



STATE OF CONNECTICUT – COUNTY OF TOLLAND
INCORPORATED 1786

TOWN OF ELLINGTON

55 MAIN STREET – PO BOX 187
ELLINGTON, CONNECTICUT 06029-0187
www.ellington-ct.gov

TEL. (860) 870-3120 TOWN PLANNER'S OFFICE FAX (860) 870-3122

INLAND WETLANDS AGENCY REGULAR MEETING AGENDA MONDAY, NOVEMBER 13, 2023, 7:00 P.M.

IN-PERSON ATTENDANCE: TOWN HALL ANNEX, 57 MAIN STREET, ELLINGTON, CT
REMOTE ATTENDANCE: VIA ZOOM MEETING, INSTRUCTIONS PROVIDED BELOW

I. CALL TO ORDER

II. PUBLIC COMMENTS (on non-agenda items):

III. PUBLIC HEARING(S): None

IV. OLD BUSINESS: None

V. NEW BUSINESS:

1. IW202318 – Stick It Here Storage, LLC, owner/applicant, request for a permit to conduct regulated activity to construct buildings, driveways, and associated improvements for a self-storage facility at 25 West Road, APN 019-180-0000.

VI. ADMINISTRATIVE BUSINESS:

1. Approval of the October 16, 2023, Regular Meeting Minutes.
2. Approval of the 2024 Inland Wetlands Agency Meeting Schedule.
3. Correspondence/Discussion:

VII. ADJOURNMENT:

Next Regular Meeting is scheduled for December 11, 2023

Instructions to attend remotely via Zoom Meeting listed below. The agenda is posted on the Town of Ellington webpage (www.ellington-ct.gov) under Agenda & Minutes, Inland Wetlands Agency.

Join Zoom Meeting via link:

Link: <https://us06web.zoom.us/j/83423427060>

Meeting ID: 834 2342 7060

Passcode: 156379

Join Zoom Meeting by phone:

+1 646 558 8656 US (New York)

Meeting ID: 834 2342 7060

Passcode: 156379

**Town of Ellington
Inland Wetlands and Watercourses Agency
Application**

Application # I10702318

Date Submitted 10/10/2023

Notices associated with this application will be sent to the applicant unless otherwise requested.

Owner's Information

Name: Stick It Here Storage, LLC

Mailing Address: 23 Eleanor Road


Somers, Connecticut 06071

Email: mriley775@gmail.com

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS,
MAY NOTICES BE EMAILED TO YOU? ☒ Yes ☐ No

Primary Contact Phone #: 860-614-4099

Secondary Contact Phone #: _____

Owner's Signature:  Date: 10/6/2023

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Agency have been submitted. Moreover, by signing above I/we expressly provide written consent to the filing of the application and access to the site by the Agency or its staff.

Notices associated with this application will be sent to the applicant unless otherwise requested.

Applicant's Information (if different than owner)

Name: Same as Applicant

Mailing Address: _____

Email: _____

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS,
MAY NOTICES BE EMAILED TO YOU? ☐ Yes ☐ No

Primary Contact Phone #: _____

Secondary Contact Phone #: _____

Applicant's Signature: _____ Date: _____

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Agency have been submitted.

RECEIVED

OCT 10 2023

**TOWN OF ELLINGTON
PLANNING DEPARTMENT**

Street Address: 25 West Road

Assessor's Parcel Number (APN): 019 - 180 - 0000

Proposed upland review area affected in square feet: 23,000 SF

Proposed wetlands/watercourses affected in square feet and linear feet (as applicable): NONE

Total area of wetlands/watercourses on parcel in square feet or acres: 15,000 SF or 0.34 ACRES

Public Water: ☒ Yes ☐ No Public Sewer: ☒ Yes ☐ No *If not served by public water and sewer, applicant shall make application to North Central District Health Department (Enfield Office) if required. Proposed structures will not require public water & sewer services.*

Is the project in a public water supply watershed area? ☐ Yes ☒ No
If YES, applicant is required to notify the Connecticut Water Company and Commissioner of Public Health by certified mail, return receipt within 7 days of this application (Conn. Gen Stat. Sec 22a-42f). Copy of application, plans, and supporting documents must accompany notice. Applicant can email the Commissioner of Public Health using their approved form. Proof of notice (return receipt and sent email) must be provided to the Planning Department.

Describe the nature of proposed regulated activity, request for acceptance of a permitted use as of right or a nonregulated use, map or regulation amendment, or other activity requiring review by the Agency or its Agent:
See attached Application Checklist and Appendix D for guidance when preparing application

Request permit to construct activities related to a new self storage facility with the upland review area. Activities located within the upland review area include the construction of a portion of two storage buildings, the paved driveway between the buildings, a portion of a stormwater basin, site grading & landscaping.

Applicant shall provide certification in accordance with Wetlands Regulation, Section 7.4e, Application Requirements:

Whether or not any portion of the property on which the regulated activity is proposed is located within 500 feet of an adjoining town. ☒ Yes ☐ No Vernon

Whether or not a significant portion of the traffic to the completed project will use streets within an adjoining town to exit or enter the site. ☐ Yes ☒ No

Whether or not a significant portion of the sewer or water drainage from the project will flow through and significantly impact the sewer or water drainage system of an adjoining town. ☐ Yes ☒ No

Whether water run-off from the improved site will impact streets or other municipal/private property within an adjoining town. ☐ Yes ☒ No

FOR OFFICE USE ONLY

If YES to any of the above, the Agency shall, in accordance with GGS 8-7d(f) notify the clerk of any adjoining municipality of the pendency of any application, petition, appeal, request or plan concerning any project on any site. Notice of the pendency of such application shall be made by certified mail, return receipt requested, and shall be mailed within seven (7) days of the date of receipt of the application, petition, appeal, request or plan. **(See Agency requirements Section 8.4)**

Type of Project: (check one)

☒ Commercial/Industrial ☐ Residential ☐ Mixed Use ☐ Timber ☐ Agricultural
☐ Other, explain: _____

Type of Application: (check one)

☐ Notification for Non-Regulated Use (Section 4.2)
☐ Notification of Permitted Use as of Right (Section 4.1)
☐ Administrative Permit (Section 6.4)
☒ Agency Permit (**TWELVE COPIES REQUIRED**)
☐ Permit Modification
☐ Permit Extension
☐ Regulation Amendment
☐ Map Amendment
☐ Appeal of Administrative Permit

Application Submittals:

☒ Completed Application Form (Section 7.4a)
☒ Application Fee (Section 7.4b)
☒ Abutters List (Section 7.4c)
☒ Certification as to Adjacent Towns (See above)
☐ n/a Certification as to Connecticut Water Company & Commissioner of Public Health (See above)
☐ n/a Notification Narrative and Supporting Documentation (If applicable, Appendix D)
☒ Project Narrative and Supporting Documentation (Section 7.4g, 1-11 inclusive, as deemed applicable)
☒ Project Site Plan - circle one: Administrative (Section 7.4h1) **Agency (Section 7.4h2)**
☐ Supplemental Information (Section 7.5a-j, inclusive, as deemed applicable)

GARDNER & PETERSON ASSOCIATES, LLC

PROFESSIONAL ENGINEERS • LAND SURVEYORS

178 HARTFORD TURNPIKE
TOLLAND, CONNECTICUT 06084

KENNETH R. PETERSON, L.S.
ERIC R. PETERSON, P.E., L.S.
MARK A. PETERSON, P.E.

TELEPHONE: (860) 871-0808
Info@GardnerPeterson.com
www.GardnerPeterson.com

Inland Wetlands and Watercourses Agency Permit Application Narrative

Stick It Here Storage, LLC
25 West Road
Ellington, Connecticut

RECEIVED

OCT 10 2023

TOWN OF ELLINGTON
PLANNING DEPARTMENT

This application requests a permit to construction activities associated with the construction of a new self-storage facility to the east of the existing development on this property. In May of 2023 the inland wetlands on this property were delineated by George Logan of Rema Ecological Services and located by Gardner & Peterson Associates, LLC. This application proposes a total site disturbance of 2.5 acres, and of that 23,000 square feet is located within the upland review area. This application proposes no activities within the wetlands or within a watercourse.

The affected upland review area consists of approximately 2,350 square feet of new self-storage buildings, 2,450 square feet of paved driveway, 3,500 square feet of the stormwater basin and the remaining 14,720 square feet resulting from land grading, drainage improvements and landscaping.

The self-storage units will not be serviced by public water or public sanitary sewer. Even though there are dumpsters currently located on this property, the use of the dumpsters will be limited to the existing other uses on site. Self-storage customers will be required to remove their trash from the site themselves.

Construction is expected to start in the spring of 2024 and be completed within 1-year of commencement. Construction will begin with the minimal tree cutting depicted on the plans and the establishment of erosion and sediment controls consisting of an anti-tracking pad at the construction entrance, silt fencing installed downgrade of construction activities and the use of catch basin inlet protection. After the anti-tracking pad and silt fencing have been installed, the stumps will be removed by excavator and disposed of offsite. The stormwater basin will then be excavated and graded to collect runoff from the construction site. The site will be graded for foundation construction and the driveways will be paved once the building construction is complete. It is expected that gravel will be imported and placed under the building foundations and paved areas and excavated material will be temporarily stockpiled and removed from the site. After the pavement is installed the disturbed areas will be stabilized before the erosion

controls will be removed from the site. The site plans provide notations and details on how to dewater excavations as needed.

A stormwater management system has been designed for this site which includes catch basins in the new paved drives and a wet-bottom stormwater pond to be constructed south of the new buildings. The wet pond will retain runoff so that this application will not cause an increase in stormwater runoff to the existing on-site drainage culverts that currently collects runoff from this site and discharges across West Road. It is not expected that the new construction will result in any changes to water velocity or volume to any nearby watercourse or drainage system.

Lastly, the Land Use Department has confirmed that there has not been any previous inland wetland permit applications or enforcement actions on this parcel.

RECEIVED

OCT 10 2023

TOWN OF ELLINGTON
PLANNING DEPARTMENT

STICK IT HERE STORAGE, LLC
25 West Road
Ellington, Connecticut

STORMWATER MANAGEMENT REPORT

October 3, 2023

PREPARED FOR: Stick It Here Storage, LLC
 23 Eleanor Road
 Somers, Connecticut 06071

PREPARED BY: Gardner & Peterson Associates, LLC
 178 Hartford Turnpike
 Tolland, CT 06084

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25 West Road

Summary:

This application proposes to construct a new self-storage facility to the rear of the existing development on this property. The buildings will not have an office and therefore will not be served by public water or public sanitary sewer and access to the site will be through the existing curb cut on West Road.

Existing Conditions:

This parcel consists of 4.36 acres which contains two existing structures; the first used for a residence and the second for commercial uses. The area to the rear of the residential structure is an overgrown field with woodland along the perimeter of the property. Runoff from this property is collected in a flared end of a drainage pipe near the southerly boundary of this property. This pipe discharges to a rip rap depression located near the edge of West Road where a second culvert carries the runoff from this site across the street into the drainage system under the site drive of 24 West Road.

According to the NRCS Web Soil Survey, this parcel is classified as Udorthents-Urban Land Complex (306) most likely due to the historic development on this parcel. The NRCS WSS also indicates that the soils on this property are designated in hydrologic soil group 'B'. Looking further back at the Soil Survey of Tolland County Connecticut by the United State Department of Agriculture Soil Conservation Service from 1961, the soils on this site at that time were classified in the Cheshire Series and Podunk Series, both of which are designated in hydrologic soil group 'B'. Lastly, according to the FEMA Flood Insurance Rate Map, this entire property is located in flood zone 'X', areas determined to be outside the 500-year floodplain.

Stormwater Management:

The purpose of the stormwater management system is to provide treatment of the runoff from the new paved area while retaining peak flows so that this development does not cause an increase in peak runoff to the drainage culvert on site to downgradient properties or drainage systems.

Runoff from the newly paved areas and the building rooftops will be collected in a drainage system that conveys the runoff to a new stormwater treatment basin located at the southerly edge of the property. The basin provides pretreatment with a sediment forbay at its inlet sized to retain 10% of the Water Quality Volume entering the basin. The remainder of the basin will be a wet pond containing the entire WQV below the outlet to maximize treatment with the basin. An outlet structure has been designed that outlets near the inlet to the existing on-site culvert. The outlet structure is designed with multiple orifices to retain water within the basin so that the flow to the downstream culvert mimics that of pre-development conditions. The outlet structure has also been designed with an emergency outlet orifices/weirs to allow for the 100-year frequency

flow entering the basin to freely enter the outlet structure and be conveyed to the inlet of the existing on-site culvert. The following is a tabulation of the post-development and pre-development runoff analysis to the existing on-site culvert:

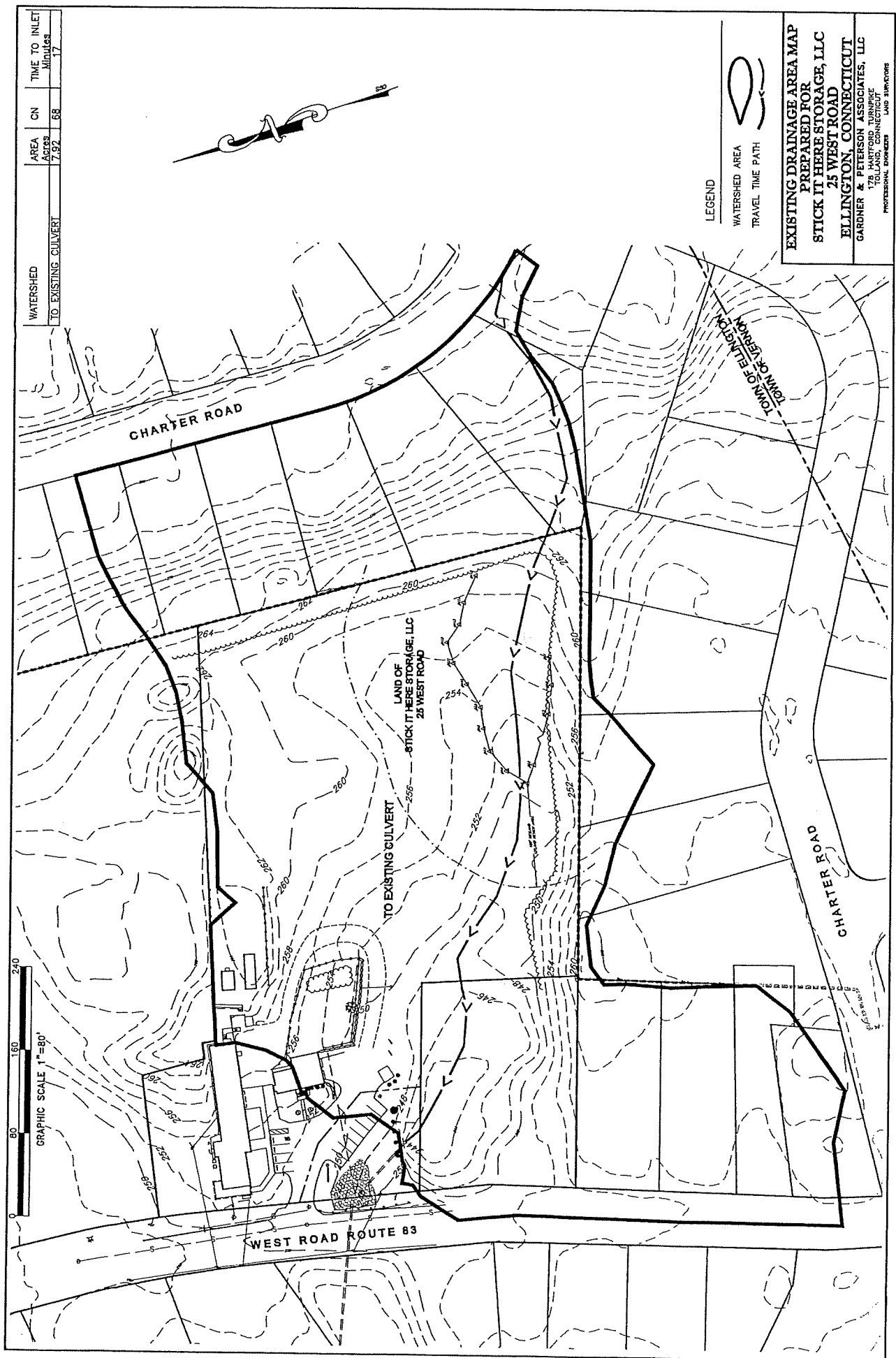
Hydrograph \ Storm Frequency	2-Yr	10-Yr	25-Yr	100-Yr
#4: Total Proposed to Culvert (cfs)	3.96	10.78	16.55	25.90
#5: Existing to Culvert (cfs)	4.07	12.03	17.81	27.28

Erosion & Sediment Control:

The erosion & sediment control plan for this site consists of the use of a designated soil stockpile areas, silt fencing down gradient of all disturbed areas, an anti-tracking pad installed at the entrance to the site, and the stabilization of disturbed areas. A more detailed E&S narrative is included in the plan set. All sediment and erosion control procedures and construction of all stormwater drainage structures shall be in accordance with the "2002 Connecticut Guidelines For Soil Erosion and Sediment Control" by the Connecticut Council on Soil and Water Conservation.



