New Jersey Department of Education

Application for Change of Use of Educational Space 2021-2022 School Year

The Uniform Construction Code establishes construction requirements according to the way a building is used. The use, or function, of a building is called a use group. The Change of Use section governs what work must be done when a building that has been used for one use is changed to accommodate another use. All Educational entities are governed by the UCC pursuant to 6A:26-6.1

The amount of work that is required can range from nothing to a great deal. Previously, the Uniform Construction Code provided that any building or portion of a building undergoing a change of use had to meet code requirements for new construction. The change of use of a building or classroom could mean a change of the use group as defined in the building subcode.

The change in the use of a space in a building may not require that the entire building undergo a change of use group, but it may mean, for example, that the change in the way the space is used may trigger the requirements of one of the technical subcodes of the UCC. For example, the plumbing subcode may require additional toilet fixtures, the electrical subcode may require ground fault circuit interrupters, or the mechanical subcode may require that the heating, ventilation, and air conditioning (HVAC) system be upgraded.

There are six hazard tables in the change of use code. The first table deals with relative Use Group. The next five tables address the following technical issues: means of egress, height and area, exposure of exterior walls, fire suppression, and structural loads. There are additional requirements when the work affects vertical openings, fire alarms, fire detection, smoke detectors, or some plumbing, electrical, mechanical, or accessibility provisions.

PER DCA: Uniform Construction Code Subchapter 6, it is cited as NJAC 5:23-6. Thus, the administrative provisions of the Uniform Construction Code apply to rehabilitation projects, as they do to other construction projects. All permit requirements remain where they have always been, in Subchapter 2 of the Uniform Construction Code, NJAC 5:23-2.

Application for Change of Use of Educational Space 2021-2022 School Year

District: **Union County Educational Services Commission** School/Building: **Westlake School/ Lamberts Mill Academy**

Address of School: **609 N. Avenue W., Westfield, New Jersey 07090**

Original Use: **Retail Store (Lord & Taylor)**

Proposed Use: **Classrooms, Therapy Rooms, Administrative Offices (Temporary)**

Included in the Long-Range Facility Plan to account for educational capacity: Yes_____ No___**x**____

Submit the following with this application: (Refer to Attached Architectural Plans)

1. A building floor plan showing the location of the space(s) to be changed.
2. An educational description of the new use.
3. A description of any work to be done.
4. A sketch of the room(s) on an 8 ½" X 11" sheet of paper indicating:
   - location of air supply and exhaust
   - direction of door swing
   - listing of all fixed/moveable furniture/equipment and amount of floor space each occupies.
5. Fill in details for each item:
   - dimensions (length x width) _____
   - ceiling height _____ ft. _____ in. Total gross area _____sq. ft
   - type of flooring _____
   - foot-candles of light _____
   - description of door hardware _____
   - number of occupants: students: **100-158** teachers and/or aides: **40**

Upon receipt of the above information, we will advise you as to whether your request can be approved by the County Office or if formal plans are to be submitted to the Office of School Facilities & Finance by a licensed architect or registered engineer.

The Board of Education approved the Change of Use application on: **November 10, 2021**

****Attach Copy of Board Resolution ****

Certified by: _____ _____
(Superintendent of Schools) (Date)

_____ _____
(School Business Administrator) (Date)

For County Office Use Only

Date of Inspection by County Office:_____Inspected by: _____

Approved as is: _____ Not approved: _____ Approved subject to the following conditions: _____
_____
_____

_____ _____
(Executive County Superintendent) (Date)

Application for Change of Use of Educational Space 2021-2022 School Year

District: **Union County Educational Services Commission**

School/Building: **Westlake School/Lamberts Mill Academy**

Address of School: **1571 Lamberts Mill Road, Westfield, New Jersey 07090 (Permanent)**
609 N. Avenue W., Westfield, New Jersey 07090 (Temporary)

Description of Use:

On September 1, 2021, a Union County ESC building located at 1571 Lamberts Mill Road in Westfield sustained extensive flood damage from Tropical Storm Ida. The facility housed three schools – Hillcrest Academy South Campus, Lamberts Mill Academy, and Westfield School. The estimated timeline for building restoration is ten to twelve months.

This application supports the temporary relocation of Hillcrest Academy – South Campus, an alternative high school serving a total of 108 general education students, and Lamberts Mill Academy, a public high school for students with disabilities serving a total of 50 special education students, to a vacant retail store located at 609 N. Avenue W. in Westfield, NJ.

As illustrated on the attached architectural plans, the second floor of the vacant retail store will be retrofitted to accommodate ten classrooms for Hillcrest Academy South Campus, eight classrooms for Lamberts Mill Academy, and miscellaneous clinical, medical and administrative spaces to support both programs. This requires installation of 80" high self-supporting temporary partition walls and traditional classroom/office furniture. No permanent building modifications are required.

Hillcrest Academy South Campus and Lamberts Mill Academy will operate from Monday to Friday, from 8:30 – 2:30 p.m. according to the district calendar approved by the UCESC Board of Directors. All instructional programs are aligned to New Jersey Student Learning Standards and Individualized Education Plan (IEP) goals and objectives, as applicable.

General Symbols

INDICATES DETAIL No.
INDICATES DRAWING No.
ENLARGED PLAN
INDICATES SECTION No.
INDICATES DRAWING No.
INDICATES ELEVATION No.
INDICATES DRAWING No.
INDICATES PARTITION TYPE
INDICATES NORTH
INDICATES REVISION
(LATEST REVISION ENCLOSED BY CLOUD)
INDICATES NEW DOOR AND DOOR NUMBER
INDICATES REMOTE POINT OF TRAVEL DISTANCE
FLR INDICATES FLOOR LEVEL No.
@1.F INDICATES HEIGHT ABOVE FINISHED FLOOR
ELEV INDICATES ELEVATION HEIGHT

Index of Drawings

DRAWING	ARCHITECTURALS
A000	COVER SHEET
A001	FIXTURE PLAN
A002	REMOVAL PLAN
A101	FLOOR PLAN
A102	EGRESS PLAN
A103	CEILING PLAN
DRAWING	ELECTRICALS
E0.1	ELECTRICAL OVERVIEW PLAN
E1.0	ELECTRICAL 2ND FLOOR TEMPORARY CLASSROOM LIGHTING PLAN

Applicable Codes

NJ TEMPORARY FACILITIES CODE - SECTION 6A:26-3.13

INTERNATIONAL BUILDING CODE	2018
NATIONAL ELECTRICAL CODE	2017
NATIONAL STANDARD PLUMBING CODE	2018
INTERNATIONAL ENERGY CONSERVATION CODE	2018
ASHRAE 90.1	2016
INTERNATIONAL MECHANICAL CODE	2018
INTERNATIONAL FUEL GAS CODE	2018
BARRIER FREE SUBCODE	2018
ANSI A117.1	2009

UNIFORM CONSTRUCTION CODE - TITLE 5, CHAPTER 23, SUBCHAPTER 6, REHABILITATION SUBCODE NEW JERSEY ADMINISTRATIVE CODE, WITH TECHNICAL AMENDMENTS THROUGH FEB 2009

GENERAL BUILDING DESCRIPTION

EXISTING USE OR OCCUPANCY - chapter 3

M MERCANTILE USE

PROPOSED CHANGE OF USE OR OCCUPANCY - chapter 3

E EDUCATIONAL USE - TEMPORARY EDUCATIONAL OCCUPANCY

TYPES OF CONSTRUCTION (EXISTING) - chapter 6

II B NON - COMBUSTIBLE, UNPROTECTED
FULLY SPRINKLERED

TABLE 601 - *FIRE RATING FOR BUILDING ELEMENTS*

STRUCTURAL FRAME	-0 HRS
BEARING WALLS-INTERIOR/EXTERIOR	-0 HRS
NON-BEARING WALLS - INTERIOR	-0 HRS
FLOOR CONSTRUCTION	-0 HRS
ROOF CONSTRUCTION	-0 HRS

BUILDING SIZE

GROUND FLOOR	=	63, 041 SF - NOT PART OF THIS APPLICATION
SECOND FLOOR	=	61, 307 SF

MAXIMUM TRAVEL DISTANCE

PER 2018 INTERNATIONAL BUILDING CODE TABLE 1017.2 - EXIT ACCESS TRAVEL DISTANCE

250 FEET FOR SPRINKLERED BUILDING

REVIEWER - REFER TO SHEET A102 - EGRESS PLAN

OCCUPANCY LOAD - SECOND FLOOR

MAXIMUM FLOOR AREA PER OCCUPANT PER TABLE 1004.5

SECOND FLOOR 61, 307 S.F / 20 = 3, 065 occupants max ALLOWED

ACTUAL OCCUPANTS WILL BE LESS THAN MAXIMUM ALLOWED AT 275 PERSONS MAXIMUM

EGRESS DOOR WIDTH PER OCCUPANT SERVED (SALES FLOOR)

SPRINKLERED BUILDING - 0.20 UNITS PER OCCUPANT

275 occ X 0.20 = 55.0" REQUIRED

TOTAL EGRESS WIDTH PROVIDED = 132" OK

DOOR 1: 33" DOOR 2: 33"
DOOR 3: 33" DOOR 4: 33"

REFER TO KEY PLAN THIS SHEET AND EGRESS PLAN SHEET A102

PLUMBING FIXTURE COUNT

2018 NATIONAL STANDARD PLUMBING CODE TABLE 7.21.1 "minimum plumbing facilities"

OCCUPANCY CALCULATION DESIGN FACTOR

275 OCCUPANTS x 0.60 = 165 OCCUPANTS

165 OCC X 50% = 83 MEN & 83 WOMEN TO BE DESIGNED FOR

FOR EDUCATIONAL USE : E-3 SECONDARY GRADES 7-12 AND HIGHER

REQUIRED WATER CLOSETS	: MALE:	3 REQ'D	FEMALE:	3 REQ'D
REQUIRED LAVATORIES	: MALE:	3 REQ'D	FEMALE:	3 REQ'D
REQ'D DRINKING FOUNTAIN	:	2 REQ'D		

PLUMBING FIXTURE COUNTS				
MALE	REQ'D WC	= 3	PROVIDED WC	= 2 + 2 UR
FEMALE	REQ'D WC	= 3	PROVIDED WC	= 7
MALE	REQ'D LAVS	= 3	PROVIDED LAV	= 3
FEMALE	REQ'D LAVS	= 3	PROVIDED LAV	= 3

General Abbreviations

A.C.T.	ACOUSTICAL TILE	JT	JOINT
A.F.F.	ABOVE FINISH FLOOR		
ALUM.	ALUMINUM	LOUV.	LOUVER
		L.P.	LOW POINT
B.O.D.	BOTTOM OF DECK	L.F.	LINEAR FEET
B.O.S.	BOTTOM OF STEEL		
		M.O.	MASONRY OPENING
C.J	CONTROL JOINT	MTL.	METAL
CL	CENTER LINE		
CLG	CEILING	NIC	NOT IN CONTRACT
CONC	CONCRETE	NTS	NOT TO SCALE
CPT	CARPET		
CT	CERAMIC TILE	OH	OVERHEAD
C.M.U.	CONCRETE MASONRY UNIT		
		PLY	PLYWOOD
D.H.	DOUBLE HUNG	PT	PAINT
DWGS	DRAWINGS		
		RP	RAISED PANEL
EIFS	EXTERIOR INSULATION FINISH SYSTEM		
ELEV.	ELEVATION	S.C.	SOLID CORE
EXIST.	EXISTING	STRUCT.	STRUCTURAL
		S.F.	SQUARE FEET
GA.	GAUGE		
GYP.	GYPSUM BOARD	TEMP	TEMPERED
GL	GLASS	T.O.S.	TOP OF STEEL
G.F.I.	GROUND FAULT INTERRUPTER		
H.C.	HOLLOW CORE	VCT	VINYL COMPOSITION TILE
H.M.	HOLLOW METAL	V.I.F.	VERIFY IN FIELD
HWH	HOT WATER HEATER		
H.P.	HIGH POINT	WD	WOOD

General Notes

1. ALL WORK AND MATERIALS SHALL COMPLY WITH THE 2018 INTERNATIONAL BUILDING CODE.(NJ EDITION) AND WITH ANY OTHER CODES, REGULATIONS, ORDINANCES, UTILITY COMPANIES AND AND GOVERNMENTAL AGENCIES HAVING JURISDICTION.

2. ALL REQUIRED WORK IS INCLUDED AS PART OF THE CONTRACTOR'S WORK. THE EXTENT OF DEMOLITION WORK IS GENERALLY SHOWN ON THE DRAWINGS. DEMOLITION INCLUDES THE WRECKING OF STRUCTURES OR PORTIONS OF STRUCTURES, AND THE REMOVAL AND DISPOSAL OF ALL DEMOLISHED MATERIALS. CONTRACTOR'S WORK SHALL INCLUDE THE REMOVAL OF EXISTING PIPES, CONDUIT, DUCTS AND OTHER MECHANICAL AND ELECTRICAL ITEMS.

3. CONDUCT OPERATIONS TO PREVENT DAMAGE, BY FALLING DEBRIS OR OTHER CAUSE, TO BUILDING, AND OTHER FACILITIES, AS WELL AS PERSONS. TRANSPORT ALL MATERIALS FROM DEMOLISHED STRUCTURES

4. ALL DIMENSIONS ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ALL DIMENSIONS BY FIELD MEASURING. THE ARCHITECT SHALL BE NOTIFIED OF ANY ERRORS OR OMISSIONS BEFORE WORK IS STARTED.

