

G. Structure: Foundation

Description: The existing complex contains a masonry/concrete foundation system. There were no significant areas of deterioration, cracking, or settlement.

Rating: 1 Satisfactory

Recommendations: No work is required at this time.

Item	Cost	Unit	Whole Building	Original Building (1907)	Auditorium (1927)	Classroom Wing Addition (1927)	2nd Classroom Wing Addition (1962)	Gymnasium Addition (1973)	3rd Classroom Wing Addition (1990)	Sum	Comments
				37,162 ft²	7,897 ft²	36,738 ft²	6,925 ft²	5,613 ft²	17,086 ft²		
Sum:			\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00		



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H. Structure: Walls and Chimneys

Description: The existing structures are constructed with masonry walls with brick exteriors. There are several areas of deterioration, especially at older portions of the complex. The 1907 building requires extensive tuckpointing over nearly 100% of the wall surfaces. The decorative masonry cornice and gutter system and masonry watertable require repair/restoration.

Rating: 3 Needs Replacement

Recommendations: Provide masonry cleaning, tuckpointing, masonry repairs, and sealing. Restore deteriorated cornice and watertable assemblies. Replace the deteriorated gutter and downspout systems.

Item	Cost	Unit	Whole Building	Original Building (1907)	Auditorium (1927)	Classroom Wing Addition (1927)	2nd Classroom Wing Addition (1962)	Gymnasium Addition (1973)	3rd Classroom Wing Addition (1990)	Sum	Comments
				37,162 ft²	7,897 ft²	36,738 ft²	6,925 ft²	5,613 ft²	17,086 ft²		
Tuckpointing:	\$7.50	sq.ft. (Qty)		11,816 Required		3,976 Required	904 Required	1,281 Required	268 Required	\$136,837.50	(wall surface)
Exterior Masonry Cleaning:	\$1.50	sq.ft. (Qty)		11,816 Required		19,881 Required	4,520 Required	6,408 Required	5,370 Required	\$71,992.50	(wall surface)
Exterior Masonry Sealing:	\$1.00	sq.ft. (Qty)		11,816 Required		19,881 Required	4,520 Required	6,408 Required	5,370 Required	\$47,995.00	(wall surface)
Exterior Caulking:	\$2.50	ln.ft.							338 Required	\$845.00	(removing and replacing)
Other: Repair Cornice	\$100.00	ln.ft.		800 Required						\$80,000.00	Repair restore masonry cornice and watertable
Sum:			\$337,670.00	\$198,160.00	\$0.00	\$79,522.50	\$18,080.00	\$25,627.50	\$16,280.00		



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I. Structure: Floors and Roofs

Description: The floor construction for the 1927, 1962, 1973, and 1990 additions are slab-on-grade construction, a steel joist system, and concrete decking. The roof system for the structures are a steel joist system. The 1907 building is constructed with wood floor structures. There was no significant evidence of deterioration.

Rating: 3 Needs Replacement

Recommendations: Provide for complete replacement of the wood structures at the 1907 building to conform to OSDM standards.

Item	Cost	Unit	Whole Building	Original Building (1907)	Auditorium (1927)	Classroom Wing Addition (1927)	2nd Classroom Wing Addition (1962)	Gymnasium Addition (1973)	3rd Classroom Wing Addition (1990)	Sum	Comments
				37,162 ft²	7,897 ft²	36,738 ft²	6,925 ft²	5,613 ft²	17,086 ft²		
Replace Wood Floor System	\$45.00	sq. ft. (Qty)		24,992 Required						\$1,124,640.00	
Fire Rated Drywall over Existing Wood Ceiling Joists	\$3.50	sq. ft. (Qty)		12,496 Required						\$43,736.00	(per square feet of required drywall)
Sum:			\$1,168,376.00	\$1,168,376.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00		



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J. General Finishes

Description: The complex was recently renovated and the majority of finishes, casework, and locker installations were updated with new assemblies. The majority of door assemblies were equipped with lever hardware. Renovation work did not include complete replacement dated door assemblies. The ground floor of the 1927 addition was not updated with recent renovations. Tackboards/chalkboards were not replaced and dated assemblies remain at the older portions of the complex. Recent work included renovation of the kitchen and an update of the equipment. The gymnasium at the 1973 addition was equipped with wood bleachers and the gymnasium flooring requires refurbishing.

