



**ADDENDUM NO. 01_DRAFT
To Drawings and Specifications dated 8/11/23**

Date: September 1, 2023

PROJECT: **Schmitt Elementary School HVAC Upgrade & Modernization
A#04-121817**
Westminster School District

PROJECT LOCATION: 7200 Trask Ave.
Westminster, CA 92683

PROJECT ARCHITECT PBK Architects
2400 E. Katella Ave., Ste 950
Anaheim, CA 92806

This Addendum forms a part of the Contract Documents. It modifies the original Project Manual and Drawings, as well as any Addendum previously issued, as noted below. Bidders are required to acknowledge receipt of this Addendum in the space provided in the proposal form. Failure to acknowledge receipt of each addendum may subject bidder to disqualification.

Drawings:

Item No. 1-01: G1 SHEET INDEX, DRAWING CONVENTIONS, & LOCATION MAP

1. Remove roofing scope of work from project per revised SCOPE OF WORK descriptions.

Item No. 1-02: D1.1 DEMO FLOOR PLANS ADMIN/KINDER, BLDG A, B, & C

1. Detail 30 Demo Floor Plan Admin/Kindergarten
 - a. Demo existing restrooms in Kindergarten K-1. Prepare for new.
 - b. Demo existing restrooms in Kindergarten K-2. Prepare for new.

Item No. 1-03: D2.1 DEMO REFLECTED CEILING PLANS ADMIN/KINDER, BLDG A, B, & C

1. Detail 30 Demo RCP Admin/Kindergarten
 - a. Demo existing gypsum board ceiling in Kindergarten K-1 restrooms. Prepare for new.
 - b. Demo existing gypsum board ceiling in Kindergarten K-2 restrooms. Prepare for new.



Item No. 1-04: A1.01 FLOOR PLANS ADMIN/KINDER, BLDG A, B, & C

1. Detail 29 Floor Plan Admin/Kindergarten
 - a. At Kindergarten K-1, add new kinder toilet K-1A, K-1B, and Storage K-1C.
 - b. At Kindergarten K-2, add new kinder toilet K-2A, K-2B, and Storage K-2C.

Item No. 1-05: A2.01 REFLECTED CEILING PLANS ADMIN/KINDER, BLDG A,B,&C

1. Detail 29 RCP Admin/Kindergarten
 - a. At Kindergarten K-1, add new kinder toilet K-1A, K-1B, and Storage K-1C.
 - b. At Kindergarten K-2, add new kinder toilet K-2A, K-2B, and Storage K-2C.

Item No. 1-06: A3.01 OVERALL ROOF PLAN AND DETAIL

1. Remove details 2, 8, 14, 20, 21, and 27 in their entirety.
2. Revise details 19, 20, 25, and 26 to remove roofing scope.

Item No. 1-07: A3.02 ROOF PLAN

1. Detail 6, Enlarged Roof Plan
 - a. Remove detail references for skylight infill. Existing skylights to remain.

Item No. 1-08: A4.01 BUILDING SECTIONS

1. Detail 2, Bldg Kinder Section A
 - a. Revise section to show new kinder restrooms.
 - b. Remove roofing scope.
2. Detail 6, Bldg Admin/Kindergarten Section B
 - a. Revise section to show new kinder restrooms.
 - b. Remove roofing scope.
3. Detail 8, Bldg Admin Section A
 - a. Remove roofing scope.
4. Detail 14, Bldg A Section A
 - a. Remove roofing scope.
5. Detail 18, Bldg A Section B
 - a. Remove roofing scope.
6. Detail 20, Bldg B Section A
 - a. Remove roofing scope.
7. Detail 24, Bldg B Section B
 - a. Remove roofing scope.



8. Detail 26, Bldg C Section A
 - a. Remove roofing scope.
9. Detail 30, Bldg C Section B
 - a. Remove roofing scope.

Item No. 1-09: A5.01 ENLARGED RESTROOM PLANS & INTERIOR ELEVATIONS

1. Detail 26, Kinder Toilet
 - a. Revise layout to include (2) accessible toilets per classroom and storage.
2. Detail 30, Elevations Kindergarten Toilet
 - a. Revise interior elevation.

Item No. 1-10: A6.01 EXTERIOR ELEVATIONS

1. Detail 4, Bldg Admin/Kindergarten North Elevation
 - a. Remove roofing scope.
2. Detail 6, Bldg Admin East Elevation
 - a. Remove roofing scope.
3. Detail 10, Bldg Admin Section A
 - a. Remove roofing scope.
4. Detail 12, Bldg Admin West Elevation
 - a. Remove roofing scope.
5. Detail 16, Bldg A North Elevation
 - a. Remove roofing scope.
6. Detail 18, Bldg A East Elevation
 - a. Remove roofing scope.
7. Detail 22, Bldg A South Elevation
 - a. Remove roofing scope.

Item No. 1-11: A6.02 EXTERIOR ELEVATIONS

1. Detail 4, Bldg B North Elevation
 - a. Remove roofing scope.
2. Detail 6, Bldg B East Elevation
 - a. Remove roofing scope.
3. Detail 10, Bldg B South Elevation
 - a. Remove roofing scope.
4. Detail 12, Bldg B West Elevation
 - a. Remove roofing scope.
5. Detail 15, Bldg C North Elevation
 - a. Remove roofing scope.
6. Detail 18, Bldg C East Elevation
 - a. Remove roofing scope.
7. Detail 21, Bldg C South Elevation
 - a. Remove roofing scope.



Item No. 1-12: A7.01 INTERIOR ELEVATIONS

1. Detail 6, Kindergarten K1 and K2
 - a. Revise interior elevation 6B.

Item No. 1-13: A9.01 DOOR SCHEDULE & WINDOWS FRAMING ELEVATION

1. Door Schedule
 - a. Add doors K1A-1, K1B-1, K2A-1, K2A-2, K2A-5, K2B-1.

Item No. 1-14: A10.01 FINISH PLANS AND SCHEDULE

1. Finish Schedule
 - a. Revise finishes in rooms K-1A, K-1B, K-2A, K-2B, K-2C.
2. Finish Floor Plan – Admin/Kindergarten
 - a. Revise finishes in rooms K-1A, K-1B, K-2A, K-2B, K-2C.

END OF ADDENDUM 01

ABBREVIATIONS			
A	A.D.	AREA DRAIN	M MEP
A	A.D.A.	AMERICANS WITH DISABILITIES ACT	M MEPT
A	A.D.A.	2010 ADA STANDARDS FOR ACCESSIBLE DESIGN	M MEZZ
A	A.D.A.A.G.	AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES	M MFR / MANUF.
A	A.F.F.	ABOVE FINISH FLOOR	M MH.
A	A.F.G.	ABOVE FINISH GRADE	M MIN.
A	A.H.J.	AUTHORITY HAVING JURISDICTION	M MISC.
A	A.C.	AIR CONDITIONING	M MOD
A	A.CC.	ACCESSIBLE, ACCESSIBILITY	M MTL
A	ACC.	ACOUSTICAL PANEL	M MTP
A	ADJ.	ADJUSTABLE	N N.D.
A	ALT.	ALTERNATE	N N.I.C.
A	ALUM.	ALUMINUM	N N.T.S.
A	ASPH.	ASPHALT	N N.V.
A	ANGLE		N NO.
			N NOM.
B	B.O.D.	BOTTOM OF DECK	O O.C.
B	B.U.R.	BUILT-UP ROOF	O O.C.E.W.
B	B.D.	BOARD	O O.D.
B	BLDG.	BUILDING	O O.F.C.I.
B	B.L.C.	BLOCK	O OWNER FURNISHED
B	BM.	BEAM	O OPPOSITE HAND
			O OPENING
			O OPP.
C	C	CHANNEL	P P.LAM /
C	C.J.	CONTROL JOINT	P PLAM
C	C.M.	CONCRETE MASONRY UNIT	P P.C.
C	C.W.	COLD WATER	P P.H.
C	CAB, CABT	CABINET	P P.L.
C	CFMF	COLD-FORMED METAL FRAMING	P P.P.
C	CFSF	COLD-FORMED STEEL FRAMING	P P.W.B.
C	CL	CENTERLINE	P P.L.
C	CLG.	CEILING	P PLUMB.
C	CLR.	CLEAR	P PLYWD.
C	COL.	COLUMN	P POL.
C	COMP.	COMPRESSIBLE	P PAIR
C	CONC.	CONCRETE	P PREFIN.
C	COND.	CONDITION	P PT
C	CONT.	CONTINUOUS	P PT.
C	CORR.	CORRIDOR	P PTD.
C	CPT.	CARPET (ED)	Q Q.T.
C	CT.	CERAMIC TILE	R R / RAD
C	CTSK.	COUNTER SINK	R RCP
D	D	DRYER	R RD
D	D.F.	DRINKING FOUNTAIN	R RE, REF
D	D.P.	DAMP-PROOFING	R RECP.
D	D.S.	DOWN SPOUT	R REINF.
D	DA.	DAMETER	R RECD.
D	DI.	DIMENSION	R RES.
D	DTL.	DETAIL	R REV.
D	DWG.	DRAWING	R RF
E	E.J.	EXPANSION JOINT	R RPG.
E	E.Q.	EQUAL	R RSS.
E	EA.	EACH	S S.C.
E	EDF.	ELECTRIC DRINKING FOUNTAIN	S S.D.
E	EL.	ELEVATION (HEIGHT)	S S.N.D.
E	ELEC.	ELECTRICAL	S SCHED
E	ELECT.	ELECTRICAL	S SCPL.
E	ELEV.	ELEVATION (DRAWING)	S SECT
E	EQUIP.	EQUIPMENT	S SHT
E	EXIST.	EXISTING	S SM.
E	EXP.	EXPANSION	S SPC
E	EXT.	EXTERIOR	S SPEC
F	F.E.	FIRE EXTINGUISHER	S SQ.
F	F.E.C.	FIRE EXTINGUISHER CABINET	S SS / SS.
F	F.H.C.	FIRE HOSE CABINET	S STL.
F	FB.	FACE BRICK	S STL.
F	FD.	FLOOR DRAIN	S STRUC /
F	FIN.	FINISH (ED)	S STRUCT
F	FKT.	FIXTURE	S SUSP.
F	FLR.	FLOOR (ING)	S SVDF
F	FLSHG.	FLASHING	S SVF
F	FLUOR.	FLUORESCENT	T T.A.S.
F	FRP.	FIBER REINFORCED PLASTIC	T T.B.
G	G.B.	GRAB BAR	T T.D.R.
G	G.I.	GALVANIZED IRON	T T.O.
G	GA.	GAUGE	T T.O.B.
G	GALV.	GALVANIZED	T T.O.M.
G	GCMU	GLAZED CONCRETE MASONRY UNIT	T T.O.P.
G	GEN.	GENERAL	T T.O.S.
G	GEN.	GENERAL	T T.T.
G	GL.	GLASS GLAZING	T T.T.
G	GL.	GLASS	T T.T.
G	GR.	GRADE	T T.T.
G	GTP.	GLAZED TILE PAVER	T T.T.
G	GYP.	GYPSPUM DRYWALL	T T.T.
H	H.W.	HOT WATER	T T.T.
H	HM.	HOLLOW METAL FRAME	T T.T.
H	HORIZ.	HORIZONTAL	T T.T.
H	HT.	HEIGHT	T T.T.
I	I.D.	INSIDE DIAMETER	T T.T.
I	I.P.S.	IRON PIPE SIZE	T T.T.
I	INSUL.	INSULATE (ED), (ION)	T T.T.
I	INT.	INTERIOR	T T.T.
J	JT.	JOINT	T T.T.
L	L.P.	LIGHT POLE	T T.T.
L	LAM.	LAMINATE (D)	T T.T.
L	LAV.	LAVATORY	T T.T.
L	LT.	LIGHT	T T.T.
L	LT.WT.	LIGHTWEIGHT	T T.T.
M	M.O.	MASONRY OPENING	T T.T.
M	MAS.	MASONRY	T T.T.
M	MATL.	MATERIAL (S)	T T.T.
M	MAX.	MAXIMUM	T T.T.
M	MB.	MARKER BOARD	T T.T.
M	MCH.	MECHANICAL	T T.T.
M	MEM.	MEMBRANE	T T.T.
M	MEM.WP.	MEMBRANE WATERPROOFING	T T.T.

STATEMENT OF GENERAL CONFORMANCE

Statement of General Conformance

FOR ARCHITECTS/ENGINEERS WHO UTILIZE PLANS, INCLUDING BUT NOT LIMITED TO SHOP DRAWINGS, PREPARED BY OTHER LICENSED DESIGN PROFESSIONALS AND/OR CONSULTANTS

(Application No. 04-121817 File No. 30-43)

☒ The drawings or sheets listed on the cover or index sheet (see asterisk *)
This drawing, page of specifications/calculations

have been prepared by other design professionals or consultants who are licensed and/or authorized to prepare such drawings in this state. It has been examined by me for:

1) design intent and appears to meet the appropriate requirements of Title 24, California Code of Regulations and the project specifications prepared by me, and

2) coordination with my plans and specifications and is acceptable for incorporation into the construction of this project.

The Statement of General Conformance "shall not be construed as relieving me of my rights, duties, and responsibilities under Sections 17302 and 81138 of the Education Code and Sections 4-336, 4-341 and 4-344" of Title 24, Part 1, (Title 24, Part 1, Section 4-317 (b))

I find that: ☒ The drawings or sheets listed on the cover or index sheet
☐ This drawing or page

☒ is/are in general conformance with the project design intent, and
☒ has/have been coordinated with the project plans and specifications.

☐ is/are in general conformance with the project design intent, and
☐ have been coordinated with the project plans and specifications.

Signature	Date	Signature	Date
Architect or Engineer designated to be in general responsible charge		Architect or Engineer delegated responsibility for this portion of the work	
YONG YOO			
Print Name		Print Name	
C-31162	10/31/2023		
License Number	Expiration Date	License Number	Expiration Date

CODES & STANDARDS

PARTIAL LIST OF APPLICABLE CODES

2022 Building Standards Administrative Code	(Part 1, Title 24, CCR)
2019 California Building Code (CBC)	(Part 2, Title 24, CCR)
(2018 International Building Code with 2019 California Amendments)	(Part 3, Title 24, CCR)
2019 California Electrical Code (CEC)	(Part 4, Title 24, CCR)
(2017 National Electrical Code and 2019 California Amendments)	(Part 5, Title 24, CCR)
2019 California Mechanical Code (CMC)	(Part 6, Title 24, CCR)
(2018 IMPO Uniform Mechanical Code and 2019 California Amendments)	(Part 7, Title 24, CCR)
2019 California Plumbing Code (CPC)	(Part 8, Title 24, CCR)
(2018 IMPO Uniform Plumbing Code and 2019 California Amendments)	(Part 9, Title 24, CCR)
2019 California Fire Code (CFC)	(Part 10, Title 24, CCR)
(2018 International Fire Code and 2019 California Amendments)	(Part 11, Title 24, CCR)
2019 California Existing Building Code (CEBC)	(Part 12, Title 24, CCR)
(2018 International Existing Building Code and 2019 California Amendments)	(Part 13, Title 24, CCR)
2019 California Green Building Standards Code	(Part 14, Title 24, CCR)
2019 California Referenced Standards Code	(Part 15, Title 24, CCR)
Regulations of the State Fire Marshall	(Title 19, CCR)
2016 ASME A17.1/CSA B44-16 Safety Code for Elevators and Escalators	(per 2019 CBC Part 2 Ch 35)

For a complete list of all applicable NFPA standards refer to 2019 CBC (SFM) Chapter 35 and California Fire Code (CFC) Chapter 80. See California Building Code, Chapter 35, for State of California amendments to the NFPA Standards.

PARTIAL LIST OF FIRE LIFE SAFETY APPLICABLE STANDARDS

NFPA 13 Automatic Fire Sprinkler Systems	(2016 Edition, CA Amended)
NFPA 14 Standpipe and Hose Systems	(2016 Edition, CA Amended)
NFPA 17A Wet Chemical Extinguishing Systems	(2017 Edition)
NFPA 20 Stationary Pumps for Fire Protection	(2016 Edition)
NFPA 22 Standard for the Installation of Private Fire Service Mains and Their Appurtenances	(2013 Edition)
NFPA 24 Private Fire Mains and Their Appurtenances	(2016 Edition, CA Amended)
NFPA 72 National Fire Alarm & Signaling Code	(2016 Edition, CA Amended)
NFPA 88 Fire Doors and Other Opening Protective	(2016 Edition)
NFPA 2001 Clean Agent Fire Extinguishing Systems	(2015 Edition)
UL 464 Audible Signal Appliances	(2005, R2010)
UL 521 Standard for Heat Detectors for Fire Protective Signaling Systems	(2018 Edition)
UL 1971 Standard for Signaling Devices for the Hearing Impaired	(1999 Edition)
ICC 300 Standard for Bleachers, Folding and Telescopic Seating, and Grandstands	(2002, R2012)
	(2017 Edition)

GENERAL NOTES

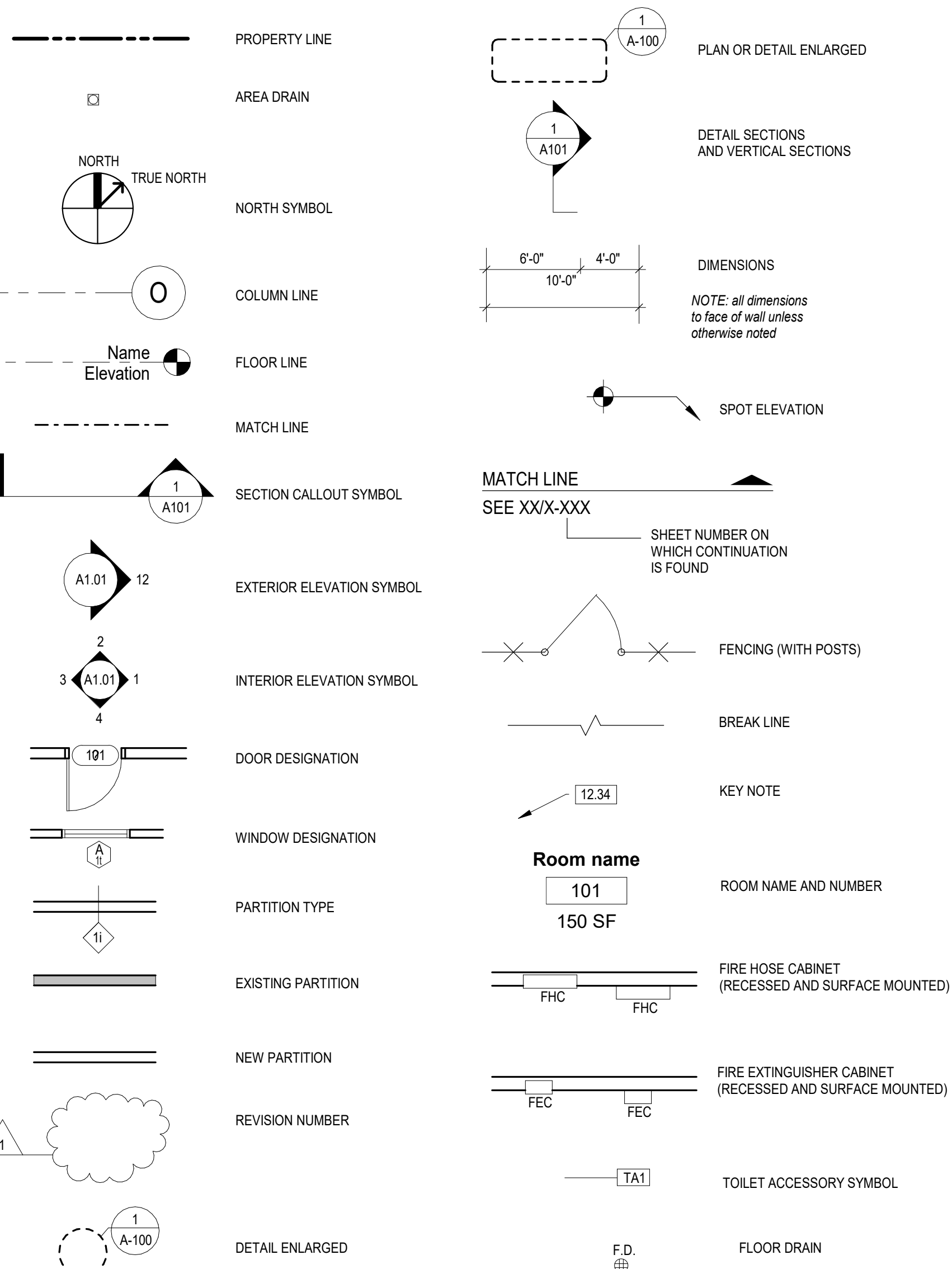
- CONSTRUCTION DOCUMENTS DESCRIBE THE PRODUCTS, SYSTEMS, QUANTITIES, CONFIGURATION AND PERFORMANCE SPECIFICATIONS THAT DELIVER THE OVERALL DESIGN INTENT OF THE PROJECT.
- THE CONSTRUCTION DOCUMENT DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY BOTH.
- PERFORMANCE BY THE CONSTRUCTION TEAM SHALL BE CONSISTENT WITH THE CONSTRUCTION DRAWINGS AND SPECIFICATIONS AS NECESSARY TO DELIVER THE INDICATED RESULTS OF THE DESIGN INTENT.
- ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH ALL GOVERNING CODES, ORDINANCES, REGULATIONS AND LAWS.
- THE DESIGN ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS AND SCAFFOLDING IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- WHERE ANY CONFLICT OCCURS BETWEEN THE REQUIREMENTS OF LAWS, CODES, ORDINANCES, RULES AND REGULATIONS, THE MOST STRINGENT SHALL GOVERN.
- ENACT ALL MEASURES TO PROTECT AND SAFEGUARD ALL EXISTING ELEMENTS TO REMAIN FROM BEING DAMAGED, REPLACED OR REPAIR EXISTING ELEMENTS DAMAGED BY THE EXECUTION OF THIS CONTRACT TO EQUAL OR BETTER CONDITION.
- CUTTING, BORING, SAWCUTTING OR DRILLING THROUGH THE EXISTING OR NEW STRUCTURAL ELEMENTS SHALL NOT BE STARTED UNTIL THE DETAILS HAVE BEEN REVIEWED AND APPROVED BY THE ARCHITECT, AND STRUCTURAL ENGINEER OF RECORD.
- VERIFY DIMENSIONS AND EXISTING CONDITIONS BEFORE COMMENCING WORK. REPORT DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH AFFECTED WORK.
- REFLECTED CEILING PLAN DIMENSIONS ARE REFERENCED FROM FINISHED SURFACES UNLESS NOTED OTHERWISE. CEILING HEIGHTS ARE DIMENSIONED FROM FLOOR TO FINISHED CEILING HEIGHT.
- DIMENSIONS NOTED AS "FIELD VERIFY" SHALL BE CHECKED AT THE SITE BY THE CONTRACTOR AND REVIEWED WITH THE ARCHITECT BEFORE INCORPORATING INTO THE WORK.
- DO NOT SCALE DRAWING. WRITTEN DIMENSIONS TAKE PRECEDENCE. IF CLARIFICATION IS REQUIRED IN ORDER TO DETERMINE THE INTENT OF THE CONTRACT DOCUMENTS, CONTACT THE ARCHITECT.
- NOTES OR DIMENSIONS LABELED "TYPICAL" SHALL APPLY TO SITUATIONS THAT ARE THE SAME OR SIMILAR.
- ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS NOTED OTHERWISE.
- ALL SPACES WITH FLOOR DRAINS TO HAVE FINISHED FLOORS SLOPED TO DRAIN NOT TO EXCEED ONE IN FIFTY.
- ALL FLOORS FINISH CHANGES SHALL OCCUR AT THE CENTERLINE OF DOORS UNLESS NOTED OTHERWISE. ALL FLOOR FINISH CHANGES SHALL HAVE THRESHOLDS OR REDUCER STRIPS.
- COORDINATE HOUSEKEEPING PAD DIMENSIONS AND LOCATIONS WITH EQUIPMENT TO BE INSTALLED.
- ALL DOORS IN INTERIOR GYP. BD STUD WALLS SHALL BE SET 4" OFF THE PERP. ADJ. WALL ON THE HINGE SIDE OF THE DOOR UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL CONTACT THE ARCHITECT IF ANY CONFLICTS OCCUR.
- ALUM. THRESHOLDS TO BE SET IN FULL BED OF SEALANT AT ALL EXT. DOORS.
- UNLESS OTHERWISE NOTED, ALL ELECTRICAL AND MECHANICAL OPERABLE DEVICES SHALL BE MOUNTED WITH THE HIGHEST OPERABLE CONTROL AT MAX. OF 42" AFF.
- SHOULD ANY EXISTING DETECTION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY THE DSA APPROVED DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS, A CONSTRUCTION CHANGE DOCUMENT, OR A SEPARATE SET OF PLANS AND SPECIFICATIONS, DETAILING AND SPECIFYING THE REQUIRED REPAIR WORK SHALL BE SUBMITTED TO AND APPROVED BY DSA BEFORE PROCEEDING WITH THE REPAIR WORK. PER CAC, 2013, 4-317(c)

DRAWING INDEX

GENERAL		MECHANICAL *	
G0	COVER SHEET	M0.0	MECHANICAL SHEET
G1	SHEET INDEX, DRAWING CONVENTIONS, AND LOCATION MAP	M0.1	MECHANICAL TITLE 24
G2	ACCESSIBILITY SITE PLAN	M0.2	MECHANICAL TITLE 24
G2.1	ENLARGED SITE PLAN	M0.3	MECHANICAL TITLE 24
G3	FIRE ACCESS SITE PLAN	M1.0	MECHANICAL SITE PLAN
G4	SITE DETAILS	MD2.1	MECHANICAL DEMO FLOOR PLANS - ADMIN & KINDERGARTEN BLDG A,B&C
		M2.1	MECHANICAL FLOOR PLANS - ADMIN & KINDERGARTEN, BLDG A,B&C
		M4.1	MECHANICAL ROOF PLANS
C1.00	DEMOLITION PLAN	M5.1	MECHANICAL SCHEDULES
C2.00	GRADING PLAN	M5.2	MECHANICAL SCHEDULES
C3.00	DETAIL SHEET	M6.1	MECHANICAL DETAILS
		M6.2	MECHANICAL DETAILS
CIVIL		ELECTRICAL *	
D0.1	SITE DEMOLITION PLAN	E0.0	ELECTRICAL SHEET INDEX, LEGEND, AND NOTES
D0.2	SITE DEMOLITION PLANS	E0.1	ELECTRICAL TITLE 24
D1.1	DEMO FLOOR PLANS ADMIN/KINDER, BLDG A,B&C	E1.0	ELECTRICAL SITE PLAN
D2.1	DEMO REFLECTED CEILING PLAN ADMIN/KINDER, BLDG A,B&C	E2.1	ELECTRICAL POWER PLANS - ADMIN & KINDERGARTEN, BLDG A,B&C
		E2.2	ELECTRICAL LIGHTING PLANS - ADMIN & KINDERGARTEN, BLDG A,B&C
		E4.1	ELECTRICAL ROOF PLANS
		E5.1	ELECTRICAL SCHEDULES
		E5.2	ELECTRICAL PANEL SCHEDULES
		E6.1	ELECTRICAL DETAILS
ARCHITECTURAL		PLUMBING *	
A1.01	FLOOR PLANS ADMIN/KINDER, BLDG A,B&C	P0.0	PLUMBING SHEET INDEX, LEGEND, AND NOTES
A2.01	REFLECTED CEILING PLANS ADMIN/KINDER, BLDG A,B&C	P1.0	PLUMBING SITE PLAN
A3.01	OVERALL ROOF PLAN AND DETAIL	PD2.1	PLUMBING DEMOLITION PLANS - ADMIN & KINDERGARTEN, BLDG A,B&C
A3.02	ROOF PLAN	P2.1	PLUMBING FLOOR PLANS - ADMIN & KINDERGARTEN, BLDG A,B&C
A3.03	ROOF DETAILS - MOD. BIT.	P4.1	PLUMBING ROOF PLANS
A4.01	BUILDING SECTIONS	P5.1	PLUMBING SCHEDULES
A5.01	ENLARGED RESTROOM PLANS & INTERIOR ELEVATIONS	P6.1	PLUMBING DETAILS
A6.01	EXTERIOR ELEVATIONS		
A6.02	EXTERIOR ELEVATIONS		
A7.01	INTERIOR ELEVATIONS		
A8.01	DOORS, WINDOW FRAME DETAILS		
A8.02	PARTITION TYPES AND MISC. DETAILS		
A8.03	CEILING & MISC DETAILS		
A9.01	DOORS SCHEDULE & WINDOWS FRAMING ELEVATION		
A10.01	FINISH PLANS & SCHEDULE		
STRUCTURAL *		FIRE ALARM *	
SN1	GENERAL NOTES	FA0.00	FIRE ALARM COVER SHEET
S1	FLOOR/ROOF PLANS - BLDG A & B	FA1.00	FIRE ALARM SITE PLAN
S2	FLOOR / ROOF PLANS - BLDG ADMIN	FA1.01	FIRE ALARM FLOOR PLAN ADMIN KINDER & BLDG A
S3	ROOF PLAN BLDG C	FA1.02	FIRE ALARM FLOOR PLAN BUILDING B AND C
SD1	CONCRETE DETAILS	FA1.03	FIRE ALARM FLOOR PLAN RELO CLASSROOMS
SD2	RTU DETAILS	FA1.04	FIRE ALARM FLOOR PLAN MULTIPURPOSE
SD2A	RTU DETAILS	FA2.00	FIRE ALARM RISER DIAGRAM
SD3	HUNG UNITS DETAILS	FA3.00	FIRE ALARM CALCULATIONS
		FA4.00	FIRE ALARM DETAILS

TOTAL SHEET: 73

DRAWING CONVENTIONS



DSA NOTES

- CHANGES TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY A CONSTRUCTION CHANGE DOCUMENT (CCD) APPROVED BY THE DIVISION OF THE STATE ARCHITECT, AS REQUIRED BY SECTION 4-338, PART 1, TITLE 24, CCR.
- A PROJECT INSPECTOR EMPLOYED BY THE DISTRICT (OWNER) AND APPROVED BY THE DIVISION OF THE STATE ARCHITECT SHALL PROVIDE CONTINUOUS INSPECTION OF THE WORK. THE DUTIES OF THE INSPECTOR ARE DEFINED IN SECTION 4-342, PART 1, TITLE 24, CCR, CLASS 3.
- A DSA ACCEPTED TESTING LABORATORY DIRECTLY EMPLOYED BY THE DISTRICT (OWNER) SHALL CONDUCT ALL THE REQUIRED TESTS AND INSPECTIONS FOR THE PROJECT.
- ALL WORK SHALL CONFORM TO 2019 EDITION TITLE 24, CALIFORNIA CODE OF REGULATIONS (CCR).
- THE SCOPE OF WORK - CLEARLY INDICATE THE SCOPE OF WORK ON THE COVER SHEET OR GENERAL NOTE SHEET OF THE DRAWINGS.
- FABRICATION AND INSTALLATION OF DEFERRED SUBMITTAL ITEMS SHALL NOT BE STARTED UNTIL CONTRACTOR'S DRAWINGS, SPECIFICATIONS, AND ENGINEERING CALCULATIONS FOR THE ACTUAL SYSTEMS TO BE INSTALLED HAVE BEEN ACCEPTED AND SIGNED BY THE ARCHITECT OR STRUCTURAL ENGINEER AND APPROVED BY DSA. LIST DEFERRED SUBMITTAL ITEMS FOR THIS PROJECT.
- THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE ALTERATION, REHABILITATION OR RECONSTRUCTION IS TO BE IN ACCORDANCE WITH TITLE 24, CCR. SHOULD ANY EXISTING CONDITIONS SUCH AS DETECTION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, CCR, A CONSTRUCTION CHANGE DOCUMENT (CCD), OR A SEPARATE SET OF PLANS AND SPECIFICATIONS, DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY DSA BEFORE PROCEEDING WITH THE WORK. (SECTION 4-317(g), PART 1, TITLE 24, CCR).
- GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES.

