

# Town of Scarborough HIGGINS BEACH CHARACTER-BASED ZONING DISTRICTS

Adopted 12-2-15

Amended 09-06-2017

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# TABLE OF CONTENTS

## ARTICLE 1: GENERAL PROVISIONS

- A. GENERAL

## ARTICLE 2: CHARACTER DISTRICTS

- A. COASTAL RESIDENTIAL 1 (CD-CR1)
- B. COASTAL MIXED USE - LIMITED (CD-CML)

## ARTICLE 3: COASTAL OVERLAY DISTRICTS & NATURAL RESOURCE REFERENCES

- A. FLOODPLAIN OVERLAY (SD-FL)
- B. SHORELAND OVERLAY (SD-SO)
- C. COASTAL DUNES (SD-CD)

## ARTICLE 4: BUILDING STANDARDS

- A. STANDARDS FOR ALL BUILDING TYPES
- B. PRINCIPAL BUILDING TYPES & STANDARDS
- C. ACCESSORY BUILDING TYPES & STANDARDS
- D. BUILDING COMPONENTS
- E. BUILDING COMPONENT STANDARDS
- F. FOUNDATIONS & STANDARDS
- G. BUILDING FRONTAGE TYPES

## ARTICLE 5: USE PROVISIONS & ADMINISTRATION

- A. COASTAL RESIDENTIAL 1 (CD-CR1)
- B. COASTAL MIXED USE - LIMITED (CD-CML)
- C. ADMINISTRATION & PERMITTING

## ARTICLE 6: DEFINITIONS

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## A. PURPOSE

- a. To implement the Comprehensive Plan of the Town of Scarborough.
- b. To coordinate development and redevelopment according to plans collaboratively developed with community members from Higgins Beach.
- c. To maintain a complete, walkable neighborhood that continues to promote community and neighborly activity.
- d. To preserve and enhance the existing character of Higgins Beach, respects the existing built form, and honors the historic development pattern inherent in the original plat of Higgins Beach.
- e. To require a strong connection and appropriate transition between the public realm (streets and sidewalks) and the private realm (yards and buildings).
- f. To promote the adaptation of existing buildings and to permit redevelopment and infill construction that contributes to and preserves the character of Higgins Beach.
- g. To allow for a narrow range of business activity that supports the local residents of Higgins Beach.
- h. To enable continued access to Higgins Beach's greatest amenity, the beach, marshes, and other coastal areas.

## B. APPLICABILITY

- a. Unless otherwise specified, this District is applicable to all real property within Higgins Beach as described on the Town of Scarborough Official Zoning Map.
- b. That which is not specifically allowed by this ordinance as it pertains to the dimensions, massing, and location of buildings, lots, accessory buildings, roofs, and components shall be considered to be prohibited.

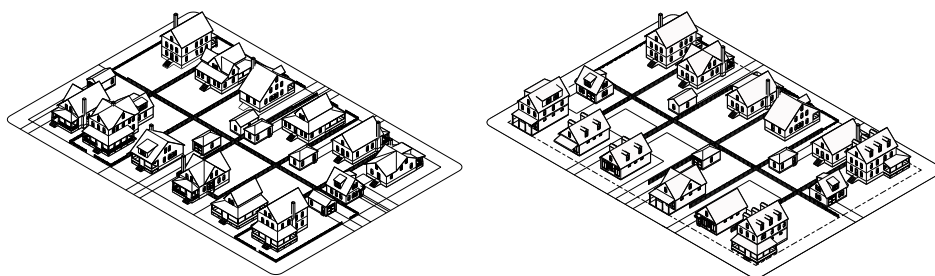
## C. TEXT & GRAPHICS

- a. Illustrations, graphics, pictures, and flowcharts are included in this District to help illustrate the intent and requirements of the text. In the case of a conflict between the text of this Chapter and any illustration, graphic, picture, or flowchart, the text shall govern.
- b. All metrics included in tables shall be interpreted as text under this Chapter and shall govern.

## D. GENERAL TO LOTS

- a. For the purposes of determining setbacks any lot that fronts on two non-intersecting streets, or a street and the beach, shall be considered to have primary front lot lines along all said streets or resources.

TABLE 2.1 CHARACTER DISTRICT SUMMARY TABLE

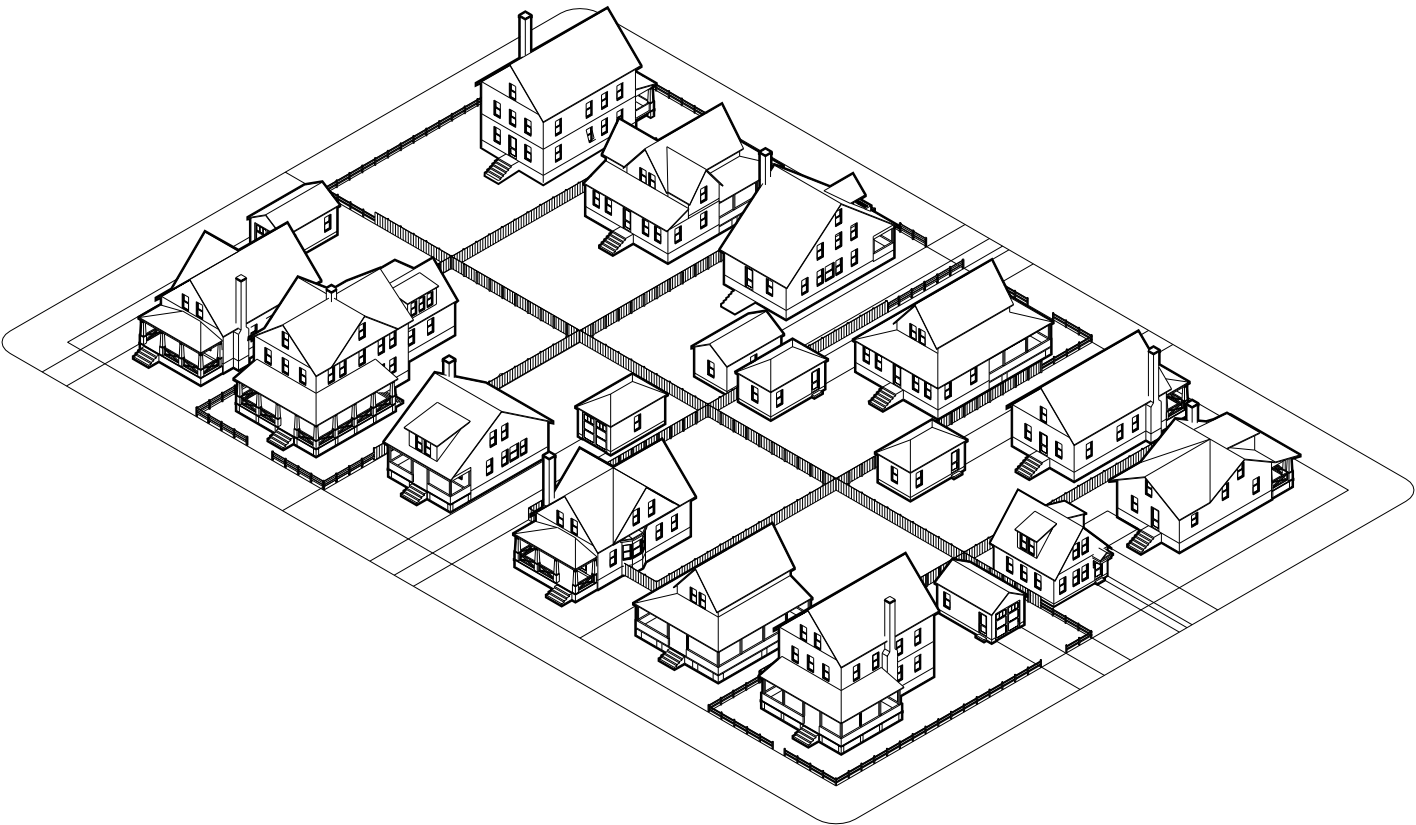


1. COASTAL RESIDENTIAL 1 (CD-CR1)

2. COASTAL MIXED-USE LIMITED (CD-CML)

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**A. COASTAL RESIDENTIAL 1 (CD-CR1)**



**INTENT**

- a. To conserve the already established residential neighborhood fabric of Higgins Beach and the rhythm of single-family homes and cottages.

**PURPOSE**

- a. To permit the development of new single-family residential building types on individual lots.
- b. To provide for the administrative review of additions and modifications to existing structures, in keeping with the standards of this District.

**BUILDING STANDARDS**

- a. See Article 4: Building Standards for the standards for each building type.

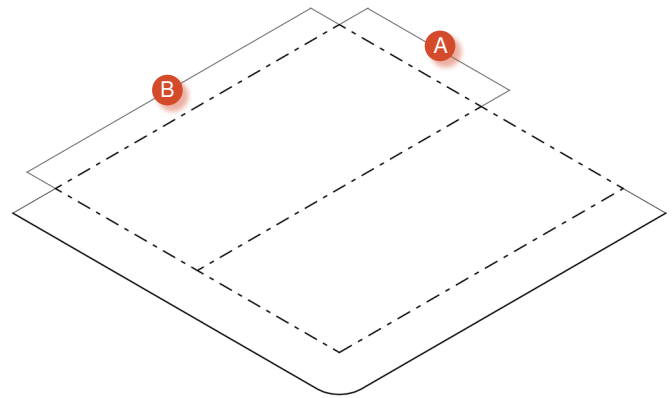
**PERMITTED BUILDING TYPES**

Coastal Cottage	Permitted
Bungalow	Permitted
House	Permitted
Inn Building	Not Permitted
Shop House	Not Permitted
Neighborhood Store	Not Permitted

## Article 2: Character Districts

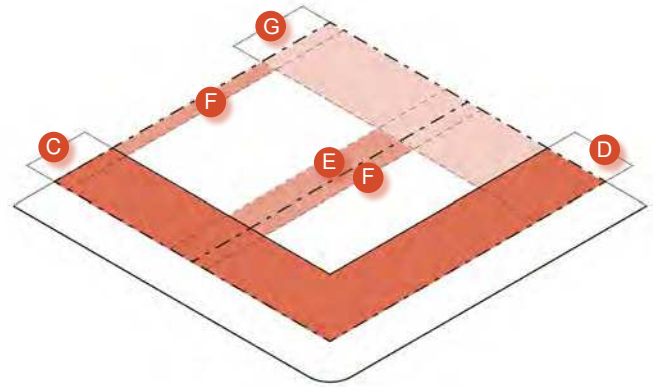
### LOT DIMENSIONS

Width	48 ft min	A
Depth	98 ft min	B



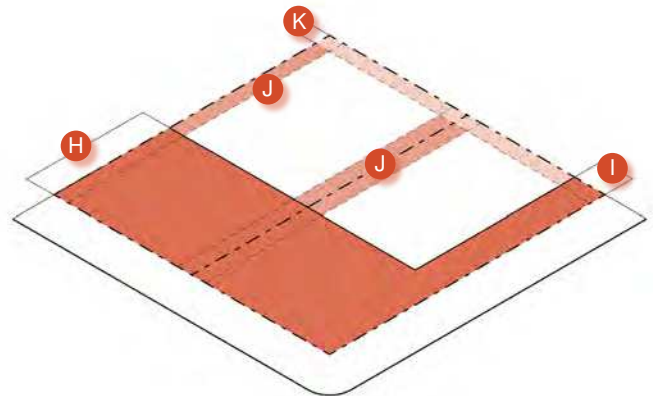
### PRINCIPAL BUILDING PLACEMENT

Primary Front Setback	18 ft min, 21 ft max	C
Secondary Front Setback	12 ft min, 21 ft max	D
Primary Side Setback	8 ft min	E
Secondary Side Setback	8 ft min	F
Rear Setback	30 ft min	G



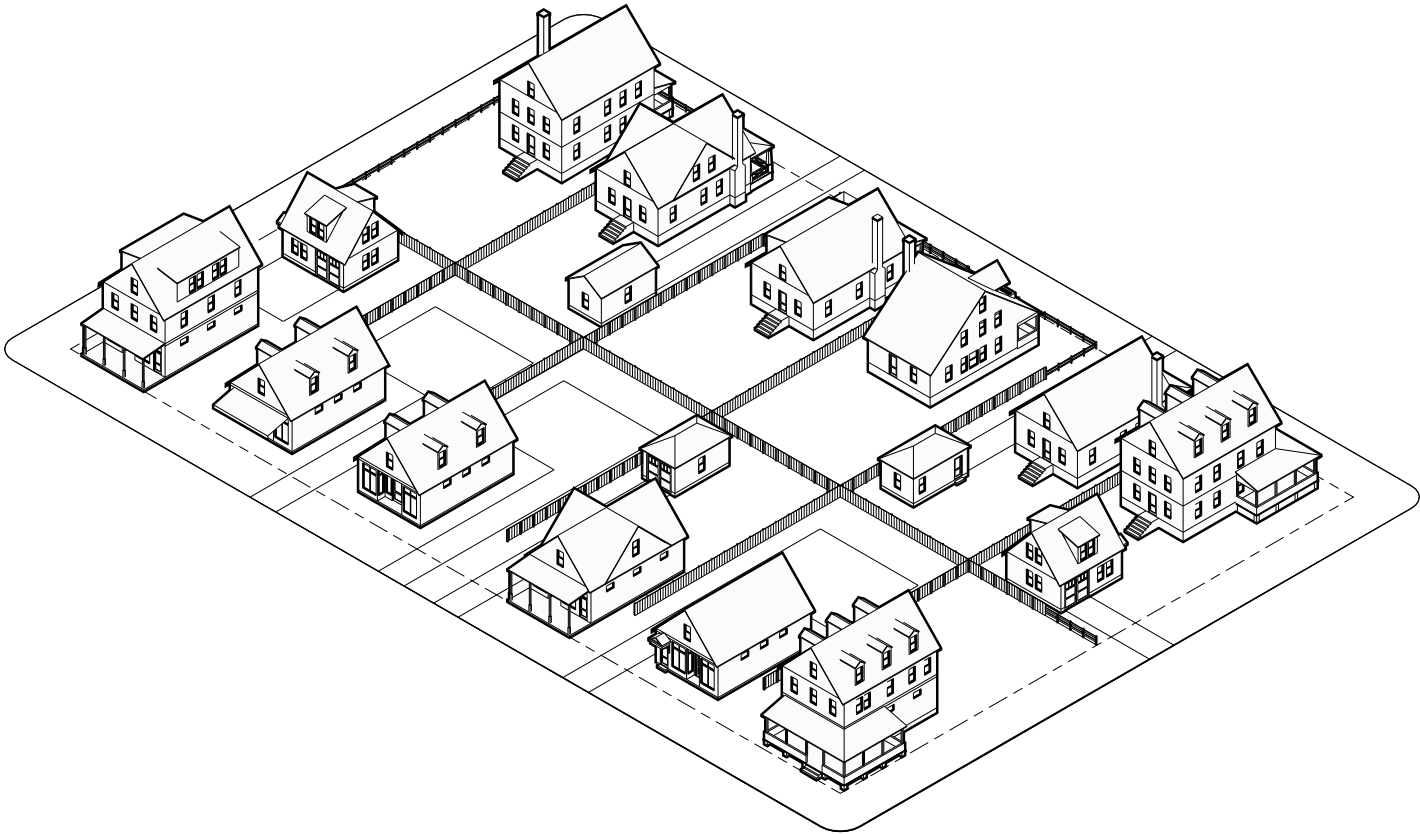
### ACCESSORY BUILDING PLACEMENT

Primary Front Setback	40 ft min	H
Secondary Front Setback	12 ft min	I
Side Setback	3 ft min	J
Rear Setback	3 ft min	K





**B. COASTAL MIXED-USE-LIMITED (CD-CML)**



**INTENT**

- a. To maintain and enhance the existing mixed use and limited commercial uses that support the existing residential neighborhood.

**PURPOSE**

- a. To permit appropriate, small-scale commercial uses in keeping with the character of the neighborhood.
- b. To protect existing historic commercial properties that contribute to the character of Higgins Beach.

**BUILDING STANDARDS**

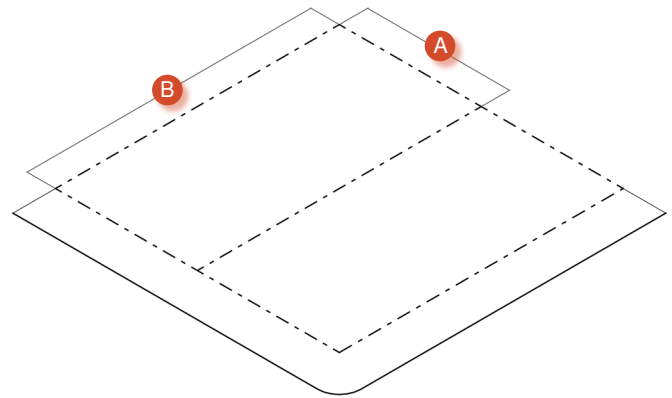
- a. See Article 4: Building Standards for each building type.

**PERMITTED BUILDING TYPES**

Coastal Cottage	Permitted
Bungalow	Permitted
House	Permitted
Inn Building	Permitted
Shop House	Permitted
Neighborhood Store	Permitted

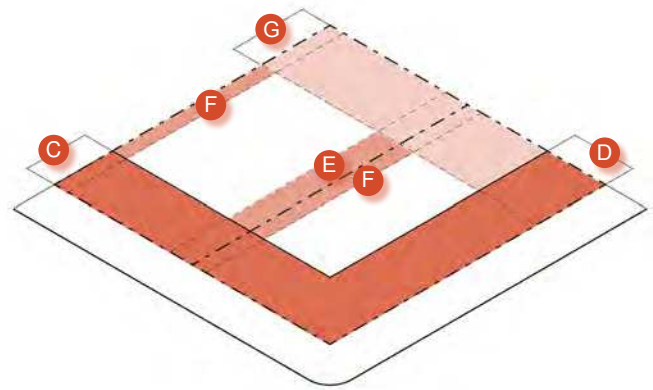
LOT DIMENSIONS

Width	48 ft min	A
Depth	98 ft min	B



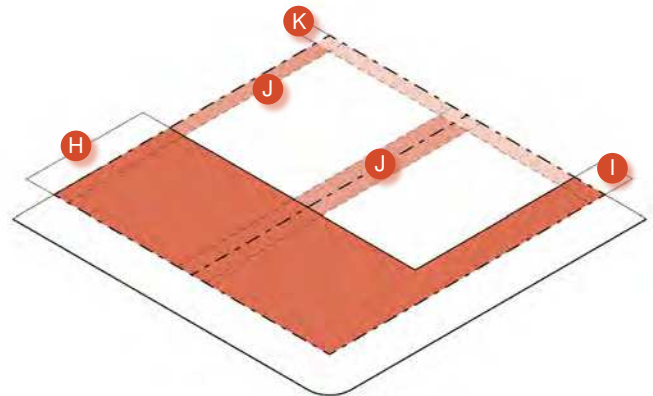
PRINCIPAL BUILDING PLACEMENT

Primary Front Setback	8 ft min, 21 ft max	C
Secondary Front Setback	8 ft min, 21 ft max	D
Primary Side Setback	8 ft min	E
Secondary Side Setback	8 ft min	F
Rear Setback	20 ft min	G



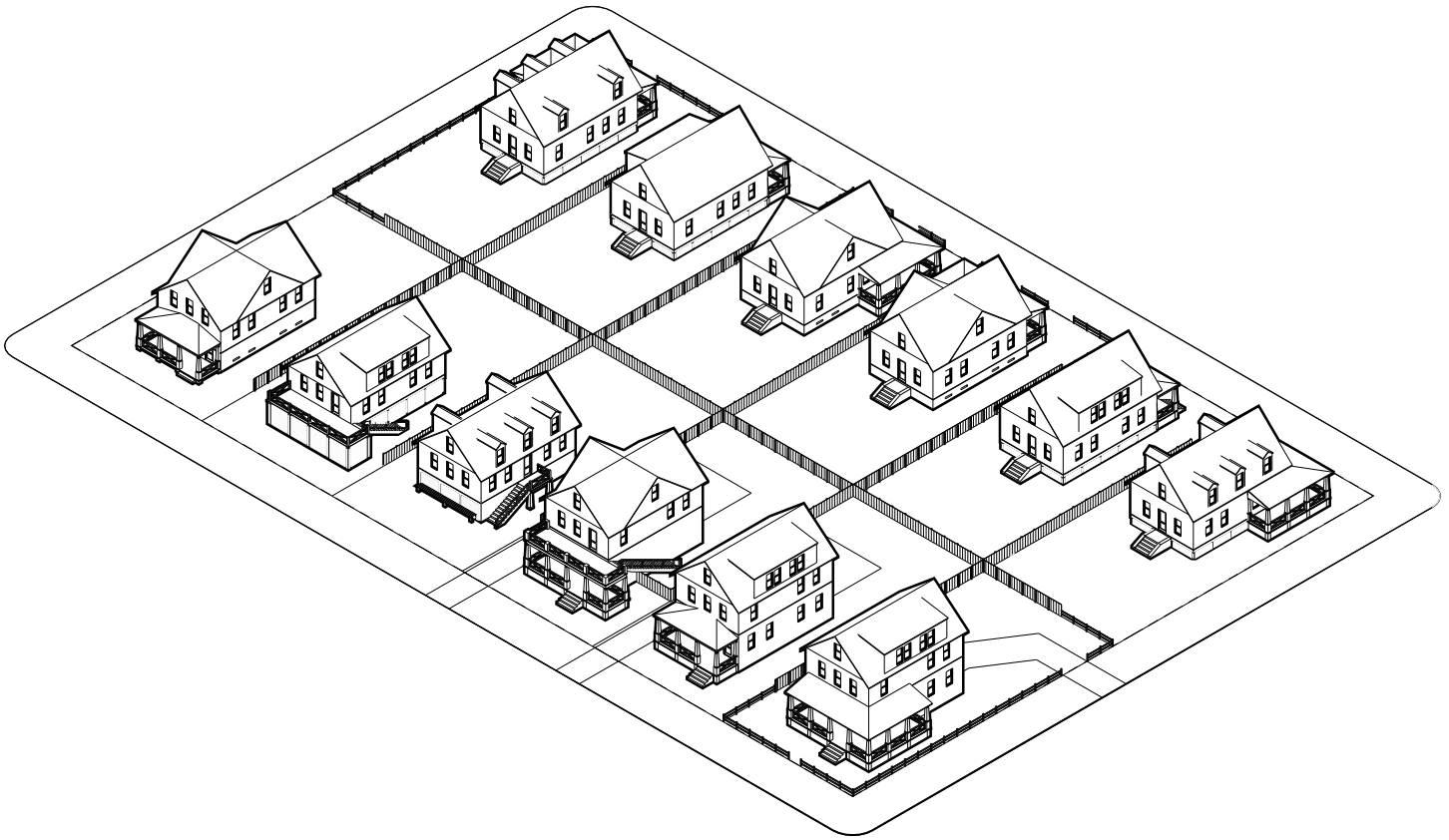
ACCESSORY BUILDING PLACEMENT

Primary Front Setback	40 ft min	H
Secondary Front Setback	8 ft min	I
Side Setback	3 ft min	J
Rear Setback	3 ft min	K



