

**AMITY REGIONAL SCHOOL DISTRICT NO. 5**

*Bethany Orange Woodbridge  
25 Newton Road, Woodbridge, Connecticut 06525  
(203) 397-4811*

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*Dr. Jennifer P. Byars  
Superintendent of Schools*

**AMITY REGIONAL BOARD OF EDUCATION FACILITIES COMMITTEE MEETING AGENDA**

***May 22, 2023 at 5:30 p.m.  
25 Newton Road, Woodbridge, CT***

**COMMITTEE MEMBERS PRESENT**

Chairperson Patrick Reed, Christopher Browe, Carla Eichler

**COMMITTEE MEMBERS ABSENT**

Sean Hartshorn

**STAFF MEMBERS IN ATTENDANCE**

Theresa Lumas, Stephen Martoni

**0. Call to Order**

Chairperson Reed called the meeting to order at 5:38 p.m.

**1. Discussion and Possible Action on Minutes**

- a. Facilities Committee Meeting – December 15, 2022

*MOTION by Carla Eichler to table the approval of the minutes of the December 15, 2022 Facilities Committee meeting.*

*VOTES IN FAVOR, 3 (UNANIMOUS)*

**2. Public Comment**

Orange Parent Chris Browe commented on parking spaces assignments do not seem to be enforced now that many seniors are not coming to campus daily. The remaining seniors have lost the benefit of their assigned spot which they paid for the year.

**3. Presentation by Jeremy Cogdill, The Garland Company, and Possible Action on Middle School Roof Projects LINKED HERE: [Garland proposal.pdf](#)**

*MOTION by Carla Eichler to move to recommend the Amity Finance Committee and the Board of Education approve the award of contracts for the middle school roof projects to Garland, and designation of additional funds for roof repairs and gym wall systems and the transfer to cover the additional funds*

*VOTES IN FAVOR, 3 (UNANIMOUS)*

**4. Discussion on Architectural Services and Project Timeline for High School Media Center Remodel**

**PLEASE POST**

Presented by Amity Region 5 Director of Finance Theresa Lumas

**PLEASE POST**

**5. Track Condition Update**

Presented by Amity Region 5 Director of Facilities Stephen Martoni

Presented by Amity Region 5 Director of Finance Theresa Lumas

**6. Lecture Hall Update**

Presented by Amity Region 5 Director of Facilities Stephen Martoni

**7. Update Town Planning & Zoning Ordinance- Stadium and Parking Lot Lights Usage**

Presented by Amity Region 5 Director of Facilities Stephen Martoni

Presented by Amity Region 5 Director of Finance Theresa Lumas

**8. Discussion and Possible Action on recommendation of HVAC Grant Designation**

Presented by Amity Region 5 Director of Finance Theresa Lumas

*MOTION by Carla Eichler on recommendation of HVAC Grant Designation*

*VOTES IN FAVOR, 2 (Reed, Eichler)*

*ABSTAIN, 1 (Browe)*

*MOTION CARRIES*

**9. Review of Summer Projects**

**10. Next meeting is August 14, 2023**

**11. Adjourn**

Motion to adjourn by Carla Eichler, all in favor, at 6:36 p.m.

**AMITY REGIONAL SCHOOL DISTRICT NO. 5**  
**Bethany Orange Woodbridge**  
**25 Newton Road, Woodbridge Connecticut 06525**



To: Jennifer P. Byars, Superintendent of Schools

From: Theresa Lumas, Director of Finance & Administration

Date: May 22, 2023

Re: Presentation and Possible Action on Middle Gym Roof Projects

Mr. Martoni, the Director of Facilities, has been working with a State approved roof contractor to utilize the OMNIA consortium bid process and prepare the scope of the middle school gym roof projects. Mr. Martoni is recommending that we award the Amity Middle School Bethany gym roof project to Garland (subcontractors: Tech Roofing Systems and Gold Seal Roofing) as low bidder at \$397,643 for gym roof repair and gym wall system. Secondly, at Amity Middle School Orange, award the gym roof project to Garland (subcontractors: Tech Roofing Services and JHS Restoration as low bidder at \$490,748 for gym roof repair and gym wall system.

There has been \$331,500 designated for Amity Middle School Bethany and \$382,000 designated for Amity Middle School Orange gym roof projects. The bids for the projects came in over budget and required an additional designation of funds available in the Capital Nonrecurring Account (CNR). There is \$263,267 undesignated in the CNR account. I am requesting that \$174,891 is designated to the middle gym roof projects as follows:

ITEM	ACCOUNT	TO	FROM
Amity Middle School –Bethany	00-15-0062-5715	\$ 66,143	
Amity Middle School- Orange	00-15-0063-5715	\$108,748	
Undesignated	00-15-0099-5899		\$174,891

**Amity Facilities Committee:**

***Move to recommend the Amity Finance Committee and the Board of Education approve –***

**Amity Finance Committee:**

***Move to recommend the Amity Board of Education approve –***

**Amity Board of Education:**

***Move to approve –***

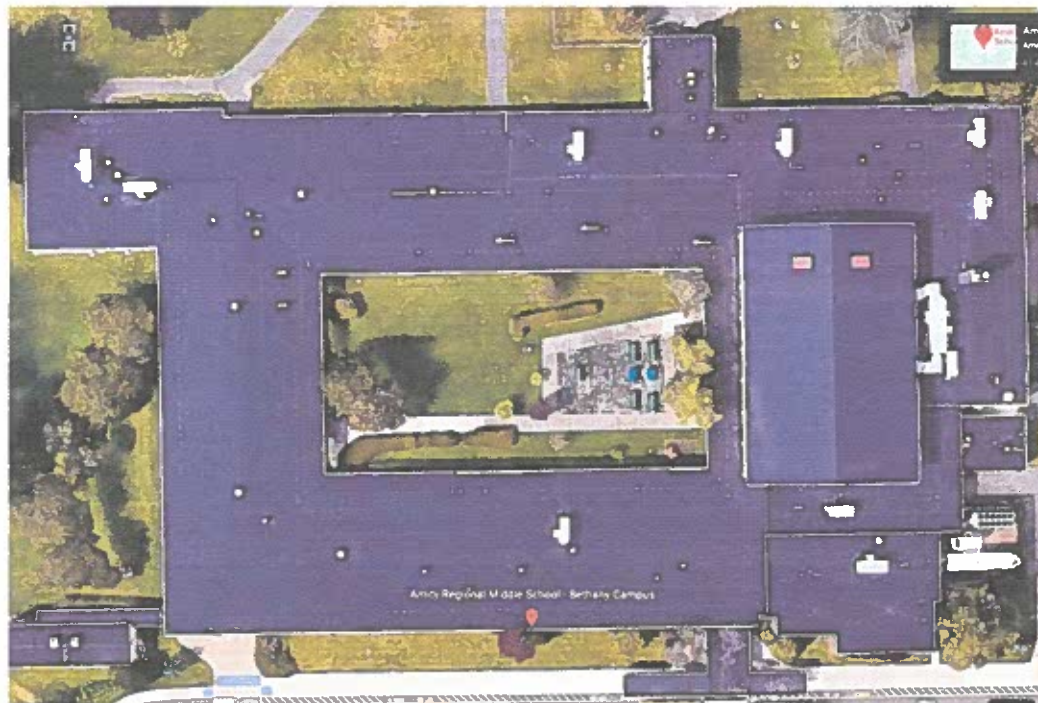
*... the award of contracts for the middle school roof projects to Garland, and designation of additional funds for roof repairs and gym wall system and the transfer to cover the additional funds.*



# Bethany Middle School

## Gym Wall - Metal Panel Project

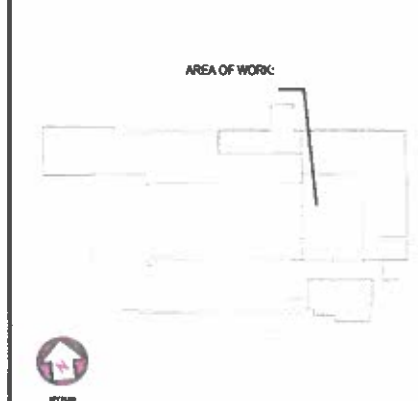
190 Luke Hill Rd, Bethany CT 06524



### LOCATION MAP




### KEY PLAN

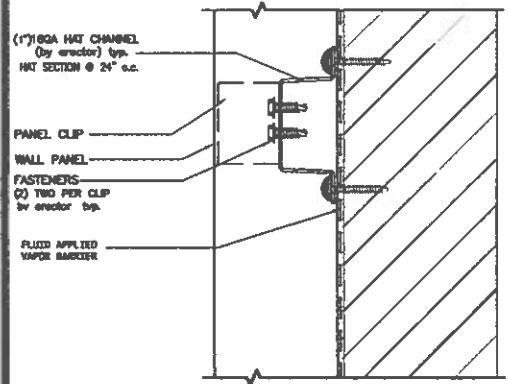



### DRAWING INDEX

- SHT 1 - COVER SHEET
- SHT 2 - PROJECT NOTES
- SHT 3 - EXTERIOR ELEVATION
- SHT 4 - EXTERIOR ELEVATION
- SHT 5 - EXTERIOR PHOTOS
- SHT 6 - DETAILS
- SHT 7 - DETAILS



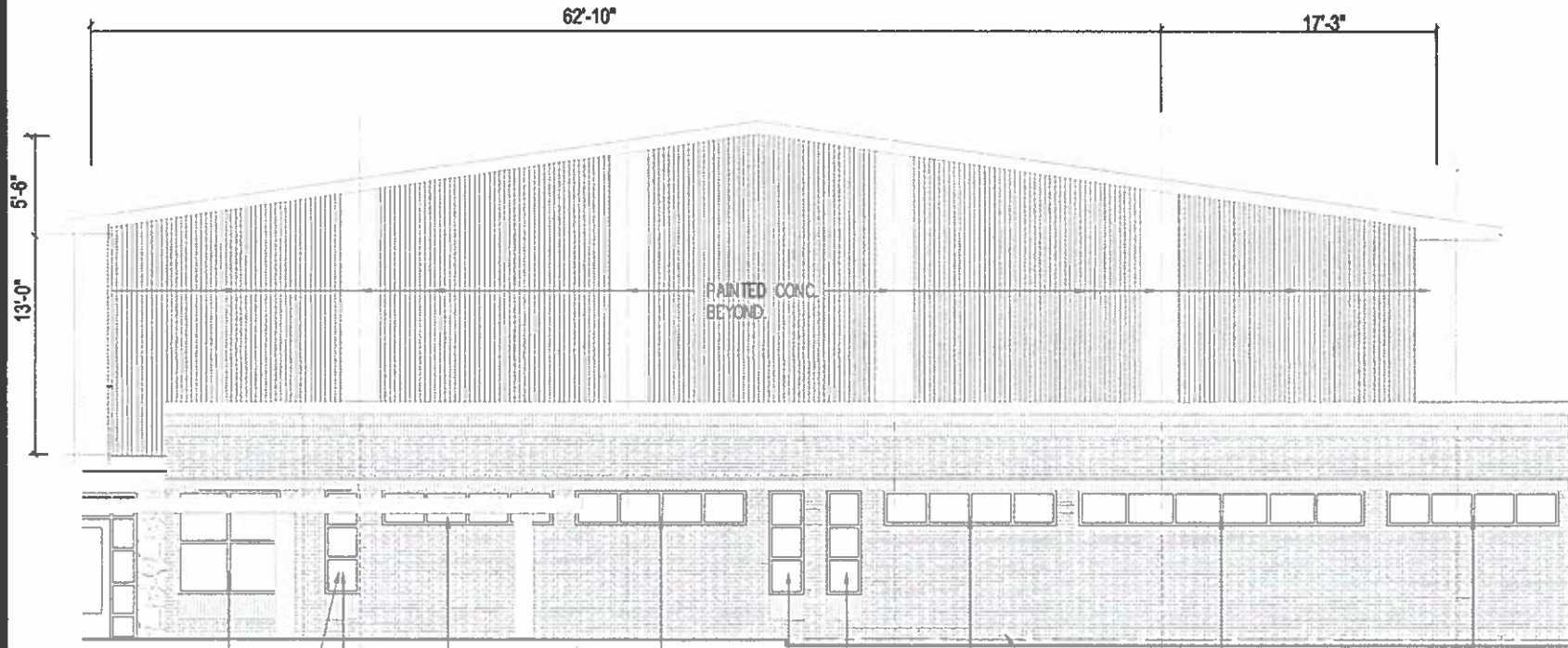
PROJECT NO.	DATE	DWG BY	CHECK
THE GARLAND COMPANY INC.			
3800 EAST 91ST STREET - CLEVELAND, OHIO 44103-2197			
PHONE (800) 321-9336 / FAX (216) 641-0633			
			
BETHANY MIDDLE SCHOOL 190 Luke Hill Road, Bethany CT 06524 AMITY REGIONAL SD #5 WALL PANEL - GYM RECLAD			

TYPICAL CROSS SECTION DETAIL	SCOPE OF WORK NOTES	DESIGN CRITERIA																		
 <p>(1") 18GA HAT CHANNEL (by erector) typ. HAT SECTION @ 24" o.c.</p> <p>PANEL CLIP</p> <p>WALL PANEL</p> <p>FASTENERS (2) TWO PER CLIP by erector typ.</p> <p>FLUID APPLIED VAPOR BARRIER</p> <p style="text-align: center; border: 1px solid black; padding: 5px;"><b>TYPICAL WALL ASSEMBLY</b></p> <p style="text-align: center; font-size: small;">MAXIMUM PANEL LENGTH AVAILABLE DUE TO MATERIAL HANDLING IS 24'-0"</p>	<p style="text-align: center;"><u>SCOPE OF WORK GENERAL:</u></p> <p><b>BETHANY GYM WALL PANEL RECLAD PROJECT-</b></p> <ol style="list-style-type: none"> <li><b>Building Prep:</b> <ol style="list-style-type: none"> <li>Pressure wash exterior concrete facade structure with high pressure, oscillating tip to remove as much of the existing loose paint material as possible.</li> <li>Scrape any areas as needed until existing paint does not come off.</li> </ol> </li> <li><b>Vapor Barrier:</b> <ol style="list-style-type: none"> <li>With 100% solid joint caulking and sealant, fill any cracks and joints within concrete substrate facade. Spray apply b. or manually apply with brush or roller manufacturers specified VR coating over all exposed facade which will receive wall panels.</li> </ol> </li> <li>Mechanically fasten vented hat channels over facade as per manufacturers shop drawings at a minimum of 24" o.c. in a horizontal pattern.</li> <li>Install new metal panel system affixed to the vented hat channels per spec and drawings.</li> <li>Contractor is responsible for securing materials other than Garland and supplying Garland DBS with material qty's required for completion of proposed scope.</li> <li>Contractor to supply 3-year workmanship warranty.</li> <li>Contractor responsible for obtaining any building permit.</li> <li>Clean up and properly dispose of all debris and repair any damage done to grounds, building or roof top.</li> </ol>	<p><b>DESIGN CRITERIA</b></p> <p><u>WIND UPLIFT REQUIREMENTS</u></p> <table style="width: 100%;"> <tr> <td>1. WIND SPEED:</td> <td>125 MPH</td> </tr> <tr> <td>2. BUILDING TYPE:</td> <td>ENCLOSED</td> </tr> <tr> <td>3. EXPOSURE CATEGORY:</td> <td>II</td> </tr> <tr> <td>4. IMPORTANCE CLASS:</td> <td>II</td> </tr> <tr> <td>5. IMPORTANCE FACTOR:</td> <td>1.00</td> </tr> <tr> <td>6. DESIGN ROOF HEIGHT:</td> <td>27.5'</td> </tr> <tr> <td>7. TOPOGRAPHY FACTOR:</td> <td>1.00</td> </tr> <tr> <td>8. ROOF SLOPE:</td> <td>1/4 UNITS PER 12</td> </tr> </table> <p><u>RESULTING WIND UPLIFT PRESSURES:</u></p> <p>ZONE 1: 22.4 PSF ZONE 2: 37.6 PSF</p>	1. WIND SPEED:	125 MPH	2. BUILDING TYPE:	ENCLOSED	3. EXPOSURE CATEGORY:	II	4. IMPORTANCE CLASS:	II	5. IMPORTANCE FACTOR:	1.00	6. DESIGN ROOF HEIGHT:	27.5'	7. TOPOGRAPHY FACTOR:	1.00	8. ROOF SLOPE:	1/4 UNITS PER 12	<p style="writing-mode: vertical-rl; transform: rotate(180deg);">DATE: _____</p> <p style="writing-mode: vertical-rl; transform: rotate(180deg);">DRAWN BY: _____</p> <p style="writing-mode: vertical-rl; transform: rotate(180deg);">CHECKED BY: _____</p> <p style="writing-mode: vertical-rl; transform: rotate(180deg);">PROJECT NO: _____</p> <p style="writing-mode: vertical-rl; transform: rotate(180deg);">GARLAND REF: JEREMY COOGL</p> <p style="writing-mode: vertical-rl; transform: rotate(180deg);">REVISED: _____</p>	<p style="text-align: center;"><u>FASTENING INSTRUCTIONS</u></p> <p style="text-align: center;"><u>HAT CHANNELS IN CONCRETE:</u></p> <ul style="list-style-type: none"> <li>• DRILL CLEAN USING A HAMMER DRILL, DRILL HOLE 1/4" DEEPER THAN ANCHOR EMBEDMENT.</li> <li>• HAMMERING FUNCTION SHOULD BE ON WHEN DRILLING HOLE FOR ANCHOR.</li> <li>• USING A BLOWOUT BULB, COMPRESSED AIR OR VACUUM, REMOVE DUST FROM HOLE.</li> <li>• DRIVE ANCHOR USING A HAMMER DRILL WITH NUT DRIVER, STAR DRIVE OR PHILLIPS BIT UNTIL FULLY SEATED.</li> <li>• HAMMERING FUNCTION SHOULD BE OFF WHEN SETTING ANCHOR.</li> </ul> <p style="text-align: center;"><u>PANEL CLIPS INTO HAT CHANNELS:</u></p> <ul style="list-style-type: none"> <li>• ALL PANEL CLIPS ARE TO BE FASTENED USING: (2) TWO #13-14 DP1, CONCEALOR TYPE</li> <li>• SELF-TAPPING FASTENERS WITH AN ULTIMATE PULLOUT VALUE OF: 573# - 18GA GALV. STEEL</li> </ul> <p><b>R-MER WALL 1.5 PANEL NOTES:</b></p> <ul style="list-style-type: none"> <li>• ALL HAT CHANNELS ARE TO BE FASTENED USING: (1) ONE #1/4" TAPCON OR EQUIVILANT WITH MIN 2" EMBEDMENT EVERY 18" O.C. OFFSET TOP AND BOTTOM</li> </ul> <p style="text-align: center;"><u>FINISH SPECIFICATIONS:</u></p> <p style="text-align: center;"><b>WALL PANEL: R-MER WALL</b></p> <p><b>MATERIAL: .040 ALUM</b></p> <p><b>FINISH: FLUOROCARBON-70% RESIN (Kynar 500)</b></p> <p><b>COLOR: STANDARD "TBD"</b></p>
1. WIND SPEED:	125 MPH																			
2. BUILDING TYPE:	ENCLOSED																			
3. EXPOSURE CATEGORY:	II																			
4. IMPORTANCE CLASS:	II																			
5. IMPORTANCE FACTOR:	1.00																			
6. DESIGN ROOF HEIGHT:	27.5'																			
7. TOPOGRAPHY FACTOR:	1.00																			
8. ROOF SLOPE:	1/4 UNITS PER 12																			
<p><b>GENERAL NOTES</b></p> <p><u>NOTES</u></p> <ol style="list-style-type: none"> <li>STORE AND HANDLE ALL MATERIAL IN A DRY, WELL-VENTILATED, WEATHER-TITE PLACE. STORE ROLLS OF FELT AND OTHER SHEET MATERIALS ON RAISED SURFACE. STAND ALL ROLL MATERIALS ON END. COVER ROLL GOODS WITH A CANVAS TARPULIN OR OTHER BREATHABLE MATERIAL (NOT POLYETHYLENE).</li> <li>DO NOT LEAVE UNUSED MATERIALS ON THE ROOF WHEN ROOFING WORK IS NOT IN PROGRESS UNLESS PROTECTED FROM WEATHER AND OTHER MOISTURE SOURCES.</li> <li>IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SECURE ALL MATERIAL AND EQUIPMENT ON THE JOB SITE. IF ANY MATERIAL OR EQUIPMENT IS STORED ON THE ROOF, THE CONTRACTOR MUST MAKE SURE THAT THE INTEGRITY OF THE DECK IS NOT COMPROMISED AT ANY TIME.</li> <li>DO NOT APPLY ROOFING INSULATION OR MEMBRANE TO DAMP DECK SURFACE.</li> <li>FULLY COMPLETE ALL MODIFIED STIMULOUS MEMBRANE ROOFING FIELD ASSEMBLY WORK EACH DAY. PHASED CONSTRUCTION WILL NOT BE ACCEPTED.</li> </ol> <p><u>CUSTOMER NOTE:</u></p> <ol style="list-style-type: none"> <li>ALL OF GARLAND'S SHOP FABRICATED MATERIAL WILL BE MANUFACTURED TO THE DIMENSIONS SHOWN, UNLESS OTHERWISE NOTED.</li> <li>IT IS ESSENTIAL THAT ANY NECESSARY CHANGES, NOTATIONS OR REQUESTED INFORMATION BE CLEARLY NOTED ON THE SHOP DRAWINGS.</li> <li>NO MATERIAL WILL BE CONSIDERED RELEASED FOR FABRICATION UNTIL ALL PERTINENT INFORMATION (i.e. COLOR, DIMENSIONS, MATERIAL CONFIGURATION) HAS BEEN RECEIVED.</li> </ol> <p><u>GENERAL NOTES:</u></p> <ol style="list-style-type: none"> <li>IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH ALL DETAILS INVOLVED IN THE ROOFING CONTRACT.</li> <li>ALL DRAWINGS ARE GRAPHIC REPRESENTATION OF APPROXIMATE LOCATION OF EXISTING AND NEW MATERIALS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK.</li> <li>THE CONTRACTOR TO PROTECT ALL ADJACENT SURFACES NOT SCHEDULED FOR WORK AND TO REPAIR ANY DAMAGED AREAS AS A RESULT OF CONTRACTOR WORK AT NO ADDITIONAL COST TO THE OWNER.</li> <li>THE ROOFING CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN WATER TIGHTNESS AND PROVIDE PROTECTION AT ANY WALL OPENINGS IN THE ROOF LEFT AT THE END OF EACH CONSTRUCTION DAY.</li> <li>CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, CONDITIONS, AND QUANTITIES.</li> </ol>	<p style="text-align: center;"><u>MATERIAL NOTE:</u></p> <p>SOME OIL-CANNING OF WALL PANELS IS COMMON IN THE INDUSTRY, AND IS NOT CONSIDERED CAUSE FOR PRODUCT REJECTION.</p> <p style="text-align: center;"><u>STORAGE NOTE:</u></p> <p>ALWAYS STORE ALL COMPONENTS IN A CLEAN, DRY STORAGE AREA. PREVENT CONTACT WITH CORROSIVE OR STAINING MATERIALS.</p> <p style="text-align: center;"><u>SEALANT NOTE:</u></p> <p>USE A CONTINUOUS BEAD OF HIGH QUALITY, NON-HARDENING SEALANT COMPATIBLE WITH KYNAR 500® FINISHES (SEALANT BY ERECTOR)</p>	<p><b>ERECTOR NOTE:</b></p> <ul style="list-style-type: none"> <li>• Aluminum panels: torch cutting is not allowed. Shearing action cuts are recommended for aluminum. Saw cutting is permitted, however, care must be taken to prevent burning paint finish, edge burrs and saw debris being deposited on finished product.</li> <li>• All related panel trim to have field transitions and field fabricated miters (ie: transition between jamb to sill trim or 90° corners for sill trim).</li> <li>• All continuous lengths of panel trim to be notched, lapped and sealed 3" minimum at lap splices (typical).</li> <li>• Panel trim's thermal movement occurs at the lap splice. Do not anchor trim at lap splice</li> </ul>	<div style="text-align: center;">  <p><b>AMITY</b></p> </div>																	
<p style="writing-mode: vertical-rl; transform: rotate(180deg);">THE GARLAND COMPANY INC.</p> <p style="writing-mode: vertical-rl; transform: rotate(180deg);">1800 EAST 91st STREET - CLEVELAND, OHIO 44102-2187</p> <p style="writing-mode: vertical-rl; transform: rotate(180deg);">PHONE (800) 321-6336 / FAX (216) 641-0833</p>																				



