell				2.0			
B10	Superstructure						
B1010	Floor Construction	2001	2001	2	MAL	07/09/21	Wood framed mezzanine platform in good condition.
B1020	Roof Construction	2001	2001	2	MAL	07/09/21	Wood framed with wood joists supported on wood framed walls with glulam beams in good condition.
B20	Exterior Closure						
B2010	Exterior Walls	2001	2001	2	MAL	07/09/21	Wood framed in most areas, CMU at gym. Finish includes EIFS system at lower walls with metal panel above. Soffits are wood framed. All in good condition. Some EIFS panels in need of paint as minor maintenance.
B2020	Exterior Windows	2001	2001	2	MAL	07/09/21	Dual-glazed vinyl windows, some translucent panels at gym.
B2030	Exterior Doors	2001	2001	3	MAL	07/09/21	Hollow metal doors in hollow metal frames with ADA-compliant hardware, some doors with lites.
B30	Roofing						
B3010	Roof Coverings	2001	2020	1	MAL	07/09/21	Asphalt shingles.

Facility Summary

Chimacum School District
Chimacum Creek Primary
Chimacum Creek Primary Building

313 Ness Corner Road
Port Hadlock, WA 98339

Facility Components

Systems		Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
B Shell		2.3					
B30	Roofing						
B3020	Roof Openings	2001	2001	2	MAL	07/09/21	Skylight in good condition.
B3030	Projections	2001	2001	3	MAL	07/09/21	Wood framed entrance canopy.
C Interiors		2.1					
C10	Interior Construction						
C1010	Partitions	2001	2001	2	MAL	07/09/21	Wood framed walls, some hollow metal glazed openings, all in good condition.
C1020	Interior Doors	2001	2001	2	MAL	07/09/21	Hollow metal doors in hollow metal frames with ADA-compliant hardware at utility rooms, wood doors in hollow metal frames at most rooms with ADA-compliant hardware. Stainless steel coiling door at kitchen and food service. All doors in good condition.
C1030	Fittings	2001	2001	2	MAL	07/09/21	Restroom accessories, plastic laminate restroom partitions, markerboards, coat hooks in corridors - all in good condition.
C30	Interior Finishes						
C3010	Wall Finishes	2001	2001	2	MAL	07/09/21	Wall paint, FRP in restrooms and custodial rooms, some vinyl wall covering in corridors and classrooms - all in good condition.
C3020	Floor Finishes	2001	2001	3	MAL	07/09/21	Combination of carpet and VCT in classrooms. Carpet in administration areas. Carpet and VCT in corridors. Sheet vinyl in staff restrooms and storage rooms. Rubberized flooring in gym. Anti-slip resilient flooring in kitchen. Flooring in fair condition due to wear and tear.
C3030	Ceiling Finishes	2001	2001	2	MAL	07/09/21	ACT in most areas, some gypsum in utility areas, all in good condition.

Facility Summary

Chimacum School District
Chimacum Creek Primary
Chimacum Creek Primary Building

313 Ness Corner Road
Port Hadlock, WA 98339

Facility Components

Systems		Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
D20	Plumbing						
D2010	Plumbing Fixtures	2001	2001	3	DCS	07/09/21	Original water closets and urinals with manual flush valves; gang lavatories with manual faucets. Newer hydration stations. Original classroom sinks. Fixtures in good condition, but trim in fair condition, with some lavatory push-buttons failing. Dedicated restrooms in the preschool and kindergarten wing rooms.
D2020	Domestic Water Distribution	2001	2001	3	DCS	07/09/21	City water with three-inch service to copper distribution piping in good condition, but missing reduced pressure backflow prevention - minor maintenance to install. Two electric hot water heaters, one older, one newer (2020, 85-gal, 18 kW electric resistance heat), with recirculation pumps and small expansion tank; with main mechanical room hot water pipe insulation missing since recent water heater replacement - minor maintenance to replace.
D2030	Sanitary Waste	2001	2001	2	DCS	07/09/21	Cast iron waste piping in good condition. Tested fixtures draining and flushing well, with no issues reported.
D2040	Rain Water Drainage	2001	2001	2	DCS	07/09/21	Metal gutter draining to non-metallic (PVC) downspouts to site storm drainage in good condition, mix of downspouts with and without clean-outs, but no reported issues.
D30	HVAC						
D3020	Heat Generating Systems	2001	2001	3	DCS	07/09/21	Duct heaters with past reports of failing controllers. Toilet room ceiling radiant heaters previously not connected - connect as desired as minor maintenance.
D3030	Cooling Generating Systems	2001	2001	4	DCS	07/09/21	Packaged cooling unit for data room nearing end of life - minor maintenance to replace or upgrade to ductless mini-split.

Facility Summary

Chimacum School District
Chimacum Creek Primary
Chimacum Creek Primary Building

313 Ness Corner Road
Port Hadlock, WA 98339

Facility Components

Systems	Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
D Services			2.8			
D30 HVAC						
D3040 HVAC Distribution Systems	2001	2001	3	DCS	07/09/21	Sheet metal air distribution system with individual space economizer relief and ducted exhausts. Sheet metal in good condition, including recently renewed economizer relief dampers. One operable window at the principal's office, hence all other occupied spaces are completely dependent on the HVAC system for ventilation; however most windows do have manually-operated blinds to assist with solar heat gain and daylight glare reduction. Reportedly all smoke/fire dampers were renewed about 2015 following discovery that most were improperly installed during original construction.
D3050 Terminal and Package Units	2001	2001	4	DCS	07/09/21	Split system heat pumps with outside units at end of life. Associated refrigerant piping marginally supported in some areas with outside insulation failing.
D3060 Controls and Instrumentation	2001	2001	4	DCS	07/09/21	Original Schneider controls at end of life, but unknown historical energy use - upon review if energy use if found to be high, an energy audit and/or building tune-up is suggested. Heat pump defrost control interlocks were reported as originally missing, but have been retrofit in 25% of units, with the remaining 75% still needing this retrofit - noting it may be better to simply replace all the heat pumps and associated controls at the same time.
D3090 Other HVAC Systems and Equipment	2001	2001	2	DCS	07/09/21	Stainless steel Type 2 heat and moisture hoods in kitchen in good condition with no issues reported.
D40 Fire Protection						
D4010 Fire Protection Sprinkler Systems	2001	2001	2	DCS	07/09/21	Six-inch service to four-inch wet and three-inch dry fire sprinkler risers, then to distribution throughout. Assume the dry pipe system is for the attic space (confirm). Observed pressures are 80 to 90 psig at base of wet risers, and 40 psig at the dry pipe (compressed air pressure); all with no issues reported.
D4030 Fire Protection Specialties	2001	2001	2	DCS	07/09/21	Fire extinguishers in cabinets.

Facility Summary

Chimacum School District
Chimacum Creek Primary
Chimacum Creek Primary Building

313 Ness Corner Road
Port Hadlock, WA 98339

Facility Components

Systems	Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
D Services			2.8			
D50 Electrical						
D5010 Electrical Service and Distribution	2001	2001	2	DCS	07/09/21	Main distribution board is Square D 480/277 3-phase 4-wire with a 1,200 amp main breaker, including power quality monitoring, but unclear surge suppression. The short circuit current and breaker coordination settings appear to be factory default - confirm proper settings per original coordination study as applicable. The distribution section is fused and has spare sections provided for future permanent building expansion, plus future portables.
D5020 Lighting and Branch Wiring	2001	2001	3	DCS	07/09/21	General lighting is mostly 2'x4' and 2'x2' recessed T8 fluorescent fixtures with some T8 pendant in entry and 2'x2' metal halide (confirm) in multipurpose room. Reportedly the gym (multipurpose) room is planned for upgrade to LED summer 2021. Many spaces, including most classrooms appear to have occupancy sensor lighting control, noting some sensors were observed damaged - assume minor maintenance to repair or
D5032 Low Voltage Communication	2001	2001	2	DCS	07/09/21	Intercom system is Telecenter ICS located in the main data room. Telephone system has been changed to voice over IP (VOIP), with District standard Yealink handsets. Two plain old telephone service (POTS) red handsets are provided in the main office. Short throw projectors in most classrooms, but some classrooms still have increasingly obsolete CRT TVs with VCRs - minor maintenance to remove and donate. Blonder Tongue CATV system, reportedly abandoned in place.
D5037 Low Voltage Fire Alarm	2001	2018	2	DCS	07/09/21	New fire alarm control panel (FACP) is an Edwards EST 3 addressable panel.
D5038 Low Voltage Security	2001	2001	3	DCS	07/09/21	DSC security system with keypad at main entry. Motion sensors and door contact provided, however limited coverage.

Facility Summary

Chimacum School District
Chimacum Creek Primary
Chimacum Creek Primary Building

313 Ness Corner Road
Port Hadlock, WA 98339

Facility Components

Systems							Comments
		Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	
D Services				2.8			
D50	Electrical						
D5039	Low Voltage Data	2001	2001	3	DCS	07/09/21	Telecommunications cabling for voice and data is in good condition. Rating is CAT 5. MDF is a dedicated sub-room in the main mechanical and electrical room area. WiFi is provided in some or all classroom spaces, but is reportedly weak outside - assume minor maintenance to improve as needed.
D5090	Other Electrical Systems	2001	2001	4	DCS	07/09/21	Egress lighting is provided via emergency battery packs within dedicated fixtures. Previously these battery packs were reported as failing - confirm replaced as needed as minor maintenance. Observed exit signs appeared functional, but emergency battery packs should be checked same as egress fixtures.
E Equipment and Furnishings				2.0			
E10	Equipment						
E1010	Commercial Equipment	2001	2001	3	DCS	07/09/21	Residential-grade appliances in staff and some student area areas, including kitchen appliances and washer & dryers, with mix of older and newer.
E1020	Institutional Equipment	2001	2001	2	DCS	07/09/21	Stainless steel kitchen equipment and gym equipment with no issues reported, except kitchen griddle to be replaced with two-burner range as minor maintenance in the near future, noting this kitchen is not permitted for grease cooking - the commercial kitchen is warming-only.
E20	Furnishings						
E2010	Fixed Furnishings	2001	2001	2	MAL	07/09/21	PLAM casework and window coverings in fair to good condition.

Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Creek Primary
Facility: Chimacum Creek Primary Building

C3020	Floor Finishes	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		3	5	2021	20,000	\$7.50	SF	\$150,000	\$293,760

Deficient Material: Carpet
Carpet shows signs of wear and tear.

Remedial Action:
Remove and replace carpet.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Creek Primary
Facility: Chimacum Creek Primary Building

D2010	Plumbing Fixtures	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	2	2021	29,739	\$0.50	SF	\$14,870	\$29,120

Deficient Material: Trim
Trim approaching end of life, with some already failing, specifically gang lavatory push-buttons.

Remedial Action:
Renew fixture trim; especially gang lavatory push-buttons.

Action Type:
Code Issue



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Creek Primary
Facility: Chimacum Creek Primary Building

D3020	Heat Generating Systems	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	3	2021	23	\$600.00	EA	\$13,800	\$27,026

Deficient Material: **Controllers**
Past reports of duct heater controllers (SCRs) failing.

Remedial Action:
Replace controllers as they fail.

Action Type:
Energy Efficiency



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District

Site: Chimacum Creek Primary

Facility: Chimacum Creek Primary Building

D3050	Terminal and Package Units	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	2	2021	23	\$14,500.00	EA	\$333,500	\$653,126

Deficient Material: **Condensing Units**

Outside condensing units at end of life, with some compressors already failing. Marginal refrigerant tubing support with failing outside insulation. All existing heat pumps are R-22 refrigerant based; R-22 is obsolete and increasingly difficult and/or expensive to obtain.

Remedial Action:

Replace heat pumps with modern refrigerant-based technology as they fail; alternately as one large project for improved economy of scale and consistency. Assume both inside and outside units will need replacement due to needed change in refrigerant.

Action Type:

Energy Efficiency



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Creek Primary
Facility: Chimacum Creek Primary Building

D3060	Controls and Instrumentation	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	2	2021	29,739	\$3.50	SF	\$104,087	\$203,843

Deficient Material: Controls
Obsolete controls with unknown energy use.

Remedial Action:
Replace controls with District standard meeting current energy code requirements.

Action Type:
Energy Efficiency



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Creek Primary
Facility: Chimacum Creek Primary Building

D3060	Controls and Instrumentation	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	1	2021	18	\$1,000.00	EA	\$18,000	\$35,251

Deficient Material: Defrost controls
Defrost cycle controls not interlocked, resulting occupant thermal discomfort during defrost cycles.

Remedial Action:
Complete defrost cycle interlock retrofit on remaining 75% of heat pump systems.

Action Type:
Energy Efficiency



Facility Summary

Chimacum School District
Chimacum Creek Primary
Chimacum Creek Primary Infrastructure

313 Ness Corner Road
Port Hadlock, WA 98339

Facility Condition Summary

Site includes multiple parking areas and drop-off loop at main entry, new covered bicycle parking structure, multiple newer sheds, a few older sheds, newer fencing, hard and soft play areas, including several small playground apparatus, and main academic building which includes main entry and admin to SW, gym wing to east, and two academic wings to north and west. Reportedly building structure, mechanical, and electrical systems are roughed-in for future addition of a new classroom wing to south and extension of the north classroom wing further north, creating an opportunity to move the elementary school at the main campus location to the Chimacum Creek location in the future to consolidate and simplify District operations and fully separate the elementary and secondary schools.

City water with fire loop including hydrants. Onsite septic system with current inspection but aging in fair condition. Underground power, phone, and network utility services provided. Onsite utility transformer in good condition. Lights provided all around building with single and twin head parking lot light poles in generally good condition. No generator back up power is provided on site. Opportunity to replace existing exterior wall packs and pole lights from metal halide to LED fixtures to save energy and reduce maintenance, where not already.

Facility Summary

Chimacum School District
Chimacum Creek Primary
Chimacum Creek Primary Infrastructure

313 Ness Corner Road
Port Hadlock, WA 98339

Facility Components

Systems		Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
G Sitework							
G20 Site Improvements							
G2010	Roadways	2001	2001	3	MAL	07/09/21	AC paved with concrete curbs in good condition. Gravel fire lane to west of building in fair condition.
G2020	Parking Lots	2001	2001	3	MAL	07/09/21	AC paved with concrete curbs in good condition.
G2030	Pedestrian Paving	2001	2001	3	MAL	07/09/21	Concrete walks.
G2040	Site Development	2001	2001	2	MAL	07/09/21	Wood framed bus shelter in fair condition, needs paint or stain as minor maintenance. Some chain link fencing, in good condition. Gravel play area, AC paved hardcourt and play equipment all in good condition. Wood framed storage shed in fair condition.
G2050	Landscaping	2001	2001	3	MAL	07/09/21	Trees, shrubs, and lawn in need of maintenance. Irrigation limited to front of school building.
G30 Site Civil / Mechanical Utilities							
G3010	Water Supply	2001	2001	2	DCS	07/09/21	Jefferson County PUD water service to fire loop, fire service, water service, and irrigation. Water pressure (80 psig), but no apparent backflow prevention. Estimated three-inch service to building.
G3020	Sanitary Sewer	2001	2001	3	DCS	07/09/21	Onsite septic tanks with duplex dosing pumps to large drain field at play area. In fair condition reportedly with current health department inspection and no issues, noting a recent grass fire burned a portion of the plastic slat screen tanks and pump fencing to east, near the pump power and control panels.

Facility Summary

Chimacum School District
Chimacum Creek Primary
Chimacum Creek Primary Infrastructure

313 Ness Corner Road
Port Hadlock, WA 98339

Facility Components

Systems	Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
G Sitework						
G30 Site Civil / Mechanical Utilities						
G3030 Storm Sewer	2001	2001	2	DCS	07/09/21	Underground system in good condition, vaults appear clear and free of debris. No issues reported, but detention and/or treatment not observed - confirm present and functional per applicable regulatory requirements as minor maintenance.
G3050 Cooling Distribution	2001	2001	4	DCS	07/13/21	Condensing units all located outside in four fenced condenser unit farms; all are overgrown with weeds, reducing performance and shortening equipment life. Minor maintenance to clear.
G40 Site Electrical utilities						
G4010 Electrical Distribution	2001	2001	2	DCS	07/09/21	Site is served via underground conduit from Jefferson County PUD utility pole off Ness County Road to a 500 kVA pad-mount transformer also owned by Jefferson County PUD which serves the main distribution gear located inside the building. PUD meter No. Z03-995-126 with three-phase power delivered at 480V.
G4020 Site Lighting	2001	2001	3	DCS	07/09/21	Site lighting provided by twin- and single-head pole-mounted fixtures, and building wall packs. Lights are controlled via building management system. Lamp types are 100 watt metal halide on the building and 400 watt metal halide at poles. Some lamps may be upgraded to LED. Most wall pack lenses are yellowed and many are cracked and damaged.
G4030 Site Communications and Security	2001	2001	2	DCS	07/09/21	Wide area network fiber optic cabling provided to the site. Intercom and fire alarm devices provided all around the building perimeter.
G90 Other Site Construction						
G9090 Other Site Systems	2001	2001	2	DCS	07/13/21	Multiple newer sheds and other out-buildings and structures, most in good condition, a few in fair or poor condition - minor maintenance to replace or repair, no specific issues reported. Relatively new garden area to south of gym wing.

Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Creek Primary
Facility: Chimacum Creek Primary Infrastructure

G3020	Sanitary Sewer	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	3	2021	1	\$8,000.00	LS	\$8,000	\$15,667

Deficient Material: Septic system
The existing drain field is reportedly soon due for redevelopment.

Remedial Action:
Clean, flush, test, and repair the existing drain field as needed per inspection report.

Action Type:
Code Issue



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Creek Primary
Facility: Chimacum Creek Primary Infrastructure

G4020	Site Lighting	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	1	2021	16	\$500.00	EA	\$8,000	\$15,667

Deficient Material: Site lighting
Many building exterior wall packs have yellowed, cracked, broken, or damaged lenses.

Remedial Action:
Replace with LED wall packs or sconces.

Action Type:
Energy Efficiency



Deficiency Repair Cost Markups By System

2021 - 2026

Chimacum School District

Site: Chimacum Creek Primary

Facility	System	Direct Construction Cost	Contingency 20%	Contractor's OH & P 20%	Project Soft Cost 36%	Total Project Cost	Total Project Cost (Present Value)
Chimacum Creek Primary Building	C30 Interior Finishes	\$150,000	\$30,000	\$36,000	\$77,760	\$293,760	\$280,036
	D20 Plumbing	\$14,870	\$2,974	\$3,569	\$7,708	\$29,120	\$28,569
	D30 HVAC	\$469,387	\$93,877	\$112,653	\$243,330	\$919,247	\$901,900
	Facility Total	\$634,256	\$126,851	\$152,221	\$328,798	\$1,242,127	\$1,210,505
Chimacum Creek Primary Infrastructure	G30 Site Civil / Mechanical Utilities	\$8,000	\$1,600	\$1,920	\$4,147	\$15,667	\$15,225
	G40 Site Electrical utilities	\$8,000	\$1,600	\$1,920	\$4,147	\$15,667	\$15,518
	Facility Total	\$16,000	\$3,200	\$3,840	\$8,294	\$31,334	\$30,743
Site Total		\$650,256	\$130,051	\$156,061	\$337,093	\$1,273,461	\$1,241,248

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum High School Building 100A

91 West Valley Road
Chimacum, WA 98325

Facility Size - Gross S.F.	77,186
Year Of Original Construction	1980
Facility Use Type	High School
Construction Type	Medium
# of Floors	1
Energy Source	Electric
Year Of Last Renovation	1999
Historic Register	No



		Total Project Cost		Total Project Cost - Present Value
Weighted Avg Condition Score	2.7			
Facility Condition Index (FCI)	0.13	Predicted Renewal Budget (ALL)	\$20,685,000	\$18,967,000
Current Replacement Value (CRV)	\$41,023,000	Observed Deficiencies (ALL)	\$8,809,000	\$8,865,000
Beginning Budget Year	2021			

Facility Condition Summary

Most the structure is in good condition, but portions of the building enclosure are poor including failing T1-11 siding, single-glazed windows, and dirty aging membrane roof covering. Many interior finishes and certain plumbing fixtures have been updated. The high school building has undergone multiple additions and modernizations. Mix of newer and older rooftop units, split Dx, multi-zone, and heat recovery equipment with mostly modern, but some aging digital controls. Plumbing is modern with some issues, but overall good condition. Fire sprinkler in good condition where installed, but some areas are not protected, such as gym and auditorium. Opportunity to add air conditioning to new multi-zone unit serving the south classroom wing. The high school has two newer main electrical switchboards, with many newer feeders and panel boards, and some new transformers. All the electrical branch panels are 1998 and 2016 installs. The lighting is mostly increasingly aged fluorescent. All electrical systems are functional, including relatively new fire alarm system and relatively new closed-circuit television (CCTV) electronic security monitoring system.

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum High School Building 100A

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems		Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
A Substructure				2.0			
A10 Foundations							
A1010	Standard Foundations	1980	1999	2	MAL	07/07/21	Standard concrete foundation system in good condition.
A1030	Slab On Grade	1980	1999	2	MAL	07/07/21	Standard concrete slab on grade system in good condition.
B Shell				3.1			
B10 Superstructure							
B1010	Floor Construction	1980	1999	2	MAL	07/07/21	Wood framed mezzanine in good condition. Wood framed catwalk in auditorium in fair condition due to age.
B1020	Roof Construction	1980	1999	3	MAL	07/07/21	Classroom wings, wood truss on masonry walls, Commons wood beams on concrete columns with cardeck, Gym is metal open web truss with metal deck supported by CMU and newer addition is wood framed with plywood sheathing on framed walls, all in good condition. Minimal insulation
B20 Exterior Closure							
B2010	Exterior Walls	1980	1999	3	MAL	07/07/21	Newer addition CMU veneer with metal panels above. 1980 portion fluted CMU with T1-11 wood panels. Areas with newer overhangs and additions. Building facade failing and/or improperly installed in numerous areas. T1-11 failing especially in areas with higher levels of solar exposure. Building flashing inadequate in many areas. Building facade requires replacement. This work may trigger a required thermal envelope upgrade to current code.
B2020	Exterior Windows	1980	1999	5	MAL	07/07/21	1999 addition double-glazed windows in fiberglass frames, aluminum storefront, 1980 portion included single-glazed windows in aluminum frames.