Rating: 3 Needs Replacement

Recommendations: Provide for complete replacement of all finishes and casework at the 1907 building due to structure replacement. Replace dated door and chalkboard/tackboard assemblies. Update gymnasium flooring and bleacher seating. Replace all finishes at the ground floor of the 1927 addition and repair all finishes disturbed by proposed HVAC system replacement.

Item	Cost	Unit	Whole Building	Original Building (1907) 37,162 ft²	Auditorium (1927) 7,897 ft²	Classroom Wing Addition (1927) 36,738 ft²	2nd Classroom Wing Addition (1962) 6,925 ft²	Gymnasium Addition (1973) 5,613 ft²	3rd Classroom Wing Addition (1990) 17,086 ft²	Sum	Comments
Paint:	\$2.00	sq.ft.			Required	Required	Required	Required	Required	\$148,518.00	(partial finish - floor area/prep and installation)
Acoustic Ceiling:	\$3.50	sq.ft. (Qty)			7,897 Required	36,738 Required	6,925 Required	5,613 Required	17,086 Required	\$259,906.50	(partial finish - tear out and replace per area)
VCT:	\$2.50	sq.ft. (Qty)				5,457 Required				\$13,642.50	(partial finish - tear out and replace per area)
Tackboard:	\$0.30	sq.ft.				Required	Required	Required		\$14,782.80	(partial finish - per building area)
Chalkboard/Markerboard:	\$0.30	sq.ft.				Required	Required	Required		\$14,782.80	(partial finish - per building area)
Complete Replacement of Finishes and Casework:	\$14.30	sq.ft.		Required						\$531,416.60	(elementary, per building area, with removal of existing)
Toilet Partitions:	\$1,000.00	per stall		24 Required					1 Required	\$25,000.00	(removing and replacing)
Door, Frame, and Hardware:	\$1,100.00	each		54 Required		10 Required		5 Required	35 Required	\$114,400.00	(non-ADA)
Resilient Wood/Synthetic Flooring	\$12.85	sq.ft. (Qty)						5,613 Required		\$72,127.05	(tear-out and replace per area)
Bleacher Replacement	\$110.00	per seat						720 Required		\$79,200.00	(based on current enrollment)
Sum:			\$1,273,776.25	\$614,816.60	\$43,433.50	\$248,744.30	\$42,242.50	\$191,066.35	\$133,473.00		



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K. Interior Lighting

Description: The entire complex contains fluorescent and incandescent lighting. Lighting levels are: art room- 84/64 fc, band room- 84/64 fc, choir room- 51 fc, media center- 74.1 fc, kitchen- 63 fc, typical classroom 1907/1927 additions 83-95.9 fc, and typical classroom 1990 addition-39.6-51.6 fc. The 1907 and 1927 structures are equipped with dual level lighting.

Rating: 3 Needs Replacement

Recommendations: Provide complete replacement of lighting due to addition of an HVAC system.

Item	Cost	Unit	Whole Building	Original Building (1907)	Auditorium (1927)	Classroom Wing Addition (1927)	2nd Classroom Wing Addition (1962)	Gymnasium Addition (1973)	3rd Classroom Wing Addition (1990)	Sum	Comments
				37,162 ft ²	7,897 ft ²	36,738 ft ²	6,925 ft ²	5,613 ft ²	17,086 ft ²		
Complete Building Lighting Replacement	\$5.00	sq.ft.		Required	Required	Required	Required	Required	Required	\$557,105.00	Includes demo of existing fixtures
Sum:			\$557,105.00	\$185,810.00	\$39,485.00	\$183,690.00	\$34,625.00	\$28,065.00	\$85,430.00		



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L. Security Systems

Description: The current security system is a camera and motion sensor security system. A portion of entrances are equipped with control access. District officials noted the system did not provide adequate coverage of the complex. Site lighting is provided by building mounted fixtures. The system provided limited illumination of the exterior site.

Rating: 3 Needs Replacement

Recommendations: Provide upgrade of the security system and site lighting to conform to OSDM standards.