DEFERRED APPROVAL ITEMS

NOTE: NONE

NOT IN SCOPE

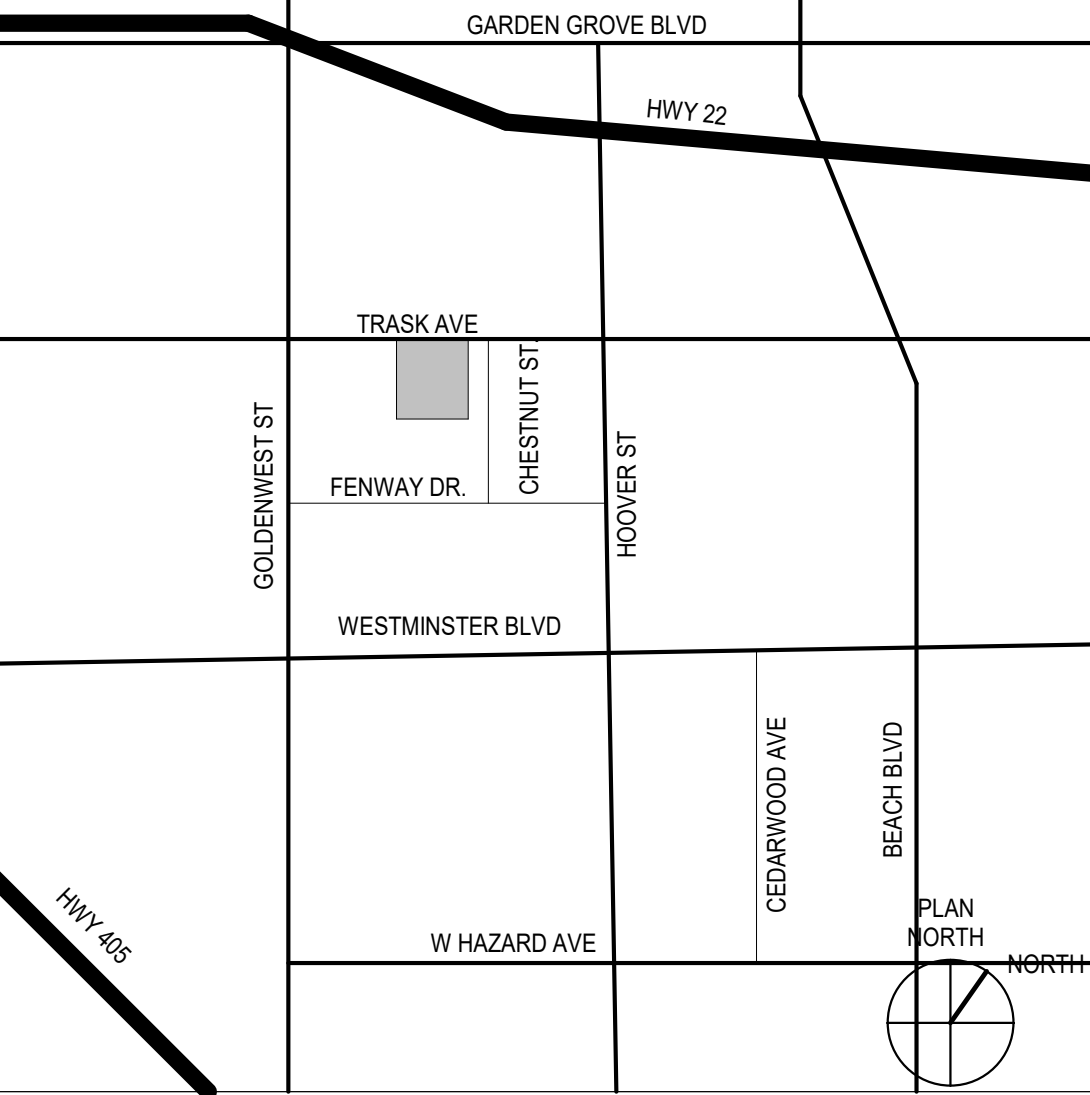
SCOPE OF WORK

- BUILDING IMPROVEMENTS INCLUDE, BUT ARE NOT LIMITED TO:
- FIRE ALARM AND ROOFING UPGRADE ONLY**
 - EXISTING RELOCATABLE CLASSROOMS: 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41 & 42
 - EXISTING BOYS/GIRLS/STAFF TOILET
 - EXISTING MULTI-PURPOSE
 - ADMINISTRATION KINDERGARTEN BUILDING (EXISTING ADMINISTRATION / KINDERGARTEN)**
 - (N) HVAC, CEILINGS, WINDOWS, LIGHTS, FINISHES
 - WHOLE-UP ROOFING MEMBRANE & ASSOCIATED ACCESSORIES ON (E) ROOF STRUCTURE
 - TOILET MODERNIZATION
 - FIRE ALARM UPGRADE
 - BUILDING A, B (EXISTING CLASSROOMS)**
 - (N) HVAC, CEILINGS, WINDOWS, LIGHTS, FINISHES
 - WHOLE-UP ROOFING MEMBRANE & ASSOCIATED ACCESSORIES ON (E) ROOF STRUCTURE
 - FIRE ALARM UPGRADE
 - BUILDING C (EXISTING LIBRARY)**
 - (N) HVAC, CEILINGS, WINDOWS, LIGHTS, FINISHES
 - WHOLE-UP ROOFING MEMBRANE & ASSOCIATED ACCESSORIES ON (E) ROOF STRUCTURE
 - FIRE ALARM UPGRADE
 - EXISTING COVERED WALKWAYS**
 - WHOLE-UP ROOFING MEMBRANE & ASSOCIATED ACCESSORIES ON (E) ROOF STRUCTURE
 - EXISTING PARKING LOT 1
 - (N) SLURRY COAT
- NEW INTERIOR AND EXTERIOR PAINT IN ALL BUILDINGS AND STRUCTURES INCLUDING LUNCH SHELTER AND ALL RELOCATABLES.

SHEET NUMBERING

SHEET NUMBER	BUILDING AREA	SEQUENCE (.01 - .99.....etc.)	SHEET DISCIPLINE TYPE
A2.01A			
DISCIPLINE			
G	GENERAL		0 - GENERAL
C	CIVIL		0 - SITE PLANS & DETAILS
L	LANDSCAPE		1 - FLOOR PLANS
CA	SPORTS		2 - REFLECTED CEILING PLANS & DETAILS
S	STRUCTURAL		3 - ROOF PLANS & DETAILS
D	DEMOLITION		4 - BUILDING SECTIONS
A	ARCHITECTURAL		5 - ADA & ENLARGED PLANS
M	MECHANICAL		6 - ENLARGED PLAN DETAILS
E	ELECTRICAL		7 - ENLARGED MILLWORK & DETAILS
P	PLUMBING		8 - PARTITION TYPES & WALL SECTIONS
FS	FOOD SERVICE		9 - WINDOWS, DOORS, FRAME ELEVATIONS & DETAILS
AV	ACOUSTICAL		10 - FINISH SCHEDULES
TH	THEATRICAL		11 - ELEVATIONS (EXTERIOR & INTERIOR)
			12 - CASEWORK ELEVATIONS

SITE LOCATION MAP



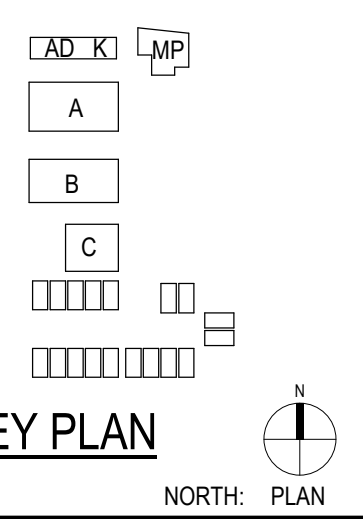
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SCHMITT E.S. HVAC UPGRADE & MODERNIZATION

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DSA FILE NO.: 30-43
DSA SUBMITTAL
DSA APPL NO. 04-121817



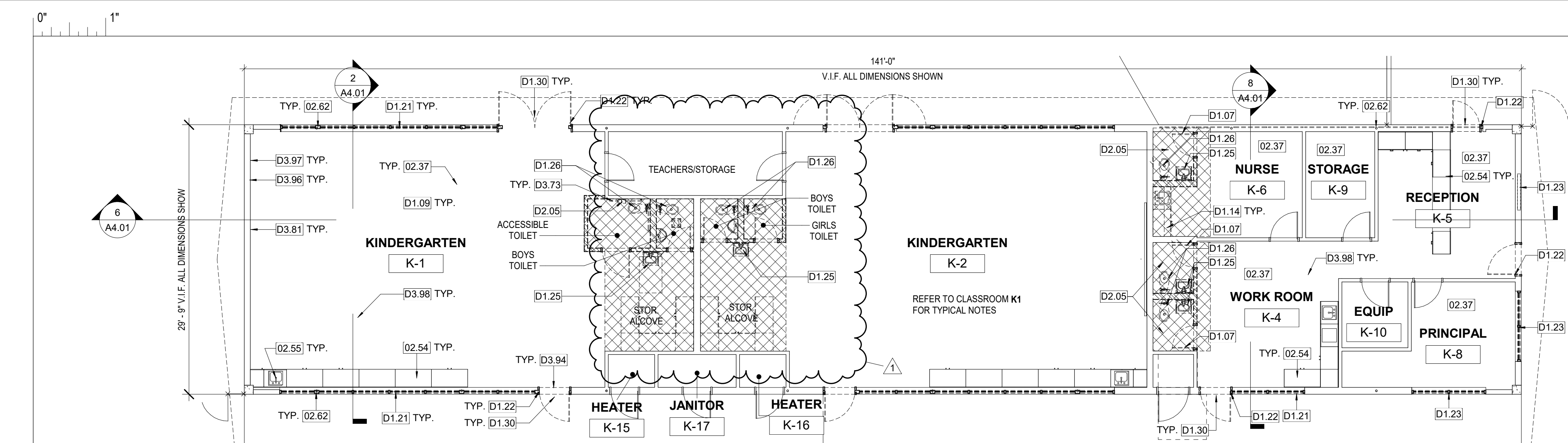
Consultant



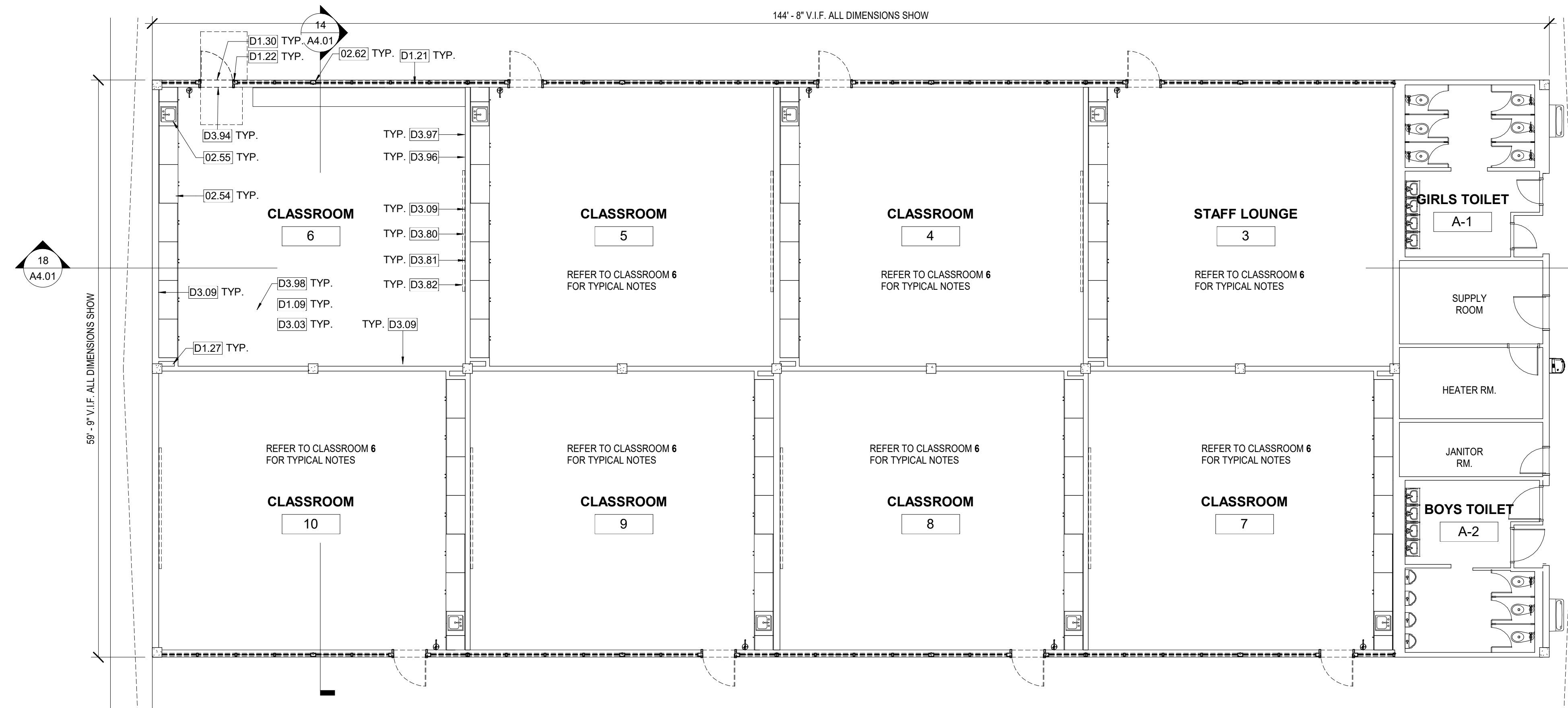
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1	ADDENDUM 01	08/02/23

DSA SUBMITTAL

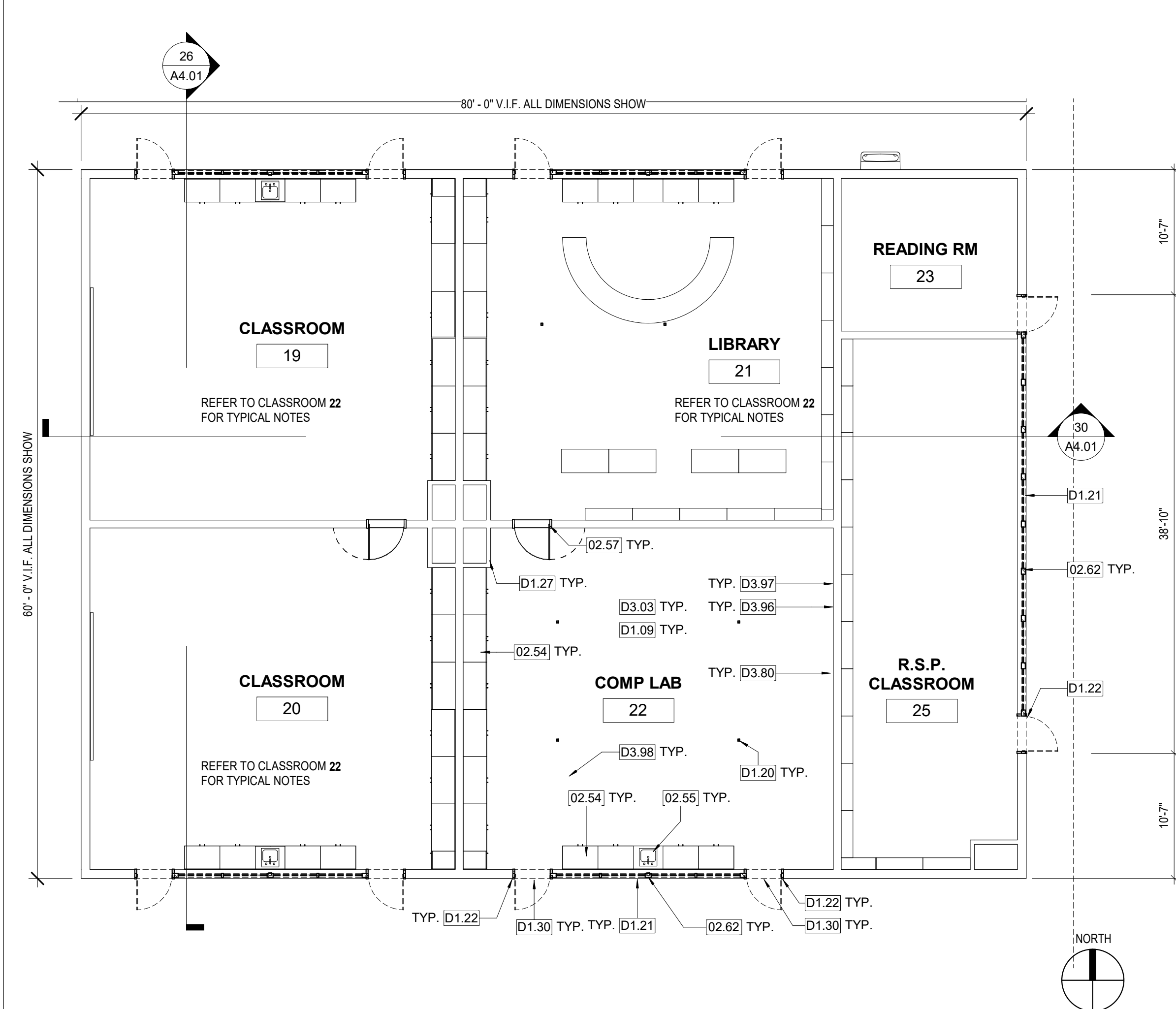
SHEET INDEX, DRAWING CONVENTIONS, AND LOCATION MAP



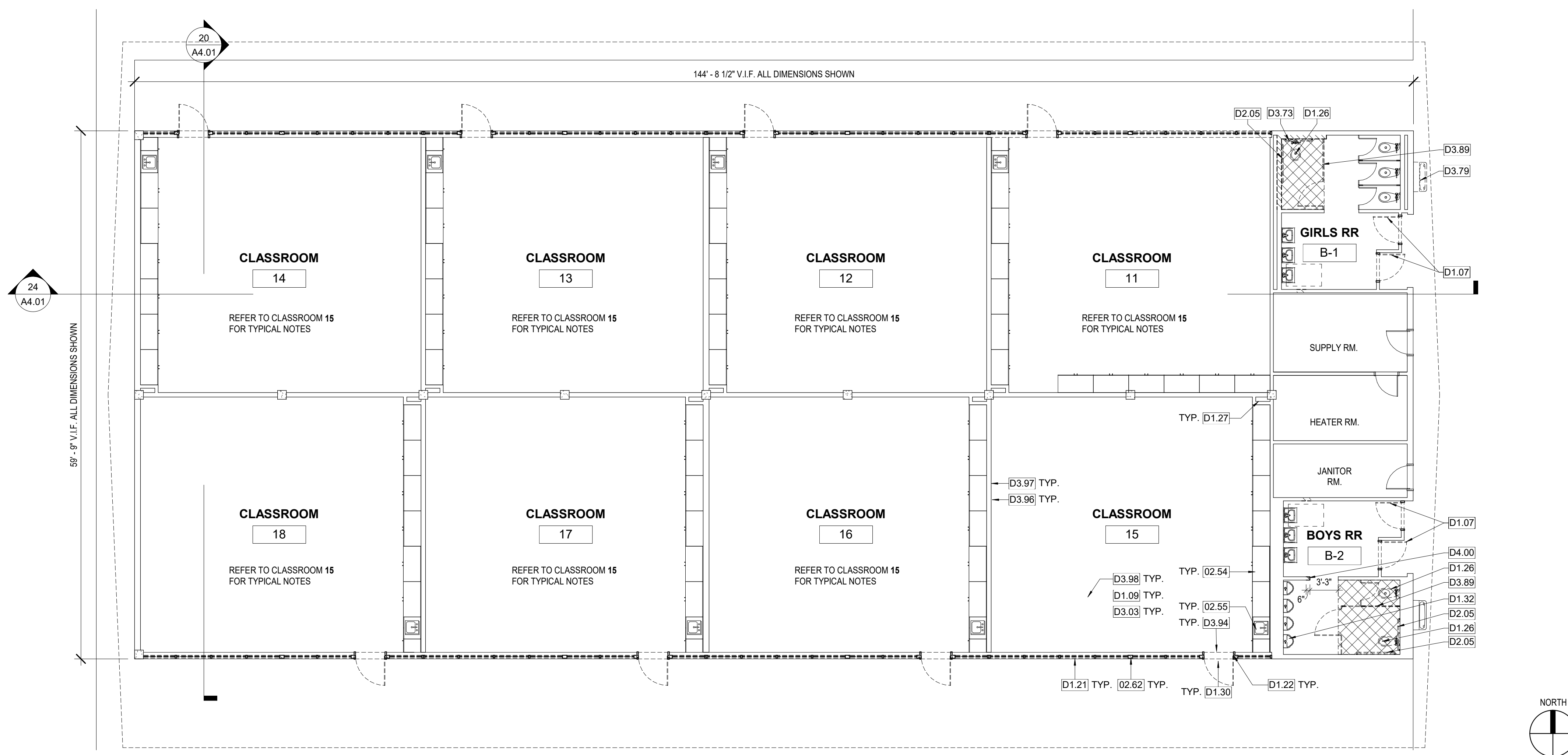
30 DEMO FLOOR PLAN - ADMIN / KINDERGARTEN



18	DEMO FLOOR PLAN BUILDING A - CLASSROOM
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06 DEMO FLOOR PLAN - BUILDING C - LIBRARY / CLASSROOM



04 DEMO FLOOR PLAN - BUILDING B - CLASSROOM

KEYNOTE LEGEND	
#	DESCRIPTION
02.37	(E) FLOOR FINISH TO REMAIN, AND PROTECT IN PLACE.
02.54	(E) CASEWORK TO REMAIN, RE-PAIN & PROTECT IN PLACE. TO RE-PAIN (EXCEPT PLAMSTONE COUNTERTOPS)
02.55	(E) ACCESSIBLE SINK TO REMAIN. PROTECT IN PLACE
02.57	(E) DOOR FRAME & PANEL TO REMAIN. PROTECT IN PLACE.
02.62	(E) WINDOW MULLION/COLUMN TUBE STEEL TO REMAIN. PROTECT IN PLACE, WHERE OCCURS

DEMOLITION KEYNOTES	
#	DESCRIPTION
D1 07	(E) DOOR AND FRAME TO BE REMOVED AND DISPOSED
D1 09	(E) MARKER / TACK BOARD TO BE REMOVED AND DISPOSED. WHERE OCCURS
D1 14	(E) CASEWORK TO BE REMOVED AND DISPOSED.
D1 20	(E) CONDUIT COLUMN AND WIRING TO BE REMOVED AND DISPOSED. PATCH AND REPAIR AS REQUIRED
D1 21	(E) ALUMINUM FRAME & GLAZING STOREFRONT SYSTEM TO BE REMOVED AND DISPOSED

D.12.23	REMOVE FRAME AND GLASS WINDOW SYSTEM TO BE REMOVED AND DISPOSED
D.12.24	REMOVE ALUMINUM FRAME AND GLASS WINDOW SYSTEM TO BE REMOVED AND DISPOSED
D.12.25	(E) LAVATORY TO BE REMOVED AND DISPOSED. PATCH AND REPAIR AS REQUIRED
D.12.26	(E) WATERCLOSET TO BE REMOVED AND DISPOSED. PATCH AND REPAIR AS REQUIRED
D.12.27	(E) VERTICAL DUCT CHASE, (E) LOUVERED VENT TO BE REMOVED, DISPOSED & COVERED WITH SIMILAR FRAMING. SURVIVAL MATERIAL, (E) MECH DUCT TO BE CAPPED & SEALED
D.12.28	(E) TRANSOM WINDOWS TO BE REMOVED AND DISPOSED
D.12.30	
D.12.32	(E) URINAL TO BE REMOVED AND DISPOSED. PATCH AND REPAIR AS REQUIRED
D.12.33	EXISTING
D.20.05	REMOVE (E) RESTROOM ACCESSORIES, PATCH AND REPLACE FINISH SCHEDULES TO MATCH EXISTING
D.20.03	(E) FLOOR FINISH TO BE REMOVED, DISPOSED AND REPLACED. SEE FINISH SCHEDULES SPECS
D.20.09	(E) GLUE-ON/STAPLED ACOUSTIC TILE TO BE DEMOLISHED AND DISPOSED, INCLUDING SUBSTRATES AND (E) 2'X2' WOOD STRIPPING, WHERE OCCURS
D.20.70	REMOVE (E) GRAB BAR, PATCH AND REPAIR AS REQUIRED
D.20.71	REMOVE (E) DRINKING FOUNTAIN, PATCH AND REPAIR AS REQUIRED
D.20.81	(E) TELEVISION, PROJECTOR & BRACKET TO BE REMOVED, WHERE OCCURS.
D.20.82	(E) ANALOG WALL CLOCK TO BE REMOVED AND DISPOSED, WHERE OCCURS.
D.20.83	(E) AUDIO SPEAKER TO BE REMOVED AND DISPOSED, WHERE OCCURS.
D.20.86	REMOVE (E) SOLD PLASTIC TOILET PARTITION, PREPARE FOR NEW TOILET PARTITION
D.20.94	(E) EXIT SIGNAGE TO BE REMOVED AND DISPOSED, WHERE OCCURS
D.20.95	(E) ELECTRICAL OUTLETS, WIREMOLDS & RACEWAYS TO BE REMOVED, PER ELECTRICAL PLANS, WHERE OCCURS
D.20.97	REMOVE (E) WALL PANELS AND REPLACE WITH NEW PER SPECS SECTION 10 11 00, WHERE OCCURS
D.20.98	REMOVE & DISPOSE OF EXISTING ABOVE CEILING ROOF INSULATION WHERE OCCURS
D.40	PORTION OF (E) NON-BEARING STUD WALL & FINISHES TO BE REMOVED & DISPOSED

BUILDING MPE NOTES

1. EXISTING GAS AND WATER PIPES: REMOVE AND REPLACE ANY RUSTED OR DETERIORATED PIPES, VALVES AND YARD BOXES TO REMAIN.
2. RELOCATE / RE-ROUTE ANY ELECTRICAL CONDUITS AND LOW VOLTAGE RACEWAYS AND WIRING ABOVE & BELOW CEILING TO ACCOMMODATE NEW WORK.
3. RELOCATE / RE-ROUTE ANY VENT PIPES INTERFERING WITH NEW WORK.
4. REMOVE AND DISPOSE OLD CLOCK AND SPEAKERS NO LONGER IN USE.
5. REMOVE AND DISPOSE ELECTRICAL CABLEING AND DEVICES NOT IN USE.
6. REMOVE AND DISPOSE FAU HEATING UNITS IN EACH ROOM AND ALL ASSOCIATED DUCTWORK, REGISTERS, CONDUITS AND WIRING.
7. REMOVE PROJECTORS IN WORKROOM AND LIBRARY ROOMS RETURN TO DISTRICT

DEMOLITION LEGEND

EXISTING NON-BEARING WALL TO BE REMOVED

DOOR TO BE REMOVED

WINDOW TO BE REMOVED (SEE SCHEDULE)

DEMO ALL (E) WALL FINISH, FLOOR SLAB AND CURBS (WHERE OCCURS), DUCTS, PIPES, CONDUITS & FIXTURES, U.N.O.

(E) DUCT OPENINGS IN SLAB TO BE REMOVED AND IN-FILLED WITH CONCRETE WHERE OCCURS. PER DETAIL 4/SD1

[illegible]

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SCHMITT E

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DSA SUBMITTAL

DSA APPL NO.: 04-121



Consult:

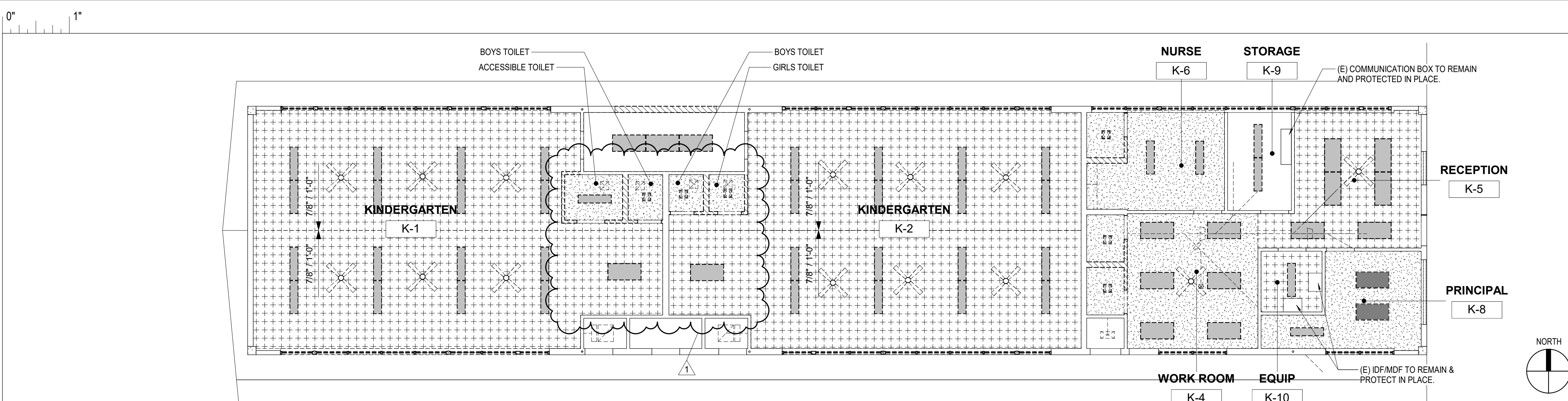


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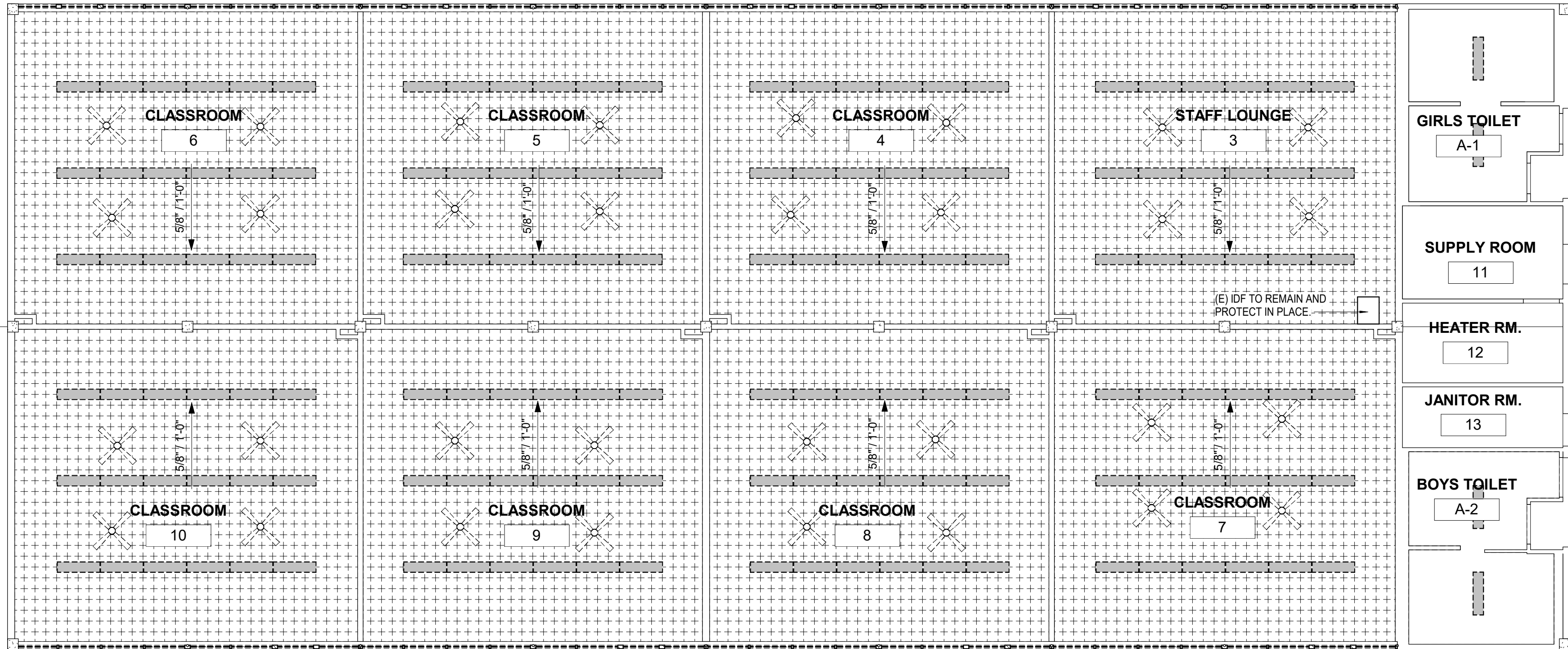
DSA SUBMITTAL

**DEMO FLOOR PLANS
ADMIN/KINDER, BLDG
A,B&C**

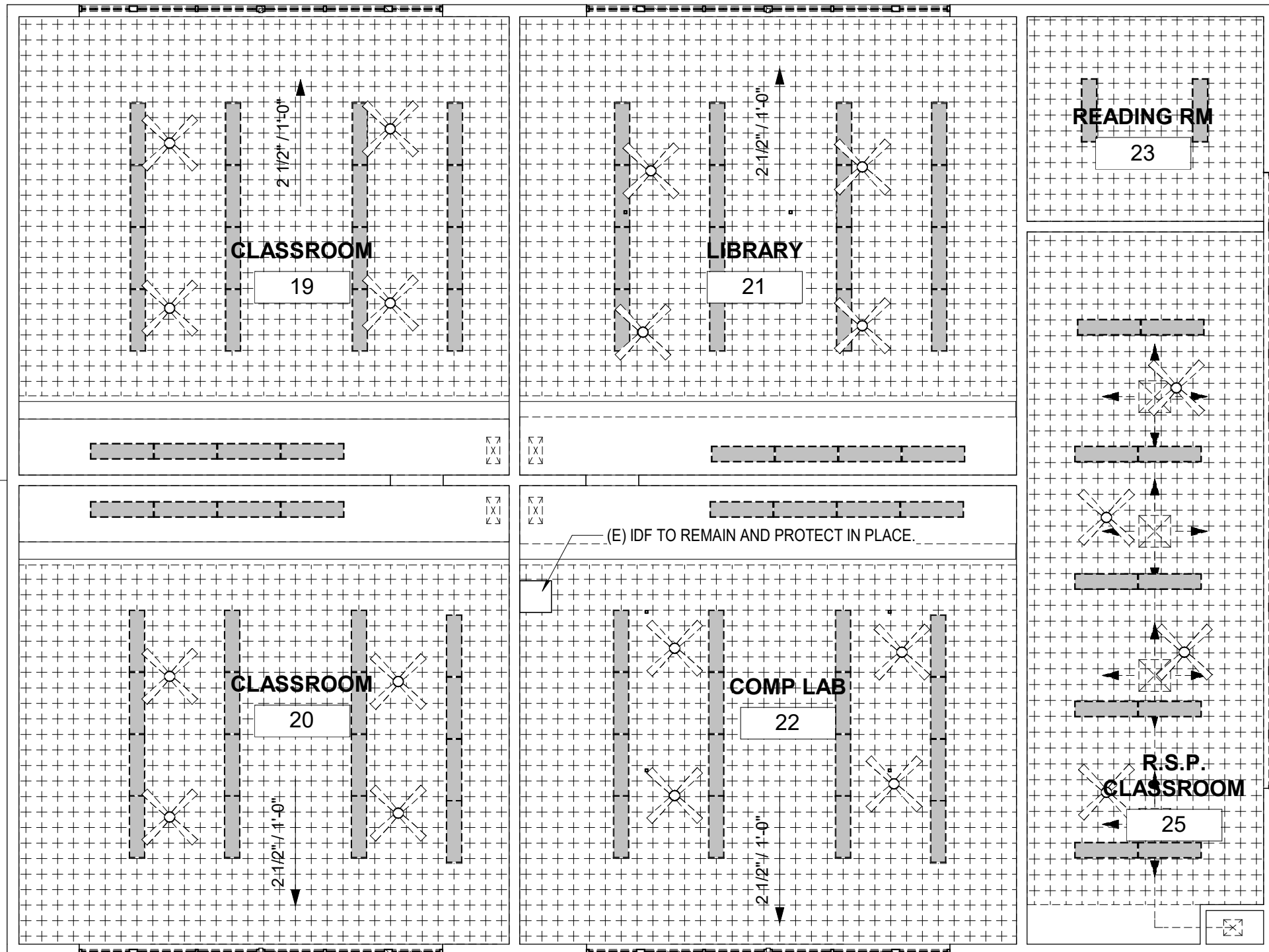
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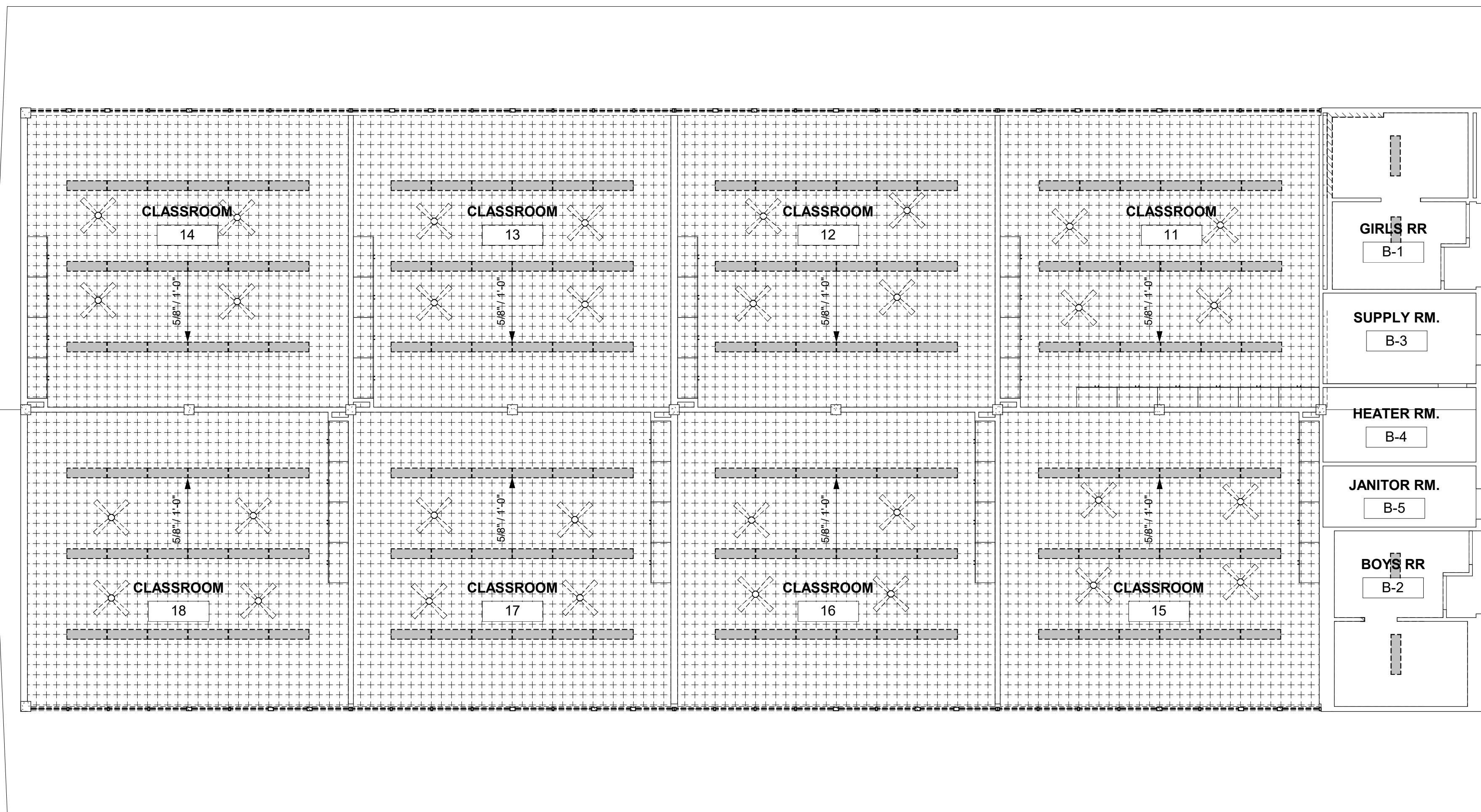
30 DEMO RCP - ADMIN KINDERGARTEN
1/8" = 1'-0"



