



TEXARKANA ISD

Facility Assessment Capacity Analysis Presentation

March 23, 2022



Texarkana
Independent School District

CORGAN 



Agenda

- 1 — INTRODUCTION & OVERVIEW
- 2 — CONDITION SUMMARY
- 3 — CAPACITY SUMMARY



Introduction & Overview

Assessment Team

Architecture



Technology and Security



Civil Engineering



Mechanical, Electrical, and Plumbing



Structural Engineering



Assessment Scope



Condition Assessment

- Input from Texarkana ISD staff, administration
- Architectural
- Civil and Site
- Structural
- MEP
- Technology

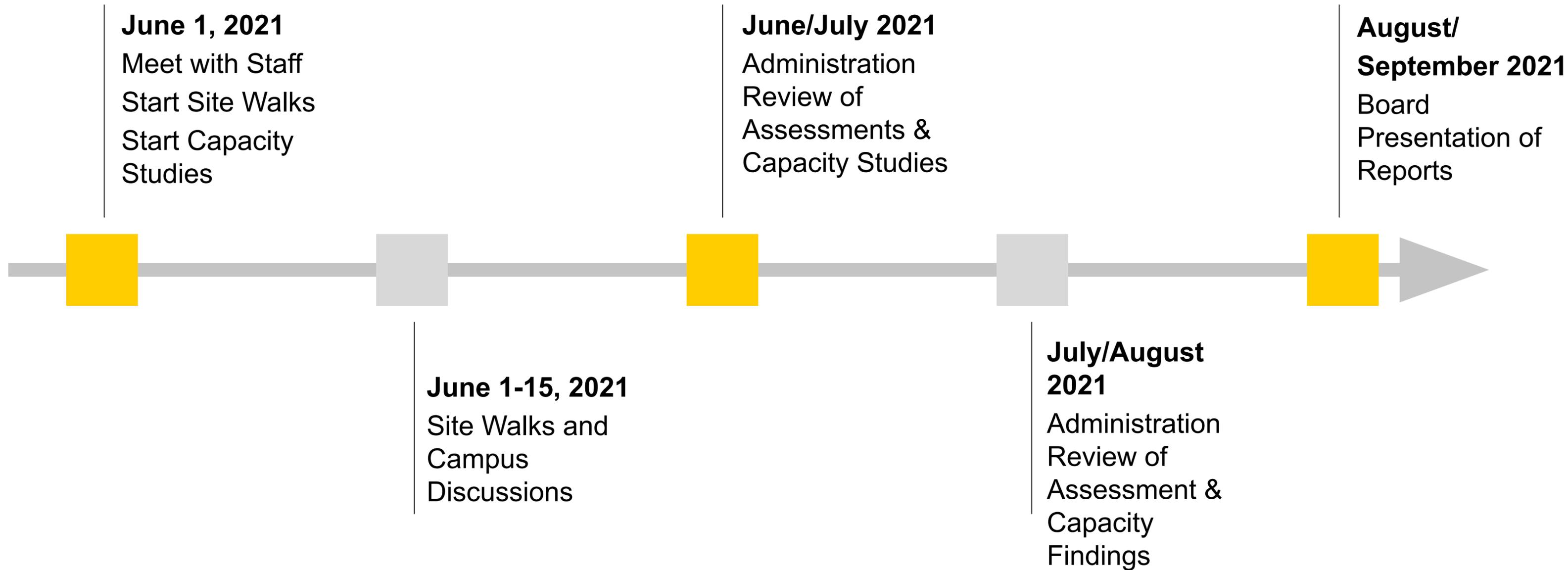
Strategic Planning

- Ongoing process scheduled to complete April 2022

Capacity Assessment

- Functional Capacity 85%
- Based on 2006 TEA Standards
- Utilization rates per campus based on actual room usage

Key 2021 Milestones

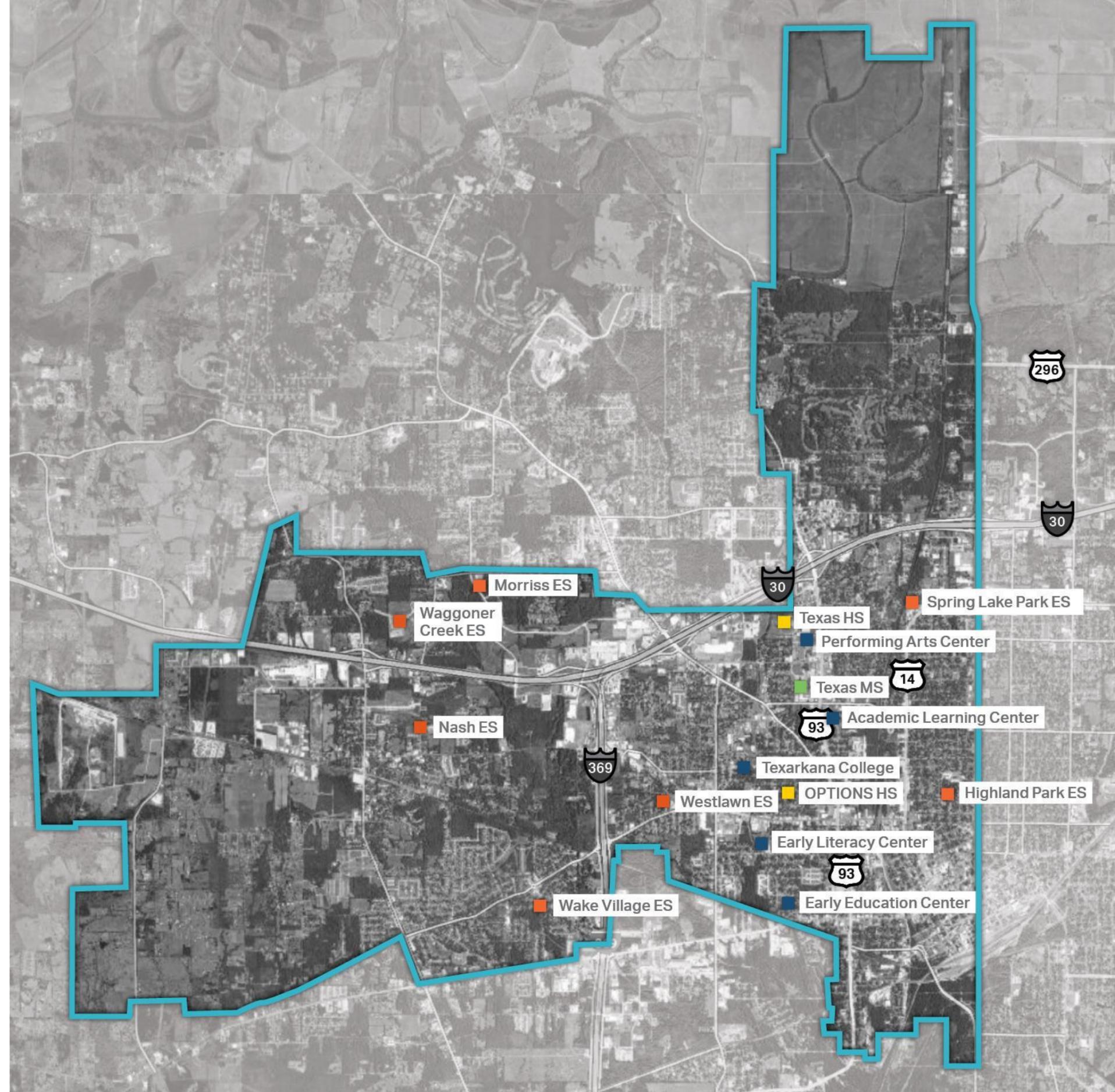


Overview

Assessment Scope

All district facilities, including all schools, support buildings, and service buildings.

-  District Boundary
-  Existing Roads
-  Elementary School
-  Middle School
-  High School
-  Other District Facilities





Condition Assessment

Process

- Field visits to every facility by all assessment teams
- Every room in district evaluated
- Principal input
- District staff input
- TEA State Facility Standards – 2006 Standards
- Portable condition does not factor into final score but was documented.
- Final weighted score takes into account educational value as well as dollar value of categories.

ASSESSMENT CRITERIA

Educational Adequacy (15%)

Site (5%)

Exterior (20%)

Interior (20%)

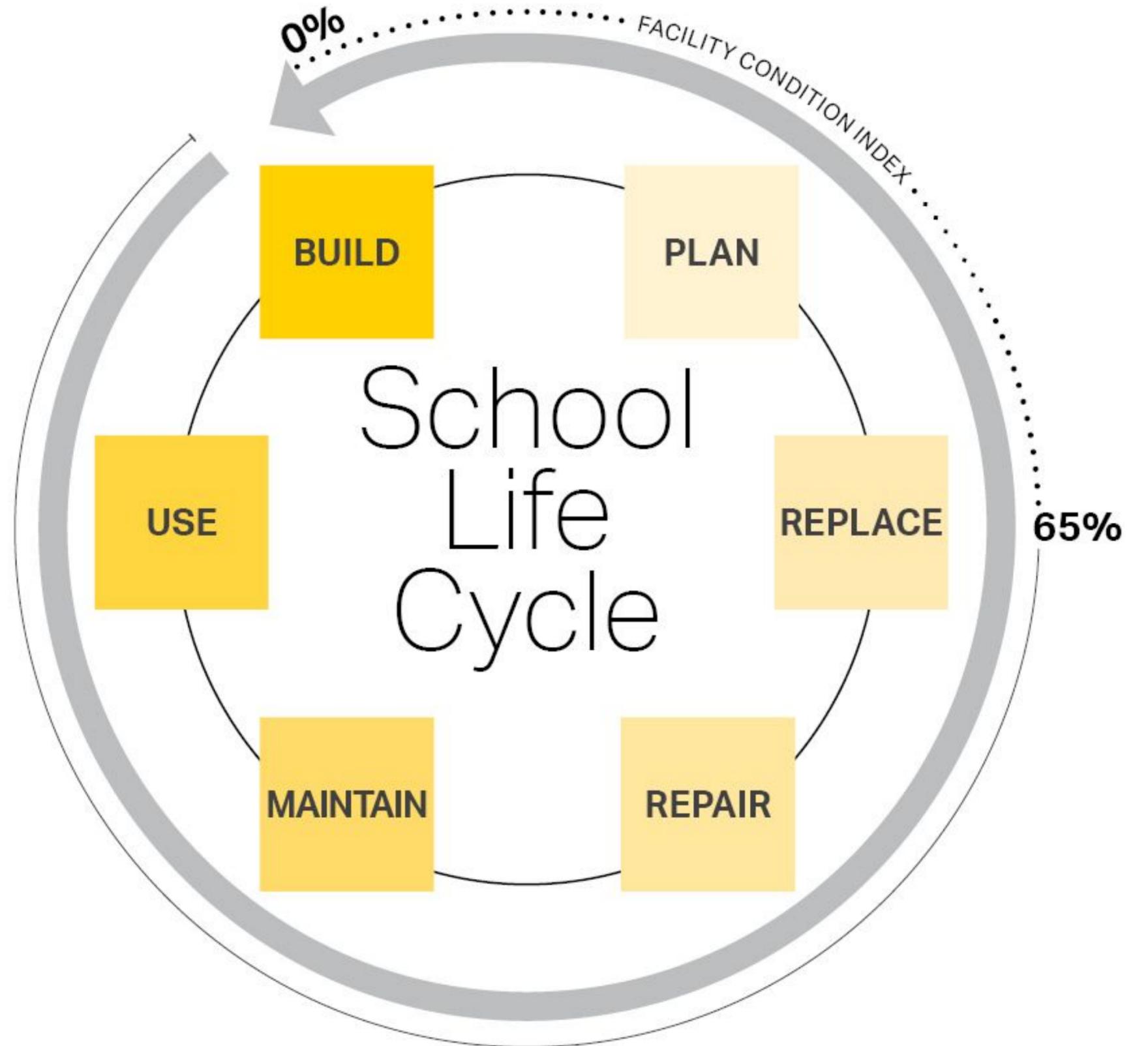
MEP (30%)

Technology (10%)

WEIGHTED SCORE:

Scoring

- 90 to 100 = Excellent
- 80 to 89 = Good
- 66 to 79 = Fair
- Below 65 = Poor



TISD FACILITY SCORES

8/17/2021

SCORE

50

60

70

80

90

100

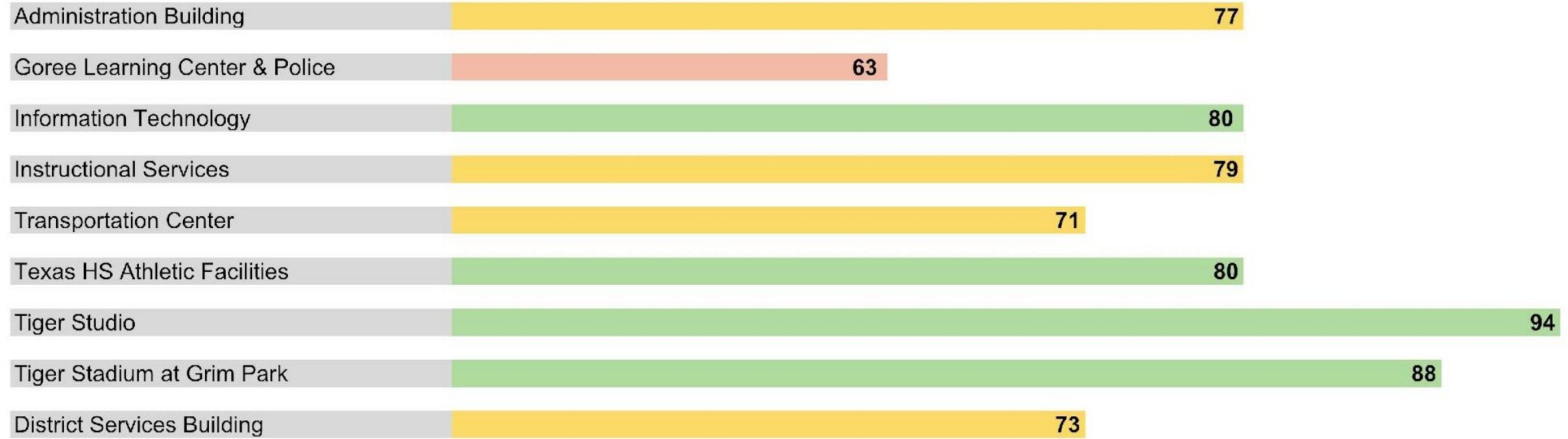
SCHOOLS



Condition Assessment

SCORE 50 60 70 80 90 100

SUPPORT FACILITIES



Executive Summary

PAUL LAURENCE DUNBAR EARLY EDUCATION CENTER

The Dunbar Early Education Center is in poor condition. The majority of educational spaces are undersized and not conducive to next-generation learning.

