

## 2.0 Structural and Mechanical Features

### School Facility Appraisal

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		Points Allocated	Points
<b>Structural</b>			
2.1	Structure meets all <b>barrier-free</b> requirements both externally and internally	15	12
	<i>The majority of the complex provides accessible accommodations. Toilet rooms at the 1990 Addition do not fully conform to ADA guidelines.</i>		
2.2	<b>Roofs</b> appear sound, have positive drainage, and are weather tight	15	10
	<i>The facility is equipped with single ply membrane roofing and built-up roofing, which were installed in the 1990's or earlier.</i>		
2.3	<b>Foundations</b> are strong and stable with no observable cracks	10	10
	<i>There were no significant areas of cracking or settlement.</i>		
2.4	<b>Exterior and interior walls</b> have sufficient expansion joints and are free of deterioration	10	7
	<i>The 1990 Addition is equipped with control joints. The majority of the facility is not equipped with control joints. There was no significant evidence of deterioration.</i>		
2.5	<b>Entrances and exits</b> are located so as to permit efficient student traffic flow	10	7
	<i>The location of exits are adequate for student circulation. A portion of entrances are elevated.</i>		
2.6	<b>Building "envelope"</b> generally provides for energy conservation (see criteria)	10	6
	<i>A portion of door and window installations are equipped with single pane glazing.</i>		
2.7	Structure is <b>free of friable asbestos and toxic materials</b>	10	7
	<i>District officials provided a hazardous materials report identifying areas of known asbestos. Recent renovations may have abated these areas.</i>		
2.8	Interior walls permit sufficient <b>flexibility</b> for a variety of class sizes	10	9
	<i>The facility provides multi-use space provision for flexibility of use.</i>		

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		Points Allocated	Points
<b>Mechanical/Electrical</b>			
2.9	<b>Adequate light sources</b> are well maintained, and properly placed and are not subject to overheating	15	14
	<i>The facility is equipped with dual level lighting. The majority of areas/rooms conform to OSDM standards.</i>		
2.10	<b>Internal water supply</b> is adequate with sufficient pressure to meet health and safety requirements	15	14
	<i>Domestic supply piping is copper. No pressure problems were reported by District officials.</i>		
2.11	Each teaching/learning area has adequate convenient <b>wall outlets</b> , phone and computer cabling for technology applications	15	13
	<i>Typical classrooms are equipped with 5-7 data ports and telephones. Classrooms are lacking projection provisions.</i>		
2.12	<b>Electrical controls</b> are safely protected with <b>disconnect switches</b> easily accessible	10	10

*Electrical service panels are located at mechanical areas.*

2.13	<b>Drinking fountains</b> are adequate in number and placement, and are properly maintained including provisions for the disabled	10	8
<i>The facility is equipped with accessible drinking fountains. A portion of installations do not provide multi-height accommodations.</i>			
2.14	<b>Number and size of restrooms meet requirements</b>	10	7
<i>Toilet rooms, restrooms, and shower facilities provide accessible accommodations in some areas.</i>			
2.15	<b>Drainage systems</b> are properly maintained and meet requirements	10	10
<i>The site is served by the local municipal system. No problems were reported by District officials.</i>			
2.16	<b>Fire alarms, smoke detectors, and sprinkler systems</b> are properly maintained and meet requirements	10	10
<i>The facility is equipped with an automatic suppression system and a fire alarm system with horn/strobe signals.</i>			
2.17	<b>Intercommunication system</b> consists of a central unit that allows dependable <b>two-way communication</b> between the office and instructional areas	10	8
<i>Classrooms are equipped with telephones.</i>			
2.18	<b>Exterior water supply</b> is sufficient and available for normal usage	5	4
<i>The facility is equipped with exterior hose bibb connections.</i>			

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**TOTAL - Structural and Mechanical Features**

200      166

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## 3.0 Plant Maintainability

### School Facility Appraisal

		Points Allocated	Points
3.1	<b>Windows, doors, and walls</b> are of material and finish requiring minimum maintenance  <i>A portion of exterior door and window assemblies were equipped with single pane glazing. District officials noted the operable window units at the 1990 Addition did not function satisfactorily.</i>	15	10
3.2	<b>Floor surfaces</b> throughout the building require minimum care  <i>Floor surfaces were vinyl tile, resilient sheet flooring, carpet, and wood. The floor finishes at the 1907 building are cracking due to flex of the floor structure.</i>	15	12
3.3	<b>Ceilings and walls</b> throughout the building, including service areas, are easily cleaned and resistant to stain  <i>The majority of the complex was equipped with acoustic ceilings.</i>	10	9
3.4	<b>Built-in equipment</b> is designed and constructed for ease of maintenance  <i>Casework was in satisfactory condition throughout the majority of the complex.</i>	10	10
3.5	<b>Finishes and hardware</b> , with compatible keying system, are of durable quality  <i>Door assemblies were equipped with accessible hardware in most locations.</i>	10	10
3.6	<b>Restroom fixtures</b> are wall mounted and of quality finish  <i>Restrooms/toilet rooms were equipped with accessible accommodations in some areas. Toilets are floor mounted. A portion of the equipment is dated.</i>	10	8
3.7	Adequate <b>custodial storage space</b> with water and drain is accessible throughout the building  <i>The facility was equipped with multiple custodial spaces.</i>	10	10
3.8	Adequate <b>electrical outlets and power</b> , to permit routine cleaning, are available in every area  <i>District officials noted the electrical provisions were adequate to serve the facility. Installations were recently updated.</i>	10	10
3.9	<b>Outdoor light fixtures, electrical outlets</b> , equipment, and other fixtures are accessible for repair and replacement  <i>Exterior lighting was provided by building mounted fixtures. Equipment is not accessible without the use of ladders or lifts.</i>	10	7
<b>TOTAL - Plant Maintainability</b>		<b>100</b>	<b>86</b>

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## 4.0 Building Safety and Security

### School Facility Appraisal

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Site Safety		Points Allocated	Points
4.1	<b>Student loading areas</b> are segregated from other vehicular traffic and pedestrian walkways	15	13
	<i>Bus traffic is provided a separated path of travel and unloads/loads at a dual purpose parking area near the main entry.</i>		
4.2	<b>Walkways</b> , both on and offsite, are available for safety of pedestrians	10	7
	<i>A portion of the walkways are deteriorated. Walkways are poor in grade in a few areas.</i>		
4.3	<b>Access streets</b> have sufficient signals and signs to permit safe entrance to and exit from school area	5	5
	<i>The main entrance drive is equipped with signals.</i>		
4.4	<b>Vehicular entrances and exits</b> permit safe traffic flow	5	4
	<i>The main entrance is equipped with turning lanes. The east parking lot entrance is not equipped with turning lanes.</i>		
4.5	ES <b>Playground equipment</b> is free from hazard	5	5
MS	Location and types of <b>intramural equipment</b> are free from hazard		
HS	<b>Athletic field equipment</b> is properly located and is free from hazard		
	<i>Playground equipment was recently updated.</i>		

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Building Safety		Points Allocated	Points
4.6	<b>The heating unit(s)</b> is located away from student occupied areas	20	19
	<i>Heating equipment was located in mechanical areas or roof mounted.</i>		
4.7	Multi-story buildings have at least <b>two stairways</b> for student egress	15	12
	<i>The facility contains multiple stair assemblies. A portion of the installations were not enclosed in rated assemblies.</i>		
4.8	<b>Exterior doors</b> open outward and are equipped with panic hardware	10	9
	<i>Exterior doors open outward and are equipped with panic devices at most locations.</i>		
4.9	<b>Emergency lighting</b> is provided throughout the entire building with exit signs on separate electrical circuits	10	9
	<i>Exit signs and emergency/egress lighting is provided throughout the complex. The system was recently updated. The facility is not equipped with a generator.</i>		
4.10	<b>Classroom doors</b> are recessed and open outward	10	6
	<i>A portion of the classroom doors are recessed and open outward.</i>		
4.11	<b>Building security systems</b> are provided to assure uninterrupted operation of the educational program	10	7
	<i>The facility is equipped with a motion sensor and camera security system. District officials noted the system was not adequately provided.</i>		

4.12	<b>Flooring</b> (including ramps and stairways) is maintained in a non-slip condition	5	4
<i>The flooring at the 1907 building was recently updated but finishes are deteriorating due to movement of wood floor structures.</i>			
4.13	<b>Stair risers</b> (interior and exterior) do not exceed 6 1/2 inches and range in number from 3 - 16	5	4
<i>Stair risers do not exceed 7".</i>			
4.14	<b>Glass</b> is properly located and protected with wire or safety material to prevent accidental student injury	5	5
<i>Tempered glazing was noted at most required installations.</i>			
4.15	<b>Fixed Projections</b> in the traffic areas do not extend more than eight inches from the corridor wall	5	4
<i>Drinking fountains project into corridors.</i>			
4.16	<b>Traffic areas</b> terminate at an exit or a stairway leading to an egress	5	5
<i>Main corridors lead to exits.</i>			

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Emergency Safety		Points Allocated	Points
4.17	Adequate <b>fire safety equipment</b> is properly located	15	15
<i>The facility is equipped with an automatic suppression system. Fire extinguishers were provided throughout the complex.</i>			
4.18	There are at least <b>two independent exits</b> from any point in the building	15	15
<i>The facility was equipped with remote exits.</i>			
4.19	<b>Fire-resistant materials</b> are used throughout the structure	15	15
<i>The construction documents identified rated wall assemblies and construction.</i>			
4.20	Automatic and manual <b>emergency alarm system</b> with a distinctive sound and flashing light is provided	15	15
<i>The facility is equipped with a fire alarm system with manual pull stations. The system was recently updated.</i>			
<b>TOTAL - Building Safety and Security</b>		200	178

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## 5.0 Educational Adequacy

### School Facility Appraisal

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<b>Academic Learning Space</b>		<b>Points Allocated</b>	<b>Points</b>
5.1	<b>Size of academic learning areas</b> meets desirable standards  <i>Typical classrooms sizes vary. The classrooms at the 1990 building are undersized.</i>	25	20
5.2	<b>Classroom space</b> permits arrangements for small group activity  <i>A portion of classrooms exceed 900 s.f. and provide adequate areas for this activity.</i>	15	12
5.3	<b>Location of academic learning areas</b> is near related educational activities and away from disruptive noise  <i>Student dining, the gymnasium, multi-purpose area, the choir and band rooms were provided at remote locations.</i>	10	10
5.4	<b>Personal space</b> in the classroom away from group instruction allows privacy time for individual students  <i>A portion of classrooms exceed 900 s.f. and provide adequate areas for this activity.</i>	10	7
5.5	<b>Storage for student materials</b> is adequate  <i>The facility is equipped with adequate storage provisions.</i>	10	10
5.6	<b>Storage for teacher materials</b> is adequate  <i>The facility is equipped with a teachers' work room and resource room.</i>	10	10

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<b>Special Learning Space</b>		<b>Points Allocated</b>	<b>Points</b>
5.7	<b>Size of special learning area(s)</b> meets standards  <i>Special learning areas were adequate.</i>	15	15
5.8	<b>Design of specialized learning area(s)</b> is compatible with instructional need  <i>Accessible toilet provisions were provided at the nearby clinic.</i>	10	9
5.9	<b>Library/Resource/Media Center</b> provides appropriate and attractive space  <i>The Media Center was recently renovated but area is limited.</i>	10	8
5.10	<b>Gymnasium (or covered P.E. area)</b> adequately serves physical education instruction  <i>The gymnasium is equipped with bleacher seating. Flooring is worn.</i>	5	4
5.11	ES <b>Pre-kindergarten and kindergarten space</b> is appropriate for age of students and nature of instruction  MS/HS <b>Science</b> program is provided sufficient space and equipment  <i>Casework was recently updated.</i>	10	9

5.12	<b>Music Program</b> is provided adequate sound treated space  <i>The music room was equipped with surface mounted acoustic panels.</i>	5	5
5.13	<b>Space for art</b> is appropriate for special instruction, supplies, and equipment  <i>The art remote is equipped with a storage room for equipment and supplies.</i>	5	5
<hr/>			
<b>School Facility Appraisal</b>		Points Allocated	Points
<hr/>			
5.14	<b>Space for technology education</b> permits use of state-of-the-art equipment  <i>Technology education takes place in a dedicated classroom, the area was recently renovated.</i>	5	5
5.15	<b>Space for small groups and remedial instruction</b> is provided adjacent to classrooms  <i>The facility is equipped with tutorial rooms and multi-use spaces.</i>	5	5
5.16	<b>Storage for student and teacher material</b> is adequate  <i>Storage provisions were adequate. Casework and lockers were recently updated.</i>	5	5
<hr/>			
<b>Support Space</b>		Points Allocated	Points
<hr/>			
5.17	<b>Teacher's lounge and work areas</b> reflect teachers as professionals  <i>The facility was equipped with multiple workrooms.</i>	10	10
5.18	<b>Cafeteria/Kitchen</b> is attractive with sufficient space for seating/dining, delivery, storage, and food preparation  <i>Student dining was recently renovated.</i>	10	8
5.19	<b>Administrative offices</b> provided are consistent in appearance and function with the maturity of the students served  <i>Administrative offices are provided with a pleasant environment area, which was recently renovated.</i>	5	5
5.20	<b>Counselor's office</b> insures privacy and sufficient storage  <i>The facility is equipped with a dedicated counselor's office.</i>	5	4
5.21	<b>Clinic</b> is near administrative offices and is equipped to meet requirements  <i>The clinic is equipped with accessible toilet and shower facilities.</i>	5	5
5.22	<b>Suitable reception space</b> is available for students, teachers, and visitors  <i>Reception is provided at a remote location from the Administrative offices.</i>	5	4
5.23	<b>Administrative personnel</b> are provided <b>sufficient work space and privacy</b>  <i>Administrative areas were recently renovated.</i>	5	4
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<b>TOTAL - Educational Adequacy</b>		200	179

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## 6.0 Environment for Education

### School Facility Appraisal

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<b>Exterior Environment</b>		<b>Points Allocated</b>	<b>Points</b>
6.1	<b>Overall design is aesthetically pleasing</b> to age of students  <i>The school facility was recently renovated.</i>	15	13
6.2	<b>Site and building are well landscaped</b>  <i>The site contains little landscaping. Much of the site is paved.</i>	10	6
6.3	<b>Exterior noise and poor environment</b> do not disrupt learning  <i>The complex is located near the central business district with nearby traffic.</i>	10	5
6.4	<b>Entrances and walkways are sheltered</b> from sun and inclement weather  <i>A portion of the entrances were equipped with overhangs.</i>	10	8
6.5	<b>Building materials</b> provide attractive color and texture  <i>A portion of the entrances were equipped with a brick exterior decorative masonry cornices.</i>	5	3

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<b>Interior Environment</b>		<b>Points Allocated</b>	<b>Points</b>
6.6	<b>Color schemes, building materials, and decor</b> provide an impetus to learning  <i>The facility is pleasingly finished in most areas.</i>	20	17
6.7	<b>Year around comfortable temperature and humidity</b> are provided throughout the building  <i>The facility is equipped with air conditioning.</i>	15	15
6.8	<b>Ventilating system</b> provides adequate quiet circulation of clean air and meets 15cfm VBC requirement  <i>HVAC systems were recently renovated.</i>	15	15
6.9	<b>Lighting system</b> provides proper intensity, diffusion, and distribution of illumination  <i>A portion of the facility was equipped with dual level lighting. The 1990 addition did not contain dual level lighting.</i>	15	12
6.10	<b>Drinking fountains and restroom facilities</b> are conveniently located  <i>A portion of the facility was equipped with accessible toilets and drinking fountains. Drinking fountains were not provided with multi-height accomodations. The 1990 additions were not fully accessible.</i>	15	12
6.11	<b>Communication among students</b> is enhanced by commons area(s) for socialization  <i>The facility was equipped with a lobby, multi-use areas, and an auditorium.</i>	10	10
6.12	<b>Traffic flow</b> is aided by appropriate foyers and corridors	10	10

*Corridors are sized for circulation. The facility is equipped with an entrance lobby.*

6.13	<b>Areas for students to interact</b> are suitable to the age group	10	10
<i>The facility is equipped with multiple common areas.</i>			
6.14	<b>Large group areas are designed</b> for effective management of students	10	10
<i>The gymnasium is equipped with bleacher seating. The facility contains several multi-purpose areas.</i>			
6.15	<b>Acoustical treatment</b> of ceilings, walls, and floors provides effective sound control	10	10
<i>The facility was equipped with acoustic ceilings. Sound panels were provided in some areas.</i>			
6.16	<b>Window design</b> contributes to a pleasant environment	10	6
<i>A portion of windows were deteriorated and contained single pane glazing.</i>			
6.17	<b>Furniture and equipment</b> provide a pleasing atmosphere	10	7
<i>A portion of the furnishings were updated with newer installations.</i>			

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**TOTAL - Environment for Education**

**200**      **169**

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***Justification for Allocation of Points***

Building Name and Level: **Central Intermediate School**

**5-6**

**Building features that clearly exceed criteria:**

1. The facility is suppressed.
2. The facility was equipped with elevators.
- 3.
- 4.
- 5.
- 6.

**Building features that are non-existent or very inadequate:**

- 1.
- 2.
- 3.
- 4.
- 5.
- 6.

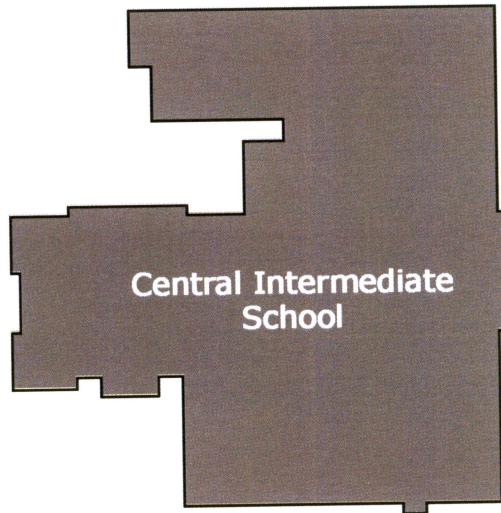
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Building Summary - Central Intermediate School (5710)

<b>District:</b> Wadsworth City SD	<b>County:</b> Medina	<b>Area:</b> North Central Ohio (4)	
<b>Name:</b> Central Intermediate School	<b>Contact:</b> Ms. Paula Canterbury		
<b>Address:</b> 151 Main Street Wadsworth, Ohio, OH 44281	<b>Phone:</b> 330-335-1480		
<b>Bldg. IRN:</b> 5710	<b>Date Prepared:</b> 2008-02-07	<b>By:</b> Tony Schorr	
<b>Date Revised:</b> 2008-02-20	<b>By:</b> Tony Schorr		
Current Grades      5-6      Acreage: 4.48	CEFPI Appraisal Summary		
Proposed Grades      N/A      Teaching Stations: 38			
Current Enrollment      720      Classrooms: 29			
Projected Enrollment      N/A			
Addition      Date 1907      HA yes      Number of Floors 3      Current Square Feet 37,162	Section Points Possible Points Earned Percentage Rating Category		
Original Building      1927      yes      2      7,897	Cover Sheet	< < < <	
Auditorium      1927      yes      4      36,738	1.0 The School Site	200      112      56%      Borderline	
Classroom Wing Addition      1962      yes      1      6,925	2.0 Structural and Mechanical Features	400      332      83%      Satisfactory	
2nd Classroom Wing Addition      1973      yes      1      5,613	3.0 Plant Maintainability	200      172      86%      Satisfactory	
Gymnasium Addition      1990      yes      1      17,086	4.0 Building Safety and Security	400      356      89%      Satisfactory	
3rd Classroom Wing Addition      1990      yes      1      111,421	5.0 Educational Adequacy	400      358      90%      Excellent	
<b>Total</b>	<b>C=Under Contract</b>	6.0 Environment for Education	400      338      85%      Satisfactory
*HA = Handicapped Access	<b>Commentary</b>		
*Rating = =1 Satisfactory	Total 2000		83%      Satisfactory
=2 Needs Repair			
=3 Needs Replacement			
*Const P/S = Present/Scheduled Construction			
<b>FACILITY ASSESSMENT</b> Cost Set: 2007		<b>Dollar Assessment</b>	
<input checked="" type="checkbox"/> A. Heating System	3	\$3,231,209.00	-
<input checked="" type="checkbox"/> B. Roofing	3	\$398,027.00	-
<input checked="" type="checkbox"/> C. Ventilation / Air Conditioning	1	\$0.00	-
<input checked="" type="checkbox"/> D. Electrical Systems	3	\$585,301.50	-
<input checked="" type="checkbox"/> E. Plumbing and Fixtures	3	\$152,700.00	-
<input checked="" type="checkbox"/> F. Windows	3	\$475,860.00	-
<input checked="" type="checkbox"/> G. Structure: Foundation	1	\$0.00	-
<input checked="" type="checkbox"/> H. Structure: Walls and Chimneys	3	\$337,670.00	-
<input checked="" type="checkbox"/> I. Structure: Floors and Roofs	3	\$1,168,376.00	-
<input checked="" type="checkbox"/> J. General Finishes	3	\$1,273,776.25	-
<input checked="" type="checkbox"/> K. Interior Lighting	3	\$557,105.00	-
<input checked="" type="checkbox"/> L. Security Systems	3	\$233,984.10	-
<input checked="" type="checkbox"/> M. Emergency/Egress Lighting	3	\$111,421.00	-
<input checked="" type="checkbox"/> N. Fire Alarm	3	\$55,743.00	-
<input checked="" type="checkbox"/> O. Handicapped Access	3	\$215,242.10	-
<input checked="" type="checkbox"/> P. Site Condition	3	\$427,619.00	-
<input checked="" type="checkbox"/> Q. Sewage System	1	\$0.00	-
<input checked="" type="checkbox"/> R. Water Supply	1	\$0.00	-
<input checked="" type="checkbox"/> S. Exterior Doors	3	\$46,000.00	-
<input checked="" type="checkbox"/> T. Hazardous Material	1	\$0.00	-
<input checked="" type="checkbox"/> U. Life Safety	3	\$562,118.25	-
<input checked="" type="checkbox"/> V. Loose Furnishings	3	\$207,048.00	-
<input checked="" type="checkbox"/> W. Technology	3	\$796,099.56	-
<b>X. Construction Contingency / Non-Construction Cost</b>	<b>-</b>	<b>\$2,636,661.84</b>	
<b>Total</b>		<b>\$13,471,961.60</b>	

