

part 2 2/8/2023
5branch

TOWN OF VERNON
Planning & Zoning Commission (PZC)
Meeting Notice & Agenda
Thursday, February 16, 2023 7:30 PM
Town Hall Memorial Building- 3rd Floor Council Chambers
14 Park Place
Vernon, CT 06066

AGENDA

RECEIVED
VERNON TOWN CLERK
23 FEB - 8 PM 4:17

1. **Call to Order & Roll Call by Roland Klee, Chairman**
2. **Administrative Actions/Requests**
 - 2.1 Amendment/Adoption of Agenda - Additional business to be considered under agenda item #6 "Other Business" requires a Commission vote.
 - 2.2 Election of Officers
 - 2.2 Approval of the Minutes from February 2, 2023
3. **New Application(s) for receipt, if any:**
 - 3.1.
4. **Public Hearing(s) and Action on Applications:**
 - 4.1 **PZ 2023-02 - 10 Snipsic St.** Application of Adam Wing, Connecticut Water Company for Site Plan and Special Permits (4.18.3.3.2, 4.18.3.3.4.) to construct a 5,200 sq. ft. building for new aeration equipment to replace the aging infrastructure and storage building for equipment that is stored onsite for the treatment plant and reservoir. Property is zoned Restricted Watershed [Map #45, Block #123, Lot #3].
 - 4.2 **PZ 2023-01 – 234 Talcottville Road** – An application of Benjamin Tinsley (Prime Wellness of Connecticut) for Site Plan and Special Permits (4.9.4.10 and 4.9.4.15.6) for a hybrid cannabis dispensary and cannabis retailer. The property is zoned Commercial [Map #10, Block #15, Lot #40].
5. **8-24 Referrals, if any**
6. **Other Business/Discussion**
 - 6.1 Mandatory State Training Session
7. **Public Comments Received**
8. **Adjournment**

TOWN OF VERNON
Planning & Zoning Commission (PZC)
Meeting Minutes
Thursday, February 2, 2023 7:30 PM
Town Hall Memorial Building- 3rd Floor Council Chambers
14 Park Place
Vernon, CT 06066

Draft Minutes

1. Call to Order & Roll Call by Roland Klee, Chairman

- Meeting Start Time: 7:30pm
- Regular Members Present: Roland Klee, Robin Lockwood, Joseph Miller, William Nicholson, Carl Bard, Michael Baum
- Alternate Members Present: Steve Ransom sitting for Iris Mullan
- Staff Present: Ashley Stephens, Town Planner
- Absent Members: Iris Mullan, Yelena Damsky, Eva Perrina
- Recording Secretary: Meriline Sarkar

2. Administrative Actions/Requests

2.1 Amendment/Adoption of Agenda - Additional business to be considered under agenda item #6 "Other Business" requires a Commission vote.

- Motion to Adoption of revised agenda made by Robin Lockwood, Seconded by William Nicholson. The motion carried Unanimously.

2.2 Approval of the Minutes from **January 19, 2023**

- Motion to accept the minutes from January 19, 2023 meeting made by Robin Lockwood, Seconded by William Nicholson. The motion carried with 6 in favor and 1 abstention, Carl Bard.

3. New Application(s) for receipt, if any:

3.1. **PZ 2023-02 - 10 Snipsic St.** Application of Adam Wing, Connecticut Water Company for Site Plan and Special Permits (4.18.3.3.2, 4.18.3.3.4.) to construct a 5,200 sq. ft. building for new aeration equipment to replace the aging infrastructure and storage building for equipment that is stored onsite for the treatment plant and reservoir. Property is zoned Restricted Watershed [Map #45, Block #123, Lot #3].

- Motion to Accept the New Application **PZ 2023-02 - 10 Snipsic St.** of Adam Wing for Public Hearing on February 16, 2023 meeting made by Robin Lockwood. Joseph Miller seconded the motion and the motion carried unanimously.

- 3.2 **PZ 2023-03 - 0 Gerber Blvd.** Application of Clifton Chapman for Site Plan and Special Permits (4.24.4.1, 4.24.4.3.4, 4.24.4.3.6, 4.24.4.3.10, 4.24.4.3.11, 4.24.4.3.15.1 & 4.24.4.3.15.4) to construct two (2) 14,000 sq. ft. buildings for light industrial/commercial use. Activities to include earthwork, building construction and utility installation. Property is zoned Planned Development- Zone Gerber Farm [Map # 04, Block #0004, Lot #008A7]
- Motion to Accept the New Application **PZ 2023-03 - 0 Gerber Blvd.** of Clifton Chapman for Public Hearing on March 2, 2023 meeting made by Robin Lockwood. William Nicholson seconded the motion and the motion carried unanimously.

4. Public Hearing(s) and Action on Applications:

- 4.1 **(CONTINUED) PZ-2022-16, 985 Hartford Turnpike** - An application of Edward Johansen for a Site Plan and Special Permit (4.10.4.4) to renovate existing building for used car dealership and limited general repair, extend bituminous driveways into parking lot, spread current onsite fill piles at **985 Hartford Turnpike** [Tax Map 38, Block 72, Parcel 30]. The property is zoned Industrial.
- Roland Klee, Chairman, read the Public Hearing Rules.
 - Mr. Carmen Giuliano presented on behalf of Edward Johansen, the owner of Seck Enterprises, LLC. He explained his plans in details and answered questions from the commission members. Discussion ensued.
 - Roland Klee, Chairman, opened the floor to anyone wishing to speak in favor or opposition of the application. None spoke.
 - Robin Lockwood made a motion to close the Public Hearing. William Nicholson seconded the motion and the motion carried unanimously at 8:08 PM.
 - Robin Lockwood made a motion to approve the application **PZ-2022-16, 985 Hartford Turnpike** - An application of Edward Johansen for a Site Plan and Special Permit (4.10.4.4) to renovate existing building for used car dealership and limited general repair at **985 Hartford Turnpike** [Tax Map 38, Block 72, Parcel 30] with the following conditions:
 - This application is specific to 'Gasoline Classics'. Any other business would need to be evaluated for this property.
 - Repairs are to be performed only inside the garage, and only on the vehicles of sales from this property.
 - No severely damaged vehicles may be stored on the property.
 - The display spaces are to be used solely for the display of used cars for sale.
 - The sidewalk extension in front of property is to be completed by 9-1-24.
 - William Nicholson seconded the motion and the motion carried unanimously.

5. 8-24 Referrals, if any

5.1 Acceptance of Land located at 686 Dart Hill Road

- Ashley Stephens, Town Planner, explained that the Town of Vernon has requested a CGS 8-24 referral to accept 686 Dart Hill Road from Vernon Greenways Volunteers. In 2000, a parcel of property bordering on Dart Hill Road and the Dart Hill South Park was transferred to the Friends of the Hockanum Park Linear Park of Vernon, Inc. to expand the trail system in Vernon. The intention was to transfer the parcel to the Town of Vernon, but was never done. Discussion ensued.
- Robin Lockwood made the motion to accept the Planning & Zoning Commission's finds that the acceptance of 686 Dart Hill Road is consistent with the Plan of Conservation and Development. Seconded by Joseph Miller. The Motion carried unanimously.

6. Other Business/Discussion

6.1 Discussion - Mandatory State Training Upcoming Sessions

Bias, Predisposition, and Conflicts, presented by Richard P. Roberts (Feb. 2)
Running a Meeting and Making a Decision, presented by Kenneth R. Slater, Jr. (Feb. 9)
Fair and Affordable Housing, presented by Mark Branse (Feb. 16).

- Ashley Stephens, Town Planner, informed the commission of upcoming dates for the Mandatory State Training Sessions and answered questions from the commission members.

7. Public Comments Received

- NONE

8. Adjournment: Time:

- Motion to Adjourn made by Robin Lockwood at 8:23pm and Seconded by William Nicholson. The Motion carried unanimously.

Respectfully submitted,

Meriline Sarkar
Recording Secretary

TOWN OF VERNON PLANNING & ZONING COMMISSION (PZC)

APPLICATION

This form is to be used to apply to the Vernon Planning & Zoning Commission (PZC) for a change of zoning district, amendment of the Zoning Regulations, Site Plan of Development (POD), Special Permit(s), amendment of the Subdivision Regulations, and/or approval of a (re) subdivision, or DMV location approval. **Provide all the information requested.**

The applicant must be the property owner, the property owner's agent, the Town of Vernon, or someone with a direct financial interest in the subject property; said interest shall be explained and written permission for this application must be obtained from the property owner and submitted with this application if the applicant is not the property owner (ZR Section 2.3).

The list of approvals and the references to sections of the Regulations are for informational purposes only to assist with preparation of the PZC application and are not a definitive statement of the sole requirements that may apply to a specific project.

The applicant understands that the application is complete only when all information and documents required by the PZC have been submitted and, further, that any approval by the PZC relies upon complete and accurate information being provided by the applicant. **Incorrect information provided by the applicant may make the approval invalid.** The PZC may require additional information to be provided by the applicant in the course of reviewing the application and during the monitoring of the project.

Provide all the information requested:

I. APPLICANT:

Name: Adam M. Wing, P.E.
Title: Project Engineer
Company: Connecticut Water Company
Address: 93 W. Main St.,
Clinton, CT 06413
Telephone: 860.304.7457 Fax: _____
E-mail adam.wing@ctwater.com

II. PROPERTY OWNER (S):

Name: Adam M. Wing, P.E.
Title: Project Engineer
Company: Connecticut Water Company
Address: 93 W. Main St.,
Clinton, CT 06413
Telephone: 860.304.7457 Fax _____
E-mail: adam.wing@ctwater.com

RECEIVED

JAN 23 2023

TOWN PLANNERS OFFICE

III. PROPERTY

Address: 10 Snipsic St., Vernon, CT

Assessor's ID Code: Map # 45 Block # 123 Lot/Parcel # 3

Land Record Reference to Deed Description: Volume: 351 Page 39

Does this site contain a watercourse and/or wetlands? (See the Inland Wetlands Map and IWR Section 2.14, 2.15, 2.23, 2.24, 3.11; 4)

☐ No ☒ Yes

☐ No work will be done in regulated area
☐ Work will be done in the regulated area

☒ IWC application has been submitted
☐ IWC application has not been submitted

Zoning District RW

Is this property located within five hundred (500) feet of a municipal boundary?

☐ No
☒ Yes:

☐ Bolton
☐ Coventry
☒ Ellington
☐ Manchester
☐ South Windsor
☒ Tolland

Check if Historic Status Applies:

☐ Located in historic district:

☐ Rockville
☐ Talcottville

☐ Individual historic property

IV. PROJECT

Project Name: Rockville Aeration and Storage Building

Project Contact Person:

Name: Adam M. Wing, P.E.

Title: Project Engineer

Company: Connecticut Water Company

Address: 93 W. Main St.,
Clinton, CT 06413

Telephone: 860.304.7457

Fax: _____

E-mail: adam.wing@ctwater.com

V. PZC APPLICATION PROJECT SUMMARY

Describe the project briefly in regard to the purpose of the project and the activities that will occur. Attach to this application a complete and detailed description with maps and documentation as required by the "Town of Vernon Zoning Regulations" and "Town of Vernon Subdivision Regulations".

Purpose: To provide updated and better functioning lake aeration equipment and storage for other reservoir related equipment that used to be under an existing garage before it was demolished.

General Activities: Site excavation for a foundation; concrete pouring;
steel building installation.

VI. APPROVAL (S) REQUESTED

Subdivision or Resubdivision

- Subdivision (Sub. Sec. 4, 5, 6)
- Resubdivision (Sub. Sec. 4, 5, 6)
- Minor modification of subdivision or resubdivision (Sub. Sec. 4.6)
- Town acceptance of a road (Sub. Sec. 6.5-6. 8 & 9)
- Amendment of Subdivision Regulations (Sub. Sec. II)

See Subdivision Regulations Sec. 4 for application fee schedules.

 Soil Erosion and Sediment Control Plan (ESCP) (ZR Sec. 2.117; 18) (Sub. 6.14)

 Site Plan of Development (POD) (ZR Sec. 14)

- POD approval (ZR Sec. 14.1.1.1; 14.1.2)
- Modification of an approved POD (ZR Sec. 14.1.1.1)
- Minor modification of a site POD (ZR Sec. 14.1.1.2)

 X Special Permit(s) (ZR Section 17.3)

- Special Permit in an aquifer area (ZR Sec. 2.4; 2.5; 2.119; 20)
- Special Permit for excavation (ZR Sec. 2.52; 2.79; 15)
- Special Permit for use in a district (ZR Sec. 1.2 & 4)
- Special Permit for lot coverage (ZR Sec. 1.2; 2.61; 2.68; 4)
- Special Permit for signs (ZR Sec. 1.2; 2.106-115; 4; 16; 21.7)
- Special Permit for parking (ZR Sec. 4; 12; 21.4)
- Special Permit for elderly housing (ZR Sec. 2.60; 17.4)
- Special Permit for Bed & Breakfast (B & B) (ZR Sec. 2.9; 17.3.4)
- Special Permit for serving alcohol (ZR Sec. 2.103, 17.1)
- Special Permit for massage (ZR Sec. 2.76-78; 4)
- Special Permit for telecommunications (ZR Sec. 2.21; 3.23 & 23)
- Special Permit for dumps and/or incinerators (ZR Section 8)

X Other Special Permit(s). Cite ZR Section and describe activity:

4.18.3.3.4 - The aggregate square footage for all structures on any parcel exceeds twenty-five (25) thousand

4.18.3.3.2 - Proposed Structure within 200-ft of Residential Structure

____ Special Permit modifications (ZR Sec. 17.3.2.2). Cite ZR Section and describe activity.

____ **Zoning:**

____ Site specific change of zoning district and map (ZR Sec. 1.2; 1.3; 4)

____ Amendment of Zoning Regulations (Sec. 1.2; 1.3; 4)

____ Site specific change to the Aquifer Protection Overlay Zone Map (ZR Sec. 20.3.2)

See Zoning Regulations Section 22 for application fee schedules.

____ Dealer or Repairer License (location approval for DMV)

VII. APPLICATION CONDITIONS / STIPULATIONS

The following provisions apply to all applications submitted to the Planning & Zoning Commission (PZC) and are incorporated as part of the application.

All information shall be submitted to the Town Planner and no application shall be considered as being filed if incomplete or if delivered to any other Town Official (Sub Sec.4).

If the area to be developed contains more than one-half (1/2) acre area that will be physically altered or disturbed, a completed erosion and sedimentation control plan (ESCP) in accordance with Zoning Regulations Section 18 and/or Subdivision Regulations Section 6.14, as applicable, must be submitted. The applicant shall be responsible for all costs associated with the certification of the ESCP.

By signing this application, permission is granted to Commission members, employees of the Town of Vernon, and persons assisting the Town Staff to go onto the subject property to make inspections pursuant to the application review, approval, bonding requirements, or obtaining information materially relevant to the application.

No application coming before a Commission may be withdrawn after it has been advertised for a public hearing unless the Chairman or Secretary of the Commission is notified in writing by the applicant or his representative not later than forty-eight (48) hours prior to the scheduled hearing before the Commission. All fees encumbered in the advertising and review of the application is non-refundable (ZR Section 1.5).

All applications must be submitted on drawings which are one of the following sizes: 8.5" x 11"; 12" x 18", 18" x 24"; 24" x 36". Subdivision and resubdivision maps must be 24" x 36".

The application shall include an 8.5" x 11" map showing the location of the site and an 8.5" x 11" general plan of development (POD) map showing the development proposed on the site.

A legal description of the subject property must be submitted with this PZC application. The legal description should bear the Volume number and Page number by which it is recorded in the land records.

Applications to the Planning & Zoning Commission (PZC) require notification of property owners within two hundred feet (200') of the subject property. A list of property owners and a complete set of mailing labels must be submitted with the application.

Applicants shall submit one copy of a brief narrative including a traffic impact statement, outlining the proposed activity and the reason for the application. The traffic impact statement shall provide sufficient data for the Vernon Traffic Authority and PZC to be able to access traffic conditions relative to the location, site design, and proposed activity.

Applicant shall submit twenty (20) copies of a map showing all information required in Zoning Regulations Section 14 Site Plans, and Section 17.3.2 Special Permits as may be required, and/or the Subdivision Regulations Section 4,5,7.

The map must be prepared by a licensed surveyor, if the application involves (a) exterior modification to the building or premises, such as off-street parking, which need dimensionally critical measurements to insure compliance with zoning or (b) the improvements involve disturbing more than one half acre of land.

Applicant shall submit the above-required information to the Town Planning Office accompanied by a check in the amount determined by the fees established by the State of Connecticut, Town of Vernon and/or the PZC with the application. The check, which is required as a filing fee, is to be payable to, "Town of Vernon". (See attached fee schedule).

THE APPLICATION WILL BE CONSIDERED INCOMPLETE IF ANY REQUIRED INFORMATION IS NOT SUBMITTED.


APPLICANT SHALL FILE A COPY OF ANY PROPOSED REGULATION AMENDMENT, ZONE CHANGE, OR WETLANDS REDESIGNATION WITH THE TOWN CLERK TEN (10) DAYS PRIOR TO THE HEARING AS PER SECTIONS 8-3(a) AND (d) AND 22a-42a (b) OF THE GENERAL STATUTES. CERTIFICATION OF THE FILING UNDER THESE SECTIONS BY THE APPLICANT MUST BE PRESENTED AT THE PUBLIC HEARING.

Per Connecticut General Statutes (CGS) Section 8-26: If an application submitted to the Planning & Zoning Commission (PZC) involves any activity or area regulated under the wetlands statutes, an application for this activity must be filed with the Inland Wetlands Commission (IWC) on or before the day the Planning & Zoning Commission (PZC) application is filed by the applicant. (TWR Sec. 3.11)

Per CGS Sec. 8-31: If the proposed activity is to take place within a watershed of a Water company, the applicant is required to file a copy of the application with the Water Company via certified mail within seven (7) days of the date of the application. (TWR Sec. 4.3.6).

The applicant, undersigned, has reviewed the "Town of Vernon Planning and Zoning Regulations and Inland Wetlands and Watercourses Regulations" and has prepared this application with complete and accurate information:

Property Owner, Applicant, or Applicant's Agent:

 _____ Signature	1-11-2023 _____ Date
_____ Signature	_____ Date

TO BE FILLED IN BY THE PLANNING DEPARTMENT

Date Application Submitted _____

Date Application Received by Commission _____

PZC File: _____

USE THIS FORM ONLY IF THE REQUIREMENTS OF
8.3(a)/22-a-42a(b) OF THE C.G.S. MUST BE MET

RECEIPT FOR DOCUMENTS SUBMITTED FOR PUBLIC INSPECTION

TO: VERNON TOWN CLERK

FROM:

REFERENCE:

DATE"

The attached documents, consisting of:

- Rockville Aeration & Storage Building Photometric Plan
- Rockville Aeration Building Colorized Architectural Plan
- Rockville Aeration & Storage Building Zoning Plan Set

Are being submitted for public inspection under CGS 8-3(a)/22a-42a (b).

Received: _____

Vernon Town Clerk _____

Signature

Date: _____

41-0115-0010A
BOUCHER BRANDON
7 SNIPSIC ST
VERNON CT 06066-3339

45-0123-00016
LOOM CITY LOFTS OF ROCKVILLE LIMITED
PARTNERSHIP C/O MARC S LEVINE
231 FARMINGTON AVE
FARMINGTON CT 06032

45-0123-00022
GALLANT JAMES J & ARNOLD KATIE L
21 TOLLAND AVE
VERNON CT 06066

41-0115-00011
MULIMUKA LLC
5 MAIN GATE ST
FARMINGTON CT 06032

45-0123-00002
ITALIAN SOCIAL CLUB OF ROCKVILLE INC
PO BOX 192
VERNON CT 06066-0192

45-0123-00023
ASHE THOMAS B
23 TOLLAND AVE
VERNON CT 06066

41-0115-00013
BAILEY ERICK
193 EAST MAIN ST
VERNON CT 06066

45-0123-00003
CONNECTICUT WATER CO
93 WEST MAIN ST
CLINTON CT 06413-1600

45-0123-00024
CROMWELL LINDA R
25 TOLLAND AVE
VERNON CT 06066-3809

41-0115-00008
NUMRYCH DOROTHY M
15 SNIPSIC ST
VERNON CT 06066-3339

45-0123-0018A
LISSABET CORBIN
5 TOLLAND AVE
VERNON CT 06066

45-0123-00025
SOUCIER BRETT & KIMBERLY
29 TOLLAND AVE
VERNON CT 06066

41-0115-00012
ROOSEVELT ACQUISITIONS CO INC
C/O JONE & GRANT
101 WEST 55TH ST
NEW YORK NY 10019-5343

45-0123-00004
CONNECTICUT WATER COMPANY THE
93 WEST MAIN ST
CLINTON CT 06413-1645

45-0123-00026
LUDDECKE THERESA C & LUCCECKE MAXWEL
31 TOLLAND AVE
VERNON CT 06066-3809

41-0115-00010
ALBANO DANIEL KENNETH
5 SNIPSIC ST
VERNON CT 06066

45-0123-00019
CONNECTICUT WATER COMPANY THE
93 WEST MAIN ST
CLINTON CT 06413

45-0123-00009
CONNECTICUT WATER CO
93 WEST MAIN ST
CLINTON CT 06413-1600

41-0115-00009
PARKER LINCOLN
11 SNIPSIC ST
VERNON CT 06066

45-0123-00020
HELDMANN JAMES D
15 TOLLAND AVE
VERNON CT 06066

45-0123-00008
NEAULT RICHARD J
24 SNIPSIC ST
VERNON CT 06066

41-0115-0007A
SMITH MARK T & AMY T
21 SNIPSIC ST
VERNON CT 06066

45-0123-00021
PILLARD WILLIAM S & ASHLEY M
17 TOLLAND AVE
VERNON CT 06066

45-0123-00010
CONNECTICUT WATER CO
93 WEST MAIN ST
CLINTON CT 06413-1600

45-0123-00030
OLSON PATRICIA P TRUSTEE OF THE PATRICIA
P OLSON AMENDED & RESTATED REVOCABLE TRU
39 TOLLAND AVE
VERNON CT 06066

45-0123-0022A
EDWARDS NORINE Z
19 TOLLAND AVE
VERNON CT 06066-3809

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CONNECTICUT WATER CO
93 WEST MAIN ST
CLINTON CT 06413-1600

45-0123-0029A
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P OLSON AMENDED AND RESTATED REVOCABLE T
39 TOLLAND AVE
VERNON CT 06066

45-0123-00005
CONNECTICUT WATER COMPANY THE
93 WEST MAIN ST
CLINTON CT 06413

45-0123-0007A
SETSKY SUSAN M ESTATE OF
C/O DAVID M SETSKY ADMIN
30 SNIPSIC ST
VERNON CT 06066-3340

45-0123-00007
BROWN JAUZAN A & DAVIS TAHARA VENTRICE
28 SNIPSIC ST
VERNON CT 06066

45-0123-00017
CONNECTICUT WATER CO
93 WEST MAIN ST
CLINTON CT 06413-1600

45-0125-00030
LIEBE MICHAEL P & MEGAN A
6 TOLLAND AVE
VERNON CT 06066-3810

45-0125-00001
ST BERNARDS R C CH CEMETERY
C/O ST BERNARDS RECTORY
VERNON CT 06066-3258

41-0115-00007
ANDERSON JUSTIN
25 SNIPSIC ST
VERNON CT 06066



TOWN OF VERNON

55 WEST MAIN STREET, VERNON, CT 06066

(860) 870-3640

astephens@vernon-ct.gov

OFFICE OF THE
TOWN PLANNER

January 26, 2023

Ms. Kathleen Pagan, Town Clerk
21 Tolland Green, 5th Level
Tolland, CT 06084

Sent via Certified Mail# 7017 0190 0001 1557 5364

Dear Ms. Pagan:

Pursuant to Connecticut General Statutes Section 8-7d(f), please accept this notification of a pending application received by the Town of Vernon Planning and Zoning Commission.

Public Notice
Town of Vernon

The Vernon Planning & Zoning Commission (PZC) will hold the following public hearing at a regular meeting on Thursday, February 16, 2023 at 7:30 p.m. This meeting will be held at Vernon Town Hall, 14 Park Place, 3rd Floor Council Chambers.

Application [**PZ-2023-02**] of the Town of Vernon's Planning Department, for a proposed 5,207-foot building for aeration equipment and storage for reservoir related equipment. This will require two special permits as the property is within 200 feet of residential properties and the aggregate square footage of all buildings on the parcel exceeds 25,000 square feet.

The application is attached. If you have any questions or wish to review the file, please feel free to contact me.

With regards,

Ashley Stephens
Town Planner
Vernon, CT



TOWN OF VERNON

55 WEST MAIN STREET, VERNON, CT 06066

(860) 870-3640

astephens@vernon-ct.gov

OFFICE OF THE
TOWN PLANNER

January 26, 2023

Ms. Donna Hosey, Town Clerk
55 Main St.
P.O. Box 158
Ellington, CT 06029

Sent via Certified Mail# 7017 0190 0001 1557 5371

Dear Ms. Hosey:

Pursuant to Connecticut General Statutes Section 8-7d(f), please accept this notification of a pending application received by the Town of Vernon Planning and Zoning Commission.

Public Notice
Town of Vernon

The Vernon Planning & Zoning Commission (PZC) will hold the following public hearing at a regular meeting on Thursday, February 16, 2023 at 7:30 p.m. This meeting will be held at Vernon Town Hall, 14 Park Place, 3rd Floor Council Chambers.

Application [PZ-2023-02] of the Town of Vernon's Planning Department, for a proposed 5,207-foot building for aeration equipment and storage for reservoir related equipment. This will require two special permits as the property is within 200 feet of residential properties and the aggregate square footage of all buildings on the parcel exceeds 25,000 square feet.

The application is attached. If you have any questions or wish to review the file, please feel free to contact me.