A designated student drop-off lane is not present. Poor drainage throughout. Handicap parking spaces are not compliant. EIFS walls are blistering, and some cracking is present in the brick veneer. Ponding is present on roof and tar has bubbled through gravel. Portable buildings are in poor condition.

Finishes and millwork are in poor condition throughout. Some restrooms have received new finishes but were not brought up to handicap compliance. Multiple accessible and egress issues are present. The basement and lower 4-classroom wing has evidence of water damage with some standing water. Classrooms do not have dedicated restrooms.

The majority of the HVAC equipment was installed in 2012 and was manufactured by Carrier. There are two 2008 Carrier packaged units. The campus has electrical distribution equipment manufactured from Square D, GE, and Siemens that were installed at various times during the building's life. Interior and exterior lighting have reached the end of their useful life. Past sewer gas issues were reported by the staff and a city sewer line is reported to run beneath the building. The facility is recommended to have plumbing system renovated to replace the remaining aging fixtures. The building fire alarm system was installed in 2014 and has many years of useful life expectancy remaining. The facility is not equipped with a fire sprinkler protection system.

Data racks are located in non-dedicated rooms without independent HVAC, proper clearances, or grounding. Cable pathways are not properly tied-off and do not meet industry standards. It is recommended that the phone be integrated into campus intercom and paging systems and that a classroom AV refresh program be implemented. An electronic access control system is not present. Camera coverage gaps should be identified.

ASSESSMENT CRITERIA

Educational Adequacy (15%)	44
Site (5%)	62
Exterior (20%)	57
Interior (20%)	61
MEP (30%)	74
Technology (10%)	62

WEIGHTED SCORE: 62

Executive Summary

HIGHLAND PARK ELEMENTARY

A portion of the core classrooms and the library are undersized. The cafeteria is undersized with no stage present. A secure entry vestibule through the reception area is not provided. Several classrooms require exiting the main school to access. Space is very limited. No special education classroom is available.

The site is very tight with no on-site student drop-off or parking (using neighboring church parking). The street sidewalks flood with water after rains. Significant ponding and erosion is present throughout site. Parking and most entrances are not handicap accessible. Stucco soffits in poor condition and gutters are not present at portions of building leaving exposed roof edging. Roofing in fair condition.

Doors and hardware, sinks within millwork and most restrooms are not handicap compliant. Finishes and millwork in most classrooms are in poor condition with worn and yellowed ceiling tiles. Kitchen, servery and most group restroom finishes have been upgraded.

Mechanical units will be nearing the end of their useful life in approximately 5 to 10 years. The electrical systems are at max capacity and, along with the lighting, are beyond their useful life. Plumbing systems are generally in good condition. It is recommended that a new fire alarm system be installed during the next renovation with all new components and main control panel. The facility is not equipped with a fire sprinkler protection system.

Data racks are located in non-dedicated rooms without independent HVAC, proper clearances, or grounding. Cable pathways are not properly tied-off and do not meet industry standards. It is recommended that the phone be integrated into campus intercom and paging systems and that a classroom AV refresh program be implemented. An electronic access control system is not present. Camera coverage gaps should be identified.

ASSESSMENT CRITERIA

Educational Adequacy (15%)	47
Site (5%)	61
Exterior (20%)	63
Interior (20%)	67
MEP (30%)	73
Technology (10%)	62

WEIGHTED SCORE: 64

Executive Summary

MARTHA AND JOSH MORRISS MATHEMATICS & ENGINEERING ELEMENTARY SCHOOL

Overall, this facility is in good condition. No science labs are provided. Opportunity available to use detention pond as environmental classroom.

Poor drainage at play field, walking track and playground renders them unusable after heavy rains. Handicap parking stalls appear to be compliant. Roof appears to be in good condition but leaking was reported by staff.

Classrooms are in good condition. Leaking is present at main corridor furr-downs. Restrooms have been updated and appear to be compliant. Kitchen and servery have been updated.

All mechanical equipment was installed during 2007 original construction. This equipment will be nearing the end of its useful life within the next 5 years. The main switch boards, panels, transformers, etc. are in good condition. Renovating exterior lighting to LED throughout is recommended to decrease energy usage and maintenance cost. The plumbing systems and fixtures are all in good condition from the original 2007 construction and have many years of useful life remaining. Maintenance has reported that a fire alarm replacement is currently taking place. The facility is equipped with a fire sprinkler protection system. Data cable pathways are not properly tied-off and do not meet industry standards. An electronic access control system is not present.

ASSESSMENT CRITERIA

Educational Adequacy (15%)	75
Site (5%)	92
Exterior (20%)	93
Interior (20%)	96
MEP (30%)	89
Technology (10%)	75

WEIGHTED SCORE: 88

Executive Summary

NASH ELEMENTARY

Overall, this facility is in fair/good condition. Most classrooms are undersized. No science lab, maker space or space for additional programs or staff are present. Per staff input, the three pick-up and drop-off loops work well but back up occasionally when exiting. The cafeteria is undersized, feeding 200 students at one time.

Site paving is in good condition. Erosion and ponding at sidewalks, entry and portables is present due to poor site drainage. Several site walkways and handrails are not compliant and ramps at elevation changes are not present in some areas. The area around the portables is flooded and muddy. There is evidence of interior drainage issues within the masonry wall envelope and the exterior doors and windows are in poor condition. The standing seam roofing appears to be in good condition, though some eaves do not have gutters. The portable buildings are in poor condition.

Ceilings and VCT flooring are in poor/fair condition. Millwork is outdated. Restrooms have been renovated. Sinks within millwork, single restrooms within classrooms, and stage access are not accessible. Surface mounted lighting in classrooms is harsh.

Mechanical equipment is recommended for replacement in five years. Electrical, lighting and plumbing infrastructure is in good condition. The building fire alarm system was upgraded in 2017 and has many years of useful life remaining. The facility is not equipped with a fire sprinkler protection system.

Data racks are located in non-dedicated rooms without independent HVAC, proper clearances, or grounding. Cable pathways are not properly tied-off and do not meet industry standards. It is recommended that the phone be integrated into campus intercom and paging systems and that a classroom AV refresh program be implemented. An electronic access control system is not present. Camera coverage gaps should be identified.

ASSESSMENT CRITERIA

Educational Adequacy (15%)	65
Site (5%)	81
Exterior (20%)	77
Interior (20%)	78
MEP (30%)	84
Technology (10%)	62

WEIGHTED SCORE: 76

Executive Summary

SPRING LAKE PARK ELEMENTARY

This facility is in generally fair condition. Classrooms are undersized. Cars back up onto street for pick-up and drop-off. Cafeteria is undersized. A secure vestibule is not present.

Ponding and erosion is present at sidewalks adjacent to building and at portables. The building exterior is in good condition with some metal soffits in need of repair. Windows are single pane. Roofing in fair condition with portions of eaves without gutters. Portables in poor condition with no handicap access.

Discolored and sagging ceiling tiles with indications of water damage are present throughout school. VCT flooring and millwork are in poor condition throughout and do not have knee clearance at sinks. Kitchen and servery have been updated. Restroom finishes updated but are not fully compliant.

The split system equipment will be nearing the end of its useful life in approximately 5 years. It is recommended to replace all the older electrical panels throughout the building. Upgrading/renovating exterior lighting to LED throughout is recommended. The plumbing systems and fixtures are in moderate condition. The building fire alarm system is nearing the end of its useful life and is recommended for replacement. The facility is not equipped with a fire sprinkler protection system.

Data racks are located in non-dedicated rooms without independent HVAC, proper clearances, or grounding. Cable pathways are not properly tied-off and do not meet industry standards. It is recommended that the phone be integrated into campus intercom and paging systems and that a classroom AV refresh program be implemented. An electronic access control system is not present. Camera coverage gaps should be identified.

ASSESSMENT CRITERIA

Educational Adequacy (15%)	34
Site (5%)	67
Exterior (20%)	71
Interior (20%)	68
MEP (30%)	75
Technology (10%)	62

WEIGHTED SCORE: 65

Executive Summary

THERON JONES EARLY LITERACY CENTER

The Theron Jones Early Literacy Center is generally in poor condition. The majority of classrooms and the library are undersized per TEA guidelines. A secure entry vestibule integrated with the reception is not present.

Significant cracking and failure of paving, poor drainage, and non-compliant handicap parking spaces and entry walks are present. The building exterior is in generally good condition but shows cracking of grade beams throughout, lack of proper drainage in exterior wall cavity, and significant wear to plaster soffits, walls and steel walkway canopies. Portable buildings are in fair condition. The majority of roofing is in good condition with some ponding and wrinkling of the roof membrane. A portion of the roof is gravel with coal tar that has bubbled to the surface.

The educational spaces, corridors and cafeteria are in poor condition, with yellowed ceiling tiles and grid, damaged floors, walls and millwork. The kitchen, servery and restrooms have been renovated but portions of the restrooms remain non-compliant.

The mechanical equipment, including RTUs and split systems, is 10 years old and in fair condition. The majority of the main switchboards, panels, transformers, etc. are in good condition. Interior and exterior light fixtures are passed their life and additional parking lot lighting is recommended. Most plumbing fixtures have been recently updated, excluding sinks within millwork and the electric water coolers and water heater. The fire alarm system is recommended to be replaced.

Data racks are located in non-dedicated rooms without independent HVAC, proper clearances, or grounding. Cable pathways are not properly tied-off and do not meet industry standards. It is recommended that the phone be integrated into campus intercom and paging systems and that a classroom AV refresh program be implemented. An electronic access control system is not present. Camera coverage gaps should be identified.

ASSESSMENT CRITERIA

Educational Adequacy (15%)	41
Site (5%)	33
Exterior (20%)	59
Interior (20%)	70
MEP (30%)	77
Technology (10%)	62

WEIGHTED SCORE: 63

Executive Summary

WAGGONER CREEK ELEMENTARY

This facility is in good condition.

There is erosion at the playground with no sidewalk connection to the building. The building exterior is in good condition with some ponding present at roof drains. The building interior is in good condition with some cracking present in corridor flooring.

The mechanical, electrical, plumbing and fire alarm systems are all from the original 2015 construction and has many years of useful life remaining. The facility is equipped with a fire sprinkler protection system. The mechanical systems consist of hydronic heating and cooling equipment that are in good condition throughout. Staff have reported difficulty maintaining the interior temperatures and humidity levels at a comfortable level.

ASSESSMENT CRITERIA

Educational Adequacy (15%)	92
Site (5%)	97
Exterior (20%)	100
Interior (20%)	96
MEP (30%)	99
Technology (10%)	85

WEIGHTED SCORE: 96

Executive Summary

WAKE VILLAGE ELEMENTARY

This facility is in fair condition. The campus is comprised of three permanent buildings spread far apart, as well as one portable. Classrooms are undersized with limited space for special classrooms and no science labs.

Water damage at brick veneer is observed with water potentially being held in wall cavity. Windows are single pane.

The interior is in fair condition. Ceiling tiles in poor condition in classrooms. Detached buildings are in poor condition with water damage present at ceilings. The annex was remodeled several years ago but many elements remain non-compliant. Restrooms within classrooms are in poor condition and not accessible. A portion of the doors have non-compliant hardware.

The chilled water system that including the pumps, and air handlers are recommended for replacement in the near future. Carrier Dx split systems and packaged units are approaching the end of their recommended useful life in approximately 5 to 8 years. The electrical equipment on site is in moderate condition for its age. Renovating and upgrading the electrical throughout is recommended. Interior and site lighting is recommended to upgrade to LED. The plumbing systems and fixtures throughout the campus are in good to moderate condition. The building's fire alarm system was installed in 1987 and is beyond its recommended useful life expectancy. The facility is not equipped with a fire sprinkler protection system.

Data racks are located in non-dedicated rooms without independent HVAC, proper clearances, or grounding. Cable pathways are not properly tied-off and do not meet industry standards. It is recommended that the phone be integrated into campus intercom and paging systems and that a classroom AV refresh program be implemented. An electronic access control system is not present. Camera coverage gaps should be identified.

ASSESSMENT CRITERIA

Educational Adequacy (15%)	29
Site (5%)	82
Exterior (20%)	64
Interior (20%)	80
MEP (30%)	74
Technology (10%)	62

WEIGHTED SCORE: 66

Executive Summary

WESTLAWN ELEMENTARY

The facility is generally in poor / fair condition. Several educational spaces are undersized per TEA guidelines. The district-wide IT department and data center is held on site and is recommended to be consolidated to a dedicated location elsewhere.

There are significant accessibility deficiencies on the site including excessive slopes of sidewalks, entries, ramps and entry landings and lack of handrails. Accessible parking stalls are improperly striped and identified. A moderate amount of drainage and erosion issues exist. Some visible cracking exists in brick veneer and concrete grade beams. Exterior windows are original to building. Interior finishes are in poor/fair condition.

