



Aug 3, 2023

ADDENDUM NO. TWO (2)

PROJECT: PV-TEC Building Remodel

To: **All Bidders**

This addendum forms a part of the contract documents and modifies the original bidding documents as noted below. Except as affected by data included herein, all other parts of the contract documents shall remain in full force and effect. It shall be the sole responsibility of the bidder to appropriately disseminate this data to all concerned prior to the bid time and date. Acknowledge receipt of this addendum in the space provided on the bid form. Failure to do so may subject the bidder to disqualification.

This addendum consists of 3 page(s) and 5 page(s) attachment for a total of 8 pages.

GENERAL ITEMS:

- A1 In order to provide structural plans for the project, the bid opening date has been postponed until September 6th at 10:00 a.m.
- A2 Regarding the responsibilities of the PEMB Manufacturer, the PEMB manufacturer shall be responsible for the following materials:
 - 1. Steel Framing and Columns
 - 2. Structural supports for all wall openings
 - 3. Purlins along the West wall, against the existing building
 - 4. Purlins/Girts for roof framing
 - 5. Standing-seam roof panels
 - 6. Parapet wall panels

All remaining items included within the project scope shall be the responsibility of the contractor, including all erection and installation.

- A3 It is expected that all was framing shall be constructed on top of the elevated concrete floor tiles.

SPECIFICATION ITEMS:

- S1 A Table of Contents for the specifications has been provided. Please see attachment.
- S2 Section 10 5113 – Substitution Request. The following product has been approved for the project:
Manufacturer: Scranton Products
Proposed Substitution: Duralife Lockers
- S3 Section 10 5113 – Part 1.01 erroneously identifies 28 double tier lockers. The design intent is to provide 40 full size lockers.

DRAWING ITEMS:

- D1 A4.1 – Kitchen equipment. As a matter of clarification, all kitchen equipment will be provided by the owner and will be installed by the contractor, with the exception of item #4, hand wash sink. The hand wash sink shall be part of the plumbing fixture package. All plumbing, gas, and electrical rough-in shall be supplied by contractor.
- D2 A5.1 – Relating to note 10, the canopy details in question are details 1 and 2 on sheet A7.4
- D3 A8.2 – The bottom column of the Finish Schedule is partially cutoff (finished for room 176), however the same column is repeated on the schedule to the right – see sheet A8.2
- D4 A8.2 – The floors in rooms 176A, 176B, 176C, and 177 are to be finished with a resinous floor system. Please see the attached specification for further information.
- D5 A8.2 – The floor finishes for rooms 139, 142, 143, and 143A shall be 24”x24” carpet tile (F3), in lieu of polished and sealed concrete (F4). Change shall effectively omit the sealed concrete floor scope from the project.
- D6 A9.1 – There’s a conflict with frame and door type for doors 139C, 142C, and 143C. The design intent is for all 3 doors to be have hollow metal doors in hollow metal frames as per Door Type 1.
- D7 Sheet E1.3, Keynote 4 shall read "Existing panel to be relocated. EC shall carefully remove existing panel, breakers and panel can and trim to new location. Provide a new can if necessary. Remove existing feeder conductors back to source and abandon feeder conduit. Install a new feeder to new location and make all terminations. Intercept all existing branch circuits below raised floor and above accessible ceiling,

- splice and extend to new panel and reconnect. Refer to existing as built drawings. All unused breakers not remaining in the panel shall be turned over to the Owner."
- Panel UPSC1: 3 1/2"C., 4-#500CU + #3Gnd from 400A breaker in panel 2UPS.
 - Panel UPSC2: 3 1/2"C., 4-#500CU+ #3Gnd from sub feed lugs in panel UPSC1.
 - Panel 2C: 2"C., 4-#3/0CU+#6Gnd from sub feed lugs in panel 2B.
 - Panel 4C: 2"C., 4-#3/0CU+#6Gnd from sub feed lugs in panel 4B.
- D8 Sheet E1.3: the existing panel in the N-E corner adjacent to panel 2C should be UPSC2.
- D9 Sheet E2.0-E2.1: The exterior wall mounted fixtures shall be Type F12. These fixtures will be replacing all of the existing wall mounted fixtures.
- D10 Sheet A1.2: As a matter of clarification, the asphalt shall be a 4" depth as per keyed note 2.
- D11 Sheet A9.2: The glazing for the exterior doors window types C, D, and Q shall be 1" insulated glass (or type B)
- D12 Sheet A9.1: All new storefront shall match existing storefront in color.
- D13 Sheet A9.1: as a matter of clarification, the glazing for the 12'x14' overhead doors shall be 1" insulated glass
- D14 Sheet A9.2: as a matter of clarification, the jam and header details for window types E, F, G, H, J, K, L, M, AND, P, R, S, and T are as follows: jamb detail is found at Det. 9/A9.4 and Det. 8/A9.4 respectively.
- D15 Sheet A9.2: as a matter of clarification, the jam and header details for window types D and Q are as follows: jamb detail is found at Det. 7/A9.4 and 6/A9.4 respectively.
- D16 Sheet A9.2: as a matter of clarification, the jam, header, and sill details for window types A, B, and C are as follows: jamb detail is found at Det. 9/A9.4, Det. 2/A9.4, 3/A9.4, and 4//A9.4 respectively.