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Main Street

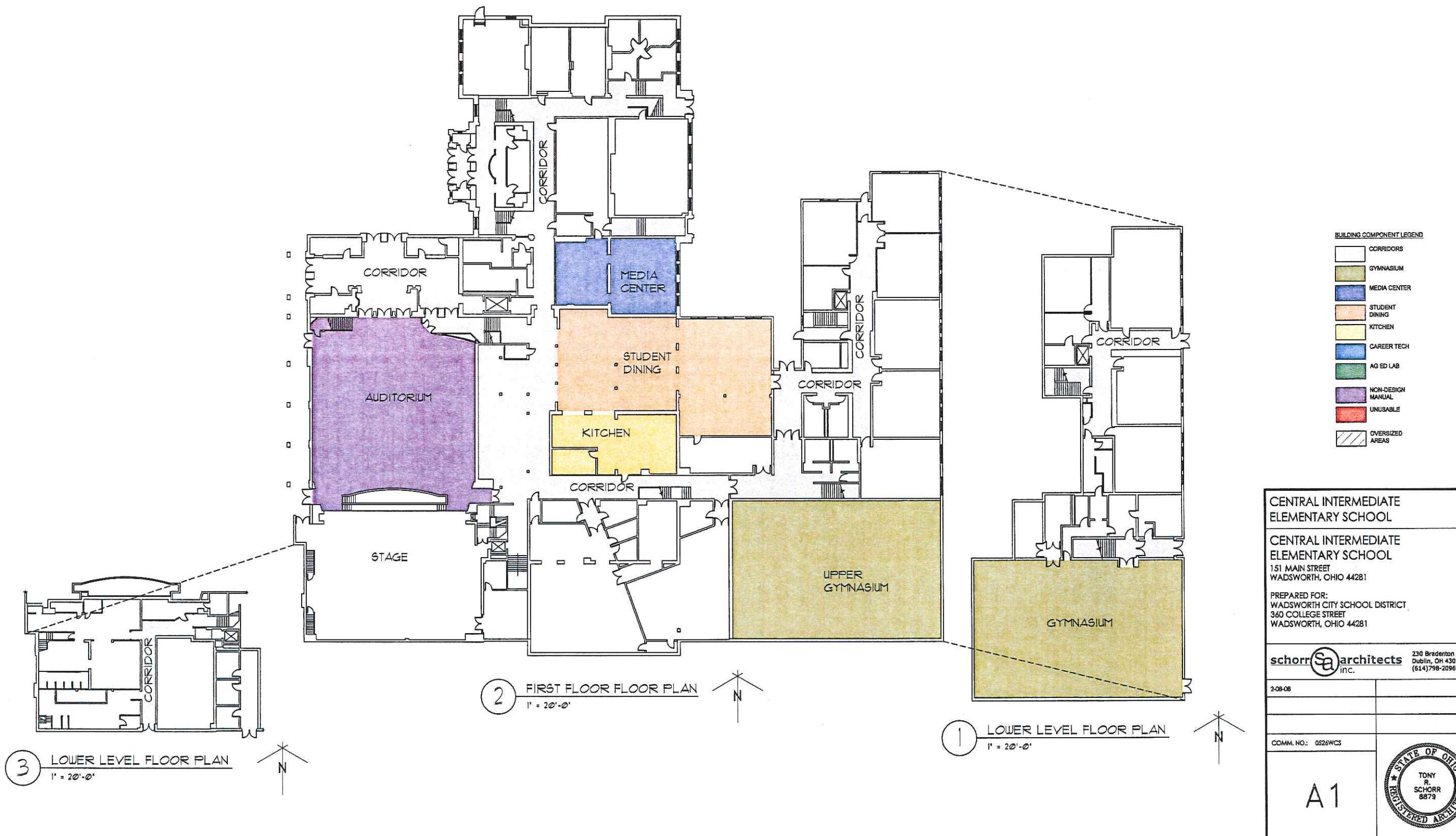
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## CENTRAL INTERMEDIATE SCHOOL

Grades:	5-6
Construction Dates:	1907, 1927, 1962, 1973, 1990
Acreage:	4.48 acres
Existing Building Area:	111,421 s.f.
Current Enrollment:	720
Square Footage Per Student:	154.75

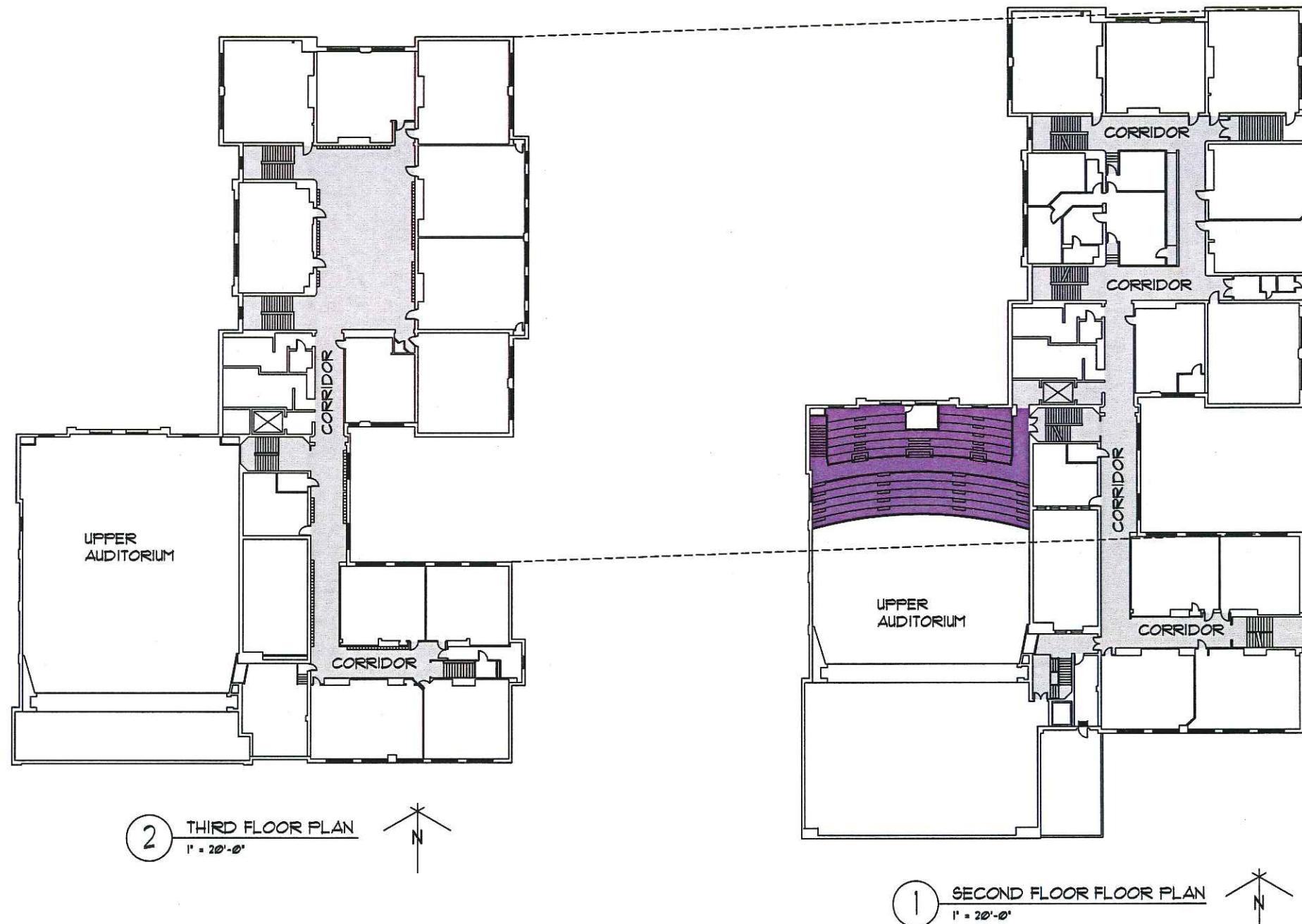
ADDITION	AUDITORIUM FIXED SEATING	CORRIDORS	AGRICULTURE EDUCATION LAB	PRIMARY GYMNASIUM	MEDIA CENTER	VOCATIONAL SPACE	STUDENT DINING	KITCHEN	NATATORIUM	INDOOR TRACKS	ADULT EDUCATION	BOARD OFFICES	OUTSIDE AGENCIES	AUXILIARY GYMNASIUM
ORIGINAL BUILDING (1907)		7,478			1,554									
AUDITORIUM (1921)	7,891													
CLASSROOM WING ADDITION (1927)		8,613				2,132	1,358							
2ND CLASSROOM ADDITION (1962)		288					2,011							
GYMNASIUM ADDITION (1913)				5,613										
3RD CLASSROOM WING ADDITION (1990)		3,805												
MASTER PLANNING CONSIDERATIONS														

NAME	YEAR	HANDICAPPED ACCESS	FLOORS	SQUARE FEET
ORIGINAL BUILDING	1907	YES	3	31,162
AUDITORIUM	1921	YES	2	7,891
CLASSROOM WING ADDITION	1927	YES	4	36,138
2ND CLASSROOM ADDITION	1962	YES	1	6,925
GYMNASIUM ADDITION	1913	YES	1	5,613
3RD CLASSROOM ADDITION	1990	YES	1	11,086



ADDITION	AUDITORIUM FIXED SEATING	CORRIDORS	AGRICULTURE EDUCATION LAB	PRIMARY GYMNASIUM	MEDIA CENTER	VOCATIONAL SPACE	STUDENT DINING	KITCHEN	NATATORIUM	INDOOR TRACKS	ADULT EDUCATION	BOARD OFFICES	OUTSIDE AGENCIES	AUXILIARY GYMNASIUM	
ORIGINAL BUILDING (1921)		7,418		1,884											
AUDITORIUM (1921)	1,981														
CLASSROOM WING ADDITION (1921)		8,613				2,332	1,398								
2ND CLASSROOM ADDITION (1962)		288				2,071									
GYMNASIUM ADDITION (1973)						5,613									
3RD CLASSROOM WING ADDITION (1998)		3,869													
MASTER PLANNING CONSIDERATIONS															

NAME	YEAR	HANDICAPPED ACCESS	FLOORS	SQUARE FEET
ORIGINAL BUILDING	1921	YES	3	31,162
AUDITORIUM	1921	YES	2	1,981
CLASSROOM WING ADDITION	1921	YES	4	36,738
2ND CLASSROOM ADDITION	1962	YES	1	6,325
GYMNASIUM ADDITION	1973	YES	1	5,613
3RD CLASSROOM ADDITION	1998	YES	1	11,006



BUILDING COMPONENT LEGEND

- CORRIDORS
- GYMNASIUM
- MEDIA CENTER
- STUDENT DINING
- KITCHEN
- CAREER TECH
- AG ED LAB
- NON-DESIGN MANUAL
- UNUSABLE
- OVERSIZED AREAS

CENTRAL INTERMEDIATE ELEMENTARY SCHOOL

CENTRAL INTERMEDIATE ELEMENTARY SCHOOL  
151 MAIN STREET  
WADSWORTH, OHIO 44281

PREPARED FOR:  
WADSWORTH CITY SCHOOL DISTRICT  
360 COLLEGE STREET  
WADSWORTH, OHIO 44281

schorr  architects Inc. 230 Bradenton Ave.  
Dublin, OH 43017  
(614)798-2096

2-08-08

COMM. NO.: 0526WCS

A2

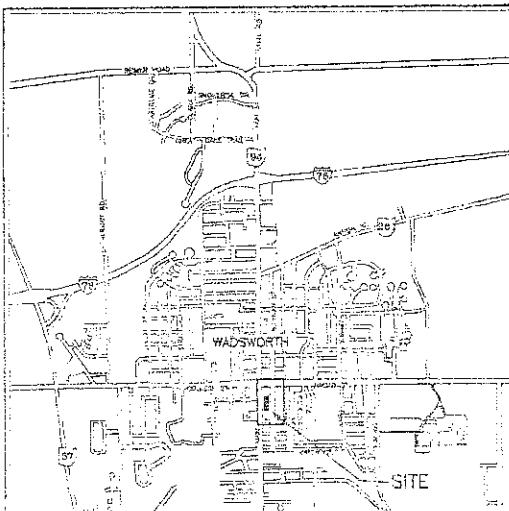


# WADSWORTH CITY SCHOOLS

360 COLLEGE STREET  
CHARLES R. PARSONS

WADSWORTH, OHIO 44281  
SUPERINTENDENT

## O.J. WORK AUDITORIUM CENTRAL 5/6 BUILDING



VICINITY MAP  
NO SCALE



LOUIS PERRY & ASSOCIATES, INC.

165 SMOKERISE DRIVE  
WADSWORTH, OH 44281  
PHONE (330) 334-1585  
FAX (330) 334-1658



MCDONALD, CASSELL & BASSETT, INC.

600 WEST SPRING STREET  
COLUMBUS, OH 43215  
PHONE (614) 628-0630  
FAX (614) 628-0633

ENGINEERS

• ARCHITECTS

• PLANNERS

THE RUHLIN COMPANY  
6931 RIDGE ROAD

PHONE (330) 3239-2800 FAX (330) 239-1326

CONSTRUCTION MANAGER  
SHARON CENTER OH 44274

COMMISSION NO. 9857/9803E

DATE: JUNE 5, 2001

### SCHEDULE OF DRAWINGS

#### ARCHITECTURAL

- D1 TITLE SHEET
- D2 ROOF PLAN AND CODE INFORMATION
- D3 KEY PLANS AND FINISH SCHEDULE: LL AND 1ST FLOOR
- D4 KEY PLANS AND FINISH SCHEDULE: 2ND AND 3RD FLOORS
- D5 AREA C FLOOR PLANS
- D6 AREA A FIRST FLOOR PLAN
- D7 AREA B FIRST FLOOR PLAN
- D8 AREAS A AND B SECOND FLOOR PLANS
- D9 AREAS A AND B THIRD FLOOR PLANS
- D10 DOOR SCHEDULES AND DETAILS
- D11 BUILDING ELEVATIONS
- D12 BUILDING SECTIONS
- D13 WALL SECTIONS
- D14 STAIR AND ELEVATOR SECTIONS
- D15 STAIR AND ELEVATOR SECTIONS
- D16 INTERIOR ELEVATIONS
- D17 INTERIOR ELEVATIONS
- D18 INTERIOR ELEVATIONS
- D19 INTERIOR ELEVATIONS
- D20 INTERIOR ELEVATIONS
- D21 INTERIOR DETAILS
- D22 INTERIOR DETAILS

#### CIVIL

- C-1 DEMOLITION PLAN
- C-2 OVERALL CITY SITE & LANDSCAPING PLANS
- C-3 PAVING & DRIVING PLAN
- C-4 ENCLASSED PARKMENT PLANS
- C-5 UNDERGROUND UTILITY PLAN
- C-6 PAVING UTILITY & EROSION CONTROL DETAILS
- C-7 STORM DETAILS

#### STRUCTURAL

- S-1 GENERAL NOTES & STANDARD FOUNDATION/GRADE SLAB DETAILS
- S-2 FOUNDATION/GRADE SLAB PLAN - AREA "A"
- S-3 FOUNDATION/GRADE SLAB PLANS - AREAS "B" & "C"
- S-4 FOUNDATION/GRADE SLAB SECTIONS & DETAILS
- S-5 MISCCELLANEOUS ROOF/FLOOR FRAMING PLANS - SHT. 1
- S-6 MISCCELLANEOUS ROOF/FLOOR FRAMING PLANS - SHT. 2
- S-7 ROOF FRAMING PLANS - AREAS "A" & "B"
- S-8 STANDARD FRAMING SECTIONS & DETAILS
- S-9 FRAMING SECTIONS & DETAILS

#### HVAC

DESIGN/BUILD BY COLUMBUS HEATING & VENTILATING

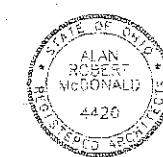
#### PLUMBING

- P-1 PLUMBING GENERAL NOTES & FUTURE SCHEDULE
- P-2 PLUMBING LOWER LEVEL PLAN - AREAS A & B
- P-3 PLUMBING 1st FLOOR PLAN - AREA C
- P-4 PLUMBING 1st FLOOR PLAN - AREA B
- P-5 PLUMBING 1st FLOOR PLAN - AREA B
- P-6 PLUMBING 2nd FLOOR PLAN - AREA A & B
- P-7 PLUMBING 3rd FLOOR PLAN - AREA A & B
- P-8 PLUMBING ENCLASSED PLANS
- P-9 PLUMBING SANITARY PLANS
- P-10 PLUMBING SANITARY PLANS
- P-11 PLUMBING SANITARY PLANS
- PP-1 FIRE PROTECTION 1st FLOOR PLAN - AREAS A & B
- PP-2 FIRE PROTECTION 2nd & 3rd FLOOR PLANS - AREAS A & B

#### ELECTRICAL

- E-1 ELECTRICAL SYMBOL LEGEND AND NOTES
- E-2 LIGHTING FIXTURE SCHEDULE
- E-3 WIRING DIAGRAMS & DETAILS
- E-4 WIRING DIAGRAMS & DETAILS
- E-5 ELECTRICAL DEMOLITION LOWER LEVEL & 1st FLOOR
- E-6 ELECTRICAL DEMOLITION 2nd & 3rd FLOOR PLANS
- E-7 LIGHTING LOWER LEVEL PLAN - AREAS B & C
- E-8 LIGHTING LOWER LEVEL PLAN - AREA B
- E-9 LIGHTING 1st FLOOR PLAN - AREA B
- E-10 LIGHTING 1st FLOOR PLAN - AREA C
- E-11 LIGHTING 2nd FLOOR PLAN - AREAS A & B
- E-12 LIGHTING 3rd FLOOR PLAN - AREAS A & B
- E-13 POWER & COMMUNICATIONS LOWER LEVEL PLAN - AREAS B & C
- E-14 POWER & COMMUNICATIONS 1st FLOOR PLAN - AREA A
- E-15 POWER & COMMUNICATIONS 1st FLOOR PLAN - AREA B
- E-16 POWER & COMMUNICATIONS 1st FLOOR PLAN - AREA C
- E-17 POWER & COMMUNICATIONS 2nd FLOOR PLAN - AREAS A & B
- E-18 POWER & COMMUNICATIONS 3rd FLOOR PLAN - AREAS A & B
- E-19 KITCHEN POWER PLAN
- E-20 DEMOLITION POWER RISER DIAGRAM
- E-21 POWER RISER DIAGRAM
- E-22 POWER RISER DIAGRAM
- E-23 PANEL SCHEDULES
- E-24 PANEL SCHEDULES
- E-25 PANEL SCHEDULES
- E-26 PANEL SCHEDULES

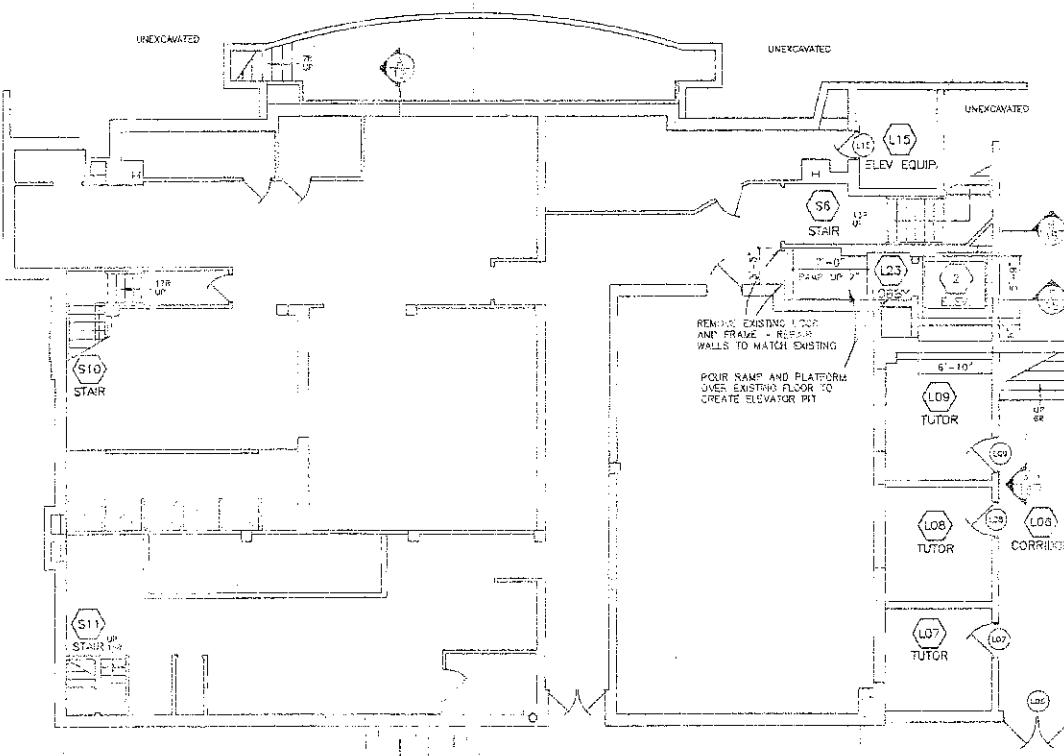
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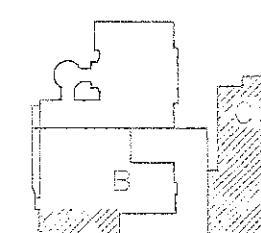