# Bethany Middle School

NOTE:  
CONTRACTOR SHALL FIELD VERIFY ALL  
DIMENSIONS, CONDITIONS, AND QUANTITIES.



ELEVATION PLAN - BETHANY MS FRONT

ARCH. REF.:

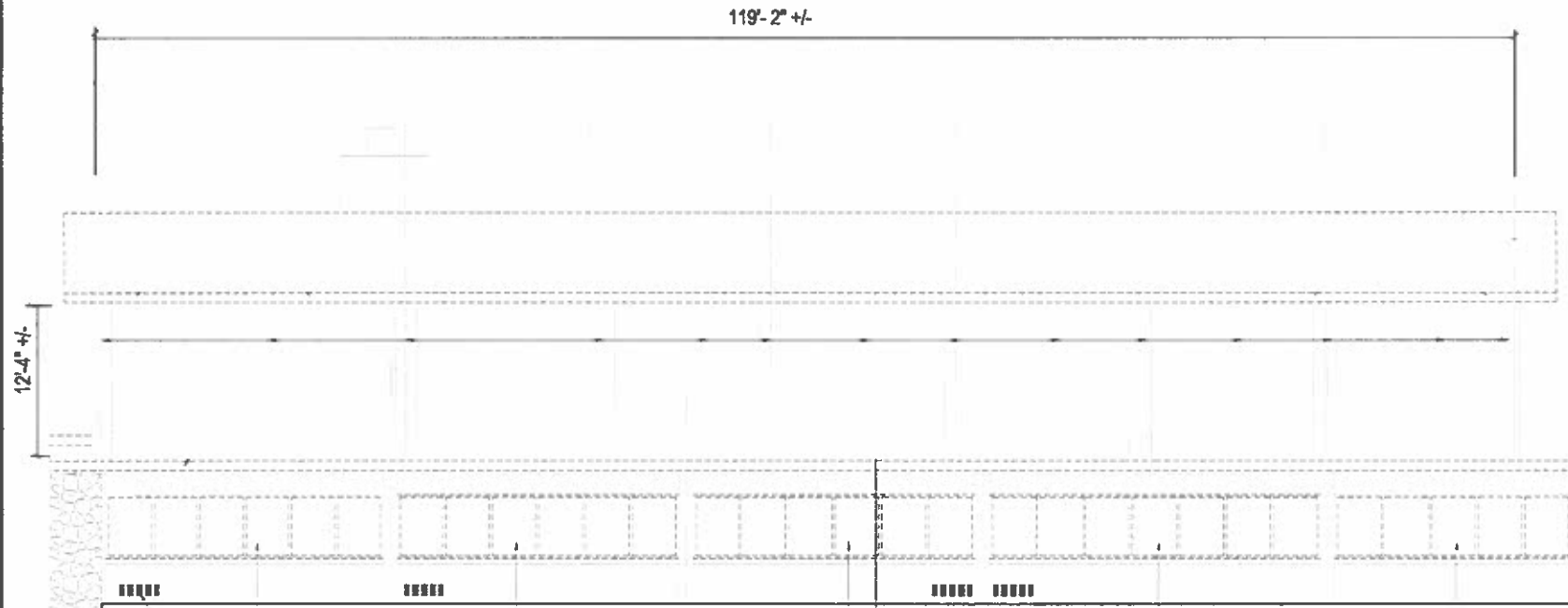
ALL WALL DIMENSIONS MUST BE FIELD VERIFIED

DATE:	DWG BY:	CHECK:
PROJECT NO:	DESIGNED BY:	DESIGNED BY:
<b>BETHANY MIDDLE SCHOOL</b> 190 Luke Hl Road, Bethany CT 06824 AMITY REGIONAL SD #5 WALL PANEL - GYM RECLAD		
<b>THE GARLAND COMPANY INC.</b> 3800 EAST 91st STREET - CLEVELAND, OHIO 44105-2197 PHONE (800) 321-9338 / FAX (216) 641-0633		



# Bethany Middle School

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CONTRACTOR SHALL FIELD VERIFY ALL  
DIMENSIONS, CONDITIONS, AND QUANTITIES.



ELEVATION PLAN - BETHANY MS COURTYARD

ARCH. REF.:

ALL WALL DIMENSIONS MUST BE FIELD VERIFIED

REVISION	OWNER REP. JERRY COLELL	PROJECT NO.	DATE	DWG BY	CHECK BY
<p><b>BETHANY MIDDLE SCHOOL</b>          100 Lulu Hill Road, Bethany CT 06824          AMITY REGIONAL SD # 5          WALL PANEL - GYM RECLAD</p>					
<p><b>THE GARLAND COMPANY INC.</b>          2000 EAST 91st STREET - CLEVELAND, OHIO 44105-2197          PHONE (800) 321-9336 / FAX (216) 641-0833</p>					







1 EXTERIOR PHOTO - FRONT VIEW  
SCALE: N.T.S.



2 EXTERIOR PHOTO - HVAC DUCT - SIDE VIEW  
SCALE: N.T.S.



3 EXTERIOR PHOTO - COURTYARD SIDE VIEW  
SCALE: N.T.S.



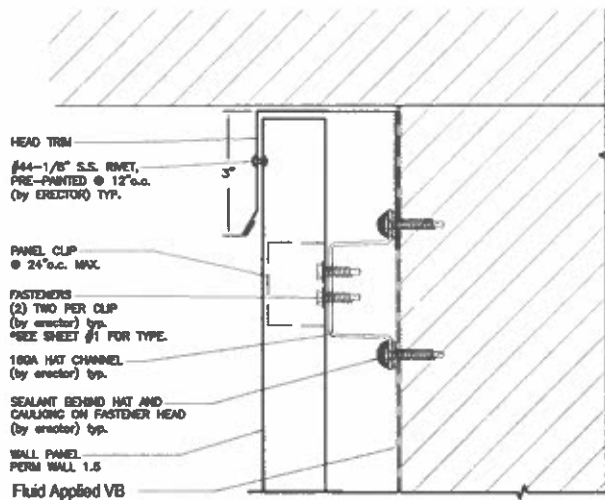
4 EXTERIOR PHOTO - PILLER SURFACE  
SCALE: N.T.S.



5 EXTERIOR PHOTO - FRONT VIEW BETHANY MIDDLE SCHOOL  
SCALE: N.T.S.

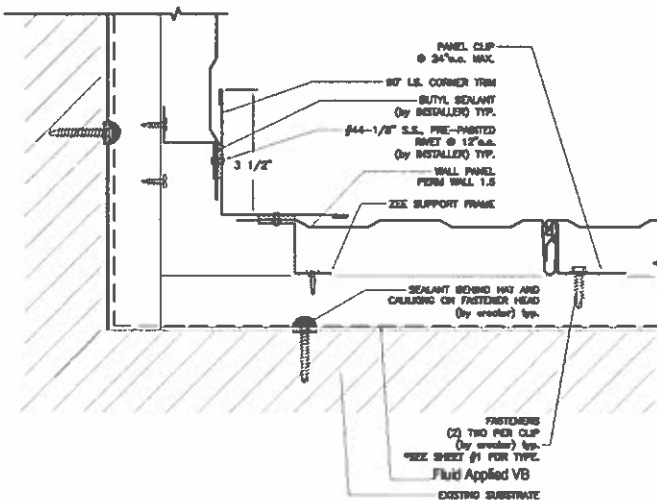
PROJECT NO.	DATE	DWG BY:	CHECK BY:
<p><b>THE GARLAND COMPANY INC.</b>          3000 EAST 91st STREET - CLEVELAND, OHIO 44103-2197          PHONE (800) 321-9336 / FAX (216) 641-0633</p>			
<p><b>BETHANY MIDDLE SCHOOL</b>          100 Linda Hill Road, Bethany CT 06804          AMITY REGIONAL SD #5          WALL PANEL - GYM/RECLAD</p>			
<p>REVISION</p>			





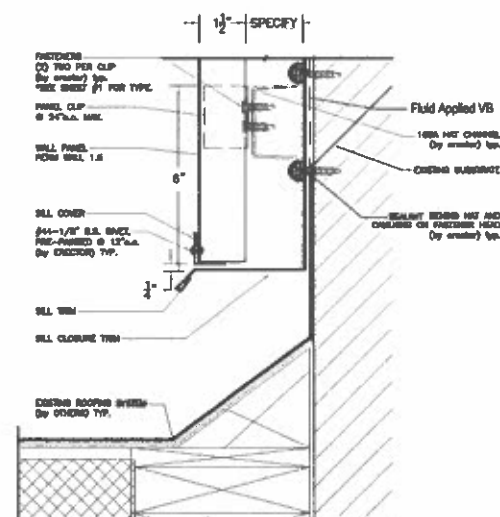
1 WALL HEAD TRANSITION DETAIL

SCALE: N.T.S.



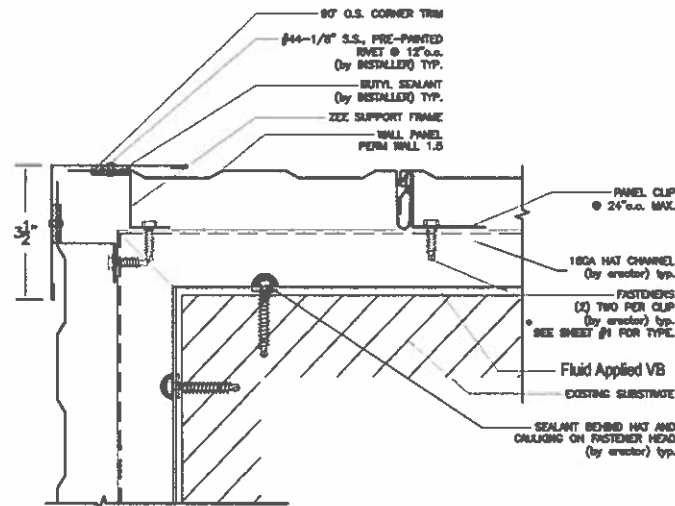
3 90° I.S. CORNER DETAIL

SCALE: N.T.S.



2 WALL SILL DETAIL

SCALE: N.T.S.



4 90° O.S. CORNER DETAIL

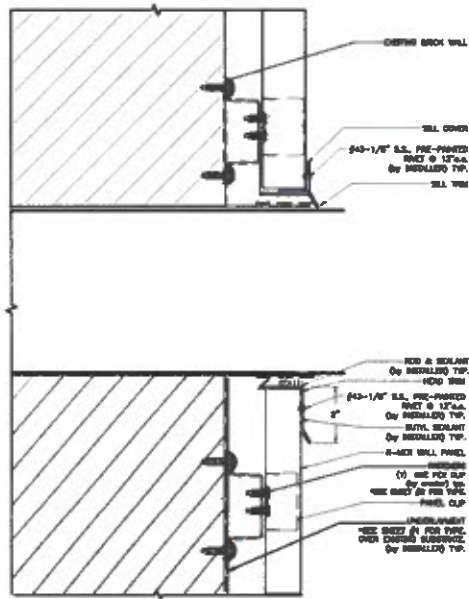
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REVISION	PROJECT NO.	DATE	DWG BY:	CHECK BY:

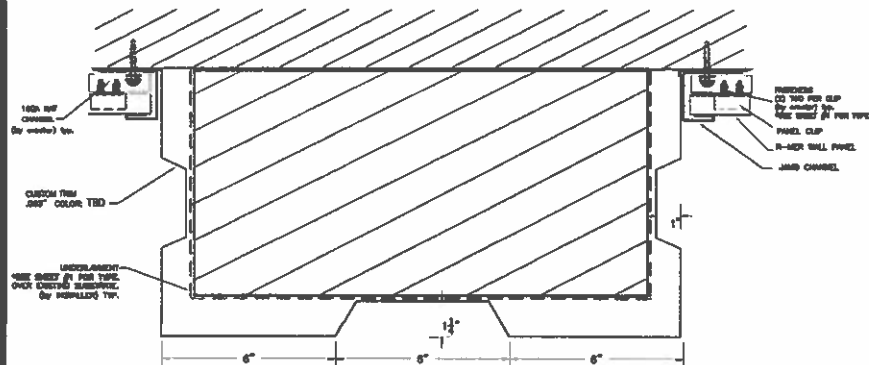
THE GARLAND COMPANY INC.  
1800 EAST 91st STREET - CLEVELAND, OHIO 44105-2187  
PHONE (800) 321-5336 / FAX (216) 641-0833

BETHANY MIDDLE SCHOOL  
190 Lutes Hill Road, Bethany CT 06804  
AMITY REGIONAL SD # 5  
WALL PANEL - GYM RECLAD

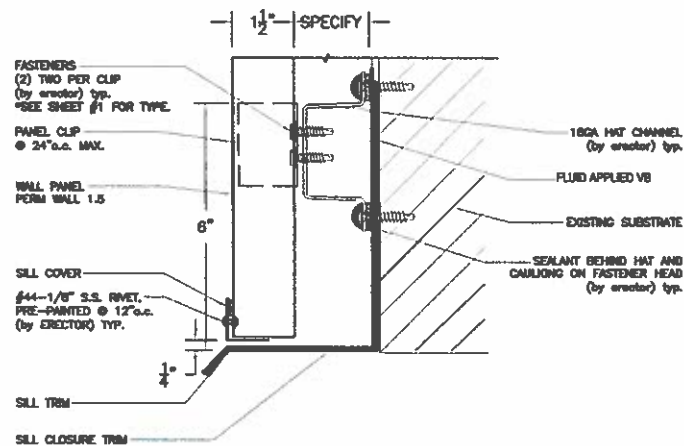




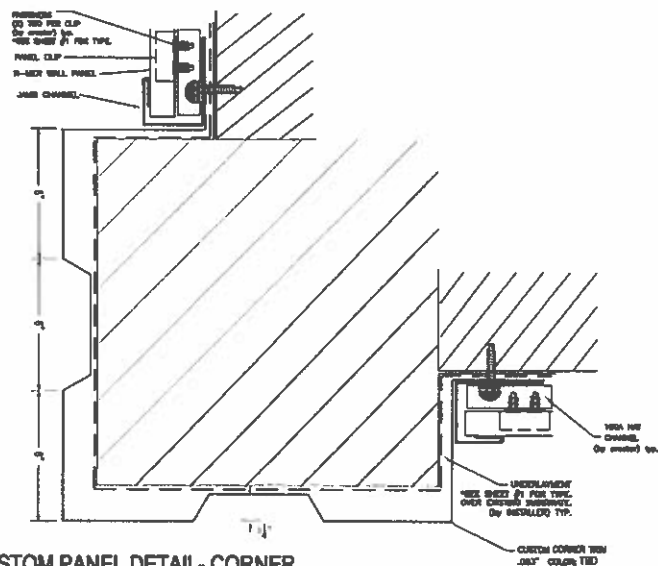
5 WALL PENETRATION- DUCTWORK DETAIL  
SCALE: N.T.S.