Eric R. Peterson, P.E. 23430



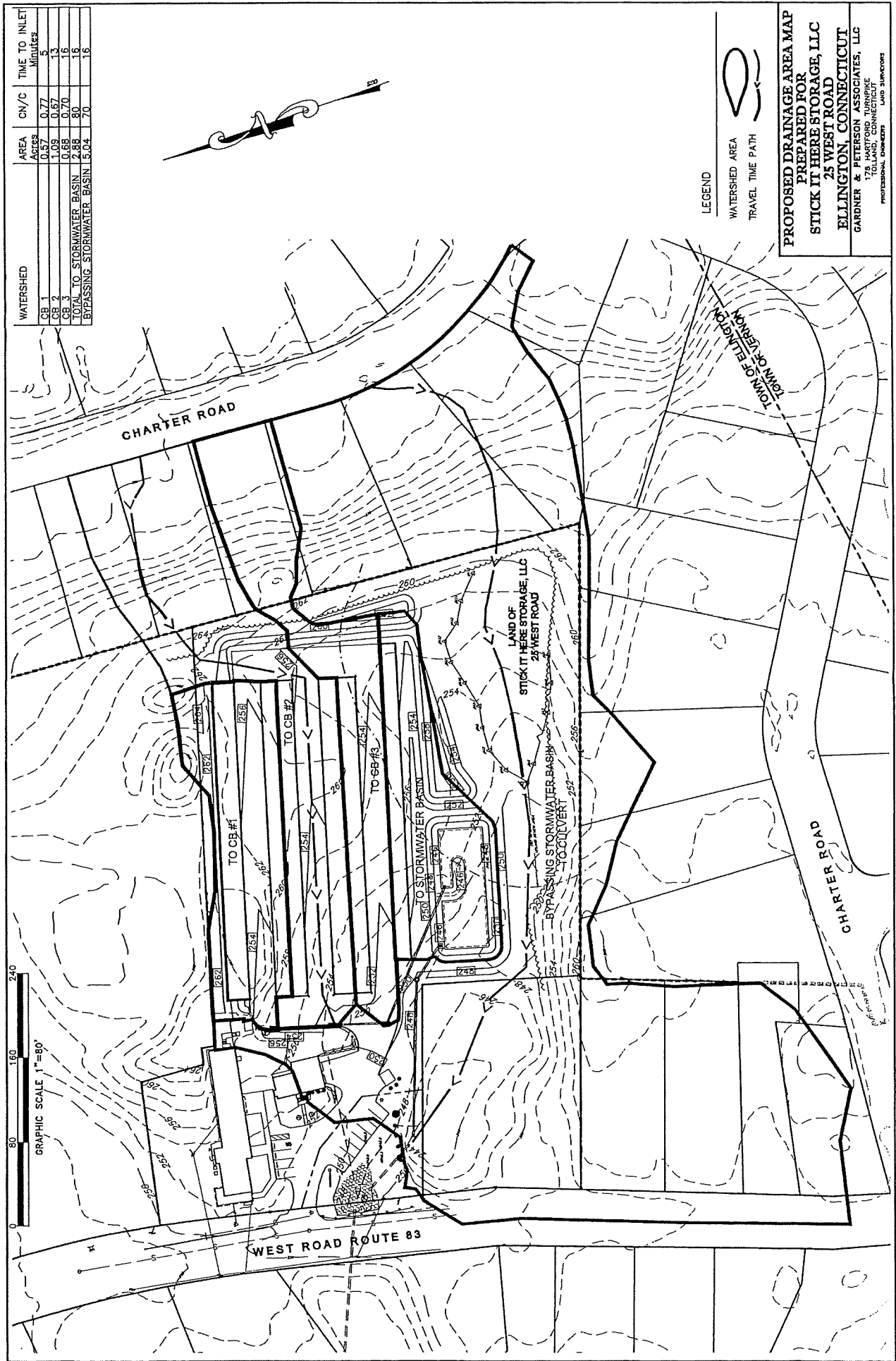
GRAPHIC SCALE 1"=80'

WATERSHED TO EXISTING CULVERT	AREA Acres	ON CN	TIME TO INLET Minutes
	7.92	68	17

LEGEND

WATERSHED AREA
TRAVEL TIME PATH

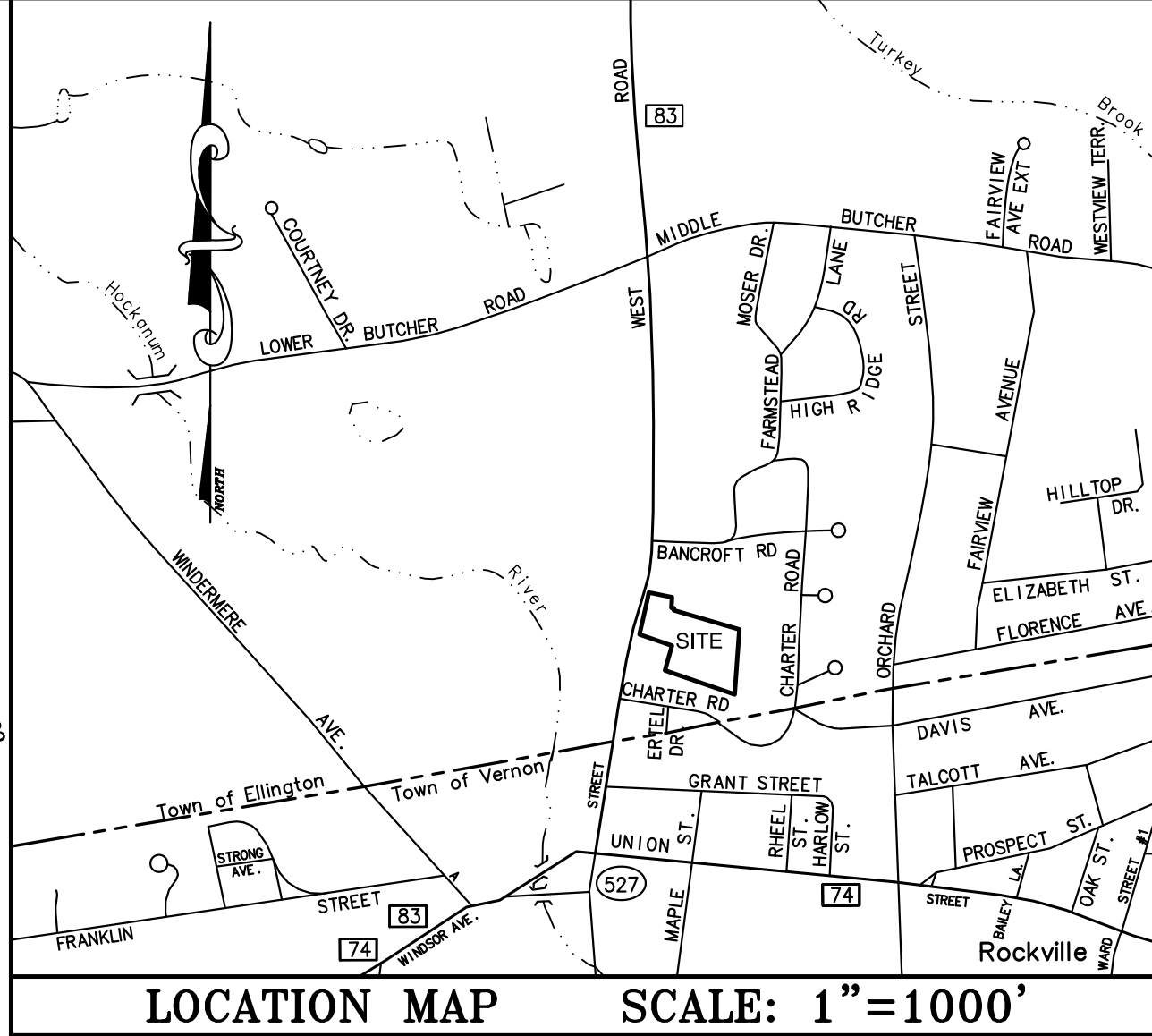
EXISTING DRAINAGE AREA MAP
PREPARED FOR
STICK IT HERE STORAGE, LLC
25 WEST ROAD
ELLINGTON, CONNECTICUT
GARDNER & PETERSON ASSOCIATES, LLC
100 HARTFORD AVENUE
HARTFORD, CONNECTICUT 06103
PROFESSIONAL ENGINEERS AND LAND SURVEYORS



INLAND WETLAND AGENCY

PUBLIC HEARING DATE: November 13, 2023
STAFF REVIEW RETURN DATE: November 2, 2023

DEPARTMENT	COMMENTS AND/OR REQUIREMENTS
Town Engineer	<p>DPW- No comments.</p> <p>WPCA- This property is within the sanitary sewer district and if there are proposed sanitary facilities a sanitary plan needs to be brought before the Board of WPCA.</p>
Building Official	
North Central District Health Dept	
Fire Marshal	
Public Works Director/WPCA	
Assessor	
Traffic Authority	



- NOTES:
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 - BEARINGS REFER TO THE CONNECTICUT COORDINATE SYSTEM BASED UPON A CGS DATUM.
 - REFERENCE IS MADE TO THE FOLLOWING MAPS:
A. "PROPERTY OF MARY SAS & HELEN E. JAKIEL ELLINGTON, CONNECTICUT" BY ROBERT H. CHAMBERS, MAY 1949, MAP NO. 148.
B. "COMPILATION PLAN PREPARED FOR HELEN JAKIEL ELLINGTON, CONNECTICUT" BY SCHINDLER SURVEYS, DATE: 6/01/01.
C. "CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF ELLINGTON THE ROCKVILLE-SOMERS ROAD FROM VERNON TOWN LINE TO SOMERS TOWN LINE ROUTE NO. 108" NUMBER 94, DATE: 12-6-27.
 - THIS PARCEL IS LOCATED IN THE COMMERCIAL ZONE 'C' AND IS DESIGNATED AS APN 019-181-0000.
 - THIS PARCEL IS LOCATED IN FLOOD HAZARD ZONE "C" (AREAS OF MINIMAL FLOODING) PER FIRM FLOOD INSURANCE RATE MAP, TOWN OF ELLINGTON, CONNECTICUT TOLLAND COUNTY PANEL 15 OF 15, COMMUNITY PANEL NUMBER 090158 0015 B. 3/15/1982.
 - THE LIMIT OF INLAND WETLANDS WERE FIELD DELINEATED BY GEORGE LOGAN OF REMA ECOLOGICAL SERVICES ON MAY 22, 2023.
 - UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING AND OTHER DATA SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES, GOVERNMENTAL AGENCIES AND / OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO GARDNER & PETERSON ASSOCIATES. THE EXISTENCE, SIZE AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.
 - ON MAY 7, 2012 THE ELLINGTON ZONING BOARD OF APPEALS APPROVED APPLICATION V201204 FOR A VARIANCE OF SECTION 6.3.7.A.3.b-DETACHED SIGNS OF THE ELLINGTON ZONING REGULATIONS TO ALLOW FOR 36 SQUARE FEET OF SIGNAGE.

ZONING TABLE			
CURRENT ZONE - COMMERCIAL (C)			
PARCEL AREA	REQUIRED	EXISTING	PROPOSED
	40,000 Sq.Ft.	189,890 Sq.Ft.	--
LOT WIDTH	200'	250'	--
FRONT YARD	64'	10.6'	19.7'
SIDE YARD	10'	6.0'	14'
SIDE YARD (ABUTTING RESIDENTIAL)	50'	--	160'
REAR YARD (ABUTTING RESIDENTIAL)	50'	319.6	62'
BUILDING HEIGHT	38'	10'	10'
LOT COVERAGE	60%	11.7%	43.0%

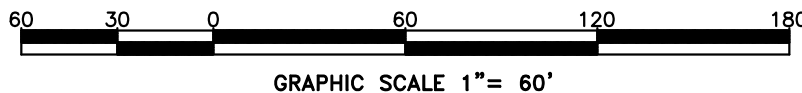
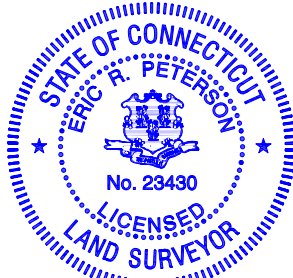
- LIST OF DRAWINGS:
- | | |
|--------|------------------------------------|
| 1 of 8 | SITE PLAN COVER SHEET |
| 2 of 8 | GRADING PLAN |
| 3 of 8 | UTILITY PLAN |
| 4 of 8 | LANDSCAPING PLAN |
| 5 of 8 | EXTERIOR LIGHTING PLAN |
| 6 of 8 | EROSION & SEDIMENT CONTROL PLAN |
| 7 of 8 | EROSION & SEDIMENT CONTROL DETAILS |
| 8 of 8 | SITE CONSTRUCTION DETAILS |

PROPERTY OWNER:
STICK IT HERE STORAGE LLC
23 ELEANOR ROAD
SOMERS, CONNECTICUT 06071

I HEREBY DECLARE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

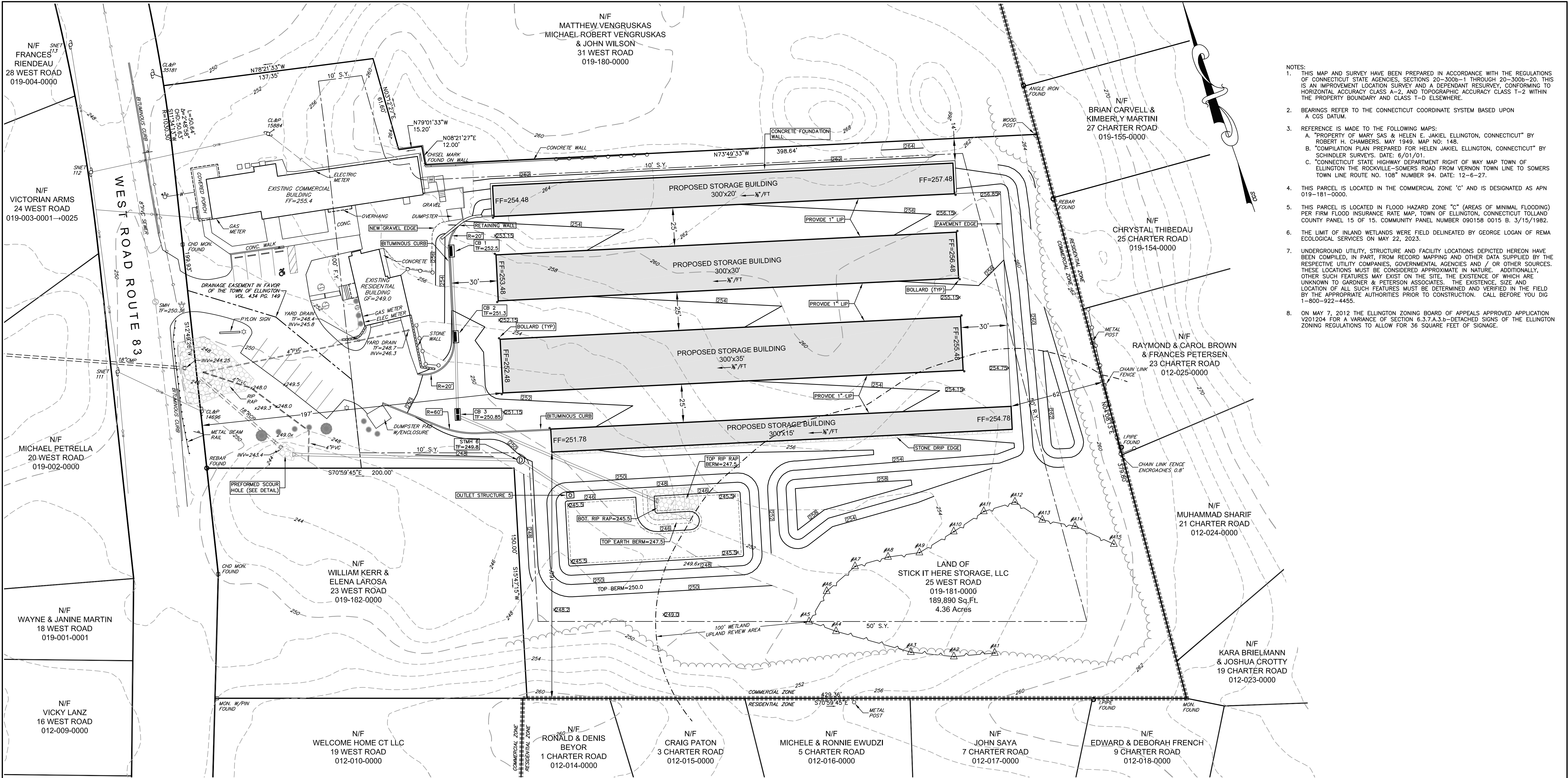
Eric R. Peterson
ERIC R. PETERSON

L.S. 23430
REGISTRATION NO.



REVISIONS

IMPROVEMENT LOCATION SURVEY				
SITE PLAN				
LAND OF				
STICK IT HERE STORAGE, LLC				
25 WEST ROAD				
ELLINGTON, CONNECTICUT				
GARDNER & PETERSON ASSOCIATES, LLC				
178 HARTFORD TURNPIKE				
TOLLAND, CONNECTICUT				
PROFESSIONAL ENGINEERS		LAND SURVEYORS		
BY	SCALE	DATE	SHEET NO.	MAP NO.
E.R.P.	1"=60'	10-02-2023	1 OF 8	11166A



- NOTES:
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LEGEND

- PROPERTY LINE
- CONCRETE MONUMENT
- IRON PIPE/PIN
- ZONING SETBACK
- SIGN
- EXISTING CURBING
- EX. UTILITY POLE/OVERHEAD WIRES
- EXISTING LIGHT POLE
- EX. STORM CULVERT
- EX. CATCH BASIN
- EX. SANITARY MANHOLE
- EX. SANITARY SEWER
- APPROXIMATE WATER SERVICE
- EX. WATER SHUT-OFF / HYDRANT
- EXISTING CONTOUR
- EXISTING ELEVATION
- INLAND WETLAND BOUNDARY
- WETLAND REGULATED AREA

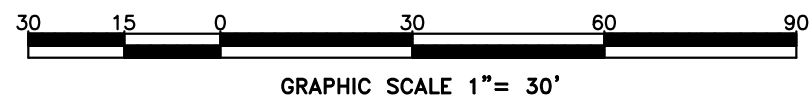
THE WETLAND SOILS ON THIS PROPERTY WERE IDENTIFIED IN THE FIELD USING THE CRITERIA REQUIRED BY CONNECTICUT P.A. 72-155 AS AMENDED BY P.A. 73-571 AND ARE ACCURATELY REPRESENTED ON THIS PLAN.