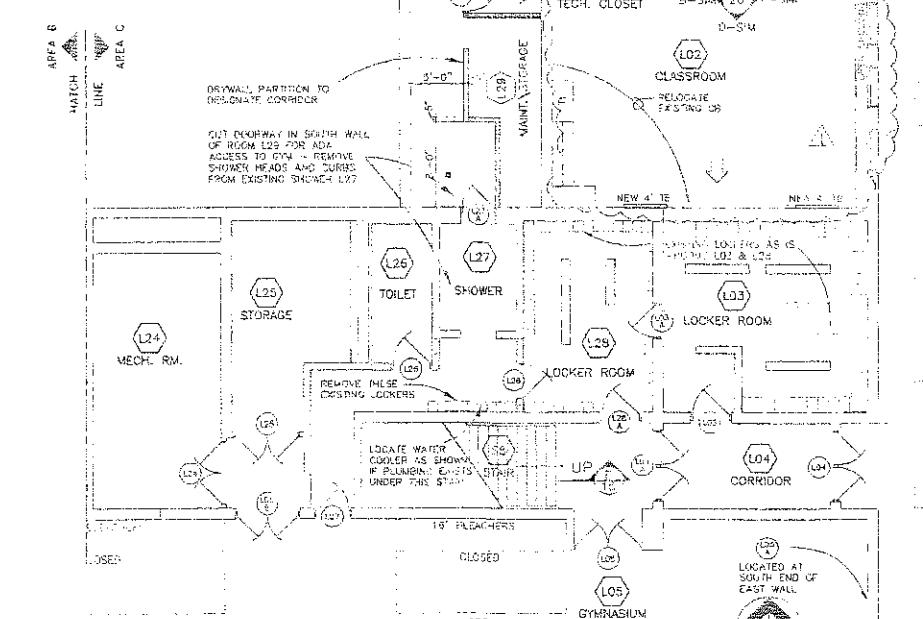


PARTIAL LOWER LEVEL FLOOR PLAN - AREA B  
SCALE 1/8"-1'-0"

NORTH

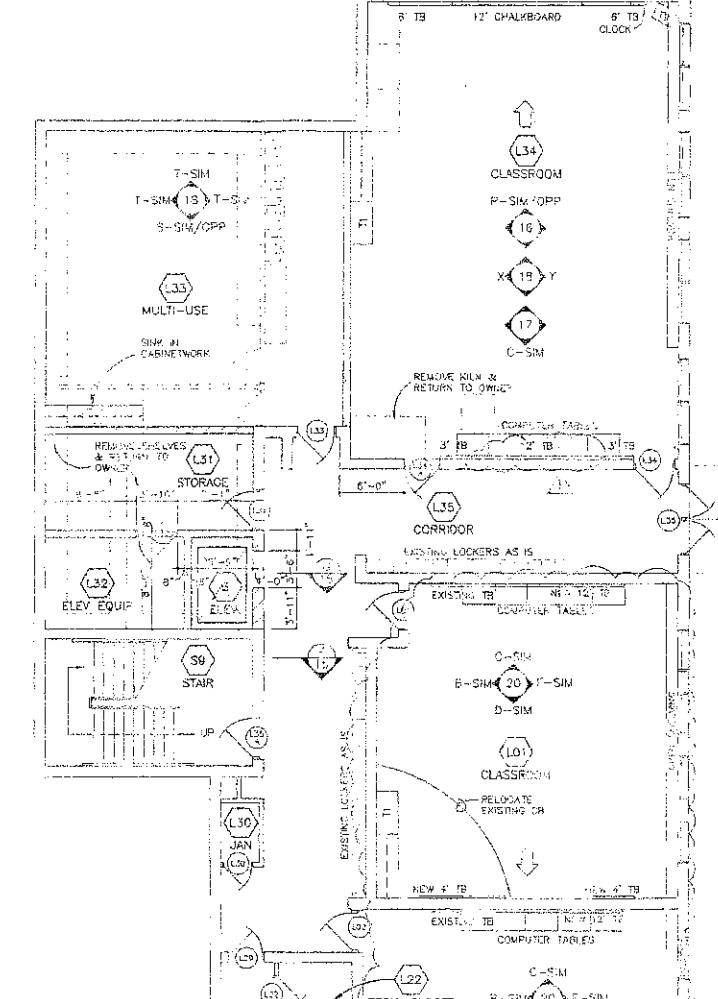


KEY PLAN  
NOT TO SCALE



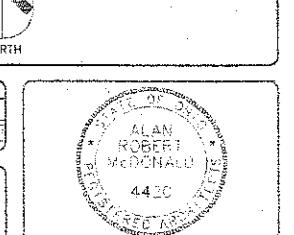
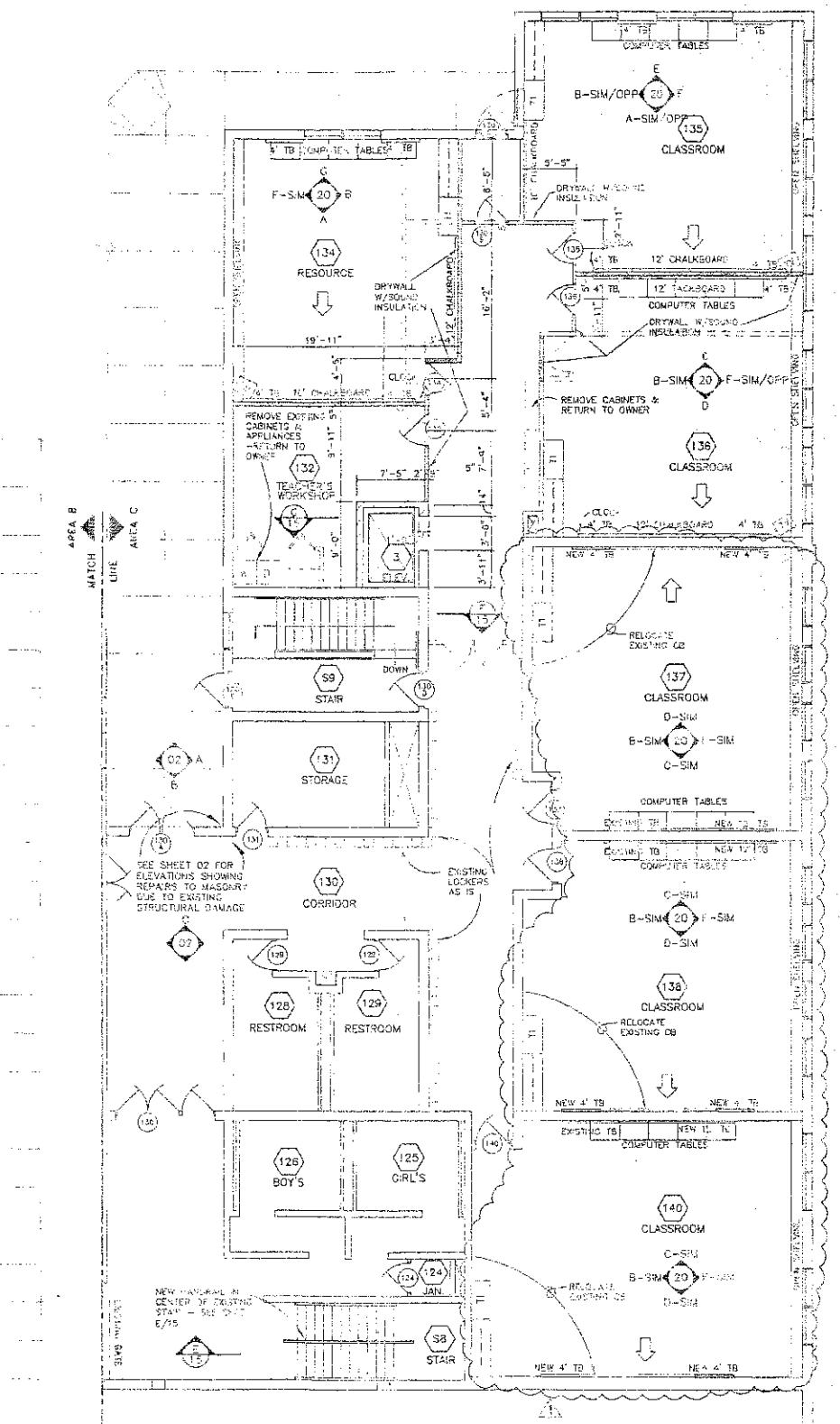
LOWER LEVEL FLOOR PLAN - AREA C  
SCALE 1/8"-1'-0"

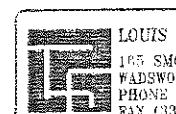
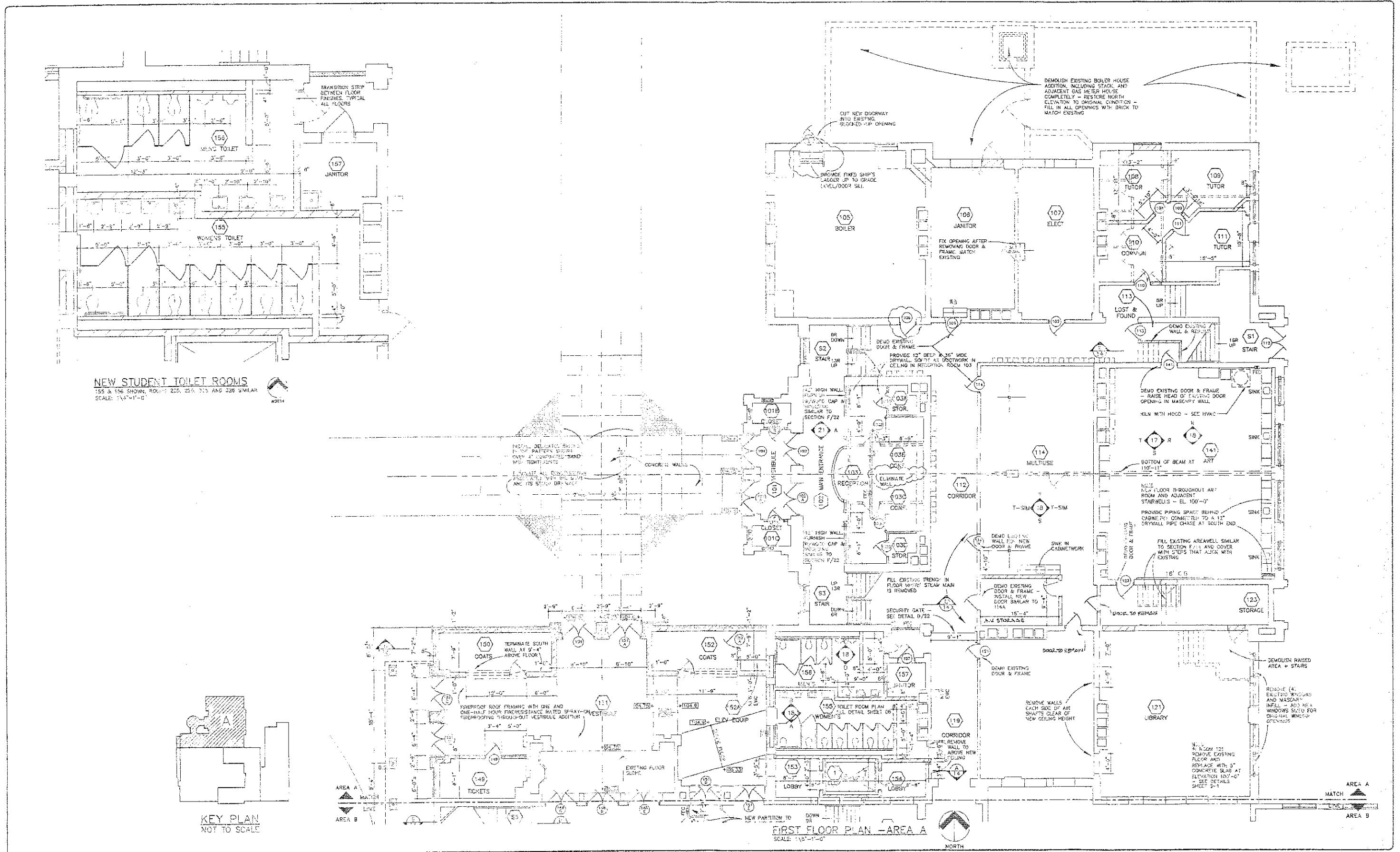
NORTH



FIRST FLOOR PLAN - AREA C  
SCALE 1/8"-1'-0"

NORTH





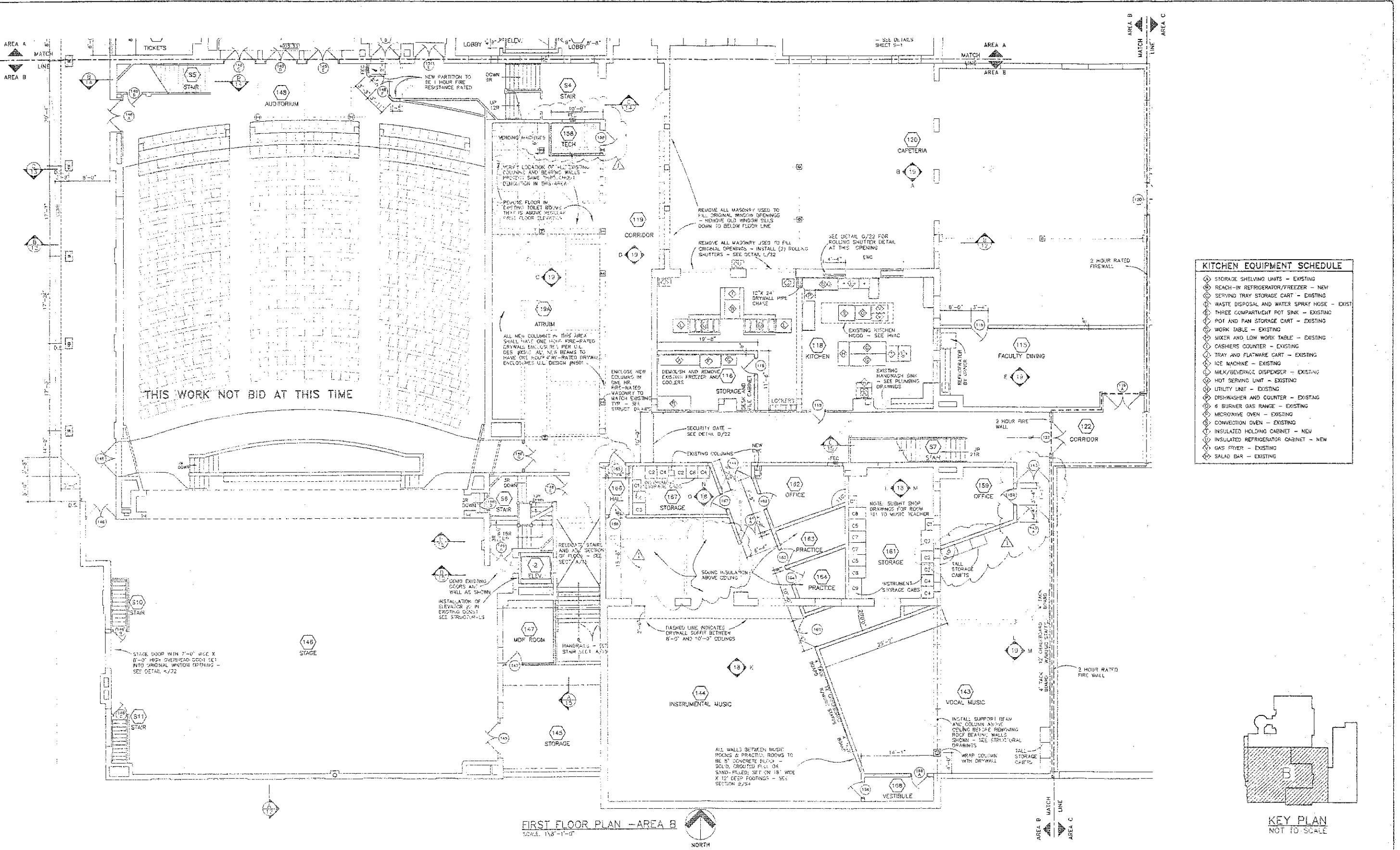
LOUIS PERRY & ASSOCIATES, INC.  
165 SMOKESE DRIVE  
WADSWORTH, OH 44281  
PHONE (330) 334-1565  
FAX (330) 334-1658

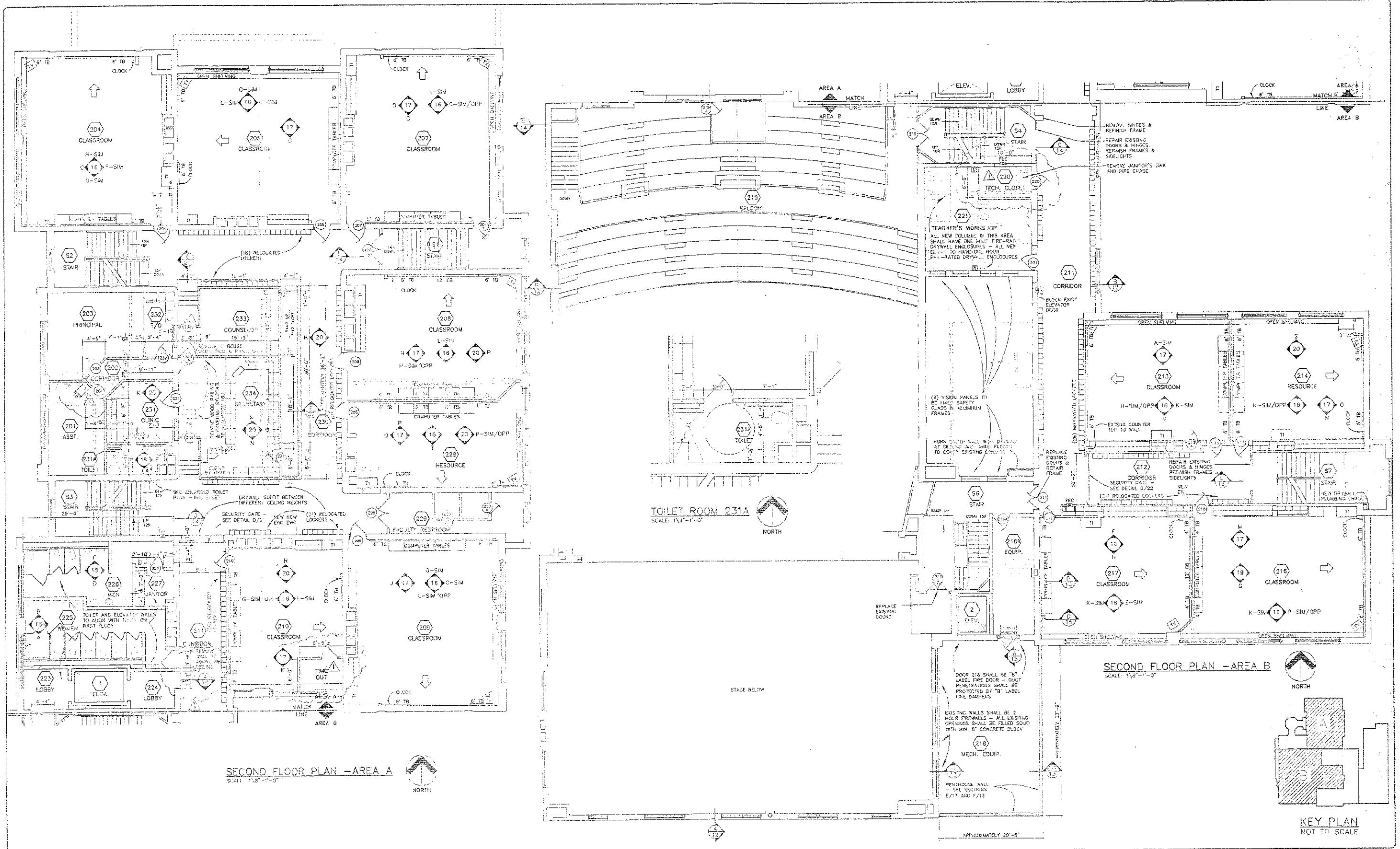
MCDONALD, CASSELL & BASSETT, INC.  
600 WEST SPRING STREET  
COLUMBUS, OH 43215  
PHONE (614) 628-0630  
FAX (614) 628-0612

ENGINEERS • ARCHITECTS • PLANNERS

DESIGN BY:	JFR	DATE:	2/19/01	ISSUED FOR CONSTRUCTION BULLETIN #1
CHG BY:	JFR	DATE:	2/19/01	ADDED FACTORY BUILT CABINETS
O:	2/19/01	JFR		ISSUED FOR BUILDING PERMIT
FILENAME:	PLOT.DAT			ISSUED FOR BIDDING TO THE RUHLEN COMPANY
BUPLANA:	2/19/01	JFR		ISSUED FOR BUILDING PERMIT
SCALE:	1"-0"	PLOT SCALE:	1"-0"	
RS NUMBER:	101			ISSUED TO RUHLEN FOR PRICING
RC DATE:	2/19/01	BY:	JFR	REVISION:
RE:	101			

DESIGN BY:	JFR	DATE:	2/19/01	ISSUED FOR CONSTRUCTION BULLETIN #1
CHG BY:	JFR	DATE:	2/19/01	ADDED FACTORY BUILT CABINETS
O:	2/19/01	JFR		ISSUED FOR BUILDING PERMIT
FILENAME:	PLOT.DAT			ISSUED FOR BIDDING TO THE RUHLEN COMPANY
BUPLANA:	2/19/01	JFR		ISSUED FOR BUILDING PERMIT
SCALE:	1"-0"	PLOT SCALE:	1"-0"	
RS NUMBER:	101			ISSUED TO RUHLEN FOR PRICING
RC DATE:	2/19/01	BY:	JFR	REVISION:
RE:	101			





LOUIS PERRY & ASSOCIATES, INC.  
185 SMOKEHOUSE DRIVE  
WADSWORTH, OH 44281  
PHONE (330) 334-1955  
FAX (330) 334-1955  
ENGINEERS • ARCHITECTS • PLANNERS