7 CUSTOM PANEL DETAIL- VERTICAL PILLAR  
SCALE: N.T.S.



6 WALL SILL DETAIL- PENETRATIONS  
SCALE: N.T.S.



8 CUSTOM PANEL DETAIL- CORNER  
SCALE: N.T.S.

DATE	CHK BY
PROJECT NO	DATE
<p><b>THE GARLAND COMPANY INC.</b> 3800 EAST 91st STREET - CLEVELAND, OHIO 44103-2197 PHONE (800) 371-9336 / FAX (216) 641-0633</p>	
<p><b>BETHANY MIDDLE SCHOOL</b> 190 Lido Hill Road, Bethany CT 06804 AMITY REGIONAL SD #5</p>	
<p>WALL PANEL - GYM RECLAD</p>	

**AMITY**

SHEET: 6 OF 9





## BETHANY MIDDLE SCHOOL

Gym Roof Restorations  
190 Luke Hill Rd, Bethany CT 06524



### LOCATION MAP



### KEY PLAN



### DRAWING INDEX

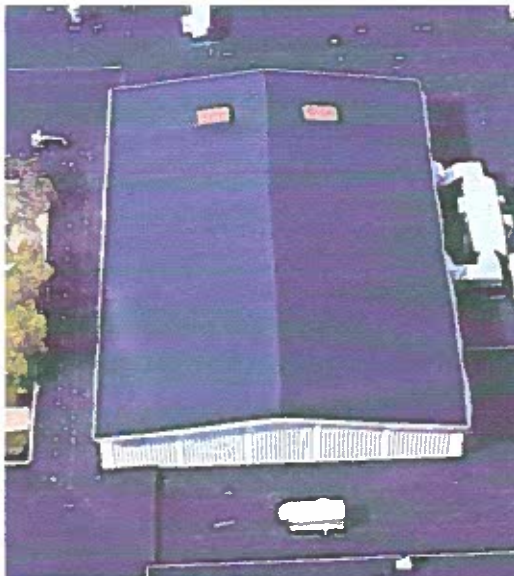
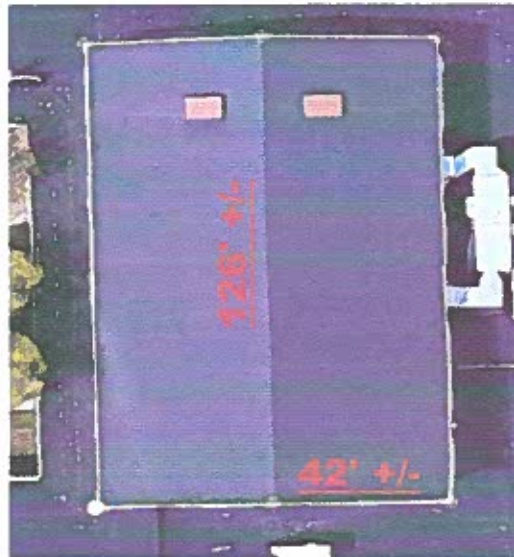
SHT 1 - COVER SHEET  
SHT 2 - ROOF OVERVIEW  
SHT 3 - DETAILS  
SHT 4 - PROJECT NOTES



CREW:	DRAWN BY:	DATE:	PROJECT NO:	OWNER/REP:	REVISION:
				JERRY COBELL	
<b>BETHANY MIDDLE SCHOOL</b> 190 Luke Hill Road, Bethany CT 06524 AMITY REGIONAL SD # 5 GYM ROOF RESTORATION					
<b>THE GARLAND COMPANY INC.</b> 3800 EAST 91st STREET - CLEVELAND, OHIO 44103-2197 PHONE (200) 371-9336 / FAX (216) 641-0633					

ALL DIMENSIONS MUST BE FIELD VERIFIED

# BETHANY MIDDLE SCHOOL GYM ROOF RESTORATION



## GENERAL NOTES:

1. STARTING WITH THE DRAINS, FLASHINGS AND PERIMETER; INSTALL NEW LIQUID APPLIED MEMBRANE ROOFING SYSTEM AND ALL ASSOCIATED COMPONENTS.
2. CONTRACTOR TO CONFIRM WEATHER MEETS MANUFACTURES INSTALLATION REQUIREMENTS PRIOR TO APPLICATION.
3. PREPARE AND CLEAN SUBSTRATE FOR NEW LIQUID ROOF ASSEMBLY PER MANUFACTURER'S RECOMMENDATIONS.
4. CONTRACTOR TO COVER AREA OF WORK THE DAY PRIOR IN ORDER TO PREVENT MOISTURE FROM COLLECTING ON SUBSTRATE SURFACE TO MEET MANUFACTURES REQUIREMENTS PRIOR TO LIQUID APPLIED ROOFING.
5. CONTRACTOR TO APPLY GRID MARKS ON MOD BIT ROOF PRIOR TO APPLYING LIQUID APPLIED COATING TO ENSURE PROPER COVERAGE RATE. CONTRACTOR TO MEASURE OUT AND MARK A SQUARE (100SQFT) AREA WITH WEATHERPROOF SPRAY PAINT.



REVISION	DATE	QDR BY	QDR BY
THE GARLAND COMPANY INC.	PROJECT NO.	DATE	QDR BY
BETHANY MIDDLE SCHOOL 100 Lytle Hill Road, Bethany CT 06824 AMITY REGIONAL SD # 5	GARLAND REP. JEREMY COOGL	DATE	QDR BY
GYM ROOF RESTORATION	DATE	QDR BY	QDR BY



THE GARLAND COMPANY INC.  
2000 EAST 91st STREET - CLEVELAND, OHIO 44105-2197  
PHONE (800) 321-5336 / FAX (216) 647-0833

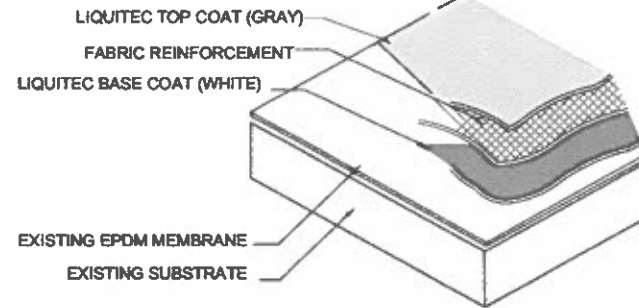
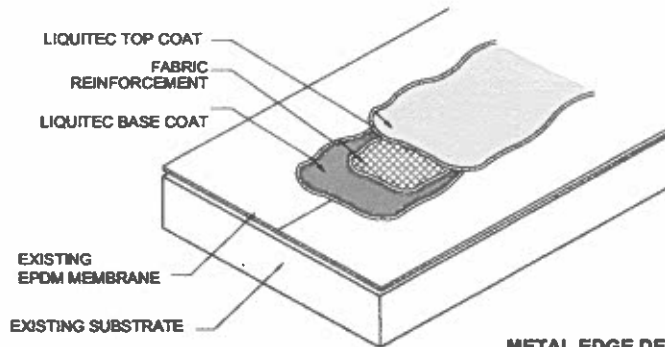


# BETHANY MIDDLE SCHOOL

## LIQUITEC DETAILS

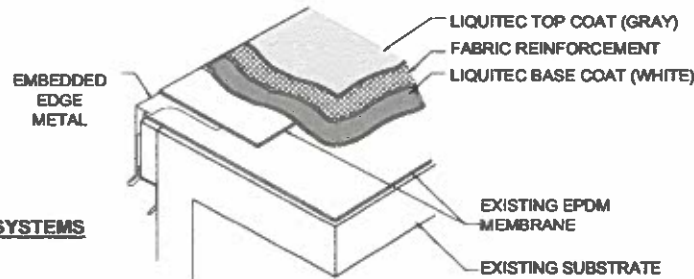
CONTRACTOR SHALL FIELD VERIFY ALL  
DIMENSIONS, CONDITIONS, AND QUANTITIES.

**FIELD SEAM DETAIL - 15 YR SYSTEM**

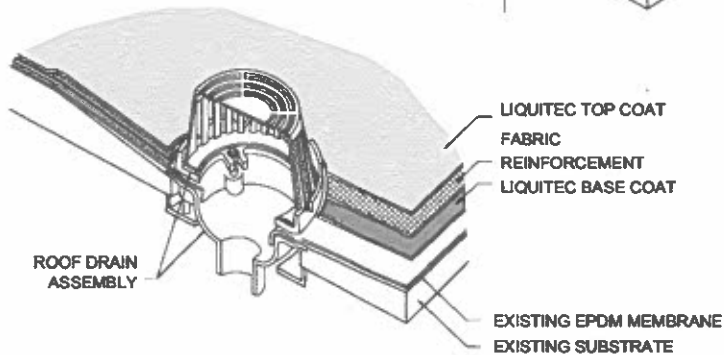


**TYPICAL FIELD SYSTEM - 20 YR**

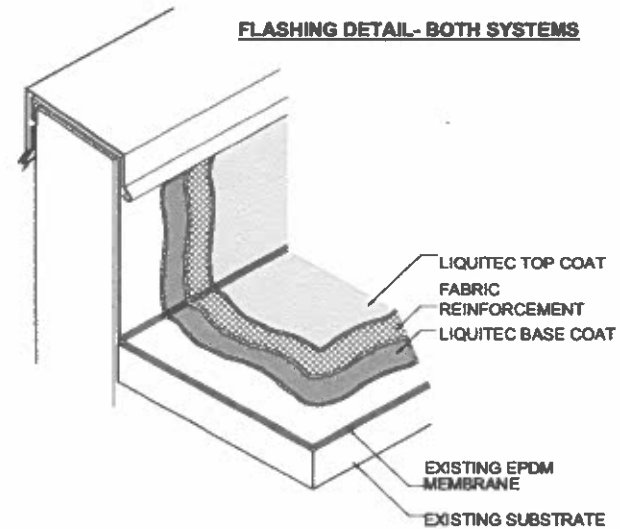
**METAL EDGE DETAIL - BOTH SYSTEMS**





**DRAIN DETAIL - BOTH SYSTEMS**



**FLASHING DETAIL - BOTH SYSTEMS**



THE GARLAND COMPANY INC.	
3800 EAST 91st STREET - CLEVELAND, OHIO 44135-2197	
PHONE (204) 321-0336 / FAX (216) 641-0633	
SINCE 1985	
	
<b>BETHANY MIDDLE SCHOOL</b> 180 Lutes Hill Road, Bethany CT 06824 AMITY REGIONAL SD # 5 GYM ROOF RESTORATION	
	



**NOTE:**  
CONTRACTOR SHALL FIELD VERIFY ALL  
DIMENSIONS, CONDITIONS, AND QUANTITIES.

**SCOPE OF WORK GENERAL:**

1. CUT OUT ALL AREAS OF WET/DAMAGED INSULATION DOWN TO THE DECKING OR OLDER ROOFING SYSTEM.
  2. REPLACE INSULATION IN KIND AND MECHANICALLY FASTEN INTO DECKING USING SCREWS AND PLATES.
  3. PROPERLY TIE IN NEW VULCANIZED (CURED) EPDM WITH THE ORIGINAL EPDM. CONTRACTOR TO CONFIRM TIE-IN OVERLAPS.
  4. PRESSURE WASH AND SCRUB ENTIRE ROOF AND FLASHING USING A STIFF BRUSH AND SOLUTION OF SIMPLE GREEN AND TSP CLEANERS WITH WATER AS SPECIFIED.
  5. RINSE ROOF AND FLASHING USING CLEAN WATER AND PRESSURE WASHER TO REMOVE ALL CLEANING SOLUTION RESIDUE, REPEAT THE RINSING PROCESS UNTIL NO CLEANING SOLUTION IS LEFT AND ALLOW DRYING 24 TO 48 HOURS
- NOTE: ROOF MUST BE 100% DRY PRIOR TO APPLICATION
6. APPLY COATING AT A RATE OF 3.0 GALLONS PER SQUARE USING GARLAND'S LIQUITEC (WHITE IN COLOR) AND ALLOW DRYING FOR 24 TO 48 HOURS USING A BRUSH OR ROLLER WHILE EMBEDDING POLYSCRIM REINFORCEMENT.
  7. COAT ENTIRE ROOF INCLUDING SEAMS, FLASHINGS AND FIELD USING GARLAND'S LIQUITEC BASE COAT (GREY IN COLOR) AT A RATE OF 2.0 GALLONS PER SQUARE USING A SQUEEGEE AND A ROLLER TO BACK ROLL.

**CONTRACTOR NOTES:**

1. IT IS THE ROOFING CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH ALL DETAILS INVOLVED IN THE ROOFING CONTRACT.
2. ALL DRAWINGS ARE GRAPHIC REPRESENTATION OF APPROXIMATE LOCATION OF EXISTING AND NEW MATERIALS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
3. THE ROOFING CONTRACTOR IS TO PROTECT ALL ADJACENT SURFACES NOT SCHEDULED FOR WORK AND TO REPAIR ANY DAMAGED AREAS AS A RESULT OF CONTRACTOR WORK AT NO ADDITIONAL COST TO THE OWNER.
4. THE ROOFING CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN WATER TIGHTNESS AND PROVIDE PROTECTION AT ANY/ALL OPENINGS IN THE ROOF LEFT AT THE END OF EACH CONSTRUCTION DAY.
5. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, CONDITIONS, AND QUANTITIES

**GENERAL NOTES:**

1. STORE AND HANDLE ROOFING MATERIAL IN A DRY, WELL-VENTILATED, WEATHER-TITE PLACE. STORE MATERIALS ON RAISED SURFACE. STAND ALL ROLL MATERIALS ON END. COVER ROLL GOODS WITH A CANVAS TARPULIN OR OTHER BREATHABLE MATERIAL (NOT POLYETHYLENE).
2. DO NOT LEAVE UNUSED MATERIALS ON THE ROOF WHEN ROOFING WORK IS NOT IN PROGRESS UNLESS PROTECTED FROM WEATHER AND OTHER MOISTURE SOURCES.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SECURE ALL MATERIAL AND EQUIPMENT ON THE JOB SITE. IF ANY MATERIAL OR EQUIPMENT IS STORED ON THE ROOF, THE CONTRACTOR MUST MAKE SURE THAT THE INTEGRITY OF THE DECK IS NOT COMPROMISED AT ANY TIME.
4. CONTRACTOR TO CONFIRM WEATHER MEETS MANUFACTURES INSTALLATION REQUIREMENTS PRIOR TO APPLICATION EACH DAY.
5. CONTRACTOR TO COVER AREA OF WORK THE DAY PRIOR IN ORDER TO PREVENT MOISTURE (DEW) FROM COLLECTING ON SUBSTRATE SURFACE TO MEET MANUFACTURES REQUIREMENTS PRIOR TO LIQUID APPLIED ROOFING.
6. CONTRACTOR TO APPLY GRID MARKS ON ROOF PRIOR TO APPLYING LIQUID MEMBRANE TO ENSURE PROPER COVERAGE RATES.
7. CONTRACTOR TO MEASURE OUT AND MARK A SQUARE (100SQFT) AREA WITH WEATHERPROOF SPRAYPAINT.

**ALL DIMENSIONS MUST BE FIELD VERIFIED**

**CHK BY:**

**DWG. BY:**

DATE:

**PROJECT NO.:**

**COCKBULL**

**Auto Price:**

1

1

1

## CONCLUSION



1

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**E. GARLAND COMPANY INC.**  
3800 EAST 91st STREET - CLEVELAND, OHIO 44105-2197  
PHONE (800) 327-9336 / FAX (216) 641-0633



**BETHANY MIDDLE SCHOOL**  
190 Lube Hill Road, Bethany CT 06324  
AMITY REGIONAL SD # 5

## GYM ROOF RESTORATION



Sheet 3 of 1



# AMITY

Regional School District No. 5  
Bethany~Orange~Woodbridge

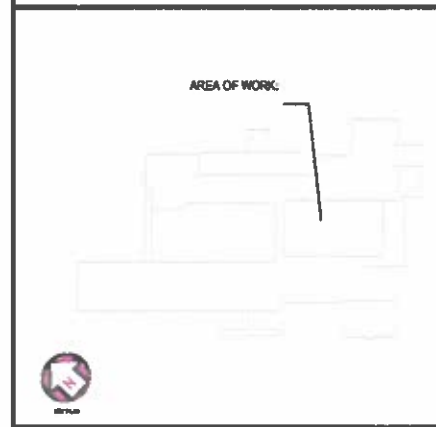
## Orange Middle School Gym Wall - Metal Panel Project 100 OHMAN AVE, Orange, CT 06477



### LOCATION MAP



### KEY PLAN



### DRAWING INDEX

- SHT 1 - COVER SHEET
- SHT 2 - PROJECT NOTES
- SHT 3 - EXTERIOR ELEVATION
- SHT 4 - EXTERIOR ELEVATION
- SHT 5 - EXTERIOR PHOTOS
- SHT 6 - EXTERIOR PHOTOS
- SHT 7 - DETAILS
- SHT 8 - DETAILS

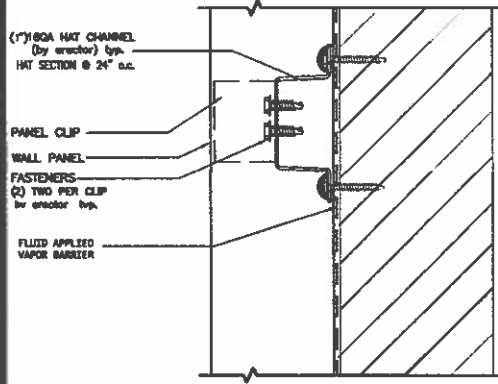


**THE GARLAND COMPANY INC.**  
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**ORANGE MIDDLE SCHOOL**  
100 OHMAN AVE, Orange, CT 06477  
AMITY REGIONAL SD # 5