## A. SHORELAND OVERLAY

THIS SECTION IS FOR REFERENCE ONLY. REFER TO CHAPTER 405C THE SHORELAND ZONING ORDINANCE FOR SPECIFIC STANDARDS AND REQUIREMENTS



### 75 ft from the resource

### 75 to 250 ft from the resource

\*\* measured from highest annual tide

<b>New Construction</b>	No new construction.	New construction allowed per Coverage standards below.
<b>Additions/ Expansions</b>	30% expansion max., area and volume, from January 1, 1989.	Expansions allowed per Coverage standards below.
<b>Coverage</b>	Limited to existing coverage as per Chapter 405C the Shoreland Zoning Ordinance	35% Development Coverage * includes all land covered by nonvegetated surfaces as per Chapter 405C the Shoreland Zoning Ordinance
<b>Height</b>	See Article 4.A.2.	See Article 4.A.2.
<b>Placement on Lot</b>	May not move or add to an existing structure any closer to the resource as per Chapter 405C the Shoreland Zoning Ordinance	See Article 2. Character Districts
<b>Accessory Units</b>	In the Shoreland Overlay accessory units are considered separate dwelling units and are only permitted when both the single-family dwelling and the accessory unit individually comply with the lot dimensional requirements	See Section 15.A.5. of Chapter 405C the Shoreland Zoning Ordinance

## B. FLOODPLAIN

THIS SECTION IS FOR REFERENCE ONLY. REFER TO CHAPTER 405A THE FLOODPLAIN MANAGEMENT ORDINANCE FOR SPECIFIC STANDARDS AND REQUIREMENTS. ADDITIONAL LIMITATIONS/REQUIREMENTS PURSUANT TO MAINE DEP CHAPTER 355: COASTAL SAND DUNE RULES, MAY BE APPLICABLE. \*

	VE	AE	AO	A
<b>New Construction</b>	New construction allowed per elevation standards below.	New construction allowed per elevation standards below.	New construction allowed per elevation standards below.	New construction allowed per elevation standards below.
<b>Additions/Expansions</b>	*Expansions allowed per elevation standards below. Substantial Improvement/substantial damage will require elevation standards to be met for entire structure.	*Expansions allowed per elevation standards below. Substantial Improvement/substantial damage will require elevation standards to be met for entire structure.	*Expansions allowed per elevation standards below. Substantial Improvement/substantial damage will require elevation standards to be met for entire structure.	*Expansions allowed per elevation standards below. Substantial Improvement/substantial damage will require elevation standards to be met for entire structure.
<b>Coverage</b>	*Controlled by Character District and Shoreland Zoning.	*Controlled by Character District and Shoreland Zoning.	*Controlled by Character District and Shoreland Zoning.	*Controlled by Character District and Shoreland Zoning.
<b>Elevation</b>	Bottom of lowest horizontal framing member must be 1 ft above base flood as defined under Chapter 405A, Article VI.P of the Floodplain Management Ordinance.	Top of lowest floor including basement must be 1 ft above base flood as defined under Chapter 405A, Article VI.F-G of the Floodplain Management Ordinance.	*1 ft higher than the flood depth specified on FIRM or at least 3 ft if no depth number is specified.	1 ft above base flood as determined by the methods under Chapter 405A the Floodplain Management Ordinance Article III.H.1.b.
<b>Height</b>	See Article 4.A.2.	See Article 4.A.2.	See Article 4.A.2.	See Article 4.A.2.
<b>Placement on Lot</b>	*Controlled by Character District and Shoreland Zoning.	*Controlled by Character District and Shoreland Zoning.	*Controlled by Character District and Shoreland Zoning.	*Controlled by Character District and Shoreland Zoning.

### C. SAND DUNES

THIS SECTION IS FOR REFERENCE ONLY. REFER TO THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION REGULATIONS, CHAPTER 355: COASTAL SAND DUNE RULES, FOR SPECIFIC STANDARDS AND REQUIREMENTS. CONSULT MAINE DEP STAFF FOR RULE INTERPRETATIONS AND DETERMINATIONS.

	Frontal Dune	Back Dune	Erosion Hazard Area
<b>New Construction</b>	See Chapter 355 - consult with Maine DEP	See Chapter 355 - consult with Maine DEP	See Chapter 355 - consult with Maine DEP
<b>Additions/ Expansions</b>	See Chapter 355 - consult with Maine DEP	See Chapter 355 - consult with Maine DEP	See Chapter 355 - consult with Maine DEP
<b>Coverage</b>	See Chapter 355 - consult with Maine DEP	See Chapter 355 - consult with Maine DEP	See Chapter 355 - consult with Maine DEP
<b>Elevation</b>	See Chapter 355 - consult with Maine DEP	See Chapter 355 - consult with Maine DEP	Undeveloped lot: 3 ft above highest existing elevation within the buildings footprint  Developed lot: 3 ft. above the highest natural elevation measured 5 ft from corners of existing bldg foundation or the elevation required in local floodplain ordinance, whichever is higher.
<b>Height</b>	35 ft measured from the elevation used by the municipality when determining compliance with local ordinances.	35 ft measured from the elevation used by the municipality when determining compliance with local ordinances.	35 ft measured from the elevation used by the municipality when determining compliance with local ordinances.
<b>Placement on Lot</b>	See Chapter 355 - consult with Maine DEP	Controlled by Character District or See Chapter 355 - consult with Maine DEP.	Controlled by Character District or See Chapter 355 - consult with Maine DEP
<b>Specifications</b>	See Chapter 355 - consult with Maine DEP	See Chapter 355 - consult with Maine DEP	See Chapter 355 - consult with Maine DEP

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## A. STANDARDS FOR ALL BUILDINGS

### 1. GENERAL

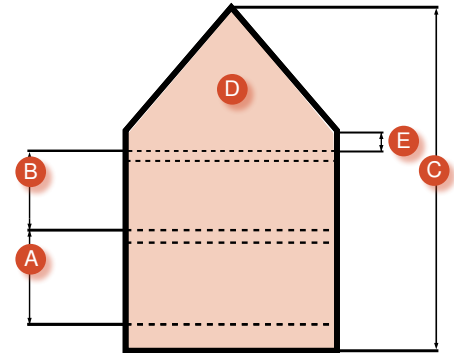
- a. Principal building types are summarized on Table 4.2A and permitted according to Character District standards in Article 2: Character Districts.
- b. See Article 4.B for the standards for each building type.
- c. The Planning and Code Enforcement Department shall classify existing principal structures as a specific building type based on the definition of each type and upon finding that the structure is substantially similar in placement, height, massing, use, and features to one of the permitted building types.
- d. Existing buildings may be considered a component or accessory building of a new principle building on the same lot, provided they meet all dimensional requirements for that component or accessory building (with the exception of roof pitch, which may remain nonconforming provided the existing nonconformity is not extended to the roof pitch of the new principle building.)

### 2. BUILDING MASSING & ASSEMBLY

- a. All principal and accessory buildings must meet the standards for one of the building types provided in Article 4B.
- b. Each principal building and accessory building type must be comprised of a main building mass with a rectangular form and a single allowed roof type.
- c. In order to create a broad range of building designs and promote architectural creativity, components may attach to both principal and accessory buildings.
- d. The outer wall of a main building mass must be located entirely in a single plane. Articulation in the wall plane is not permitted except through the use of a component.
- e. For the purpose of measurement, building length and width standards apply only to the main building mass of principal and accessory buildings. Components have unique dimensions and standards.
- f. Integral or engaged components may recess within the envelope of the main building mass only at the story to which they are attached, and may not alter the boundary of the main building roof above.
- g. Terraced components may recess within the structure of a pitched roof.
- h. Architectural decorations, moldings, adornments, and details shall not be regulated by this ordinance provided they project from the face of a building or component by less than 6 inches.

### 3. HEIGHT

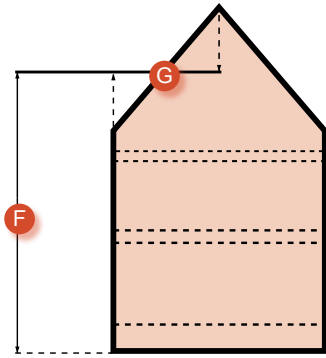
- a. Building Height, Stories



- i. Story height is measured from the surface of any floor to the surface of the floor above it **A** or, if there is no floor above, from the surface of the floor to the top of the lowest horizontal roof joist or collar tie, whichever is lower **B**.
- ii. To calculate building height by number of stories, each story above the average ground level within the required building placement area is counted as 1 story **C**.
- iii. Basements are counted as 1-story when 5 feet or more of an exterior basement wall at the front setback is exposed above the average ground level.
  - a). An unfinished or flood resistant enclosure for utilities, building access or storage in an area other than a basement area is not considered a building's basement.
- iv. For buildings with pitched roofs, habitable space is allowed within the pitch and is not considered a full story. **D**
- v. A habitable floor within a pitched roof must be counted as a full story if the roof rafters intersect the wall plate or top of the exterior wall frame at a height more than 1 feet above the finished floor of the space. **E**
- vi. A half-story is a habitable story within a pitched roof where the roof rafters intersect the wall plate or top of the exterior wall frame at a height less than 1 feet above the finished floor of the space. **E**
- vii. A building that has more than one floor contained within the structure of a pitched roof must count all but the top floor as a story.

Article 4: Building Standards

b. Building Height, Feet



- i. In the Character Districts building height is generally regulated by stories, but shall also comply with a maximum building height limit of thirty-two (32) feet.
- ii. Building height by feet shall be measured as required in the Zoning Ordinance definition: the vertical distance **F** measured from the average elevation of the finished grade at the front of the building to the highest point of the roof on a flat or mansard roof and to the average height between the eaves and the ridge for all other types of roof **G**.

iii. In the Shoreland Zone building height is also limited to thirty-five (35) feet measured to the highest point of the structure as required in Chapter 405C, Section 17 of the Shoreland Zoning Ordinance.

c. Ground Floor Elevation

- i. Ground floor elevation is measured from the average ground level at the front of the building, to the top of the finished floor of the ground story of a building.
- ii. Ground story dwelling units must be elevated above grade a minimum of 2 ft.
- iii. Ground floor should not be confused with “lowest floor” as defined in Chapter 405A - Scarborough Floodplain Management Ordinance on those parcels in Special Flood Hazard Areas.
- d. Eave Height is measured from the top of the foundation to the lowest point of a soffit, or the lowest point of the rafter ends if there is no soffit.
- e. Height limits do not apply to mechanical equipment; roof mounted cellular, radio and internet transmission equipment; vents or exhausts; solar panels or skylights; flagpoles; chimneys; parapets or other non-habitable architectural features; and to roof walks in conformance with Article 4.

TABLE 4.1A ROOFS BY BUILDING TYPE (SEE TABLE 4.1B FOR ROOF STANDARDS BY COMPONENT TYPE)

	Gable	Hip	Bungalow Gable	Shed	Flat*
Coastal Cottage	9:12 Min 14:12 Max	-	-	-	-
Bungalow	-	-	6:12 Min 14:12 Max	-	-
House	9:12 Min 14:12 Max	3:12 Min 12:12 Max	-	-	-
Inn	6:12 Min 12:12 Max	3:12 Min 12:12 Max	-	-	1.5:12 Min* 2:12 Max
Shophouse	9:12 Min 14:12 Max	3:12 Min 12:12 Max	-	-	-
Neighborhood Store	9:12 Min 14:12 Max	3:12 Min 12:12 Max	-	3:12 Min 6:12 Max	1.5:12 Min* 2:12 Max
Outbuilding	9:12 Min 14:12 Max	3:12 Min 12:12 Max	-	3:12 Min 6:12 Max	1.5:12 Min* 2:12 Max
Carriage House	9:12 Min 14:12 Max	3:12 Min 12:12 Max	-	3:12 Min 6:12 Max	-

NOTE: Roofs marked with a dash (-) are not permitted with that building type.  
 \* Or minimum slope required by building code for specified roof system.



**4. ROOFS**

- a. Pitched roofs, if provided, must be symmetrically sloped in accordance with roof pitch standards for the building type (Table 4.1) with the exception of the Bungalow type, which has a unique roof composition.
- b. Pitched roofs must converge, symmetrically, to a single ridge beam at their highest point. Roof assemblies with multiple ridge beams are prohibited.
- c. The highest point of the roof of any component must be lower than or equal to the highest point of the roof of the principal building, unless specifically allowed to be taller.
- d. Gable ends must be located on the narrowest building face or component face, with the exception of the bungalow.
- e. Raking eaves at a building frontage must be restricted in depth such that no part of the roof overhangs the wall below by more than 1ft, measured horizontally.

- f. No part of any roof may overhang the wall below by more than 3 ft.

**5. FENESTRATION**

- a. Facades are required to have doors and windows with glass for a percentage of the total area of a facade, measured for each story independently.
- b. Required windows and doors must provide clear, transparent, and un-tinted glass.
- c. Fenestration of a story's facade is measured from the top of a finished floor to the top of the finished floor above, or top of wall plate on a single story structure.
- d. Fenestration requirements are only applicable to building walls that face a road, the beach, or any other public way. Exterior walls facing an interior lot line are exempt. Components have their own fenestration requirements that apply to all component faces.

TABLE 4.1B ROOFS BY COMPONENT TYPE

	Gable	Hip	Bungalow Gable	Shed	Flat*
<b>Projecting Porch</b>	5:12 Min 14:12 Max	3:12 Min 12:12 Max	-	3:12 Min 14:12 Max	1.5:12 Min* 2:12 Max
<b>Integral Porch</b>	-	-	-	-	-
<b>Engaged Porch</b>	5:12 Min 14:12 Max	3:12 Min 12:12 Max	-	3:12 Min 14:12 Max	1.5:12 Min* 2:12 Max
<b>Balcony</b>	-	-	-	-	-
<b>Bay Window</b>	5:12 Min 14:12 Max	3:12 Min 12:12 Max	-	3:12 Min 14:12 Max	1.5:12 Min* 2:12 Max
<b>Dormer Window</b>	4:12 Min 14:12 Max	3:12 Min 12:12 Max	-	6:12 Min 14:12 Max	-
<b>Cross Gable</b>	9:12 Min 14:12 Max	-	-	-	-
<b>Roof Walk</b>	-	-	-	-	-
<b>Retail Awning</b>	-	-	-	-	-
<b>Canopy</b>	5:12 Min 14:12 Max	3:12 Min 12:12 Max	-	3:12 Min 14:12 Max	1.5:12 Min* 2:12 Max
<b>Stoop</b>	-	-	-	-	-
<b>Deck</b>	-	-	-	-	-
<b>Rear Addition**</b>	9:12 Min 14:12 Max	3:12 Min 12:12 Max	-	5:12 Min 14:12 Max	1.5:12 Min* 2:12 Max
<b>Side Wing**</b>	9:12 Min 14:12 Max	3:12 Min 12:12 Max	-	5:12 Min 14:12 Max	-
<b>Estate Wing**</b>	9:12 Min 14:12 Max	3:12 Min 12:12 Max	-	5:12 Min 14:12 Max	-

COMPONENTS

NOTE: Roofs marked with a dash (-) are not permitted with that component type.

\* Or minimum slope required by building code for specified roof system.

\*\* Component may not exceed the roof pitch of the Principal Building to which they attach.

## Article 4: Building Standards

- e. To the extent possible, fenestration patterns and window configurations should be used that break the direct line of sight between neighboring properties to minimize privacy impacts. Other strategies, including the use of translucent glass on the bottom half of windows or strategically placed landscape elements, should be utilized if it is not possible to offset windows.

### 6. BUILDING PLACEMENT

- a. All buildings and structures must be located at or behind any required minimum front, side, or rear setback, except as allowed for under Article 4.A.5. Setback Encroachments.
- b. All stories of the facade of a principal building must be built at or within the provided setback range.
- c. The facade of a principal building must be built in a manner generally parallel to a front lot line or to the tangent of a curved front lot line with some adjustment allowed based on irregularly shaped lots.
- d. Notwithstanding the Definition of Corner Lot under Section VI. of this Ordinance, corner lots shall have primary and secondary front setback, side setback and a rear setback as shown under Article 2. Building Placements.

### 7. SETBACK ENCROACHMENTS

- a. Notwithstanding the general "Yard" requirements applicable to other Districts within this Ordinance, building frontages and components within the Character Districts may extend beyond a required front, side or rear setback (or yard) as indicated for each type provided that at least 3 ft. is maintained from the vertical plane of any side or rear lot line to the closest point of the structure. Specific encroachments for frontages and components can be found in Article 4.D.
- b. Accessory buildings and structures may encroach as indicated in Article 4: Building Standards.

### 8. MATERIALS

- a. Buildings must be sided with wood siding, vinyl siding, or cement board siding.
- b. Buildings located closer than 5 feet from a side or rear property line must meet the fire rated construction requirements as approved by the

Scarborough Fire Department.

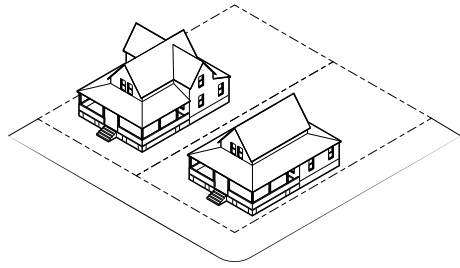
### 9. GARAGES AND PARKING

- a. Any building, accessory building, or component may contain a garage.
- b. Garages must be setback from the principal facade of the principal building by at least 20 feet, with the exception of lots having a front both on a street and the beach, which are exempt from this provision.
- c. Any paved driveway or parking area with a width greater than 12 feet must be setback from the facades of the principal building by at least 10 feet, with the exception of lots having a front both on a street and the beach, which are exempt from this provision.

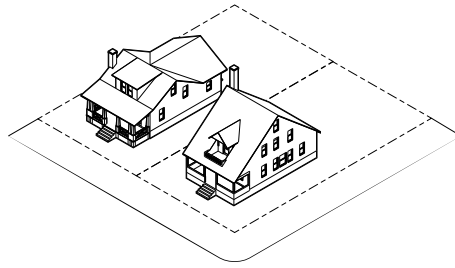
### 10. ACCESS

- a. All buildings must be accessed by a primary entrance located on the main building mass at, or within 12 ft of, the principal facade.
- b. Additional entrances may be located on any building or component face.