END OF ADDENDUM NO. 2

CONTENTS

ADVERTISEMENT FOR BIDS
A701-2018 – INSTRUCTIONS TO BIDDERS
BID PROPOSAL
AGREEMENT – CONSTRUCTION CONTRACT
A201-2007 – GENERAL CONDITIONS

TECHNICAL SPECIFICATIONS

DIVISION 01 - GENERAL REQUIREMENTS

01 1000	SUMMARY
01 2000	PRICE AND PAYMENT PROCEDURES
01 2100	ALLOWANCES
01 2500	SUBSTITUTION PROCEDURES
01 3000	ADMINISTRATIVE REQUIREMENTS
01 4000	QUALITY REQUIREMENTS
01 5000	TEMPORARY FACILITIES AND CONTROLS
01 6000	PRODUCT REQUIREMENTS
01 7000	EXECUTION AND CLOSEOUT REQUIREMENTS
01 7800	CLOSEOUT SUBMITTALS

DIVISION 02 - EXISTING CONDITIONS

02 4100	DEMOLITION
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DIVISION 03 - CONCRETE

03 0516	UNDERSLAB VAPOR BARRIER
03 2000	CONCRETE REINFORCING
03 3000	CAST-IN-PLACE CONCRETE

DIVISION 04 - MASONRY

04 2000	UNIT MASONRY
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DIVISION 05 - METALS

05 4000	COLD-FORMED METAL FRAMING
05 5000	METAL FABRICATIONS

DIVISION 06 - WOOD, PLASTICS, AND COMPOSITES

06 1000	ROUGH CARPENTRY
06 4100	ARCHITECTURAL WOOD CASEWORK

DIVISION 07 - THERMAL AND MOISTURE PROTECTION

07 2100	THERMAL INSULATION
07 2400	EXTERIOR INSULATION AND FINISH SYSTEMS
07 6200	SHEET METAL FLASHING, TRIM & ACCESSORIES
07 9005	JOINT SEALERS

DIVISION 08 - OPENINGS

08 1113	HOLLOW METAL DOOR FRAMES
08 1120	SITE ASSEMBLED PRE-FINISHED METAL DOOR FRAMES
08 1416	FLUSH WOOD DOORS
08 3323	OVERHEAD COILING DOORS
08 3600	OVERHEAD DOORS
08 4113	ALUMINUM-FRAMED ENTRANCES AND STOREFRONTS
08 7100	DOOR HARDWARE
08 8000	GLAZING

DIVISION 09 - FINISHES

09 2116	GYPSUM BOARD ASSEMBLIES
09 3000	TILING
09 5100	ACOUSTICAL CEILINGS
09 6500	RESILIENT FLOORING
09 6813	CARPET TILE
09 7720	FIBERGLASS REINFORCED WALL PANELS
09 9000	PAINTING AND COATING

DIVISION 10 - SPECIALTIES

10 1100	VISUAL DISPLAY UNITS
10 1400	PLASTIC SIGNS
10 2600	WALL AND DOOR PROTECTION
10 2800	TOILET ACCESSORIES
10 2823	LAUNDRY ACCESSORIES
10 3500	FLAGPOLES
10 4400	FIRE PROTECTION SPECIALTIES
10 5113	METAL LOCKERS

DIVISION 21 - FIRE SUPPRESSION

21 0500	COMMON REQUIREMENTS FOR FIRE SUPPRESSION
21 0553	IDENTIFICATION FOR FIRE SUPPRESSION PIPING AND EQUIPMENT
21 1300	FIRE-SUPPRESSION SPRINKLER SYSTEMS