5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE JOB PRIOR TO SUBMITTING HIS BID TO BECOME FAMILIAR WITH EXISTING CONDITIONS. CONTRACTOR SHALL MAKE NOTE OF THE QUALITY, COLOR AND PHYSICAL CHARACTERISTICS OF THE EXISTING MATERIALS THAT ARE CALLED FOR ON THESE DRAWINGS TO BE MATCHED BY THE NEW CONSTRUCTION.

6. INSTALLATION OF ALL NEW WORK AND EQUIPMENT SHALL INCLUDE REPAIR OF CONTIGUOUS FINISHES.

7. THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ANY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL. WORK NOT COVERED IN THE CONTRACT DOCUMENTS WILL NOT BE REQUIRED UNLESS IT IS CONSISTENT THEREWITH AND IS REASONABLY INFERABLE THEREFROM AS BEING NECESSARY TO PRODUCE THE INTENDED RESULTS.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING, FITTING OR PATCHING THAT MAY BE REQUIRED TO COMPLETE THE WORK OR TO MAKE ITS SEVERAL PARTS FIT TOGETHER PROPERLY.

9. THE CONTRACTOR AT ALL TIMES SHALL KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS OPERATIONS. AT THE COMPLETION OF THE WORK HE SHALL REMOVE ALL HIS WASTE MATERIALS AND RUBBISH FROM AND ABOUT THE PROJECT, AS WELL AS HIS TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY AND SURPLUS MATERIALS.

10. PROTECTION OF PERSONS AND PROPERTY:

BARRICADES AND PROTECTION: CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER PROTECTION OF PUBLIC AND ADJACENT PROPERTY WHICH MAY BE AFFECTED BY HIS WORK. HE SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO THE PREMISES OR ADJACENT WORK CAUSED BY HIS OPERATIONS. THE CONTRACTOR SHALL INCLUDE IN HIS BASE BID ALL COSTS FOR ANY REQUIRED SAFETY BARRIERS AND BARRICADES AND OTHER REQUISITES FOR THE COMPLETION OF THE WORK. COMPLY WITH STANDARDS AND CODE REQUIREMENTS FOR ERECTION OF BARRICADES. PAINT APPROPRIATE WARNING SIGNS TO INFORM PERSONNEL AND THE PUBLIC OF THE HAZARD BEING PROTECTED AGAINST.

SECURITY ENCLOSURE AND LOCKUP: INSTALL TEMPORARY ENCLOSURE OF PARTIALLY COMPLETED AREAS OF CONSTRUCTION. PROVIDE LOCKING ENTRANCES TO PREVENT UNAUTHORIZED ENTRANCE, VANDALISM AND THEFT. WHERE MATERIALS AND EQUIPMENT MUST BE STORED, PROVIDE A SECURE LOCKUP.

ENVIRONMENTAL PROTECTION: OPERATE TEMPORARY FACILITIES AND CONDUCT CONSTRUCTION BY METHODS THAT COMPLY WITH ENVIRONMENTAL REGULATIONS, AND MINIMIZE THE POSSIBILITY THAT AIR, WATERWAYS AND SUBSOIL MIGHT BE CONTAMINATED OR POLLUTED.

OCCUPATIONAL SAFETY AND HEALTH ACT REQUIREMENTS: GENERAL CONTRACTOR, SUBCONTRACTORS AND SUPPLIERS OF MATERIALS SHALL COMPLY FULLY WITH THE PROVISIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT WITH REGARD TO ALL WORK PERFORMED AND/OR MATERIALS SUPPLIED AND SHALL ESTABLISH SAFE AND HEALTHFUL WORKING CONDITIONS FOR EMPLOYEES IN THE CONNECTION WITH SUCH WORK ACCORDING TO ALL OCCUPATIONAL SAFETY AND HEALTH STANDARDS APPLICABLE THERETO WHICH ARE PROMULGATED AND ISSUED BY THE SECRETARY OF LABOR DURING THE TIME OF PERFORMANCE OF SUCH WORK, AND SHALL INDEMNIFY AND HOLD THE OWNER AND ARCHITECT HARMLESS OF AND FROM ANY AND ALL PENALTIES, FINES OR EXPENSES WHICH MAY INCUR BY REASON OF THE VIOLATION BY CONTRACTOR, SUBCONTRACTOR OR SUPPLIER OF ANY OF THE TERMS AND PROVISIONS OF SAID ACT OR SAID STANDARDS.

Proposed Temporary School within existing vacant dept store

609 N Ave W
Westfield, New Jersey

PROJECT NARRATIVE:

TEMPORARY CONVERSION OF EXISTING SECOND FLOOR OF VACANT LORD + TAYLOR DEPARTMENT STORE INTO EDUCATIONAL USE FOR TWO SCHOOLS

NO HARD BUILT CONSTRUCTION OF WALLS OR ENCLOSURES WILL OCCUR AS PART OF THESE PLANS
ALL NEW WALLS ARE MODULAR - MOVEABLE FURNITURE PARTITIONS WHICH DO NOT EXTEND TO CEILINGS

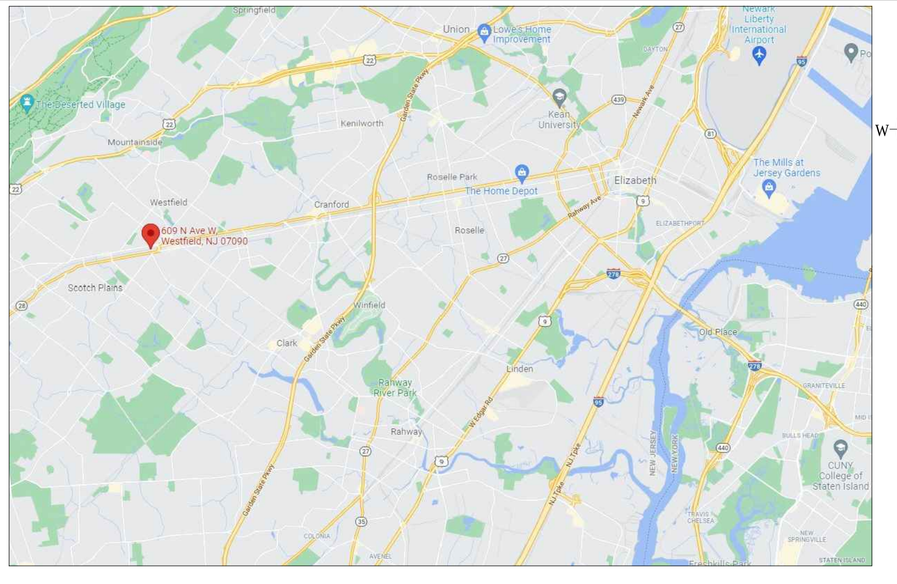
NEW LINEAR LIGHT FIXTURES WILL BE INSTALLED ABOVE CLASSROOMS TO ACCOMODATE REQUIRED LIGHT LEVELS OF 50fc

ALL EXISTING HVAC IS TO REMAIN. FILTERS WILL BE REPLACED AS PART OF GENERAL BUILDING MAINTENANCE

EXISTING RESTROOMS ARE LOCATED IN SECOND FLOOR AND WILL BE USED - NO ADDITIONAL FIXTURES ARE PROPOSED

2nd FLOOR BUILDING KEY PLAN
NO SCALE

PROJECT LOCATION MAP
NO SCALE



Region Map
NO SCALE

debarbieri ARCHITECTS

JAMES E. DEBARBIERI, AIA

NJ	Lic. No.	C-7496
CT	Lic. No.	6180
NY	Lic. No.	017897-1
PA	Lic. No.	RA-005756-B
MD	Lic. No.	8523
VA	Lic. No.	0410007899
OH	Lic. No.	10007
DE	Lic. No.	S5-0018737
MI	Lic. No.	1301055414
FL	Lic. No.	AR97210
TX	Lic. No.	26423
MA	Lic. No.	951205

ALFREDO A. PAULO, AIA - LEED AP BD+C
NJ Lic. No. 21 AI017664.00

MOHAMED SHAMA, AIA
NJ Lic. No. 21 AI018636.00

BRYAN J. DEBARBIERI, AIA
NJ Lic. No. 21 AI020719.00

97 CHESTNUT STREET
RUTHERFORD, NJ 07070

TEL: 201.939.5469 FAX: 201.939.5666
EMAIL: DESIGN@DEBARBIERIARCHITECTS.COM
WWW.DEBARBIERIARCHITECTS.COM

CONSULTANTS

HBC HUDSON'S BAY COMPANY
225 LIBERTY STREET NEW YORK, NY | 10281

REVISIONS

No.	DESCRIPTION	DATE

PROJECT

PROPOSED HSA - LMA
RELOCATION CONCEPT - LEVEL 2

609 N. AVE W
WESTFIELD, NJ 07090

COVER SHEET

DATE ISSUED: 10-28-21
PROJECT NO: 21-132
DRAWING BY: A A P
CHKD BY: A A P
DWG NO:

A000

SEAL & SIGNATURE

FILE NO:

SHEET: 1 OF 6

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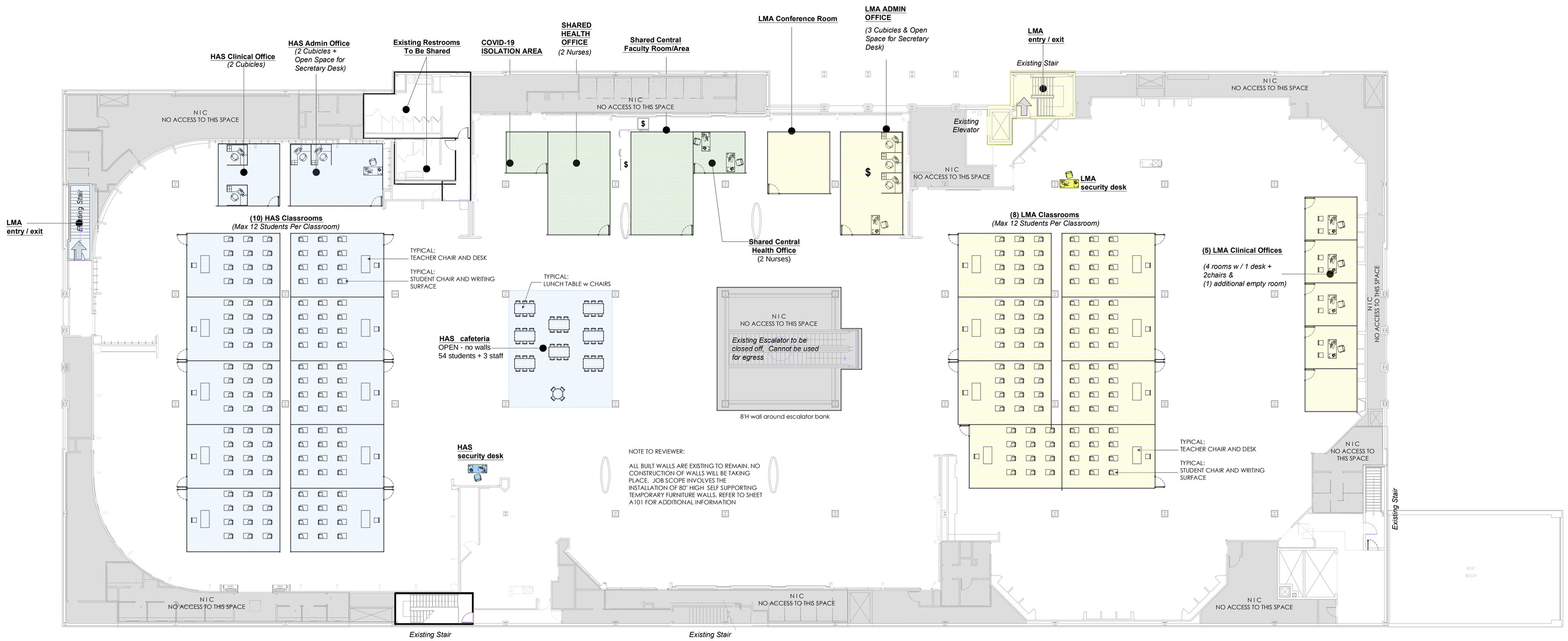

Furniture Plan- Level 2
1/16" = 1'-0"

GENERIC STUDENT CHAIR AND WRITING SURFACE
(image may differ from actual unit in field)

GENERIC TEACHER DESK
(image may differ from actual unit in field)

GENERIC CAFETERIA TABLE
(image may differ from actual unit in field)

Legend / Key

SHADED THUS INDICATES AREAS / ROOMS FOR **HAS** SCHOOL

SHADED THUS INDICATES AREAS / ROOMS FOR **LMA** SCHOOL

SHADED THUS INDICATES AREAS / ROOMS COMMON TO BOTH SCHOOLS

debarbieri ARCHITECTS

James E. DeBarbieri, AIA
NJ Lic. No. C-7496
CT Lic. No. 6180
NY Lic. No. 017897-1
PA Lic. No. RA-005754-B
MD Lic. No. 8523
VA Lic. No. 0601007899
OH Lic. No. 10007
DE Lic. No. S5-0018737
MI Lic. No. 1301055414
FL Lic. No. 6097210
TX Lic. No. 26423
MA Lic. No. 951205

Alfredo A. Paulo, AIA - (202 of 1811)
NJ Lic. No. 21 AI01764400

Mohamed Shama, AIA
NJ Lic. No. 21 AI01862600

Bryan J. DeBarbieri, AIA
NJ Lic. No. 21 AI02071500

97 Chestnut Street
Rutherford, NJ 07070

Tel: 201.939.5469 Fax: 201.939.5666
Email: design@debarbierierchitects.com
www.debarbierierchitects.com