Item	Cost	Unit	Whole Building	Original Building (1907) 37,162 ft ²	Auditorium (1927) 7,897 ft ²	Classroom Wing Addition (1927) 36,738 ft ²	2nd Classroom Wing Addition (1962) 6,925 ft ²	Gymnasium Addition (1973) 5,613 ft ²	3rd Classroom Wing Addition (1990) 17,086 ft ²	Sum	Comments
Partial Security System Upgrade:	\$1.10	sq.ft.		Required	Required	Required	Required	Required	Required	\$122,563.10	(complete, area of building)
Exterior Site Lighting:	\$1.00	sq.ft.		Required	Required	Required	Required	Required	Required	\$111,421.00	building
Sum:			\$233,984.10	\$78,040.20	\$16,583.70	\$77,149.80	\$14,542.50	\$11,787.30	\$35,880.60		



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M. Emergency/Egress Lighting

Description: The facility is equipped with an updated emergency egress lighting system and exit signs. Existing fixture installations are likely to be disturbed by proposed renovation work.

Rating: 3 Needs Replacement

Recommendations: Provide complete replacement of the emergency/egress lighting system due to addition of an HVAC system.

Item	Cost	Unit	Whole Building	Original Building (1907)	Auditorium (1927)	Classroom Wing Addition (1927)	2nd Classroom Wing Addition (1962)	Gymnasium Addition (1973)	3rd Classroom Wing Addition (1990)	Sum	Comments
				37,162 ft²	7,897 ft²	36,738 ft²	6,925 ft²	5,613 ft²	17,086 ft²		
Emergency/Egress Lighting:	\$1.00	sq.ft.		Required	Required	Required	Required	Required	Required	\$111,421.00	(complete, area of building)
Sum:			\$111,421.00	\$37,162.00	\$7,897.00	\$36,738.00	\$6,925.00	\$5,613.00	\$17,086.00		



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Facility Assessment

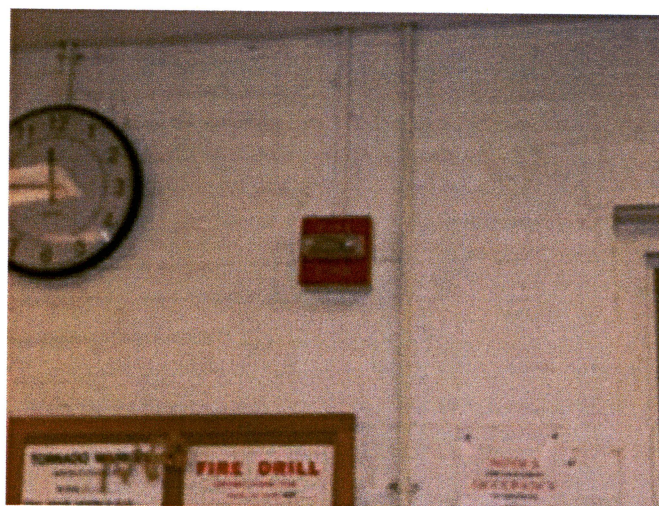
N. Fire Alarm

Description: The facility is equipped with an updated fire alarm system with manual pull stations and horn/strobe signals. The system is satisfactory.

Rating: 3 Needs Replacement

Recommendations: Provide for system replacement at the 1907 building due to structure renovation. The system installations at the 1927, 1962, 1973, and 1990 additions are satisfactory.

Item	Cost	Unit	Whole Building	Original Building (1907)	Auditorium (1927)	Classroom Wing Addition (1927)	2nd Classroom Wing Addition (1962)	Gymnasium Addition (1973)	3rd Classroom Wing Addition (1990)	Sum	Comments
				37,162 ft²	7,897 ft²	36,738 ft²	6,925 ft²	5,613 ft²	17,086 ft²		
Fire Alarm System:	\$1.50	sq.ft.		Required						\$55,743.00	(complete new system, including removal of existing)
Sum:			\$55,743.00	\$55,743.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00		



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O. Handicapped Access

Description:

The complex was recently renovated to provide accessible accommodations throughout the majority of the complex. Renovation work included installation of multiple elevators and ramps to provide access to all interior levels of the complex. The majority of door assemblies were equipped with lever hardware but improvements did not include replacement of dated door assemblies. A portion of the existing door installations do not provide the required maneuvering clearances. A portion of entrances are elevated and are not accessible. The street grade along the east facade exceeds accessible grade parameters, hindering access to the facility from Lyman Street. A portion of the existing toilet rooms/restrooms are not fully accessible. The majority of drinking fountains were updated with accessible fixtures, but a portion of these did not provide required maneuvering or multi-height accommodations.

Rating:

3 Needs Replacement

Recommendations:

Provide for full accessibility throughout the entire complex in conformance with the provisions of the ADA and OSDM requirements.