WALL PANEL - GYM RECLAD

TYPICAL CROSS SECTION DETAIL		SCOPE OF WORK NOTES		DESIGN CRITERIA																	
 <p>(1") 18GA HAT CHANNEL (by erector) typ. HAT SECTION @ 24" o.c.</p> <p>PANEL CLIP</p> <p>WALL PANEL</p> <p>FASTENERS (2) TWO PER CLIP for erector typ.</p> <p>FLUID APPLIED VAPOR BARRIER</p> <p><b>TYPICAL WALL ASSEMBLY</b></p> <p>MAXIMUM PANEL LENGTH AVAILABLE DUE TO MATERIAL HANDLING IS 24'-0"</p>		<p><b>SCOPE OF WORK GENERAL:</b></p> <p><b>ORANGE MS GYM WALL PANEL RECLAD PROJECT-</b></p> <ol style="list-style-type: none"> <li><b>Building Prep:</b> <ol style="list-style-type: none"> <li>Pressure wash exterior concrete facade structure with high pressure, oscillating tip to remove as much of the existing loose paint material as possible.</li> <li>Scrape any areas as needed until existing paint does not come off.</li> </ol> </li> <li><b>Vapor Barrier:</b> <ol style="list-style-type: none"> <li>With 100% solid joint caulking and sealant, fill any cracks and joints within concrete substrate facade. Spray apply</li> <li>or manually apply with brush or roller manufacturers specified VR coating over all exposed facade which will receive wall panels.</li> </ol> </li> <li>Mechanically fasten vented hat channels over facade as per manufacturers shop drawings at a minimum of 24" o.c. in a horizontal pattern.</li> <li>Install new metal panel system affixed to the vented hat channels per spec and drawings.</li> <li>Contractor is responsible for securing materials other than Garland and supplying Garland DBS with material qty's required for completion of proposed scope.</li> <li>Contractor to supply 3-year workmanship warranty.</li> <li>Contractor responsible for obtaining any building permit.</li> <li>Clean up and properly dispose of all debris and repair any damage done to grounds, building or roof top.</li> </ol>		<p><b>DESIGN CRITERIA</b></p> <p><b>WIND UPLIFT REQUIREMENTS</b></p> <table border="0"> <tr> <td>1. WIND SPEED:</td> <td>125 MPH</td> </tr> <tr> <td>2. BUILDING TYPE:</td> <td>ENCLOSED</td> </tr> <tr> <td>3. EXPOSURE CATEGORY:</td> <td>B</td> </tr> <tr> <td>4. IMPORTANCE CLASS:</td> <td>III</td> </tr> <tr> <td>5. IMPORTANCE FACTOR:</td> <td>1.05</td> </tr> <tr> <td>6. DESIGN ROOF HEIGHT:</td> <td>27.0'</td> </tr> <tr> <td>7. TOPOGRAPHY FACTOR:</td> <td>1.00</td> </tr> <tr> <td>8. ROOF SLOPE:</td> <td>1/4 UNITS PER 12</td> </tr> </table> <p><b>RESULTING WIND UPLIFT PRESSURES:</b></p> <p>ZONE 1: 22.4 PSF ZONE 2: 37.6 PSF</p>		1. WIND SPEED:	125 MPH	2. BUILDING TYPE:	ENCLOSED	3. EXPOSURE CATEGORY:	B	4. IMPORTANCE CLASS:	III	5. IMPORTANCE FACTOR:	1.05	6. DESIGN ROOF HEIGHT:	27.0'	7. TOPOGRAPHY FACTOR:	1.00	8. ROOF SLOPE:	1/4 UNITS PER 12
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<p><b>GENERAL NOTES</b></p> <p><b>NOTES</b></p> <ol style="list-style-type: none"> <li>STORE AND HANDLE ALL MATERIAL IN A DRY, WELL-VENTILATED, WEATHER-TITE PLACE. STORE ROLLS OF FELT AND OTHER SHEET MATERIALS ON RAISED SURFACE. STAND ALL ROLL MATERIALS ON END. COVER ROLL GOODS WITH A CANVAS TARPULIN OR OTHER BREATHABLE MATERIAL (NOT POLYETHYLENE).</li> <li>DO NOT LEAVE UNUSED MATERIALS ON THE ROOF WHEN ROOFING WORK IS NOT IN PROGRESS UNLESS PROTECTED FROM WEATHER AND OTHER MOISTURE SOURCES.</li> <li>IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SECURE ALL MATERIAL AND EQUIPMENT ON THE JOB SITE. IF ANY MATERIAL OR EQUIPMENT IS STORED ON THE ROOF, THE CONTRACTOR MUST MAKE SURE THAT THE INTEGRITY OF THE DECK IS NOT COMPROMISED AT ANY TIME.</li> <li>DO NOT APPLY ROOFING INSULATION OR MEMBRANE TO DAMP DECK SURFACE.</li> <li>FULLY COMPLETE ALL MODIFIED BITUMINOUS MEMBRANE ROOFING FIELD ASSEMBLY WORK EACH DAY. PHASED CONSTRUCTION WILL NOT BE ACCEPTED.</li> </ol> <p><b>CUSTOMER NOTE:</b></p> <ol style="list-style-type: none"> <li>ALL OF GARLAND'S SHOP FABRICATED MATERIAL WILL BE MANUFACTURED TO THE DIMENSIONS SHOWN, UNLESS OTHERWISE NOTED.</li> <li>IT IS ESSENTIAL THAT ANY NECESSARY CHANGES, NOTATIONS OR REQUESTED INFORMATION BE CLEARLY NOTED ON THE SHOP DRAWINGS.</li> <li>NO MATERIAL WILL BE CONSIDERED RELEASED FOR FABRICATION UNTIL ALL PERTINENT INFORMATION (i.e. COLOR, DIMENSIONS, MATERIAL, CONFIGURATION) HAS BEEN RECEIVED.</li> </ol> <p><b>GENERAL NOTES:</b></p> <ol style="list-style-type: none"> <li>IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH ALL DETAILS INVOLVED IN THE ROOFING CONTRACT.</li> <li>ALL DRAWINGS ARE GRAPHIC REPRESENTATION OF APPROXIMATE LOCATION OF EXISTING AND NEW MATERIALS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK.</li> <li>THE CONTRACTOR TO PROTECT ALL ADJACENT SURFACES NOT SCHEDULED FOR WORK AND TO REPAIR ANY DAMAGED AREAS AS A RESULT OF CONTRACTOR WORK AT NO ADDITIONAL COST TO THE OWNER.</li> <li>THE ROOFING CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN WATER TIGHTNESS AND PROVIDE PROTECTION AT ANY WALL OPENINGS IN THE ROOF LEFT AT THE END OF EACH CONSTRUCTION DAY.</li> <li>CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, CONDITIONS, AND QUANTITIES.</li> </ol>		<p><b>FASTENING INSTRUCTIONS</b></p> <p><b>HAT CHANNELS IN CONCRETE:</b></p> <ul style="list-style-type: none"> <li>• DRILL CLEAN USING A HAMMER DRILL, DRILL HOLE 1/4" DEEPER THAN ANCHOR EMBEDMENT.</li> <li>• HAMMERING FUNCTION SHOULD BE ON WHEN DRILLING HOLE FOR ANCHOR.</li> <li>• USING A BLOWOUT BULB, COMPRESSED AIR OR VACUUM, REMOVE DUST FROM HOLE.</li> <li>• DRIVE ANCHOR USING A HAMMER DRILL WITH NUT DRIVER, STAR DRIVE OR PHILLIPS BIT UNTIL FULLY SEATED.</li> <li>• HAMMERING FUNCTION SHOULD BE OFF WHEN SETTING ANCHOR.</li> </ul> <p><b>PANEL CLIPS INTO HAT CHANNELS:</b></p> <ul style="list-style-type: none"> <li>• ALL PANEL CLIPS ARE TO BE FASTENED USING: (2) TWO #13-14 DP1, CONCEALOR TYPE</li> <li>• SELF-TAPPING FASTENERS WITH AN ULTIMATE PULLOUT VALUE OF: 573# - 18GA GALV. STEEL</li> </ul> <p><b>R-MER WALL 1.5 PANEL NOTES:</b></p> <ul style="list-style-type: none"> <li>• ALL HAT CHANNELS ARE TO BE FASTENED USING: (1) ONE #1/4" TAPCON OR EQUIVALANT WITH MIN 2" EMBEDMENT EVERY 18" O.C. OFFSET TOP AND BOTTOM</li> </ul> <p><b>FINISH SPECIFICATIONS:</b></p> <p><b>WALL PANEL: R-MER WALL</b></p> <p><b>MATERIAL: 040 ALUM</b></p> <p><b>FINISH: FLUOROCARBON-70% RESIN (Kynar 500)</b></p> <p><b>COLOR: STANDARD "TBD"</b></p>																			
<p><b>MATERIAL NOTE:</b></p> <p>SOME OIL-CANNING OF WALL PANELS IS COMMON IN THE INDUSTRY, AND IS NOT CONSIDERED CAUSE FOR PRODUCT REJECTION.</p> <p><b>STORAGE NOTE:</b></p> <p>ALWAYS STORE ALL COMPONENTS IN A CLEAN, DRY STORAGE AREA. PREVENT CONTACT WITH CORROSIVE OR STAINING MATERIALS.</p> <p><b>SEALANT NOTE:</b></p> <p>USE A CONTINUOUS BEAD OF HIGH QUALITY, NON-HARDENING SEALANT COMPATIBLE WITH KYNAR 500® FINISHES (SEALANT BY ERECTOR)</p>		<p><b>ERECTOR NOTE:</b></p> <ul style="list-style-type: none"> <li>• Aluminum panels: torch cutting is not allowed. Shearing action cuts are recommended for aluminum. Saw cutting is permitted, however, care must be taken to prevent burning paint finish, edge burs and saw debris being deposited on finished product.</li> <li>• All related panel trim to have field transitions and field fabricated miters (i.e: transition between jamb to sill trim or 90° corners for sill trim).</li> <li>• All continuous lengths of panel trim to be notched, lapped and sealed 3" minimum at lap splices (typical).</li> <li>• Panel trim's thermal movement occurs at the lap splice. Do not anchor trim at lap splice</li> </ul>																			

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ORANGE MIDDLE SCHOOL  
100 CHAM AVE. Orange, CT 06477  
AMITY REGIONAL SD # 5

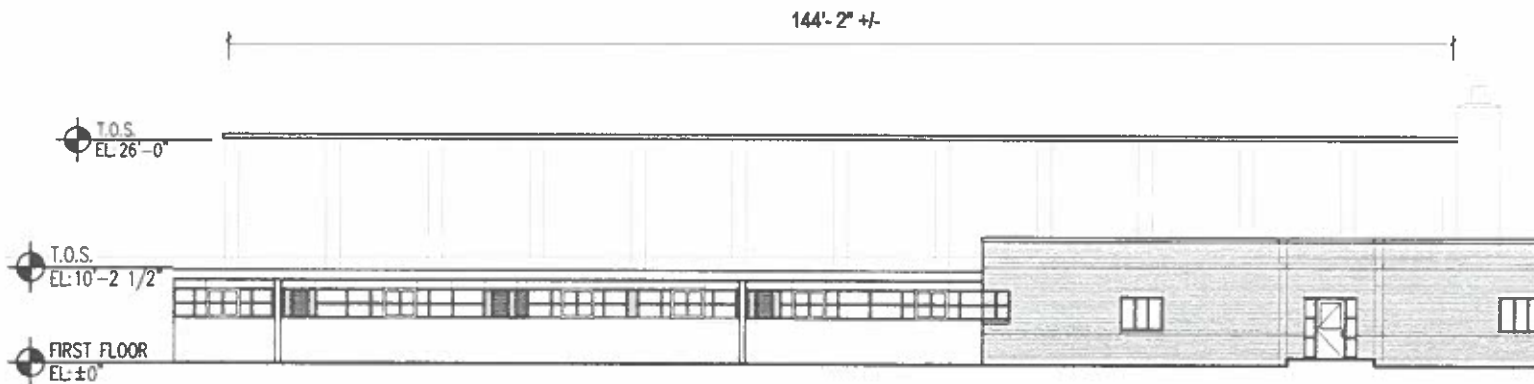


WALL PANEL - GYM RECLAD

SHEET: 2 OF 7

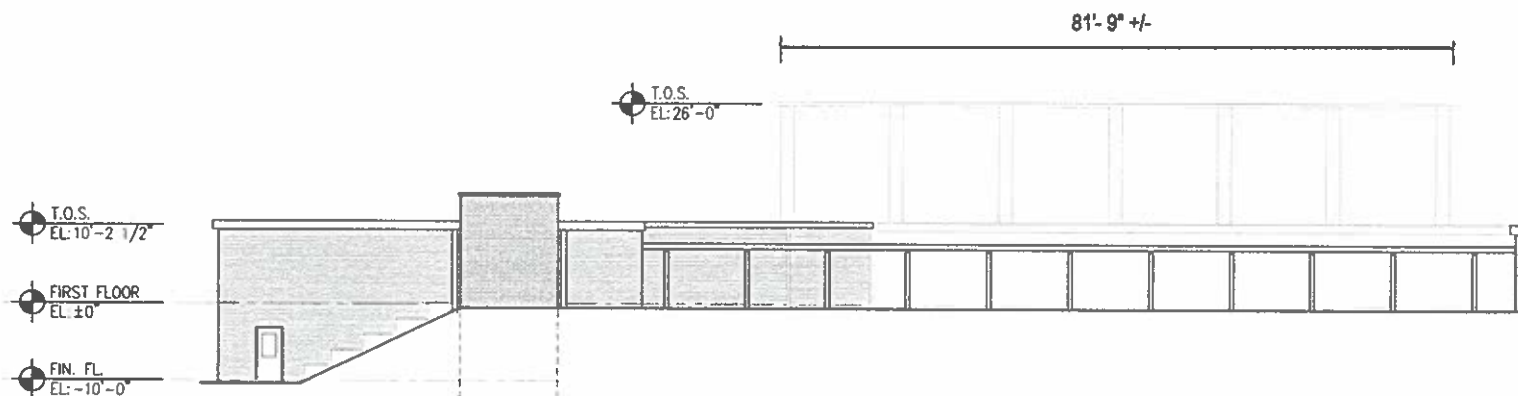
# Orange Middle School

NOTE:  
CONTRACTOR SHALL FIELD VERIFY ALL  
DIMENSIONS, CONDITIONS, AND QUANTITIES.



ELEVATION PLAN - SOUTH SIDE (FRONT)

ARCH. REF.



ELEVATION PLAN - WEST SIDE (COURTYARD)

ARCH. REF.

ALL WALL DIMENSIONS MUST BE FIELD VERIFIED

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ORANGE MIDDLE SCHOOL

100 OCHAM AVE, Orange, CT 06477

AMITY REGIONAL SD # 5

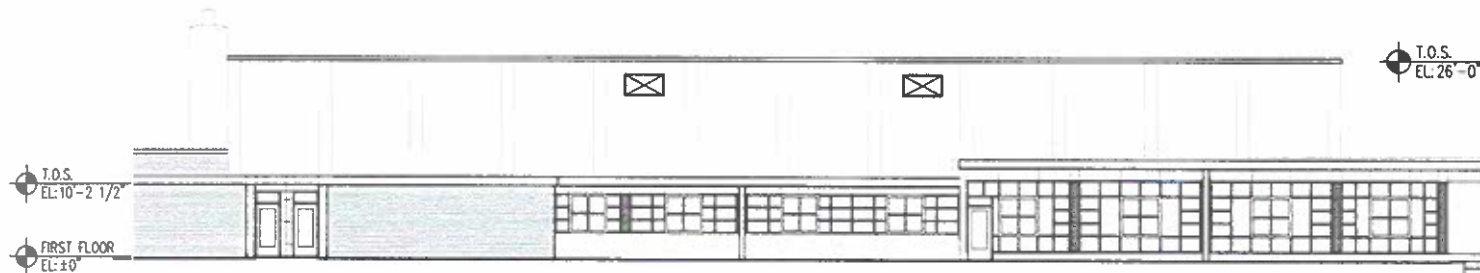
WALL PANEL - GYM RECLAD



AMITY

SHEET: 2 OF 5





ELEVATION PLAN - NORTH SIDE (REAR)

ARCH. REF.:



ELEVATION PLAN - EAST SIDE (CHIMNEY)

ARCH. REF.:

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<p>ORANGE MIDDLE SCHOOL          100 ORMAN AVE. Orange, CT 06477          AMITY REGIONAL SD # 5          WALL PANEL - GYM RECLAD</p>				
<p>ALL WALL DIMENSIONS MUST BE FIELD VERIFIED</p>				





1 EXTERIOR PHOTO - FRONT VIEW  
SCALE: N.T.S.



2 EXTERIOR PHOTO - COURTYARD WALL VIEW  
SCALE: N.T.S.



3 EXTERIOR PHOTO - COURTYARD SIDE VIEW  
SCALE: N.T.S.



4 EXTERIOR PHOTO - COURTYARD TO FRONT VIEW  
SCALE: N.T.S.



5 EXTERIOR PHOTO - FRONT VIEW ORANGE MIDDLE SCHOOL  
SCALE: N.T.S.

REVISION	PROJECT NO.	DATE	DWG BY:	CHE BY:
<p>ORANGE MIDDLE SCHOOL 100 ORMAN AVE. ORANGE, CT 06477 AMITY REGIONAL SD # 5</p>				
<p>THE GARLAND COMPANY INC. 3800 EAST 91st STREET - CLEVELAND, OHIO 44105-2197 PHONE (800) 321-9336 / FAX (216) 641-0833</p>				







6 EXTERIOR PHOTO - REAR VIEW  
SCALE: N.T.S.



8 EXTERIOR PHOTO - CHIMNEY SIDE VIEW  
SCALE: N.T.S.



10 EXTERIOR PHOTO - CHIMNEY FROM GYM ROOF  
SCALE: N.T.S.




7 EXTERIOR PHOTO - UP-CLOSE WALL VIEW  
SCALE: N.T.S.

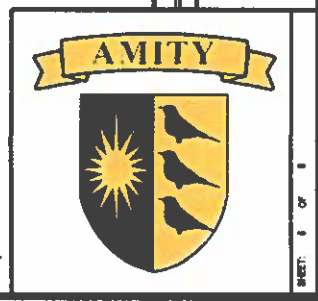


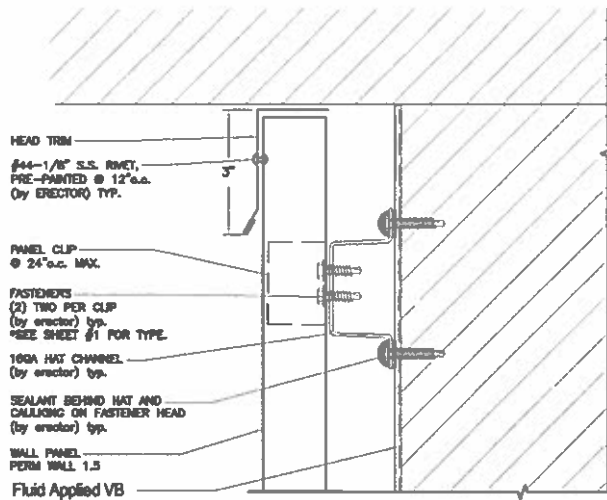
9 EXTERIOR PHOTO - PILLER SURFACE & DUCT - REAR VIEW  
SCALE: N.T.S.



11 EXTERIOR PHOTO - CHIMNEY FROM GYM ROOF  
SCALE: N.T.S.

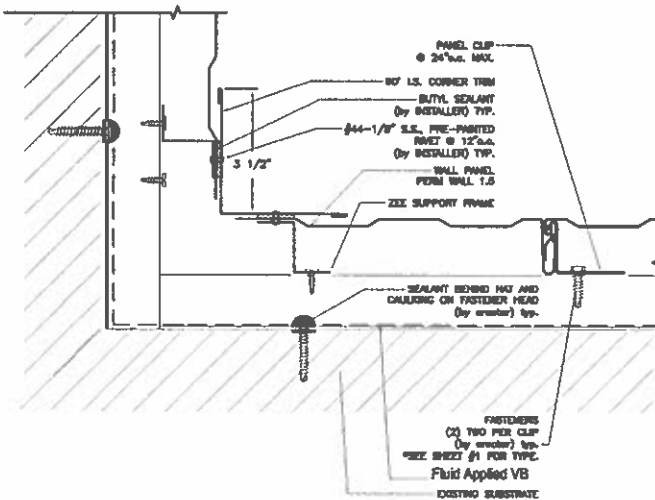
REVISION	DATE	DWG BY	CHECK BY
PROJECT NO.			
GARLAND REP. JEREMY COOGL			
<b>THE GARLAND COMPANY INC.</b> 3000 EAST 91ST STREET - CLEVELAND, OHIO 44103-2197 PHONE (800) 321-5556 / FAX (216) 641-0833			
			
<b>ORANGE MIDDLE SCHOOL</b> 100 CHIMAN AVE. Orange, CT 06477 AMITY REGIONAL SD # 5 WALL PANEL - GYM RECLAD			





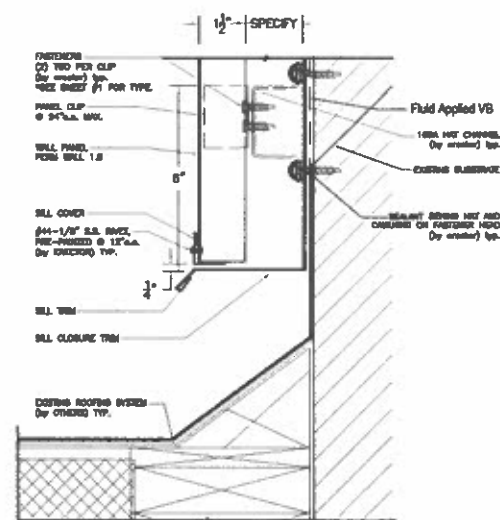
1 WALL HEAD TRANSITION DETAIL

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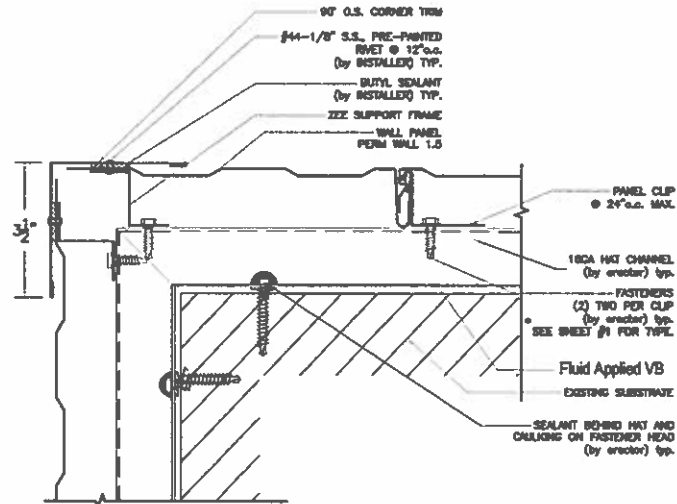
3 90° I.S. CORNER DETAIL

SCALE: N.T.S.



2 WALL SILL DETAIL

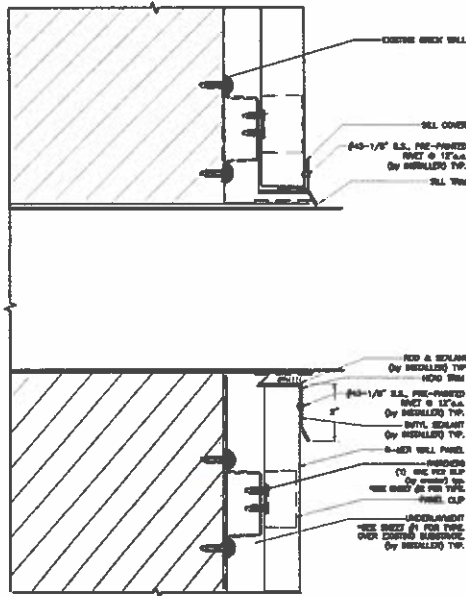
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4 90° O.S. CORNER DETAIL

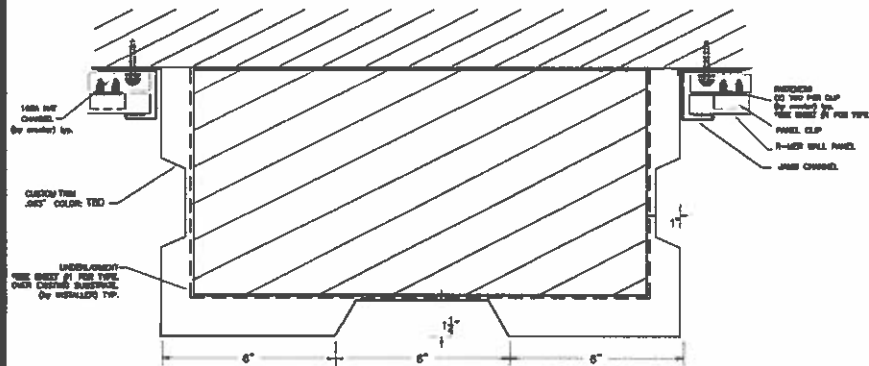
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REVISION	DATE	DWG BY	CHECK
ORANGE MIDDLE SCHOOL	100 OHMAN AVE. ORANGE, CT 06477	AMITY REGIONAL SD # 5	WALL PANEL - GYM RECLAD
<p>THE GARLAND COMPANY INC.</p> <p>3800 EAST 91st STREET - CLEVELAND, OHIO 44103-2197</p> <p>PHONE (800) 371-9336 / FAX (216) 641-0633</p>			
<p>ORANGE MIDDLE SCHOOL</p> <p>100 OHMAN AVE. ORANGE, CT 06477</p> <p>AMITY REGIONAL SD # 5</p> <p>WALL PANEL - GYM RECLAD</p>			
<p>AMITY</p>			



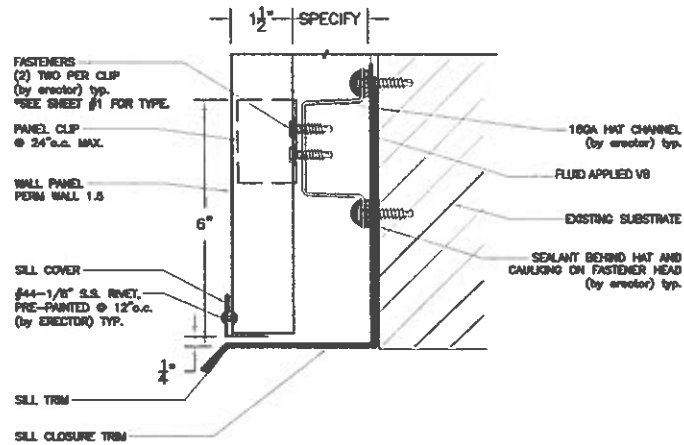
5 WALL PENETRATION- DUCTWORK DETAIL

SCALE: N.T.S.