McDONALD, CASSELL & BASSETT, INC.  
600 WEST SPRING STREET  
COLUMBUS, OH 43215  
PHONE (614) 628-0630  
FAX (614) 628-0633  
PLANNERS

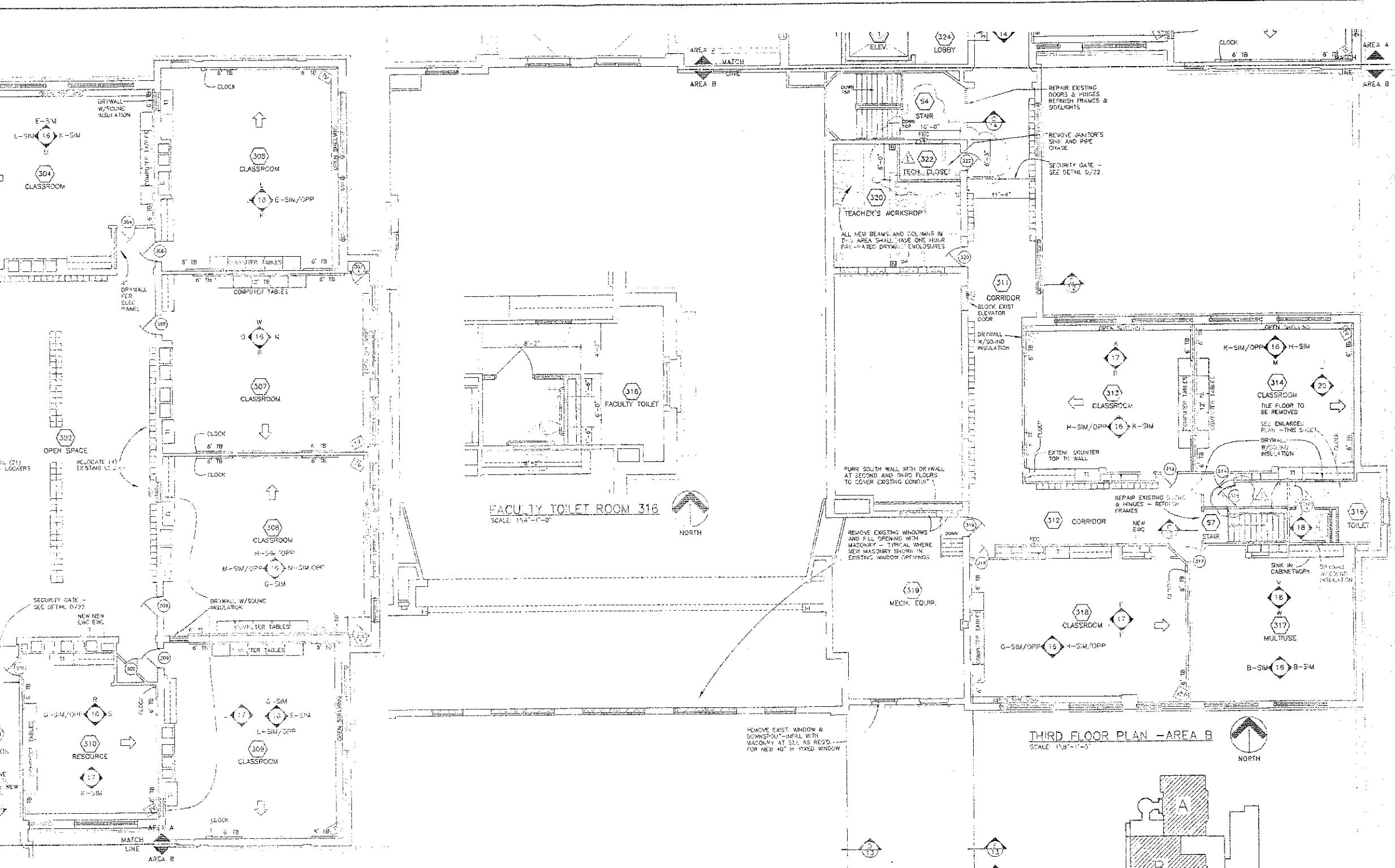
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E	2/19/01 JFR	ISSUED FOR REBIDDING TO THE RUBLIN COMPANY
G	2/20/01 JFR	ISSUED FOR BIDDING TO THE RUBLIN COMPANY
FLENDERS	PLOT DATE:	ISSUED FOR BIDDING PERMIT
F29P TD	2/19/01	SEIZED TO RUBLIN FOR PRISON
325K	PLOT SCALE:	REVENUE
AS NOTED	DATE	APPROV.

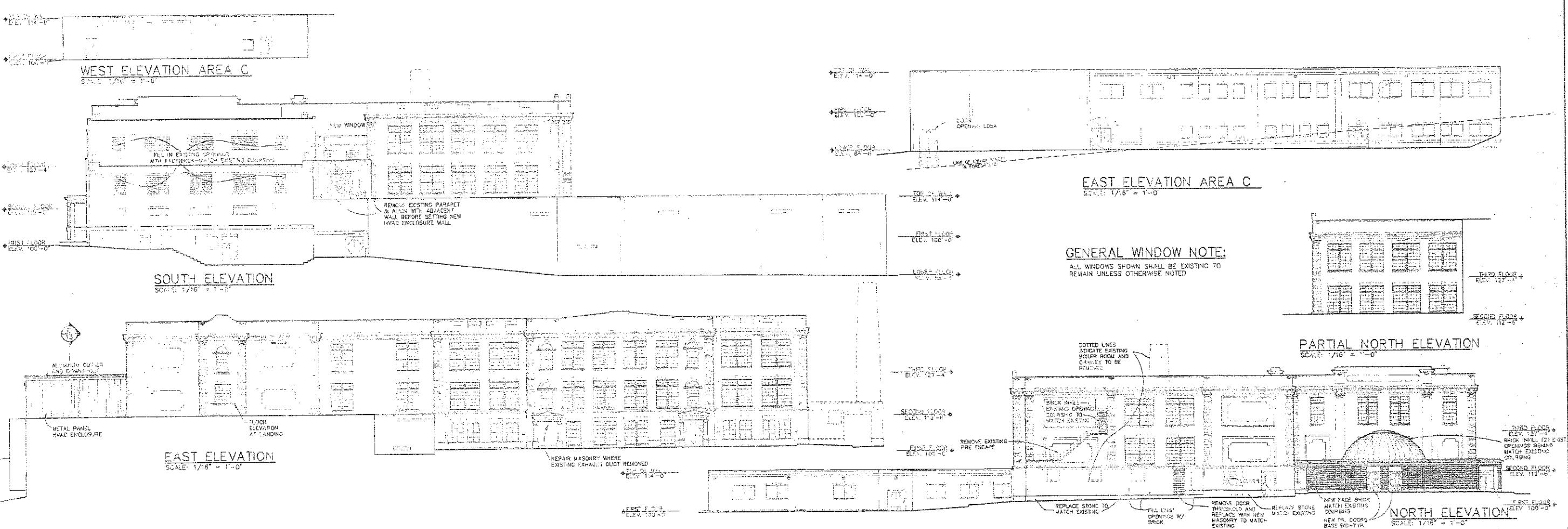
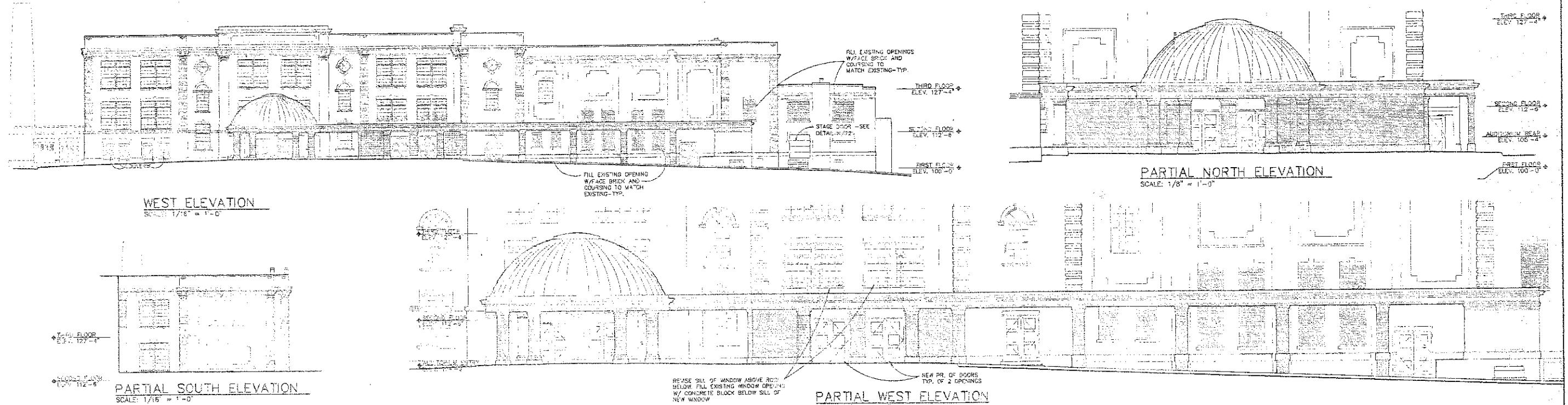
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CNC BY	DATE	REISSUED FOR BUILDING PERMIT
E	2/19/01 JFR	ISSUED FOR REBIDDING TO THE RUBLIN COMPANY
G	2/20/01 JFR	ISSUED FOR BIDDING TO THE RUBLIN COMPANY
FLENDERS	PLOT DATE:	ISSUED FOR BIDDING PERMIT
F29P TD	2/19/01	SEIZED TO RUBLIN FOR PRISON
325K	PLOT SCALE:	REVENUE
AS NOTED	DATE	APPROV.

WADSWORTH CITY SCHOOLS  
O.J. WORK AUDITORIUM-5/6 BUILDING  
BUILDING AREAS A & B  
SECOND FLOOR PLAN

ATTACHED X-REFERENCES	X-PLANZ
6007-D 2/19/01 JFR	RECORDED







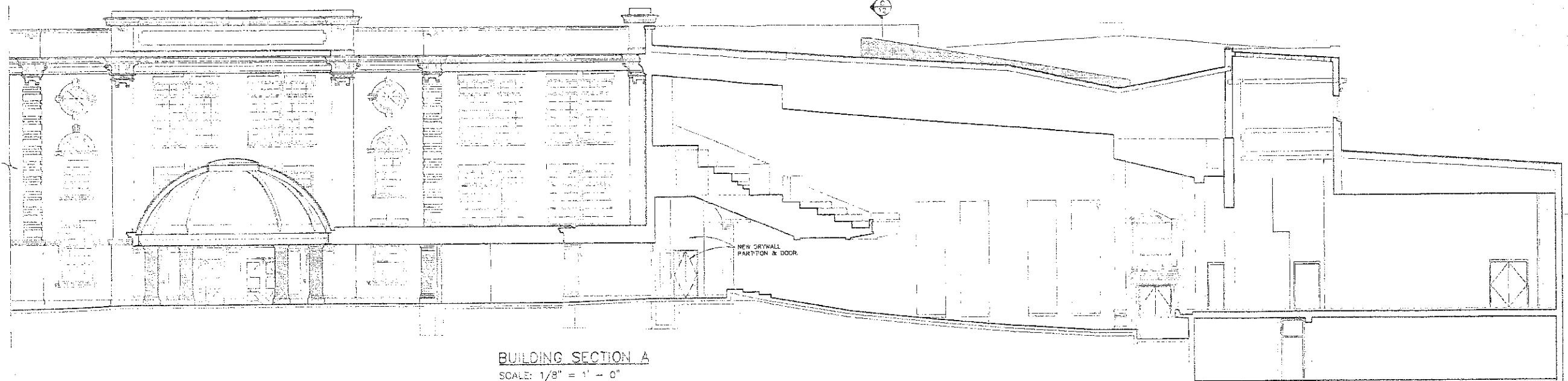
LOUIS PERRY & ASSOCIATES, INC.  
185 SMOKESEYE DRIVE  
WADSWORTH, OH 44281  
PHONE (330) 834-1685  
FAX (330) 834-1658  
ENGINEERS • ARCHITECTS • PLANNERS

DESIGN BY:	DATE:	ISSUED FOR CONSTRUCTION BULLETIN #1
JFP	2/19/01	REISSUED FOR BUILDING PERMIT
CHK BY:	DATE:	ISSUED FOR RESIDING TO THE RULIN COMPANY
JFP	2/19/01	ISSUED FOR RESIDING TO THE RULIN COMPANY
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C-102-V1	JFP	ISSUED FOR BUILDING PERMIT
11ELEV	2/19/01	ISSUED TO RULIN FOR PRICING
SCALE:	PLAT SCALE:	REVISION
AS-NOTES	1:1	
NO. DATE	BY	

**WADSWORTH CITY SCHOOLS  
O.J.WORK AUDITORIUM-5/6 BUILDING  
BUILDING ELEVATIONS**

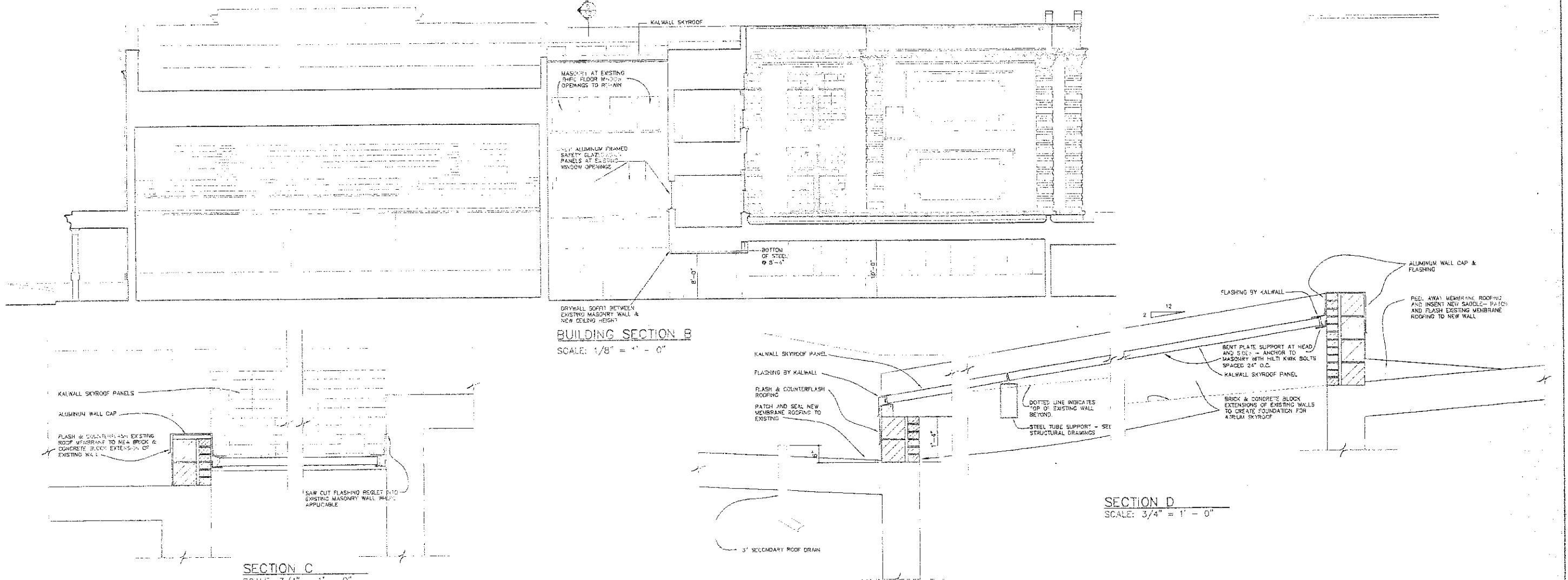
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XSELEY XSELEY XSELEY XSELEY XSELEY XSELEY XSELEY XSELEY XSELEY XSELEY XSELEY XSELEY XSELEY XSELEY XSELEY XSELEY





BUILDING SECTION A

SCALE: 1/8" = 1' - 0"

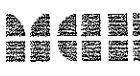


BUILDING SECTION B

SCALE: 1/8" = 1' - 0"

SECTION C  
SCALE: 3/4" = 1' - 0"

LOUIS PERRY & ASSOCIATES, INC.  
186 SMACKERIE DRIVE  
WADSWORTH, OH 44281  
PHONE (330) 354-1565  
FAX (330) 354-1658



MCDONALD, CASSELL & BASSETT, INC.  
600 WEST SPRING STREET  
COLUMBUS, OH 43215  
PHONE (614) 828-6630  
FAX (614) 828-0833

ENGINEERS • ARCHITECTS • PLANNERS

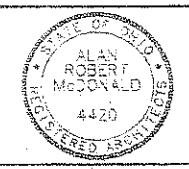
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C&B BY	DATE
JFR	2/19/01
FILENAME	PLOT DATE
123L0502	2/19/01
SCALE	PLOT SCALE
AS NOTES	1:1
NO. DATE	APR
REVISION	

ISSUED FOR CONSTRUCTION - BULLETIN #1	
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D	2/19/01 JFR
C	2/19/01 JFR
B	2/19/01 JFR
A	2/19/01 JFR

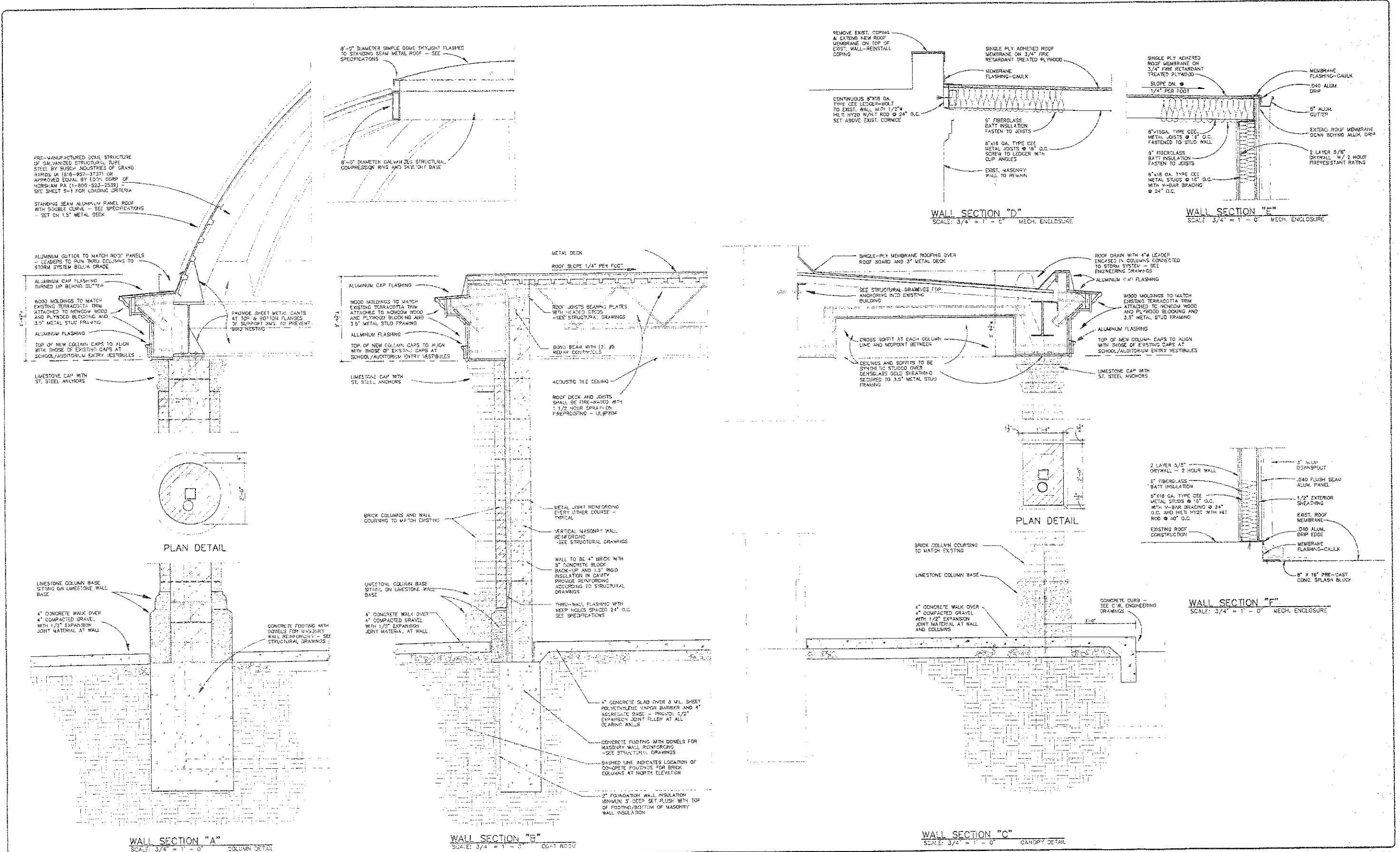
WADSWORTH CITY SCHOOLS  
O.J.WORK AUDITORIUM-5/6 BUILDING

BUILDING SECTIONS AND DETAILS

ATTACHED X-REFERENCES	
XREFS	XSKY-W-SEC1 S250 D 12/19/00 JFR 12BL0502



12



LOUIS PERRY & ASSOCIATES, INC.  
166 SMOKERISE DRIVE  
WADSWORTH, OH 44281  
PHONE (330) 334-1585  
FAX (330) 334-1658  
ENGINEERS • ARCHITECTS • PLANNERS



McDONALD, CASSELL & BASSETT, INC.  
600 WEST SPRING STREET  
COLUMBUS, OH 43215  
PHONE (614) 828-0630  
FAX (614) 828-0633