With regards,

Ashley Stephens
Town Planner
Vernon, CT

November 7, 2022

Ashley Stephens, Town Planner
Town of Vernon, Planning and Development
55 West Main Street, 2nd Floor
Vernon, CT 06066

Rockville Water Treatment Plant: New Aeration Building

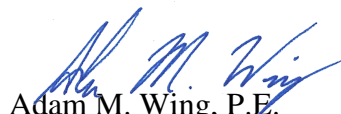
Dear Ms. Stephens:

The Connecticut Water Company (CWC) met with the Town of Vernon regarding the addition of a new aeration building at the Rockville Water Treatment Plant site (10 Snipsic St., Vernon, CT). During that meeting it was communicated to CWC that having drainage calculations for the project would not be required so long as CWC could show how the project was designed to mitigate surface runoff and how CWC planned to direct flow in the opposite direction of Snipsic St.

The site plan sheet 00 C-102 will serve as the figure to show the basis for the flow direction of storm water runoff. Looking at the site plan: the exterior east wall of the proposed aeration building shows a spot elevation of 527.00 ft., directly in front of the garage bay doors. Moving east, and away from the garage doors, the edge of the pavement apron continues down to a lower elevation of 526.30 ft. Moving north from the apron's edge the elevation transitions higher, as is shown with spot elevations moving from 526.47 and continuing above to 527.00 ft.

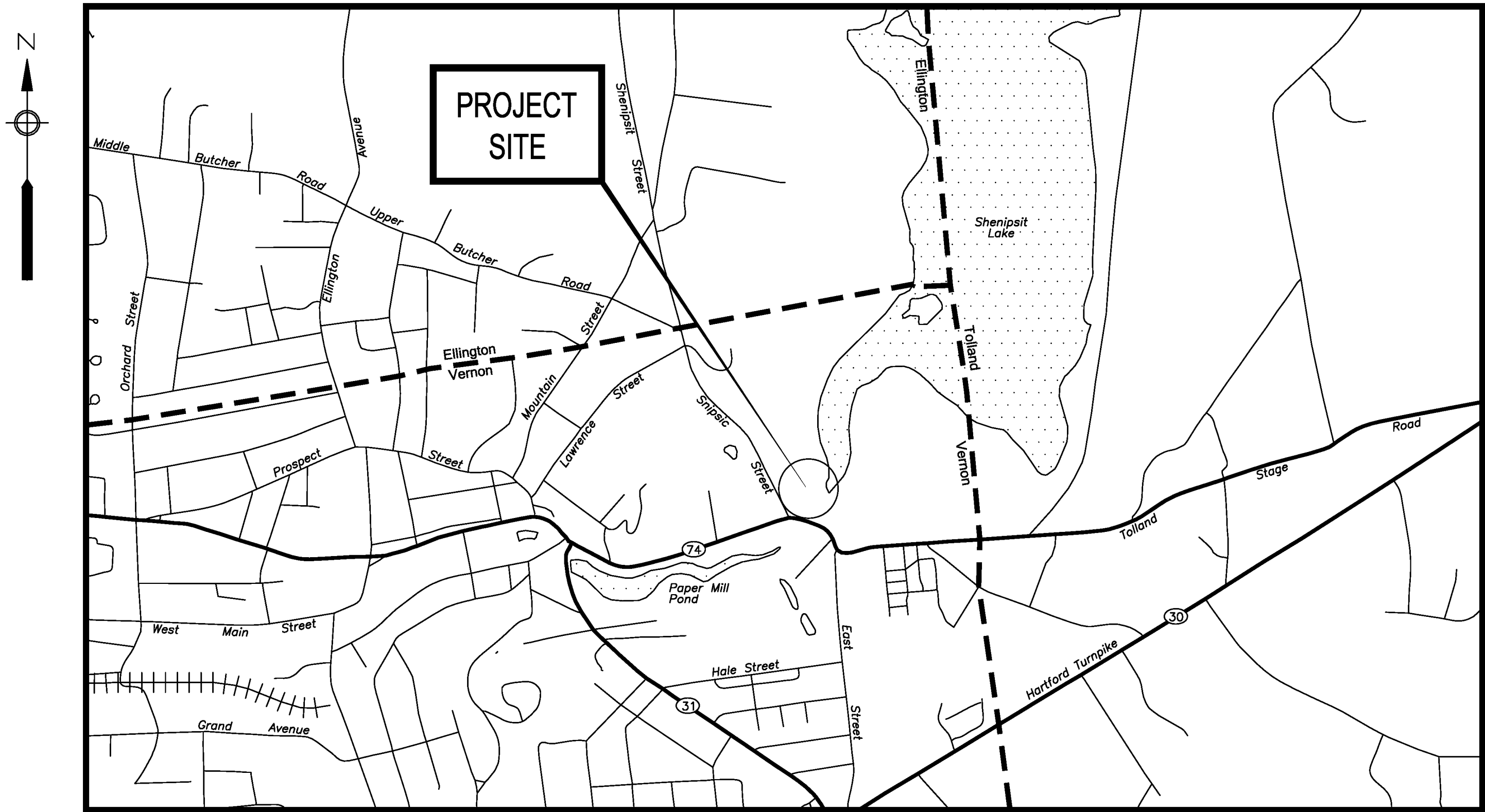
Utilizing these contours to the north to our benefit, we are able to direct the flow of surface runoff to the south, where it will naturally follow the contours southeast to the toe of the reservoir dam in the Hockanum River. There is a natural break point in the contours at the top of the access road at the south of property and aeration building. However, the natural flow of water from the roof and apron of the new aeration building will divert water to the southeast of the property. This will end up having the same or better result than the current site does at managing runoff during storm events. The existing site runoff splits flow and allows more storm water runoff down the south access road and into Snipsic St. The new plan and proposed work diverts nearly all storm water runoff towards the Hockanum River.

Respectfully,

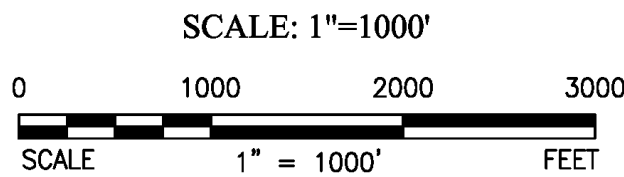
A handwritten signature in blue ink, appearing to read "Adam M. Wing".

Adam M. Wing, P.E.
Project Engineer

Connecticut Water Company
Rockville Water Treatment Plant
Storage And Aeration Building
August 2022



Location Plan



Notes

1) THIS SURVEY PLAN HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTION 20-300B-1 THROUGH 20-300B-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF THE LAND SURVEYORS, INC. ON OCTOBER 26, 2016.
A. TYPE OF SURVEY: TOPOGRAPHIC.
B. WITH RESPECT TO THE PERIMETER OF THE PROPERTY THE BOUNDARY DETERMINATION IS BASED UPON A FIRST SURVEY.
C. THIS SURVEY CONFORMS TO THE STANDARDS AND THE ACCURACY OF CLASS: A-2 HORIZONTAL & T-2 TOPOGRAPHIC ACCURACY.
D. BEARINGS AS DEPICTED ARE BASED UPON THE CONNECTICUT GRID SYSTEM NORTH AMERICAN DATUM OF 1983.

Subject Parcel Information

OWNER: THE CONNECTICUT WATER COMPANY
PARCEL ADDRESS: 10 SNIPSIC STREET, VERNON, CONNECTICUT 06066
MAILING ADDRESS: 93 WEST MAIN STREET, CLINTON, CONNECTICUT 06413
PARCEL ID: MAP 45 BLOCK 0123 LOT 0003
DEED: VOLUME 351 PAGE 39
LAND USE ZONE: RW (RESTRICTED WATERSHED)
AREA: 3,708,263.00 SQ. FT. ± OR 85.13 ACRES ±
FLOOD ZONE: ZONE X & ZONE AE PER FIRM MAP COMMUNITY PANEL #090131-0005C DATED AUGUST 9, 1999

SHEET DESIGNATION LEGEND

STRUCTURE NUMBER
DISCIPLINE
SHEET NUMBER
00 G-001

INDEX OF DRAWINGS

SHEET NO. TITLE

GENERAL

00 G-001 COVER SHEET, LOCATION PLAN
00 G-002 LOCATION MAP OVERVIEW

CIVIL

00 C-001 LEGEND, ABBREVIATIONS AND GENERAL NOTES
00 C-101 EXISTING CONDITIONS, EROSION CONTROL AND DEMOLITION PLAN
00 C-102 SITE PLAN
99 C-501 DETAILS I
99 C-502 DETAILS II

ARCHITECTURAL

00 A-001 ARCHITECTURAL SYMBOLS, NOTES, AND ABBREVIATIONS
10 A-001 LIFE SAFETY PLANS
10 A-101 GRADE LEVEL PLAN
10 A-102 ROOF PLAN
10 A-201 BUILDING ELEVATIONS I
10 A-202 BUILDING ELEVATIONS II
10 A-301 BUILDING SECTIONS
10 A-302 WALL SECTIONS

PROJECT

CWC ROCKVILLE
STORAGE AND
AERATION BUILDING

Rockville Water Treatment Plant
16 Snipsic Street, Vernon CT 06066

CLIENT

CONNECTICUT WATER
COMPANY

93 WEST MAIN STREET
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CONSULTANT

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LAND SURVEYOR

GESICK & ASSOCIATES, P.C.

SURVEYORS ↑ MAPPERS ↑ PLANNERS
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OFFICE: 860-669-7799 FAX: 860-669-5833
www.gesicksurveyors.com

REGISTRATION

ISSUE/REVISION

I/R	DATE	DESCRIPTION
1	9-6-2022	Revised Per Town Requirements

PROJECT NUMBER

60674415

Designed By:	B. SADOWSKI
Drawn By:	M. THIBODEAU
Dept Check:	C. BENZIGER
Proj Check:	S. DEFRANCESCO
Date:	AUGUST 2022
Scale:	AS NOTED

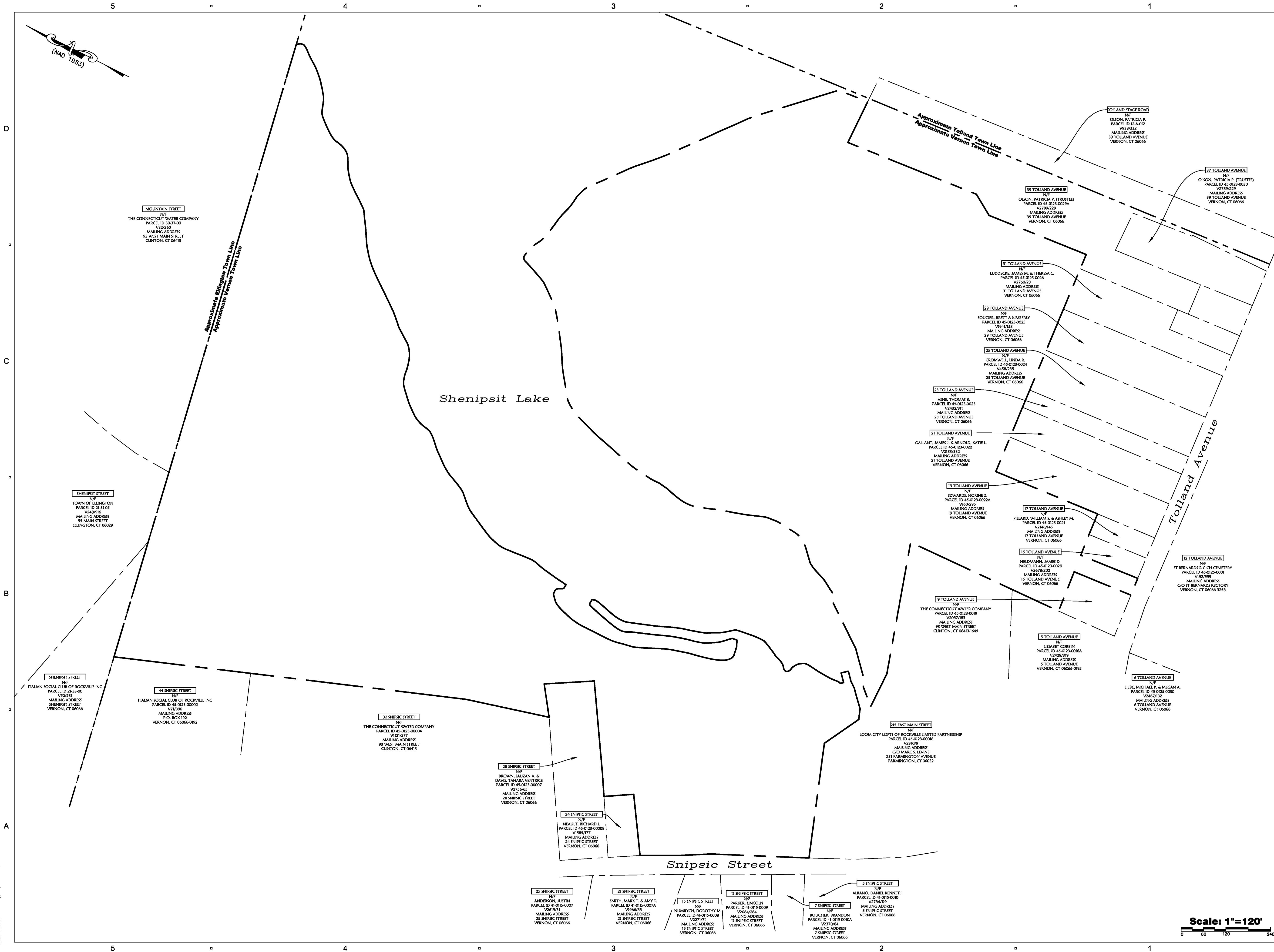
DISCIPLINE

GENERAL
SHEET TITLE

COVER SHEET,
LOCATION PLAN AND
INDEX OF DRAWINGS
SHEET NUMBER

00 G-001

PATHTITLENAME: Z:\GESICK\VERNON\ROCKVILLE TREATMENT PLANT\22-12\TITLE SHEET.DWG
LAST UPDATE: Tuesday, September 6, 2022 12:52:18 PM
PLOT DATE: Tuesday, September 6, 2022 12:55:37 PM



PROJECT

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Designed By:

Drawn By: P. HALSALL

Dept Check:

Proj Check:

Date: AUGUST 2022

Scale: AS NOTED

DISCIPLINE

GENERAL
SHEET TITLE

**LOCATION MAP
OVERVIEW**

SHEET NUMBER

00 G-002

PATNFILENAME: Z:\GESICK\2\VERNON\ROCKVILLE TREATMENT PLANT\22-CTA000 C-001- SHEET 3.DWG
LAST UPDATE: Tuesday, November 8, 2022 10:48:50 AM
PLOT DATE: Tuesday, November 8, 2022 10:50:19 AM

GENERAL NOTES

- IT IS THE INTENT OF THE CONTRACT DOCUMENTS TO PRESCRIBE A COMPLETE WORK OR IMPROVEMENT. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND ANY REQUIREMENTS INDICATED IN ONE OF THE DOCUMENTS IS AS BINDING AS HAVING BEEN INDICATED IN ALL.
- HORIZONTAL LOCATIONS SHOWN ARE REFERENCED TO THE CT STATE PLANE COORDINATE SYSTEM, NAD83. VERTICAL DATUM IS NGVD 88.
- BASE MAPPING PREPARED BY GESICK & ASSOCIATES, P.C. FROM A 6/29/2021 THRU 6/30/2021 FIELD SURVEYS.
- BOUNDARY LINES OF ADJOINING PROPERTIES ARE SHOWN FOR GENERAL INFORMATION PURPOSES ONLY AND ARE NOT TO BE CONSTRUCTED AS BEING ACCURATELY LOCATED OR DEPICTED.
- THE FLOOD ZONE BOUNDARIES SHOWN WERE DERIVED UTILIZING FLOOD INSURANCE RATE MAPS. THE FLOOD ZONE BOUNDARIES WERE DIGITIZED AND ARE TO BE CONSIDERED AS APPROXIMATE ONLY AND FOR INFORMATIONAL PURPOSES ONLY.
- UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING AND LIMITED FIELD MEASUREMENTS. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO GESICK & ASSOCIATES. P.C. THE SIZE LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4435.
- TREES SHOWN ON THIS MAP WERE FIELD LOCATED BUT ARE NOT SHOWN TO SCALE.
- ALL PIPES SHALL SLOPE UNIFORMLY BETWEEN ELEVATIONS SHOWN UNLESS OTHERWISE INDICATED ON THE DRAWINGS OR DIRECTED BY THE ENGINEER. NO SAGS OR CRESTS IN PIPING WILL BE PERMITTED.
- ERECT EROSION CONTROL CHECKS PRIOR TO COMMENCING ANY EXCAVATION OR STORAGE OF BACKFILL MATERIAL ON-SITE.
- EXCAVATION OF ANY TYPE SHALL BE ACCOMPLISHED IN SUCH A MANNER THAT UNDERGROUND UTILITIES OR STRUCTURES ARE NOT DAMAGED. ALL ROADWAYS, AND OTHER STRUCTURES DISTURBED BY CONSTRUCTION IN OR OUTSIDE THE PROJECT AREA SHALL BE RETURNED TO THEIR ORIGINAL CONDITION OR BETTER AND SHALL BE GRADED TO MEET PROPOSED CONSTRUCTION.
- NECESSARY MEASURES AND CONTINUOUS BARRIERS OF SUFFICIENT TYPE, SIZE AND STRENGTH SHALL BE PROVIDED, AS APPLICABLE, TO PREVENT ACCESS TO ALL OPEN EXCAVATIONS AT THE COMPLETION OF EACH DAYS WORK.
- STOCKPILING OF CONSTRUCTION MATERIALS WITHIN 50 FT. OF WATERWAYS IS PROHIBITED.
- EXISTING UTILITIES INTERFERING WITH THE WORK SHALL BE RELOCATED AS DIRECTED.
- EXACT HORIZONTAL LOCATION OF PIPE TO BE INSTALLED SHALL MATCH AS CLOSELY AS POSSIBLE TO THE LOCATION SHOWN ON THE PLANS. PLACEMENT OF FITTINGS, ETC. MAY VARY FROM PLAN LOCATIONS ACCORDING TO LAYING LENGTHS OF PIPE.
- PIPING WHICH IS EXPOSED DURING EXCAVATION AND IS NOT TO BE DEMOLISHED, SHALL BE SUPPORTED, BRACED OR OTHERWISE PROTECTED DURING CONSTRUCTION ACTIVITIES.
- FINAL GRADING SHALL BE UNIFORM BETWEEN SPOT ELEVATIONS AND CONTOURS.
- AREAS ADJACENT TO NEW CONSTRUCTION SHALL BE FILLED AND GRADED FOR POSITIVE DRAINAGE.
- ALL AREAS OF EXCAVATION, BACKFILL, FILL AND GRADING SHALL BE RETURNED TO THE ORIGINAL GRADE UNLESS SHOWN ON THE DRAWINGS.
- ALL COVERS, FRAMES, AND GRATES FROM STRUCTURES WHICH ARE ABANDONED UNDER THIS CONTRACT SHALL BE PROTECTED FROM DAMAGE AND SHALL BE TURNED OVER TO THE CWC.
- ALL UTILITY BOXES, FRAMES, GRATES, ETC. NOT TO BE ABANDONED SHALL BE RESET TO THE PROPER GRADE.
- EXISTING TREES, BUSHES, AND SHRUBS SHALL BE PROTECTED FROM DAMAGE UNLESS IN DIRECT CONFLICT WITH PROPOSED STRUCTURES, ROADWAYS, OR PATHS.
- UNPAVED AREAS TO BE DISTURBED SHALL BE CLEARED AND GRUBBED, IF REQUIRED, AND RESTORED WITH LOAM AND SEED.
- INTERRUPTION TO WATER AND OTHER UTILITIES SHALL BE COORDINATED WITH THE CWC.
- ALL BURIED WATER AND DRAIN PIPES SHALL HAVE A MINIMUM 4 FEET DEPTH OF COVER.
- ALL MATERIALS AND EQUIPMENT COMING INTO CONTACT WITH POTABLE WATER SHALL COMPLY WITH ANSI/NSF STANDARD 61.

GEOTECHNICAL NOTES

- FOR EARTH EXCAVATION, BACKFILL, FILL AND GRADING SEE SPECIFICATION 02210.
- FOR TEMPORARY EXCAVATION SUPPORT SYSTEM SEE SPECIFICATION 02160.
- BORING LOCATIONS ARE SHOWN ON THE PLANS AND BORING LOGS ARE BOUND IN THE SPECIFICATIONS.
- BORINGS WERE TAKEN FOR PURPOSES OF DESIGN AND INDICATE SUBSURFACE CONDITIONS AT BORING LOCATION ONLY. SUBSURFACE CONDITIONS MAY VARY FROM THOSE SHOWN IN THE LOG.

ABBREVIATIONS

AG	ABOVE GRADE
BF	BLIND FLANGE
BFV	BUTTERFLY VALVE
BIT.	BITUMINOUS
BND	BOUND
BWW	BACKWASH WATER
CA	COMPRESSED AIR
CB	CATCH BASIN
CHEM	CHEMICAL
CI	CAST IRON
C.O.	CLEANOUT
CONC.	CONCRETE
D	DRAIN
DI	DUCTILE IRON
DIA.	DIAMETER
DMH	DRAIN MANHOLE
DW	DEWATERING
EL.	ELEVATION
EQ	EQUALIZATION
EXIST.	EXISTING
FES	FLARED END SECTION
FFE	FINISHED FLOOR ELEVATION
FIL	FILTERED WATER
FIN	FINISHED WATER
FTW	FILTER TO WASTE
HYD	HYDRANT
INV.	INVERT
MH	MANHOLE
NAT.	NATURAL
NG	NATURAL GAS
OV	OVERFLOW
OHW	OVERHEAD WIRE
PERF	PERFORATED
PROP	PROPOSED
PVC	POLYVINYL CHLORIDE
RCP	REINFORCED CONCRETE PIPE
REC	RECYCLE
RED.	REDUCER
RET.	RETAINING
RW	RAW WATER
S	SLOPE
SAM	SAMPLE LINE
SAN	SANITARY SEWER
SL	SLUDGE
SMH	SEWER MANHOLE
STA.	STATION
SWW	SPENT WASH WATER
V	VENT
W	WATER
WM	WATER METER
YH	YARD HYDRANT

LEGEND

EXISTING

	PROPERTY LINE
	MONUMENT OR IRON PIPE FOUND
	STRUCTURE
	CONTOUR
	INDEX CONTOUR
	SPOT ELEVATION
	CHAINLINK FENCE
	WOOD FENCE LINE
	GUARDRAIL
	CONCRETE RETAINING WALL
	TREE LINE
	CONIFEROUS TREE
	DECIDUOUS TREE
	UTILITY POLE
	UTILITY POLE & GUY WIRE
	LIGHT POLE
	FIRE HYDRANT WITH VALVE
	VALVE
	WATER SHUTOFF VALVE
	CATCH BASIN
	MANHOLE
	PIPE
	SEWER PIPE
	DRAIN PIPE
	PIPE TEE
	PIPE 90° BEND
	PIPE 45° BEND
	PIPE REDUCER
	BORING

PROPOSED

LIMIT OF WORK	
LIMIT OF WATERSHED PROTECTION ZONE	
SIDE YARD SETBACK	
COMPOST FILTER TUBE	
DEMOLITION	
STRUCTURE	
SINGLE OR DOUBLE DOOR	
GUARD POST	
SPLASH GUARD	
CONTOUR	
SPOT ELEVATION	
BIT. CONC. WALKWAY	
CRUSHED STONE MOWING STRIP	
CONCRETE	
BIT. CONC. PAVEMENT	
POTABLE WATER PIPE	
SANITARY SEWER PIPE	
GAS PIPE	
DIRECTION OF FLOW	
TEST PIT	
HYDRANT	

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Designed By:	B. SADOWSKI
Drawn By:	M. THIBODEAU
Dept Check:	C. BENZIGER
Proj Check:	S. DEFRANCESCO
Date:	AUGUST 2022
Scale:	AS NOTED

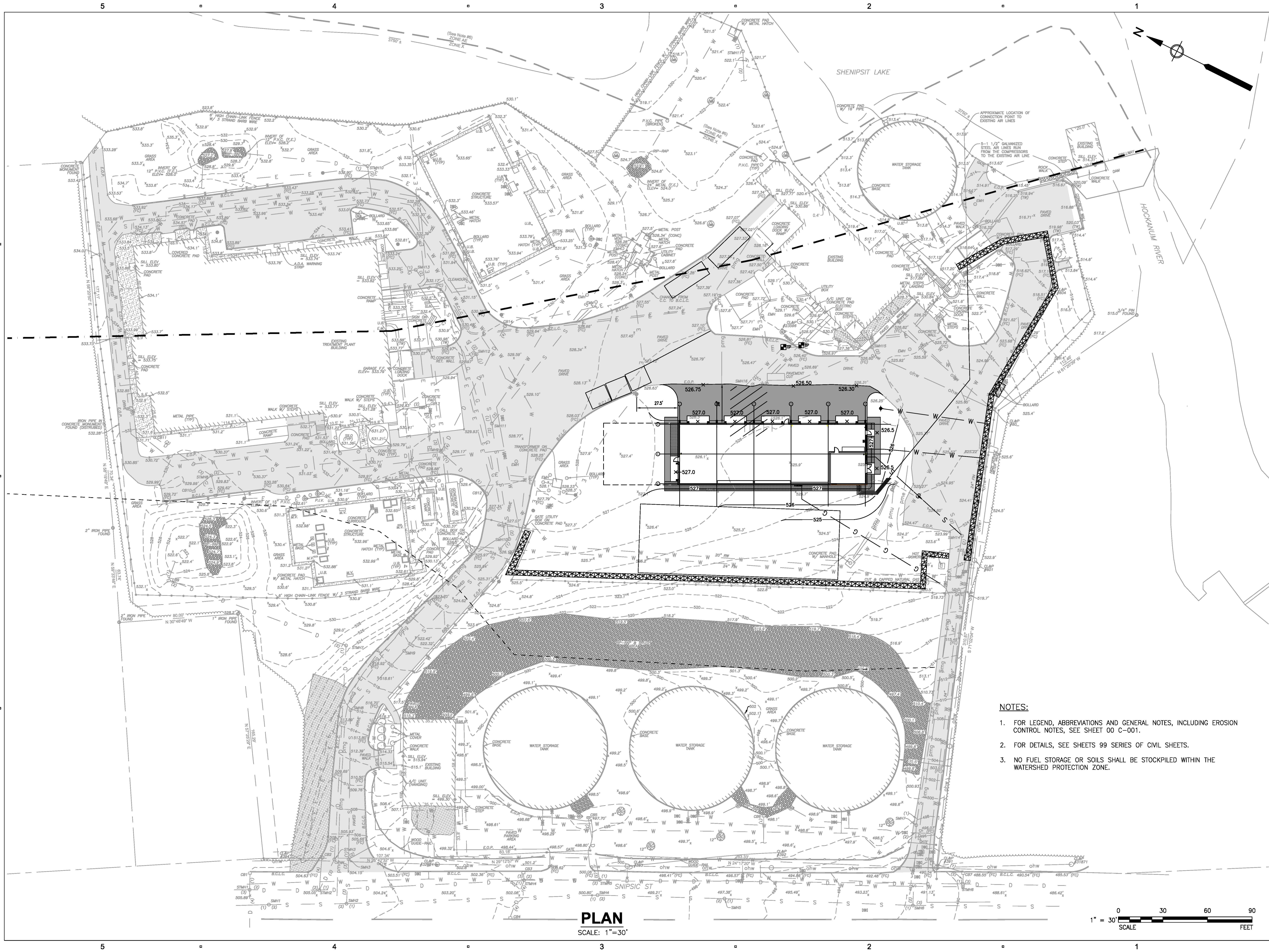
DISCIPLINE

CIVIL
SHEET TITLE

**LEGEND,
ABBREVIATIONS AND
GENERAL NOTES
SHEET NUMBER**

00 C-001

PATFILENAME: Z:\GESICK\VERNONROCKVILLE TREATMENT PLANT\22-17A00 C-101- SHEET 1.DWG
LAST UPDATE: Tuesday, November 8, 2022 10:46:50 AM
PLOT DATE: Tuesday, November 8, 2022 10:58:17 AM



NOTES:

1. FOR LEGEND, ABBREVIATIONS AND GENERAL NOTES, INCLUDING EROSION CONTROL NOTES, SEE SHEET 00 C-001.
2. FOR DETAILS, SEE SHEETS 99 SERIES OF CIVIL SHEETS.
3. NO FUEL STORAGE OR SOILS SHALL BE STOCKPILED WITHIN THE WATERSHED PROTECTION ZONE.