George T. Logan
GEORGE T. LOGAN, MS, PWS
Registered Soil Scientist

I HEREBY DECLARE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Eric R. Peterson
ERIC R. PETERSON

L.S. 23430
REGISTRATION NO.



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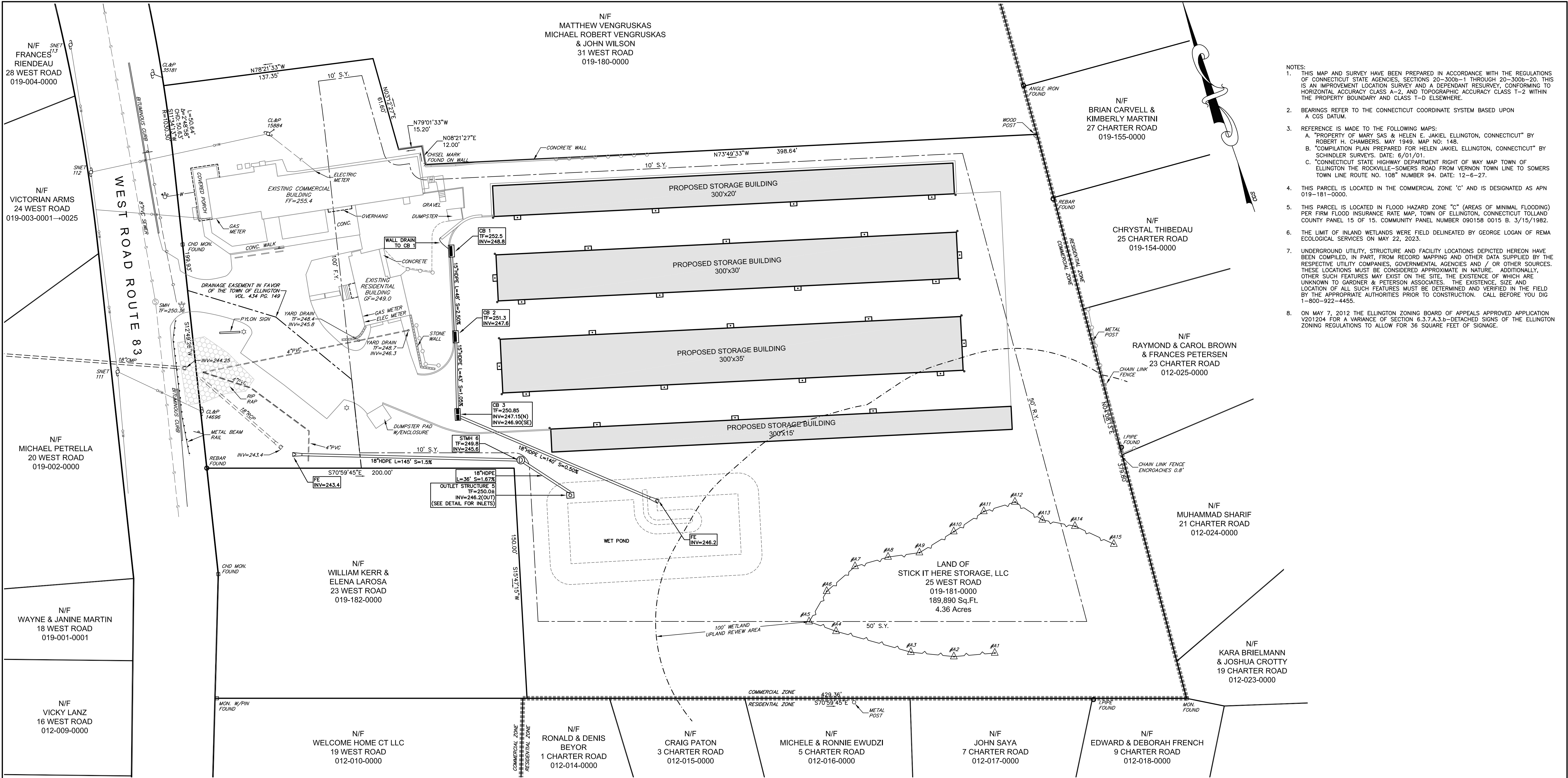
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BY	SCALE	DATE	SHEET NO.	MAP NO.
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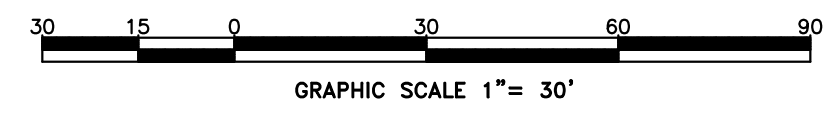
- LEGEND
- PROPERTY LINE
 - CONCRETE MONUMENT
 - IRON PIPE/PIN
 - ZONING SETBACK
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 - EX. SANITARY SEWER
 - APPROXIMATE WATER SERVICE
 - EX. WATER SHUT-OFF / HYDRANT
 - EXISTING CONTOUR
 - EXISTING ELEVATION
 - INLAND WETLAND BOUNDARY
 - WETLAND REGULATED AREA

THE WETLAND SOILS ON THIS PROPERTY WERE IDENTIFIED IN THE FIELD USING THE CRITERIA REQUIRED BY CONNECTICUT P.A. 72-155 AS AMENDED BY P.A. 73-571 AND ARE ACCURATELY REPRESENTED ON THIS PLAN.

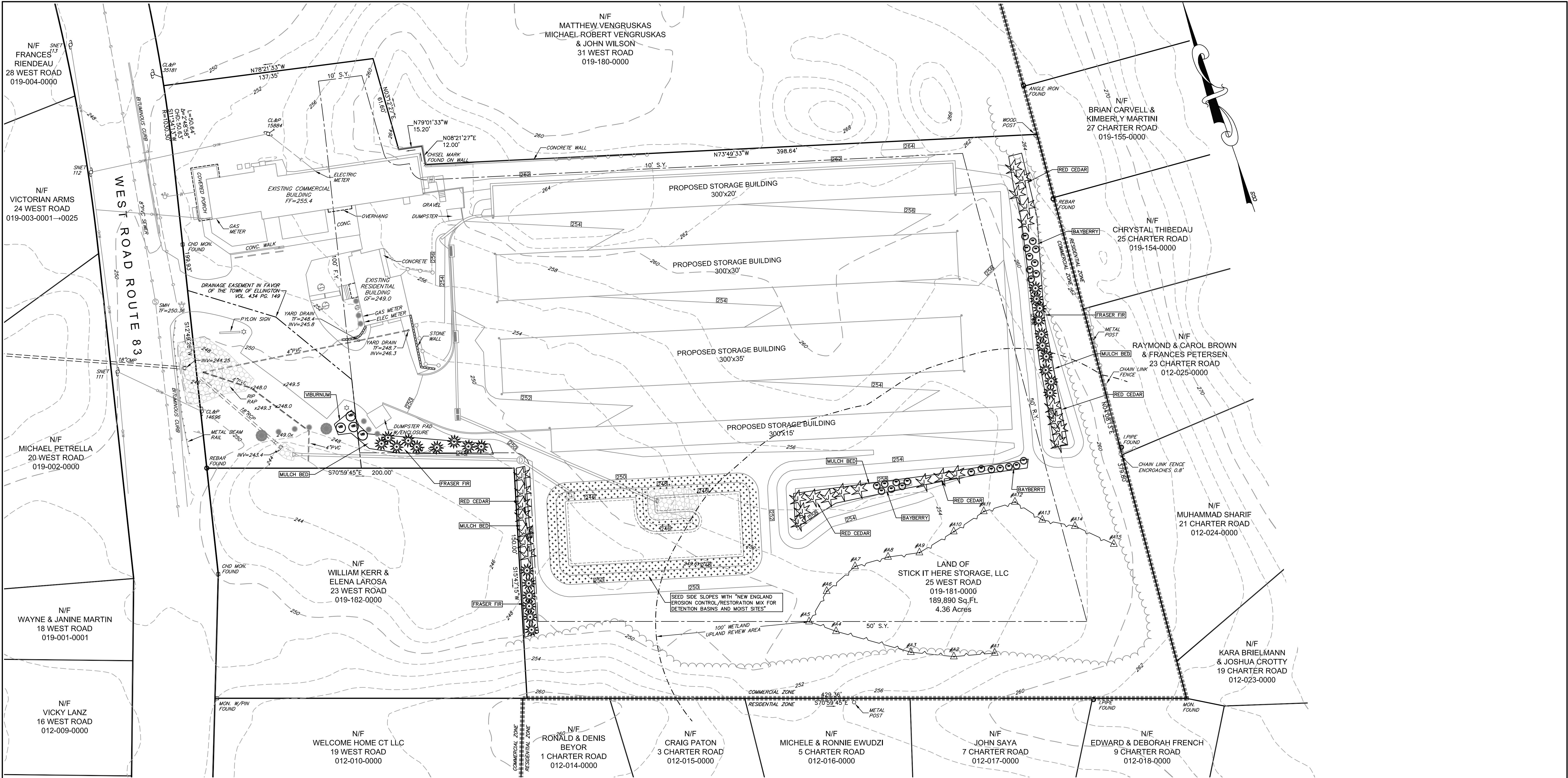
George T. Logan
GEORGE T. LOGAN, MS, PWS
Registered Soil Scientist

I HEREBY DECLARE THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

Eric R. Peterson
ERIC R. PETERSON
L.S. 23430
REGISTRATION NO.



IMPROVEMENT LOCATION SURVEY				
UTILITY PLAN LAND OF STICK IT HERE STORAGE, LLC 25 WEST ROAD ELLINGTON, CONNECTICUT				
GARDNER & PETERSON ASSOCIATES, LLC 178 HARTFORD TURNPIKE TOLLAND, CONNECTICUT				
REVISIONS				
BY	SCALE	DATE	SHEET NO.	MAP NO.
E.R.P.	1"=30'	10-02-2023	3 OF 8	11166A



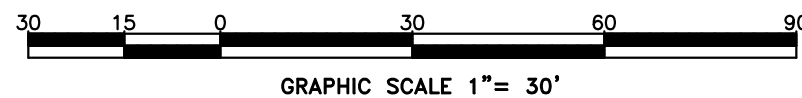
LEGEND

	PROPERTY LINE
	CONCRETE MONUMENT
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	ZONING SETBACK
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	EX. WATER SHUT-OFF / HYDRANT
	EXISTING CONTOUR
	EXISTING ELEVATION
	INLAND WETLAND BOUNDARY
	WETLAND REGULATED AREA

PLANTING SPECIFICATIONS:

Symbol	Name/ Scientific Name	Quantity	Size
	ABIES FRASERI/ FRASER FIR	25	6 - 7'
	MYRICA PENNSYLVANICUM/ BAYBERRY	23	18 - 24"
	JUNIPERUS VIRGINIANA/ RED CEDAR	19	6 - 7'
	VIBURNUM TOMENTOSUM 'MARISSII'/ DOUBLEFILE VIBURNUM	4	18 - 24"

- LAWN AREAS TO BE THE FOLLOWING MIX: 25% PERENNIAL RYE, 25% CHEWINGS FESCUE, 25% CREEPING RED FESCUE, 25% KENTUCKY BLUEGRASS
- ALL DISTURBED AREAS NOT COVERED BY BUILDING, PAVING, PLANTING BEDS, OR OTHER IMPROVEMENTS SHALL BE GRADED, TOPSOILED TO A DEPTH OF 6" AND FERTILIZED. PLANT BEDS SHALL BE TOPSOILED TO A DEPTH OF 12".
- CONTRACTOR SHALL MULCH ALL PLANT BEDS TO A DEPTH OF 2" WITH SHREDDED BARK MULCH (NO RED MULCH)
- ALL PLANT SPECIES TO CONFORM TO AAN MOST RECENT PLANT SPECIFICATIONS.



LANDSCAPING PLAN
LAND OF
STICK IT HERE STORAGE, LLC
25 WEST ROAD
ELLINGTON, CONNECTICUT
GARDNER & PETERSON ASSOCIATES, LLC
178 HARTFORD TURNPIKE
TOLLAND, CONNECTICUT

PROFESSIONAL ENGINEERS LAND SURVEYORS

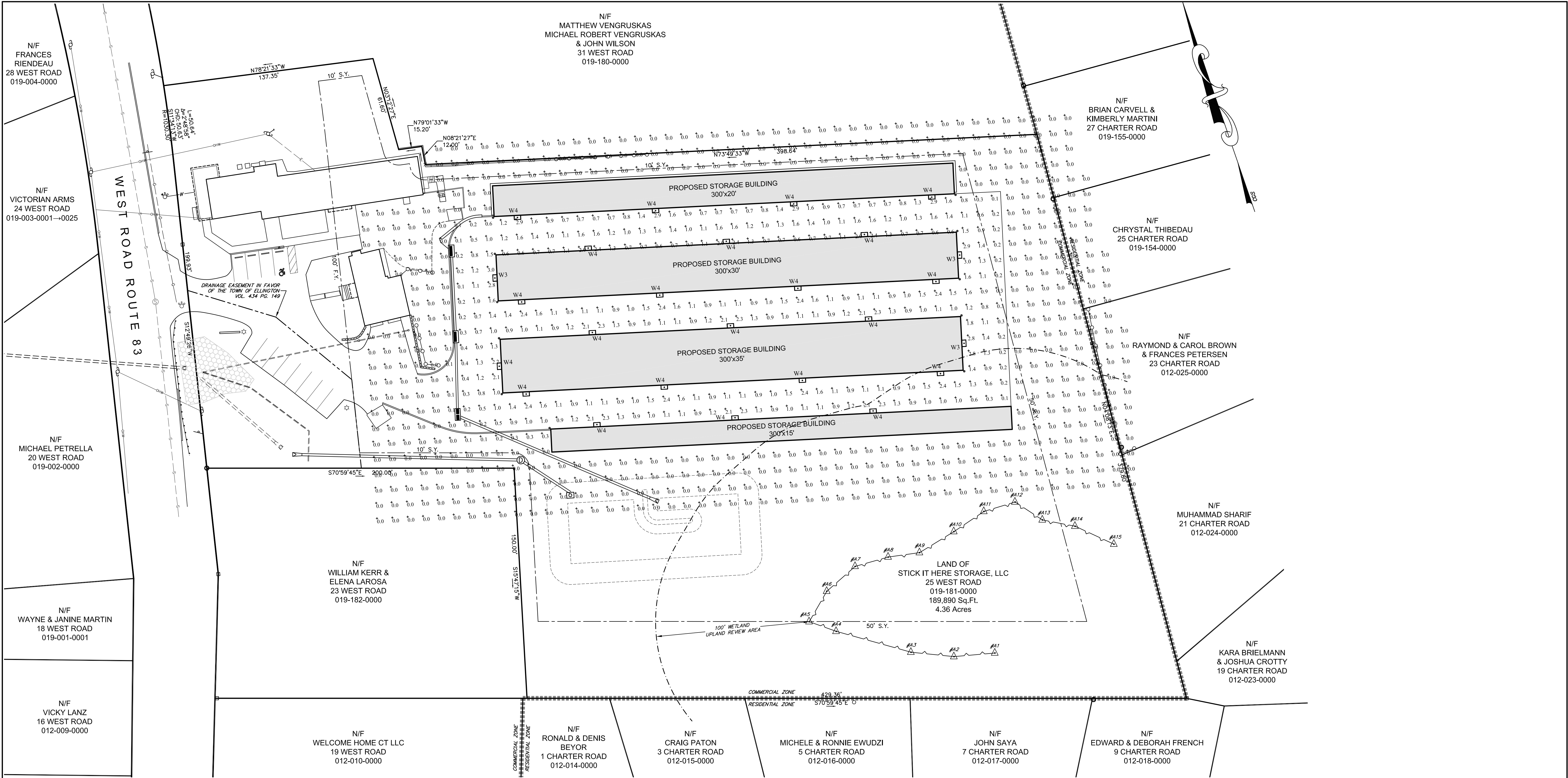
BY
E.R.P.