The Carrier 2004 chilled water equipment is in poor condition. The 2012 Dx units are in good condition with approx. 5-10 years of useful life remaining. Electrical panels not replaced in recent upgrades are past their life. Interior and exterior lighting is recommended to be upgraded to LED to reduce energy use. The plumbing systems and fixtures throughout the campus are in fair condition with hot water heaters have been recently replaced. A fire alarm exists but there is no fire sprinkler protection.

Data racks are located in non-dedicated rooms without independent HVAC, proper clearances, or grounding. Cable pathways are not properly tied-off and do not meet industry standards. It is recommended that the phone be integrated into campus intercom and paging systems and that a classroom AV refresh program be implemented. An electronic access control system is not present. Camera coverage gaps should be identified.

ASSESSMENT CRITERIA

Educational Adequacy (15%)	75
Site (5%)	67
Exterior (20%)	70
Interior (20%)	71
MEP (30%)	77
Technology (10%)	62

WEIGHTED SCORE: 72

Executive Summary

SIXTH GRADE CENTER AT TEXAS MIDDLE SCHOOL

The 6th Grade Center site, building exterior and interior, and HVAC systems are in good condition. Classrooms are adequately sized. Technology to be assessed in relation updated district standards, including provision of access control.

ASSESSMENT CRITERIA

Educational Adequacy (15%)	100
Site (5%)	98
Exterior (20%)	94
Interior (20%)	89
MEP (30%)	99
Technology (10%)	70

WEIGHTED SCORE: 89

Executive Summary

TEXAS MIDDLE SCHOOL

This facility is in generally good condition with adequately sized classrooms.

Concrete site paving is in fair/good condition with multiple damaged curb locations. Erosion is present in several areas. No site fencing or gates are present on site. Portions of accessible parking are non-compliant. Staining present on masonry exterior and exterior exit stairs are rusted. Portables are in poor condition with no wheelchair access.

Stained and sagging ceiling tiles are present throughout. VCT, carpet, gypsum board walls, and toilet partitions are in poor to fair condition.

The majority of the hydronic and Dx HVAC equipment was installed in 2001 have approximately 5-10 remaining years of useful life. There are also 2011 split systems serving the original building's classroom wing. The HVAC controls system is recommended to be replaced throughout during the next major campus renovation. Electrical, lighting and plumbing systems appear to be in good condition. The building's fire alarm system was installed in 2001 and is beyond its recommended useful life expectancy. The facility is partially equipped with a fire sprinkler protection system.

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ASSESSMENT CRITERIA

Educational Adequacy (15%)	100
Site (5%)	81
Exterior (20%)	78
Interior (20%)	81
MEP (30%)	91
Technology (10%)	62

WEIGHTED SCORE: 84

Executive Summary

TEXAS HIGH SCHOOL

The original 1966 facility underwent significant renovations in 2007, along with a new cafeteria expansion and performing arts center. A new two-story science / office addition was construction in 2005 and is in good condition. Most core and science classrooms are adequately sized but CTE facilities are not optimal for program needs. Several classrooms in the original building are accessible only from the exterior and site fencing is not present. The 1985 Tiger Center which houses basketball and music facilities is in poor / fair condition.

Site drainage is poor with limited underground storm sewer lines. Site paving is cracking in various areas and paving at tennis courts does not support busses. Multiple sidewalks and ramps exceed maximum slopes with non-compliant handrails. Portable buildings are in poor condition.

Masonry veneer is water-stained in several areas. 2x2 soffit tiles are in poor condition and not ideal for exterior use. Windows in original building are non-insulated with frames in poor condition. Interior finishes are in fair / good condition. Ceiling tiles are sagging in several areas. CTE facilities are in poor condition.

The MEP systems are a combination of various types and generally in fair condition. HVAC controls and the fire alarm system are recommended to be replaced. Fire sprinklers are recommended to be installed where not currently present. Technology systems are recommended to be updated to current district standards including installation of card access control system. Reference detailed MEP report.

ASSESSMENT CRITERIA

Educational Adequacy (15%)	85
Site (5%)	69
Exterior (20%)	73
Interior (20%)	79
MEP (30%)	83
Technology (10%)	70