PROJECT

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Designed By:	B. SADOWSKI
Drawn By:	M. THIBODEAU
Dept Check:	C. BENZIGER
Proj Check:	S. DEFRANCESCO
Date:	AUGUST 2022
Scale:	AS NOTED

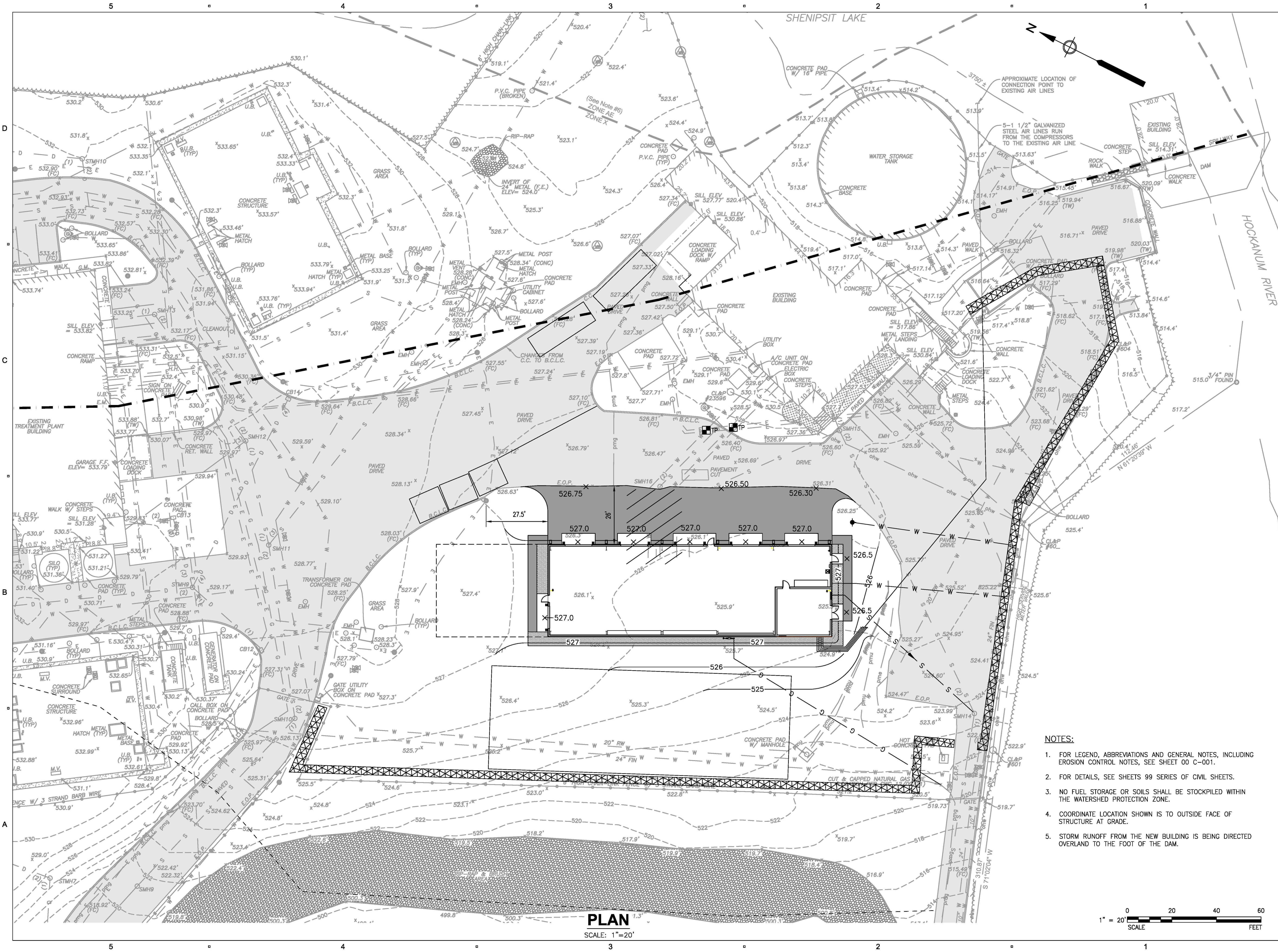
DISCIPLINE

CIVIL
SHEET TITLE

**EXISTING CONDITIONS,
EROSION CONTROL AND
DEMOLITION PLAN**
SHEET NUMBER

00 C-101

PATNFILENAME: Z:\GESICK\VERNON\ROCKVILLE TREATMENT PLANT\23-17A00 C-102- SHEET-1.DWG
LAST UPDATE: Tuesday, September 6, 2022 10:02 PM
PLOT DATE: Tuesday, November 8, 2022 10:56:50 AM



PLAN
SCALE: 1"=20'

PROJECT
**CWC ROCKVILLE
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AERATION BUILDING**

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Date:	AUGUST 2022
Scale:	AS NOTED

DISCIPLINE

CIVIL
SHEET TITLE

SITE PLAN

SHEET NUMBER

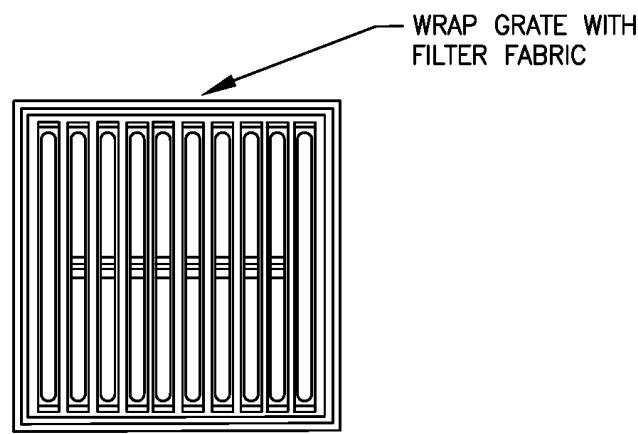
00 C-102

- NOTES:**
- FOR LEGEND, ABBREVIATIONS AND GENERAL NOTES, INCLUDING EROSION CONTROL NOTES, SEE SHEET 00 C-001.
 - FOR DETAILS, SEE SHEETS 99 SERIES OF CIVIL SHEETS.
 - NO FUEL STORAGE OR SOILS SHALL BE STOCKPILED WITHIN THE WATERSHED PROTECTION ZONE.
 - COORDINATE LOCATION SHOWN IS TO OUTSIDE FACE OF STRUCTURE AT GRADE.
 - STORM RUNOFF FROM THE NEW BUILDING IS BEING DIRECTED OVERLAND TO THE FOOT OF THE DAM.

CONSTRUCTION SEQUENCE

TO MINIMIZE EROSION AND SEDIMENTATION DUE TO CONSTRUCTION, THE CONTRACTOR SHALL FOLLOW THIS GENERAL CONSTRUCTION SEQUENCE. MODIFICATIONS TO THE SEQUENCE NECESSARY TO THE CONTRACTOR'S SCHEDULE SHALL INCLUDE APPROPRIATE TEMPORARY AND PERMANENT EROSION AND SEDIMENTATION CONTROL MEASURES.

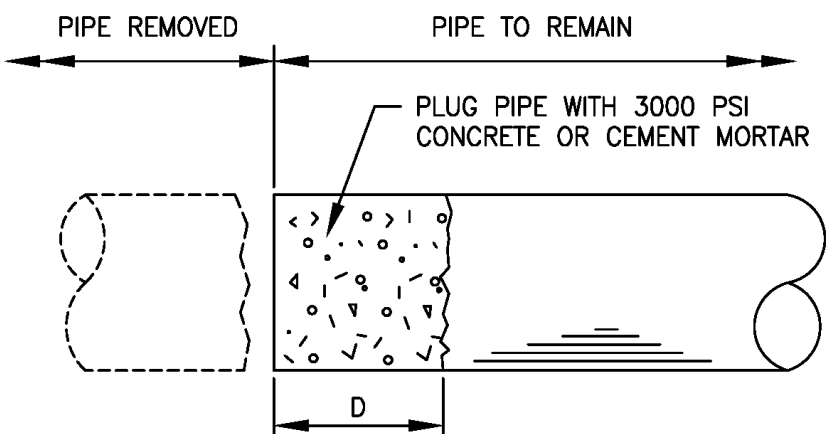
1. INSTALL ALL PERIMETER EROSION PROTECTION MEASURES AS INDICATED ON THE PLANS AND AS INDICATED BY THE EROSION PROTECTION NOTES PRIOR TO THE COMMENCEMENT OF EARTH WORK.
2. DURING CONSTRUCTION EVERY EFFORT SHALL BE MADE TO MANAGE SURFACE RUN-OFF QUALITY.
3. A SILT FENCE OR COMPOST FILTER TUBE SHALL BE CONSTRUCTED AROUND MATERIAL STOCKPILES IN A MANNER TO PROVIDE ACCESS AND AVOID EROSION OUTSIDE OF THE AREA.
4. CONSTRUCT TEMPORARY CULVERTS AND DIVERSIONS CHANNELS AS REQUIRED.
5. BEGIN PERMANENT AND TEMPORARY INSTALLATION OF SEED, MULCH AND RIP RAP.
6. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT FENCES, SEDIMENT TRAPS, ETC. MULCH AND SEED AS REQUIRED.
7. REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDED AREAS HAVE BECOME FIRMLY ESTABLISHED AND CONSTRUCTION IS COMPLETE.
8. DURING THE COURSE OF THE WORK AND UPON COMPLETION, THE CONTRACTOR SHALL REMOVE ALL SEDIMENT DEPOSITS, EITHER ON OR OFF SITE, FROM DRAIN PIPES, DITCHES, CURB LINES, ETC., RESULTING FROM SOIL EROSION AND/OR CONSTRUCTION OPERATIONS. MATERIAL SHALL NOT BE DEPOSITED NEAR WETLANDS AND/OR WATER COURSES.



NOTES:

1. RESET CATCH BASIN GRATE WRAPPED IN FILTER FABRIC.
2. FREQUENTLY INSPECT AND PROMPTLY REPAIR OR REPLACE FABRIC.
3. KEEP SEDIMENT LEVEL IN EACH CATCH BASIN SUMP LOW ENOUGH TO AVOID SEDIMENT ENTERING DISCHARGE PIPING.

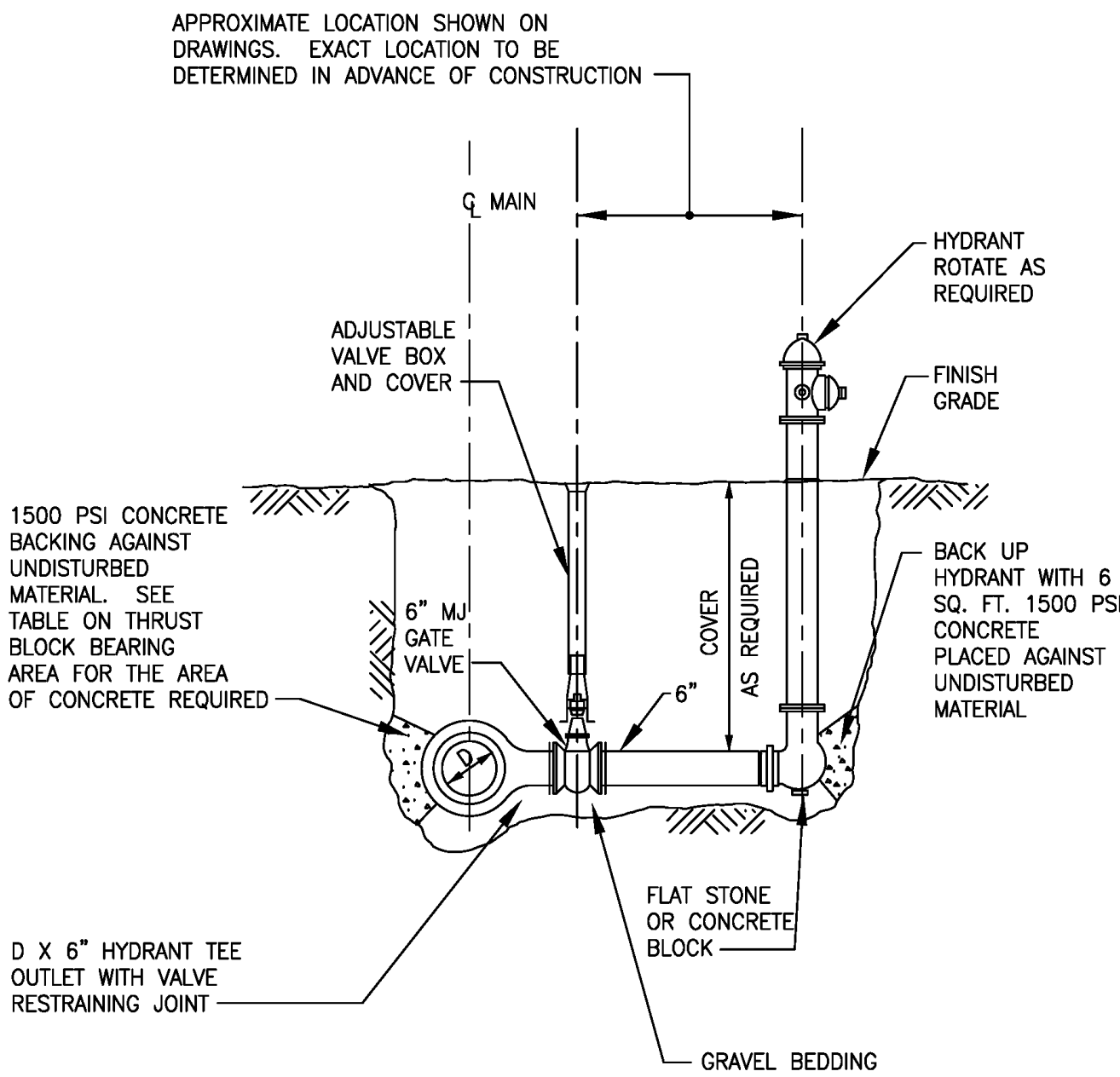
CATCH BASIN
WITH SEDIMENTATION CONTROL
NOT TO SCALE



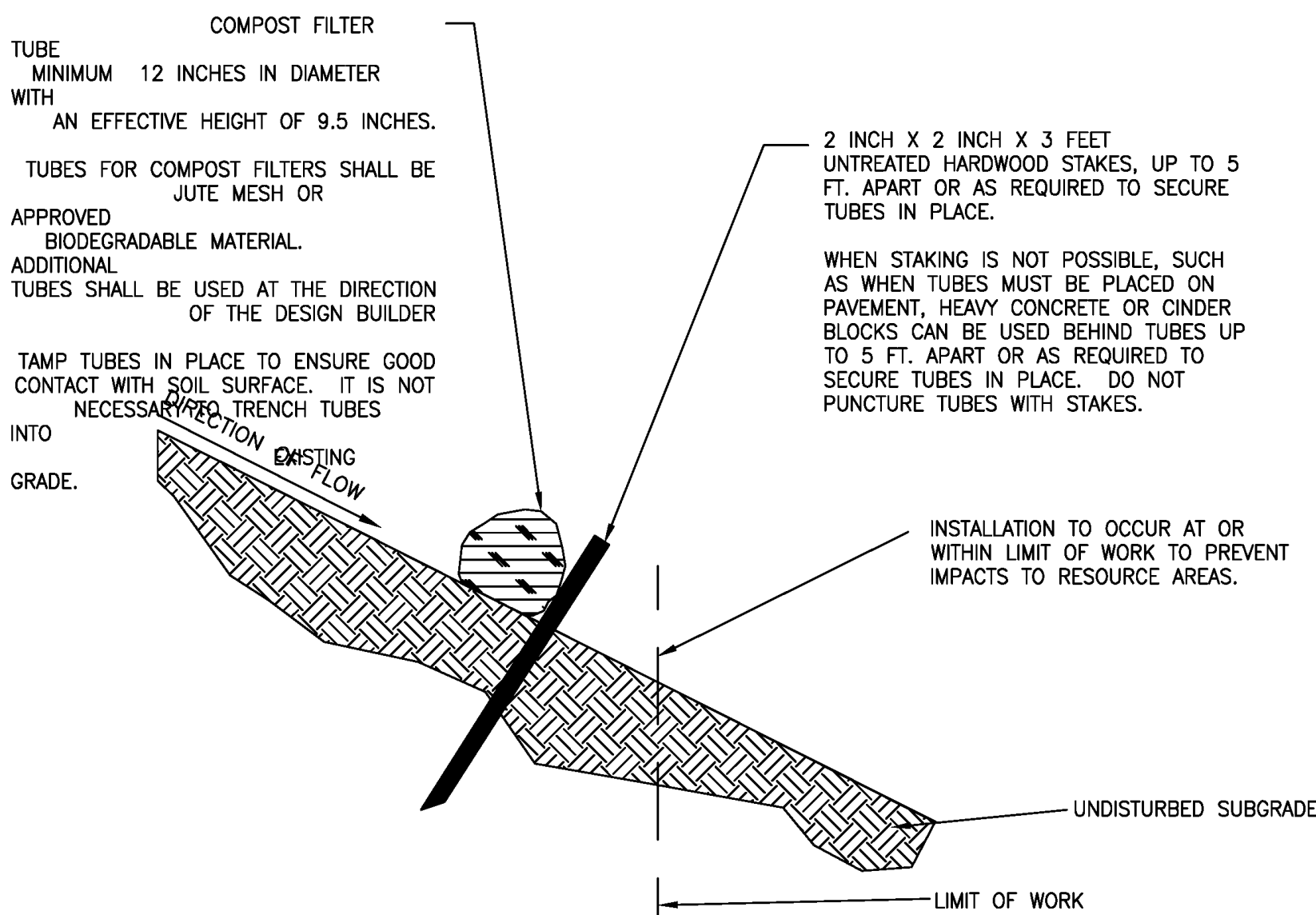
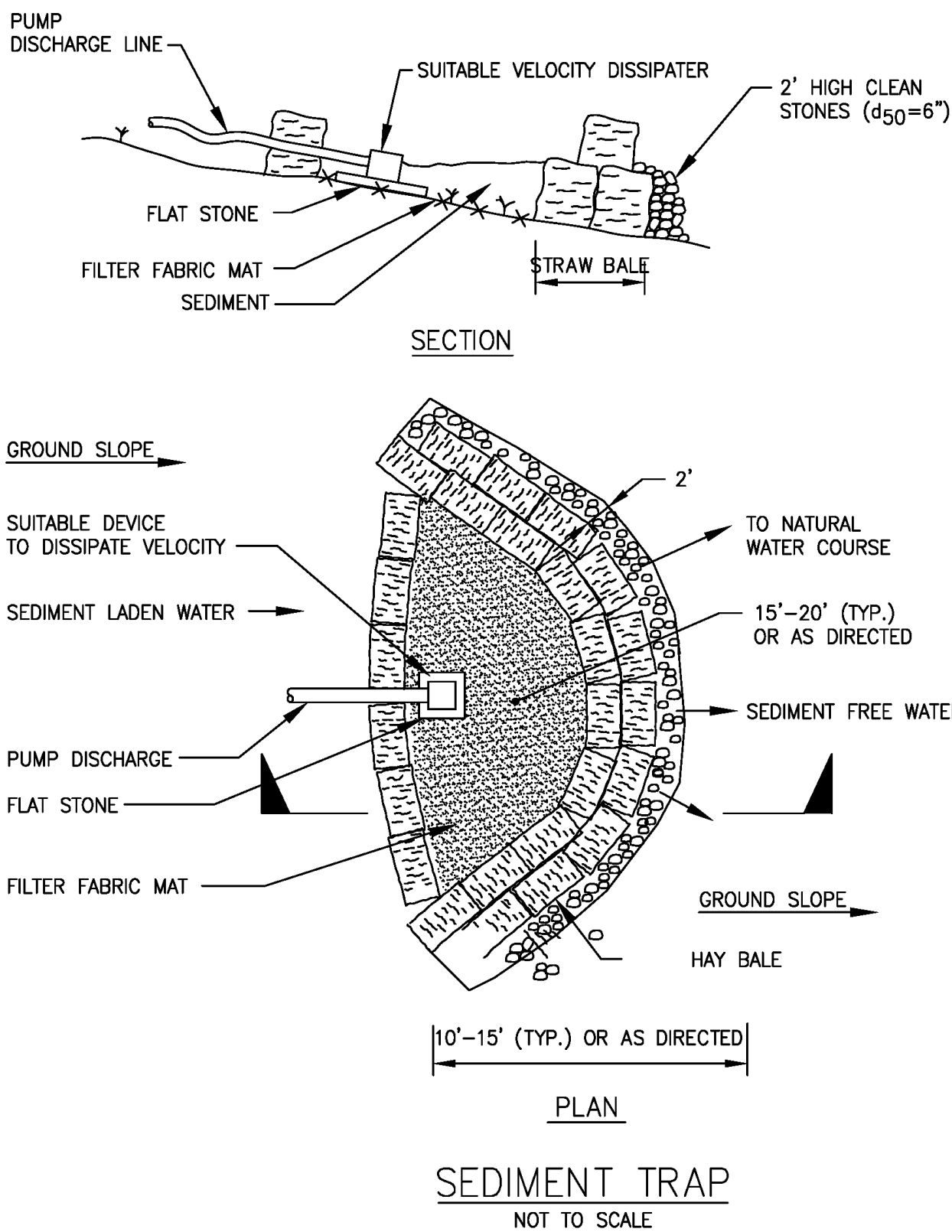
NOTES:

1. PLUG ALL ABANDONED PIPES AT THEIR TERMINATIONS.
2. DEPTH OF PLUG (D) SHALL BE EQUAL TO DIAMETER OF PIPE (12" MIN.).

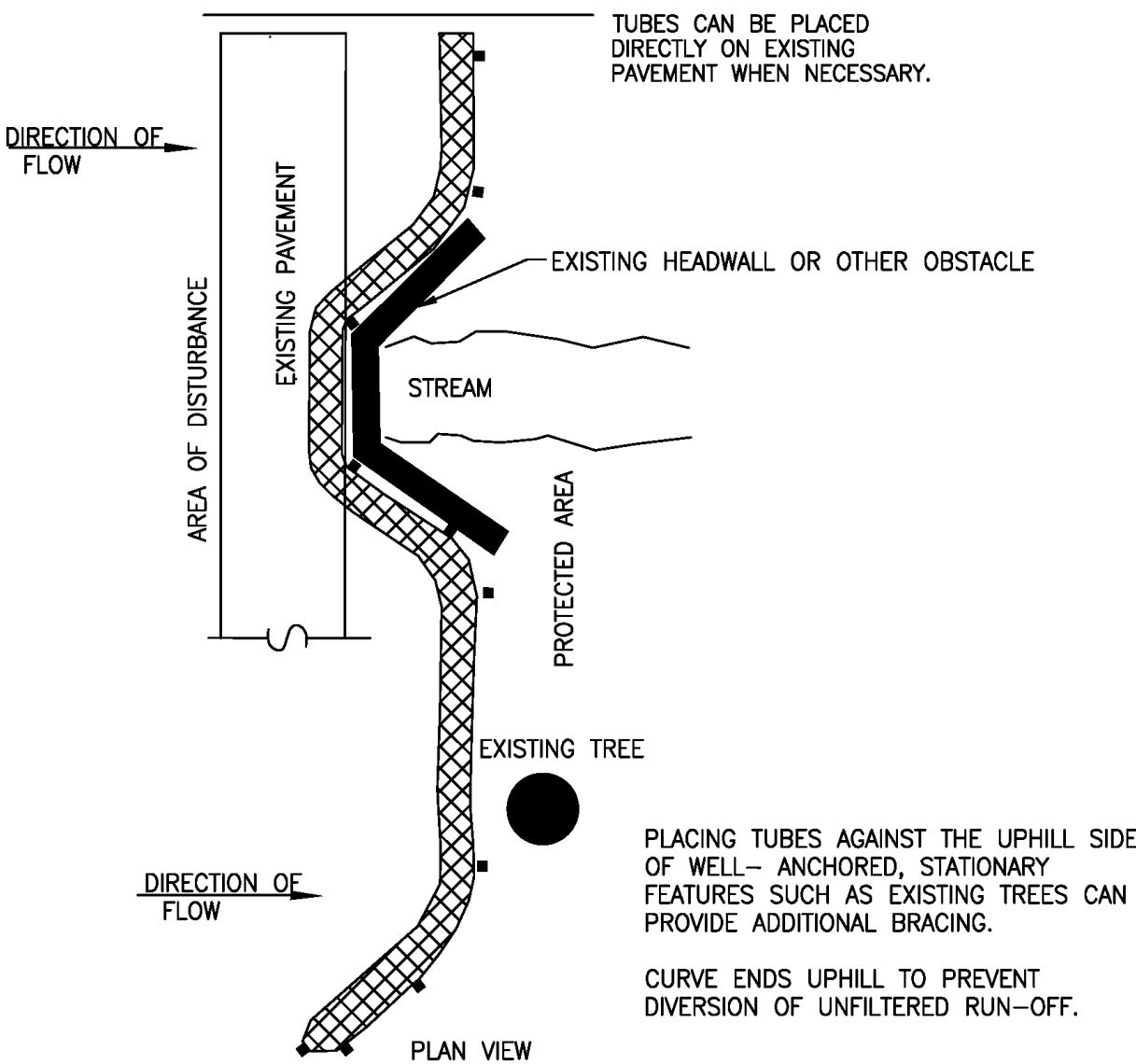
TYPICAL PIPE PLUGGING DETAIL
NTS



TYPICAL HYDRANT ASSEMBLY WITHOUT DRAIN
NTS
2-1.21.1 (REV. 12-15-94)

