

ALTERATION LEVEL 2:

MILLBURY PUBLIC SCHOOLS ELMWOOD ENTRY VESTIBULE

PROJECT LOCATION

MILLBURY PUBLIC SCHOOLS
ELMWOOD STREET ELEMENTARY SCHOOL
40 ELMWOOD STREET
MILLBURY, MA 01527

OWNER

MILLBURY PUBLIC SCHOOLS
12 MARTIN STREET
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GENERAL INFORMATION:

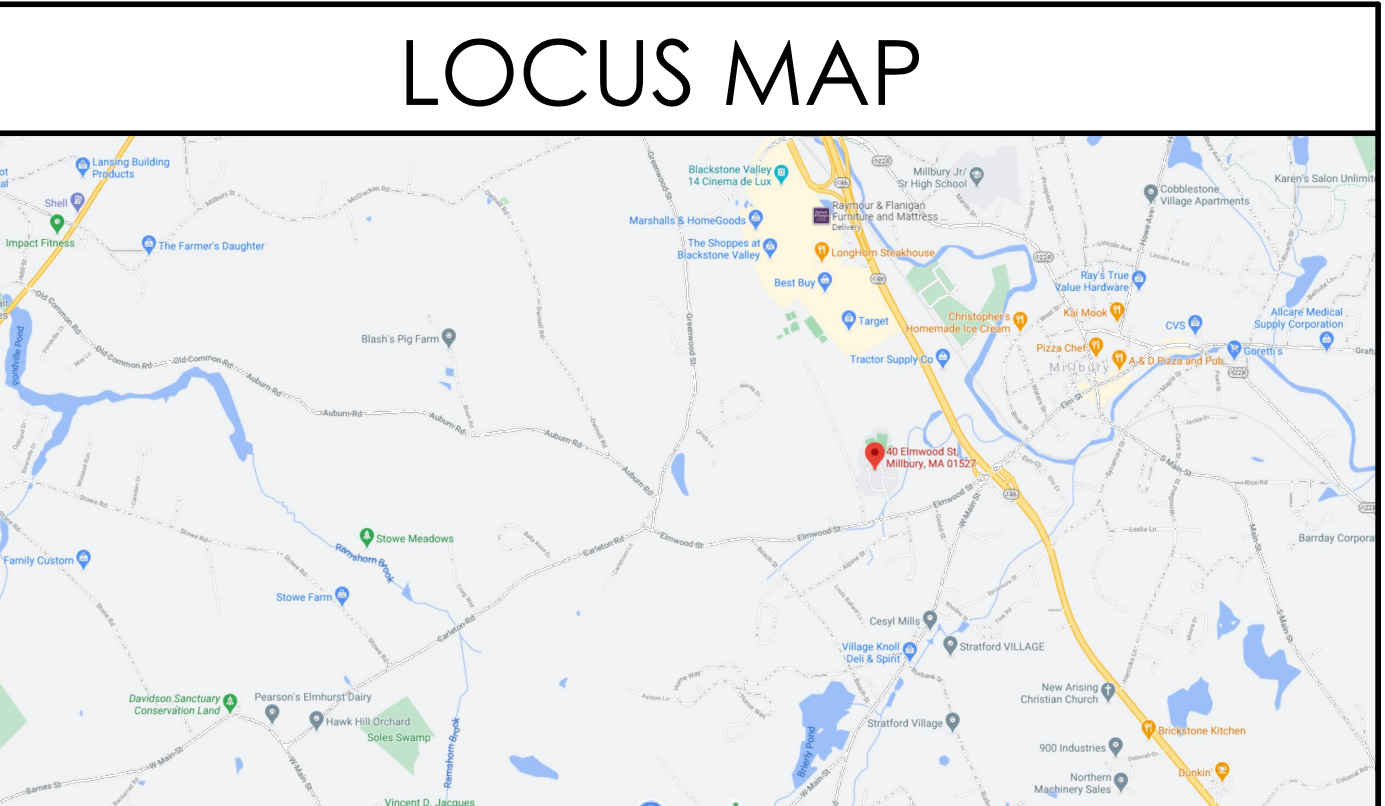
ABBREVIATIONS

ACOUSTICAL CEILING TILE	A.C.T	MANUFACTURED	MFD
ACoustic	ACST	MARBLE	MAR
ABOVE FINISHED FLOOR	AF	MASONRY	MAS
ALUMINUM	ALUM	MASONRY OPENING	MSPY
ARCHITECT	ARCH	MATERIAL	MAT
AVERAGE	AVG	MASONRY	MAS
BEAM	BM	MECHANICAL	MAX
BOARD	BD	METAL	MIL
BRASS	BR	METER	M
BRONZE	BRZ	MIRIAM	MIR
BUILDING	BLDG	MISCELLANEOUS	MISC
BULE IN	BLIN	MULLION	MULL
CABINET	CAB	NATURAL	NAT
CEILING	CLG	NOMINAL	NOM
CENTER LINE	CL	NOT IN CONTRACT	NIC
CENTIMETER	CM	NOT TO SCALE	NIS
CERAMIC	CR	NUMBER	N
CLEAR	CLR	ON CENTER	OC
COLD WATER	CW	OPENING	OPG
COLUMN	COL	OPPOSITE	OPP
CONCRETE	CONC	PAINTED	PID
CONCRETE MASONRY UNIT	CMU	PARTITION	PL
CONSTRUCTION	CONST	PLASTER	PLAS
CONTIGUOUS	CONTS	PLYWOOD	PLY
CONTRACTOR	CONTR	PLYWOOD TREATED	PLWT
DEMOLITION	DEMO	QUANTITY	QTY
DETAIL	DET	QUANTITY TILE	QT
DIAMETER	DIA OR	RADIUS	R
DIMENSION	DM	REFERENCE	REF
DOOR	DR	REINFORCE	RENF
DOWN	DN	REMOVE	RMV
DRAWING	DWG	REQUIRED	REQD
DRINKING FOUNTAIN	DF	REVISION	REV
EACH	EA	RIBBON	RS
ELECTRIC	ELEC	ROUGH OPENING	RO
ELECTRIC WATER COOLER	EW	SCHEDULE	SCH
EQUAL	EQ	SECTION	SECT
EQUIPMENT	EQUIP	SHEET	SH
ESTIMATE	EST	SIMILAR	SIM
EXISTING	EXIST	SOLID CORE	SC
EXTERIOR	EXT	SPECIFICATIONS	SPEC
FABRICATE	FAB	SQUARE FEET	SF
FEET	OR FT	SQUARE INCHES	SQ IN.
FRESH	FR	STAINLESS STEEL	SS
FINISHED ALL OVER	FAO	STANDARD	STD
FIREPROOF	FP	STEEL	ST
FLOOR	FLR	STRUCTURAL	STR
FLOURESCENT	FLR	SUSPENDED	SUSP
FULL SIZE	FS	SYSTEM	SYS
FURNISH	FRN	TEMPERATURE	TEMP
GAUGE	GA	TREAD	T&G
GENERAL	GEN	TYPICAL	TR
GLASS	GL	UNFINISHED	UNF
GYP BOARD	GYP BD	URNAL	UR
HARDWARE	HW	VENT THROUGH ROOF	VTR
HARDWOOD	HW	VERIFY IN THE FIELD	VIF
HEIGHT	HT	VERTICAL	VERT
HOLLOW CORE	HC	WETS TILE	WCT
HORIZONTAL	HOR	WARRANTY	WNT
HOT WATER	HW	WATER CLOSET	WC
INSULATION	INS	WATERPROOF	WP
INTERIOR	INT	WEIGHT	WF
JUNCTION BOX	JBOX	WIDTH	W
LAVATORY	LAV	WITH	W
LIGHT	LT	WITHOUT	WO
LIGHTING	LIC	WOOD	WD
LINEAR	LIN	WROUGHT IRON	WI
LINOLEUM	LINO	YARD	YD
MANUFACTURER	MFR		
GALVANIZE	GALV.		
GYP BOARD	GWB		