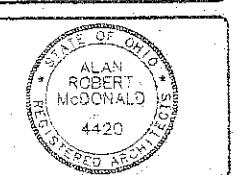
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CHKD BY:	DATE:	
JFR	2/19/01	ISSUED FOR REBIDING PERMIT
FILENAME:	PILOT DATE:	ISSUED FOR BIDDING TO THE RULIN COMPANY
13WALL&C	2/19/01	
B	6/13/01 JFR	ISSUED FOR BUILDING PERMIT
SCALE:	PILOT SCALE:	ISSUED TO RULIN FOR PRICING
AS NOTED	4:1	
NO.	DATE	BY APPROV.
		REVISION

**WADSWORTH CITY SCHOOLS  
O.J. WORK AUDITORIUM-5/6 BUILDING**

WALL SECTIONS AND DETAILS

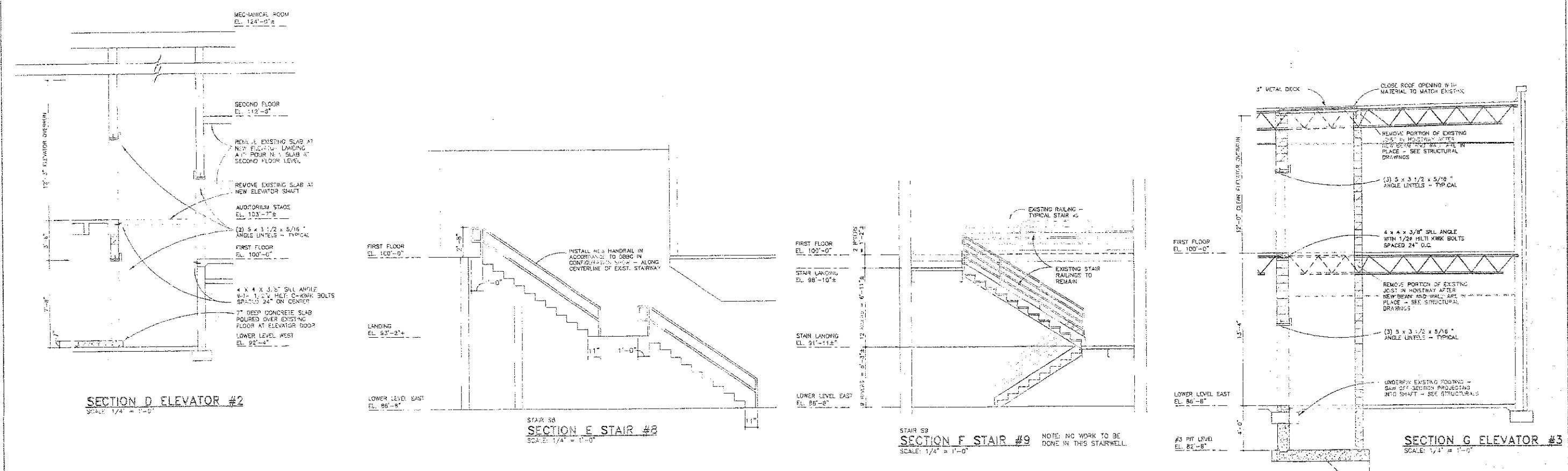
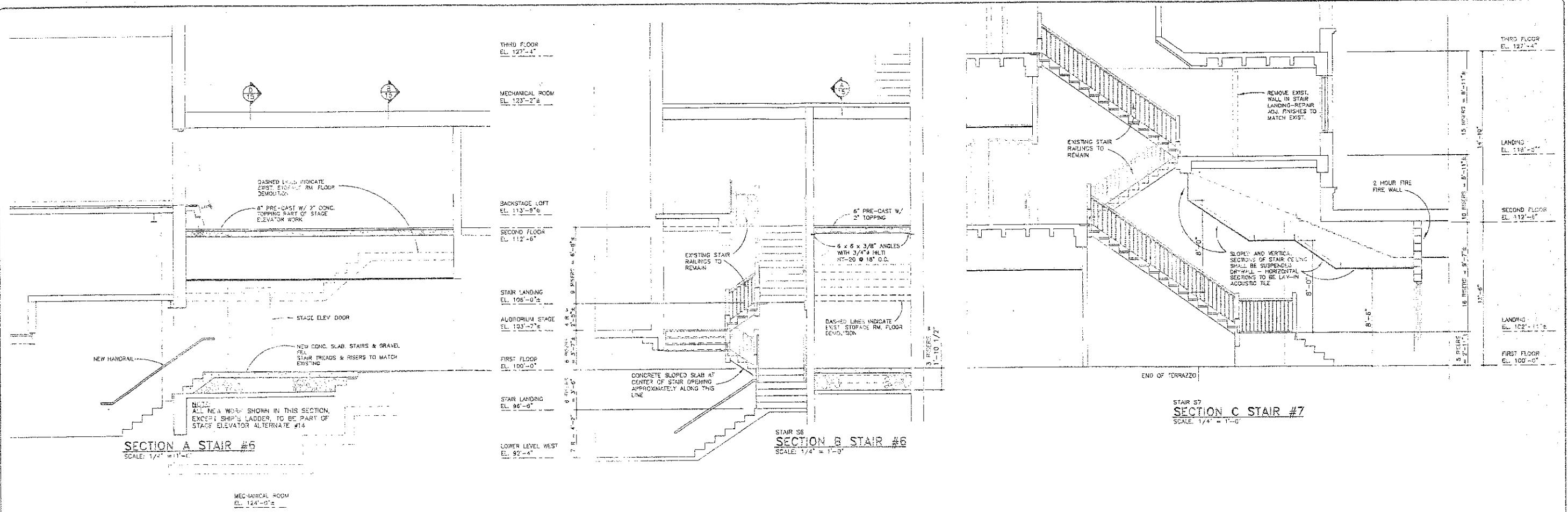
ATTACHED X-REFERENCES	
XWALL&C	

SB57 D 12/19/00 JFR 13WALL&C



13

Dwg. No.



LOUIS PERRY & ASSOCIATES, INC.   
155 SMOKEHOUSE DRIVE  
WADSWORTH, OH 44281  
PHONE (330) 334-1585  
FAX (330) 334-1638  
ENGINEERS • ARCHITECTS • PLANNERS

MCDONALD, CASSELL & BASSETT, INC.  
600 WEST SPRING STREET  
COLUMBUS, OH 43215  
PHONE (614) 823-0639  
FAX (614) 828-0639

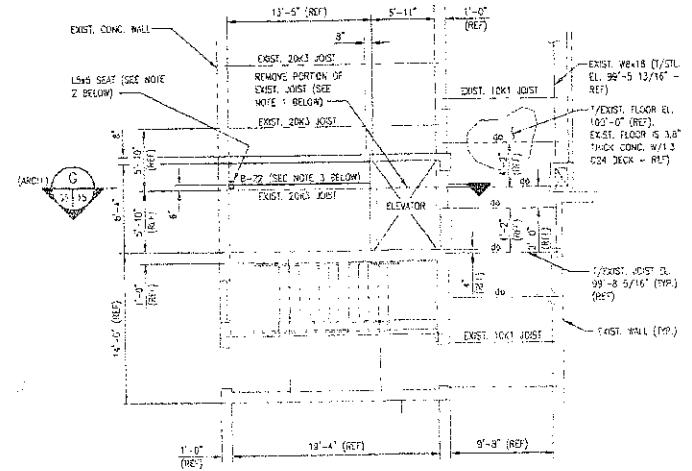
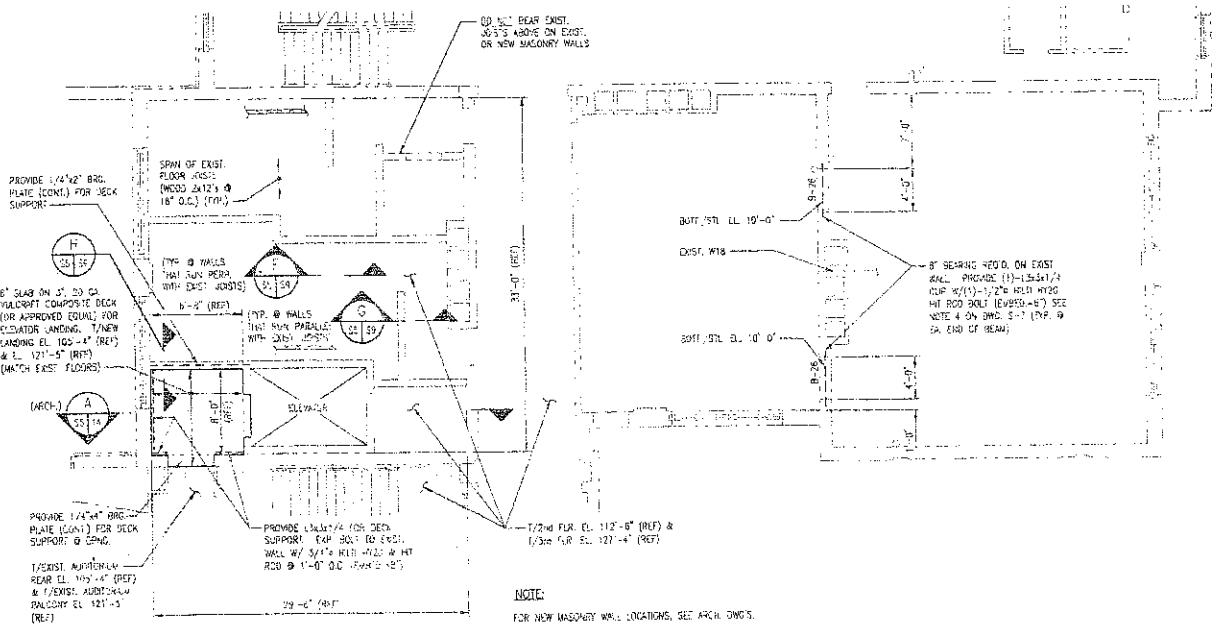
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JKW	2/19/01	ISSUED FOR PERMITS TO THE RUEHL COMPANY	
JFR	2/19/01	ISSUED FOR BIDDING TO THE RUEHL COMPANY	
PLANNING	PLAT DATE		
C	4/01/01	ISSUED FOR BIDDING TO THE RUEHL COMPANY	
B	4/17/01	ISSUED FOR BUILDING PERMIT	
15STAR	2/15/01	ISSUED TO RUEHL FOR PRINTING	
SCALE	PLAT SCALE		
AS NOTED	1:1		
NO.	DATE	BY	REVISION

WADSWORTH CITY SCHOOLS  
O.J. WORK AUDITORIUM - 5/6 BUILDING  
STAIR AND ELEVATOR SECTIONS

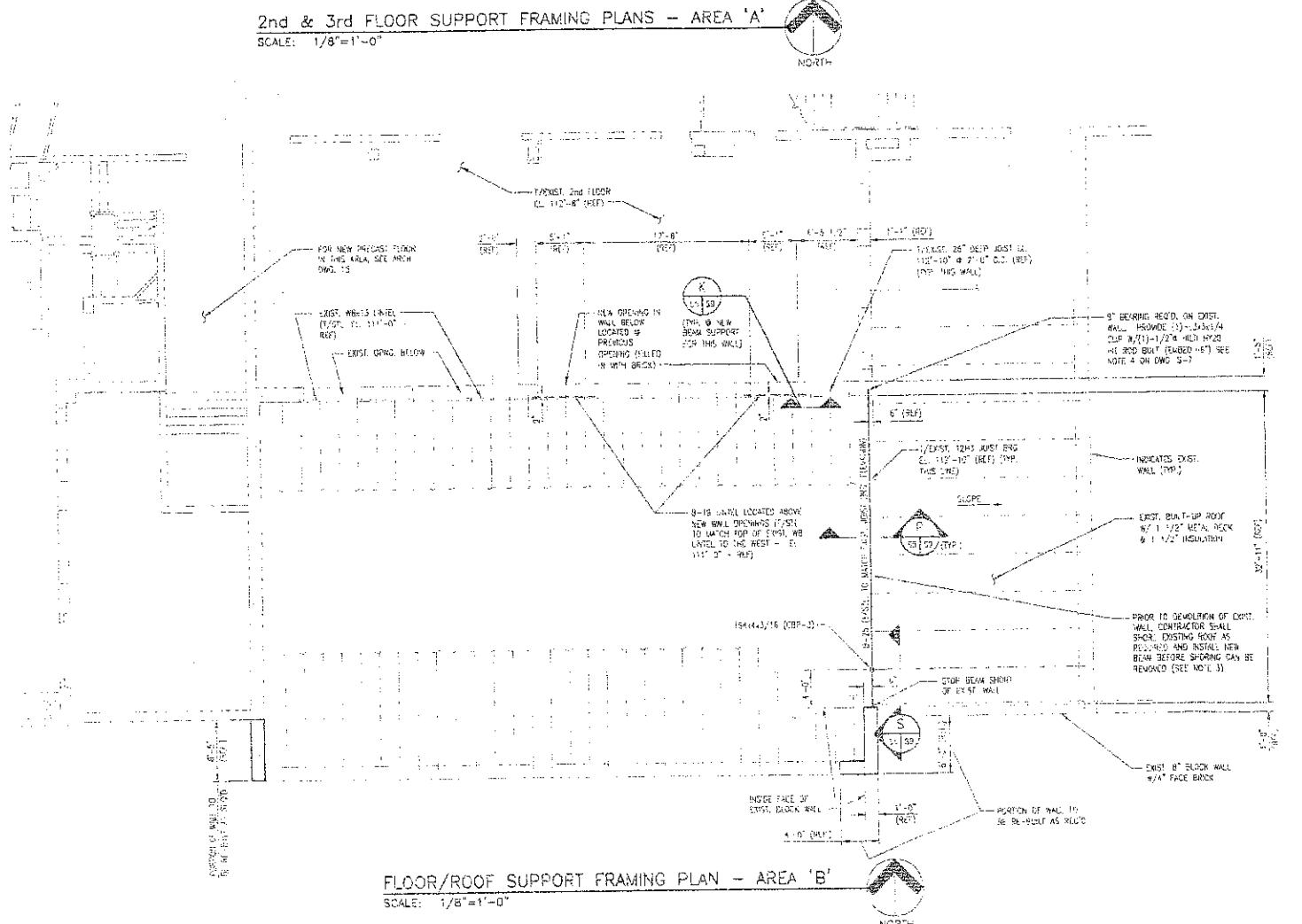
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55533 C 1975/01 JFR	15STAR
15	
ALAN ROBERT MCDONALD 4420	SUPERVISOR OF CONSTRUCTION

## NOTES:

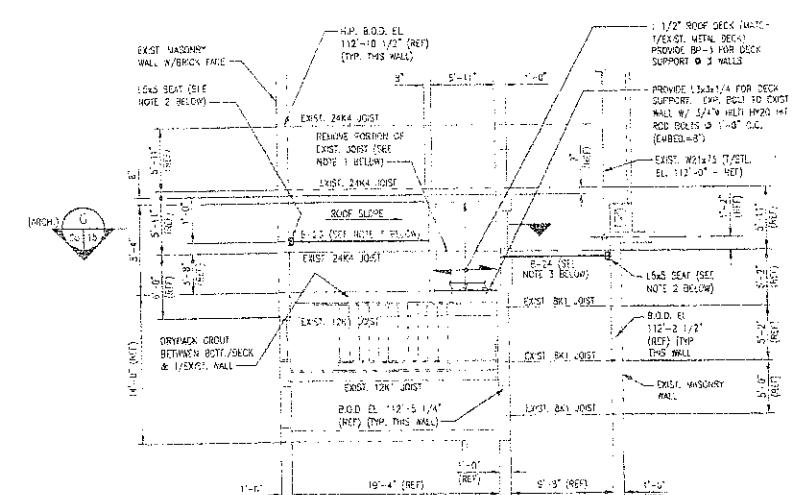
- FOR DESIGN CRITERIA AND GENERAL NOTES, SEE DWG S-1.
- FOR BEAM (B-1), COLUMN BASE PLATE (CBP-1) & BEARING PLATE (BP-1) SCHEDULES, SEE DWG S-8.
- SHORING CONTRACTOR SHALL FELD VERIFY EXISTING CONDITIONS AND SUBMIT FOR APPROVAL THE FOLLOWING: A PROCEDURE FOR SHORING EXISTING CONDITION AND PLACEMENT OF NEW BEAMS SUBMITTED SHALL BE APPROVED BY ENGINEER RESPONSIBLE. THE STATE OF OHIO AND LOCAL INSPECTION BEAMS UNIL. WRITTEN APPROVAL IS OBTAINED. SHORING LOADS GIVEN (P<sub>ex</sub>) ARE AN APPROXIMATION OF THE DEAD LOAD ON THE EXIST. WALLS. ROOF/FLOORS ARE TO BE KEPT CLEAR OF ANY SNOW/LIVE LOADS DURING ALL SHORING PROCEDURES.



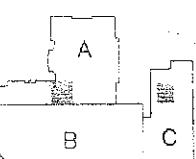
**NOTE:**  
THIS DRAWING WAS COMPATIBLE WITH THE TWO PIPE HVAC SYSTEM DESIGNED BY LOUIS PERRY & ASSOCIATES, INC. AND DOES NOT INCLUDE, AND NEITHER LOUIS PERRY & ASSOCIATES, INC. OR ITS ENGINEERS ARE RESPONSIBLE FOR, ANY DESIGN CHANGES REQUIRED BY THE COLUMBUS HEATING & VENTILATING CO. DESIGN/BUILD HVAC SYSTEM.



**1st FLOOR SUPPORT  
FRAMING PLAN - AREA 'C'**  
SCALE: 1/8"=1'-0"



**ROOF SUPPORT  
FRAMING PLAN - AREA 'C'**  
SCALE: 1/8"=1'-0"



**KEY PLAN**  
SCALE: NONE

LOUIS PERRY & ASSOCIATES, INC.  
165 SUMMERHILL DRIVE  
WADSWORTH, OH 44281  
PHONE (330) 334-1585  
FAX (330) 334-1658



McDONALD, CASSELL & BASSETT, INC.  
600 WEST SPRING STREET  
COLUMBUS, OH 43215  
PHONE (614) 828-0630  
FAX (614) 828-0632

ENGINEERS

ARCHITECTS

PLANNERS

DESIGN BY:	DATE:
EJM	01/10/00
CHKG BPA	DATE
JWO	6/12/00
PLNAME:	PLCY DATE:
EXHIBIT/REFID:	6/5/01
SCALE:	PLCY SCALE:
AS NOTED	1/8"=1'-0"

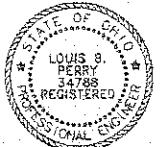
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1	1/17/01	TRP	JHM
2	2/22/00	TRP	JHM
3	10/11/00	TRP	JHM
4	5/23/00	TRP	JHM
A	1/29/00	TRP	JHM

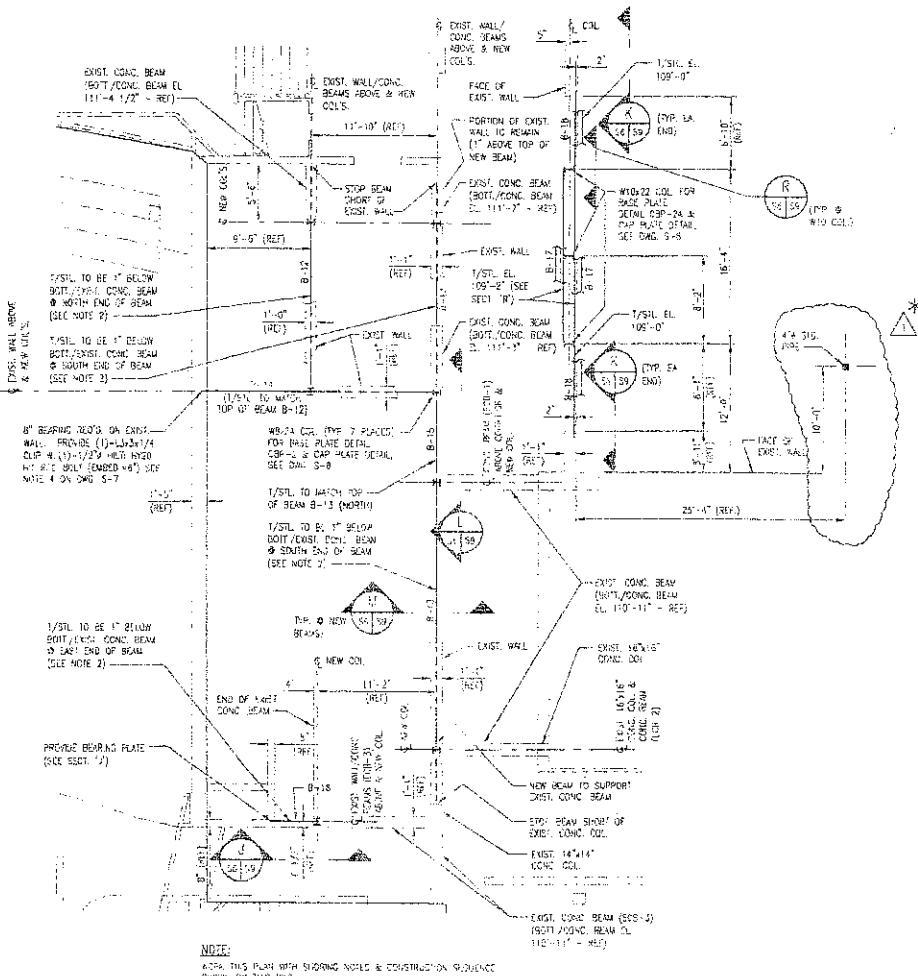
**WADSWORTH CITY SCHOOLS  
O.J. WORK AUDITORIUM-5/6 BUILDING  
MISCELLANEOUS ROOF/FLOOR FRAMING PLANS - SHT. 1**

1/8" = 1'-0"

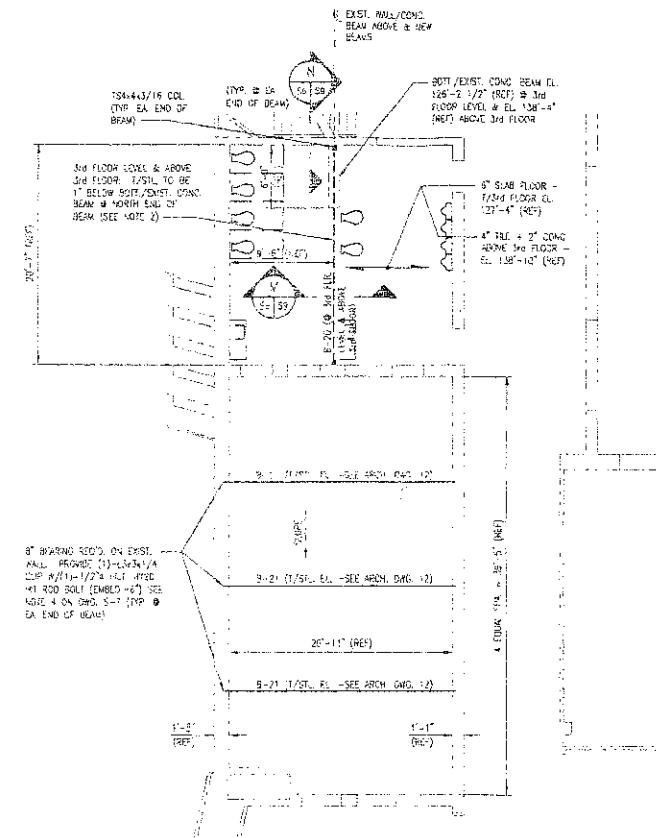
37805005X01 37805005X02  
3780505 050501 KCP 378050555501

S-5 1  
Dwg. No. REV.