Consultants

HBC
HUDSON'S BAY COMPANY
225 Liberty Street
New York, NY 10281

Revisions

No.	Description	Date

Project

Proposed HSA - LMA
Relocation Concept - Level 2

609 N. Ave W
Westfield, NJ 07090

HAS - LMA
LEVEL 2
Furniture Plan

Date Issued:	10-28-21
Project No:	21-132
Drawing By:	A A P
Chkd By:	A A P
Dwg No:	A001

Seal & Signature

File No:

Sheet: 2 of 6

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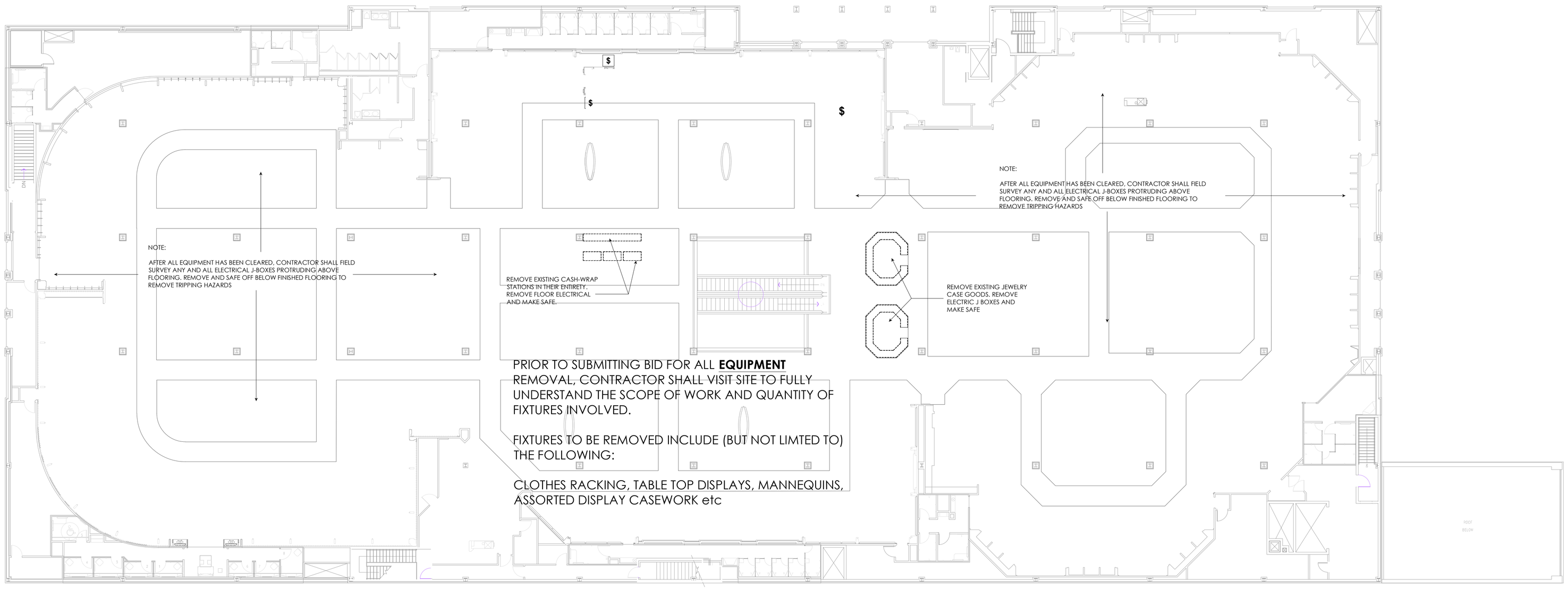

PRIOR TO SUBMITTING BID FOR ALL **EQUIPMENT** REMOVAL, CONTRACTOR SHALL VISIT SITE TO FULLY UNDERSTAND THE SCOPE OF WORK AND QUANTITY OF FIXTURES INVOLVED.

FIXTURES TO BE REMOVED INCLUDE (BUT NOT LIMTED TO) THE FOLLOWING:

CLOTHES RACKING, TABLE TOP DISPLAYS, MANNEQUINS, ASSORTED DISPLAY CASEWORK etc

Removal Plan- Level 2
1/16" = 1'-0"

debarbieri ARCHITECTS

JAMES E. DEBARBIERI, AIA
NJ Lic. No. C-7496
CT Lic. No. 6180
NY Lic. No. 017897-1
PA Lic. No. RA-001754-B
MD Lic. No. 8523
VA Lic. No. 0401007899
OH Lic. No. 10007
DE Lic. No. S5-0018737
MI Lic. No. 1301051414
FL Lic. No. 4897210
TX Lic. No. 24423
MA Lic. No. 951205
ALFREDO A. PAULO, AIA - LEED AP BD+C
NJ Lic. No. 21 AI01764400
MOHAMED SHAMA, AIA
NJ Lic. No. 21 AI01863600
BRYAN J. DEBARBIERI, AIA
NJ Lic. No. 21 AI02071500

97 CHESTNUT STREET
RUTHERFORD, NJ 07070

TEL: 201.939.5669 FAX: 201.939.5666
EMAIL: DESIGN@DEBARBIERIARCHITECTS.COM
WWW.DEBARBIERIARCHITECTS.COM

CONSULTANTS

HBC HUDSON'S BAY COMPANY
225 LIBERTY STREET NEW YORK, NY | 10281

REVISIONS

No.	Description	Date

PROJECT

PROPOSED HSA - LMA
RELOCATION CONCEPT - LEVEL 2

609 N. AVE W
WESTFIELD, NJ 07090

HAS - LMA
LEVEL 2
REMOVAL FLOOR PLAN

DATE ISSUED:	10-28-21
PROJECT NO:	21-132
DRAWING BY:	A A P
CHKD BY:	A A P
DWG NO:	A002

SEAL & SIGNATURE

FILE NO:

SHEET: 3 OF 6

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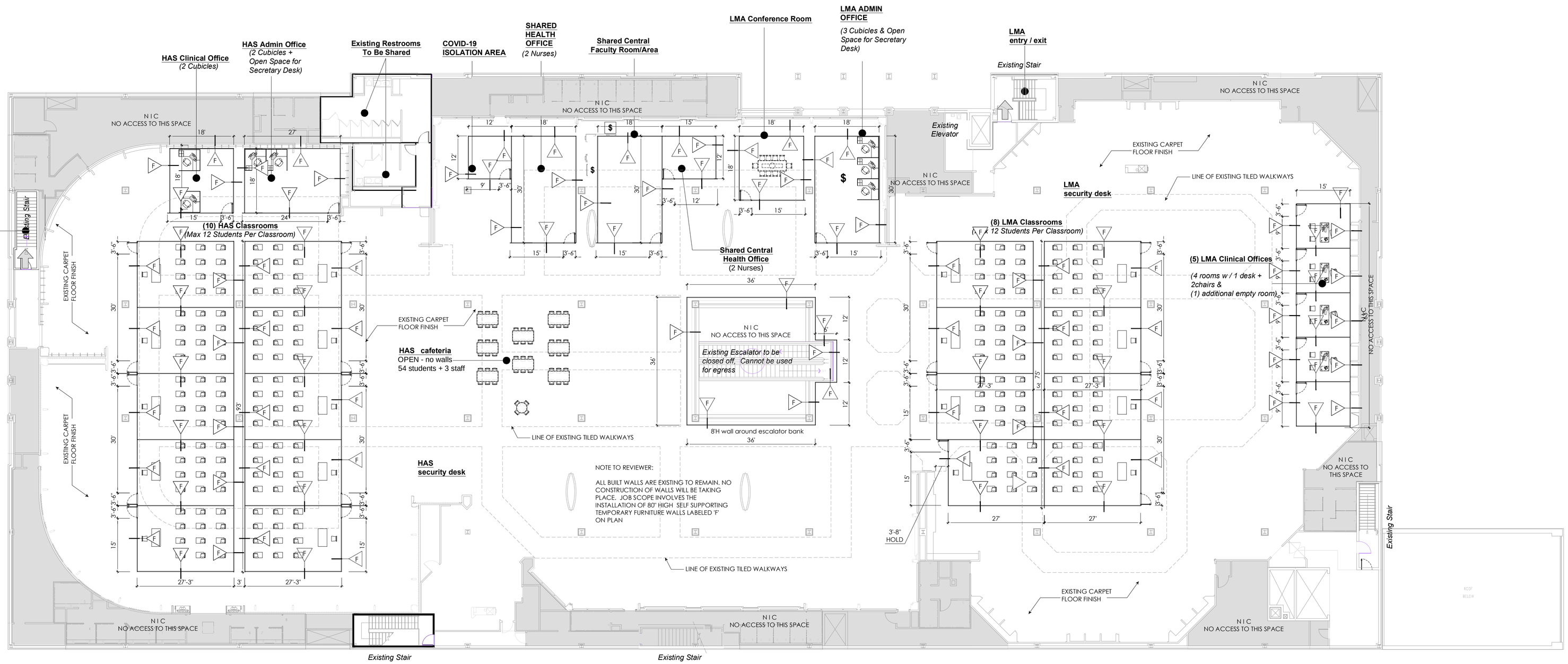

Floor Plan- Level 2
1/16" = 1'-0"

Temporary Partition Type F
NO SCALE

MODULAR WALL SYSTEM BY HAWORTH-
80" HIGH, FREE-STANDING TEMPORARY SELF SUPPORTING FURNITURE WALL MODULE INCLUDING DOOR AND FRAME INFILL AS SHOWN ON PLANS.

REFER TO COMPLIANCE STATEMENT ON THIS SHEET FOR RATINGS

WALL FINISH CLASSIFICATION

INTERIOR WALL FINISH REQUIREMENTS

WALL FINISHES PER TABLE 803.13 (IBC 2018)- SPRINKLERED BUILDING

CLASS B @ INTERIOR EXIT STAIRWAYS, PASSAGEWAYS, CORRIDORS, EXIT ACCESS STAIRWAYS

CLASS C @ ROOMS AND ENCLOSED SPACES

HAWORTH

Compliance Statement

Haworth **Panel System Fabrics** were tested to **NFPA 701, Standard Methods of Fire Tests for Flame Propagation of Textiles and Films.** Testing was performed at Textile Testing, Byron Center, Michigan, July, 2014. Based on this testing, our worst case fabric is Striae for monolithic panels and Tellure for panels with inserts.

The worst case fabric was assembled onto Unigroup Panel Assemblies and subjected to **ASTM E-84, Standard Test Method for Surface Burning Characteristics of Building Materials** at Commercial Testing, Dalton, Georgia, on December 3, 2014. **Places, Unigroup, and Unigroup Too** panels use the same materials and construction methods. Based on this testing of our worst case fabric, all fabrics in our current standard product offering (Highlands, Iowa, Compass, Savoy, Striae, Tailored, Tangram, Tatami, Tellure, Tuscan, Basketweave, Biscotti, Classic, Hue, Kio, Landscape, Puzzler, Ritz, Peca, Shimmer, Traffic, Trax, Birds Nest and Geode) comply with the requirements for Class A Flammability. Specific results by panel type are as follows:

Panel Type	Flame	Smoke	Report #	Test Date
Basic Monolithic	5	35	14-12037	December 3, 2014
Monolothic	5	25	14-12036	December 3, 2014
Unigroup Too w/Insert	20	95	14-12035	December 3, 2014

Note: The Life Safety Code (NFPA 101) the International Building Code and most other building and fire codes allow finishes for interior walls and ceilings based on Flame Spread Index and Smoke Developed Index that are within the limits shown in the chart below. Different classes (A, B, and C) are allowed based on building/occupancy type.

Class	Flame	Smoke
A	0-25	450 or less
B	26-75	450 or less
C	76-200	450 or less

HAWORTH, INC.