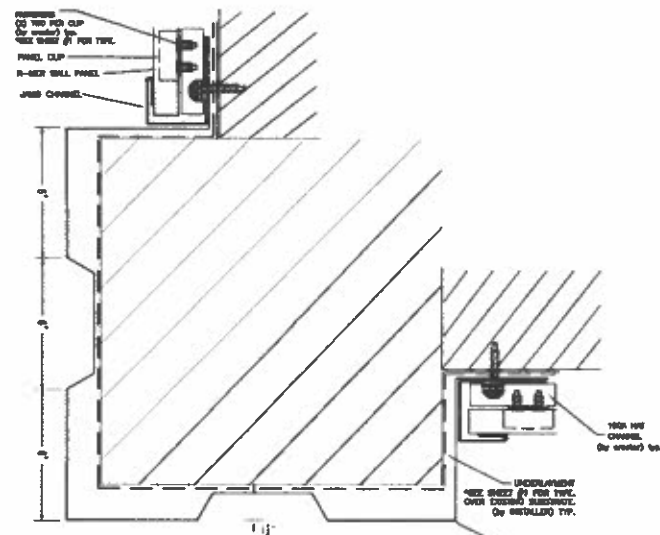
7 CUSTOM PANEL DETAIL- VERTICAL PILLAR

SCALE: N.T.S.



6 WALL SILL DETAIL- PENETRATIONS

SCALE: N.T.S.



8 CUSTOM PANEL DETAIL- CORNER

SCALE: N.T.S.

DATE:

PROJECT NO.:

DATE:

PROJECT NO.:

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PROJECT NO.:

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PROJECT NO.:

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PROJECT NO.:

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DATE:

THE GARLAND COMPANY INC.

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PHONE (800) 321-5556 / FAX (216) 647-0850



ORANGE MIDDLE SCHOOL  
100 ORMAN AVE, Orange, CT 06477  
AMITY REGIONAL SD # 5  
WALL PANEL - GYM RECLAD



SHEET: 5 OF 9



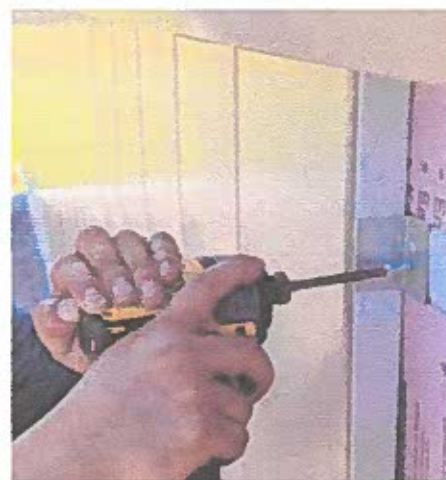
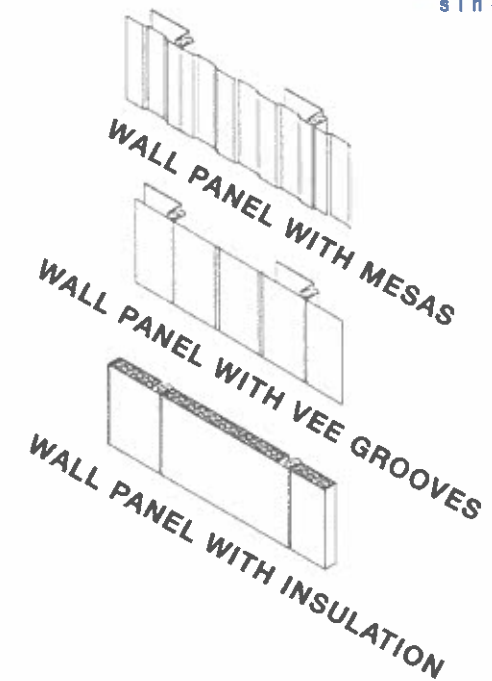
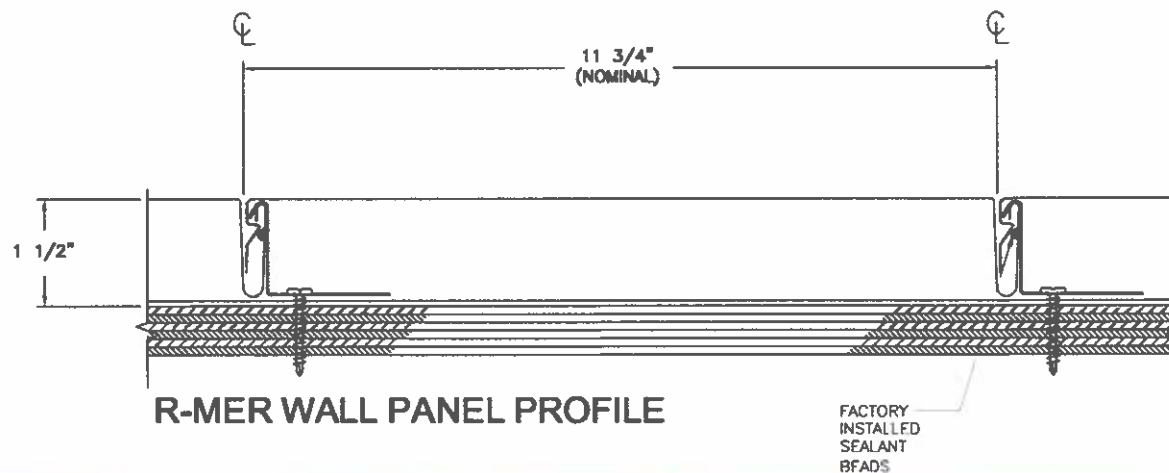
# R-Mer® Wall-Pan

Flush Seam Wall Panel System

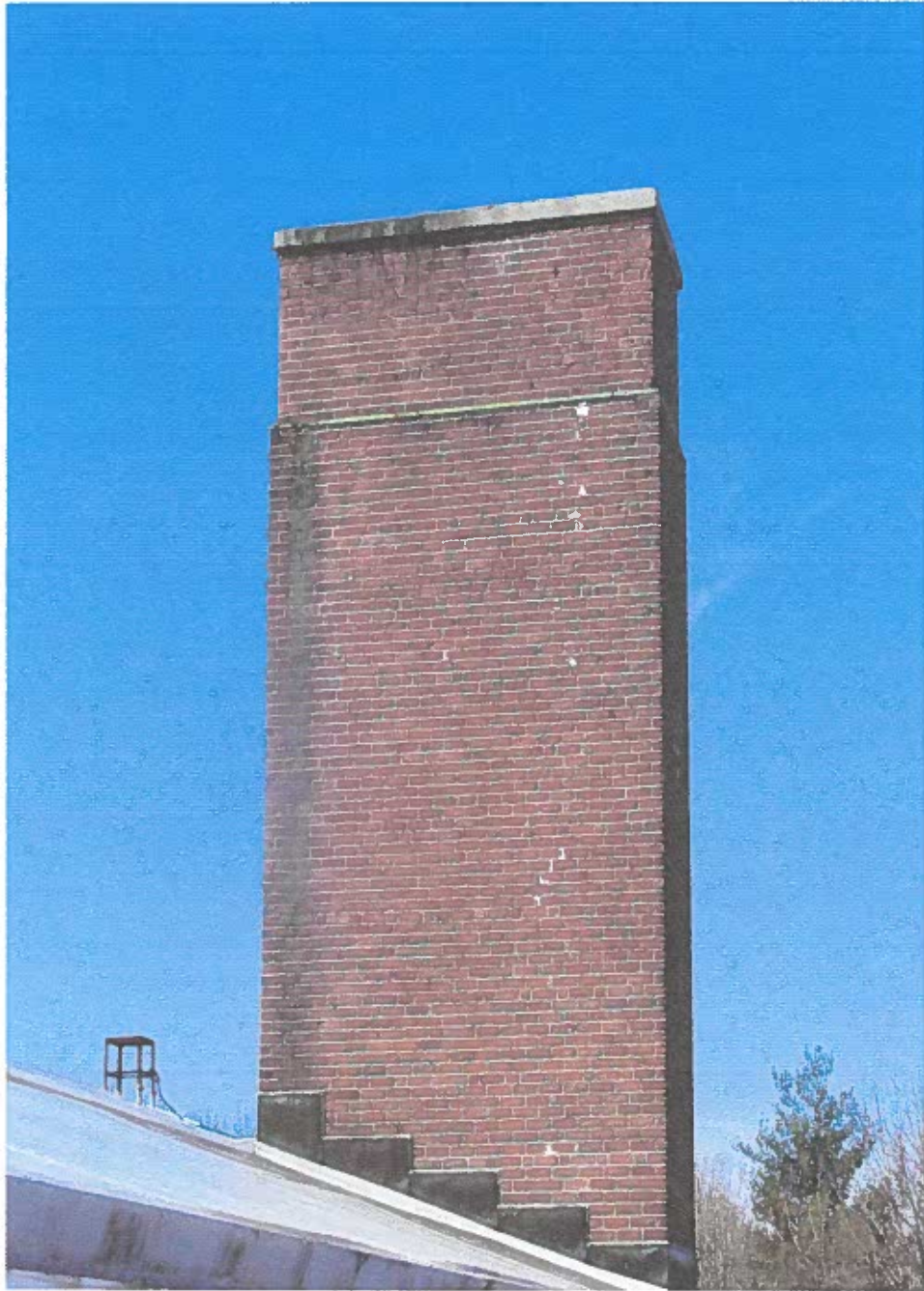


## OVERVIEW & FEATURES

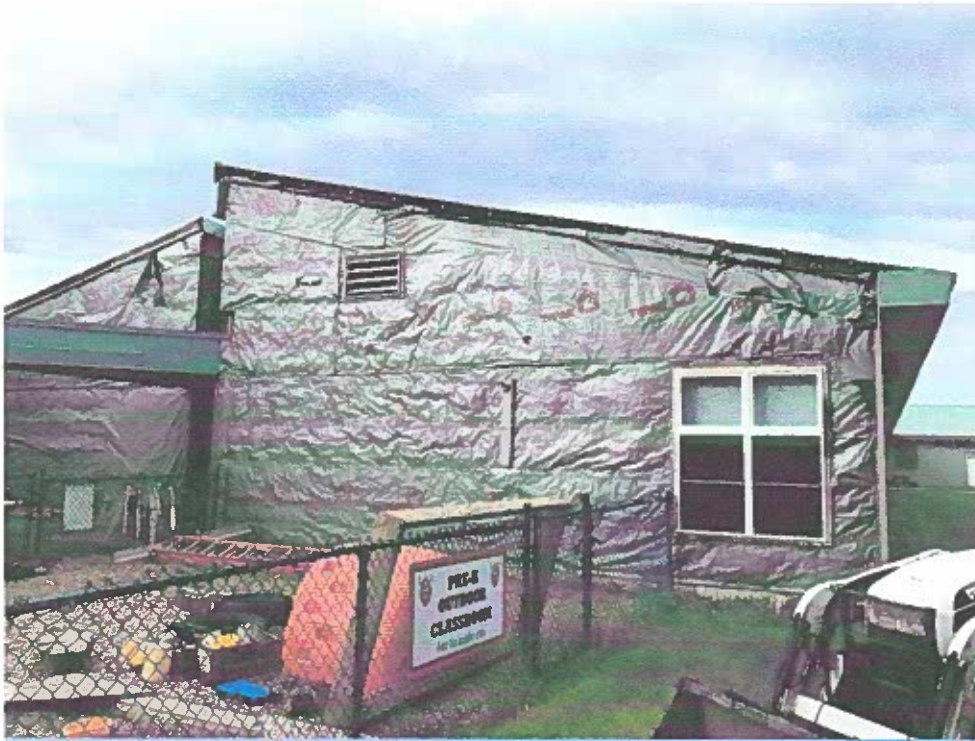
Garland's R-Mer Wall-Pan systems are engineered for strength and longevity, and designed for the beauty of smooth consistency. The systems are available in a wide range of colors and gauges and are custom-formed by talented metal craftsmen to suit the unique design and performance requirements of each and every project.



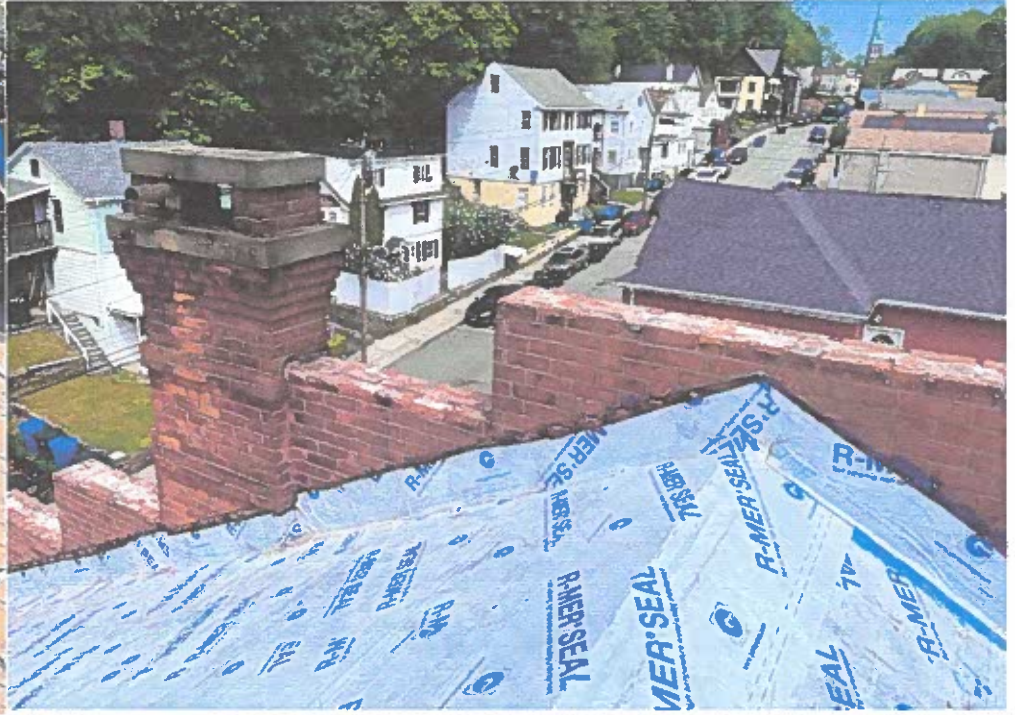
Finished R-Mer Wall Pan











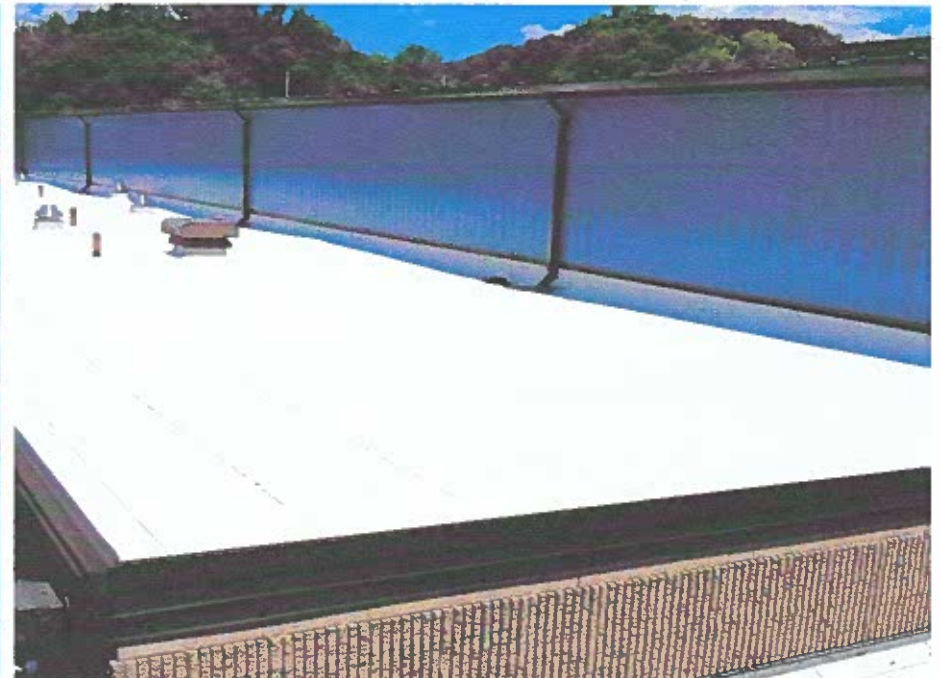
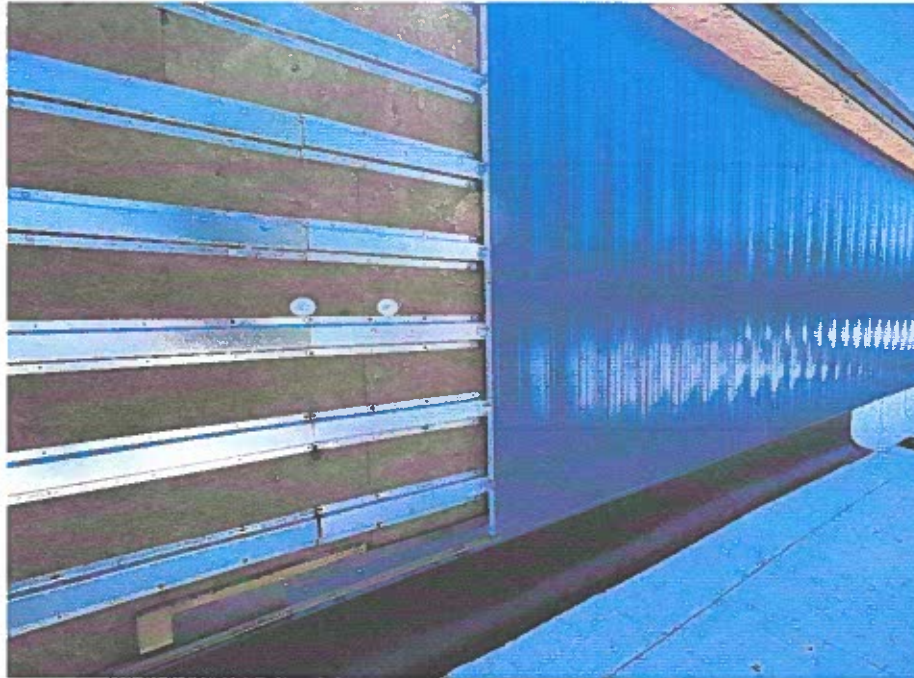
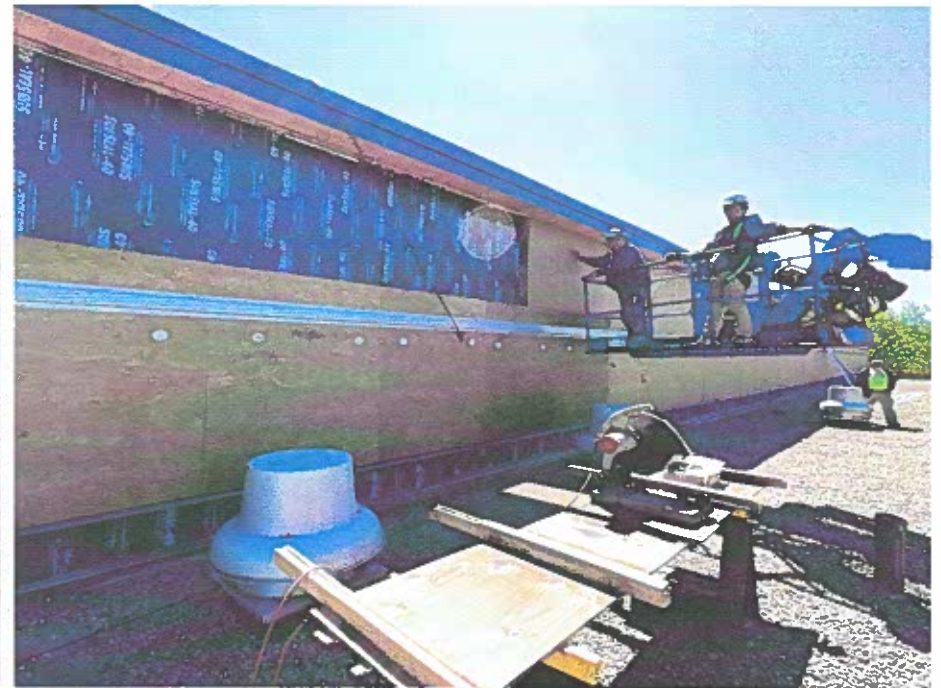
















# Orange Middle School

## Gym Roof Restorations

100 OHMAN AVE, Orange, CT 06477



### LOCATION MAP



### KEY PLAN



### DRAWING INDEX

- SHT 1 - COVER SHEET
- SHT 2 - ROOF OVERVIEW
- SHT 3 - DETAILS
- SHT 4 - PROJECT NOTES



REVISION: \_\_\_\_\_ DATE: \_\_\_\_\_ DWG BY: \_\_\_\_\_ CHK BY: \_\_\_\_\_

PROJECT NO: \_\_\_\_\_

ORANGE MIDDLE SCHOOL  
100 OHMAN AVE, Orange, CT 06477  
AMITY REGIONAL SD # 5

THE GARLAND COMPANY INC.  
3800 EAST 9TH STREET - CLEVELAND, OHIO 44108-2187  
PHONE (800) 321-5556 / FAX (216) 647-0833



GYM ROOF RESTORATION

SHEET: 1 OF 9





NOTE:  
CONTRACTOR SHALL FIELD VERIFY ALL  
DIMENSIONS, CONDITIONS, AND QUANTITIES.