18 DEMO RCP-BLDG A
1/8" = 1'-0"



6 DEMO RCP - BLDG C
1/8" = 1'-0"



4 DEMO RCP - BLDG B
1/8" = 1'-0"

GENERAL DEMOLITION NOTES

- DEMOLITION PLANS INDICATE SOME OF THE SCOPE-OF-WORK INVOLVED FOR THE DEMOLITION PHASE OF THIS PROJECT. CONTRACTOR SHALL REVIEW ALL SHEETS FOR ADDITIONAL DEMOLITION SCOPE.
- CONTRACTOR SHALL VERIFY EXISTING SITE AND BUILDING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO DEMOLITION ACTIVITIES AND WORK.
- CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES IN WRITING. PRIOR TO COMMENCING WITH WORK.
- CONTRACTOR SHALL NOTIFY ARCHITECT AND OWNER OF ANY POSSIBLE ASBESTOS CONTAINING MATERIALS DISCOVERED BEFORE PROCEEDING WITH WORK. PROTECT INTERIOR CONSTRUCTION TO REMAIN DURING DEMOLITION AND CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS BEFORE COMMENCING WORK.
- AFTER AWARD OF THE CONTRACT, CHANGE ORDER REQUESTS FOR ADDITIONAL MONEY WILL NOT BE APPROVED IF THE WORK COULD HAVE BEEN ANTICIPATED DURING A SITE VISIT BY THE CONTRACTOR.
- CONTRACTOR SHALL NOT SCALE DRAWINGS.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY SHORING, TEMPORARY BRACING, AND OR TEMPORARY SUPPORTS AS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY OF EXISTING STRUCTURE TO REMAIN AND OR EXISTING BUILDING ELEMENTS TO REMAIN.
- CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO DEMOLITION ACTIVITIES AND WORK.
- CONTRACTOR SHALL REMOVE TRASH AND DEBRIS REGULARLY AS NECESSARY TO ELIMINATED INTERFERENCE WITH ROADS, STREET, WALKS, AND ALL OTHER ADJACENT FACILITIES.
- CONTRACTOR SHALL REMOVE TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.
- CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF TEMPORARY DUST AND OR SOUND PARTITION BETWEEN CONSTRUCTION AREA AND AREAS NOT IN SCOPE AS NECESSARY. DEMOLITION ACTIVITIES SHALL BE PERFORMED SO AS TO PRODUCE MINIMAL DISTURBANCE TO EXISTING FACILITY AND OCCUPANTS (I.E. MINIMIZE EXCESSIVE AND PROLONGED NOISE LEVELS AND DUST).
- CONTRACTOR SHALL REPAIR, REPLACE, OR PATCH EXISTING BUILDINGS, DRIVEWAYS, SIDEWALKS, CANOPIES, AND OR PARKING AREAS DAMAGED, MOOFED, AND OR DISTURBED BY DEMOLITION WORK AT NO COST TO THE OWNER.
- ALL EXISTING EQUIPMENT THAT REMAINS SHALL BE PROTECTED DURING DEMOLITION AND OR CONSTRUCTION TO PREVENT DAMAGE. ANY DAMAGE TO REMAINING EXISTING EQUIPMENT SUSTAINED DURING DEMOLITION AND OR CONSTRUCTION SHALL BE EQUIVALENTLY REPLACED OR EQUIVALENTLY REPAIRED AT NO COST TO THE OWNER.
- CONTRACTOR SHALL PROVIDE TRAFFIC HANDLING MEASURES TO PROTECT THE GENERAL PUBLIC AT ALL TIMES AS NECESSARY AND AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- DO NOT INTERRUPT EXISTING UTILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES AS ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.
- WHEN UTILITY SERVICES ARE REQUIRED TO BE REMOVED, RELOCATED, OR ABANDONED, PROVIDE BYPASS CONNECTIONS TO MAINTAIN CONTINUITY OF SERVICE BEFORE PROCEEDING WITH DEMOLITION.
- CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES INCLUDING BUT NOT LIMITED TO THE FOLLOWING: ELECTRIC, GAS, WATER, TELEPHONE, STORM SEWER, AND SANITARY SEWER FOR FIELD LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITY LINES. PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORK, CONTRACTOR SHALL IDENTIFY ALL ELECTRICAL CIRCUITS SERVING THE AREA INVOLVED WITH THIS DEMOLITION. THOSE CIRCUITS SHALL THEN BE LOCKED OUT AND TAGGED OUT IF THEY DO NOT SERVICE ANY OF THE REMAINING BUILDINGS. THOSE CIRCUITS WHICH ARE IDENTIFIED TO SERVICE BOTH THE AREA TO BE DEMOLISHED AND THE REMAINING BUILDING SHALL BE SPILT SO AS TO KILL ALL ELECTRICAL POWER TO THE AREA TO BE DEMOLISHED WHILE MAINTAINING POWER TO THE REMAINDER OF THE BUILDING.
- CONTRACTOR SHALL RELOCATE UTILITIES AND EQUIPMENT AS REQUIRED TO ACCOMMODATE NEW HVAC, ELECTRICAL, PLUMBING, AND TECHNOLOGY REQUIREMENTS FOR NEW WORK.
- PROTECT EXISTING SITE ELEMENTS AND EXISTING LANDSCAPING TO REMAIN. PROTECTION SHALL INCLUDE BUT NOT BE LIMITED TO EXISTING TREES AND OTHER EXISTING VEGETATION INDICATED TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING, OR SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SMOOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIAL OR EXCAVATED MATERIAL WITHIN DRIP LINES.
- CONTRACTOR SHALL REGRADE AND HYDROMULCH AREAS AFFECTED BY DEMOLITION.
- OWNER HAS RIGHT OF FIRST REFUSAL OF ALL ITEMS REMOVED AS PART OF THE SCOPE OF WORK, WHETHER IDENTIFIED AS SALVAGE OR NOT.
- NOTIFY THE BUILDING OWNER OF ANY MATERIALS, FIXTURES, ETC. TO BE REMOVED THAT ARE DEEMED SALVAGEABLE. TURN OVER ANY REQUESTED ITEMS TO THE BUILDING OWNER IN GOOD AND CLEAN CONDITION.
- ALL FURNITURE WILL BE REMOVED OR RELOCATED BY THE OWNER AS NECESSARY PRIOR TO THE DEMOLITION WORK OF THIS PROJECT. CONTRACTOR SHALL COORDINATE WITH OWNER AS REQUIRED.
- REMOVE EXISTING CONSTRUCTION TO THE EXTENT INDICATED ON THE DRAWINGS. SHOULD ANY DAMAGE OCCUR TO ANY EXISTING CONSTRUCTION TO REMAIN, THE CONTRACTOR SHALL REPAIR THE DAMAGE TO MATCH EXISTING AND OR ADJACENT CONSTRUCTION AT NO COST TO THE OWNER.
- MAINTAIN ANY AND ALL EXISTING FIRE-RATED ASSEMBLIES THAT ARE TO REMAIN, AND THEIR ASSOCIATED FIRE-RATINGS, INCLUDING BUT NOT LIMITED TO ALL ASSOCIATED EXISTING FIRE-RATED OPENINGS, ALL ASSOCIATED EXISTING FIRE-RATED PENETRATIONS, AND ALL ASSOCIATED EXISTING FIRE-RATED FIRESTOPPING CONDITIONS.
- WHEN UNANTICIPATED MECHANICAL, ELECTRICAL, OR STRUCTURAL ELEMENTS THAT CONFLICT WITH THE INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, DETERMINE THE NATURE AND EXTENT OF THE CONFLICT AND NOTIFY THE ARCHITECT IMMEDIATELY FOR RESOLUTION.
- REMOVE, PATCH, AND REPAIR ALL ABANDONED ROOF PENETRATIONS RESULTING FROM WORK.
- SAW-CUT AND REMOVE EXISTING FLOOR FINISHES AND FLOOR SLAB AS REQUIRED TO INSTALL NEW FIXTURES, ITEMS, AND OR DEVICES FOR ALL SCOPE OF WORK PERTAINING TO NEW MECHANICAL, WORK, NEW PLUMBING UTILITIES, NEW PLUMBING WORK, NEW ELECTRICAL WORK, AND NEW TECHNOLOGY WORK. SPLICE NEW REINFORCING BARS DOVELED INTO EXISTING CONCRETE AND PROVIDE NEW VAPOR BARRIER AND NEW CONTINUOUS WATERSTOPS AT JOINT BETWEEN NEW CONCRETE FLOOR SLAB AND EXISTING CONCRETE FLOOR SLAB. PATCH WITH NEW 3500 PSI MINIMUM CONCRETE AND PREPARE FLOOR, INCLUDING NEW CONCRETE, TO RECEIVE NEW FLOOR FINISHES. COORDINATE WITH STRUCTURAL.
- EXISTING WALLS (OR PORTIONS OF WALLS) TO BE REMOVED SHALL BE CUT FLUSH WHERE INTERSECTING WITH WALLS TO REMAIN. REMAINING WALLS TO BE PATCHED AND FINISHED SMOOTH. THEN CEILING TO BE CUT IN EXISTING WALLS SHALL BE SAW-CUT AT LOCATIONS WHERE THE HEIGHT AND WIDTH INDICATED. NEW UNTELS SHALL BE INSTALLED TO SUPPORT EXISTING WALL CONSTRUCTION ABOVE AS INDICATED. (NOT USED UNLESS OR IF NOT INDICATED, AS REQUIRED FOR NEW WALL CONSTRUCTION). EXISTING WALLS SHALL BE PATCHED AND FINISHED SMOOTH. EXISTING WALLS AND PARTITIONS WITH ARCHITECTURAL PLANS.
- WHERE EXISTING WALL OPENINGS ARE TO BE NEWLY CLOSED-OFF, REMOVE ANY EXISTING OPENING FRAME AND PATCH AND REPAIR EXISTING WALL TO MATCH EXISTING ADJACENT MATERIALS AND FINISHES, UNLESS NOTED OTHERWISE.
- WHERE EXISTING INTERIOR WALLS ARE REPLACED OR REMOVED, REMOVE MEPT SYSTEMS BACK TO PANEL, OR MECHANICAL ROOM, OR FARTHEST POSSIBLE POINT WITHOUT DISTURBING EXISTING CONSTRUCTION. REMOVE EXISTING MECHANICAL EQUIPMENT, RELOCATE POWER PER MEPT DRAWINGS.
- REFER TO MEPT DRAWINGS FOR DEMOLITION OF MEPT SYSTEMS. IDENTIFY WORK REQUIRED BY THIS CONTRACTOR WHICH MAY AFFECT DEMOLITION AND OR REPAIRS OF ARCHITECTURAL ELEMENTS. COORDINATE WITH RELATED SUBCONTRACTORS THE EXTENT OF ALL DEMOLITION WORK.
- PATCH FLOORS, WALLS CEILINGS WHICH REMAIN AT LOCATIONS WHERE PIPES, CONDUITS, ETC. ARE REMOVED AS REQUIRED TO MATCH EXISTING CONDITIONS OR TO RECEIVE NEW FINISHES.
- WHERE EXISTING FINISH FLOOR IS REMOVED, PREPARE FLOOR SURFACE TO RECEIVE NEW FLOORING.
- ALL DASHED LINES ARE DEMOLITION LINES U.N.O.

BUILDING MPE NOTES

- EXISTING GAS AND WATER PIPES: REMOVE AND REPLACE ANY RUSTED OR DETERIORATED PIPES, VALVES AND YARD BOXES TO REMAIN.
- RELOCATE / RE-ROUTE ANY ELECTRICAL CONDUITS AND LOW VOLTAGE RACEWAYS AND WIRING ABOVE & BELOW CEILING TO ACCOMMODATE NEW WORK.
- RELOCATE / RE-ROUTE ANY VENT PIPES INTERFERING WITH NEW WORK.
- REMOVE AND DISPOSE OLD CLOCK AND SPEAKERS NO LONGER IN USE.
- REMOVE AND DISPOSE ELECTRICAL CABLES AND DEVICES NOT IN USE.
- REMOVE AND DISPOSE FAU HEATING UNITS IN EACH ROOM AND ALL ASSOCIATED DUCTWORK, REGISTERS, CONDUITS AND WIRING.
- REMOVE PROJECTORS IN WORKROOM AND LIBRARY ROOMS RETURN TO DISTRICT.

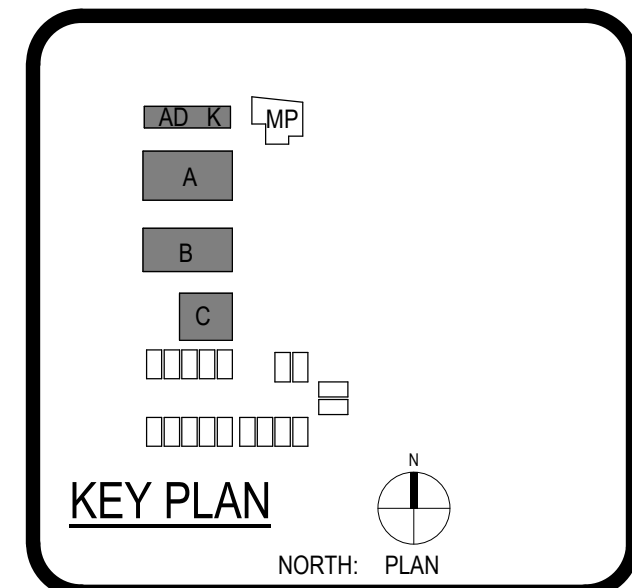
DEMOLITION RCP LEGEND

- EXISTING CEILING TO REMAIN
 - EXISTING PLASTER (GYP.BD. CEILING & SUBSTRATE TO BE REMOVED AND DISPOSED).
 - EXISTING NON-BEARING WALL TO BE REMOVED
 - EXISTING 12"x12" GLUE UP / STAPLED ACOUSTIC TILE AND (E) SUBSTRATES TO BE REMOVED AND DISPOSED.
 - REMOVE AND DISPOSE (E) LIGHT FIXTURES AND WIRING. SEE ELECTRICAL DWGS.
 - MECHANICAL GRILLES, REFER TO MECHANICAL DRAWINGS (REMOVE WHEN SHOWN DASHED)
 - (E) CEILING FAN AND ACCESSORIES TO BE REMOVED BY G.C. AND RETURNED TO THE DISTRICT.
 - (E) ACCESS PANEL TO BE REMOVED & DISPOSED, WHERE OCCURS.
- NOTE:
1. REMOVE & DISPOSE OF EXISTING ABOVE CEILING ROOF INSULATION, WHERE OCCURS.

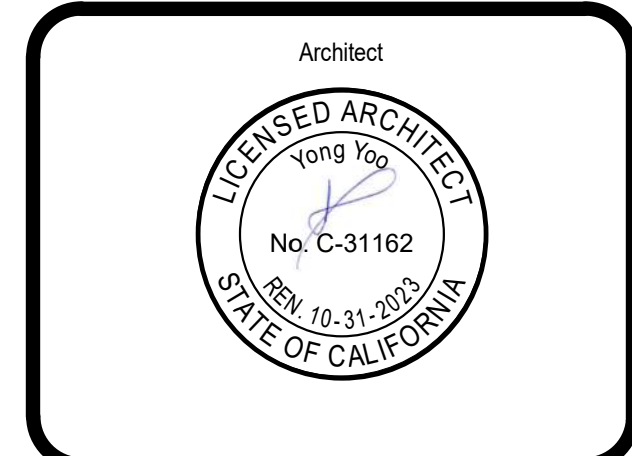


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DSA SUBMITTAL
DEMO REFLECTED
CEILING PLAN
ADMIN/KINDER, BLDG
A,B&C



00
02.54 (E) CASEWORK TO REMAIN: RE-PAINT & PROTECT IN PLACE. TO RE-PAINT (EXCEPT PLAINSTONE COUNTERTOPS)
02.55 (E) ACCESSIBLE SKIN TO REMAIN. PROTECT IN PLACE
02.56 (E) MARKER/ACCESSIBLE SKIN TO BE REMOVED & REPLACED WITH NEW PER DETAIL 16A64.02
08.01 (N) ALUMINUM FRAME & GLAZING WINDOW SYSTEM SEE FRAMING ALUMINUM FRAMING ELEVATION SECTION 0811.3, ALUMINUM WINDOW SCHEDULE PER DETAIL 16A64.02
08.02 (N) ALUMINUM WINDOW SCHEDULE PER DETAIL 16A64.02
08.02 (N) INTERGAL ALUMINUM FRAME DOOR SYSTEM SEE FRAMING ALUMINUM FRAME & DOOR SCHEDULE, PER ALUMINUM-FRAME DOOR/STREET FRONT SCHEDULE SECTION 0811.3, A DOOR SCHEDULE SECTION 10.0.6
09.01 (N) FLOOR FINISH, SEE FINISH SCHEDULE
09.02 (N) INTERIOR FINISH AND BASEBOARD, SEE FINISH SCHEDULE
10.04 (N) FRETWORK/SCREENING, SUBMITTED TO CITY OF IAWALL, SEE DETAIL 16A64.02
10.18 (N) TACKABLE SURFACE PER DETAIL 6A.04
26.03 NEW EXIST. SIGN, PER ELEC. DWGS. SEE DETAIL 16A64.02

1. CONTRACTOR SHALL PAINT ALL EXTERIOR AND INTERIOR SURFACES OF ALL BUILDINGS INCLUDING PORTABLES PER SPECIFICATION. THIS WORK INCLUDES ALL FLASHING, FASCIA, PLASTER, LOUVER, DRYWALL, DOORS AND FRAMES WITH THE EXCEPTION OF BRICK SURFACES. MINIMUM OF 4 COLORS TO BE SELECTED BY THE ARCHITECTS.
2. CONTRACTOR SHALL PAINT ALL COLUMN AND BEAMS OF SOLAR SHADE STRUCTURE PER SPECIFICATION, EXCEPT GALVANIZED AND SOLAR PANEL SURFACES. MINIMUM OF 2 COLORS TO BE SELECTED BY ARCHITECT.
3. GENERAL CONTRACTOR TO NOTIFY AND DOCUMENT ANY AREAS WITH DRYROT AND / OR TERMITE DAMAGE IN WRITTEN FORMAT PRIOR TO BID.

ALL SIGNAGE IS (E) TO REMAIN. WHERE (E) SIGNAGE IS MISSING OR DAMAGED PROVIDE NEW SIGNAGE TO MATCH EXISTING PER DETAIL REFERENCES BELOW...

SIGNAGE TAG

1. TACTILE EXIT SIGNAGE, SEE DETAIL 16 / A8.02 AND/OR SEE ELECTRICAL PLANS FOR ILLUMINATED EXIT REQUIREMENTS.
2. ROOM IDENTIFICATION SIGNAGE, SEE DETAIL 19 / A8.02 (VERIFY ROOM NAME & NUMBER w/ OWNER) WHERE TWO ROOMS ADJOIN ONE ANOTHER, PROVIDE SIGNAGE ON EACH SIDE OF THE WALL, TYP. ALL ROOMS
3. ASSISTIVE LISTENING SIGNAGE, SEE DETAIL 23 / A8.02

EXISTING WALL TO REMAIN

NEW NON-BEARING WALL TO BE PROVIDED.
AND SEE WALL PARTITIONS TAG FOR TOP & BOTTOM CONNECTION

(N) DOOR MARK

(N) WINDOW LOCATION

(N) WINDOW NUMBER

REFER TO A8.10 FOR WINDOW FRAMES AND GLAZING TYPES

4'-0"

5'-0"

1'-0" INT.

180°

1'-8" INT.

Z-0" EXT.

(N) DOOR TO BE PROVIDED. REFER TO A8.01 FOR DOOR SCHEDULE AND TYPES

(N) WINDOW (SEE WINDOW FRAMING ELEVATION ON SHEET A8.01)

WALL PARTITIONS TAG

LETTER INDICATES PARTITION TYPE, REF. DETAIL.

INDICATES CORE WIDTH

LETTER INDICATES CORE TYPE (S=STUD)

	1	2	3
	A8.02	A8.02	A8.02

CLASSROOM

ROOM NAME

ROOM NUMBER

ROOM AREA (SQ. FT.)

OCCUPANT LOAD FACTOR

ROOM OCCUPANT

OCCUPANCY TYPE

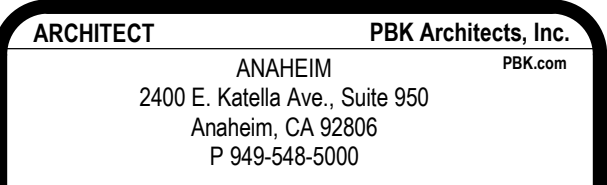
COMBINED EXIT LOAD

REQUIRED CLEAR EXIT WIDTH (IN INCHES)

PROVIDED CLEAR EXIT WIDTH (IN INCHES)

NOTE:

- ALL EXTERIOR GLASS/ALUMINUM WINDOW FRAMES AND GLAZING TO BE REPLACED. PATCH AND REPAIR WALLS, AS NEEDED, FOLLOWING WINDOW INSTALLATION.
- FIELD VERIFY ALL DIMENSIONS.



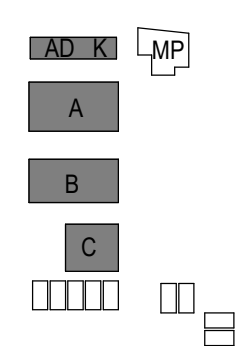
SCHMITT E.S. HVAC UPGRADE & MODERNIZATION



PROJECT ADDRESS:
7200 Trask Ave
Westminster, CA 92683

DSA SUBMITTAL

DSA APPL NO.: 04-121817 DSA FILE NO.: 30-43



KEY PLAN

NORTH: PLAN

Consultant



CLIENT

CLIENT WESTMINSTER SCHOOL DISTRICT	
DATE 12-29-2022	PROJECT NUMBER 220308

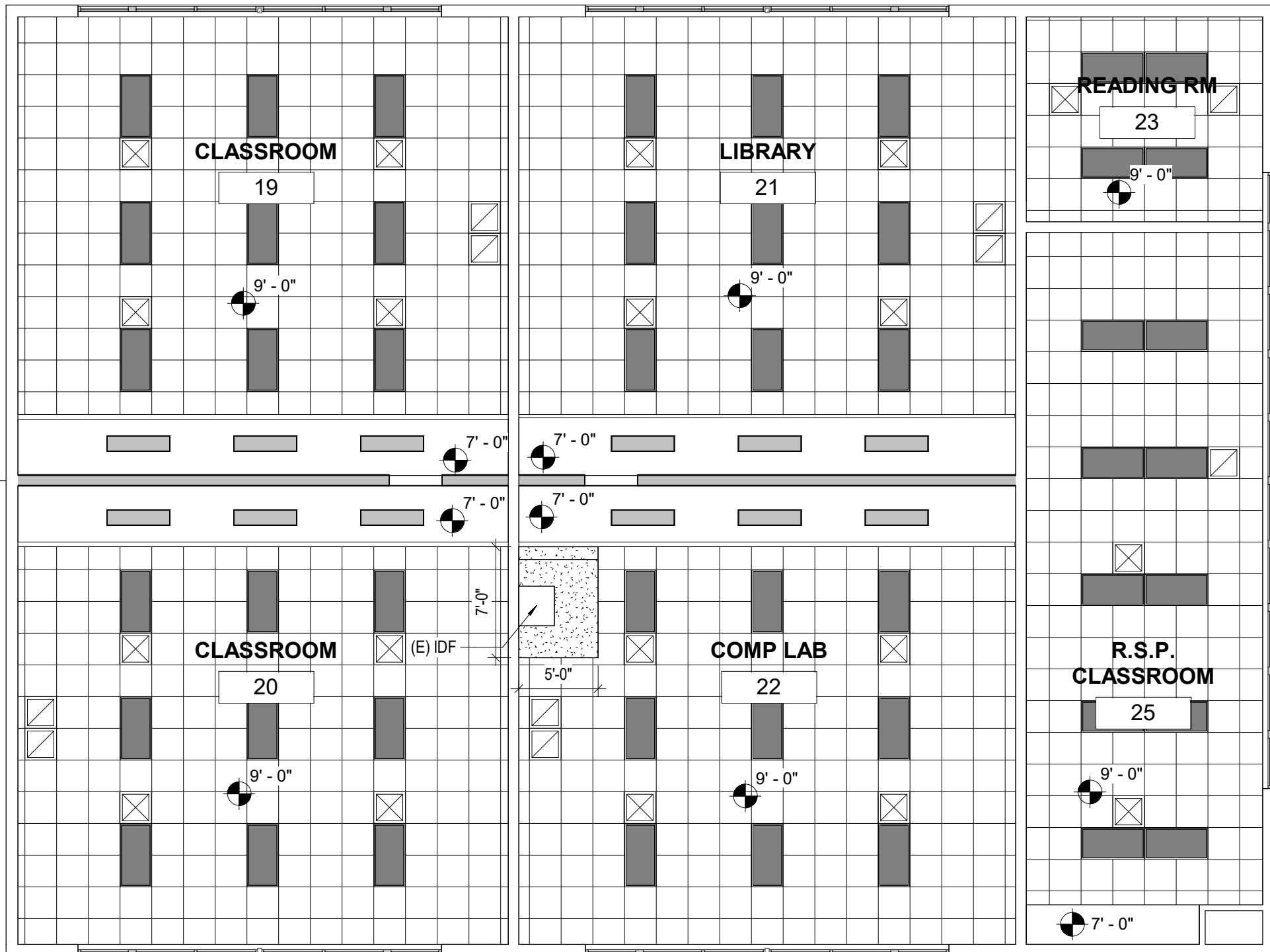
REVISIONS		
No.	Description	Date
1	ADDENDUM 01	08/2023

DSA SUBMITTAL

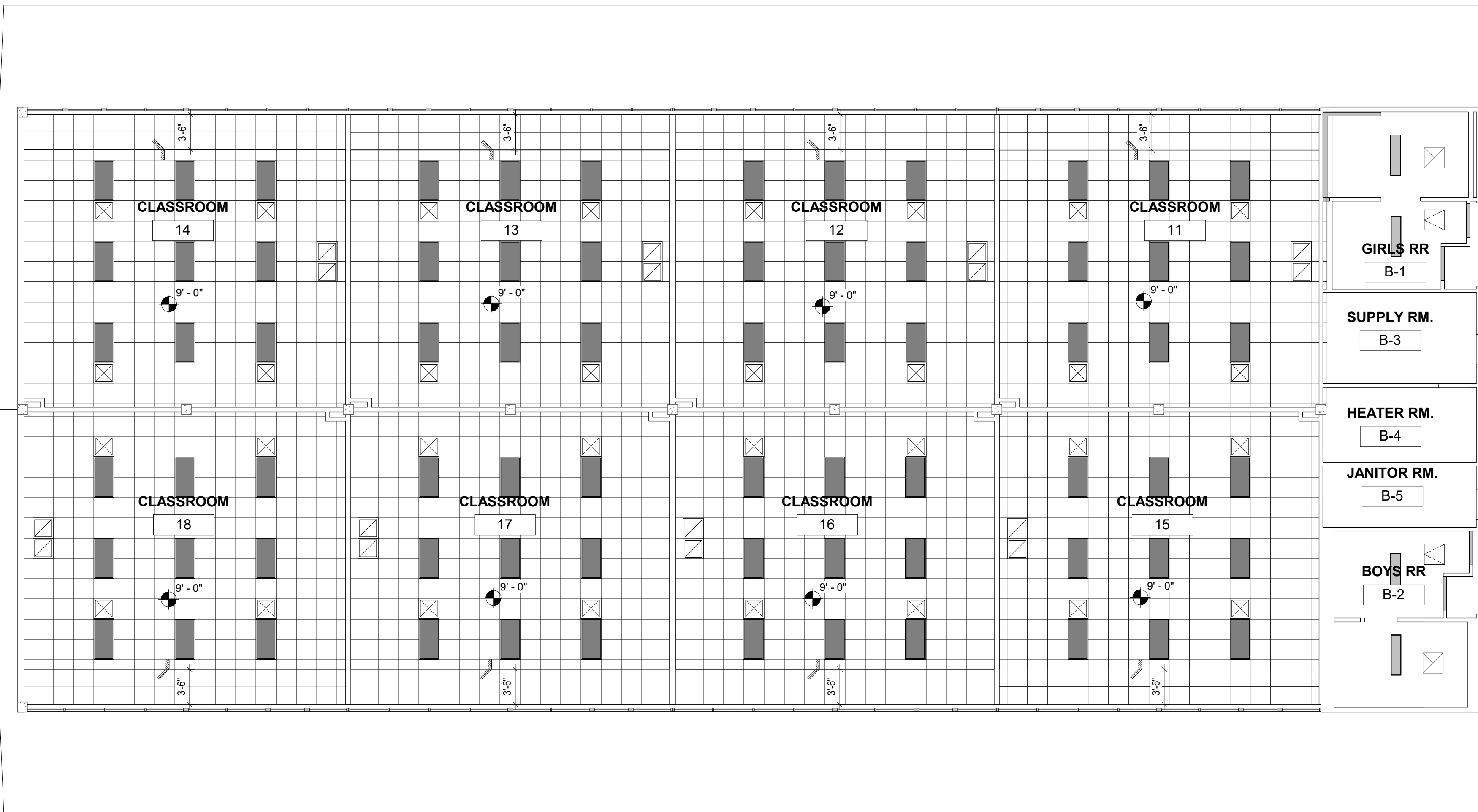
**FLOOR PLANS
ADMIN/KINDER, BLDG
A,B&C**

A1.01

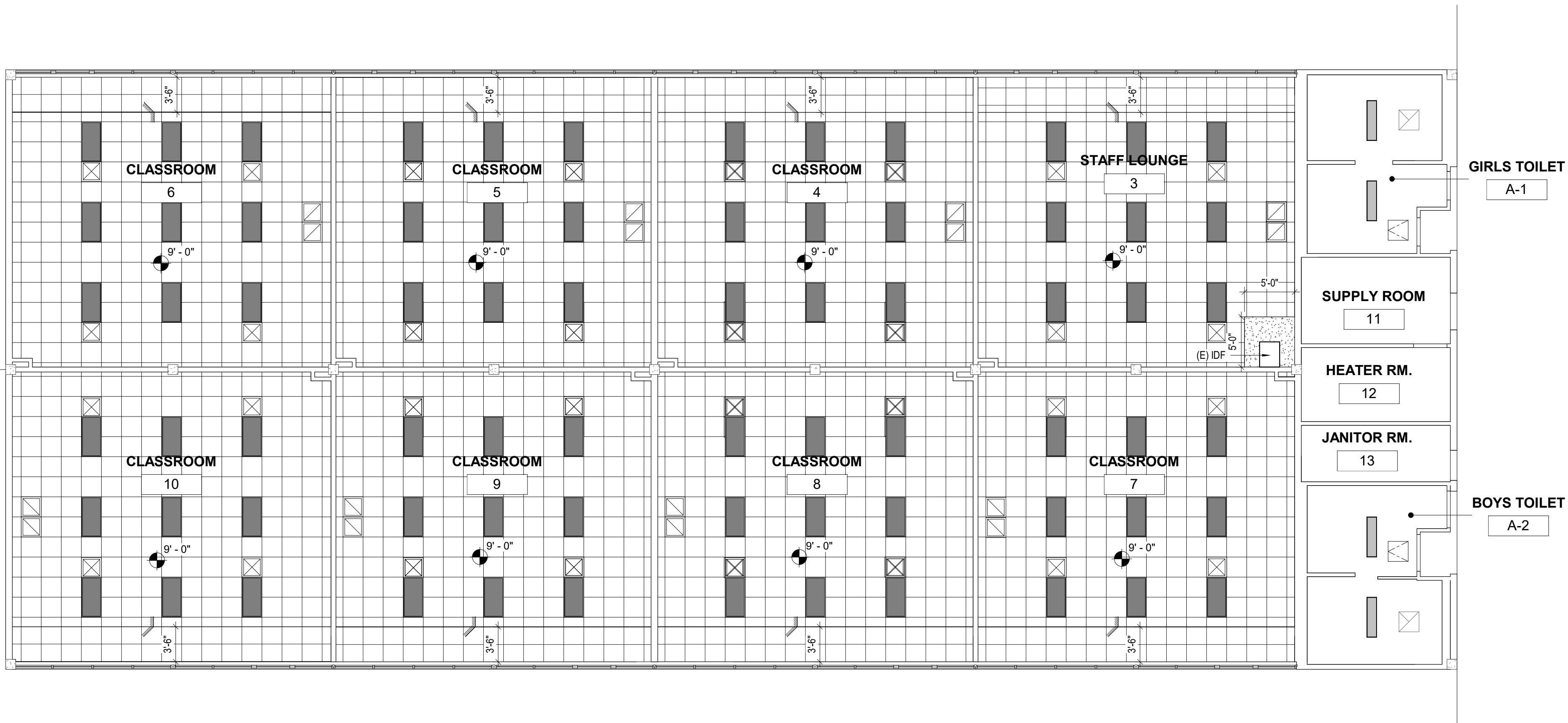
06 RCP - BLDG C
1/8" = 1'-0"



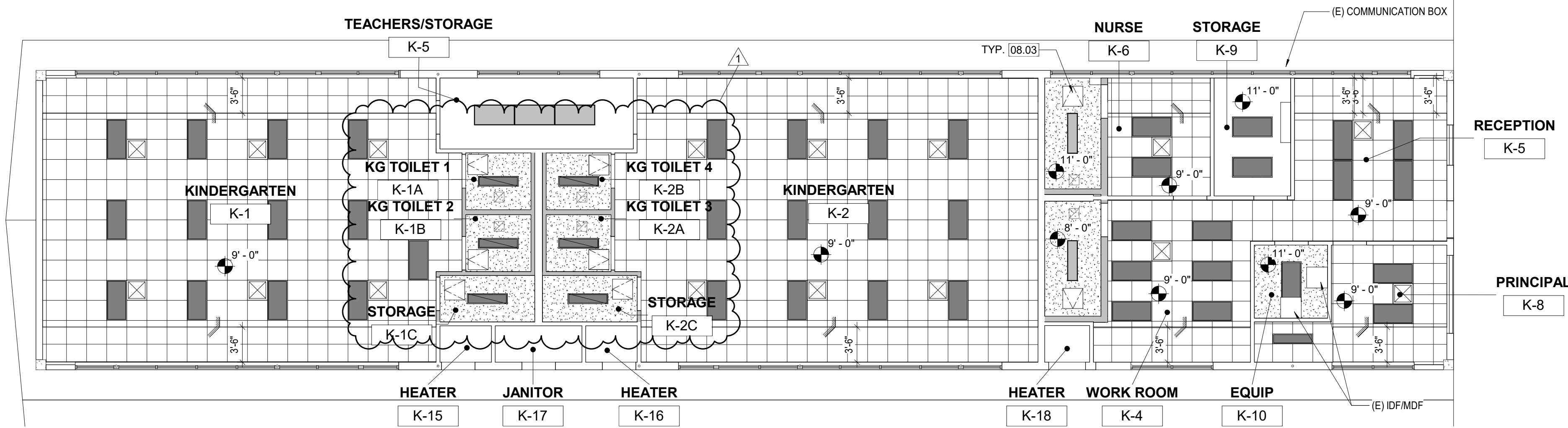
4 RCP - BLDG B
1/8" = 1'-0"



17 RCP-BLDG A
1/8" = 1'-0"



29 RCP - ADMIN KINDERGARTEN
1/8" = 1'-0"



-CONSTRUCTION KEYED NOTES

#	Description
08.03	(N) CEILING ACCESS PANEL, MIN. 22"x30" ROUGH FRAME OPENING, AS REQUIRED PER CODE, TO ACCESS HEAT DETECTOR AND RELATED MECH/ELEC SYSTEMS. MATCH CEILING FINISH.