LEGEND

SYMBOLS	MATERIALS	DRAWING SYMBOLS
	EARTH - LOAM	EXIST WALL TO REMAIN
	EARTH - FILL	DEMO EXIST WALL
	GRAVEL	NEW CONSTRUCTION
	SAND	PULL STATION
	CONCRETE	EMERGENCY EXIT SIGN
	CONCRETE MASONRY	HORN/STROBE
	BRICK	STROBE
	BITUMINOUS CONCRETE	EMERGENCY BATTERY UNIT
	BATT INSULATION	REMOTE HEAD
	RIGID INSULATION	EMERGENCY EXIT SIGN W/BATTERY UNIT
	WOOD - FRAMING	FIRE EXTINGUISHER
	WOOD - FINISH	CARD READER ACCESS
	PLYWOOD - SMALL SCALE	EMERGENCY SHOWER
	ACOUSTICAL TILE	THERMOSTAT
	STEEL	SMOKE DETECTOR
	ALUMINUM	FLOURESCENT LIGHTING FIXTURE
		SPRINKLER HEAD
		HVAC GRILLE - RETURN
		HVAC - SUPPLY
		RECESSED DOWN LIGHT
		MOTION DETECTOR

SET NO:



LIST OF DRAWINGS

T-1.0	TITLE SHEET
T-1.1	GENERAL NOTES
A-1.1	PROJECT PLANS
A-2.0	PROJECT DETAILS

	SCHEMATIC	02.10.2021
	DESIGN DEVELOPMENT	02.26.2021
	BID	03.24.2021
	PERMIT	
	CONSTRUCTION	
	EXISTING CONDITIONS	

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REVISION DATE	

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PROJECT:	- -
DRAWN:	JGH
CHECKED:	JGH

PROJECT TITLE:
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ELMWOOD ELEMENTARY SCHOOL
40 ELMWOOD STREET
MILLBURY, MA 01527

SHEET TITLE:
TITLE SHEET

SHEET NUMBER:
T-1.0

GENERAL DEMOLITION NOTES

A. CONTRACTOR SHALL VISUALLY INSPECT THE SITE TO DETERMINE THE CONDITION OF EXISTING CONSTRUCTION AND FAMILIARIZE HIMSELF/HERSELF WITH THE PROPOSED WORK.

- ALL WORK SHALL COMPLY WITH MUNICIPAL, STATE AND FEDERAL RULES AND REGULATIONS, LAWS AND ORDINANCES OF ALL THE AUTHORITIES HAVING JURISDICTION.
- DISCONNECTION OF UTILITIES REQUIRED BY THE WORK SHALL BE PERFORMED BY QUALIFIED PERSONNEL.
- ALL WORK IS TO COMPLY WITH APPLICABLE PROVISIONS OF ANSI CODE FOR BUILDING CONSTRUCTION: ANSI 10.6, SAFETY OF DEMOLITION.
- UTILITY LINES TO BE ABANDONED SHALL BE DISCONNECTED, REMOVE AS REQUIRED, AND/OR CAPPED OFF IN ACCORDANCE WITH APPLICABLE CODE AND REGULATIONS.
- REMOVE ALL AREAS SHOWN DASHED (TYPICAL) ON DEMOLITION PLANS.
- CONTRACTOR TO PROTECT ALL EXISTING AREAS BEYOND LIMIT OF WORK OR ITEMS THAT ARE TO REMAIN, AS REQUIRED.
- COORDINATE DEMOLITION WORK WITH PROPOSED NEW WORK SHOWN ON PROJECT DRAWINGS.
- PROVIDE ALL TEMPORARY SHORING BRACING, FRAMING, AND PROTECTION OF EXISTING WORK TO REMAIN BEFORE PROCEEDING WITH DEMOLITION AND DURING ALTERATION WORK.
- PERFORM DEMOLITION WORK AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION. CONTRACTOR SHALL VERIFY THAT ALL REMOVED COMPONENTS ARE NOT STRUCTURAL. NOTIFY ARCHITECT BEFORE REMOVING ANY STRUCTURAL MEMBERS. NOTIFY ARCHITECT IN CASE OF DISCREPANCY BEFORE PROCEEDING WITH WORK.
- IF DURING DEMOLITION CONDITIONS ARE REVEALED THAT MAY JEOPARDIZE THE INTEGRITY OF THE STRUCTURE OR PRECLUDE THE DESIGN INTENT, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY.
- DEMOLITION PLANS ASSUME THAT PORTIONS OF EXISTING WIRING, PLUMBING, EQUIPMENT, DUCTWORK, ETC., IN AREAS OF NEW WORK WILL BE REQUIRED TO BE REMOVED/RELOCATED TO MEET THE REQUIRED DESIGN PARAMETERS OF THE NEW WORK. PRIOR TO COMMENCING DEMOLITION/RELOCATION, CONTRACTOR SHALL VERIFY SPECIFIC CONDITIONS IN THE FIELD AND COORDINATE WITH GC AND ARCHITECT. (SEE M.E.P. DEMOLITION NOTES.)
- BEFORE DISPOSING OF ANY REMOVED ITEMS, CONSULT WITH OWNER AND VERIFY POSSIBLE RE-USE, SALVAGE, OR DISPOSAL OF ANY EXISTING ITEMS AND EQUIPMENT, INCLUDING BUT NOT LIMITED TO, PLUMBING, FIXTURES, EQUIPMENT, LIGHT FIXTURES AND DOORS, ETC.