Facility Summary

Chimacum School District
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Chimacum High School Building 100A

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems		Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
B Shell				3.1			
B20	Exterior Closure						
B2030	Exterior Doors	1980	1999	2	MAL	07/07/21	Aluminum storefront with ADA-compliant hardware. Hollow metal doors in hollow metal frames along west side of building.
B30	Roofing						
B3010	Roof Coverings	1980	2015	3	MAL	07/07/21	1999 addition with composition shingle roofing, most roofing single-ply membrane resealed in 2015.
B3030	Projections	1980	1999	3	MAL	07/07/21	Steel canopy at front of entrance in good condition, metal covered walk along west side of building.
C Interiors				2.2			
C10	Interior Construction						
C1010	Partitions	1980	1999	2	MAL	07/07/21	Wood framed walls with some masonry (previously an exterior wall), some glazed openings and operable partitions.
C1020	Interior Doors	1980	1999	3	MAL	07/07/21	Combination of wood doors and hollow metal doors in hollow metal frames with interior aluminum storefront and stainless steel coiling doors at kitchen. Specialty doors include fire door at commons and revolving dark room door. All doors found to have ADA-compliant hardware, some showing wear.
C1030	Fittings	1980	1999	2	MAL	07/07/21	Mostly PLAM restroom partitions, metal in auditorium building, newer accessories, metal lockers in shower/locker room.
C20	Staircases						
C2010	Stair Construction	1980	1999	2	MAL	07/07/21	Wood framed stairs at auditorium stage.

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum High School Building 100A

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems		Original System Date	Renewal Date	Last Date	Score	Surveyor	Survey Date	Comments
C Interiors		2.2						
C30	Interior Finishes							
C3010	Wall Finishes	1980	1999	2	MAL	07/07/21	Wall paint, 3/4-height ceramic tile in some restrooms, PLAM 1/2-height in student restrooms, wood panel in corridors and gym, acoustic panels at upper walls in gym. Finishes in good condition.	
C3020	Floor Finishes	1980	1999	3	MAL	07/07/21	New sheet flooring in commons, rubber tile in weight room, carpet in library and classrooms in fair condition due to wear. Many classrooms have new carpet tiles installed. Quarry tile in kitchen and ceramic tile in restrooms, sealed concrete in shower locker rooms, wood athletic flooring in gym. Auditorium includes sealed concrete with carpet runners and aged wood floor at stage.	
C3030	Ceiling Finishes	1980	1999	2	MAL	07/07/21	2x4 ACT in corridors, classrooms, offices, and some restrooms. 12x12 tiles in weight room, gypsum in utility areas, acoustic tile in library, open wood structure in commons, clean 2x4 in kitchen. Some minor damage and stained tiles but overall good condition.	
D Services		2.8						
D20	Plumbing							
D2010	Plumbing Fixtures	1981	1999	3	DCS	07/07/21	Water closets, urinals, lavatories, showers, drinking fountains, hydration station, hose bibs, classroom sinks, science room sinks, commercial kitchen support, and others including a mix of mostly newer, but some older fixtures with manual trim. Several new bathroom areas with private water closets and new shared wash basins.	
D2020	Domestic Water Distribution	1981	1999	3	DCS	07/07/21	Three-inch city water service with four branch lines to wings. No apparent backflow prevention or pressure control, but pressure is near 70 psig. Mix of older and newer electric hot water heaters and circulating pumps. 2020 water heater, 85-gal, 18 kW heating capacity. Copper piping, mostly insulated where observed. Concern regarding new WA State law calling for school water lead contamination below 5 ppb.	

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum High School Building 100A

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems			Original Renewal Date Last System Date	Score	Surveyor	Survey Date	Comments
D Services				2.8			
D20 Plumbing							
D2030	Sanitary Waste		1981 1999	2	DCS	07/07/21	Mostly cast iron drain, waste & vent with some galvanized in older areas. All tested fixtures flush and drain well, with no issues reported. Drains to onsite septic system. Grease interceptor for kitchen, reportedly in good condition with no issues reported.
D2040	Rain Water Drainage		1981 1999	3	DCS	07/07/21	Mix of internal roof drains, some with overflow roof drains. Scupper, metal gutter, and painted-PVC downspout with mix of discharge to grade, drywells, and site stormwater system. Variety of issues including poorly draining flat roof areas, previously reported uninsulated roof drains, and excessive bird nesting in overflow roof drain cow tongues.
D2090	Other Plumbing Systems		1981 1999	3	DCS	07/07/21	Art systems including solids traps, both under-sink and at pottery wheel floor grate pit. Science systems including propane gas, safety shower and eyewash stations with tempered water, and acid waste piping. Newer gas shut-off feature at science rooms. Shop systems including compressed air with 3-hp motor, mostly used for duct collector operation. Clean, inspect, and test the acid waste neutralization tanks reportedly at the service year; renew neutralization media (e.g., lime block) as needed, as minor maintenance. Clean and preserve compressed air piping outside as minor maintenance.
D30 HVAC							
D3010	Energy Supply		1981 1999	3	DCS	07/07/21	One aging 250-gallon propane tank with seismic shut-off valve serving science rooms; aging but reportedly functional.
D3020	Heat Generating Systems		1981 1999	3	DCS	07/07/21	Electric duct heaters for north classroom wing with controllers approaching end of life. Original asbestos-insulated steam piping reportedly demolished and abated. Somewhat newer electric furnace heaters for south classroom wing located inside the rooftop multi-zone package.

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum High School Building 100A

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems	Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
D Services			2.8			
D30 HVAC						
D3030 Cooling Generating Systems	1981	1999	3	DCS	07/07/21	Split heat pump system condensing units outside, at grade, to north, serving north classroom wing, all at end of life. One ductless split cooling system for the main distribution frame (MDF) room. Minimal ventilation cooling for at least one intermediate distribution frame (IDF) room, and no cooling at all for the gym A/V closet. Ventilation cooling only for south classroom wings, gym, auditorium, and certain other spaces.
D3040 HVAC Distribution Systems	1981	1999	3	DCS	07/07/21	Galvanized sheet metal ductwork with 1999 inside heat pump fan coil units for north classroom wing. New 2014 rooftop multi-zone with electric-resistance heat only for south classroom wing. Older inside air handling units serving gym. Original built-up air handling system serving auditorium, with steam coil replaced with electric, plus exhaust systems. 2014 equipment in good condition, 1999 equipment in fair condition, and 1981 or prior equipment in poor condition. Opportunity to upgrade south classroom wing multi-zone unit to add air conditioning. Observed rooftop units have a mix of MERV-8 and -13 mixed-air (supply air) filters, most with washable permanent outside air intake screens. Some screens are damaged and need cleaning or replacement as minor maintenance.
D3050 Terminal and Package Units	1981	1999	3	DCS	07/07/21	2014 Aeon rooftop heat pump units for east classroom wing and library. Many 1999 Carrier rooftop heat pump units serving administration and support areas. 2014 equipment in good condition; 1999 equipment in fair condition. One 2020 rooftop unit HP-121 with economizer with powered exhaust which may be serving the high school commons area south.
D3060 Controls and Instrumentation	1981	1999	3	DCS	07/07/21	Mixed building automation system including Schneider, Siebe, and other devices. System is obsolete with marginal interface to 2014 rooftop units.

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum High School Building 100A

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems		Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
D Services				2.8			
D30	HVAC						
D3090	Other HVAC Systems and Equipment	1981	1999	3	DCS	07/07/21	Shop dust collection system recently renewed and in good condition, supplemented by dust "eaters" in shop in fair condition. Kitchen grease and heat & moisture hoods and exhaust fans in good condition. Science fume hoods, one older in poor condition, one newer in good condition.
D40	Fire Protection						
D4010	Fire Protection Sprinkler Systems	1981	1999	3	DCS	07/07/21	Large eight-inch service to four-inch riser to four-inch wet pipe and two-inch dry pipe fire sprinkler for most areas, but no protection for gym or auditorium. Pressure at riser base observed at 80 psig, with 40 psig compressed air pressure in the dry pipe.
D4030	Fire Protection Specialties	1981	1999	2	DCS	07/07/21	Fire extinguishers in cabinets in good condition; fire blankets in science rooms; AEDs in cabinets in several locations.
D4090	Other Fire Protection Systems	1981	1999	2	DCS	07/07/21	Kitchen grease hood fire suppression system in good condition with current inspection. Auditorium stage heat relief strapped shut.

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum High School Building 100A

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems	Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
D Services			2.8			
D50 Electrical						
D5010 Electrical Service and Distribution	1981	2016	2	DCS	07/07/21	<p>There are two main service distributions serving the high school. Both are served from a 12.47 kV to 480V, three-phase, 2,000 kVA pad-mount transformer NE of the main entry. The District owns the campus 12.47 kV distribution system. Each of the two services appears to have a separate Owner-furnished submeter outside the building, also just NE of the main entry. MDP-1 was replaced in 2015 with a Square D 480/277V 3-phase 4-wire with a 1600 amp main breaker. MDP-2 was replaced in 2016 with a Square D 480/277V three-phase four-wire with a 1,200 amp main breaker. Close to half of the branch panels were also replaced in 2016, with the remainder replaced during the 1999 modernization and addition. Many feeders from MDP-1 and -2 were reportedly replaced as well. There is no standby generator or renewable power generation.</p> <p>MDP-1 appears to have a failed power quality monitoring subsystem and failed transient voltage surge suppression (TVSS) Phase B element. Reportedly the installing contractor, Double D (DD) has been called to repair as minor maintenance.</p> <p>Additionally both MDP-1 and -2 main breaker short-circuit coordination control device settings all appear to be set to factory default - please check the installation coordination study and confirm these</p>
D5020 Lighting and Branch Wiring	1981	1999	3	DCS	07/07/21	<p>General lighting is mostly 2'x4' recessed T8 fluorescent fixtures with some T8 pendants in commons, library, and art areas. Exterior building lights are a mix of 100 watt metal halide and high-pressure sodium. Many spaces including occupancy sensor controlled lighting, but no observed daylighting (auto-dimming) control. Some older occupancy sensor devices appear abandoned in place - minor maintenance to demolish. Several exterior fixtures appear non-functional at covered walk and canopy areas - assume minor maintenance to replace lamps with LED.</p> <p>Colored cloth suspended under behavioral spaces; consider upgrading to color and/or temperature tunable LED lighting for these spaces, each as minor maintenance as needed.</p>

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum High School Building 100A

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems		Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
D Services				2.8			
D50	Electrical						
D5032	Low Voltage Communication	1981	1999	3	DCS	07/07/21	Older Bogen analog clock and public address (PA) system with head-end located in MDF and handset controller in the main office. Newer voice over internet protocol (VOIP) telephone system with Yealink handsets. Modern short-throw projectors onto whiteboards in most classrooms; a few have motorized screens. No apparent voice enhancement systems. Modern A/V system for gym, but with rack located in over-heated room (see D3030). Obsolete A/V system for auditorium, planned for replacement in 2021.
D5037	Low Voltage Fire Alarm	1981	2017	2	DCS	07/07/21	2017 EST 3 addressable fire alarm control panel (FACP) in the interior electrical room, reportedly with all new devices (detection and notification) throughout. Includes beam detection in high-bay spaces including commons, gym, and auditorium.
D5038	Low Voltage Security	2018	2018	3	DCS	07/07/21	Modern CCTV system inside and out, but no access control and no apparent intrusion detection. With reported increase in security concerns, consider collaborating with local law enforcement to conduct a crime prevention through environmental design (CPTED) analysis.
D5039	Low Voltage Data	1981	2017	3	DCS	07/07/21	MDF with at least one IDF; high-speed fiber-optic data to MDF and IDF(s); observed cabling is older CAT 5. Newer WiFi WAPs observed throughout with no issues reported; however the MDF is marginally cooled (see D3030).
D5090	Other Electrical Systems	1981	1999	3	DCS	07/07/21	Egress lighting is provided via emergency battery packs within dedicated fixtures and bug-eye-style egress fixtures. Observed exit signs were lighted, and tested battery-back-up devices were operational, however some spaces have simply paper or plastic placards marking exits - minor maintenance to replace with illuminated exit signs. No standby generator. The old stage lighting system is reportedly failed and abandoned in place.

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum High School Building 100A

91 West Valley Road
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Facility Components

Systems		Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
E Equipment and Furnishings				2.6			
E10 Equipment							
E1020	Institutional Equipment	1980	2014	2	MAL	07/07/21	Stainless steel kitchen equipment in good condition, wood shop equipment in good condition. The ceiling grid system at the media room appears currently abandoned in place, as does the adjacent control booth. Gym equipment, scoreboards, backstops, wall pads, and curtain in good condition. Auditorium seating is original but cushions in good condition. Stage curtains have been recently replaced.
E20 Furnishings							
E2010	Fixed Furnishings	1980	1999	3	MAL	07/07/21	Mix of older and newer casework in good condition, chemical-resistant counter tops in science rooms. PLAM reception counter at library and office. Gymnasium bleachers in good condition. Window blinds all in good condition.
F Special Construction				3.0			
F10 Special Construction							
F1050	Special Controls and Instrumentation	1980	1999	3	DCS	07/07/21	Weather station on roof, but anemometer (wind speed and direction) sensor is broken - assume minor maintenance to replace.

Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum High School Building 100A

B2010	Exterior Walls	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	0	2021	12,000	\$6.25	SF	\$75,000	\$146,880

Deficient Material: **Masonry Wall**
Masonry wall is painted.

Remedial Action:
Clean and repaint CMU block with acrylic paint.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum High School Building 100A

B2010	Exterior Walls	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	1	2021	175,000	\$12.50	SF	\$2,187,500	\$4,284,000

Deficient Material: Wood Siding
Wood siding is past end of useful life. Building thermal envelope is inadequate.

Remedial Action:
Recommend building facade upgrade especially where T1-11 is present to include new wall sheathing, weather resistive barrier, 2" foam sheathing, and siding on rainscreen system.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum High School Building 100A

B2020	Exterior Windows	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		5	0	2021	500	\$75.00	SF	\$37,500	\$73,440

Deficient Material: Clerestory
Original aluminum frame, single-glazed windows at original commons clerestory.

Remedial Action:
Remove and replace with dual-glazed, fiberglass clerestory.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum High School Building 100A

B2020	Exterior Windows	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		5	0	2021	880	\$75.00	SF	\$66,000	\$129,254

Deficient Material: Windows
Original aluminum frame, single-glazed windows.

Remedial Action:
Remove and replace with dual-glazed, fiberglass windows.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum High School Building 100A

B3010	Roof Coverings	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	2	2021	40,000	\$27.00	SF	\$1,080,000	\$2,115,072

Deficient Material: Membrane Roof
Membrane roof near end of life. 2015 sealer failing in some areas. Insulation soft in many areas.

Remedial Action:
Remove and replace roof with new membrane roofing. Consider adding insulation to increase building thermal performance.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum High School Building 100A

B3010	Roof Coverings	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	2	2021	750	\$11.50	LF	\$8,625	\$16,891

Deficient Material: Parapet Flashing
Parapet flashing in places, aged, faded, showing rust, sealant cracks.

Remedial Action:
Remove and replace flashing with new, prefinished and seal joints.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum High School Building 100A

C3020	Floor Finishes	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		3	4	2021	7,000	\$6.50	SF	\$45,500	\$89,107

Deficient Material: Carpet
Carpet shows wear, some stains.

Remedial Action:
Remove and replace carpet in corridors, classrooms and offices.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum High School Building 100A

C3020	Floor Finishes	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		5	0	2021	635	\$11.50	SF	\$7,303	\$14,301

Deficient Material: VCT Hazzard
VCT with reported hazardous material present at auditorium green room areas.

Remedial Action:
Abate and remove flooring, replace with new VCT.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District

Site: Chimacum Main Campus

Facility: Chimacum High School Building 100A

D1010	Elevators and Lifts	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	2	2021	1	\$60,000.00	LS	\$60,000	\$117,504

Deficient Material: Lift
No ADA lift at auditorium stage.

Remedial Action:
Install ADA lift.

Action Type:
ADA



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum High School Building 100A

D2010	Plumbing Fixtures	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	2	2021	2	\$3,500.00	EA	\$7,000	\$13,709

Deficient Material: Green room fixtures
The two green room restrooms serving the auditorium stage are missing fixtures.

Remedial Action:
Install flush fixtures and lavatory.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District

Site: Chimacum Main Campus

Facility: Chimacum High School Building 100A

D2020	Domestic Water Distribution	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	2	2021	77,186	\$0.75	SF	\$57,890	\$113,371

Deficient Material: Lead

Lead measured in school water lines above new 5 ppb WA State limit.

Remedial Action:

Install point-of-use water filters to remove lead from drinking fountain, hydration station, and kitchen cooking water supply lines or fixtures. Post all other fixtures with "Non-potable, do not drink" signs.

Action Type:

Code Issue



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum High School Building 100A

D2020	Domestic Water Distribution	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	3	2021	77,186	\$1.00	SF	\$77,186	\$151,161

Deficient Material: Water Distribution
Older galvanized pipe in some locations. Mostly older hot water heaters. Little or no backflow prevention and no pressure control.

Remedial Action:
Replace old galvanized pipe with copper. Replace older hot water heaters, especially those already failing. Provide backflow prevention and pressure control per code.

Action Type:
Energy Efficiency



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum High School Building 100A

D2040	Rain Water Drainage	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	2	2021	77,186	\$0.35	SF	\$27,015	\$52,906

Deficient Material: **Roof Drainage**
Several issues including poorly draining flat roof, previously reported uninsulated roof drain bodies and piping, and excessive bird nesting in overflow roof drain cow tongue points of discharge.

Remedial Action:
Add roof drains to fully drain roof, insulate roof drain bodies and piping where missing, remove birds nests from overflow roof drains, and install anti-bird nesting feature.

Action Type:
Code Issue



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum High School Building 100A

D3020	Heat Generating Systems	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	4	2021	5	\$3,500.00	EA	\$17,500	\$34,272

Deficient Material: Duct heaters
North classroom wing electric duct heater controllers approaching end of life.

Remedial Action:
Replace upon failure.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum High School Building 100A

D3030	Cooling Generating Systems	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	2	2021	5	\$7,500.00	EA	\$37,500	\$73,440

Deficient Material: Condensing Units
North classroom wing split heat pump condensing units CU-101 to -105 approaching end of life with rust, corrosion, and compressor failures.

Remedial Action:
Replace condensing units with new, including reinsulating outside refrigerant tubing.

Action Type:
Energy Efficiency



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District

Site: Chimacum Main Campus

Facility: Chimacum High School Building 100A

D3030	Cooling Generating Systems	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	1	2021	3	\$5,000.00	EA	\$15,000	\$29,376

Deficient Material: Data/Comm Room Cooling

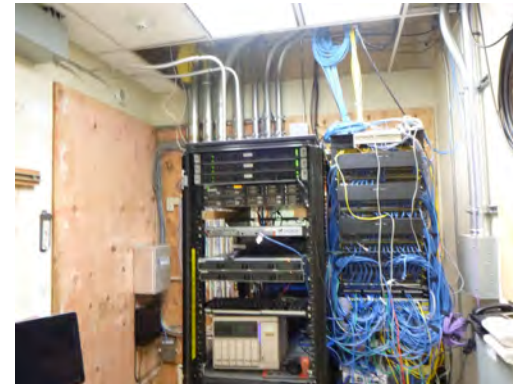
Insufficient MDF cooling. Apparent minimal ventilation cooling of IDF's. No apparent cooling for gym A/V closet.

Remedial Action:

Seal MDF and provide adequate cooling. Provide adequate cooling for IDF's. Provide cooling for gym A/V closet.

Action Type:

Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum High School Building 100A

D3040	HVAC Distribution Systems	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	3	2021	77,186	\$0.50	SF	\$38,593	\$75,581

Deficient Material: Air Handling Units
North classroom wing heat pump inside air handling units aging. Gym and auditorium systems similarly aging.

Remedial Action:
Renew north classroom inside units when outside condensing units are replaced. Renew gym and auditorium systems to maintain in reliable condition.

Action Type:
Energy Efficiency



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum High School Building 100A

D3050	Terminal and Package Units	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	2	2021	20	\$12,000.00	EA	\$240,000	\$470,016

Deficient Material: Roof Top Units
1999 rooftop units at end of life with failing compressors, rusty housings, and unclear economizer (free cooling) operation.

Remedial Action:
Replace with new roof heat pumps units including full economizer per code.

Action Type:
Energy Efficiency



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District

Site: Chimacum Main Campus

Facility: Chimacum High School Building 100A

D3060	Controls and Instrumentation	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	3	2021	77,186	\$3.00	SF	\$231,558	\$453,483

Deficient Material: Controls

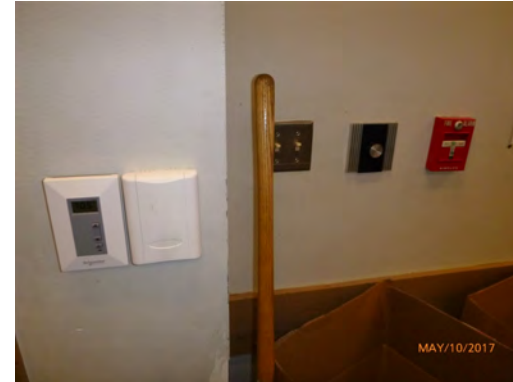
Aging and inconsistent controls with marginal interface to 2014 rooftop equipment and unclear economizer cycle operation.

Remedial Action:

Replace with new control system meeting code and District standards.

Action Type:

Energy Efficiency



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District

Site: Chimacum Main Campus

Facility: Chimacum High School Building 100A

D3090	Other HVAC Systems and Equipment	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	2	2021	1	\$12,500.00	LS	\$12,500	\$24,480

Deficient Material: Fume hoods
One aged fume hood with damaged housing.

Remedial Action:
Replace with modern high-efficiency fume hood.

Action Type:
Code Issue



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum High School Building 100A

D4010	Fire Protection Sprinkler Systems	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		5	0	2021	15,000	\$6.00	SF	\$90,000	\$176,256

Deficient Material: Fire Sprinkler
No fire sprinkler for gym and auditorium areas.

Remedial Action:
Install fire sprinkler in gym and auditorium areas.

Action Type:
Life Safety



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum High School Building 100A

D4090	Other Fire Protection Systems	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		5	0	2021	1	\$8,500.00	EA	\$8,500	\$16,646

Deficient Material: Stage heat relief
Stage heat relief is strapped shut and disabled.

Remedial Action:
Restore stage heat relief function.

Action Type:
Code Issue



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District

Site: Chimacum Main Campus

Facility: Chimacum High School Building 100A

D5010	Electrical Service and Distribution	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	1	2021	3	\$3,500.00	EA	\$10,500	\$20,563

Deficient Material: Electrical Service Monitoring

Campus power submetering for each of the two services to Building 100A reportedly not functioning properly. MDP-1 switchboard power quality monitoring display is failed. MDP-1 surge suppression for Phase B is failed.

Remedial Action:

Make submetering operational for MDP-1 and -2 services. Repair or replace MDP-1 power quality monitoring and surge suppression for Phase B.

Action Type:

Energy Efficiency



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District

Site: Chimacum Main Campus

Facility: Chimacum High School Building 100A

D5032	Low Voltage Communication	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	2	2021	1	\$25,000.00	LS	\$25,000	\$48,960

Deficient Material: Audio/video

Auditorium A/V system is aged with increasingly obsolete analog technology.

Remedial Action:

Replace with modern digital A/V system.

Action Type:

Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum High School Building 100A

D5090	Other Electrical Systems	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	2	2021	1	\$35,000.00	LS	\$35,000	\$68,544

Deficient Material: Stage lighting
The old apparent analog stage lighting system controller and incandescent lighting system is failed and obsolete.

Remedial Action:
Replace with modern digital system with LED technology in conjunction with the reported new A/V system being installed separately.