REFLECTED CEILING PLAN LEGEND

	EXISTING PLASTER / GYP. BD. CEILING TO REMAIN, RE-PAINT TO MATCH EXISTING.
	NEW GYPSUM BOARD CEILING ATTACHED TO (E) CEILING JOIST. SEE DETAIL A8.03.5
	NEW 24' x 24' SUSPENDED ACOUSTIC CEILING TILE. SEE DETAIL A8.03.7
	NEW LIGHT FIXTURE(S). SEE ELECTRICAL DRAWINGS.
	MECHANICAL GRILLES. REFER TO MECHANICAL DRAWINGS AND STRUCTURAL DETAIL FOR HUNG UNITS.
	ACCESS PANEL. SEE DETAIL A8.03.4
	CEILING SLOPE TRANSITION.
	CEILING HEIGHT
NOTE: ALL (E) BLDGS ARE NON-SPRINKLERED	

GENERAL CEILING PLAN NOTES

- REFER TO AND COORD. WITH ROOM FINISH SCHEDULES FOR SPECIFIC CEILING TYPES.
- ALL SCHEDULED CEILING HEIGHTS ARE FROM THE MAIN FLOOR LEVEL WITHIN THE ROOM AND OR SPACE, AND ARE NOT FROM AN ELEVATED FLOOR LEVEL, AND ARE NOT FROM A RECESSED FLOOR LEVEL.
- NO FIRE SPRINKLER HEADS ARE SHOWN ON ARCH. CEILING PLANS. ALL SPRINKLER HEADS SHALL BE CENTERED WITHIN CEILING TILES U.N.O.
- ONLY CEILING MOUNTED FIXTURES AND EQUIP. IS SHOWN ON ARCH. CEILING PLANS. REFER TO INTERIOR ELEVATIONS FOR WALL MOUNTED FIXTURES. REFER TO MEPT DOCUMENTS FOR ADDITIONAL INFORMATION CONCERNING CEILING MOUNTED FIXTURES AND OR WALL MOUNTED FIXTURES.
- CEILING MOUNTED LIGHT FIXTURES ARE SHOWN FOR LOCATION PURPOSES ONLY. COORD. WITH ELEC. DOCUMENTS FOR LIGHT FIXTURE DESIGNATIONS.
- CEILING MOUNTED LIGHT FIXTURES WITHIN FIRE RATED CEILING ASSEMBLIES SHALL HAVE LIGHT FIXTURE PROTECTION AND BE TENTED OR OTHERWISE FIRE RATED TO MATCH CEILING ASSEMBLY FIRE RATING.
- VERIFY LOCATIONS OF ALL CEILING ACCESS PANELS WITH MEPT DOCUMENTS. COORD. LOCATIONS OF CEILING ACCESS PANELS WITH ARCH. PRIOR TO INSTALLATION. CEILING ACCESS PANEL FIRE RATINGS SHALL MATCH CEILING ASSEMBLY FIRE RATINGS.
- REFER TO WALL SECTIONS FOR WALL-CEILING INTERFACE.
- EXISTING CEILING ACCESS PANEL TO REMAIN.
- PROVIDE NEW CEILING ACCESS PANEL WHERE REQUIRED PER CODE.



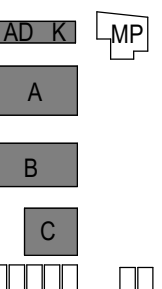
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ANAHEIM
2400 E. Katella Ave., Suite 950
Anaheim, CA 92806
P 949-548-5000
PBK.com

SCHMITT E.S. HVAC UPGRADE & MODERNIZATION

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Westminster, CA 92683

DSA SUBMITTAL

DSA APPL. NO. 04-21817 DSA FILE NO. 30-43



KEY PLAN
NORTH: PLAN

Consultant



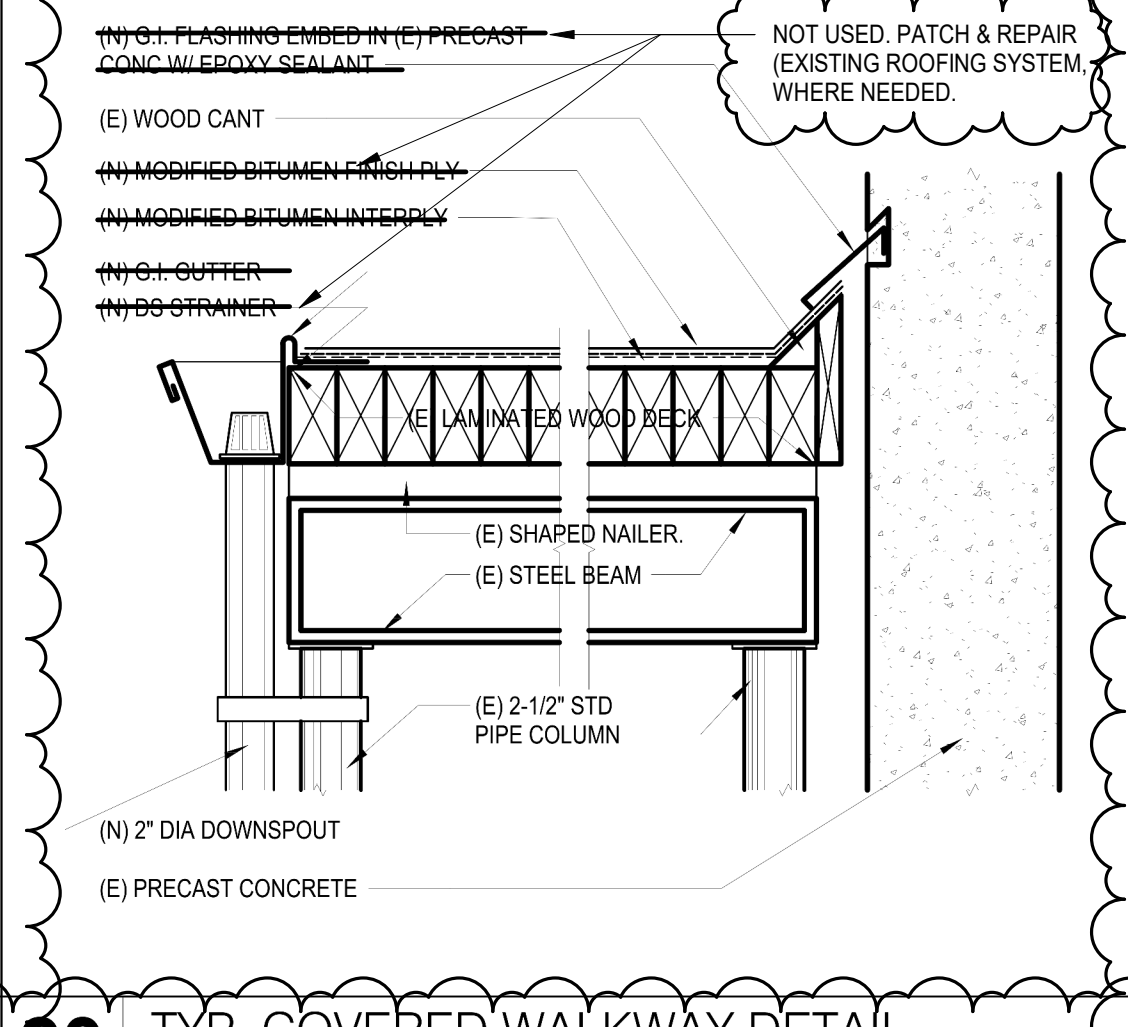
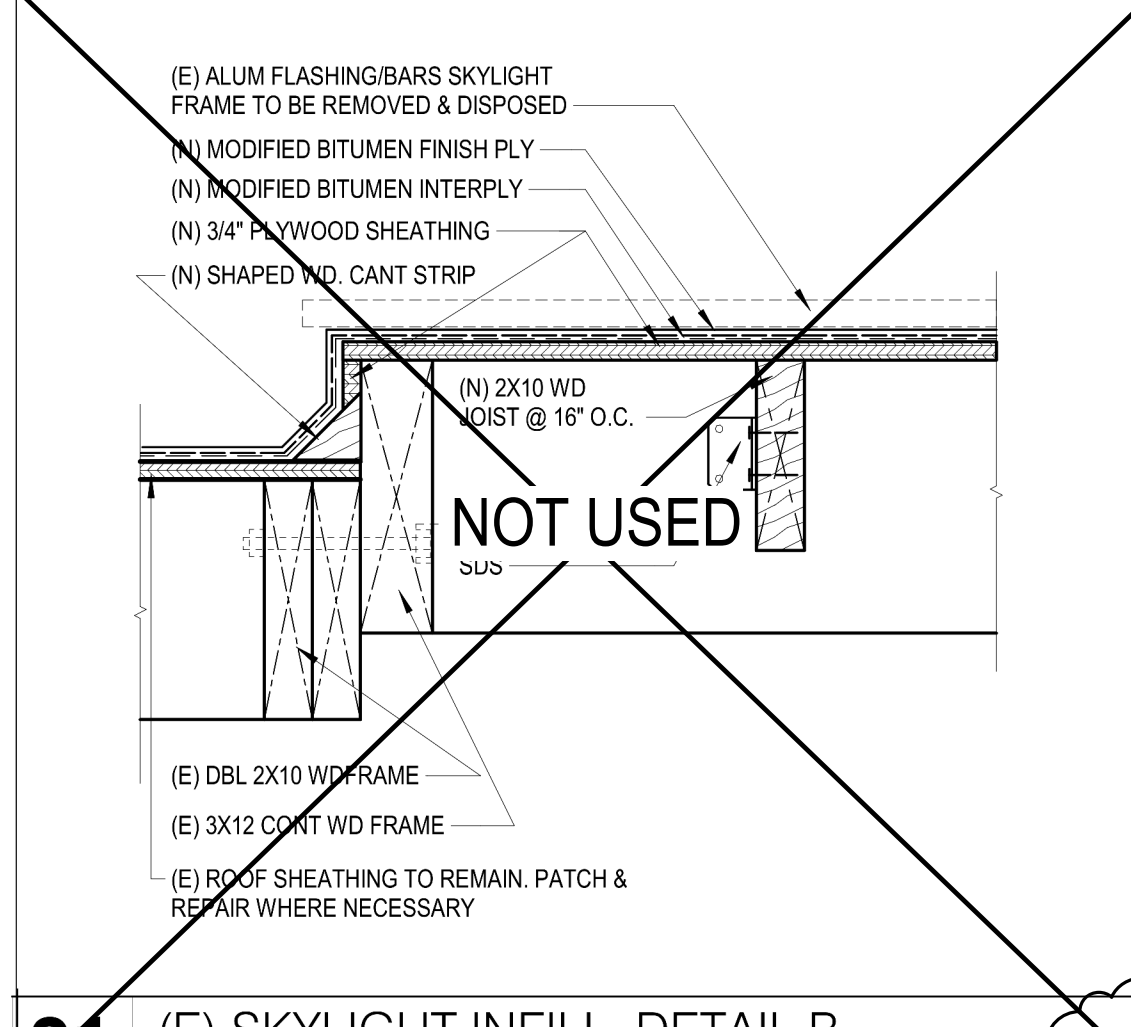
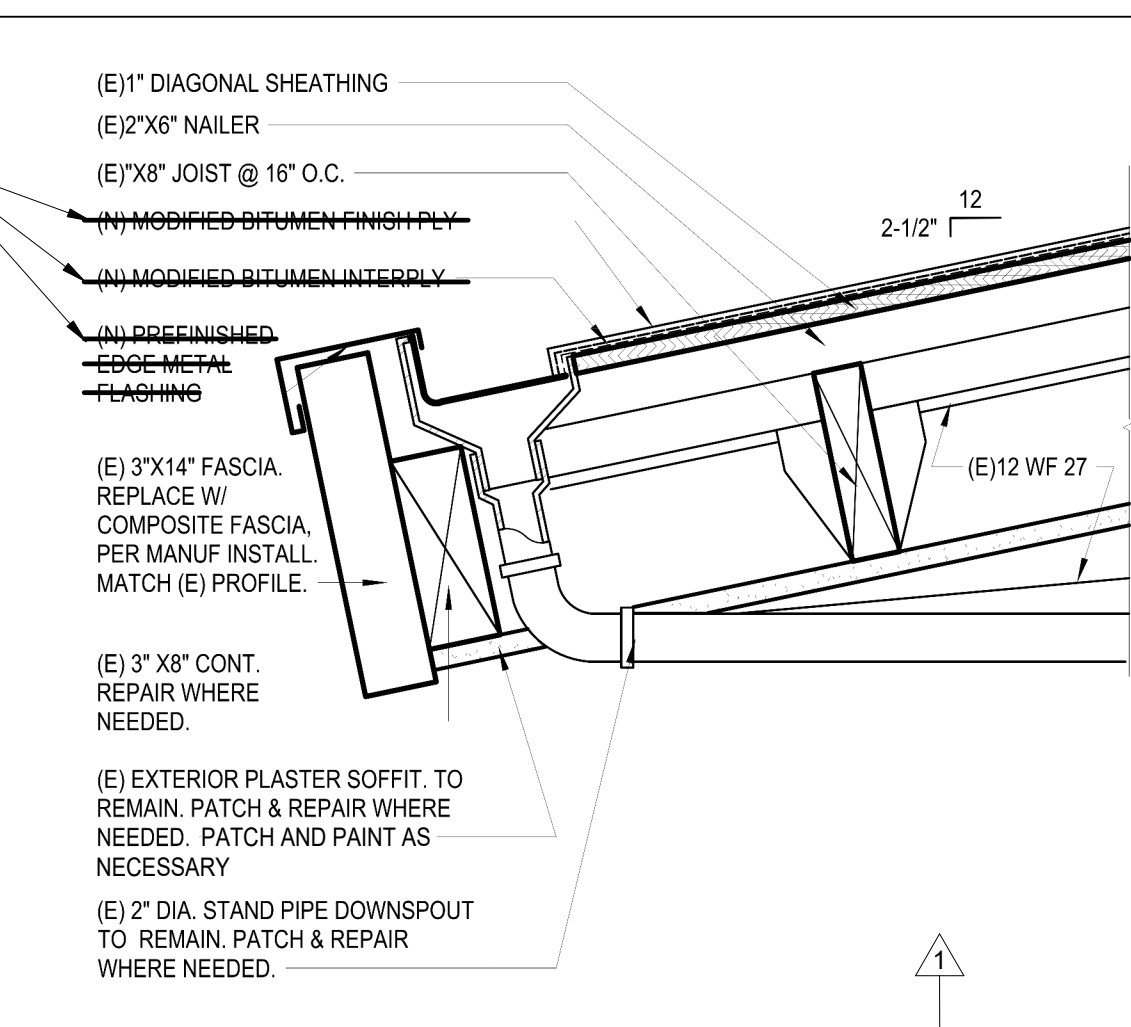
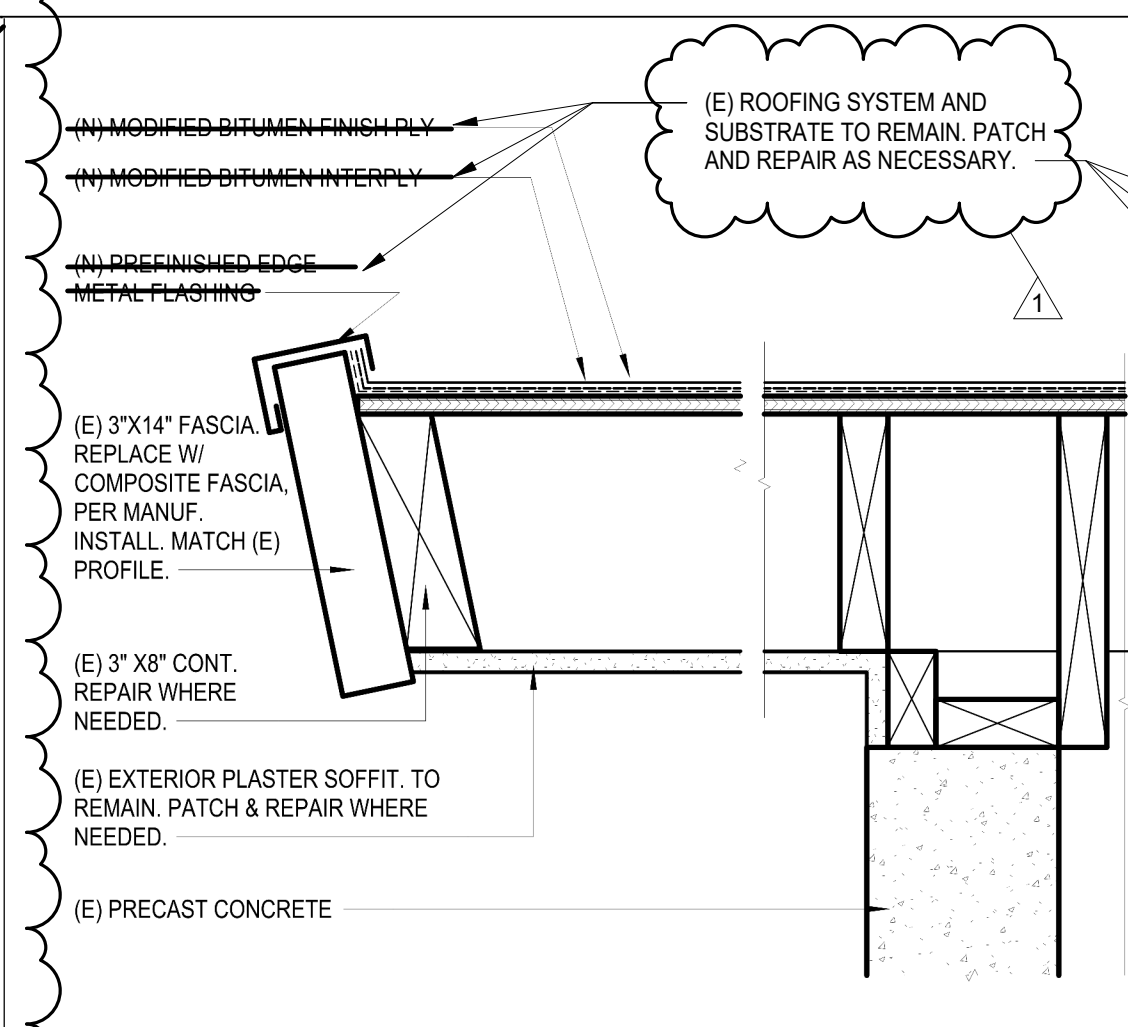
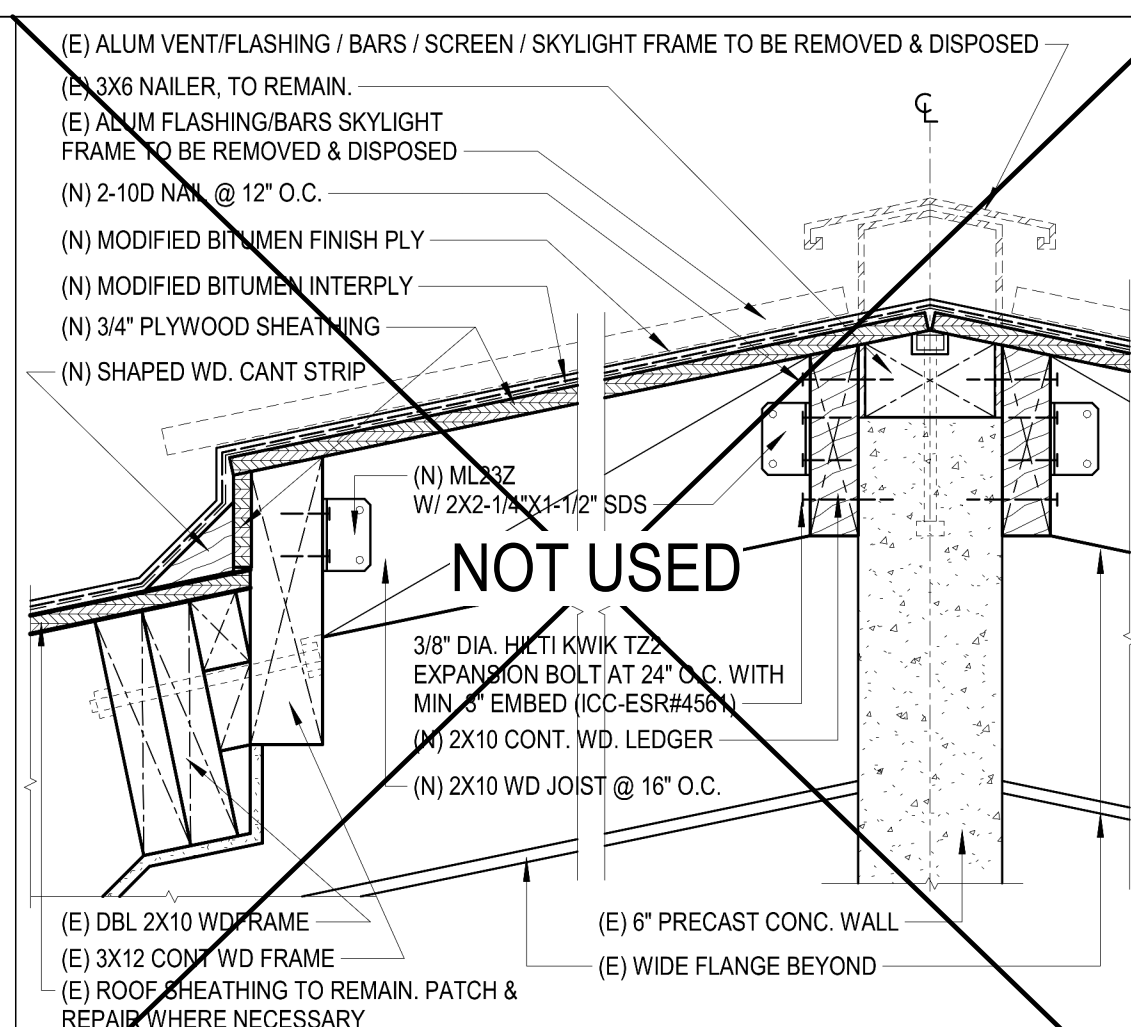
REVISIONS		
No.	Description	Date
1	ADDENDUM 01	08/2023

DSA SUBMITTAL

REFLECTED CEILING
PLANS ADMIN/KINDER,
BLDG A,B&C



PARTIAL LIST OF APPLICABLE CODES	
2019 California Administrative Code (CAC)	
2019 California Building Code (CBC)	(Part 1, Title 24 CCR)
2019 International Building Code Volumes 1-2 and 2019 California Amendments	(Part 2, Title 24 CCR)
2019 California Electrical Code (CEC)	(Part 3, Title 24 CCR)
2014 National Electrical Code and 2019 California Amendments	(Part 3, Title 24 CCR)
2019 California Mechanical Code (CMC)	(Part 4, Title 24 CCR)
2015 Uniform Mechanical Code and 2019 California Amendments	(Part 4, Title 24 CCR)
2019 California Plumbing Code (CPC)	(Part 5, Title 24 CCR)
2015 Uniform Plumbing Code and 2019 California Amendments	(Part 5, Title 24 CCR)
2019 California Energy Code (CEC)	(Part 6, Title 24 CCR)
2019 California Fire Code (CFC)	(Part 7, Title 24 CCR)
2015 International Fire Code and 2019 California Amendments	(Part 7, Title 24 CCR)
2019 California Green Building Standards Code (CAL Green)	
2019 California Referenced Standards	(Part 2, Title 24 CCR)
Title 19 CCR, Public Safety, State Fire Marshal Regulations	
2016 ASME A11.1 Code for Design and Installation of Fire Elevators and Escalators (per 2019 CBC Part 2, Ch 35)	
Note: CNA/SOHA Elevator Unit enforces CCR Title 19 and uses the 2004 ASME A11.1 7th edition	
PARTIAL LIST OF APPLICABLE STANDARDS	
ANSI Z39.1 Automotive Fire Extinguishers	(2016 Edition)
ANSI Z39.2 Handheld Fire Extinguishers	(2016 Edition)
ANSI Z39.3 Standpipe and Hose Systems	(2016 Edition)
ANSI Z39.4 Chemical Extinguishing Systems	(2016 Edition)
ANSI Z39.7 Wet Chemical Extinguishing Systems	(2016 Edition)
ANSI Z24 Standard for Fire Protection	(2016 Edition)
ANSI Z24.1 Trench for Fire Protection	(2016 Edition)
ANSI Z24 Standard for the Installation of Private Fire Service Mains and their Appendages, CCA	(2016 Edition)
ANSI Z24 Standard for Inspection, Testing and Maintenance of Water-Based Fire Extinguishing Systems	(2016 Edition)
ANSI Z24 National Fire Alarm & Signaling Code (CA amended)	(2013 Edition)
ANSI Z24.2 Alarm and Signaling Code	(2013 Edition)
ANSI Z24 Standard for Smoke Control Systems	(2015 Edition)
ANSI Z24.3 Standard for Smoke Control Systems	(2015 Edition)
ANSI Z24.4 Standard for Fire Alarm and Signaling Systems (CA amended)	(2015 Edition)
ICC 308 Code on Staircases, Folding and Telescoping Stairing and Grand stands	(2007 Edition)
UL 500 Fire Testing of Extruded Plastic for Protection of Reinforced Concrete Joists	(2013 Edition)
UL 444 Audible Signaling	(2017 Edition)
UL 444A Audible Signaling	(2017 Edition)
UL 444B Audible Signaling	(2017 Edition)
UL 444C Audible Signaling	(2017 Edition)
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UL 444E Audible Signaling	(2017 Edition)
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UL 444LO Audible Signaling	(2017 Edition)
UL 444LP Audible Signaling	(2017 Edition)
UL 444LQ Audible Signaling	(2017 Edition)
UL 444LR Audible Signaling	(2017 Edition)
UL 444LS Audible Signaling	(2017 Edition)
UL 444LT Audible Signaling	(2017 Edition)
UL 444LU Audible Signaling	(2017 Edition)
UL 44	



A

NEW MOD. BIT. COOL ROOF FINISH PLY (RE: SPECS)
NEW MOD. BIT. BASE PLY (RE: SPECS)
NEW MECHANICALLY ATTACHED BASE SHEET
NEW 1/2" RECOVER BOARD

NOT USED

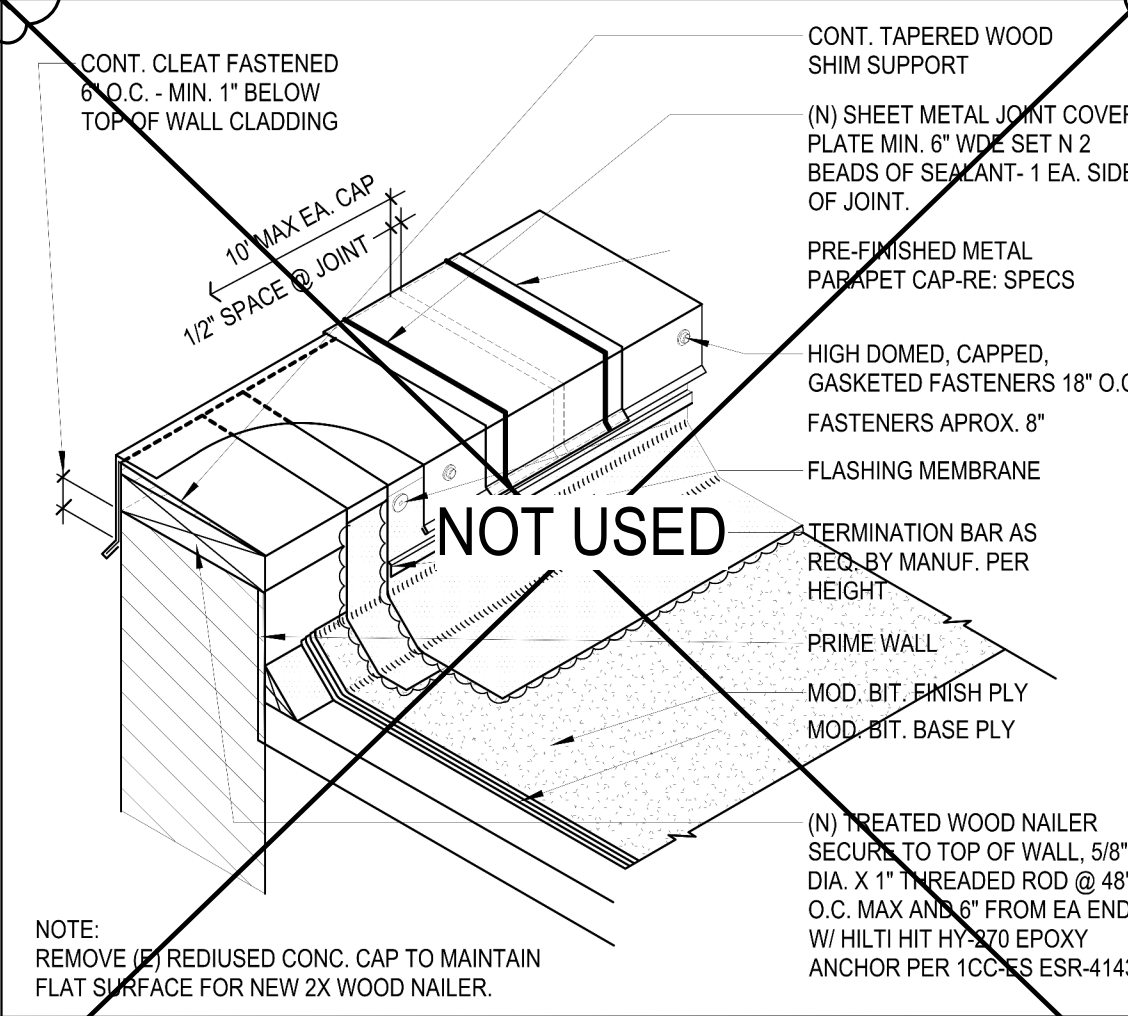
UP ROOF TO BE
LY TO DECK

EXISTING ROOF DECK TO REMAIN

NEW NOMENCLATURE

NOTES		EXISTING ROOF		NEW ROOF PER UTA3.01		REMARKS
ROOF AREA	APPROX.	SQ. FT.				
1	RELO CR A#52959	1140 SF	WD/SSBUR-A	N/A		
2	RELO CR A#66162	1140 SF	WD/SSBUR-A	N/A		
3	RELO CR A#100561	1140 SF	WD/SSBUR-A	N/A		
4	RELO CR A#100927	1140 SF	WD/SSBUR-A	N/A		
5	RELO CR A#101055	1140 SF	WD/SSBUR-A	N/A		
6	RELO CR A#107165	1140 SF	WD/SSBUR-A	N/A		
7	RELO CR A#66162	1140 SF	WD/SSBUR-A	N/A		
8	RELO CR A#100561	1140 SF	WD/SSBUR-A	N/A		
9	RELO CR A#100927	1140 SF	WD/SSBUR-A	N/A		
10	RELO CR A#107165	1140 SF	WD/SSBUR-A	N/A		
11	RELO CR A#66162	1140 SF	WD/SSBUR-A	N/A		
12	RELO CR A#100927	1140 SF	WD/SSBUR-A	N/A		
13	RELO CR A#107165	1132 SF	WD/SSBUR-A	N/A		
14	RELO CR A# 66162	1140 SF	WD/SSBUR-A	N/A		
15	RELO CR A#107165	1164 SF	WD/SSBUR-A	N/A		
16	RELO CR A#107165	1140 SF	WD/SSBUR-A	N/A		
17	RELO TOILET	540 SF	WD/SSBUR-A	N/A		
18	ADMIN / KINDERGARTEN	5307 SF	WD/SSBUR-A	A		
19	ADMIN KINDER OVERHANG	1023 SF	WD/SSBUR-A	A		
20	BLDG 4 CLASSROOMS	12151 SF	WD/SSBUR-A	A		
21	BLDG 6 CLASSROOMS	12151 SF	WD/SSBUR-A	A		
22	BLDG 7 CLASSROOMS	8781 SF	WD/SSBUR-A	A		
23	LIBRARY					
24	COVERED WALKWAY	8833 SF	WD/SSBUR-A	A		
25	MPR	4539 SF	WD/SSBUR-A	A		
26	RELO CR A#65233	1140 SF	WD/SSBUR-A	N/A		
27	RELO CR A#100561	4200 SF	WD/SSBUR-A	N/A		

GENERAL	
SHEET NUMBER	SHEET NAMES
A.3.01	SITE PLAN
A.3.02	ENLARGED ROOF PLAN
A.3.03	DETAILS



C. CONTRACTOR SHALL VISIT SITE TO ASCERTAIN EXACT EXISTING CONDITIONS AND COMPANIONS RELATED TO THE WORK DESCRIBED BY THESE DOCUMENTS. AFTER AWARD OF THE CONTRACT, CHANGE ORDER REQUEST FOR ADDITIONAL MONEY SHALL BE SUBMITTED IF THE WORK DESCRIBED HAS BEEN ANTICIPATED DURING THE SITE VISIT BY THE CONTRACTOR, ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ACCEPTED MANUFACTURER'S PRINTED INSTRUCTIONS & WARRANTY REQUIREMENTS.