SCALE
1"=30'

DATE
10-02-2023

SHEET NO.
4 OF 8

MAP NO.
11166A



Filename: 25 West Road - StickitHere Storage Site Lighting - Ellington.AGI

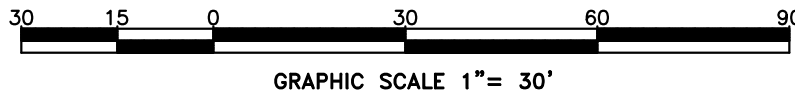
LEGEND	
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	EXISTING CONTOUR
	EXISTING ELEVATION
	INLAND WETLAND BOUNDARY
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Luminaire Schedule						
Symbol	Qty	Label	Luminaire Lumens	Luminaire Watts	LLF	BUG Rating
	3	W3	2062	18,9815	0.900	B1-U0-G1
	22	W4	2018	18,9815	0.900	B1-U0-G1

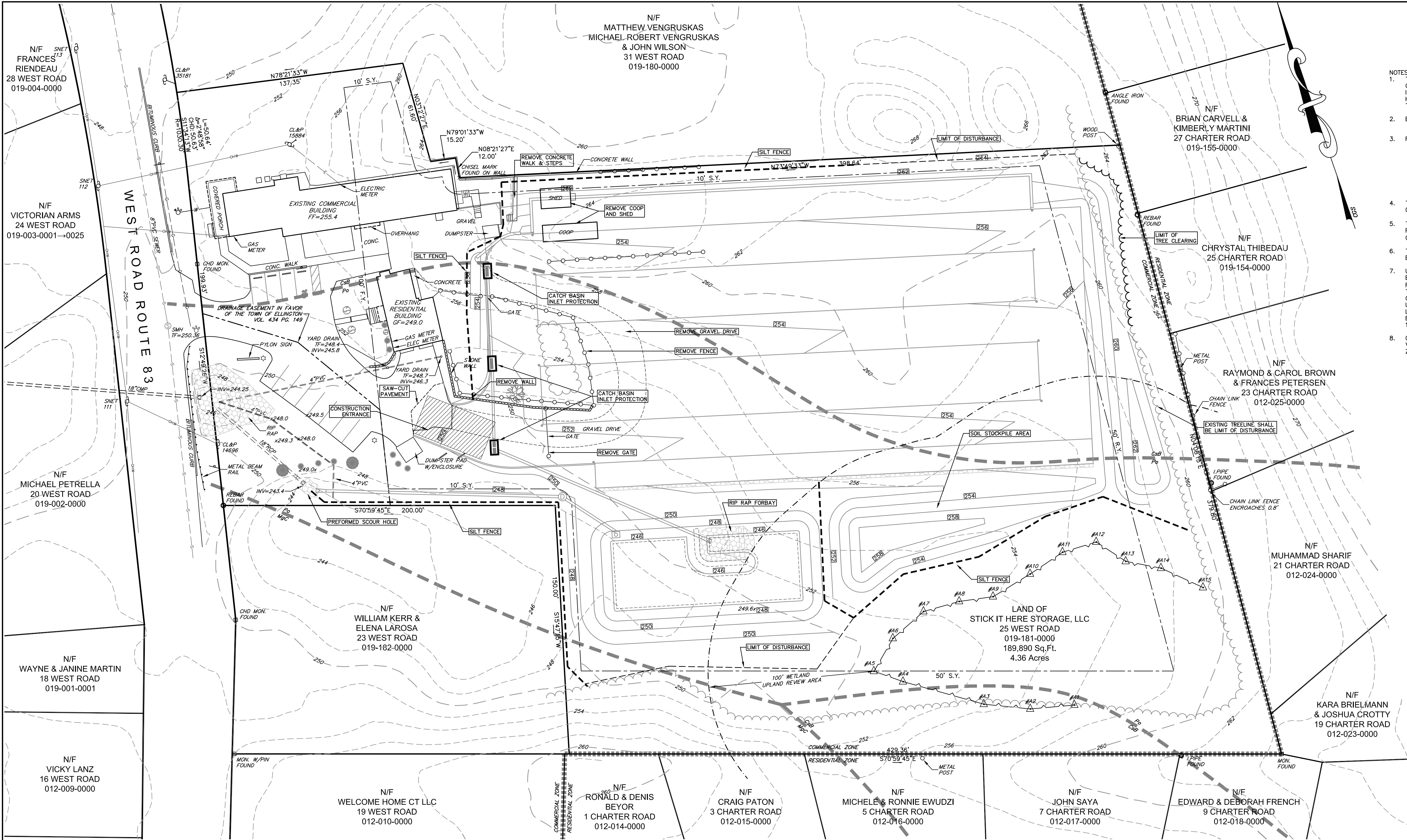
Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
SITE	Illuminance	Fc	0.40	3.0	0.0	N.A.	N.A.	
DRIVELANES	Illuminance	Fc	1.16	3.0	0.1	11.60	30.00	

Greg Loda
Lighting Affiliates
1208 Cromwell Ave
Rocky Hill, CT 06067

website: www.lightingaffiliates.com
Voice Number : (860) 721-1171 x 219
Email : gloda@lightingaffiliates.com



REVISIONS	EXTERIOR LIGHTING PLAN LAND OF STICK IT HERE STORAGE, LLC 25 WEST ROAD ELLINGTON, CONNECTICUT GARDNER & PETERSON ASSOCIATES, LLC 178 HARTFORD TURNPIKE TOLLAND, CONNECTICUT PROFESSIONAL ENGINEERS LAND SURVEYORS				
	BY	SCALE	DATE	SHEET NO.	MAP NO.
	E.R.P.	1"=30'	10-02-2023	5 OF 8	11166A



- NOTES:
- THIS MAP AND SURVEY HAVE BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300b-1 THROUGH 20-300b-20. THIS IS AN IMPROVEMENT LOCATION SURVEY AND A DEPENDANT RESURVEY, CONFORMING TO HORIZONTAL ACCURACY CLASS A-2, AND TOPOGRAPHIC ACCURACY CLASS T-2 WITHIN THE PROPERTY BOUNDARY AND CLASS T-D ELSEWHERE.
 - BEARINGS REFER TO THE CONNECTICUT COORDINATE SYSTEM BASED UPON A CGS DATUM.
 - REFERENCE IS MADE TO THE FOLLOWING MAPS:
A. "PROPERTY OF MARY SAS & HELEN E. JAKIEL ELLINGTON, CONNECTICUT" BY ROBERT H. CHAMBERS, MAY 1949, MAP NO. 148.
B. "COMPILED PLAN PREPARED FOR HELEN JAKIEL ELLINGTON, CONNECTICUT" BY SCHINDLER SURVEYS, DATE: 6/01/01.
C. "CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF ELLINGTON THE ROCKVILLE-SOMERS ROAD FROM VERNON TOWN LINE TO SOMERS TOWN LINE ROUTE NO. 108" NUMBER 94, DATE: 12-6-27.
 - THIS PARCEL IS LOCATED IN THE COMMERCIAL ZONE 'C' AND IS DESIGNATED AS APN 019-181-0000.
 - THIS PARCEL IS LOCATED IN FLOOD HAZARD ZONE 'C' (AREAS OF MINIMAL FLOODING) PER FIRM FLOOD INSURANCE RATE MAP, TOWN OF ELLINGTON, CONNECTICUT TOLLAND COUNTY PANEL 15 OF 15, COMMUNITY PANEL NUMBER 090158 0015 B. 3/15/1982.
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 - WETLAND REGULATED AREA
 - SILT FENCE BARRIER

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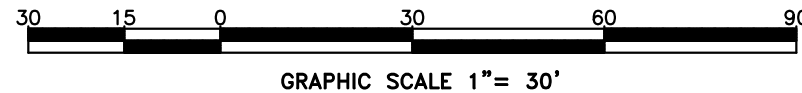
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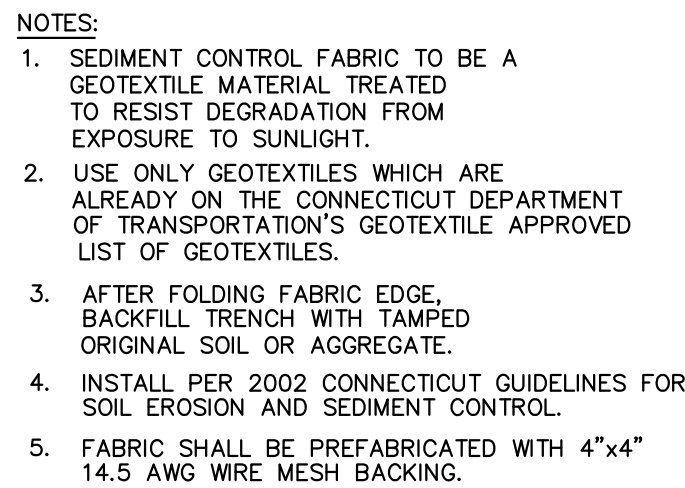
Eric R. Peterson
ERIC R. PETERSON
L.S. 23430
REGISTRATION NO.

THE NRCS WEB SOIL SURVEY CLASSIFIES ALL THE SOILS ON THIS PROPERTY AS (306) UDORTHENTS - URBAN LAND COMPLEX. THE SOIL LINES DEPICTED ON THIS PLAN ARE AS SHOWN ON THE "SOIL SURVEY TOLLAND COUNTY CONNECTICUT" BY THE UNITED STATES DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE, 1961.

SOIL MAPPING LEGEND:
Csb: CHESHIRE FINE SANDY LOAM, 3 TO 8 PERCENT SLOPES
MgC: MANCHESTER GRAVELLY SANDY LOAM, 3 TO 15 PERCENT SLOPES
Pg: PODUNK FINE SANDY LOAM

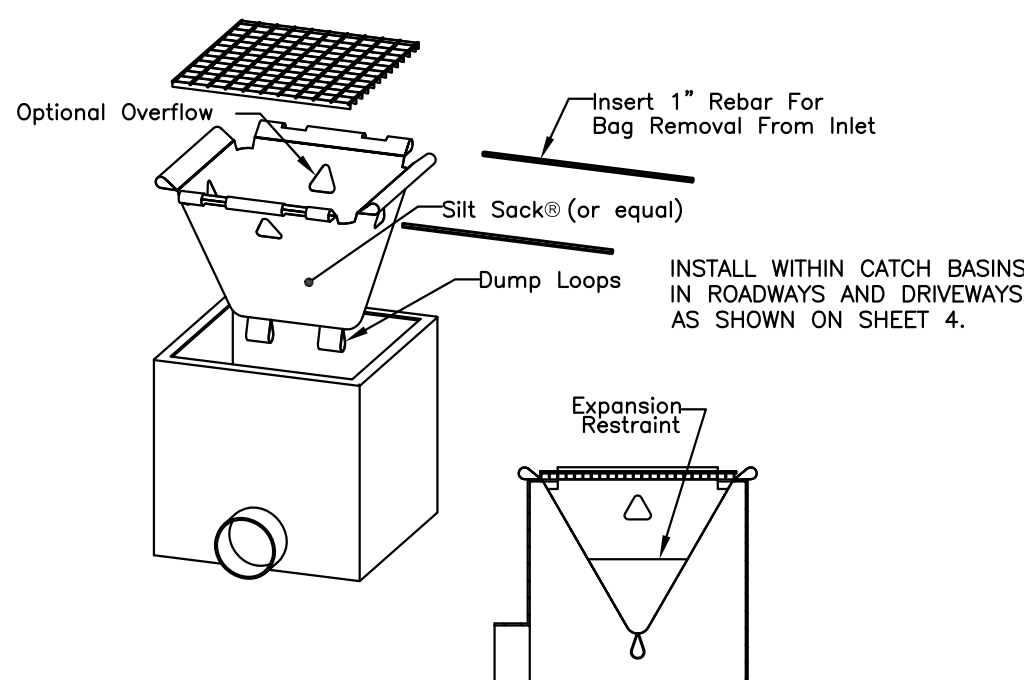
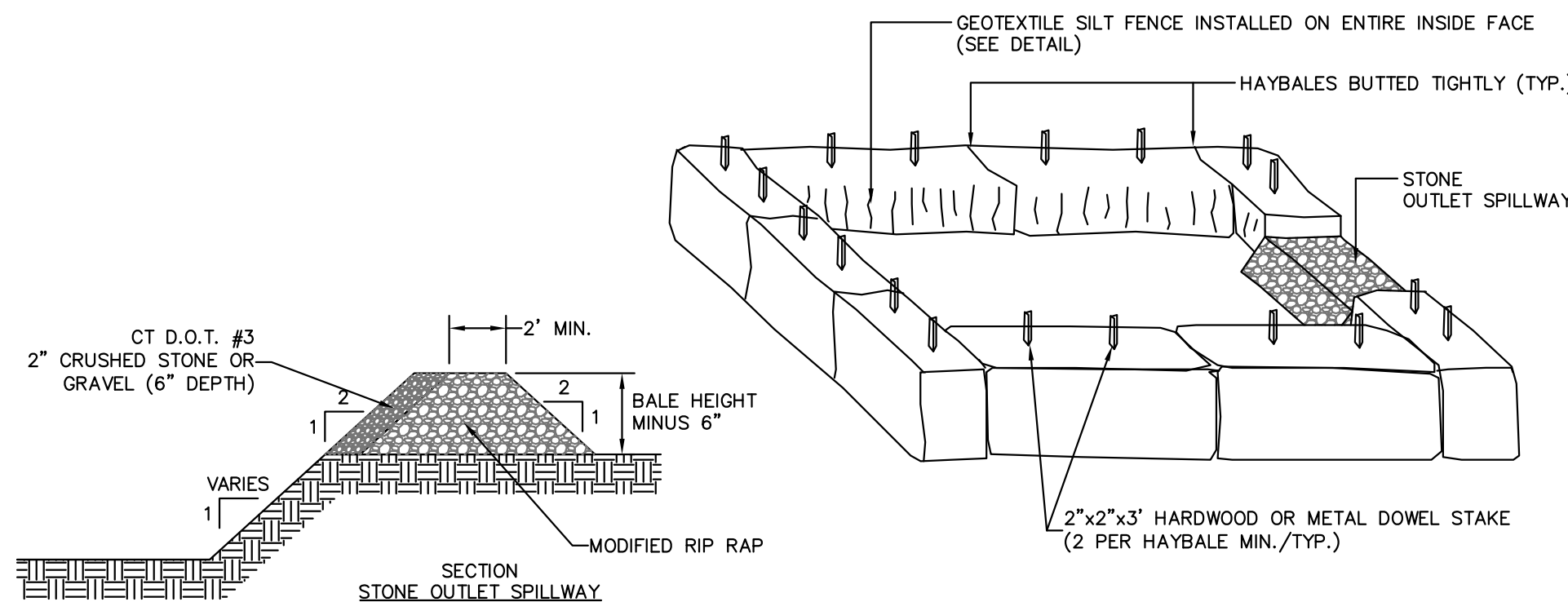
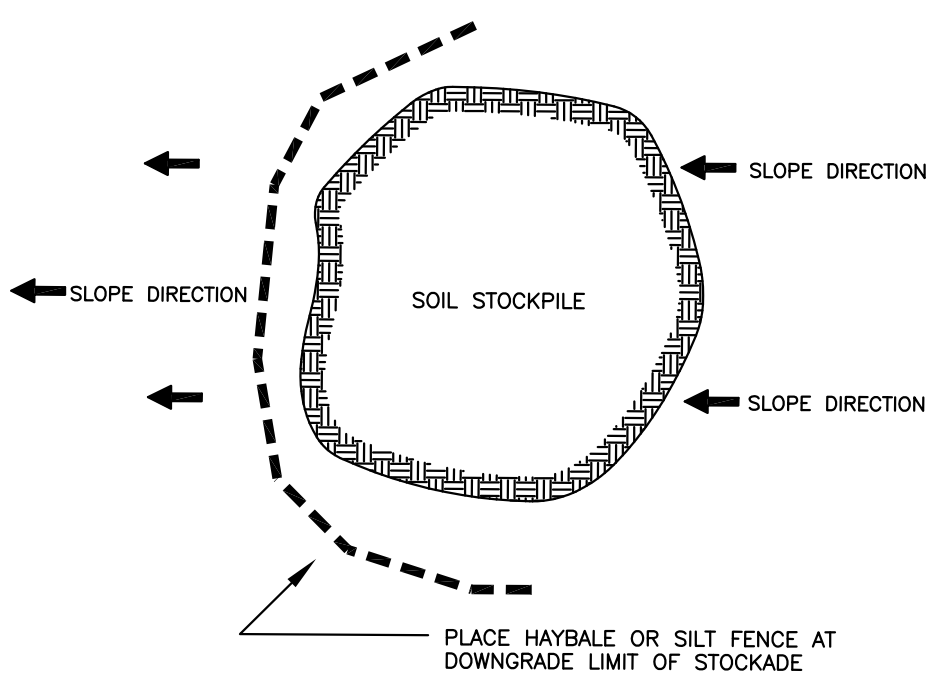
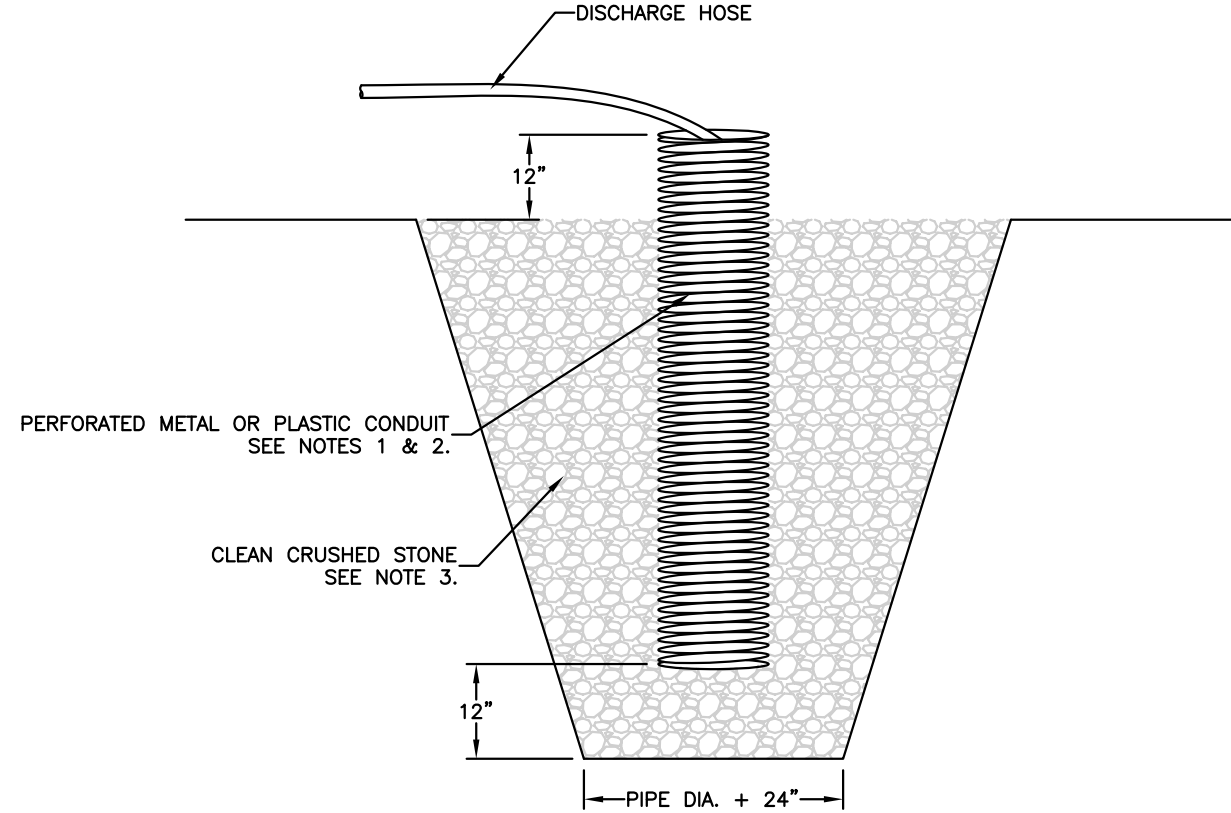
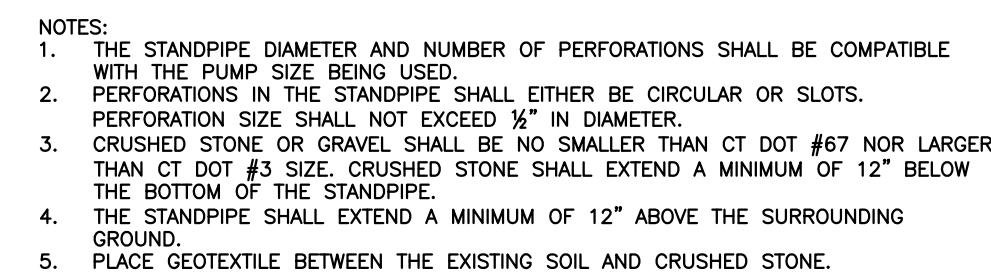