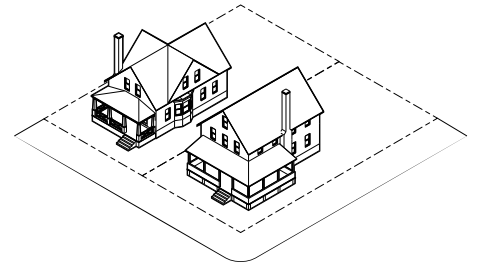
TABLE 4.2A BUILDING TYPES SUMMARY TABLE



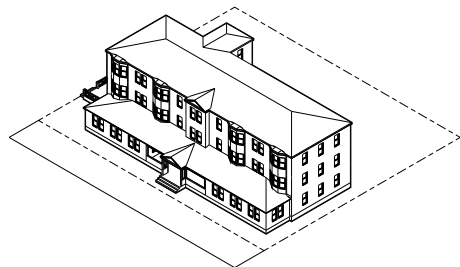
1. COASTAL COTTAGE



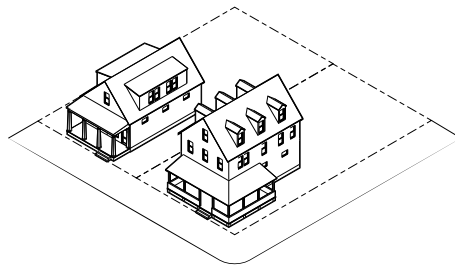
2. BUNGALOW



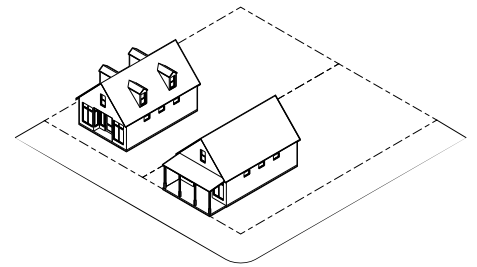
3. HOUSE



4. INN BUILDING

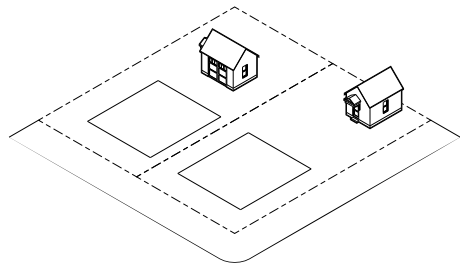


5. SHOPHOUSE

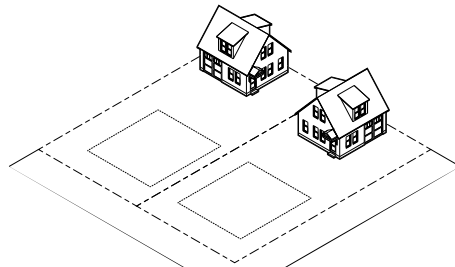


6. NEIGHBORHOOD STORE

TABLE 4.2B ACCESSORY BUILDING TYPES SUMMARY TABLE



1. ONE-STORY OUTBUILDING



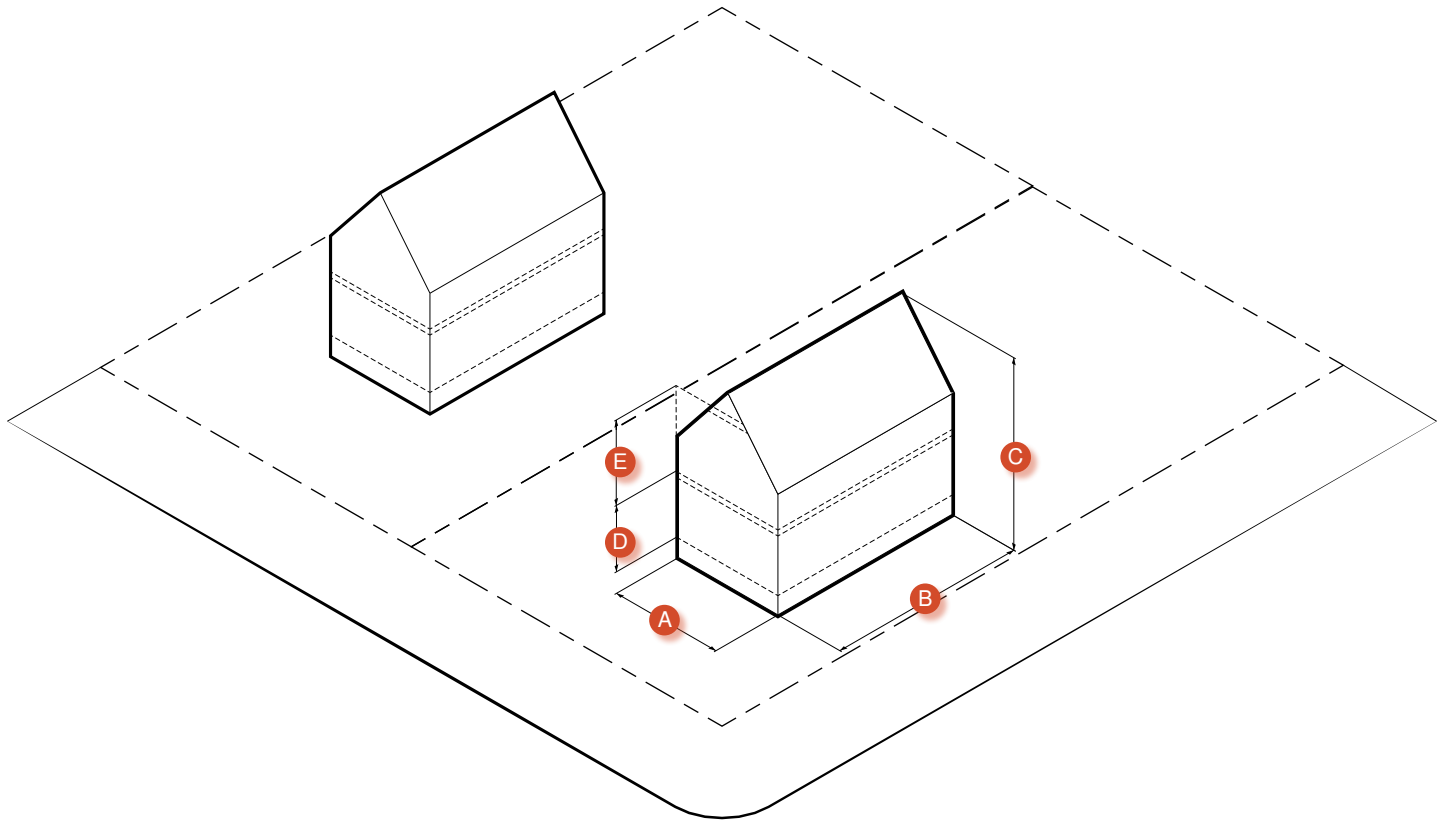
2. ONE-STORY CARRIAGE HOUSE

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## B. PRINCIPAL BUILDING TYPES & STANDARDS

### 1. COASTAL COTTAGE

A detached residential building type with one principal dwelling unit and defined by a narrow, projecting center massing that typically has a wrap-around porch engaged on the sides.



#### BUILDING FORM

Building Width	22 ft max	A
Building Depth	36 ft max	B
Total Stories	2.5 stories max*	C
First Story Height*	10 ft max	D
Upper Story Height*	9 ft max	E
Roof	See Table 4.1	

\*See Article 4.A.3 for Height Standards.

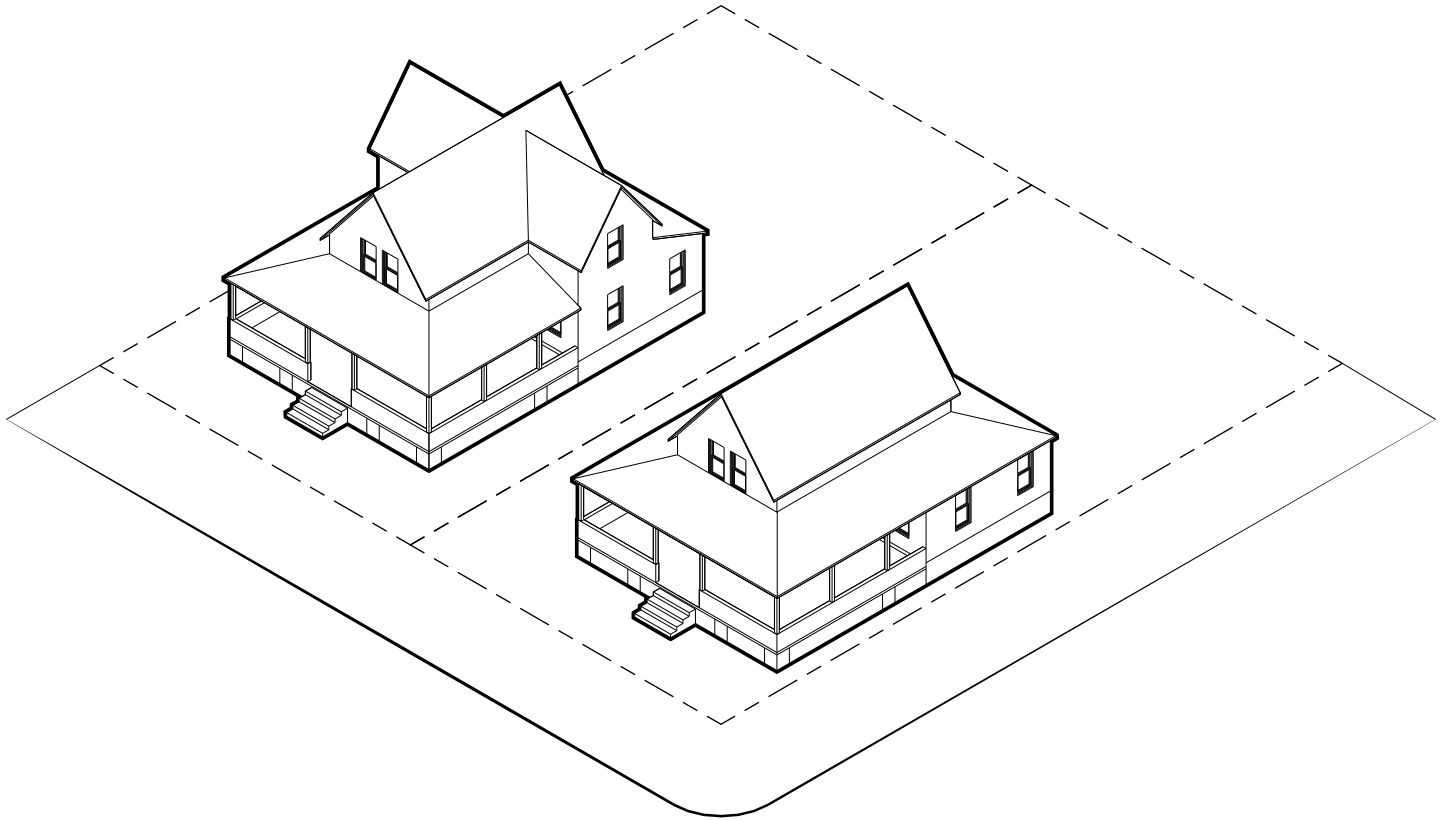
#### FACADE COMPOSITION

Ground Story Fenestration	20% min
Upper Story Fenestration	15% min

#### FRONTAGES

Residential Yard	Required
Shopfront	Not Permitted
Beachfront Yard	See Special Requirements Map
Beachfront Garage Court	See Special Requirements Map

COASTAL COTTAGE COMPONENTS



COMPONENTS	See Article 4C
Projecting Porch	Permitted
Integral Porch	Not Permitted
Engaged Porch	Permitted
Balcony	Permitted
Bay Window	Permitted
Dormer Window	Permitted
Cross Gable	Permitted
Roof Walk	Not Permitted
Retail Awning	Not Permitted
Canopy	Permitted
Stoop	Permitted
Deck	Permitted

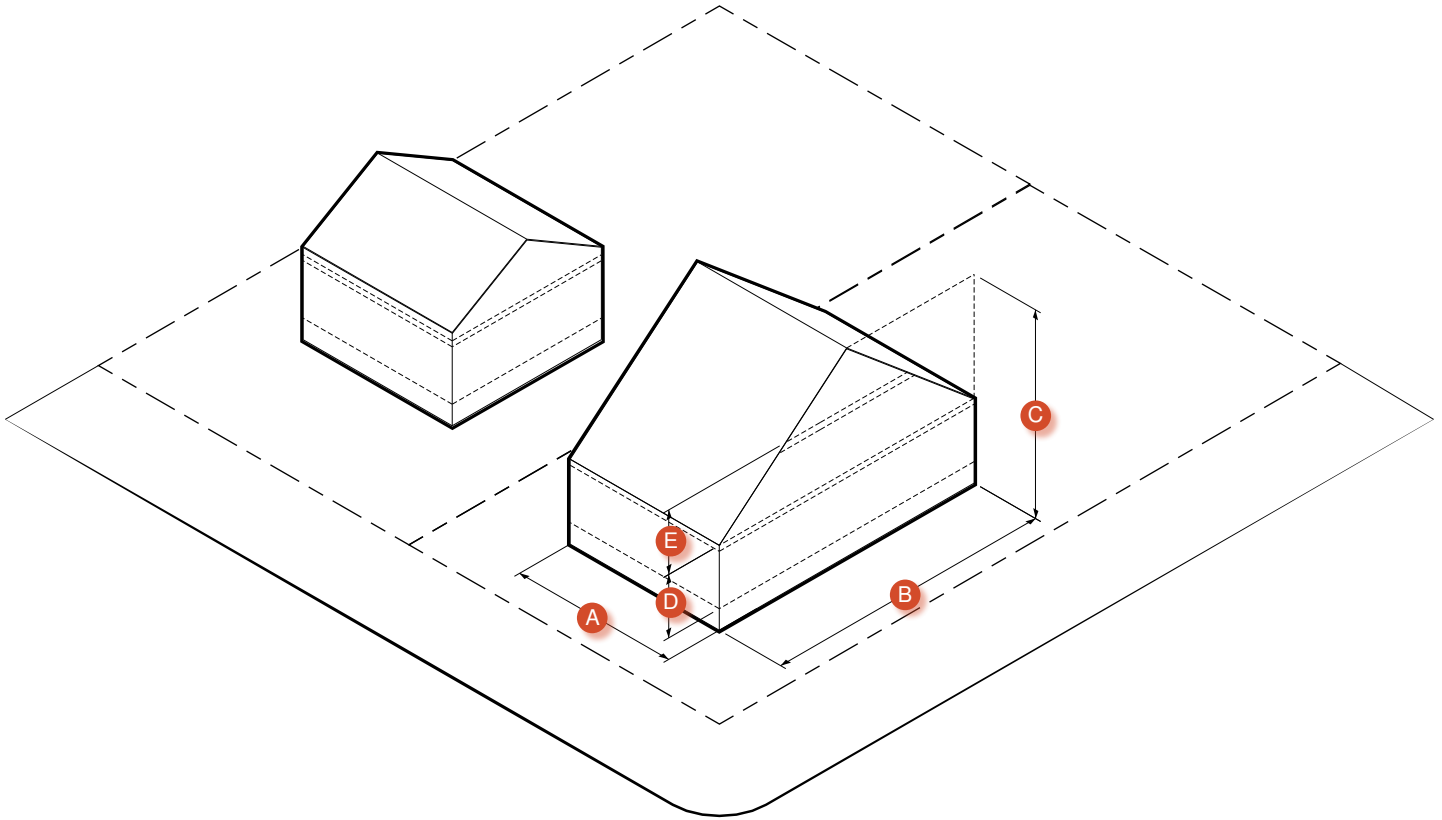
COMPONENTS (CONT'D)	See Article 4C
Rear Addition	Permitted
Side Addition	Permitted

STANDARDS

- i. A minimum of two components may be applied to the main building mass, including a Porch as required under the Residential Yard Frontage standards (Article 4D).
- ii. The Coastal Cottage may have both a Rear Addition and a Carriage House.
- iii. The eave height may not exceed 16 feet, measured from the top of the buildings' foundation.

## 2. BUNGALOW

A detached residential building type with one principal dwelling unit and defined by a unique roof form, typically including an integral front porch.



### BUILDING FORM

Building Width	25 ft max	A
Building Depth	40 ft max	B
Total Stories	2.5 stories max*	C
First Story Height*	10 ft max	D
Upper Story Height*	9 ft max	E
Roof	See Table 4.1	

\*See Article 4.A.3 for Height Standards.

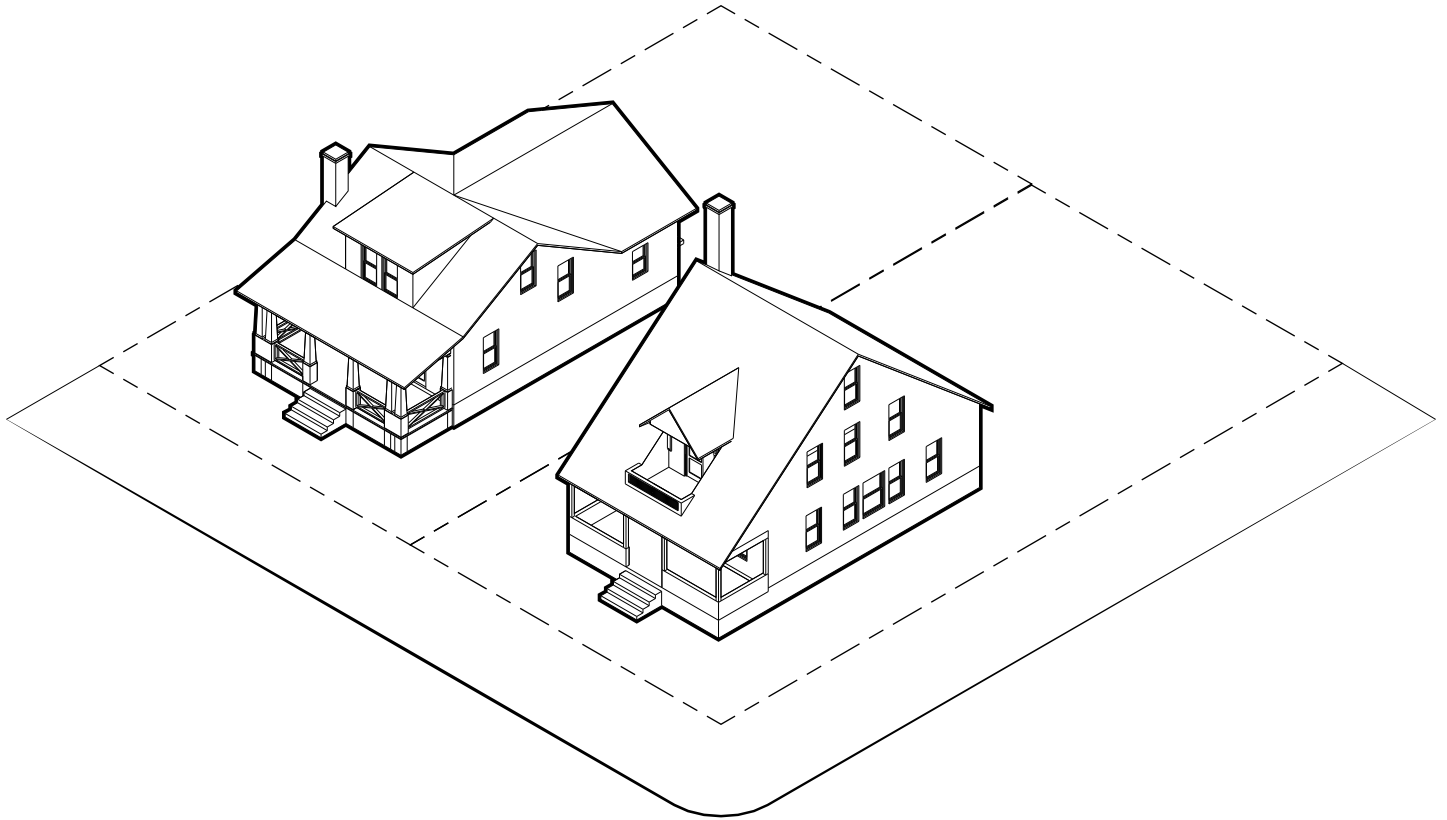
### FACADE COMPOSITION

Ground Story Fenestration	20% min
Upper Story Fenestration	20% min

### FRONTAGES

	See Article 4D
Residential Yard	Permitted
Shopfront	Not Permitted
Beachfront Yard	See Special Requirements Map
Beachfront Garage Court	See Special Requirements Map

**BUNGALOW COMPONENTS**



<b>COMPONENTS</b>	See Article 4C
Projecting Porch	Permitted
Integral Porch	Permitted
Engaged Porch	Permitted
Balcony	Permitted
Bay Window	Permitted
Dormer Window	Permitted
Cross Gable	Permitted
Roof Walk	Not Permitted
Retail Awning	Not Permitted
Canopy	Permitted
Stoop	Permitted

Deck	Permitted
<b>COMPONENTS (CONT'D)</b>	See Article 4C
Rear Addition	Permitted
Side Addition	Permitted
Estate Addition	Not Permitted

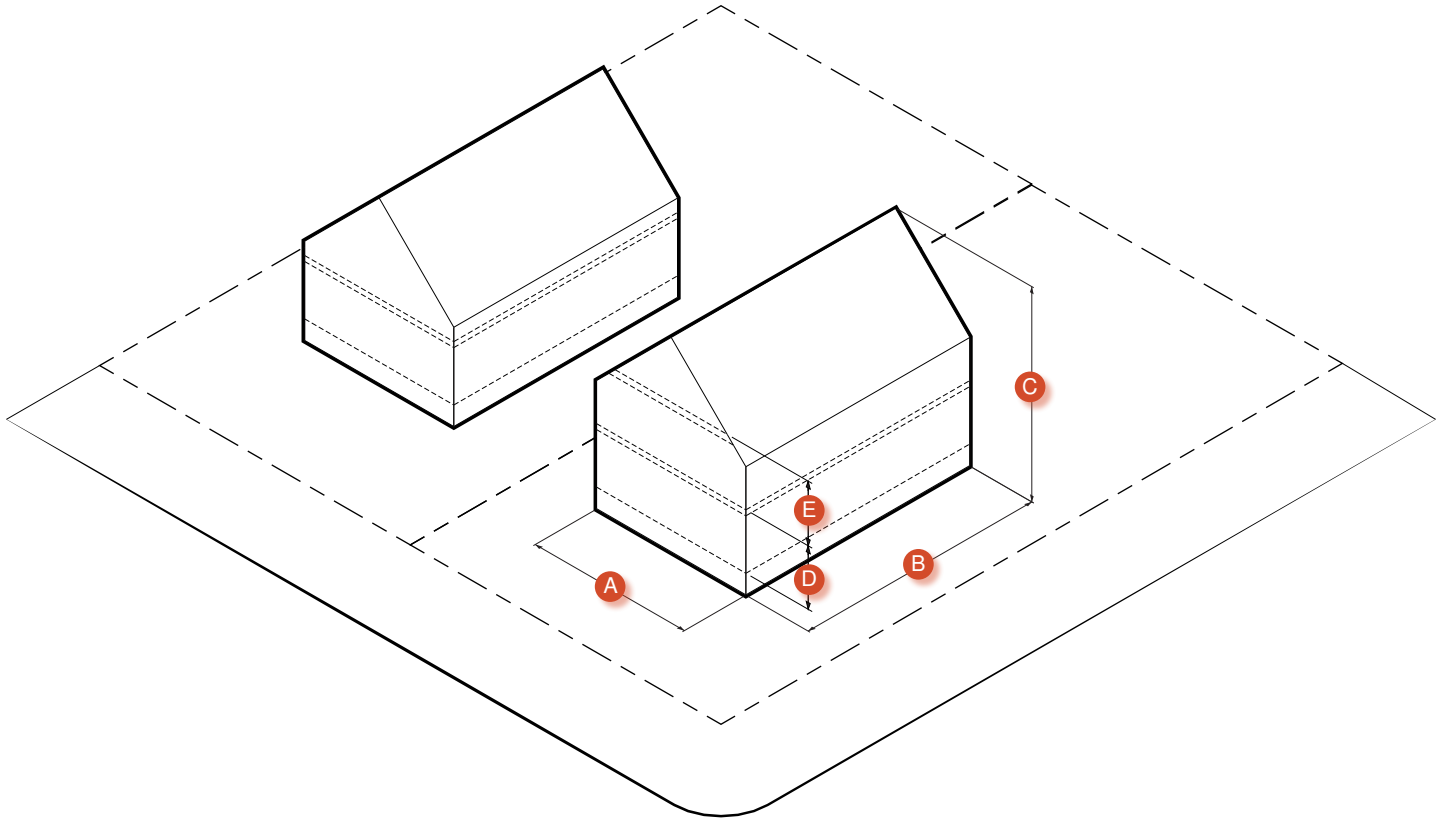
**STANDARDS**

- i. The gable end of a bungalow must be oriented away from the primary frontage.
- ii. \*Stories above the first story must be contained within the roof structure.
- iii. A minimum of two components may be applied to the main building mass, including a Porch as required under the Residential Yard Frontage standards (Article 4D).
- iv. The eave height may not exceed 16 feet, measured from the top of the buildings' foundation.