DIVISION 22 - PLUMBING

22 0501	COMMON PLUMBING REQUIREMENTS
22 0502	DEMOLITION AND REPAIR
22 0503	PIPE, PIPE FITTINGS, PIPE HANGERS & VALVES
22 0553	IDENTIFICATION FOR PLUMBING PIPES AND EQUIPMENT
22 0703	MECHANICAL INSULATION AND FIRE STOPPING
22 0705	UNDERGROUND PIPING INSULATION
22 0710	POTABLE WATER PIPE INSULATION
22 0711	HANDICAPPED FIXTURES INSULATION
22 0720	RAIN DRAIN INSULATION
22 0724	PREMOLDED ONE PIECE PVC FITTINGS INSULATION
22 0800	FIRE STOPPING
22 1007	PRESS TYPE PIPE FITTINGS
22 1114	NATURAL GAS SYSTEMS
22 1116	DOMESTIC WATER PIPING SYSTEMS (COPPER)
22 1116	DOMESTIC WATER PIPING SYSTEMS (PEX)

22 1217	GAS SYSTEMS 22 1313 SOIL, WASTE, & VENT PIPING SYSTEMS
22 2600	CONDENSATE DRAIN PIPING
22 3330	ELECTRIC STORAGE TYPE WATER HEATERS
22 3500	KITCHEN EQUIPMENT CONNECTIONS
22 4001	PLUMBING FIXTURES

DIVISION 23 - HEATING, VENTILATING, AND AIR-CONDITIONING

23 0501	COMMON HVAC REQUIREMENTS
23 0502	DEMOLITION AND REPAIR
23 0553	IDENTIFICATION FOR HVAC PIPING AND EQUIPMENT
23 0593	TESTING, ADJUSTING, AND BALANCING
23 0712	MECHANICAL INSULATION AND FIRE STOPPING
23 0714	PREMOLDED ONE PIECE PVC FITTINGS INSULATION
23 0715	HOT AND CHILLED WATER SUPPLY & RETURN PIPING INSULATION
23 0716	DUCTWORK INSULATION
23 0717	ROUND SUPPLY DUCT INSULATION
23 0718	DUCT LINING
23 0722	FIRE PROTECTION DUCT WRAP
23 0800	FIRE STOPPING
23 0900	BUILDING AUTOMATION CONTROL SYSTEM
23 2113	HYDRONIC PIPING
23 2115	HOT WATER HEATING SYSTEM
23 2116	HOT WATER HEATING SYSTEM SPECIALTIES
23 2125	CLEANING AND FLUSHING WATER CIRCULATING SYSTEMS
23 3114	LOW-PRESSURE STEEL DUCTWORK
23 3115	FAN POWERED VOLUME BOX
23 3116	VARIABLE AIR VOLUME BOXES
23 3182	HIGH-PRESSURE DUCT
23 3316	FIRE DAMPERS
23 3346	FLEX DUCT
23 3400	EXHAUST FANS
23 3713	AIR OUTLETS & INLETS
23 3813	KITCHEN HOOD
23 3815	KITCHEN HOOD MAKE UP AIR UNIT AND EXHAUST FAN
23 4100	DISPOSABLE FILTERS
23 5414	DIRECT GAS FIRED MAKE-UP AIR UNIT

DIVISION 26 - ELECTRICAL

26 0501	COMMON ELECTRICAL REQUIREMENTS
26 0502	ELECTRICAL DEMOLITION REQUIREMENTS
26 0503	EQUIPMENT WIRING SYSTEMS
26 0519	LINE-VOLTAGE CONDUCTORS AND CABLES
26 0526	GROUNDING AND BONDING FOR ELECTRICAL SYSTEMS
26 0533	RACEWAY AND BOXES FOR ELECTRICAL SYSTEMS
26 0553	ELECTRICAL IDENTIFICATION
26 2200	DRY TYPE TRANSFORMER
26 2417	PANELBOARDS
26 2726	WIRING DEVICES
26 2816	ENCLOSED SWITCHES AND CIRCUIT BREAKERS
26 4313	SURGE PROTECTION DEVICES FOR PANELBOARDS
26 5100	INTERIOR LIGHTING
26 6100	AUXILIARY SYSTEMS
26 6210	DATA SYSTEM CABLING

DIVISION 31 - EXCAVATION

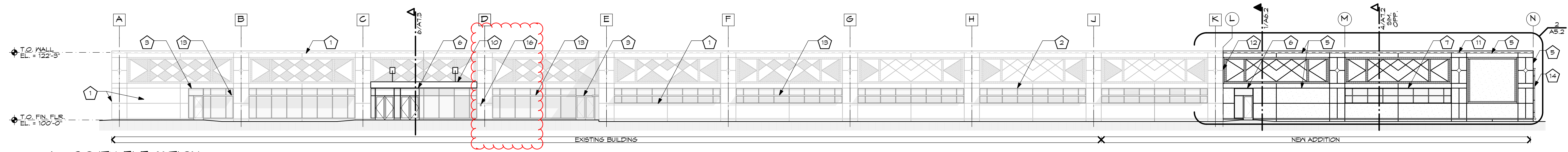
31 1010	SITE CLEARING
31 2200	GRADING
31 2316	EXCAVATION
31 2316.13	TRENCHING
31 2316.26	ROCK REMOVAL
31 2323	FILL