Tom Dykstra

Tom Dykstra
Senior Sales Engineer
Sales Engineering and Agency Compliance

Date: February 28, 2017

One Haworth Center, Holland, Michigan 49423-9576 phone: 616.393.3000

debarbieri ARCHITECTS

JAMES E. DEBARBIERI, AIA
NJ Lic. No. C-7496
CT Lic. No. 6180
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FL Lic. No. AR97210
TX Lic. No. 24425
MA Lic. No. 952105
ALFREDO A. PAULO, AIA - LEED AP BD+C
NJ Lic. No. 21 AI037644000
MOHAMED SHAMA, AIA
NJ Lic. No. 21 AI038636600
BRYAN J. DEBARBIERI, AIA
NJ Lic. No. 21 AI037075500

97 CHESTNUT STREET
RUTHERFORD, NJ 07070

TEL: 201.939.5469 FAX: 201.939.5466
EMAIL: DESIGN@DEBARBIERIARCHITECTS.COM
WWW.DEBARBIERIARCHITECTS.COM

CONSULTANTS

HBC HUDSON'S BAY COMPANY
225 LIBERTY STREET NEW YORK, NY | 10282

REVISIONS

No.	Description	Date

PROJECT

PROPOSED HSA - LMA
RELOCATION CONCEPT - LEVEL 2

609 N. AVE W
WESTFIELD, NJ 07090

HAS - LMA
LEVEL 2
FLOOR PLAN

DATE ISSUED: 10-28-21
PROJECT NO: 21-132
DRAWING BY: A A P
CHKD BY: A A P
DWG NO:

A101

SEAL & SIGNATURE
FILE NO:
SHEET: 4 OF 6

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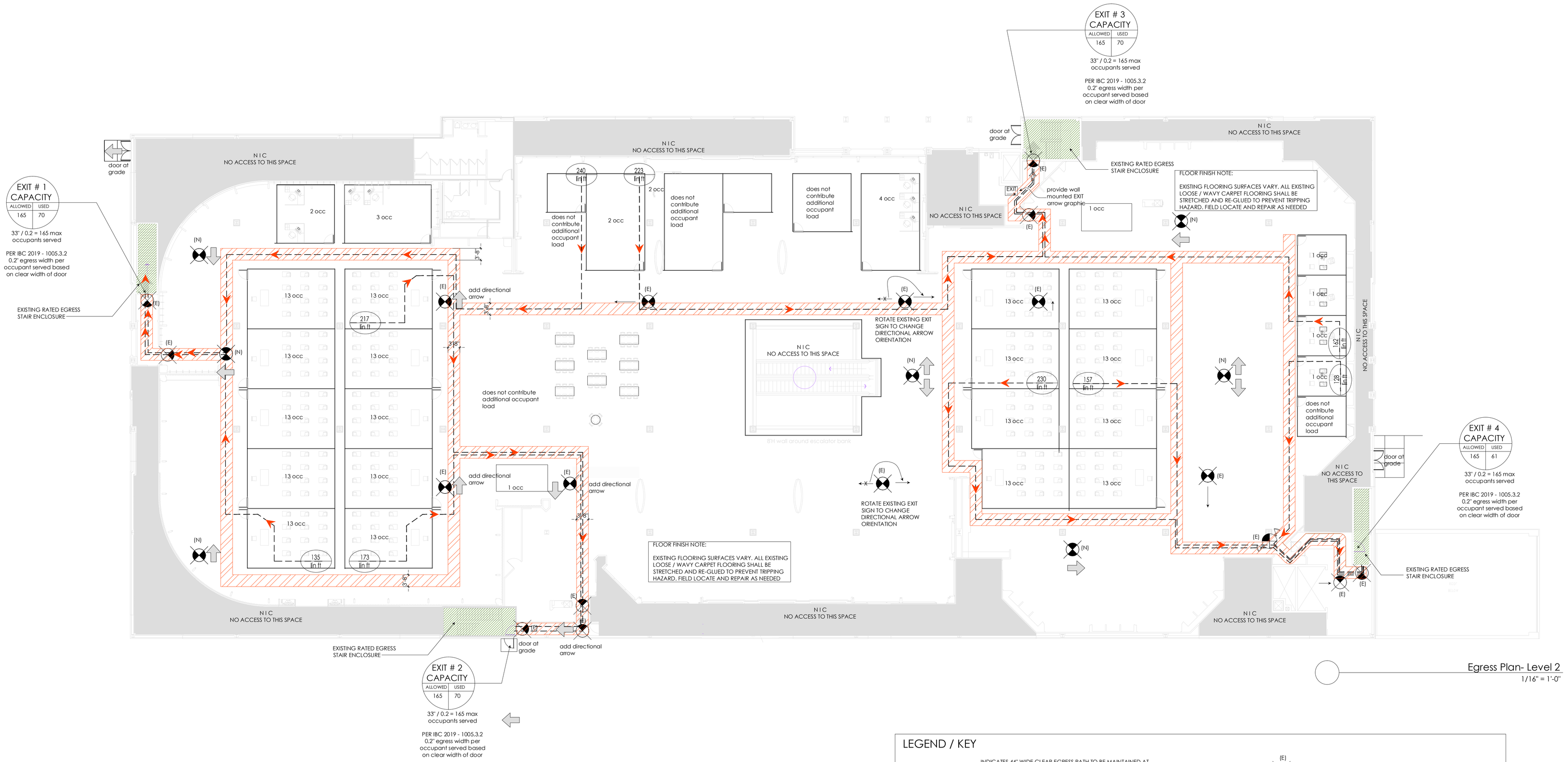

Egress Plan- Level 2
1/16" = 1'-0"

LEGEND / KEY

- INDICATES 44" WIDE CLEAR EGRESS PATH TO BE MAINTAINED AT ALL TIMES FREE FROM ANY FURNISHINGS, OBSTRUCTIONS ETC. EGRESS PATH SHALL BE MARKED OUT WITH 3M SAFETY TAPE, SECURELY ADHERED TO EXISTING FLOOR FINISH AS OCCURS
- 157 lin ft — INDICATES REMOTE POINT WITHIN TEMPORARY ROOM ENCLOSURE AND DISTANCE TO RATED STAIR ENCLOSURE
- INDICATES EGRESS PATH AND DIRECTION OF TRAVEL FROM REMOTE POINT TO RATED STAIR ENCLOSURE
- (E) — EXISTING 'EXIT' SIGN TO REMAIN. GC SHALL TEST FOR PROPER OPERATION- REPLACE AS NECESSARY
- (E) — EXISTING 'EXIT' SIGN w/ DIRECTIONAL ARROW TO REMAIN. GC SHALL TEST FOR PROPER OPERATION- REPLACE AS NECESSARY
- (E) — ROTATE EXISTING EXIT SIGN TO CHANGE DIRECTIONAL ARROW ORIENTATION
  - |←X— INDICATES ORIENTATION OF EXISTING DIRECTIONAL ARROW
- (E) — EXISTING 'EXIT' SIGN TO REMAIN. PROVIDE DIRECTIONAL ARROW AS SHOWN ON PLAN. GC SHALL TEST FOR PROPER OPERATION- REPLACE AS NECESSARY
- (N) — NEW 'EXIT' SIGN WITH DIRECTIONAL ARROW AS SHOWN ON PLAN. 1½ HOUR BATTERY BACK-UP. WIRE TO EXISTING EMERGENCY LIGHTING CIRCUIT
- (E) — NEW DUALITE 'EXIT' SIGN . GC SHALL TEST FOR PROPER OPERATION-

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debarbieri ARCHITECTS

James E. DeBarbieri, AIA
NJ Lic. No. C-7496
CT Lic. No. 6180
NY Lic. No. 017897-1
PA Lic. No. RA-010754-B
MD Lic. No. 8523
VA Lic. No. 0605007899
OH Lic. No. 10007
DE Lic. No. S5-0008757
MI Lic. No. 1301051616
FL Lic. No. AR97210
TX Lic. No. 24423
MA Lic. No. 950205

Alfredo A. Paulo, AIA - Less of Work
NJ Lic. No. 21 AI0176400

Mohamed Shama, AIA
NJ Lic. No. 21 AI0186360

Bryan J. DeBarbieri, AIA
NJ Lic. No. 21 AI0207500

97 Chestnut Street
Rutherford, NJ 07070

Tel: 201.939.5469 Fax: 201.939.5466
Email: design@debarbieriarchitects.com
www.debarbieriarchitects.com

Consultants

HBC HUDSON'S BAY COMPANY
225 Liberty Street
New York, NY | 10282

No.	Description	Date

Revisions

Project

Proposed HSA - LMA
Relocation Concept - Level 2

609 N. Ave W
Westfield, NJ 07090

HAS - LMA
LEVEL 2
Egress Plan

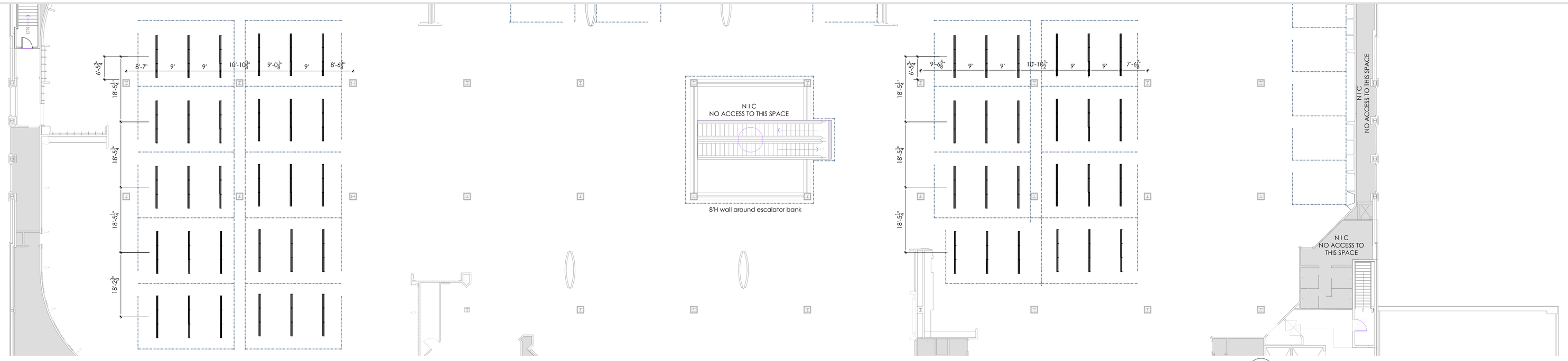
Date Issued: 10-28-21
Project No: 21-132
Drawing By: A A P
Chkd By: A A P
Dwg No:

A102

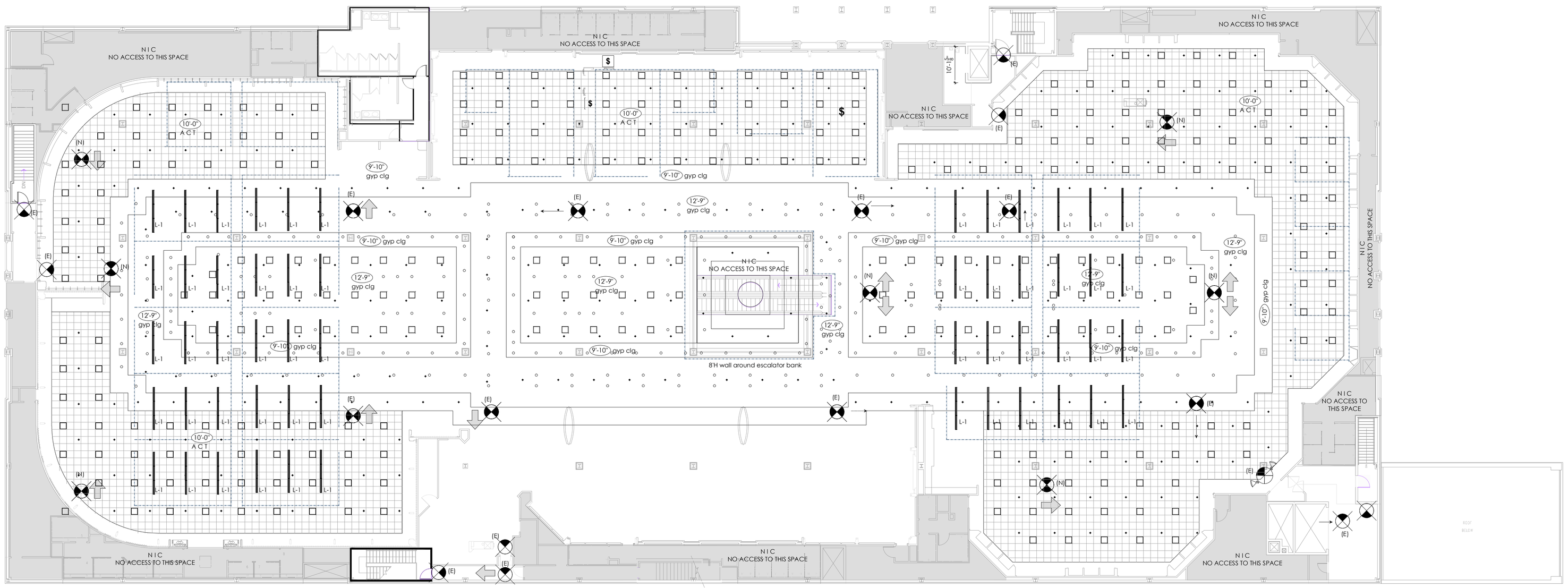
Seal & Signature

File No:

Sheet: 5 of 6



New Lighting Location Plan
1/16" = 1'-0"



Existing Ceiling Plan- Level 2
1/16" = 1'-0"

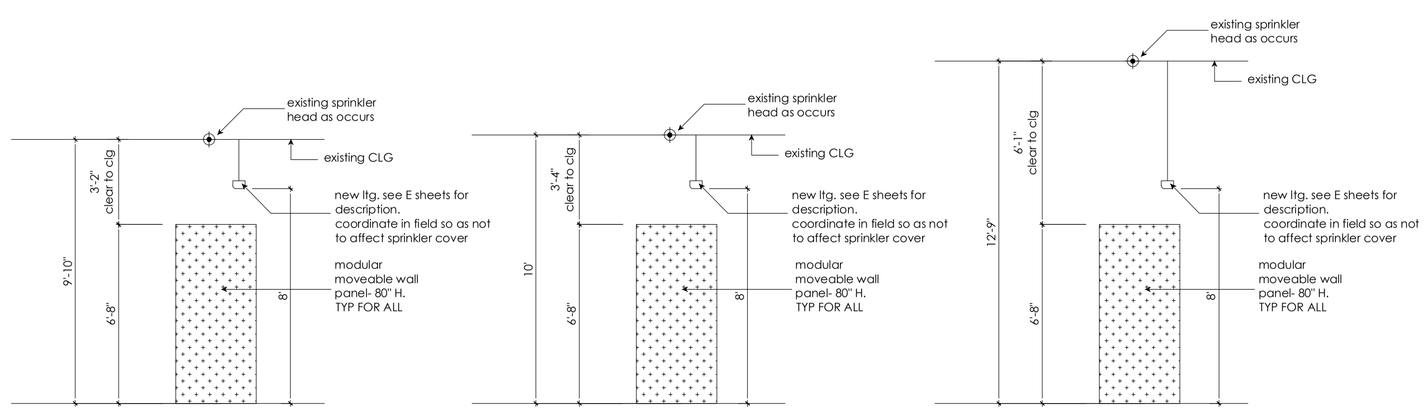


Diagram of Sprinkler Ht versus New Panels
1/4" = 1'-0"