B. CUTTING AND PATCHING

- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL SUBCONTRACTORS, DEMOLITION CUTTING AND PATCHING.
- ALL PARTITIONS, FLOORS, CEILINGS OR ITEMS TO BE REMOVED SHALL BE CLEANLY CUT BACK TO THE LIMITS SHOWN ON THE PLANS, SECTIONS, AND DETAILS OR AS DIRECTED BY THE ARCHITECT.
- ALL EXISTING FLOORS, WALLS, AND CEILINGS AFFECTED BY NEW WALL LOCATIONS ARE TO BE PATCHED AND REPAIRED AS NECESSARY TO PROVIDE A SMOOTH UN-NOTICEABLE TRANSITION OF NEW AND EXISTING MATERIALS AND SURFACES.
- PROVIDE CUTTING AND PATCHING AS REQUIRED FOR ALL DEMOLITION AND ALTERATION WORK. CUTTING AND PATCHING INCLUDE CUTTING INTO OR THROUGH TO PROVIDE FOR THE INSTALLATION OR PERFORMANCE OF OTHER WORK, AND THE SUBSEQUENT FITTING AND PATCHING REQUIRED TO RESTORE THE CUT SURFACES TO THEIR ORIGINAL CONDITION.
- REMOVE EXISTING INTERIOR FINISHES AND MATERIALS AS REQUIRED TO ACCOMMODATE NEW WORK. ALL ITEMS ARE TO BE REMOVED IN A MANNER SO AS TO NOT DAMAGE THE EXISTING MATERIALS OR FINISHES THAT ARE TO REMAIN OR BE REINSTALLED.
- PERFORM DEMOLITION WORK CAREFULLY. REMOVE MASONRY, STEEL, CONCRETE, WALLS AND OTHER STRUCTURAL ELEMENTS IN SMALL SECTIONS. REMOVE THESE MATERIALS TO A CLEANLY CUT, STRAIGHT LINE, ACCURATELY ESTABLISHED.
- REMOVE FROM THE SITE AND DISPOSE OF LEGALLY. ALL EXISTING MATERIALS, DEMOLITION DEBRIS, TRASH, RUBBISH AND ITEMS THAT WILL NOT BE USED IN THE NEW WORK OR WILL NOT BE REUSED BY THE OWNER. STORAGE OF DEBRIS WILL NOT BE PERMITTED. ALL DEBRIS TO BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- COORDINATE REMOVAL OF ANY RATED ASSEMBLIES WITH LOCAL OFFICIALS BEFORE COMMENCING WORK.

C. M.E.P. DEMOLITION NOTES

- SEE ELECTRICAL, HVAC, PLUMBING AND FIRE PROTECTION DRAWINGS FOR LOCATION OF NEW UTILITIES AND DEMOLITION OF EXISTING WORK NOT SHOWN ON THESE PLANS. GC TO COORDINATE ALL WORK WITH SUBCONTRACTORS.
- WHERE EXISTING ELECTRICAL DEVICES OCCUR IN PARTITIONS INDICATED TO BE REMOVED, THE WIRING SHALL BE REMOVED. ALL ELECTRICAL LINES BEING DISCONNECTED SHALL BE ADEQUATELY TRACED AND RECONNECTED AS REQUIRED TO ENSURE PROPER FUNCTION FOR THE ADJACENT AREAS AND TO ENSURE PROPER FUNCTION OF THE EXISTING BUILDING EQUIPMENT OR SYSTEM TO REMAIN. ELECTRICAL CONTRACTOR TO VERIFY ALL ELECTRICAL SYSTEMS PRIOR TO THE COMMENCEMENT OF WORK.
- WHERE EXISTING PLUMBING LINES ARE TO BE REWORKED OR REMOVED, ALL PLUMBING LINES BEING DISCONNECTED SHALL BE ADEQUATELY TRACED AND RECONNECTED AS REQUIRED TO ENSURE PROPER FUNCTION FOR THE ADJACENT AREAS AND TO ENSURE PROPER FUNCTION OF THE EXISTING BUILDING EQUIPMENT TO REMAIN IN PLACE.
- WHERE EXISTING HVAC LINES, DUCTWORK, ETC. ARE TO BE REWORKED, ALL LINES AND EQUIPMENT BEING DISCONNECTED SHOULD BE ADEQUATELY TRACED AND RECONNECTED AS REQUIRED TO ENSURE PROPER FUNCTION FOR THE ADJACENT AREAS AND TO ENSURE PROPER FUNCTION TO THE EXISTING BUILDING EQUIPMENT OR SYSTEMS TO REMAIN.
- COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR LOCATIONS OF ALL NEW PENETRATIONS THRU ROOF, FLOORS, WALLS, AND CEILINGS.

D. CLEANING

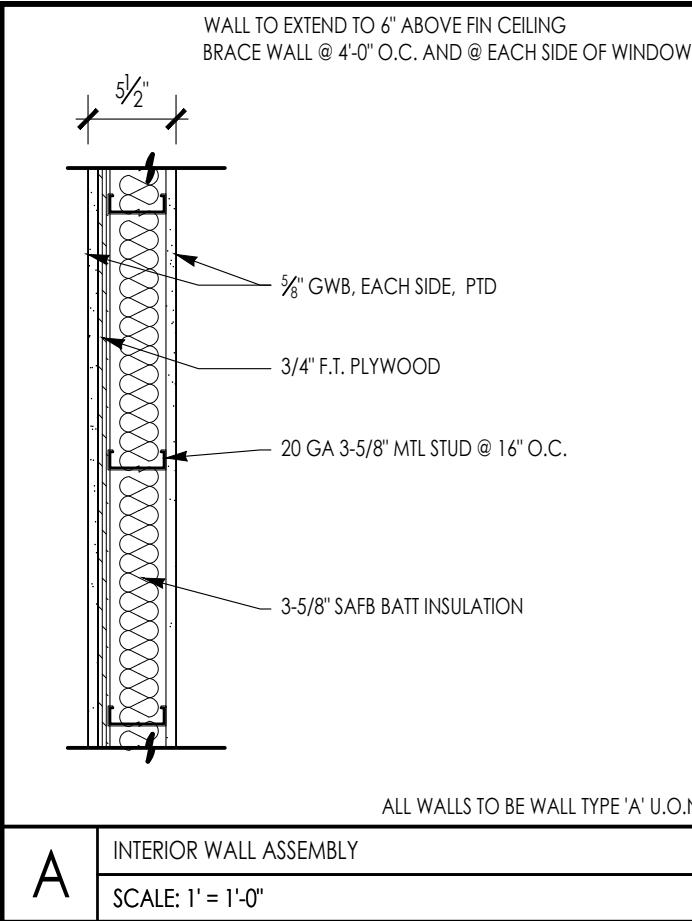
- CONTRACTOR IS FULLY RESPONSIBLE FOR THE CLEANING AND PREPARING OF ALL FLOOR, WALL AND CEILING SURFACES FOR THE INSTALLATION OF NEW MATERIALS AS SCHEDULED, UTILITIES, HVAC AND ELECT. SYSTEMS EQUIPMENT, ETC. AFTER DEMO CLEAN-UP.

OTHER: REMINDERS/SPECIFIC TO INDIVIDUAL PROJECTS

- EXISTING LARGE FLOOR OPENINGS TO BE FILLED ARE INDICATED, SMALLER PIPE HOLES, ETC. TO BE FILLED ARE NOT INDICATED ON THE DRAWINGS. REFER TO DETAILS FOR REQUIREMENTS FOR FILLING SAID OPENINGS.
- ALL EXISTING COLUMNS TO REMAIN UNLESS NOTED.
- ALL EXPOSED UNUSED PIPING AND CONDUITS SHALL BE REMOVED BY THE GENERAL CONTRACTOR. SEE SPECIFICATIONS FOR CAPPING.