IMPROVEMENT LOCATION SURVEY EROSION & SEDIMENT CONTROL PLAN LAND OF STICK IT HERE STORAGE, LLC 25 WEST ROAD ELLINGTON, CONNECTICUT GARDNER & PETERSON ASSOCIATES, LLC 178 HARTFORD TURNPIKE TOLLAND, CONNECTICUT				
REVISIONS		PROFESSIONAL ENGINEERS LAND SURVEYORS		
BY	SCALE	DATE	SHEET NO.	MAP NO.
E.R.P.	1"=30'	10-02-2023	6 OF 8	11166A



IF GROUNDWATER IS ENCOUNTERED DURING EXCAVATION, THE FOLLOWING MEASURES SHALL BE ADHERED TO FOR THE DE-WATERING OF THE EXCAVATION:

1. EXCAVATION SHALL BE DRY AT ALL TIMES. EXCAVATION SHALL BE LOCATED ON A RELATIVELY FLAT SURFACE ON THE SITE SUCH THAT SURFACE WATER WILL NOT RUN INTO THE EXCAVATION. EXCAVATION SHALL NOT BE LOCATED IN A WATERWAY. WASTEWATER SHALL NOT BE DISCHARGED DIRECTLY TO A WETLAND.
2. EXCAVATE PUMP INTAKE PROTECTION PUMP (SEE DETAIL), WHERE STANDING WATER IS ENCOUNTERED, TO ACCUMULATE WATER AND PREVENT THE DE-WATERING OF THE SITE BY FLOATING THE PUMP INTAKE AT THE WATER'S SURFACE. CAREFULLY MONITOR THE WATER LEVELS TO PREVENT THE UPTAKE OF SEDIMENT.
3. EXCAVATE THE PUMP WITHIN OR ADJACENT TO THE AREA BEING DEWATERED.
4. LOCATE THE PUMP OUTLET TO THE DOWN-GRADATION OF THE SITE. LOCATE THE PUMP OUTLET PROTECTION SHALL ADEQUATELY DISSIPATE THE ENERGY OF THE DISCHARGE SO AS TO PREVENT EROSION AND THE RE-SUSPENSION OF MATERIALS TO THE SITE.



Post Construction Maintenance Schedule		
Maintenance Item	Frequency	Maintenance
Catch Basins	Monthly	<ul style="list-style-type: none"> Inspect grates for litter and debris and remove as needed
	Annually	<ul style="list-style-type: none"> Remove sediment in sump immediately after spring snowmelt If sediment accumulation significantly exceeds one-half the depth of the sump during annual inspection, clean more frequently
Stormwater Basin	Semi-Annually	<ul style="list-style-type: none"> Remove invasive vegetation
	Monthly	<ul style="list-style-type: none"> Clean/remove sediment and debris Mow side slopes Repair eroded areas
	5-10 Years	<ul style="list-style-type: none"> Monitor sediment accumulation and remove when pool volume is reduced significantly.

- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION.
2. ALL SEDIMENT CONTROL PRACTICES AND MEASURES SHALL BE CONSTRUCTED, APPLIED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED SEDIMENT CONTROL PLAN.
3. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN THE AMOUNT NECESSARY TO COMPLETE THE FINISHED GRADING OF ALL EXPOSED AREAS.
4. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
5. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO MINIMIZE EROSION, SLIPPAGE, AND SETTLEMENT. FILL INTENDED TO SUPPORT STRUCTURES, DRAINAGE, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH THE APPROPRIATE STATE AND/OR LOCAL SPECIFICATIONS.
6. FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBISH, LARGE ROCKS, LOGS, STUMPS, BUILDING MATERIAL, COMPRESSIBLE MATERIAL, AND OTHER MATERIALS WHICH MAY INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
7. FROZEN MATERIAL OR SOFT MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
8. FILL SHALL NOT BE PLACED ON A FROZEN FOUNDATION.
9. ALL BENCHES SHALL BE KEPT FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
10. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH SOUND CONSTRUCTION PRACTICE. ANY WASTEWATER FROM THE DEWATERING OF AN EXCAVATION SHALL NOT BE DISCHARGED DIRECTLY TO A WETLAND AND SHALL BE HANDLED AS INDICATED ON THESE PLANS.
11. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY FOLLOWING FINISH GRADING. IF FINISH GRADING IS TO BE DELAYED FOR MORE THAN 30 DAYS AFTER DISTURBANCE IS COMPLETE, TEMPORARY SOIL STABILIZATION MEASURES SHALL BE APPLIED. AREAS LEFT OVER 30 DAYS SHALL BE CONSIDERED "LONG TERM" AND SHALL REQUIRE TEMPORARY STABILIZATION WITHIN THE 15 DAYS.
12. SITE IS TO BE GRADED TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCHING, AND MAINTENANCE UNLESS OTHERWISE SPECIFIED IN THE PLANS.
13. CUT AND FILL SLOPES SHALL NOT BE STEEPER THAN 2:1. TOPSOIL SHALL BE SPREAD TO A MINIMUM DEPTH OF 4". ADDITIONAL TOPSOIL MAY BE REQUIRED TO MEET MINIMUM DEPTHS. NO TOPSOIL SHALL BE REMOVED FROM THIS SITE.
14. APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, DRILL CULPATICKER TYPE SEEDER OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER). NORMAL SEEDING DEPTH IS 1/4" TO 1/2" INCH. HYDROSEEDING WHICH IS MULCHED MAY BE LEFT ON THE SOIL SURFACE.
15. WHERE FEASIBLE, EXCEPT WHERE EITHER A CULPATICKER TYPE SEEDER OR HYDROSEEDER IS USED, THE SEEDBED SHOULD BE FIRMLY FOLLOWED WITH SEEDING WITH A ROLLER OR LIGHT DRAG.
16. FERTILIZER AND LIME ARE TO BE WORKED INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A C-30, SPRING TOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISC OPERATION SHOULD BE ALONG THE CONTOUR.
17. REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER. REMOVE ALL OTHER DEBRIS SUCH AS WIRE, TREE ROOTS, PIECES OF CONCRETE, OR OTHER UNSUITABLE MATERIALS.
18. INSPECT SEEDBED BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED BEFORE SEEDING, THEN FIRMED AS DESCRIBED ABOVE.
19. WHERE GRASSES PREDOMINATE, FERTILIZE ACCORDING TO SOIL ANALYSIS, OR SPREAD 300 POUNDS OF 10-10-10 OR EQUIVALENT PER ACRE (7.5 POUNDS PER 1000 S.F.).
20. CALCIUM CHLORIDE WILL BE AVAILABLE FOR DUST CONTROL ON GRAVEL TRAVEL SURFACES.

1. Bales shall be placed in a single row, lengthwise on the contour, with ends of adjacent bales tightly abutting one another.
2. All bales shall be either wire-bound or string-tied. Bales shall be installed so that bindings are oriented along the sides rather than along the tops and bottoms of the bales to prevent deterioration.
3. The barrier shall be entrenched and backfilled. A trench shall be excavated the width of a bale and the length of the proposed barrier to a minimum depth of 4 inches. After the bales are staked and chinked, the excavated soil shall be backfilled against the barrier. Backfill soil shall conform to the ground level on the downhill side and shall be built up 4 inches against the uphill side of the barrier.
4. Each bale shall be securely anchored by at least two stakes or re-bars driven through the bale. The first stake in each bale shall be driven toward the uphill side of the bale to force the bales together. Stakes or re-bars shall be driven deep enough into the ground to securely anchor the bales.
5. The gaps between bales shall be chinked (filled by wedging) with straw to prevent water from escaping between the bales.
6. Inspection shall be frequent and repair or replacement shall be made promptly as needed.

PROJECT NAME: SELF STORAGE LOCATION: 25 WEST ROAD, ELLINGTON, CONNECTICUT PROJECT DESCRIPTION: SELF-STORAGE FACILITY PARCEL AREA: 4.36 AC. RESPONSIBLE PERSONNEL: M. RILEY (860) 614-4099			
WORK DESCRIPTION	EROSION & SEDIMENT CONTROL MEASURES	DATE INSTALLED	INITIALS
CLEAR TREES AND BRUSH	INSTALL ANTI-TRACKING PAD		
REMOVE STUMPS	INSTALL SILT FENCE BARRIERS DOWNGRADE OF CONSTRUCTION ACTIVITY AS SHOWN INSPECT AND MAINTAIN SEDIMENT BARRIERS WEEKLY AND AFTER RAIN EVENTS OVER 0.5-INCH.		
REMOVE FENCING, STRUCTURES, WALL, ETC.			
ROUGH GRADE SITE	INSTALL HAYBALES AROUND NEW CATCH BASIN INLETS ONCE INSTALLED		
INSTALL DRAINAGE			
POUR CONCRETE	TOPSOIL, SEED AND MULCH SITE		
FINAL GRADE AND PAVE	REMOVE SEDIMENT FROM DRAINAGE STRUCTURES REMOVE EROSION CONTROLS WHEN SITE IS STABILIZED		

PROJECT DATES:
DATE OF CONSTRUCTION START JANUARY 1, 2024
DATE OF CONSTRUCTION COMPLETION JANUARY 1, 2025

EROSION AND SEDIMENT CONTROL PROCEDURES SHALL ESSENTIALLY BE IN ACCORDANCE WITH THESE PLANS, AS REQUIRED BY TOWN REGULATIONS, AND THE MANUAL, "GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" FOR CONNECTICUT, BY THE COUNCIL ON SOIL AND WATER CONSERVATION, 1985, REVISED TO 2002.

The purpose of this project is to construct new self-storage buildings to the rear of the existing development on this parcel. These buildings will not be serviced by water or public sewer and will utilize the existing curb cut on West Road (Route 83).

Construction activities shall commence with the installation of the construction entrance followed by tree cutting. Sedimentation barriers shall be installed prior to stumping.

Installation of the drainage structures, and piping shall proceed as the construction schedule allows. Leave grade 6" below catch basin tops to prevent silt laden runoff from entering the drainage system.

Completion of storm drainage is to be followed by placing processed gravel, and final grading of the paved areas. All erosion control measures shall be maintained and upgraded as needed until stable vegetative growth has been established. At all times erosion of exposed and stockpiled materials shall be prevented using measures specified in these plans. Once the site is stabilized, sediment within the drainage system will be removed.

Proposed soil erosion and sediment control measures were designed using criteria set forth by the "Connecticut Guidelines for Soil Erosion and Sediment Control", revised to 2002.

SPECIES	LBS/ACRE	LBS/1000SF	SEEDING DATES
ANNUAL RYEGRASS	40	1.0	3/1-6/15, 8/1-10/15
WINTER RYE	120	3.0	4/15-7/1, 8/15-10/15
SUDANGRASS	30	0.7	5/15-8/1

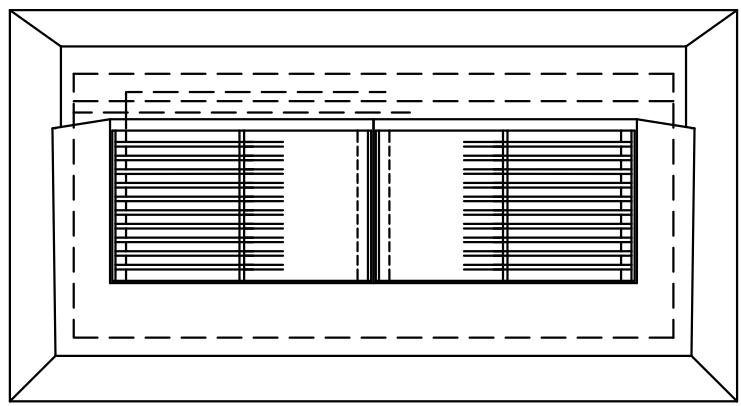
TEMPORARY SEEDING IS NOT LIMITED TO THE SPECIES SHOWN. OTHER SPECIES RECOMMENDED BY THE SCS OR AS LIMITED BY SITE CONDITIONS MAY BE USED.

STRAW MULCH IS TO BE APPLIED TO SEEDED AREA AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE, 70 TO 90 LBS. PER 1000 SQ. FT.

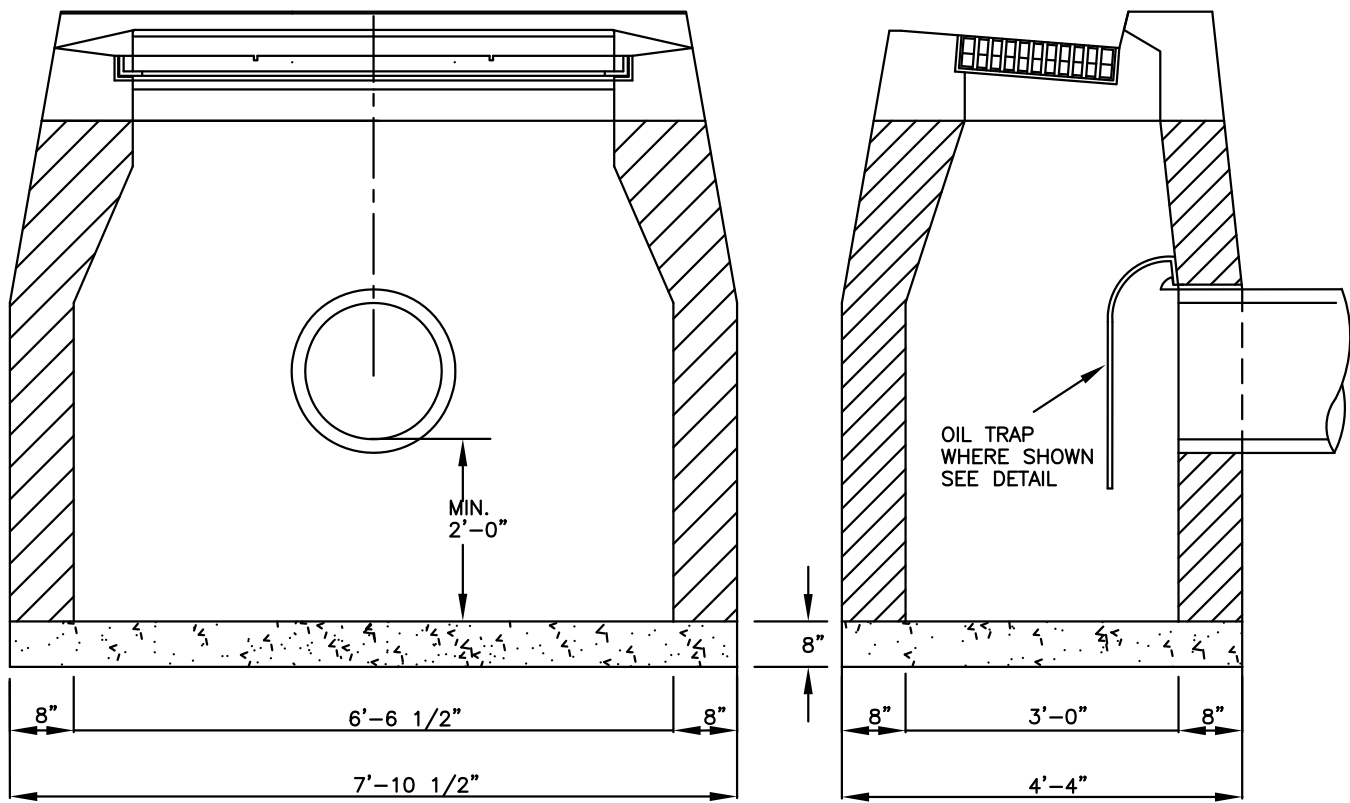
PROVIDE 4 INCHES OF TOPSOIL MINIMUM, FREE OF ROOTS, LARGE STONES, AND OTHER OBJECTS.