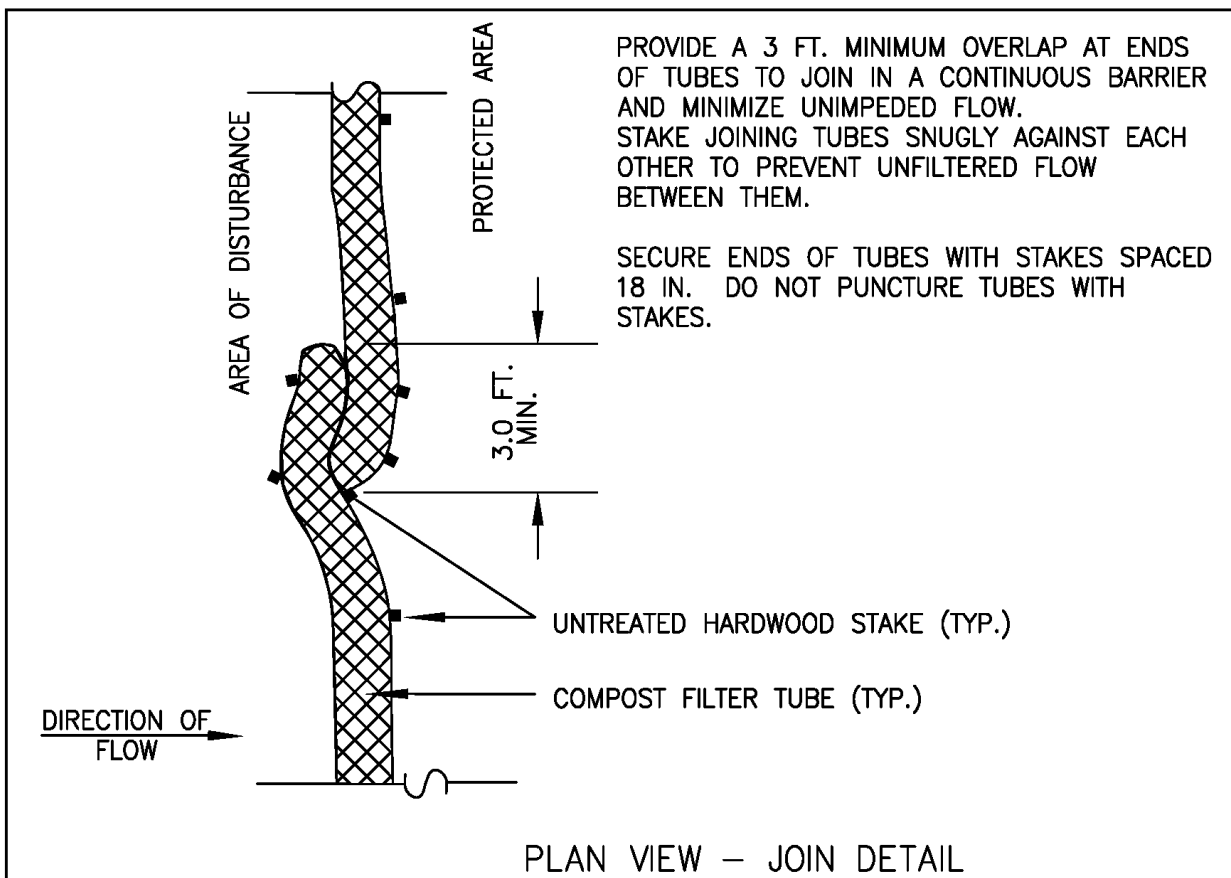


SINGLE COMPOST FILTER TUBE DETAIL
NOT TO SCALE



GENERAL NOTES:

1. PROVIDE A MINIMUM TUBE DIAMETER OF 12 INCHES FOR SLOPES UP TO 50 FEET IN LENGTH WITH A SLOPE RATIO OF 3H:1V OR STEEPER. LONGER SLOPES OF 3H:1V MAY REQUIRE LARGER TUBE DIAMETER OR ADDITIONAL COURSING OF FILTER TUBES TO CREATE A FILTER BERM. REFER TO MANUFACTURER'S RECOMMENDATIONS FOR SITUATIONS WITH LONGER OR STEEPER SLOPES.
2. INSTALL TUBES ALONG CONTOURS AND PERPENDICULAR TO SHEET OR CONCENTRATED FLOW.
3. DO NOT INSTALL IN PERENNIAL, EPHEMERAL OR INTERMITTENT STREAMS.
4. CONFIGURE TUBES AROUND EXISTING SITE FEATURES TO MINIMIZE SITE DISTURBANCE AND MAXIMIZE CAPTURE AREA OF STORMWATER RUN-OFF.



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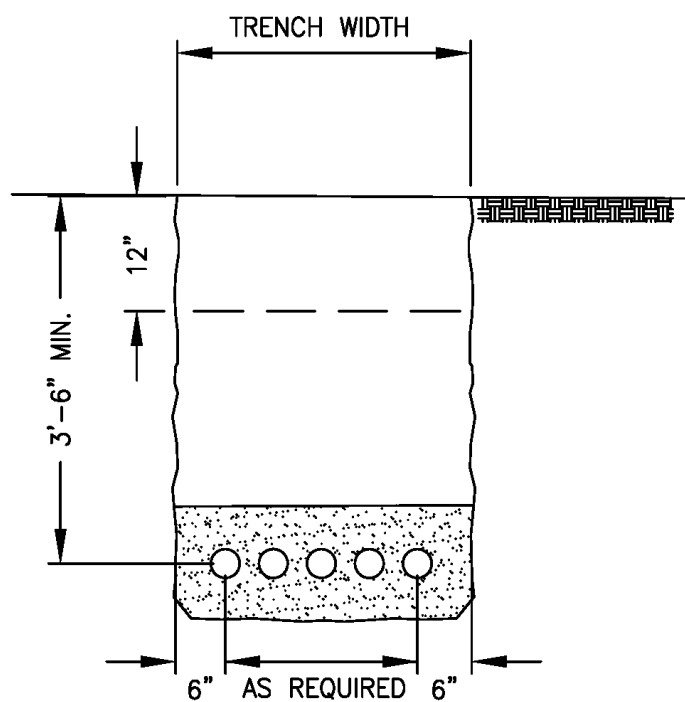
DISCIPLINE

CIVIL
SHEET TITLE

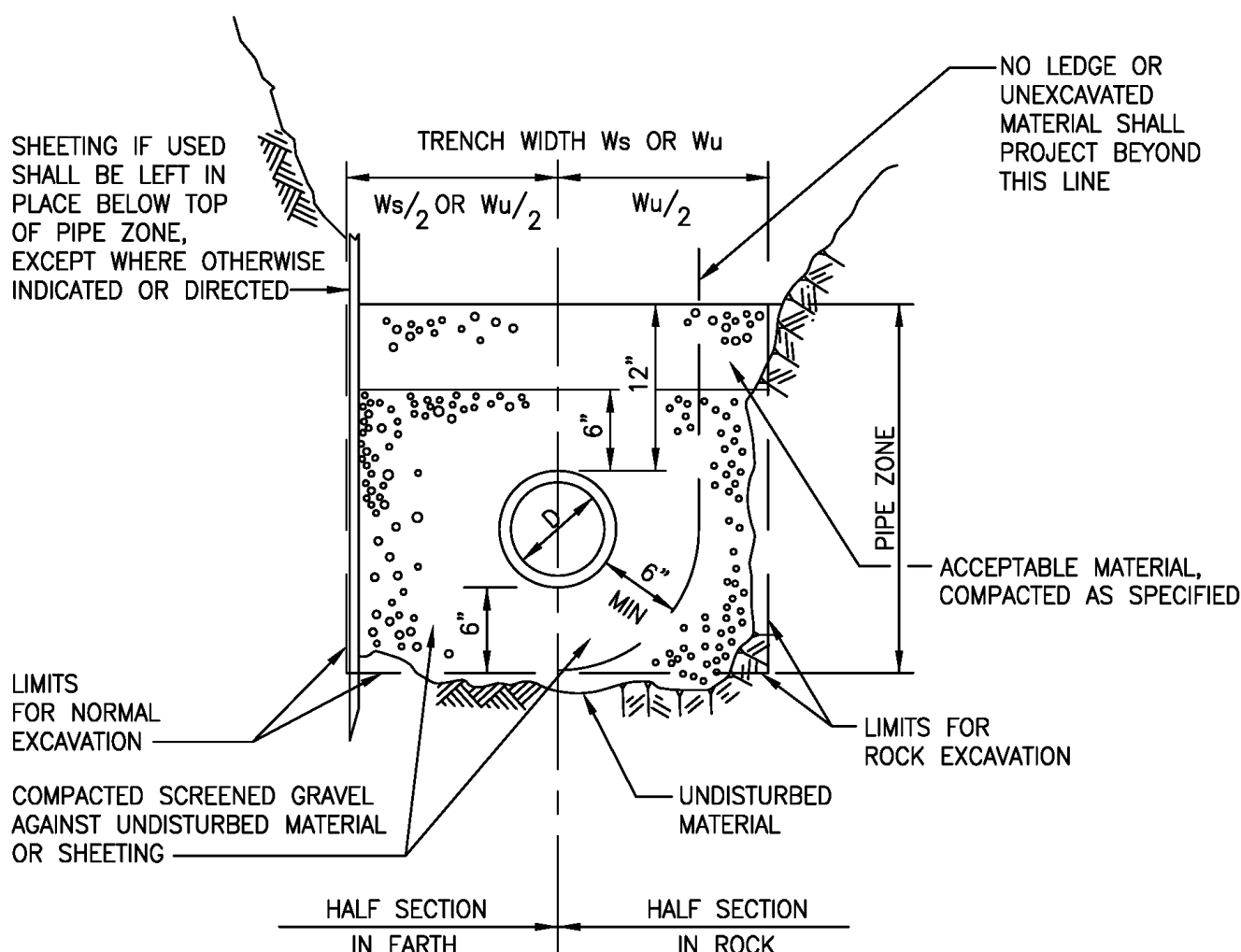
DETAILS I

SHEET NUMBER

99 C-501



TYPICAL UNDERGROUND CONDUIT TRENCH DETAIL
NTS

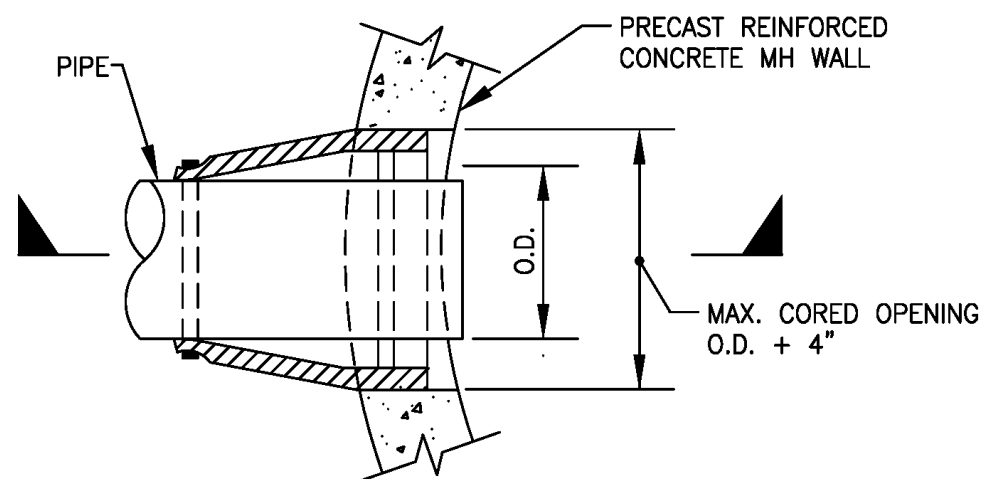


TRENCH SECTION
FOR DI OR PVC PIPE
18 INCH DIAMETER AND SMALLER
NOT TO SCALE

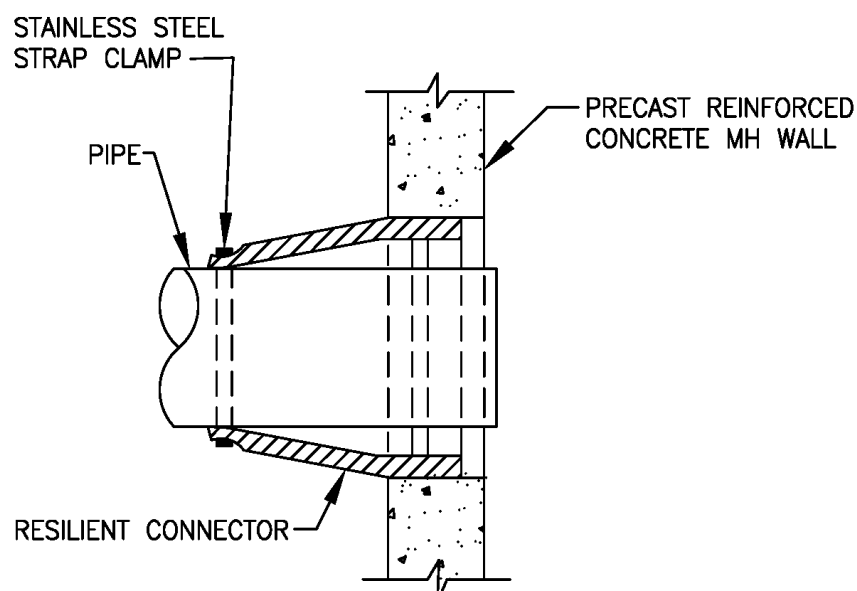
1. ADHERE TO SPECIFIC REQUIREMENTS OUTLINED IN THE GEOTECHNICAL REPORT CONCERNING SELECT AREAS OF PIPE EXCAVATION.
2. PIPE TRENCHES MAY BE EXCAVATED WIDER THAN TRENCH WIDTH W_s (SHEETED) OR W_u (UNSHEETED) ABOVE THE TOP OF PIPE ZONE.
3. TRENCHES SHALL NOT BE EXCAVATED BEYOND THE TRENCH WIDTH W_u BELOW THE TOP OF PIPE ZONE.

MAXIMUM TRENCH WIDTH W_s OR W_u (SEE NOTES 1 & 2)		
NOMINAL PIPE DIAMETER D	W_u UNSHEETED	W_s SHEETED
12" AND SMALLER	5'-0"	5'-0"

GENERAL NOTES FOR PIPE TRENCHES
NOT TO SCALE



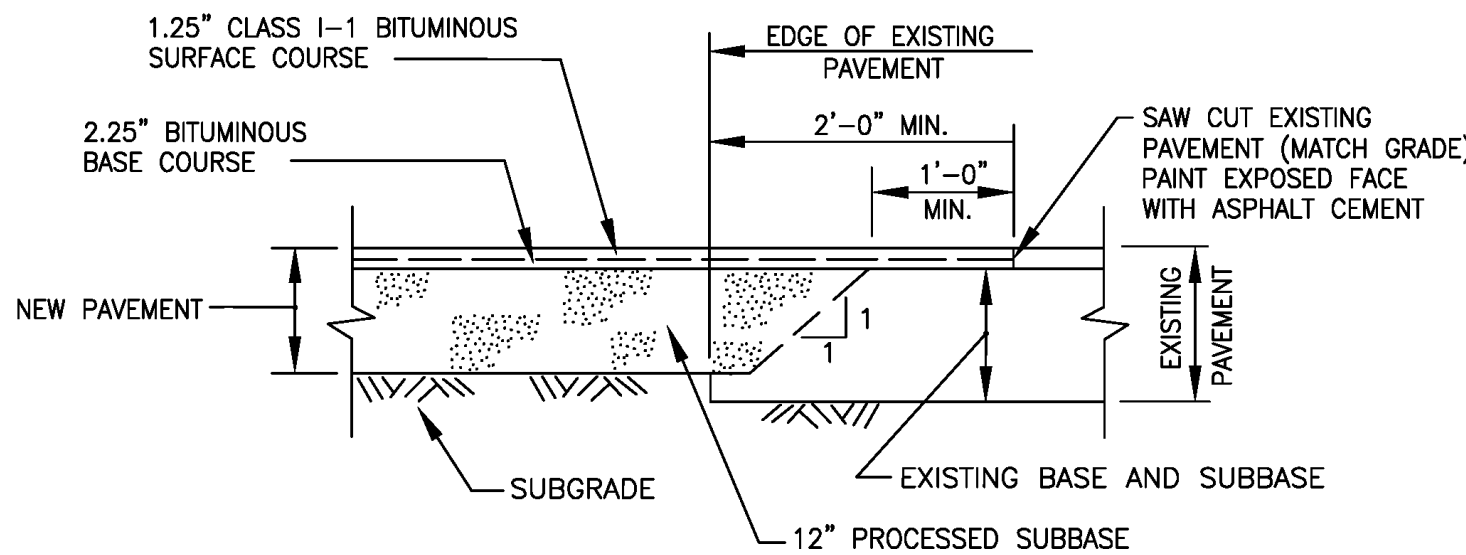
PLAN



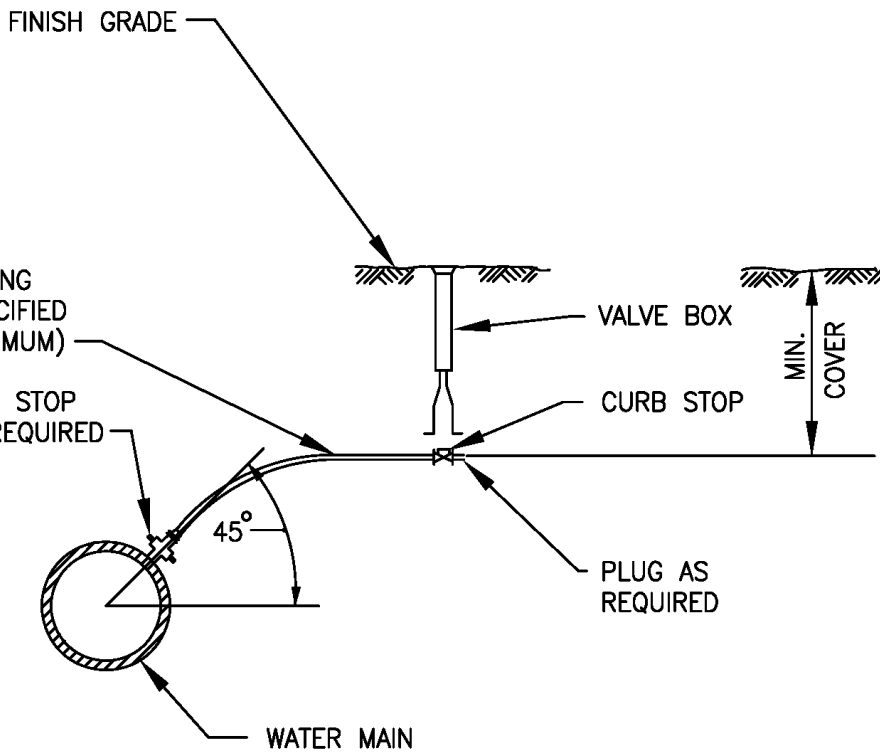
SECTION

WATERTIGHT RESILIENT CONNECTOR
FOR CONNECTING PIPES TO
PRECAST CONCRETE MANHOLES

NOT TO SCALE
2-1.5.62.1 (REV. 4-5-96)

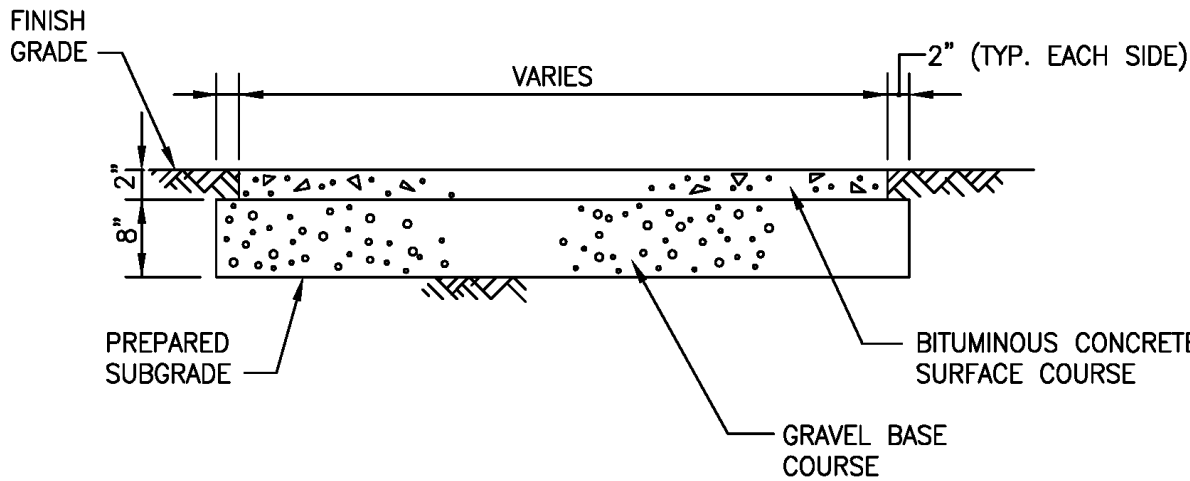


TYPICAL FORMAT OF
PAVEMENT MATCHING DETAIL
NOT TO SCALE



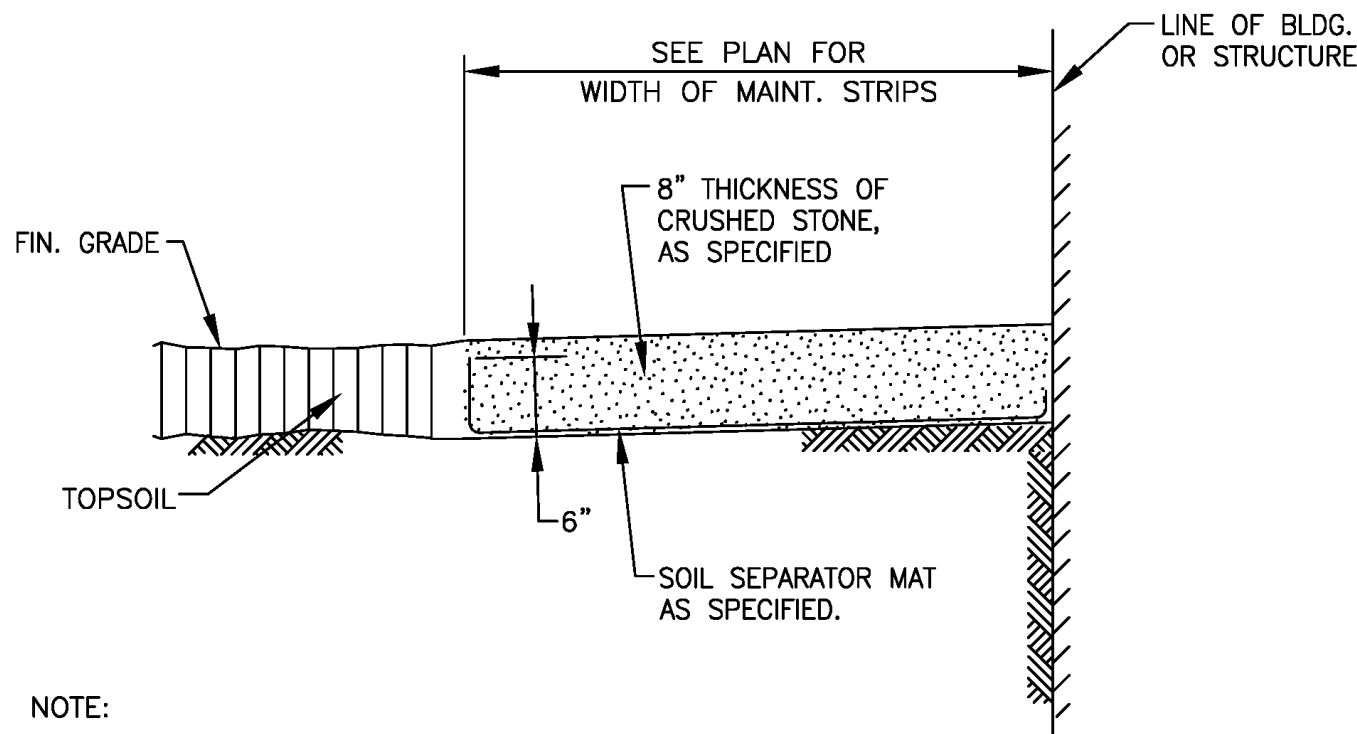
SERVICE CONNECTION

NTS
2-1.20 (REV. 12-15-94)



BITUMINOUS CONCRETE WALKWAY SECTION

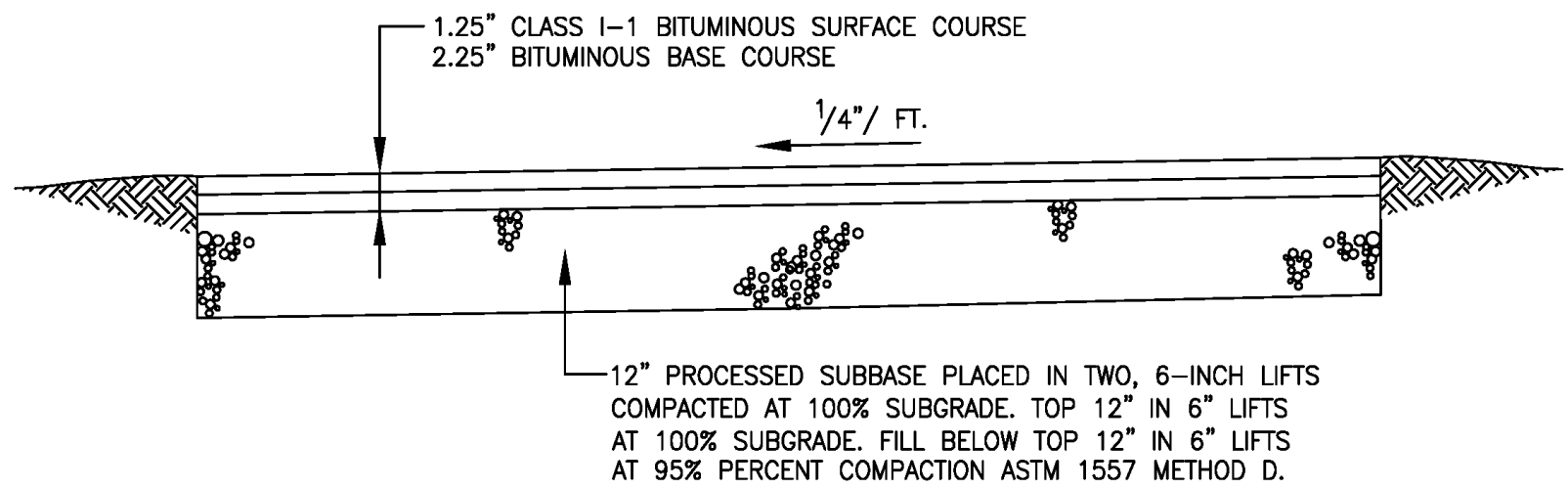
NOT TO SCALE



- NOTE:
1. MATERIALS SPECIFIED IN SPECIFICATION SECTION 02480.