# SCOPE OF WORK GENERAL:

1. CUT OUT ALL AREAS OF WET/DAMAGED INSULATION DOWN TO THE DECKING OR OLDER ROOFING SYSTEM.
  2. REPLACE INSULATION IN KIND AND MECHANICALLY FASTEN INTO DECKING USING SCREWS AND PLATES.
  3. PROPERLY TIE IN NEW VULCANIZED (CURED) EPDM WITH THE ORIGINAL EPDM. CONTRACTOR TO CONFIRM TIE-IN OVERLAPS.
  4. PRESSURE WASH AND SCRUB ENTIRE ROOF AND FLASHING USING A STIFF BRUSH AND SOLUTION OF SIMPLE GREEN AND TSP CLEANERS WITH WATER AS SPECIFIED.
  5. RINSE ROOF AND FLASHING USING CLEAN WATER AND PRESSURE WASHER TO REMOVE ALL CLEANING SOLUTION RESIDUE, REPEAT THE RINSING PROCESS UNTIL NO CLEANING SOLUTION IS LEFT AND ALLOW DRYING 24 TO 48 HOURS
- NOTE: ROOF MUST BE 100% DRY PRIOR TO APPLICATION
6. APPLY COATING AT A RATE OF 3.0 GALLONS PER SQUARE USING GARLAND'S LIQUITEC (WHITE IN COLOR) AND ALLOW DRYING FOR 24 TO 48 HOURS USING A BRUSH OR ROLLER WHILE EMBEDDING POLYSCRIM REINFORCEMENT.
  7. COAT ENTIRE ROOF INCLUDING SEAMS, FLASHINGS AND FIELD USING GARLAND'S LIQUITEC BASE COAT (GREY IN COLOR) AT A RATE OF 2.0 GALLONS PER SQUARE USING A SQUEEGEE AND A ROLLER TO BACK ROLL.

# CONTRACTOR NOTES:

1. IT IS THE ROOFING CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH ALL DETAILS INVOLVED IN THE ROOFING CONTRACT.
2. ALL DRAWINGS ARE GRAPHIC REPRESENTATION OF APPROXIMATE LOCATION OF EXISTING AND NEW MATERIALS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
3. THE ROOFING CONTRACTOR IS TO PROTECT ALL ADJACENT SURFACES NOT SCHEDULED FOR WORK AND TO REPAIR ANY DAMAGED AREAS AS A RESULT OF CONTRACTOR WORK AT NO ADDITIONAL COST TO THE OWNER.
4. THE ROOFING CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN WATER TIGHTNESS AND PROVIDE PROTECTION AT ANY/ALL OPENINGS IN THE ROOF LEFT AT THE END OF EACH CONSTRUCTION DAY.
5. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, CONDITIONS, AND QUANTITIES

# GENERAL NOTES:

1. STORE AND HANDLE ROOFING MATERIAL IN A DRY, WELL-VENTILATED, WEATHER-TITE PLACE. STORE MATERIALS ON RAISED SURFACE. STAND ALL ROLL MATERIALS ON END. COVER ROLL GOODS WITH A CANVAS TARPULIN OR OTHER BREATHABLE MATERIAL (NOT POLYETHYLENE).
2. DO NOT LEAVE UNUSED MATERIALS ON THE ROOF WHEN ROOFING WORK IS NOT IN PROGRESS UNLESS PROTECTED FROM WEATHER AND OTHER MOISTURE SOURCES.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SECURE ALL MATERIAL AND EQUIPMENT ON THE JOB SITE. IF ANY MATERIAL OR EQUIPMENT IS STORED ON THE ROOF, THE CONTRACTOR MUST MAKE SURE THAT THE INTEGRITY OF THE DECK IS NOT COMPROMISED AT ANY TIME.
4. CONTRACTOR TO CONFIRM WEATHER MEETS MANUFACTURES INSTALLATION REQUIREMENTS PRIOR TO APPLICATION EACH DAY.
5. CONTRACTOR TO COVER AREA OF WORK THE DAY PRIOR IN ORDER TO PREVENT MOISTURE (DEW) FROM COLLECTING ON SUBSTRATE SURFACE TO MEET MANUFACTURES REQUIREMENTS PRIOR TO LIQUID APPLIED ROOFING.
6. CONTRACTOR TO APPLY GRID MARKS ON ROOF PRIOR TO APPLYING LIQUID MEMBRANE TO ENSURE PROPER COVERAGE RATES.
7. CONTRACTOR TO MEASURE OUT AND MARK A SQUARE (100SQFT) AREA WITH WEATHERPROOF SPRAYPAINT.

ALL WALL DIMENSIONS MUST BE FIELD VERIFIED

DATE:

DWG BY:

DATE:

PROJECT NO:

GARLAND REF: JARLEY COBOLL

REVISION:

THE GARLAND COMPANY, INC.

3800 EAST 91st STREET - CLEVELAND, OHIO 44105-2197  
PHONE (800) 321-5006 / FAX (216) 841-0603



ORANGE MIDDLE SCHOOL  
100 OHMAN AVE, Orange, CT 06477  
AMITY REGIONAL SD # 5

GYM ROOF RESTORATION



SHEET: 1 OF 1

CONTRACTOR SHALL FIELD VERIFY ALL  
DIMENSIONS, CONDITIONS, AND QUANTITIES.

LIQUITEC TOP COAT

FABRIC REINFORCEMENT

LIQUITEC BASE COAT

EXISTING EPDM MEMBRANE

EXISTING SUBSTRATE

METAL EDGE DRAIN

Diagram illustrating the components of a roof waterproofing system:

- EMBEDDED EDGE METAL
- LIQUITEC TOP COAT (GRAY)
- FABRIC REINFORCEMENT
- LIQUITEC BASE COAT (WHITE)
- EXISTING EPDM MEMBRANE
- EXISTING SUBSTRATE

LIQUITEC TOP COAT  
FABRIC  
REINFORCEMENT  
LIQUITEC BASE COAT  
ROOF DRAIN ASSEMBLY  
EXISTING EPDM MEMBRANE  
EXISTING SUBSTRATE

LIQUITEC TOP COAT (GRAY)

FABRIC REINFORCEMENT

LIQUITEC BASE COAT (WHITE)

EXISTING EPDM MEMBRANE

EXISTING SUBSTRATE

**FLASHING DETAIL- BOTH SYSTEMS**

The diagram illustrates a cross-section of a flashing detail at a corner or edge. The layers are labeled as follows:

- LIQUITEC TOP COAT
- FABRIC
- REINFORCEMENT
- LIQUITEC BASE COAT
- EXISTING EPDM MEMBRANE
- EXISTING SUBSTRATE

TABLE 1

100

**DATE**

**800 857 116**

NAME AND TITLE: \_\_\_\_\_

**FROM A**

THE GARLAND COMPANY INC.

3800 EAST 91<sup>ST</sup> STREET - CLEVELAND, OHIO 44105-2197  
PHONE (800) 321-9336 / FAX (216) 641-0633



**ORANGE MIDDLE SCHOOL**

100 CHIMAN AVE. Orange, CT 06477

AMITY REGIONAL SD #5

## GYM ROOF RESTORATION





Garland/DBS, Inc.  
3800 East 91<sup>st</sup> Street  
Cleveland, OH 44105  
Phone: (800) 762-8225  
Fax: (216) 883-2055



## **ROOFING MATERIAL AND SERVICES PROPOSAL**

Amity Regional School District #5  
Bethany Middle School  
190 Luke Hill Rd  
Bethany, Connecticut 06524

Date Submitted: 04/04/2023  
Proposal #: 25-CT-230339  
MICPA # PW1925

**CONNECTICUT General Contractor License #: MCO.0902605**

Purchase orders to be made out to: Garland/DBS, Inc.

**Please Note:** The following budget/estimate is being provided according to the pricing established under the Master Intergovernmental Cooperative Purchasing Agreement (MICPA) with Racine County, WI and OMNIA Partners, Public Sector (U.S. Communities). Garland/DBS, Inc. administered an informal competitive process for obtaining quotes for the project with the hopes of providing a lower market-adjusted price whenever possible.

### **Scope of Work: 20 Year - Fully Reinforced**

1. Pressure wash and scrub entire roof and flashings using a stiff brush and solution of Simple Green and TSP cleaners with water as specified.
2. Rinse roof and flashings using clean water and pressure washer to remove all cleaning solution residue, repeat the rinsing process until no cleaning solution is left and allow drying 24 to 48 hours.
  - a. Roof must be 100% dry prior to application.
3. After proper cleaning and preparation on all four corners of the buildings "bump-outs", apply 6" Uni-Bond tape to the transition from sloped metal to epdm, splitting the coverage of each and coat at the specified application rate.
  - a. Making sure to overlap and "feather" coating past the tape edge by a minimum of 1" on the base coat and 2" on the top coat.
4. Starting at the drains and working backwards, using a brush and roller apply coating at a rate of 3 gal/ 100 sqft while embedding and backrolling grip polyester soft using Garland's LiquiTec (white in color) and allow drying for 24 to 48 hours.
  - a. Taking special care to make sure there are minimal-to-no wrinkles, loose edges, no fishmouths, bubbles or uncoated scrim exposed.
5. Coat entire roof including flashings and field using Garland's LiquiTec Base Coat (grey in color) at a rate of 2 gal/ 100 sqft using a squeegee and a roller to back roll evenly.



Notes: BOTH Scope Options Shall include: (PENDING IR SCAN)

1. Cut out all areas of wet/damaged insulation down to the decking or older roofing system.
2. Replace insulation in kind and mechanically fasten into decking using screws and plates.
3. Properly tie in new Vulcanized (cured) EPDM with the original EPDM. Contractor to confirm tie-in laps, coverstrip.
  - a. All newly applied coverstrip shall have Uni-Bond tape applied over it prior to coating being applied.

**Proposal Price Based Upon Market Experience:** \$ **161,445**

**Garland/DBS Price Based Upon Local Market Competition:**

<b>1 Tech Roofing Services</b>	<b>\$ 161,445</b>
2 Gold Seal Roofing	\$ 202,309
3 JHS Restorations	\$ 230,025
4 Macri Roofing	\$ 203,570

**Scope of Work: 15 Year - Single-Ply Membrane field/flashing seams and details coating**

1. Apply LiquiTec coating 8" wide over all seams (either method). Always begin with flashing's, vertical seams and details before proceeding to field seam application. The minimum application rate should be 2.0 gal./100 sqft for Uni-Bond and 3 gal./ 100 Sqft for grip poly soft. Care should be taken to apply the coating without air pockets, puddles or pinholes.
2. Allow to cure thoroughly before applying field coating layers but no more than 72 hrs.

Notes: BOTH Scope Options Shall include: (PENDING IR SCAN)

1. Cut out all areas of wet/damaged insulation down to the decking or older roofing system.
2. Replace insulation in kind and mechanically fasten into decking using screws and plates.
3. Properly tie in new Vulcanized (cured) EPDM with the original EPDM. Contractor to confirm tie-in laps, coverstrip.
  - a. All newly applied coverstrip shall have Uni-Bond tape applied over it prior to coating being applied.

Notes: Fabric reinforcement is only required in areas that hold water, around drains, on loose/damaged seams or over existing membrane repairs and over originally adhered single-ply seams.

**Proposal Price Based Upon Market Experience:** \$ **117,334**

**Garland/DBS Price Based Upon Local Market Competition:**

<b>1 Tech Roofing Services</b>	<b>\$ 117,334</b>
2 Macri Roofing	\$ 117,841
3 JHS Restorations	\$ 146,927
4 Gold Seal Restorations	\$ 157,932

**Unforeseen Site Conditions:**

Removal and Replacement of Tie-Ins	\$ 9.12 per Sq. Ft.
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**Scope of Work: Add Alternate - Gutter and Flashings**

1. Includes but is not limited to the proper installation and flashing tie-in of new K-Style gutters and leaders prior to any installation of a fluid applied restorative coating. This shall include all necessary work, flashings and materials in accordance with the specifications, scope of work, and details provided in the bid documents.

**Proposal Price Based Upon Market Experience:**

**\$ 10,760**

**Garland/DBS Price Based Upon Local Market Competition:**

<b>1 Macri Roofing</b>	<b>\$</b>	<b>10,760</b>
2 Gold Seal Roofing	\$	13,673
3 JHS Restoration	\$	18,263
4 Tech Roofing Services	\$	54,098

Potential issues that could arise during the construction phase of the project will be addressed via unit pricing for additional work beyond the scope of the specifications. This could range anywhere from wet insulation, to the replacement of deteriorated wood nailers.

Please Note – The construction industry is experiencing unprecedented global pricing and availability pressures for many key building components. Specifically, the roofing industry is currently experiencing long lead times and significant price increases with roofing insulation and roofing fasteners. Therefore, this proposal can only be held for 30 days. DBS greatly values your business, and we are working diligently with our long-term suppliers to minimize price increases and project delays which could effect your project. Thank you for your understanding and cooperation.

**Clarifications/Exclusions:**

1. Permits are excluded.
2. Bonds are included.
3. Plumbing, Mechanical, Electrical work is excluded.
4. Masonry work is excluded.
5. Interior Temporary protection is excluded.
6. Any work not exclusively described in the above proposal scope of work is excluded.

If you have any questions regarding this proposal, please do not hesitate to call me at my number listed below.

Respectfully Submitted,

*Jarod Miller*

Jarod Miller  
Garland/DBS, Inc.  
(216) 430-3606



Garland/DBS, Inc.  
3800 East 91<sup>st</sup> Street  
Cleveland, OH 44105  
Phone: (800) 762-8225  
Fax: (216) 883-2055



## **ROOFING MATERIAL AND SERVICES PROPOSAL**

Amity Regional School District #5  
Bethany Middle School - Walls  
190 Luke Hill Rd  
Bethany, Connecticut 06524

Date Submitted: 04/25/2023  
Proposal #: 25-CT-230422  
MICPA # PW1925

CONNECTICUT General Contractor License #: MCO.0902605

Purchase orders to be made out to: Garland/DBS, Inc.

**Please Note:** The following budget/estimate is being provided according to the pricing established under the Master Intergovernmental Cooperative Purchasing Agreement (MICPA) with Racine County, WI and OMNIA Partners, Public Sector (U.S. Communities). Garland/DBS, Inc. administered an informal competitive process for obtaining quotes for the project with the hopes of providing a lower market-adjusted price whenever possible.

### **Scope of Work: Base Bid - Wall Panel Reclad**

1. Includes but is not limited to the cleaning, sealing and installation of aluminum metal wall panels on roughly 5,515 square ft (contractor to verify). The SD will choose the color(s) to be standard and this shall include all necessary work, flashings and materials in accordance with the specifications, scope of work, and details provided in the bid documents.

### **Base Bid - Wall Panel Reclad**

Proposal Price Based Upon Market Experience	\$ 236,198
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### **Garland/DBS Price Based Upon Local Market Competition:**

1 Gold Seal Roofing	\$ 236,198
2 JHS Restoration	\$ 267,585
3 Macri Roofing	\$ 282,602

### **Scope of Work: Add Alternate 1 - 3" Rockwool Insulation**

1. Includes but is not limited to adding and installing 3" of Rockwool Insulation prior to vented hat channels and metal wall panels in between all columns or pillars. This work shall include all necessary work, flashings and materials in accordance with the specifications, scope of work, and details provided in the bid documents.



**Add Alternate 1 - 3" Rockwool Insulation**

<b>Proposal Price Based Upon Market Experience:</b>	<b>\$ 53,721</b>
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**Garland/DBS Price Based Upon Local Market Competition:**

<b>1 JHS Restoration</b>	<b>\$ 53,721</b>
2 Gold Seal Roofing	\$ 57,179
3 Macri Roofing	\$ 65,780

Potential issues that could arise during the construction phase of the project will be addressed via unit pricing for additional work beyond the scope of the specifications. This could range anywhere from wet insulation, to the replacement of deteriorated wood nailers.

Please Note – The construction industry is experiencing unprecedented global pricing and availability pressures for many key building components. Specifically, the roofing industry is currently experiencing long lead times and significant price increases with roofing insulation and roofing fasteners. Therefore, this proposal can only be held for 30 days. DBS greatly values your business, and we are working diligently with our long-term suppliers to minimize price increases and project delays which could effect your project. Thank you for your understanding and cooperation.

**Clarifications/Exclusions:**

1. Permits are excluded.
2. Plumbing, Mechanical, Electrical work is excluded.
3. Masonry work is excluded.
4. Interior Temporary protection is excluded.
5. Any work not exclusively described in the above proposal scope of work is excluded.

If you have any questions regarding this proposal, please do not hesitate to call me at my number listed below.

Respectfully Submitted,

*Jarod Miller*

Jarod Miller  
Garland/DBS, Inc.  
(216) 430-3606



Garland/DBS, Inc.  
3800 East 91<sup>st</sup> Street  
Cleveland, OH 44105  
Phone: (800) 762-8225  
Fax: (216) 883-2055



## **ROOFING MATERIAL AND SERVICES PROPOSAL**

**Amity Regional School District #5  
Orange Middle School  
100 Ohman Ave  
Orange, Connecticut 06477**

**Date Submitted: 04/04/2023  
Proposal #: 25-CT-230338  
MICPA # PW1925**

**CONNECTICUT General Contractor License #: MCO.0902605**

Purchase orders to be made out to: Garland/DBS, Inc.

**Please Note:** The following budget/estimate is being provided according to the pricing established under the Master Intergovernmental Cooperative Purchasing Agreement (MICPA) with Racine County, WI and OMNIA Partners, Public Sector (U.S. Communities). Garland/DBS, Inc. administered an informal competitive process for obtaining quotes for the project with the hopes of providing a lower market-adjusted price whenever possible.

### **Scope of Work: 20 Year - Fully Reinforced**

1. Pressure wash and scrub entire roof and flashings using a stiff brush and solution of Simple Green and TSP cleaners with water as specified.
2. Rinse roof and flashings using clean water and pressure washer to remove all cleaning solution residue, repeat the rinsing process until no cleaning solution is left and allow drying 24 to 48 hours.
  - a. Roof must be 100% dry prior to application.
3. After proper cleaning and preparation on all four corners of the buildings "bump-outs", apply 6" Uni-Bond tape to the transition from sloped metal to epdm, splitting the coverage of each and coat at the specified application rate.
  - a. Making sure to overlap and "feather" coating past the tape edge by a minimum of 1" on the base coat and 2" on the top coat.
4. Starting at the drains and working backwards, using a brush and roller apply coating at a rate of 3 gal/ 100 sqft while embedding and backrolling grip polyester soft using Garland's LiquiTec (white in color) and allow drying for 24 to 48 hours.
  - a. Taking special care to make sure there are minimal-to-no wrinkles, loose edges, no fishmouths, bubbles or uncoated scrim exposed.
5. Coat entire roof including flashings and field using Garland's LiquiTec Base Coat (grey in color) at a rate of 2 gal/ 100 sqft using a squeegee and a roller to back roll evenly.