SPECIES	LBS/ACRE	LBS/1000SF	SEEDING DATES
KENTUCKY BLUEGRASS	20	0.45	4/1-6/15, 8/15-10/
CREeping RED FESCUE	20	0.45	4/1-6/15, 8/15-10/
PERENNIAL RYEGRASS	5	0.10	4/1-6/15, 8/15-10/
TOTAL	45	1.00	

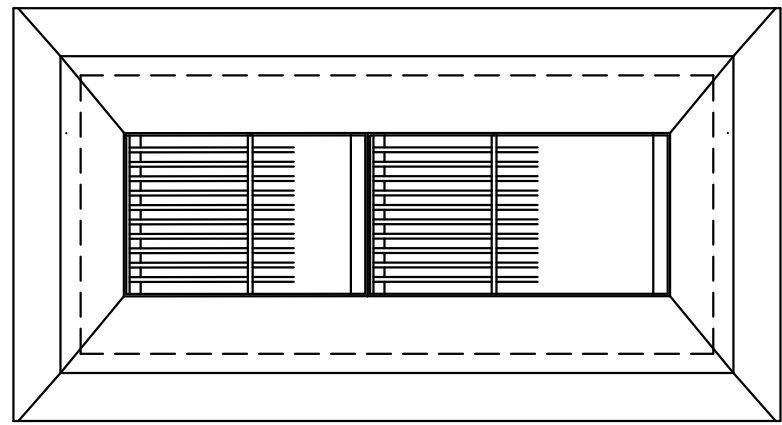
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PROFESSIONAL ENGINEERS		LAND SURVEYORS		
BY	SCALE	DATE	SHEET NO.	MAP NO.
E.R.P.	N.T.S.	10-02-2023	7 OF 8	11166A



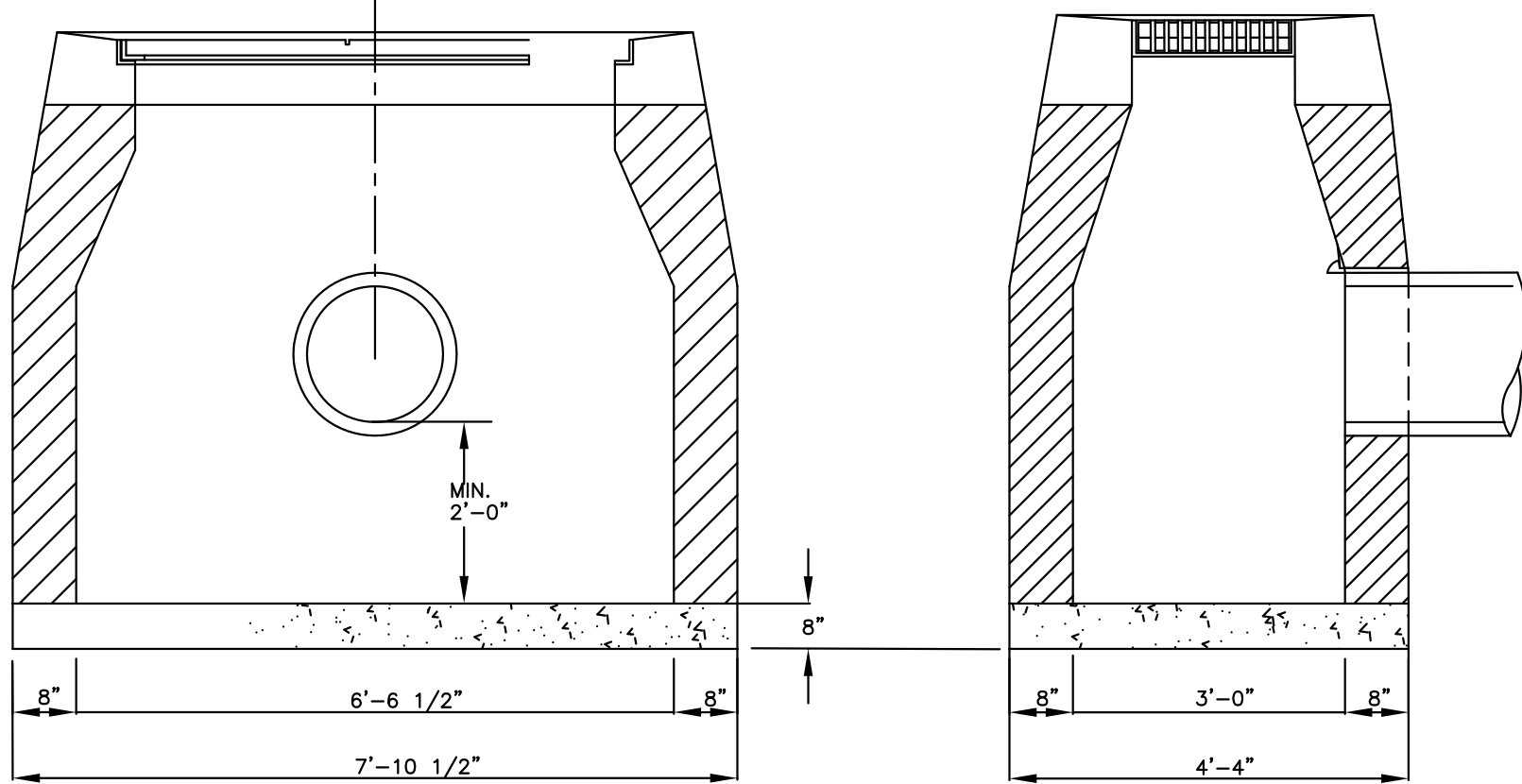
- NOTES:
1. TYPE 'C' CATCH BASIN TOPS SHALL CONFORM TO CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION M. 08. 02-4.
 2. STRUCTURE TO BE PRECAST CLASS 'F' CONCRETE, OR MASONRY CONCRETE UNITS. WHERE MASONRY CONCRETE UNITS ARE USED CORBELLING WILL BE PERMITTED. MAXIMUM CORBEL TO BE 3".
 3. SUMPS TO BE PRECAST CONCRETE OR CONSTRUCTED ON A CONCRETE SLAB. WHERE PRECAST UNIT IS USED FOR SUMP, THE TOP OF THE UNIT SHALL BE AT LEAST 6" BELOW THE BOTTOM OF THE PIPE OUTLETING FROM THE CATCH BASIN.
 4. WHERE CATCH BASIN IS CONSTRUCTED ON A SLOPE, GUTTER TO MATCH PAVEMENT SLOPE.



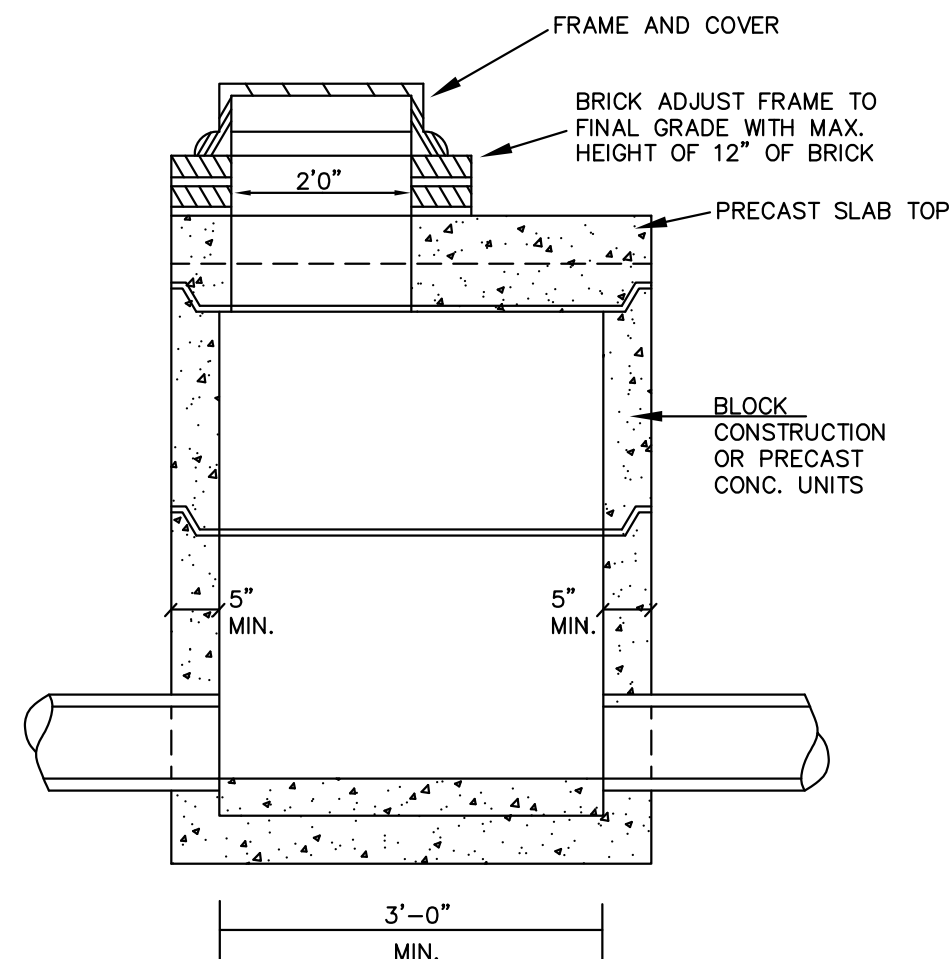
DOUBLE TYPE "C" CATCH BASIN TYPE II



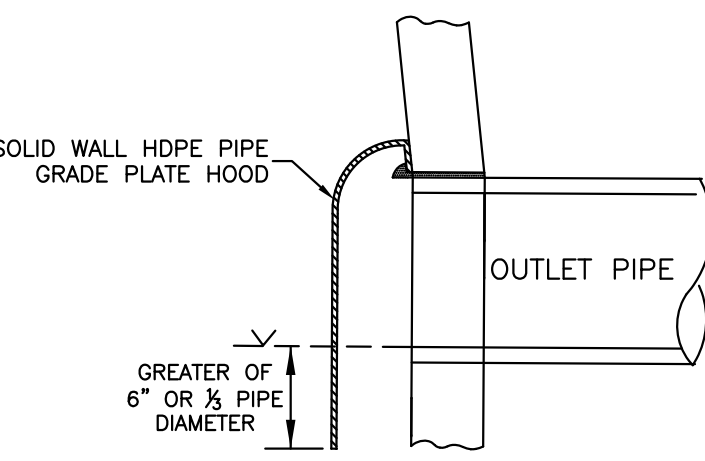
- NOTES:
1. TYPE II 'C-L' CATCH BASIN TOPS SHALL CONFORM TO CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION M. 08. 02-4.
 2. STRUCTURE TO BE PRECAST CLASS 'F' CONCRETE, OR MASONRY CONCRETE UNITS. WHERE MASONRY CONCRETE UNITS ARE USED CORBELLING WILL BE PERMITTED. MAXIMUM CORBEL TO BE 3".
 3. SUMPS TO BE PRECAST CONCRETE OR CONSTRUCTED ON A CONCRETE SLAB. WHERE PRECAST UNIT IS USED FOR SUMP, THE TOP OF THE UNIT SHALL BE AT LEAST 6" BELOW THE BOTTOM OF THE PIPE OUTLETING FROM THE CATCH BASIN.
 4. WHERE CATCH BASIN IS CONSTRUCTED ON A SLOPE, GUTTER TO MATCH PAVEMENT SLOPE.
 5. INSTALL AT CB 6, 8 & 12.



DOUBLE CATCH BASIN C-L TYPE II

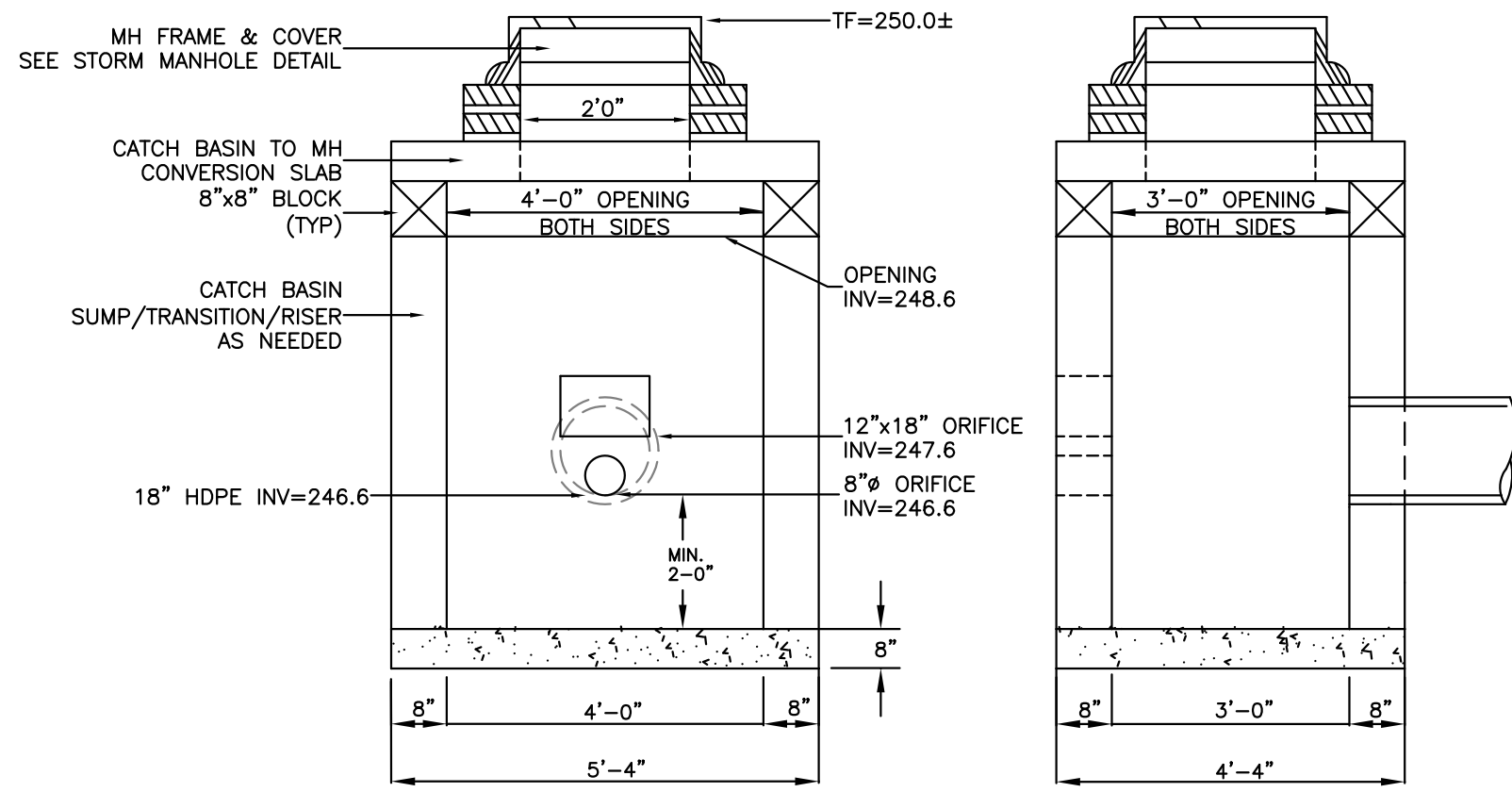


STORM MANHOLE

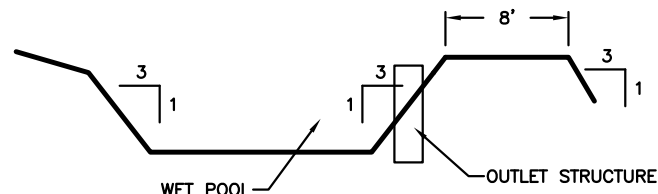


CATCH BASIN HOOD DETAIL
(LOCATED IN CB 3)

- NOTES:
1. STRUCTURE SHALL CONFORM TO CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION M. 08. 02-4.
 2. STRUCTURE TO BE PRECAST CLASS 'F' CONCRETE, OR MASONRY CONCRETE UNITS. WHERE MASONRY CONCRETE UNITS ARE USED CORBELLING WILL BE PERMITTED. MAXIMUM CORBEL TO BE 3".