CRUSHED STONE MAINTENANCE STRIP

NOT TO SCALE



NEW PAVEMENT SECTION

NOT TO SCALE

PROJECT

CWC ROCKVILLE
STORAGE AND
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Rockville Water Treatment Plant
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CONSULTANT

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PHONE: (978) 905-2100
www.aecom.com

REGISTRATION

ISSUE/REVISION

I/R	DATE	DESCRIPTION

PROJECT NUMBER

60674415

Designed By:	B. SADOWSKI
Drawn By:	M. THIBODEAU
Dept Check:	C. BENZIGER
Proj Check:	S. DEFRANCESCO
Date:	AUGUST 2022
Scale:	AS NOTED

DISCIPLINE

CIVIL
SHEET TITLE

DETAILS II

SHEET NUMBER

99 C-502

DIMENSIONS

I. DIMENSIONS AND "WORK POINTS" GIVEN ON DRAWING SHALL BE FIELD VERIFIED BY THE CONTRACTOR. FIELD VERIFIED DIMENSIONS SHALL BE USED ON ALL SHOP DRAWINGS.

B. MASONRY DIMENSIONS, INCLUDING BRICK MASONRY AND CONCRETE MASONRY UNIT (CMU), ARE CALLED OUT AS NOMINAL UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL DETERMINE AND COORDINATE ALL MASONRY OPENINGS AND DIMENSIONS. THE NOMINAL BRICK COURSING ILLUSTRATED APPLIES TO NEW CONSTRUCTION ONLY.

C. DIMENSIONS FROM THE STRUCTURAL COLUMN LINE TO THE EXTERIOR FACE OF WALL ARE CALLED OUT AS ACTUAL. OVERALL BUILDING DIMENSIONS ARE CALLED OUT AS ACTUAL. SEE THE ILLUSTRATIONS ON THIS SHEET FOR MORE INFORMATION.

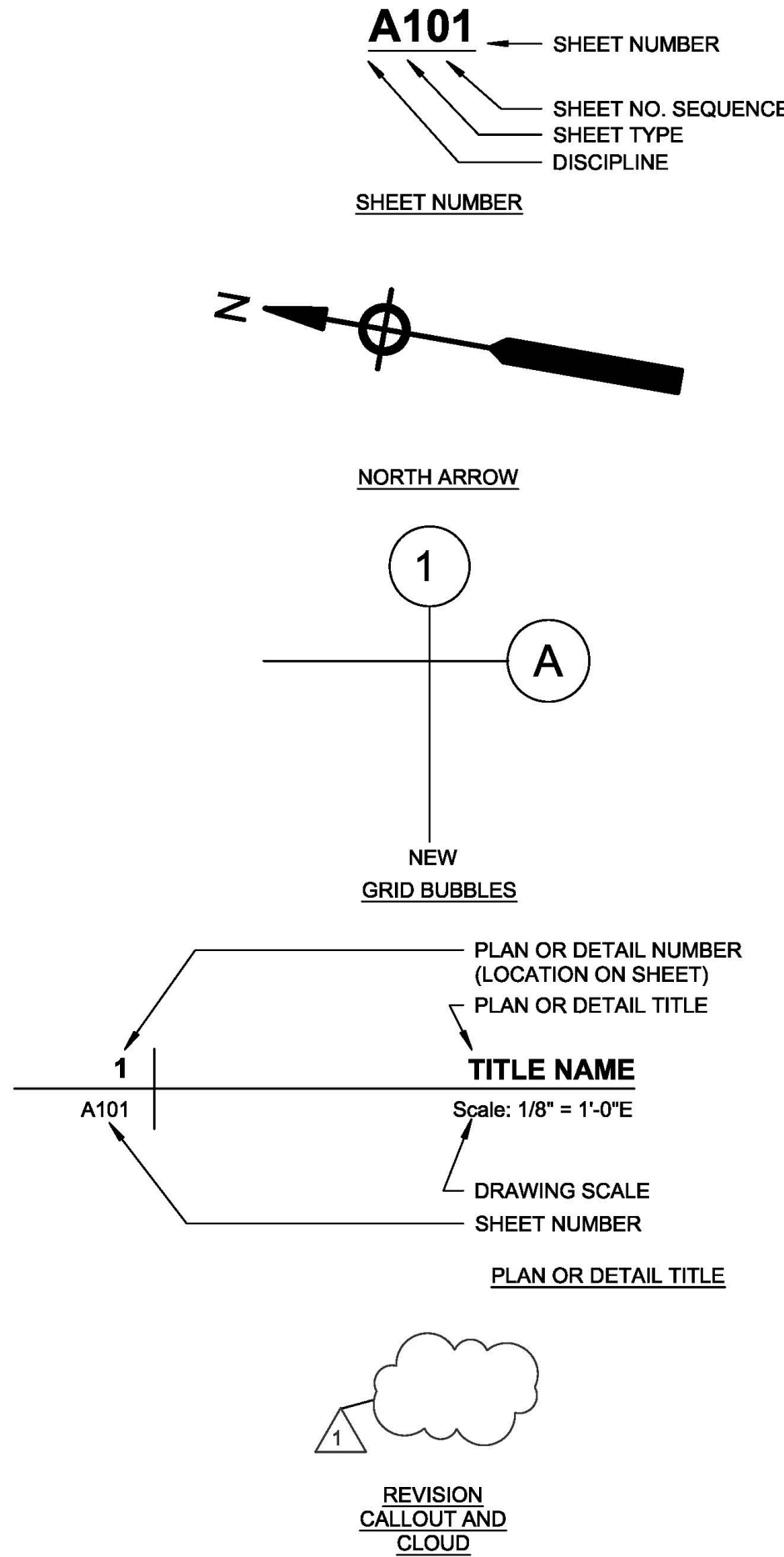
D. ALL DIMENSIONS REQUIRED TO ACCURATELY COORDINATE AND SEQUENCE THE WORK SHALL BE FIELD VERIFIED PRIOR TO THE FABRICATION OF ANY WORK.

II. WHERE THE EXTENT OF A MATERIAL OR FINISH IS INDICATED BY ARROWS ON AN ELEVATION, IT IS INTENDED THAT THE MATERIAL OR FINISH CONTINUE UNINTERRUPTED UNTIL A CHANGE OF MATERIAL IS CALLED OUT. THE EXTENT OF A MATERIAL OR FINISH SHALL INCLUDE HIDDEN VIEWS CREATED BY CHANGES IN PLANE (SUCH AS WALL RETURNS) ALONG AND ELEVATED WALL SURFACE.

III. THE CONTRACT DOCUMENTS DESCRIBE THE TECHNICAL REQUIREMENTS AND FINISHED APPEARANCE OF THIS PROJECT WITHOUT DESCRIBING ALL OF THE CONDITIONS OR REQUIREMENTS WHICH ARE NECESSARY TO PROVIDE COMPLETE BUILDING SYSTEMS AND ASSEMBLIES. STANDARD DETAILS SHALL APPLY AT SIMILAR CONDITIONS.

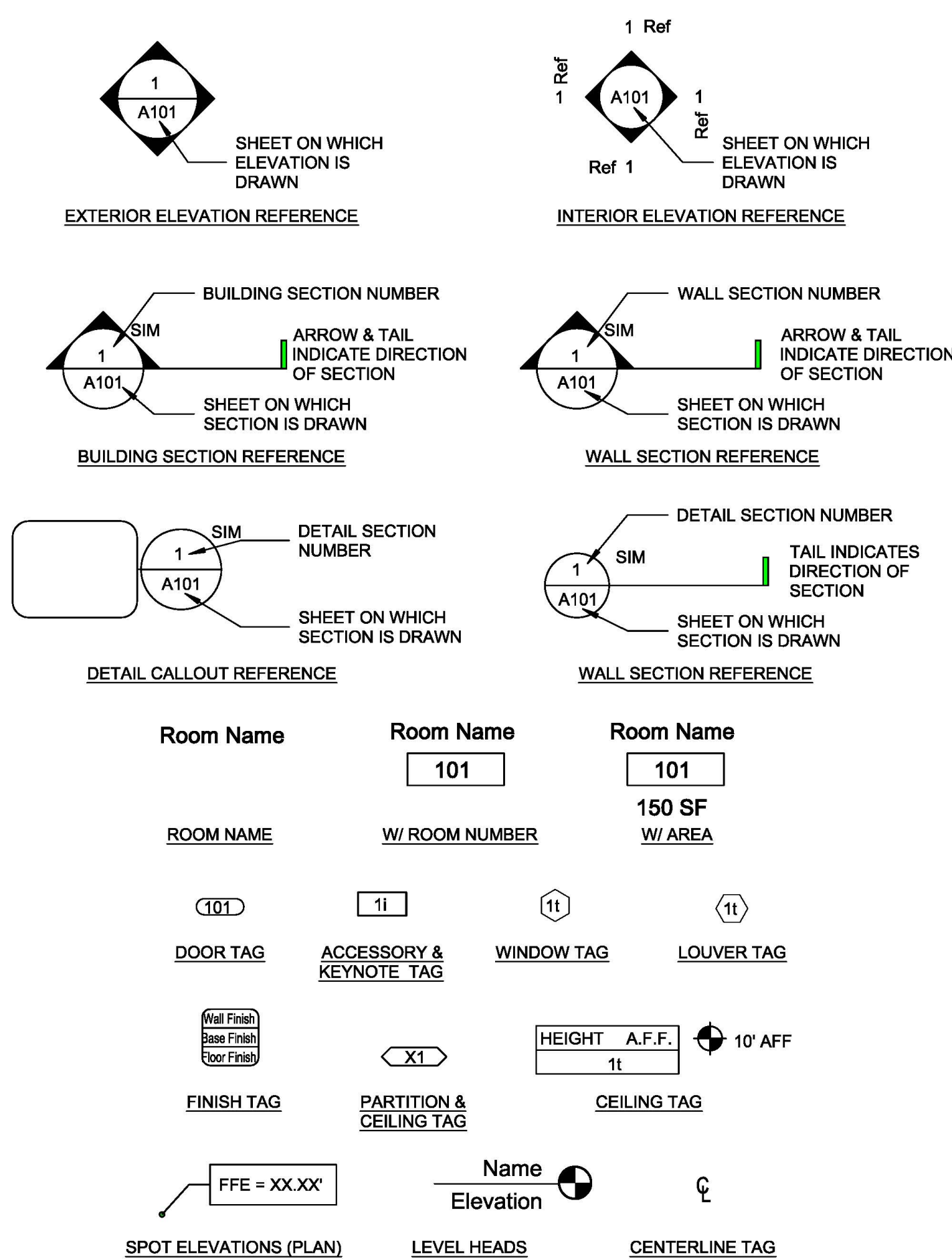
SYMBOLOLOGY LEGEND

SEE SHEETS FOR SPECIFIC SYMBOLS



PATTERN LEGEND

	BRICK SECTION		METAL
	BRICK ELEVATION		GRAVEL
	DOOR/FRAME INSULATION		PLYWOOD
	BATT INSULATION		CONCRETE MASONRY UNIT ELEVATION
	RIGID INSULATION		CONCRETE MASONRY UNIT SECTION
	CONCRETE		MORTAR/CONCRETE FILL
	CONCRETE FILL		GYPSUM BOARD
	EARTH		GRATING



ABBREVIATION

@	AT	CONST	CONSTRUCTION	EXT	EXTERIOR	HK	HOOK	NOM	NOMINAL	RM	ROOM	UNO	UNLESS NOTED OTHERWISE
A/C	AIR CONDITIONING	CONT	CONTINUOUS	FA	FIRE ALARM	HM	HOLLOW METAL	NSA	NON-SLIP SHAKE-ON AGGREGATE	RMKS	REMARKS	UR	URINAL
AB	ANCHOR BOLT	CJT	CONTROL JOINT	FACT	FACTORY	HORIZ	HORIZONTAL	NTS	NOT TO SCALE	RMTF	RESINOUS MATRIX TERRAZZO FLOORING	UV	ULTRA VIOLET
ABV	ABOVE	CORR	CORRIDOR	FAK	FIRST AID KIT	HP	HIGH POINT	OC	ON CENTER	RO	ROUGH OPENING	VCT	VINYL COMPOSITION TILE
AC	ACOUSTICAL	CPG	COPING	FAF	FLUID APPLIED FLOORING	HPC	HIGH PERFORMANCE COATING	OD	OUTSIDE DIAMETER	RS	RISER(S)	VERT	VERTICAL
ACMU	ACOUSTICAL MASONRY UNIT	CPT	CARPET	FB	FACE BRICK	HR	HOUR	OH	OVERHANG	RTG	RATING	VST	VESTIBULE
ACP	ACOUSTICAL CEILING PANELS	CPTT	CARPET TILE	FBO	FURNISHED BY OTHERS	HT, HGT	HEIGHT	OL	OPERATING LEVEL	RU	ROLL UP	VIF	VERIFY IN FIELD
ACT	ACOUSTICAL CEILING TILE	CRS	COURSE(S)	FD	FLOOR DRAIN	HVAC	HEATING, VENTILATING, AND AIR CONDITIONING	OPNG	OPENING	RV	ROOF VENT	VIN	VINYL
ADA	AMERICANS WITH DISABILITIES ACT	CS	COUNTERSINK	FE	FIRE EXTINGUISHER	HWC	HANDICAPPED WATER CLOSET	OPP	OPPOSITE	S	SOUTH	VNB	VINYL BASE
ADD	ADDENDUM	CSMT	CASEMENT	FEC	FIRE EXTINGUISHER CABINET	HWB	HOT WATER HEATER	OSB	ORIENTED STRAND BOARD	SAAT	SPRAY APPLIED ACOUSTICAL TREATMENT	VR	VAPOR RETARDER
ADJ	ADJUSTABLE	CT	CERAMIC TILE	FFE	FINISHED FLOOR ELEVATION	HYDR	HYDRAULIC	P	PAINT	SCD	SEAT COVER DISPENSER	VT	VINYL TILE
AFF	ABOVE FINISHED FLOOR	CTR	COUNTER	FG	FIXED GLASS	ID	INSIDE DIAMETER	PASS	PASSENGER	SCH	SCHEDULE	VTR	VENT THROUGH ROOF
AHU	AIR HANDLING UNIT	CTSK	COUNTERSUNK	FGL	FIBERGLASS	IL	INTERMEDIATE LEVEL	PB	PANIC BAR	SDPR	SOAP DISPENSER	VWC	VINYL WALL COVERING
ALT	ALTERNATE	D	DRAIN	FIN	FINISH(ED)	INSUL	INSULATION	PC	PROTECTIVE COATING	SECT	SECTION	W	WEST
ALUM	ALUMINUM	DB	DARK BRONZE	FL	FOUNDATION LEVEL	INT	INTERIOR	PCC	PRECAST CONCRETE	SF	SQUARE FOOT	W/	WITH
ANC	ANCHOR(AGE)	DEMO	DEMOLISH, DEMOLITION	FLG	FLASHING	JC	JANITOR'S CLOSET	PERIM	PERIMETER	SFGL	SAFETY GLASS	WC	WATER CLOSET
ANOD	ANODIZED	DET	DETAIL	FLR	FLOOR	JF	JOINT FILLER	PFBS	PREFABRICATE(D)	SFT	STRUCTURAL FACING TILE	WD	WOOD
AP	ACCESS PANEL	DF	DRINKING FOUNTAIN	FM	FLOOR MAT	JS	JANITOR'S SINK	PG	PLATE GLASS	SH	SHELF, SHELVING	WG	WIRE GLASS
APPROX	APPROXIMATE	DH	DOUBLE HUNG	FND	FOUNDATION	JST	JOIST	PL	PLATE	SHT	SHEET	WH	WATER HEATER
ARCH	ARCHITECT(URAL)	DIA, Ø	DIAMETER	FNV	FEMININE NAPKIN VENDOR	JT	JOINT	PLAM	PLASTIC LAMINATE	SHTH	SHEATHING	WIN	WINDOW
ASPH	ASPHALT	DIM	DIMENSION	FOC	FACE OF CONCRETE	KPL	KICK PLATE	PLAS	PLASTER	SK	SINK	WM	WIRE MESH
AVB	AIR VAPOR BARRIER	DK	DARK	FOM	FACE OF MASONRY	L	LENGTH	PLYWD	PLYWOOD	SKLT	SKYLIGHT	WPL	WATERPROOFING
BB	BOND BEAM	DMPR	DAMPER	FOS	FACE OF MASONRY	LAD	LADDER	PM	PRESSED METAL	SLNT	SEALANT	WPT	WORKING POINT
BD	BOARD	DN	DOWN	FPG	FIREPROOFING	LAV	LAVATORY	PNL	PANEL	SP	SOUNDPROOF	WR	WASTE RECEPTACLE
BIT	BITUMINOUS	DO	DOOR OPENING	FR	FRAME	LF	LINEAR FOOT	PR	PAIR	SS	STAINLESS STEEL	WWF	WELDED WIRE FABRIC
BLDG	BUILDING	DP	DAMP/PROOFING	FRP	FIBER REINFORCED POLYMER	LG	LONG	PS	PLASTIC SHEATHING	SSSD	STAINLESS STEEL SECURITY DOOR		
BLKG	BLOCKING	DPR	DISPENSER	FRT	FIRE RETARDANT TREATED	LH	LEFT HAND	PSF	POUNDS PER SQUARE FOOT	SQ	SQUARE		
BM	BEAM	DR	DOOR	FTG	FOOTING	LHR	LEFT HAND REVERSE	PT	PRESSURE TREATED	SS	STAINLESS STEEL		
BOT	BOTTOM	DS	DOWNPOUT	FUT	FUTURE	LL	LOWER LEVEL	PTD	PAPER TOWEL DISPENSER	SSK	SERVICE SINK		
BPL	BEARING PLATE	DTA	DOVETAIL ANCHOR	GA	GAUGE	LMSD	LAVATORY MOUNTED SOAP DISPENSER	PTN	PARTITION	STA	STAIN		
BR	BRICK	DTS	DOVETAIL ANCHOR SLOT	GALV	GALVANIZED	LOC	LOW POINT	PVC	POLYVINYL CHLORIDE	STD	STANDARD		
BRZ	BRONZE	DWG(S)	DRAWING(S)	GB	GRAB BAR	LP	LOW POINT	PVMT	PAVEMENT	STL	STEEL		
BS	BOTH SIDES	E	EAST	LQH	LIQUID HARDENER	LQH	LIQUID HARDENER	QT	QUARRY TILE	STOR	STORAGE		
BSMT	BASEMENT	EA	EACH	LTL	LINTEL	LTV	LOUVER	R	RISER	STRU	STRUCTURAL		
BUR	BUILT UP ROOF	EB	EXPANSION BOLT	LVR	LOUVER	MAS	MASONRY	RAD	RADIUS	SUS	SUSPEND(ED)		
BW	BOTH WAYS	ED	EXIT DEVICE	MB	MANUFACTURER	MAX	MAXIMUM	RB	RUBBER BASE	SV	SHEET VINYL		
CL	CENTERLINE	EF	EXHAUST FAN	MECH	MECHANICAL	MEZ	MEZZANINE	RCP	REFLECTED CEILING PLAN	SYS	SYSTEM		
CAB	CABINET	EFC	EPOXY FLOOR COATING	MET	METAL	MFR	MANHOLE	RD	ROOF DRAIN	T&B	TOP AND BOTTOM		
CB	CATCH BASIN	EIFS	EXTERIOR INSULATION FINISH SYSTEM	MEZ	MEZZANINE	MH	MANHOLE	REF	REFERENCE	TBS	TO BE SELECTED		
CEM	CEMENT	EJT	EXPANSION JOINT	MM	MILLIMETER	MISC	MISCELLANEOUS	REIN	REINFORCE(D), REINFORCING	TEMP	TEMPORARY		
CF	CUBIC FOOT	EL	ELEVATION	MOD	MASONRY OPENING	MR	MOP RECEPTOR	REMO	REMOVE	THK	THICK(NESS)		
CFL	COUNTER FLASHING	ELEV	ELEVATOR	MTD	MOUNTED	MTL	MATERIAL	REQ	REQUIREMENT	TO	TOP OF		
CHAM	CHAMFER	EMBT	EMBEDMENT	GST	GROUT	N	NORTH	RES	RESILIENT	TOC	TOP OF CONCRETE		
CHEM	CHEMICAL	EMER	EMERGENCY	GRB	GRANITE BASE	NIC	NOT IN CONTRACT	RET	RETURN	TOM	TOP OF MASONRY		
CHKD	CHECKED	ENG	ENGINEERING	GRD	GRADE, GRADING	NO	NUMBER	REV	REVISION	TOS	TOP OF STEEL		
CHT	CEILING HEIGHT	EPDM	ETHYLENE-PROPYLENE-DIENE-MONOMER	GRT	GRANITE TILE			RFG	ROOFING	TOSL	TOP OF SLAB		
CJT	CONTROL JOINT	EQ	EQUAL	GSD	GALVANIZED SECURITY DOOR			RFL	REFLECT(ED)(IVE)(OR)	TPL	TOP OF PLATE		
CLQ	CEILING	EQUIP	EQUIPMENT	GT	GROUT			RFM	RECESSED FLOOR MAT	TPTN	TOILET PARTITION		
CLK	CAULK	ESTM	ESTIMATE	GWB	GYPSUM WALLBOARD			RFS	RAISED FLOOR SYSTEM	TR	TREAD(S)		
CLR	CLEAR	EWG	ELECTRIC WATER COOLER	GYP	GYPSUM			RHR	RIGHT HAND	TTD	TOILET TISSUE DISPENSER		
CMU	CONCRETE MASONRY UNIT	EXH	EXHAUST	H	HIGH			RL	RAILING	TYP	TYPICAL		
CO	CONCRETE OPENING	EXIST	EXISTING	HC	HANDICAP(PED)					UC	UNDERCOUNTER		
COL	COLUMN	EXP	EXPANSION	HD	HEAVY DUTY								
COMP	COMPRESS(ED)(ION)(IBLE)			HDWR	HARDWARE								
CONC	CONCRETE			HGT	HEIGHT								

PROJECT

CWC ROCKVILLE STORAGE AND AERATION BUILDING

ROCKVILLE WATER TREATMENT PLANT
16 SNIPSIC STREET, VERNON CT 06066

CLIENT

CONNECTICUT WATER COMPANY

93 WEST MAIN STREET
CLINTON, CT 06413
PHONE: (800) 328635700
www.ctwater.com

CONSULTANT

AECOM TECHNICAL SERVICES, INC.
250 APOLLO DRIVE
CHELMSFORD, MA 01824
PHONE: (978) 905-2100
www.aecom.com

REGISTRATION

ISSUE/REVISION

PROJECT NUMBER

60674415

Designed By:	S. MCFADDEN
Drawn By:	S. MCFADDEN
Dept Check:	G. OTTERSON
Proj Check:	S. DEFRANCESCO
Date:	AUGUST, 2022
Scale:	As indicated

DISCIPLINE

ARCHITECTURAL

SHEET TITLE

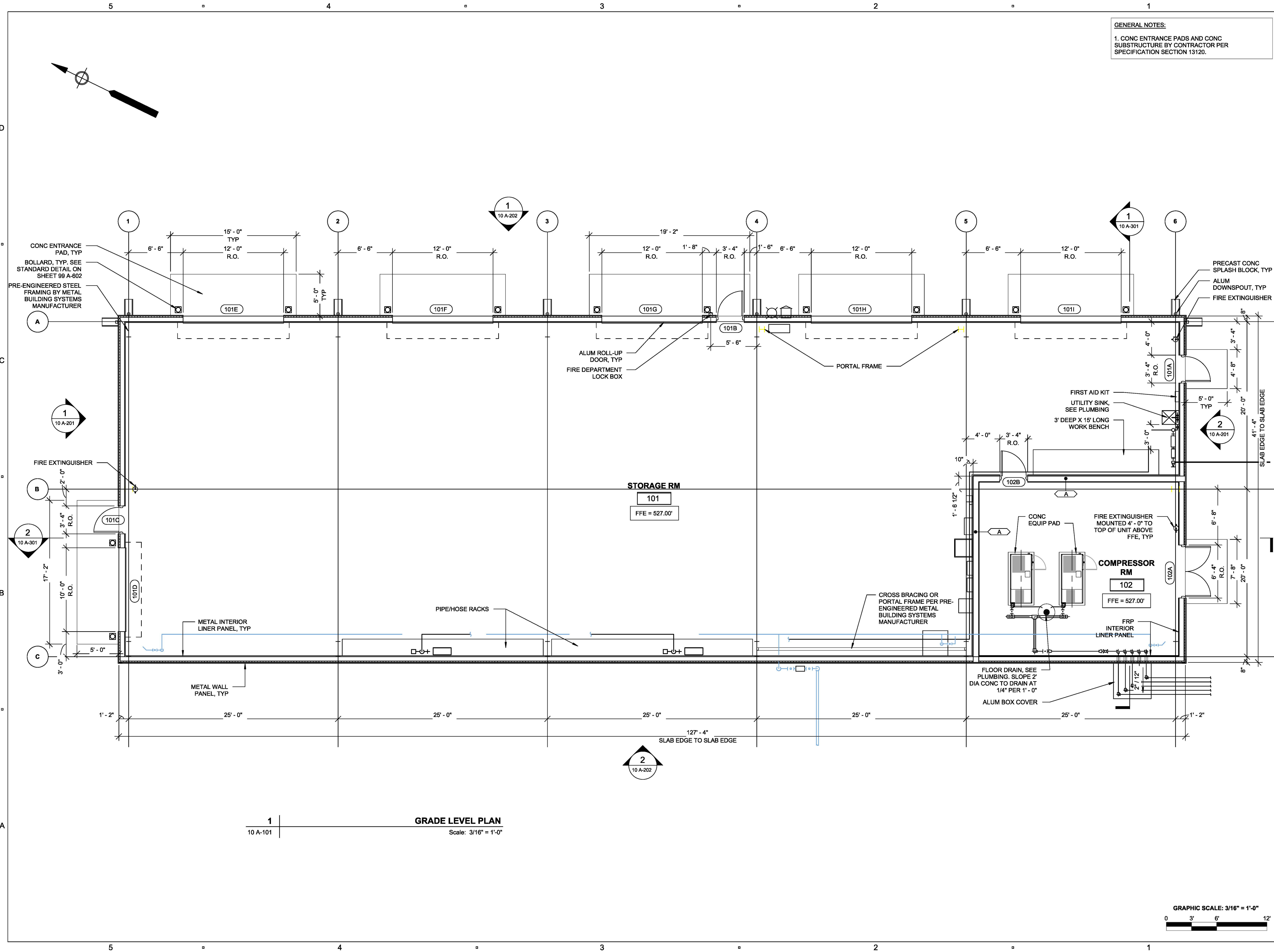
ARCHITECTURAL SYMBOLS, NOTES, AND ABBREVIATIONS

SHEET NUMBER

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LAST UPDATE: 8/23/2022 8:08:46 AM
PLOT DATE: 8/23/2022 8:08:46 AM

60674415



GENERAL NOTES:
1. CONC ENTRANCE PADS AND CONC SUBSTRUCTURE BY CONTRACTOR PER SPECIFICATION SECTION 13120.