Item	Cost	Unit	Whole Building	Original Building (1907) 37,162 ft²	Auditorium (1927) 7,897 ft²	Classroom Wing Addition (1927) 36,738 ft²	2nd Classroom Wing Addition (1962) 6,925 ft²	Gymnasium Addition (1973) 5,613 ft²	3rd Classroom Wing Addition (1990) 17,086 ft²	Sum	Comments
Signage:	\$0.10	sq.ft.		Required	Required	Required	Required	Required	Required	\$11,142.10	(per building area)
Ramps:	\$40.00	sq.ft. (Qty)			300 Required	450 Required			300 Required	\$42,000.00	(per ramp/interior-exterior complete)
Electric Water Coolers:	\$3,000.00	unit		4 Required					2 Required	\$18,000.00	(new double ADA)
Toilet/Urinals/Sinks:	\$3,800.00	unit		18 Required		2 Required			8 Required	\$106,400.00	(new ADA)
Toilet Partitions:	\$1,000.00	stall		2 Required					3 Required	\$5,000.00	(ADA - grab bars, accessories included)
Replace Doors:	\$1,100.00	leaf		2 Required						\$2,200.00	(standard 3070 wood door, HM frame-classroom door/light, includes hardware)
Replace Doors:	\$5,000.00	leaf				3 Required			2 Required	\$25,000.00	(rework narrow opening to provide 3070 wood door, HM frame, door/light, includes hardware)
Other: ADA Shower:	\$5,000.00	per unit		1 Required						\$5,000.00	ADA Shower
Other: ADA Grab Bars:	\$250.00	per unit				2 Required				\$500.00	ADA Grab Bars
Sum:			\$215,242.10	\$93,316.20	\$12,789.70	\$44,773.80	\$692.50	\$561.30	\$63,108.60		



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P. Site Condition

Description:

Buses load/unload along a separated drive which circulates through a gated dual purpose hard surface play area/parking area. The drive is separated from the adjoining area with curbing. District officials noted parking was not adequate to serve the needs of the school. Pavements are deteriorated in a few areas. A portion of the site's walks are poorly graded and ponding water. A portion of the pavements were covered with snow, hindering full assessment of the area at the time of the visit. The exterior stair assemblies are deteriorated in a few areas. The exterior handrails/guardrails do not conform to current code provisions or are non-existent.

Rating:

3 Needs Replacement

Recommendations:

Replace deteriorated walks and pavements. Replace deteriorated stair assemblies and provide a code compliant handrail/guardrail system at all locations. Provide additional parking.

Item	Cost	Unit	Whole Building	Original Building (1907) 37,162 ft²	Auditorium (1927) 7,897 ft²	Classroom Wing Addition (1927) 36,738 ft²	2nd Classroom Wing Addition (1962) 6,925 ft²	Gymnasium Addition (1973) 5,613 ft²	3rd Classroom Wing Addition (1990) 17,086 ft²	Sum	Comments
Replace Existing Asphalt Paving:	\$30.00	sq. yard		566 Required		548 Required	94 Required	78 Required	282 Required	\$47,040.00	(including drainage / tear out for light or heavy duty asphalt)
Asphalt Paving (light duty) / New Wearing Course:	\$16.00	sq. yard		1,149 Required		117 Required	192 Required	159 Required	574 Required	\$35,056.00	(includes minor crack repair in less than 5% of paved area)
Additional Parking Spaces Required for Elementary	\$110.00	per student		720 Required						\$79,200.00	(\$1,000 per parking space; 0.11 space per elementary student. Parking space includes parking lot drive space.)
Concrete Curb:	\$15.00	in.ft.		117 Required						\$1,755.00	(new)
Concrete Sidewalk:	\$4.00	sq.ft. (Qty)		3,112 Required	Required	3,025 Required	517 Required	432 Required	1,556 Required	\$34,568.00	(5 in exterior slab)
Base Sitework Allowance for Unforeseen Circumstances	\$50,000.00	allowance		Required						\$50,000.00	Include this and one of the next two. (Applies for whole building, so only one addition should have this item)
Sitework Allowance for Unforeseen Circumstances for buildings 100,000 SF or larger	\$150,000.00	allowance		Required						\$150,000.00	Include this one or the previous. (Applies for whole building, so only one addition should have this item)
Other: Replace Stair Assemblies 1927 Addition	\$20,000.00	allowance				Required				\$20,000.00	Replace deteriorated stair Assemblies
Other: Replace Stair Assemblies 1973 Addition	\$10,000.00	allowance						Required		\$10,000.00	Replace stair assembly 1973 addition
Sum:				\$427,619.00	\$328,767.00	\$0.00	\$50,412.00	\$7,960.00	\$16,612.00	\$23,868.00	



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Q. Sewage System

Description: The complex sanitary piping system is served by the local municipal system. School officials noted the system functioned satisfactorily.