B. DIMENSIONS, DETAILS, EQUIPMENT SIZE AND LOCATION SHOWN IN THESE DOCUMENTS ARE FOR INFORMATION AND REFERENCE ONLY. EXACT SIZE, LOCATION, TYPE OF MATERIAL AND TYPE OF CONSTRUCTION OF EXISTING CONDITIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR TO ASCERTAIN & CONFIRM.

C. ALL NEW CRICKETS AND TAPERED INSULATION SHALL BE INSTALLED WITH A FINISH SLOPE OF 1/4" FOR 1' MIN. SLOPE. CRICKET THE UP SLOPE SIDE OF ALL SQUARE CURBS (AND PROJECTIONS).

D. REMOVE ALL ABANDONED EQUIP. IDENTIFIED ON ROOF TOP AND AS SHOWN ON DRAWINGS - (PATCH DECK) HOLES LESS THAN 10" WIDE - SCREW 22 GA. STAINLESS STEEL SHEET METAL TO EXISTING DECK HOLES GREATER THAN 10" WIDE - SCREW NEW STEEL DECK (MATCH EXISTING) SPAN FROM JOIST TO JOIST.

E. ALL HVAC AND/OR DX UNITS, ELECTRICAL TRANSFORMERS, ROOF TOP EQUIPMENT, ETC. THAT ARE ON SLEEPERS SHALL BE DISCONNECTED/REMOVED, RAISED, & PLACED ON CURBED SUPPORTS (RAISED) (REMOVED) UNITS RECONNECTED/RE-INSTALLED. VENT ALL EXISTING CURB UNITS, EQUIPMENT, ETC. HAVE A MINIMUM 10" CURB HEIGHT (RAISED AS REQUIRED) - ALL DISCONNECTS AND RECONNECTS SHALL BE PERFORMED BY A LICENSED ELECTRICIAN.

F. IF EXISTING ELECTRICAL/GAS/WATER/ETC. LINES ARE MODIFIED - ONLY LICENSED SUBCONTRACTORS SPECIALIZING IN HVAC, PLUMBING AND ELECTRICAL SHALL PERFORM THE MODIFICATION OF WORK, PERMITS AND INSPECTIONS REQUIRED - PROVIDE "MERCURY" GAS LINE TEST (COORDINATE OWNER/ARCHITECT WITNESS OF TEST), REPAIR ALL LEAKS AND RE-TEST

G. REPLACE AND RAISE (AS REQUIRED) ALL EXISTING EXPANSION JOINTS/AREA DIVIDERS/ CURB MOUNTED EQUIPMENT/ SKYLIGHTS A MIN. 10" ABOVE ROOF DECK. (UNLESS INDICATED OTHER WISE ON DRAWING.)

H. ENSURE ALL SOIL STACK FLASHING IS MIN. 10" ABOVE ROOF. COUPLE PVC PIPE ABOVE DECK, COUPLE CAST IRON PIPE UNDER DECK.

I. PROVIDE SHEET METAL HOODED (w/ METAL FACE CLOSURE), WOOD CURB, BOX COVER AT ALL GAS LINE AND WATER LINE ROOF PENETRATIONS (RE: DETAILS). ENSURE LINES SLOPE AWAY FROM FACE COVER.

J. PROVIDE WALKWAY PROTECTION PADS (AS ACCEPTABLE TO MANUFACTURER-RE: SPECS), ABOVE ALL ROOF HATCHES, A/C UNITS, DOORS THAT OPEN ONTO ROOF, AND AT ALL ROOF TOP ACCESS LADDER TOPS & BOTTOMS.

K. ISOLATE ALL HEAT PIPES/FLUES AS REQUIRED & OUTLINED IN THE NRCA MANUAL FOR ISOLATED STACK FLASHING - (RE:DETAILS)

L. ALL OUTSIDE AIR INTAKES SHALL BE COVERED TO ELIMINATE ODORS AND FUMES FROM ENTERING INTO THE BUILDING DURING WORK.

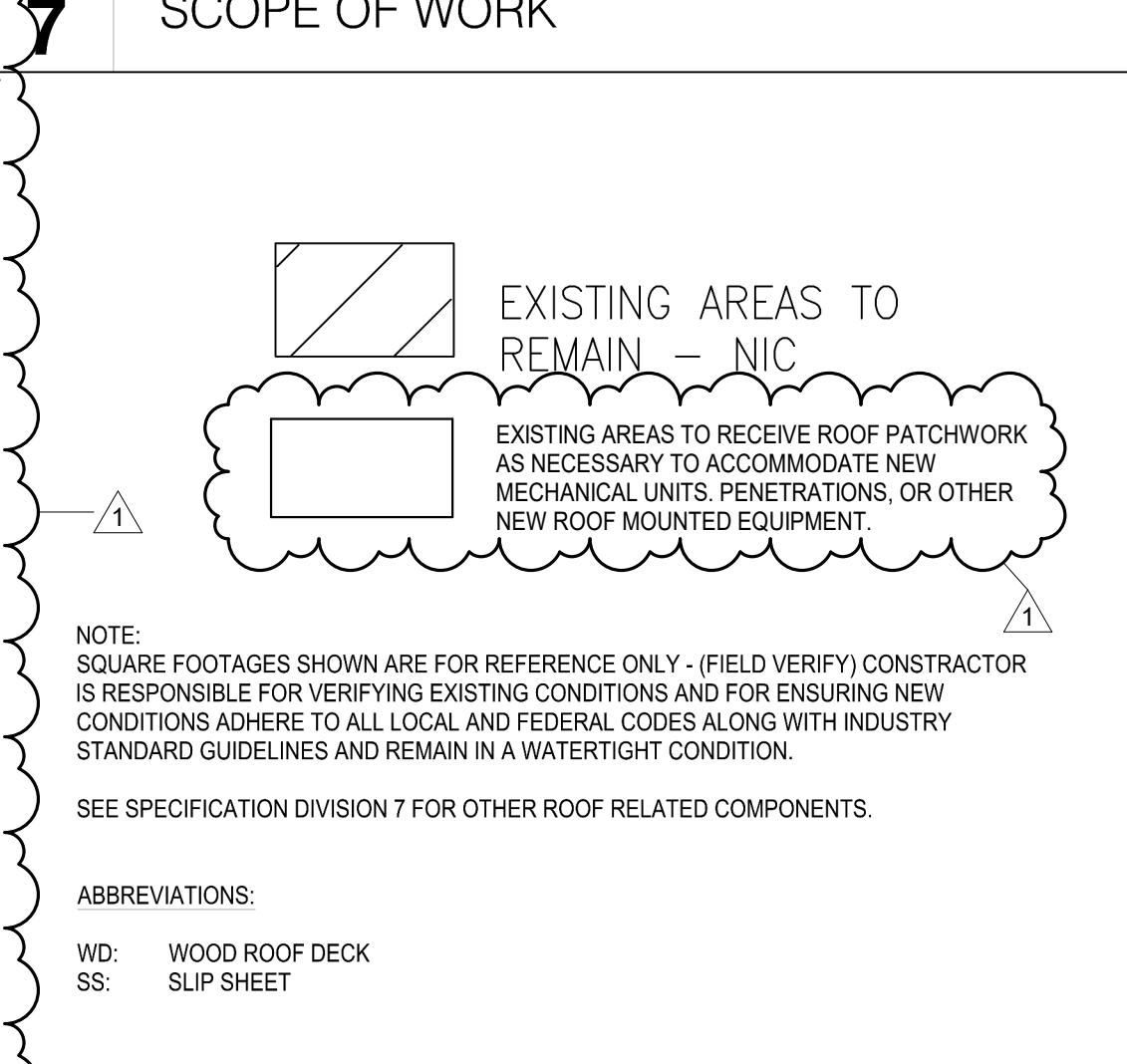
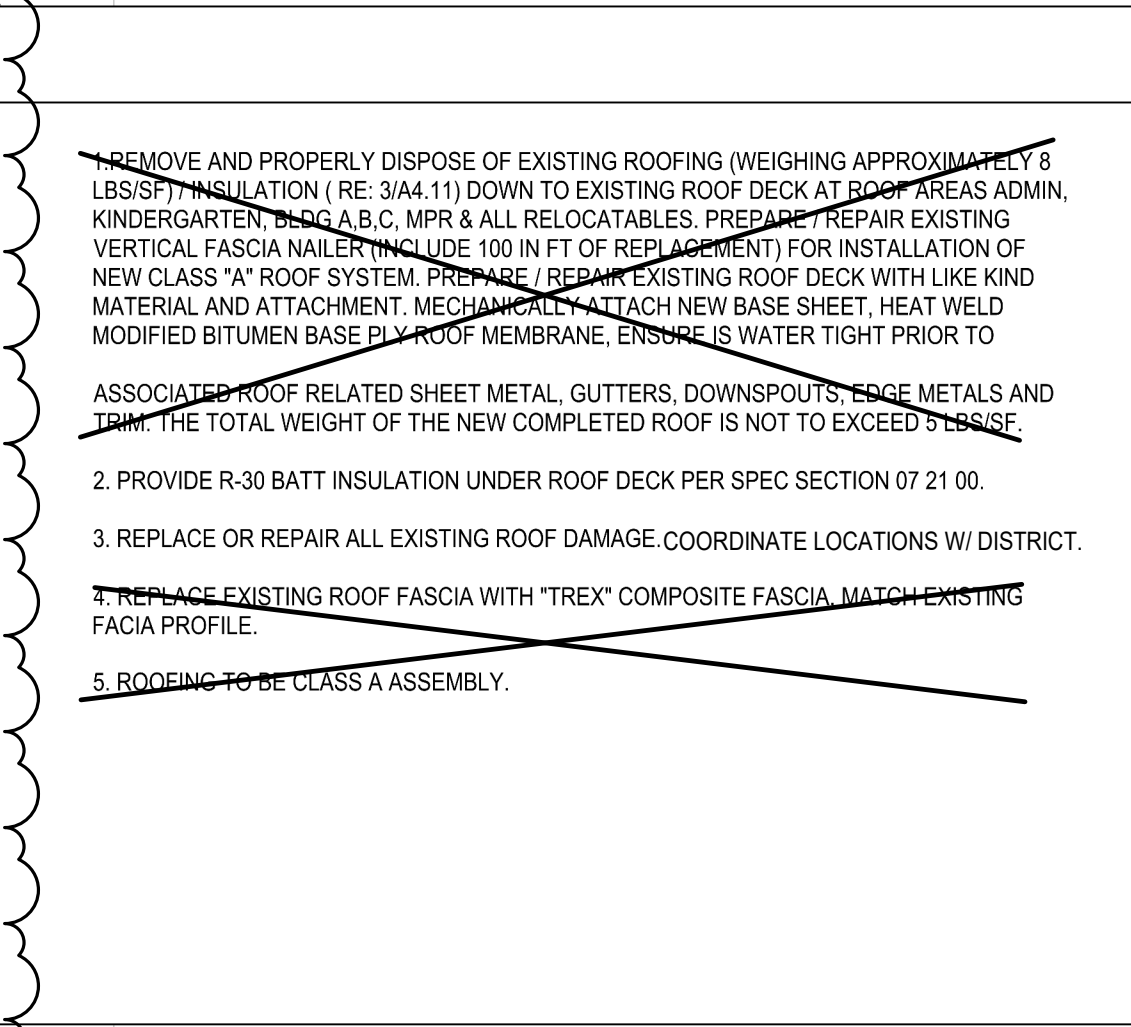
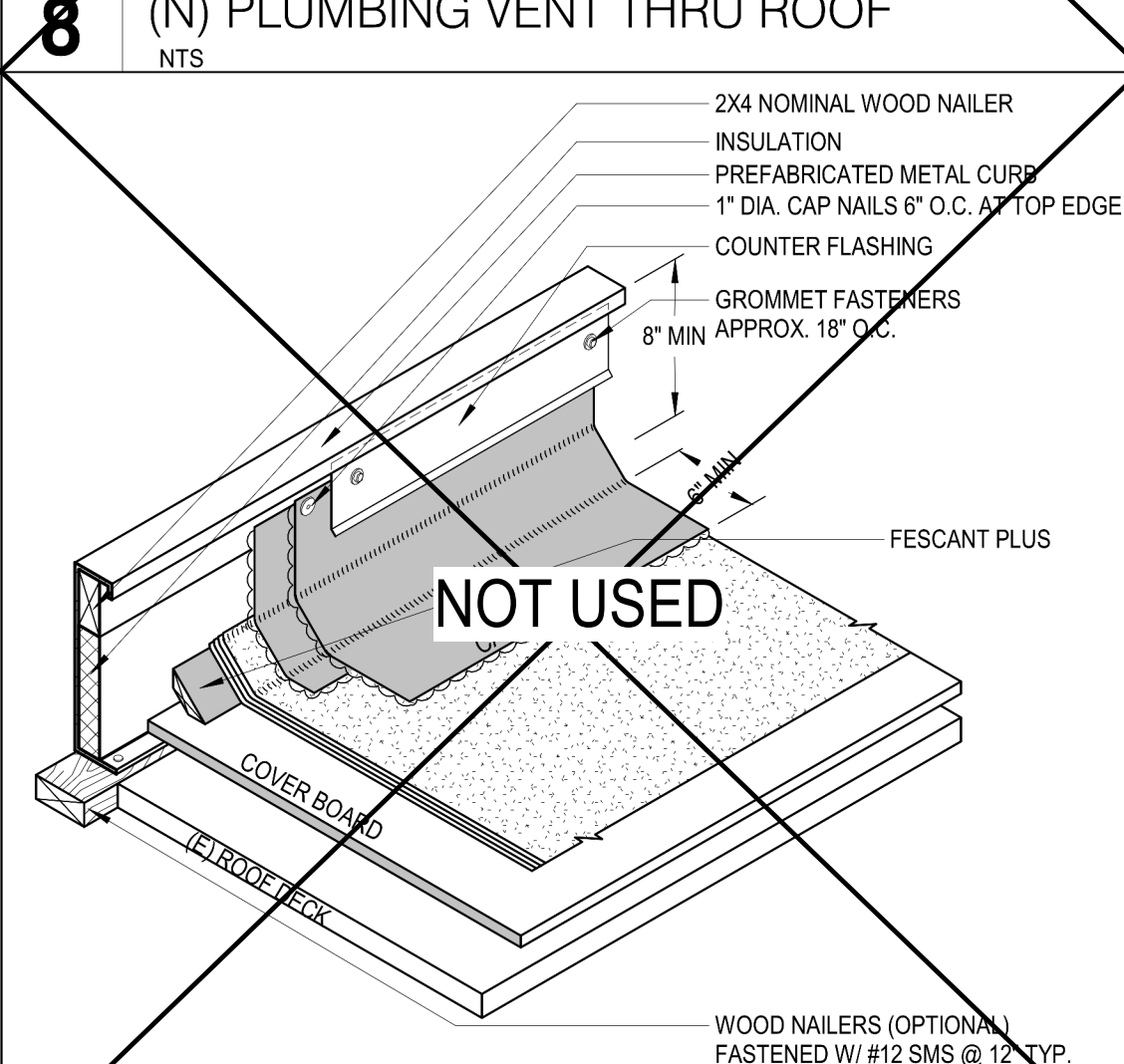
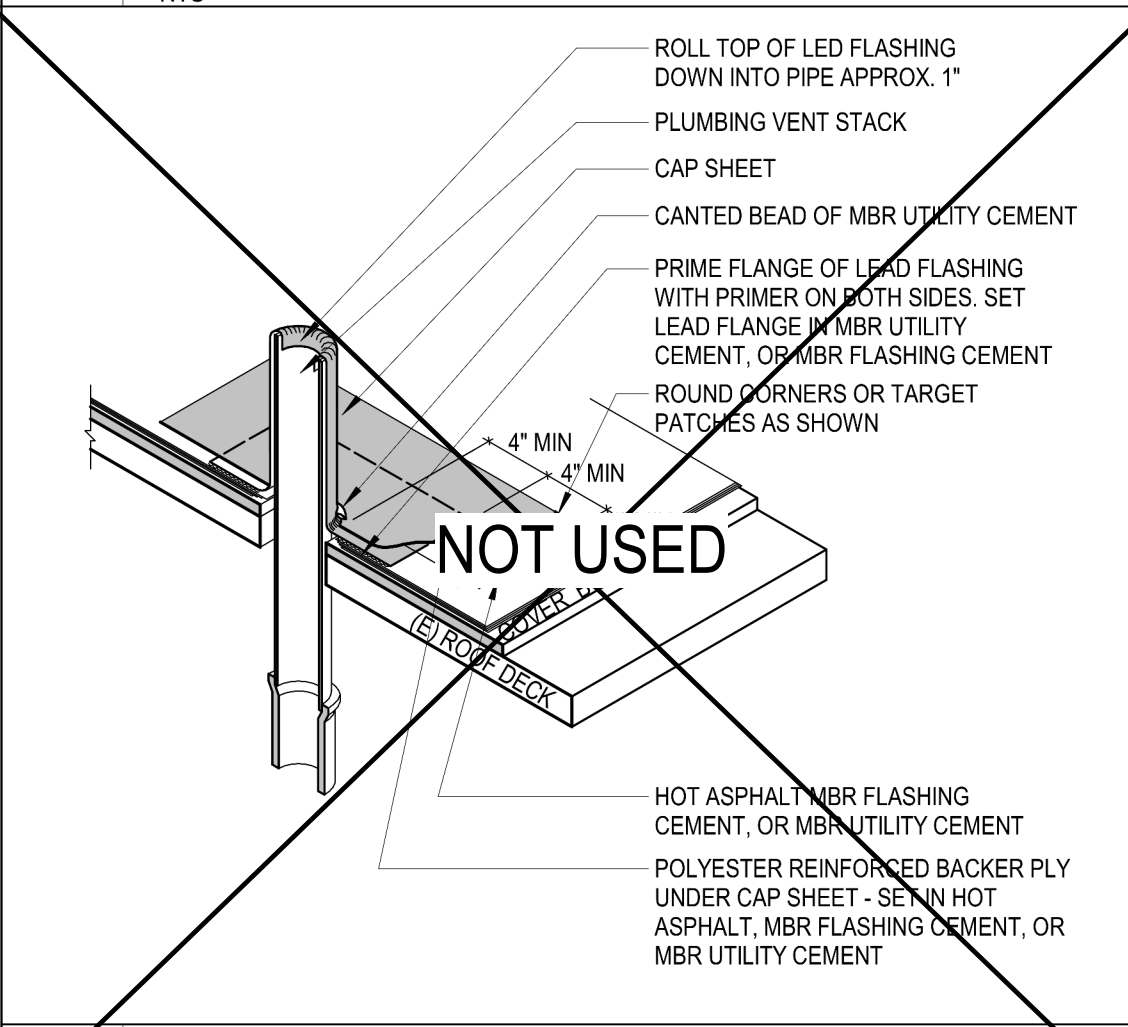
M. EXAMINE AND CLEAN EXISTING DRAIN LINES OF DEBRIS AND BLOCKAGE, FLUSH WITH WATER TO ENSURE THAT DRAINS FLOW FREELY.

N. OWNER WILL VERIFY CORRECT OPERATION OF ALL ROOF TOP EQUIPMENT BEFORE AND AFTER PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING ALL INOPERABLE EQUIPMENT PRIOR TO RELEASE OF RETAINAGE.

O. REPLACE ALL RUSTED/DETERIORATED EXISTING METAL VENT FLASHING AND FLUES.

P. COORDINATE WALK OF ENTIRE ROOF (PRIOR TO STARTING) WITH ROOFING MANUFACTURER TO TECHNICAL REPRESENTATIVE AND LOCATE ALL AREAS OF HIGH SLOPE WHICH MIGHT REQUIRE SPECIAL PROCEDURES FOR SYSTEM ATTEMPT.

Q. PROVIDE ONE" OVER MOISTURE VENTS 1 PER 900 SF AT ALL LT. WT. OVER POUR AREA



PBK

ARCHITECT

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PBK Architects, Inc.
PBK.com

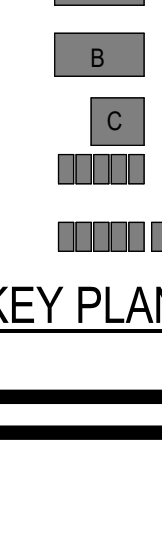
SCHMITT E.S. HVAC UPGRADE & MODERNIZATION

PROJECT ADDRESS:
7200 Trask Ave
Westminster, CA 92683


DSA SUBMITTAL

DSA APPL NO.: 04-121817 DSA FILE NO.: 30-43






KEY PLAN




NORTH: PLAN

Consultant



Architect



CLIENT
WESTMINSTER SCHOOL DISTRICT

DATE
12-29-2022

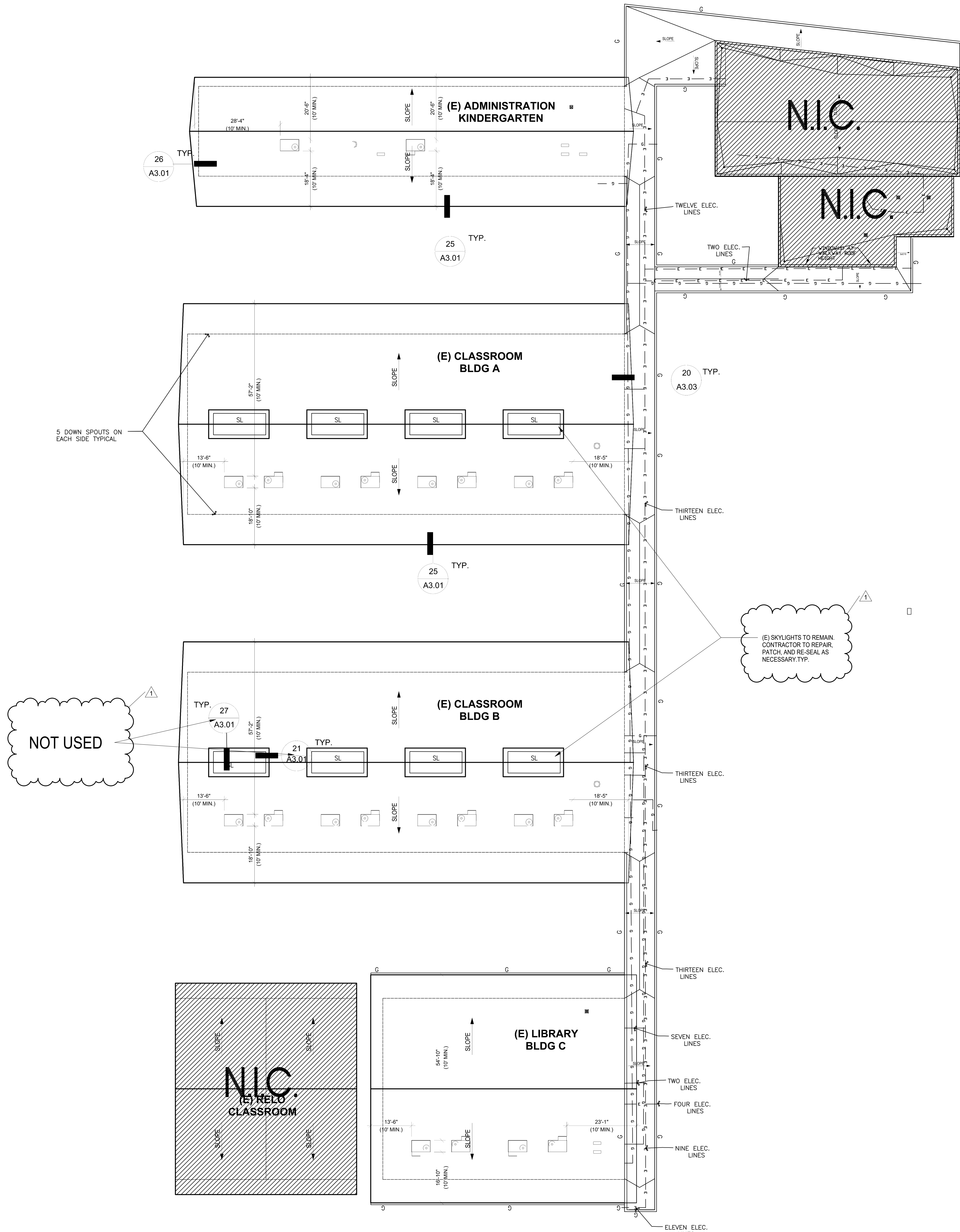
PROJECT NUMBER
2210308

REVISIONS	Description	Date
1	ADDENDUM 01	08/2023

DSA SUBMITTAL

OVERALL ROOF PLAN AND DETAIL

6 ENLARGED ROOF PLAN
1/16" = 1'-0"



EXISTING AREAS TO REMAIN - NIC

EXISTING AREAS TO RECEIVE ROOF PATCHWORK AS NECESSARY TO ACCOMMODATE NEW MECHANICAL UNITS PENETRATIONS OR OTHER NEW ROOF MOUNTED EQUIPMENT.

NOTE: SQUARE FOOTAGES SHOWN ARE FOR REFERENCE ONLY. (FIELD VERIFY) CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS AND FOR ENSURING NEW CONDITIONS ADHERE TO ALL LOCAL AND FEDERAL CODES ALONG WITH INDUSTRY STANDARD GUIDELINES AND REMAIN IN A WATERTIGHT CONDITION.

SEE SPECIFICATION DIVISION 7 FOR OTHER ROOF RELATED COMPONENTS.

ABBREVIATIONS:
WD: WOOD ROOF DECK
SS: SLIP SHEET

7 GENERAL NOTES
3" = 1'-0"

PLUMBING VENT	GOOSE NECK VENT	PIPE BOX
FLANGE VENT	CURB MOUNTED A/C	— RIDGE LINE
PITCH PAN	SPLASH BLOCK	— EXISTING AREAS TO REMAIN - NIC
NEW ROOF DRAIN	SPLASH PAN	— NEW TAPERED INSULATION / CRICKET
EXIST. ROOF DRAIN	A/C ON POSTS	— SKYLIGHT
OVERFLOW DRAIN	ROOF HATCH	— ANTENNA
WALL DRAIN	SKYLIGHT	— SATELLITE DISH
CURB MOUNTED VENT	—	— SCUPPER
ABANDONED CURB TO BE REMOVED/PATCHED	—	— GUTTER
GUY WIRE	—	— DOWNSPOUT
POWER VENT	—	— WALL LADDER
HEATER VENT	—	— SWING LADDER
BOILER VENT	—	— GAS LINE
TURBINE VENT	—	— CONDENSATE LINE
ABANDON EQUIP.	—	— ELEC. LINE
—	—	— WATER LINE

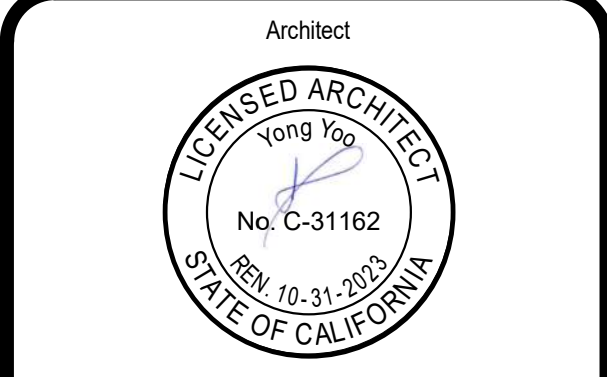
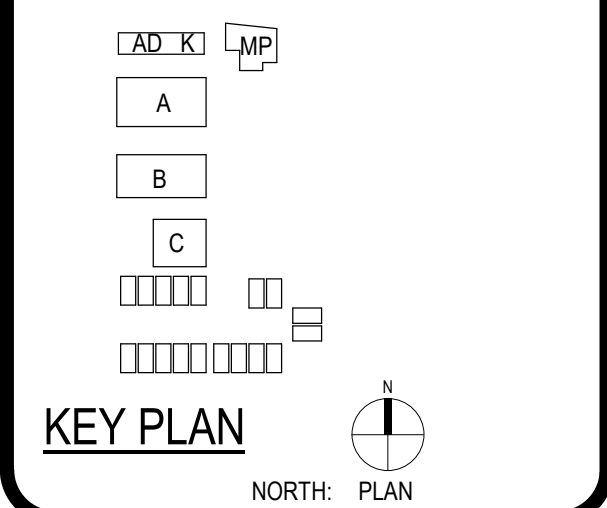
1 GENERAL LEGEND
NTS



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SCHMITT E.S. HVAC UPGRADE & MODERNIZATION

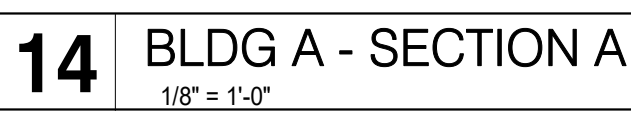
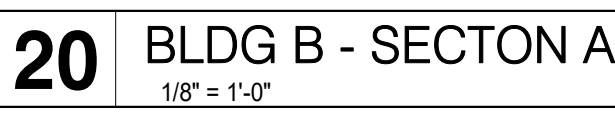
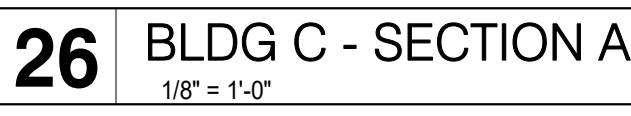
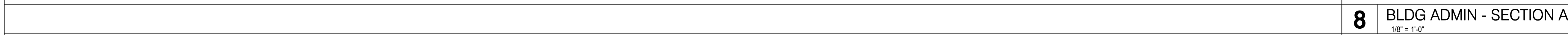
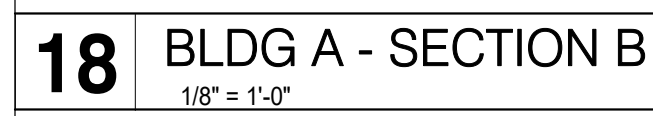
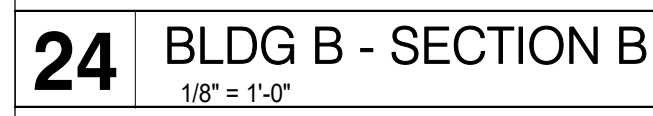
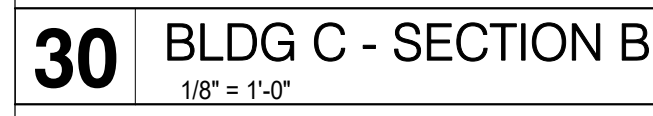
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7200 Trek Ave
Westminster, CA 92683
DSA SUBMITTAL
DSA APPL NO: 04-121817 DSA FILE NO: 30-43



CLIENT WESTMINSTER SCHOOL DISTRICT		
DATE 12-29-2022	PROJECT NUMBER 220308	
REVISIONS		
No.	Description	Date
1	ADDENDUM 01	06/2023