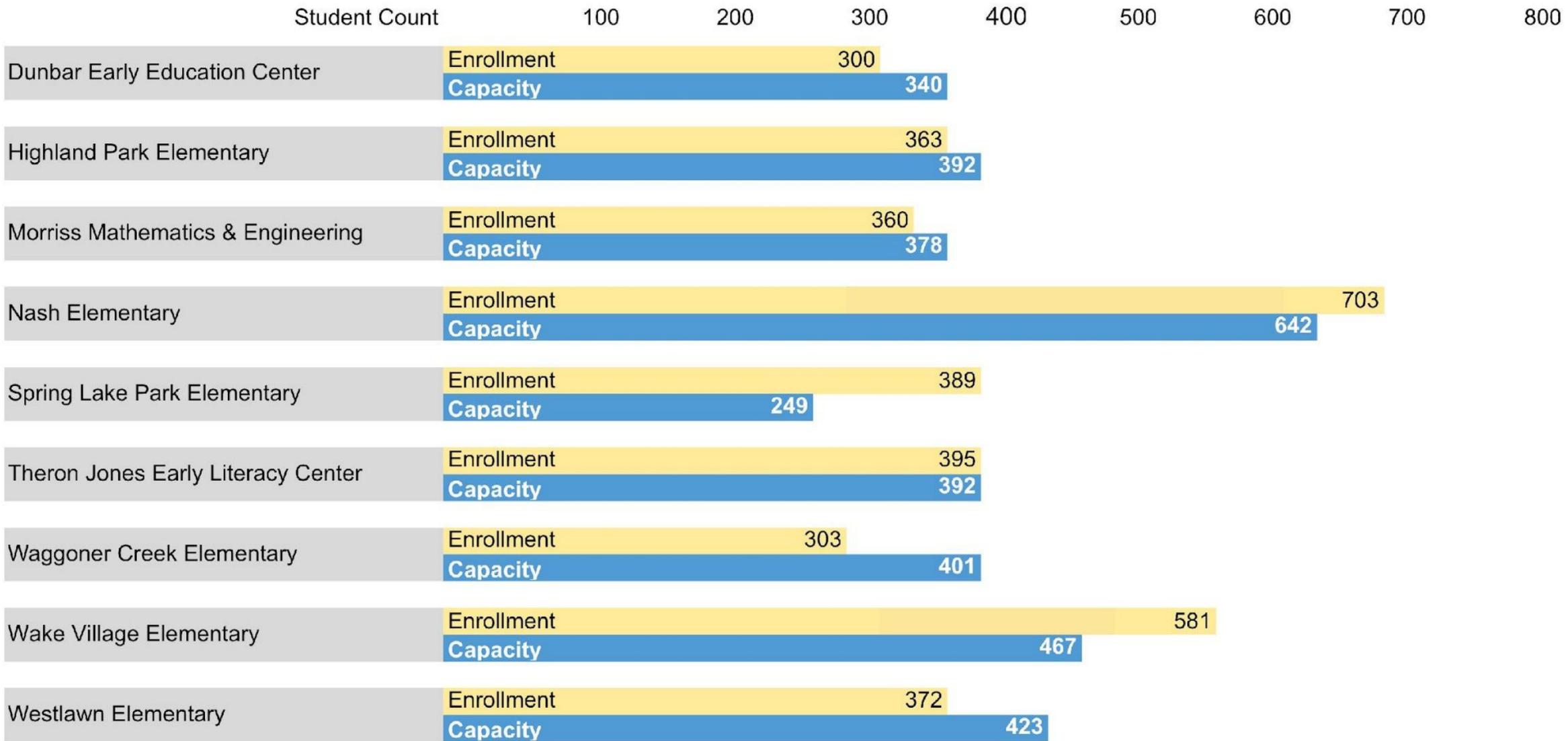
WEIGHTED SCORE: 79



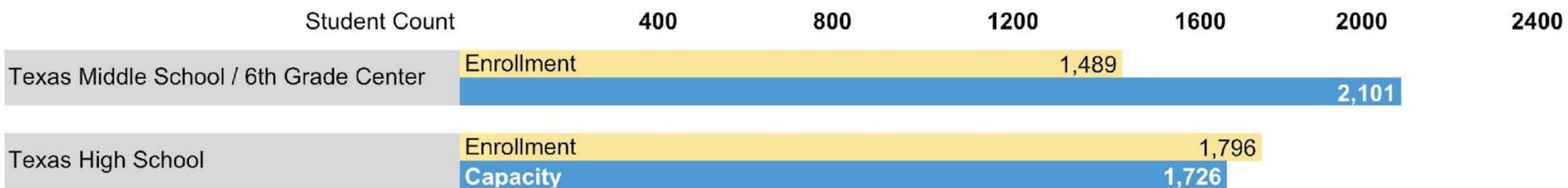
Capacity Summary

TISD CAPACITY MATRIX

Primary Schools



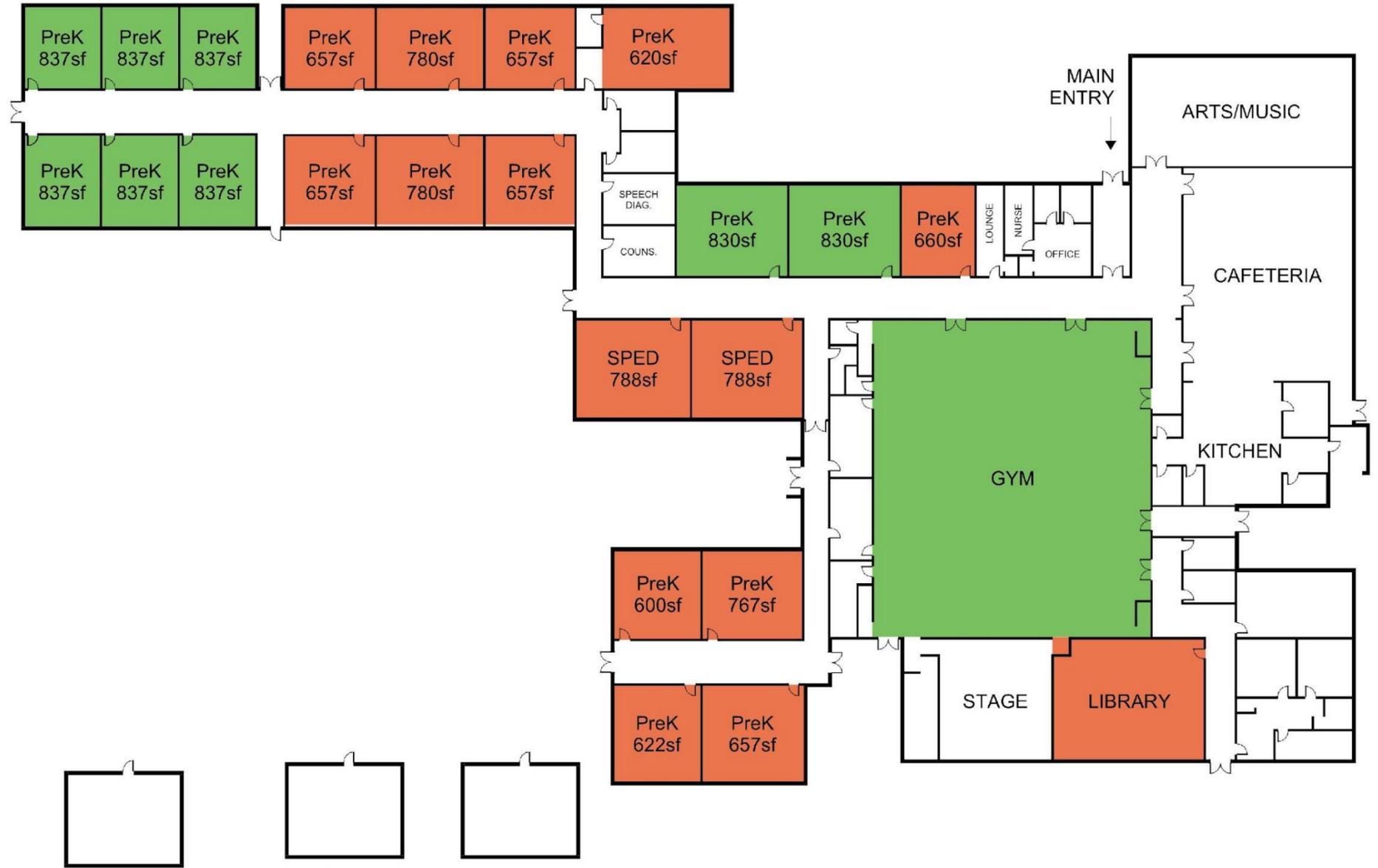
Secondary Schools



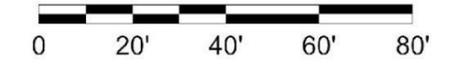
Dunbar Early Education Center

Enrollment: 300

Capacity: 340



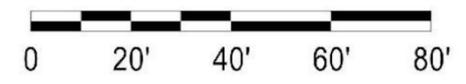
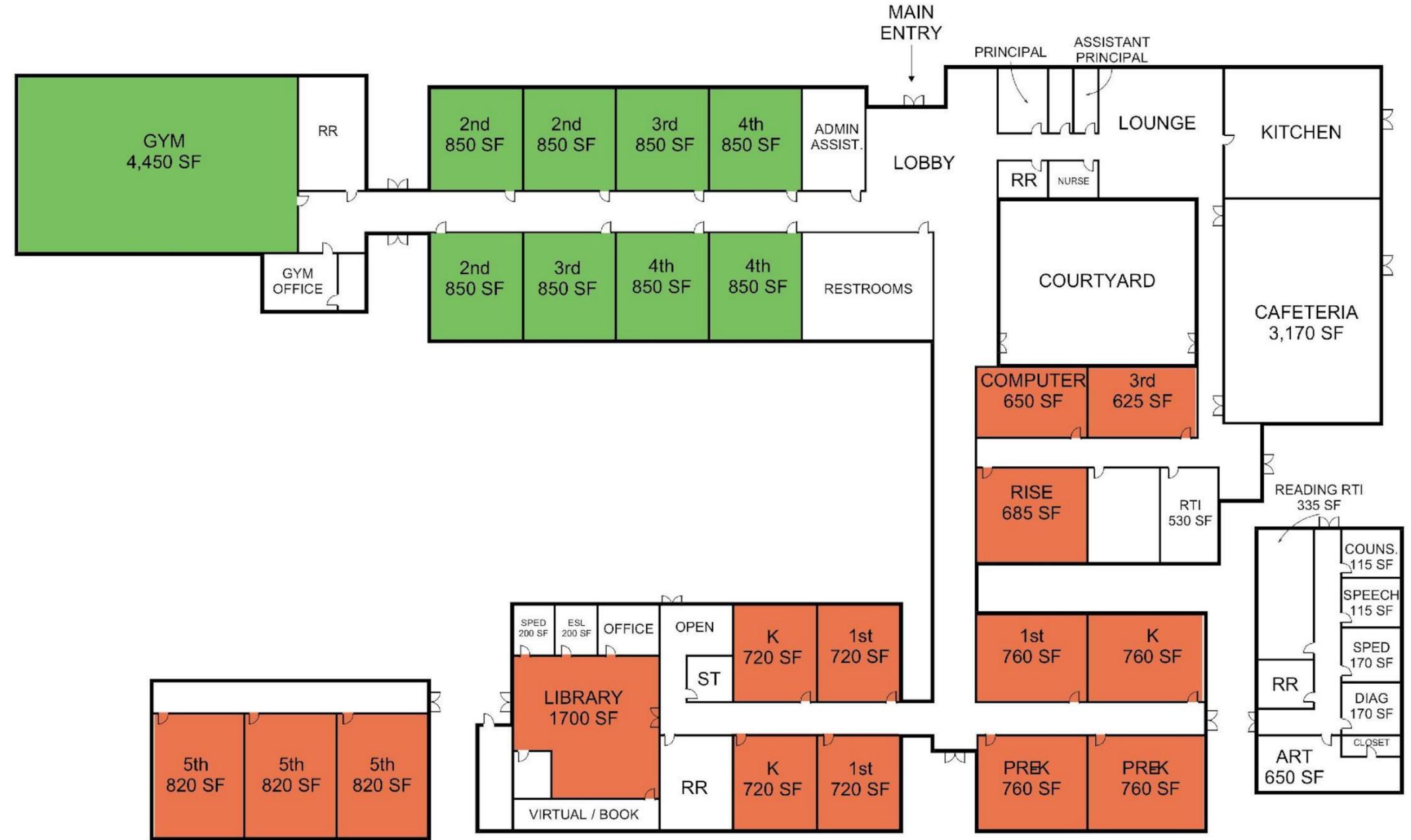
TEA COMPLIANCE LEGEND	
	ROOM AREA COMPLIANT WITH TEA
	ROOM AREA NOT COMPLIANT WITH TEA



Highland Park Elementary

Enrollment: 363

Capacity: 392



TEA COMPLIANCE LEGEND	
	ROOM AREA COMPLIANT WITH TEA
	ROOM AREA NOT COMPLIANT WITH TEA

Martha and Josh Morriss Mathematics & Engineering Academy

Enrollment: 360

Capacity: 378



Nash Elementary

Enrollment: 703

Capacity: 642

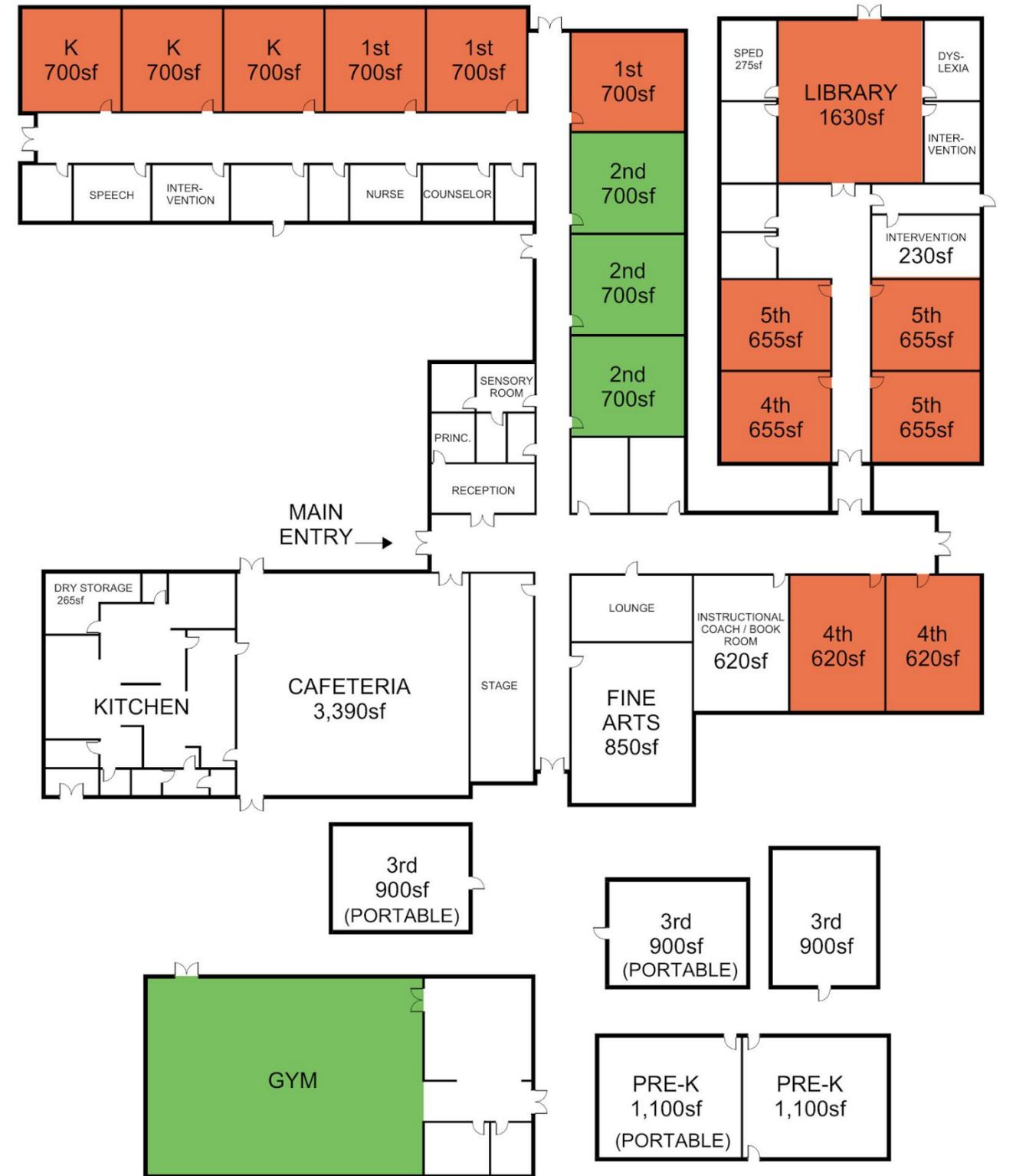
TEA COMPLIANCE LEGEND	
	ROOM AREA COMPLIANT WITH TEA
	ROOM AREA NOT COMPLIANT WITH TEA



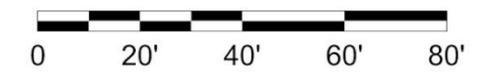
Spring Lake Park Elementary

Enrollment: 389

Capacity: 249



TEA COMPLIANCE LEGEND	
	ROOM AREA COMPLIANT WITH TEA
	ROOM AREA NOT COMPLIANT WITH TEA



Theron Jones Early Literacy Center

Enrollment: 395

Capacity: 392

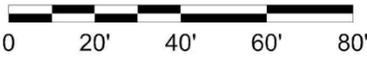
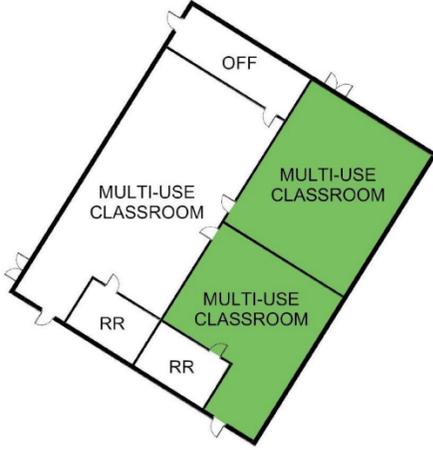
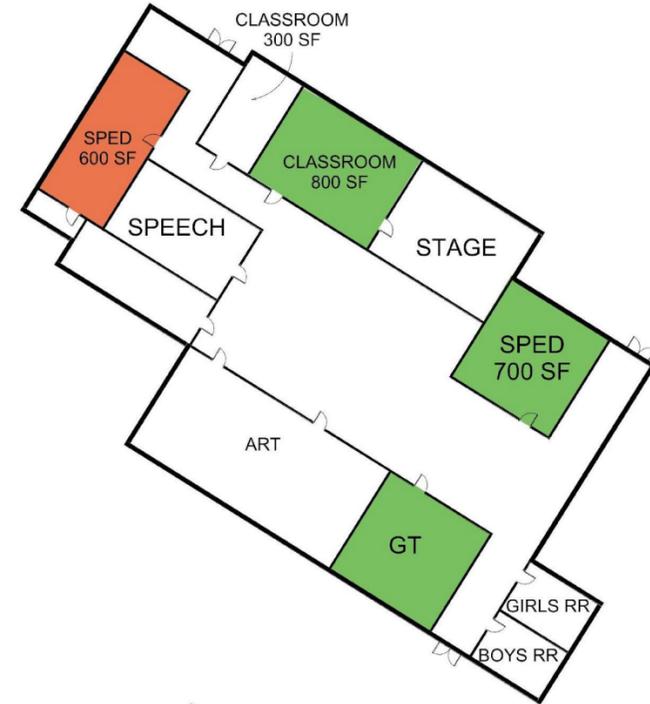


TEA COMPLIANCE LEGEND	
	ROOM AREA COMPLIANT WITH TEA
	ROOM AREA NOT COMPLIANT WITH TEA

Wake Village Elementary

Enrollment: 581

Capacity: 467

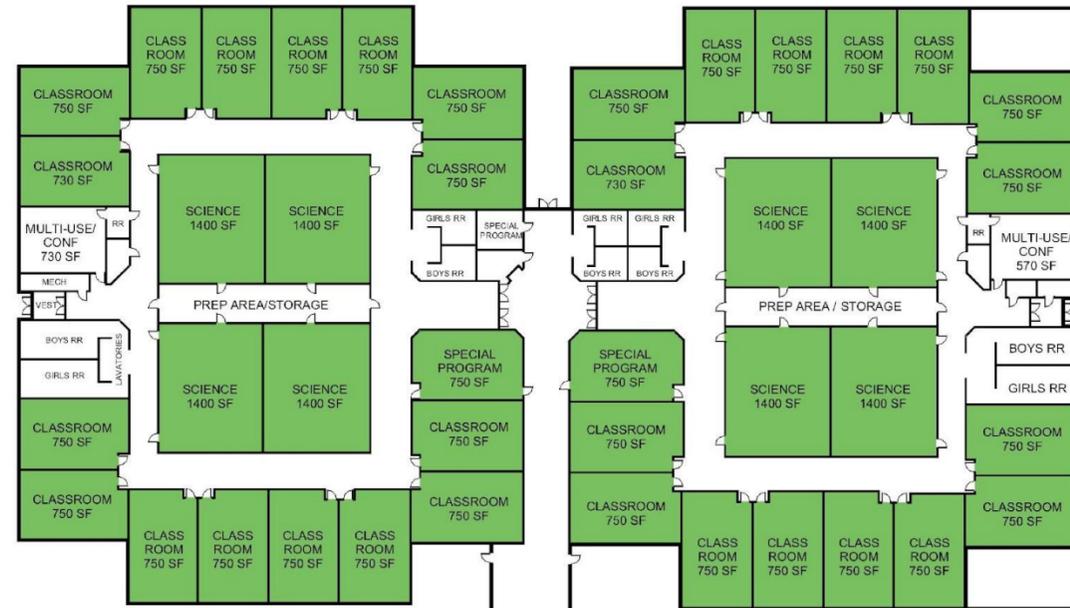


TEA COMPLIANCE LEGEND	
	ROOM AREA COMPLIANT WITH TEA
	ROOM AREA NOT COMPLIANT WITH TEA

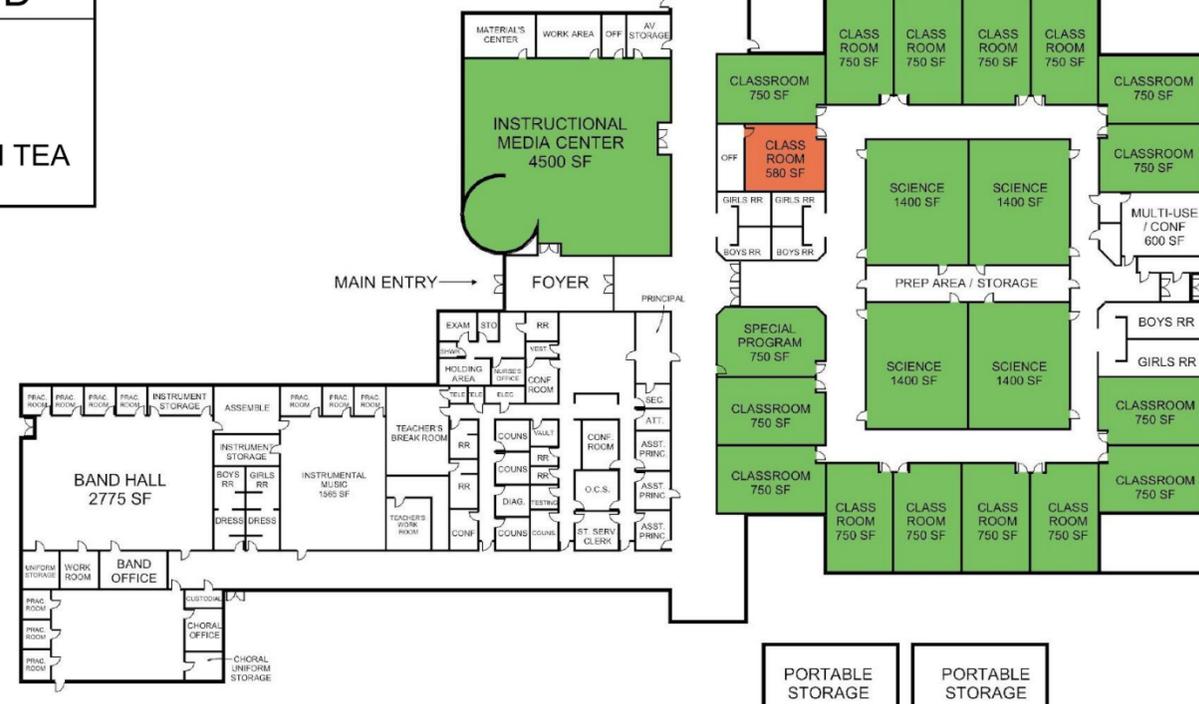
Texas Middle School / Sixth Grade Center