### 3. HOUSE

A detached residential building type with one principal dwelling unit and exhibiting architecture with Character District components.



#### BUILDING FORM

Building Width	28 ft max	A
Building Depth	38 ft max	B
Total Stories	2.5 stories max*	C
First Story Height*	10 ft max	D
Upper Story Height*	9 ft max	E
Roof	See Table 4.1	

\*See Article 4.A.3 for Height Standards.

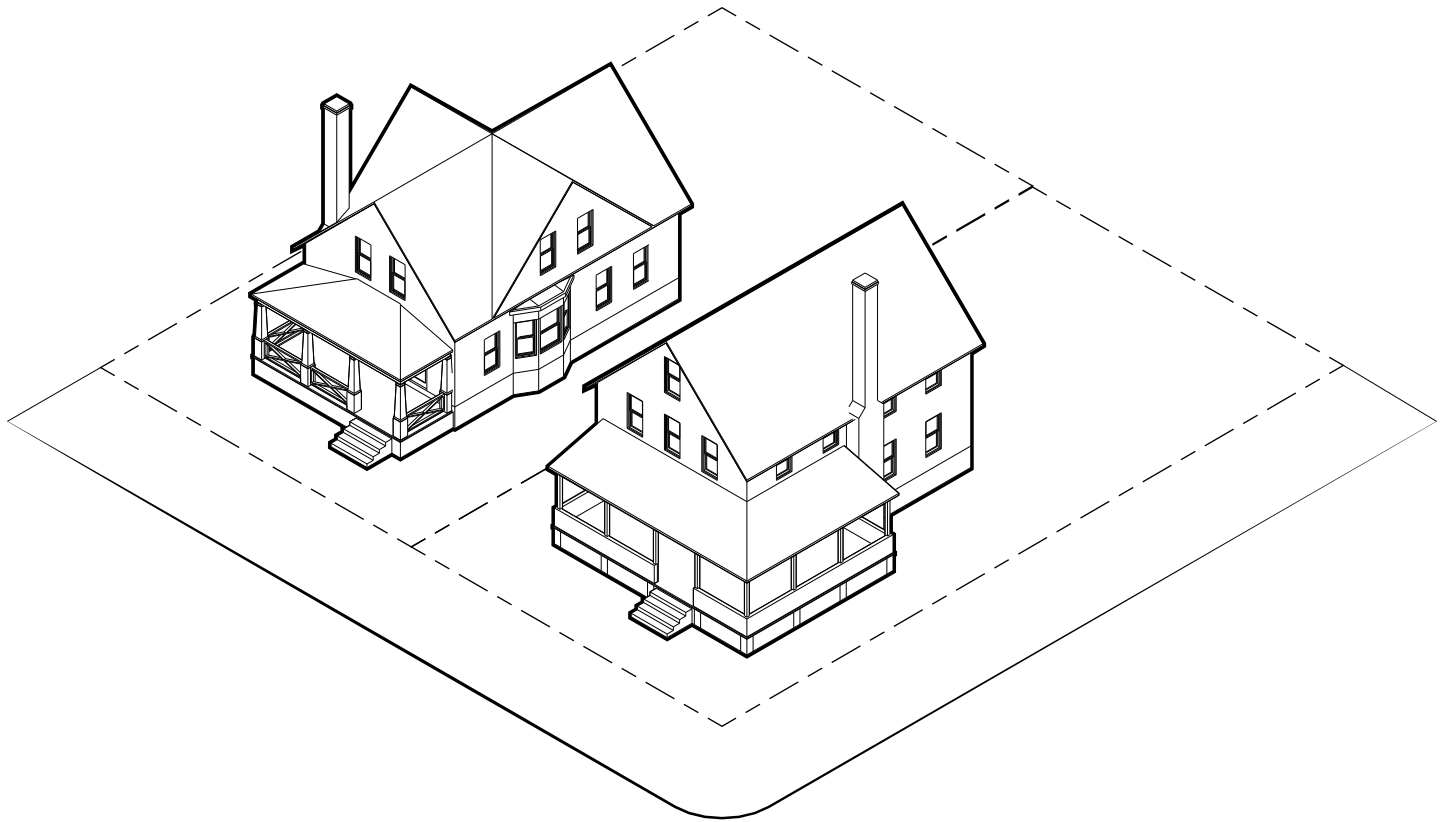
#### FACADE COMPOSITION

Ground Story Fenestration	20% min
Upper Story Fenestration	10% min

#### FRONTAGES

Residential Yard	Required
Shopfront	Not Permitted
Beachfront Yard	See Special Requirements Map
Beachfront Garage Court	See Special Requirements Map

HOUSE COMPONENTS



COMPONENTS	See Article 4C
Projecting Porch	Permitted
Integral Porch	Not Permitted
Engaged Porch	Permitted
Balcony	Permitted
Bay Window	Permitted
Dormer Window	Permitted
Cross Gable	Permitted
Roof Walk	Permitted
Retail Awning	Not Permitted
Canopy	Permitted
Stoop	Permitted
Deck	Permitted

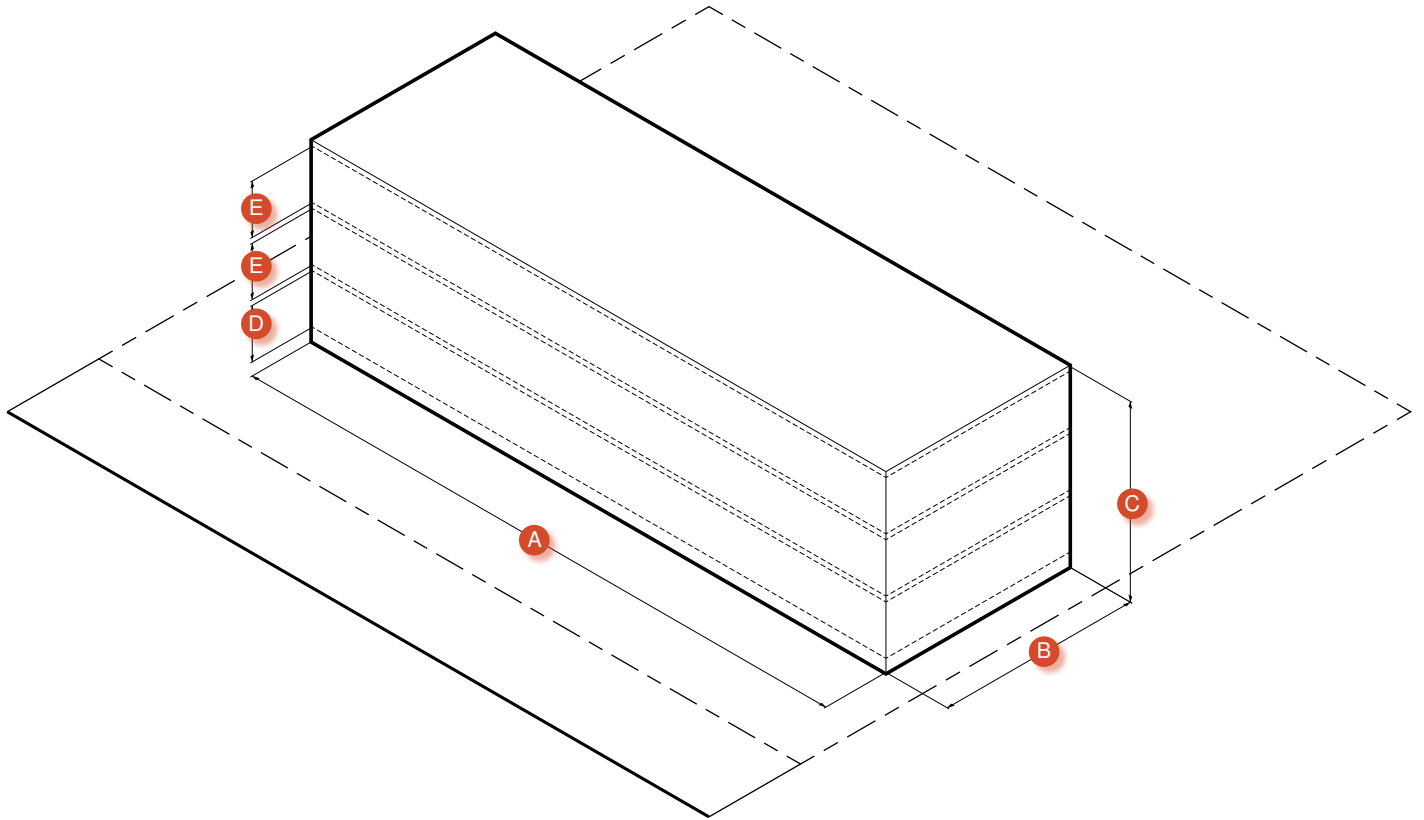
COMPONENTS (CONT'D)	See Article 4C
Rear Addition	Permitted
Side Addition	Permitted
Estate Addition	Permitted on lots 98 ft wide min.

STANDARDS

- i. A minimum of two components may be applied to the main building mass, including a Porch as required under the Residential Yard Frontage standards (Article 4D).
- ii. The eave height may not exceed 16 feet, measured from the top of the buildings' foundation.

#### 4. INN BUILDING

A large floor plate, detached mixed-use building type with residential or lodging units on upper floors and supporting limited commercial uses on the ground floor.



##### BUILDING FORM

Building Width	100 ft max	A
Building Depth	50 ft max	B
Total Stories	3 stories max*	C
First Story Height*	10 ft min, 12 ft max	D
Upper Story Height*	12 ft max	E
Roof	See Table 4.1	

\*See Article 4.A.3 for Height Standards.

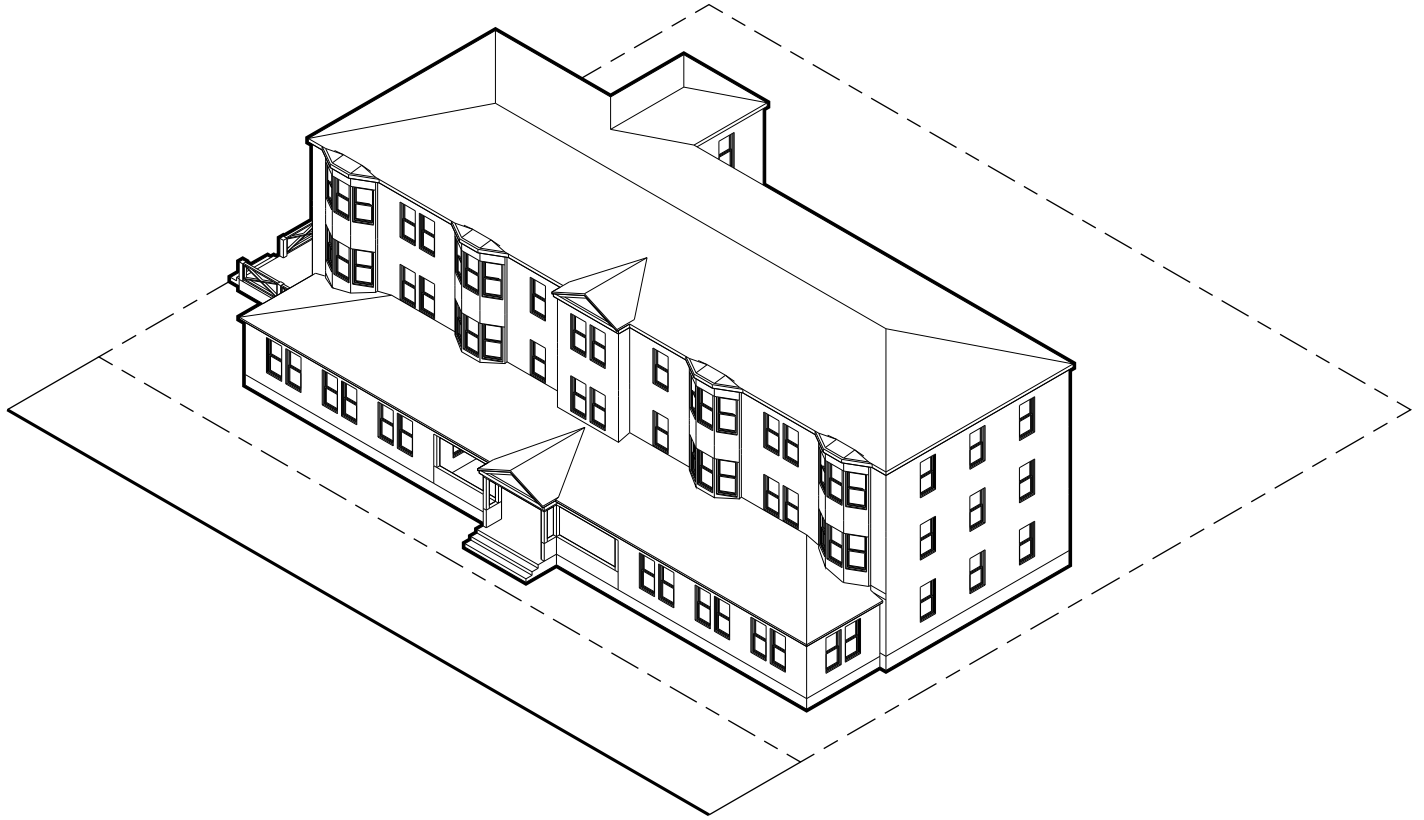
##### FACADE COMPOSITION

Ground Story Fenestration	20% min
Upper Story Fenestration	10% min

##### FRONTAGES

Residential Yard	Permitted
Shopfront	Permitted
Beachfront Yard	See Special Requirements Map
Beachfront Garage Court	See Special Requirements Map

INN BUILDING COMPONENTS



COMPONENTS	See Article 4C
Projecting Porch	Required
Integral Porch	Not Permitted
Enagaged Porch	Permitted
Balcony	Permitted
Bay Window	Permitted
Dormer Window	Permitted
Cross Gable	Permitted
Roof Walk	Permitted
Retail Awning	Permitted
Canopy	Permitted
Stoop	Permitted
Deck	Permitted

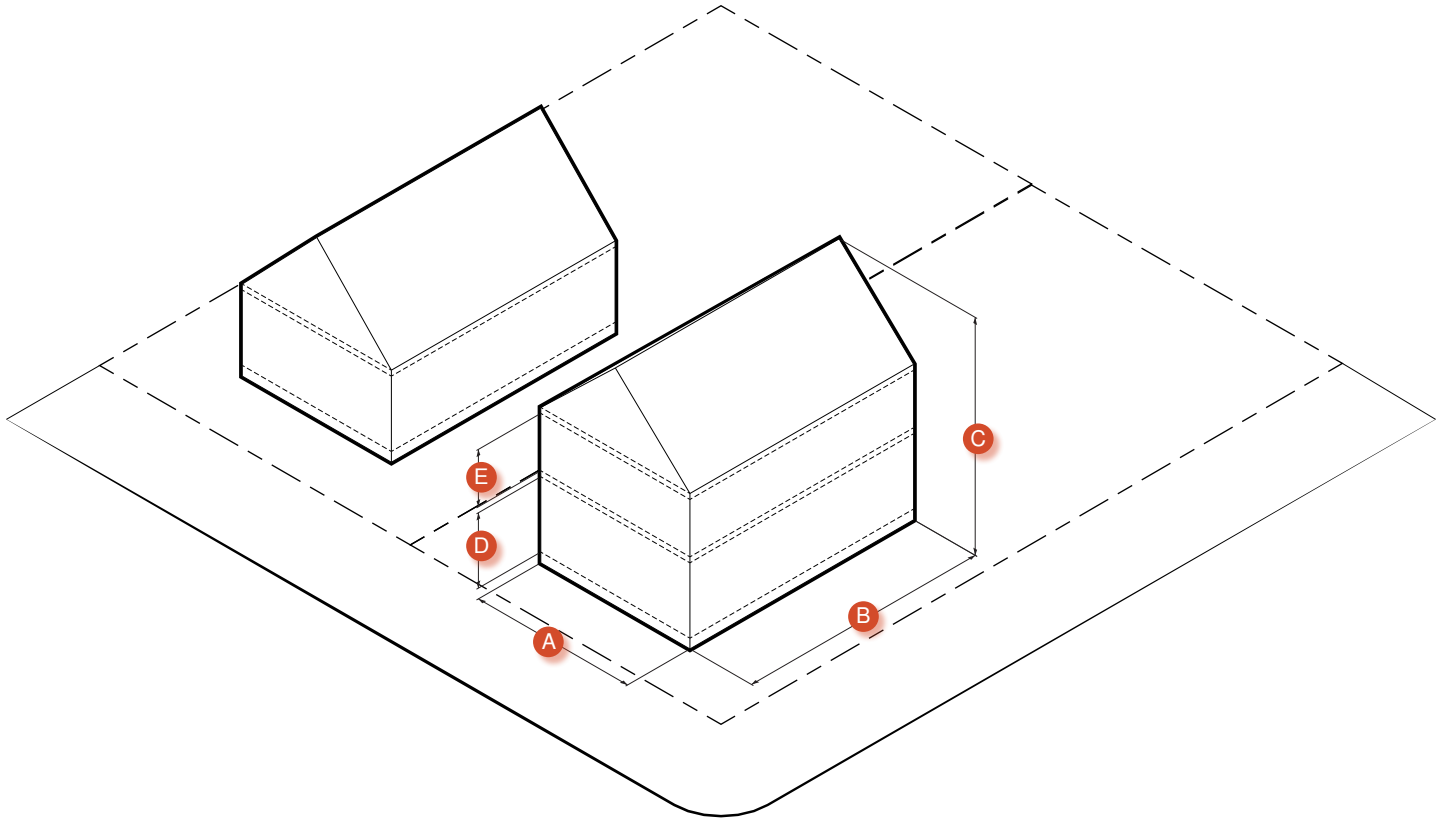
COMPONENTS (CONT'D)	See Article 4C
Rear Addition	Permitted
Side Addition	Permitted
Estate Addition	Permitted on lots 98 ft wide min.

STANDARDS

- i. A minimum of two components may be applied to the main building mass, including a Porch as required under the Residential Yard Frontage standards (Article 4D).

## 5. SHOP HOUSE

A mixed-use building type that appears residential in character, with ground floor commercial uses and an upper story residential unit.



### BUILDING FORM

Building Width	30 ft max	A
Building Depth	36 ft max	B
Total Stories	2.5 stories max*	C
First Story Height*	10 ft min, 12 ft max	D
Upper Story Height*	10 ft max	E
Roof	See Table 4.1	

\*See Article 4.A.3 for Height Standards.