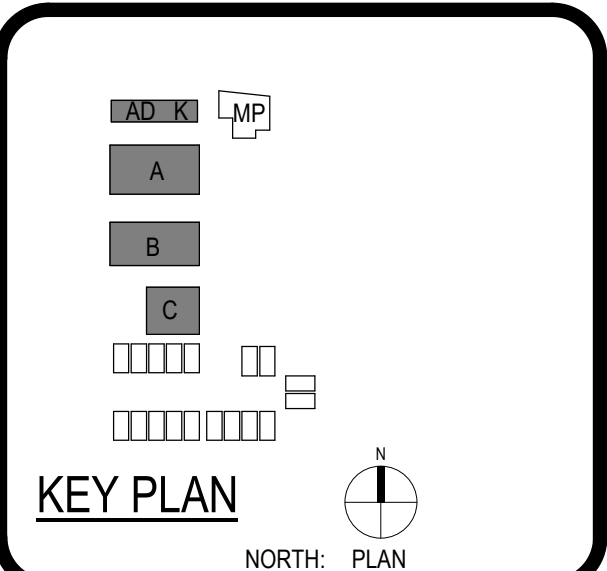
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ROOF PLAN



PROJECT ADDRESS:
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Westminster, CA 92683

DSA SUBMITTAL



Consultant

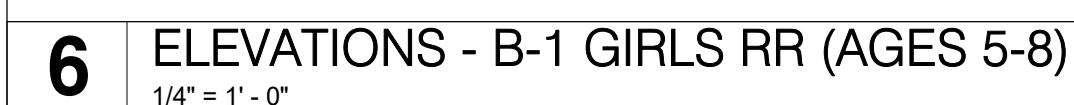
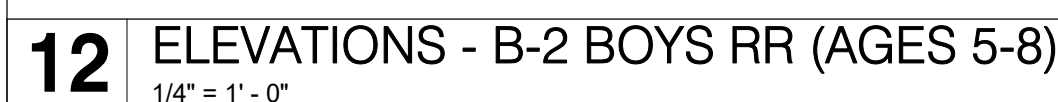
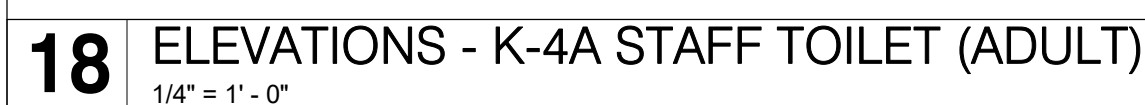
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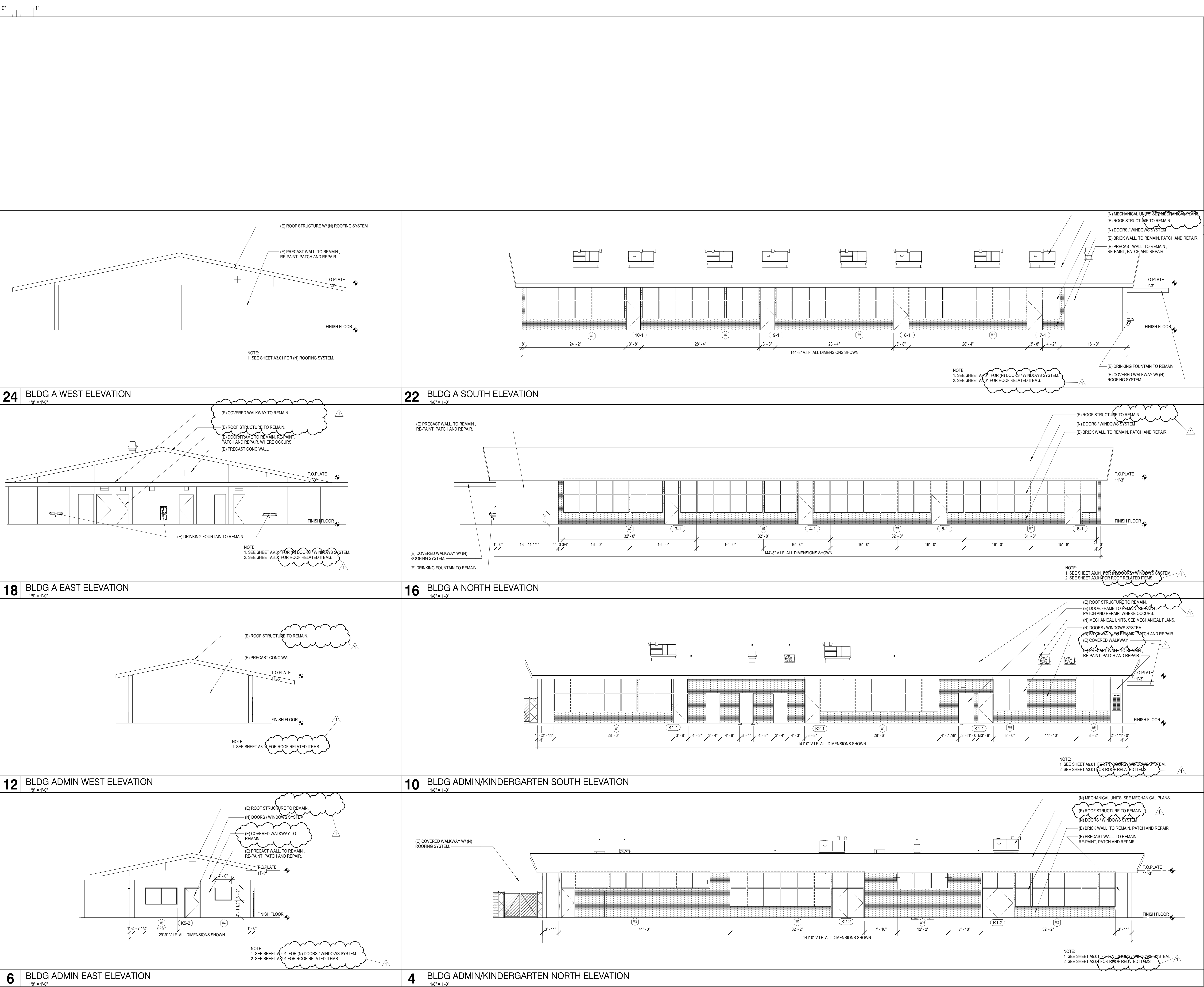


02.20	(E) URVATORY TO REMAIN
02.22	(E) LAVATORY TO REMAIN
02.23	(E) TOILET FIXTURE TO REMAIN
02.27	(E) OVERHEAD BRACED SOLID PLASTIC TOILET PARTITION TO REMAIN
02.28	(E) CERAMIC TILE TO REMAIN, PROTECT IN PLACE
02.69	(E) WALL FINISH TO REMAIN, PROTECT IN PLACE
02.91	(N) INTERIOR PAINT FINISH, SEE FINISH SCHEDULE
09.03	(N) 4X4 CERAMIC TILE, PROVIDE GREENBOARD SUBSTRATE AT (E) BRICK SURFACES
10.01	(N) WALL MOUNTED GRAB BAR, SEE PROJECT DETAIL 2748.02
10.04	(N) WALL MOUNTED MIRROR
10.04	(N) WALL MOUNTED HAND SOAP DISPENSER
10.05	(N) RECESSED SANITARY NAPKIN DISPENSER
10.07	(N) SEMI-RECESSED TOILET PAPER DISPENSER, 4" MAX PROTRUSION
10.08	(N) SOLID PLASTIC TOILET PARTITION, FOR MOUNTING SEE DET. 15248.03
10.10	(N) COMBO PAPER TOWEL DISPENSER & WASTE RECEPTACLE, 4" MAX PROTRUSION
10.13	(N) SURFACE MOUNT TOILET PAPER DISPENSER, 4" MAX PROTRUSION
10.15	(N) TOILET SEAT COVER DISPENSER, 4" MAX PROTRUSION
10.16	(N) TOILET RECESSED DOOR & WALL SIGN, REF DETAIL 2448.02
22.01	(N) ACCESSIBLE DRINKING FOUNTAIN W/ BOTTLE FILLER & FURRED WALL, SEE DETAIL 1894
22.02	(N) WALL MOUNTED LAVATORY BACKSPLASH SUPPORT PER DET. 6148.03
22.03	(N) ACCESSIBLE FLOOR MOUNTED WALL CLOSET
22.05	(N) WALL MOUNTED LAVATORY BACKSPLASH SUPPORT PER DET. 6148.03



ENLARGED RESTROOM PLANS & INTERIOR ELEVATIONS

A5.01



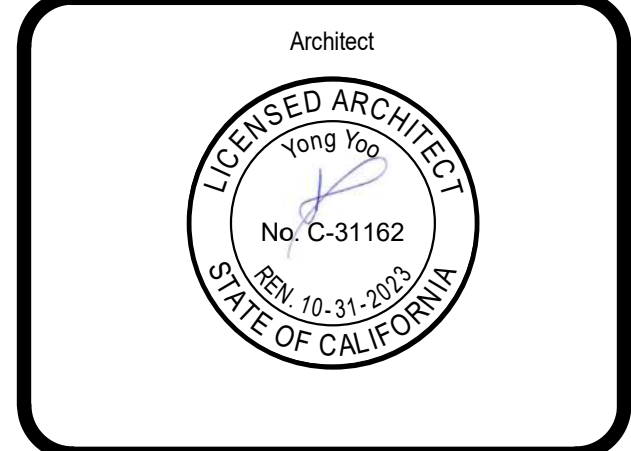
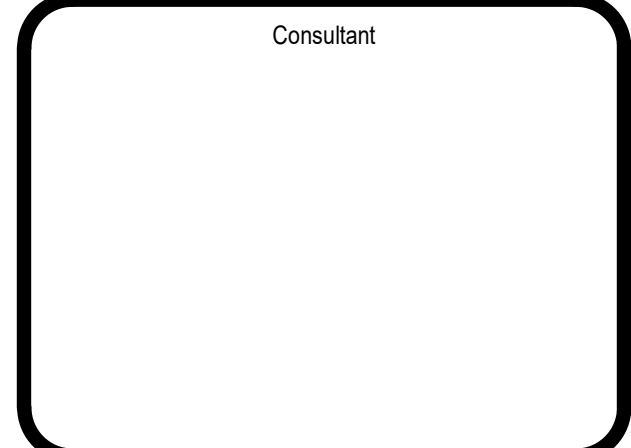
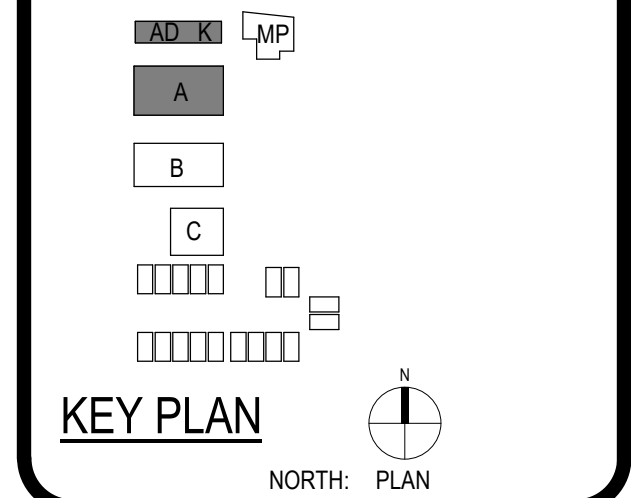
ARCHITECT PBK Architects, Inc.
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F 949-548-5000

SCHMITT E.S. HVAC UPGRADE & MODERNIZATION

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DSA SUBMITTAL

DSA APPL NO. 04-121817 DSA FILE NO. 30-43

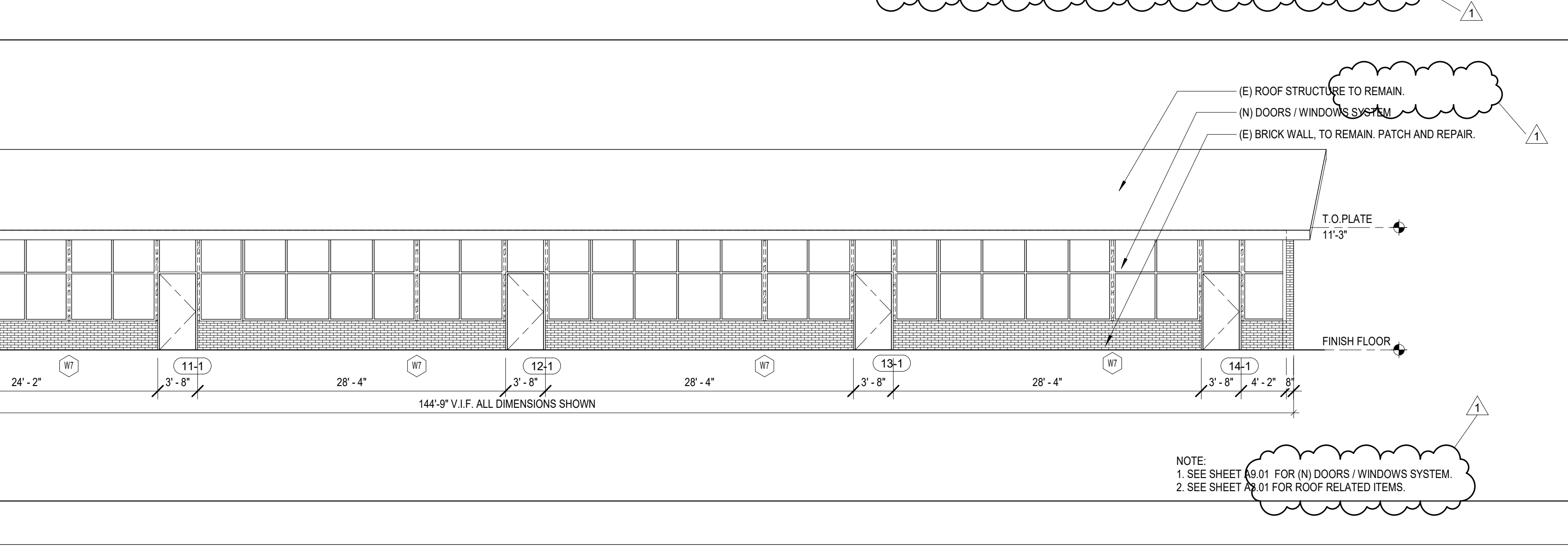
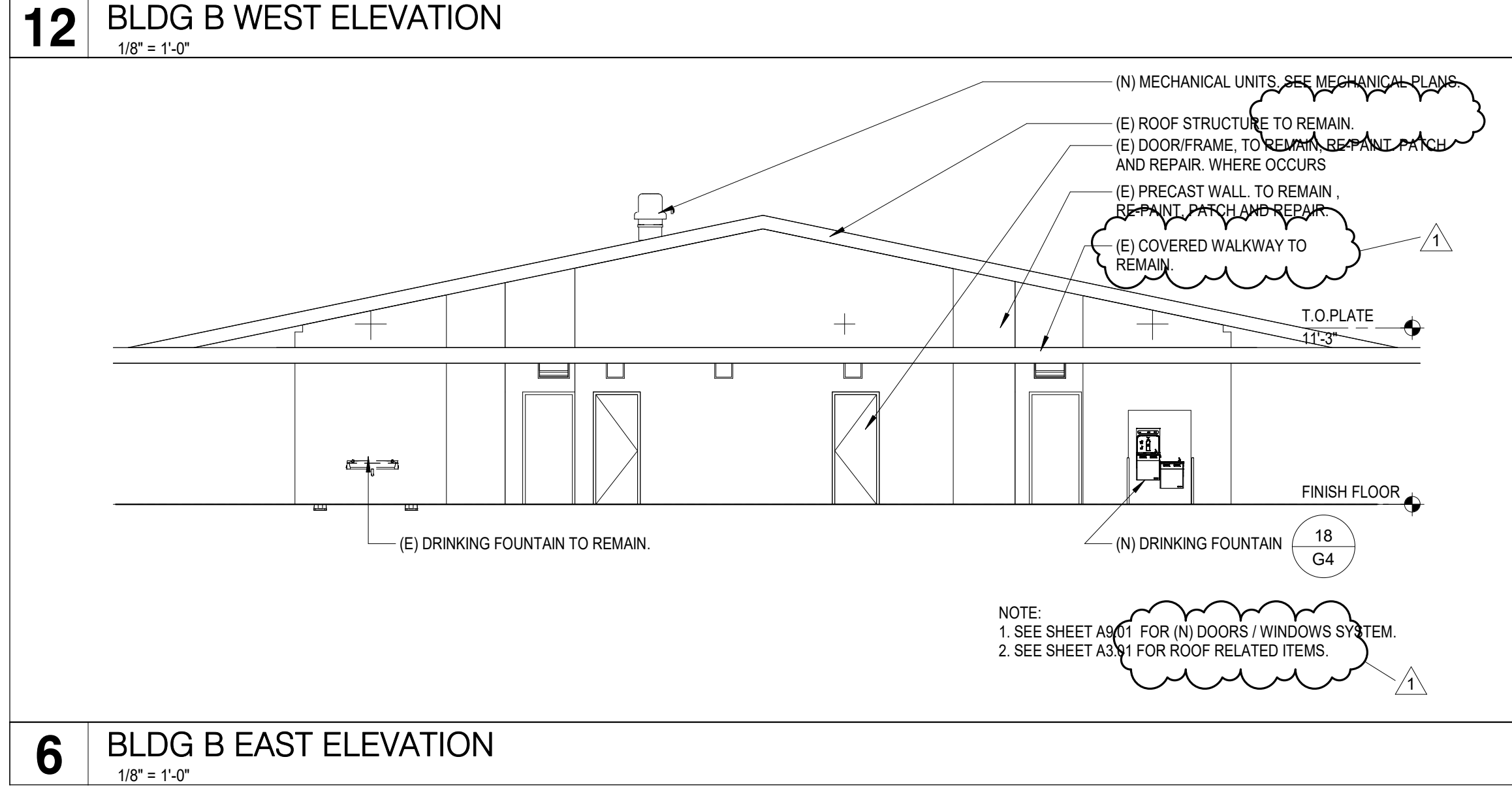


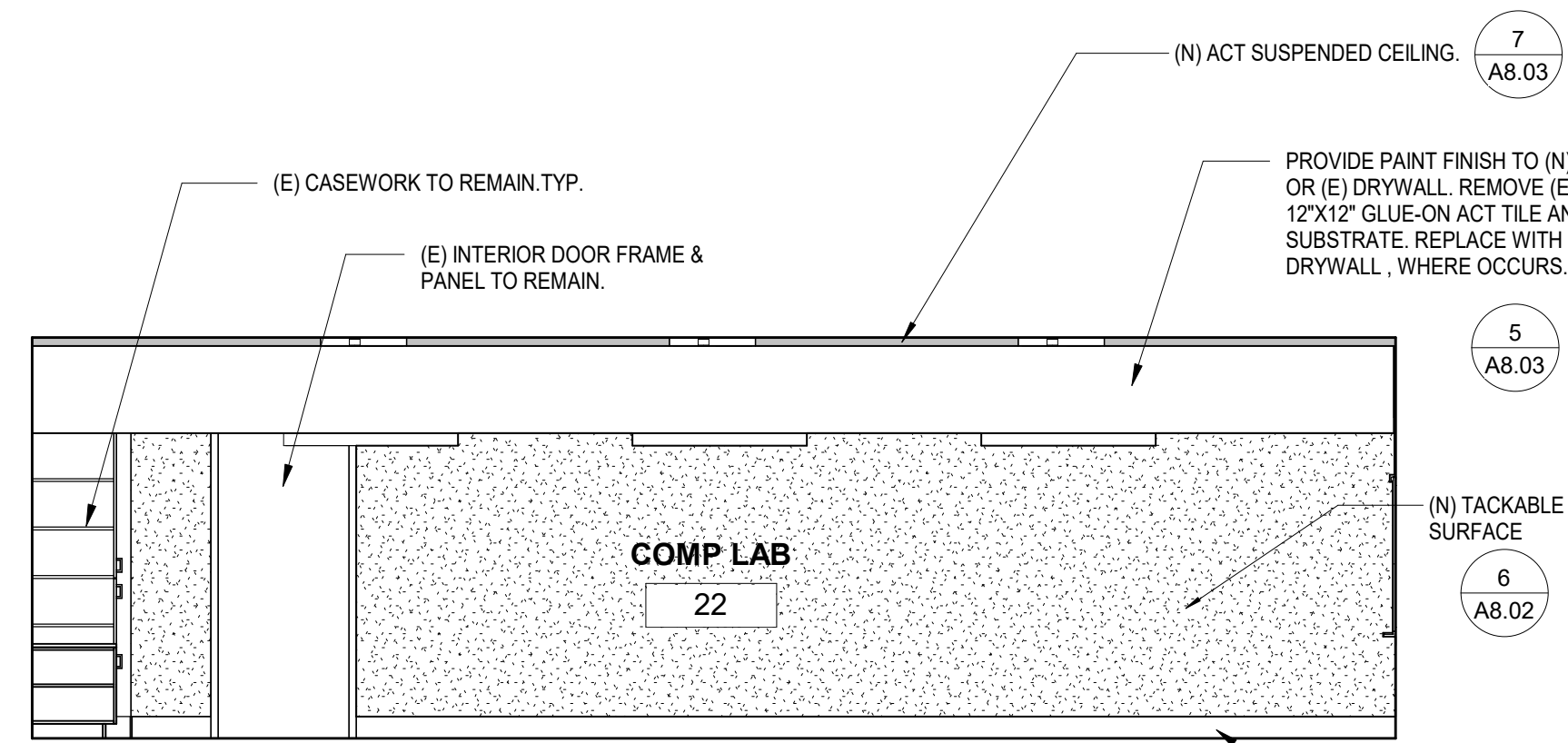
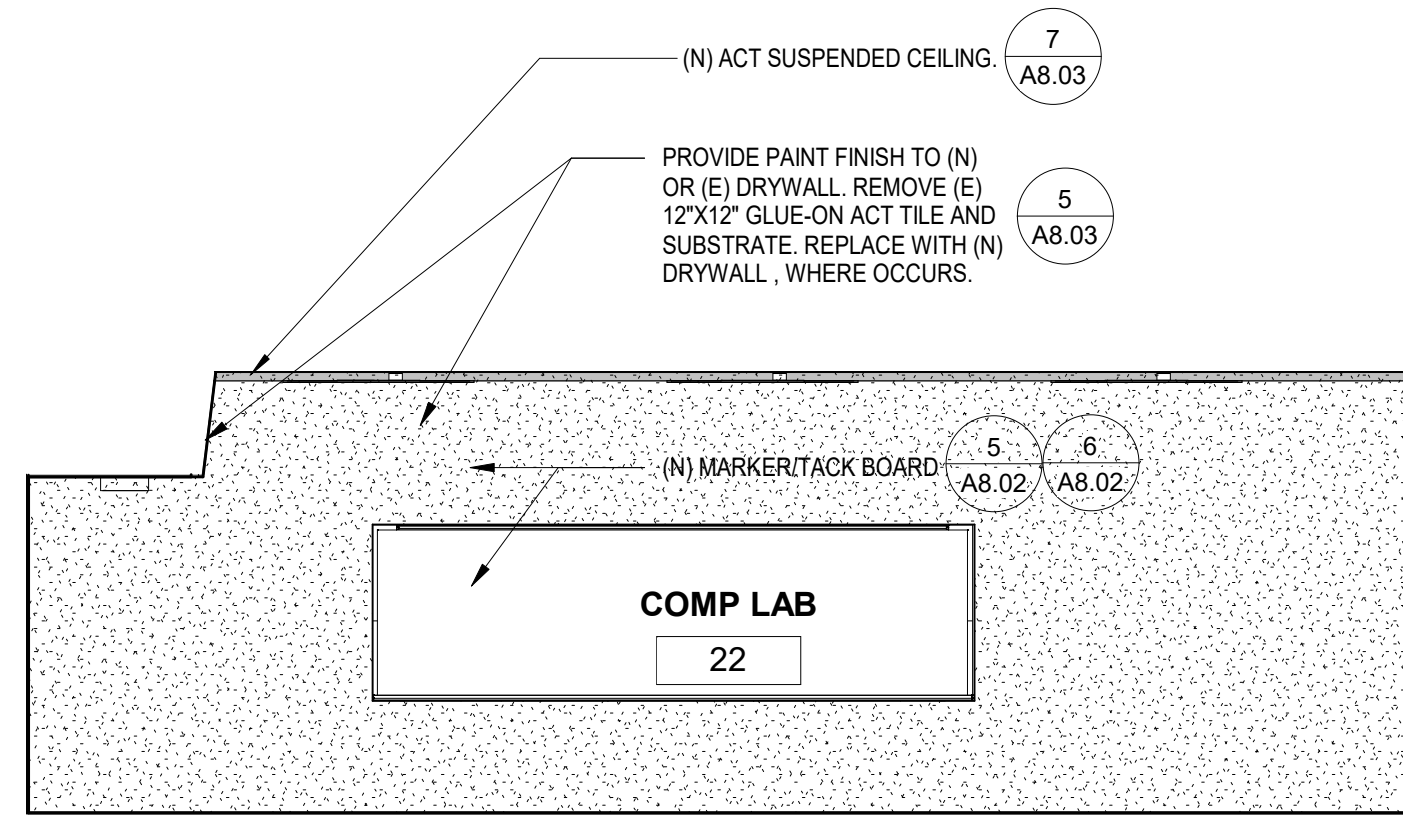
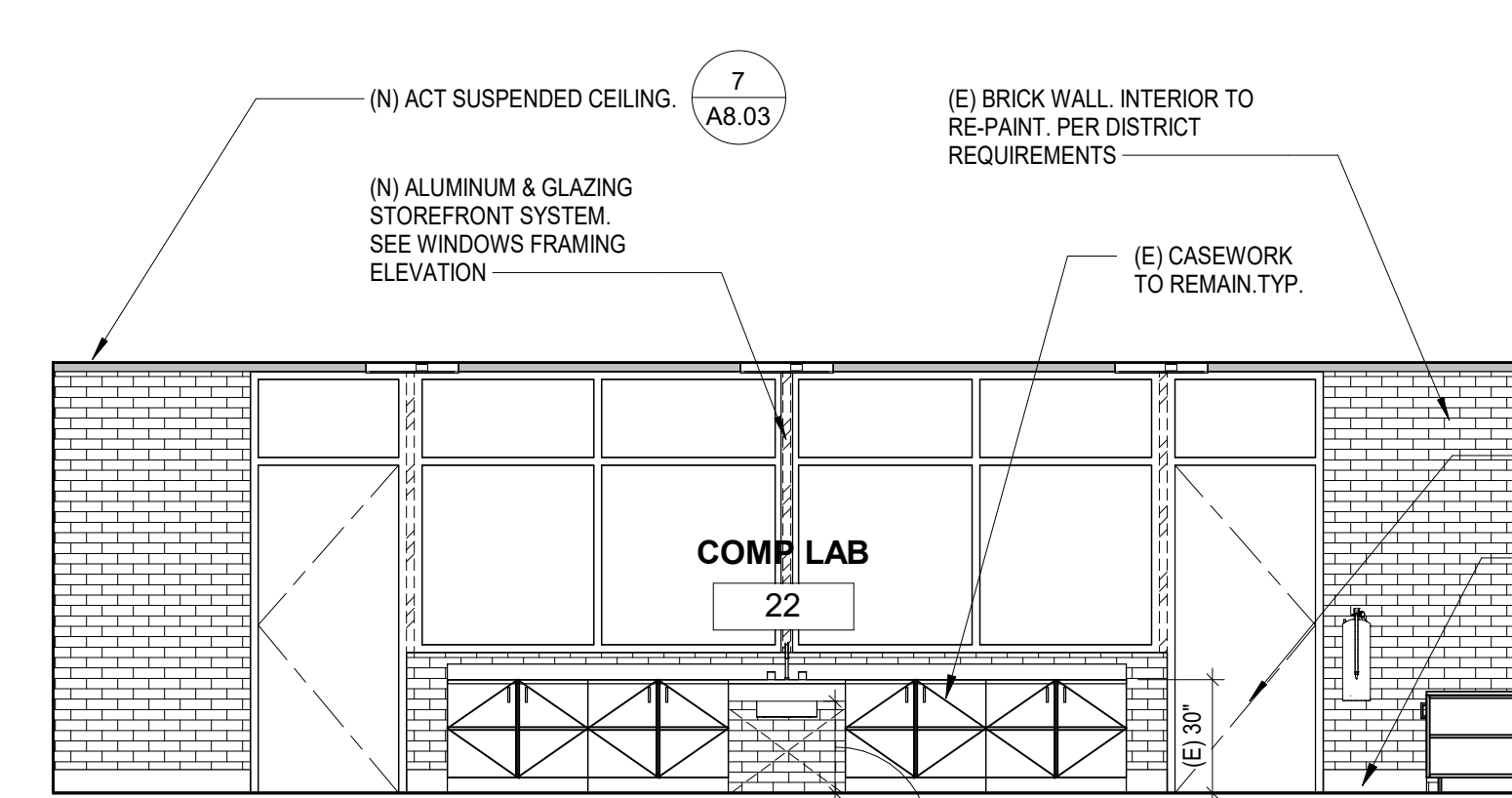
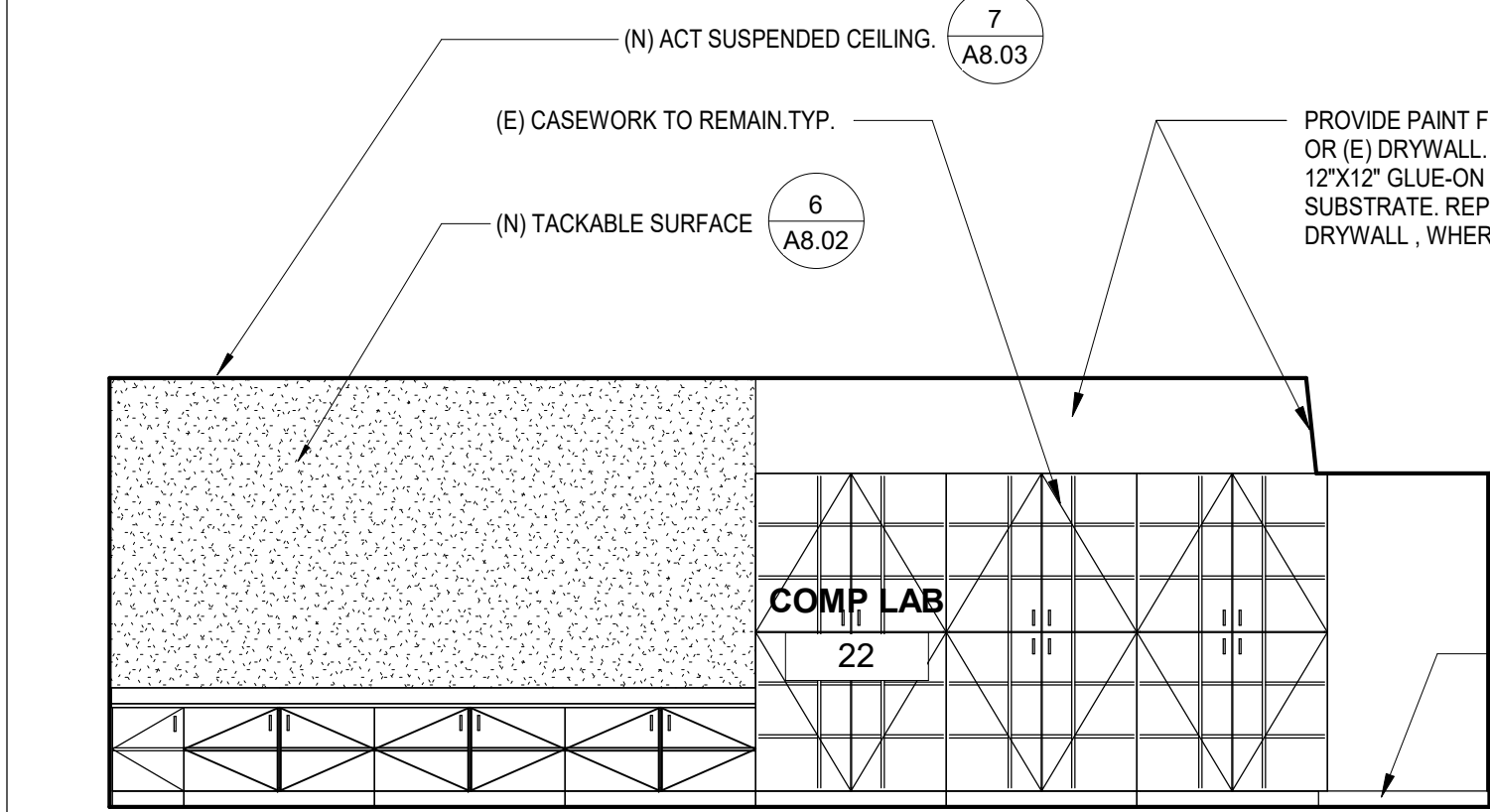
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WESTMINSTER SCHOOL DISTRICT		
DATE	PROJECT NUMBER	
12-29-2022	220308	
REVISIONS		
No.	Description	Date
1	ADDENDUM 01	08/2023

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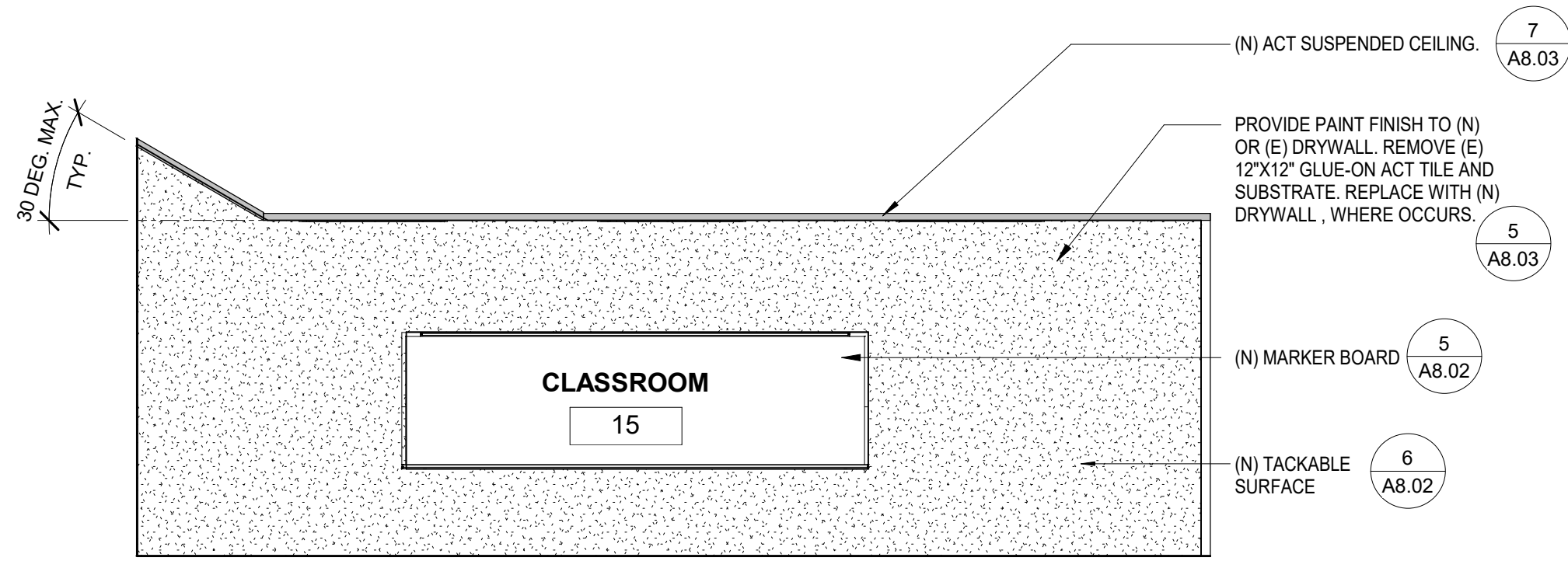
EXTERIOR ELEVATIONS