LEGEND / KEY

- INDICATES EXISTING RECESSED CAN LIGHTS TO REMAIN
- INDICATES EXISTING RECESSED 2x2 FLUORESCENT LIGHTS TO REMAIN
- L-1 INDICATES NEW SUSPENDED LIGHT FIXTURES OVER TEMPORARY CLASSROOMS- BOTTOM OF FIXTURES AT 8'-0" A.F.F.
- INDICATES EXISTING SPRINKLER HEAD TO REMAIN. ALL NEW SPRINKLER WORK REQUIRED SHALL BE PERFORMED BY LICENSED SPRINKLER CONTRACTOR SUBMITTED UNDER SEPARATE APPLICATION
- INDICATES EXISTING AND/OR NEW 'EXIT' SIGNS. REFER TO SHEET A102 'EGRESS PLAN' FOR ADDITIONAL NOTES

debarbieri ARCHITECTS

JAMES E. DEBARBIERI, AIA
NJ LIC. NO. C-7496
CT LIC. NO. 6180
NY LIC. NO. 078997-1
PA LIC. NO. RA-010754-B
MD LIC. NO. 8522
VA LIC. NO. 0409007899
OH LIC. NO. 10057
DE LIC. NO. S5-0018737
MI LIC. NO. 1301051416
FL LIC. NO. ARR9720
TX LIC. NO. 26423
MA LIC. NO. 951205

ALFREDO A. PAULO, AIA - LEED AP BD+C
NJ LIC. NO. 21 AI017664400

MOHAMED SHAMA, AIA
NJ LIC. NO. 21 AI018453600

BRYAN J. DEBARBIERI, AIA
NJ LIC. NO. 21 AI0207500

97 CHESTNUT STREET
RUTHERFORD, NJ 07070

TEL: 201.939.5669 FAX: 201.939.5666
EMAIL: DESIGN@DEBARBIERIARCHITECTS.COM
WWW.DEBARBIERIARCHITECTS.COM

CONSULTANTS

HBC HUDSON'S BAY COMPANY
225 LIBERTY STREET NEW YORK, NY | 10281

REVISIONS

No.	Description	Date

PROJECT

PROPOSED HSA - LMA
RELOCATION CONCEPT - LEVEL 2

609 N. AVE W
WESTFIELD, NJ 07090

HAS - LMA
LEVEL 2
REFLECTED CEILING PLAN

DATE ISSUED: 10-28-21
PROJECT NO: 21-132
DRAWING BY: A A P
CHKD BY: A A P
DWG NO:

A103

SEAL & SIGNATURE
FILE NO:
SHEET: 6 OF 6

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ELECTRICAL SPECIFICATION

GENERAL:

A. ALL WORK SHALL CONFORM TO 2017 NEC AND 2015 IBC AND LOCAL CODES.

B. THE CONTRACTOR SHALL OBTAIN ALL PERMITS AND APPROVAL FROM AUTHORITIES HAVING JURISDICTION AND PAY ALL FEES REQUIRED.

C. THE WORK, MATERIALS AND EQUIPMENT COVERED BY THE CONSTRUCTION DOCUMENTS/PERMIT DOCUMENTS SHALL COMPLY IN ALL RESPECTS WITH THE REQUIREMENTS OF STATE, COUNTY AND CITY APPLICABLE ORDINANCES, REGULATIONS, AND CODES. IN ADDITION, THE FOLLOWING PUBLISHED STANDARDS SHALL BE ADHERED TO:

- AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI)
- AMERICAN SOCIETY OF TESTING MATERIALS (ASTM)
- NATIONAL FIRE PROTECTION ASSOCIATION (NFPA)
- UNDERWRITER'S LABORATORIES (UL)
- NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION (NEMA)
- NATIONAL ELECTRICAL CODE (NEC)

D. THE CONTRACTOR SHALL OBTAIN ALL PERMITS AND APPROVAL FROM AUTHORITIES HAVING JURISDICTION AND PAYING ALL FEES REQUIRED.

E. ALL MATERIALS SHALL BE NEW AND SHALL BEAR A UL LABEL, WHERE APPLICABLE.

F. THE CONTRACTOR IS TO SUBMIT SHOP DRAWINGS ON ALL EQUIPMENT TO THE ENGINEER AND OBTAIN APPROVAL PRIOR TO INSTALLATION.

E. BUILDING SHALL REMAIN OPEN DURING RENOVATION. THE CONTRACTOR SHALL SEQUENCE DEMOLITION AND CONSTRUCTION IN ORDER TO ALLOW CONTINUED OPERATIONS. THE CONTRACTOR SHALL ENSURE THAT DEMOLITION WORK DOES NOT INTERFERE WITH OR PROHIBIT THE CONTINUING OCCUPATION OF ADJACENT OPERATIONS WITHIN THE STRUCTURE. THIS INCLUDES, BUT IS NOT LIMITED TO, THE SELECTIVE DEMOLITION OF PARTITIONS, MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS. THE CONTRACTOR SHALL INFORM THE OWNER A MINIMUM OF 72 HOURS PRIOR TO DEMOLITION OF ACTIVITIES THAT WILL AFFECT THE NORMAL OPERATION OF THE FACILITY.

F. INSTALL NEW WORK AND CONNECT TO EXISTING WORK WITH MINIMUM INTERFERENCE TO EXISTING FACILITIES. TEMPORARY SHUTDOWNS: ONLY WITH WRITTEN CONSENT OF OWNER. MAINTAIN CONTINUOUS OPERATION OF EXISTING FACILITIES. ALARM AND EMERGENCY SYSTEMS ARE NOT TO BE INTERRUPTED.

G. DRAWINGS ARE DIAGRAMMATIC AND INDICATE GENERAL ARRANGEMENT OF SYSTEMS AND WORK. FOLLOW DRAWINGS IN LAYING OUT WORK AND CHECK DRAWINGS OF OTHER TRADES TO VERIFY SPACE CONDITIONS. MAINTAIN HEADROOM AND SPACE CONDITIONS.

H. SECURE ALL SUPPORTS TO BUILDING STRUCTURE UTILIZING TOGGLE BOLTS (HOLLOW MASONRY), EXPANSION SHIELDS OR INSERTS (CONCRETE AND BRICK), MACHINE SCREWS (METAL), BEAM CLAMPS (FRAMEWORK), WOOD SCREWS (WOOD) OR PAN THRU STRAPS (METAL DECK). NAILS, PLUGS ARE NOT PERMITTED. WHERE REQUIRED BY STRUCTURE, PROVIDE THRU BOLTS AND PLATES. SUPPORT HORIZONTAL RUNS OF METALLIC RACEWAYS SHALL BE SUPPORTED A INTERVALS NOT GREATER THAN 10 FT APART. SUPPORT RACEWAY RISERS AT EACH FLOOR LEVEL. RUN EXPOSED RACEWAYS PARALLEL WITH OR AT RIGHT ANGLES TO WALLS.

I. PASS RACEWAYS OVER WATER, STEAM OR OTHER PIPING WHEN PULL BOXES ARE NOT REQUIRED. NO RACEWAY WITHIN 6 INCHES OF STEAM OR HOT WATER PIPES OR APPLIANCES (EXCEPT PIPE CROSSINGS WHERE RACEWAY SHALL BE AT LEAST 6 INCHES FROM PIPE COVERS).

J. FIRESTOPPING SHALL BE INSTALLED WHENEVER WIRING OR RACEWAYS CROSS FIRE RATED CONSTRUCTION.

K. PRIOR TO STARTING WORK THE CONTRACTOR SHALL VISIT THE SITE AND CONVENE A COORDINATION MEETING WITH CONSTRUCTION MANAGER. THE CONTRACTOR SHALL PROVIDE A SCHEDULE OF ACTIVITIES WITH DURATION TO SATISFY PROJECT SCHEDULE.

L. BEFORE SUBMITTING PROPOSALS, IT IS MANDATORY THAT EACH BIDDER SHALL VISIT THE SITE OF THE WORK TO BECOME ACQUAINTED WITH EXISTING CONDITIONS AND LIMITATIONS. FAILURE TO DO SO SHALL IN NO MANNER RELIEVE THE CONTRACTOR FROM THE OBLIGATIONS OF THE DRAWINGS, SPECIFICATIONS AND/OR CONTRACT, AS STATED OR IMPLIED.

M. BEGINNING OF WORK MEANS INSTALLER ACCEPTS EXISTING CONDITIONS.

N. THESE DRAWINGS ARE REPRESENTATIVE OF THE SCOPE AND NATURE OF WORK. IT IS NOT GUARANTEED TO REPRESENT EXACT FIELD CONDITIONS AND DIMENSIONS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY FIELD DIMENSIONS AND TO COORDINATE THE WORK WITH THAT OF THE CONSTRUCTION MANAGER.

O. ALL MATERIALS SHALL BE LISTED BY UNDERWRITERS LABORATORIES OR OTHER APPROVED INDEPENDENT AGENCY.

P. ALL MATERIALS USED IN THE WORK SHALL BE NEW, FREE OF DEFECTS, THE BEST OF THEIR RESPECTIVE KINDS, AND SHALL BE INSTALLED BY LABOR THOROUGHLY SKILLED IN THE CLASS OF WORK ANTICIPATED BY THIS CONTRACT.

Q. WHERE CONDUITS PENETRATE EXISTING WALLS, THE CONTRACTOR SHALL INSTALL PROPER UL FIRESTOPPING PER RATING OF THE EXISTING WALL.

R. THE CONTRACTOR SHALL COORDINATE ALL MOUNTING HEIGHTS, LOCATIONS AND ARCHITECTURAL DRAWINGS.

S. THE CONTRACTOR SHALL DO ALL CUTTING AND PATCHING OF EXISTING CONSTRUCTION REQUIRED BY HIS WORK. ALL FINISHES SHALL MATCH EXISTING. STRUCTURAL MEMBERS SHALL NOT BE CUT UNLESS APPROVED BY OWNER'S REPRESENTATIVE. WHERE PATCHING/REPAIRING IS REQUIRED CONTRACTOR TO REFINISH AREA TO MATCH EXISTING.

T. EFFECTIVELY PROTECT ALL MATERIALS AND EQUIPMENT FROM ENVIRONMENTAL AND PHYSICAL DAMAGE UNTIL FINAL ACCEPTANCE. CLOSE AND PROTECT ALL OPENINGS DURING CONSTRUCTION. PROVIDE NEW MATERIALS AND EQUIPMENT TO REPLACE ITEMS DAMAGED.

U. THE CONTRACTOR SHALL REMOVE, RELOCATE AND REROUTE OTHER TRADES WORK AS REQUIRED TO ACCOMMODATE ELECTRICAL WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THAT WORK AND SHALL PAY ALL REQUIRED COSTS AT NO ADDITIONAL COST TO THE OWNER. WORK SHALL BE PERFORMED BY MECHANICS SKILLED IN THE PARTICULAR TRADE INVOLVED.

V. ALL MATERIAL SHALL BE INSTALLED IN COMPLIANCE WITH ALL MANUFACTURER'S INSTRUCTIONS AND PRACTICES UNLESS WRITTEN DIRECTION TO THE CONTRARY IS PROVIDED.

W. UPON COMPLETION OF THE EQUIPMENT INSTALLATION THE CONTRACTOR SHALL CLEAN AREA AND LEAVE THE AREA IN A NEAT AND ORGANIZED FASHION.

X. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, TOOLS, TRANSPORTATION EQUIPMENT, SERVICES AND FACILITIES REQUIRED FOR THE COMPLETE, PROPER AND SUBSTANTIAL INSTALLATION OF ALL WORK WITH REQUIRED TESTING/APPROVALS

Y. ELECTRICAL DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONAL REQUIREMENTS, COORDINATE WITH ARCHITECTURAL DRAWINGS.

ELECTRICAL DISTRIBUTION:

GENERAL:

A. FURNISH AND INSTALL ALL ELECTRICAL WIRING, CONDUIT, DEVICES, SWITCHES, ETC. AS INDICATED ON THE DRAWINGS.

B. PROVIDE ENGRAVED PLASTLC NAMEPLATES AND SIGNS FOR ALL ELECTRLCAL EQUIPMENT. ENGRAVING STOCK SHALL BE PLASTIC LAMINATE, MINIMUM 1/8 INCH THICK. ENGRAVED LEGEND WITH WHITE LETTERS ON BLACK FACE, PUNCHED OR DRILLED FOR MECHANICAL FASTENERS OR FURNISHED WITH ADHESIVE BACKING. PROVIDE NAMEPLATES ON ALL PANELBOARDS, MOTOR STARTERS, DISCONNECT SWITCHES, ETC.

GROUNDING:

A. EQUIPMENT GROUNDING CONDUCTORS SHALL BE PROVIDED FOR ALL FEEDERS AND BRANCH CIRCUITS. USE GREEN GROUND CONDUCTORS.

B. ELECTRICAL CONTRACTOR IS RESPONSIBLE TO PROVIDE PROPER GROUNDING OF ALL CIRCUITS AND EQUIPMENT AS PER APPLICABLE CODES.

C. GROUND METALLIC ENCLOSURES, RACEWAYS, ETC IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE ARTICLE 250.

WIRING METHODS:

A. CUT CONDUIT ENDS SQUARE. REAM SMOOTH. PAINT MALE THREAD OF FIELD THREADED RACEWAYS WITH GRAPHITE BASE PIPE COMPOUND. DRAW UP TIGHT WITH RACEWAY COUPLING.

B. HORIZONTAL OR CROSS RUNS IN PARTITIONS AND WALLS ARE NOT PERMITTED. DO NOT RUN CONDUIT IN PRECAST ROOF SLABS, IN 2 INCH SLABS OR IN TERRAZZO FLOOR FINISH.