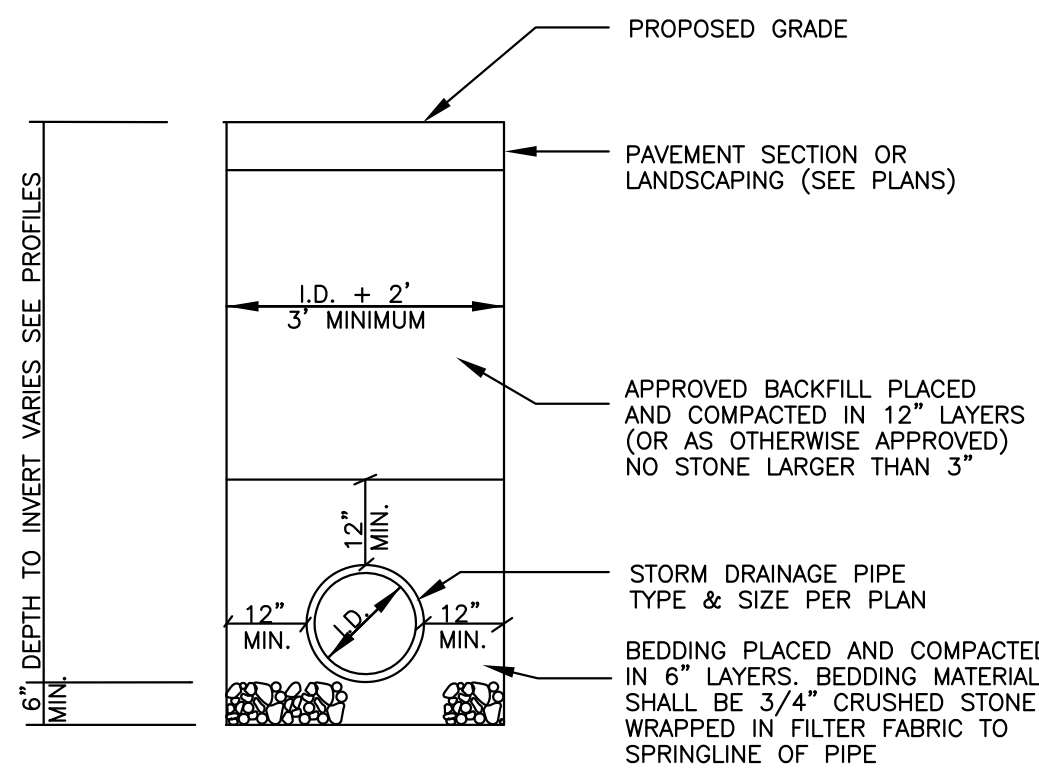


OUTLET STRUCTURE #4



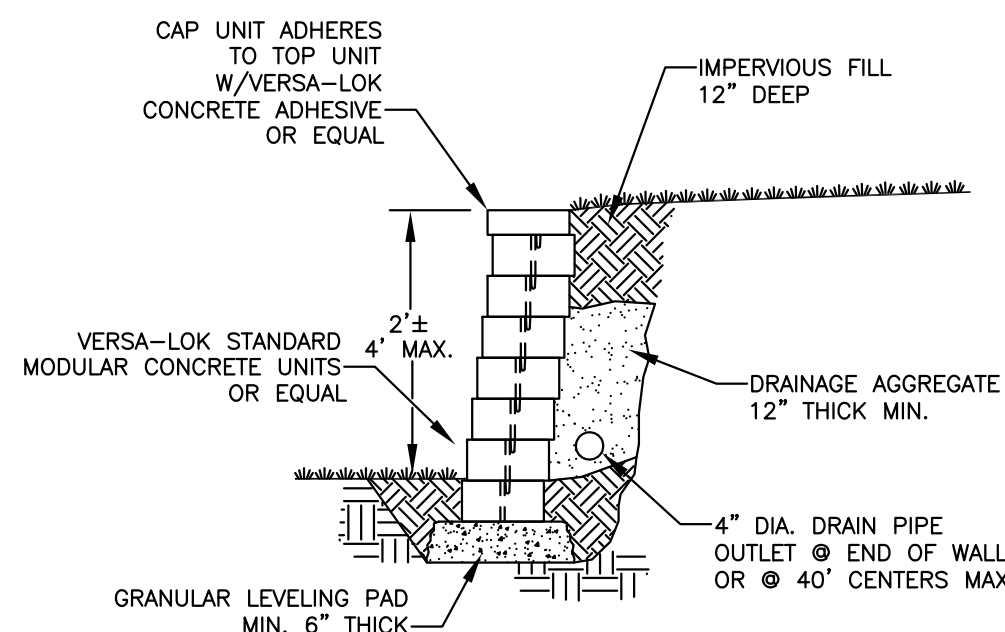
- NOTES:
1. EARTH EMBANKMENTS SHALL BE NATIVE TILL MATERIAL, FREE OF ROOTS, WOODY VEGETATION, STUMPS, SOIL, OR ORGANIC MATERIAL. THE MATERIAL SHALL HAVE NO STONES LARGER THAN 6-INCHES AND NO STONES LARGER THAN 3-INCHES WITHIN TWO-FEET OF THE INLET OR OUTLET. AREAS ON WHICH FILL IS TO BE PLACED SHALL BE SCARIFIED PRIOR TO PLACEMENT OF FILL.
 2. SIDE SLOPES AND BERM TO BE SEEDS AS SPECIFIED ON THESE PLANS.

STORMWATER BASIN DETAIL

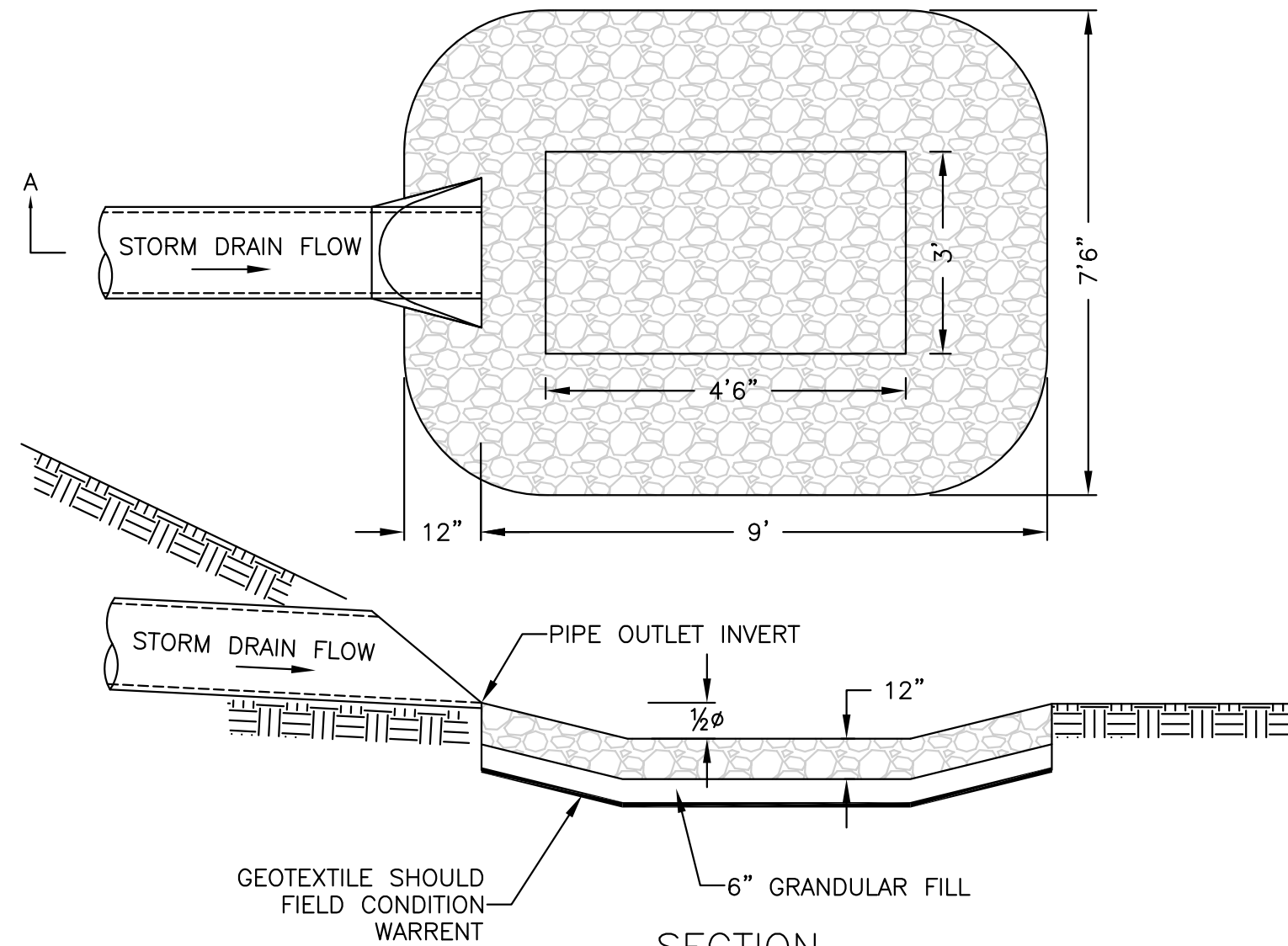


STORM DRAIN TRENCH DETAIL

- NOTES:
1. HOOD SHALL BE HDPE CATCH BASIN HOOD OR EQUAL.
 2. HOOD SHALL BE FABRICATED TO FIT SHAPE OF THE STRUCTURE.
 3. HOOD SHALL BE SEALED TO THE STRUCTURE WITH AN OIL RESISTANT FOAM GASKET.
 4. VENT HOLES SHALL BE INSTALLED ON THE TOP OF THE HOOD TO PROVIDE AIR FLOW INTO PIPE.
 5. HOOD SHALL BE INSTALLED TO THE STRUCTURE WITH STAINLESS STEEL ANCHOR STUDS AND NUTS AN AS ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.



TYPICAL SECTION-UNREINFORCED RETAINING WALL



PREFORMED RIPRAP SCOUR HOLE

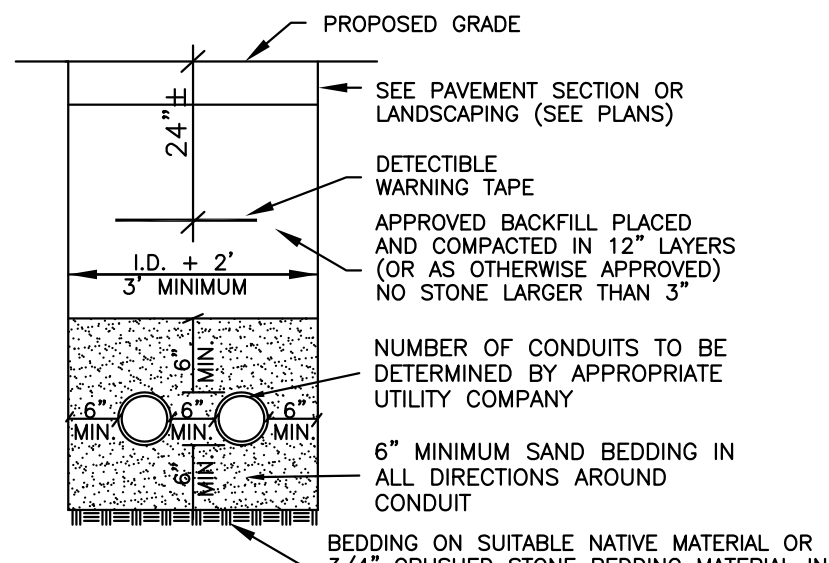
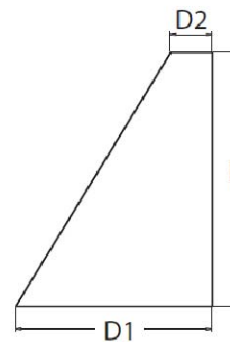
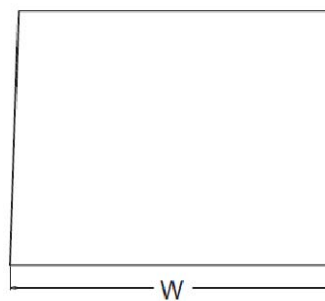


WDGE2 LED
Architectural Wall Sconce
Precision Refractive Optic

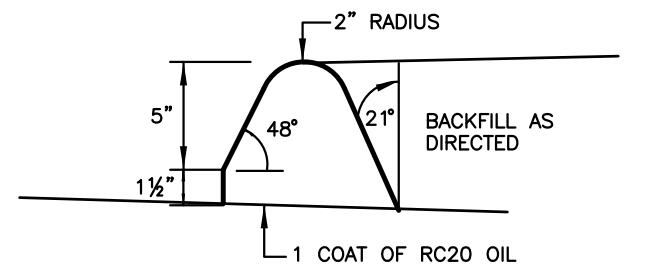


Specifications

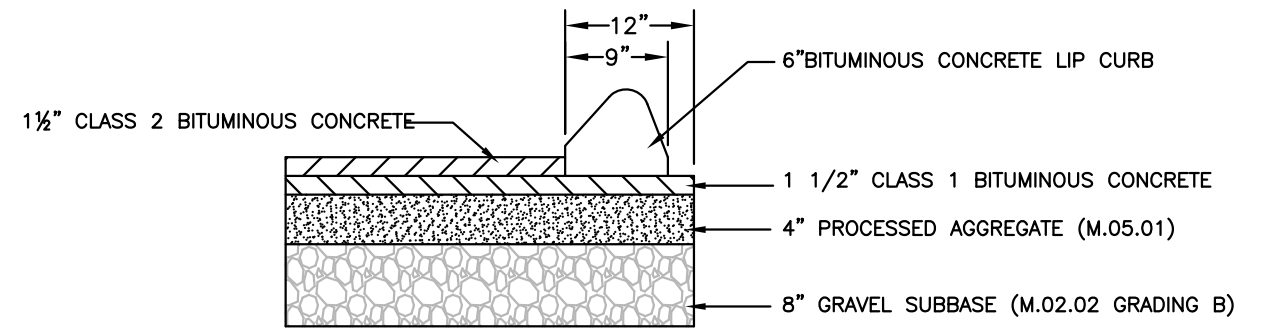
Depth (D1): 7"
Depth (D2): 1.5"
Height: 9"
Width: 11.5"
Weight: 13.5 lbs
(without options)



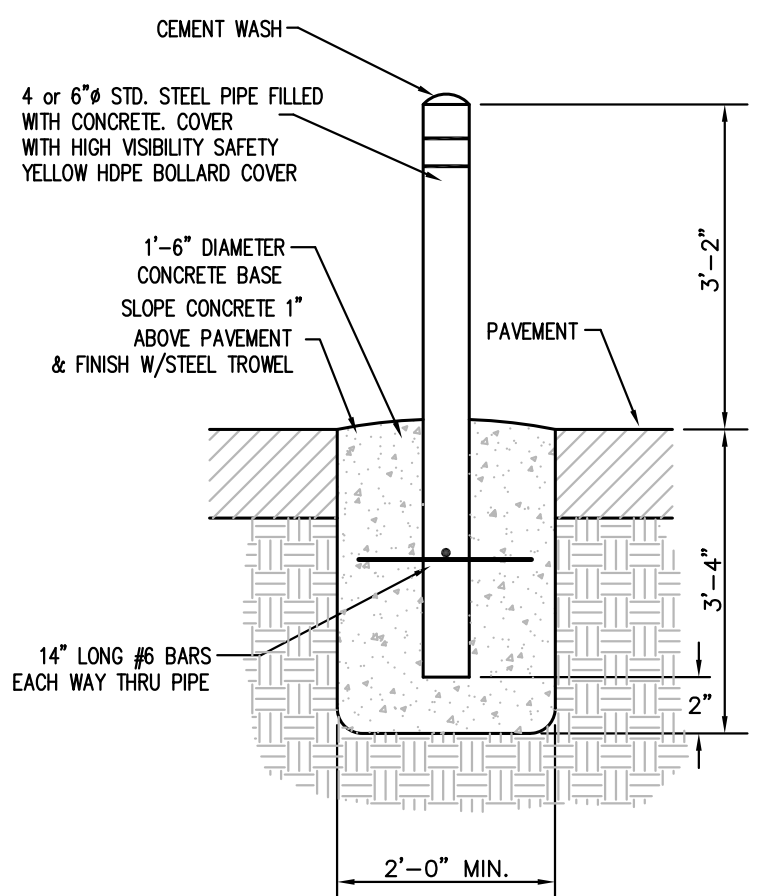
CONDUIT TRENCH DETAIL



BITUMINOUS CONCRETE LIP CURB



BITUMINOUS PAVEMENT CROSS SECTION



BOLLARD DETAIL

SITE CONSTRUCTION DETAILS

SITE PLAN
LAND OF
STICK IT HERE STORAGE, LLC
25 WEST ROAD
ELLINGTON, CONNECTICUT
GARDNER & PETERSON ASSOCIATES, LLC

178 HARTFORD TURNPIKE
TOLLAND, CONNECTICUT

PROFESSIONAL ENGINEERS LAND SURVEYORS

BY	SCALE	DATE	SHEET NO.	MAP NO.
E.R.P.	N.T.S.	10-02-2023	8 OF 8	11166A



STATE OF CONNECTICUT – COUNTY OF TOLLAND
INCORPORATED 1786

TOWN OF ELLINGTON

55 MAIN STREET – PO BOX 187
ELLINGTON, CONNECTICUT 06029-0187
www.ellington-ct.gov

TEL. (860) 870-3120 TOWN PLANNER'S OFFICE FAX (860) 870-3122

INLAND WETLANDS AGENCY REGULAR MEETING MINUTES MONDAY, OCTOBER 16, 2023, 7:00 P.M.

IN PERSON ATTENDANCE: TOWN HALL ANNEX, 57 MAIN STREET
REMOTE ATTENDANCE: ZOOM MEETING
(ATTENDEES BELOW WERE IN PERSON UNLESS OTHERWISE NOTED)

PRESENT: Chairman Jean Burns, Vice Chairman Katherine Heminway, Regular members Art Aube, Ken Braga, Steve Hoffman, Ron Brown and Alternate Ryan Orszulak

ABSENT: Regular member Hocine Baouche and Alternate Jon Kaczmarek

STAFF

PRESENT: John Colonese, Assistant Town Planner/Wetland Enforcement Officer and Barbra Galovich, Land Use Assistant/Recording Clerk

I. CALL TO ORDER: Chairman Jean Burns called the Ellington Inland Wetlands Agency meeting to order at 7:15 pm.

II. PUBLIC COMMENTS (on non-agenda items): None

III. PUBLIC HEARINGS:

1. IW202315 – Beth Gottier, owner/ Bruce Gottier, applicant, request for a permit to conduct regulated activity to demolish and reconstruct a home on the existing foundation adding an attached garage and associated improvements at 14 Private Grounds 1, APN 148-062-0000.