PROJECT
CWC ROCKVILLE STORAGE AND AERATION BUILDING
ROCKVILLE WATER TREATMENT PLANT
16 SNIPISC STREET, VERNON CT 06066

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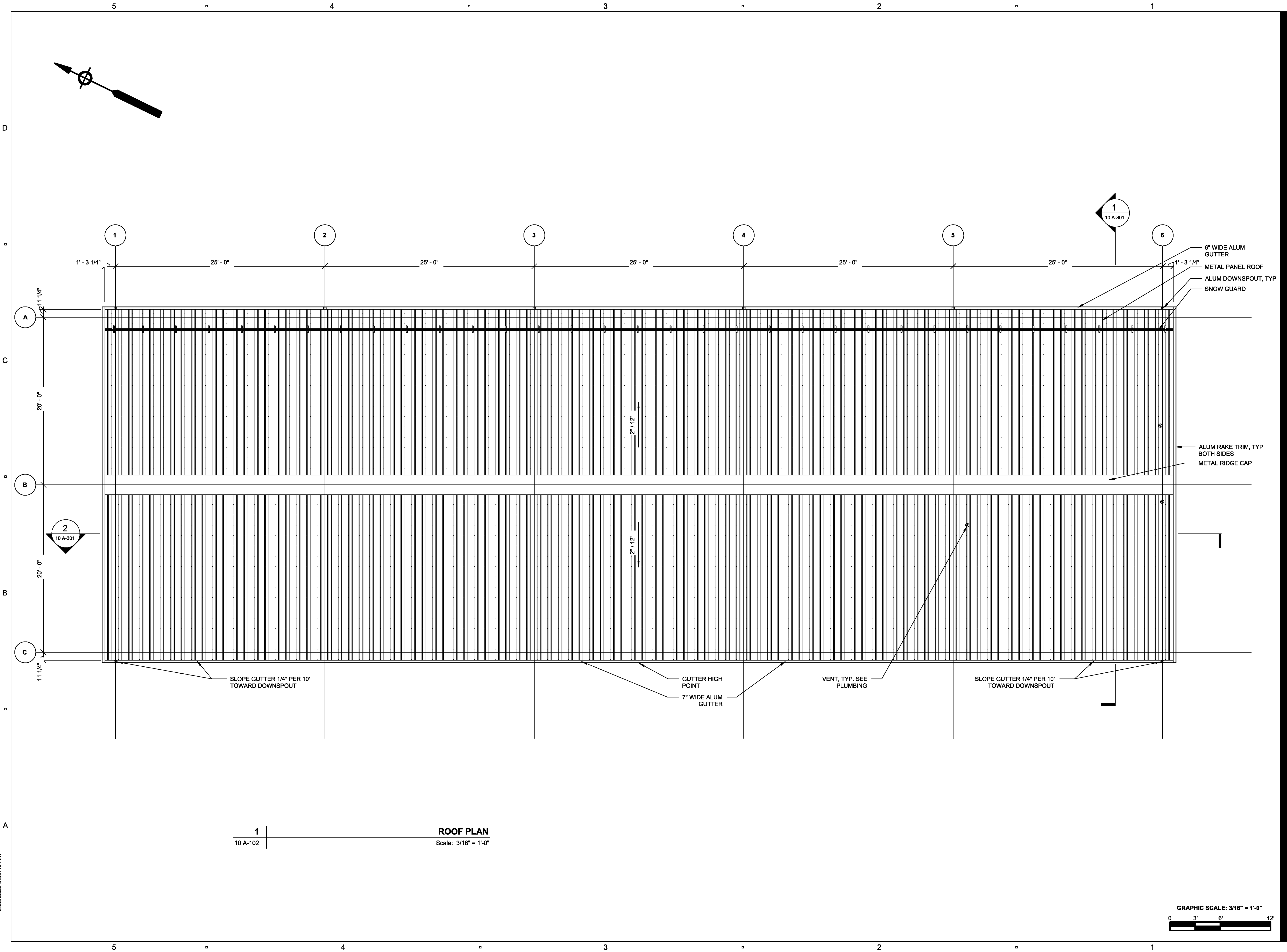
REGISTRATION

ISSUE/REVISION

PROJECT NUMBER
60674415
Designed By: **S. MCFADDEN**
Drawn By: **S. MCFADDEN**
Dept Check: **G. OTTERSON**
Proj Check: **S. DEFRANCESCO**
Date: **AUGUST, 2022**
Scale: **3/16" = 1'-0"**

DISCIPLINE
ARCHITECTURAL
SHEET TITLE
GRADE LEVEL PLAN

SHEET NUMBER
10 A-101



CWC ROCKVILLE STORAGE AND AERATION BUILDING

ROCKVILLE WATER TREATMENT PLANT
16 SNIPSIC STREET, VERNON CT 06066

CONNECTICUT WATER
COMPANY

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Date:	AUGUST, 2022
Scale:	3/16" = 1'-0"

DISCIPLINE

**ARCHITECTURAL
SHEET TITLE**

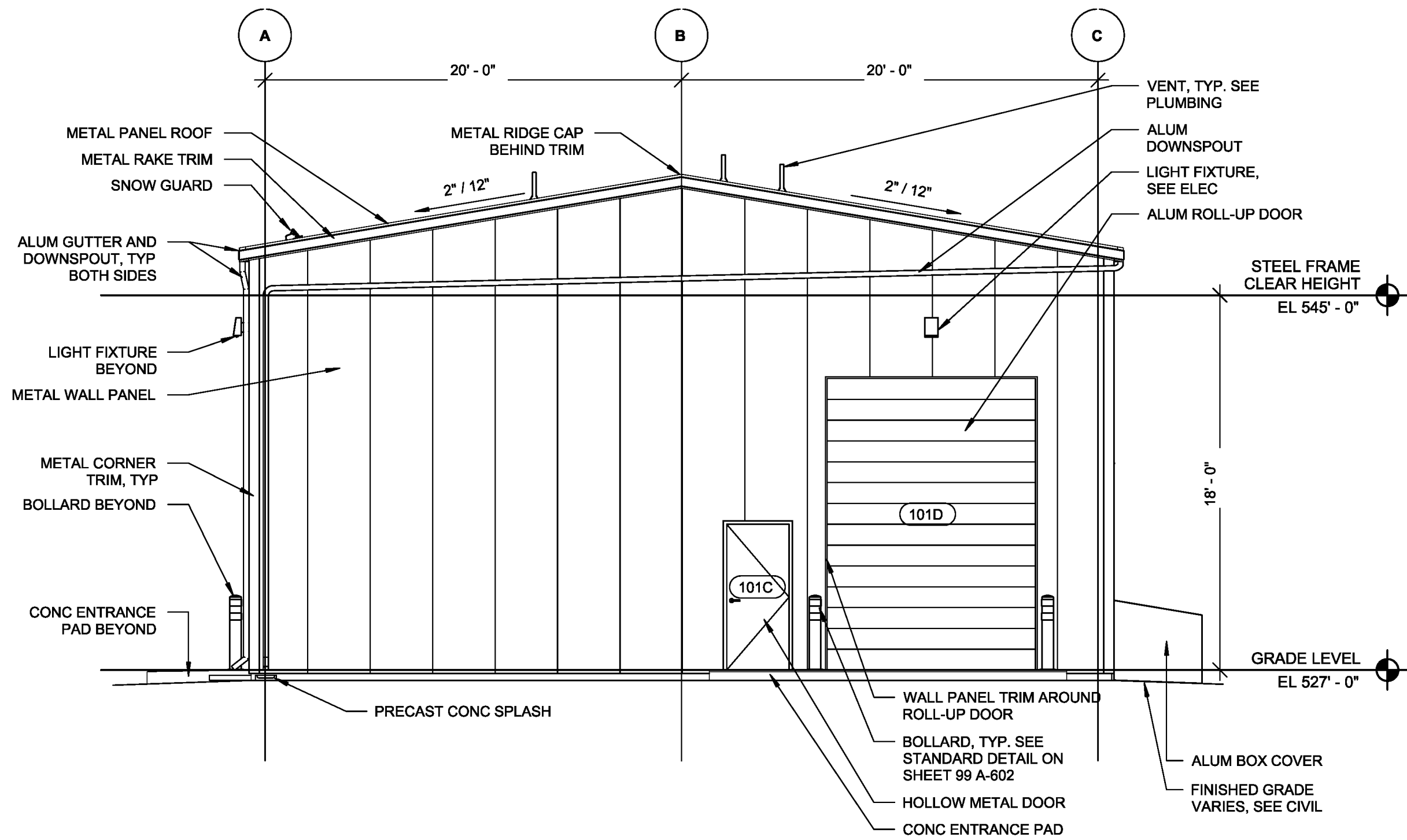
ROOF PLAN

SHEET NUMBER

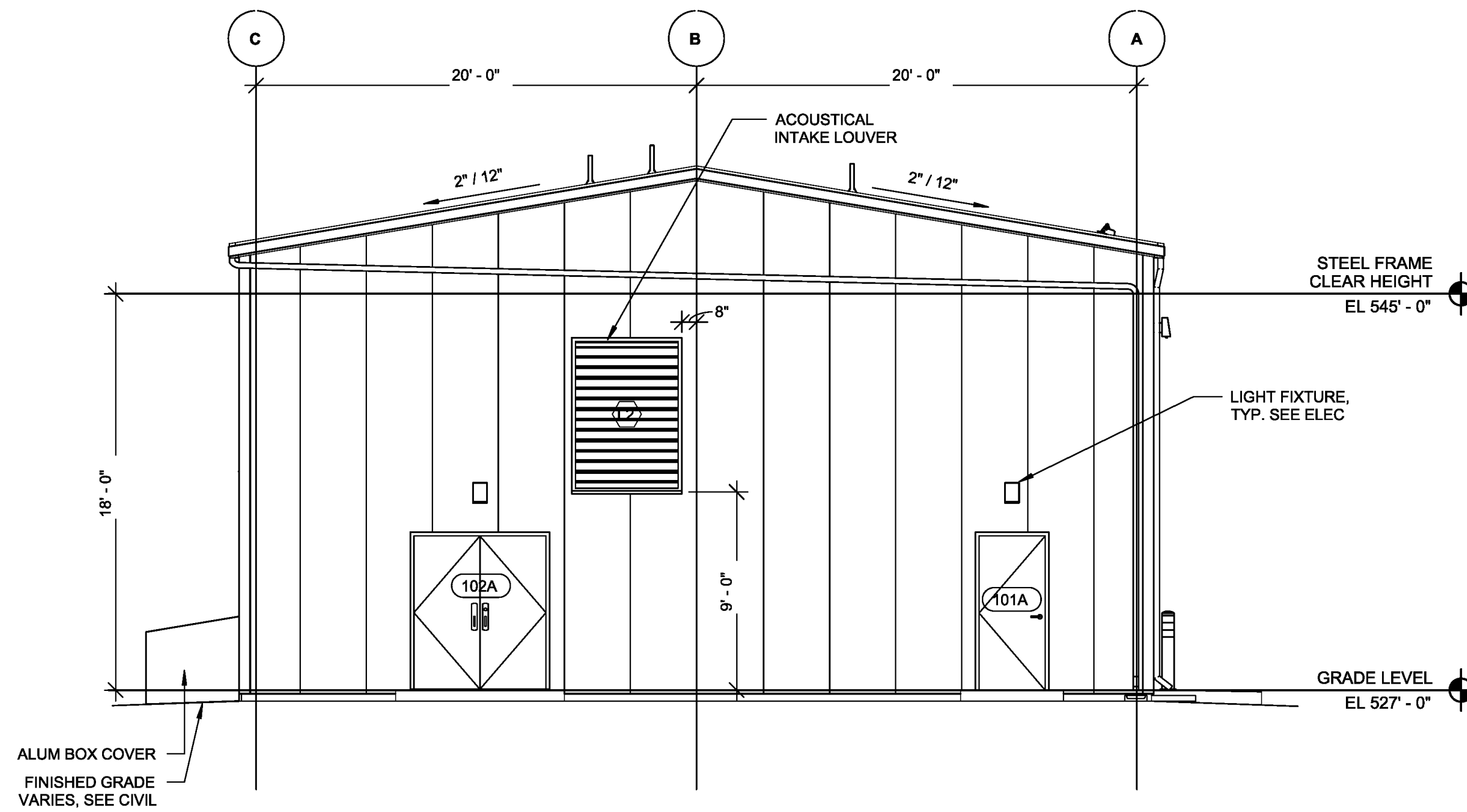
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LAST UPDATE: 8/23/2022 8:03:52 AM
PLOT DATE: 9/23/2022 8:08:52 AM

60674415



1
10 A-201
NORTH ELEVATION
Scale: 3/16" = 1'-0"



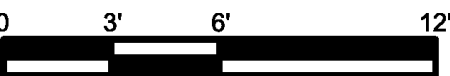
2
10 A-201
SOUTH ELEVATION
Scale: 3/16" = 1'-0"

SEE SIMILAR NOTES ON ELEVATION 1/10 A-201 U.N.O.

GENERAL NOTES:

1. CONC ENTRANCE PADS AND CONC SUBSTRUCTURE BY CONTRACTOR PER SPECIFICATION SECTION 13120.

GRAPHIC SCALE: 3/16" = 1' - 0"



PROJECT

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AERATION BUILDING

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Designed By:	S. MCFADDEN
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Proj Check:	S. DEFRANCESCO
Date:	AUGUST, 2022
Scale:	3/16" = 1'-0"

DISCIPLINE

ARCHITECTURAL

SHEET TITLE

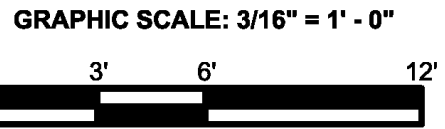
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SHEET NUMBER

10 A-201

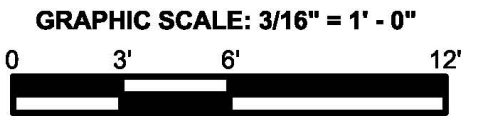


SEE SIMILAR NOTES ON ELEVATION 1/10 A-202 U.N.O.



SHEET NUMBER

10 A-202

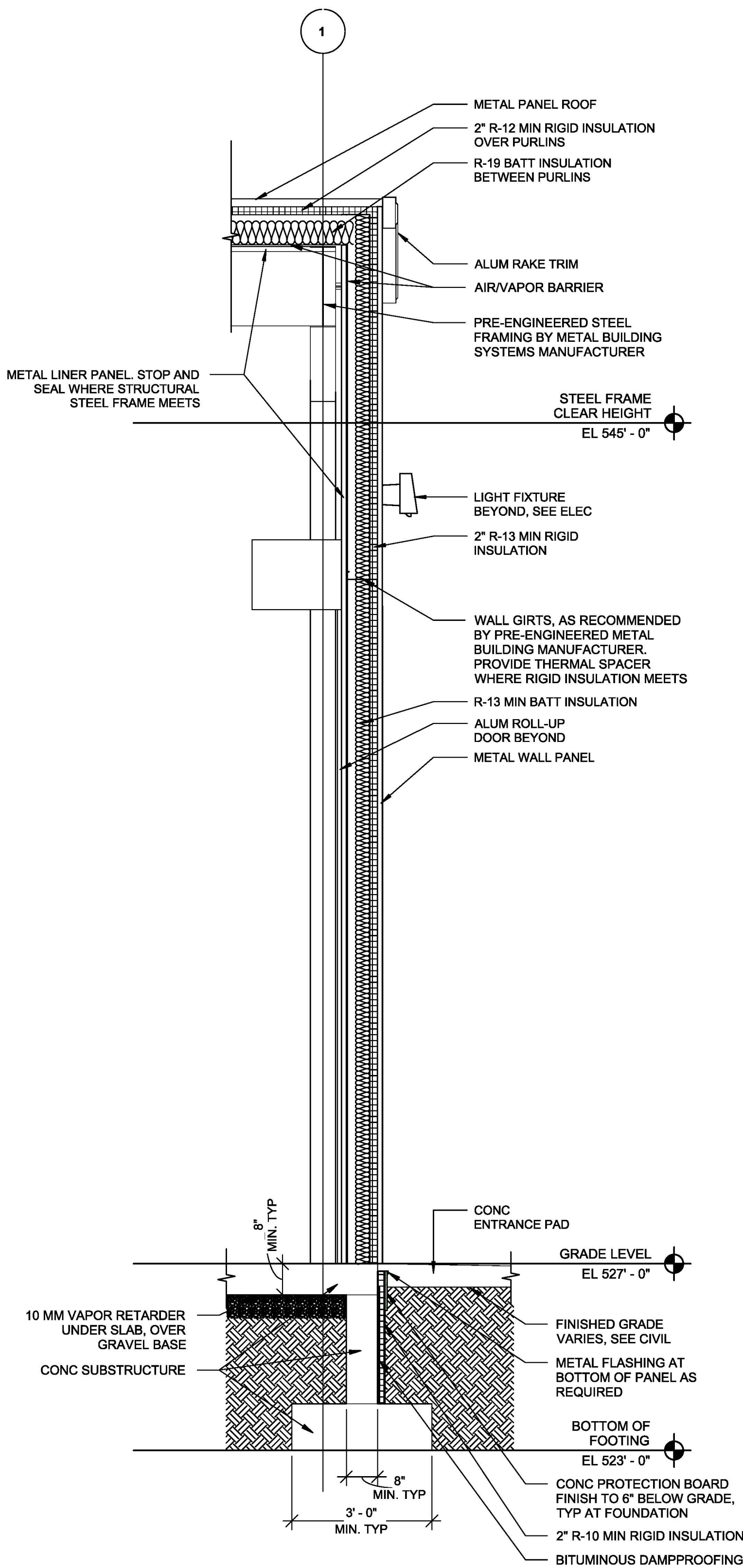


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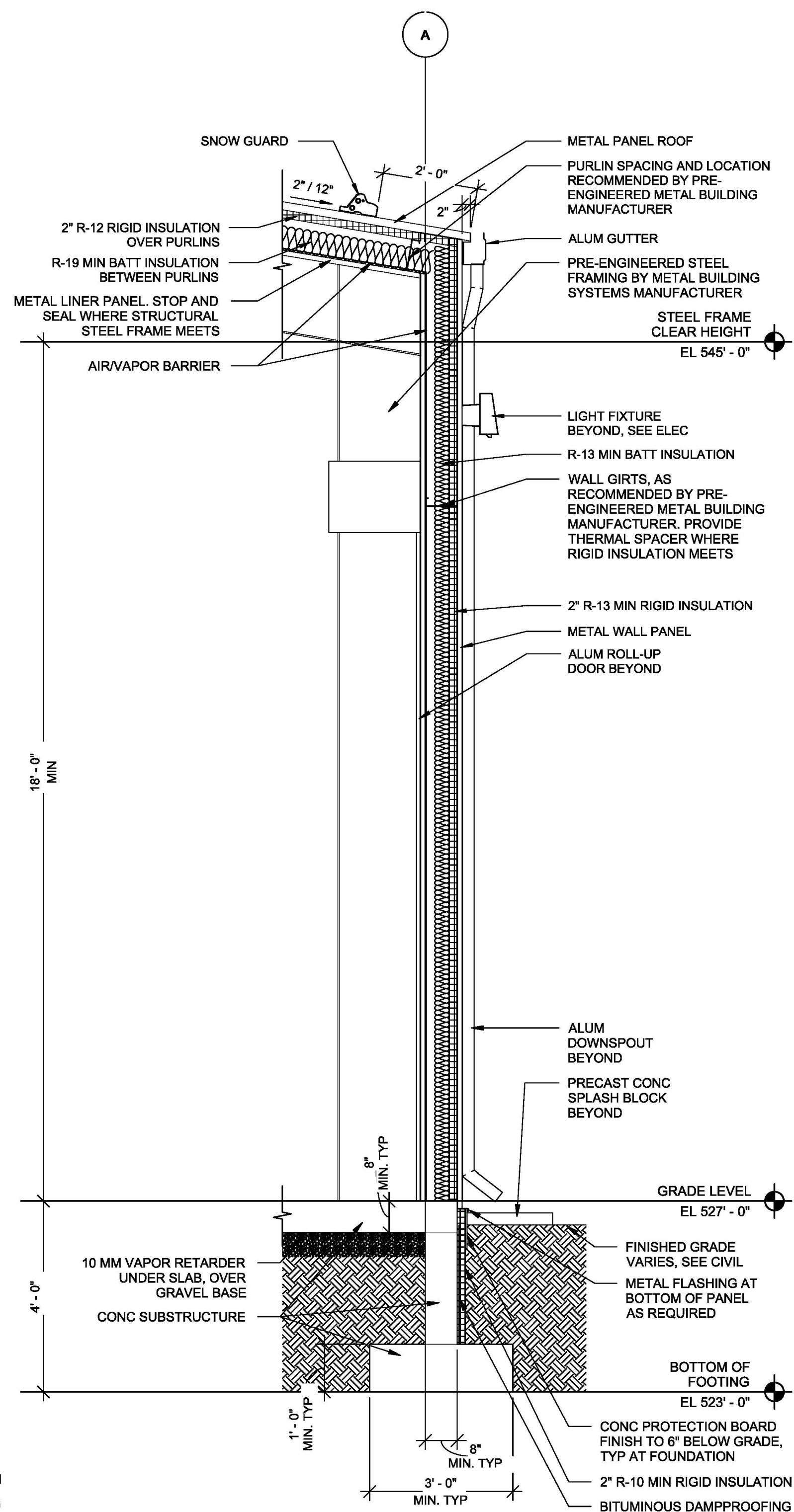
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LAST UPDATE: 8/23/2022 8:03:57 AM
PLOT DATE: 8/23/2022 8:08:57 AM

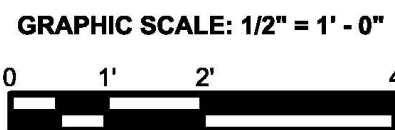
60674415



2 | WALL SECTION II
10 A-302 | Scale: 1/2" = 1'-0"



1 | WALL SECTION I
10 A-302 | Scale: 1/2" = 1'-0"



GENERAL NOTES:

1. CONC ENTRANCE PADS AND CONC SUBSTRUCTURE BY CONTRACTOR PER SPECIFICATION SECTION 13120.

PROJECT

**CWC ROCKVILLE
STORAGE AND
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REGISTRATION

ISSUE/REVISION

PROJECT NUMBER

60674415

Designed By:	S. MCFADDEN
Drawn By:	S. MCFADDEN
Dept Check:	G. OTTERSON
Proj Check:	S. DEFRANCESCO
Date:	AUGUST, 2022
Scale:	1/2" = 1'-0"