Notes: BOTH Scope Options Shall include: (PENDING IR SCAN)

1. Cut out all areas of wet/damaged insulation down to the decking or older roofing system.
2. Replace insulation in kind and mechanically fasten into decking using screws and plates.
3. Properly tie in new Vulcanized (cured) EPDM with the original EPDM. Contractor to confirm tie-in laps, coverstrip.
  - a. All newly applied coverstrip shall have Uni-Bond tape applied over it prior to coating being applied.

**Proposal Price Based Upon Market Experience: \$ 181,964**

**Garland/DBS Price Based Upon Local Market Competition:**

<b>1 Tech Roofing</b>	<b>\$ 181,964</b>
2 Macri Roofing	\$ 212,513
3 Gold Seal Roofing	\$ 229,988
4 JHS Restoration	\$ 230,619

**Scope of Work: 15 Year - Single-Ply Membrane field/flashing seams and details coating**

1. Apply LiquiTec coating 8" wide over all seams (either method). Always begin with flashing's, vertical seams and details before proceeding to field seam application. The minimum application rate should be 2.0 gal./100 sqft for Uni-Bond and 3 gal./ 100 Sqft for grip poly soft. Care should be taken to apply the coating without air pockets, puddles or pinholes.
2. Allow to cure thoroughly before applying field coating layers but no more than 72 hrs.

Notes: BOTH Scope Options Shall include: (PENDING IR SCAN)

1. Cut out all areas of wet/damaged insulation down to the decking or older roofing system.
2. Replace insulation in kind and mechanically fasten into decking using screws and plates.
3. Properly tie in new Vulcanized (cured) EPDM with the original EPDM. Contractor to confirm tie-in laps, coverstrip.
  - a. All newly applied coverstrip shall have Uni-Bond tape applied over it prior to coating being applied.

Notes: Fabric reinforcement is only required in areas that hold water, around drains, on loose/damaged seams or over existing membrane repairs and over originally adhered single-ply seams.

**Proposal Price Based Upon Market Experience: \$ 128,821**

**Garland/DBS Price Based Upon Local Market Competition:**

<b>1 Tech Roofing</b>	<b>\$ 128,821</b>
2 Macri Roofing	\$ 134,153
3 JHS Restoration	\$ 157,763
4 Gold Seal Roofing	\$ 177,109

**Unforeseen Site Conditions:**

Removal and Replacement of Tie-Ins \$ 9.12 per Sq. Ft.



**Scope of Work: Add Alternate - Gutter and Flashings**

1. Includes but is not limited to the proper installation and flashing tie-in of new K-Style gutters and leaders prior to any installation of a fluid applied restorative coating. This shall include all necessary work, flashings and materials in accordance with the specifications, scope of work, and details provided in the bid documents.

**Proposal Price Based Upon Market Experience:** \$ **24,610**

**Garland/DBS Price Based Upon Local Market Competition:**

<b>1 Macri Roofing</b>	<b>\$ 24,610</b>
2 Tech Roofing Services	\$ 28,534
3 Gold Seal Roofing	\$ 29,009
4 JHS Restorations	\$ 30,579

Potential issues that could arise during the construction phase of the project will be addressed via unit pricing for additional work beyond the scope of the specifications. This could range anywhere from wet insulation, to the replacement of deteriorated wood nailers.

Please Note – The construction industry is experiencing unprecedented global pricing and availability pressures for many key building components. Specifically, the roofing industry is currently experiencing long lead times and significant price increases with roofing insulation and roofing fasteners. Therefore, this proposal can only be held for 30 days. DBS greatly values your business, and we are working diligently with our long-term suppliers to minimize price increases and project delays which could effect your project. Thank you for your understanding and cooperation.

**Clarifications/Exclusions:**

1. Permits are excluded.
2. Bonds are included.
3. Plumbing, Mechanical, Electrical work is excluded.
4. Masonry work is excluded.
5. Interior Temporary protection is excluded.
6. Any work not exclusively described in the above proposal scope of work is excluded.

If you have any questions regarding this proposal, please do not hesitate to call me at my number listed below.

Respectfully Submitted,

*Jarod Miller*

Jarod Miller  
Garland/DBS, Inc.  
(216) 430-3606



Garland/DBS, Inc.  
3800 East 91<sup>st</sup> Street  
Cleveland, OH 44105  
Phone: (800) 762-8225  
Fax: (216) 883-2055



## **ROOFING MATERIAL AND SERVICES PROPOSAL**

Amity Regional School District #5  
Orange Middle School - Walls  
100 Ohman Ave  
Orange, Connecticut 06477

Date Submitted: 04/21/2023  
Proposal #: 25-CT-230421  
MICPA # PW1925

CONNECTICUT General Contractor License #: MCO.0902605

Purchase orders to be made out to: Garland/DBS, Inc.

**Please Note:** The following budget/estimate is being provided according to the pricing established under the Master Intergovernmental Cooperative Purchasing Agreement (MICPA) with Racine County, WI and OMNIA Partners, Public Sector (U.S. Communities). Garland/DBS, Inc. administered an informal competitive process for obtaining quotes for the project with the hopes of providing a lower market-adjusted price whenever possible.

### **Scope of Work: Base Bid - Wall Panel Reclad**

1. Includes but is not limited to the cleaning, sealing and installation of aluminum metal wall panels on roughly 7,410 square ft (contractor to verify). The SD will choose the color(s) to be standard and this shall include all necessary work, flashings and materials in accordance with the specifications, scope of work, and details provided in the bid documents.

### **Base Bid - Wall Panel Reclad**

**Proposal Price Based Upon Market Experience:** \$ 308,784

### **Garland/DBS Price Based Upon Local Market Competition:**

<b>1 JHS Restoration</b>	<b>\$ 308,784</b>
2 Gold Seal Roofing	\$ 323,321
3 Macri Roofing	\$ 347,102

### **Scope of Work: Add Alternate 1 - 3" Rockwool Insulation**

1. Includes but is not limited to adding and installing 3" of Rockwool Insulation prior to vented hat channels and metal wall panels in between all columns or pillars. This work shall include all necessary work, flashings and materials in accordance with the specifications, scope of work, and details provided in the bid documents.

Add Alternate 1 - 3" Rockwool Insulation

**Proposal Price Based Upon Market Experience:**

**\$ 57,703**

**Garland/DBS Price Based Upon Local Market Competition:**

**1 JHS Restoration**

**\$ 57,703**

2 Macri Roofing

\$ 73,234

3 Gold Seal Roofing

\$ 78,684

**Unforeseen Site Conditions:**

Brick Masonry Repointing

\$ 22.80 per Sq. Ft.

Brick Replacement and Repointing

\$ 20.52 per Brick

Potential issues that could arise during the construction phase of the project will be addressed via unit pricing for additional work beyond the scope of the specifications. This could range anywhere from wet insulation, to the replacement of deteriorated wood nailers.

Please Note – The construction industry is experiencing unprecedented global pricing and availability pressures for many key building components. Specifically, the roofing industry is currently experiencing long lead times and significant price increases with roofing insulation and roofing fasteners. Therefore, this proposal can only be held for 30 days. DBS greatly values your business, and we are working diligently with our long-term suppliers to minimize price increases and project delays which could effect your project. Thank you for your understanding and cooperation.

**Clarifications/Exclusions:**

1. Permits are excluded.
2. Plumbing, Mechanical, Electrical work is excluded.
3. Masonry work is excluded.
4. Interior Temporary protection is excluded.
5. Any work not exclusively described in the above proposal scope of work is excluded.

If you have any questions regarding this proposal, please do not hesitate to call me at my number listed below.

Respectfully Submitted,

*Jarod Miller*

Jarod Miller  
Garland/DBS, Inc.  
(216) 430-3606



**AMITY REGIONAL HIGH SCHOOL**  
**LIBRARY MEDIA CENTER REMODEL TIMELINE**

- June 2023 –Prepare Request for Qualifications Document (RFQ)
- July 2023 –Post Request for Qualifications Document (RFQ)
- August 14, 2023 – Amity Facilities Committee Interview Architects for project and makes recommendation to the Amity Board of Education
- August 21, 2023 – Amity Finance Committee and Amity Board of Education take action on designation of 2% for end of year funds to “Library Media Center Remodels”
- August 21, 2023 – Amity Board of Education authorizes actions through 4 resolutions:
  - Educational Specifications
  - Authorizes Superintendent to Apply for grant reimbursement through DAS –OSC&R
  - Appoints the Facility Committee members to serve as the School Building Committee
  - Authorizes the outline and schematics drawings for the project
  - Appoints an architectural firm to develop schematics
- September – November 2023 -Architecture firm works with school staff to develop scope of remodeling project
- Spring 2024 – Amity Board of Education reviews project total, funding sources and authorizes amount of project
- Construction Project is bid
- April/May 2024 – Amity Finance Committee and Board of Education approves successful bid contractor
- By June 30, 2024 – Finance Department completes application with DAS for priority funds
- Anticipate DAS grant decision December 2024
- Work scheduled to start June 2025



TOWN PLAN AND ZONING COMMISSION  
TOWN OF WOODBRIDGE  
WOODBRIDGE, CONNECTICUT

TEL. (203) 389-3406

March 13, 2023

Dr. Jennifer Byars, Superintendent  
Amity Regional School District # 5  
25 Newton Road  
Woodbridge, CT 06525

Re: Change to 1988 Guidelines for Use of Stadium Lighting  
25 Newton Road

Dear Dr. Byars,

At its meeting on March 6, 2023, the Woodbridge Town Plan and Zoning Commission acted to approve the request to change the 1988 Guidelines on the use of the Stadium Field Lights at the Amity Regional High School, 25 Newton Road.

The changes to the 1988 Guidelines for the Stadium Lighting are those set forth in the letter to the Commission dated January 10, 2023, amended to February 14, 2023.

Very truly yours,

Robert Klee, Chairman for the Commission  
RK/krs

Cc:  
Zoning Enforcement Officer

CERTIFIED MAIL 7020 0640 0000 2199 8091

**AMITY REGIONAL SCHOOL DISTRICT NO. 5**  
**Bethany Orange Woodbridge**  
**25 Newton Road, Woodbridge, Connecticut 06525**



**Dr. Jennifer P. Byars**  
**Superintendent of Schools**

*jennifer.byars@amityregion5.org*  
**203.392.2106**

January 10, 2023 (Amended February 14, 2023)

Woodbridge Town Planning and Zoning Commission  
c/o Kristine Sullivan  
11 Meetinghouse Lane  
Woodbridge, CT 06525

Re: Request to Change 1988 Guidelines on the Use of Stadium Field Lights at Amity Regional High School

Dear Woodbridge TPZ Commission:

In 1988, the Woodbridge TPZ Commission approved the installation of lights at the high school football field under the condition that the School District follow guidelines for conducting evening football activities (see attached). When the stadium renovations were completed in 2021, the Amity Regional School District continued to operate under those guidelines.

The Amity Regional School District No. 5 respectfully requests your consideration of a change in the 1988 guidelines for football operations. The essential reasons for this request are as follows:

- The newly installed LED lights provide a vastly different lighting field than those installed in 1988. The ability to direct the lights to the field has eliminated light spillage onto other areas of the Amity property or private property adjacent to the school (see attached).
- The expansion of athletics teams since 1988 has increased the number of teams accessing the stadium field for both practice and competition.
- The current guidelines only accommodate football (a boys' sport). Updating the guidelines to reflect all athletic contests would open opportunity for equal access for girls' sports.
- Some of the guidelines are outdated with regard to personnel and crowd management and control at the football games.

The new guidelines that the Amity Regional School District requests for consideration are as follows:

1. There will be adequate school staff to direct traffic and adequate police to monitor back gate during football contests held at the stadium.
2. Athletic contests that require the use of the stadium lights will be scheduled to conclude by 9:00 pm. It is understood that weather delays, overtime periods, or other unpredictable events may periodically result in contests ending after 9:00 pm.
3. Following contests, parking areas will be cleared by 9:30 pm. It is understood that weather delays, overtime periods, or other unpredictable events may periodically result in the clearing of parking areas after 9:30 pm.
4. Contests will generally be held to 20 evenings during a school year, exclusive of playoffs and championships.
5. Practices requiring lights will not exceed established sound ordinances.



6. Lights may be used when student athlete safety is at risk, including but not limited to low light levels due to dusk or excessive cloud cover. Determination for the use of lights for athlete safety will be made by the athletic director in consultation with coaches, athletic trainers, and/or officials.

Respectfully submitted,

A handwritten signature in black ink, reading "Jennifer P. Byars". The signature is fluid and cursive, with the first name "Jennifer" being the most prominent part.

Jennifer P. Byars, Ed.D.

Cc: Paul David, Amity BOE Chair  
Stephen Martoni, Amity Director of Facilities  
Ernest Goodwin, Amity Athletic Director

Attachments: 1988 Letter from TPZ Commission  
2021 Amity Stadium Light Study



TOWN PLAN AND ZONING COMMISSION  
TOWN OF WOODBRIDGE  
WOODBRIDGE, CONNECTICUT

TEL. (203) 389-3406

March 13, 2023

Dr. Jennifer Byars, Superintendent  
Amity Regional School District # 5  
25 Newton Road  
Woodbridge, CT 06525

Re: Proposal for additional parking lot lighting for student/visitor safety  
25 Newton Road

Dear Dr. Byars,

At its meeting on March 6, 2023, the Woodbridge Town Plan and Zoning Commission acted to approve the proposal for additional parking lot lighting for student/visitor safety at the Amity Regional High School, 25 Newton Road.

The approval is based on the lighting plan prepared by the United Illuminating Company (UI), entitled "Amity High School Entrance N Pease Road", dated 01/13/23, and is subject to the following conditions:

- o Use of a timer for the lights so that they are not on all night.
- o Referral of the proposal back to the UI, to determine if poles of a lesser height can be utilized and still achieve the same safety goal.
- o Certification by the UI that the lights, when in use, will be dark sky compliant and in compliance with Figure 5.1 Luminaire Types and Table 5.3 Foot-Candle Standards of the Woodbridge Zoning Regulations.
- o Compliance with Section 5.15 B of the Woodbridge Zoning Regulations regarding Illumination Standards

For your reference a copy of the cited sections of the Zoning Regulations is attached.

Very truly yours,

Robert Klee, Chairman for the Commission  
RK/krs

Cc:  
Zoning Enforcement Officer

CERTIFIED MAIL 7020 0640 0000 2199 8213

## Stephen Martoni

---

**From:** Jennifer Byars  
**Sent:** Tuesday, May 2, 2023 10:06 AM  
**To:** Kristine Sullivan  
**Cc:** Stephen Martoni; Paul Davis  
**Subject:** Please pass on to Chairman Klee

Dear Chairman Klee and Members of the Woodbridge TPZ –

On behalf of the Amity Board of Education and our students and staff, I again would like to express my gratitude for allowing us to return to the TPZ with our request for additional lighting in the upper Amity parking lot. While we appreciate and understand your desire to compromise for the benefit of the school and our neighbors, the inability to comply with the condition of a timer put the District into the difficult position of not installing the lights at all. Your willingness to rehear our application and ultimately your support for the safety of our students, staff, grounds, and the residents who access our property is appreciated. We too wish to be good neighbors and will work with UI from the onset to limit the impact of the new lights on their property.

Respectfully,  
Dr. Jenn Byars

*Jennifer P. Byars, Ed.D.*  
Superintendent, Amity Regional School District 5

25 Newton Road  
Woodbridge, CT 06525  
Phone: 203-397-4811  
Fax: 203-397-4864



**MINUTES**  
**WOODBIDGE TOWN PLAN AND ZONING COMMISSION**  
**REGULAR MEETING OF MAY 1, 2023**

A regular meeting of the Woodbridge Town Plan and Zoning Commission, was held on May 1, 2023, in the Central Meeting Room Town Hall, 11 Meetinghouse Lane, Woodbridge, Connecticut, attended by:

Members: Robert Klee ~ Chairman, Yonatan Zamir, Paul Schatz, and Jeff Kennedy

Alternates: Kathy Hunter and Aaron Hoffmann

Excused: Andrew Skolnick and Chadi Noujaim (alternate)

Hunter voted in place of Skolnick; Hoffmann voted in place of the vacant full member position on the Commission. Zoning Enforcement Officer Kristine Sullivan was also in attendance. The Chairman called the meeting to order at 6:30 pm.

**PUBLIC HEARING**

**Luciani Properties LLC: 110 Luciani Street**

**Application for special permit for excavation to construct two residential homes**

The Chairman opened the public hearing on the application by Luciani Properties LLC for a special permit for excavation related to the construction of two residential homes at 110 Luciani Street.

Attorney Joshua Pedreira of Cohen and Wolf PC was present on behalf of the applicant as well as Dariusz Iwaszkiewicz, partner in Luciani Properties LLC. They gave a presentation regarding the application and responded to questions from Commission members, which included:

Attorney Pedreira in his presentation:

- Reviewed the memorandum from the Commission's engineering consultant, Criscuolo Engineering dated April 28, 2023.
- Reviewed the report of the applicant's Geotechnical engineer dated February 17, 2023,
- Reviewed the letter dated February 2, 2023, from the applicant's arborist, Out on a Limb
- Noted that as required that the site plan, dated 5/27/2022 revised to 2/17/2023 in addition to being stamped by a surveyor is also stamped by an engineer, licensed in the State of Connecticut.
- Noted there will be no health and safety concerns due to the project.
- Noted variances are required for the project
- Noted the project will not result in an increase in traffic.

Mr. Iwaszkiewicz then reviewed the excavation plans for the hearing record during which he noted:

- The concerns about runoff from the site have been addressed by the use of swales and sediment traps. Those devices will be relocated during the project as the excavation moves to achieve the elevations shown on the submitted site plan.

- The geotechnical engineer will reinspect the site during the progression of site work to advise if site conditions change from those in his report.
- As identified in the report of the arborist, three existing trees will be removed. Additional trees will be removed as needed.
- The top of the excavated slope will be sixty feet.
- There would be a buffer layer at the top of the excavation.
- With the recent rains there has been no erosion from the site.
- The site plan includes the use of rain barrels and inground infiltrators to retain water on the site.
- Currently water that flows onto the site goes directly into the existing road drains.
- The drainage swales would be temporary and move as the excavation progresses.
- A ramp from the excavated materials would be used to access the upper reaches of the excavation area.
- The fence at the top of the excavation would be a safety fence to keep humans and animals from the edge of the excavation. It would be firmly secured to the ground and would not interfere with site drainage.
- Large machinery would be used to perform the sitework.
- Site work could take three to four months ~ but could go faster.
- Tree issues that might occur in the course of the site work would be addressed at that time for the safety of the site workers. There would be no danger to abutting properties.
- The order of site work would be installation of the safety fence, installation of haybales, grub and cut trees and excavate to achieve the grades necessitated by the approved zoning site plan.
- No blasting is anticipated , but rather use of heavy machinery.
- Blasting is more expensive, requires the taking of seismic readings, a pre-blast survey including home inspections. For a project of this size, blasting would not be cost effective.
- If material were encountered that required blasting, a permit would be obtained from the Fire Marshal. It is impossible to tell at this time if that type of material will be encountered.

There being no further questions by Commission members or comments by the applicant at this time, the Chairman reviewed the ground rules for the public providing testimony for the public hearing and opened the hearing to public comment. The following members of the public spoke at this time and provided comments, including as noted:

**Peter Cofrancesco: 108 Luciani Street**

- Had to deal with the hammering and blasting from the prior developer, Vizzo.
- Basements have been cracked.
- Thought that this project was not going to involve blasting or hammering.

**Rosalie Rowland: 102 Luciani Street**

- Had lived in on the road for 40+ years.

- After site work by the prior contractor, during the winter water freezing in the road occurred. *Note: two pictures were submitted showing ice in a driveway and ice on the edge of the road.*
- Did not want blasting/pounding to occur again.
- Did not trust anybody.
- Noted the same arborist was being used by the applicant as the former developer.
- Haybales had been installed at the direction of the blight officer after she had called the police.
- Where would snow be put in the winter.