DIVISION 32 - EXTERIOR IMPROVEMENTS

32 1313	CONCRETE PAVING
32 1613	CURBS, GUTTERS, SIDEWALKS, AND DRIVEWAYS
32 8423	UNDERGROUND SPRINKLERS
32 9300	PLANTS

DIVISION 33 - UTILITIES

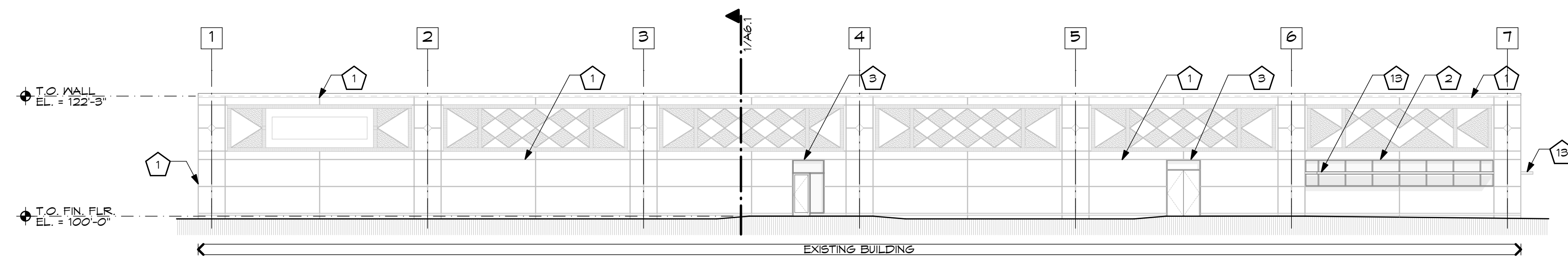
33 1416	SITE WATER UTILITY DISTRIBUTION PIPING
33 3113	SANITARY SEWER PIPING



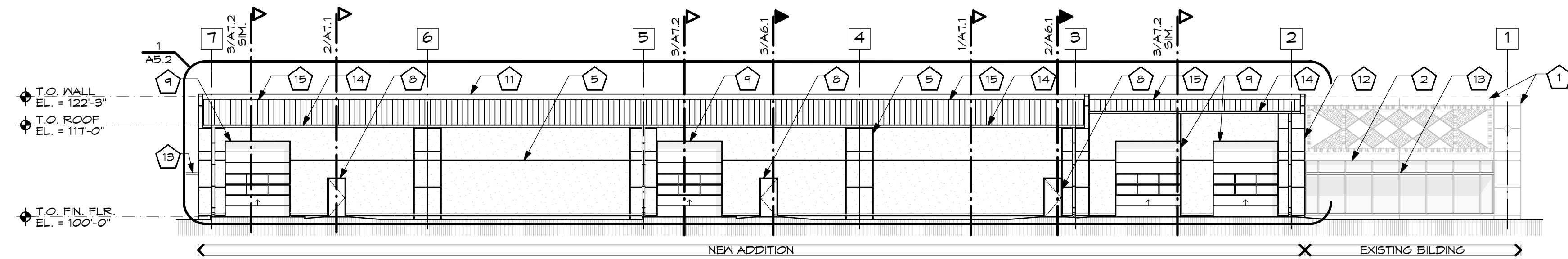
1 SOUTH ELEVATION
A5.1 1/16" = 1'-0"



2 NORTH ELEVATION
A5.1 1/16" = 1'-0"



3 WEST ELEVATION
A5.1 1/16" = 1'-0"



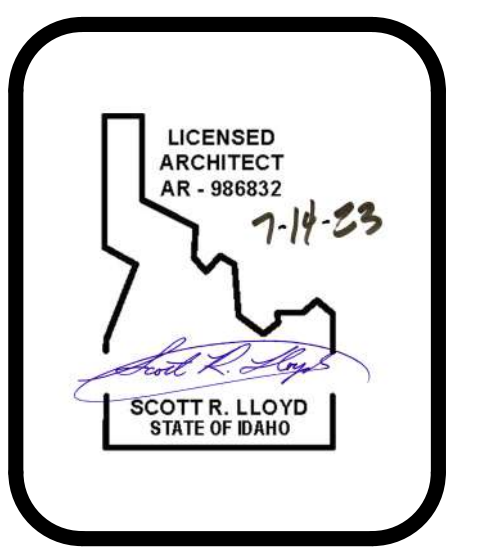
4 EAST ELEVATION
A5.1 1/16" = 1'-0"