Action Type:
Energy Efficiency



Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum Middle School Building 100B

91 West Valley Road
Chimacum, WA 98325

Facility Size - Gross S.F.	21,558
Year Of Original Construction	1959
Facility Use Type	Middle School
Construction Type	Medium
# of Floors	1
Energy Source	Electric
Year Of Last Renovation	1999
Historic Register	No



		Total Project Cost		Total Project Cost - Present Value
Weighted Avg Condition Score	2.3			
Facility Condition Index (FCI)	0.09	Predicted Renewal Budget (ALL)	\$3,110,000	\$2,882,000
Current Replacement Value (CRV)	\$10,367,000	Observed Deficiencies (ALL)	\$1,286,000	\$1,270,000
Beginning Budget Year	2021			

Facility Condition Summary

Building 100B is south of, connected to, and immediately adjacent to Building 100A, and includes administration, newly formed library, commons with kitchen, band and music rooms, and large conference room. The wood framed structure is in good condition due to previous modernization work. Mostly aging rooftop units and controls; overall HVAC in fair condition. Modern plumbing in good condition. Fire sprinkler throughout in good condition. All the electrical gear, lighting, and system devices in this building are functional and in good condition. Power switchboards and low-voltage system head-end equipment reside in other buildings. A new CCTV system is installed.

Reportedly the 1959 basement has been sealed off, but the concrete tunnel network is still present under Building 100B. There appears to be three overlaid roof structures: 1) Original 1959 flat roof, 2) 1980 modernization low-slope or flat roof forming a shallow attic space, and 3) Newer 1999 sloped roof forming a much larger attic mezzanine space.

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum Middle School Building 100B

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems		Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
A Substructure				2.0			
A10	Foundations						
A1010	Standard Foundations	1959	1999	2	MAL	07/08/21	Standard concrete in good condition.
A1030	Slab On Grade	1959	1999	2	MAL	07/08/21	Standard concrete in good condition.
B Shell				2.1			
B10	Superstructure						
B1010	Floor Construction	1959	1999	2	MAL	07/08/21	Wood framed mezzanine with plywood deck in good condition.
B1020	Roof Construction	1999	1999	2	MAL	07/08/21	Newer wood framed overbuild of the original flat roof structure, good condition.
B20	Exterior Closure						
B2010	Exterior Walls	1959	1999	2	MAL	07/08/21	Framed walls with CMU veneer at lower wall and painted cement panel at upper wall. Wood soffits and some metal panels on high walls above roof line and hip wall ends. Cement fiber panels recently painted. Wood siding at upper wall area adjacent to Building 100A in poor condition.
B2020	Exterior Windows	1959	1999	2	MAL	07/08/21	Dual-glazed fiberglass glazing, good condition.
B2030	Exterior Doors	1959	1999	2	MAL	07/08/21	Hollow metal doors and hollow metal frames with ADA-compliant hardware in good condition.
B30	Roofing						
B3010	Roof Coverings	1959	1999	3	MAL	07/08/21	Composition tiles at pitched roof with some single-ply at flat roof areas. Batt insulation.

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum Middle School Building 100B

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems	Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
B Shell			2.1			
B30 Roofing						
B3030 Projections	1959	1999	3	MAL	07/08/21	Wood framed walk canopy with wood siding, at east side of building, original framing and siding in poor condition. 1999 wood framed canopy adjacent to music area in good condition.
C Interiors			2.5			
C10 Interior Construction						
C1010 Partitions	1959	1999	2	MAL	07/08/21	Wood framed walls in good condition.
C1020 Interior Doors	1959	1999	2	MAL	07/08/21	Wood doors in hollow metal frames with ADA-compliant hardware, good condition.
C1030 Fittings	1959	1999	2	MAL	07/08/21	Newer restroom accessories and PLAM restroom partitions, markerboards,
C20 Staircases						
C2010 Stair Construction	1959	1999	3	MAL	07/08/21	Wood stair to mezzanine.
C2020 Stair Finishes	1959	1999	2	MAL	07/08/21	Rubber stair treads in good condition.
C30 Interior Finishes						
C3010 Wall Finishes	1959	1999	3	MAL	07/08/21	Wall paint, acoustic panels in music and gym, wood panels in choir room, PLAM wall panels in staff and half-height in student restrooms, FRP in kitchen.
C3020 Floor Finishes	1959	1999	3	MAL	07/08/21	VCT in corridors and choir room, cracked in some places. Carpet in classrooms and offices, replaced in most areas. Sheet vinyl in staff restrooms and kitchen.
C3030 Ceiling Finishes	1959	1999	3	MAL	07/08/21	Acoustic panels in music with 2x4 ACT, ACT in most areas, some with 12x12 tiles, clean ACT in kitchen.

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum Middle School Building 100B

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems		Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
D Services				2.6			
D20	Plumbing						
D2010	Plumbing Fixtures	1959	1999	2	DCS	07/08/21	Fixtures in good condition; with several new restrooms, new hand wash basins with automatic faucets and new hydration stations (filtered water fountains with bottle-fillers).
D2020	Domestic Water Distribution	1959	1999	3	DCS	07/08/21	City water from campus loop, with mix of mostly copper but some original galvanized piping; no apparent backflow prevention or pressure regulation, but water pressure is observed at 68 psig. Electric domestic hot water heater is A.O. Smith, including recirculation pump. No apparent water submetering - minor maintenance to install. Rain Bird irrigation system controller in riser room.
D2030	Sanitary Waste	1959	1999	2	DCS	07/08/21	Cast iron drain, waste & vent (DW&V) piping to site septic system; tested fixtures flush and drain well, with no issues reported.
D2040	Rain Water Drainage	1959	1999	2	DCS	07/08/21	Metal gutters and painted PVC downspouts at sloped roofs to storm, and roof drains with overflow scupper openings at flat roof; most needing cleaning as minor maintenance.
D2090	Other Plumbing Systems	1959	1999	2	DCS	07/08/21	Small commercial kitchen without grease interceptor; consider point-of-use grease interceptor at pot wash sink if grease is found in drains - minor maintenance to install.
D30	HVAC						
D3040	HVAC Distribution Systems	1959	1999	2	DCS	07/08/21	Galvanized sheet metal duct in attic space in good condition; excepting unclear economizer relief air flow pathway - further investigation is needed as minor maintenance. Exhaust fans for bathrooms.
D3050	Terminal and Package Units	1959	1999	4	DCS	07/08/21	Rooftop heat pump units approaching end of life. Two 10-ton and six 5-ton; noting HP-205 was recently replaced (2019, 7.5-ton capacity with economizer and powered exhaust).

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum Middle School Building 100B

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems		Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
D Services				2.6			
D30	HVAC						
D3060	Controls and Instrumentation	1959	1999	3	DCS	07/08/21	1999 control system all but obsolete. System may benefit from Retro-Cx as minor maintenance, if not replaced soon.
D3090	Other HVAC Systems and Equipment	1959	1999	2	DCS	07/08/21	Kitchen grease hood above double oven in good condition, but no fire suppression. Dishwasher hood is in good condition.
D40	Fire Protection						
D4010	Fire Protection Sprinkler Systems	1959	1999	2	DCS	07/08/21	Six-inch service to four-inch wet pipe fire sprinkler throughout heated spaces and 2.5-inch dry-pipe riser with distribution to unheated attic spaces; riser pressures are 90 psig wet and 35 psig dry (compressed air). There appears to be excessive combustible material stored on the mezzanine, potentially exceeding the fire sprinkler density for adequate fire suppression - reduce the amount of combustible material in the mezzanine until adequate fire suppression capability can be confirmed as minor maintenance.
D4030	Fire Protection Specialties	1959	1999	2	DCS	07/08/21	Fire extinguishers in cabinets.
D50	Electrical						
D5010	Electrical Service and Distribution	1959	1999	2	DCS	07/08/21	The 100B wing only has branch panel boards which are served from two different switchboards located in the adjacent Building 200. Most panels are 1999 and in good condition. A new board was recently installed to serve the adjacent Building 100A auditorium HVAC system electric resistance heating elements. Most Building 100B distribution, including 480/208V transformers is located on the mezzanine. There is not apparent cooling for the attic mezzanine space - minor maintenance to install ventilation cooling.

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum Middle School Building 100B

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems	Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
D Services			2.6			
D50 Electrical						
D5020 Lighting and Branch Wiring	1959	1999	3	DCS	07/08/21	General lighting is mostly 2'x4' recessed T8 fluorescent fixtures with some T8 pendants in the high-bay commons, music, and library areas. Exterior building lights are a mix of 100 watt metal halide wall packs and several newer LED wall sconces. Several new LED pendant fixtures in the high-bay portion of the newly formed library area.
D5032 Low Voltage Communication	1959	1999	3	DCS	07/08/21	Bogen clock, intercom, and public address system in 100B served via the Building 200 head-end. District standard Yealink VOIP phone system. Newer Maxell short-throw projector and IPEVO document camera in new library area. The large conference room has an older, but assumed functional voice enhancement system.
D5037 Low Voltage Fire Alarm	1959	1999	3	DCS	07/08/21	Fire alarm devices present in this building, served from Building 200. Devices functional but not addressable.
D5038 Low Voltage Security	1959	2018	3	DCS	07/08/21	Relatively new CCTV, but no card-key access or functional intrusion detection.
D5039 Low Voltage Data	1959	1999	3	DCS	07/08/21	Telecommunications CAT 5 cabling for voice and data with IDF located on the mezzanine, which is too hot due to electrical transformers in the same space - minor maintenance to install ventilation cooling, if not ductless-split-Dx cooling. High-speed fiber-optic data from campus MDF at Building 100A to IDF at Building 100B. Newer Ruckus WiFi antennas throughout.
D5090 Other Electrical Systems	1959	1999	3	DCS	07/08/21	Egress lighting is provided via emergency battery packs within dedicated fixtures and bug-eye-style egress fixtures. Observed and tested egress and exit signs were functional.

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum Middle School Building 100B

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems		Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
E Equipment and Furnishings				2.0			
E10	Equipment						
E1020	Institutional Equipment	1959	1999	2	MAL	07/08/21	Stainless steel kitchen equipment in good condition. Reach-in cooler and freezer, warming ovens, and dishwasher.
E20	Furnishings						
E2010	Fixed Furnishings	1959	1999	2	MAL	07/08/21	Newer casework and windows coverings in good condition.
F Special Construction				3.0			
F10	Special Construction						
F1010	Special Structures	1959	1959	3	DCS	07/08/21	The original basement is reportedly sealed-off, except for access by the original boiler chimney terminating at the old flat roof, now the floor of the mezzanine. Also might be accessed via the tunnel system, which is accessed from Custodial 706. Reported a portion of the tunnel to north is intentionally blocked with concrete and/or dirt - further investigation is suggested to confirm not structural failure. Minor opportunity to remove reported asbestos contamination and repurpose the currently abandoned basement and/or tunnel for storage and utility space.
F1050	Special Controls and Instrumentation	1999	1999	3	DCS	07/08/21	The District primary radio equipment is located on the mezzanine in the radio room, including lead acid back-up power battery. Several older batteries are abandoned in place and should be removed as minor maintenance. The antenna is on the roof.

Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Middle School Building 100B

B2010	Exterior Walls	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	1	2021	22,000	\$22.00	SF	\$484,000	\$947,866

Deficient Material: Wood Siding
Wood siding aged, damaged, and paint faded.

Remedial Action:
Remove siding and upgrade building envelope system (see Building 100A B2010 Exterior Wall deficiency).

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Middle School Building 100B

B3030	Projections	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	1	2021	470	\$12.00	SF	\$5,640	\$11,045

Deficient Material: Wood Siding
Wood siding aged, damaged, and paint faded.

Remedial Action:
Replace damaged siding, prep, and repaint.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Middle School Building 100B

D2020	Domestic Water Distribution	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	5	2021	21,558	\$0.30	SF	\$6,467	\$12,666

Deficient Material: Domestic Water System
Some original galvanized piping; no backflow prevention; no pressure regulation.

Remedial Action:
Replace original galvanized piping with copper or PEX; install backflow prevention and pressure regulation per code.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Middle School Building 100B

D3020	Heat Generating Systems	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	2	2021	500	\$25.00	LF	\$12,500	\$24,480

Deficient Material: Asbestos insulation
Reported original asbestos-insulated pipe in tunnel system, which may interconnect with other buildings.

Remedial Action:
Remediate asbestos insulation and demolish abandoned piping in tunnel network.

Action Type:
Code Issue



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Middle School Building 100B

D3050	Terminal and Package Units	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	2	2021	7	\$15,000.00	EA	\$105,000	\$205,632

Deficient Material: Rooftop Units
Carrier heat pumps units near end of life.

Remedial Action:
Plan for rooftop unit replacement prior to failure; ensure new units provide economizer relief if not integral to building; consider upgrade to high-efficiency units including demand control ventilation (DCV) and/or heat recovery ventilation (HRV).

Action Type:
Energy Efficiency



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Middle School Building 100B

		Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
D3060	Controls and Instrumentation	4	2	2021	21,558	\$2.00	SF	\$43,116	\$84,438

Deficient Material: Controls
1999 control system all but obsolete.

Remedial Action:
Renew control system per energy code and District standards.

Action Type:
Energy Efficiency



Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum Middle School Building 200

91 West Valley Road
Chimacum, WA 98325

Facility Size - Gross S.F.	38,330
Year Of Original Construction	1991
Facility Use Type	Middle School
Construction Type	Light
# of Floors	1
Energy Source	Electric
Year Of Last Renovation	1999
Historic Register	No



Weighted Avg Condition Score	2.5		Total Project Cost	Total Project Cost - Present Value
Facility Condition Index (FCI)	0.11	Predicted Renewal Budget (ALL)	\$7,229,000	\$6,624,000
Current Replacement Value (CRV)	\$16,590,000	Observed Deficiencies (ALL)	\$963,000	\$944,000
Beginning Budget Year	2021			

Facility Condition Summary

Building consists of a larger portion of the overall elementary school including classrooms and gym with boys and girls locker rooms. Structure in good condition with mostly new roof covering and mostly new carpet. Aging two-pipe fan coil unit system for original portion and aging rooftop units for addition, with aging controls. Overall HVAC in fair condition with need to replace the missing chiller to restore cooling capability to the original portion of this building. Plumbing is modern and mostly in good condition. Fire sprinkler throughout in fair condition, with increasing leakage concern. This building has two newer electrical distribution boards. Some exterior eave can-lights may not be operable. The branch panels, interior lighting, and other systems are in fair condition. Relatively new CCTV is installed.

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum Middle School Building 200

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems		Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
A Substructure				2.0			
A10	Foundations						
A1010	Standard Foundations	1991	1999	2	MAL	07/08/21	Standard concrete foundation in good condition.
A1030	Slab On Grade	1991	1999	2	MAL	07/08/21	Standard concrete slab on grade in good condition.
B Shell				2.1			
B10	Superstructure						
B1010	Floor Construction	1991	1999	2	MAL	07/08/21	Wood frame mezzanine in good condition.
B1020	Roof Construction	1991	1999	2	MAL	07/08/21	Classroom wing wood framed joists on glulam beams on framed walls. Gym is open web truss on reinforced masonry walls.
B20	Exterior Closure						
B2010	Exterior Walls	1991	1999	2	MAL	07/08/21	CMU veneer on framed walls, wood framed soffits, some metal panels at upper overhang and building hip wall ends. Soffits wood/gypsum combination. Areas with moisture damage.
B2020	Exterior Windows	1991	1999	3	MAL	07/08/21	Dual-glazed aluminum frame units with screen at 1991 portion. Dual-glazed fiberglass at newer addition.
B2030	Exterior Doors	1991	1999	3	MAL	07/08/21	Hollow metal doors in hollow metal frames with ADA-compliant hardware.
B30	Roofing						
B3010	Roof Coverings	1991	2016	2	MAL	07/08/21	Most roofing composition tile in good condition, some small areas single-ply membrane in good condition.

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum Middle School Building 200

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems	Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
B Shell			2.1			
B30 Roofing						
B3030 Projections	1991	1999	2	MAL	07/08/21	Metal canopy at SW corner in good condition, wood framed covered walk connected to Building 100B.
C Interiors			2.6			
C10 Interior Construction						
C1010 Partitions	1991	1999	2	MAL	07/08/21	Framed walls and CMU, operable partitions in few classrooms.
C1020 Interior Doors	1991	1999	2	MAL	07/08/21	Hollow metal doors in hollow metal frames with ADA-compliant hardware. Dark room specialty revolving door. Some 1999 addition rooms with wood doors in hollow metal frames with ADA-compliant hardware.
C1030 Fittings	1991	1999	3	MAL	07/08/21	Newer restroom accessories, PLAM restroom partitions.
C30 Interior Finishes						
C3010 Wall Finishes	1991	1999	3	MAL	07/08/21	Wall paint, MDF panels in gym, PLAM panels in restrooms, ceramic tile in student restrooms, some tackpanels in corridors, wall pads and acoustic panels in gym, half-height ceramic tile in some restrooms.
C3020 Floor Finishes	1991	1999	4	MAL	07/08/21	VCT in corridors, 1999 addition classrooms and wet areas. Carpet in most classrooms newly replaced. Ceramic tile in restrooms and walk-off mats at entrances. Gym includes rubber resilient flooring.
C3030 Ceiling Finishes	1991	1999	2	MAL	07/08/21	Mostly 2x4 ACT, 12x12 glue-on tiles in 1991 corridors, some minor damage at 2x4 tiles.

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum Middle School Building 200

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems	Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
D Services			2.8			
D20 Plumbing						
D2010 Plumbing Fixtures	1991	1999	2	DCS	07/08/21	Most fixtures in good condition, with some newer fixtures in excellent condition; noting some trim (faucets and especially flush valves) are not working well following the COVID-19 pandemic lay-up period - assume minor maintenance to restore full function. Classroom sink bubblers and original drinking fountains are removed due to new lead rule, however new hydration stations are installed with filter water drinking fountains and bottle-fillers. New hand-wash basins with automatic infrared control are recently installed.
D2020 Domestic Water Distribution	1991	1999	3	DCS	07/08/21	Three-inch service to five risers. Some steel or galvanized and mostly copper piping with no observed backflow prevention or pressure control except backflow prevention to hydronic heating system make-up water line. 2020 Rheem domestic hot water heater, 18-kW heating capacity, and 85-gal nominal tank capacity; includes a recirculation pump, which appears to be working well, with relatively short wait time for hot water at remote fixtures. A Rain Bird irrigation controller is found in the south electrical room.
D2030 Sanitary Waste	1991	1999	2	DCS	07/08/21	Cast iron water piping draining to campus septic system; tested fixtures drain and flush well with no issues reported. A large 12-gal septic tank and five sanitary waste pumps are located in the utility yard to west with one control panel due for replacement as minor maintenance - see separate June 2021 LOSS Report for this and other LOSS (septic system) action items.
D2040 Rain Water Drainage	1991	1999	2	DCS	07/08/21	Metal gutter and painted non-metallic (PVC) downspout to drywells and/or site storm system, with no issues reported.

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum Middle School Building 200

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems		Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
D Services				2.8			
D20	Plumbing						
D2090	Other Plumbing Systems	1991	1999	3	DCS	07/08/21	Science room gas from dedicated propane supply system in good condition. The system is currently shut off and essentially abandoned in place. Science room acid waste system with no apparent neutralization or monitoring. Eyewash in science room, but shower in adjacent prep room, which may not meet code.
D30	HVAC						
D3010	Energy Supply	1991	1999	3	DCS	07/08/21	Small 125-gal propane tank with seismic shut-off valve serving science rooms (lab gas only, not for space heat) aging with rust, but reportedly functional.
D3020	Heat Generating Systems	1991	2013	3	DCS	07/08/21	Electric 288 kW boiler; two 7.5 HP constant-speed hydronic pumps, expansion tank and accessories supplying two-pipe distribution system. Boiler replaced in 2013, rest of system is 1991.
D3030	Cooling Generating Systems	1991	1999	4	DCS	07/08/21	Chiller reportedly demolished prior to or during 1999 modernization and addition. South and east classrooms have reportedly been unacceptably uncomfortable (warm/hot) since then.
D3040	HVAC Distribution Systems	1991	1999	3	DCS	07/08/21	Galvanized sheet metal duct. Steel and copper hydronic water distribution piping. Ductwork in good condition, but piping with increasing leaks, especially where different metals meet. Temtrol air handling units with switch-over hydronic coil and condensate drain pan.
D3050	Terminal and Package Units	1991	1999	4	DCS	07/08/21	Six Carrier rooftop heat pump units; five 5-ton units and one 3-ton unit approaching end of life.
D3060	Controls and Instrumentation	1991	1999	3	DCS	07/08/21	1999 controls with Siebe sensor, but new Alerton head-end installed under past ESCO work (2013).

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum Middle School Building 200

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems		Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
D Services				2.8			
D30	HVAC						
D3090	Other HVAC Systems and Equipment	1991	1999	3	DCS	07/08/21	Science room fume hood and spill control exhaust system in operable condition but unclear balancing and certification - minor maintenance to certify for use.
D40	Fire Protection						
D4010	Fire Protection Sprinkler Systems	1991	1999	3	DCS	07/08/21	Six-inch fire service to four-inch wet and four-inch dry pipe systems with pressure at 90 psig. Dry system has been problematic with sections of piping with standing water, which is rusting the pipe from inside-out; about 15% of the piping has been replaced in recent years.
D4030	Fire Protection Specialties	1991	1999	2	DCS	07/08/21	Fire extinguishers in cabinets; AED in cabinet outside gym.
D50	Electrical						
D5010	Electrical Service and Distribution	1991	2018	2	DCS	07/08/21	<p>There are two main service entries serving Building 200; both are served from separate 12470-480/277V transformers, one south and one west. The south service is to 2018 MSBD-1 Eaton 480/277V 3-phase 4-wire with 800 or 1,000A capacity (confirm); located in the 1991 electrical room. MSBD-2 is also 2018 and is located in an all-weather enclosure to west in the fenced utility yard, with Eaton 480V, three-phase, 1,200A switchboard, in-turn feeding inside 1999 additional electrical room Siemens 480/277V 3-phase 4-wire 1,200 amp board.</p> <p>MSBD-2 board sub-feeds both adjacent Building 100B, and the Building 100A auditorium heating coil via a dedicated board in the Building 100B attic space.</p> <p>While meters are installed at the two services, they are reportedly not transmitting signals to any remote monitoring or recording equipment and no one is reading the meters. Consider enabling signal transmission and recording and/or collecting energy use data monthly manually, so energy performance can be proactively managed.</p>

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum Middle School Building 200

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems		Original System Date	Renewal Date	Last Date	Score	Surveyor	Survey Date	Comments
D Services					2.8			
D50	Electrical							
D5020	Lighting and Branch Wiring	1991	1999	3	DCS	07/08/21	General lighting is mostly 2'x4' recessed T8 fluorescent fixtures with some high-bay-style T8 in the gym. Many spaces include occupancy sensor lighting control, but no dimming. Exterior building lights are a mix of 100 watt metal halide wall packs and recessed down lights.	
D5032	Low Voltage Communication	1991	1999	3	DCS	07/08/21	Intercom system is a Bogen Multicom 2000 located in the main data room. Telephone system has been changed to voice over IP. Short-throw projectors.	
D5037	Low Voltage Fire Alarm	1991	2019	2	DCS	07/08/21	All new fire alarm throughout, reporting to the new fire alarm control panel (FACP) at Building 100A.	
D5038	Low Voltage Security	1991	2018	3	DCS	07/08/21	2018 CCTV throughout.	
D5039	Low Voltage Data	1991	2018	3	DCS	07/08/21	High-speed fiber-optic data from MDF at Building 100A to IDFs with CAT 5 cabling to drops and Ruckus WiFi antennas. No dedicated air conditioning for IDF spaces, but the larger IDF appears to have ventilation cooling. The smaller IDF is in a small closet with the building controls system and wiring supported by a shop stool. Consider upgrade to proper IDFs.	
D5090	Other Electrical Systems	1991	1999	3	DCS	07/08/21	Egress lighting is provided via emergency battery packs within dedicated fixtures and bug-eye-style egress fixtures. No complaints of battery packs not working. Exit signs were illuminated and functional.	
E Equipment and Furnishings					2.4			
E10	Equipment							
E1010	Commercial Equipment	1991	1999	3	DCS	07/08/21	Kitchenette appliances and small office equipment aging but assumed functional.	