GENERAL CONSTRUCTION NOTES

- ALL WORK IS TO BE PERFORMED IN PROFESSIONAL AND WORKMANLIKE MANNER, IN ACCORDANCE WITH ALL APPLICABLE FEDERAL & STATE CODES, INCLUDING THE INTERNATIONAL BUILDING CODE (IBC), THESE INCLUDE, BUT ARE NOT LIMITED TO, THE INTERNATIONAL EXISTING BUILDING CODE (IEBC), THE AMERICAN NATIONAL STANDARD (ANSI), THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC), THE NATIONAL ELECTRIC CODE (NEC), THE INTERNATIONAL PLUMBING CODE (IPC), THE INTERNATIONAL MECHANICAL CODE (IMC), AND THE NATIONAL FIRE PROTECTION STANDARDS, AS WELL AS ALL LOCAL REGULATIONS GOVERNING THE PROJECT.
- CONTRACTOR TO VISIT SITE AND TO VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD, AND REPORT ALL DISCREPANCIES TO ARCHITECT, PRIOR TO PROCEEDING WITH WORK.
- ALL MATERIALS USED ON THIS PROJECT SHALL BE IN COMPLIANCE WITH THE APPLICABLE INTERNATIONAL BUILDING CODE.
- THE CONTRACTOR SHALL MAINTAIN COMPLETE AND UP-TO-DATE DRAWINGS AT THE JOB SITE, AND SHALL SUBMIT ACCURATE AS-BUILT DRAWINGS TO ARCHITECT AND OWNER AT END OF PROJECT.
- THE INTENTION OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND OTHER ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- BY EXECUTING THE CONTRACT, THE CONTRACTOR REPRESENTS THAT THEY HAVE VISITED THE SITE AND HAVE FAMILIARIZED THEMSELVES WITH THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED.
- THE ARCHITECT WILL HAVE AUTHORITY TO REJECT WORK WHICH DOES NOT CONFORM TO THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THEIR BEST SKILLS AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, & SHORING, AND FOR COORDINATING THE WORK OF ALL SUB-CONTRACTORS.
- EACH CONTRACTOR SHALL PERFORM ALL REQUIRED CUTTING AND PATCHING FOR THEIR OWN TRADE, UNLESS OTHERWISE NOTED.
- DRAWINGS SHALL NOT BE SCALED TO OBTAIN DIMENSIONS.
- CONTRACTOR SHALL PROPERLY PROTECT AND MAKE SAFE WORK PREMISES.
- THE CONTRACTOR SHALL KEEP THE WORKSITE CLEAN AND TIDY, AND AT ALL TIMES SHALL KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR TRASH CAUSED BY THEIR OPERATIONS.
- ALL EXITS SHALL BE KEPT READILY ACCESSIBLE AND UNOBSTRUCTED AT ALL TIMES AND SHALL MAINTAIN REQUIRED EMERGENCY EGRESS DURING CONSTRUCTION.
- THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE ARCHITECT, AND THEIR AGENTS AND EMPLOYEES, FROM AND AGAINST ANY CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCES OF THE WORK.
- THE CONTRACTOR SHALL PAY ALL FEES AND SECURE PERMITS FROM ALL AGENCIES HAVING JURISDICTION AND AT COMPLETION SHALL SEE THAT THE PROJECT IS SIGNED OFF BY THE APPROPRIATE AUTHORITY HAVING JURISDICTION.
- WEATHER PROTECTION: THE CONTRACTOR SHALL AT ALL TIMES PROVIDE PROTECTION AGAINST THE RAIN, WIND, STORM, FROST, OR HEAT SO AS TO MAINTAIN ALL WORK MATERIALS, APPARATUS, AND FIXTURES FROM INJURY OR DAMAGE.
- THE CONTRACTOR SHALL PROTECT ALL AREAS OUTSIDE THE CONTRACT LIMITS AND RESTORE ALL SUCH PROPERTY TO ITS CONDITION PRIOR TO THE START OF THE WORK.
- DAMAGE: ALL WORK DAMAGED BY FAILURE TO PROVIDE PROTECTION SHALL BE REMOVED AND REPLACED WITH NEW WORK AT THE CONTRACTORS EXPENSE. THE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL MATERIALS AND WORKMANSHIP UNTIL THE DATE OF OWNER'S ACCEPTANCE AND SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSES TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING CAUSED BY REPAIR OF THEIR WORK.
- ALL FINISHES SHALL COMPLY WITH THE LIMITS FOR FIRE RESISTANCE/FLAMMABILITY AS SPECIFIED IN THE APPLICABLE INTERNATIONAL BUILDING CODE.
- ALL DEMOLITION AND RELOCATING OF EXISTING MEP SYSTEMS EFFECTING NEW PLUMBING, HVAC, AND ELECTRICAL SYSTEMS SHALL BE COORDINATED WITH RESPECTIVE SUBCONTRACTORS. RELOCATE/REWORK ALL ACTIVE MECHANICAL AND ELECTRICAL LINES WHERE REQUIRED DUE TO REMOVALS AND NEW LAYOUT. MODIFICATIONS FROM THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE COMMENCING WORK.
- CONTRACTORS SHALL COORDINATE WITH PROPERTY MANAGER AS REQUIRED WHEN ITEMS OF NEW PLUMBING WORK REQUIRE ACCESS TO ADJACENT COMMON AREAS, AND TENANT SPACES OUTSIDE AREA OF WORK. REPLACE AND RESTORE FINISHES TO MATCH AFTER COMPLETION OF WORK.
- PROVIDE ALL BLOCKING REQUIRED TO INSTALL MILLWORK, EQUIPMENT, CASEWORK, GRAB BARS, RAILINGS, ETC. TYPE AND LOCATION SHALL BE SUBJECT TO REVIEW BY ARCHITECT.
- FOAM IN PLACE INSULATION FOR SMALL GAPS AND VOIDS.
- CAULK ALL JOINTS OF DISSIMILAR MATERIALS.
- PLAN DIMENSIONS ARE TO CENTERLINE OF STUD AT INTERIOR AND FACE OF FOUNDATION AT EXTERIOR, UNLESS OTHERWISE NOTED.
- REFER TO OWNERS ENVIRONMENTAL REPORT REGARDING CONTAMINANTS AND ASBESTOS ON THE PROJECT SITE/BUILDING.