Rating: 1 Satisfactory

Recommendations: No work is required at this time.

Item	Cost	Unit	Whole Building	Original Building (1907) 37,162 ft²	Auditorium (1927) 7,897 ft²	Classroom Wing Addition (1927) 36,738 ft²	2nd Classroom Wing Addition (1962) 6,925 ft²	Gymnasium Addition (1973) 5,613 ft²	3rd Classroom Wing Addition (1990) 17,086 ft²	Sum	Comments
Sum:			\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00		

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R. Water Supply

Description: The complex domestic water supply piping is copper. The facility is served by the local municipal system. School officials noted the system was satisfactory.

Rating: 1 Satisfactory

Recommendations: No work is required at this time.

Item	Cost	Unit	Whole Building	Original Building (1907)	Auditorium (1927)	Classroom Wing Addition (1927)	2nd Classroom Wing Addition (1962)	Gymnasium Addition (1973)	3rd Classroom Wing Addition (1990)	Sum	Comments
				37,162 ft²	7,897 ft²	36,738 ft²	6,925 ft²	5,613 ft²	17,086 ft²		
Sum:			\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00		

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S. Exterior Doors

Description: The majority of the existing door assemblies for the entire complex were updated with new installations. A portion of the units were equipped with single pane glazing. Dated door assemblies remain in a few areas.

Rating: 3 Needs Replacement

Recommendations: Provide for replacement of dated door assemblies. Replace door assemblies, equipped with single pane glazing, with thermally efficient installations.

Item	Cost	Unit	Whole Building	Original Building (1907) 37,162 ft²	Auditorium (1927) 7,897 ft²	Classroom Wing Addition (1927) 36,738 ft²	2nd Classroom Wing Addition (1962) 6,925 ft²	Gymnasium Addition (1973) 5,613 ft²	3rd Classroom Wing Addition (1990) 17,086 ft²	Sum	Comments
Door Leaf/Frame and Hardware:	\$2,000.00	per leaf		6 Required		14 Required			3 Required	\$46,000.00	(includes removal of existing)
Sum:			\$46,000.00	\$12,000.00	\$0.00	\$28,000.00	\$0.00	\$0.00	\$6,000.00		



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T. Hazardous Material

Description: District officials have provided information identifying hazardous materials in this facility. District officials noted recent renovations abated a portion of the hazardous materials.

Rating: 1 Satisfactory

Recommendations: Remove all remaining hazardous materials as identified by the Hazardous Materials Consultant.

Item	Cost	Unit	Whole Building	Original Building (1907)	Auditorium (1927)	Classroom Wing Addition (1927)	2nd Classroom Wing Addition (1962)	Gymnasium Addition (1973)	3rd Classroom Wing Addition (1990)	Sum	Comments
				37,162 ft²	7,897 ft²	36,738 ft²	6,925 ft²	5,613 ft²	17,086 ft²		
Sum:			\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00		

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U. Life Safety

Description:

The complex is equipped with an automated suppression system. The sprinkler control room is located in the 1907 building. The proposed renovation of the existing HVAC system is likely to require modification of the existing system. A portion of the egress stairs are unenclosed. The majority of the interior handrail/guardrail systems do not conform to current code provisions or ADA guidelines.