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum Middle School Building 200

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems		Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
E Equipment and Furnishings				2.4			
E10 Equipment							
E1020	Institutional Equipment	1991	1999	3	MAL	07/08/21	Gym equipment, scoreboards, motorized basketball backstops, motorized gym divider curtain, in good condition.
E20 Furnishings							
E2010	Fixed Furnishings	1991	1999	2	MAL	07/08/21	Mix of 1991 and 1999 casework, science classrooms with chemical-resistant countertops, all in good condition. Some of the 1999 laminate shows damage and delamination, minor maintenance to repair or replace.
F Special Construction				2.0			
F10 Special Construction							
F1010	Special Structures	1991	2020	2	DCS	07/08/21	2020 greenhouse including power, water, ventilation, propane storage tank for unit heater, and grow racks; no issues reported, other than some plants are growing into mechanical and electrical controls and devices, potentially disabling or damaging these systems. Keep plant growth away from greenhouse support system as minor maintenance. A wood garden shed is also present, assumed to support the outside horticultural program garden, adjacent to the new greenhouse.
F1050	Special Controls and Instrumentation	2020	2020	2	DCS	07/08/21	Apparent greenhouse weather station. A ham radio station is located in Classroom 506 with ground-mounted antenna adjacent to the fenced south electrical service yard.

Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Middle School Building 200

D2020	Domestic Water Distribution	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	3	2021	38,330	\$0.30	SF	\$11,499	\$22,520

Deficient Material: Plumbing System
Some galvanized piping, no backflow prevention, no pressure control.

Remedial Action:
Budget to replace older galvanized or steel piping as leaks develop, provide backflow prevention and pressure control per code.

Action Type:
Code Issue



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District

Site: Chimacum Main Campus

Facility: Chimacum Middle School Building 200

D2090	Other Plumbing Systems	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	2	2021	1	\$12,500.00	LS	\$12,500	\$24,480

Deficient Material: Lab Systems

No apparent acid waste neutralization and difficult safety shower location.

Remedial Action:

Install acid waste neutralization subsystem. Install safety shower in science room with fume hood.

Action Type:

Code Issue



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Middle School Building 200

D3030	Cooling Generating Systems	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	1	2021	38,330	\$4.00	SF	\$153,320	\$300,262

Deficient Material: Air Cooled Chiller and Primary Piping
Chiller reportedly demolished prior to or during 1999 modernization and addition. South and east classrooms have reportedly been unacceptably uncomfortable since then.

Remedial Action:
Replace missing air cooled chiller and piping to main mechanical room, restore cooling to 1991 constructed spaces via existing two-pipe switch-over hydronic water distribution system.

Action Type:
Energy Efficiency



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Middle School Building 200

D3040	HVAC Distribution Systems	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	2	2021	38,330	\$1.50	SF	\$57,495	\$112,598

Deficient Material: Hydronic Piping System and Air Handling Units
Increasing piping leaks, especially where dissimilar metals meet. Aging air handling units.

Remedial Action:
Clean, test, inspect, and replace suspicious piping prior to leakage. Renew air handling units.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Middle School Building 200

		Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
D3050	Terminal and Package Units	4	3	2021	6	\$12,500.00	EA	\$75,000	\$146,880

Deficient Material: Rooftop Units
Rooftop units approaching end of life.

Remedial Action:
Schedule rooftop unit replacement prior to failure.

Action Type:
Energy Efficiency



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District

Site: Chimacum Main Campus

Facility: Chimacum Middle School Building 200

D3060	Controls and Instrumentation	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	3	2021	38,330	\$2.00	SF	\$76,660	\$150,131

Deficient Material: HVAC Controls
1999 controls approaching obsolescence.

Remedial Action:
Upgrade entire control system to meet energy code and District standards prior to complete obsolescence.

Action Type:
Energy Efficiency



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Middle School Building 200

D4010	Fire Protection Sprinkler Systems	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	2	2021	32,000	\$3.00	SF	\$96,000	\$188,006

Deficient Material: Fire Sprinkler
Rusting and corroding sprinkler piping, not sloped to drain.

Remedial Action:
Replace remaining original fire sprinkler piping and slope to drain.

Action Type:
Life Safety



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Middle School Building 200

D5020	Lighting and Branch Wiring	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	1	2021	20	\$450.00	EA	\$9,000	\$17,626

Deficient Material: Exterior Building Lights.
Exterior light fixtures not working.

Remedial Action:
Repair or replace lamps, ballasts, or fixtures as needed. Consider upgrading to LED.

Action Type:
Energy Efficiency



Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum Elementary Building 300

91 West Valley Road
Chimacum, WA 98325

Facility Size - Gross S.F.	29,077
Year Of Original Construction	1948
Facility Use Type	Elementary School
Construction Type	Medium
# of Floors	1
Energy Source	Electric
Year Of Last Renovation	1981
Historic Register	No



		Total Project Cost		Total Project Cost - Present Value
Weighted Avg Condition Score	3.2			
Facility Condition Index (FCI)	0.17	Predicted Renewal Budget (ALL)	\$5,508,000	\$5,162,000
Current Replacement Value (CRV)	\$13,037,000	Observed Deficiencies (ALL)	\$1,797,000	\$1,764,000
Beginning Budget Year	2021			

Facility Condition Summary

Older wood-framed, one-story building with brick veneer in overall poor condition. Building shows age and deterioration. The original 1948 structure was modernized to enclose portions of the interior, moving some circulation to exterior covered walks. Deficiencies found in both exterior and interior finishes. Aging classroom unit ventilators with obsolete pneumatic controls and old failing abandoned in place roof relief hoods. Overall HVAC in poor condition. Plumbing aging with increasing leakage concerns; aging and failing roof drainage system, with significant concerns regarding original deteriorating underground piping (both water and sewer services). No fire sprinkler. The main electrical distribution board has limited capacity and is aged. The lighting is increasingly obsolete fluorescent with some occupancy sensor controls. The fire alarm system is non-addressable. Low voltage systems are a mix of older and somewhat newer, including a recently installed CCTV system. Currently, building is abandoned in place with water shut-off and most spaces used for storage of surplus furniture and other materials.

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum Elementary Building 300

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems		Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
A Substructure				3.0			
A10	Foundations						
A1010	Standard Foundations	1948	1981	3	MAL	07/08/21	Conventional concrete in fair condition due to age.
A1030	Slab On Grade	1948	1981	3	MAL	07/08/21	Standard concrete slab in fair condition due to age.
B Shell				3.4			
B10	Superstructure						
B1020	Roof Construction	1948	1981	3	MAL	07/08/21	Wood framed system in fair condition due to age.
B20	Exterior Closure						
B2010	Exterior Walls	1948	1981	3	MAL	07/08/21	Mix of original and newer masonry. No signs of insulation. Perimeter soffits are wood framed and show deterioration and water damage. Wood siding has areas of damage from woodpeckers.
B2020	Exterior Windows	1948	1981	5	MAL	07/08/21	Single-glazed windows in aluminum frames, some units with hollow metal frames.
B2030	Exterior Doors	1948	1981	3	MAL	07/08/21	Hollow metal doors in hollow metal frames with ADA-compliant hardware. All doors need paint.
B30	Roofing						
B3010	Roof Coverings	1948	2016	3	MAL	07/08/21	Single-ply membrane. Roof gutters on Orca Pod full of organic material preventing proper drainage.
B3020	Roof Openings	1948	1948	5	MAL	07/08/21	Original skylights past useful life.

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum Elementary Building 300

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems	Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
B Shell			3.4			
B30 Roofing						
B3030 Projections	1948	1981	4	MAL	07/08/21	Original wood framed covered walk connecting to Building 500.
C Interiors			2.4			
C10 Interior Construction						
C1010 Partitions	1948	1981	2	MAL	07/08/21	Wood framed walls and some newer walls.
C1020 Interior Doors	1948	1981	2	MAL	07/08/21	Wood doors in hollow metal frames with ADA-compliant hardware.
C1030 Fittings	1948	1981	2	MAL	07/08/21	Metal restroom partitions, accessories, whiteboards.
C30 Interior Finishes						
C3010 Wall Finishes	1948	1981	2	MAL	07/08/21	Wall paint, several murals painted in areas, FRP in some restrooms, some tackable surfaces.
C3020 Floor Finishes	1948	1981	4	MAL	07/08/21	Carpet in classrooms, staff areas, and lounge. Sheet vinyl in Head Start restrooms. VCT in staff restrooms. Carpet showing signs of wear.
C3030 Ceiling Finishes	1948	1981	3	MAL	07/08/21	Mostly 2x4 ACT, some gypsum and some original 12x12 tiles, all in fair condition due to age, some damage and previous water leaks.
D Services			3.4			
D20 Plumbing						
D2010 Plumbing Fixtures	1948	1981	3	DCS	07/08/21	Fixtures in fair condition, but unable to test due to water service turned-off. Relatively new hydration stations installed in each pod in good condition.

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum Elementary Building 300

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems			Original Renewal Date Last System Date	Score	Surveyor	Survey Date	Comments
D Services				3.4			
D20	Plumbing						
D2020	Domestic Water Distribution	1948	1981	3	DCS	07/08/21	City water service to mostly copper piping with 2019 electric hot water heater (2019, 80-gal, 6 kW electric resistance heat) with circulation pump and expansion tank; unable to test due to water turned off.
D2030	Sanitary Waste	1948	1981	4	DCS	07/08/21	Cast iron waste piping failing with increasing back-ups. Each vent to roof includes a Studor island vent device plus custom cover, some of which are missing or damaged - investigate why these vents and caps are installed on the plumbing vents-to-roof (VTRs), as these normally need to breathe freely for the system to operate properly.
D2040	Rain Water Drainage	1948	1981	4	DCS	07/08/21	Roof drains to downspouts to drywells. Ponding on roof. Drywells backing up causing wet sidewalks in multiple locations.
D30	HVAC						
D3040	HVAC Distribution Systems	1948	1981	4	DCS	07/08/21	Classroom unit ventilators with electric resistance heat and economizer relief through perimeter soffits. Two admin area Pace rooftop units at end of life and need replacement. Operable windows with blinds, but no screens. Quantity and area appears insufficient for natural ventilation, and being directly above the unit ventilators, does little to assist with relief air flow path for ventilation cooling.
D3050	Terminal and Package Units	1948	1981	3	DCS	07/08/21	Electric wall heaters mounted in ceiling for corridor heating and in wall for admin area heating.
D3060	Controls and Instrumentation	1948	1981	4	DCS	07/08/21	Obsolete pneumatic controls, with compressed air from failing compressor in the crawlspace of adjacent Building 500.
D3090	Other HVAC Systems and Equipment	1948	1981	4	DCS	07/08/21	Economizer relief hoods on roof apparently abandoned in place, increasingly leaking rain water. Reportedly, high winds pressurize membrane roof, causing it to inflate.

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum Elementary Building 300

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems		Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
D Services				3.4			
D40	Fire Protection						
D4030	Fire Protection Specialties	1948	1981	3	DCS	07/08/21	Fire extinguishers in cabinets and on hooks. Some may be missing and others with access blocked by excessive stored materials. Minor maintenance to check all and clear access.
D50	Electrical						
D5010	Electrical Service and Distribution	1948	1981	3	DCS	07/08/21	The main distribution board is a Square D I-Line 480/277 3-phase 4-wire with a 600 amp main breaker remotely located on the exterior of the building. The distribution section has limited capacity for this all-electric building and is aged. No visible deficiencies were noted, however the gear is reaching end of useful life.
D5020	Lighting and Branch Wiring	1948	1981	3	DCS	07/08/21	General lighting is mostly 2'x4' recessed T8 fluorescent fixtures with some 1'x4' surface mounted T8 fixtures in bathroom areas; some occupancy sensor control. Exterior building lights are a mix of 100 watt metal halide wall packs and high-pressure sodium recessed down lights that are functional.
D5032	Low Voltage Communication	1948	1981	4	DCS	07/08/21	Intercom system is aged analog Telecenter IV located in the main office. The clock speakers are older analog style with some clock and speaker missing or damaged. Telephone system has been changed to voice over IP (VOIP).
D5037	Low Voltage Fire Alarm	1948	1981	4	DCS	07/08/21	The fire alarm panel in this building is an old Simplex 4002. Older style heat detectors are present, but no smoke detection was noted. Horn/strobes and pull stations present. System still functional. Panel will not support expansion.
D5038	Low Voltage Security	1948	2018	3	DCS	07/08/21	CCTV.
D5039	Low Voltage Data	1948	2000	3	DCS	07/08/21	Telecommunications cabling for voice and data is in good condition. Rating is CAT 5. Fiber backbone provided. Rukus WiFi antennas. Data room (IDF) with unclear cooling.

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum Elementary Building 300

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems	Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
D Services			3.4			
D50 Electrical						
D5090 Other Electrical Systems	1948	1981	3	DCS	07/08/21	Egress lighting is provided via emergency battery packs within dedicated fixtures and eyeball-style egress fixtures. No complaints of battery packs not working. Most exit signs were illuminated and functional. A few locations had non-illuminated exit signs.
E Equipment and Furnishings			4.0			
E10 Equipment						
E1010 Commercial Equipment	1948	1981	3	DCS	07/08/21	Kitchenette appliances and office equipment.
E20 Furnishings						
E2010 Fixed Furnishings	1948	1981	4	MAL	07/08/21	Mix of original and newer casework. Some casework appears to be installed incorrectly.

Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Elementary Building 300

B2010	Exterior Walls	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	1	2021	470	\$15.00	SF	\$7,050	\$13,807

Deficient Material: Soffits
Wood soffits are damaged from water and failing.

Remedial Action:
Remove and replace with marine quality wood panels and repaint as necessary. Patch and repair wood framing.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Elementary Building 300

B2020	Exterior Windows	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		5	0	2021	435	\$65.00	SF	\$28,275	\$55,374

Deficient Material: Windows
Single-glazed windows.

Remedial Action:
Remove and replace with new fiberglass, dual-glazed windows.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Elementary Building 300

B2030	Exterior Doors	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	3	2021	24	\$550.00	EA	\$13,200	\$25,851

Deficient Material: Exterior Doors
Hollow metal doors and frames in need of paint.

Remedial Action:
Prep, patch as necessary, repaint doors and frames.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Elementary Building 300

B3020	Roof Openings	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		5	0	2021	4	\$3,500.00	EA	\$14,000	\$27,418

Deficient Material: Skylights
Skylights original and past useful life.

Remedial Action:
Remove and replace skylights.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Elementary Building 300

B3030	Projections	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	1	2021	1	\$4,500.00	LS	\$4,500	\$8,813

Deficient Material: Canopy
Wood framed canopy adjacent to groups of exterior doors.

Remedial Action:
Replace damaged roofing and fascia, prep and repaint, replace wood soffit.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Elementary Building 300

C3020	Floor Finishes	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		3	5	2021	17,000	\$6.50	SF	\$110,500	\$216,403

Deficient Material: Carpet
Carpet shows signs of wear, some staining.

Remedial Action:
Remove and replace with new carpet.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District

Site: Chimacum Main Campus

Facility: Chimacum Elementary Building 300

C3030	Ceiling Finishes	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		3	5	2021	6,000	\$4.50	SF	\$27,000	\$52,877

Deficient Material: Ceiling Finish

Ceiling finish is 2x4 ACT and some 12x12 tiles, in fair condition due to age, minor damage.

Remedial Action:

Remove areas of ACT tiles and replace with new, keep T-grid in place. Remove older 12x12 tiles and replace with new tiles.

Action Type:

Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Elementary Building 300

D2010	Plumbing Fixtures	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	2	2021	29,077	\$1.00	SF	\$29,077	\$56,944

Deficient Material: Fixtures & Trim
Some fixtures with minor damage; many faucets and some flush valves in poor condition.

Remedial Action:
Repair or replace damaged fixtures; renew or replace poorly operating fixture trim (flush valves and especially faucets).

Action Type:
Energy Efficiency



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Elementary Building 300

D2020	Domestic Water Distribution	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	1	2021	1	\$10,000.00	LS	\$10,000	\$19,584

Deficient Material: Galvanized pipe
Original underground galvanized water lines with reports of possible leaks.

Remedial Action:
Replace water service with modern pipe material, such as heavy copper.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Elementary Building 300

D2030	Sanitary Waste	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	1	2021	29,077	\$1.00	SF	\$29,077	\$56,944

Deficient Material: Waste Piping
Several fixtures slow to drain; unclear Studor island vent devices and caps at roof with unclear purpose. Reports of increasing back-ups prior to abandonment of the building.

Remedial Action:
Clean, test, and repair or replace any blocked lines. Address issue related to Studor vents and covers.

Action Type:
Code Issue



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Elementary Building 300

D2040	Rain Water Drainage	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	1	2021	29,077	\$0.85	SF	\$24,715	\$48,403

Deficient Material: Roof Drainage
Roof drain back-ups, ponding, damaged downspouts, and drywells backing up to sidewalks causing safety hazard.

Remedial Action:
Reconfigure roof drains, repair damaged downspouts, redevelop drywells.

Action Type:
Code Issue



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Elementary Building 300

D3040	HVAC Distribution Systems	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	1	2021	29,077	\$2.00	SF	\$58,154	\$113,889

Deficient Material: Ductwork
Poor air distribution and ventilation, with some larger classrooms short-circuiting unit ventilator outside air to nearby ceiling relief grilles without ventilating most the space.

Remedial Action:
Reconfigure ductwork to provide adequate ventilation air distribution.

Action Type:
Code Issue



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Elementary Building 300

D3040	HVAC Distribution Systems	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	1	2021	2	\$9,500.00	EA	\$19,000	\$37,210

Deficient Material: **Roof Top Units**
Admin rooftop units (RTUs) are rusted and at end of life.

Remedial Action:
Replace current RTUs with new RTUs.

Action Type:
Energy Efficiency



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District

Site: Chimacum Main Campus

Facility: Chimacum Elementary Building 300

D3040	HVAC Distribution Systems	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	5	2021	20	\$3,500.00	EA	\$70,000	\$137,088

Deficient Material: Unit ventilators
Classroom unit ventilators aging and noisy.

Remedial Action:
Refurbish classroom unit ventilators.

Action Type:
Energy Efficiency



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Elementary Building 300

D3060	Controls and Instrumentation	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	1	2021	29,077	\$5.00	SF	\$145,385	\$284,722

Deficient Material: HVAC Controls
Obsolete pneumatic controls with failing compressor in adjacent Building 500.

Remedial Action:
Replace controls with modern digital (DDC) system per code and District standards.

Action Type:
Energy Efficiency



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Elementary Building 300

D3090	Other HVAC Systems and Equipment	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	2	2021	20	\$1,500.00	EA	\$30,000	\$58,752

Deficient Material: Relief Hoods
Economizer relief hoods abandoned in place, some beginning to leak rain water. Reportedly, high winds pressurize membrane roof, causing it to inflate.

Remedial Action:
Confirm vertical relief hoods are abandoned in place and no longer needed, then remove, cap, and seal roof openings and insulate curb.

Action Type:
Energy Efficiency



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District

Site: Chimacum Main Campus

Facility: Chimacum Elementary Building 300

D4010	Fire Protection Sprinkler Systems	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		5	0	2021	29,077	\$5.00	SF	\$145,385	\$284,722

Deficient Material: Fire sprinkler

No fire sprinkler; with fire hazard increased by excessive storage of surplus combustible materials such as furniture.

Remedial Action:

Install fire sprinkler per code.

Action Type:

Life Safety



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Elementary Building 300

D5010	Electrical Service and Distribution	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	3	2021	29,077	\$2.00	SF	\$58,154	\$113,889

Deficient Material: Main Switchgear
Reaching end of useful life expectancy and has limited capacity.

Remedial Action:
Provide new switchgear.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Elementary Building 300

D5037	Low Voltage Fire Alarm	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	1	2021	29,077	\$2.00	SF	\$58,154	\$113,889

Deficient Material: Fire Alarm Panel
Fire alarm panel will not support newer devices and existing parts are no longer available.

Remedial Action:
Replace fire alarm panel.

Action Type:
Life Safety



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Elementary Building 300

E2010	Fixed Furnishings	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	2	2021	120	\$300.00	LF	\$36,000	\$70,502

Deficient Material: Casework
Original wood casework is aged and worn.

Remedial Action:
Remove and replace with modern, ADA-compliant casework.

Action Type:
Other



Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum K-8 Library Building 400

91 West Valley Road
Chimacum, WA 98325

Facility Size - Gross S.F.	6,312
Year Of Original Construction	1968
Facility Use Type	Library
Construction Type	Medium
# of Floors	1
Energy Source	Electric
Year Of Last Renovation	1968
Historic Register	No



		Total Project Cost		Total Project Cost - Present Value
Weighted Avg Condition Score	3.6			
Facility Condition Index (FCI)	0.29	Predicted Renewal Budget (ALL)	\$1,410,000	\$1,361,000
Current Replacement Value (CRV)	\$2,841,000	Observed Deficiencies (ALL)	\$668,000	\$657,000
Beginning Budget Year	2021			

Facility Condition Summary

Single-story, masonry building in poor condition due to age. Deficiencies found in both exterior shell and interior finishes. Original HVAC system is mostly pneumatic-controlled unit ventilators, some spaces have little or no service. Overall HVAC in poor condition. Plumbing also original in poor condition. No fire sprinkler. The library electrical gear is aged. Fluorescent light fixtures are aged, with some falling off their ceiling mounts. Exterior light fixtures are mostly older fixtures, but with some newer LED lamps. Low voltage systems are limited and aging, but with newer CCTV for security monitoring.

Building 400 has been largely abandoned in place with water shut-off, so plumbing fixtures could not be tested.