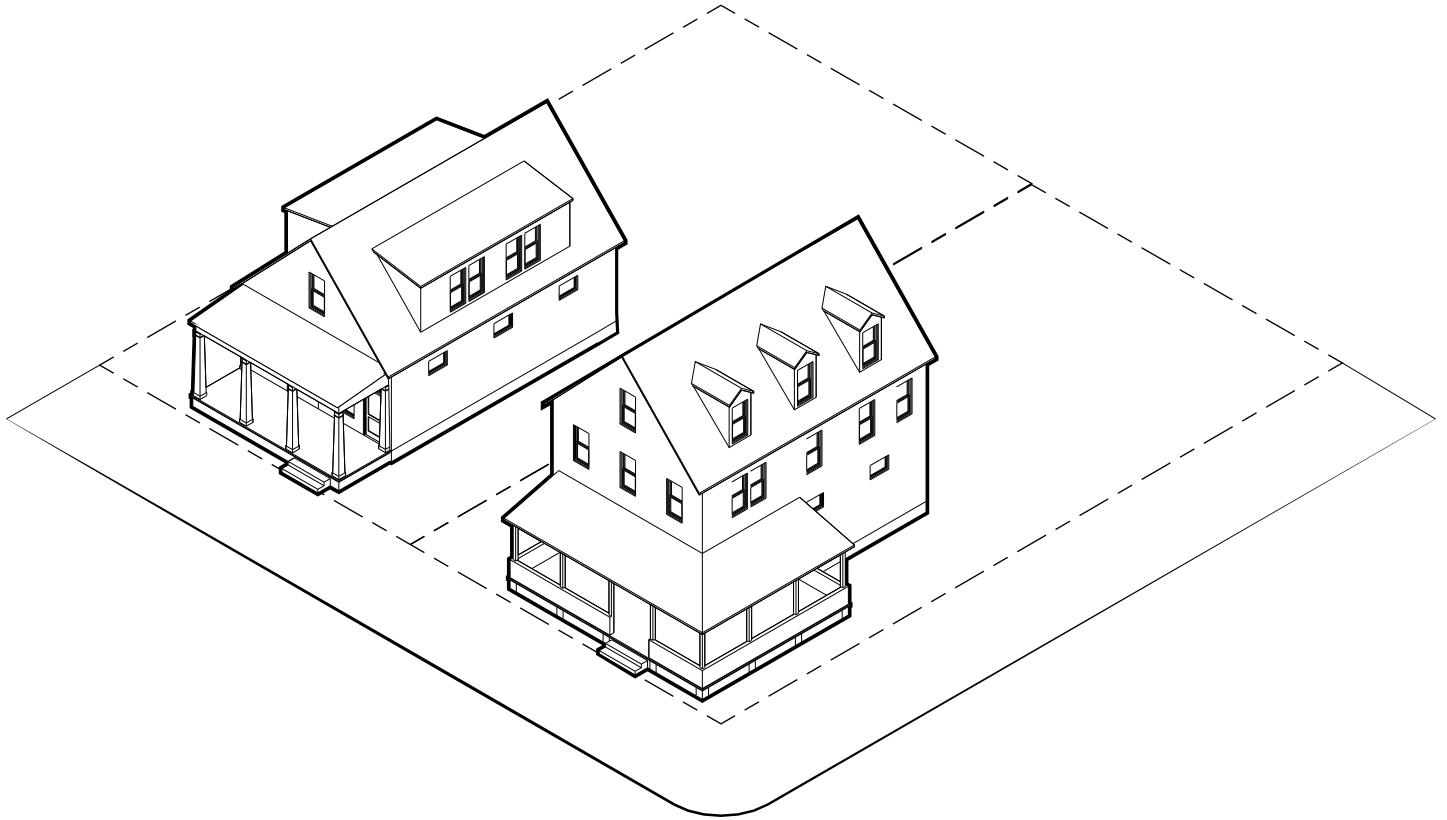
### FACADE COMPOSITION

Ground Story Fenestration	20% min
Upper Story Fenestration	10% min

### FRONTAGES

Residential Yard	Permitted
Shopfront	Required
Beachfront Yard	See Special Requirements Map
Beachfront Garage Court	See Special Requirements Map

SHOP HOUSE COMPONENTS



COMPONENTS	See Article 4C
Projecting Porch	Permitted
Integral Porch	Not Permitted
Enagaged Porch	Permitted
Balcony	Permitted
Bay Window	Permitted
Dormer Window	Permitted
Cross Gable	Permitted
Roof Walk	Permitted
Retail Awning	Permitted
Canopy	Permitted
Stoop	Permitted
Deck	Permitted

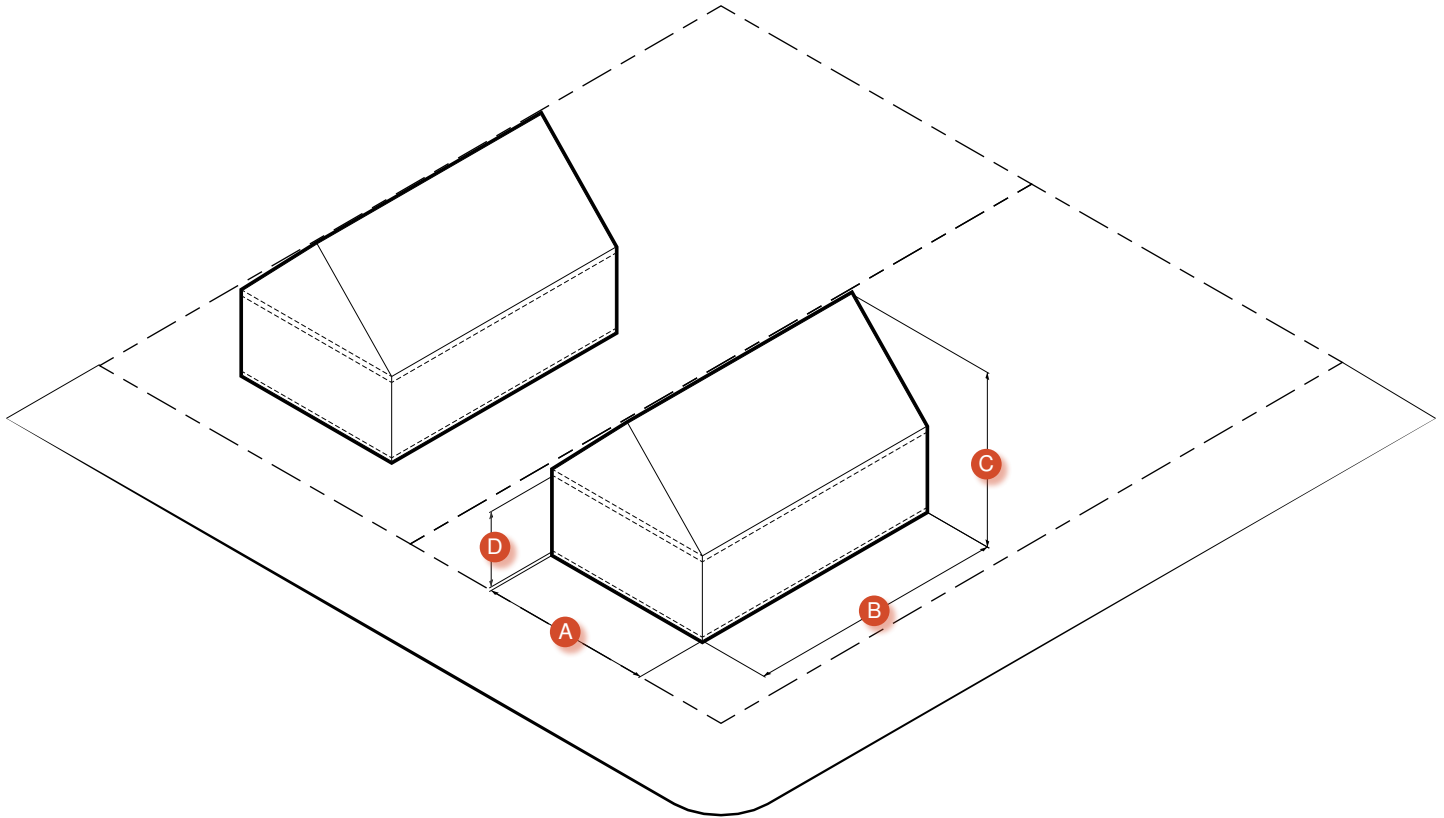
COMPONENTS (CONT'D)	See Article 4C
Rear Addition	Permitted
Side Addition	Permitted
Estate Addition	Permitted on lots 98 ft wide min.

STANDARDS

- i. A minimum of two components may be applied to the main building mass, including a Porch as required under the Residential Yard Frontage standards (Article 4D).

## 6. NEIGHBORHOOD STORE

A medium-sized footprint, single-story building type designed for commercial purposes.



### BUILDING FORM

Building Width	40 ft max	A
Building Depth	30 ft max	B
Total Stories	1.5 stories max*	C
First Story Height*	10 ft min, 12 ft max	D
Upper Story Height*	n/a	
Roof	See Table 4.1	

\*See Article 4.A.3 for Height Standards.

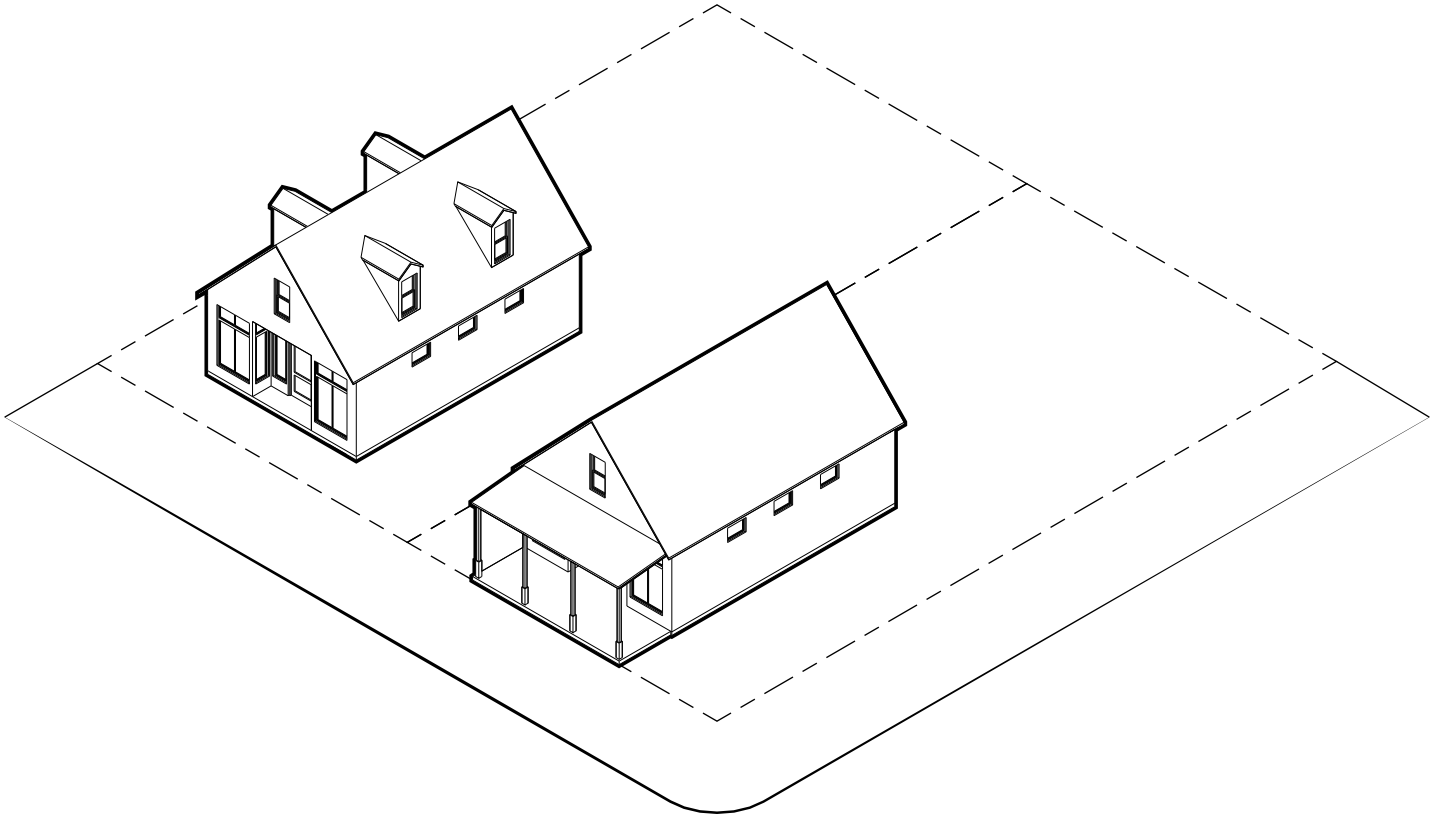
### FACADE COMPOSITION

Ground Story Fenestration	20% min
Upper Story Fenestration	n/a

### FRONTAGES

Residential Yard	Permitted
Shopfront	Required
Beachfront Yard	See Special Requirements Map
Beachfront Garage Court	See Special Requirements Map

NEIGHBORHOOD STORE COMPONENTS



COMPONENTS

See Article 4C

Projecting Porch	Required
Integral Porch	Not Permitted
Enagaged Porch	Permitted
Balcony	Permitted
Bay Window	Permitted
Dormer Window	Permitted
Cross Gable	Permitted
Roof Walk	Permitted
Retail Awning	Permitted
Canopy	Permitted
Stoop	Permitted

COMPONENTS (CONT'D)

See Article 4C

Deck	Permitted
Rear Addition	Permitted
Side Addition	Permitted
Estate Addition	Not Permitted

STANDARDS

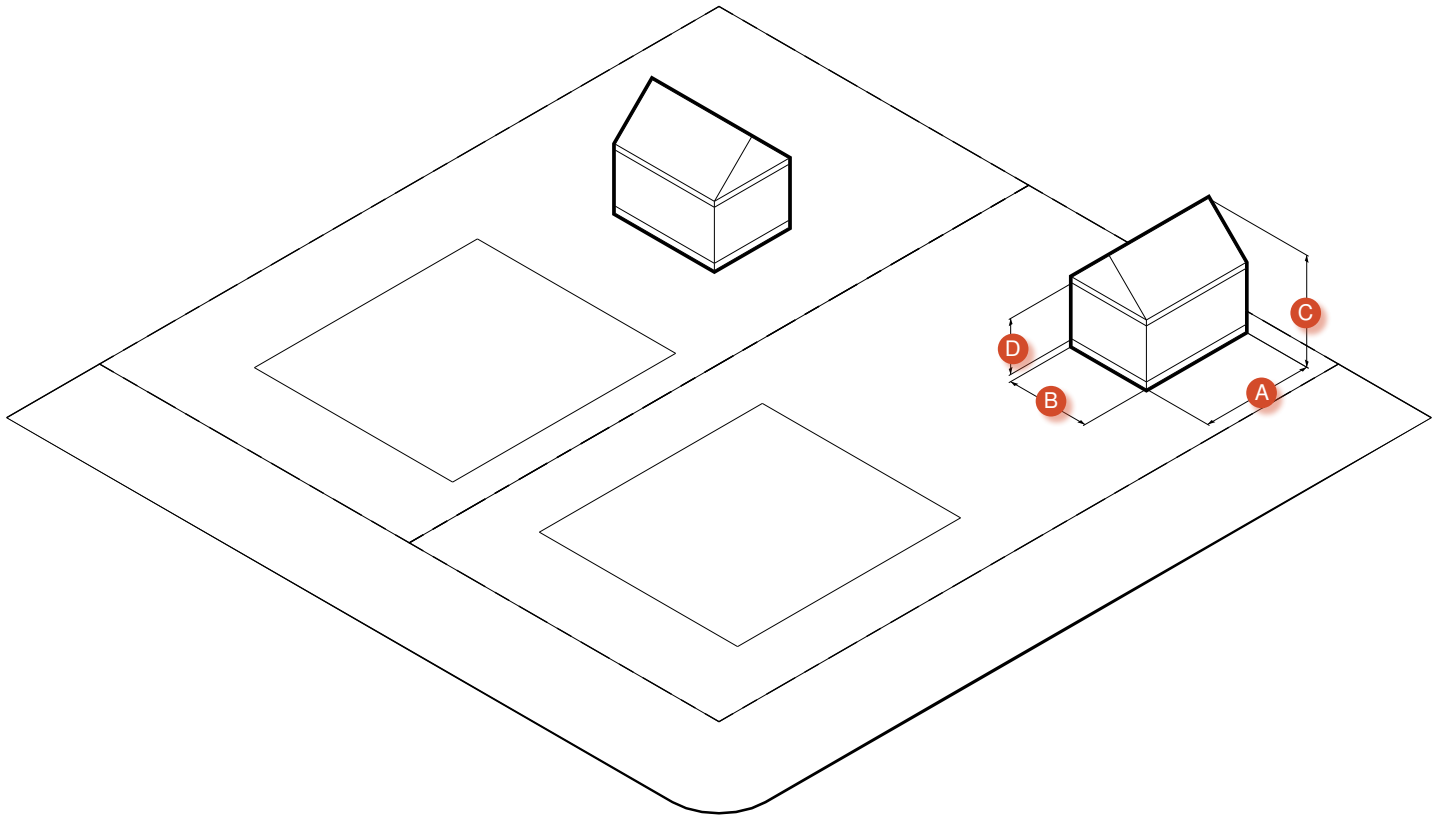
- i. A minimum of two components may be applied to the main building mass, including a Porch as required under the Residential Yard Frontage standards (Article 4D).



## C. ACCESSORY BUILDING TYPES & STANDARDS

### 1. ONE-STORY OUTBUILDING

A one-story detached accessory building that does not contain an accessory dwelling unit.



#### BUILDING FORM

Building Width	20 ft max	A
Building Depth	12 ft max	B
Total Stories	1.5 stories max*	C
First Story Height*	10 ft max	D
Upper Story Height*	n/a	

Roof See Table 4.1

\*See Article 4.A.3 for Height Standards.

#### FACADE COMPOSITION

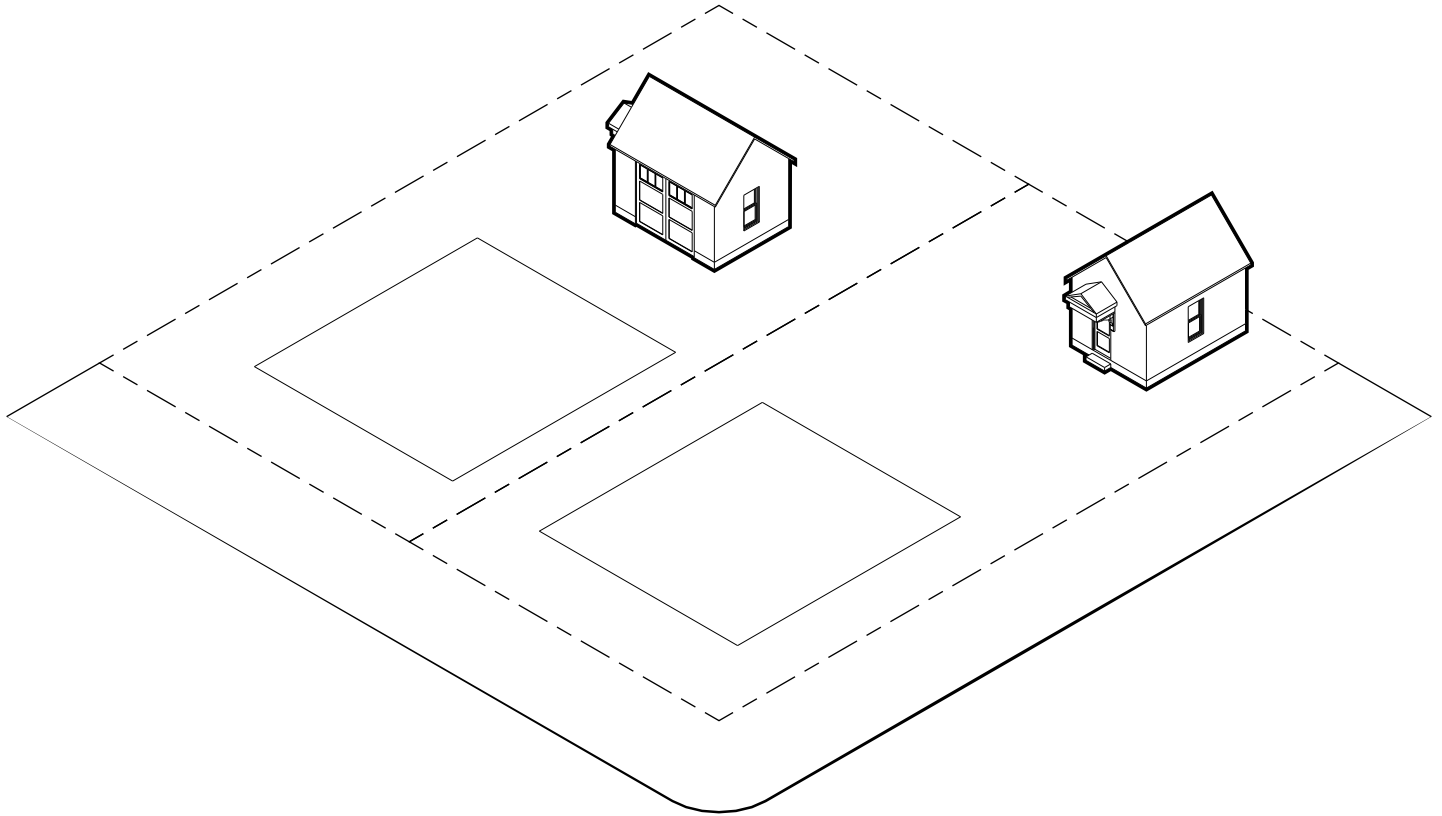
Ground Story Fenestration	10% min
Upper Story Fenestration	n/a

#### COMPONENTS

Projecting Porch	Permitted
Integral Porch	Not Permitted
Engaged Porch	Permitted
Balcony	Permitted
Bay Window	Permitted
Dormer Window	Permitted
Cross Gable	Permitted
Roof walk	Not Permitted
Retail Awning	Not Permitted
Canopy	Permitted
Stoop	Permitted
Deck	Permitted