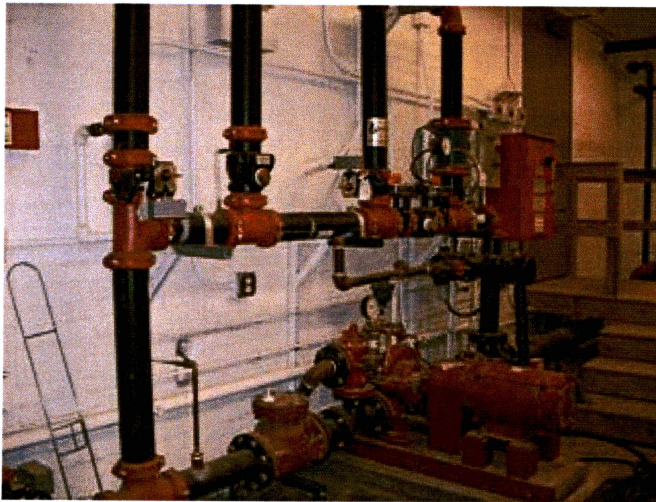
Rating:

3 Needs Replacement

Recommendations:

Provide for replacement/modification of the existing fire suppression system throughout. A portion of the existing system may be reuseable. Provide handrail/guardrail systems to conform to OSDM standards and enclose open stair assemblies.

Item	Cost	Unit	Whole Building	Original Building (1907)	Auditorium (1927)	Classroom Wing Addition (1927)	2nd Classroom Wing Addition (1962)	Gymnasium Addition (1973)	3rd Classroom Wing Addition (1990)	Sum	Comments
				37,162 ft ²	7,897 ft ²	36,738 ft ²	6,925 ft ²	5,613 ft ²	17,086 ft ²		
Sprinkler / Fire Suppression System:	\$3.25	sq.ft. (Qty)		37,162 Required	7,897 Required	36,738 Required	6,925 Required	5,613 Required	17,086 Required	\$362,118.25	(includes increase of service piping, if required)
Interior Stairwell Closure:	\$5,000.00	per level		8 Required		7 Required			1 Required	\$80,000.00	(includes associated doors, door frames and hardware)
Handrails:	\$5,000.00	per level		8 Required		12 Required			4 Required	\$120,000.00	
Sum:			\$562,118.25	\$200,776.50	\$25,665.25	\$214,398.50	\$22,506.25	\$18,242.25	\$80,529.50		



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V. Loose Furnishings

Description: A portion of the existing furnishings were updated with newer installations.

Rating: 3 Needs Replacement

Recommendations: Provide for furnishing replacement based upon the rating of 7 given for item 6.17 of the attached CEFPI rating.

Item	Cost	Unit	Whole Building	Original Building (1907)	Auditorium (1927)	Classroom Wing Addition (1927)	2nd Classroom Wing Addition (1962)	Gymnasium Addition (1973)	3rd Classroom Wing Addition (1990)	Sum	Comments
CEFPI Rating 7	\$2.00	sq.ft.		Required		Required	Required	Required	Required	\$207,048.00	
Sum:			\$207,048.00	\$74,324.00	\$0.00	\$73,476.00	\$13,850.00	\$11,226.00	\$34,172.00		



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W. Technology

Description: Typical classrooms are equipped with 5-7 data ports for teacher and student use and telephones. Classrooms are not equipped with projection provisions.

Rating: 3 Needs Replacement

Recommendations: Replace all wiring due to renovation to be undertaken and to fully conform to OSDM standards.

Item	Cost	Unit	Whole Building	Original Building (1907)	Auditorium (1927)	Classroom Wing Addition (1927)	2nd Classroom Wing Addition (1962)	Gymnasium Addition (1973)	3rd Classroom Wing Addition (1990)	Sum	Comments
				37,162 ft²	7,897 ft²	36,738 ft²	6,925 ft²	5,613 ft²	17,086 ft²		
ES portion of building with total SF > 69,360	\$7.69	sq.ft. (Qty)		37,162 Required		36,738 Required	6,925 Required	5,613 Required	17,086 Required	\$796,099.56	
Sum:			\$796,099.56	\$285,775.78	\$0.00	\$282,515.22	\$53,253.25	\$43,163.97	\$131,391.34		



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X. Construction Contingency / Non-Construction Cost

Renovation Costs (A-W)		\$10,835,299.76
7.00%	Construction Contingency	\$758,470.98
Subtotal		\$11,593,770.74
16.20%	Non-Construction Costs	\$1,878,190.86
Total Project		\$13,471,961.60

Construction Contingency	\$758,470.98
Non-Construction Costs	\$1,878,190.86
Total for X.	\$2,636,661.84