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum K-8 Library Building 400

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems		Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
A Substructure				3.0			
A10	Foundations						
A1010	Standard Foundations	1968	1968	3	MAL	07/08/21	Standard concrete in fair condition due to age.
A1030	Slab On Grade	1968	1968	3	MAL	07/08/21	Standard concrete in fair condition due to age.
B Shell				3.4			
B10	Superstructure						
B1020	Roof Construction	1968	1968	3	MAL	07/08/21	Wood framed, wood beam on masonry pilasters, fair condition due to age.
B20	Exterior Closure						
B2010	Exterior Walls	1968	1968	3	MAL	07/08/21	Unreinforced masonry, no apparent insulation in fair condition due to age. Ceramic tile and memorial tiles at north side of building.
B2020	Exterior Windows	1968	1968	5	MAL	07/08/21	Single-glazed units in aluminum frames.
B2030	Exterior Doors	1968	1968	4	MAL	07/08/21	Hollow metal doors in hollow metal frames, some with ADA-compliant hardware.
B30	Roofing						
B3010	Roof Coverings	1968	1999	3	MAL	07/08/21	Single-ply membrane.
B3030	Projections	1968	1968	3	MAL	07/08/21	Original wood framed covered walk connecting to Building 100B, on steel columns.

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum K-8 Library Building 400

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems	Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
C Interiors			3.7			
C10 Interior Construction						
C1010 Partitions	1968	1968	3	MAL	07/08/21	Combination of framed and unreinforced masonry.
C1020 Interior Doors	1968	1968	5	MAL	07/08/21	Wood doors in wood frames without ADA-compliant hardware. One hollow metal door with hollow metal frame.
C1030 Fittings	1968	1968	3	MAL	07/08/21	Restroom accessories in good condition, wood trim in poor condition due to damage and age, minor maintenance to repair or replace.
C30 Interior Finishes						
C3010 Wall Finishes	1968	1968	4	MAL	07/08/21	Wall paint is fair due to age and marks, some tack panels, VWC in restrooms, exposed masonry, VCT on walls in student restrooms.
C3020 Floor Finishes	1968	1968	4	MAL	07/08/21	Carpet in most areas, worn aged, some staining, ceramic tile in restrooms in good condition.
C3030 Ceiling Finishes	1968	1968	4	MAL	07/08/21	Mostly 12x12 glue-on tiles and some gypsum ceilings, fair condition due to age and some previous roof leaks.
D Services			3.8			
D20 Plumbing						
D2010 Plumbing Fixtures	1968	1968	4	DCS	07/08/21	Original fixtures in poor condition; unable to test due to water shut-off.
D2020 Domestic Water Distribution	1968	1968	4	DCS	07/08/21	Newer city water service with backflow preventer in outside hot box to original inside galvanized piping with some copper. 1999 30-gal electric water heater with circulation pump in fair condition. Water is currently shut-off to the building.

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum K-8 Library Building 400

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems		Original System Date	Renewal Date Last	Score	Surveyor	Survey Date	Comments
D Services				3.8			
D20	Plumbing						
D2030	Sanitary Waste	1968	1968	4	DCS	07/08/21	Original cast iron waste piping is aging; unable to test fixtures due to water shut-off.
D2040	Rain Water Drainage	1968	1968	4	DCS	07/08/21	Roof drain to downspout to north, gutter to downspout to south, gutters to south are full of debris with plants growing, and apparent collateral damage to roof structure and/or interior ceiling finishes below. Minor maintenance to clean and repair gutters and downspouts.
D30	HVAC						
D3040	HVAC Distribution Systems	1968	1968	4	DCS	07/08/21	Original system for office areas largely abandoned in place, leaving little or no ventilation for these spaces, excepting toilet room exhaust, which is also aged. No relief air path from Room 35.
D3050	Terminal and Package Units	1968	1968	3	DCS	07/08/21	Unit ventilators with electric resistance heat for main library area. 1968 units in poor to fair condition. Newer electric wall heaters for office area.
D3060	Controls and Instrumentation	1968	1968	4	DCS	07/08/21	Original pneumatic controls obsolete.
D40	Fire Protection						
D4030	Fire Protection Specialties	1968	1968	3	DCS	07/08/21	Fire extinguishers.
D50	Electrical						
D5010	Electrical Service and Distribution	1969	1969	4	DCS	07/08/21	The MDP is a Square D 208/120V three-phase four-wire with 600 amp board with three main service fused disconnect switches. This board complied with code at the time of installation. When the District became owners of the utility transformers, it required the distribution boards to have a single disconnect switch which it does not have and now does not meet code requirements. Switchgear is over 50 years old, while no visible deficiencies were noted, the gear is reaching end of useful life.

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum K-8 Library Building 400

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems		Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
D Services				3.8			
D50	Electrical						
D5020	Lighting and Branch Wiring	1969	1969	4	DCS	07/08/21	Most lighting in this building is surface mounted fluorescent 1'x4' and 2'x4' T8 fixtures; some fixtures are falling off the ceiling, hence potentially hazardous to occupants.
D5032	Low Voltage Communication	1969	1969	4	DCS	07/08/21	Clock, bell, intercom, and PA system devices missing or damaged with unclear operability - assume minor maintenance to renew.
D5037	Low Voltage Fire Alarm	1969	1969	4	DCS	07/08/21	Minimal detection with manual pull stations and heat detection in utility spaces. Non-addressable and assumed reporting to the new Building 100A fire alarm control panel (FACP).
D5038	Low Voltage Security	1968	2018	3	DCS	07/08/21	CCTV.
D5039	Low Voltage Data	1969	2000	3	DCS	07/08/21	High-speed fiber-optic data from Building 100A MDF to Building 400 IDF in custodial closet. Consider a wall-mounted IDF enclosure in a more open Building 400 space as minor maintenance.
D5090	Other Electrical Systems	1969	1969	3	DCS	07/08/21	Emergency lighting, some exit doors marked with paper signs - minor maintenance to install modern combination exit and egress wall packs with on-board battery-backed power.
E Equipment and Furnishings				3.9			
E10	Equipment						
E1010	Commercial Equipment	1968	1968	3	DCS	07/08/21	Small kitchenette appliances and office equipment aged and abandoned in place - minor maintenance to replace as needed.
E1020	Institutional Equipment	1968	1968	3	DCS	07/08/21	Aged but functional library shelving - minor maintenance needed to restore function, if to be used again.

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum K-8 Library Building 400

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems	Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
E Equipment and Furnishings			3.9			
E20	Furnishings					
E2010	1968	1968	4	MAL	07/08/21	Original plastic laminated casework in fair condition due to age, minor maintenance to replace. Some window blinds.
F Special Construction						
F10	Special Construction					
F1010	1968	2000	3	DCS	07/08/21	Plastic shed outside to south for chair storage.
F1020	1968	1968	2	MAL	07/08/21	Original steel vault, reportedly in good working order.

Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum K-8 Library Building 400

B2010	Exterior Walls	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		5	0	2021	2,800	\$3.50	SF	\$9,800	\$19,192

Deficient Material: Masonry Wall
Masonry wall is not sealed.

Remedial Action:
Clean and reseal exterior walls.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum K-8 Library Building 400

B2020	Exterior Windows	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		5	0	2021	138	\$75.00	SF	\$10,350	\$20,269

Deficient Material: Windows
Single-glazed windows.

Remedial Action:
Remove and replace with new fiberglass, dual-glazed windows.

Action Type:
Energy Efficiency



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum K-8 Library Building 400

B2030	Exterior Doors	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		5	0	2021	1	\$5,000.00	LS	\$5,000	\$9,792

Deficient Material: Exterior Doors
Doors are aged, missing ADA-compliant hardware.

Remedial Action:
Prep and repaint doors and frames, replace hardware with new ADA accessible hardware where necessary.

Action Type:
ADA



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum K-8 Library Building 400

C1020	Interior Doors	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		5	0	2021	12	\$1,100.00	EA	\$13,200	\$25,851

Deficient Material: Door Hardware
Door hardware is not ADA-compliant.

Remedial Action:
Remove and replace hardware to be ADA-compliant.

Action Type:
ADA



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum K-8 Library Building 400

C3010	Wall Finishes	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	2	2021	6,312	\$3.00	SF	\$18,936	\$37,084

Deficient Material: Wall Finishes
Wall finishes are aged, some signs of damage.

Remedial Action:
Repaint and replace wall finishes where damaged.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum K-8 Library Building 400

C3020	Floor Finishes	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		3	4	2021	4,800	\$7.50	SF	\$36,000	\$70,502

Deficient Material: Carpet
Carpet aged, worn some staining.

Remedial Action:
Remove and replace carpet.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum K-8 Library Building 400

C3030	Ceiling Finishes	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		3	4	2021	4,800	\$5.50	SF	\$26,400	\$51,702

Deficient Material: ACT
12x12 ceiling tiles aged and worn.

Remedial Action:
Remove ceiling tiles and ACT, replace with new.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum K-8 Library Building 400

D2010	Plumbing Fixtures	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	3	2021	6,313	\$1.50	SF	\$9,470	\$18,545

Deficient Material: Plumbing Fixtures
Original fixtures past useful life and wasting water.

Remedial Action:
Replace with new code compliant fixtures.

Action Type:
Energy Efficiency



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum K-8 Library Building 400

D2020	Domestic Water Distribution	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	2	2021	6,313	\$1.25	SF	\$7,891	\$15,454

Deficient Material: Domestic Water System
Galvanized pipe.

Remedial Action:
Replace with copper or PEX.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District

Site: Chimacum Main Campus

Facility: Chimacum K-8 Library Building 400

D2030	Sanitary Waste	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	3	2021	6,313	\$1.00	SF	\$6,313	\$12,363

Deficient Material: Waste System
Original waste system near end of life.

Remedial Action:
Clean, test, inspect and renew waste system as needed.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum K-8 Library Building 400

D3040	HVAC Distribution Systems	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	1	2021	2,000	\$20.00	SF	\$40,000	\$78,336

Deficient Material: HVAC Distribution
Little or no ventilation for office areas; original system removed or boarded over. No relief air path from Room 35 to roof relief in main library space.

Remedial Action:
Provide HVAC service to office area. Provide relief air path for Room 35.

Action Type:
Code Issue



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum K-8 Library Building 400

		Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
D3050	Terminal and Package Units	4	2	2021	4	\$2,500.00	EA	\$10,000	\$19,584

Deficient Material: Unit Ventilators
1968 unit ventilators in poor to fair condition.

Remedial Action:
Refurbish unit ventilators.

Action Type:
Energy Efficiency



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District

Site: Chimacum Main Campus

Facility: Chimacum K-8 Library Building 400

D3060	Controls and Instrumentation	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	2	2021	6,313	\$4.00	SF	\$25,252	\$49,454

Deficient Material: HVAC Controls
Obsolete pneumatic and local manual t-stat control.

Remedial Action:
Replace with modern (DDC) controls per code and District standards.

Action Type:
Energy Efficiency



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum K-8 Library Building 400

D4010	Fire Protection Sprinkler Systems	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		5	0	2021	6,313	\$5.00	SF	\$31,565	\$61,817

Deficient Material: Fire Sprinkler
No fire sprinkler system.

Remedial Action:
Install fire sprinkler per code.

Action Type:
Life Safety



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum K-8 Library Building 400

D5010	Electrical Service and Distribution	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	2	2021	1	\$50,000.00	LS	\$50,000	\$97,920

Deficient Material: Main Switchgear
Switchgear has multiple service disconnects that are not code compliant, and reaching end of useful life.

Remedial Action:
Replace switchgear with new single service disconnect gear.

Action Type:
Code Issue



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum K-8 Library Building 400

D5020	Lighting and Branch Wiring	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	1	2021	6,312	\$5.00	SF	\$31,560	\$61,807

Deficient Material: Light fixtures
Aged light fixtures are inefficient fluorescent with some falling off the ceiling, potentially injuring occupants below.

Remedial Action:
Replace with modern LED fixtures and ensure fixtures are secure to the building structure; after first confirming the building structure is sound.

Action Type:
Code Issue



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum K-8 Library Building 400

		Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
D5037	Low Voltage Fire Alarm	4	2	2021	6,312	\$1.50	SF	\$9,468	\$18,542

Deficient Material: Fire alarm
Obsolete, non-addressable fire alarm system.

Remedial Action:
Renew with full detection and addressable devices.

Action Type:
Life Safety



Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum Multipurpose Building 500

91 West Valley Road
Chimacum, WA 98325

Facility Size - Gross S.F.	12,392
Year Of Original Construction	1952
Facility Use Type	Multipurpose
Construction Type	Medium
# of Floors	1
Energy Source	Electric
Year Of Last Renovation	1999
Historic Register	No



Weighted Avg Condition Score	2.6		Total Project Cost	Total Project Cost - Present Value
Facility Condition Index (FCI)	0.10	Predicted Renewal Budget (ALL)	\$2,735,000	\$2,460,000
Current Replacement Value (CRV)	\$5,741,000	Observed Deficiencies (ALL)	\$501,000	\$492,000
Beginning Budget Year	2021			

Facility Condition Summary

Structure in fair condition due to original structure age and some subsystem deficiencies primarily with covered walk and gym flooring. Aging and inefficient HVAC system with functional but increasingly obsolete controls. Overall HVAC in fair condition. Modern plumbing in fair condition, needing minor work. Fire sprinkler installed in good condition, excepting difficult riser location in low-height basement. The power distribution is located in the basement and is aging, but is still functional with no signs of deficiencies other than age. The lighting is increasingly obsolete fluorescent, but with some automatic controls and egress lighting. The low-voltage systems devices seem to be in good condition and are served from head-end systems in the elementary school. Newer CCTV system.

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum Multipurpose Building 500

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems		Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
A Substructure				3.0			
A10	Foundations						
A1010	Standard Foundations	1952	1952	3	MAL	07/08/21	Conventional concrete foundation system, fair condition due to age.
A1030	Slab On Grade	1952	1952	3	MAL	07/08/21	Standard concrete slab on grade in fair condition due to age.
A20	Basements						
A2020	Basement Walls	1952	1999	3	MAL	07/08/21	Cast in place concrete and masonry walls, fair condition due to age. Some seismic work completed in 1999.
B Shell				2.7			
B10	Superstructure						
B1010	Floor Construction	1952	1999	2	MAL	07/08/21	Wood floor in kitchen area, newer in good condition. Wood framed mezzanine in fair condition due to age.
B1020	Roof Construction	1952	1952	3	MAL	07/08/21	Wood beam on CMU pilasters with car deck in fair condition due to age. Some recent 1999 seismic work. Gym area has barrel vault wood truss on CMU walls with car deck in fair condition due to age.
B20	Exterior Closure						
B2010	Exterior Walls	1952	1952	3	MAL	07/08/21	Painted cement plaster with some wood siding on CMU walls. Building recently repainted.
B2020	Exterior Windows	1952	2010	2	MAL	07/08/21	Newer dual-glazed fiberglass windows in good condition.

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum Multipurpose Building 500

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems	Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
B Shell			2.7			
B20 Exterior Closure						
B2030 Exterior Doors	1952	1999	3	MAL	07/08/21	Hollow metal doors in hollow metal frames with ADA-compliant hardware.
B30 Roofing						
B3010 Roof Coverings	1952	2016	2	MAL	07/08/21	Metal roof at gym barrel vault, new single-ply membrane at flat areas, all in good condition.
B3030 Projections	1952	1952	3	MAL	07/08/21	Metal covered play area connected to west side of building, supported by concrete columns in good condition. Original wood framed covered walk connecting to Building 300 on steel columns.
C Interiors			2.3			
C10 Interior Construction						
C1010 Partitions	1952	1952	2	MAL	07/08/21	CMU, some wood framed, good condition.
C1020 Interior Doors	1952	1999	3	MAL	07/08/21	Wood doors and hollow metal doors in hollow metal frames with ADA-compliant hardware. Metal coiling doors at kitchen, reported not able to pass inspection.
C1030 Fittings	1952	1952	2	MAL	07/11/21	Newer restroom accessories and marker boards in good condition. Signage missing or broken.
C20 Staircases						
C2010 Stair Construction	1952	1952	3	MAL	07/08/21	Metal ladder to access mezzanine.
C30 Interior Finishes						
C3010 Wall Finishes	1952	1999	2	MAL	07/08/21	MDF panels in gym, good condition, some minor repairs needed. Wall paint, acoustic panels in upper gym, half-height MDF panels in restrooms, some stainless steel in kitchen in good condition.

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum Multipurpose Building 500

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems	Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
C Interiors			2.3			
C30 Interior Finishes						
C3020 Floor Finishes	1952	1952	3	MAL	07/08/21	Membrane flooring in gym. VCT at entry in poor condition due to wear and tear. Sheet vinyl in kitchen. Ceramic tile in restrooms.
C3030 Ceiling Finishes	1952	1999	2	MAL	07/08/21	Gypsum in restrooms, open structure at gym and 12x12 tiles at entry, good condition.
D Services			2.8			
D20 Plumbing						
D2010 Plumbing Fixtures	1952	1999	2	DCS	07/09/21	Plumbing fixtures in good condition but with some trim (faucets and flush valves) need service due to minimal use during COVID-19 restrictions - assume minor maintenance to restore function.
D2020 Domestic Water Distribution	1952	1999	3	DCS	07/08/21	City water (three-inch) to some older steel, but mostly newer copper piping. No backflow prevention or pressure control - minor maintenance to add. Two water heaters, 1999 Lime Tamer and 2007 A.O. Smith with 119-gal storage and 12-kW heating capacity, plus dishwasher booster heater (2014) all in basement - aging but functional, with 1999 heater approaching end of life - minor maintenance to replace. Water is discolored.
D2030 Sanitary Waste	1952	1999	2	DCS	07/08/21	Cast iron waste and non-metallic (ABS) drain and vent piping in good condition with most fixtures flushing and draining well. The plumbing vents-to-roof (VTRs) have Studor vent caps, but for unclear purpose - further investigation suggested as minor maintenance. No grease interceptor - minor maintenance to add point-of-use type.
D2040 Rain Water Drainage	1952	1999	2	DCS	07/08/21	Internal roof drains to site storm system at main building and metal gutter and PVC downspout to grade, plus overflow scuppers through the high roof parapet. All in good condition, excepting dirt and debris clogging the roof drains - minor maintenance to clean and clear for proper drainage.

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum Multipurpose Building 500

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems	Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
D Services			2.8			
D30 HVAC						
D3040 HVAC Distribution Systems	1952	1999	3	DCS	07/08/21	Four air handling units with electric resistance heat and galvanized sheet metal ductwork, aging and inefficient but functional.
D3060 Controls and Instrumentation	1952	1999	3	DCS	07/08/21	Hybrid electro-pneumatic controls, functional but obsolete. Failing control air compressor in basement - minor maintenance to replace.
D3090 Other HVAC Systems and Equipment	1981	1981	3	DCS	07/08/21	Older Type 1 grease and Type 2 heat and moisture kitchen hoods in good general condition, but with unclear Type 1 hood auto-wash and fire suppression function - minor maintenance to fully-service, test, and certify.
D40 Fire Protection						
D4010 Fire Protection Sprinkler Systems	1952	1999	3	DCS	07/08/21	Six-inch service to four-inch wet pipe fire sprinkler with riser located in crawlspace. No dry-pipe protection for the attached covered play structure, noting the all-metal attached structure appears non-combustible, and attached to non-combustible cast-in-place concrete gym west wall - confirm this meets code. Classroom 811 is used as District file storage, and may exceed fire sprinkler design suppression capacity - further investigation is needed.
D4030 Fire Protection Specialties	1952	1999	3	DCS	07/08/21	Fire extinguishers and AED in cabinet.
D4090 Other Fire Protection Systems	1981	1981	3	DCS	07/08/21	Kitchen grease hood fire suppression system present, but needs renewal per code - see D3090.

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum Multipurpose Building 500

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems		Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
D Services				2.8			
D50	Electrical						
D5010	Electrical Service and Distribution	1952	1979	3	DCS	07/08/21	Main distribution board is Square D 480/277 3-phase 4-wire with a 800 amp main breaker. The distribution and branch panels are over 40 years old; a few appear original 1952. The service includes an older utility "43 Shutdown" subsystem for demand control per reported prior primary service rate schedule agreement; reportedly this subsystem has been bypassed and in now abandoned in place - minor maintenance to complete demolition.
D5020	Lighting and Branch Wiring	1952	1999	3	DCS	07/08/21	General lighting is mostly surface-mounted T8 fluorescent fixtures with some high-bay-style T8 in the gym. Exterior building lights are a mix of 100 watt metal halide wall packs and recessed down lights functional and photocell-controlled.
D5032	Low Voltage Communication	1952	1999	3	DCS	07/08/21	Intercom speakers and clocks present and served from the elementary school intercom system; aging with unclear function. Telephone is voice over IP.
D5037	Low Voltage Fire Alarm	1952	2018	2	DCS	07/08/21	Newer fire alarm devices reporting to new fire alarm control panel (FACP) at Building 100A; opportunity for beam detection for additional protection.
D5038	Low Voltage Security	2018	2018	3	DCS	07/08/21	2018 CCTV.
D5039	Low Voltage Data	1952	1999	3	DCS	07/08/21	Telecommunications cabling for voice and data, rating is CAT 5, fiber backbone provided. IDF located in the table storage room. A proper IDF may be created as part of the electrical service relocation - see D5010.
D5090	Other Electrical Systems	1952	1999	3	DCS	07/08/21	Egress lighting is provided via emergency battery packs within dedicated fixtures and eyeball style egress fixtures. No complaints of battery packs not working. Exit signs were illuminated and functional.

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum Multipurpose Building 500

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems		Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
E Equipment and Furnishings				2.0			
E10	Equipment						
E1010	Commercial Equipment	1952	2010	2	DCS	07/08/21	Washer and dryer for custodial use.
E1020	Institutional Equipment	1952	1999	2	MAL	07/08/21	Stainless steel kitchen equipment. Basketball backboards and gym curtain in good condition. Reportedly all operable bleachers have been relocated to other gym space.
E1030	Vehicular Equipment	1952	1952	3	DCS	07/10/21	Original stage loading dock to south; used for kitchen deliveries.

Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Multipurpose Building 500

C1020	Interior Doors	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		5	0	2021	3	\$4,200.00	EA	\$12,600	\$24,676

Deficient Material: Coiling Doors
Metal coiling fire doors not able to pass fire inspection.

Remedial Action:
Remove and replace with new, functional doors.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Multipurpose Building 500

D2020	Domestic Water Distribution	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	2	2021	300	\$30.00	LF	\$9,000	\$17,626

Deficient Material: Asbestos Insulation
Original asbestos pipe insulation in basement and potentially elsewhere, such as in concealed spaces.

Remedial Action:
Remediate asbestos-insulated pipe; reinsulate pipe with modern materials, such as fiberglass or cellular foam.

Action Type:
Code Issue



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Multipurpose Building 500

D2020	Domestic Water Distribution	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	1	2021	12,000	\$0.75	SF	\$9,000	\$17,626

Deficient Material: Galvanized pipe
Discolored water, assume due to relatively small portions of original galvanized or steel pipe.

Remedial Action:
Replace any remaining galvanized or steel pipe with copper and/or PEX.