Enrollment: 1,489

Capacity: 2,101



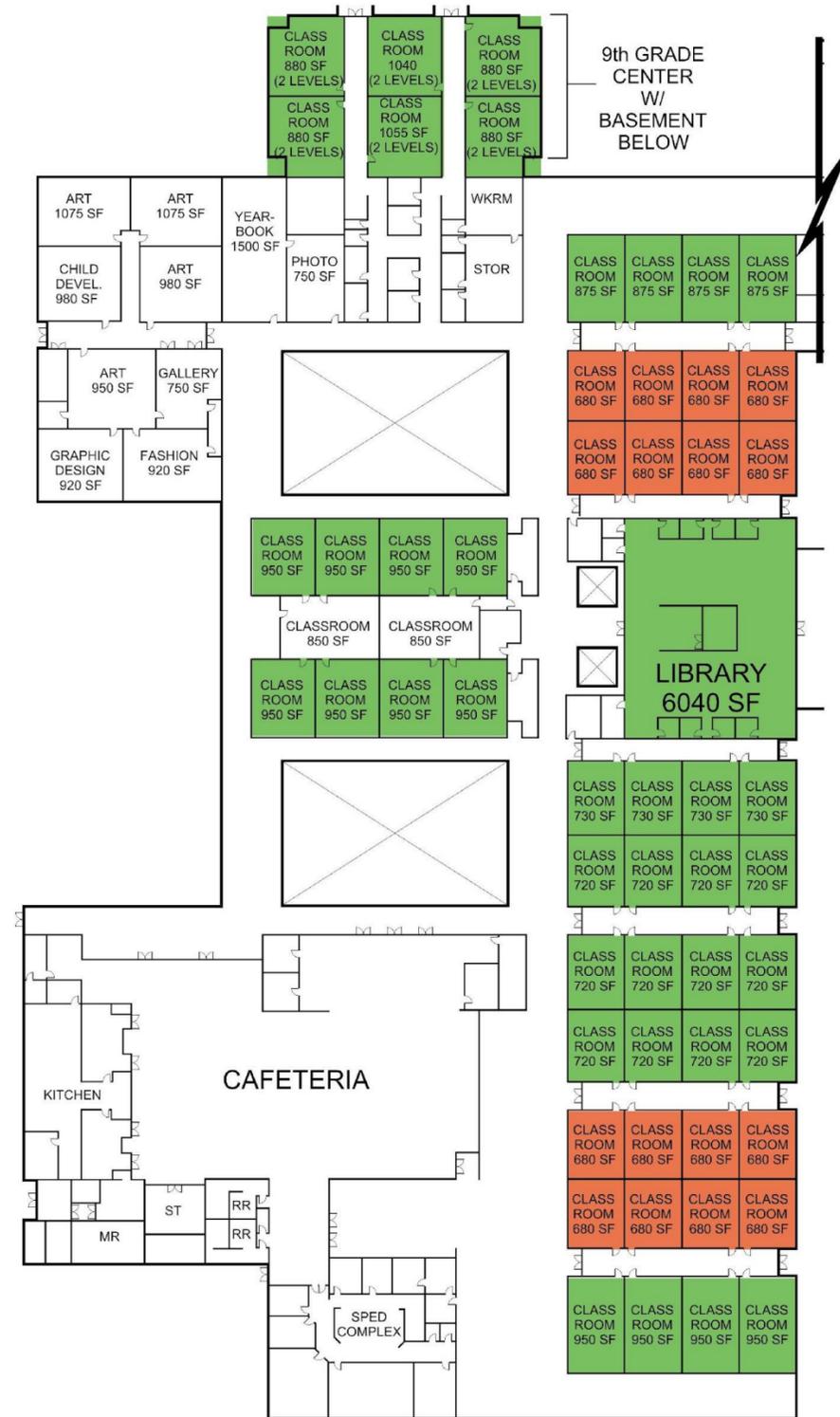
TEA COMPLIANCE LEGEND	
	ROOM AREA COMPLIANT WITH TEA
	ROOM AREA NOT COMPLIANT WITH TEA



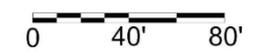
Texas High School

Enrollment: 1,796

Capacity: 1,726



TEA COMPLIANCE LEGEND	
	ROOM AREA COMPLIANT WITH TEA
	ROOM AREA NOT COMPLIANT WITH TEA





Example Assessment

WESTLAWN ELEMENTARY SCHOOL

Westlawn
Elementary

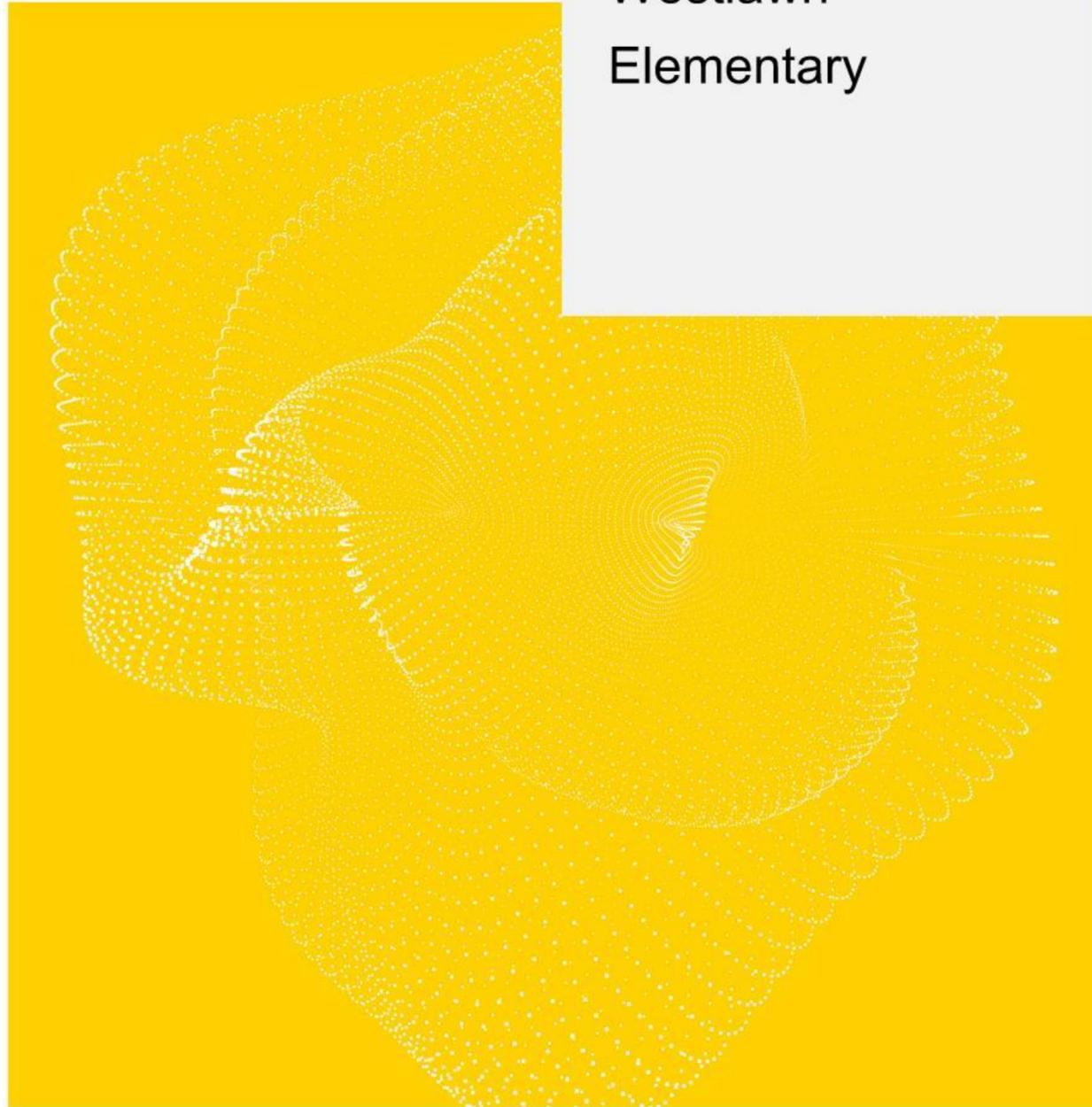


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Principal Input	46

Project Data Sheet

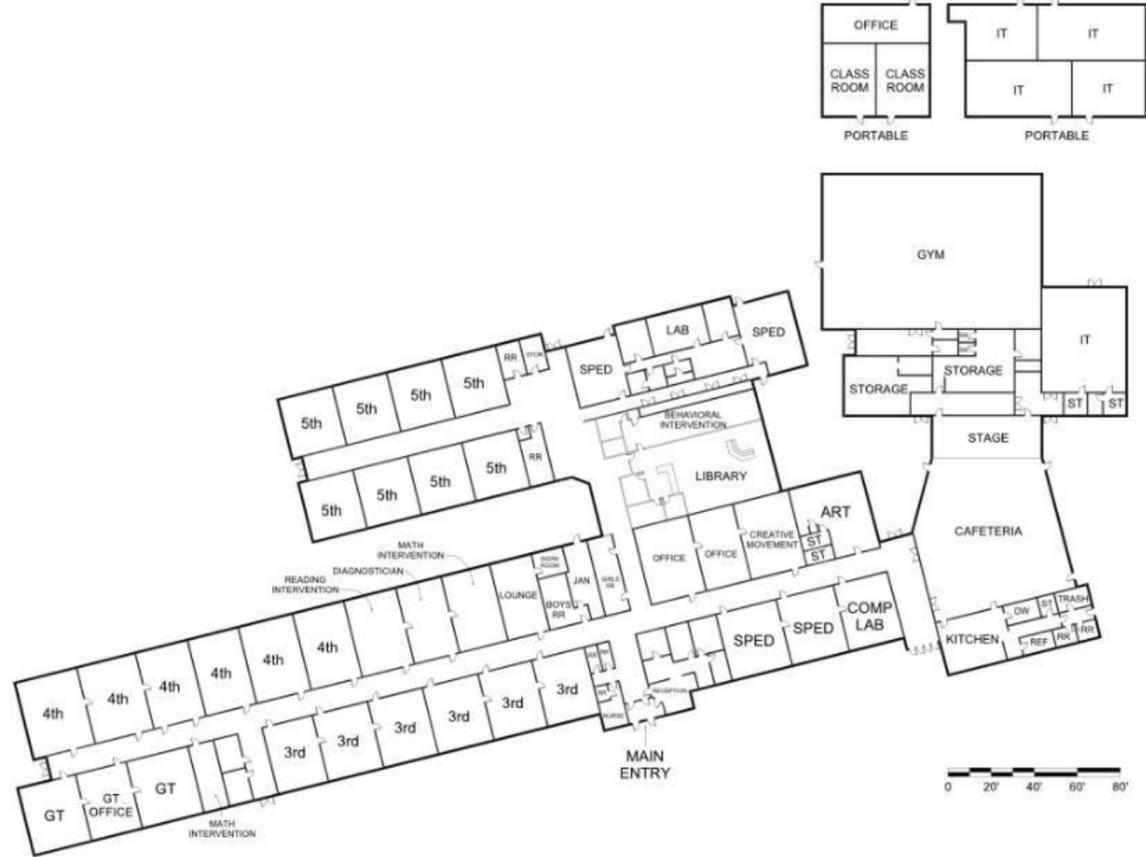


Year Built: 1955
 IT Building: 2007
Approx. SF (w/o portables): 67,628 SF
Approx. Site Area: 345,500 SF
Grades Served: 3rd – 5th
Capacity: 423
Current Enrollment: 325-375



410 Westlawn Dr, Texarkana, TX 75501

Floor Plan



Site Plan



Executive Summary

WESTLAWN ELEMENTARY

The facility is generally in poor / fair condition. Several educational spaces are undersized per TEA guidelines. The district-wide IT department and data center is held on site and is recommended to be consolidated to a dedicated location elsewhere.

There are significant accessibility deficiencies on the site including excessive slopes of sidewalks, entries, ramps and entry landings and lack of handrails. Accessible parking stalls are improperly striped and identified. A moderate amount of drainage and erosion issues exist. Some visible cracking exists in brick veneer and concrete grade beams. Exterior windows are original to building. Interior finishes are in poor/fair condition.