GENERAL NOTES: (THIS SHEET ONLY)

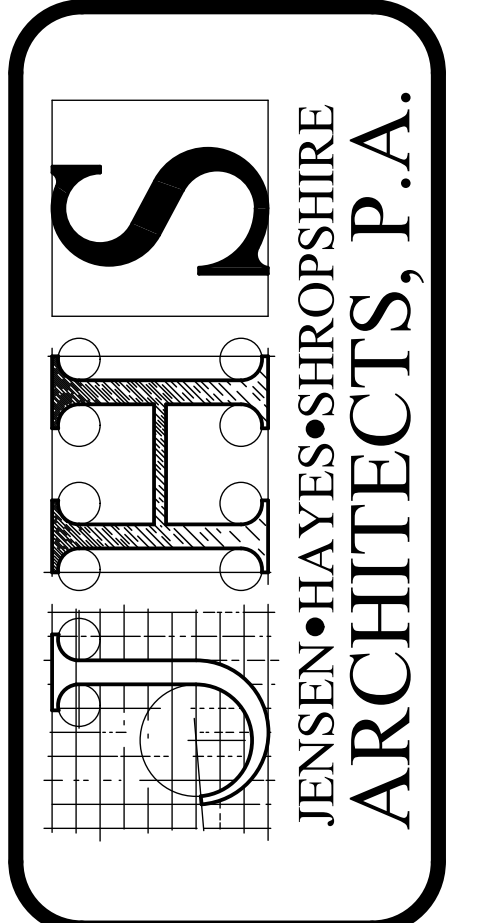
- A. RETAIN AND PROTECT (E) DOORS, WINDOWS, WALLS, CEILINGS AND EQUIPMENT THAT ARE EXISTING TO REMAIN UNDISTURBED.
- B. FOR ENLARGED PARTIAL ELEVATIONS SEE SHEET A5.2.

KEYED NOTES: (THIS SHEET ONLY)

- 1 (E) PRE-CAST CONC. WALL PANELS TO REMAIN - PROTECT DURING CONSTRUCTION
- 2 (E) ALUM. STOREFRONT TO REMAIN - PROTECT DURING CONSTRUCTION
- 3 (E) ALUM. DOOR SYSTEM TO REMAIN - PROTECT DURING CONSTRUCTION
- 4 (E) WALL-MOUNTED SECURITY LIGHTING TO REMAIN - PROTECT DURING CONSTRUCTION
- 5 NEW DRYVIT STUCCO SYSTEM OVER 1 1/2" RIGID INSULATION AND 5/8" WALL SHEATHING - STUCCO TO MATCH PRE-CAST CONC. PANELS OF (E) BUILDING IN TEXTURE AND COLOR
- 6 NEW ALUM. DOOR SYSTEM - SEE DOOR TYPES (COLOR TO MATCH EXISTING)
- 7 NEW ALUM. STOREFRONT - SEE WINDOW TYPES (COLOR TO MATCH EXISTING)
- 8 NEW H.M. DOOR AND FRAME - SEE DOOR TYPES (COLOR TO MATCH EXISTING)
- 9 NEW INSULATED OVERHEAD DOOR - SEE DOOR TYPES (COLOR TO MATCH EXISTING)
- 10 NEW PRE-FABRICATED CANOPY - SEE DET X/AX
- 11 NEW PREFIN. MTL. COPING W/ GLEATS - COLOR TO MATCH EXISTING
- 12 NEW 4" EXPANSION JOINT COVER - SEE SPECS.
- 13 (E) SUNSHADES TO REMAIN - PROTECT DURING CONSTRUCTION
- 14 PREFIN MTL. GUTTER AND DOWNSPOUT - PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR
- 15 PREFIN. MTL. STANDING SEAM ROOF - PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR
- 16 NEW KNOX BOX LOCATION



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JENSEN•HAYES•SHROPSHIRE
ARCHITECTS, P.A.
125 NORTH GARFIELD
POCATELLO, IDAHO 83204
(208) 232-1223



PV TEC BUILDING AND REMODEL
4200 HAWTHORNE RD. POCATELLO, IDAHO

BUILDING ELEVATIONS

REVISIONS: _____

DATE: JUL 23 DRAWING NO. **A5.1**

JOB NO. 2306 18 OF 49