Action Type:
Code Issue



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Multipurpose Building 500

D3040	HVAC Distribution Systems	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	3	2021	12,393	\$3.00	SF	\$37,179	\$72,811

Deficient Material: HVAC System
Aging HVAC system.

Remedial Action:
Renew prior to component failures, such as electric resistance heaters.

Action Type:
Energy Efficiency



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Multipurpose Building 500

D3060	Controls and Instrumentation	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	2	2021	12,393	\$2.00	SF	\$24,786	\$48,541

Deficient Material: HVAC Controls
Obsolete electro-pneumatic controls.

Remedial Action:
Replace with digital (DDC) controls per code and District standards.

Action Type:
Energy Efficiency



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Multipurpose Building 500

D3090	Other HVAC Systems and Equipment	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	1	2021	1	\$8,500.00	LS	\$8,500	\$16,646

Deficient Material: Grease hood
Type 1 grease hood with unclear wash and fire suppression system function.

Remedial Action:
Clean, service, test, and recertify the Type 1 grease hood.

Action Type:
Code Issue



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Multipurpose Building 500

D5010	Electrical Service and Distribution	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		3	3	2021	1	\$75,000.00	LS	\$75,000	\$146,880

Deficient Material: Main Switchgear
The service is approaching end of useful life expectancy.

Remedial Action:
Provide new service, switchboard, and panel in proper electrical room, such as on the main floor NE corner storage room.

Action Type:
Code Issue



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Multipurpose Building 500

E1020	Institutional Equipment	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	1	2021	1	\$50,000.00	LS	\$50,000	\$97,920

Deficient Material: Bleachers
Bleachers removed to other campus gym space.

Remedial Action:
Replace missing bleachers.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Multipurpose Building 500

E1020	Institutional Equipment	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	2	2021	2	\$15,000.00	EA	\$30,000	\$58,752

Deficient Material: Kitchen equipment
Aging walk-in cooler and freezer with reported issues, and condensing units located in unvented crawlspace (former basement).

Remedial Action:
Renew cooler and freezer and relocate condensing units to outside.

Action Type:
Energy Efficiency



Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum Maintenance Bldg

91 West Valley Road
Chimacum, WA 98325

Facility Size - Gross S.F.	7,541
Year Of Original Construction	1957
Facility Use Type	Maintenance Shop
Construction Type	Medium
# of Floors	1
Energy Source	Electric
Year Of Last Renovation	1957
Historic Register	No



Weighted Avg Condition Score	3.6		Total Project Cost	Total Project Cost - Present Value
Facility Condition Index (FCI)	0.27	Predicted Renewal Budget (ALL)	\$1,401,000	\$1,356,000
Current Replacement Value (CRV)	\$2,893,000	Observed Deficiencies (ALL)	\$1,525,000	\$1,508,000
Beginning Budget Year	2021			

Facility Condition Summary

Building was original portion of school and reportedly unable to house students due to poor condition of many systems. Building systems are poor with some failed or failing, including cracked and spalling concrete and concrete block primary structure. Original steam heating system abandoned in place with marginal electric unit heaters in some spaces, with little or no mechanical ventilation. Overall HVAC in poor condition. Plumbing also mostly original in poor condition with rust-color water. No fire sprinkler. The electrical distribution gear is lacking in capacity, is over 60 years old, and well past its useful life. The lighting, while still having adequate illumination levels in most areas, needs updating. Lighting fixtures in shop area are switched from the power panel. No egress lighting or illuminated exit signs. No security, minimal intercom, no smoke detection, and minimal fire alarm system.

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum Maintenance Bldg

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems		Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
A Substructure				3.0			
A10	Foundations						
A1010	Standard Foundations	1957	1957	3	MAL	07/09/21	Standard concrete system, fair condition due to age.
A1030	Slab On Grade	1957	1957	3	MAL	07/09/21	Standard concrete system, fair condition due to age.
B Shell				3.4			
B10	Superstructure						
B1010	Floor Construction	1957	1957	4	MAL	07/09/21	Wood framed mezzanine structure on wood joists and posts. Unable to see lateral or seismic improvements.
B1020	Roof Construction	1957	1957	3	MAL	07/09/21	Wood framed, open web bar joists with wood car deck on unreinforced masonry walls, fair condition due to age and appearance of multiple roofing leaks over a long period of time.
B20	Exterior Closure						
B2010	Exterior Walls	1957	1957	4	MAL	07/09/21	Unreinforced masonry, CMU, painted. Walls in poor condition, spalling of masonry units, paint worn, faded, masonry lintel at south side overhead door failed and supported with steel columns, window sills failing.
B2020	Exterior Windows	1957	1957	5	MAL	07/09/21	Single-glazed wood framed windows, poor condition.
B2030	Exterior Doors	1957	1957	5	MAL	07/09/21	Hollow metal doors in hollow metal frames without ADA-compliant hardware, in poor condition. Sectional overhead doors in fair condition. Main entrance door is a wood door in wood frame in poor condition due to wear and tear, deteriorating.

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum Maintenance Bldg

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems		Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
B Shell				3.4			
B30	Roofing						
B3010	Roof Coverings	1957	1957	3	MAL	07/09/21	Single-ply roofing.
B3020	Roof Openings	1957	1957	5	MAL	07/09/21	Single-glazed skylights in poor condition.
B3030	Projections	1957	1957	4	MAL	07/09/21	Wood framed canopy at main entrance in poor condition; deteriorated and showing water damage.
C Interiors				4.2			
C10	Interior Construction						
C1010	Partitions	1957	1957	3	MAL	07/09/21	CMU, some framed walls, fair condition due to age and some damage.
C1020	Interior Doors	1957	1957	5	MAL	07/09/21	Mix of hollow metal doors in hollow metal frames and wood doors in wood frames, most without ADA accessible hardware. Doors show signs of damage, wear, and tear.
C1030	Fittings	1957	1957	4	MAL	07/09/21	Older wood restroom partitions past useful life, minor maintenance to replace.
C20	Staircases						
C2010	Stair Construction	1957	1957	3	MAL	07/09/21	Wood stairs to mezzanine in fair condition, stairs do not appear to meet code for size, handrails, or width, minor maintenance to replace.
C30	Interior Finishes						
C3010	Wall Finishes	1957	1957	4	MAL	07/09/21	Wall paint in fair condition due to age and wear and tear.
C3020	Floor Finishes	1957	1957	5	MAL	07/09/21	Some carpet, worn, some VCT with presumed hazardous material, shop area concrete floor.

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum Maintenance Bldg

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems	Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
C Interiors			4.2			
C30 Interior Finishes						
C3030 Ceiling Finishes	1957	1957	5	MAL	07/09/21	12x12 glue-on tiles in poor condition due to damage and age, presumed hazardous mastic.
D Services			3.8			
D20 Plumbing						
D2010 Plumbing Fixtures	1957	1957	4	DCS	07/09/21	Original fixtures are obsolete and inefficient with marginal function; also stained from rusty water.
D2020 Domestic Water Distribution	1957	1957	4	DCS	07/09/21	Original galvanized pipe with undrinkable water. 2003 water heater and circulation pump, but no expansion tank.
D2030 Sanitary Waste	1957	1957	4	DCS	07/09/21	Original waste piping, assumed cast iron and/or galvanized. Several fixtures drain slow, but most are ok. A significant portion of the campus large on-site septic system (LOSS) infrastructure, including below-grade vaults and pumps present outside the NE corner of the building.
D2040 Rain Water Drainage	1957	1957	4	DCS	07/09/21	Metal gutters and downspouts to grade. Damage to some; others partially blocked and/or discharge to poor location.
D2090 Other Plumbing Systems	1957	1957	4	DCS	07/09/21	Shop wash bay with unclear destination of catch basin drain; ensure discharge to approved location, such as oil/water separator. Minor maintenance to confirm, clean, and restore service as needed.
D30 HVAC						
D3010 Energy Supply	1957	1957	5	DCS	07/09/21	Original campus supplied steam system is abandoned in place with asbestos insulation; should be demolished if not intended for future reuse.

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum Maintenance Bldg

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems		Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
D Services				3.8			
D30	HVAC						
D3040	HVAC Distribution Systems	1957	1957	4	DCS	07/09/21	Toilet room exhaust fans ducted to roof. No HVAC system for office or shop other than several electric unit heaters.
D3050	Terminal and Package Units	1957	2000	3	DCS	07/09/21	Electric resistance heaters in shop and several office areas in fair, but functional condition. No heat to some spaces.
D3060	Controls and Instrumentation	1957	2000	4	DCS	07/09/21	Manual thermostats for unit heaters with no remote monitoring; some broken.
D40	Fire Protection						
D4020	Stand-Pipe and Hose Systems	1957	1957	4	DCS	07/09/21	Hose station without current inspection - minor maintenance to certify.
D4030	Fire Protection Specialties	1957	1957	3	DCS	07/09/21	Fire extinguishers on hooks, some with partially blocked access. One small wall-mounted first aid kit.
D50	Electrical						
D5010	Electrical Service and Distribution	1957	1957	4	DCS	07/09/21	<p>The main distribution panel is the original Westinghouse 120/240V, single-phase, 225A panel that is served from a dry transformer in the adjacent multipurpose building. There are only two other panels in this building, one is original 200A Westinghouse with 150A main breaker, the one Crouse-Hinds 225A, including an apparent standby generator connection receptacle adjacent to the panel. While still functional, these panels are past useful life, with parts difficult to obtain.</p> <p>Electrical service is marked as Schedule 43 (interruptible), but assumed no longer applicable. Upon service replacement, consider current utility rate schedules and negotiate with Jefferson County PUD for the most favorable rate schedule and service type.</p>

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum Maintenance Bldg

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems		Original System Date	Renewal Date	Last Date	Score	Surveyor	Survey Date	Comments
D Services					3.8			
D50	Electrical							
D5020	Lighting and Branch Wiring	1957	1957	4	DCS	07/09/21	Most fixtures are T12 lamp type, some are missing lamps and lenses. Fixtures in the shop area are T12 and switched via the power panel as no switches were provided. Light levels are adequate in most areas, but dim in some, such as corridors and smaller spaces. Natural daylighting is provided by skylights in larger shop areas, but there are no daylighting controls.	
D5032	Low Voltage Communication	1957	1957	3	DCS	07/09/21	One intercom clock speaker is provided in the main office area and is reportedly tied into the obsolete Building 300 intercom system - assume minor maintenance to connect to more the modern Building 100A/B system. An older Lathem clock system head-end controller appears abandoned in place. Telephone system has been changed to voice over internet protocol (VOIP) with District standard Yealink handsets, but plain-old telephone system (POTS) wiring appears to remain if needed. No apparent functioning shop public address (PA) system.	
D5037	Low Voltage Fire Alarm	1957	1957	4	DCS	07/09/21	This building only has one pull station and one horn strobe reportedly connected to the old Building 300 fire alarm system, in turn reportedly monitored by the Building 100A/B fire alarm control panel (FACP). No apparent smoke detection provided other than one possible ceiling-mounted, battery-operated local alarm device.	
D5038	Low Voltage Security	2018	2018	4	DCS	07/12/21	CCTV.	
D5039	Low Voltage Data	1957	2000	3	DCS	07/09/21	Telecommunications cabling for voice and data is in good condition with CAT 5 data cabling. High-speed fiber-optic data is provided, assumed from the Building 100A campus MDF, to small IDF backboard located on the exterior wall of the east office space - consider forming a small data closet to better protect the IDF, as minor maintenance.	

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum Maintenance Bldg

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems	Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
D Services			3.8			
D50 Electrical						
D5090 Other Electrical Systems	1957	1957	4	DCS	07/09/21	Building is lacking egress lighting and illuminated exit signs; noting at least one paper or plastic exit sign is posted above the main entry door. The Crouse-Hinds electrical panel includes an apparent standby generator connection adjacent to the panel, but no generator was observed. The standby power system may be related to the campus large on-site septic system (LOSS) infrastructure located outside the NE corner of the building.
E Equipment and Furnishings			3.0			
E10 Equipment						
E1010 Commercial Equipment	1957	2000	4	DCS	07/09/21	Aged kitchen appliances and office equipment.
E1020 Institutional Equipment	1957	1957	3	DCS	07/09/21	Variety of shop equipment and tools; aging but assumed functional with no specific issues reported - assume minor maintenance to replace individual pieces of equipment upon failure.
E20 Furnishings						
E2010 Fixed Furnishings	1957	1957	3	MAL	07/09/21	Original casework, past useful life, minor maintenance to replace.
F Special Construction			3.0			
F10 Special Construction						
F1010 Special Structures	1957	2000	3	DCS	07/12/21	Variety of sheds and other equipment in service yard, ranging from older the newer, and near collapsed to good condition.

Facility Summary

Chimacum School District	
Chimacum Main Campus	
Chimacum Maintenance Bldg	91 West Valley Road Chimacum, WA 98325

Facility Components		Original System Date	Renewal Date	Last Score	Surveyor	Survey Date	Comments
Systems							
F Special Construction				3.0			
F10	Special Construction						
F1050	Special Controls and Instrumentation	1957	2000	3	DCS	07/12/21	Several special instrumentation and telemetry stations, appearing to include WSU agricultural weather station, communications antenna, and satellite link; reportedly some are functional, but others may be abandoned in place - minor maintenance to determine which are abandoned, if any, and remove.

Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Maintenance Bldg

B1010	Floor Construction	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	1	2021	1	\$12,000.00	LS	\$12,000	\$23,501

Deficient Material: Wood Mezzanine
Wood structure does not appear to meet current code.

Remedial Action:
Allowance to have structural engineer review and make necessary corrections.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Maintenance Bldg

B2010	Exterior Walls	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	3	2021	5,600	\$28.75	SF	\$161,000	\$315,302

Deficient Material: Exterior Wall
Unreinforced masonry, CMU, painted. Walls in poor condition, spalling of masonry units, paint worn, faded, masonry lintel at south side overhead door failed and supported with steel columns, window sills failing.

Remedial Action:
Replace walls with steel support for roof structure, remove masonry walls, replace with metal siding wall system with insulation.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Maintenance Bldg

B2020	Exterior Windows	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		5	0	2021	282	\$55.00	SF	\$15,510	\$30,375

Deficient Material: Windows
Single-glazed, wood framed windows, deteriorated, seals failed, wood exposed, some panes broken.

Remedial Action:
Remove and replace with new fiberglass, dual-glazed windows.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District

Site: Chimacum Main Campus

Facility: Chimacum Maintenance Bldg

B2030	Exterior Doors	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		5	0	2021	4	\$3,000.00	EA	\$12,000	\$23,501

Deficient Material: Exterior Doors

Hollow metal doors in hollow metal frames without ADA-compliant hardware and main entrance door damaged, sticks, and shows heavy wear and tear, deteriorating.

Remedial Action:

Remove doors and frames, replace with new hollow metal doors and hollow metal frames with accessible hardware.

Action Type:

Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Maintenance Bldg

B3020	Roof Openings	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		5	0	2021	1	\$6,000.00	LS	\$6,000	\$11,750

Deficient Material: Skylights
Skylights, single polycarbonate past useful life.

Remedial Action:
Remove and replace with new thermal skylights.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Maintenance Bldg

B3030	Projections	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	3	2021	40	\$125.00	SF	\$5,000	\$9,792

Deficient Material: Canopy
Wood framed canopy at main entrance in poor condition; deteriorated and showing water damage.

Remedial Action:
Remove entire wood structure, repair connections to masonry, rebuild new wood framed canopy with roofing and paint.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Maintenance Bldg

C1010	Partitions	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		3	5	2021	800	\$13.00	SF	\$10,400	\$20,367

Deficient Material: Partitions
Wood framed walls aged.

Remedial Action:
Replace wood walls with new studs and gypsum, paint all walls.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Maintenance Bldg

C1020	Interior Doors	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		5	0	2021	13	\$2,600.00	EA	\$33,800	\$66,194

Deficient Material: Interior Doors
Most interior doors without ADA accessible hardware. Doors show signs of damage, wear, and tear.

Remedial Action:
Remove and replace doors with new doors and frames and ADA compliant hardware.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Maintenance Bldg

C3010	Wall Finishes	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		3	2	2021	7,550	\$2.75	SF	\$20,763	\$40,661

Deficient Material: Wall Paint
Wall paint aged, discolored, damaged.

Remedial Action:
Prep and repaint interior walls.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Maintenance Bldg

C3020	Floor Finishes	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		5	0	2021	2,500	\$9.00	SF	\$22,500	\$44,064

Deficient Material: Flooring
VCT flooring presumed to contain hazardous materials, cracked, failed. Carpet in poor condition due to wear and tear.

Remedial Action:
Remediate materials, remove flooring, replace with new resilient flooring.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Maintenance Bldg

C3030	Ceiling Finishes	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		5	0	2021	2,500	\$6.75	SF	\$16,875	\$33,048

Deficient Material: Ceiling Tiles
12x12 glue-on tiles in poor condition due to damage and age.

Remedial Action:
Remove tiles, replace with new.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District

Site: Chimacum Main Campus

Facility: Chimacum Maintenance Bldg

D2010	Plumbing Fixtures	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	2	2021	7	\$1,750.00	EA	\$12,250	\$23,990

Deficient Material: Plumbing Fixtures
Fixtures are obsolete, inefficient, and stained.

Remedial Action:
Replace with new fixtures.

Action Type:
Energy Efficiency



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District

Site: Chimacum Main Campus

Facility: Chimacum Maintenance Bldg

D2020	Domestic Water Distribution	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	2	2021	7,541	\$2.50	SF	\$18,853	\$36,921

Deficient Material: Domestic Water System

Original galvanized pipe with undrinkable water and no backflow prevention; no hot water expansion tank.

Remedial Action:

Replace with new copper or non-metallic (PEX) piping, including backflow prevention per code; add hot water expansion tank.

Action Type:

Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Maintenance Bldg

D2030	Sanitary Waste	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	2	2021	7,541	\$1.75	SF	\$13,197	\$25,845

Deficient Material: Waste Piping
Original waste piping at end of life with several fixtures draining slow.

Remedial Action:
Clean, test, inspect, and repair or replace as needed.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Maintenance Bldg

D2040	Rain Water Drainage	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	2	2021	7,541	\$0.75	SF	\$5,656	\$11,076

Deficient Material: Gutters & Downspouts
Damage to some; others partially blocked and/or discharge to poor location.

Remedial Action:
Clean and repair or replace as needed; clear points of discharge and ensure drainage away from building foundation.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Maintenance Bldg

D3010	Energy Supply	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	2	2021	7,541	\$2.50	SF	\$18,853	\$36,921

Deficient Material: Steam & Condensate
Asbestos-insulated abandoned original steam and condensate piping and thermal heating equipment.

Remedial Action:
Abate asbestos and demolish obsolete and abandoned steam and condensate piping and terminal heating equipment such as ceiling-mounted steam radiators and ductless fan coils.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Maintenance Bldg

D3040	HVAC Distribution Systems	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		5	0	2021	7,541	\$25.00	SF	\$188,525	\$369,207

Deficient Material: HVAC
No HVAC system for office and shop areas.

Remedial Action:
Provide HVAC per code.

Action Type:
Code Issue



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Maintenance Bldg

		Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
D3050	Terminal and Package Units	5	0	2021	5	\$1,500.00	EA	\$7,500	\$14,688

Deficient Material: Unit Heaters
No heat to some spaces, hence portable heaters are used.

Remedial Action:
Install permanent heating system in unheated spaces.

Action Type:
Code Issue



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Maintenance Bldg

D3060	Controls and Instrumentation	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		5	0	2021	7,541	\$2.00	SF	\$15,082	\$29,537

Deficient Material: Controls
No building automation system.

Remedial Action:
Install building automation system per code and District standards.

Action Type:
Energy Efficiency



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Maintenance Bldg

D3090	Other HVAC Systems and Equipment	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	1	2021	7,541	\$1.50	SF	\$11,312	\$22,152

Deficient Material: Industrial Ventilation
No industrial ventilation to support shop work.

Remedial Action:
Provide industrial ventilation per code.

Action Type:
Code Issue



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District

Site: Chimacum Main Campus

Facility: Chimacum Maintenance Bldg

D4010	Fire Protection Sprinkler Systems	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		5	0	2021	7,541	\$5.00	SF	\$37,705	\$73,841

Deficient Material: Fire Sprinkler
No fire sprinkler system.

Remedial Action:
Install fire sprinkler per code.

Action Type:
Life Safety



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District

Site: Chimacum Main Campus

Facility: Chimacum Maintenance Bldg

D4090	Other Fire Protection Systems	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	1	2021	2	\$4,500.00	EA	\$9,000	\$17,626

Deficient Material: Flammable and Combustible Liquid Storage

No apparent flammable, combustible, and hazardous material storage locker system.

Remedial Action:

Provide flammable, combustible, and/or hazardous material storage lockers, vented to outside per code; alternately, a packaged hazmat storage unit outside.

Action Type:

Code Issue



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Maintenance Bldg

D5010	Electrical Service and Distribution	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	1	2021	7,541	\$5.00	SF	\$37,705	\$73,841

Deficient Material: Main Distribution Board.
Obsolete single-phase power; undersized electrical service and panels.

Remedial Action:
Replace with modern three-phase power service and distribution.

Action Type:
Code Issue



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Maintenance Bldg

D5020	Lighting and Branch Wiring	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	2	2021	7,541	\$6.00	SF	\$45,246	\$88,610

Deficient Material: Lights and Lighting Controls.
Light fixtures are old and lack basic lighting controls.

Remedial Action:
Replace with new LED light fixtures and modern controls.

Action Type:
Energy Efficiency



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District

Site: Chimacum Main Campus

Facility: Chimacum Maintenance Bldg

D5037	Low Voltage Fire Alarm	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	1	2021	7,541	\$1.50	SF	\$11,312	\$22,152

Deficient Material: Fire Alarm System

Lack of audio visual devices and no smoke detection provided.

Remedial Action:

Provide additional audio visual devices and smoke detection.

Action Type:

Life Safety



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Maintenance Bldg

D5038	Low Voltage Security	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	1	2021	7,541	\$1.50	SF	\$11,312	\$22,152

Deficient Material: Security
Only one CCTV camera observed covering a small portion of the yard.

Remedial Action:
Install CCTV to monitor the front and back sides of the building, plus inside main shop and entry corridor area as a minimum.

Action Type:
Life Safety



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Maintenance Bldg

		Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
D5090	Other Electrical Systems	5	0	2021	7,541	\$1.25	SF	\$9,426	\$18,460

Deficient Material: Egress and exit lights
Lack of egress and exit lights.

Remedial Action:
Provide egress and exit lights per code.

Action Type:
Life Safety



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Maintenance Bldg

F1010	Special Structures	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	1	2021	1	\$10,000.00	LS	\$10,000	\$19,584

Deficient Material: Sheds
Failing out-buildings, especially the lean-to shed.

Remedial Action:
Demolish failing out-buildings and replace as needed.