C. SET BOXES SQUARE AND TRUE WITH BUILDING FINISH.

D. COVERS OF JUNCTION AND PULLBOXES SHALL BE READILY ACCESSIBLE.

E. PROVIDE PULLBOXES WHERE INDICATED, WHERE REQUIRED BY CODE AND WHEREVER NECESSARY TO FACILITATE PULLING OF WIRE. COORDINATE PULLBOX LOCATIONS WITH OTHER TRADES.

F. USE FOLLOWING RACEWAYS:

a. EXTERIOR ABOVE GROUND: RIGID GALVANIZED STEEL, ALL APPLICATIONS:

b. UNDERGROUND: SCHEDULE 40 PVC.

c. INTERIOR AREAS:
EXPOSED: EMT WITH COMPRESSION FITTINGS
CONCEALED: EMT WITH COMPRESSION FITTINGS

d. USE OF METAL CLAD (MC) CABLE: MC CABLE SHALL BE PERMITTED IN CONCEALED AREAS. NO EXPOSED MC CABLE IS PERMITTED.

G. WIRING FOR COMMUNICATIONS SHALL BE IN RACEWAY SPECIFIED FOR BRANCH CIRCUITS UNLESS SPECIFICALLY NOTED OTHERWISE.

H. PROVIDE SEALS FOR RACEWAYS PASSING THROUGH FLOORS, ROOFS AND EXTERIOR WALLS.

I. CONDUCTORS SHALL BE 600 VOLT INSULATION, COPPER, TYPE THHN OR THWN-2.

J. LIQUID TIGHT FLEXIBLE METAL CONDUIT IN LENGTHS OF 3' OR LESS WITH APPROVED TYPE FITTINGS SHALL BE USED FOR CONNECTIONS TO VIBRATING EQUIPMENT, MOTORS, AND OTHER OUTLETS WHERE WIRING WILL BE EXPOSED TO WEATHER, MOISTURE OR VIBRATIONS.

K. INSTALL RACEWAYS FROM BOX TO BOX OR TERMINATIONS AS SHOWN ON THE DRAWINGS OR AS REQUIRED TO EFFECT CIRCUITING DESCRIBED WITH CIRCUIT NUMBERS ADJACENT TO EQUIPMENT. GROUPING HOME RUNS OR COMBINING WIRES IN COMMON RACEWAYS WILL BE ALLOWED WITH A MAXIMUM OF THREE SINGLE POLE BRANCH CIRCUITS IN A RACEWAY. INCREASE WIRE SIZES AND RACEWAYS WHERE REQUIRED TO AVOID LOSS OF AMPACITY AS REQUIRED BY NEC.

L. FLEXIBLE METAL CONDUIT WITH APPROVED TYPE FITTING MAY BE USED IN LIMITED LENGTHS FOR CONNECTIONS TO RECESSED FIXTURES WHERE IT IS NECESSARY TO PROVIDE FLEXIBLE CONNECTIONS. IT MAY ALSO BE USED WHERE STRUCTURAL MEMBERS PRECLUDE THE USE OF ELECTRICAL METALLIC TUBING OR CONDUITS.

M. INSTALL CONDUIT CONTINUOUS BETWEEN BOXES AND CABINETS WITH NO MORE THAN FOUR(4) 90 DEGREE BENDS, SECURELY FASTEN IN PLACE WITH STRAPS, HANGERS AND STEEL SUPPORTS AS REQUIRED. DO NOT SUPPORT CONDUIT FROM SUSPENDED CEILING GRID OR SUSPENSION WIRES. REAM CONDUIT ENDS BEFORE INSTALLATION AND THOROUGHLY CLEAN BEFORE INSTALLATION. OPENINGS SHALL BE PLUGGED OR COVERED TO KEEP CONDUIT CLEAN.

N. CONDUCTORS SHALL BE CONTINUOUS FROM ORIGIN TO PANEL OR EQUIPMENT WITHOUT SPLICES. WHERE TAP SPLICES ARE NECESSARY AND APPROVED, THEY SHALL BE MADE WITH SUITABLE CONNECTORS IN JUNCTION BOXES.

O. ALL WIRE AND CABLE AMPACITIES INDICATED ON DRAWINGS ARE BASED ON 75°C. TEMPERATURE RATING. ALL LUGS, BREAKERS, SWITCHES AND OTHER TERMINATIONS SHALL HAVE 75°C. RATINGS AS A MINIMUM.

P. SEPARATE NEUTRALS SHALL BE RUN FOR ALL CIRCUITS UTILIZING SWITCH MODE POWER SUPPLIES(EG. COMPUTERS, FLUORESCENT LIGHTING, ETC.).

WIRING DEVICES:

A. PROVIDE WIRING DEVICES AS INDICATED ON THE DRAWINGS. ALL WIRING DEVICES SHALL BE SPECIFICATION GRADE.

B. STANDARD RECEPTACLES AND SWITCHES COLORS SHALL BE COORDINATED WITH ARCHITECT.

C. ALL DEVICE WALL PLATES SHALL BE IVORY OR WHITE SMOOTH PLASTLC OR STAINLESS STEEL.

D. ALL JUNCTION AND HANDY BOXES SHALL BE METALLIC.

E. CONTRACTOR TO INSURE THAT DEVICES AND THEIR BOXES ARE PROTECTED. DO NOT PLACE WALL FINISH MATERIALS OVER DEVICES AND DO NOT CUT HOLES FOR BOXES WITH ROUTERS THAT ARE GUIDED BY RIDING AGAINST OUTSIDE OF THE BOXES.

F. KEEP OUTLET BOXES FREE OF PLASTER, DRYWALL. JOINT COMPOUND, MORTAR, CEMENT, CONCRETE, DUST, PAINT, AND OTHER MATERIAL THAT MAY CONTAMINATE THE RACEWAY SYSTEM, CONDUCTORS, AND CABLES.

G. INSTALL DEVICE BOXES IN BRICK OR BLOCK WALLS SO THAT THE COVER PLATE DOES NOT CROSS A JOINT UNLESS THE JOINT IS TROWELED FLUSH WITH THE FACE OF THE WALL.

H. INSTALL WIRING DEVICES AFTER ALL WALL PREPARATLON, INCLUDING PAINTLNG, IS COMPLETE.

LOW VOLTAGE POWER CONDUCTORS:

A. MULTI-CONDUCTOR CABLES SHALL COMPLY WITH NEMA WC 70 FOR METAL-CLAD CABLE, TYPE MC

B. USE ONLY FACTORY-FABRICATED CONNECTORS AND SPLICES OF SIZE, AMPACITY RATING, MATERIAL, TYPE, AND CLASS FOR APPLICATION AND SERVICE INDICATED.

C. WIRE SIZES #10 AWG AND SMALLER SHALL BE SOLID, #8 AWG AND LARGER SHALL BE STRANDED. ALL CONDUCTORS SHALL BE COPPER. CONDUCTORS SHALL BE INCREASED IN SIZE (PER NEC VOLTAGE DROP FORMULA) FOR ANY 120 VOLT RUNS LONGER THAN 100 FT OR ANY 208V RUNS LONG THAT 200 FT. MINIMUM WIRE SIZE SHALL BE #12 AWG.

IDENTIFICATION:

A. WIRE COLOR CODING: AS PER CODE. WHERE COLOR-CODED CABLE IS NOT AVAILABLE, CERTIFY IN WRITING AND REQUEST PERMISSION FOR OVERLAP COLOR TAPING OF CONDUCTORS (MINIMUM LENGTH 6") IN ACCESSIBLE LOCATIONS. COLOR CODING, ONCE SELECTED, MUST BE USED CONSISTENTLY FOR THE ENTIRE PROJECT

a. POWER WIRING: CONSISTENT PHASE IDENTIFICATION OF ALL WIRES SHALL BE MAINTAINED AS FOLLOWS:

	208/120 VOLT, 3Ø 60HZ	277/480V, 3Ø 60 HZ
PHASE A	BLACK	BROWN
PHASE B	RED	ORANGE
PHASE C	BLUE	YELLOW
NEUTRAL WIRE	WHITE	WHITE WITH
GROUND WIRE	GREEN	GRAY STRIPE

B. PROVIDE IDENTIFICATION OF ALL BRANCH CIRCUIT WIRES IN PULL BOXES AND AT TERMINATIONS WITH PANEL AND CIRCUIT NUMBER.

C. PROVIDE PLASTIC ENGRAVED LABELS ON PANELS, DISCONNECT SWITCHES AND TRANSFORMERS TO INDICATE POWER SOURCE AND VOLTAGE.

CLOSE OUT:

A. ALL ELECTRICAL EQUIPMENT SHALL BE ADJUSTED AND TESTED FOR PROPER OPERATION. AFTER WIRES ARE IN PLACE AND CONNECTED TO DEVICES AND EQUIPMENT. THE SYSTEM SHALL BE TESTED FOR SHORTS AND GROUNDS. ALL HOT AND NEUTRAL CONDUCTORS, IF SHORTED OR GROUNDED, SHALL BE REMOVED AND REPLACED. ALL METERS, INSTRUMENTS, CABLE CONNECTIONS, EQUIPMENT OR APPARATUS NECESSARY FOR MAKING ALL TESTS, SHALL BE FURNISHED BY THIS CONTRACTOR AT HIS OWN EXPENSE

B. TOUCH-UP OR REFINISH DAMAGED SURFACES OF FIXTURES AND EQUIPMENT, EXPOSED TO VIEW.

C. FURNISH WRITTEN MINIMUM OF ONE YEAR GUARANTEE FOR ALL ELECTRICAL WORK AND EQUIPMENT UNLESS NOTED OTHERWISE IN DIVISION 1 OF SPECIFICATIONS.

D. CONTRACTOR SHALL SUBMIT RECORD DRAWINGS AT COMPLETION OF PROJECT.

E. AFTER THE COMPLETION OF THE WORK, THE CONTRACTOR SHALL TEST AND DEMONSTRATE TO THE SATISFACTION AND APPROVAL OF THE CONSTRUCTION MANAGER / ENGINEER THAT ALL SYSTEMS ARE IN WORKING ORDER IN ACCORDANCE WITH MANUFACTURERS GUIDELINES.

GENERAL NOTES

A. THE CONTRACTOR IS TO FURNISH AND INSTALL ALL MATERIALS REQUIRED TO COMPLETE THE WORK.

B. THE CONTRACTOR IS RESPONSIBLE FOR ALL CHASES, OPENINGS, HOLES, SLEEVES, DRILLING, ETC., PERTAINING TO HIS WORK.

C. PRIOR TO SUBMISSION TO BID, THE CONTRACTOR SHALL VISIT THE JOB SITE TO FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS AND TO DETERMINE HIS SCOPE OF WORK.

D. THE WORK SHALL INCLUDE SUPPLYING ALL LABOR, EQUIPMENT AND PROVIDING ALL MATERIALS NECESSARY FOR A COMPLETE ELECTRICAL INSTALLATION AS SHOWN ON THE DRAWINGS AND SPECIFIED HERE IN.

E. ALL BRANCH CIRCUITS AND FEEDERS SHALL BE INSTALLED IN METAL CONDUIT AND RUN CONCEALED IN CEILINGS AND WALLS. NO SURFACE MOUNTED WIRING OR WIREMOLD WILL BE PERMITTED.

F. MINIMUM CONDUIT SIZE SHALL BE 3/4" UNLESS OTHERWISE NOTED.

G. CONTRACTOR SHALL UPDATE PANEL INDEX DIRECTORY CARDS TO SHOW SPARE CIRCUIT BREAKERS AND ACCURATE CONNECTIONS TO PERIPHERAL EQUIPMENT.

H. SURVEY FIELD CONDITIONS AND VERIFY THAT WORK IS FEASIBLE AS SHOWN. NOTIFY THE ARCHITECT IN WRITING IF ANY CONFLICTS ARE PRESENT PRIOR PROCEEDING WITH THE WORK.

I. COORDINATE ALL WORK RELATED TO EQUIPMENT WITH MANUFACTURERS RECOMMENDATIONS, SPECIFICATIONS AND INSTRUCTIONS.

J. ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION AND ALL APPLICABLE LOCAL CODES AND REGULATIONS.

K. ALL EXPOSED WIRING SHALL BE RUN IN CONDUIT (EMT CONDUIT FOR INTERIOR APPLICATIONS, RMC FOR EXTERIOR APPLICATIONS). CONDUIT SHALL BE ROUTED AS HIGH AS POSSIBLE AND PARALLEL TO WALLS. CONDUIT PENETRATIONS THRU WALLS SHALL BE MADE PERPENDICULAR TO THE SURFACE OF THE WALL. SEAL AROUND OPENINGS WITH AN APPROVED FIRESTOPPING MATERIAL WHERE CONDUITS PENETRATE FIRE-RATED WALLS.

L. ALL EQUIPMENT, PIPING, WIRING, ETC. UTILIZED IN CEILING RETURN PLENUMS SHALL BE NON-COMBUSTIBLE, HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE DEVELOPED INDEX OF NOT MORE THAN 50, AND BE LISTED AND LABELED AS PLENUM RATED WHERE APPLICABLE.