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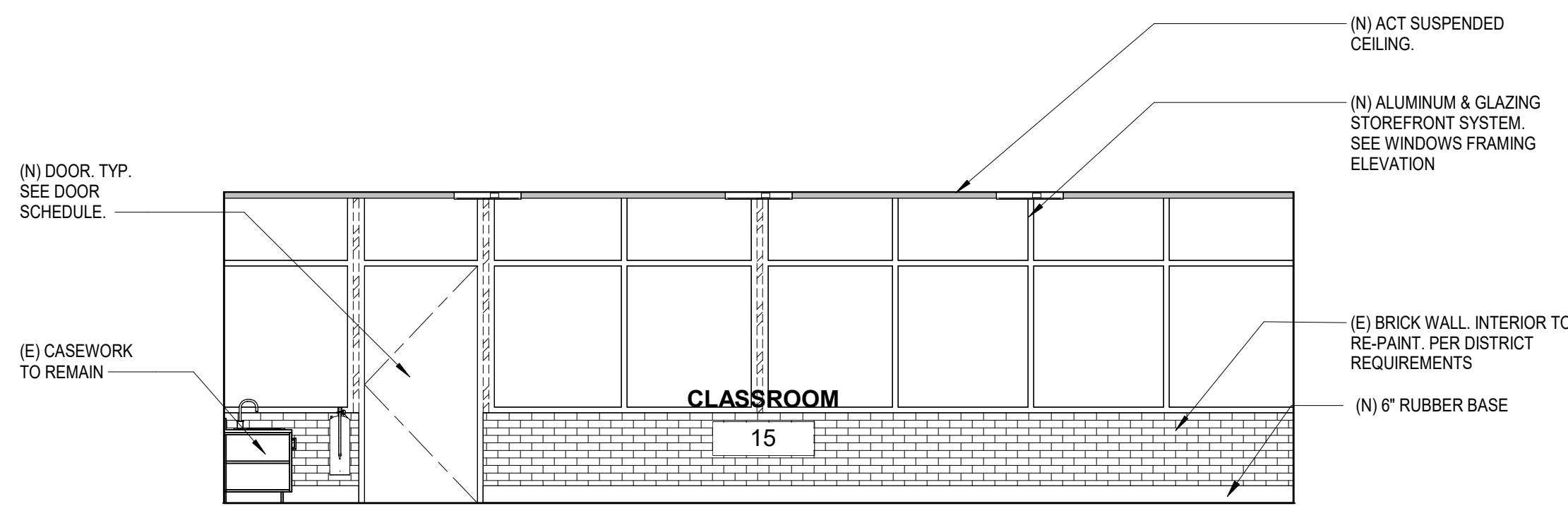




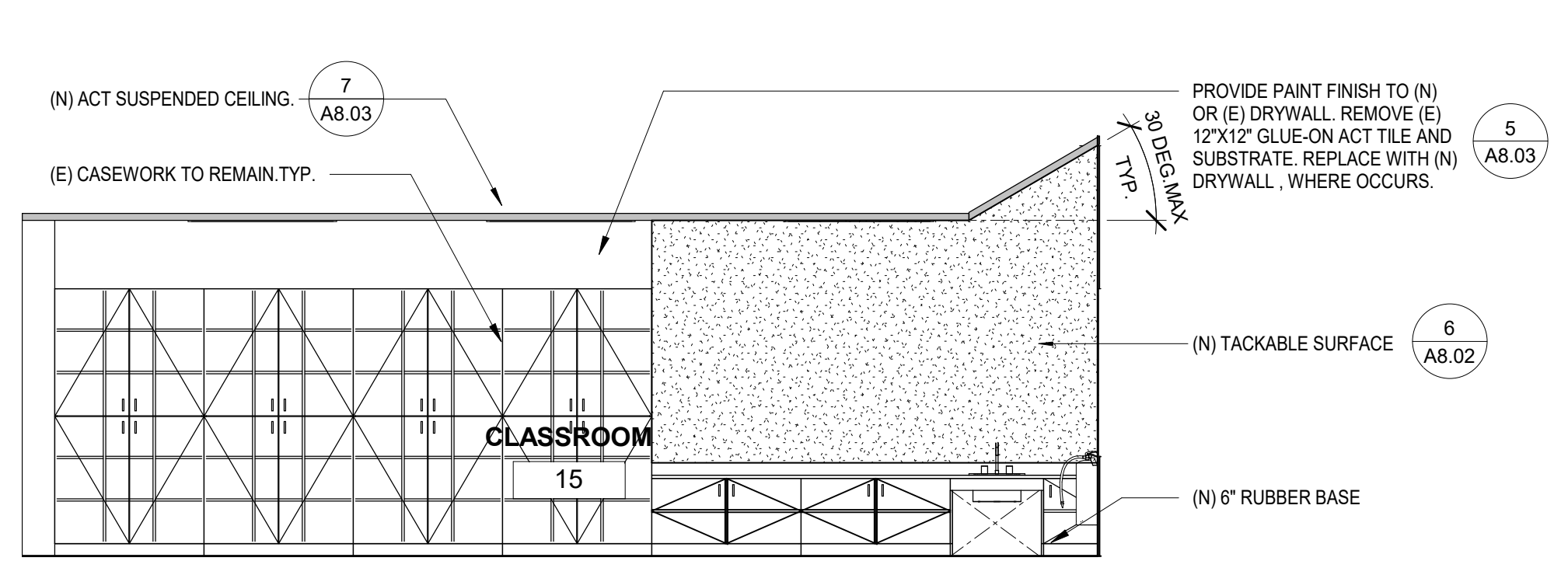
30 TYPICAL CLASSROOM AT BUILDING C - INTERIOR ELEVATIONS (AGES 5-8)
1/4" = 1'-0"



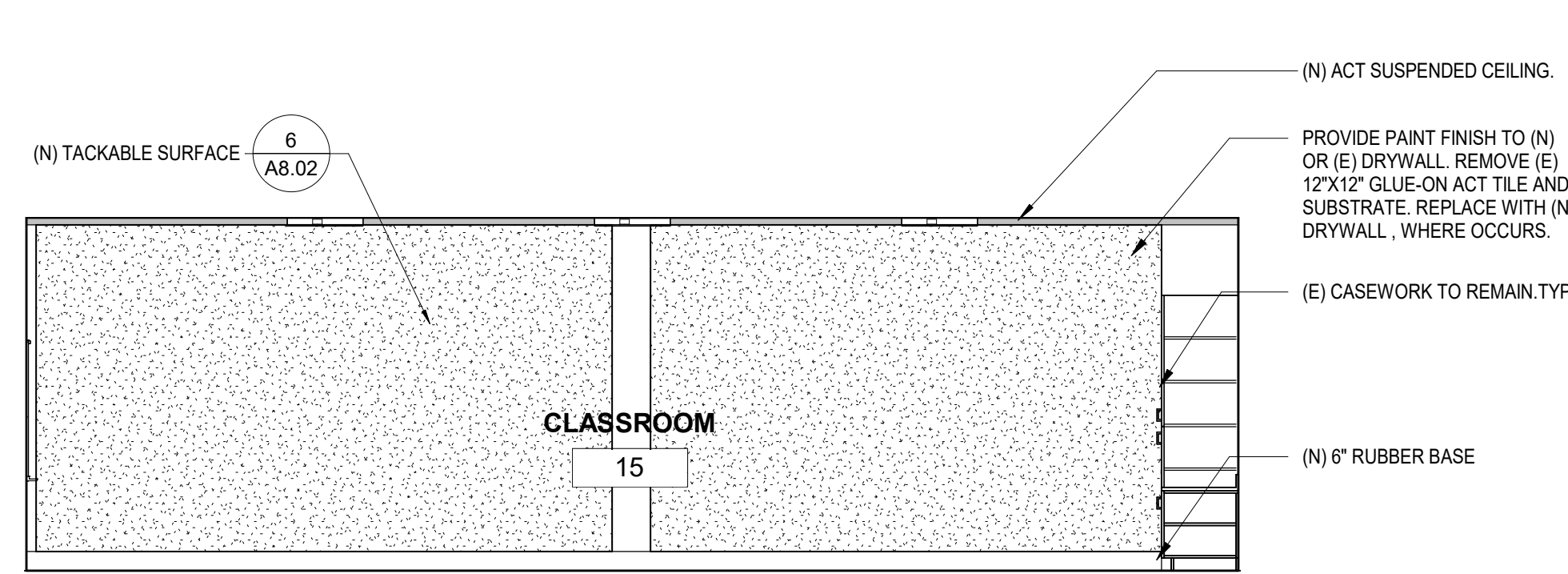
18D TYP. CLASSROOM - WEST INTERIOR ELEVATION
1/4" = 1'-0"



18C TYP. CLASSROOM - SOUTH INTERIOR ELEVATION
1/4" = 1'-0"

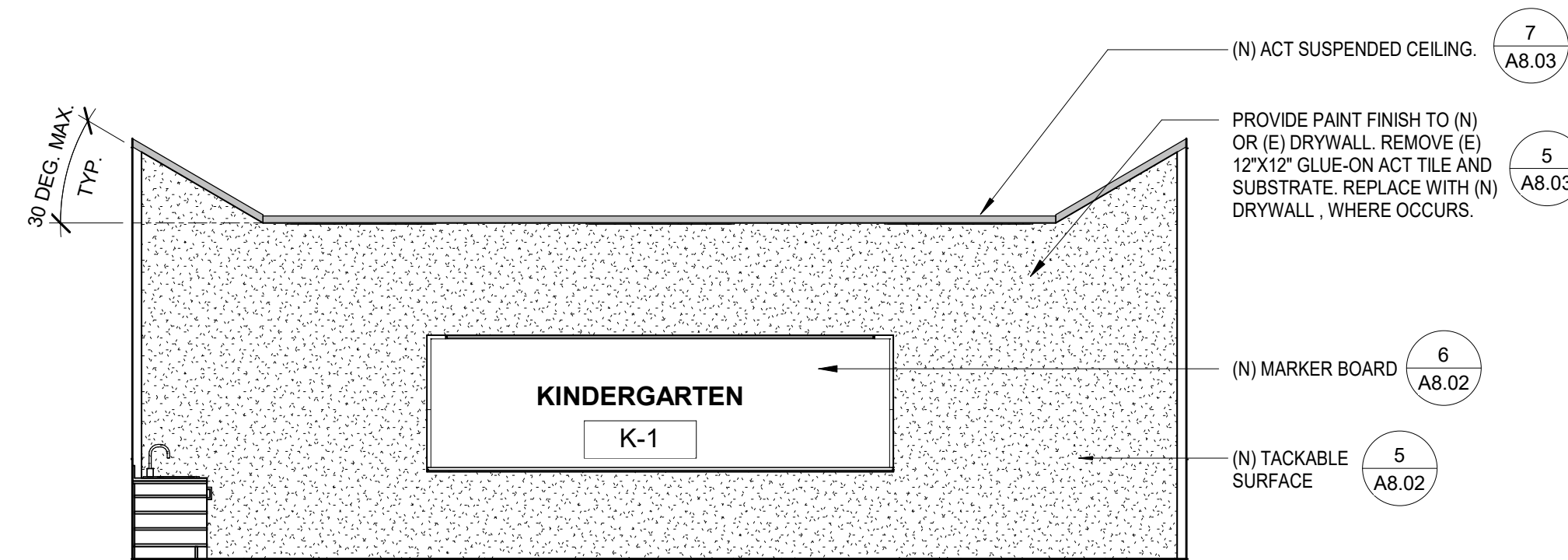


18B TYP. CLASSROOM - EAST INTERIOR ELEVATION
1/4" = 1'-0"

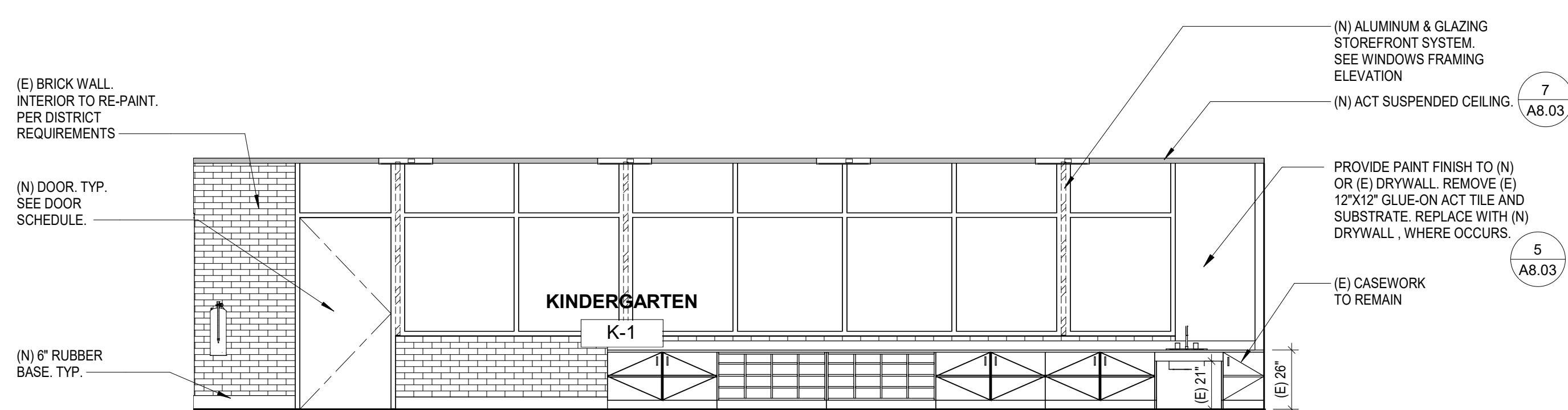


18A TYP. CLASSROOM - NORTH INTERIOR ELEVATION
1/4" = 1'-0"

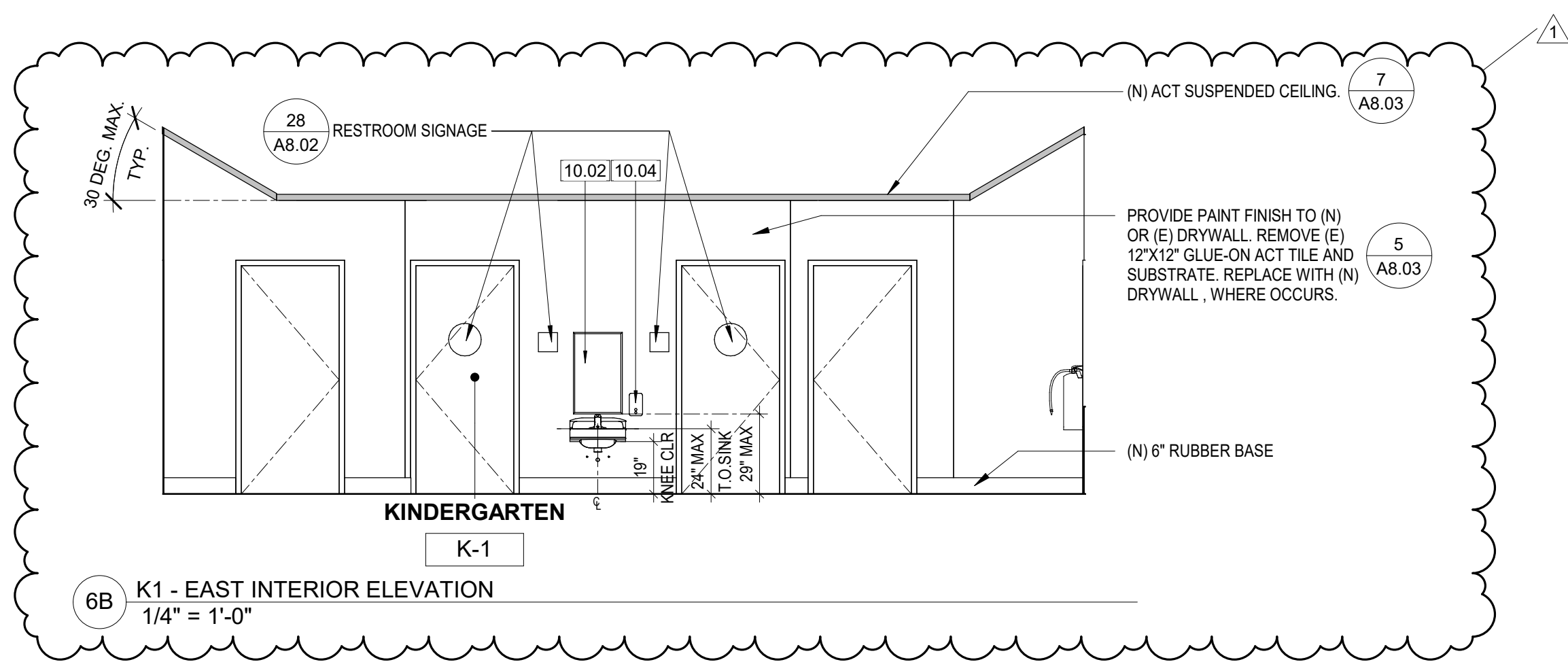
18 TYPICAL CLASSROOM AT BLDG A & B - INTERIOR ELEVATIONS (AGES 5-8)
1/4" = 1'-0"



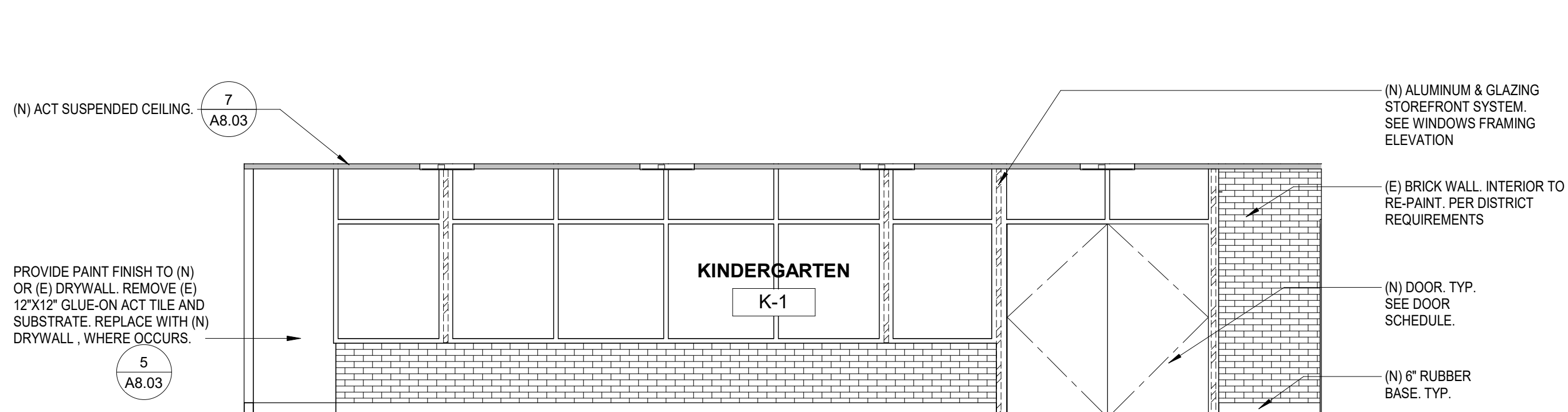
6D K1 - WEST INTERIOR ELEVATION
1/4" = 1'-0"



6C K1 - SOUTH INTERIOR ELEVATION
1/4" = 1'-0"



6B K1 - EAST INTERIOR ELEVATION
1/4" = 1'-0"



6A K1 - NORTH INTERIOR ELEVATION
1/4" = 1'-0"

6 KINDERGARTEN K1&K2 - TYP. INTERIOR ELEVATIONS
1/4" = 1'-0"



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7200 Task Ave
Westminster, CA 92683

DSA SUBMITTAL

DSA APPL. NO. 04-121817 DSA FILE NO. 30-43



AD K MP

A

B

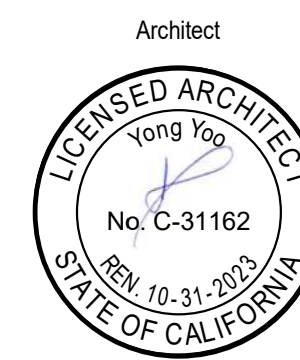
C

REVISIONS

KEY PLAN

NORTH: PLAN

Consultant



CLIENT

WESTMINSTER SCHOOL DISTRICT

DATE 12-29-2022 PROJECT NUMBER 220308

REVISIONS

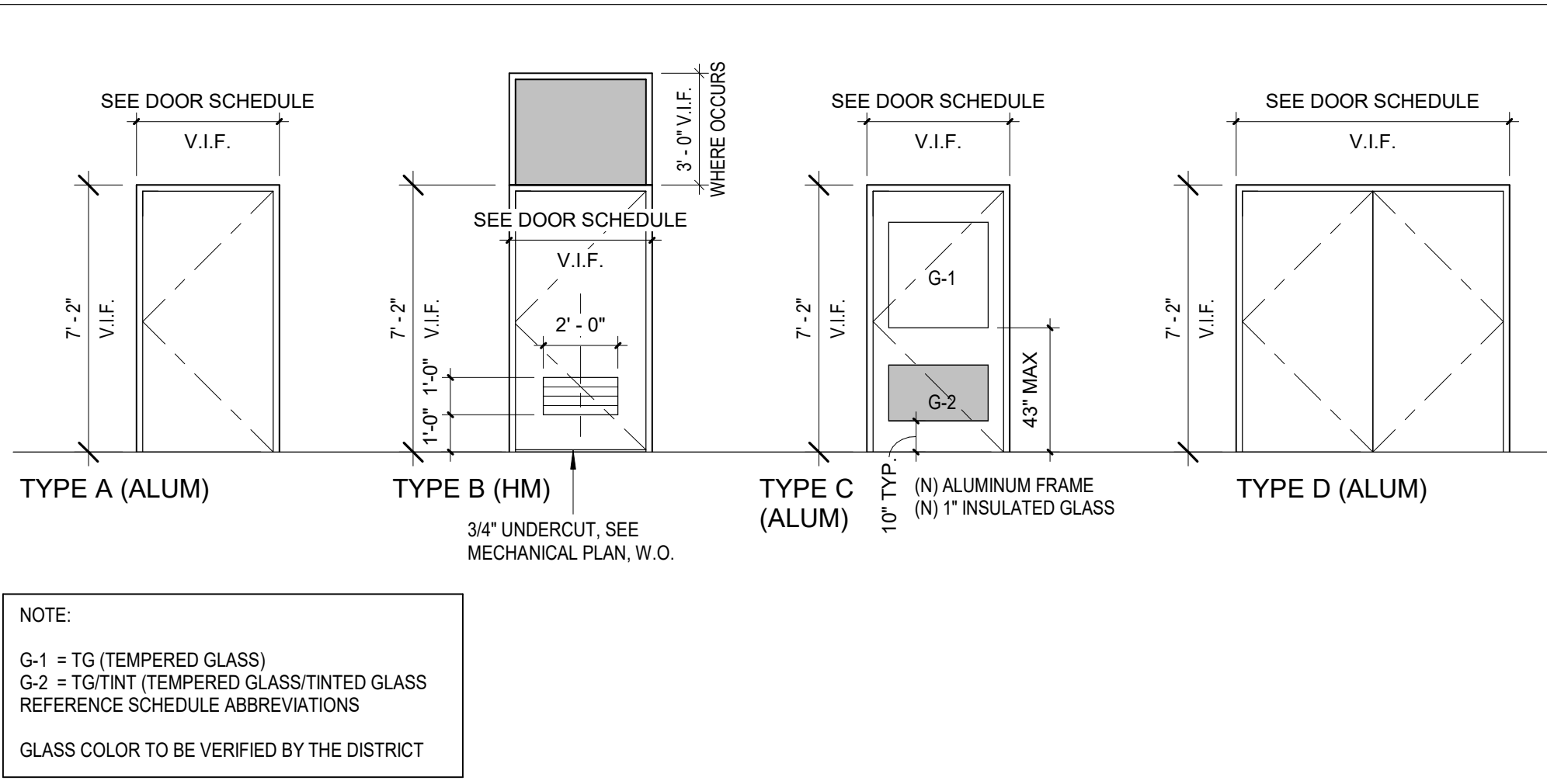
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1 ADDENDUM 01 08/2023