The Carrier 2004 chilled water equipment is in poor condition. The 2012 Dx units are in good condition with approx. 5-10 years of useful life remaining. Electrical panels not replaced in recent upgrades are past their life. Interior and exterior lighting is recommended to be upgraded to LED to reduce energy use. The plumbing systems and fixtures throughout the campus are in fair condition with hot water heaters have been recently replaced. A fire alarm exists but there is no fire sprinkler protection.

Data racks are located in non-dedicated rooms without independent HVAC, proper clearances, or grounding. Cable pathways are not properly tied-off and do not meet industry standards. It is recommended that the phone be integrated into campus intercom and paging systems and that a classroom AV refresh program be implemented. An electronic access control system is not present. Camera coverage gaps should be identified.

ASSESSMENT CRITERIA

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MEP (30%)	77
Technology (10%)	62

WEIGHTED SCORE: 72

Capacity & TEA Summary

Utilization		TEA		Capacity	
Room	Qty.	SF	Students/Room	Max	Functional (85%)
3 rd Grade	2	745	23	46	39
3 rd Grade	2	770	24	48	40
3 rd Grade	2	800	25	50	42
4 th Grade	1	715	22	22	18
4 th Grade	3	750	23	69	58
4 th Grade	2	815	25	50	42
5 th Grade	8	675	21	168	142
GT	2	815	25	50	42
Total	22			503	423
Enrichment Curriculum Spaces					
Art	1	1,060	29		
Computer Lab	1	715	19		
SPED	2	745	20		
SPED	1	970	27		
SPED	1	760	21		
Library	1	1950	237		

Note: Spaces in RED are lower than TEA required minimum size for grade served. Portable classrooms excluded. Reference plan for additional specialty spaces.

Educational Adequacy Plan



Architectural Observations - Exterior



Front Elevation

ENVELOPE



Grade beam cracking at entry. Occurs in various locations at building perimeter.



Tile cladding chipping at base. Metal soffit and fascia in fair condition. Soffit lighting is outdated. Storefront entry in good condition.



Brick cracking at various locations



Typical window framing in poor condition



Grade beam cracking in various locations



Paved landing not present at a portion of exit doors



Erosion present at mechanical pads



Walkway canopy superstructure is rusted



Draining is poor at between classroom wings. Metal panel bent in various locations. Door stoop missing.



Metal window flashing along north façade is bent. Single pane windows and frames are in poor condition.



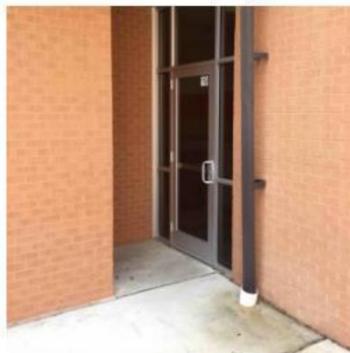
No splash blocks present at downspouts



Path from school to playground is not accessible.



No dumpster enclosure present



Door into courtyard does not have proper maneuvering clearance

PORTABLES



Portables in poor condition. East portable houses district-wide IT.



Exterior Scoring Matrix

Building Element	Type/Material	Condition	Description
Building Structure/Foundation			
Foundation	Type: <input type="text"/>	Fair	Minor cracks visible, no signs of heaving.
Substructure - Slab - on - Grade			
Basement / Below Grade Exterior Walls			
Miscellaneous			
Superstructure			
Pre-Engineered Metal building			
Building Exterior Shell			
Roofing			
General Roof Condition (Visual Inspection)		Fair	Standing seam roof appears to be in fair condition.
Roof Warranty Status			
Roofing Manufacturer / Warranty Issuer			
Years Remaining in Warranty Period			
Roof Curbs / Openings / Misc.			
Exterior Walls			
Exterior Wall Material	Material: <input type="text"/>	Fair	Minor cracks apparent, but no signs of settling, rotation or damage.
Building Caulking/Sealant		Fair	May show minor signs of aging, minor fading or stains.
Exterior Painting		Good	Almost new in appearance, no visible fading or stains.
Windows/Glazed Walls			
Windows			
	Glazing Type: <input type="text"/>	Poor	Original windows should be considered for replacement to increase energy efficiency, address any air and water infiltration and deterioration of finish.
	Frame Type: <input type="text"/>		
Exterior Doors Systems			
Exterior Doors			
	Frame Type: <input type="text"/>	Fair	Minor scratches or signs of wear, may need a refresh of finish, door hardware is compliant and functioning properly.
	Panel Type: <input type="text"/>		
Canopies			
Canopy	Type: <input type="text"/>	Fair	Portions of canopy supports are rusted.
Loading Area			
Raised Loading Dock		N/A	0
Independent Loading Area		Fair	No dumpster screening present
Misc. Exterior			
Exterior Soffit - Material	Material: <input type="text"/>	Good	Almost new in appearance, no visible fading or stains.

Scored Categories 10

Good	2	<h2>Aggregate Score</h2> <h1>70</h1>
Fair	7	
Poor	1	
N/A	1	

Architectural Observations - Interior

ACCESSIBILITY



Inaccessible paths of travel throughout.



Non-compliant door signage, typical throughout (sign type, mounting height).



Restroom fixture clearances non-compliant, missing pipe insulation under sinks, door hardware non-compliant, door clearances non-compliant, typical throughout.

ACADEMIC SPACES

Staff noted that more space for hands-on, project-based learning is desired. An outdoor learning space is also desired.



Core Classroom – Typical North Wing Classroom

675 SF

Minor wall and floor scuffs. One centrifugal unit.



Core Classroom – Typical East Wing Classroom

690 - 745 SF

Minor wall and floor scuffs.



Core Classroom – Typical West Wing Classroom

715 - 815 SF

Minor wall and floor scuffs.



Typical SPED Classroom

790 – 970 SF

Overall good condition, updated finishes. Staff noted that recent flooding in this room seems to be from adjacent kitchen.



SPED Kitchen

Overall good condition, updated finishes. Staff noted significant leaks in this area. Visual evidence of leaks.



Typical Portable Classroom

Overall fair condition. Minor wear and tear throughout.



Specialty Classroom - Speech

Carpet in fair condition. Ceiling grid and tile updated. Carpeting stained with traffic marks.



Computer Lab

Overall fair condition. Minor wear and tear throughout.



Library

Carpet in poor condition, visible traffic lanes and discoloration. Staff noted library is sized appropriately for current capacity but needs updating.

CIRCULATION

Level 2 of building not in use (storage only). Stairs blocked off from students.



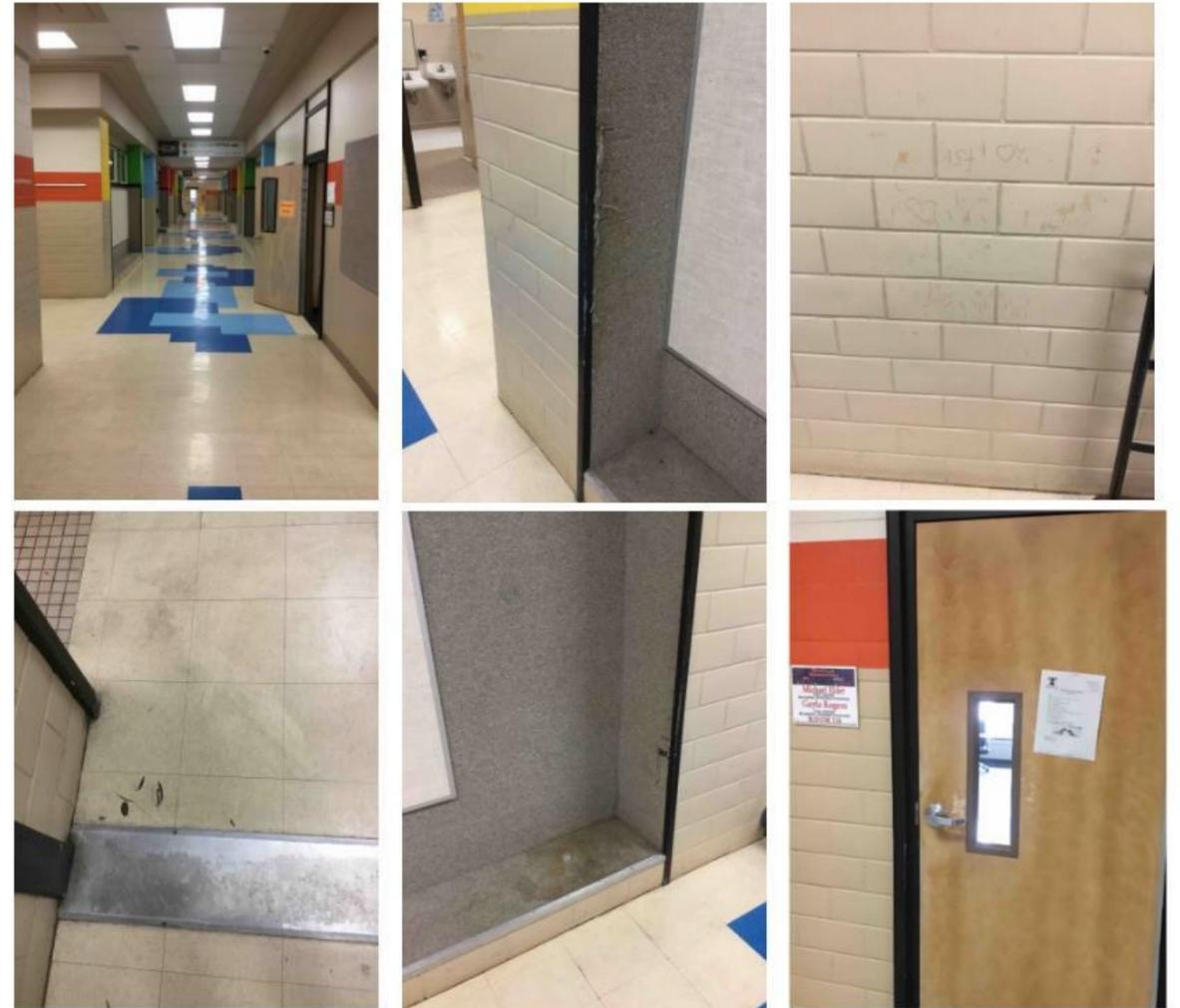
Entry Vestibule

Overall fair condition. Tile floor separating. Rubber base receding.



Entry Corridor

Overall fair condition. Tile floor damaged and separating, rubber base receding, damaged gyp bd.



Main East-West Corridor

Rubber base missing at CMU walls. Damage to gyp bd. above cove base consistent. Tack board and carpet surround in poor condition. Paint on glazed block is scratched. Wood doors are worn.



Exit Corridor

Rubber base missing at CMU walls. Exterior storefront in good condition. Stairs to second level blocked off by plastic curtain.



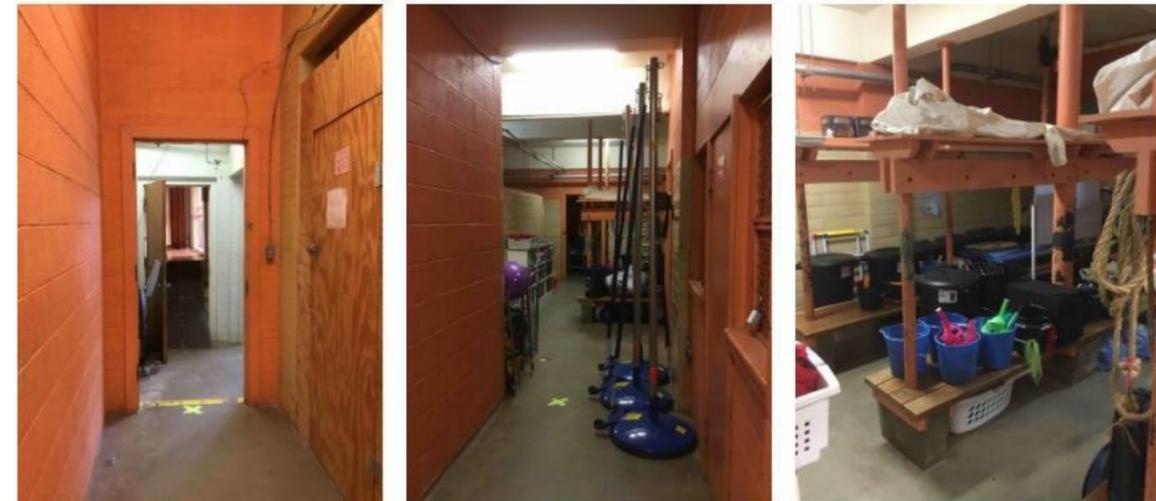
Corridor Behind Stage (not in use)

Corridor not in use. Hallway bisected with temporary wall. Plywood blocking stairs to level 2. Staff was unfamiliar with this area of the building.



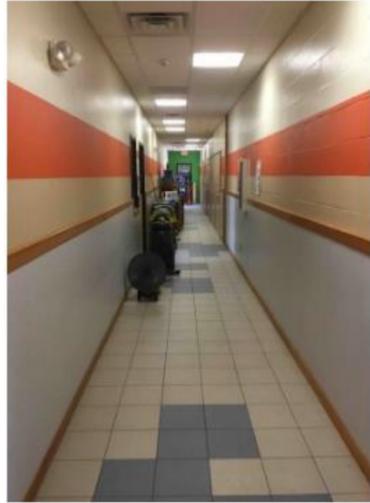
Library Lobby

Start of building addition. Finishes updated in this area.



Gymnasium Rain Route

Route students take to gymnasium during rain. Previously functioned as junior high locker room. Now used as gym storage.



SPED Corridor

Updated finishes. Water damage at ceiling tiles.