Action Type:
Code Issue



Facility Summary

Chimacum School District

Chimacum Main Campus

Chimacum Main Campus Infrastructure

**91 West Valley Road
Chimacum, WA 98325**

Facility Condition Summary

Fenced site with roadways, parking lots, pedestrian paving, landscaping, sportsfields, sheds, greenhouses, vegetable gardens, other out-buildings and sportsfield development, abandoned aqua-culture facility, and network of interconnected school buildings including 100A - Jr/Sr High School, 100B & 200 - Elementary School, 300 - Abandoned former ES, 400 - Abandoned former Library, 500 - Community Multi-purpose, and Maintenance Building, plus Portable District HQ Building. Buildings 100A & B are directly interconnected with common walls, whereas other school buildings are interconnected by a network of covered walks with some reportedly incorporating interconnecting utility pathways into their concealed ceiling space.

Complex network of city water distribution and large onsite septic system (LOSS), overall in fair condition, with opportunities to consolidate meters and modernize waste water collection and treatment; also opportunity to consolidate multiple propane tanks supplying science rooms and greenhouses. Unique opportunities to convert existing storm water detention vaults to rain water harvesting use and renew the fish hatchery program. Opportunity to repair and repurpose tunnels between older buildings in conjunction with campus modernization. The main campus site electrical services and lighting are functional and have no reported issues, other than lack of submetering. There are no generators or renewable energy generating facilities on this site. There are three septic areas served from four different power sources around the facility. There is an opportunity for the site lighting poles to be upgraded from 400 watt metal halide fixtures to LED to save energy and reduce maintenance, where not already.

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum Main Campus Infrastructure

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems	Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
G Sitework						
G20 Site Improvements						
G2010 Roadways	1991	1999	3	MAL	07/09/21	AC paved with curbs. Gravel perimeter access road, fair condition due to wear.
G2020 Parking Lots	1991	1999	2	MAL	07/09/21	AC paved with curbs. Gravel perimeter access road, fair condition due to wear. Parking lot striping faded.
G2030 Pedestrian Paving	1991	1999	3	MAL	07/09/21	Concrete walks in fair condition due to some aged and worn areas, some AC paved walks in fair condition due to wear.
G2040 Site Development	1991	1991	4	MAL	07/09/21	Site includes various heights and types of chain link fencing, some wood fencing, turf playfields, steel vehicle gates, baseball dugouts, baseball and softball fields, basketball courts, tennis courts with chain link fencing, scoreboards, metal railing, some rockery retaining wall near Building 100A and MPR 500, aluminum bleachers, track and field fixtures, and sand volleyball court. Elementary play area includes older and newer play equipment in gravel play areas. Various out-buildings and storage containers are located around the campus. Overall in poor to fair condition.
G2050 Landscaping	1991	1999	3	MAL	07/09/21	Trees and shrubs in good condition, lawn in fair condition. Irrigation system installed for front of campus, reportedly no backflow provided. Some areas of landscape material in contact with building facade. Recommend maintaining 6" separation from building.

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum Main Campus Infrastructure

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems	Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
G Sitework						
G30 Site Civil / Mechanical Utilities						
G3010 Water Supply	1957	1999	3	DCS	07/09/21	City water with about one dozen meters serving the campus including potable building and irrigation water, plus unmetered fire loop with multiple hydrants, post indicator valves, and fire department connections. Water pressure of 70 to 90 psig to most buildings, little or no backflow prevention to most buildings. Unknown as-built condition of water supply system, specifically routing; in several cases older piping appears to run under the building foundations and concrete slabs-on-grade to interior riser rooms. Some isolation valves are frozen.
G3020 Sanitary Sewer	1957	1999	3	DCS	07/09/21	Large on-site sewage system (LOSS) permitted under WA State Department of Health (DOH) with O&M Manual prepared May 2014 including system diagrams. Includes series of septic tanks, vaults, lift and pump stations, gravity and forced mains, drain fields, and controls. While significant work has been completed in recent years, the overall system is aging and may not support future building additions and program expansions. Reportedly the system was recently serviced and inspected with drain field flushing recommended.
G3030 Storm Sewer	1991	1999	3	DCS	07/09/21	Below grade system with catch basins, piping, and underground storage. Some areas have unconnected roof drains. Assume previously failed drywells serving Buildings 300 & 400 have been corrected (confirm).
G3060 Fuel Distribution	1981	1999	3	DCS	07/09/21	Multiple propane tanks serving Building 100A and Building 200 science rooms and the two greenhouse unit heaters, plus new gazebo fire pit and/or outdoor pizza oven. Most tanks are aging; some rusty.

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum Main Campus Infrastructure

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems	Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
G Sitework						
G40 Site Electrical utilities						
G4010 Electrical Distribution	1959	1959	3	DCS	07/09/21	The entire campus is a primary distribution system with six pad-mount transformers of various sizes, each serving different portions of the facility. The primary switch is located adjacent the utility distribution pole off Rhody Drive; no issues reported, noting the system is aging. While submeters have been recently installed at most buildings, reportedly no one is reading the meters - minor maintenance to read the meters monthly to support proactive energy managements and to help identify failing systems, equipment, and controls before complete failure. Primary power is reportedly from Jefferson PUD with a primary rate schedule; reportedly the original Schedule 43 interruptible schedule has been disbanded, and power is now continuous to extent the vicinity grid is powered, however, multiple buildings have Schedule 43 interruptible service panels still installed, but reportedly abandoned in place. Some circuits may still be live - further investigation is needed, and it is recommended these system be fully demolished to reduce confusion and improve safety.
G4020 Site Lighting	1959	1980	3	DCS	07/09/21	Site lighting provided by twin- and single-head pole-mounted fixtures. Lights are functional and controlled via building management system. Lamps appear to be a mix of older 400 watt metal halide high-intensity discharge (HID) and newer LED; minor maintenance to upgrade remaining HID to LED. No sportsfield lighting; opportunity to add during future reported overall sportsfield upgrade.
G4030 Site Communications and Security	1959	2000	3	DCS	07/09/21	Wide area network fiber optic cabling provided to the site from West Valley Road; reportedly the primary service is to the MDF and Building100A, then subfed to IDFs at other onsite buildings. Multiple newer (about 2018) CCTV cameras throughout the site - mostly attached to building exteriors. Communications systems provided around building on site, including plain-old-telephone system (POTS) to most buildings, dedicated clock & intercom system, District radio system, and others. Some exterior WiFi antennas but coverage is reportedly weak.

Facility Summary

Chimacum School District
Chimacum Main Campus
Chimacum Main Campus Infrastructure

91 West Valley Road
Chimacum, WA 98325

Facility Components

Systems	Original System Date	Renewal Date	Last Date	Score	Surveyor	Survey Date	Comments
G Sitework							
G90 Other Site Construction							
G9010 Service and Pedestrian Tunnels	1957	1957	4	DCS	07/09/21	Tunnel or utilidor between older buildings, including between maintenance and multipurpose buildings, maybe to auditorium at Building 100A; abandoned in place assuming with asbestos containing material (ACM), but opportunity to reuse in future.	
G9090 Other Site Systems	1957	1957	4	DCS	07/09/21	Fish hatchery abandoned in place; demolish as minor maintenance to eliminate a potentially attractive nuisance. Research weather station and other analytical and telemetry equipment, most near the Maintenance Building, reportedly maintained and operated by others but may be powered by campus circuits.	

Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Main Campus Infrastructure

G2020	Parking Lots	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	2	2021	1	\$30,000.00	LS	\$30,000	\$58,752

Deficient Material: Parking Striping
Parking lot striping faded.

Remedial Action:
Prep and restripe with new markings.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Main Campus Infrastructure

G2030	Pedestrian Paving	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	4	2021	7,500	\$7.50	SF	\$56,250	\$110,160

Deficient Material: AC Walk
AC walks worn, uneven, tree root upheaval, cracked in some areas.

Remedial Action:
Remove and replace paving with new concrete walks.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Main Campus Infrastructure

G2030	Pedestrian Paving	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	4	2021	4,500	\$7.50	SF	\$33,750	\$66,096

Deficient Material: Concrete Walk
Concrete walks worn, uneven, cracked in some areas.

Remedial Action:
Remove and replace paving with new concrete walks.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Main Campus Infrastructure

G2040	Site Development	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	3	2021	3	\$25,000.00	EA	\$75,000	\$146,880

Deficient Material: Basketball Court
Basketball court paving worn, cracked, standards rusted and worn. Includes one court adjacent to football field and two courts at Buildings 200 & 300.

Remedial Action:
Patch and grind surface, repave, restripe, replace standards and goals.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Main Campus Infrastructure

G2040	Site Development	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		3	5	2021	1	\$20,000.00	EA	\$20,000	\$39,168

Deficient Material: Chain-link Fencing
Chain link fencing damaged or bent in some places.

Remedial Action:
Remove damaged posts, replace with new and new fence fabric, allowance.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Main Campus Infrastructure

G2040	Site Development	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	3	2021	45,000	\$1.65	SF	\$74,250	\$145,411

Deficient Material: Running Track
Running track is aged, gravel thin.

Remedial Action:
Remove and replace track with new gravel running surface, regrade surface. Repair edge as required.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Main Campus Infrastructure

G2040	Site Development	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	3	2021	1	\$38,850.00	LS	\$38,850	\$76,084

Deficient Material: Track and Field
Track and field fixtures are worn and aged.

Remedial Action:
Remove and replace fixtures with new: pole vault box and standards, shot put pad, ring and cinders, long jump box, sand and takeoff boards, discus pad and cage.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Main Campus Infrastructure

G2040	Site Development	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		5	0	2021	1	\$9,500.00	EA	\$9,500	\$18,605

Deficient Material: Volley Ball Court
Sand volleyball court is damaged and unusable.

Remedial Action:
Replace standards and net, regrade and place new sand, repair court boundary, allowance.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District

Site: Chimacum Main Campus

Facility: Chimacum Main Campus Infrastructure

G3010	Water Supply	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	2	2021	1	\$55,000.00	LS	\$55,000	\$107,712

Deficient Material: Water Supply

Older service lines assumed buildings, little or no backflow prevention, unknown as-built condition for many lines, failed or failing isolation valves.

Remedial Action:

Determine as-built condition (line locations), provide backflow prevention per code, replace older lines and isolation valves.

Action Type:

Code Issue



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District

Site: Chimacum Main Campus

Facility: Chimacum Main Campus Infrastructure

G3020	Sanitary Sewer	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	2	2021	1	\$25,000.00	LS	\$25,000	\$48,960

Deficient Material: On-Site Sewage System

Little or no as-built drawings, other than 2014 O&M Manual with schematic diagrams. Minor repairs needed from time to time. System renewed in 1999 and approaching mid-life service. Recent inspection calls for drain field flushing.

Remedial Action:

Locate and mark all drain field end points; back-flush drain field and take other corrective and maintenance action as recommended in the current large on-site sewage system (LOSS) inspection report.

Action Type:

Code Issue



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Main Campus Infrastructure

G3060	Fuel Distribution	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		3	3	2021	3	\$3,500.00	EA	\$10,500	\$20,563

Deficient Material: Propane Tanks
Original/older propane fuel tanks.

Remedial Action:
Replace propane tanks.

Action Type:
Energy Efficiency



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Main Campus
Facility: Chimacum Main Campus Infrastructure

G9010	Service and Pedestrian Tunnels	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	1	2021	3	\$3,500.00	EA	\$10,500	\$20,563

Deficient Material: Asbestos
Asbestos containing material (ACM) in tunnels.

Remedial Action:
Remediate asbestos and repurpose tunnels.

Action Type:
Code Issue



Deficiency Repair Cost Markups By System

2021 - 2026

Chimacum School District

Site: Chimacum Main Campus

Facility	System	Direct Construction Cost	Contingency 20%	Contractor's OH & P 20%	Project Soft Cost 36%	Total Project Cost	Total Project Cost (Present Value)
Chimacum High School Building 100A	B20 Exterior Closure	\$2,366,000	\$473,200	\$567,840	\$1,226,534	\$4,633,574	\$4,592,775
	B30 Roofing	\$1,088,625	\$217,725	\$261,270	\$564,343	\$2,131,963	\$2,091,548
	C30 Interior Finishes	\$52,803	\$10,561	\$12,673	\$27,373	\$103,408	\$100,061
	D10 Vertical Transportation	\$60,000	\$12,000	\$14,400	\$31,104	\$117,504	\$115,277
	D20 Plumbing	\$169,091	\$33,818	\$40,582	\$87,657	\$331,147	\$323,457
	D30 HVAC	\$592,651	\$118,530	\$142,236	\$307,230	\$1,160,648	\$1,133,342
	D40 Fire Protection	\$98,500	\$19,700	\$23,640	\$51,062	\$192,902	\$192,902
	D50 Electrical	\$70,500	\$14,100	\$16,920	\$36,547	\$138,067	\$135,645
Facility Total		\$4,498,169	\$899,634	\$1,079,561	\$2,331,851	\$8,809,215	\$8,685,007
Chimacum Middle School Building 100B	B20 Exterior Closure	\$484,000	\$96,800	\$116,160	\$250,906	\$947,866	\$938,837
	B30 Roofing	\$5,640	\$1,128	\$1,354	\$2,924	\$11,045	\$10,940
	D20 Plumbing	\$6,467	\$1,293	\$1,552	\$3,353	\$12,666	\$12,074
	D30 HVAC	\$160,616	\$32,123	\$38,548	\$83,263	\$314,550	\$308,589
Facility Total		\$656,723	\$131,345	\$157,614	\$340,445	\$1,286,127	\$1,270,440
Chimacum Middle School Building 200	D20 Plumbing	\$23,999	\$4,800	\$5,760	\$12,441	\$47,000	\$45,899
	D30 HVAC	\$362,475	\$72,495	\$86,994	\$187,907	\$709,871	\$696,472
	D40 Fire Protection	\$96,000	\$19,200	\$23,040	\$49,766	\$188,006	\$184,442
	D50 Electrical	\$9,000	\$1,800	\$2,160	\$4,666	\$17,626	\$17,457
Facility Total		\$491,474	\$98,295	\$117,954	\$254,780	\$962,503	\$944,270
Chimacum Elementary Building 300	B20 Exterior Closure	\$48,525	\$9,705	\$11,646	\$25,155	\$95,031	\$94,168
	B30 Roofing	\$18,500	\$3,700	\$4,440	\$9,590	\$36,230	\$36,146
	C30 Interior Finishes	\$137,500	\$27,500	\$33,000	\$71,280	\$269,280	\$256,699
	D20 Plumbing	\$92,869	\$18,574	\$22,289	\$48,144	\$181,876	\$179,607
	D30 HVAC	\$322,539	\$64,508	\$77,409	\$167,204	\$631,660	\$619,990
	D40 Fire Protection	\$145,385	\$29,077	\$34,892	\$75,368	\$284,722	\$284,722
	D50 Electrical	\$116,308	\$23,262	\$27,914	\$60,294	\$227,778	\$223,469
	E20 Furnishings	\$36,000	\$7,200	\$8,640	\$18,662	\$70,502	\$69,167
Facility Total		\$917,626	\$183,525	\$220,230	\$475,698	\$1,797,080	\$1,763,968
Chimacum K-8 Library Building 400	B20 Exterior Closure	\$25,150	\$5,030	\$6,036	\$13,038	\$49,254	\$49,254

Deficiency Repair Cost Markups By System

2021 - 2026

Chimacum School District

Site: Chimacum Main Campus

Facility	System	Direct Construction Cost	Contingency 20%	Contractor's OH & P 20%	Project Soft Cost 36%	Total Project Cost	Total Project Cost (Present Value)
Chimacum K-8 Library Building 400	C10 Interior Construction	\$13,200	\$2,640	\$3,168	\$6,843	\$25,851	\$25,851
	C30 Interior Finishes	\$81,336	\$16,267	\$19,521	\$42,165	\$159,288	\$153,997
	D20 Plumbing	\$23,674	\$4,735	\$5,682	\$12,272	\$46,363	\$45,196
	D30 HVAC	\$75,252	\$15,050	\$18,060	\$39,011	\$147,374	\$145,317
	D40 Fire Protection	\$31,565	\$6,313	\$7,576	\$16,363	\$61,817	\$61,817
	D50 Electrical	\$91,028	\$18,206	\$21,847	\$47,189	\$178,269	\$175,473
	Facility Total	\$341,205	\$68,241	\$81,889	\$176,881	\$668,215	\$656,904
Chimacum Multipurpose Building 500	C10 Interior Construction	\$12,600	\$2,520	\$3,024	\$6,532	\$24,676	\$24,676
	D20 Plumbing	\$18,000	\$3,600	\$4,320	\$9,331	\$35,251	\$34,748
	D30 HVAC	\$70,465	\$14,093	\$16,912	\$36,529	\$137,999	\$134,859
	D50 Electrical	\$75,000	\$15,000	\$18,000	\$38,880	\$146,880	\$142,722
	E10 Equipment	\$80,000	\$16,000	\$19,200	\$41,472	\$156,672	\$154,625
	Facility Total	\$256,065	\$51,213	\$61,456	\$132,744	\$501,478	\$491,631
Chimacum Maintenance Bldg	B10 Superstructure	\$12,000	\$2,400	\$2,880	\$6,221	\$23,501	\$23,278
	B20 Exterior Closure	\$188,510	\$37,702	\$45,242	\$97,724	\$369,178	\$360,256
	B30 Roofing	\$11,000	\$2,200	\$2,640	\$5,702	\$21,542	\$21,264
	C10 Interior Construction	\$44,200	\$8,840	\$10,608	\$22,913	\$86,561	\$85,609
	C30 Interior Finishes	\$60,138	\$12,028	\$14,433	\$31,175	\$117,773	\$117,003
	D20 Plumbing	\$49,955	\$9,991	\$11,989	\$25,897	\$97,832	\$95,979
	D30 HVAC	\$241,271	\$48,254	\$57,905	\$125,075	\$472,505	\$471,594
	D40 Fire Protection	\$46,705	\$9,341	\$11,209	\$24,212	\$91,467	\$91,299
	D50 Electrical	\$115,000	\$23,000	\$27,600	\$59,616	\$225,216	\$222,412
	F10 Special Construction	\$10,000	\$2,000	\$2,400	\$5,184	\$19,584	\$19,398
	Facility Total	\$778,779	\$155,756	\$186,907	\$403,719	\$1,525,160	\$1,508,091
Chimacum Main Campus Infrastructure	G20 Site Improvements	\$337,600	\$67,520	\$81,024	\$175,012	\$661,156	\$641,170
	G30 Site Civil / Mechanical Utilities	\$90,500	\$18,100	\$21,720	\$46,915	\$177,235	\$173,683
	G90 Other Site Construction	\$10,500	\$2,100	\$2,520	\$5,443	\$20,563	\$20,367
	Facility Total	\$438,600	\$87,720	\$105,264	\$227,370	\$858,954	\$835,220

Deficiency Repair Cost Markups By System

2021 - 2026

Chimacum School District
Site: Chimacum Main Campus

Facility	System		Direct Construction Cost	Contingency 20%	Contractor's OH & P 20%	Project Soft Cost 36%	Total Project Cost	Total Project Cost (Present Value)
		Site Total	\$8,378,641	\$1,675,728	\$2,010,874	\$4,343,488	\$16,408,732	\$16,155,531

Facility Summary

Chimacum School District
Chimacum Transportation Facility
Chimacum Transportation Facility Building

241 West Valley Road
Chimacum, WA 98325

Facility Size - Gross S.F.	7,950
Year Of Original Construction	1981
Facility Use Type	Maintenance Shop
Construction Type	Heavy
# of Floors	1
Energy Source	Electric
Year Of Last Renovation	1981
Historic Register	No



		Total Project Cost		Total Project Cost - Present Value
Weighted Avg Condition Score	2.7			
Facility Condition Index (FCI)	0.13	Predicted Renewal Budget (ALL)	\$1,479,000	\$1,360,000
Current Replacement Value (CRV)	\$3,203,000	Observed Deficiencies (ALL)	\$843,000	\$826,000
Beginning Budget Year	2021			

Facility Condition Summary

Building structure is in fair condition with new roofing, but doors in poor condition. Other deficiencies include exterior wall systems which are stained and discolored. The original HVAC system rooftop equipment was demolished during the reroof project and the shop ventilation ductwork abandoned in place, leaving no code-required ventilation for most shop areas. Aging waste-oil-fired unit heaters for shops. Failing electric heat for office area with no ventilation. Overall HVAC in poor condition. Original plumbing in fair condition. No fire sprinkler. The main electrical service to the building is aged and with limited capacity. The lighting is in fair condition. The original egress lighting system inverter has failed, so no egress lighting during power outage. Fire alarm system has been modernized.

Facility Summary

Chimacum School District
Chimacum Transportation Facility
Chimacum Transportation Facility Building

241 West Valley Road
Chimacum, WA 98325

Facility Components

Systems			Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
A Substructure					2.0			
A10	Foundations							
A1010	Standard Foundations		1981	1981	2	MAL	07/09/21	Standard concrete foundation in good condition.
A1030	Slab On Grade		1981	1981	2	MAL	07/09/21	Standard concrete in good condition.
B Shell					2.3			
B10	Superstructure							
B1010	Floor Construction		1981	1981	2	MAL	07/09/21	Concrete slab on wood framed structure supported by CMU walls in good condition.
B1020	Roof Construction		1981	1981	2	MAL	07/09/21	Wood framed, open web joists on reinforced CMU walls with plywood deck and no insulation above shop area. Structure in good condition. Isolated water leaks, minor maintenance to repair.
B20	Exterior Closure							
B2010	Exterior Walls		1981	1981	3	MAL	07/09/21	Painted, tilt-up concrete panels at shop area. Office area with framed walls and stucco finish. Paint and parapet flashing in poor condition. Seismic joint failing in places due to age, minor maintenance to replace with new.
B2020	Exterior Windows		1981	1981	3	MAL	07/09/21	Dual-glazed, hollow metal frame system in fair condition due to worn paint, rust showing, minor maintenance to repaint.
B2030	Exterior Doors		1981	1981	4	MAL	07/09/21	Hollow metal doors and hollow metal frames without ADA-compliant hardware. Overhead sectional doors in fair condition. Sectional doors do not have insulation.

Facility Summary

Chimacum School District
Chimacum Transportation Facility
Chimacum Transportation Facility Building

241 West Valley Road
Chimacum, WA 98325

Facility Components

Systems	Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
B Shell			2.3			
B30 Roofing						
B3010 Roof Coverings	1981	2018	2	MAL	07/09/21	Single-ply membrane roofing.
B3020 Roof Openings	1981	1981	3	MAL	07/09/21	Roof access hatch.
C Interiors			2.6			
C10 Interior Construction						
C1010 Partitions	1981	1981	2	MAL	07/09/21	CMU, some framed walls, chain link fence panels at mezzanine.
C1020 Interior Doors	1981	1981	3	MAL	07/09/21	Hollow metal doors in hollow metal frames at shop area with some ADA-compliant hardware, office doors include ADA-compliant hardware.
C1030 Fittings	1981	1981	3	MAL	07/09/21	Restroom accessories in fair condition, some metal lockers, all in fair condition; minor maintenance to replace or repair.
C20 Staircases						
C2010 Stair Construction	1981	1981	2	MAL	07/09/21	Concrete pan metal stairs to mezzanine in good condition.
C30 Interior Finishes						
C3010 Wall Finishes	1981	1981	4	MAL	07/09/21	Wall paint, acoustic panels at upper walls in shop; paint shows wear and tear.
C3020 Floor Finishes	1981	1981	2	MAL	07/09/21	Concrete at shop areas, VCT in office, in good condition. Walk-off mat at entrance in poor condition, minor maintenance to replace.
C3030 Ceiling Finishes	1981	1981	3	MAL	07/09/21	Open ceiling to shop areas, office includes ACT. Some areas of tiles are broken or damaged, minor maintenance to replace tiles.