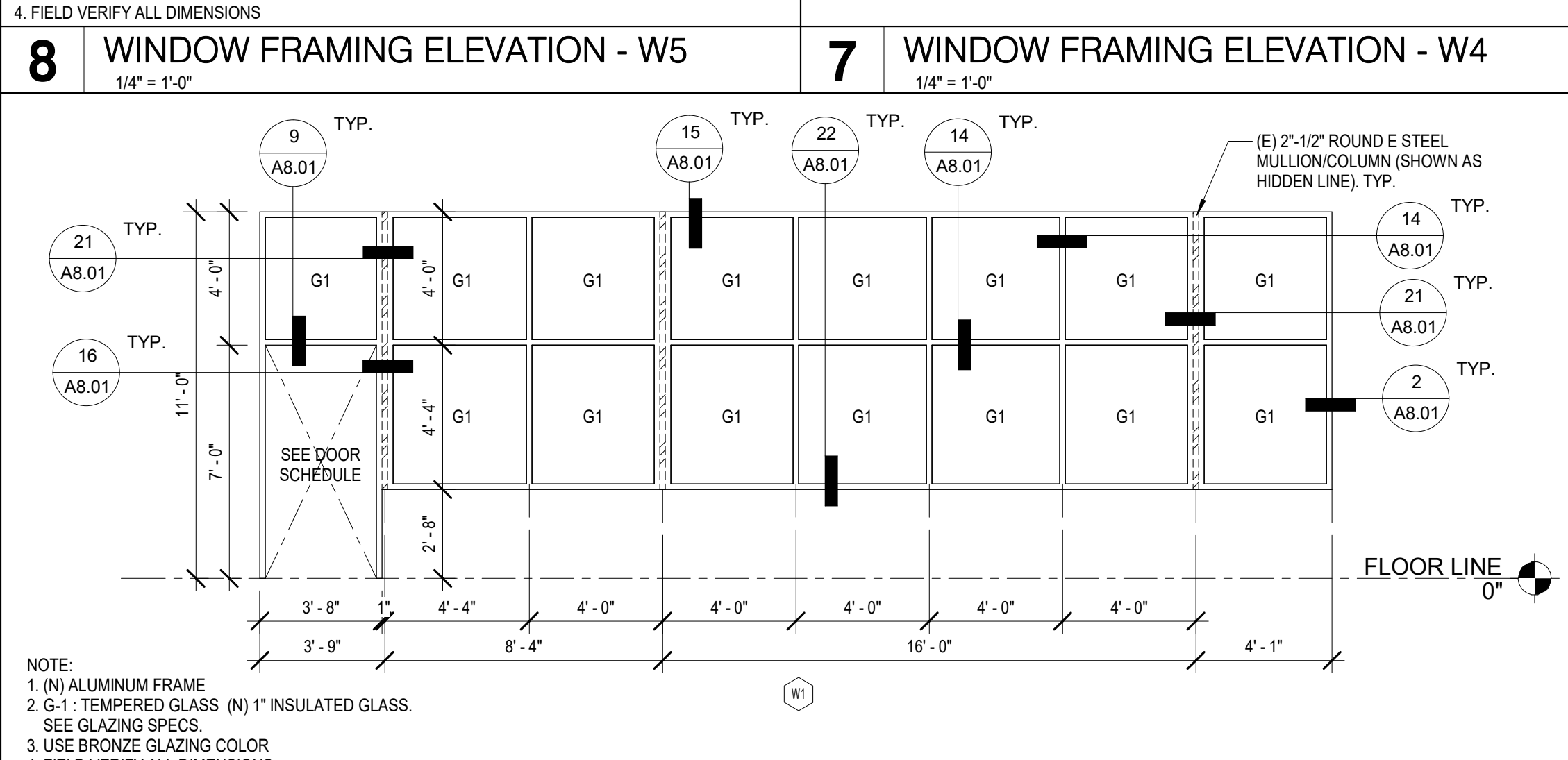
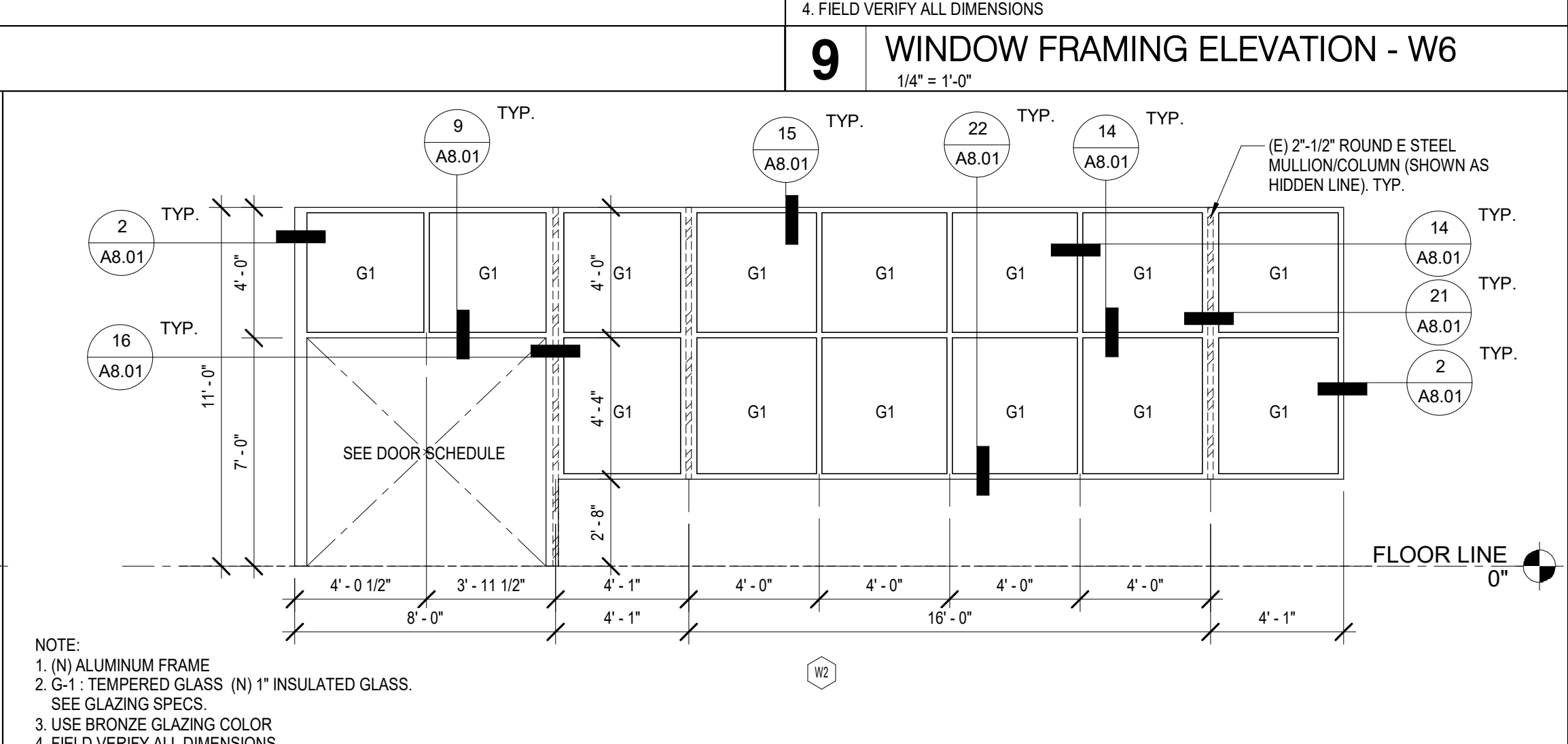
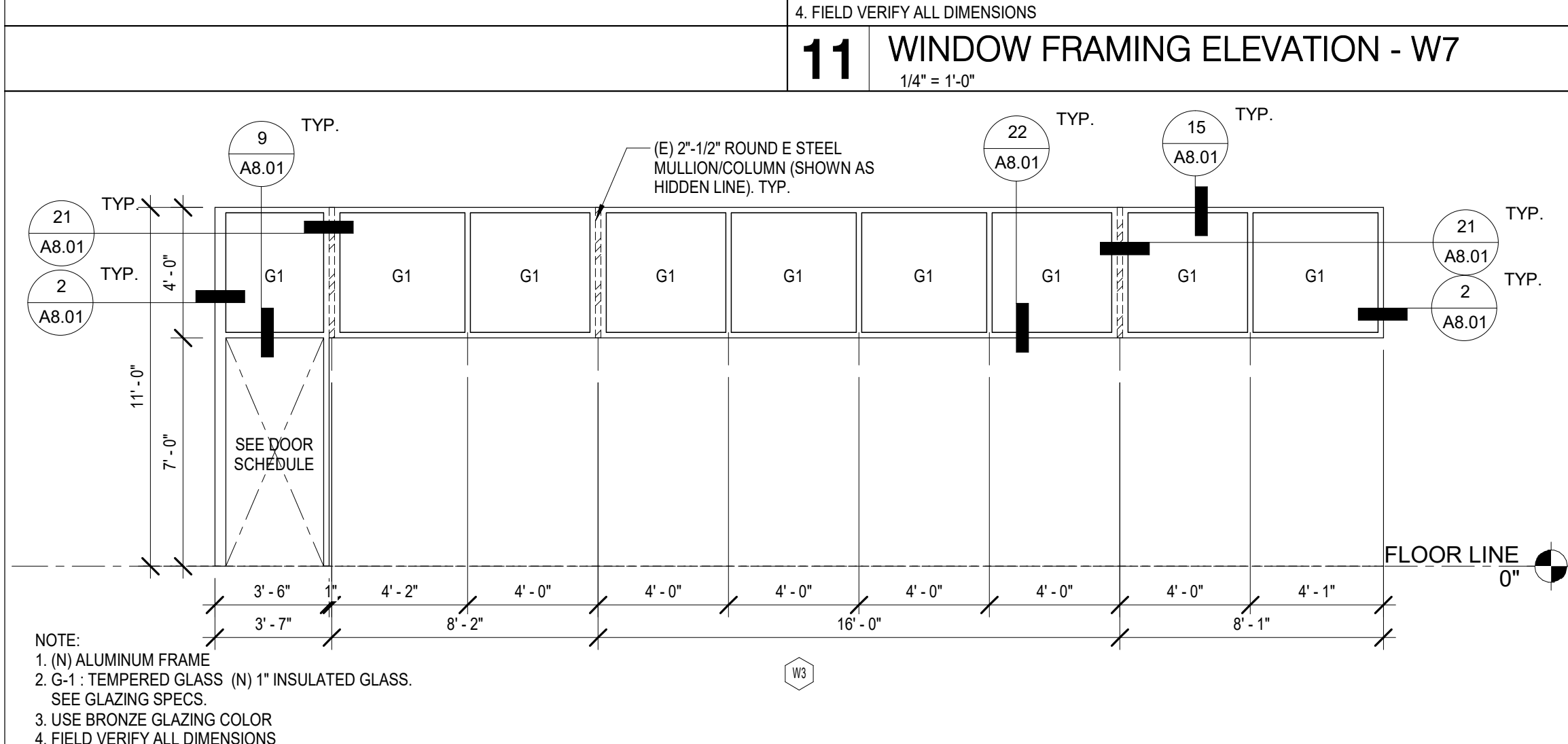
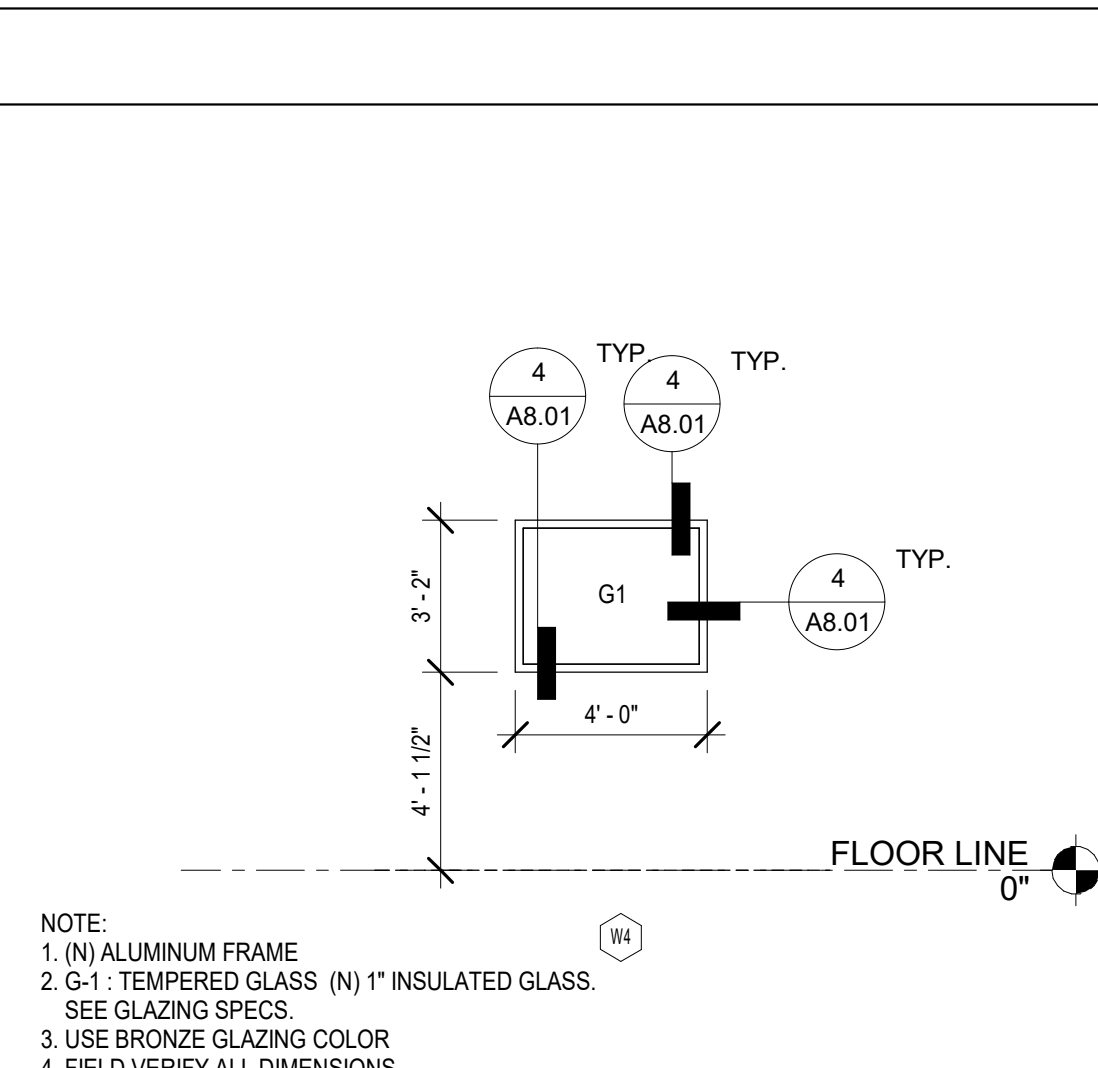
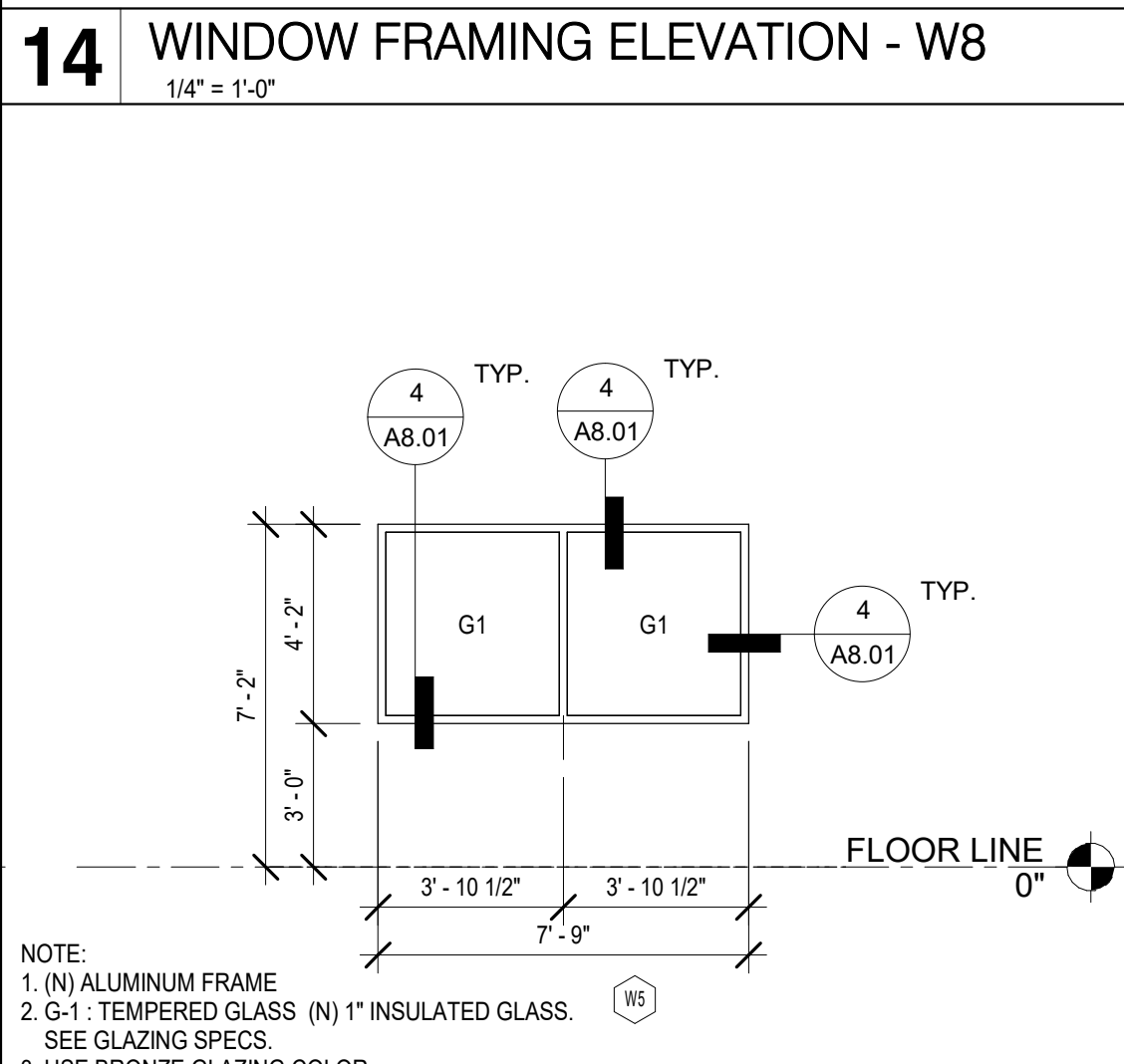
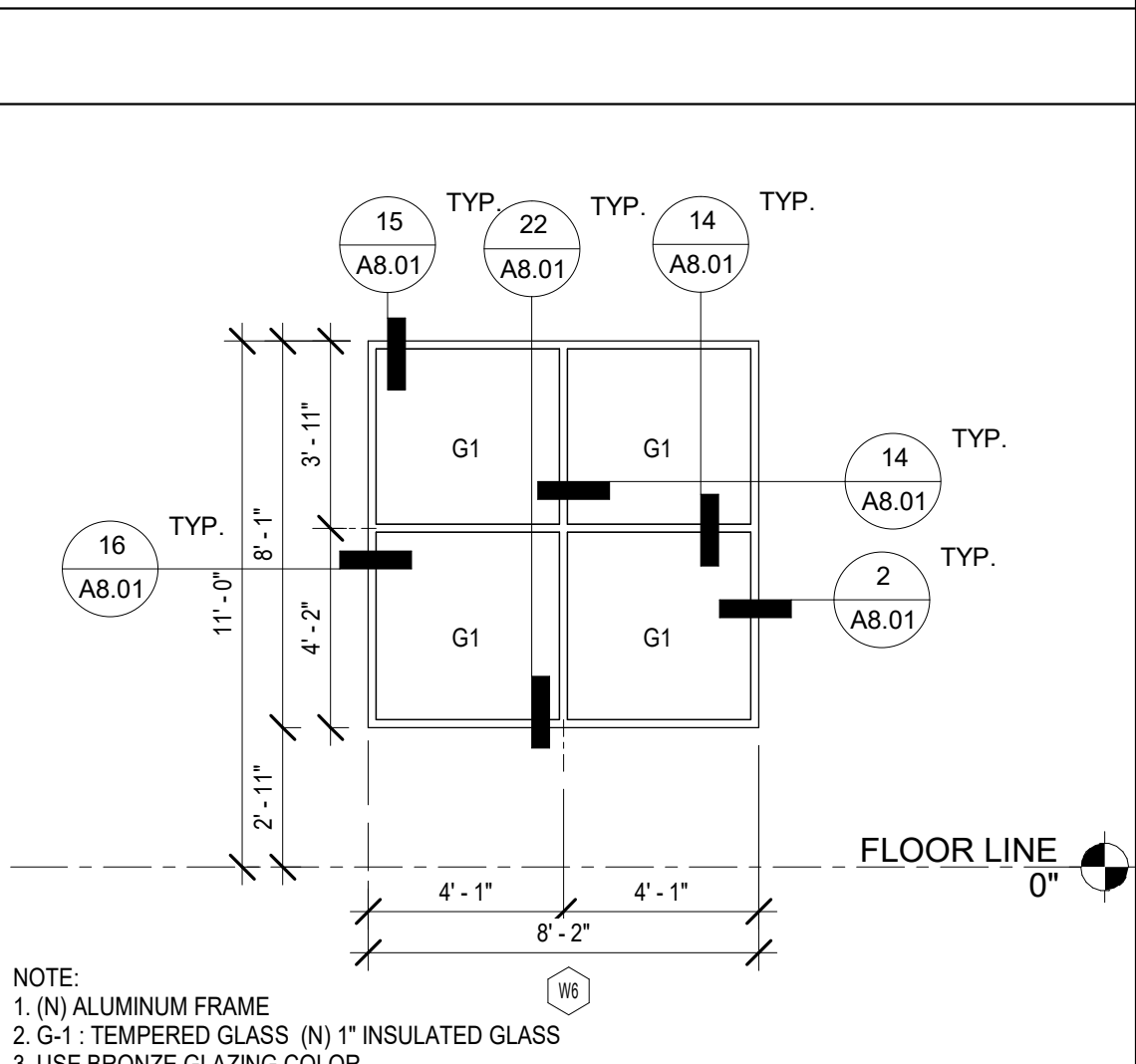
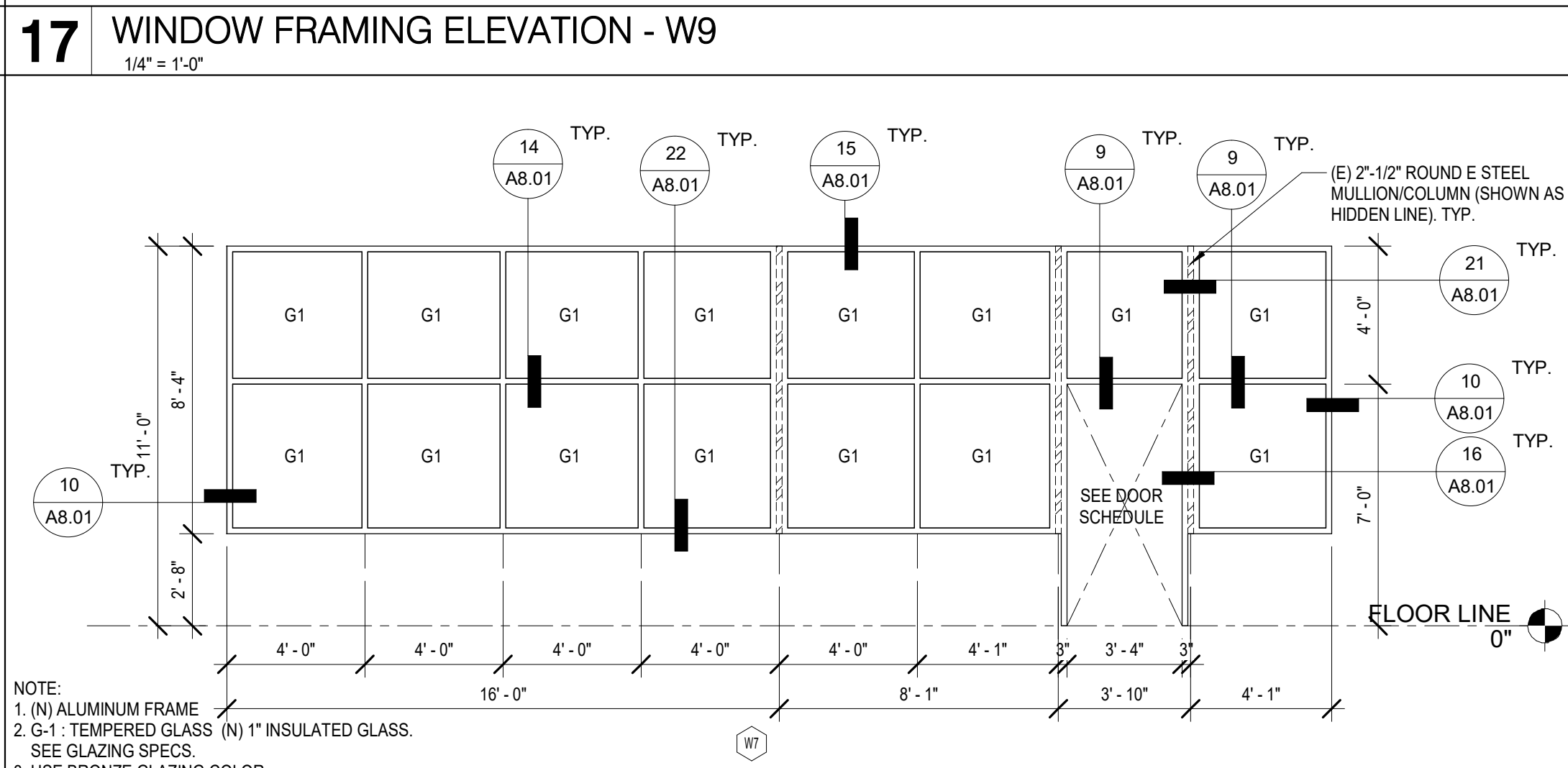
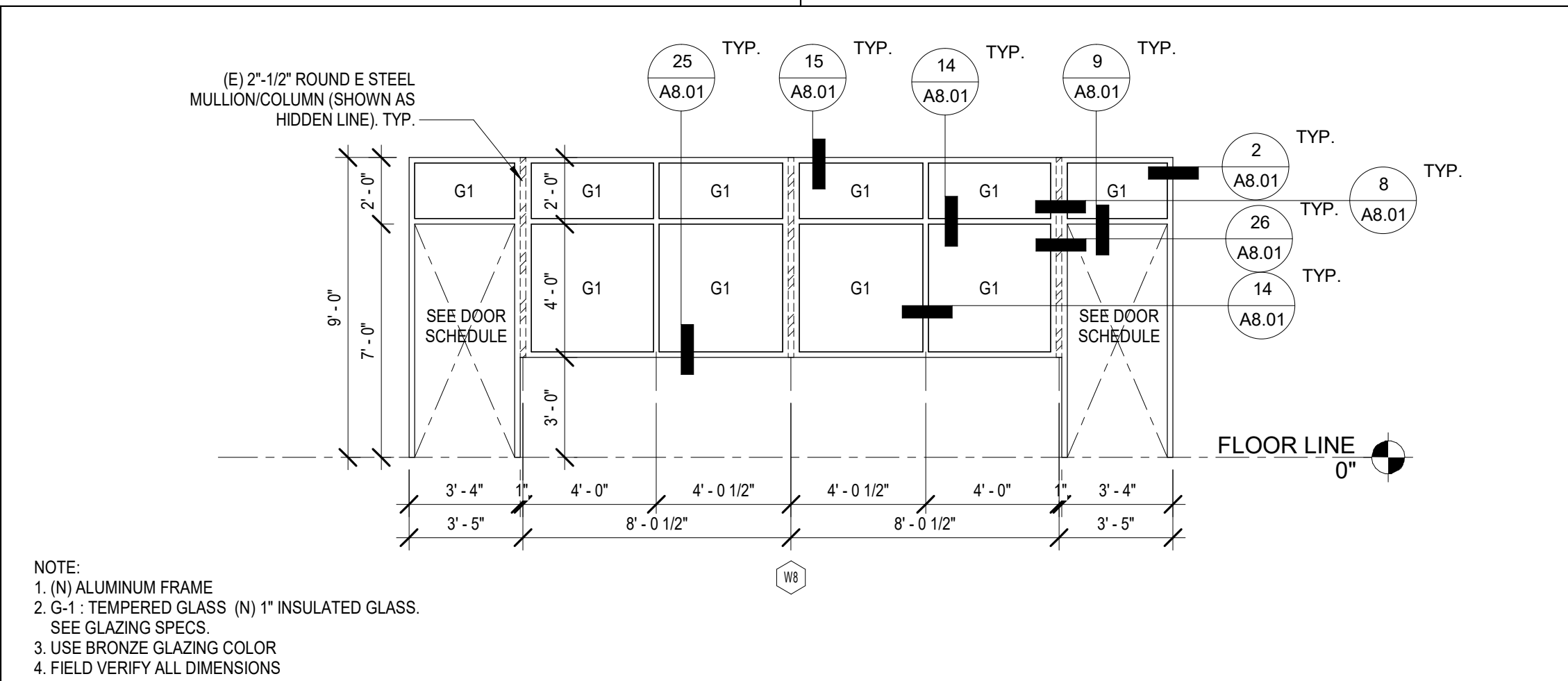
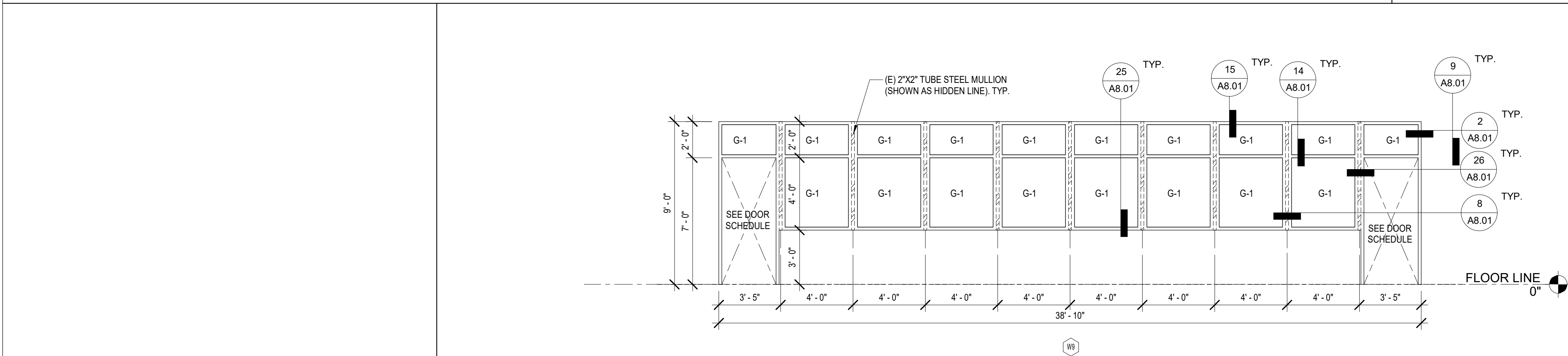
DSA SUBMITTAL

INTERIOR ELEVATIONS

DOOR SCHEDULE															
MARK	ROOM NAME	Plan Area	Pair/Single	DOOR		MATL	FINISH	TYPE	FRAME			DETAILS			REMARKS
				WIDTH	HEIGHT				MATL	FINISH	SILL	JAMB	HEAD	HARDWARE	
3-1	STAFF LOUNGE	BLDG A	SINGLE	3'-4"	7'-0"	WOOD	PTD	A	ALUM	PTD	7/AB.01	16&20/AB.01	9/AB.01	1	
4-1	CLASSROOM 4	BLDG A	SINGLE	3'-4"	7'-0"	WOOD	PTD	A	ALUM	PTD	7/AB.01	16&20/AB.01	9/AB.01	1	
5-1	CLASSROOM 5	BLDG A	SINGLE	3'-4"	7'-0"	WOOD	PTD	A	ALUM	PTD	7/AB.01	16&20/AB.01	9/AB.01	1	
6-1	CLASSROOM 6	BLDG A	SINGLE	3'-4"	7'-0"	WOOD	PTD	A	ALUM	PTD	7/AB.01	16&20/AB.01	9/AB.01	1	
7-1	CLASSROOM 7	BLDG A	SINGLE	3'-4"	7'-0"	WOOD	PTD	A	ALUM	PTD	7/AB.01	16&20/AB.01	9/AB.01	1	
8-1	CLASSROOM 8	BLDG A	SINGLE	3'-4"	7'-0"	WOOD	PTD	A	ALUM	PTD	7/AB.01	16&20/AB.01	9/AB.01	1	
9-1	CLASSROOM 9	BLDG A	SINGLE	3'-4"	7'-0"	WOOD	PTD	A	ALUM	PTD	7/AB.01	16&20/AB.01	9/AB.01	1	
10-1	CLASSROOM 10	BLDG A	SINGLE	3'-4"	7'-0"	WOOD	PTD	A	ALUM	PTD	7/AB.01	16&20/AB.01	9/AB.01	1	
11-1	CLASSROOM 11	BLDG B	SINGLE	3'-4"	7'-0"	WOOD	PTD	A	ALUM	PTD	7/AB.01	16&20/AB.01	9/AB.01	1	
12-1	CLASSROOM 12	BLDG B	SINGLE	3'-4"	7'-0"	WOOD	PTD	A	ALUM	PTD	7/AB.01	16&20/AB.01	9/AB.01	1	
13-1	CLASSROOM 13	BLDG B	SINGLE	3'-4"	7'-0"	WOOD	PTD	A	ALUM	PTD	7/AB.01	16&20/AB.01	9/AB.01	1	
14-1	CLASSROOM 14	BLDG B	SINGLE	3'-4"	7'-0"	WOOD	PTD	A	ALUM	PTD	7/AB.01	16&20/AB.01	9/AB.01	1	
15-1	CLASSROOM 15	BLDG B	SINGLE	3'-4"	7'-0"	WOOD	PTD	A	ALUM	PTD	7/AB.01	16&20/AB.01	9/AB.01	1	
16-1	CLASSROOM 16	BLDG B	SINGLE	3'-4"	7'-0"	WOOD	PTD	A	ALUM	PTD	7/AB.01	16&20/AB.01	9/AB.01	1	
17-1	CLASSROOM 17	BLDG B	SINGLE	3'-4"	7'-0"	WOOD	PTD	A	ALUM	PTD	7/AB.01	16&20/AB.01	9/AB.01	1	
18-1	CLASSROOM 18	BLDG B	SINGLE	3'-4"	7'-0"	WOOD	PTD	A	ALUM	PTD	7/AB.01	16&20/AB.01	9/AB.01	1	
19-1	CLASSROOM 19	BLDG C	SINGLE	3'-0"	7'-0"	WOOD	PTD	A	HM	PTD	7/AB.01	20&26/AB.01	9/AB.01	1	
20-1	CLASSROOM 20	BLDG C	SINGLE	3'-0"	7'-0"	WOOD	PTD	A	HM	PTD	7/AB.01	20&26/AB.01	9/AB.01	1	
20-2	CLASSROOM 20	BLDG C	SINGLE	3'-0"	7'-0"	WOOD	PTD	A	HM	PTD	7/AB.01	20&26/AB.01	9/AB.01	1	
21-1	LIBRARY	BLDG C	SINGLE	3'-0"	7'-0"	WOOD	PTD	A	HM	PTD	7/AB.01	20&26/AB.01	9/AB.01	1	
21-2	LIBRARY	BLDG C	SINGLE	3'-0"	7'-0"	WOOD	PTD	A	HM	PTD	7/AB.01	20&26/AB.01	9/AB.01	1	
22-1	COMP LAB	BLDG C	SINGLE	3'-0"	7'-0"	WOOD	PTD	A	HM	PTD	7/AB.01	20&26/AB.01	9/AB.01	1	
22-2	COMP LAB	BLDG C	SINGLE	3'-0"	7'-0"	WOOD	PTD	A	HM	PTD	7/AB.01	20&26/AB.01	9/AB.01	1	
24-1	READING	BLDG C	SINGLE	3'-0"	7'-0"	WOOD	PTD	A	HM	PTD	7/AB.01	20&26/AB.01	9/AB.01	3	
25-1	R.S.P. CLASSROOM	BLDG C	SINGLE	3'-0"	7'-0"	WOOD	PTD	A	HM	PTD	7/AB.01	20&26/AB.01	9/AB.01	1	
B1-1	GIRLS RESTROOM	BLDG B	SINGLE	3'-0"	7'-0"	WOOD	PTD	B	HM	PTD	20/AB.01	27/AB.01	27/AB.01	3	NO CLOSER
B2-1	BOYS RESTROOM	BLDG B	SINGLE	3'-0"	7'-0"	WOOD	PTD	B	HM	PTD	20/AB.01	27/AB.01	27/AB.01	3	NO CLOSER
K1-1	KINDERGARTEN K-1	ADMIN / KINDERGARTEN	SINGLE	3'-4"	7'-0"	WOOD	PTD	A	ALUM	PTD	7/AB.01	16&20/AB.01	9/AB.01	1	
K1-2	KINDERGARTEN K-1	ADMIN / KINDERGARTEN	PAIR	7'-4"	7'-0"	WOOD	PTD	D	ALUM	PTD	7/AB.01	16&20/AB.01	9/AB.01	4	
K1A-1	KG TOILET 1	ADMIN / KINDERGARTEN	SINGLE	3'-0"	7'-0"	WOOD	PTD	B	HM	PTD	20/AB.01	27/AB.01	27/AB.01	3	
K1B-1	KG TOILET 2	ADMIN / KINDERGARTEN	SINGLE	3'-0"	7'-0"	WOOD	PTD	B	HM	PTD	20/AB.01	27/AB.01	27/AB.01	3	
K2-1	KINDERGARTEN K-2	ADMIN / KINDERGARTEN	SINGLE	3'-4"	7'-0"	WOOD	PTD	A	ALUM	PTD	7/AB.01	16&20/AB.01	9/AB.01	1	
K2-2	KINDERGARTEN K-2	ADMIN / KINDERGARTEN	PAIR	7'-4"	7'-0"	WOOD	PTD	D	ALUM	PTD	7/AB.01	16&20/AB.01	9/AB.01	4	
K2A-1	KG TOILET 3	ADMIN / KINDERGARTEN	SINGLE	3'-0"	7'-0"	WOOD	PTD	D	HM	PTD	20/AB.01	27/AB.01	27/AB.01	3	
K2A-2	STORAGE	ADMIN / KINDERGARTEN	SINGLE	3'-0"	7'-0"	WOOD	PTD	B	HM	PTD	20/AB.01	27/AB.01	27/AB.01	3	
K2A-5	STORAGE	ADMIN / KINDERGARTEN	SINGLE	3'-0"	7'-0"	WOOD	PTD	B	HM	PTD	20/AB.01	20&26/AB.01	27/AB.01	3	
K2B-1	KG TOILET 4	ADMIN / KINDERGARTEN	SINGLE	3'-0"	7'-0"	WOOD	PTD	B	HM	PTD	20/AB.01	27/AB.01	27/AB.01	3	
K4-1	WORKROOM K-4	ADMIN / KINDERGARTEN	SINGLE	3'-4"	7'-0"	WOOD	PTD	A	ALUM	PTD	7/AB.01	16&20/AB.01	9/AB.01	1	
K4-2	UNISEX RR 1	ADMIN / KINDERGARTEN	SINGLE	3'-0"	7'-0"	WOOD	PTD	A	HM	PTD	19/AB.01	13/AB.01	13/AB.01	2	
K5-1	RECEPTION K-5	ADMIN / KINDERGARTEN	SINGLE	3'-0"	7'-0"	WOOD	PTD	A	HM	PTD	7/AB.01	16&20/AB.01	9/AB.01	1	
K5-2	RECEPTION K-5	ADMIN / KINDERGARTEN	SINGLE	3'-4"	7'-0"	WOOD	PTD	A	ALUM	PTD	7/AB.01	16&20/AB.01	9/AB.01	3	
K6-1	UNISEX RR 2	ADMIN / KINDERGARTEN	SINGLE	3'-0"	7'-0"	WOOD	PTD	A	HM	PTD	19/AB.01	13/AB.01	13/AB.01	2	



DOOR & WINDOW SCHEDULE ABBREVIATIONS	
ALUM	ALUMINUM
FF	FACTORY FINISH
HM	HOLLOW METAL
NA	NOT APPLICABLE
PTD	PAINT
ST	STAIN
WD	WOOD



ARCHITECT

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Westminster, CA 92683

DSA SUBMITTAL

DSA APPL NO. 04-121617

DSA FILE NO. 30-43

SCHMITT E.S. HVAC UPGRADE & MODERNIZATION

WESTMINSTER SCHOOL DISTRICT

DATE 12-29-2022

PROJECT NUMBER 220308

REVISIONS

No.	Description	Date
1	ADDENDUM 01	08/2023

DOORS SCHEDULE & WINDOWS FRAMING ELEVATION

A9.01

[illegible]

STAFF LOUNGE

3

CLASSROOM

7

GIRLS TOILET

A-1

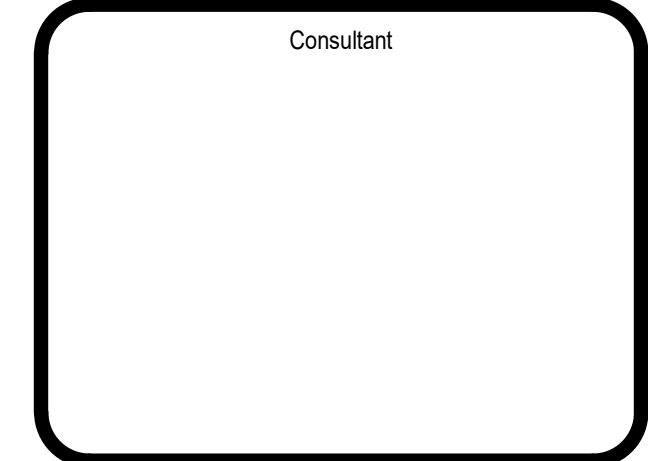
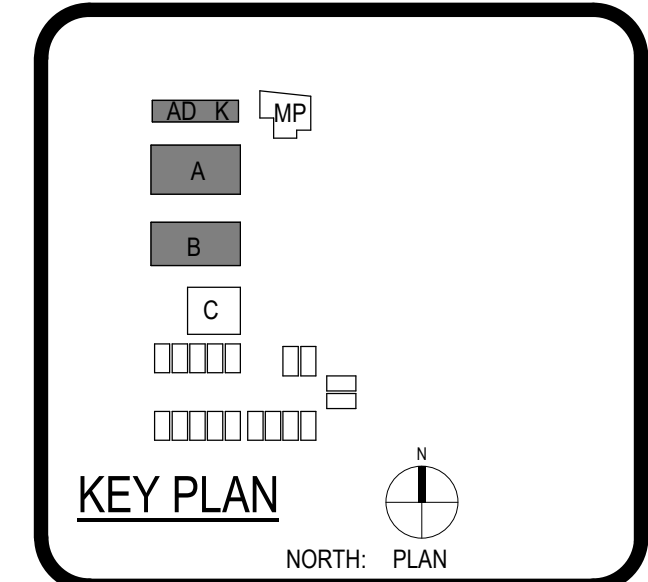
SUPPLY ROOM

HEATER RM.

JANITOR RM.

BOYS TOILET

A-2

[illegible]

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**FINISH PLANS &
SCHEDULE**

A10.01