A INTERIOR WALL ASSEMBLY
SCALE: 1" = 1'-0"

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ENGINEER:

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GENERAL INFORMATION:

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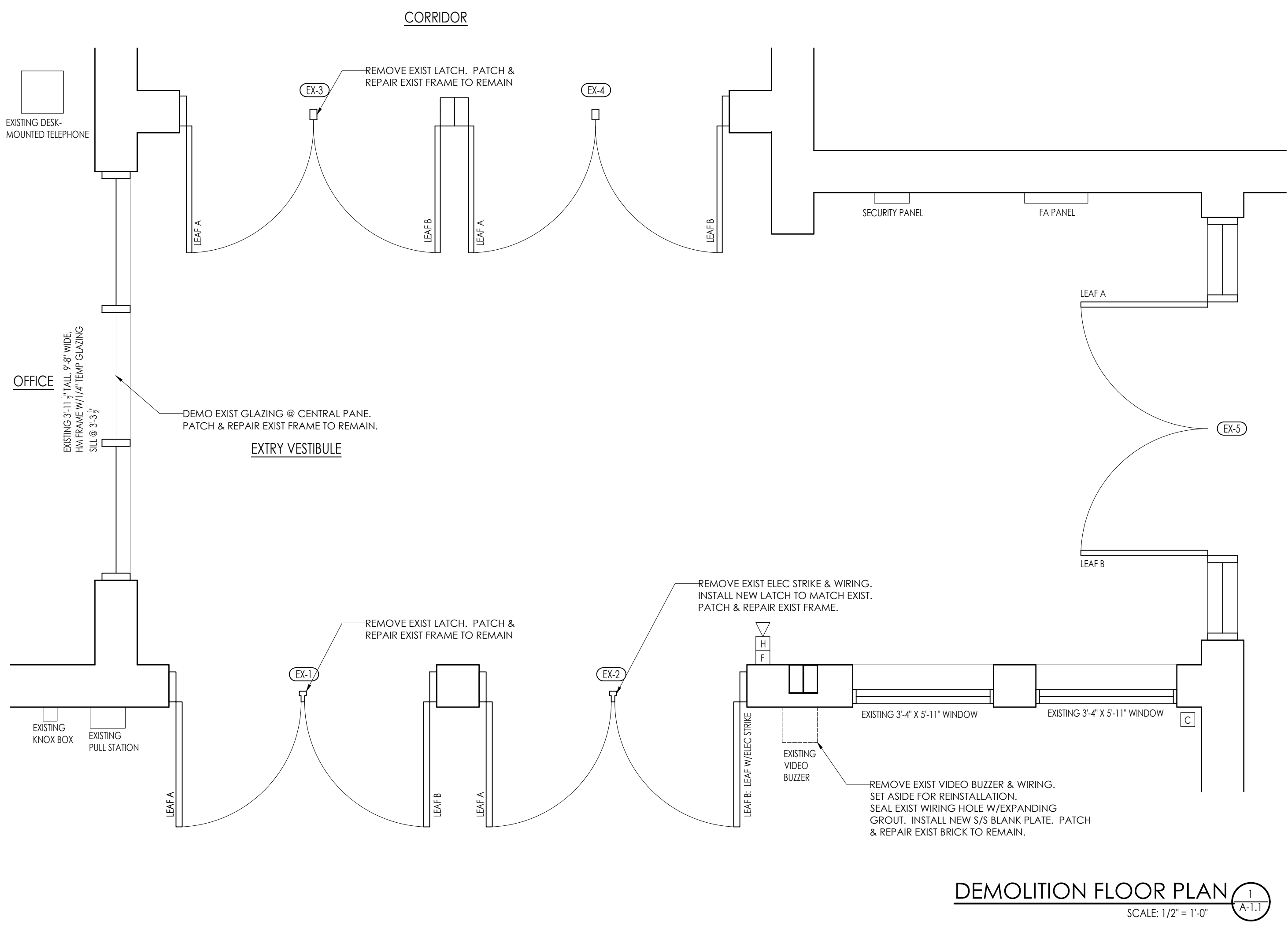
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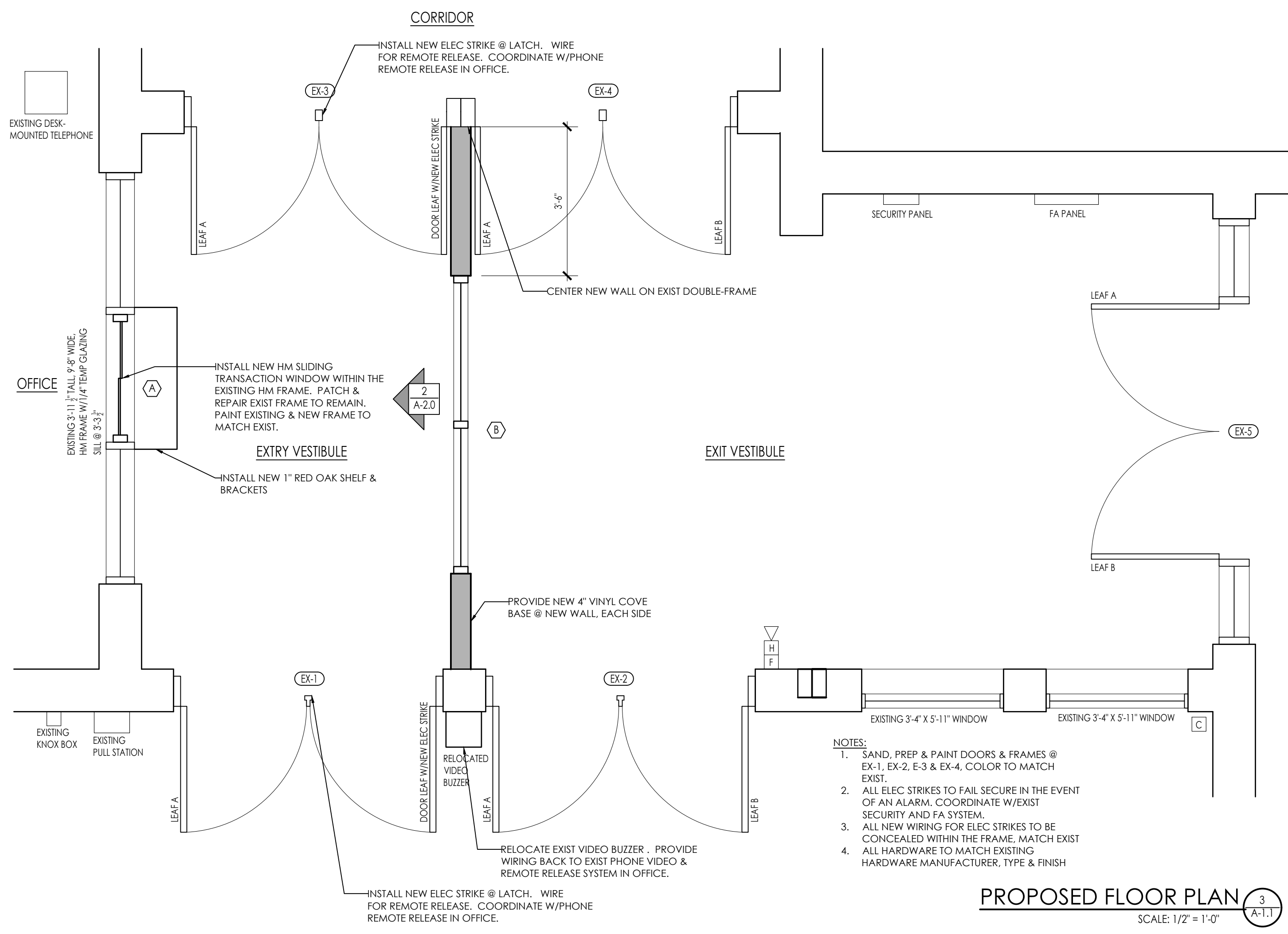
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SHEET TITLE:
GENERAL NOTES