See Article 4C

ONE-STORY OUTBUILDING COMPONENTS

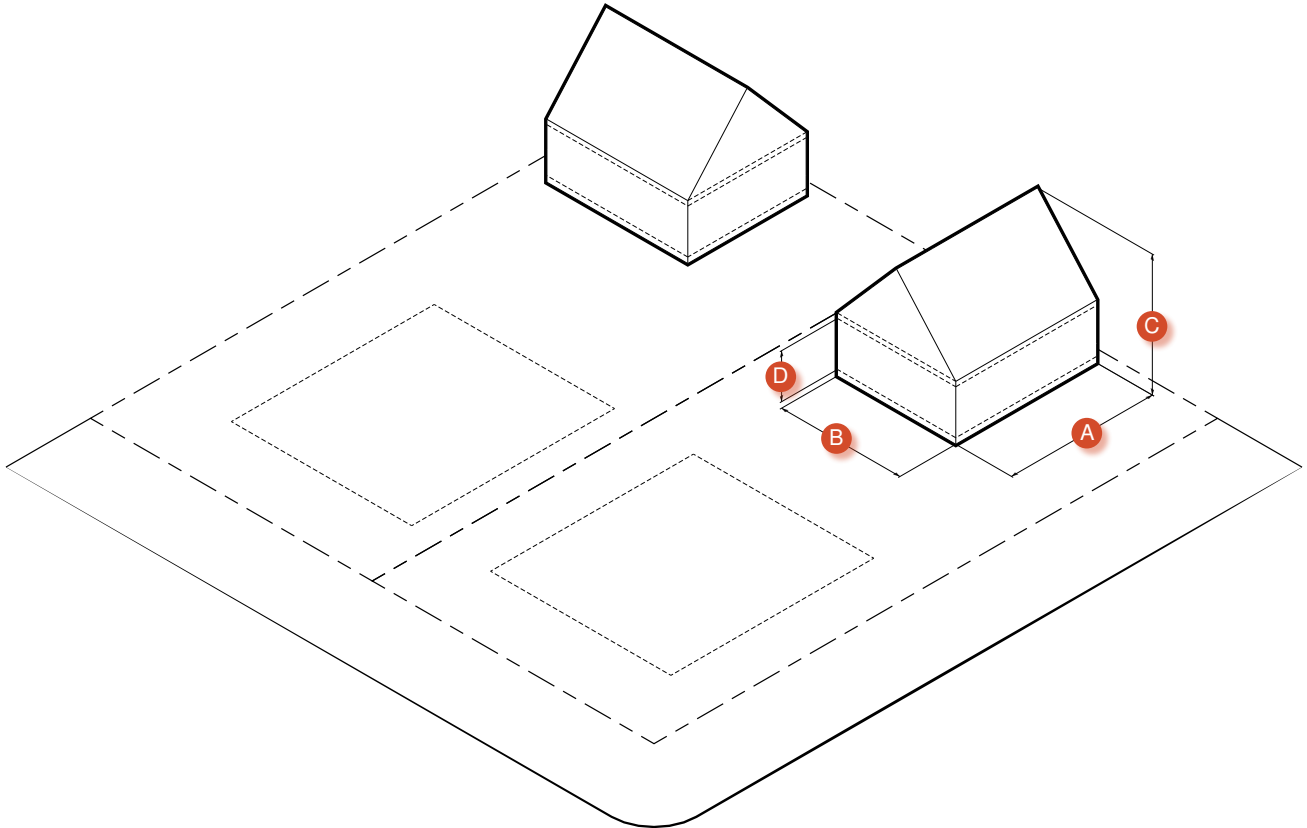


COMPONENTS (CONT'D)	See Article 4C
Rear Addition	Not Permitted
Side Addition	Not Permitted
Estate Addition	Not Permitted

- STANDARDS**
- i. The Outbuilding is required to be detached from the principal building and components, and sited in accordance with the accessory building placement under Article 2.
  - ii. Accessory buildings are prohibited from adding the following components; roof deck, side wing, estate wing, rear addition.

### 1. ONE-STORY CARRIAGE HOUSE

A one-story detached building that can serve as a garage, an accessory dwelling unit, or a combination of the two.



#### BUILDING FORM

Building Width	24 ft max	A
Building Depth	24 ft max	B
Total Stories	1.5 stories max*	C
First Story Height*	12 ft max	D
Upper Story Height*	n/a	
Roof	See Table 4.1	

\*See Article 4.A.3 for Height Standards

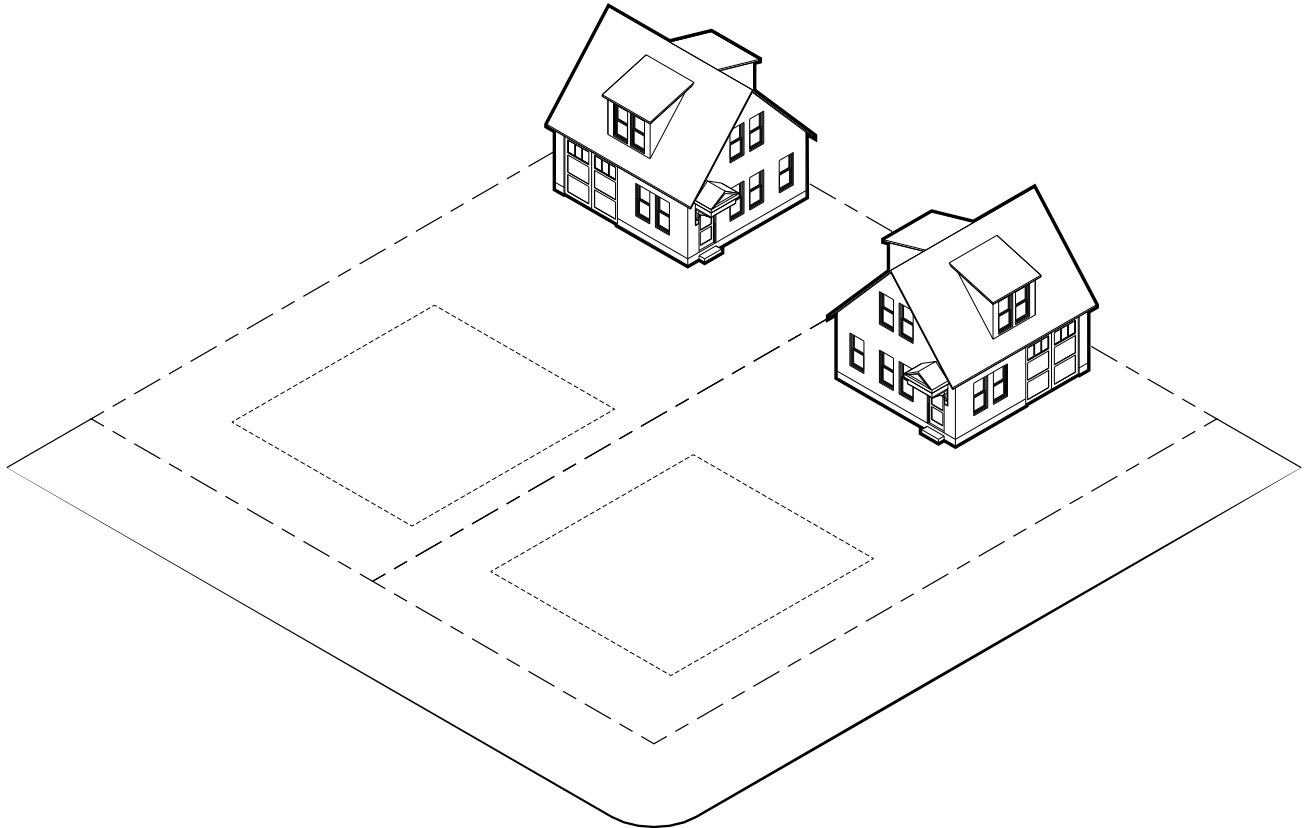
#### FACADE COMPOSITION

Ground Story Fenestration	20% min
Upper Story Fenestration	n/a

#### COMPONENTS

COMPONENTS	See Article 4C
Projecting Porch	Permitted
Integral Porch	Not Permitted
Engaged Porch	Permitted
Balcony	Permitted
Bay Window	Permitted
Dormer Window	Permitted
Cross Gable	Permitted
Roof walk	Not Permitted
Retail Awning	Not Permitted
Canopy	Permitted
Stoop	Permitted
Deck	Permitted

ONE-STORY CARRIAGE HOUSE COMPONENTS



COMPONENTS (CONT'D)

See Article 4C

Rear Addition

Not Permitted

Side Addition

Not Permitted

Estate Addition

Not Permitted

STANDARDS

- i. The Carriage House is required to be detached from the principal building and components and sited in accordance with the Accessory Building Placement under Article 2.
- ii. A minimum of one component must be applied to the carriage house mass.
- iii. Carriage Houses may not be built on the same lot as a Rear Addition, except when built on the same lot as a coastal cottage, or when the lot exceeds 98 ft in width.
- iv. Accessory buildings are prohibited from adding the following components; roof deck, side wing, estate wing, rear addition.

## D. BUILDING COMPONENTS

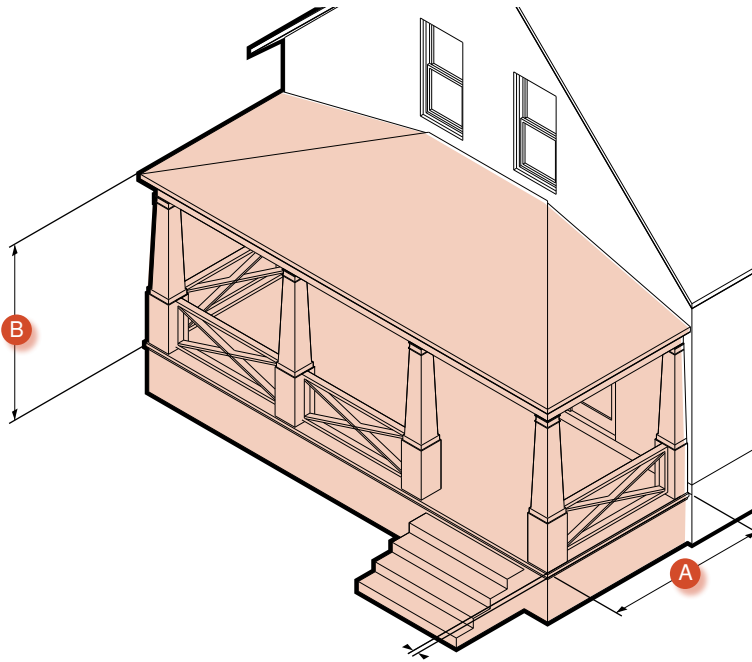
### 1. GENERAL

- a. Building Component standards are detailed in Article 4.D. 2-16 and Table 4.1B. Components are permitted by building type according to Article 4.B-C.
- b. Building components are accessory features that increase the floor area, living space, exterior space and/or generally enhance the usefulness of a building.
- c. All components may attach to all other components and to all buildings and accessory buildings unless specifically disallowed by the building or component.
- d. Multiple components of the same type may not attach to each other, unless specifically allowed, and must be separated horizontally by a distance of no less than 1 ft.
- e. Certain Building Components are permitted to encroach into the Building Setbacks found in the Character Districts standards in Article 2 and as per Article 4.A.4. This Permitted Encroachment standard is meant to encourage and allow certain Building Components that contribute to the character of Higgins Beach.
- f. Stairs that extend off porches, stoops, decks and principal buildings are not required to meet the setback or setback encroachment limits provided that at least 3 ft is maintained from the vertical plane of any front, side or rear lot line.
- g. Porches are required along the Primary Frontage on all new or replacement dwellings with the residential yard frontage type and must extend across at least 75% of the width of the building facade.

## E. BUILDING COMPONENTS & STANDARDS

### 1. PORCH - PROJECTING

A wide, raised platform with stairs that leads to an entrance of a building and has a roof supported by columns or piers.



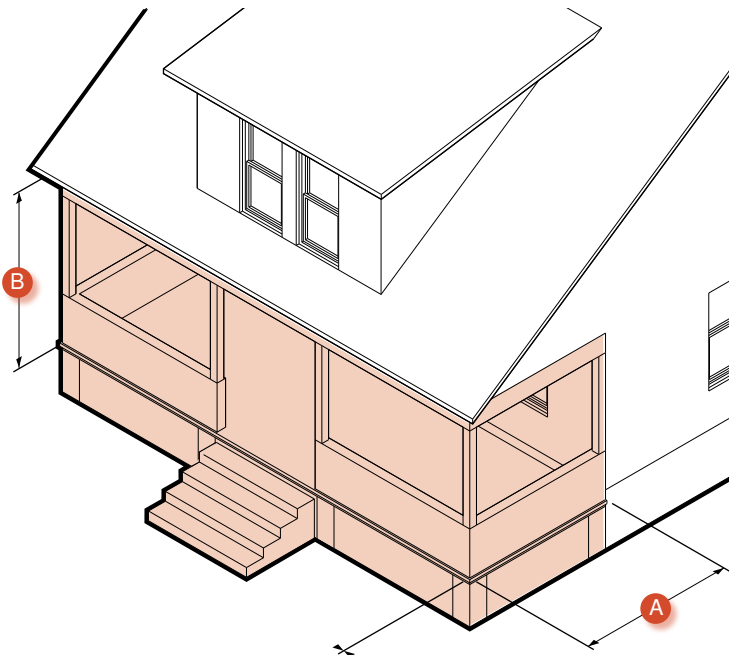
Depth	6 ft min, 10 ft max (see v)	A
Height	8 ft min	B
Permitted Encroachment	4 ft max Secondary Front Setback 10 ft max Primary Front, Rear Setback Encroachment not permitted in Side Setback	
Roof	See Table 4.1	
Fenestration	60% min when enclosed 40% min on side or rear porches	

#### STANDARDS

- i. Porches may be partially or fully enclosed.
- ii. Stairs may extend off the front or side of the porch.
- iii. Porches may wrap around corners to and may connect with porches or decks on adjacent building or component faces.
- iv. A projecting porch may appear as an engaged porch if it is partially enclosed and meets the dimensions and standards of this section.
- v. Porches, or sections of porches, attached to a rear facing wall may extend to a maximum depth of 12 ft.

### 2. PORCH - INTEGRAL

A raised platform with stairs that lead to an entrance of a building and a roof supported by columns or piers. Integral porches are unique in that they are located under the roof of the principal building, typical in a bungalow type.



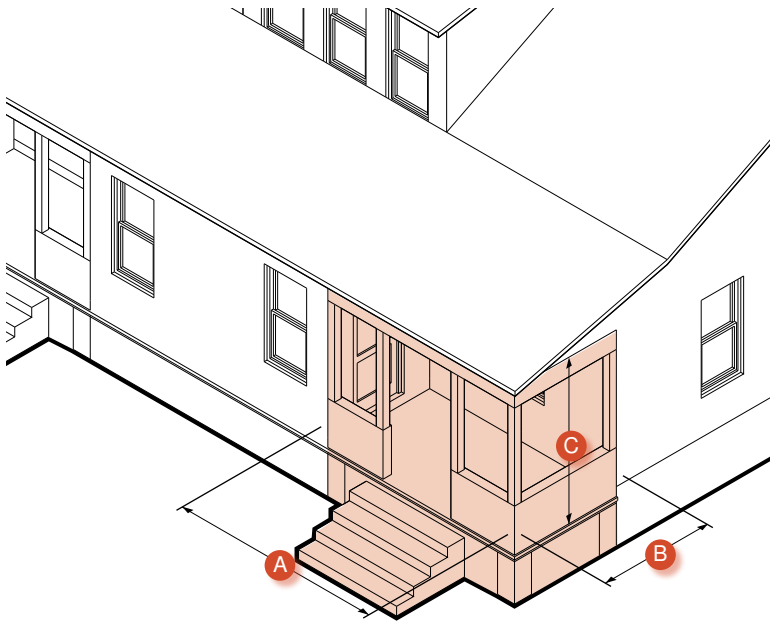
#### DIMENSIONS

Depth	8 ft min, 10 ft max (see iv)	A
Height	8 ft min	B
Permitted Encroachment	4 ft max Secondary Front Setback 10 ft max Primary Front, Rear Setback Encroachment not permitted in Side Setback	
Roof	See Table 4.1	
	60% min when enclosed 40% min on side or rear porches	

- i. Porches may be partially or fully enclosed.
- ii. Stairs may extend off the front or side of the porch.
- iii. Porches may wrap around corners to and may connect with porches or decks on adjacent building or component faces.
- iv. Porches, or sections of porches, attached to a rear facing wall may extend to a maximum depth of 12 ft.

### 3. PORCH - ENGAGED

A raised platform with stairs leading to a secondary entrance of a building. Engaged porches are attached to the building at two sides and are integrated within the building's roofline.



#### DIMENSIONS

Width	8 ft min	A
Depth	6 ft min, 10 ft max (see iv)	B
Height	8 ft min	C

Encroachment not permitted

Roof See Table 4.1B

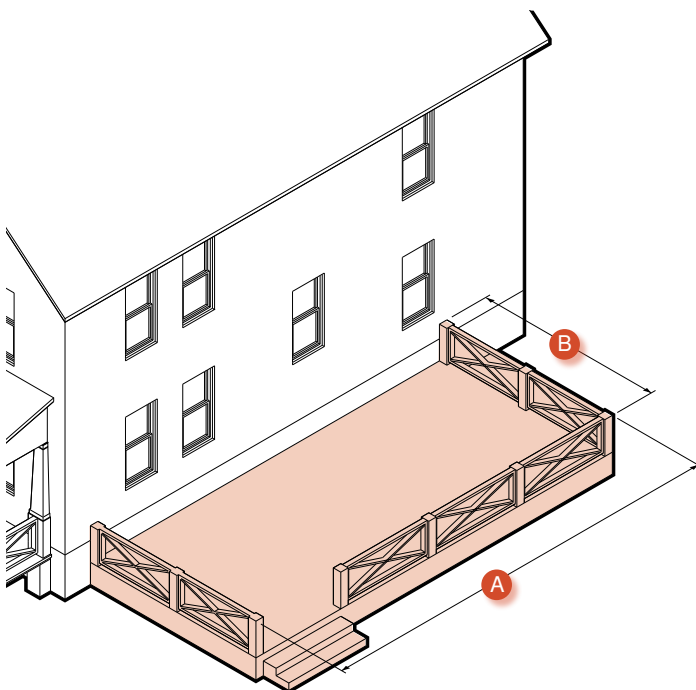
Fenestration 60% min when enclosed  
40% min on side or rear porches

#### STANDARDS

- Stairs may extend off the front or side of the porch.
- Engaged porches may not occur on any primary frontage except the Garage Court Frontage (see Projecting Porch for options along any primary frontage)
- Porches may wrap around corners to and may connect with porches or decks on adjacent building or component faces.
- Porches, or sections of porches, attached to a rear facing wall may extend to a maximum depth of 12 ft.

### 4. DECK

A roofless, uncovered, raised platform accessible from a secondary entrance to a building that provides outdoor amenity space.



#### DIMENSIONS

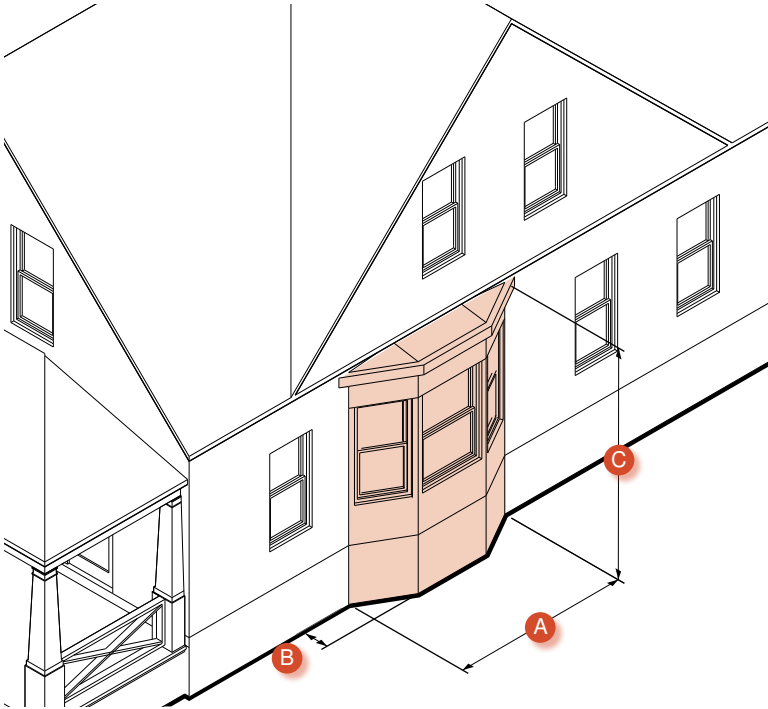
Width	24 ft max	A
Depth	24 ft max	B
Permitted Encroachment	8 ft	

#### STANDARDS

- Decks may only encroach into side and rear setbacks, with the exception of houses elevated more than 6 ft on pilings or piers in a coastal overlay zone, in which case a deck may be used in lieu of a porch, provided it is similarly elevated.
- The deck may connect a primary building with an accessory building.

5. BAY

A window assembly extending from the main body of a building to permit increased light, multi-directional views, and articulate a building wall.