DISCIPLINE

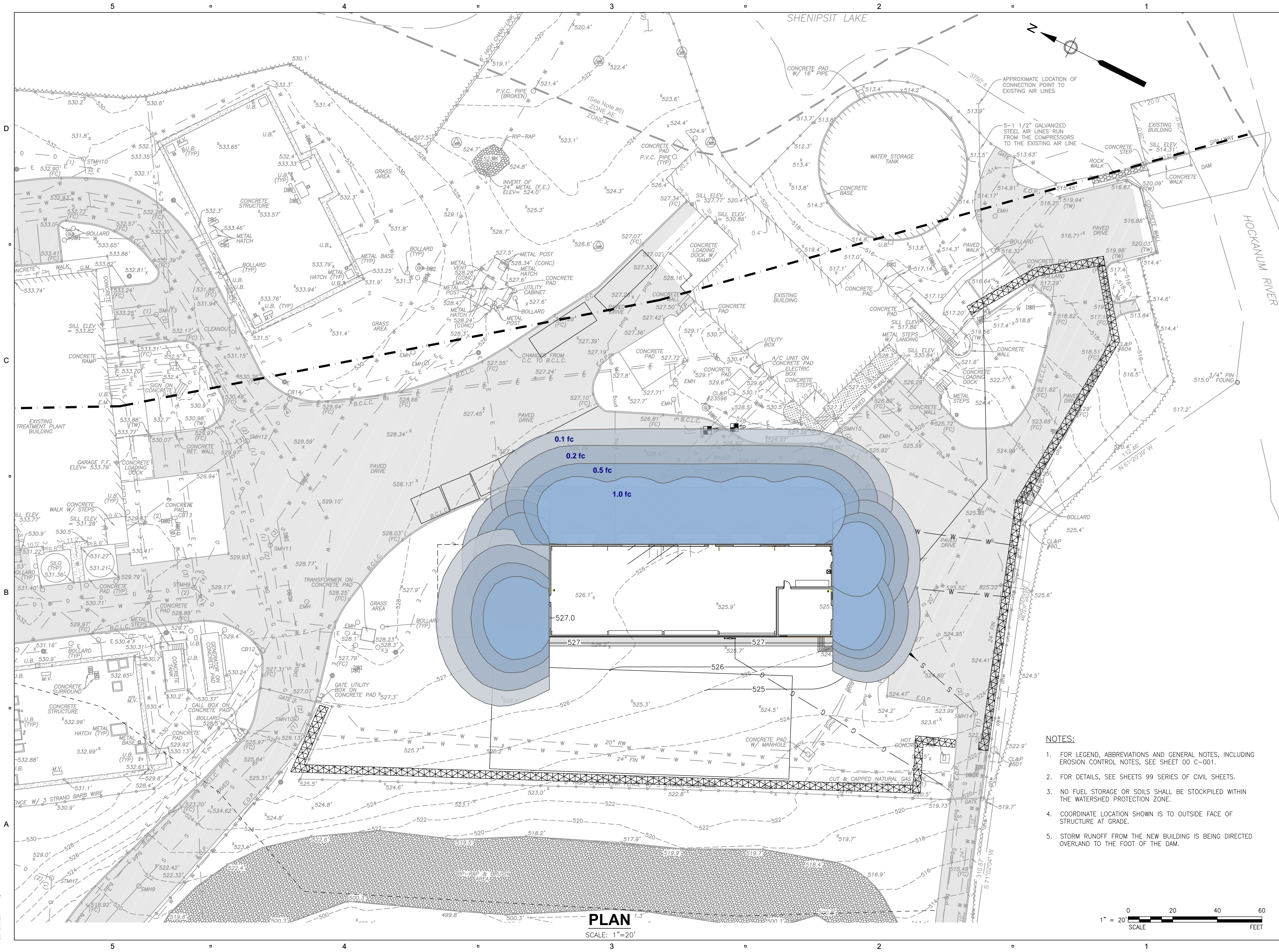
**ARCHITECTURAL
SHEET TITLE**

WALL SECTIONS

SHEET NUMBER

10 A-302

PATHFILENAME: Z:\GESICK\2\VERNON\ROCKVILLE TREATMENT PLANT\22-17\A00 C-102- SHEET-1.DWG
LAST UPDATE: Tuesday, September 6, 2022 10:02:02 PM
PLOT DATE: Tuesday, November 8, 2022 10:58:03 AM



PROJECT

**CWC ROCKVILLE
STORAGE AND
AERATION BUILDING**

Rockville Water Treatment Plant
16 Snipsic Street, Vernon CT 06066

CLIENT

**CONNECTICUT WATER
COMPANY**

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LAND SURVEYOR

GESICK & ASSOCIATES, P.C.
SURVEYORS & MAPPERS & PLANNERS
19 CEDAR ISLAND AVE.
CLINTON, CONNECTICUT 06413
OFFICE: 860-669-7799 FAX: 860-669-5833
www.gesicksurveyors.com

REGISTRATION

ISSUE/REVISION

I/R	DATE	DESCRIPTION
1	9-6-2022	Revised Per Town Requirements

PROJECT NUMBER

60674415

Designed By:	B. SADOWSKI
Drawn By:	M. THIBODEAU
Dept Check:	C. BENZIGER
Proj Check:	S. DEFRANCESCO
Date:	AUGUST 2022
Scale:	AS NOTED

DISCIPLINE

CIVIL

SHEET TITLE

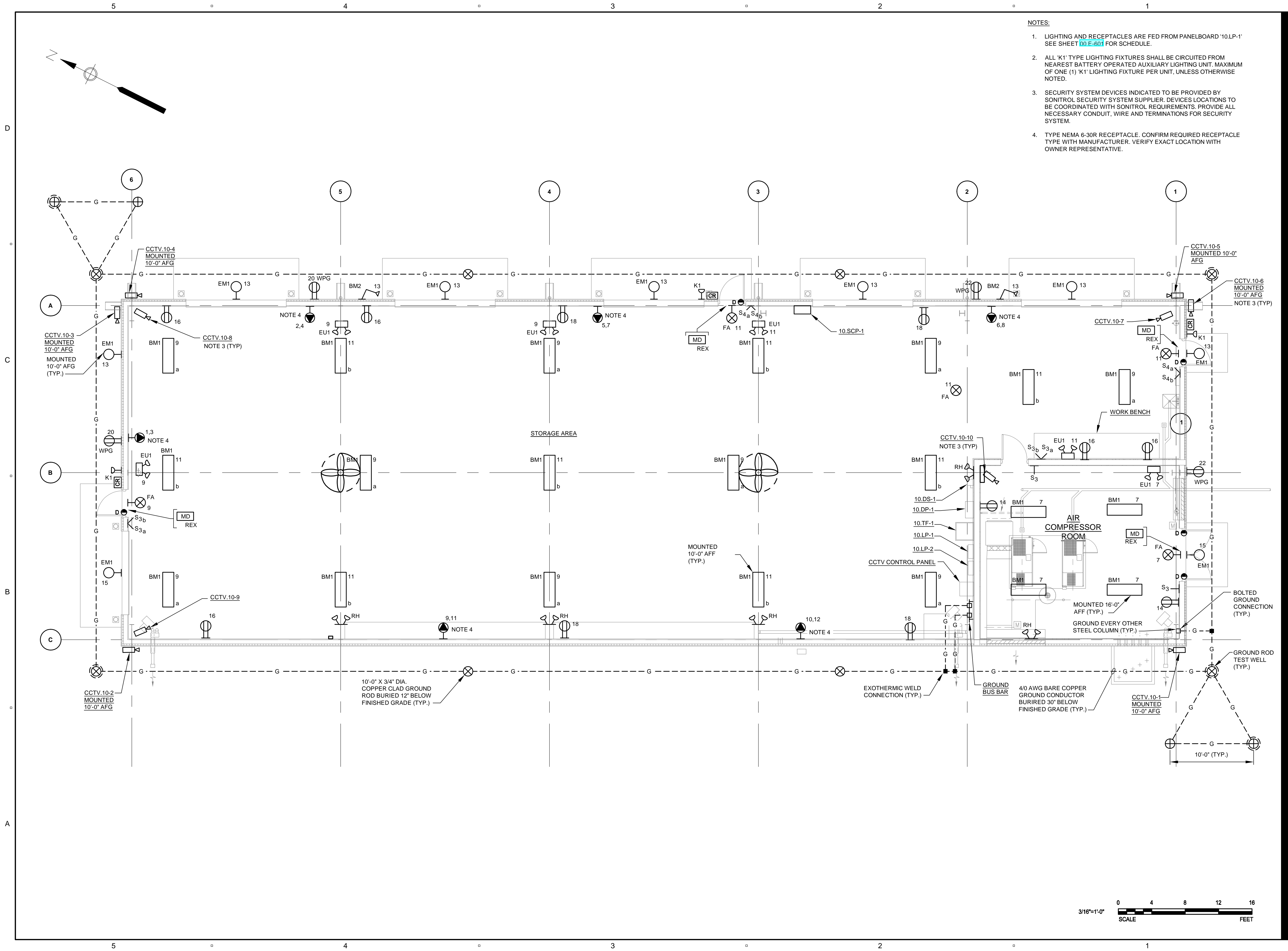
SITE PLAN

SHEET NUMBER

00 C-102

NOTES:

- FOR LEGEND, ABBREVIATIONS AND GENERAL NOTES, INCLUDING EROSION CONTROL NOTES, SEE SHEET 00 C-001.
- FOR DETAILS, SEE SHEETS 99 SERIES OF CIVIL SHEETS.
- NO FUEL STORAGE OR SOILS SHALL BE STOCKPILED WITHIN THE WATERSHED PROTECTION ZONE.
- COORDINATE LOCATION SHOWN IS TO OUTSIDE FACE OF STRUCTURE AT GRADE.
- STORM RUNOFF FROM THE NEW BUILDING IS BEING DIRECTED OVERLAND TO THE FOOT OF THE DAM.



- NOTES:
1. LIGHTING AND RECEPTACLES ARE FED FROM PANELBOARD '10.LP-1' SEE SHEET **00.E-601** FOR SCHEDULE.
 2. ALL 'K1' TYPE LIGHTING FIXTURES SHALL BE CIRCUITED FROM NEAREST BATTERY OPERATED AUXILIARY LIGHTING UNIT. MAXIMUM OF ONE (1) 'K1' LIGHTING FIXTURE PER UNIT, UNLESS OTHERWISE NOTED.
 3. SECURITY SYSTEM DEVICES INDICATED TO BE PROVIDED BY SONITROL SECURITY SYSTEM SUPPLIER. DEVICES LOCATIONS TO BE COORDINATED WITH SONITROL REQUIREMENTS. PROVIDE ALL NECESSARY CONDUIT, WIRE AND TERMINATIONS FOR SECURITY SYSTEM.
 4. TYPE NEMA 6-30R RECEPTACLE. CONFIRM REQUIRED RECEPTACLE TYPE WITH MANUFACTURER. VERIFY EXACT LOCATION WITH OWNER REPRESENTATIVE.



PROJECT

CWC ROCKVILLE
STORAGE AND
AERATION BUILDING

Rockville Water Treatment Plant
16 Snipsic Street, Vernon CT 06066

CLIENT

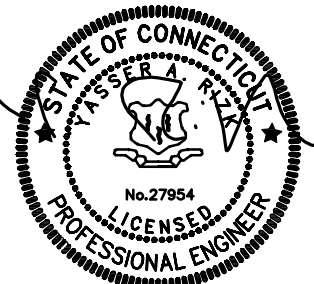
CONNECTICUT WATER
COMPANY

93 WEST MAIN STREET
CLINTON, CT 06413
PHONE: (800) 328635700
www.ctwater.com

CONSULTANT

AECOM TECHNICAL SERVICES, INC.
250 APOLLO DRIVE
CHELMSFORD, MA 01824
PHONE: (978) 905-2100
www.aecom.com

REGISTRATION



ISSUE/REVISION

I/R	DATE	DESCRIPTION

PROJECT NUMBER

60674415

Designed By:	M. STEWART
Drawn By:	M. STEWART
Dept Check:	Y. RIZK
Proj Check:	S. DEFRANCESCO
Date:	AUGUST 2022
Scale:	AS NOTED

DISCIPLINE

ELECTRICAL
SHEET TITLE

SYSTEMS PLAN

SHEET NUMBER

00 E-102

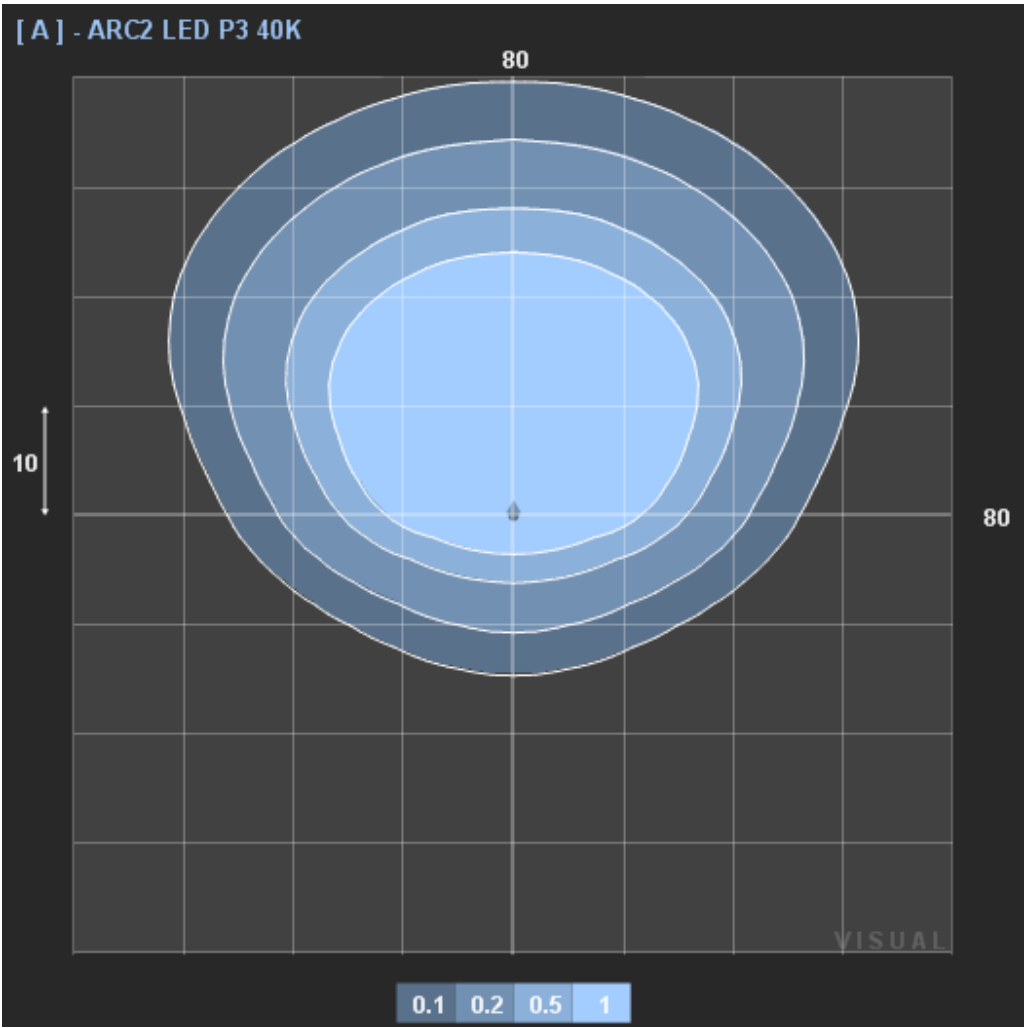
Visual - Template Tool



Design Information

Project Rockville Aeration Building
Description 16-ft. MH

Monday, January 09, 2023
Name Adam M. Wing, P.E.
Company Connecticut Water Company
Phone
Email awing@ctwater.com



Feet - Footcandles

[A] - ARC2 LED P3 40K



Manufacturer	Lithonia Lighting Configuration	Single
Lamp Lumens	3387 Orientation	Single
Lamp Quantity	1 Mounting Height	10
Light Loss Factor	1 Arm Length	1
Input Power	23.7 Tilt	0
Max Illuminance	11 Area > 0.5fc	1112

These lighting calculation results are for general informational purposes only and are provided without warranty as to accuracy, completeness, reliability or otherwise. Results are based on user provided data and data provided from publicly available sources; actual field conditions may affect calculated output. Visit www.Visual-3D.com .

Visual - Template Tool

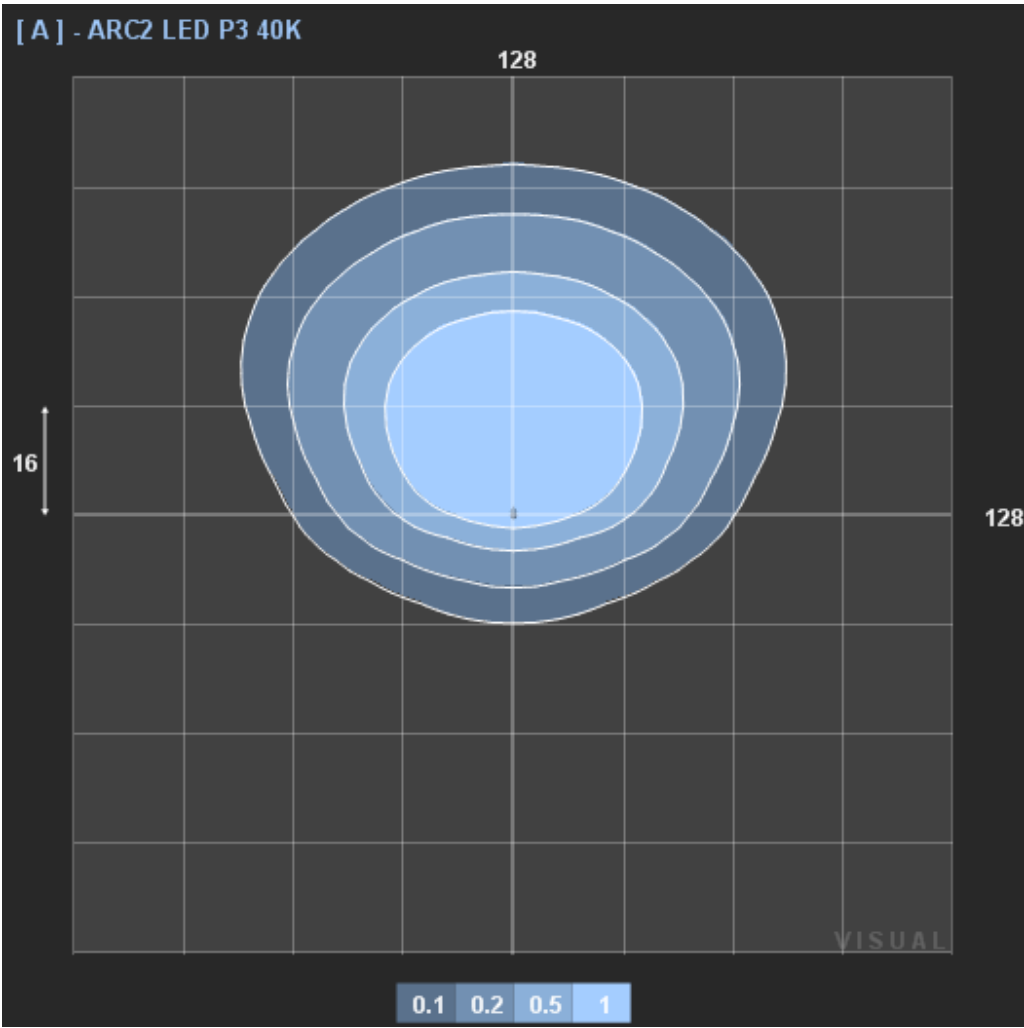


Design Information

Project
Description

Monday, January 09, 2023

Name
Company
Phone
Email



[A] - ARC2 LED P3 40K



Manufacturer	Lithonia Lighting Configuration	Single
Lamp Lumens	3387 Orientation	Single
Lamp Quantity	1 Mounting Height	16
Light Loss Factor	1 Arm Length	1
Input Power	23.7 Tilt	0
Max Illuminance	4 Area > 0.5fc	1587

These lighting calculation results are for general informational purposes only and are provided without warranty as to accuracy, completeness, reliability or otherwise. Results are based on user provided data and data provided from publicly available sources; actual field conditions may affect calculated output. Visit www.Visual-3D.com .

PATHFILENAME: BIM 360/60674415-CWC Rockville Storage and Aeration Building/CWC Rockville -
LAST UPDATE: 8/23/2022 8:05:52 AM
PLOT DATE: 9/23/2022 8:06:52 AM

60674415

5

4

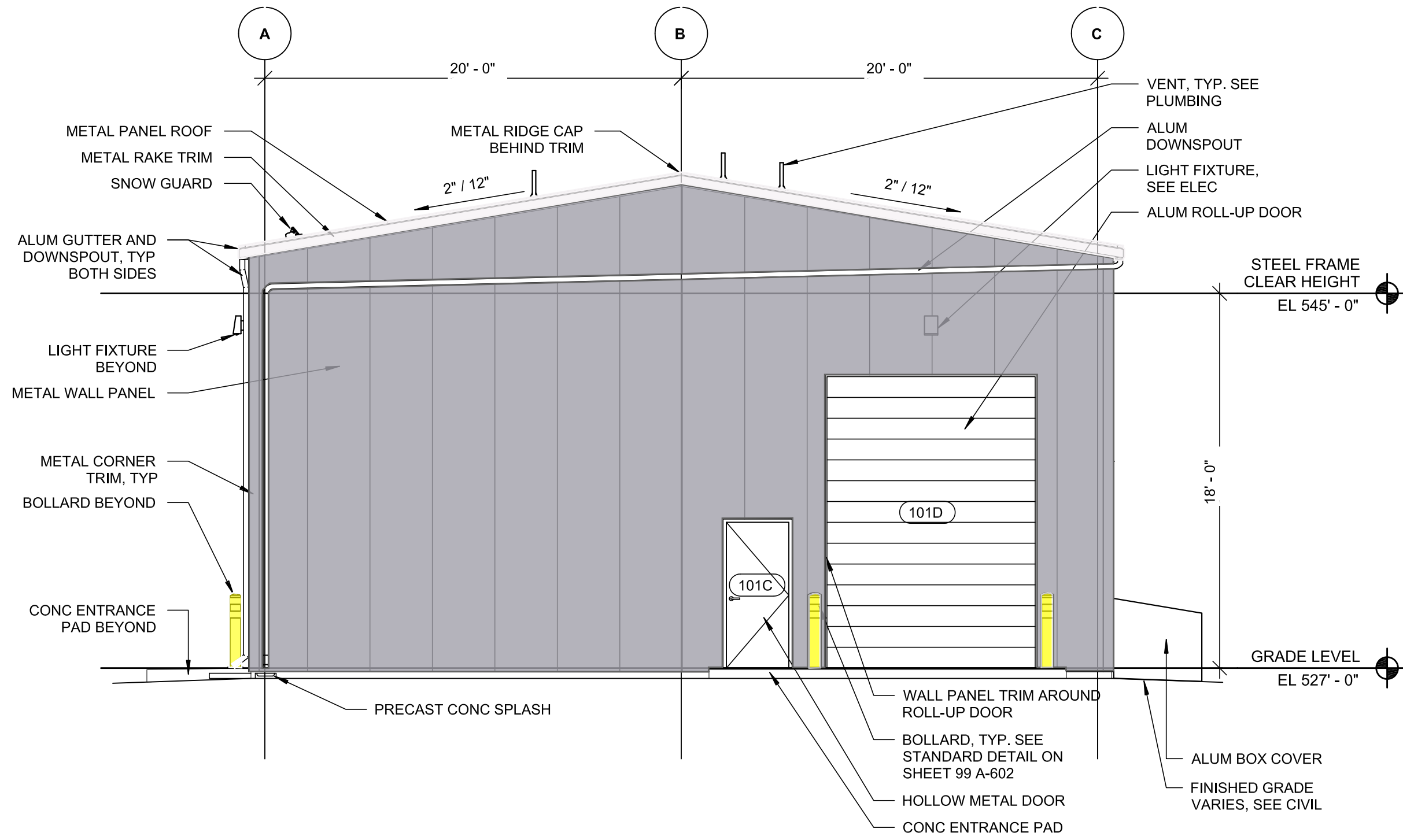
3

2

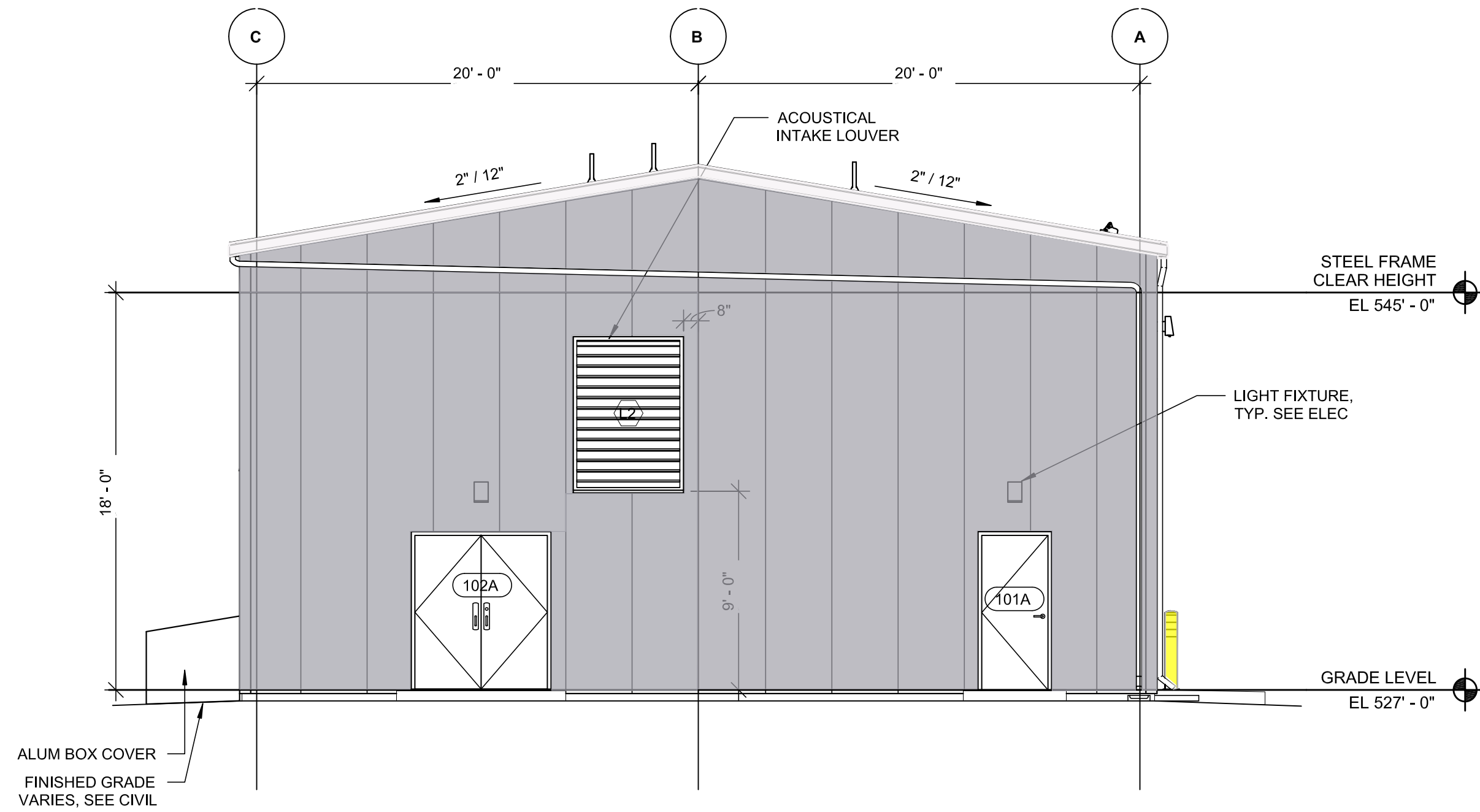
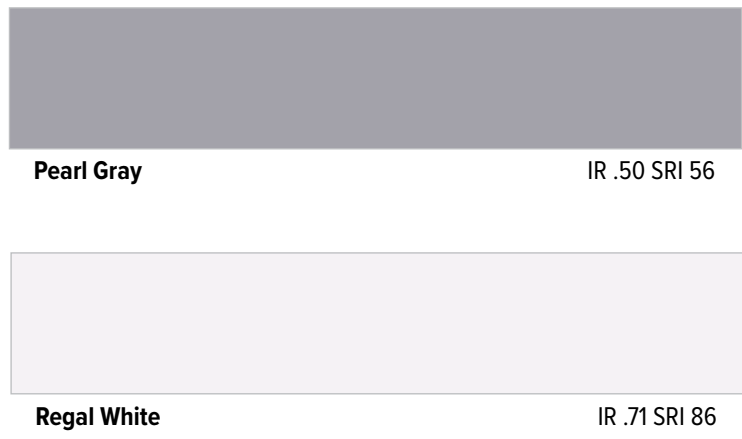
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GENERAL NOTES:

1. CONC ENTRANCE PADS AND CONC
SUBSTRUCTURE BY CONTRACTOR PER
SPECIFICATION SECTION 13120.

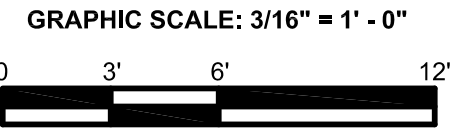


1
10 A-201
NORTH ELEVATION
Scale: 3/16" = 1'-0"



2
10 A-201
SOUTH ELEVATION
Scale: 3/16" = 1'-0"

SEE SIMILAR NOTES ON ELEVATION 1/10 A-201 U.N.O.