ATRIUM & CAFETERIA 2nd FLOOR SUPPORT FRAMING PLAN - AREA 'B'  
SCALE: 1/8"=1'-0"



ATRIUM 3rd FLOOR, ABOVE 3rd FLOOR &  
ROOF SUPPORT FRAMING PLANS - AREA 'B'  
SCALE: 1/8"=1'-0"

#### CONSTRUCTION SEQUENCE AT CAFETERIA:

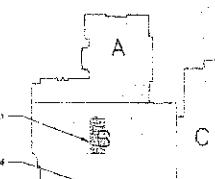
- PITCH IN ANY DEMOLITION, ALL EAST WALLS MUST BE SHORING FULLY SHORED. THE CONTRACTOR SHALL PROVIDE A SHORING PLAN DETAILED BY A PROFESSIONAL ENGINEER PRIOR TO BEGINNING WORK.
- THE FOLLOWING TABLE IS AN APPENDIX OF THE EXISTING DEMO LOADS. THERE IS TO BE NO LIVE LOAD ON THE WALLS OR CEILINGS ABOVE SHORED (INCLUDING SNOW OR ROOF, FURNITURE IN ROOF, ETC.).

BEAM	DEMO LOAD (LB/FT. 4)
B-12	1,200
B-11 (NORTH)	7,600
B-14	5,700
B-15	5,700
B-13 (SOUTH)	5,400
B-16	5,000
B-10 (3rd FLR)	1,200
B-20 (ABOVE 3rd FLR)	900
NOTICE: IF DEMO'D, CAR BEING USED CONSTRUCTION SEC. LOADS OF 100 LB/FT DOWN TO 1st FLOOR LOADS DO NOT INCLUDE WEIGHT OF NEW CONCRETE AT 2nd AND 3rd FLOORS.	
EAST CONC. BEAM END SECTION (E.S.)	DEAD LOAD - 1,000
F.C.1	1,000
E.G.2	17,950
E.G.3	30,000

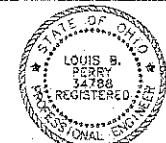
SEARCHED	INDEXED	FILED	DATE
E.J.M.	01/26/00		
CHG'D BY			ISSUED FOR CONSTRUCTION BULLETIN #
J.W.O.	0/12/00		ISSUED FOR PUBLISHING PERMITS
PHONE	614-828-0630		ISSUED TO BUREAU OF ZONING
FAX	614-828-0633		10/13/00, TYP. BY J.W.O. TO W.H.U.
378050055602 6/5/01			
SCALE	1/8"=1'-0"		ISSUED FOR PERMITS
AS NOTED			PRIV. ISSUE TO BUREAU OF ZONING
NO. DATE BY APPR. REVISION			

WADSWORTH CITY SCHOOLS  
O.J. WORK AUDITORIUM-5/6 BUILDING  
MISCELLANEOUS ROOF/FLOOR FRAMING PLANS - SHT. 2

ATTACHED APPENDICES	
378050055X01	378050055X02
378050055X03	378050055X04
S-6 1	
Part No.	Rev.

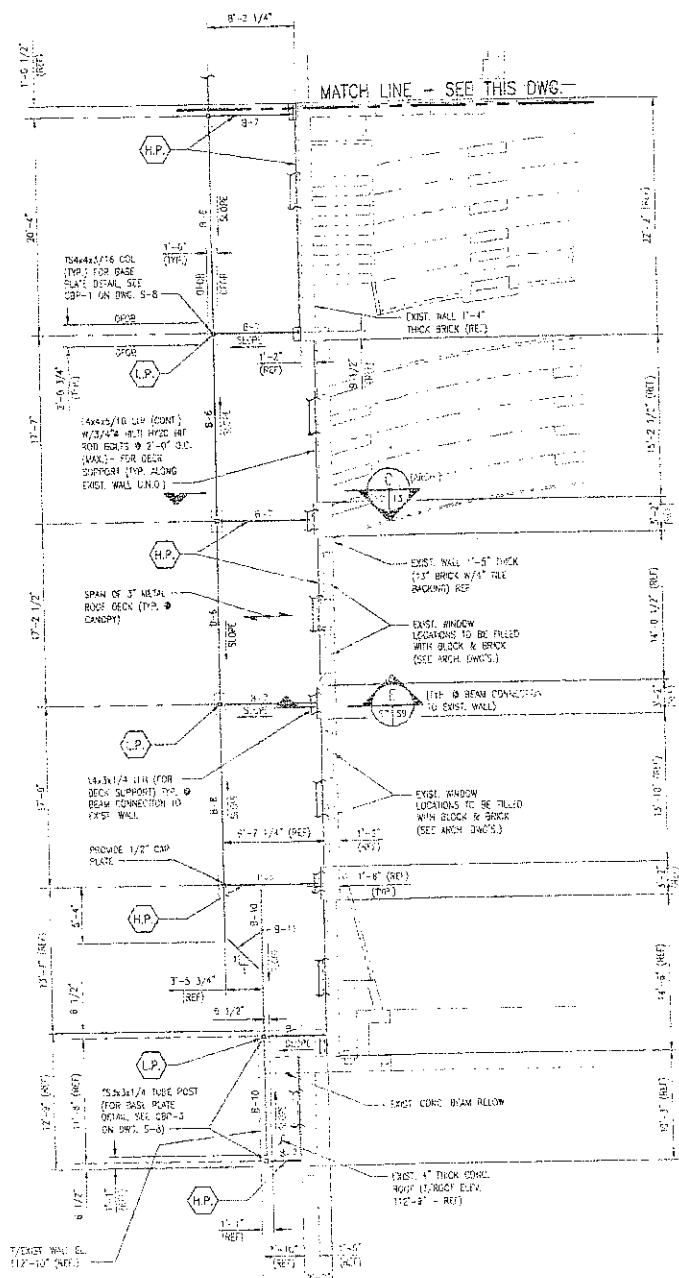
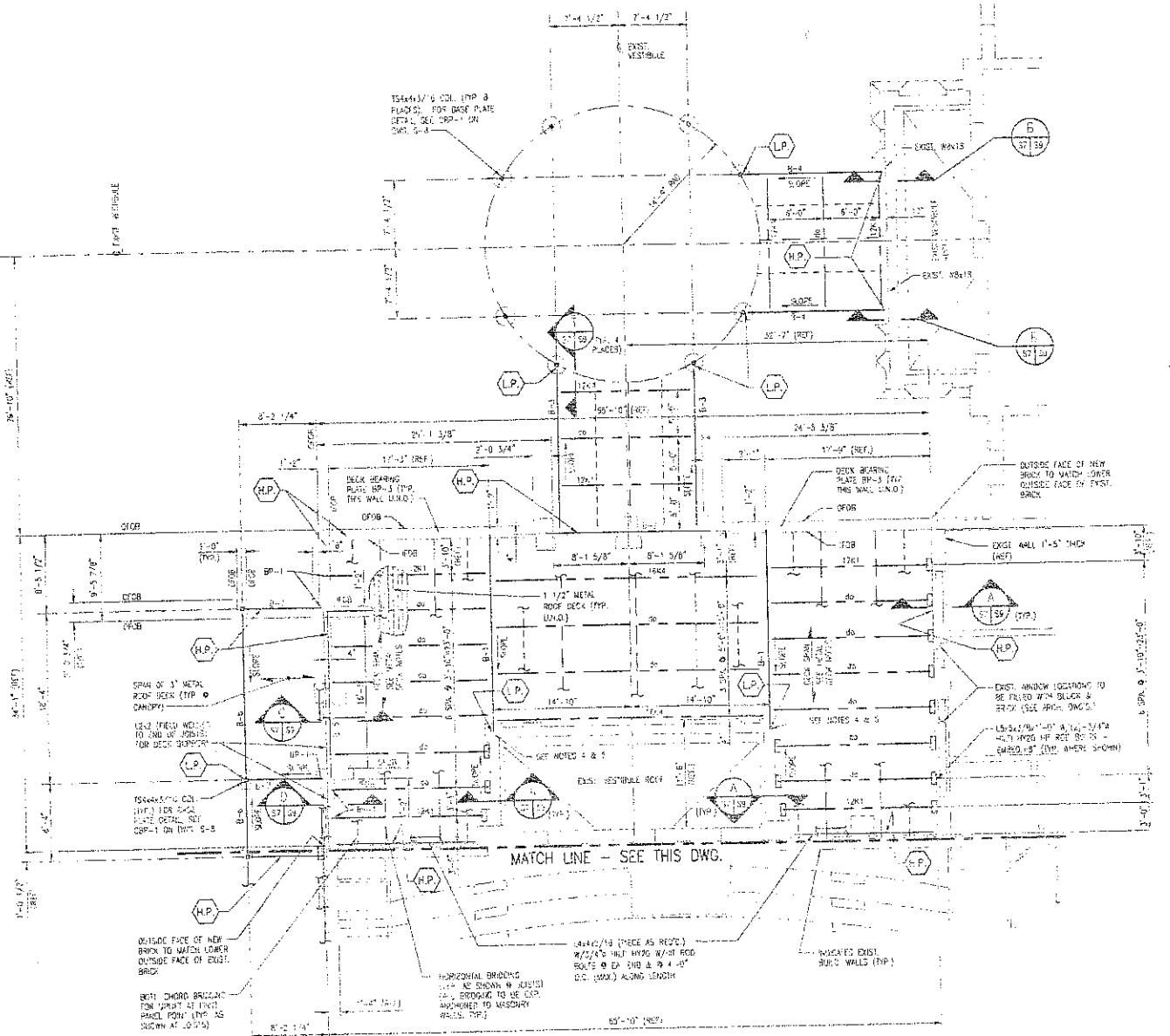


KEY PLAN  
SCALE: NONE



## NOTES:

1. FOR DESIGN CRITERIA, GENERAL NOTES AND STEEL NOTES, SEE DWG. S-1.
2. FOR BEAM (B-1), COLUMN BASE PLATE (CBP-1), BEARING PLATE (BP-1) & JOIST (J-1) SCHEDULES, SEE DWG. S-6.
3. ROOF ELEVATION NOTES:  
-1/JOIST & 1/BEAM (J-1) = BOTTOM OF DECK (B.O.D.) ELEVATION (SEE ROOF SLOPE LEGEND ON THIS DWG.)  
-1/BEAM (B-1) & JOIST BEARING (-1 1/2") REFERENCED FROM B.O.D. U.N.D.
4. FIELD VERIFY EXISTING BEARING CONDITIONS. BEAM TO BEAR ON SOLID MASONRY/BRICK. CONTACT STRUCTURAL ENGINEER IF ALTERNATE BEARING IS REQUIRED.
5. B" BEARING REQUIRED ON EXISTING WALL. PROVIDE (1)-L3451/4 CLIP W/(1)-1 1/2" HILT HYDRO-H-ROD BOLT (EMBED = 6")



**WADSWORTH CITY SCHOOLS  
O.J. WORK AUDITORIUM-5/6 BUILDING**  
ROOF FRAMING PLANS - AREAS 'A' & 'B'

LOUIS PERRY & ASSOCIATES, INC.   
165 SMOKERIDGE DRIVE  
WADSWORTH, OH 44281  
PHONE (330) 334-1585  
FAX (330) 334-1656  
ENGINEERS • ARCHITECTS • PLANNERS

McDONALD, CASSELL & BASSETT, INC.  
600 WEST SPRING STREET  
COLUMBUS, OH 43215  
PHONE (614) 628-0630  
FAX (614) 628-0630

DET'D. BY	DATE
DKC	01/05/00
GHL-BY	DATE
JWD	6/12/00
FILENAME	PLOT DATE
3780500SSHOT	6/8/01
SCALE	PLOT SCALE
AS NOTED	1/8"=1'-0"
REVISION	

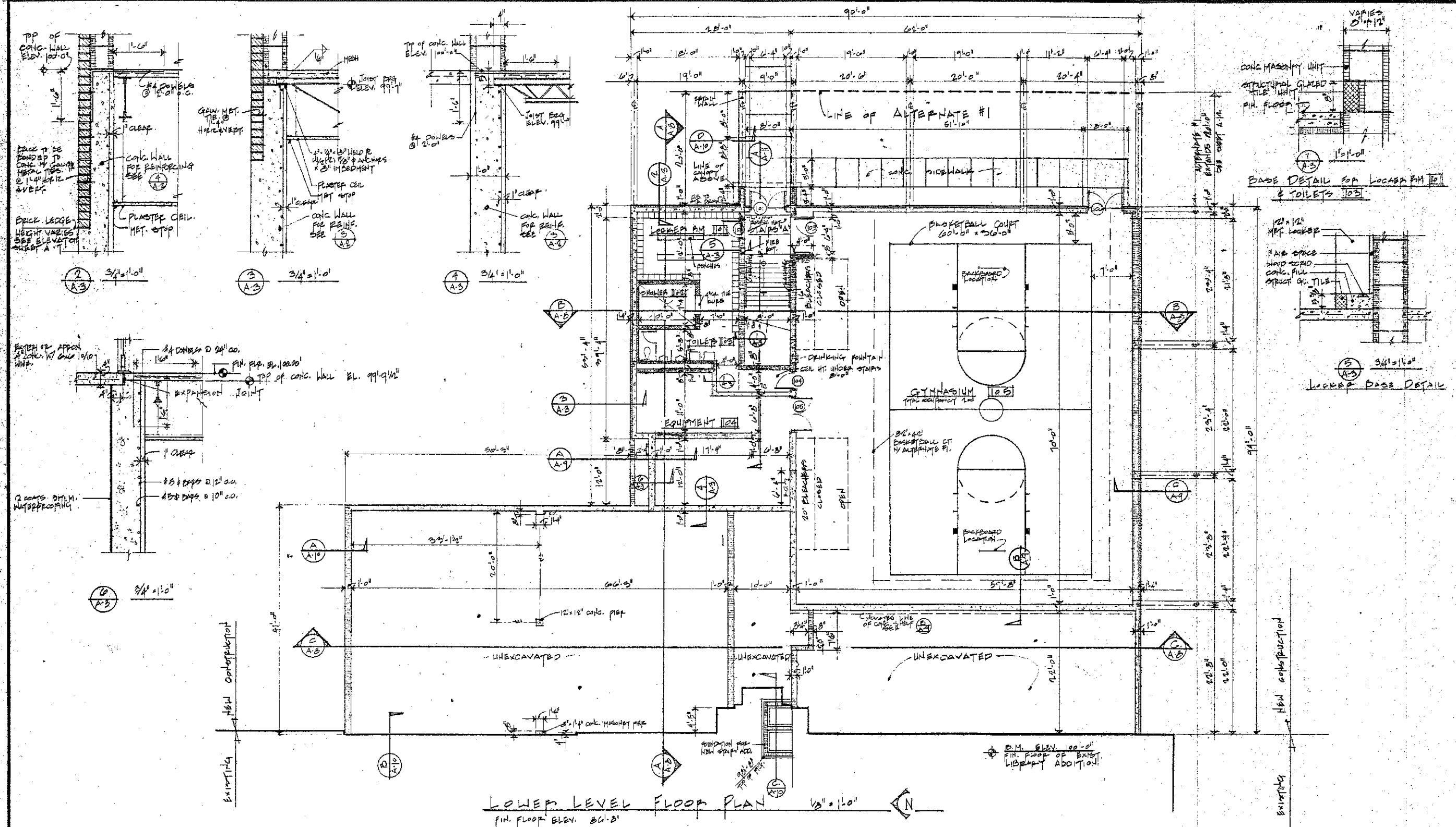
**NOTE:**  
THIS DRAWING WAS COMPATIBLE WITH THE TWO PIPE HVAC SYSTEM DESIGNED BY LOUIS PERRY & ASSOCIATES, INC. AND DOES NOT INCLUDE, AND NEITHER LOUIS PERRY & ASSOCIATES, INC. OR ITS ENGINEERS ARE RESPONSIBLE FOR, ANY DESIGN CHANGES REQUIRED BY THE COLUMBUS HEATING & VENTILATING CO. DESIGN/BUILD HVAC SYSTEM.