**Kyle Stevens: 15 Aerial Road**

- Noted that he lived at the top of the slope above the site.
- Was concerned about the stability of his home due to heavy hammering.
- Was concerned about the noise from hammering.
- Questioned if the applicant would have to have insurance if the permit were granted to cover damage to homes.

**Mary Cofrancesco: 108 Luciani Street**

- Expressed concern about water coming from the property.
- They had not experienced problems with water until the prior developer had begun work on the site.
- Asked that the Commission members take the neighbor's concerns into consideration.

**Richard Silocka: 47 Sunbrook Road, Hamden**

- As a friend of the abutting neighbor, was concerned about the disruption to the neighborhood that 4 to 5 months of hammering/blasting would generate.
- Expressed concern about the truck traffic generated by the project
- That the project would be a tremendous disruption to the neighborhood and leave an "open scar."

**Joe Yasick: 3 Ariel Road**

- Worked from home and endured eight hours of hammering under the prior developer.
- With two houses proposed there will be twice the amount of disturbance.
- The 60' vertical drop is pure ledge and drips water.

**Michael Walters: 66 Luciani Street**

- Lives 10 houses down from the project and still felt the hammering when work was done by the prior developer.
- Did not want to listen to hammering for three to eleven months.
- Water follows gravity so water is flowing to the site naturally not because of the neighbors.
- Questioned if an additional catch basin will be needed in the road since there is only one in the road by 108 Luciani.
- There is water that freezes in the road by 80 Luciani.
- The fence should be erected before work on the project starts.



There being no further comments from members of the public at this time, Attorney Pedreira and Mr. Iwaszkiewicz made additional comments for the hearing record including:

- Recognize the concerns of the neighbors.
- The application complies with all the applicable regulations.
- The noise from the construction site would be “temporary” and is typical for construction.
- The property is lower than other properties on that side of the road.
- Water drains down from the properties and road higher up.
- The slopes on the proposed driveways are 13.9 % and 14.4%. It is unknown what slopes on other existing residences in the area are.
- Haybales on the site were installed after the site had been “chipped” at the direction of the blight officer.
- The applicant would comply with the zoning regulations limitation on site work of only Mondays through Fridays excluding holidays, with no work between 5 pm and 8 am on those days and trucking hours which would be further limited to not conflict with school bus pickup and drop off.

After the conclusion of closing remarks by Attorney Pedreira and Mr. Iwaszkiewicz the following members of the public made additional comments as noted:

**Joe Yasick: 3 Ariel Road**

- The type of site work on the property is not “typical” and he did not want to go through the noise and disruption again.

**Rosalie Rowland: 102 Luciani Road**

- The haybales had been required by the blight officer

There being no further comments by the applicant, public or questions by members of the Commission, the public hearing was closed by the following motion.

\*\*\* **Schatz moved to close the public hearing**

\*\*\* **Kennedy seconded**

\*\*\* **In Favor: Klee, Kennedy, Zamir, Hoffmann, Schatz, and Hunter**

\*\*\* **Opposed: No One**

\*\*\* **Recused: No One**

\*\*\* **Abstained: No One**

**Unanimous vote of approval.**

At this time there was a brief recess in the meeting.

**NEW BUSINESS**

**Toll Brothers LLC : 1710 Litchfield Turnpike**

**Application for use of a temporary sales trailer and a temporary construction trailer for the Toll Brothers development “Regency at Woodbridge.”**

Jason Gottlieb, Senior Project Manager with Toll Brothers was present on behalf of the application by Toll Bros. LLC for use of a temporary sales trailer and temporary construction trailer for the Toll Bros. LLC development “Regency at Woodbridge.” In

his presentation and in response to questions by Commission members his comments included:

- The construction trailer would be used by the site manager and sales trailer would be used by sales staff for the project.
- The length of time the sales trailer would be on the site would be market driven.
- The construction trailer would remain during the duration of work on the site.
- Work on the first unit is expected to commence next week.

At the conclusion of Mr. Gottlieb's remarks, the Commission acted on the application as follows:

- \*\*\* **Hoffman moved to approve the application by Toll Bros. LLC for use of Both a temporary construction trailer and temporary sales trailer at 1710 Litchfield Turnpike during the development of the Toll Bros. "Regency at Woodbridge".**
  - \*\*\* **Zamir seconded**
  - \*\*\* **In Favor: Klee, Kennedy, Zamir, Hoffmann, and Hunter**
  - \*\*\* **Opposed: No One**
  - \*\*\* **Recused: No One**
  - \*\*\* **Abstained: Schatz**
- Unanimous vote of approval.**

### **WORK SESSION**

#### **Amity Regional School District: 25 Newton Road**

#### **Letter regarding conditions of driveway parking lighting.**

The Commission had received a letter dated April 28, 2023, from Attorney Nicholas Bamonte, of Berchem and Moses, PC, legal counsel for the Amity Regional School District regarding conditions of the permit approved by the Commission on March 6, 2023, regarding additional lighting for the driveway access to N. Pease Road from the High School.

Present for discussion of the letter were Attorney Bamonte, District Superintendent Dr. Jennifer Byars, and Steve Martoni, Director of Facilities. In their presentation and in response to questions by Commission members their comments included the following:

- The Commission had requested that the driveway lights be put on timers, but the UI lights that would be installed cannot be on timers/photocells.
- The lights staying on all night would be consistent with the rest of lighting at "core" of the school that stay on all night.
- The "modern" lighting will comply with the Zoning Regulations and dark sky requirements.
- The lights will be "shielded" but could have an additional shielding installed to further direct the light to the driveway and parking area and limit spillage to the neighboring properties.
- The existing lights are LEDs, but the "new" parking area/rear driveway lights would be a new technology LED light.
- If there are issues with light spillage after the lights go up, the cost of resolving the issue would be with the UI who will own the lights.

- The lights will be about 25' above the ground.
- The “temporary” lighting owned by the school is only used at events and has not been the subject of any complaints by neighbors.

At the conclusion of the discussion the Commission members acted on the following motion to amend the approval for the lights made at the Commission’s regular meeting on March 6, 2023

- \*\*\* Klee moved to amend the first condition of the approval made by the Commission at its regular meeting on March 6, 2023, regarding the proposal submitted by the Amity Regional School District prepared by the United Illuminating Company (UI), entitled “Amity High School Entrance N Pease Road,” dated 01/13/23. The condition which had stated: “Use of a timer for the lights so that they are not on all night” shall be amended to state: “That the Commission recognizes that a time cannot be used on the lights, but the UI will use all measures it can to shield the lights from the neighboring properties.”
- \*\*\* Zamir seconded
- \*\*\* In Favor: Klee, Kennedy, Zamir, Schatz, Hoffmann, and Hunter
- \*\*\* Opposed: No One
- \*\*\* Recused: No One
- \*\*\* Abstained: No One
- Unanimous vote of approval.**

#### **Luciani Properties LLC: 110 Luciani Street**

##### **Application for special permit for excavation to construct two residential homes**

The Commission members discussed the application, including:

- Issues that had been raised at the time of the previous denial of an application by the same applicant for the same work, regarding geotechnical data, status of trees on the site, signature of an engineer on the submitted plans, and erosion control issues, had been addressed with the subject application.
- Noise would be minimized by the limited work hours and days set forth in Section 3.3.N of the regulations.
- Truck traffic would not be allowed to occur during school bus runs.

At the conclusion of their discussion, the Commission members acted on the subject application as follows:

- \*\*\* Klee moved to approve the application of Luciani Properties LLC for a special permit for excavation to construct two residential homes on property located 110 Luciani Street. The approval is based on the plans entitled and dated as follows, prepared, and stamped by Paul J. Stowell, Land Surveying and David L. Nafis, PE.
- “Site Plan for Excavation prepared for Luciani Properties LLC on Lots 15 & 16 (AKA 110 Luciani Rd, Woodbridge, CT”, dated 5/27/2022, revised to 2/17/2023, Sheet 1 of 2; and



- “Project Details prepared for Luciani Properties LLC on Lots 15 & 16 (AKA) 110 Luciani Rd, Woodridge, CT”, dated 5/27/2022 revised to 9/30/22, Sheet 2 of 2.

The permit is subject to compliance with the Standards and Conditions of Section 3.3.N.(6) of the Zoning Regulations for the Town of Woodbridge (the Regulations) and the following additional conditions:

1. As represented during the public hearing, the applicant’s geotechnical expert shall come back to the site at reasonable intervals to analyze the stability of the slopes on the site.
2. The applicant shall maintain the limited operation hours on the site so that no work occurs between 5P.M. and 8 A.M., nor on Saturdays, Sundays, or legal holidays.
3. Truck traffic related to the site operation shall be arranged in accordance with Section 3.3.N.(6)(a)(ix) of the Regulations with particular avoidance of school bus runs on Luciani and Robert Streets for Beecher Road School, and the Amity Regional Middle School and High School.
4. Minimize noise impact
5. Management of storm water flowing through the site shall follow the stormwater retention plan set forth on the approved plans to minimize stormwater flows offsite.
6. In accordance with Section 3.3.N.(8)(a) of the Regulations , prior to the start of work on the site, a bond shall be filed with the Commission in an amount to be proposed by the applicant’s engineer and approved by the Commission’s consulting engineer, to ensure the performance and completion of the operation in conformance with the approved site plans.
7. In accordance with Section 3.3.N.(8)(b) of the Regulations the permit shall expire on May 1, 2024, unless a timely renewal of the permit is made in accordance with Section 3.3.N.(8)c) of the Regulations.

\*\*\* Schatz seconded

\*\*\* In Favor: Klee, Zamir, Schatz, Hoffmann, and Hunter

\*\*\* Opposed: Kennedy

\*\*\* Recused: No One

\*\*\* Abstained: No One

Majority vote of approval.

#### **Discussion and appropriate action regarding cleanup of the Zoning Regulations**

Because of the lateness of the hour, the Commission deferred its continued its review of the clean-up of the until the Commission’s regular meeting on June 5, 2023.

#### **Discussion and appropriate action regarding cannabis regulations**

This item was deferred until the Commission’s regular meeting on June 5, 2023.

#### **Report regarding actions of the Regional Planning Commission of SCRCOG**

Since Commissioner Skolnick was excused from this evening's meeting there was no report.

### **Report of the Housing Committee**

Commissioner Hunter reported that the Committee continues to hold Community Conversations. The Committee will also be seeking public comment for any changes that should be incorporated into the Housing Plan before it would be incorporated into the Plan of Conservation and Development.

### **Report on the West Rock Ridge State Park Advisory Council**

Commissioner Zamir reported that the bi-annual meeting of the Council had been held on April 27, 2023, via Zoom. Matters discussed included paving the park road to the southern picnic pavilion, and improvements to parking by the park entrance and Lake Wintergreen.

### **Correspondence**

Emails were received from Attorney John Knuff and PE John Paul Garcia both requesting an extension of ninety days to file the mylar for the approved subdivision of 10 and 14 Merritt Avenue.

**\*\*\* Schatz moved to grant a ninety day extension of time in which to file the mylar for the subdivision of 10 and 14 Merritt Avenue.**

**\*\*\* Hoffman seconded**

**\*\*\* In Favor: Klee, Kennedy, Zamir, Schatz, Hoffmann, and Hunter**

**\*\*\* Opposed: No One**

**\*\*\* Recused: No One**

**\*\*\* Abstained: No One**

**Unanimous vote of approval.**

### **Approval of Minutes**

**\*\*\* Klee moved to approve the minutes of the Commission's regular meeting on April 3, 2023, as submitted.**

**\*\*\* Kennedy seconded**

**\*\*\* In Favor: Kennedy, Zamir, Hoffmann, and Hunter**

**\*\*\* Opposed: No One**

**\*\*\* Recused: No One**

**\*\*\* Abstained: Klee and Schatz**

**Unanimous vote of approval.**

**\*\*\* Hoffman moved to approve the minutes of the Commission's special joint meeting with the Zoning Board of Appeals on April 25, 2023, as submitted.**

**\*\*\* Kennedy seconded**

**\*\*\* In Favor: Kennedy, Zamir, Hoffman and Hunter**

**\*\*\* Opposed: No One**

**\*\*\* Recused: No One**

**\*\*\* Abstained: Klee and Schatz**

**Unanimous vote of approval.**

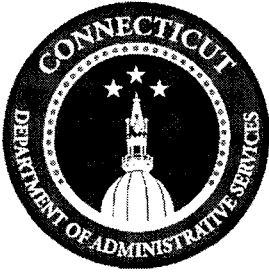
**Meeting Adjournment**

**\*\*\* Schatz moved to adjourn the meeting at 8:50 pm**  
**\*\*\* Kennedy seconded**  
**\*\*\* In Favor: Klee, Kennedy, Zamir, Schatz, Hoffmann, and Hunter**  
**\*\*\* Opposed: No One**  
**\*\*\* Recused: No One**  
**\*\*\* Abstained: No One**  
**Unanimous vote of approval.**

Accordingly, the meeting was adjourned at 8:50 pm.

Respectfully submitted,

Kristine Sullivan,



## DEPARTMENT OF ADMINISTRATIVE SERVICES

April 5, 2023

Ms. Jennifer Byars  
Superintendent  
Amity Regional School District No. 5  
25 Newton Road  
Woodbridge, CT 06525-1598

RE: Notice of Grant Award - Amity Regional High School, Project Number 205-001 HVACR

Congratulations! The Connecticut State Department of Administrative Services (DAS) has approved your district's application(s) for a grant for a project involving the installation, replacement or upgrading of heating, ventilation and air conditioning systems or other improvements to indoor air quality in school buildings pursuant to section 10-265r of the Connecticut General Statutes. Your district will be reimbursed the applicable percentage of the eligible project expenses (bid amount/cost estimate) as submitted in your application and based on a review of your invoices.

Under section 10-265r, grants may be awarded retroactively for projects that commenced on or after March 1, 2020, and completed before July 1, 2022.

Your district should be advised that the following are ineligible expenses:

1. Routine maintenance and cleaning of the heating, ventilation and air conditioning system;
2. Work that is otherwise eligible for a school building project grant under chapter 173; and
3. Work performed at or on a public school administrative or service facility that is not located or housed within a public-school building.

Pursuant to section 10-265r, any grant recipient shall (1) be responsible for the routine maintenance and cleaning of the heating, ventilation and air conditioning system, and (2) provide training to school personnel and building maintenance staff concerning the proper use and maintenance of the heating, ventilation and air conditioning system.

### Next steps:

1. Sign the following page as acknowledgment of your acceptance of this grant commitment by May 1, 2023.
2. Submit a PDF of actual paid invoices to [hvac.grants@ct.gov](mailto:hvac.grants@ct.gov).

Your district must comply with the process set forth by the Connecticut Department of Administrative Services.

Please email [hvac.grants@ct.gov](mailto:hvac.grants@ct.gov) with any questions.

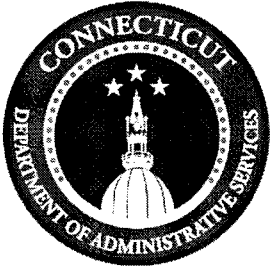
Congratulations, again!

Darren Hobbs,  
Deputy Commissioner

DAS.CT.GOV

*Affirmative Action/Equal Opportunity Employer*





## DEPARTMENT OF ADMINISTRATIVE SERVICES

### ACKNOWLEDGEMENT OF GRANT COMMITMENT

I, **Jennifer Byars, Superintendent**, acknowledge and accept the HVAC/Indoor Air Quality grant award for **Regional School District 5** in an amount not to exceed **\$866,663.06** and that the district will use the grant funds for the express purposes listed in the district's grant application. I further understand and acknowledge the requirements set forth in this letter and within section 10-265r of the Connecticut General Statutes.

Name: Jennifer P. Byars

Title: Superintendent of Schools, Regional School District 05

Date: April 6, 2023

Please return to [hvac.grants@ct.gov](mailto:hvac.grants@ct.gov) by May 1, 2023.



State of Connecticut  
**COMMISSION ON HUMAN RIGHTS AND OPPORTUNITIES**

Contract Compliance Unit – 450 Columbus Boulevard, Suite 2, Hartford, CT 06103

*Promoting Equality and Justice for all People*

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May 5, 2023

**Sent via email only**

Therese Lumas  
Director of Finance & Administration  
Amity Regional School District No. 5

**RE: HVAC Indoor Air Quality Grant Program- Amity Regional High School**

Dear Ms. Lumas:

The Commission on Human Rights and Opportunities (“CHRO”) Contract Compliance Unit has identified the above-mentioned project as being subject to CHRO contract compliance requirements, which were enacted in 2015. My understanding is the project involves the use of State funds from the Department of Administrative Services’ HVAC Indoor Air Quality Grant. As such, this contract is a “municipal public works contract,” as defined by Conn. Gen. Stat. § 4a-60g(a)(14).

The CHRO does not have any records to verify that this project is compliant with these requirements. As such, please provide clarification as to the following:

1. The prime contractor(s) awarded for this project and the contract value(s);
2. the date that bids were opened;
3. the project’s start and end dates;
4. whether your municipality sent the CHRO the required Intent to Award Contract and Request to Execute Contract (if so, please provide the documentation to verify the transmittal);
5. whether the contractor has submitted, to the CHRO, the required project-specific CHRO Affirmative Action Plan; and
6. confirmation that the mandatory, CHRO-specific two percent retainage has not been released.

The CHRO recognizes that this project may be completed and that your organization may handle its procurement separately from the municipality or municipalities. These facts do not negate your legal responsibilities as they related to the requirements of the Connecticut General Statutes.

Thank you for your assistance in this matter.

Sincerely,

***Paul Schiller***

Paul Schiller, Human Rights and Opportunities Representative Trainee  
Commission on Human Rights and Opportunities, Contract Compliance Unit

cc: Alvin Bingham, Commission on Human Rights and Opportunities  
Jim Murray, Commission on Human Rights and Opportunities  
Jennifer Byars, Superintendent of Schools

**AMITY REGIONAL SCHOOL DISTRICT NO. 5**  
**Bethany Orange Woodbridge**  
**25 Newton Road, Woodbridge Connecticut 06525**



To: Jennifer P. Byars, Superintendent of Schools

From: Theresa Lumas, Director of Finance & Administration

Date: May 18, 2023

Re: Designation of HVAC Grant Reimbursement funds in the Capital and Nonrecurring Account

The District received an award letter dated April 5, 2023 from the Department of Administrative Services (DAS) awarding \$866,663.06 in grant funds through the HVAC Reimbursement Grant. These grant proceeds were not expected at the time of the project since the projects were not eligible for reimbursement at the time of application. DAS opened the grant application in the fall of 2022 including a retroactive period through March of 2020. All invoices related to project were submitted to DAS upon receipt of the award notification. Subsequently, the District has also received a letter from the Commission on Human Rights and Opportunities (CHRO) dated May 5, 2023 identifying the project as being subject to CHRO contract requirements enacted in 2015. There is an informational webinar on Thursday, May 25, 2023 to learn more about the requirements and if our project award is subject to revision.

I am recommending the Amity Facilities Committee, Amity Finance Committee and Board of Education designate these funds for future projects. The technology infrastructure replacement and all weather field are part of the long range planning included on the 5 year Capital Plan. Setting aside these funds when available can keep future budget requests lower and avoid borrowing costs for projects.

ITEM	ESTIMATED COST
Technology Infrastructure Replacement	\$516,663.06
All weather field replacement	\$350,000.00
<b>TOTAL</b>	<b>\$866,663.06</b>

**Amity Facilities Committee:**

***Move to recommend the Amity Finance Committee and the Board of Education approve –***

**Amity Finance Committee:**

***Move to recommend the Amity Board of Education approve –***

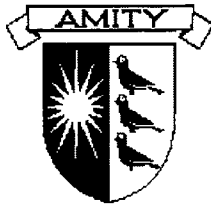
**Amity Board of Education:**

**Move to approve –**

***... the designation of HVAC grant funds for infrastructure replacement and all weather field replacement***

<b>ITEM</b>	<b>ESTIMATED COST</b>
Infrastructure Replacement	\$516,663.06
All weather field replacement	\$350,000.00
<b><i>TOTAL</i></b>	<b><i>\$866,663.06</i></b>





May 23, 2023

## 2023 Amity Facilities Summer Work

### Amity Middle School Bethany:

- Modular classroom renovations/move IT Department
- Tree work
- Interior painting
- Parking lot maintenance
- Tentative roof work
- IAQ assessment work

### Amity Middle School Orange

- Parking lot maintenance
- Interior painting
- Tentative roof work
- Gym floor refinishing
- IAQ assessment work
- Replacement of the ceiling tiles in the kitchen

### Amity Regional High School

- Lecture hall remodel
- Curtain wall frame replacement
- Front patio replacement
- Sidewalk repairs
- Parking lot maintenance
- Parking lot light installation
- Gym floor refinishing