PROJECT

CWC ROCKVILLE
STORAGE AND
AERATION BUILDING

ROCKVILLE WATER TREATMENT PLANT
16 SNIPSIC STREET, VERNON CT 06066

CLIENT

CONNECTICUT WATER
COMPANY

93 WEST MAIN STREET
CLINTON, CT 06413
PHONE: (800) 328635700
www.ctwater.com

CONSULTANT

AECOM TECHNICAL SERVICES, INC.
250 APOLLO DRIVE
CHELMSFORD, MA 01824
PHONE: (978) 905-2100
www.aecom.com

REGISTRATION

ISSUE/REVISION

PROJECT NUMBER

60674415

Designed By:	S. MCFADDEN
Drawn By:	S. MCFADDEN
Dept Check:	G. OTTERSON
Proj Check:	S. DEFRANCESCO
Date:	AUGUST, 2022
Scale:	3/16" = 1'-0"

DISCIPLINE

ARCHITECTURAL
SHEET TITLE

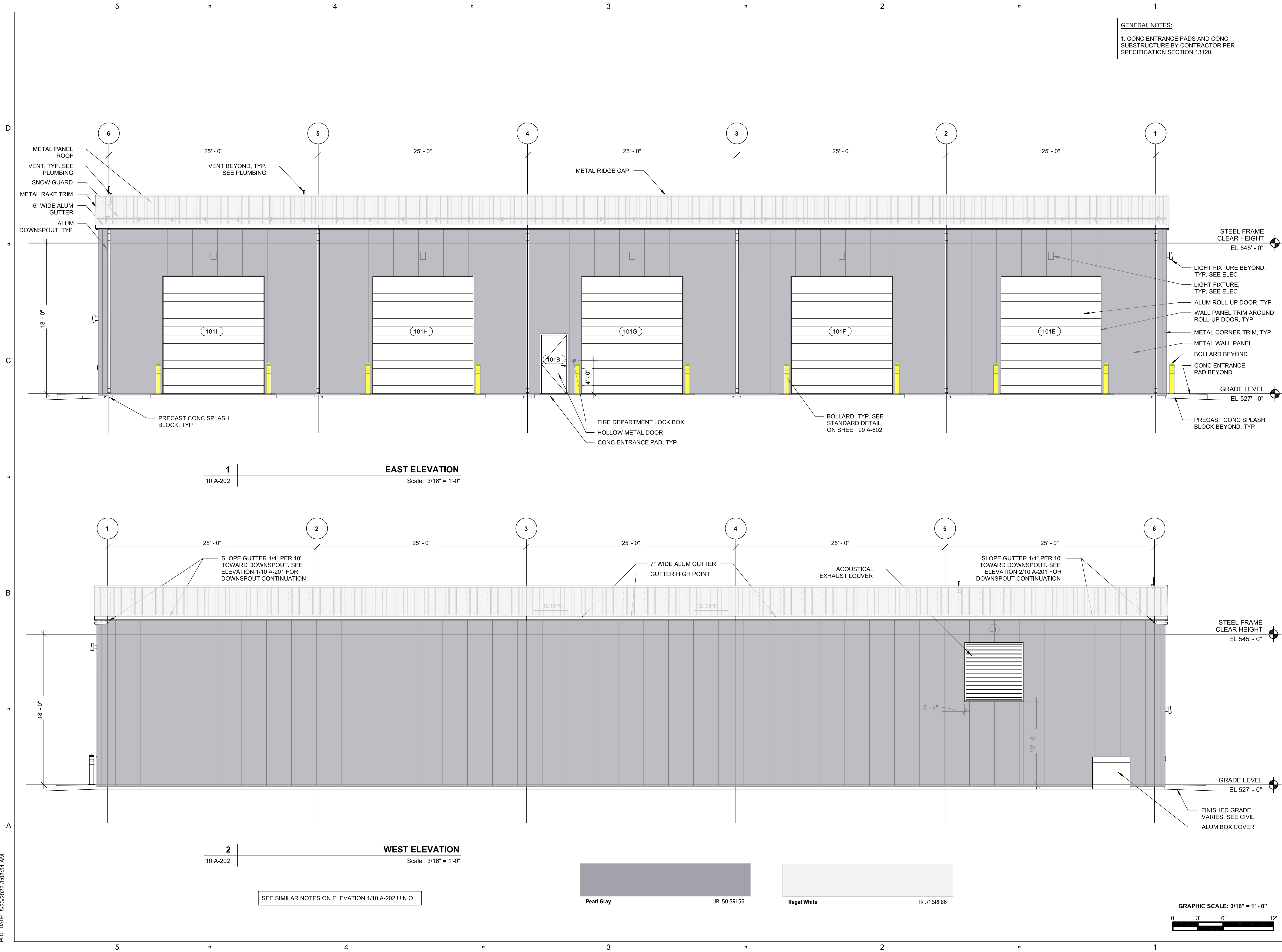
BUILDING ELEVATIONS I

SHEET NUMBER

10 A-201

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LAST UPDATE: 8/23/2022 8:05:54 AM
PLOT DATE: 9/23/2022 8:05:54 AM

60674415



PROJECT

CWC ROCKVILLE
STORAGE AND
AERATION BUILDING

ROCKVILLE WATER TREATMENT PLANT
16 SNIPISIC STREET, VERNON CT 06066

CLIENT

CONNECTICUT WATER
COMPANY

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REGISTRATION

ISSUE/REVISION

PROJECT NUMBER

60674415

Designed By:	S. MCFADDEN
Drawn By:	S. MCFADDEN
Dept Check:	G. OTTERSON
Proj Check:	S. DEFRANCESCO
Date:	AUGUST, 2022
Scale:	3/16" = 1'-0"

DISCIPLINE

ARCHITECTURAL
SHEET TITLE

BUILDING ELEVATIONS II

SHEET NUMBER

10 A-202



OFFICE OF THE
TOWN PLANNER

TOWN OF VERNON

55 West Main St., VERNON, CT 06066-3291
(860) 870-3640
Astephens@vernon-ct.gov

MEMORANDUM

TO: Planning & Zoning Commission

FROM: Ashley Stephens, Town Planner

SUBJECT: IWC- 2023-01 of CT Water Company for a Jurisdictional Ruling to add a 5,200 q ft building at 10 Snipsic Rd (Map #45, Block #123, Lot #3)

DATE: February 2, 2023

Please be advised that on the January 24, 2023 meeting, the Town of Vernon Inland Wetlands Commission voted unanimously in agreement that the activities described in Application IWC-2023-01 of Connecticut Water Company and represented at that meeting are in fact as of right as outlined in Section 4.1.e. of the Vernon Inland Wetland Regulations. The applicant has satisfied the requirements to submit an application to the Inland Wetlands commission per CGA 8-3 (g).

JOURNAL INQUIRER
P O BOX 510
MANCHESTER CT 06045-0510
(860) 646-0500
Fax (860) 643-1180

ORDER CONFIRMATION (CONTINUED)

Salesperson: ALIDA PELLETIER

Printed at 01/26/23 13:29 by apell-ji

Acct #: 5668

Ad #: 215061

Status: New WHOLD W

PUBLIC NOTICE
Town of Vernon

The Vernon Planning & Zoning Commission (PZC) will hold the following public hearings at a regular meeting on Thursday, February 16, 2023 at 7:30 p.m. in Vernon Town Hall, Third Floor Council Chambers, 14 Park Place, Vernon:

PZ 2023-02 - 10 Snipsic St. Application of Adam Wing, Connecticut Water Company for Site Plan and special permits (4.18.3.3.2, 4.18.3.3.4) to construct a 5,200 sq. ft. building for new aeration equipment to replace the aging infrastructure and storage building for equipment that is stored onsite for the treatment plant and reservoir. Property is zoned Restricted Watershed [Map #45, Block #123, Lot #3]

PZ 2023-01 - 234 Talcottville Road - An application of Benjamin Tinsley (Prime Wellness of Connecticut) for Site Plan and Special Permits (4.9.4.10 and 4.9.4.15.6) for a hybrid cannabis dispensary and cannabis retailer. The property is zoned Commercial [Map #10, Block #15, Lot #40].

Roland Klee, Chairperson
Planning & Zoning Commission



Journal Inquirer
February 4, 2023
February 11, 2023



TOWN OF VERNON

55 WEST MAIN STREET, VERNON, CT 06066
(860) 870-3640 - astephens@vernon-ct.gov

OFFICE OF THE TOWN PLANNER

January 26, 2023

NOTICE TO ABUTTERS PLANNING AND ZONING COMMISSION MEETING

The Vernon Planning & Zoning Commission (PZC) will hold the following public hearings at a regular meeting on **Thursday, February 16, 2023 at 7:30 p.m. in Vernon Town Hall, First Floor, Probate Court Conference Room, 14 Park Place, Vernon.**

PZ 2023-02 - 10 Snipsic St. Application of Adam Wing, Connecticut Water Company for Site Plan and special permits (4.18.3.3.2, 4.18.3.3.4) to construct a 5,200 sq. ft. building for new aeration equipment to replace the aging infrastructure and storage building for equipment that is stored onsite for the treatment plant and reservoir Property is zoned Restricted Watershed [Map #45, Block #123, Lot #3]

PZ 2023-01 – 234 Talcottville Road – An application of Benjamin Tinsley (Prime Wellness of Connecticut) for Site Plan and Special Permits (4.9.4.10 and 4.9.4.15.6) for a hybrid cannabis dispensary and cannabis retailer. The property is zoned Commercial [Map #10, Block #15, Lot #40].

Roland Klee, Chairperson
Planning & Zoning Commission

The applications are available for review in the Planners Office located at 55 West Main Street. The PZC agenda and application materials will be also be available for review 24 hours before the meeting at <https://www.vernon-ct.gov/government/board-and-commissions>. Interested parties are encouraged to provide written comments in advance by emailing Ashley Stephens, Town Planner, at astephens@vernon-ct.gov



North Central District Health Department

□ Enfield—31 North Main Street, Enfield, CT 06082 * (860) 745-0383 Fax (860) 745-3188
□ Vernon—375 Hartford Turnpike, Room 120, Vernon, CT 06066 * (860) 872-1501 Fax (860) 872 1531
□ Windham—Town Hall, 979 Main Street, Willimantic, CT 06226 * (860) 465-3033 Fax (860) 465-3034
□ Stafford—Town Hall, 1 Main Street, Stafford Springs, CT 06076 * (860) 684-5609 Fax (860) 684-1768

Patrice A. Sulik, MPH, R.S.
Director of Health

February 8, 2023

Ms. Ashley Stephens
Vernon Town Planner
55 West Main Street
Vernon, Connecticut 06066

Re: Planning & Zoning Commission Application – Connecticut Water Company
93 West Main Street
Clinton, Connecticut 06413

Dear Ashley Stephens:

I am writing regarding the Planning & Zoning Commission Application at 10 Snipsic Street, Vernon.

North Central District Health Department (NCDHD) has the following comments regarding the application:

- According to the Vernon Water Pollution Control Authority public sewers are available for this property..
- Public water is available for this building.
- If dumpsters are required. The dumpster(s) shall reside on a concrete slab or equivalent.

Should anyone have any additional questions regarding this matter, I am reachable via email at bbielawiec@ncdhd.org. You can also call me at the NCDHD office at 860-745-0383, extension 114.

Sincerely,



Brian Bielawiec, M.P.H., R.S.
Registered Sanitarian 3



OFFICE OF THE
TOWN PLANNER

TOWN OF VERNON

55 West Main St., VERNON, CT 06066-3291
(860) 870-3640
Astephens@vernon-ct.gov

MEMORANDUM

TO: Planning & Zoning Commission

FROM: Ashley Stephens, Town Planner

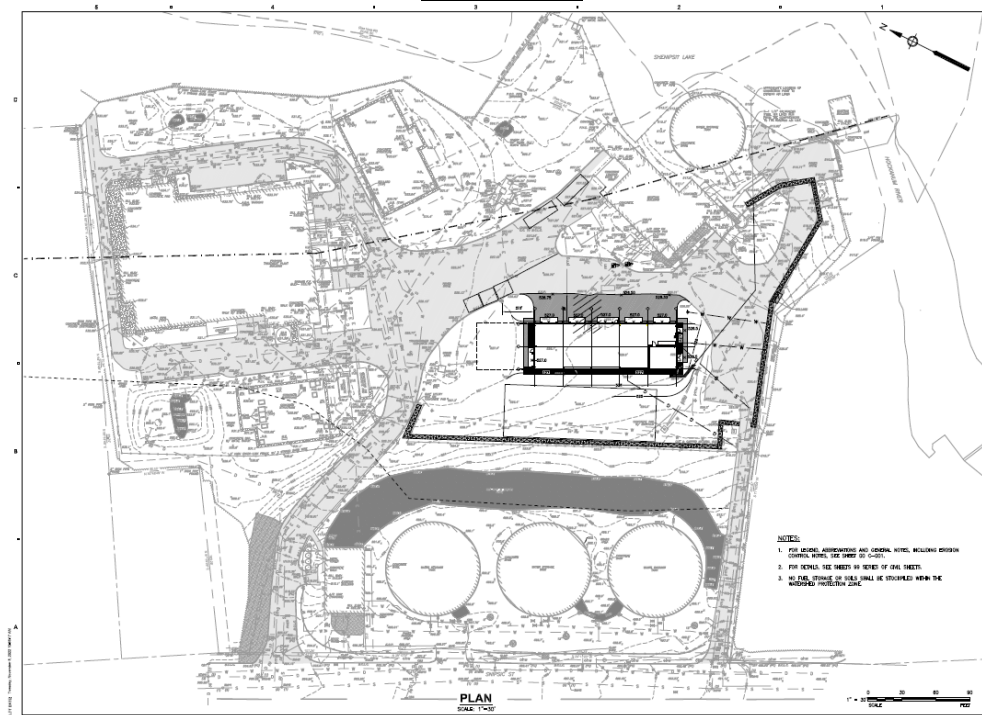
SUBJECT: PZ 2023-02- 10 Snipsic St.

DATE: February 16, 2023

REQUEST

PZ 2023-02 - 10 Snipsic St. Application of Adam Wing, Connecticut Water Company for Site Plan and special permits (4.18.3.3.2, 4.18.3.3.4) to construct a 5,200 sq. ft. building for new aeration equipment to replace the aging infrastructure and storage building for equipment that is stored onsite for the treatment plant and reservoir. Property is zoned Restricted Watershed [Map #45, Block #123, Lot #3]

Site Location



Town of Vernon, CT

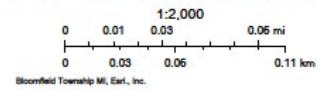


January 31, 2023

TaxParcelPublishing 2019

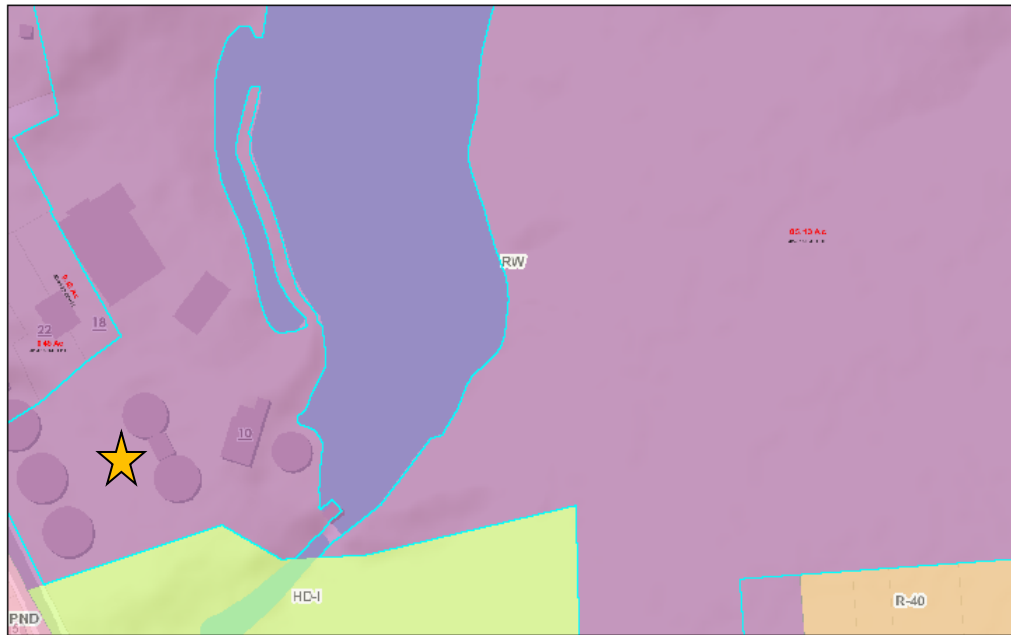
Red: Band_1 Blue: Band_3

Green: Band_2



GIS Dept
Copyright 2020

Town of Vernon, CT

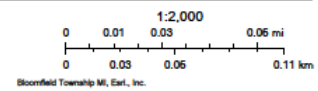


January 31, 2023

TaxParcelPublishing

Zoning

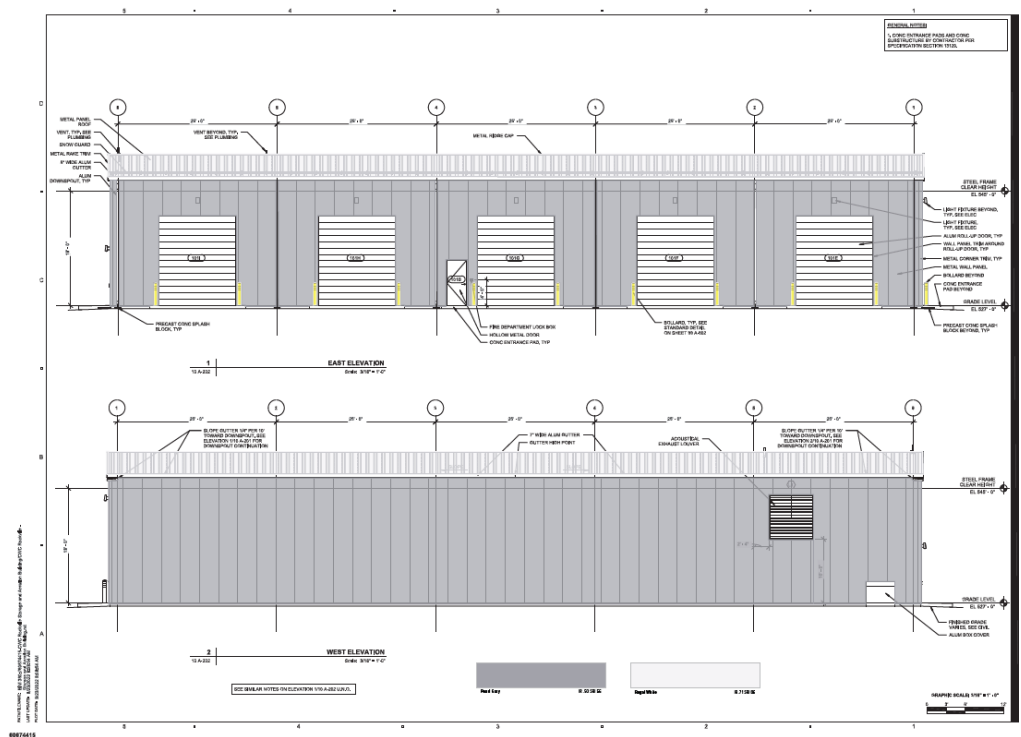
CMFD I Open Space PDZ-EXT 67 R-10
HD-I MHP PC PND R-15
C HD-RC NR-10 PDZ PRD R-22



GIS Dept
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SUMMARY

The applicant proposes to construct a 5,200 sq. ft building for new aeration equipment to replace the aging infrastructure and storage building for equipment that is stored onsite for the treatment plant and reservoir. The applicant submitted an application with a site plan, drainage plan, photometric plan, architectural elevations, and an erosion and sedimentation control plan, all included with the agenda packet.



STAFF REVIEWS:

Traffic Authority: N/A

Conservation: N/A

Town Engineer: Does not have any issues with the application and feels that the Stormwater letter provides us with the requested redirection run off.

Building Official:

- All construction must comply with the adopted 2022 Connecticut State Building Code
- All building demolition, alterations and additions must be permitted
- No work shall begin until construction plans have been submitted and all permits have been approved by the Building Department and Fire Marshal's Office

Fire Marshal: No concerns.

Wetlands Commission: The applicant has attended an IWC meeting where they found that the work is permitted as of right. Please see attached memo.

Zoning Review: The plans conform with all zoning regulations regarding setbacks, photometrics and design standards.

Health Department: Please see attached comments.

Town Planner Summary:

The applicant requests approval to construct a 5,200 sq ft building. This will require a special permit based on section 4.18.3.3.4 that the aggregate square footage for all structures on any parcel exceeds twenty-five (25) thousand. The proposed structure is also within 200 feet of a residential structure, per section 4.18.3.2., which also requires a special permit.

The applicant's proposed plan of development meets the Town of Vernon's site plan requirements under section 14.

In order to approve a special permit, the Commission must find that the application meets the general special permit criteria of Section 17.3.1, specifically:

- 17.3.1.1 It shall not create a hazardous condition relative to public health and safety
- 17.3.1.2 It shall be compatible with neighboring uses;
- 17.3.1.3 It shall not create a nuisance;
- 17.3.1.4 It shall not hinder the future sound development of the community;
- 17.3.1.5 It shall conform to all applicable sections of this ordinance;
- 17.3.1.6 N/A

17.3.1.7 N/A

17.3.1.8 The Commission may at its discretion require the submission of a Site Plan for approval as outlined in Section 14 of this ordinance.

In order to approve a special permit, the Commission must also find that the application meets the Architectural & Design Review Regulations, specifically section 21.

This proposal fits into the restricted watershed district. The new proposed building is an accessory use to the operation of the public water company. The proposal does not create a hazardous condition relating to public health or safety; it is compatible with neighboring commercial uses; it will not create a nuisance nor will it hinder the future sound development of the community.

The application meets Section 17.3.1. for a special permit, as well as Section 21 for design review. Staff recommends the approval of the special permit request.

Proposed motion:

- A. I move that the Planning & Zoning Commission Approve PZ 2023-02, a special permit to construct a new building on the premise that will exceed 25,000 square feet for all structures on the parcel per Section 4.18.3.3.4 and a special permit per Section 4.18.3.3.2 being that the structure is within 200 feet of a residential structure.

Or

- B. I propose another motion