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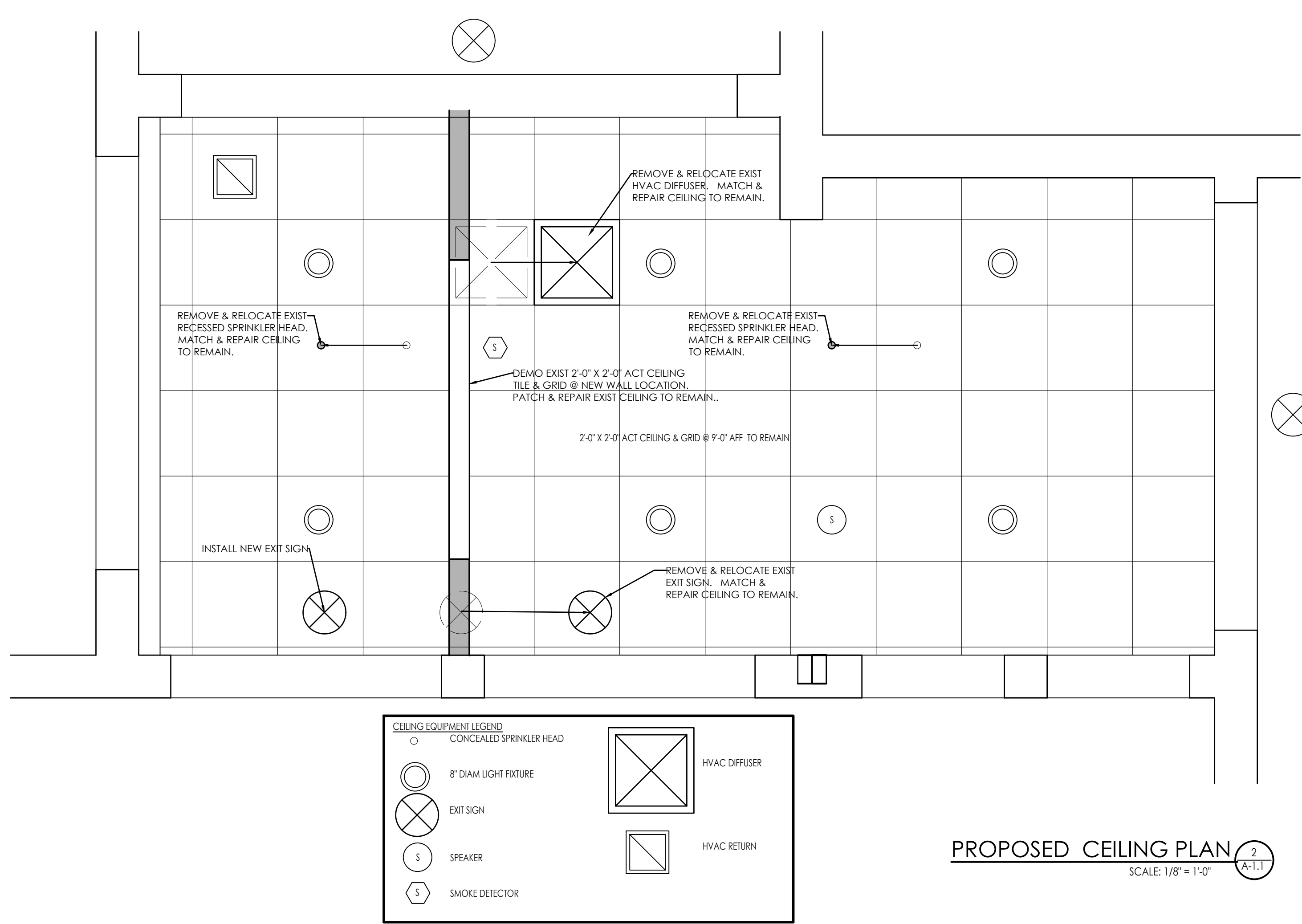


DEMOLITION FLOOR PLAN 1
SCALE: 1/2" = 1'-0" (A-1.1)



PROPOSED FLOOR PLAN 3
SCALE: 1/2" = 1'-0" (A-1.1)

NOTES:
 1. SAND, PREP & PAINT DOORS & FRAMES @ EX-1, EX-2, E-3 & EX-4. COLOR TO MATCH EXIST.
 2. ALL ELEC STRIKES TO FAIL SECURE IN THE EVENT OF AN ALARM. COORDINATE W/EXIST SECURITY AND FA SYSTEM.
 3. ALL NEW WIRING FOR ELEC STRIKES TO BE CONCEALED WITHIN THE FRAME, MATCH EXIST
 4. ALL HARDWARE TO MATCH EXISTING HARDWARE MANUFACTURER, TYPE & FINISH



CEILING EQUIPMENT LEGEND

- CONCEALED SPRINKLER HEAD
- 8" DIAM LIGHT FIXTURE
- EXIT SIGN
- SPEAKER
- SMOKE DETECTOR
- HVAC DIFFUSER
- HVAC RETURN

PROPOSED CEILING PLAN 2
SCALE: 1/8" = 1'-0" (A-1.1)

ARCHITECTS STAMP:

ENGINEER:

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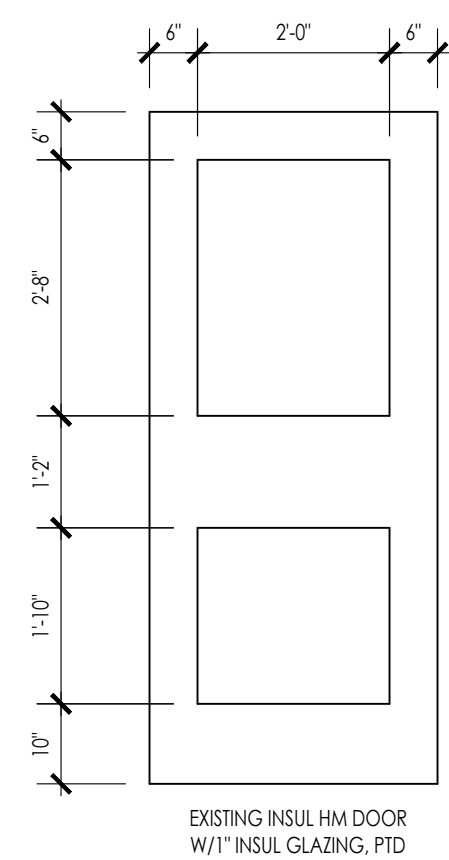
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SHEET TITLE:	PROJECT PLANS

SHEET NUMBER:
A-1.1



EXISTING DOOR HARDWARE & FUNCTION

EX-1 INTERIOR - LEAF A & B: PANIC HARDWARE W/LOCKSET, 5/8 KICK PLATE W/TAMPER RESISTANT SCREWS, CLOSER, CONT HINGE, REMOVABLE HM CENTER MULLION W/LATCH
 EXTERIOR - LEAF A & B: PULL W/KEY
 FUNCTION - PASSAGE FUNCTION FROM INTERIOR, KEYPED FROM EXTERIOR OFFICE FUNCTION