RESTROOMS

Staff noted additional restrooms are needed. Not enough existing restroom locations, and not enough stalls.



Group Restroom (north classroom wing)

Missing ADA-stall, pipe insulation under sinks. Toilet accessories in poor condition.



Group Restroom (near front entry)

Missing proper latch clearance on stall interior. Ceiling in poor condition.



SPED Restrooms

Ensure fixture clearances are ADA-compliant.

Clinic restroom.

Cracked floor tile. Rusted accessories. Clearances and grab bars are non-compliant.

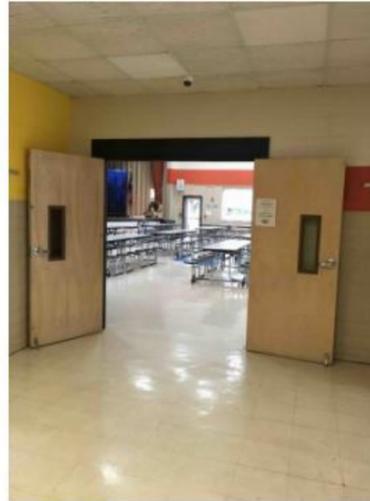
CAFETERIA / STAGE

Cafeteria and kitchen recently renovated; staff noted both spaces function well.



Cafeteria

Tile floor bubbling. Exposed corner bead. Clerestory windows covered from interior.



Stage

Stage is not ADA-accessible, missing ramp, steps are too steep. Painted wood trim at front of stage is chipping. Orange grand drape curtain in fair condition. Tan side and back curtains in poor condition, stained and ripped. Staff noted stage and drapes are original.

KITCHEN / SERVERY



Kitchen

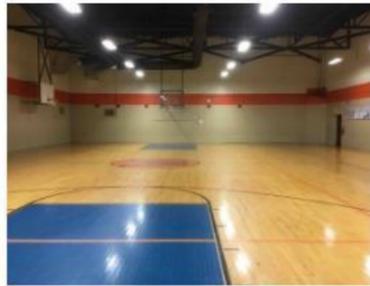
Recently renovated.



Servery

ATHLETICS

Staff noted gymnasiums detached location causes problems. When it rains, students must take strange route through back-of-house areas to access the gym. They are interested in getting an awning to cover the exterior route to the gym.



Gymnasium

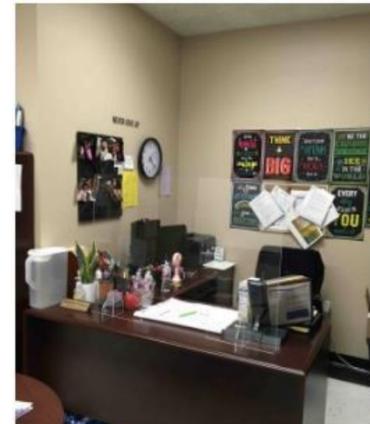
Original gym detached from main building with no awning connection. Staff noted gym is lacking storage. Exposed ductwork in need of refinishing.

ADMINISTRATION / SERVICE



Reception

Overall poor condition. Rubber base receding. Plastic laminate chipping at reception desk.



Typical Office

Overall fair condition. Offices appear undersized.



Conference Room

Overall fair condition. Functions as both conference room and an office for one staff member. Millwork in fair condition, staining on countertop surface.



Teacher Workroom

Floor in poor condition, missing floor tiles in front of refrigerators and vending machine.



Counselor

Classroom used as counselor suite.



Clinic

Cracking floor tiles. Peeling rubber base. Unfinished, uninsulated storage closet. Accessible restroom in clinic.



Custodial Closet (near front entry)

Overall poor condition. Staff noted numerous holes in building maintenance room where rodents access the building. Rats are noted in the ceiling. Threshold of exterior door rusting away, allowing water to enter the building.

Facility Assessment Report

EMA Engineering & Consulting



MECHANICAL

Westlawn Elementary School mechanical systems consist of Carrier 2004 chilled water equipment and 2012 Carrier Dx equipment. The 2004 Carrier air cooled chiller and chilled water air handler unit is in poor condition. It is recommended that the chilled water equipment/system be replaced during the next renovation. The 2012 Dx equipment is in good condition and has approximately 5-10 years of useful life remaining.



2012 Carrier Condensing Unit



2012 Carrier Condensing Unit



2004 Carrier Air Cooled Chiller



2004 Carrier Chilled Water AHU

ELECTRICAL / LIGHTING

The main switch boards, panels, transformers, etc. are in good to moderate condition. The main switch gear and many of the panels were replaced in 2000. There are some older ITE, GE and Square D panels located in some areas of the campus. Replacing the older panels throughout the campus is recommended during the next renovation. The interior lighting was observed to be in good working condition. Upgrading the interior lighting to LED with a modern controls system during the next renovation is recommended. The exterior lighting on the site is recommended to be upgraded to LED to reduce energy usage.



3000 Amp 120/280 MSB – Cutler Hammer 2000



Typical Cutler Hammer Panel



1984 ITE Panel



Square D Panel



GE Electrical Panel

PLUMBING

The plumbing systems and fixtures throughout the campus are in fair condition. The campus has bottle filler electric water coolers located in select locations. The domestic hot water is provided by Rheem instantaneous water heaters that were installed in 2017.



Typical Lavatory Sinks



Typical Water Closet



FIRE ALARM / FIRE SPRINKLER

The building fire alarm system was installed in 2017 and appears in good working condition. The facility is not equipped with a fire sprinkler protection system. It is recommended that a sprinkler system be installed during the next renovation.



Fire Alarm Panel



Typical FA Pull Station

Civil Facility Assessment Report

MTG Engineers & Surveyors



WESTLAWN ELEMENTARY

The above campus was visually inspected regarding the general site conditions. The main areas that were observed were: general pavement conditions, site drainage and site utilities.

SITE PAVING

Overall, the primary site's general pavement is in good condition. The only concern is the narrow driving lane for visitor parking at the main front entrance as shown in Figure 8 of Appendix 1.

SITE DRAINAGE

The primary site exhibits a few minor drainage issues. The most concerning drainage issue is that as shown in Figure 10 of the appendix. The area shown in Figure 10 is flat and eroded, to minimize the potential erosion it would be necessary to backfill and create a drainage pathway to the west.

SITE UTILITIES

No known site utility issues upon inspection.

SITE SECURITY

No known security issues upon inspection.

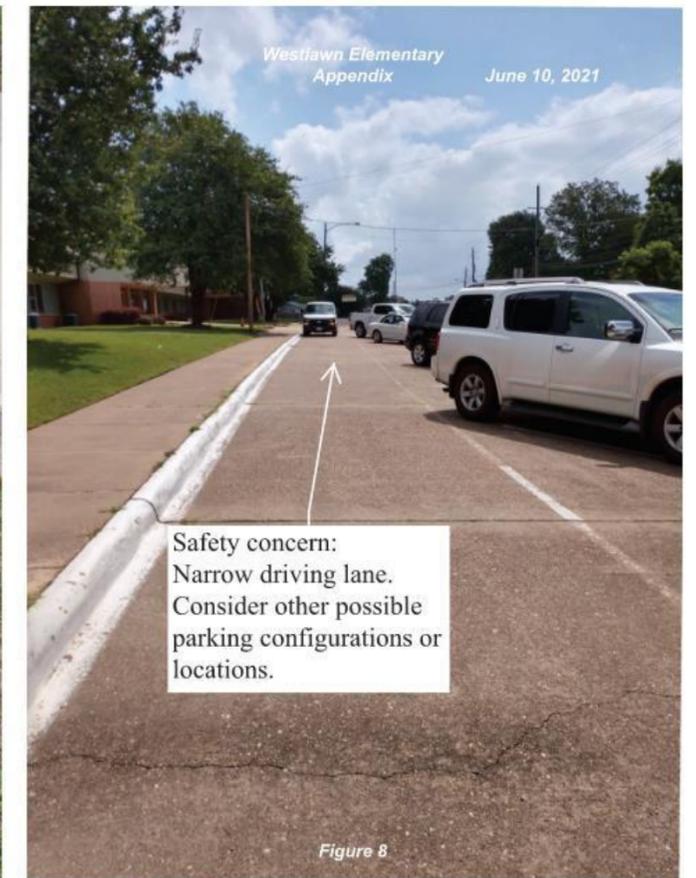
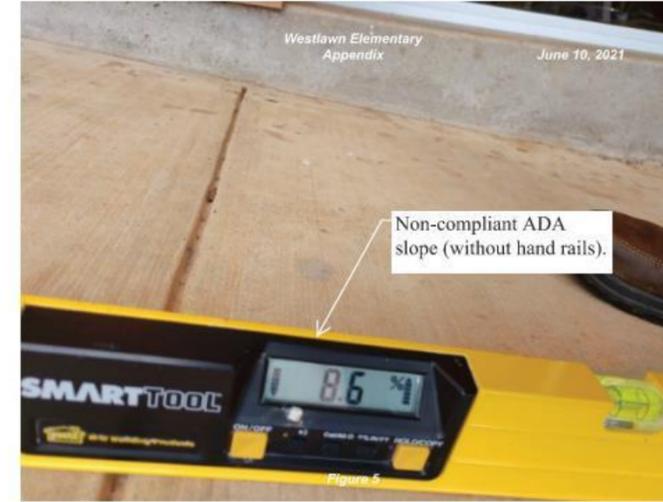
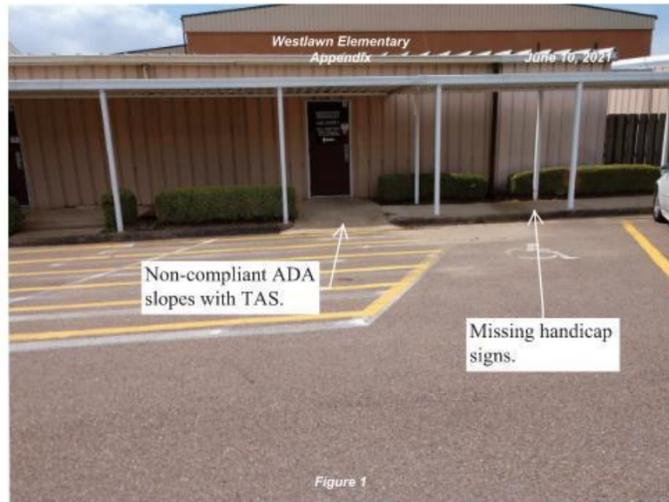
SUMMARY

In conclusion, one major area to update throughout this site is the ADA ramps. All ramps area non-compliant with TAS. Site drainage should be corrected and be monitored to insure positive drainage away from buildings along with erosion areas.

Westlawn Elementary - Location Map
410 Westlawn Drive
(See Appendix 1 for corresponding images)



APPENDIX 1



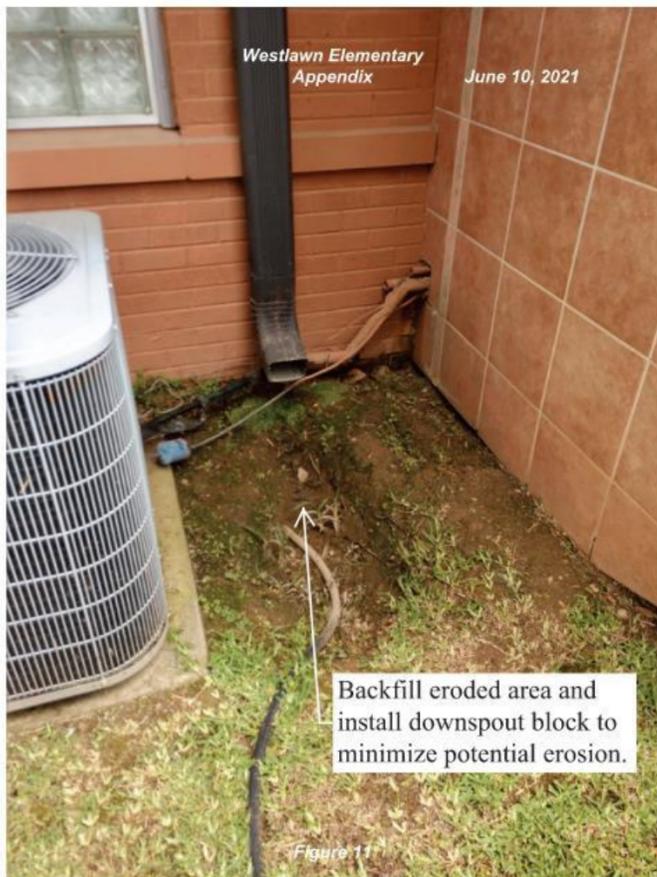
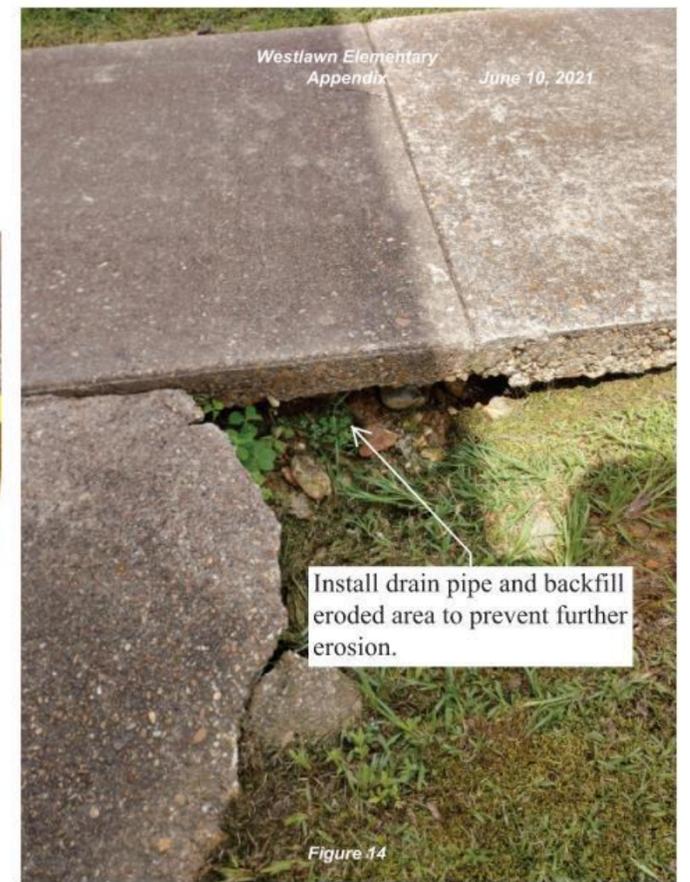
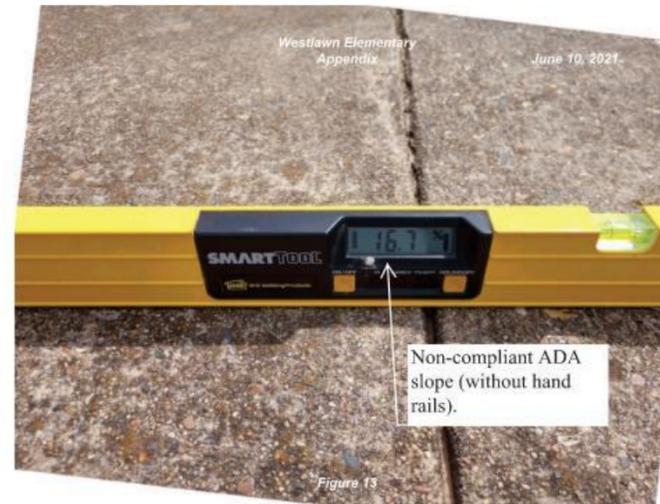