KEY PLAN  
SCALE: NONE

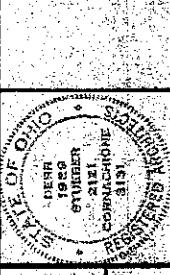


ATTACHED X-REFERENCES  
J780500SX02  
J780500SX01 KSP J780500SX01  
DWG. NO. S-7 REV. 1



ADDITION TO  
WADSWORTH ZENITH  
LINDSEY, OHIO

DEERR, STUEBER & CORNAGHIONE ARCHITECTS



10/30/100

ZENITH  
LINDSEY, OHIO

OHIO ROCK, KENT, OHIO

**DERR, STUEBER & CONSTRUCTION ARCHITECTS**

ADDITION TO  
LADDWORTH CENTRAL SCHOOL

LADDWORTH, OHIO

1966

ARCHITECTURE

STRUCTURE

CIVIL ENGINEERING

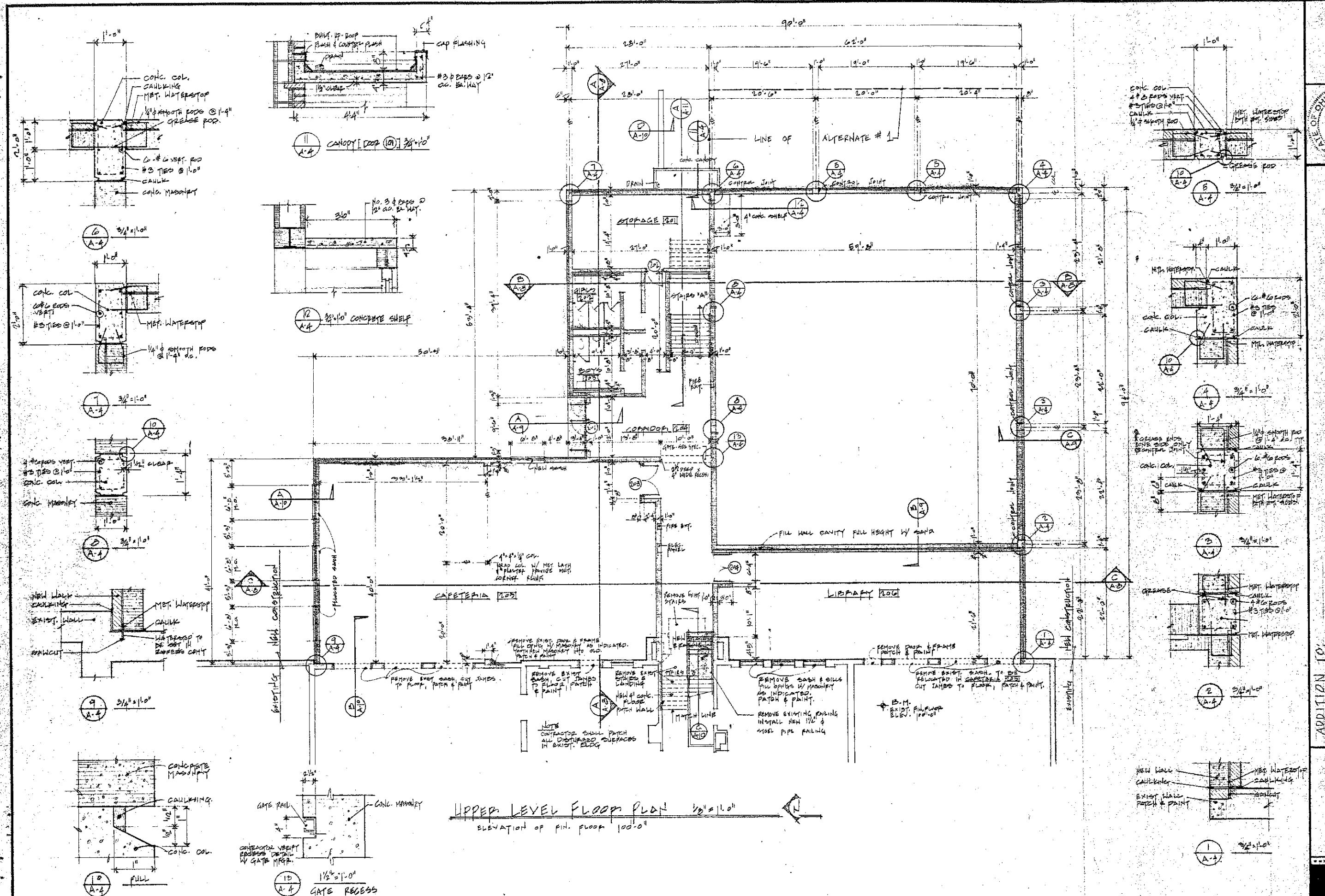
LANDSCAPE ARCHITECTURE

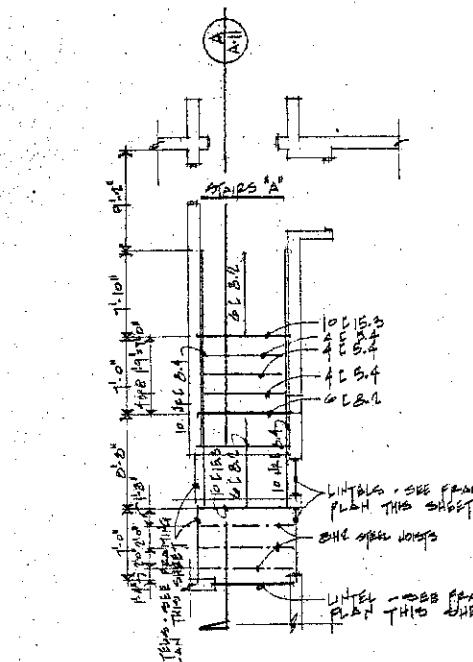
INTERIOR DESIGN

GENERAL CONTRACTOR

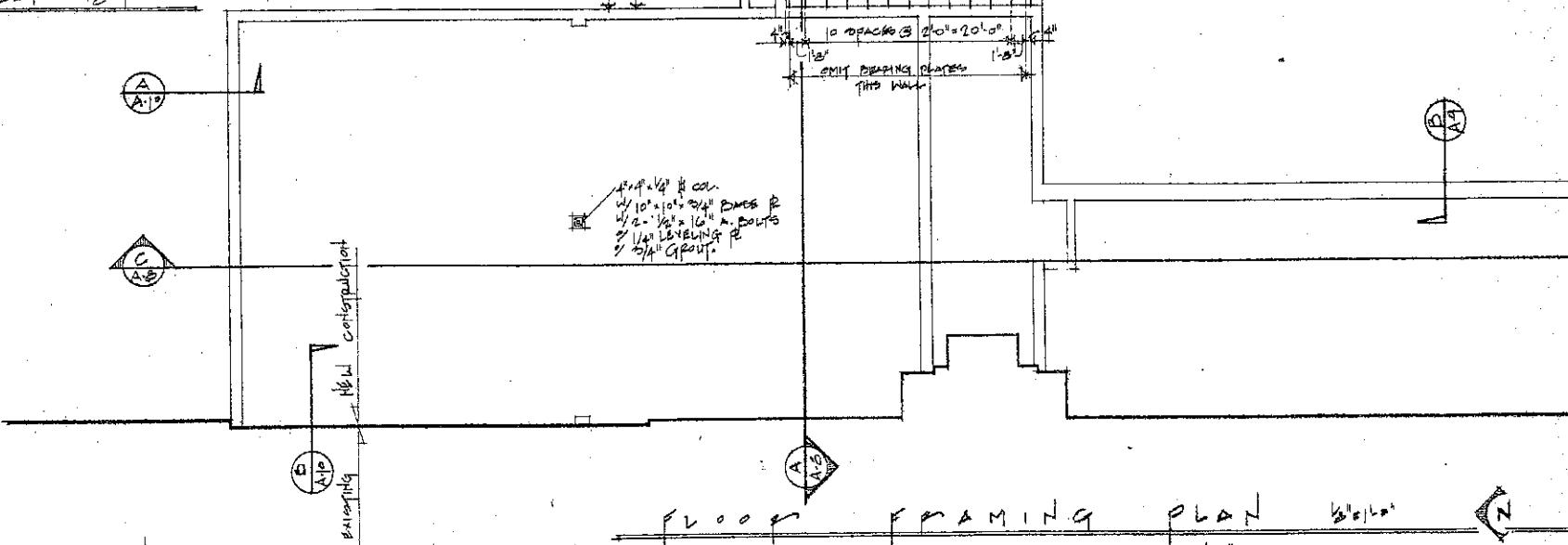
CONTRACTOR'S COPY

PRINTED IN U.S.A.





STAIR FRAMING PLAN 10'-0"



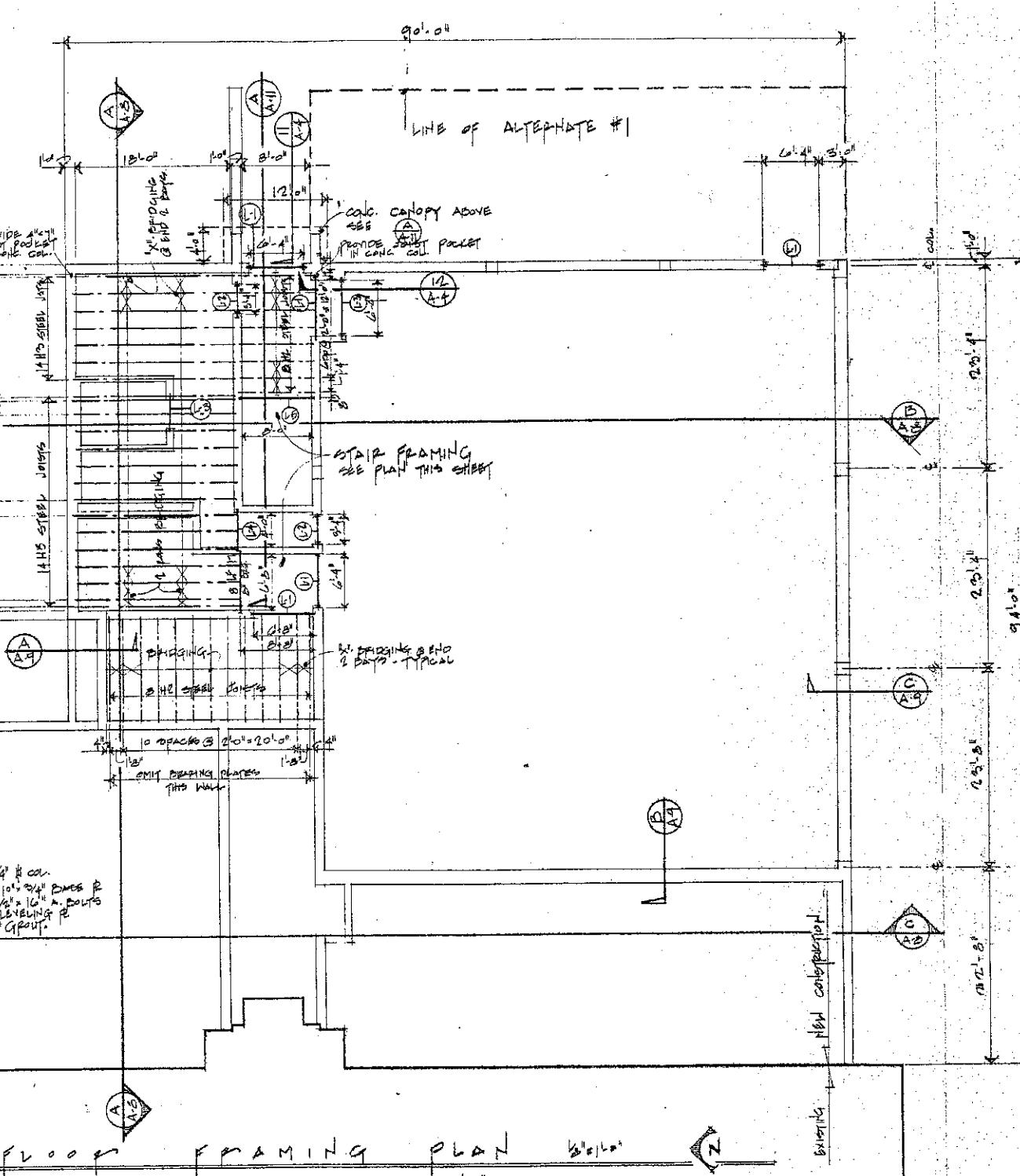
F R A M I N G P L A N 10'-0"

B E A R I N G E L E V A T I O N O F S T E E L J O I S T S 9'-7"

STRUCTURAL NOTES

1. ALL STRUCTURAL STEEL ASTM A-36.
2. (C=1/2") SHOWN ON FRAMING PLANS INDICATES THE AMOUNT OF SHOP CAMBER TO BE PROVIDED @ MIDSPAN OF THE BEAM MEMBER.
3. ALL OPEN WEB BAR JOISTS TO BE IN ACCORDANCE W/ S.I.S. SPEC'S, LATEST REVISION.
4. JOIST BRIDGING SHALL BE IN ACCORD W/ S.I.S. SPEC'S, EXCEPT THAT DIAGONAL BRIDGING SHALL BE PROVIDED IN THE TWO JOIST SPACES ADJACENT TO ALL SIDE WALLS.
5. MASONRY UNITS: HOLLOW CONCRETE LOAD-BEARING ASTM C-90  
SOLID CONCRETE LOAD-BEARING ASTM C-145  
CONCRETE BLOCK ASTM C-55
6. MASONRY MOSSER - ASTM C-270, TYPE M OR S.
7. ALL CONCRETE SHALL HAVE ULTIMATE COMpressive STRENGTH  $f_c = 3000$  psi @ 28 DAYS.
8. REBARS: A.S.T.M. 615 GRADE 60.
9. WELDED WIRE MESH: A.S.T.M. A193 & A32.
10. REINFORCED CONCRETE DETAILING AND FABRICATION TO BE IN ACCORD W/ A.C.I. 318-63 & A.C.I. 315.

11. LAP REINFORCING BAR SPLICES 36 BAR DIAMETERS (16" MIN), UNLESS OTHERWISE NOTED.
12. WELDED WIRE SLAB REINFORCEMENT TO BE PLACED @ 1/3 SLAB THICKNESS FROM TOP, UNLESS OTHERWISE NOTED.
13. ALL STEEL JOISTS BEARING ON MASONRY TO BE WELDED TO AXIAL LOADS W/ 100% A.D. SEE ~~TABLE~~ EXCEPT AS NOTED, AND SHALL HAVE MIN. 3 COSES/SOLID BLOCK BEHIND ANCHOR P.
14. ALL LINTELS SHALL HAVE 3 COSES/SOLID BLOCK @ 1/2" ALONG WALL BELOW BEARING, UNLESS OTHERWISE NOTED.
15. WELDED WIRE REIN. IN 2 1/2" SLAB TO BE PLACED @ MID-DEPTH.

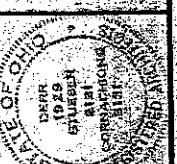


9'-0".0"

L I N E O F A L T E R N A T E # 1

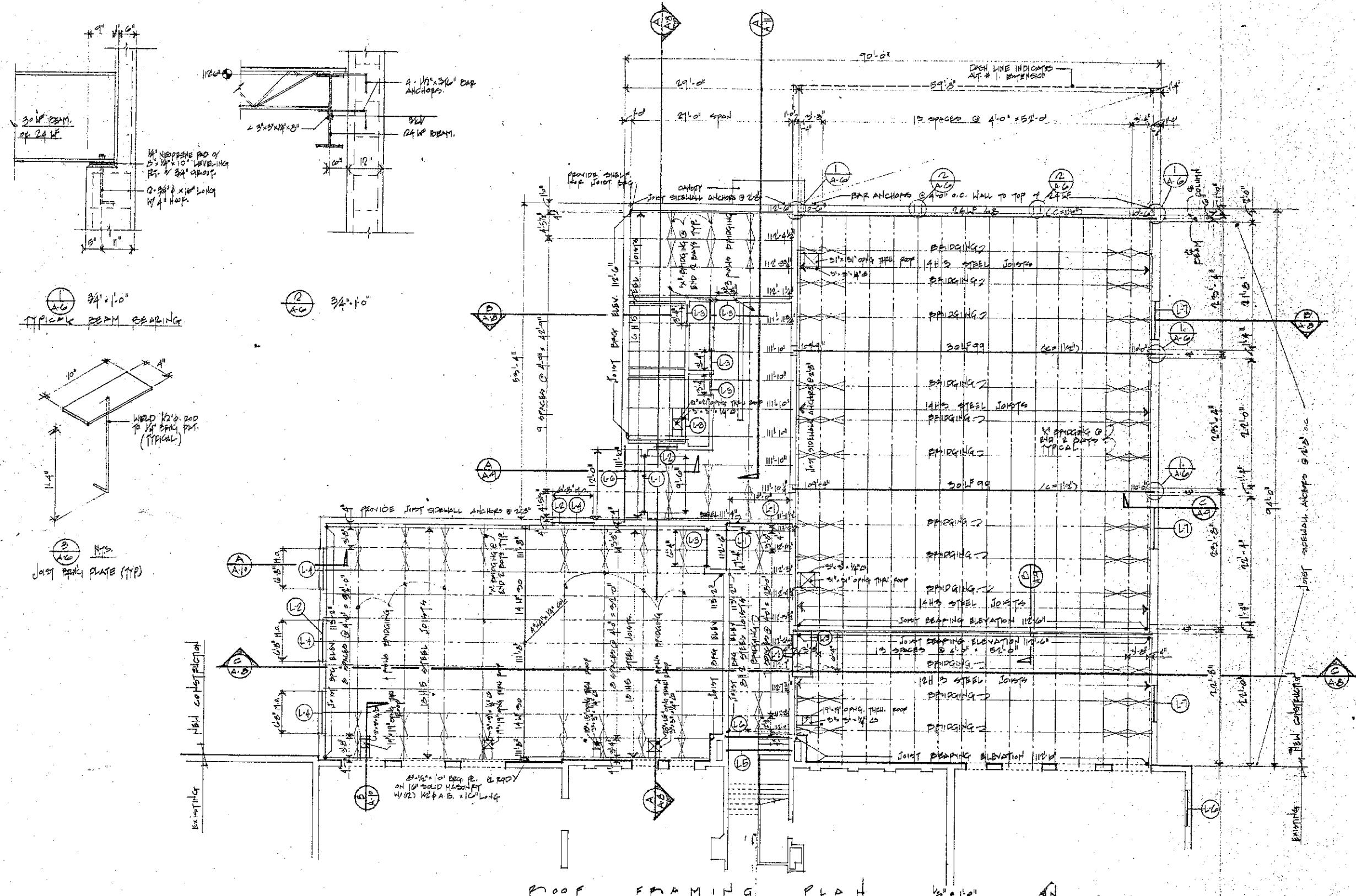
ADDITION TO:  
WADSWORTH CENTRAL SCHOOL  
WADSWORTH, OHIO

DEAR STUEBER & CORNAGLIONE ARCHITECTS  
CHILOI, OHIO



2030 CONSTRUCTION  
WADSWORTH, OHIO

MAP #	SIZE	EDG. PROFILE	REMARKS	
			W.L.	C.H.
L-1	BB10 1/2" x 1/2" P	S	I	
L-2	36x36x3/4" S.V.	A	III	
L-3	42x20x3/4" S.V.	A	II	
L-4	50x40x3/4" S.V.	A	II	
L-5	36x10 1/2" x 1/2" P	S	I	
L-6	50x20 1/2" x 1/2" P	S	I	
L-7	48x36x3/4" S.V.	S	III	



ADDITION 10,  
MADZWASHWORTH,  
CENTRAL SCHOOL,  
OHIO

DEPT. OF  
EDUCATION  
CIVIL ENGINEERING  
DIVISION  
CONTRACTORS  
SCHOOL BUILDINGS  
CITY OF CINCINNATI  
OHIO

**DETROIT STEUBER & CORNAGLIONE ARCHITECTS**  
216 COPE ROAD, CINCINNATI, OHIO



ARCHITECTS  
GETZ & CO., Kent, Ohio

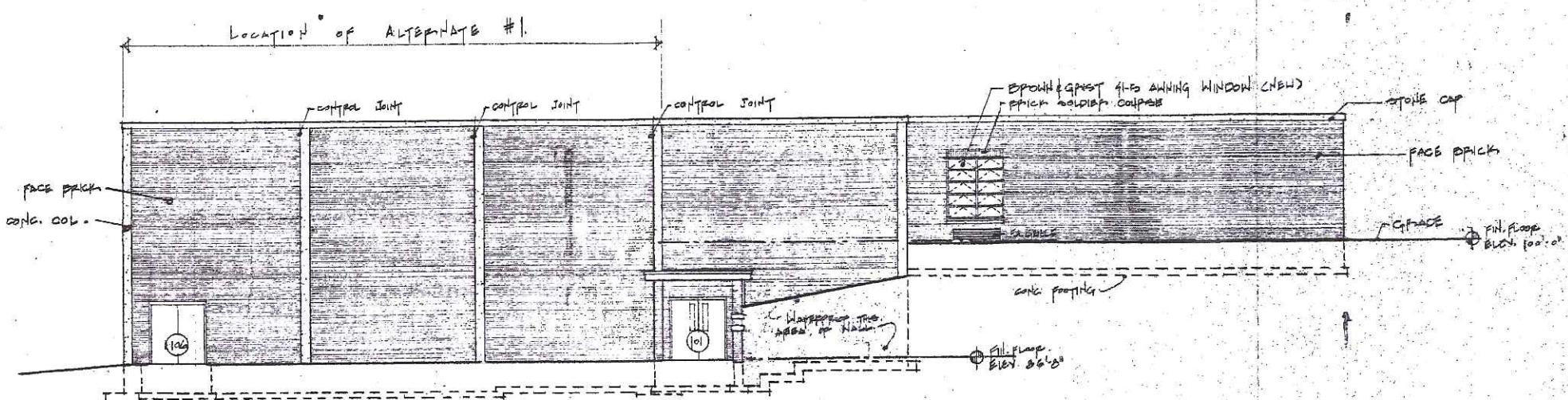
ADDITION TO  
WADSWORTH CENTRAL SCHOOL  
WADSWORTH, OHIO

APRIL 1960

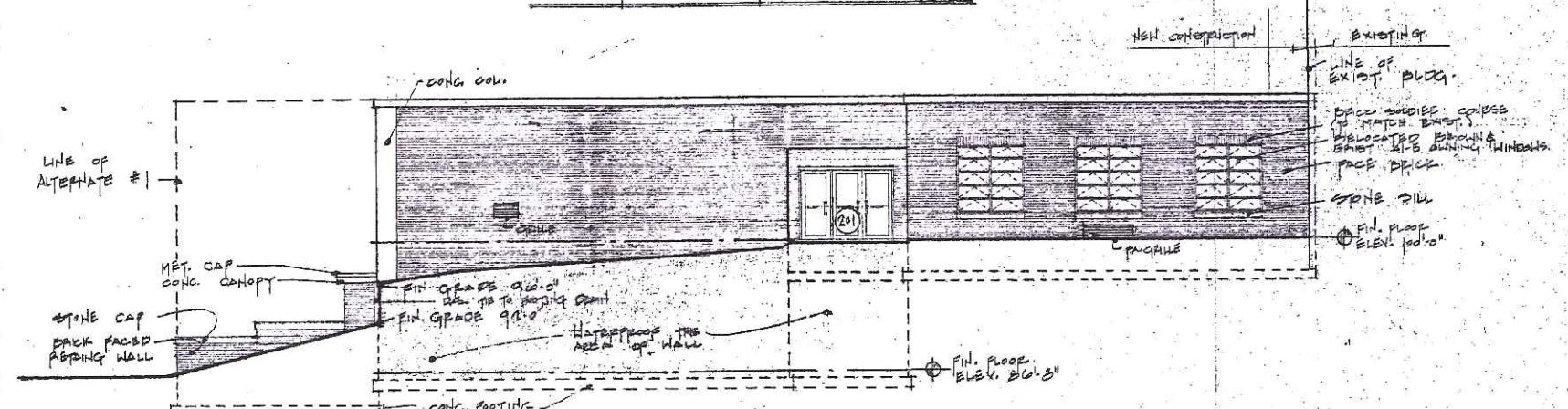
DEER STUEBER & CORNAGHIONE  
ARCHITECTS  
KENT, OHIO

A  
10-320

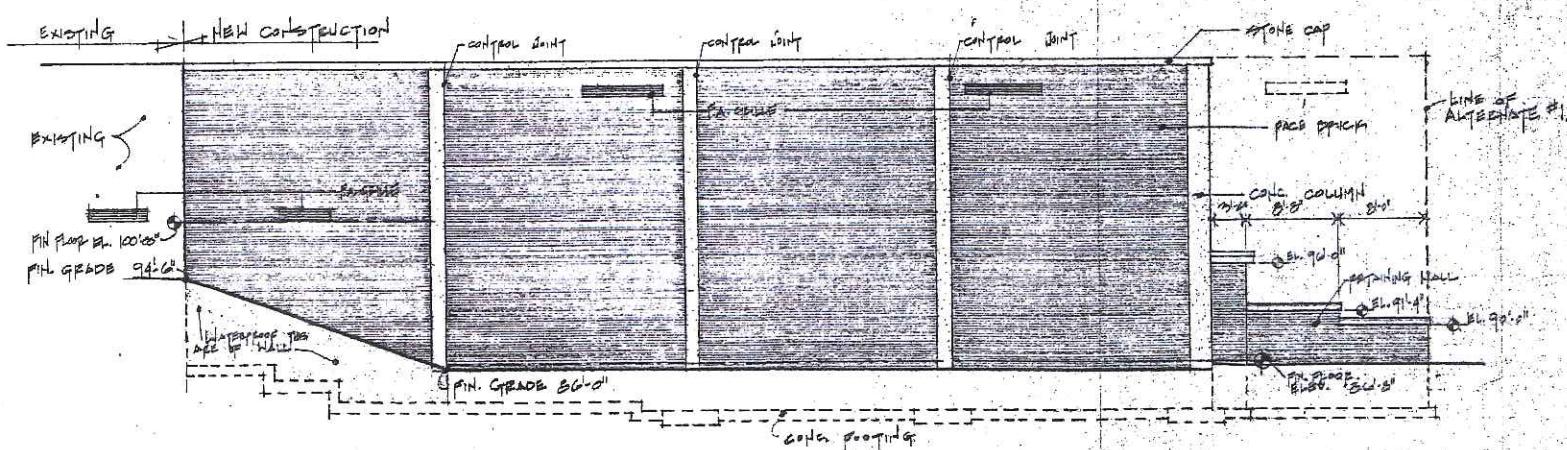
LOCATION OF ALTERNATE #1.