EX-2 INTERIOR - LEAF A: PANIC HARDWARE W/LOCKSET, 5/8 KICK PLATE W/TAMPER RESISTANT SCREWS, CLOSER, CONT HINGE, REMOVABLE HM CENTER MULLION W/LATCH
 INTERIOR - LEAF B: PANIC HARDWARE W/LOCKSET, 5/8 KICK PLATE W/TAMPER RESISTANT SCREWS, CLOSER, CONT HINGE, REMOVABLE HM CENTER MULLION W/ELECTRIC STRIKE & REMOTE RELEASE
 EXTERIOR - LEAF A & B: PULL W/KEY
 FUNCTION - PASSAGE FUNCTION FROM INTERIOR, KEYPED FROM EXTERIOR OFFICE FUNCTION

EX-3 INTERIOR - LEAF A & B: PANIC HARDWARE W/LOCKSET, 5/8 KICK PLATE W/TAMPER RESISTANT SCREWS, CLOSER, CONT HINGE, REMOVABLE HM CENTER MULLION W/LATCH
 EXTERIOR - LEAF A & B: PULL W/KEY
 FUNCTION - PASSAGE FUNCTION FROM INTERIOR, KEYPED FROM EXTERIOR OFFICE FUNCTION

EX-4 INTERIOR - LEAF A & B: PANIC HARDWARE W/LOCKSET, 5/8 KICK PLATE W/TAMPER RESISTANT SCREWS, CLOSER, CONT HINGE, REMOVABLE HM CENTER MULLION W/LATCH
 EXTERIOR - LEAF A & B: PULL W/KEY
 FUNCTION - PASSAGE FUNCTION FROM INTERIOR, KEYPED FROM EXTERIOR OFFICE FUNCTION

EX-5 INTERIOR - LEAF A & B: PANIC HARDWARE W/DOGGING ABILITY, 5/8 KICK PLATE W/TAMPER RESISTANT SCREWS, CLOSER, 3 HINGES EACH LEAF, EXPOSED ROD TOP & BOTTOM
 EXTERIOR - LEAF A & B: LEVER HANDLE W/LOCKSET
 FUNCTION - PASSAGE FUNCTION FROM INTERIOR, KEYPED FROM VESTIBULE OFFICE FUNCTION

PROPOSED DOOR HARDWARE & FUNCTION

EX-1 INTERIOR - LEAF A: PANIC HARDWARE W/LOCKSET, 5/8 KICK PLATE W/TAMPER RESISTANT SCREWS, CLOSER, CONT HINGE, REMOVABLE HM CENTER MULLION W/LATCH
 INTERIOR - LEAF B: PANIC HARDWARE W/LOCKSET, 5/8 KICK PLATE W/TAMPER RESISTANT SCREWS, CLOSER, CONT HINGE, REMOVABLE HM CENTER MULLION W/ELECTRIC STRIKE & REMOTE RELEASE
 EXTERIOR - EACH LEAF: PULL W/KEY
 FUNCTION - PASSAGE FUNCTION FROM INTERIOR, KEYPED FROM EXTERIOR OFFICE FUNCTION

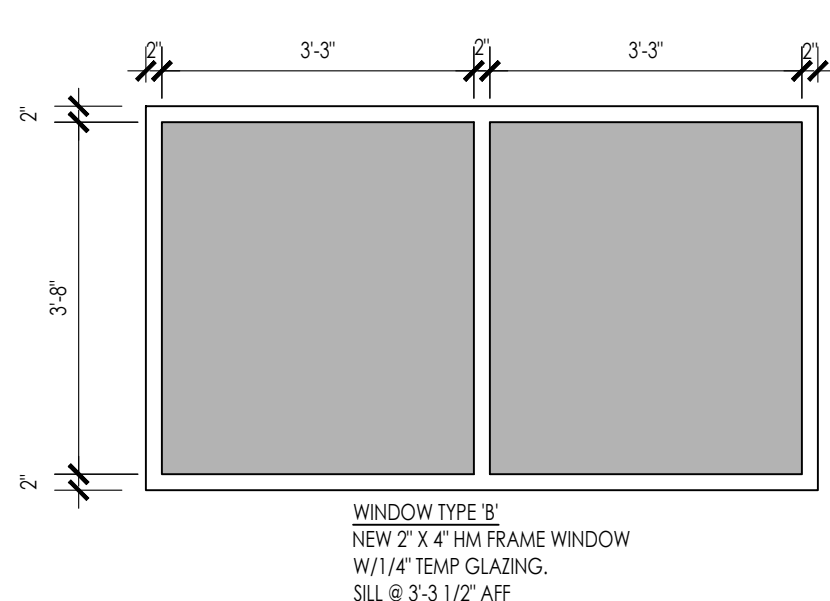
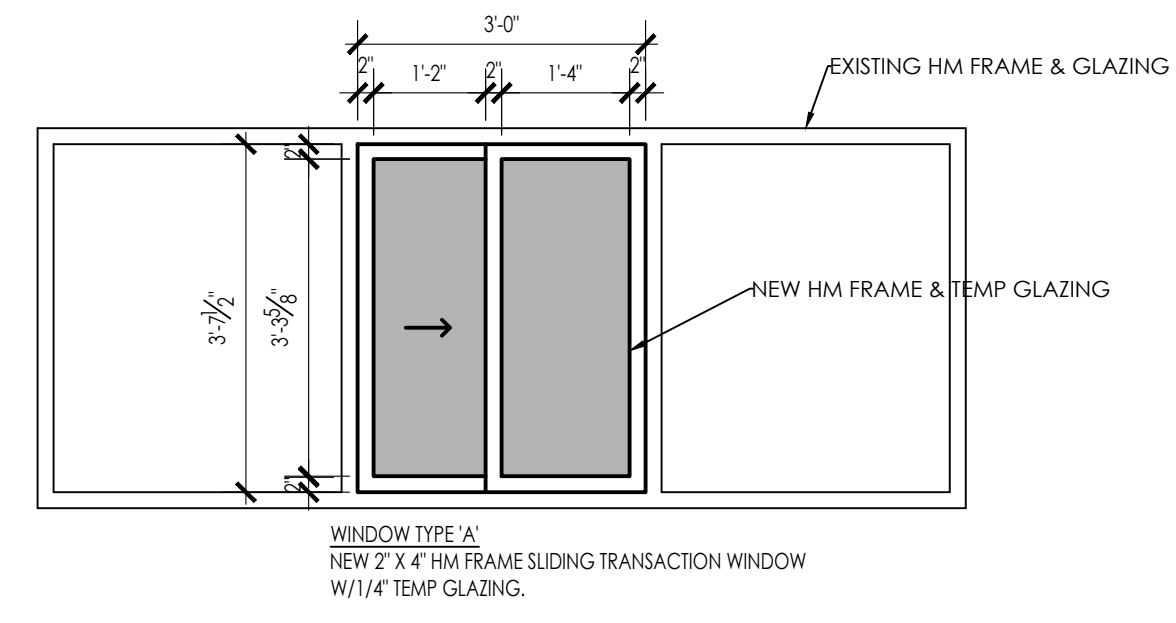
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EX-3 INTERIOR - LEAF A: PANIC HARDWARE W/LOCKSET, 5/8 KICK PLATE W/TAMPER RESISTANT SCREWS, CLOSER, CONT HINGE, REMOVABLE HM CENTER MULLION W/LATCH
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 EXTERIOR - LEAF A & B: PULL W/KEY
 FUNCTION - PASSAGE FUNCTION FROM INTERIOR, KEYPED FROM EXTERIOR OFFICE FUNCTION