CODES AND REGULATIONS INFORMATION

GOVERNING CODES & REFERENCES:

ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NEW JERSEY UNIFORM CONSTRUCTION CODE AND OTHER NATIONAL AND STATE CODES INCLUDING:

N.J.A.C. 5:23-6 UNIFORM CONSTRUCTION CODE
SUBCHAPTER 6. REHABILITATION SUBCODE.
2018 NATIONAL STANDARD PLUMBING CODE.
2018 INTERNATIONAL BUILDING CODE (IBC) NJ EDITION.
2018 INTERNATIONAL FUEL GAS CODE (IFGC).
2018 INTERNATIONAL FIRE CODE (IFC).
2018 INTERNATIONAL MECHANICAL CODE (IMC).
NATIONAL FIRE PROTECTION ASSOCIATION (NFPA).
2017 NATIONAL ELECTRICAL CODE (NEC).
THE FEDERAL "REDUCTION OF LEAD IN DRINKING WATER ACT" AS DEFINED PER SDWA IN SECTION 1417(D). LEAD FREE
ASHRAE HANDBOOKS - AMERICAN SOCIETY OF HEATING, REFRIGERATION, AND AIR CONDITIONING ENGINEERS (ASHRAE).

SHOULD CONFLICT BETWEEN CODES OR REFERENCES AND THE CONTRACT DRAWINGS OR SPECIFICATIONS BE OBSERVED BY THE CONTRACTOR, THE CODE OR REFERENCE SHALL BE REFERRED TO THE ENGINEER AND A WRITTEN OPINION BY THE ENGINEER SHALL BE OBTAINED.

SYMBOLS

SYMBOL	DESCRIPTION
$a	DESIGNATED SWITCH
	ELECTRICAL PANEL BOARD
	EXIT LIGHT WITH BATTERY BACK UP WITH DIRECTIONAL KNOCKOUT ARROWS
AV	CEILING MOUNTED FIRE ALARM HORN/ STROBE NUMBER EQUALS CANDELA RATING
1	KEYNOTE SYMBOL
	NEW 1'X4' SUSPENDED WRAPAROUND LED LIGHTING FIXTURE

ABBREVIATIONS

SYMBOL	DESCRIPTION
A	AMPERES
AFF	ABOVE FINISHED FLOOR
C	CONDUIT
CH	COUNTER HEIGHT
EM	EMERGENCY
G	GROUND
NL/EM	NIGHTLIGHT/ EMERGENCY FIXTURE
TYP	TYPICAL
V	VOLTS
WP	WEATHERPROOF

WHITMAN
Environmental • Geotechnical • Civil
Structural • Mechanical • Electrical
7 PLEASANT HILL ROAD
CRANBURY, NJ 08512
TEL: (732) 390-5858
FAX: (732) 390-9496
CERTIFICATE OF AUTHORIZATION
No. 24GA28009600

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JEFFREY THOENS, P.E.
NEW JERSEY PROFESSIONAL ENGINEER
LIC. NO. 24GE04929100 PROJECT No. 21-10-21T

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NJ Lic. No. C-7496
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MA Lic. No. 951205
ALFREDO A. PALLIS, AIA, NCARB
NJ Lic. No. 21 AI037164-00
MOHAMED SHAMA, AIA
NJ Lic. No. 21 AI038630
BRYAN J. DEBARBIERI, AIA
NJ Lic. No. 21 AI037550
97 CHESTNUT STREET
RUTHERFORD, NJ 07070
TEL: 201.939.5669 FAX: 201.939.5666
EMAIL: DESIGN@DEBARBIERIARCHITECTS.COM
WWW.DEBARBIERIARCHITECTS.COM

CONSULTANTS

225 LIBERTY STREET
NEW YORK, NY | 10281

REVISIONS

No.	Description	Date

PROJECT

PROPOSED HSA - LMA
RELOCATION CONCEPT - LEVEL 2

609 N. AVE W
WESTFIELD, NJ 07090

ELECTRICAL OVERVIEW PLAN

DATE ISSUED: 10-28-21
PROJECT NO: 21-152
DRAWING BY:
CHKD BY:
DWG NO: E0.1

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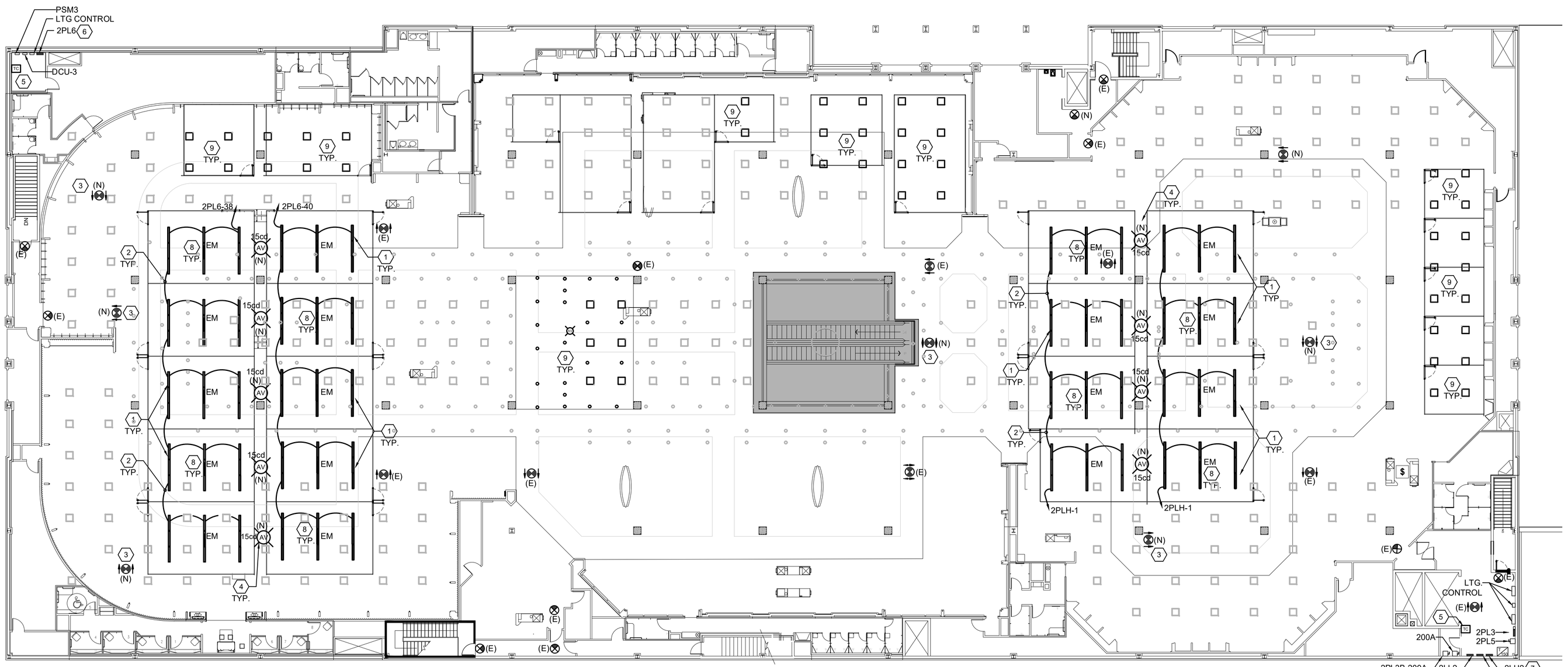
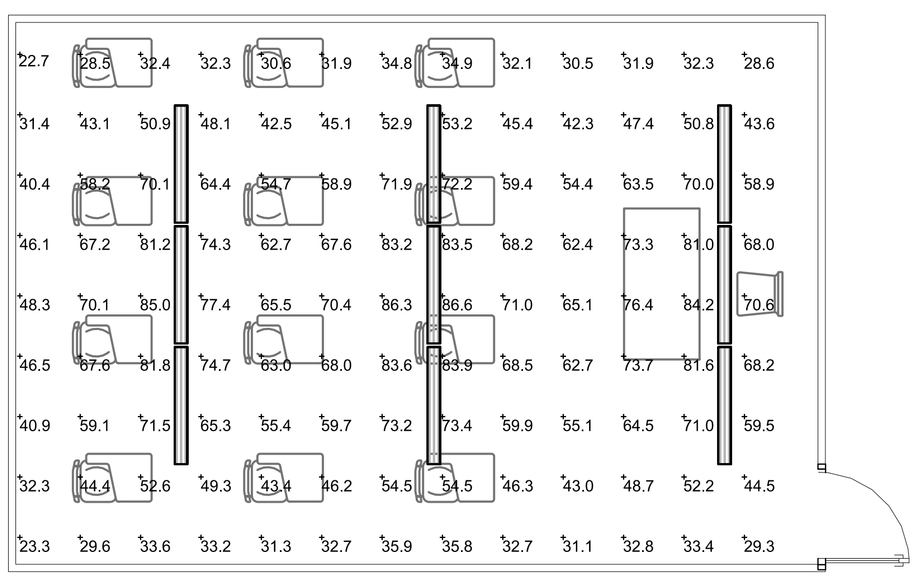
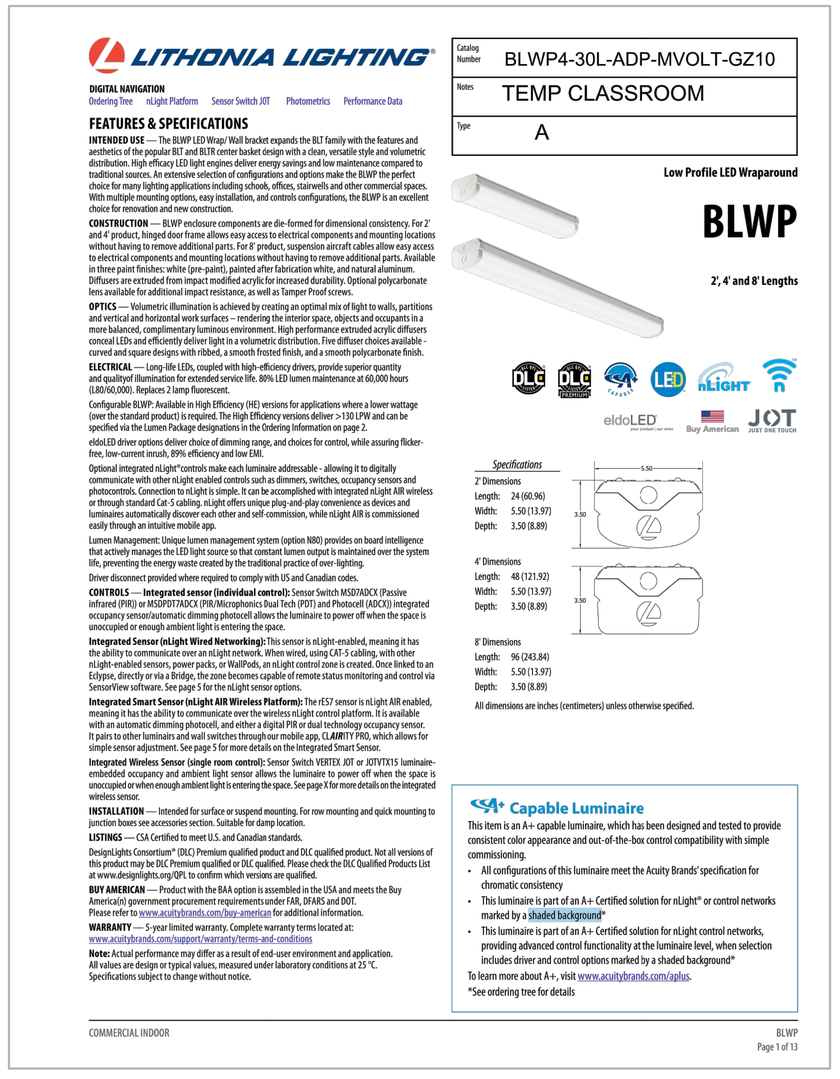


1 E1.0 SECOND FLOOR TEMP. CLASSROOM LIGHTING PLAN
SCALE: 1/16" = 1'-0"



2 E1.0 TYPICAL CLASSROOM FOOT CANDLE READING PART PLAN
SCALE: NTS

FOOT CANDLE CALCULATION SUMMARY							
LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
TYP CLASSROOM WORKPLANE	ILLUMINANCE	FC	53.69	86.6	22.7	2.37	3.81



LITHONIA LIGHTING®

DIGITAL NAVIGATION
Ordering Tree nLight Platform Sensor Switch JOT Photometrics Performance Data

Catalog Number	BLWP4-30L-ADP-MVOLT-GZ10
Notes	TEMP CLASSROOM
Type	A

Low Profile LED Wraparound

BLWP

2', 4' and 8' Lengths

FEATURES & SPECIFICATIONS

INTENDED USE — The BLWP LED Wrap/ Wall bracket expands the BLT family with the features and aesthetics of the popular BLT and BLTR center basket design with a clean, versatile style and volumetric distribution. High efficacy LED light engines deliver energy savings and low maintenance compared to traditional sources. An extensive selection of configurations and options make the BLWP the perfect choice for many lighting applications including schools, offices, stairwells and other commercial spaces. With multiple mounting options, easy installation, and controls configurations, the BLWP is an excellent choice for renovation and new construction.

CONSTRUCTION — BLWP enclosure components are die-formed for dimensional consistency. For 2' and 4' product, hinged door frame allows easy access to electrical components and mounting locations without having to remove additional parts. For 8' product, suspension aircraft cables allow easy access to electrical components and mounting locations without having to remove additional parts. Available in three paint finishes: white (pre-paint), painted after fabrication white, and natural aluminum. Diffusers are extruded from impact modified acrylic for increased durability. Optional polycarbonate lens available for additional impact resistance, as well as Tamper Proof screws.

OPTICS — Volumetric illumination is achieved by creating an optimal mix of light to walls, partitions and vertical and horizontal work surfaces – rendering the interior space, objects and occupants in a more balanced, complimentary luminous environment. High performance extruded acrylic diffusers conceal LEDs and efficiently deliver light in a volumetric distribution. Five diffuser choices available – curved and square designs with ribbed, a smooth frosted finish, and a smooth polycarbonate finish.