EAST ELEVATION  $V_3 = 11'-0"$



NORTH ELEVATION  $V_3 = 11'-0"$



SOUTH ELEVATION  $V_3 = 11'-0"$

DETROIT STULLER & CORNACHIONE ARCHITECTS

DETROIT STULLER & CORNACHIONE ARCHITECTS

STATE OF OHIO  
DEPARTMENT OF  
CONSTRUCTION  
2121  
COLUMBUS  
OHIO

DETROIT STULLER & CORNACHIONE ARCHITECTS

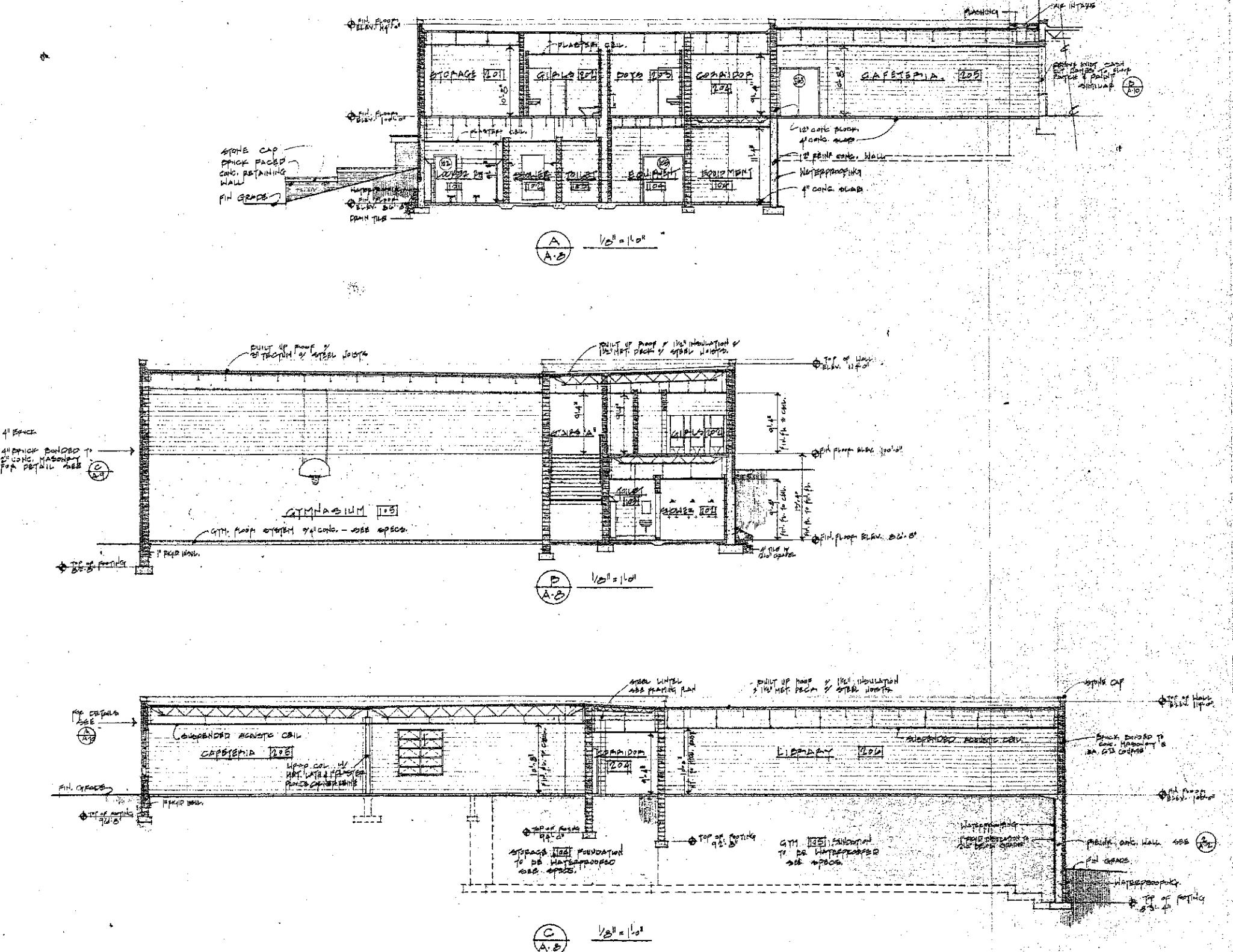
ADDITION TO  
MADDOCKY CENTRAL - #24221

2000 COTTONWOOD

DETROIT

MI

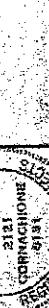
NEW CONSTRUCTION EXISTING



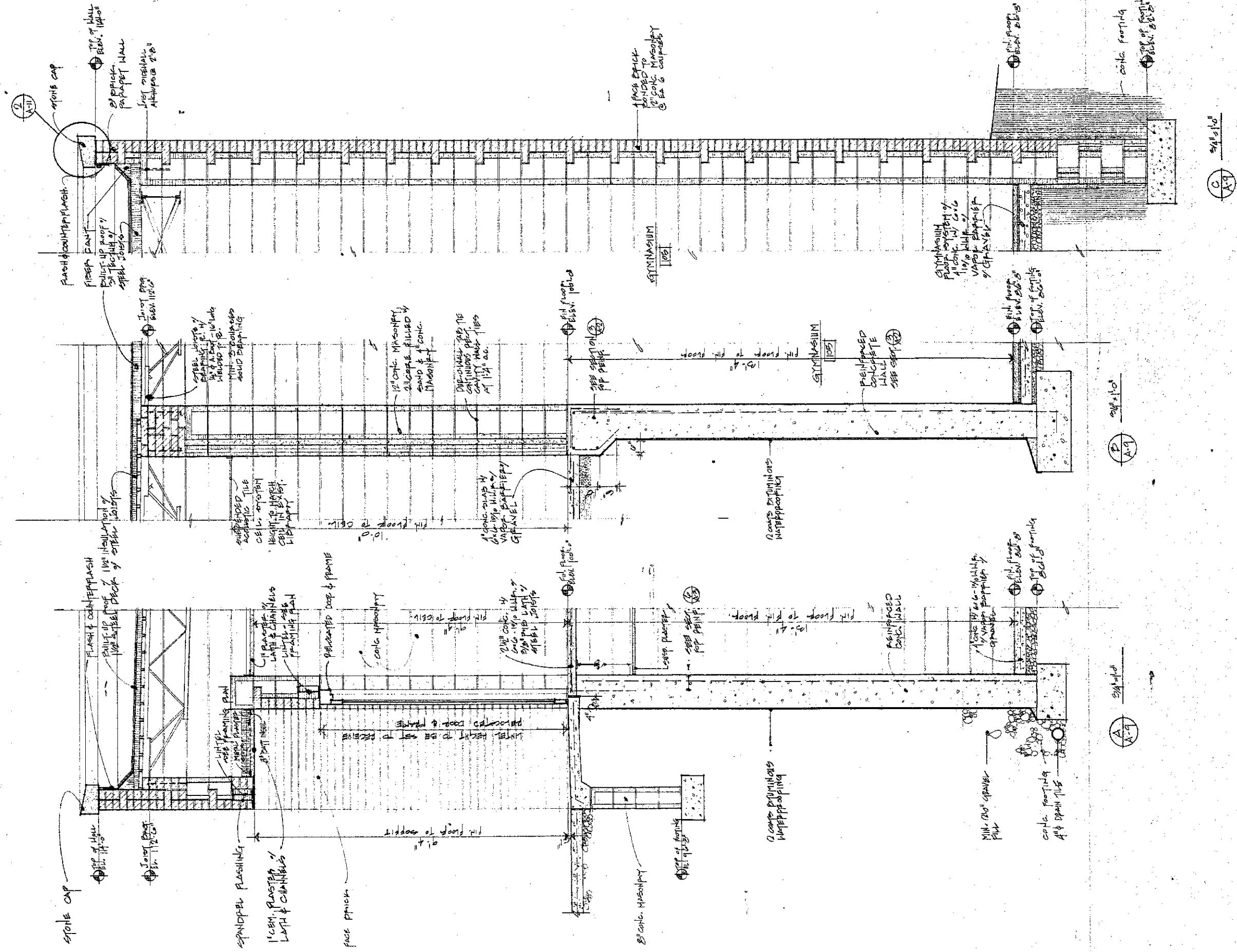
# DERR, STUEBEL & CORNAGLIONE ARCHITECTS

CINCINNATI, OHIO

ADDITION TO MADISON CENTRAL SCHOOL



A-9



**DEER STUEBER & GORNAGHIONE ARCHITECTS**

GETZ BLOCK  
KENT, OHIO

ADDITION TO  
Madelene Central School  
MADALENE, OHIO

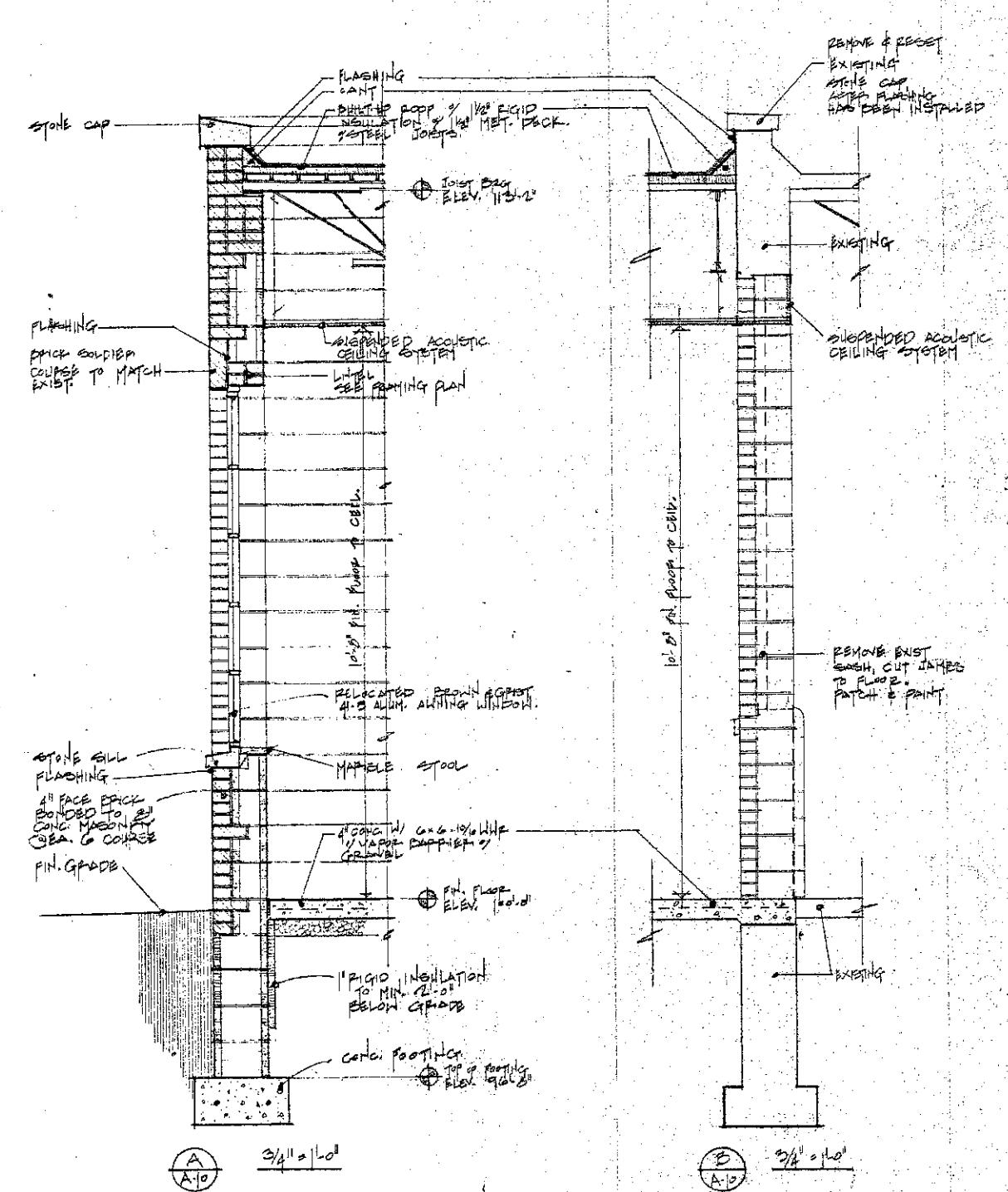
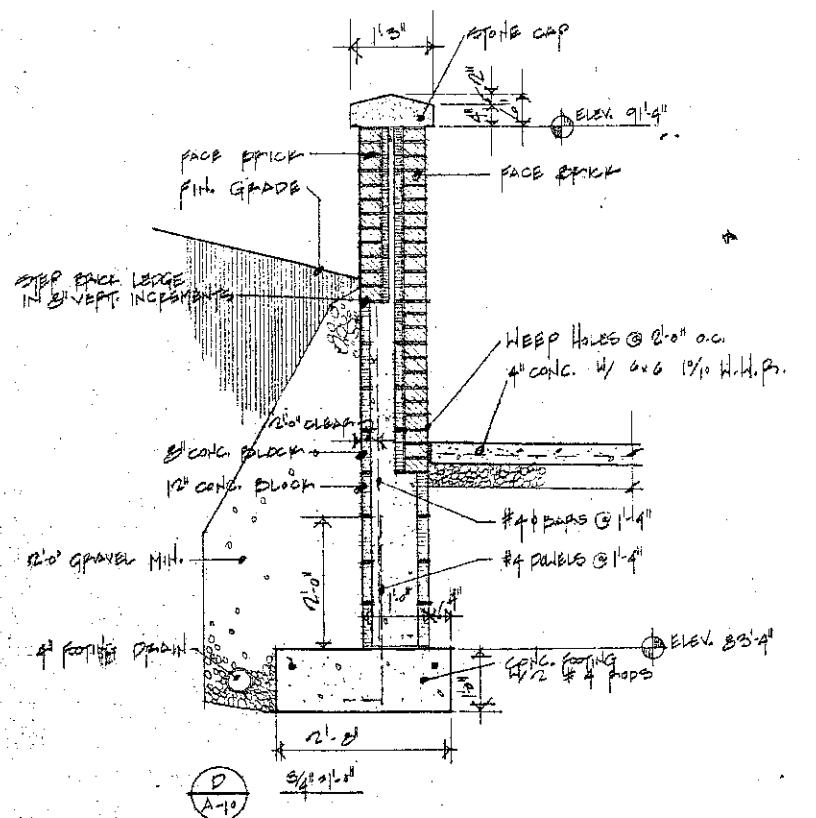
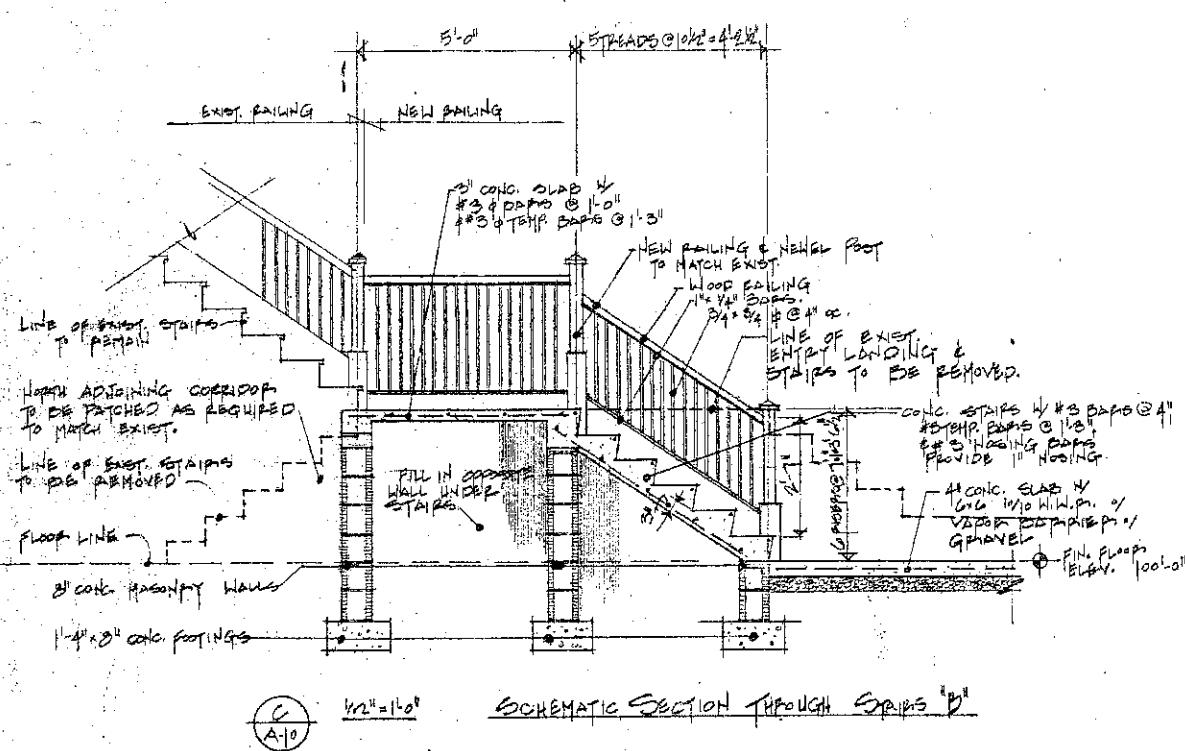
Architect

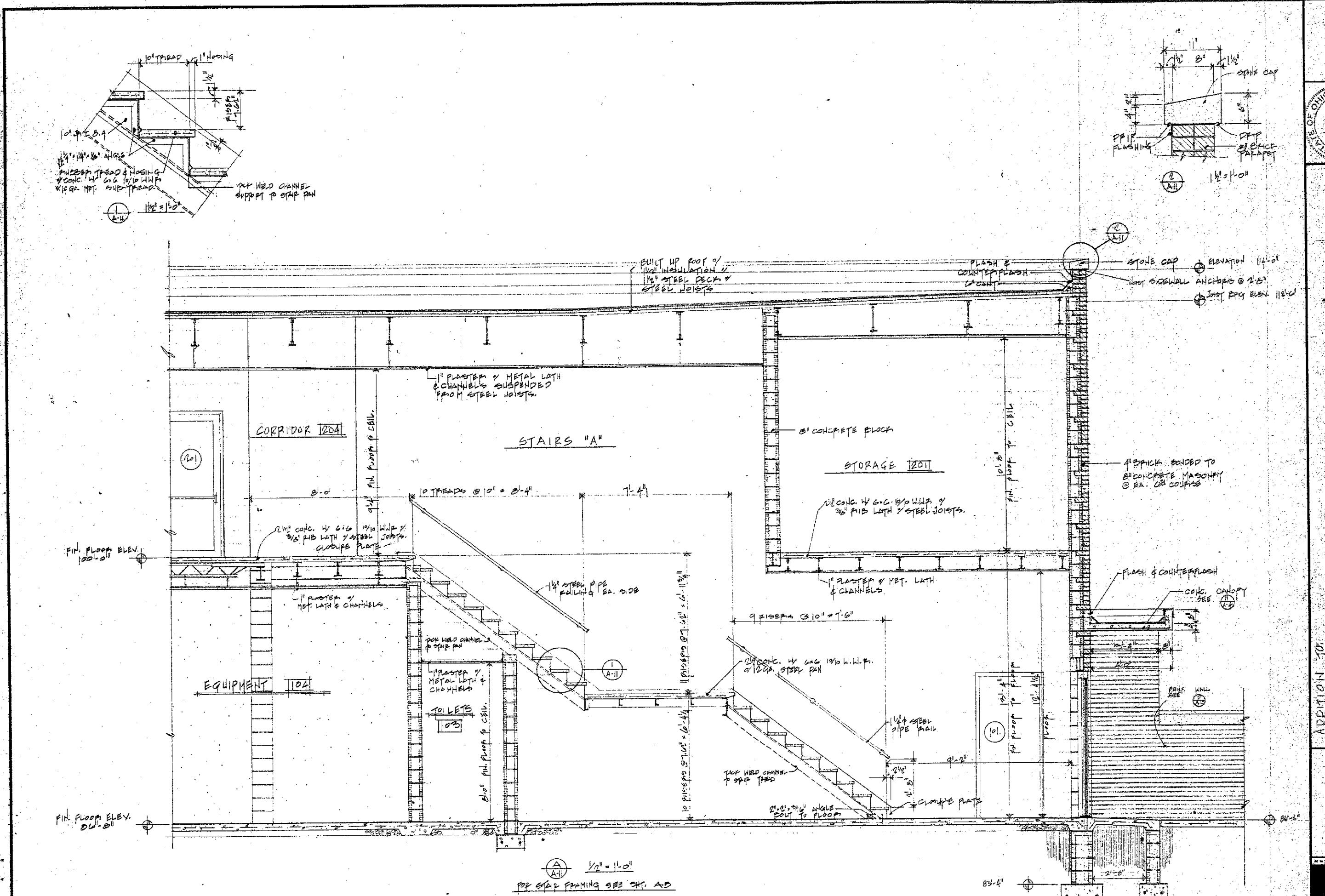
Ohio

Contractor

Architectural

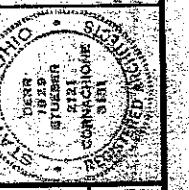
OF OHS  
KENT  
SPIDER  
214  
COMMERCIAL





DERR, STUERB & GORNACHIONE • ARCHITECTS  
1315 Coffey Road • Toledo, Ohio 43604 • (419) 252-1811

ADDITION (D)  
WADE NORTHL CENTRAL  
HOUSING AUTHORITY  
WADE NORTHL, OHIO



DEPT. OF STATE, DIVISION OF SAFETY OF DAMS

TOLEDO, OHIO