Figure 17

Site Scoring Matrix

Building Element	Type/Material	Condition	Description
On-Site Utilities & Drainage			
Site Drainage / Erosion Control		Fair	Minor drainage issues. Ref. civil report for one significant area.
Storm Sewer Line		Poor	Underground storm sewer not present.
Sanitary Sewer Line		Good	No known issues
Water Supply Line / Sprinkler Supply Line		Good	No known issues
Gas Line		Fair	No known issues
Electric Service Line / Phone Line		Good	No known issues
Exterior Concrete Pads & Pavement-Around building, mech. yards		Fair	Minor cracking
Grease Trap		Good	No known issues
Site Parking & Drives			
Pavement - Roads / Drives / Parking Areas		Fair	Site paving in generally good condition. Entry drive lane is narrow. Consider other possible parking configurations or locations. Drainage flume bisects concrete play area.
Fire Lanes		Good	Fire lane paint striping in good condition. Clean and clear of cracks, heaving, potholes. Joint Sealer is properly in place.
Striping - Parking lot and fire lane		Fair	Striping is faded in some areas.
Curbs		Fair	Minor to moderate signs of age and deterioration, no major damage.
Site Lighting			
Site Lighting		Fair	Very few fixtures have minor damage or are not working. Lighting is adequate for security.
Site Security			
Security Cameras	How many cameras?		
Chain Link Fencing / Gates		Fair	Little to no damage to material, poles & gates. Some signs of age.
Misc. Structures			
Site Walls - Retaining / Screen	Material:	N/A	0
Dumpster Service Area		N/A	No dumpster screening present.
Site Signage - Directional / Handicapped		Poor	Handicap parking signs not present. Access aisles not striped in portions.
Misc. Site work / Site Structures		Poor	Portable buildings are in poor condition. East portable houses district IT department. Playground is in good condition.
Circulation			
Sidewalks		Fair	Erosion present under sidewalks, causing cracking. Sidewalks missing at some exits.
Stairs		Fair	Some cracking. Joint sealant missing.
Ramps		Fair	Erosion present under sidewalks, causing cracking.
ADA Compliance / Accessibility			
Compliant Sidewalks/Curbs		Poor	Sidewalks exceed maximum running and cross slopes.
Compliant Ramps & Handrails		Poor	Ramp slope is greater than allowable. Handrails not present. Landings at entries exceed max slope. Handrails not compliant at stairs.

Scored Categories 21

Good	5	Aggregate Score: 67
Fair	11	
Poor	5	
N/A	2	

Principal Interview

School serves grades 3-5.
325 student population (375 enrollment prior to COVID)
Very mobile student and staff population (staff turnover as well as student turnover).
High need campus. Low social-economic population.

Rooms too small in some areas.
Art / music room combined
Technology room
Would love to have a SciTech Lab
No science lab – for 5th grade
Library is large enough but needs updating.

Additional restroom area desired. Not enough stalls in existing and not enough locations. Restrooms all need upkeep/refresh. Short water stations – touchless bottle fillers. Need more in building.
Plumbing issues – not enough water pressure and toilets issues. Distinct smell in teachers lounge.

TTIPS grant provided summer camps, they are now coming off the grant, which they have gotten used to. Not able to do summer programming this year. Grant is over, so some things going away – resources. Student Interest Clubs - would like to do that again. Family Engagement specialist on campus – community engagement. Literacy, math and Leader in Me program offered. Would like to have more project based hands-on and outdoor learning opportunities.

Gym is original – detached from building with no awning and minimal storage. 2nd floor has been sealed off, inaccessible except for storage. Cafeteria and kitchen renovated 2 years and in great condition. Stage is also original in cafeteria with original curtains. Flooring in poor condition in some areas – teacher's lounge and IDF closet in particular. Rodents get in through open roof vents.

Front parking just for admin and visitors. Parents pull up and park on the curb and block cars.
Church provides overflow parking on an everyday basis. Not enough parking.

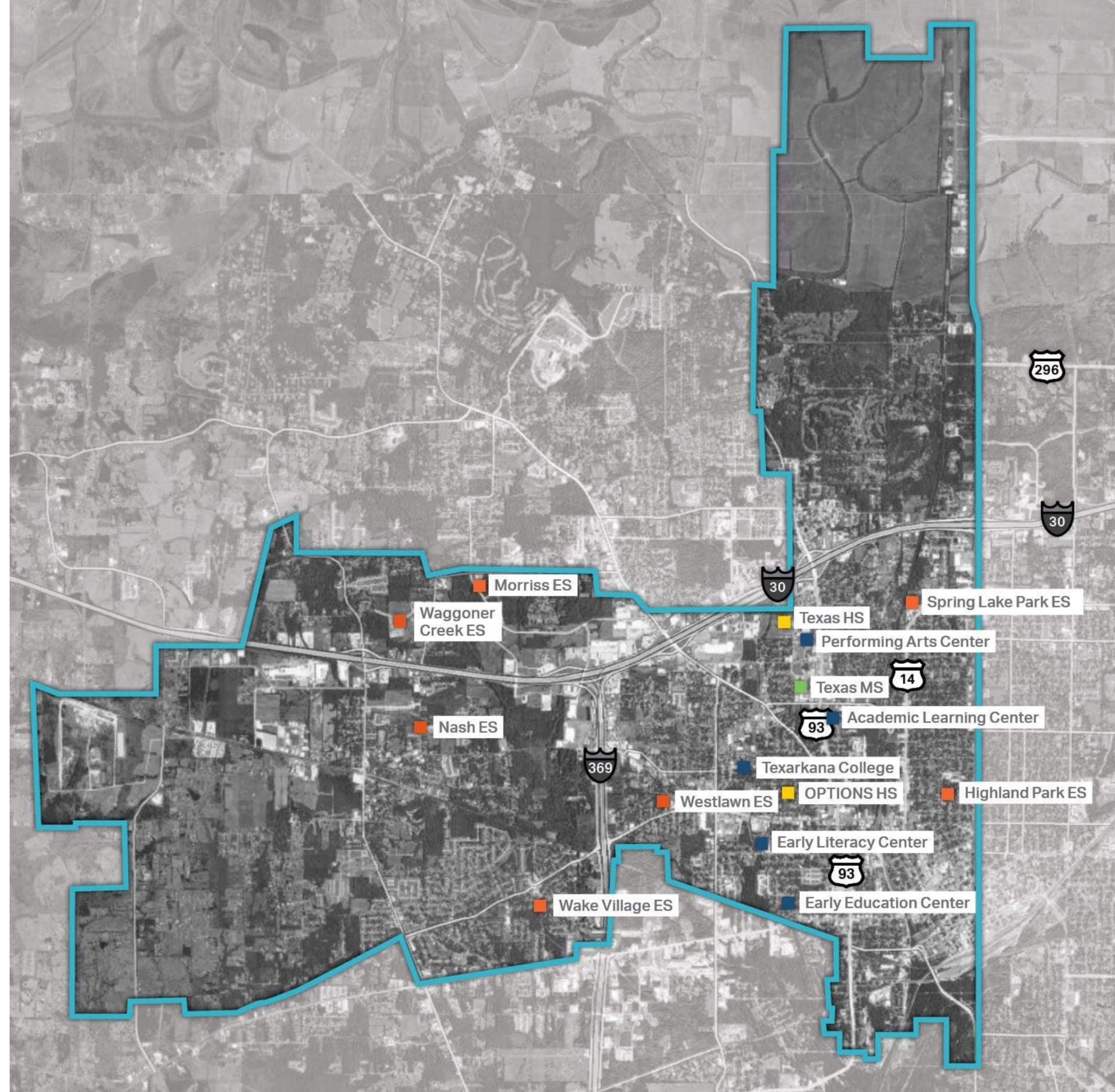
No route from back parking to front door. No sidewalk.
No sidewalk on Westlawn Drive or around school.

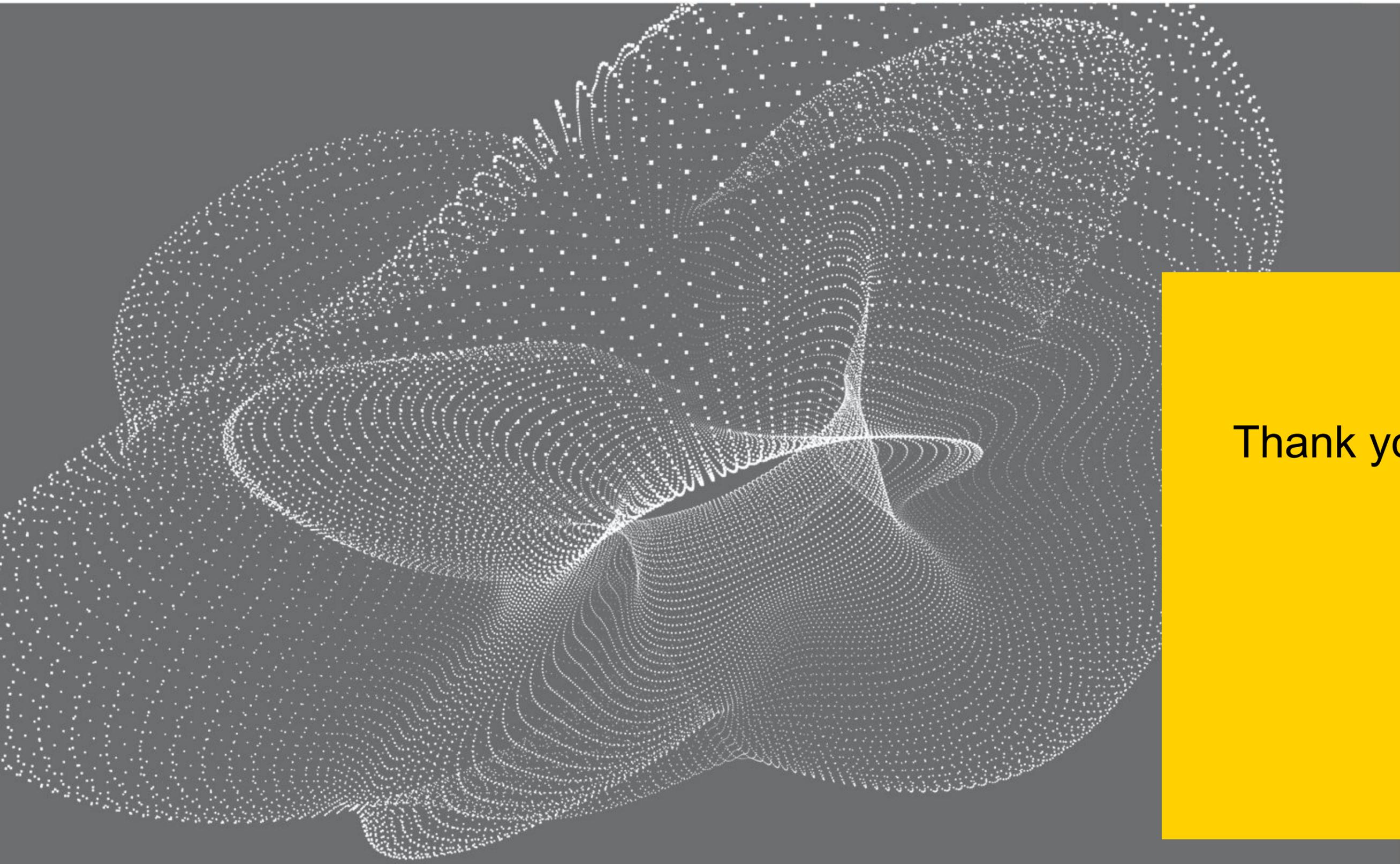
Basketball courts need updating and picnic tables needed. Courtyard refresh needed.

Portables:
1 was ISS, currently dyslexia offices
1 was district IT
More portables used for IT.
Supposed to get an awning from gym to portable.

Next Steps

- Form a Long Range Planning Committee to analyze the findings.
- Prioritize the needs based on community input and alignment with Strategic Plan.
- Develop cost estimates to address needs.
- Evaluate funding sources.





Thank you.