Facility Summary

Chimacum School District
Chimacum Transportation Facility
Chimacum Transportation Facility Building

241 West Valley Road
Chimacum, WA 98325

Facility Components

Systems		Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
D Services		3.2					
D20	Plumbing						
D2010	Plumbing Fixtures	1981	1981	3	DCS	07/09/21	Mostly original plumbing fixtures nearing end of life, except for newer hydration station.
D2020	Domestic Water Distribution	1981	1981	3	DCS	07/09/21	City water with new two-inch copper service to old galvanized steel distribution pipe, no reduced pressure backflow preventer, and 1983 water heater. Portions approaching end of life.
D2030	Sanitary Waste	1981	1981	3	DCS	07/09/21	Original waste piping with some fixtures slow to drain or flush.
D2040	Rain Water Drainage	1981	2020	2	DCS	07/09/21	Scupper and downspout to storm drain system; replaced with all new downspouts with new roof covering.
D2090	Other Plumbing Systems	1981	1981	3	DCS	07/09/21	Compressed air, shop fluids, waste oil collection, sump pumps, and others typical of vehicle maintenance shop. Portions near end of life. Shop fluids are in an apparent 4-hour-rated H-occupancy space, but without rated electrical conduit and devices - confirm this meets code as minor maintenance, given reported low-flammability shop fluids.
D30	HVAC						
D3010	Energy Supply	1981	2002	3	DCS	07/09/21	Waste oil collection and storage system in fair condition, with signs of minor rust on tank and some fittings; supplemented by diesel fuel during winter months. The storage tank is outside; UL-142-listed double-contained with 1,000-gal capacity.
D3020	Heat Generating Systems	1981	2002	3	DCS	07/09/21	Two waste oil furnaces heating the two shop areas in fair condition. The smaller unit to south is failing, but the larger unit to north is reportedly functional. Electric baseboard, wall, and ceiling heaters, some failed or failing.
D3030	Cooling Generating Systems	1981	2002	3	DCS	07/09/21	Ceiling fans in shop areas in fair condition.

Facility Summary

Chimacum School District
Chimacum Transportation Facility
Chimacum Transportation Facility Building

241 West Valley Road
Chimacum, WA 98325

Facility Components

Systems		Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
D Services				3.2			
D30	HVAC						
D3040	HVAC Distribution Systems	1981	1981	4	DCS	07/09/21	Original shop HVAC system rooftop unit removed to install new roof covering, but not replaced. Original shop ductwork abandoned in place, leaving shop non-code-compliant.
D3050	Terminal and Package Units	1981	1981	3	DCS	07/09/21	Several aging electric wall and ceiling heaters - see D3020 for details.
D3060	Controls and Instrumentation	1981	1981	4	DCS	07/09/21	Manual controls with no remote monitoring.
D3090	Other HVAC Systems and Equipment	1981	1981	4	DCS	07/09/21	Original industrial ventilation systems including battery hood, fluids room, and engine exhaust largely inoperable or no longer compatible with new vehicle technology.
D40	Fire Protection						
D4020	Stand-Pipe and Hose Systems	1981	1981	3	DCS	07/09/21	Fire hose connected to domestic water may be undersized, and with unclear test certification.
D4030	Fire Protection Specialties	1981	1981	2	DCS	07/09/21	Fire extinguishers on hooks.
D50	Electrical						
D5010	Electrical Service and Distribution	1981	1981	3	DCS	07/09/21	Main distribution board is GE 480/277 3-phase 4-wire with a 400 amp main breaker. While no obvious deficiencies noted, the gear is nearing end of expected life and may be undersized for a modern multi-bay vehicle maintenance shop. Receptacles provided on exterior of building and at pedestals providing power to buses are not GFCI as required by code.
D5020	Lighting and Branch Wiring	1981	1981	3	DCS	07/09/21	The lighting is mostly T8 lamps used in high-bay-style and industrial-style fixtures in shop area and 2'x4' fixtures in office area. Manual switching where observed.

Facility Summary

Chimacum School District
Chimacum Transportation Facility
Chimacum Transportation Facility Building

241 West Valley Road
Chimacum, WA 98325

Facility Components

Systems		Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
D Services				3.2			
D50	Electrical						
D5032	Low Voltage Communication	1981	2010	3	DCS	07/09/21	Telephone system has been changed to voice over IP (VOIP), but plain-old-telephone system (POTS) service and wiring remains for legacy system use. No intercom system in facility. Dispatch radio with guyed antenna on roof. Short-throw projector and whiteboard in driver's lounge.
D5037	Low Voltage Fire Alarm	1981	2020	2	DCS	07/09/21	New Edwards fire alarm control panel (FACP).
D5039	Low Voltage Data	1981	2015	3	DCS	07/09/21	Limited voice and data at this facility. Telecommunications cabling for voice appears to be in good condition. Rating is CAT 5 for internal distribution; service is high-speed fiber, but direct from purveyor, not from District system. Exterior WiFi is provided for bus security system download, reportedly with marginal function - assume minor IT maintenance to upgrade as needed.
D5090	Other Electrical Systems	1981	1981	5	DCS	07/09/21	The existing UPS system is non-functional and does not provide egress lighting during power outage. Some exit signs do not appear to be functional. At least one egress bug-eye wall pack and non-lighted exit sign observed in office area. No standby generator.
E Equipment and Furnishings				3.0			
E10	Equipment						
E1010	Commercial Equipment	1981	1981	3	DCS	07/09/21	Residential-grade kitchen appliances and light-duty office equipment.
E1020	Institutional Equipment	1981	1981	3	DCS	07/09/21	Extensive shop equipment; mostly aging but functional with no specific issues reported.
E1030	Vehicular Equipment	1981	1981	3	DCS	07/09/21	Two hydraulic bus lifts and one pneumatic/hydraulic car lift; one bus lift with leakage.

Facility Summary

Chimacum School District
Chimacum Transportation Facility
Chimacum Transportation Facility Building

241 West Valley Road
Chimacum, WA 98325

Facility Components

Systems	Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
E Equipment and Furnishings			3.0			
E20 Furnishings						
E2010 Fixed Furnishings	1981	1981	3	MAL	07/09/21	Some PLAM casework in fair condition, minor maintenance to replace.
F Special Construction			3.0			
F10 Special Construction						
F1020 Integrated Construction	1981	1981	3	MAL	07/09/21	Vehicle lift pit, appears in fair condition; includes low-point exhaust system.

Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Transportation Facility
Facility: Chimacum Transportation Facility Building

B2010	Exterior Walls	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		3	4	2021	10,000	\$3.50	SF	\$35,000	\$68,544

Deficient Material: Exterior Wall
Wall paint is worn, faded.

Remedial Action:
Prep and repaint exterior walls.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Transportation Facility
Facility: Chimacum Transportation Facility Building

B2030	Exterior Doors	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		5	0	2021	9	\$3,000.00	EA	\$27,000	\$52,877

Deficient Material: Exterior Doors
Doors are damaged and need paint, rust showing, dents, no ADA-compliant hardware.

Remedial Action:
Remove and replace doors.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Transportation Facility
Facility: Chimacum Transportation Facility Building

C3010	Wall Finishes	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		3	4	2021	10,000	\$3.00	SF	\$30,000	\$58,752

Deficient Material: Wall Paint
Paint shows wear and tear.

Remedial Action:
Prep and repaint walls.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Transportation Facility
Facility: Chimacum Transportation Facility Building

D2010	Plumbing Fixtures	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	3	2021	5	\$1,750.00	EA	\$8,750	\$17,136

Deficient Material: Plumbing Fixtures & Trim
Original fixtures nearing end of life.

Remedial Action:
Replace fixtures and trim.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Transportation Facility
Facility: Chimacum Transportation Facility Building

D2020	Domestic Water Distribution	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	2	2021	7,950	\$2.50	SF	\$19,875	\$38,923

Deficient Material: Water Distribution System
Original water service, galvanized distribution pipe and original water heater.

Remedial Action:
Renew system.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Transportation Facility
Facility: Chimacum Transportation Facility Building

D2030	Sanitary Waste	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	3	2021	7,950	\$1.25	SF	\$9,938	\$19,462

Deficient Material: Waste System
Original waste piping approaching end of life with some fixtures slow to drain or flush.

Remedial Action:
Clean, test, inspect, and repair or replace as needed.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Transportation Facility
Facility: Chimacum Transportation Facility Building

D2090	Other Plumbing Systems	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	3	2021	7,950	\$2.50	SF	\$19,875	\$38,923

Deficient Material: Shop Plumbing Systems
Compressed air, shop fluids, waste oil, and similar systems near end of life.

Remedial Action:
Renew shop plumbing systems.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Transportation Facility
Facility: Chimacum Transportation Facility Building

D3020	Heat Generating Systems	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		5	2	2021	8	\$1,500.00	EA	\$12,000	\$23,501

Deficient Material: Electric Heaters
Electric baseboard, wall, and ceiling heaters failing.

Remedial Action:
Replace with new.

Action Type:
Energy Efficiency



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District

Site: Chimacum Transportation Facility

Facility: Chimacum Transportation Facility Building

D3020	Heat Generating Systems	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	2	2021	2	\$20,000.00	EA	\$40,000	\$78,336

Deficient Material: Waste oil furnace

The small waste oil furnace is failed or failing needing replacement soon. The larger unit is aging and may need replacement in several years.

Remedial Action:

Replace waste oil furnaces upon failure.

Action Type:

Energy Efficiency



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Transportation Facility
Facility: Chimacum Transportation Facility Building

D3040	HVAC Distribution Systems	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		5	0	2021	7,950	\$4.50	SF	\$35,775	\$70,062

Deficient Material: Shop HVAC System
Original shop HVAC system rooftop air handling unit removed and not replaced, leaving shop ductwork abandoned in place, not compliant with code.

Remedial Action:
Renew or replace shop HVAC system to meet code.

Action Type:
Code Issue



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Transportation Facility
Facility: Chimacum Transportation Facility Building

D3060	Controls and Instrumentation	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	2	2021	7,950	\$1.75	SF	\$13,913	\$27,246

Deficient Material: HVAC Controls
Little or no automatic controls and no remote monitoring.

Remedial Action:
Install programmable controls per code and District standards.

Action Type:
Energy Efficiency



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Transportation Facility
Facility: Chimacum Transportation Facility Building

D3090	Other HVAC Systems and Equipment	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	2	2021	7,950	\$1.50	SF	\$11,925	\$23,354

Deficient Material: Industrial Ventilation
Industrial ventilation systems largely inoperable or obsolete.

Remedial Action:
Renew or replace per code.

Action Type:
Code Issue



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Transportation Facility
Facility: Chimacum Transportation Facility Building

D4010	Fire Protection Sprinkler Systems	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		5	0	2021	7,950	\$5.00	SF	\$39,750	\$77,846

Deficient Material: Fire Sprinkler
No fire sprinkler system.

Remedial Action:
Install fire sprinkler system.

Action Type:
Life Safety



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Transportation Facility
Facility: Chimacum Transportation Facility Building

D4090	Other Fire Protection Systems	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		5	0	2021	7,950	\$1.00	SF	\$7,950	\$15,569

Deficient Material: Deluge System
No fire protection for tire storage, flammable liquid, and other combustible storage.

Remedial Action:
Provide deluge fire suppression per code.

Action Type:
Code Issue



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District

Site: Chimacum Transportation Facility

Facility: Chimacum Transportation Facility Building

D5010	Electrical Service and Distribution	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	3	2021	1	\$55,000.00	LS	\$55,000	\$107,712

Deficient Material: Main Switchgear.

Reaching end of useful life expectancy and has limited capacity.

Remedial Action:

Provide new switchgear; increase capacity from 400A to 600A or 800A in conjunction with other planned upgrades, such as addition of air conditioning to office wing to north, or to accommodate future electric vehicle charging stations.

Action Type:

Energy Efficiency



Detailed Assessment - Observed Deficiencies 2021 - 2026

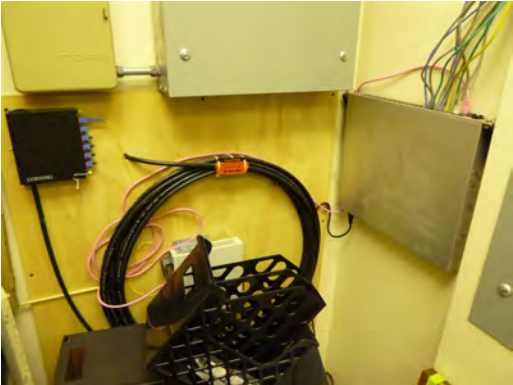
Chimacum School District
Site: Chimacum Transportation Facility
Facility: Chimacum Transportation Facility Building

		Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
D5039	Low Voltage Data	4	2	2021	1	\$10,000.00	LS	\$10,000	\$19,584

Deficient Material: Data System
Costly, unreliable, purveyor-provided fiber-optic data service.

Remedial Action:
Route data from adjacent District main campus to the transportation IDF.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Transportation Facility
Facility: Chimacum Transportation Facility Building

D5090	Other Electrical Systems	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		5	0	2021	1	\$13,500.00	LS	\$13,500	\$26,438

Deficient Material: UPS Lighting System
Existing UPS is non functional.

Remedial Action:
Provide new UPS system.

Action Type:
Life Safety



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Transportation Facility
Facility: Chimacum Transportation Facility Building

E1030	Vehicular Equipment	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		3	3	2021	2	\$20,000.00	EA	\$40,000	\$78,336

Deficient Material: Lifts
Original lifts should be renewed.

Remedial Action:
Renew lifts.

Action Type:
Other



Facility Summary

Chimacum School District

Chimacum Transportation Facility

Chimacum Transportation Facility Infrastructure

**241 West Valley Road
Chimacum, WA 98325**

Facility Condition Summary

The site is west of the main Chimacum SD campus and includes gravel staff parking outside the fence and short paved access road with fenced and paved bus parking area around the perimeter of the building structures, which includes the vehicle maintenance building and attached dispatch and driver lounge to north. Site also includes a freestanding double fuel island structure further north, but with no fuel, and a fenced trash enclosure. The maintenance building also incorporates a covered bus wash to south with wash water catchment below - the wash water is reportedly evaporated, with no treatment or discharge subsystems. The facility is reportedly paid for and used by two school districts (Chimacum and Port Townsend) via a joint operating agreement, but transportation facility maintenance is reportedly the Chimacum School District's responsibility.

City water service with new service entry piping, but no backflow prevention. Septic system is aging, but functional in fair condition. Onsite vehicle fueling system has been demolished due to underground storage tank leakage with soil contamination reportedly remediated. Two oil-water separators discharging to bioswale area in fair condition, but no other storm water detention or treatment. Opportunity to sub-feed utilities from main campus with utility approval to reduce meter base charges. The utility power service is provided from overhead utility lines at street with pole-mounted transformers, then underground to the building. Lights provided all around the building with four original twin-head bullhorn-style parking lot light poles with newer LED lamps. The WAN fiber network is also through a service provider. There is an opportunity for the District to save monthly service fees for the transportation building if the fiber was routed to and served from the adjacent main campus facility.

Facility Summary

Chimacum School District
Chimacum Transportation Facility
Chimacum Transportation Facility Infrastructure

241 West Valley Road
Chimacum, WA 98325

Facility Components

Systems		Original System Date	Last Renewal Date	Score	Surveyor	Survey Date	Comments
G Sitework							
G20	Site Improvements						
G2010	Roadways	1981	1981	3	MAL	07/09/21	AC paved drive from street to parking, some curbing, in fair condition.
G2020	Parking Lots	1981	1981	3	MAL	07/09/21	AC paved with curb at bus parking lot, some areas have concrete paving, paving in fair to poor condition due to age and wear and tear. North parking is gravel lot, in fair condition.
G2030	Pedestrian Paving	1981	1981	2	MAL	07/09/21	Concrete walks in good condition.
G2040	Site Development	1981	1981	4	MAL	07/09/21	Chain link fencing at perimeter with three-strand barbed wire in fair condition, some damage, minor maintenance to repair. Decommissioned, metal fuel island canopy in poor condition. Steel structure showing excessive rust and deterioration. Recommend removal of structure.
G2050	Landscaping	1981	1981	2	MAL	07/09/21	Shrubs in planters in good condition.
G30	Site Civil / Mechanical Utilities						
G3010	Water Supply	1991	1991	3	DCS	07/09/21	Original city water service with new service entry to building.
G3020	Sanitary Sewer	1991	1991	3	DCS	07/09/21	Original septic system with pumps, tanks, and drain field on adjacent parcel under ballfield, reportedly meeting County requirements, but nearing end of life.
G3030	Storm Sewer	1981	1981	3	DCS	07/09/21	Underground system in fair condition with no issues reported; however there is no detention or treatment, with discharge direct to field to south - not allowed under current regulatory requirements. Any site redevelopment or significant work on the storm drain system may require compliance.

Facility Summary

Chimacum School District
Chimacum Transportation Facility
Chimacum Transportation Facility Infrastructure

241 West Valley Road
Chimacum, WA 98325

Facility Components

Systems	Original System Date	Renewal Date	Last Date	Score	Surveyor	Survey Date	Comments
G Sitework							
G30 Site Civil / Mechanical Utilities							
G3060 Fuel Distribution	1981	1991		4	DCS	07/09/21	Original fuel island fuel system demolished, leaving no vehicle fueling capability. A double-contained waste oil storage tank is located just outside the east wall of the north vehicle maintenance bay and is in fair condition with minor rust.
G40 Site Electrical utilities							
G4010 Electrical Distribution	1981	1981		3	DCS	07/09/21	Utility power provided from pole-mounted utility transformers at street to west, then underground to the maintenance building utility service entry with current transformer box outside, then to main switchboard inside the electrical room.
G4020 Site Lighting	1981	2017		3	DCS	07/09/21	Site lighting provided by twin bullhorn style pole-mounted fixtures and building wall packs. Lights are functional and controlled via photo cell. Several wall packs have been upgraded to LED, and reportedly all pole lamps upgraded to LED.
G4030 Site Communications and Security	1981	2000		3	DCS	07/09/21	High-speed fiber optic cabling direct from purveyor, not from adjacent school campus. Apparent plain-old-telephone system (POTS) service. WiFi system installed for bus data download, with some concerns regarding speed - assume minor maintenance by IT to address any concerns.
G90 Other Site Construction							
G9090 Other Site Systems	1981	1981		3	DCS	07/09/21	Two oil/water separators - one for fuel island abandoned in place, one for the vehicle service bay; both aging. Vehicle wash bay with reported evaporation sump. Freestanding fuel island with no fuel - the fuel island primary structure is rusting and should be more fully evaluated for structural integrity as minor maintenance. The rust should be cleaned and the steel structure preserved (painted) to reduce further rust and corrosion damage.

Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Transportation Facility
Facility: Chimacum Transportation Facility Infrastructure

G2010	Roadways	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		3	5	2021	3,500	\$2.50	SF	\$8,750	\$17,136

Deficient Material: AC Paving
Paving shows wear and tear, some cracking.

Remedial Action:
Clean, repair cracks, surface with AC top coat and restripe.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Transportation Facility
Facility: Chimacum Transportation Facility Infrastructure

G2020	Parking Lots	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		3	5	2021	58,750	\$5.00	SF	\$293,750	\$575,280

Deficient Material: AC Paving
Paving shows wear and tear, some cracking.

Remedial Action:
Grind existing AC paving, repave with AC top course and restripe.

Action Type:
Other



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Transportation Facility
Facility: Chimacum Transportation Facility Infrastructure

G3020	Sanitary Sewer	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		4	3	2021	1	\$11,500.00	LS	\$11,500	\$22,522

Deficient Material: Septic System
Septic system nearing end of life.

Remedial Action:
Renew septic system, including drain field.

Action Type:
Code Issue



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Transportation Facility
Facility: Chimacum Transportation Facility Infrastructure

G3060	Fuel Distribution	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		5	0	2021	1	\$250,000.00	LS	\$250,000	\$489,600

Deficient Material: Contamination
The fuel island has no fueling capability.

Remedial Action:
Restore fueling system.

Action Type:
Energy Efficiency



Detailed Assessment - Observed Deficiencies 2021 - 2026

Chimacum School District
Site: Chimacum Transportation Facility
Facility: Chimacum Transportation Facility Infrastructure

G9090	Other Site Systems	Score	Remaining Life	Survey Year	Qty	Unit Cost	Unit	Direct Cost	Marked Up Cost
		3	3	2021	2	\$3,500.00	EA	\$7,000	\$13,709

Deficient Material: Oil/Water Separators
Original oil/water separators need renewal.

Remedial Action:
Renew oil/water separators (clean, test, replace plates, etc.).

Action Type:
Code Issue



Deficiency Repair Cost Markups By System

2021 - 2026

Chimacum School District

Site: Chimacum Transportation Facility

Facility	System	Direct Construction Cost	Contingency 20%	Contractor's OH & P 20%	Project Soft Cost 36%	Total Project Cost	Total Project Cost (Present Value)
Chimacum Transportation Facility Building	B20 Exterior Closure	\$62,000	\$12,400	\$14,880	\$32,141	\$121,421	\$118,847
	C30 Interior Finishes	\$30,000	\$6,000	\$7,200	\$15,552	\$58,752	\$56,545
	D20 Plumbing	\$58,438	\$11,688	\$14,025	\$30,294	\$114,444	\$111,568
	D30 HVAC	\$113,613	\$22,723	\$27,267	\$58,897	\$222,499	\$219,611
	D40 Fire Protection	\$47,700	\$9,540	\$11,448	\$24,728	\$93,416	\$93,416
	D50 Electrical	\$78,500	\$15,700	\$18,840	\$40,694	\$153,734	\$150,313
	E10 Equipment	\$40,000	\$8,000	\$9,600	\$20,736	\$78,336	\$76,119
	Facility Total	\$430,250	\$86,050	\$103,260	\$223,042	\$842,602	\$826,419
Chimacum Transportation Facility Infrastructure	G20 Site Improvements	\$302,500	\$60,500	\$72,600	\$156,816	\$592,416	\$564,738
	G30 Site Civil / Mechanical Utilities	\$261,500	\$52,300	\$62,760	\$135,562	\$512,122	\$511,485
	G90 Other Site Construction	\$7,000	\$1,400	\$1,680	\$3,629	\$13,709	\$13,321
	Facility Total	\$571,000	\$114,200	\$137,040	\$296,006	\$1,118,246	\$1,089,544
	Site Total	\$1,001,250	\$200,250	\$240,300	\$519,048	\$1,960,848	\$1,915,963