Non-Construction Costs Breakdown		
Land Survey	0.03%	\$3,478.13
Soil Borings	0.10%	\$11,593.77
Agency Approval Fees	0.15%	\$17,390.66
Construction Testing	0.25%	\$28,984.43
Printing	0.27%	\$31,303.18
Advertising	0.03%	\$3,478.13
Builder's Risk	0.11%	\$12,753.15
Design Professional Compensation	7.50%	\$869,532.81
CM Compensation	6.00%	\$695,626.24
Commissioning	0.33%	\$38,259.44
Maintenance Plan Advisor	0.11%	\$12,753.15
Non-Construction Contingency (includes partnering and mediation services)	1.32%	\$153,037.77
Total Non-Construction Costs	16.20%	\$1,878,190.86

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Name of Appraiser	Tony Schorr	Date of Appraisal	2008-02-07
Building Name	Central Intermediate School		
Street Address	151 Main Street		
City/Town, State, Zip Code	Wadsworth, Ohio, OH 44281		
Telephone Number(s)	330-335-1480		
School District	Wadsworth City SD		

Setting:	Urban		
Site-Acreage	4.48	Building Square Footage	111,421
Grades Housed	5-6	Student Capacity	895
Number of Teaching Stations	38	Number of Floors	4
Student Enrollment	720		
Dates of Construction	1907,1927,1927,1962,1973,1990		

Energy Sources:	<input type="checkbox"/> Fuel Oil	<input checked="" type="checkbox"/> Gas	<input checked="" type="checkbox"/> Electric	<input type="checkbox"/> Solar
Air Conditioning:	<input type="checkbox"/> Roof Top	<input type="checkbox"/> Windows Units	<input type="checkbox"/> Central	<input type="checkbox"/> Room Units
Heating:	<input type="checkbox"/> Central	<input type="checkbox"/> Roof Top	<input type="checkbox"/> Individual Unit	<input checked="" type="checkbox"/> Forced Air
	<input type="checkbox"/> Hot Water	<input type="checkbox"/> Steam		

Type of Construction	Exterior Surfacing	Floor Construction
<input checked="" type="checkbox"/> Load bearing masonry	<input checked="" type="checkbox"/> Brick	<input checked="" type="checkbox"/> Wood Joists
<input checked="" type="checkbox"/> Steel frame	<input type="checkbox"/> Stucco	<input checked="" type="checkbox"/> Steel Joists
<input type="checkbox"/> Concrete frame	<input type="checkbox"/> Metal	<input checked="" type="checkbox"/> Slab on grade
<input checked="" type="checkbox"/> Wood	<input type="checkbox"/> Wood	<input checked="" type="checkbox"/> Structural slab
<input checked="" type="checkbox"/> Steel Joists	<input checked="" type="checkbox"/> Stone	

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1.0 The School Site

School Facility Appraisal

Points Allocated Points

1.1		Site is large enough to meet educational needs as defined by state and local requirements <i>The building sits on a 4.48 acre site.</i>	25	5
1.2		Site is easily accessible and conveniently located for the present and future population <i>The site is geographically located to serve the school community.</i>	20	18
1.3		Location is removed from undesirable business, industry, traffic, and natural hazards <i>The site is located near the central business district with consistent traffic.</i>	10	5
1.4		Site is well landscaped and developed to meet educational needs <i>The site contains mature trees and open lawn. Much of the site is paved.</i>	10	5
1.5	ES	Well equipped playgrounds are separated from streets and parking areas	10	8
	MS	Well equipped athletic and intermural areas are separated from streets and parking		
	HS	Well equipped athletic areas are adequate with sufficient solid-surface parking <i>Playground equipment was recently updated. Hard surface play serves dual purpose as a parking lot.</i>		
1.6		Topography is varied enough to provide desirable appearance and without steep inclines <i>The site is sloped. The street grade at the east facade hinders accessible access from Lyman Ave.</i>	5	3
1.7		Site has stable, well drained soil free of erosion <i>There were no significant areas of erosion. The walkway near the main entry is ponding water, area is limited.</i>	5	4
1.8		Site is suitable for special instructional needs , e.g., outdoor learning <i>There is no designated area for this activity.</i>	5	3
1.9		Pedestrian services include adequate sidewalk with designated crosswalks, curb cuts, and correct slopes <i>Sidewalks are deteriorated in some areas.</i>	5	3
1.10	ES/MS	Sufficient on-site, solid surface parking for faculty and staff is provided	5	2
	HS	Sufficient on-site, solid surface parking is provided for faculty, students, staff and community <i>District officials noted parking was not adequately provided for the facility's needs.</i>		

TOTAL - The School Site

100 56

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