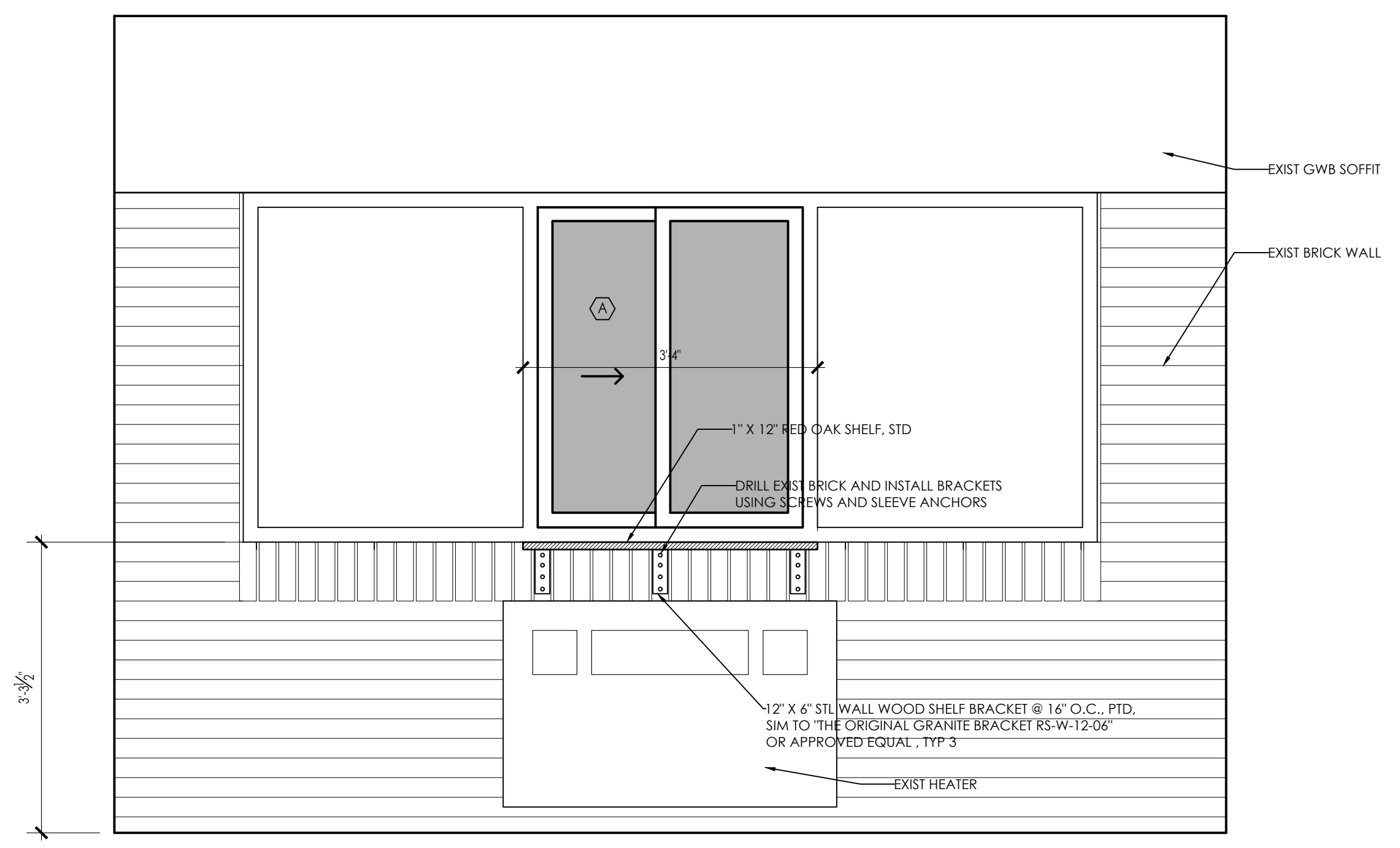
EX-4 NO CHANGE
 INTERIOR - LEAF A & B: PANIC HARDWARE W/LOCKSET, 5/8 KICK PLATE W/TAMPER RESISTANT SCREWS, CLOSER, CONT HINGE, REMOVABLE HM CENTER MULLION W/LATCH
 EXTERIOR - LEAF A & B: PULL W/KEY
 FUNCTION - PASSAGE FUNCTION FROM INTERIOR, KEYPED FROM EXTERIOR OFFICE FUNCTION

EX-5 NO CHANGE
 INTERIOR - LEAF A & B: PANIC HARDWARE W/DOGGING ABILITY, 5/8 KICK PLATE W/TAMPER RESISTANT SCREWS, CLOSER, 3 HINGES EACH LEAF, EXPOSED ROD TOP & BOTTOM
 EXTERIOR - LEAF A & B: LEVER HANDLE W/LOCKSET
 FUNCTION - PASSAGE FUNCTION FROM INTERIOR, KEYPED FROM VESTIBULE OFFICE FUNCTION

NOTE:
 ALL NEW HARDWARE TO MATCH EXISTING HARDWARE.



DOOR TYPE & HARDWARE FUNCTIONS 1
 SCALE: 1/2" = 1'-0" A-2.0



INTERIOR ELEVATIONS 1
 SCALE: 3/4" = 1'-0" A-2.0

ARCHITECT:

DIXON SALO ARCHITECTS INCORPORATED
 300 MAIN STREET, FIRST FLOOR
 MILBURY, MA 01521
 (508) 745-5333 (C) 774.239.8895
 ADMIN@DIXONSALOARCHITECTS.COM

ARCHITECTS STAMP:

ENGINEER:

ENGINEER'S STAMP:

GENERAL INFORMATION:

□	SCHEMATIC	02.10.2021
□	DESIGN DEVELOPMENT	02.26.2021
□	BID	03.24.2021
□	PERMIT	
□	CONSTRUCTION	
□	EXISTING CONDITIONS	

4	
3	
2	
1	
	REVISION DATE

DATE: 03.24.2021
SCALE: AS NOTED
PROJECT: - -
DRAWN: JGH
CHECKED: JGH

PROJECT TITLE:
 ELMWOOD ENTRY VESTIBULE
 ELMWOOD ELEMENTARY SCHOOL
 40 ELMWOOD STREET
 MILBURY, MA 01527

SHEET TITLE:
 PROJECT DETAILS

SHEET NUMBER:
A-2.0