ELECTRICAL — Long-life LEDs, coupled with high-efficiency drivers, provide superior quantity and qualityof illumination for extended service life. 80% LED lumen maintenance at 60,000 hours (L80/60,000). Replaces 2 lamp fluorescent.

Configurable BLWP: Available in High Efficiency (HE) versions for applications where a lower wattage (over the standard product) is required. The High Efficiency versions deliver >130 LPW and can be specified via the Lumen Package designations in the Ordering Information on page 2.

eldoLED driver options deliver choice of dimming range, and choices for control, while assuring flicker-free, low-current inrush, 89% efficiency and low EMI.

Optional integrated nLight® controls make each luminaire addressable - allowing it to digitally communicate with other nLight enabled controls such as dimmers, switches, occupancy sensors and photocontrols. Connection to nLight is simple. It can be accomplished with integrated nLight AIR wireless or through standard Cat-5 cabling. nLight offers unique plug-and-play convenience as devices and luminaires automatically discover each other and self-commission, while nLight AIR is commissioned easily through an intuitive mobile app.

Lumen Management: Unique lumen management system (option NLM) provides on board intelligence that actively manages the LED light source so that constant lumen output is maintained over the system life, preventing the energy waste created by the traditional practice of over-lighting.

Driver disconnect provided where required to comply with US and Canadian codes.

CONTROLS — **Integrated sensor (individual control):** Sensor Switch MSOTADCX (Passive Infrared (PIR)) or MSOPDTADCX (PIR/Microphonics Dual Tech (PDT) and Photocell (ADCX)) Integrated occupancy sensor/automatic dimming photocell allows the luminaire to power off when the space is unoccupied or enough ambient light is entering the space.

Integrated Sensor (nLight Wired Networking): This sensor is nLight-enabled, meaning it has the ability to communicate over an nLight network. When wired, using CAT-5 cabling, with other nLight-enabled sensors, power packs, or WallPods, an nLight control zone is created. Once linked to an Eclipse, directly or via a Bridge, the zone becomes capable of remote status monitoring and control via SensorView software. See page 5 for the nLight sensor options.

Integrated Smart Sensor (nLight AIR Wireless Platform): The rCS2 sensor is nLight AIR enabled, meaning it has the ability to communicate over the wireless nLight control platform. It is available with an automatic dimming photocell, and either a digital PIR or dual technology occupancy sensor. It pairs to other luminaire and wall switches through our mobile app, CLAIRITY PRO, which allows for simple sensor adjustment. See page 5 for more details on the Integrated Smart Sensor.

Integrated Wireless Sensor (single room control): Sensor Switch VERTEX JOT or JOTVTX15 luminaire-embedded occupancy and ambient light sensor allows the luminaire to power off when the space is unoccupied or when enough ambient light is entering the space. See page 7 for more details on the integrated wireless sensor.

INSTALLATION — Intended for surface or suspend mounting. For row mounting and quick mounting to junction boxes see accessories section. Suitable for damp location.

LISTINGS — CSA Certified to meet U.S. and Canadian standards.

DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

BUY AMERICAN — Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT. Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY — 5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

Specifications

2' Dimensions
Length: 24 (60.96)
Width: 5.50 (13.97)
Depth: 3.50 (8.89)

4' Dimensions
Length: 48 (121.92)
Width: 5.50 (13.97)
Depth: 3.50 (8.89)

8' Dimensions
Length: 96 (243.84)
Width: 5.50 (13.97)
Depth: 3.50 (8.89)

All dimensions are inches (centimeters) unless otherwise specified.

A+ Capable Luminaire
This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and out-of-the-box control compatibility with simple commissioning.
- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is part of an A+ Certified solution for nLight® or control networks marked by a shaded background*
- This luminaire is part of an A+ Certified solution for nLight control networks, providing advanced control functionality at the luminaire level, when selection includes driver and control options marked by a shaded background*

To learn more about A+, visit www.acuitybrands.com/aplus.
*See ordering tree for details

COMMERCIAL INDOOR
BLWP
Page 1 of 13

FIRE ALARM NOTES

A. FIRE ALARM PLANS DEPICT THE GENERAL LAYOUT AND INTENT OF THE FIRE ALARM SYSTEM. THE CONTRACTOR MUST DETERMINE THE ACTUAL QUANTITY AND FINAL LOCATION OF DEVICES REQUIRED BY CODE BASED UPON ACTUAL FIELD/CONSTRUCTED CONDITIONS.

B. COORDINATE ALL FIRE ALARM REQUIREMENTS AND WORK, INCLUDING DEVICE MOUNTING HEIGHT, WITH AUTHORITY HAVING JURISDICTION PRIOR TO INSTALLATION.

C. THE FIRE ALARM CONTRACTOR SHALL RELOCATE ANY EXISTING INITIATING AND NOTIFICATION DEVICES AND PROVIDE ADDITIONAL QUANTITIES OF NEW DEVICES AS REQUIRED FOR A FULLY OPERATIONAL FIRE ALARM SYSTEM COMPLIANT WITH ALL APPLICABLE CODES AND REFERENCES.

D. THE CONTRACTOR SHALL CONNECT RELOCATED AND NEW DEVICES TO THE EXISTING FIRE ALARM CONTROL PANEL AND PROVIDE ALL REQUIRED RE-PROGRAMMING OF THE EXISTING FIRE ALARM SYSTEM TO ACCOMMODATE NEW DEVICES AND THEIR RESPECTIVE ADDRESSABLE IDENTIFIERS. FIELD VERIFY EXACT LOCATION OF EXISTING CONTROL PANEL.

E. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED BOOSTER POWER SUPPLIES, CONTROL PANEL EXPANSION MODULES, AND ALL OTHER HARDWARE AND DEVICES AS REQUIRED FOR A FULLY OPERATIONAL SYSTEM.

F. THE EXISTING FIRE ALARM SYSTEM IS A FULLY ADDRESSABLE VOICE COMMUNICATION SYSTEM. INITIATING DEVICES ARE INTERLOCKED WITH THE FIRE ALARM CONTROL PANEL. ENSURE THAT ALL NEW DEVICES ARE COMPATIBLE WITH THE EXISTING FIRE ALARM SYSTEM AND WILL OPERATE ACCORDING TO THE EXISTING SYSTEM SEQUENCE OF OPERATIONS.

G. ALL DEVICE WIRING SHALL BE IN STRICT COMPLIANCE TO THE MANUFACTURER'S REQUIREMENTS. ALL DEVICE WIRING SHALL BE POWER LIMITED AND SHALL BE INSTALLED IN EMT CONDUIT ¾" MINIMUM.

H. MODIFICATIONS TO THE EXISTING FIRE ALARM SYSTEM SHALL BE MADE WHILE THE SYSTEM IS STILL OPERATIONAL. IF A SYSTEM SHUTDOWN IS REQUIRED, THE CONTRACTOR SHALL COORDINATE AND SCHEDULE WITH THE BUILDING MANAGEMENT AND PROVIDE ALL REQUIRED FIRE WATCH EQUIPMENT AND PERSONNEL IN ACCORDANCE WITH THE LOCAL AUTHORITY HAVING JURISDICTION.

I. ALL MATERIALS AND EQUIPMENT REMOVED FROM THE BUILDING INCLUDING, BUT NOT LIMITED TO, UNUSED DEVICES, WIRING, CONDUIT, ACCESSORIES, ETC, SHALL BE DISPOSED OF BY THE CONTRACTOR. PRIOR TO DISPOSAL DETERMINE IF BUILDING OWNER WOULD LIKE ANY OF THE EXISTING EQUIPMENT OR DEVICES FOR THEIR ATTIC STOCK.

J. REFER TO THE ARCHITECTURAL PLANS AND SPECIFICATIONS FOR A DESCRIPTION OF ALTERNATE BIDS THAT MAY AFFECT THE ELECTRICAL SCOPE OF WORK.

K. ALL EQUIPMENT, PIPING, WIRING, ETC. UTILIZED IN CEILING RETURN PLENUMS SHALL BE NON-COMBUSTIBLE, HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE DEVELOPED INDEX OF NOT MORE THAN 50, AND BE LISTED AND LABELED AS PLENUM RATED WHERE APPLICABLE.

L. CONTRACTOR SHALL PROVIDE NEW FIRE ALARM DEVICE WHICH MATCHES EXISTING MANUFACTURER. CONNECT ALL NEW DEVICES TO EXISTING FIRE ALARM SYSTEM. FIELD VERIFY SYSTEM MANUFACTURER AND ALL LOCATIONS OF EXISTING FIRE ALARM CONTROL PANEL. ALL NEW DEVICES SHALL BE COMPATIBLE WITH THE EXISTING SYSTEM. PROVIDE ALL REQUIRED PROGRAMMING, EXPANSION MODULES, POWER SUPPLIES, ETC. TO ACCOMMODATE THE NEW DEVICES. CONTRACTOR SHALL UPSIZE PANEL IF REQUIRED.

LIGHTING NOTES

A. COORDINATE THE ACTUAL LOCATION OF ALL LIGHTING FIXTURES WITH THE ARCHITECT'S REFLECTED CEILING PLAN AND ALL ARCHITECTURAL, MECHANICAL, AND STRUCTURAL ELEMENTS INCLUDING, BUT NOT LIMITED TO, DUCTWORK, PIPING, EQUIPMENT, BEAMS, JOISTS, ETC.

B. PROVIDE ALL LIGHTING FIXTURES, BALLASTS, MOUNTING HARDWARE AND ACCESSORIES, CONDUIT, CONDUCTORS, CONTACTORS, SWITCHES, OCCUPANCY SENSORS, ETC. REQUIRED FOR A COMPLETE INSTALLATION WHETHER INDICATED ON THE DRAWINGS OR NOT.

C. ILLUMINATION LEVELS SHALL BE IN ACCORDANCE WITH THE ILLUMINATION ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) AND ALL APPLICABLE CODES.

D. EXIT SIGNS AND LIGHTING WITH EMERGENCY BATTERY PACKS SHALL BE CONNECTED TO THE LOCAL LIGHTING CIRCUIT AHEAD OF ANY SWITCHING.

KEY NOTES (1,2,3)

1. LITHONIA LOW PROFILE WRAPAROUND SUSPENDED LED FIXTURE (TYPICAL) BLWP4-30L-ADP-MVOLT-GZ10
2. 2#12+1#12G-3/4"C EXTEND AND CONNECT TO NEW FIXTURE
3. NEW EXIT LIGHT TO MATCH BUILDING STANDARD EXISTING EXIT LIGHTS.
4. NEW CEILING MOUNTED FIRE ALARM AUDIO VISUAL DEVICE SHALL MATCH BUILDING STANDARD. ALL NEW DEVICES SHALL BE COMPATIBLE WITH THE BUILDINGS EXISTING FIRE ALARM SYSTEM.
5. CONTRACTOR SHALL PROVIDE NEW TIME CLOCK FOR CONTROL OF THE NEW FIXTURES INSTALLED
6. CONTRACTOR SHALL UTILIZE (3) SPARE BRANCH CIRCUIT BREAKERS IN PANEL 2PL6 FOR NEW TEMPORARY CLASSROOM LIGHTING..
7. CONTRACTOR SHALL SUPPLY AND INSTALL (1) 1P-20A CB IN PANEL 2LH2 FOR NEW TEMPORARY CLASSROOM LIGHTING.
8. CONTRACTOR SHALL SUPPLY NEW FIXTURE WITH AN EMERGENCY TYPE BALLAST CAPABLE OF 90 MINUTES OF ILLUMINATION DURING EMERGENCY OPERATION.
9. OFFICES AND AREAS TO UTILIZE THE EXISTING LIGHTING FIXTURES UNLESS OTHERWISE NOTED.

WHITMAN
Environmental • Geotechnical • Civil
Structural • Mechanical • Electrical
7 PLEASANT HILL ROAD
CRANBURY, NJ 08512
TEL: (732) 390-5858
FAX: (732) 390-9496
CERTIFICATE OF AUTHORIZATION
No. 24GA28009600

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NEW JERSEY PROFESSIONAL ENGINEER
LIC. NO. 24GE04929100
PROJECT No. 21-10-21T

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debarbieri ARCHITECTS
JAMES F. DEBARBIERI AIA
NJ Lic. No. C-7496
CT Lic. No. 680
NY Lic. No. 017897-1
PA Lic. No. RA-005754-B
MD Lic. No. 8525
VA Lic. No. 0605007899
OH Lic. No. 10007
DE Lic. No. S5-0008757
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FL Lic. No. AR97210
TX Lic. No. 24423
MA Lic. No. 951205
ALFREDO A. PALLO JR. AIA
NJ Lic. No. 21A01764400
MOHAMED SHAMA AIA
NJ Lic. No. 21A08630100
BRYAN J. DEBARBIERI AIA
NJ Lic. No. 21A08711500
97 CHESTNUT STREET
RUTHERFORD, NJ 07070
TEL: 201.939.5669 FAX: 201.939.5666
EMAIL: DESIGN@DEBARBIERIARCHITECTS.COM
WWW.DEBARBIERIARCHITECTS.COM

CONSULTANTS

225 LIBERTY STREET
NEW YORK, NY | 10281

REVISIONS

No.	Description	Date

PROJECT

PROPOSED HSA - LMA
RELOCATION CONCEPT - LEVEL 2

609 N. AVE W
WESTFIELD, NJ 07090

ELECTRICAL 2ND FLOOR TEMPORARY CLASSROOM LIGHTING PLAN

DATE ISSUED: 10-28-21
PROJECT NO: 21-132
DRAWING BY:
CHKD BY:
DWG NO: E1.0
FILE NO:
SHEET:

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