Time: 7:15 pm

Seated: Burns, Heminway, Aube, Braga, Hoffman, Brown and Orszulak

Beth Gottier, 244 Windsorville Road, and Bruce Gottier, 101 Webster Road, were present to represent the application.

Beth distributed revised plans to the members of the Agency. Commissioner Hoffman asked if there is a grinder pump on the site. Bruce Gottier stated his brother went out to the site and didn't see any components of a grinder pump. Bruce noted the property elevation is higher than other properties on the street and this could be the reason there isn't a grinder pump on site.

Beth Gottier stated the plan is to tear down the existing dwelling, rebuild on the original foundation and add a garage. They will create a small swale along the north and south side of the property to help alleviate sheet flow to abutting neighbors. Bruce Gottier noted silt fence will be installed around the property and will be about 15-20 feet away from the lake.

John Colonese read Tom Modzelewski, Director of Public Works, comments, "Please note there appears to be an additional sewer lateral in the location of the proposed driveway. If the area is to be paved, be aware that future excavation may be necessary to access the lateral. Additionally, if anything is to be modified related to the grinder pump, the WPCA must be notified."

John Colonese noted a letter from David Arzt, 24 Private Grounds, Ellington, CT dated September 27, 2023, was received in the Planning Office. John read a portion of the letter as follows, "I feel the following stipulations should be added to the development permit to safeguard the adjacent areas and the water quality of Crystal Lake. 1) Presently no storm water runoff from 14 Private Grounds enters the Private Grounds roadway. This condition should be maintained with no water from the site entering the roadway. 2) Storm water runoff from the site should not be allowed to discharge onto the abutting properties. 3) The storm water runoff from the site should be cleaned prior to being discharged to Crystal Lake by a grass swale or other method as directed by the Inland Wetlands Agency. 4) Best management practices for water quality should be enacted during and after construction to safeguard the lake." John stated the Agency can address some of these concerns by conditioning the permit approval. No one from the public commented on the application.

MOVED (BROWN) SECONDED (HOFFMAN) AND PASSED UNANIMOUSLY TO MAKE A DETERMINATION OF A NON-SIGNIFICANT ACTIVITY FOR IW202315.

MOVED (HEMINWAY) SECONDED (HOFFMAN) AND PASSED UNANIMOUSLY TO CLOSE THE PUBLIC HEARING FOR IW202315 – Beth Gottier, owner/ Bruce Gottier, applicant, request for a permit to conduct regulated activity to demolish and reconstruct a home on the existing foundation adding an attached garage and associated improvements at 14 Private Grounds 1, APN 148-062-0000.

MOVED (HEMINWAY) SECONDED (BRAGA) AND PASSED UNANIMOUSLY TO APPROVE WITH CONDITION(S) IW202315 – Beth Gottier, owner/ Bruce Gottier, applicant, request for a permit to conduct regulated activity to demolish and reconstruct a home on the existing foundation adding an attached garage and associated improvements at 14 Private Grounds 1, APN 148-062-0000.

Condition(s):

1. **Silt fence shall be installed then inspected by the wetlands agent prior to activity and remain operational until the site is stabilized.**
 2. **Establish grass swales along the northern and southern property boundaries.**
2. IW202316 – MCC Lake Properties Trust, owner/applicant, request for a permit to conduct regulated activity to construct a wall along the lake edge at 28 East Shore Road, APN 169-035-0000.

Time: 7:16 pm

Seated: Burns, Heminway, Aube, Braga, Hoffman, Brown and Orszulak

Mark Peterson, Gardner & Peterson Associates, LLC. 178 Hartford Turnpike, Tolland, CT, Matthew Couzens, 28 East Shore Road, and Chuck Crary (via Zoom), True North Stoneworks, LLC, 207 Battle Street, Somers, CT were present to represent the application.

Mark Peterson stated the property owners would like to construct a field stone wall along Crystal Lake. Currently the slope abutting the lake has rip rap stone stabilization, which is rolling into the lake and there is a small timber rail that sits on the ground dividing a pea stone sitting

area/walkway from the rip rap. Mark explained True North Stoneworks of Somers, CT will be removing the existing timber rail, removing some of the rip rap on the slope and within the lake, constructing the new wall by hand using locally sourced fieldstone, and installing fabric above the existing fill and rip rap and then pea stone on top of the fabric.

Chuck Crary stated they will be building on top of the existing rip rap wall and cleaning up the area. A bobcat or mini excavator will be used to carry the material down to the staging area and any excess material will be removed from the site.

Matthew Couzens spoke with a neighbor, which is in support of the project. Commissioner Hoffman prefers the stone rather than pressure treated wood for the wall. Commissioner Brown asked if any work would be occurring in the lake. Matthew Couzens replied that individuals may be in the lake with waders and moving existing stones that already are on the property. Commissioner Braga confirmed that some stone will be from the site, and some will be imported, and that the wall will be built by hand. Commissioner Hoffman asked Chairman Burns if the lake levels shift, Chairman Burns replied, not much since the dam was fixed.

Commissioner Hoffman asked the applicant what the target start date for the project. Matt Couzens relied, this November and Chuck Crary noted the project should be done within two weeks. Commissioner Braga inquired about the construction of the wall. Chuck Crary explained the wall will be 3 feet in height, 3 feet in depth, and water will be able to filter through. No one from the public commented on the application.

MOVED (BRAGA) SECONDED (HEMINWAY) AND PASSED UNANIMOUSLY TO MAKE A DETERMINATION OF A SIGNIFICANT ACTIVITY FOR IW202316.

MOVED (AUBE) SECONDED (HEMINWAY) AND PASSED UNANIMOUSLY TO CLOSE THE PUBLIC HEARING FOR IW202316 – MCC Lake Properties Trust, owner/applicant, request for a permit to conduct regulated activity to construct a wall along the lake edge at 28 East Shore Road, APN 169-035-0000.

MOVED (HEMINWAY) SECONDED (HOFFMAN) AND PASSED UNANIMOUSLY TO APPROVE WITH CONDITION(S) IW202316 – MCC Lake Properties Trust, owner/applicant, request for a permit to conduct regulated activity to construct a wall along the lake edge at 28 East Shore Road, APN 169-035-0000.

Condition(s):

- 1. Silt fence shall be installed around the staging area then inspected by the wetlands agent prior to activity and remain operational until the site is stabilized.**
3. IW202317 – Walter Carlson, owner/ Tracy French, applicant, request for a wetlands map amendment for property on Lower Butcher Road, APN 018-020-0001.

Time: 7:33 pm

Seated: Heminway, Aube, Braga, Hoffman, Brown and Orszulak

Chairman Jean Burns recused from being seated for the application.

Mark Reynolds, 68 Bogg Lane, Lebanon, CT was present to represent the application.

Mark Reynolds explained documentation submitted for this application was also provided by George Logan, Soil Scientist, and Jim Dutton, Dutton Associates, LLC. Mark said the applicant is looking for a map amendment and subdivision approval to construct a racquet club facility which will be constructed on 4.6 acres of the 14.6+/- parcel. Mark reviewed the site location and areas of wetlands on the property. John Colonese referred to an email from George Logan, dated October 16, 2023, stating, "I am in receipt of two stamped (electronically) existing conditions plans from Mark Reynolds, with Dutton Associates, LLC, dated 9/4/23, which show the in-field delineation of the wetland boundary by our office conducted in April 2021. In comparing these plans with previous one generated by DPI, of South Windsor, dated 5/20/21. I find that the wetland boundaries depicted on both plans are essentially the same, and accurately represent the wetland delineation." John explained the plan shows the proposed activity outside of the wetlands upland review area and if the map amendment is approved, the Agency may not require a wetlands permit.

John Pare, 238 Jobs Hill Road, owns property at 72 Windermere Avenue, where he is currently having issues with water settling in the front yard. John is concerned about the functioning of the proposed detention basin. John Colonese said the applicant has made an application to the Planning and Zoning Commission and the Town Engineer will review the drainage for the proposed development.

MOVED (BRAGA) SECONDED (AUBE) AND PASSED UNANIMOUSLY TO CLOSE THE PUBLIC HEARING FOR IW202317 – Walter Carlson, owner/ Tracy French, applicant, request for a wetlands map amendment for property on Lower Butcher Road, APN 018-020-0001.

MOVED (HOFFMAN) SECONDED (BRAGA) AND PASSED UNANIMOUSLY TO APPROVE IW202317 – Walter Carlson, owner/ Tracy French, applicant, request for a wetlands map amendment for property on Lower Butcher Road, APN 018-020-0001. **MAP AMENDMENT EFFECTIVE DATE: OCTOBER 18, 2023**

APPROVAL BASED ON:

1. Existing Conditions Plan, Ellington Raquet Club, Parcel 018-020-0001 Lower Butcher Road by Dutton Associates, LLC, Date: 9/04/23 Revision 10/13/23.
2. Wetlands Delineation Report by REMA Ecological Services dated July 25, 2023.

IV. OLD BUSINESS: None

V. NEW BUSINESS:

1. Walter Carlson, owner/ Tracy French, applicant, request for positive referral to the Planning & Zoning Commission on a 2-lot subdivision (S202303) pursuant to Conn. Gen. Stat. 8-26(e) for property on Lower Butcher Road, APN 018-020-0001.

Chairman Jean Burns recused from being seated for the request.

Mark Reynolds, 68 Bogg Lane, Lebanon, CT was present to represent the request for a positive referral to the Planning & Zoning Commission.

Mark Reynolds stated the applicant will be requesting a two-lot subdivision, 4.6 acres of the property will be developed and the remaining 10 +/- acres will remain farmland. There will be minimal grading considering the portion of the property to be developed is relatively flat, and a 330'x130' building with a detention area of roughly an acre. Mark explained additional grass within

the 4.6 acres will help with drainage and runoff. Mark reiterated that all the proposed grading and activity will be outside of the upland review area.

MOVED (BRAGA) SECONDED (HOFFMAN) AND PASSED UNANIMOUSLY TO GRANT A POSITIVE REFERRAL TO THE PLANNING & ZONING COMMISSION FOR Walter Carlson, owner/ Tracy French, applicant, request for positive referral to the Planning & Zoning Commission on a 2-lot subdivision (S202303) pursuant to Conn. Gen. Stat. 8-26(e) for property on Lower Butcher Road, APN 018-020-0001.

2. James Persano & Susan Haight, owners/ Gardner & Peterson Assoc. LLC, applicant, request for positive referral to the Planning & Zoning Commission on a 1-lot subdivision (S202302) pursuant to Conn. Gen. Stat. 8-26(e) for property on Jobs Hill Road, APN 139-019-0000.

Mark Peterson, Gardner & Peterson Associates, LLC. 178 Hartford Turnpike, Tolland, CT was present to represent the application.

Mark Peterson explained the applicant is looking for a positive referral to the Planning & Zoning Commission for a one lot subdivision to construct a single-family dwelling. Mark noted the parcel is over six acres and Soil Scientist, Rick Zulick, determined there are no wetland soils within 100 feet of the proposed activity.

MOVED (HOFFMAN) SECONDED (BRAGA) AND PASSED UNANIMOUSLY TO GRANT A POSITIVE REFERRAL TO THE PLANNING & ZONING COMMISSION FOR James Persano & Susan Haight, owners/ Gardner & Peterson Assoc. LLC, applicant, request for positive referral to the Planning & Zoning Commission on a 1-lot subdivision (S202302) pursuant to Conn. Gen. Stat. 8-26(e) for property on Jobs Hill Road, APN 139-019-0000.

3. IW202313 – David Pechie, owner/ Gardner & Peterson Assoc. LLC, applicant, request for a permit to conduct regulated activity to construct a garage, driveway, and associated improvements at 81 Shenipsit Street, APN 030-002-0000.

Mark Peterson, Gardner & Peterson Associates, LLC. 178 Hartford Turnpike, Tolland, CT was present to represent the application.

Mark Peterson showed the location of the parcel and explained the Agency granted a permit in October 2010 to replace the existing septic system. The wetlands were delineated at that time by John Ianni, Soil Scientist. There is also an existing house and well on the property and the applicant would like to construct an attached garage and breezeway to the house. The applicant recently received a variance from the Zoning Board of Appeals and approval from North Central District Health Department for the project.

Commissioner Hoffman asked if the garage would have any plumbing. Mark Peterson stated that the garage will not have plumbing and it will be constructed on a concrete slab. The site grading will be within the upland review area.

MOVED (BRAGA) SECONDED (AUBE) AND PASSED UNANIMOUSLY TO APPROVE WITH CONDITION(S) IW202313 – David Pechie, owner/ Gardner & Peterson Assoc. LLC, applicant, request for a permit to conduct regulated activity to construct a garage, driveway, and associated improvements at 81 Shenipsit Street, APN 030-002-0000.

Condition(s):

1. Erosion control measures shall be installed then inspected by the Wetlands agent prior to activity and remain operational until the site is stabilized.
4. IW202314 – Town of Ellington, owner/applicant, request for a permit to conduct regulated activity to construct a solar carport and associated improvements at 33 Main Street (aka 33 Arbor Way), APN 064-020-0000.

James Ussery, J.R. Russo and Associates, LLC, One Shoham Road, East Windsor, CT was present to represent the application on behalf of the Public Works Department.

James Ussery stated the Town is seeking a wetlands permit to construct a 3,080 square foot solar carport area for police vehicles to the rear of the fire house. There is a berm adjacent to the parking area that was created many years ago. The carport will be 77'x40', which will include two dual electric vehicle charging stations and be equipped with solar panels to generate electricity that will be connected to the Recreation Department building. The roof runoff from the carport will be collected and piped to the existing parking lot drainage system. James explained the proposed carport will be in an area that has all been previously disturbed. A wetland area was delineated to the north of the proposed project by Soil Scientist, Rick Zulick, which was surveyed and shown on the submitted plan. The proposed project will result in approximately 10,540 square feet of disturbance within the upland review area.

James Ussery described the steps that will be taken to construct the carport, and showed the areas that will be disturbed within the parking lot. Erosion control measures will include perimeter sediment barriers installed downgradient of the proposed work area and the installation of silt sacks in nearby catch basins in the parking lot. The Town has received a grant for the design-build project.

MOVED (BRAGA) SECONDED (AUBE) AND PASSED UNANIMOUSLY TO APPROVE WITH CONDITION(S) IW202314 – Town of Ellington, owner/applicant, request for a permit to conduct regulated activity to construct a solar carport and associated improvements at 33 Main Street (aka 33 Arbor Way), APN 064-020-0000.

Condition(s):

1. Erosion control measures shall be installed then inspected by the Wetlands agent prior to activity and remain operational until the site is stabilized.
5. IW202318 – Stick It Here Storage, LLC, owner/applicant, request for a permit to conduct regulated activity to construct buildings, driveways, and associated improvements for a self-storage facility at 25 West Road, APN 019-180-0000.

The Agency had a brief discussion and determined the application will not require a public hearing for next month's meeting.

BY CONSENSUS, THE AGENCY RECEIVED AND SCHEDULED FOR THE NOVEMBER 13, 2023, REGULAR MEETING UNDER NEW BUSINESS IW202318 – Stick It Here Storage, LLC, owner/applicant, request for a permit to conduct regulated activity to construct buildings, driveways, and associated improvements for a self-storage facility at 25 West Road, APN 019-180-0000.

VI. ADMINISTRATIVE BUSINESS:

1. Approval of the September 18, 2023, Regular Meeting Minutes.

MOVED (BRAGA) SECONDED (AUBE) AND PASSED UNANIMOUSLY TO APPROVE THE SEPTEMBER 18, 2023, REGULAR MEETING MINUTES AS WRITTEN.

2. Correspondence/Discussion:

- a. FEMA draft data review notice to Town of Ellington dated September 27, 2023, in the Thames and Shetucket Watersheds.

John Colonese attended a Federal Emergency Management Agency (FEMA) work map meeting on June 20, 2023, and then worked with the town's GIS consultant to overlay FEMA draft map data on an aerial view around Crystal Lake (the Thames and Shetucket Watershed in Ellington is generally east of Crystal Lake School). Upon a cursory review of the draft map some properties may now have a Special Flood Hazard Area designation. This information has been sent to the Town Engineer for review. Additional information from FEMA will be forwarded to the Wetlands Agency as it becomes available.

- b. 133 & 135 West Road – Drainage Swale Between Properties.

John Colonese stated there was emergency maintenance dredging of a drainage swale between 133 & 135 West Road that was recently completed. Connecticut Department of Transportation notified both owners that stormwater runoff was flowing out of the swale onto West Road, Route 83. The work was completed quickly with minimal disturbance to protect the properties, the state road and right-of-way.

VII. ADJOURNMENT:

MOVED (BRAGA) SECONDED (HEMINWAY) AND PASSED UNANIMOUSLY TO ADJOURN THE OCTOBER 16, 2023, REGULAR MEETING OF THE INLAND WETLANDS AGENCY AT 8:37 PM.

Respectfully submitted,

Barbra Galovich, Recording Clerk



STATE OF CONNECTICUT – COUNTY OF TOLLAND
INCORPORATED 1786

TOWN OF ELLINGTON

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INLAND WETLAND AGENCY DRAFT - 2024 MEETING SCHEDULE

All meetings are held in the Town Hall Annex at 7:00 PM

1/22

2/12

3/11

4/08

5/13

6/10

7/08

8/12

9/23

10/21

11/18

12/09