

## 2023-24 Summer Capital Projects

Option	Company	Project	Cost	School	Tecton Report
Option 1	KONE	New elevator haul (piston to traction system)	\$325,000	HKHS	Poor - B. Summary & Analysis, B.2 Conditions Summary (1)
Option 2	KONE	Elevator modernization	\$225,000	HKHS	Poor - B. Summary & Analysis, B.2 Conditions Summary (1)
Option 3	KONE	Replace power unit (temporary fix)	\$80,000	HKHS	Poor - B. Summary & Analysis, B.2 Conditions Summary (1)
Option 1, 2, and 3	Meriden Glass	Window replacement	\$35,000	HKHS	Poor - B. Summary & Analysis, B.2 Conditions Summary (1) (2) (3), B.33 Checklist & Rankings (1)
Option 1, 2, and 3	Classic Turf	Track Repair and Resurface	\$225,000	HKHS	C. Existing Conditions Narrative C.3 Site (1)
Removed - 2/23/23	Sullivan Paving	Eversource access road	\$9,500	BES	No reference - since required by Eversource
Option 1, 2, and 3	BCI	BES Classroom Blinds - 6 rooms with security issue as blinds can't be closed	\$5,501	BES	E. Appendix 1 (Solar Shades)
Option 1, 2, and 3	CMI	Gymnasium Soundsystem - unable to hear emergency announcements	\$28,000	HKIMS	No reference - reported by admin and faculty
Option 1, 2, and 3	Painting & Decorating	Painting for HKIMS areas	\$19,200	HKIMS	C. Existing Conditions Narrative C.1 Architectural (1)
Option 1, 2, and 3	Middletown Ceramic Tile	Girls Locker Room/Bathroom Repair	\$14,000	HKIMS	C. Existing Conditions Narrative C.1 Architectural (3)
Option 1, 2, and 3	JJ Dibble	Parking lot and Basketball court paving	\$250,000	KES	Very Poor/Poor - B. Summary & Analysis, B.33 Conditions Summary (1), C. Existing Conditions Narrative C.3 Site (1)
Option 1, 2, and 3	Central Mechanical/BCI	Septic pipe replacement and all-purpose room floor replacement	\$58,802	KES	C. Educational Facilities Assessment, C.2 MEP / Security (1)
Option 1			\$960,503		
Option 2			\$860,503		
Option 3			\$715,503		





John Mercier <jmercier@rsd17.org>

**Fwd: BURR PORTABLE REROOF**

1 message

Rob Albert <ralbert@rsd17.org>  
To: David Solin <dsolin@rsd17.org>  
Cc: John Mercier <jmercier@rsd17.org>, Brianna Hill <bhill@rsd17.org>

Mon, M

FYI

Rob Albert  
Lead of Facilities  
Regional School District 17  
57 Little City Rd.  
Higganum, Ct 06441  
(860) 345-4534

----- Forwarded message -----  
From: **Jim Barba** <jimbarba@silktownroofing.com>  
Date: Mon, Mar 20, 2023 at 2:05 PM  
Subject: BURR PORTABLE REROOF  
To: Rob Albert <ralbert@rsd17.org>  
Cc: Kevin McGrath <kevin@silktownroofing.com>

Good afternoon Rob, we can issue a 20-year warranty for an additional fee of \$1,500.00. this would include a two-year workmanship warranty that will cover any repairs except holes in new n  
Silktown would differ payment to July 1, 2023, when your new budget starts.

If you have any questions, please let me know.

Thank you.