DIMENSIONS

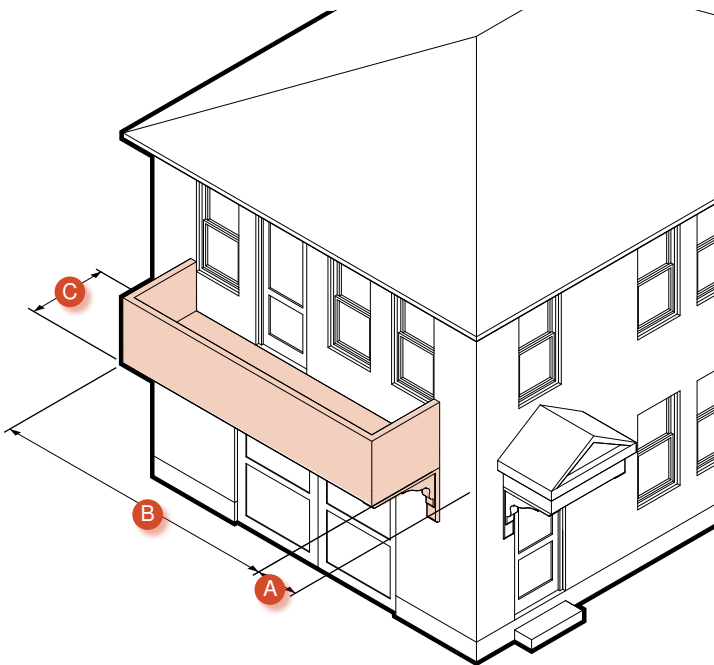
Width	50% max width of Facade or building wall	A
Depth	12 in min, 3 ft max	B
Fenestration	50% min	
Height	Total number of complete building stories	C
Permitted Encroachment	3 ft	

STANDARDS

- i. Bays must have a foundation extend all the way to the ground level or be visually supported by brackets or other architectural supports.
- ii. Bays may be integrated within an unenclosed porch, provided the Depth does not exceed 2ft.

6. BALCONY

An unroofed platform with a railing that provides outdoor amenity space.



DIMENSIONS

Required Inset	3 ft min (Projecting, Terraced) 0 ft min (Integral)	A
Length	5 ft min	B
Width	5 ft min (Projecting) 6 ft max (Integral, Terraced)	C
Permitted Encroachment	5 ft	

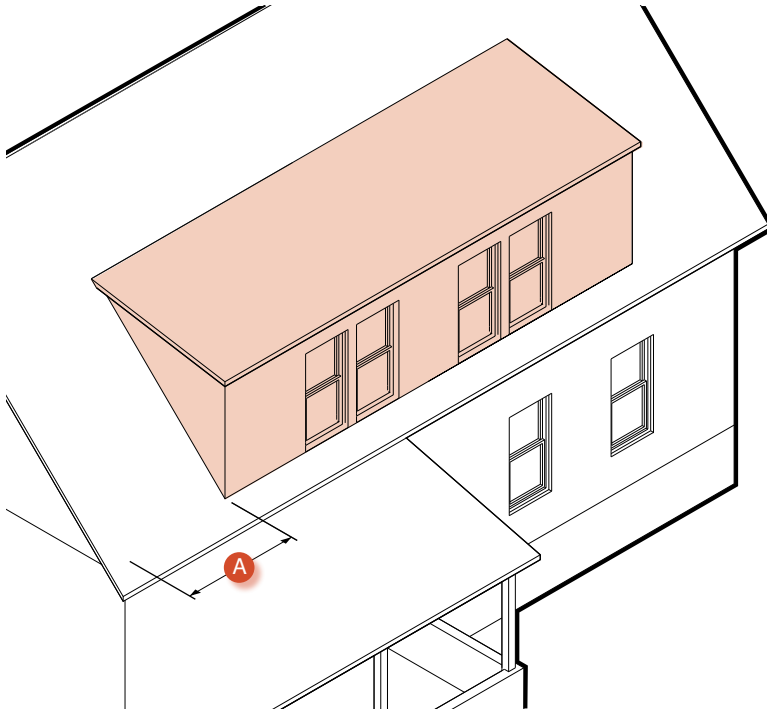
STANDARDS

- i. Balconies may be integral, projecting, a combination of the two, or terraced as part of the main building roof or the roof of a portico, porch, or bay.
- ii. Terraced balconies are the only type permitted to attach to the facade.
- iii. A projecting balcony must have a clear height above the ground of at least 10 ft.
- iv. The railing of any projecting balcony oriented toward a front lot line must have posts and rails with spacing.
- v. Balconies should be supported on wood or metal brackets or columns in keeping with the character of the building.
- vi. Integral balconies may stack on top of integral porches.
- vii. An integral balcony may meet a facade at a corner.



### 7. DORMER WINDOW

A window or set of windows that projects vertically from a sloped roof, designed to provide increased light and expand the habitable space of a half-story.



#### DIMENSIONS

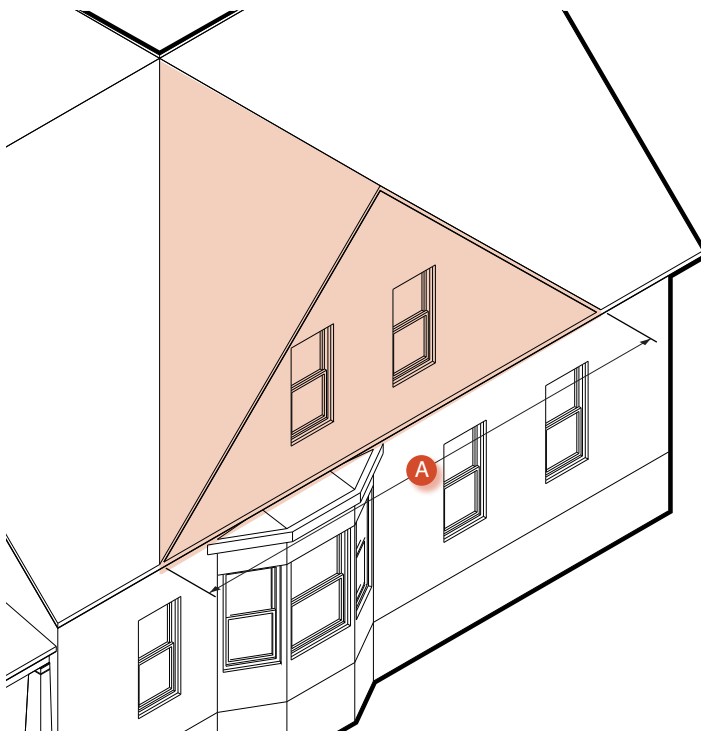
Gable End Setback	2 ft min	A
Fenestration	30% min (see iii)	
Roof	See Table 4.1	

#### STANDARDS

- i. The face of the dormer should not project beyond the building wall face below.
- ii. Dormers must also conform to the height standards under Article 4.A. and the overall average height limit
- iii. Windows in a dormer may not be narrower than 20 inches in width.
- iv. The face of the dormer must be set back at least 12 ft from the vertical plane of all side lot lines, regardless of the setback of the building to which it is attached.

### 8. CROSS GABLE

A sloped roof that projects perpendicularly from the main roof of a building to significantly increase the habitable space of a half-story.

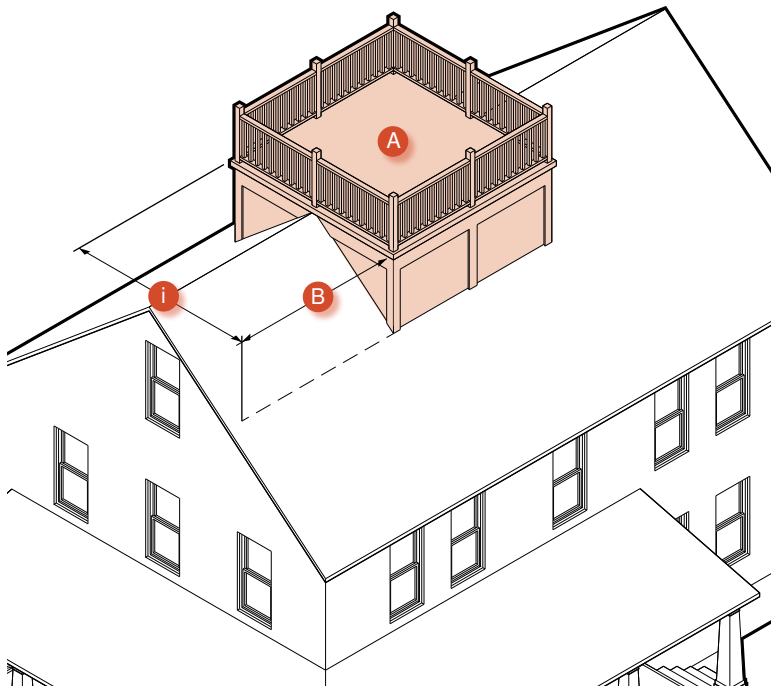


#### DIMENSIONS

Width	maximum of 50% of the eave length of the main roof	A
Roof	See Table 4.1	
Fenestration	30% min	

### 9. ROOF WALK

A raised platform on the roof of a building or component that provides outdoor amenity space and allows for views.



#### DIMENSIONS

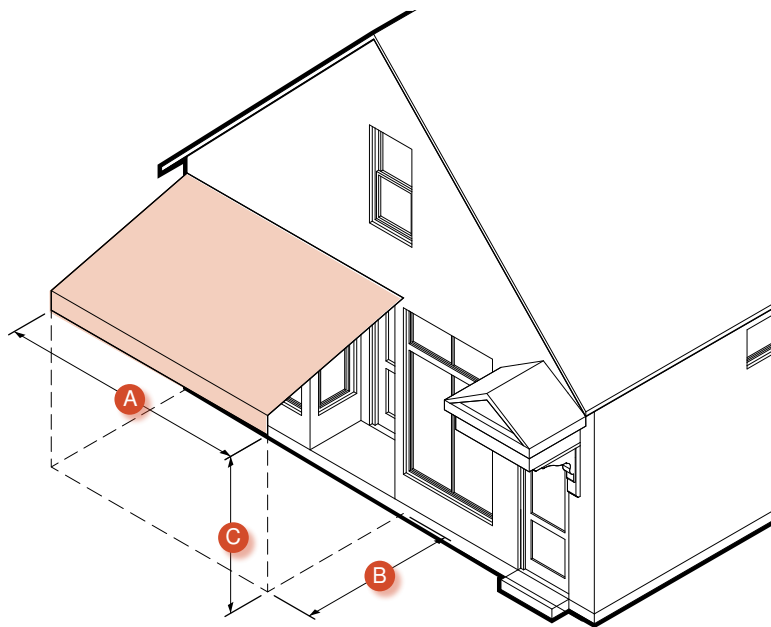
Total Area	400 sq ft max	A
Setback from Facade	5 ft min	B
Railing Height	3 ft min, 4 ft max	i

#### STANDARDS

- i. The width of Roof Walks may not exceed 50% of the Building Width.
- ii. The railing must be constructed with posts and rails with spacing such that it does not exceed 50% opacity.

### 10. AWNING

A wall mounted, pitched, fabric covering extending from a building to provide shade and weather protection for pedestrians.



#### DIMENSIONS

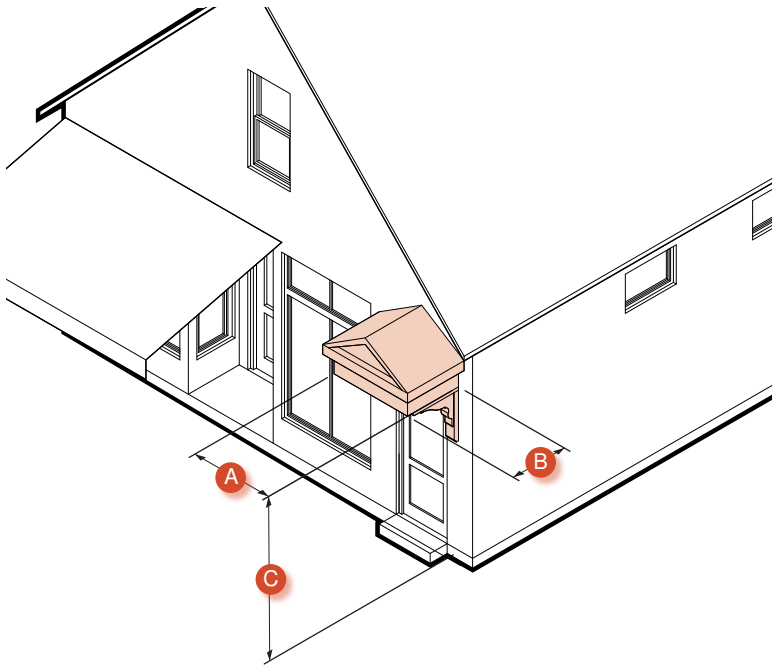
Width	12 ft min	A
Depth	6 ft min	B
Clearance	8 ft min	C
Permitted Encroachment	6 ft	

#### STANDARDS

- i. Where possible, awnings should be retractable.

### 11. CANOPY

A wall mounted, pitched, solid overhang extending from a building to provide shade and weather protection for pedestrians.



#### DIMENSIONS

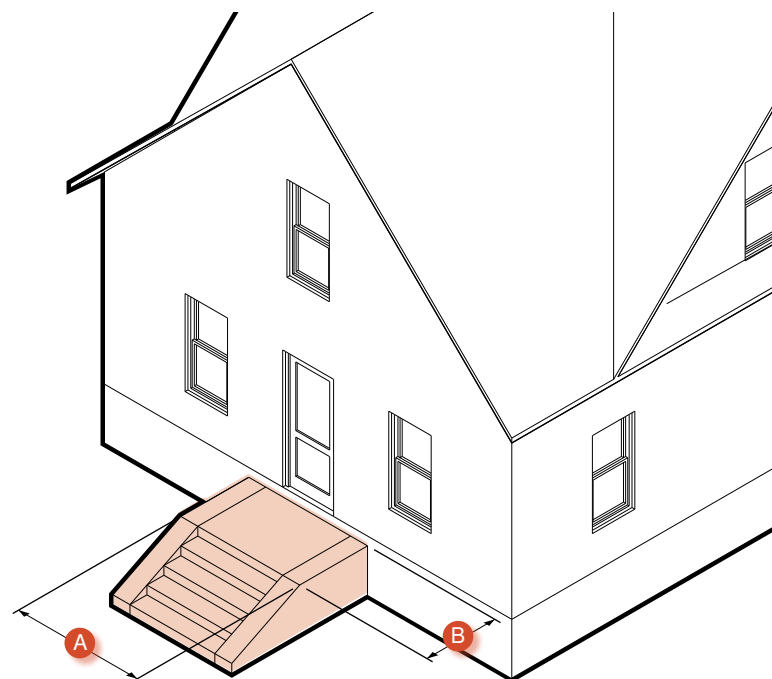
Width	4 ft min	A
Depth	3 ft min	B
Clearance	8 ft min	C
Roof	See Table 4.1	
Permitted Encroachment	3 ft	

#### STANDARDS

- i. Canopies should be supported on wood or metal brackets or columns in keeping with the character of the building.

### 12. STOOP

A component type featuring set of stairs with a landing leading to an entrance of a building.



#### DIMENSIONS

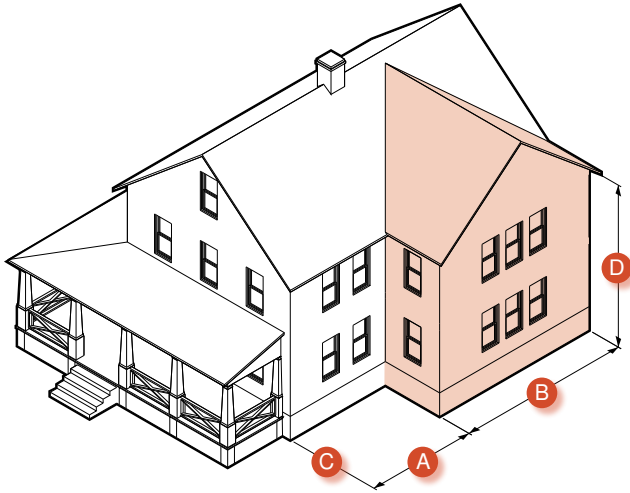
Landing Width	4 ft min	A
Landing Depth	4 ft min	B
Permitted Encroachment	4 ft	

#### STANDARDS

- i. Stairs may be recessed into the building wall.
- ii. Stairs are not permitted to encroach onto any abutting sidewalk.
- iii. Stairs may be built perpendicular or parallel to the building wall, but must lead directly to ground level or an abutting sidewalk.

13. SIDE WING

An extension from one or more side walls of the main body of a building.



DIMENSIONS

Setback from Facade	10 ft min	A
Floor Plate Area	50% max of the Floor Plate of the Principal Building	
Width		B
1-Story	1/2 depth of the Principal Building (max)	
2-Story	1/3 depth of the Principal Building (max)	
Projection	2/3 width of the Principal Building	C
Height	Same Height of Principal Building (max)	D
Roof	see Table 4.1	
Fenestration	Same as Principal Building	

STANDARDS

- i. Side Wings may not encroach on setbacks.
- ii. Side wings may be centered or offset at the side wall of the principal building, provided they share at least 6 ft with the common wall.
- iii. Side Wings are not permitted on buildings that have an Estate Wing.
- iv. Only one Side Wing is permitted per building side.

DIMENSIONS

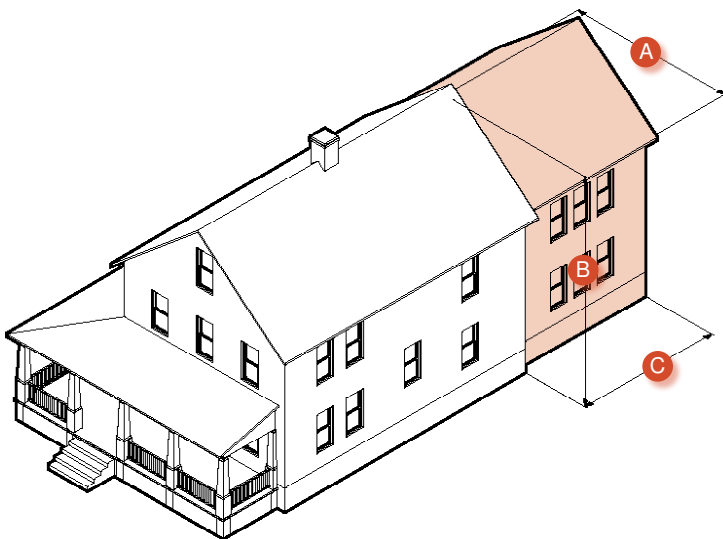
Width	2 ft less than Width of Principal Building (max)	A
Height	Same Height of Principal Building (max)	B
Roof	see Table 4.1	
Depth	Same Depth as Principal Building (max)	C

STANDARDS

- i. Rear Additions may not encroach on setbacks.
- ii. Rear Additions may not be built on the same lot as a Carriage House, except when built on the same lot as a coastal cottage, or when the lot exceeds 98 ft in width.
- iii. Rear additions may be centered or offset at the rear wall of the principal building, provided they share at least 6 ft with the common wall.
- iv. The side wall of a rear addition must be offset at least 1 ft from the plane of the side wall of the primary building, to prevent the creation of overly long side elevations.

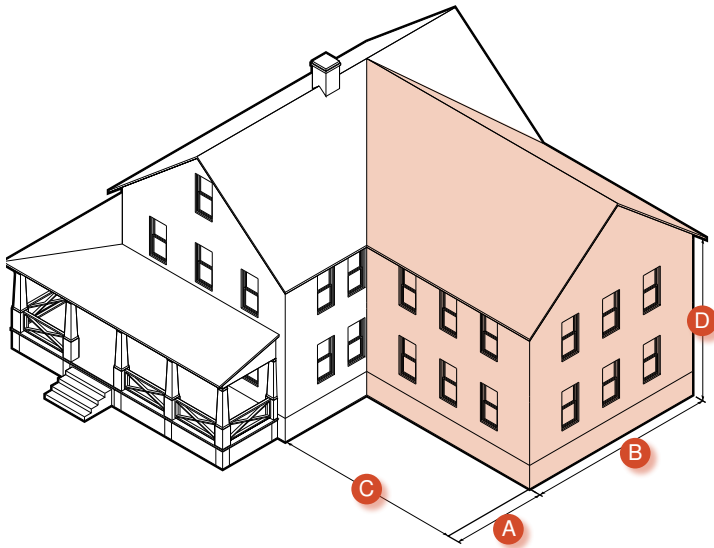
14. REAR ADDITION

An extension from the rear wall of the main body of a building.



15. ESTATE WING

A large multi-story extension from one side wall of the main body of a building. Estate Wings are only allowed on lots 98' in width or greater.



DIMENSIONS

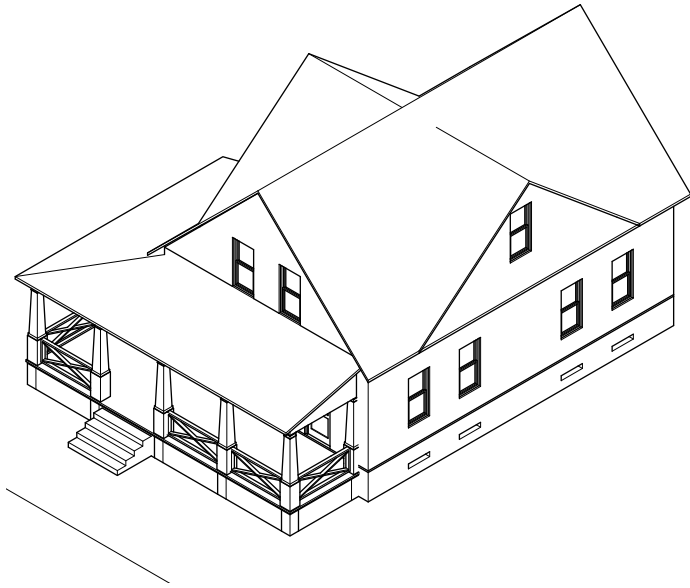
Setback from Facade	10 ft min	A
Width	Same Width as Principal Facade (max)	B
Projection	Same Width as Principal Facade (max)	C
Max Height	Same Height of Principal Building (max)	D
Roof	see Table 4.1	
Fenestration	Same as Principal Building	

STANDARDS

- i. Estate Wings may not encroach on setbacks.
- ii. Estate Wings may only be used on lots 98 ft x 98 ft or greater in size
- iii. Estate Wings may not be used on a building that has a Side Wing.
- iv. Only one Estate Wing is permitted per building side.