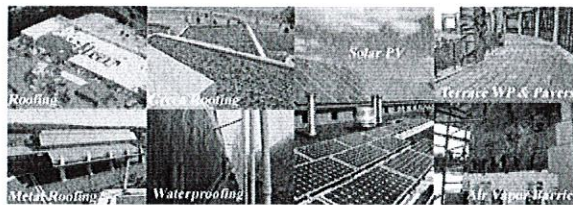
Sincerely,

Jim Barba  
Maintenance Operations Superintendent  
Cell Phone: (860) 549-3348



"an equal opportunity employer"

27 Pleasant Street  
Manchester, CT 06040





# SILKTOWN ROOFING

MANCHESTER, CT

27 Pleasant Street  
Manchester, CT 06040  
Office: 860-647-0198 Fax: 860-646-0775  
\*An Equal Opportunity/Affirmative Action Employer\*

March 16, 2023

Rob Albert  
Lead of Facilities  
Regional School District 17  
57 Little City Road  
Higganum, Ct 06441  
[ralbert@rsd17.org](mailto:ralbert@rsd17.org)

**re: Burr District Elementary School Portables**

Dear Mr. Albert:

The following scope is for roof work at Burr District Elementary School, 792 Killingworth Road, Higganum, Ct.

Scope:

1. Clean all EPDM seams with membrane cleaner.
2. Set 12" Quickseam in Quickprime primer over all EPDM seams.
3. Seal all cut edges with lap sealant
4. Clean up and dispose of all roofing debris generated from this project.

The cost to do above items one through four is Fourteen Thousand Nine Hundred Ninety-five and 00/100 Dollars (\$14,995.00).

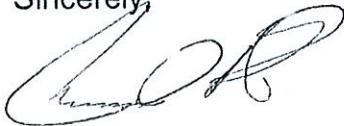
Please note that the above scope of work was estimated to be performed during the normal working hours of 7:00 A.M.-3:00 P.M., Monday through Friday. Please also note that the above scope of work is estimated to be accomplished on consecutive workdays. Any deviation from this will be handled on a separate cost basis. Due to the age and condition of the roof, other maintenance may be required from time to time.

Please note that Silktown Roofing is not responsible for the following:

1. Water in the existing roof system.
2. Interior protection.
3. Permits
4. Testing, abatement, or disposal of any asbestos containing roofing material.

If you have any questions regarding the information above, please let me know.  
Thank you.

Sincerely,

A handwritten signature in black ink, appearing to read 'J. Barba', written in a cursive style.

James A Barba  
Maintenance Operations Superintendant  
Silktown Roofing

# SILKTOWN ROOFING



27 Pleasant Street  
Manchester, CT 06040  
Office: 860-647-0198 Fax: 860-646-0775  
\*An Equal Opportunity/Affirmative Action Employer\*

March 8, 2023

Rob Albert  
Lead of Facilities  
Regional School District 17  
57 Little City Road  
Higganum, Ct 06441  
[ralbert@rsd17.org](mailto:ralbert@rsd17.org)

**re: Burr District Elementary School Portables**

Dear Mr. Albert:

The following scope is for roof work at Burr District Elementary School, 792 Killingworth Road, Higganum, Ct.

Scope:

1. Clean the roof as required to set ½" recovery board over the entire portable section with screws and plates.
2. Set .060 EPDM in bonding adhesive with 3" seam tape set in primer.
3. Terminate EPDM over the edges with termination bar fastened with screws.
4. Install drain inserts for all drains.
5. New flashing at all penetrations.
6. Counterflashing on all curbs.
7. Clean up and dispose of all roofing debris generated from this project.

The cost to do above items one through seven is Thirty-two Thousand Seven Hundred Ninety-five and 00/100 Dollars (\$32,795.00).





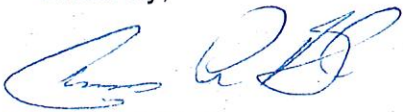
Please note that the above scope of work was estimated to be performed during the normal working hours of 7:00 A.M.-3:00 P.M., Monday through Friday. Please also note that the above scope of work is estimated to be accomplished on consecutive workdays. Any deviation from this will be handled on a separate cost basis.

Please note that Silktown Roofing is not responsible for the following:

1. Water in the existing roof system.
2. Interior protection.
3. Permits
4. Testing, abatement, or disposal of any asbestos containing roofing material.

If you have any questions regarding the information above, please let me know.  
Thank you.

Sincerely,

A handwritten signature in blue ink, appearing to read 'James A. Barba', written in a cursive style.

James A Barba  
Maintenance Operations Superintendant  
Silktown Roofing



4/4/2023

Rob Albert  
 Lead of Facilities  
 Regional School District 17  
 57 Little City Road  
 Higganum, CT 06441

RE: Haddam – Killingworth High School Running Track Resurfacing

Rob,

I have prepared the following information and associated budgetary estimated for the resurfacing of the existing running track at Montville High School.

The following is the responsibility of Others:

- Permitting, if required.
- Access to the site with construction vehicles and equipment.
- Bonds, if required.

The following is the responsibility of Classic Turf Company:

Running Track: Classic Elastic SP

- 1) Clean the entire running track and field event areas prior to repairs.
- 2) Repair/fill cracks to existing surface where required.
- 3) Install poly sheeting protection around the track area to protect fences, bleachers, etc. where required.
- 4) Spray two (2) coats of a polyurethane structural spray (red).
- 5) Install white line striping and track markings to match the existing ones.

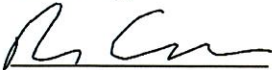
Completion Time: 2-4 weeks, weather permitting.

Total Estimated Cost:.....\$210,000-225,000.00

*\*Range is dependent on the extent of desired repairs and timing of the work.\**

Thank you for the opportunity. If you have any questions or need any additional information after reviewing the above proposal and specifications, please feel free to contact us.

Sincerely,



Ryan Conroy  
 Director of Sales  
 CLASSIC TURF COMPANY, LLC



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4/4/2023

Rob Albert  
Lead of Facilities  
Regional School District 17  
57 Little City Road  
Higganum, CT 06441

RE: Haddam – Killingworth High School Tennis Court Reconstruction Estimate

Rob,

I have prepared the following information, technical specifications, and associated budgetary estimate for the reconstruction of eight (8) tennis courts, perimeter fencing, and associated accessories at Haddam-Killingworth High School.

**The following is the responsibility of Others:**

- Permitting, if required.
- Access to the site with construction vehicles and equipment.
- Sediment & erosion control measures, if required.
- Any surplus material from the site that is not required. \*Note: not expected.
- Any electrical or plumbing, if required.
- Finish Landscaping around the new courts.
- Additional charges for Winter/Summer Concrete, if required.

**The following is the responsibility of Classic Turf Company:**

**A. Site Preparation:**

- 1) The existing court fencing, net posts and associated foundations will be removed from the site.
- 2) The existing asphalt to be reclaimed, full depth, to achieve a maximum aggregate size of ¾" minus.
- 3) The site to be regraded to the proper, consistent slope, for tennis courts.
- 4) New metal sleeves for tennis net posts will be supplied and installed in their own concrete foundations prior to the placement of the post tension concrete slab(s).

**B. Post-Tension Concrete Slab(s):**

- 1) Form work will be installed around the entire perimeter of the prepared base.
- 2) Two layers of 6 mil poly will be installed over the prepared base. The first layer will run in the north south direction and the second layer will run in east west direction. All joints will be taped.
- 3) Post-tensioning cables will be installed according to the engineered design. Cables to be 7 strand, ½" sheathed and greased cables, commercial grade with 50 mil plastic sheathing.
- 4) Double-fiberglass rebar will be installed on both sides of the anchors as shown on drawings to act as back up bars.

- 5) A 4.5" thick, 3000 psi concrete slab will be placed inside the formwork. Concrete mix will be a specially designed mix used for post tension slabs.
- 6) Forms will be stripped, and the post-tensioning cables will be stressed according to their specifications. First stress, 24 hours after completion of concrete pour. Second stress will be done after concrete reaches +/- 2300 psi (which will take +/- 7 days after the pour). The total stress will be 33,000 lbs per linear inch in both directions. The design of this slab is based on a residual prestress force (psi) of 130 which is above PTI recommendations for sport courts on grade.
- 7) After final stress, Post-tension cable ends will be cut off inside the cone holes, exposed anchors and cables inside the cone holes will be first sprayed with a rubberized waterproof spray and then the cone holes will be filled with no-shrink grout (so edge of slab is flush and smooth).
- 8) The new concrete slab will be checked for flatness. Any low spots exceeding 1/8" in ten feet in any direction will be filled with 5000 psi epoxy concrete and brought to the proper elevation.