## F. FOUNDATIONS & STANDARDS

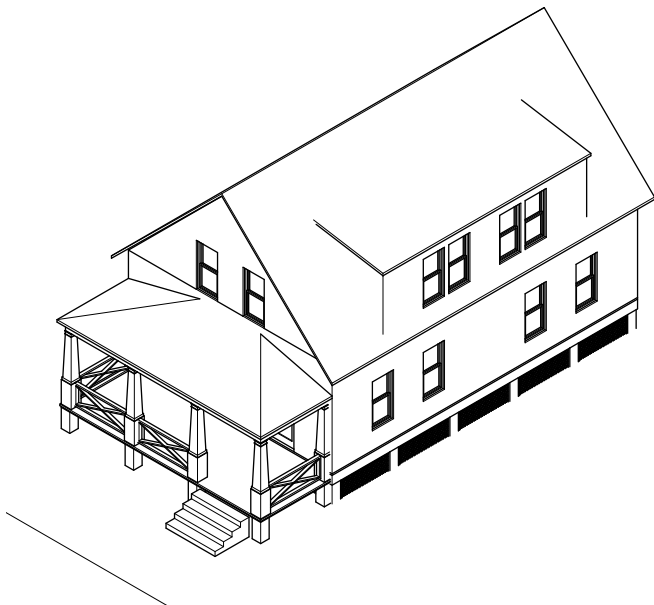
### 16. 0-4 FT HYDRAULIC FOUNDATION



#### STANDARDS

- i. Hydraulic foundations up to 4 ft in height should have the general appearance of typical foundations.
- ii. Doorways and windows should generally be located above the level of the foundation and should not penetrate it.
- iii. Enclosed area may only be used for building access or storage and may not be inhabited as per Floodplain Management Ordinance
- iv. All heights measured from established ground plane.

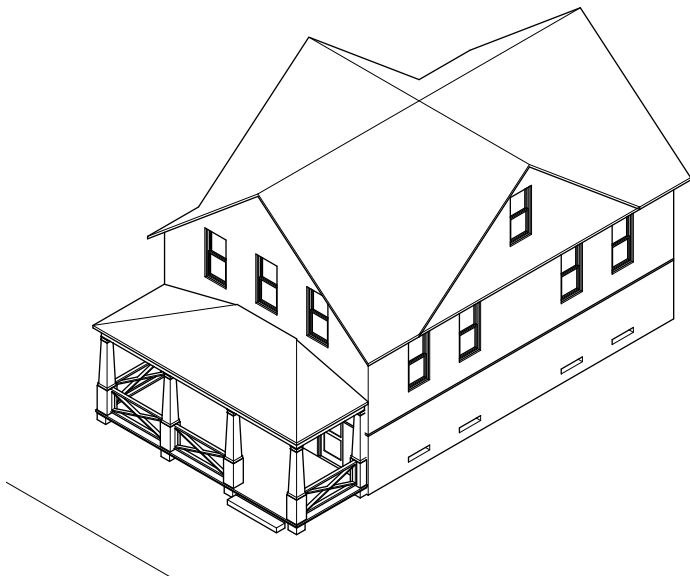
### 17. 0-4 FT PILE/PIER FOUNDATION



#### STANDARDS

- i. Pile/pier foundations up to 4 ft in height should be consistent with overall building architecture and have the gaps between piles or piers filled with approved breakaway panels or flow through latticework to give an impression of solidity.
- ii. Doorways and windows should generally be located above the level of the foundation and should not penetrate it.
- iii. Enclosed area may only be used for building access or storage and may not be inhabited as per Floodplain Management Ordinance.
- iv. All heights measured from established ground plane.

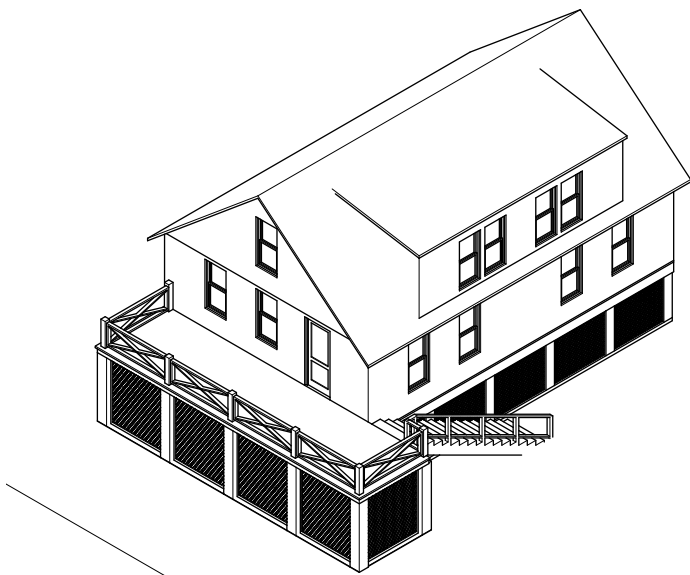
18. 4-8 FT HYDRAULIC FOUNDATION



STANDARDS

- i. Hydraulic foundations between 4 ft and 8 ft in height may have the general appearance of a split-level foundation.
- ii. Doorways and windows may penetrate the foundation in order to provide access from the outside and to conceal access stairs within the enclosed area of the foundation itself.
- iii. Enclosed area may only be used for building access to upper levels, parking of vehicles or storage and not be inhabited as per the Floodplain Management Ordinance
- iv. All heights measured from established ground plane.

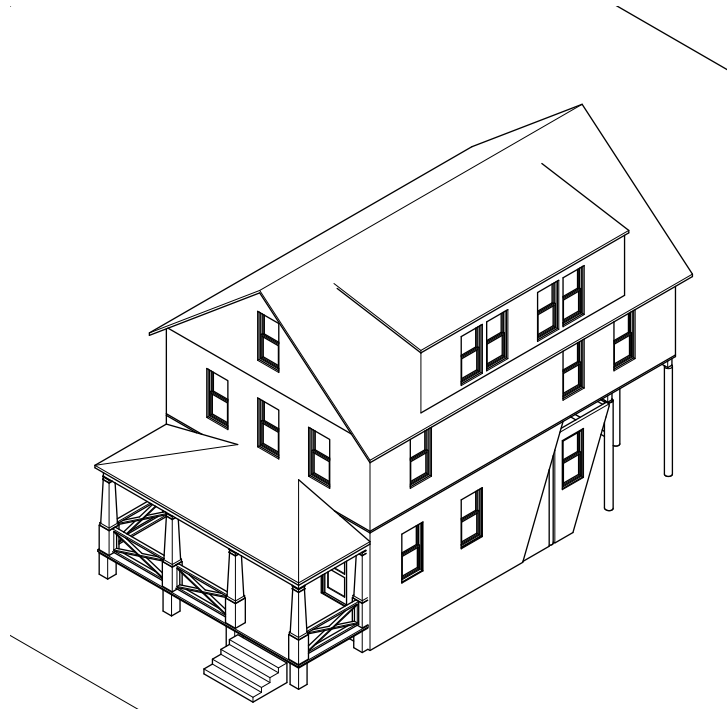
19. 4-8 FT PILE/PIER FOUNDATION



STANDARDS

- i. Pile/pier foundations between 4 ft and 8 ft in height may not have the appearance of a split-level foundation.
- ii. Gaps between pile/ piers must be filled with approved breakaway panels or flow through lattice work to give an impression of solidity on all street facing walls.
- iii. Doorways and windows may occur in break-away walls as a means of access to the enclosed area, but may not extend across the boundary between breakaway walls and permanent walls above as this will hinder the panels ability to separate and may cause damage to the house.
- iv. Stairways should be concealed either within the enclosed area or in a side or rear yard. Stairways should not extend across the primary frontage.
- v. Enclosed area may only be used for building access to upper levels, parking of vehicles or storage and not be inhabited as per the Floodplain Management Ordinance
- vi. All heights measured from established ground plane.

20. 8 FT AND TALLER PILE/PIER FOUNDATION



STANDARDS

- i. Pile/piers foundations above 8 ft in height should have the general appearance of a full story.
- ii. Gaps between pile/ piers must be filled with approved breakaway panels on all street facing walls.
- iii. Doorways and windows should occur in breakaway walls as a means of access to the enclosed area and to appear like a typical first floor, but may not extend across the boundary between breakaway walls and permanent walls above as this will hinder the panels ability to separate and may cause extensive damage to the house.
- iv. Stairways should be concealed either within the enclosed area or in a side or rear yard, stairways should not extend across a primary frontage.
- v. Enclosed area may only be used for building access to upper levels, parking of vehicles or storage and may not be inhabited as per the Floodplain Management Ordinance
- vi. All heights measured from established ground plane.



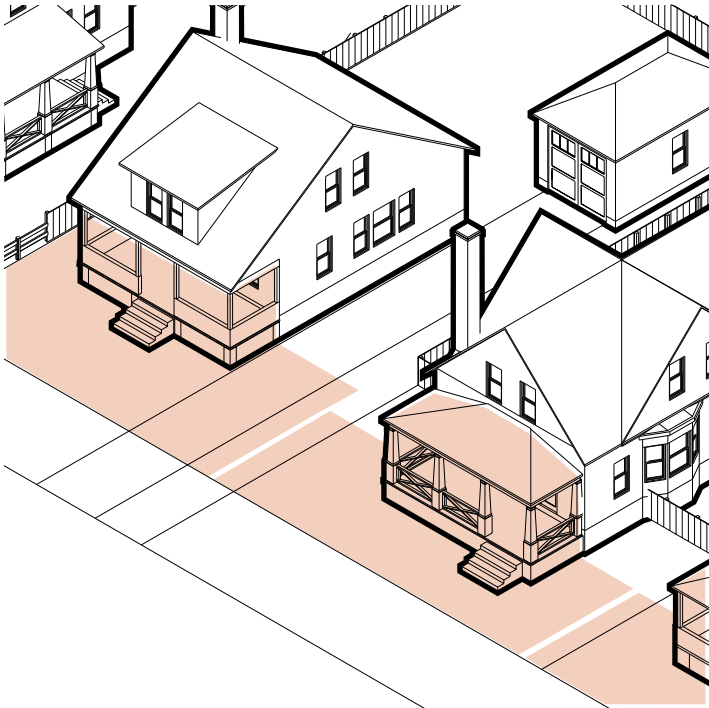
## G. BUILDING FRONTAGE TYPES

### 1. GENERAL

- a. Building Frontages are described in Article 4.G.2-4 and permitted according to the standards in Article 2.A-B.
- b. Building frontages provide an important transition between the public realm (sidewalks, streets, and civic space) and the private realm (yards and building interiors).
- c. At least 1 building frontage type is required for each principal building.
- d. Lots may include multiple frontage types.

## 2. RESIDENTIAL YARD

A frontage featuring a fenced or common front yard with porches allowed to encroach into the front setback.

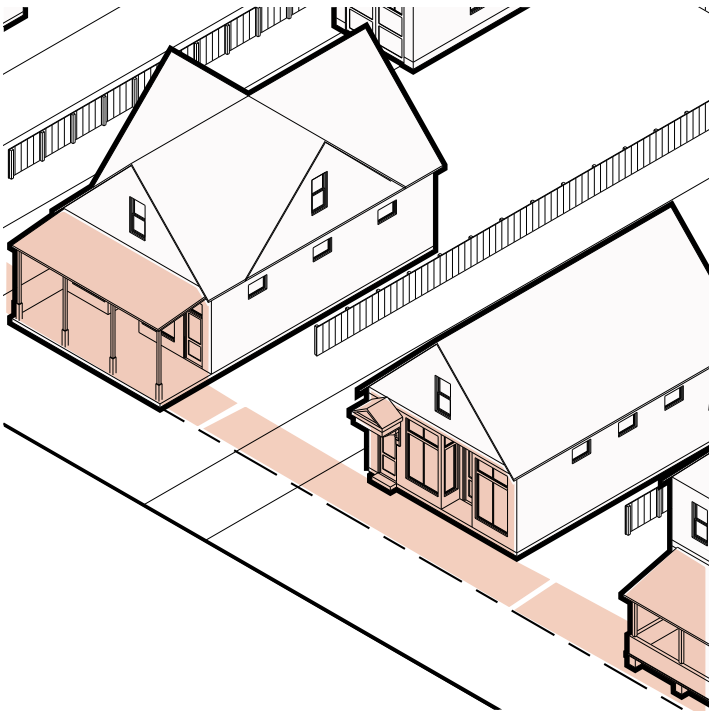


### STANDARDS

- i. Porches are required along the Primary Frontage and must extend across at least 75% of the width of the building facade.
- ii. Off-street parking may not be located in the residential yard and shall be sited behind the minimum front setback.
- iii. Paving is restricted to walkways and driveways, and permeable materials are encouraged for these surfaces, including crushed shells, crushed stone, ribbon driveways and pavers to maintain the coastal feel of the beach and minimize impervious area.
- iv. When two driveways are located next to each other an effort should be made to provide vertical landscaping between the driveways to break up the visual width of the paved areas.
- v. Landscaping should consist primarily of native species requiring minimal irrigation, fertilization, and maintenance.
- vi. Accessory Buildings are prohibited within this frontage.

## 3. SHOPFRONT

A mixed-use frontage type accommodating storefronts punctuated by entrances to uses on the floors above.



### STANDARDS

- i. Store fronts are required on the Primary Frontage and may be used in conjunction with a front porch.
- ii. Frontage may be paved or planted with turf or garden beds.
- iii. Frontage requires at least one component be utilized.
- iv. Accessory Buildings are prohibited within this frontage.

#### 4. BEACHFRONT GARAGE COURT

A primary street frontage allowed only on lots with both street frontage and beach frontage.



#### STANDARDS

- i. Driveways and parking may occur within the beachfront garage court, other parking related provisions notwithstanding.
- ii. Paving is restricted to walkways, driveways, and parking, and permeable materials are encouraged for these surfaces, including crushed shells, crushed stone, ribbon driveways and pavers to maintain the coastal feel of the beach and minimize impervious area.
- iii. Notwithstanding the Accessory Building Placement requirements in Article 2, an Accessory Building is allowed within this frontage subject to a front setback of 3 ft. This is the only frontage type that allows this placement.
- iv. Whenever possible, garage doors should be oriented away from the primary and secondary frontages.
- v. When this frontage type is assigned to an applicable lot, it may only be applied along the frontage the lot shares with a street, the portions of the lot that front on the beach must be built to the standards of the Residential Yard frontage type.
- vi. Porches are required along the street facing facade of the primary building and must extend across at least 30% of the width of the building facade.

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**A. COASTAL RESIDENTIAL 1 DISTRICT**

**1. PERMITTED USES**

- a. Single family detached dwellings
- b. Accessory Units subject to the performance standards of Section IX.J. (prohibited in Shoreland Overlay Zone)
- c. Accessory uses
- d. Municipal buildings and uses

**2. SPECIAL EXCEPTION USES**

- a. Home occupations
- b. Family day care homes, group day care homes, and nursery schools
- c. Public utility facilities including substations, pumping stations and sewage treatment facilities permitted uses

**3. RESIDENTIAL DENSITY**

- a. One principal dwelling unit is allowed per lot that complies with the Lot Standards in Article 2.

**B. COASTAL MIXED-USE - LIMITED DISTRICT**

**1. PERMITTED USES**

- a. Hotels
- b. Bed and Breakfasts, except that in this District they are not subject to the performance standards of Section IX of this Ordinance
- c. Restaurants with no drive-thru service
- d. Retail Sales and Services, excluding automobile repair and service facilities, car washes, and outdoor sales and services
- e. Non-residential institutional uses, including educational, religious, philanthropic, fraternal or social institutions
- f. Municipal buildings and uses
- g. Single family detached dwellings
- h. Accessory Units subject to the performance standards of Section IX.J. (prohibited in Shoreland Overlay Zone)
- i. Accessory uses

**2. SPECIAL EXCEPTION USES**

- a. Home occupations
- b. Family day care homes, group day care homes, and nursery schools
- c. Public utility facilities including substations, pumping stations and sewage treatment facilities residential density

**3. RESIDENTIAL DENSITY**

- a. One principal dwelling unit is allowed per lot that complies with the Lot Standards in Article 2

**C. ADMINISTRATION AND PERMITTING**

**1. ADMINISTRATIVE REVIEW**

- a. Applications for new single family detached dwellings, additions, renovations, modifications, accessory units, out buildings, carriage houses and other permitted uses shall be reviewed and permitted administratively by the Planning and Code Enforcement Department. This administrative process will include a review and determination of compliance and consistency with the provisions of the Character Districts and standards as well as review and permitting under any other applicable local codes and ordinances including the building permit.
- b. Applications for special exception uses shall require Zoning Board of Appeals review and permitting prior to any administrative review and permitting by the Planning and Code Enforcement Department.
- c. Applications for uses and activities requiring review under Chapter 405B the Site Plan Review Ordinance, including any changes in use, shall require review under that ordinance by the Planning Board prior to any administrative review and permitting by the Planning and Code Enforcement Department.

**2. NON-CONFORMING USES AND STRUCTURES**

- a. A nonconformity is any use, building, lot, or sign that was lawfully established prior to the adoption of this Ordinance and has been made nonconforming as a result of the adoption of this Ordinance, or subsequent amendments, and may continue so long as the nonconformity remains otherwise lawful and complies with this section.
  - i. Any such building may be expanded, enlarged, or increased in height provided that any such expansion or addition is within the principal building placement identified in Article 2 and the addition meets all other building standards of Article 4. A building that is nonconforming as to the maximum front setback may be expanded pursuant to the requirements in this subsection without becoming conforming regarding the maximum front setback.
- b. General routine repair or maintenance of non-conforming uses, structures, buildings, lots, or signs is permitted.
- c. Alterations made to restore structures or buildings to a safe condition is permitted.
- d. Additions and components that meet the dimensional standards of the code may be added to existing non-conforming buildings, so long as the change does not expand or create a new non-conformity.
- e. Additions and components may match an existing, non-conforming roof pitch with the exception of non-conforming flat roofs, provided all other dimensional standards of the code are adhered to.
- f. Additions and components may match existing non-conforming eave heights, provided all other dimensional standards of the code are adhered to.
  - i. For any such existing building that does not meet the minimum ceiling height required by building code, additions may exceed the eave height requirements to the minimum height necessary to ensure code compliant access between the existing structure and addition can be achieved.

## Article 5: Use Provisions and Administration

- g. No non-conforming lot may be subdivided to increase the non-conformity.



**BUILDING TYPE:**

A classification or kind of structure characterized and differentiated by its placement on a lot, massing, composition, use, and features.

**COMPONENT:**

One of the elements that make up a building, the other being the principal building mass. Components are comprised of smaller attachments to the principal building mass and provide architectural articulation and additional usable space.

**DEPTH:**

When related to lot dimensions, depth refers to the perpendicular distance between the closest points of the front lot line and the rear lot line.

**EAVE:**

The overhang resulting when a sloped roof intersections and extends beyond the building wall.

**ENGAGE:**

To incorporate within a larger volume; in whole or in part.

**FAÇADE:**

The exterior wall of a building oriented in whole or in part toward a Street, or Beach, not including service alleys.

**FRONTAGE:**

The land that lies adjacent to a street, right-of-way, easement, civic space, or natural feature, or the space between a building and the same.

**FRONTAGE, PRIMARY:**

The primary frontage is located along the street upon which the lot fronts. For corner lots, the primary frontage is designated by one or more of the following conditions:

- The property's postal address.
- The orientation of primary building.
- The lot line with the narrowest width.
- The widest street, or the street with the widest pedestrian walkway.

**FRONTAGE, SECONDARY:**

On corner lots, the frontage that is oriented toward the second, non-address-bearing street.

**FRONT SETBACK, PRIMARY:**

The setback required along a primary frontage.

**FRONT SETBACK, SECONDARY:**

The setback required along a secondary frontage.

**GROUND FLOOR:**

The lowest floor of a building that is not considered a basement.

**INTEGRAL:**

To be contained, in whole or in part, within the structural envelope of a larger building element.

**PIER:**

A solid support designed to sustain vertical pressure, such as used in a section of a wall between windows or other adjacent openings or as structural member used in the construction of building foundations.

**PRIMARY ENTRANCE:**

The main point of access for pedestrians into a building, upper story use, or ground floor tenant space.

**PRIMARY FRONTAGE:**

See Frontage, Primary

**SECONDARY FRONTAGE:**

See Frontage, Secondary

**SETBACK:**

The horizontal distance required between the closest exterior wall of a Building or parking and a specified element, such as vva lot line, easement, or natural feature, measured perpendicularly. This area must be maintained clear of permanent structures with the exception of allowed encroachments.

**TOP PLATE:**

The highest horizontal framing member of a wall. Syn. Wall Plate.

**VERTICAL PLANE:**

A flat surface perpendicular to the ground or horizontal plane.