**C. Sport Surface: Prime Coating Sports Surface System**

- 1) The entire concrete slab will be sealed, primed, and waterproofed with a breathable waterproof sealer (Classic Turf adhesive) and grip layer will be installed.
- 2) One (1) coat of Novasurface acrylic resurfacer will be applied to the grip layer according to its specifications.
- 3) Two (2) coats of Novacrylic color coating will be applied to the entire concrete surface according to its specifications. Finished color will be owner's decision.
- 4) White playing lines will be applied with Novatex line paint according to its specification.

**D. New Tennis Court Fencing:**

- 1) Supply and install 10' high black PVC coated chain link fence size, 1-3/4" x 9 gauge, fused and bonded.
- 2) Class 2B wire 1.660" top & bottom rails with 4" end/corner posts, 3" line posts – all pipe ASTM 1043 & ASTM 1083 standard weight schedule 40 around the tennis courts.
- 3) Four (4) gates to be provided and installed in the locations determined by the owner.
- 4) Posts spaced at 8' OC.
- 5) A 12" wide, 12" deep perimeter concrete curb will be installed around the post tension concrete slabs. The fence posts will be centered inside the perimeter curbing. The top of the perimeter curb will be at the same elevation as the top of the Post Tension Concrete Slab and remain uncoated.

**E. Accessories:**

- 1) New portable tennis net posts, nets and center straps will be provided and installed.

**F. Completion Time:** 12-14 weeks, weather permitting.

**Total Estimated Cost:**.....\$1,100,000 – 1,200,000.00

April 4<sup>th</sup>, 2023

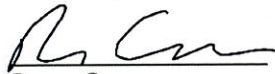
**G. Guarantee:**

- 1) The Classic Turf Company will guarantee the post tension concrete slab for a period of **20-years** from structural cracking, heaving, and settling.
- 2) The Classic Turf Company will guarantee the Prime Coating Sports Surface for **10-years** from bubbling and peeling.

*\*NOTE: The Sports Surface may need to be re-coated (two coats of color coat) anytime between 5 – 10 years depending on usage.*

Thank you for the opportunity. If you have any questions or need any additional information after reviewing the above proposal and specifications, please feel free to contact us.

Sincerely,



Ryan Conroy  
Director of Sales  
CLASSIC TURF COMPANY, LLC



All rights reserved. The above referenced proposal is valid for 30 days. Any use of materials in this proposal, including but not limited to, reproduction, modification, distribution and republication without the prior written consent of Classic Turf Company, LLC is strictly prohibited.



**Killingworth  
Elementary**

**Regional School  
District #17  
Facilities  
Checklist**

Exterior	Excellent Condition	Good Condition	Poor Condition	N/A	Comments
Building Name Properly Posted	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Exterior Lighting	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location:
Flags/Poles/Base/Cable/Lighting	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location:
Other:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Parking Lot	Excellent Condition	Good Condition	Poor Condition	N/A	Comments
Signage	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location:
Lighting	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location:
Parking Lot Striping	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location:
Other:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Exterior of Building	Excellent Condition	Good Condition	Poor Condition	N/A	Comments
Sidewalks	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location:
Public Entrances/Doors Sealed	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Tightly/Weather Stripping/Door Sweeps	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location:
Paint on Exterior Walls/Trim	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location:
Exterior Walls/Graffiti	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location:
Windows, Breezeways and Other	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location:
Overhanging Structures Free of Bird Nests	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location:
Condition of Flashing on Exterior of Building	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location:
Condition of Storage Buildings	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location:
Other:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Landscaping	Excellent Condition	Good Condition	Poor Condition	N/A	Comments
Building Free From Direct Contact with Trees/Shrubs/Vines	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location:
Building Free of Limbs Overhanging Roof	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location:
Other:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Interior of Building	Excellent Condition	Good Condition	Poor Condition	N/A	Comments
General Building Temperature	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location:
General "Welcome" Appearance	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
EXIT Signs Lit and Visible	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location:
Other:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Lobby	Excellent Condition	Good Condition	Poor Condition	N/A	Comments
Doors	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Walk-off Mats	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Windows	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Floors	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ceilings	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ample Lighting	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
General Housekeeping	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Passenger Elevator	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Elevator Doors/Track/Light Bulbs	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Elevator Performance – Daily Ride	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Other:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Rest Rooms	Excellent Condition	Good Condition	Poor Condition	N/A	Comments
Wall/Floor Tiles in Good Condition/No Cracks	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location:
Bathrooms, Urinals and Sinks Sanitary in Clean	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location:
No Signs of Insect Infestation Around Soap and Towel Dispensers	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location:
Sinks and Faucets in Good Repair/Pipe Penetrations Sealed	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location:
Condition of Soap/paper Dispensers	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location:
Condition of Toilet Partitions	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location:
Other:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	



Classrooms/ Hallways/Offices/Stairwells	Excellent Condition	Good Condition	Poor Condition	N/A	Comments
Light Lenses/Ample Lighting	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location:
Water Fountains/Pressure	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location:
General Housekeeping	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location:
Floor and Stair Tread Nosing Condition	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location:
Stairwells Debris Free	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location:
Ceiling Tiles are in Good Condition/No Missing Tiles/No Evidence of Leaks	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location:
Interior Walls are Free From Cracks and Devices	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location:
Ceiling Plenums are Accessible and are Free of Pest Activity	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location:
Floor in Good Condition/Cleaned Regularly	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location:
Other:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Mechanical Areas					
Electrical Panel Clearance	Excellent Condition	Good Condition	Poor Condition	N/A	Comments
Ample Lighting	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location:
Housekeeping (Clean and Organized)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Fire Alarm Systems Functioning Properly	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Pipe Insulation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Other:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Roofs					
Walk Pads	Excellent Condition	Good Condition	Poor Condition	N/A	Comments
Roof Membrane	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Packaged A/C	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Roof Pockets	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Roof Base Wall/Flashing	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Roof Gutter	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Roof Drains	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Roof Cleanliness	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Other:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Cafeteria/Kitchen					
General Housekeeping	Excellent Condition	Good Condition	Poor Condition	N/A	Comments
Condition of Chairs/Tables	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Adequate Lighting	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Number of Trash Receptacle/s/Area Cleanliness	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Serving Line Area Cleanliness	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Kitchen Prep Area Cleanliness	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Evidence of Pests or Vermin - Traps	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Ceiling Tiles are in Good Condition (No Openings or Missing Tiles; No Evidence of Leaks)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Plumbing and Electrical Penetrations are properly Sealed	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Plumbing is Kept in Good Repair (No Leaking Faucets or Pipes)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Other:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Teacher Lounges</b>	<b>Excellent Condition</b>	<b>Good Condition</b>	<b>Poor Condition</b>	<b>N/A</b>	<b>Comments</b>			
General Housekeeping	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Overuse of Electrical Cords/Appliances	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Adequate Lighting	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Refrigerators, Microwaves Located in Teachers' Lounge Cleaned at Least Monthly	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Food Items are Kept in Pest-proof Containers	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Plumbing in Good Repair/Pipe Penetrations Sealed	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Permanent Bulletin Boards, Mirrors, Electrical Boxes and Other Wall Fixtures Caulked	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Other:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>labs/Shops</b>	<b>Excellent Condition</b>	<b>Good Condition</b>	<b>Poor Condition</b>	<b>N/A</b>	<b>Comments</b>			
General Housekeeping	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Adequate Lighting	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Guards Utilized on Equipment	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Incontrolled Outdoor Access (Security)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
General Shop Temperature	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
EXIT Signs Lit and Visible	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Other:	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Pumpster and Trash Collection</b>	<b>Excellent Condition</b>	<b>Good Condition</b>	<b>Poor Condition</b>	<b>N/A</b>	<b>Comments</b>			



