posted 10/3/2022
SBurgos

TOWN OF VERNON
Planning & Zoning Commission (PZC)
Meeting Notice & Agenda
Thursday, October 6, 2022 7:30 PM
Town Council Chambers 3rd Floor
14 Park Place
Vernon, CT 06066

RECEIVED
VERNON TOWN CLERK
22 OCT -3 PM 12:32

AGENDA

1. **Call to Order & Roll Call by Roland Klee, Chairman**

2. **Administrative Actions/Requests**

   2.1 Amendment/Adoption of Agenda - Additional business to be considered under agenda item #6 "Other Business" requires a Commission vote.

   2.2 Approval of the Minutes from **September 15, 2022**

   2.3 Approval of 2023-2024 Meeting Schedule

3. **New Application(s) for receipt, if any:**

4. **Public Hearing(s) and Action on Applications:**

   4.1 **PZ-2022-14, 96 West Street.** (CONTINUATION) An application of Gershon Eichorn (Up Realty, LLC.) for a Site Plan and Special Permits to create residential units and other uses at 96 West Street. (Tax Map 22, Block 42, Parcels 08). The property is zoned Planned Residential Development.

5. **8-24 Referrals, If any**

6. **Other Business/Discussion**

   6.1 Notice of Exempt Modification for T-Mobile, 197 South Street, Vernon, CT 06066

7. **Public Comments Received**

8. **Adjournment**

Roland Klee, Chair
Planning & Zoning Commission

DRAFT MINUTES

TOWN OF VERNON

Planning & Zoning Commission (PZC)

Thursday, September 15, 2022, 7:30 PM

Town Council Chambers 3rd Floor

14 Park Place

Vernon, CT 06066

DRAFT Minutes

1. **Call to Order & Roll Call by Roland Klee, Chairman @ 7:30 PM**
   - Regular members present: Carl Bard, Mike Baum, Roland Klee, Robin Lockwood, Joseph Miller, and Iris Mullan
   - Alternate Member: Yelena Damsky sitting for Mike Mitchell
   - Absent Members: Mike Mitchell and Alternate William Nicholson
   - Staff present:
     Ashley Stephens, Town Planner
     Leslie Campolongo, Planning & Zoning Specialist
   - Recording secretary: Jill Rocco

2. **Administrative Actions/Requests**

   2.1 Amendment/Adoption of Agenda - Additional business to be considered under agenda item #6 "Other Business" requires a Commission vote.

   Robin Lockwood **MOVED** to **ADOPT** the agenda. Joseph Miller seconded and the motion carried unanimously.

   2.2 Approval of the Minutes from **August 18, 2022**

   Robin Lockwood **MOVED** to **APPROVE** the minutes from August 18, 2022. Mike Baum seconded and the motion carried with Roland Klee and Carl Bard abstaining.

3. **New Application(s) for receipt, if any:**

   NONE

4. **Public Hearing(s) and Action on Applications:**

   4.1 PZ 2022-14, 96 West St. An Application of Gershon Eichorn (Up Realty, LLC.) for a Site Plan and Special Permits to create residential units and other uses at 96 West Street. (Tax Map 22, Block 42, Parcels 08). The property is zoned Planned Residential Development.

   - Roland Klee Chairman, opened the Public Hearing.
   - Ashley Stephens, Town Planner, read the Public Notice published in the Journal Inquirer on September 3, 2022 and September 10, 2022.
   - Roland Klee, Chairman, stated that the applicant is not ready for the hearing.

   Robin Lockwood **MOVED** to **CONTINUE** the Public Hearing to the October 6, 2022 meeting. Iris Mullan seconded and the motion carries unanimously.

5. **8-24 Referrals, If any**

NONE

6. **Other Business/Discussion**

NONE

7. **Public Comments Received**

NONE

8. **Adjournment**

Iris Mullan **MOVED** to **ADJOURN** at 7:35 PM. Robin Lockwood seconded and the motion carried unanimously.

Jill Rocco
Recording Secretary

TOWN OF VERNON

14 PARK PLACE, VERNON, CT 06066
Tel: (860) 870-3662
Fax: (860) 870-3623
E-mail: townclerk@vernon-ct.gov

OFFICE OF TOWN CLERK
KAREN C. DAIGLE, CCTC
REGISTRAR OF VITAL STATISTICS
CLERK OF THE TOWN COUNCIL

SCHEDULE OF MEETINGS

TO: **Karen C. Daigle, Town Clerk**
Town of Vernon
14 Park Place
Vernon, CT 06066
(860) 870-3662

JANUARY 1, 2023 THROUGH JANUARY 31, 2024 MEETING SCHEDULE

NAME OF BOARD/COMMISSION COMMITTEE

Planning and Zoning Commission

DATES OF MEETINGS:

January 5, 2023, January 19, 2023, February 2, 2023, February 16, 2023, March 2, 2023, March 16, 2023, April 6, 2023**, April 20, 2023**, May 4, 2023, May 18, 2023, June 1, 2023; June 15, 2023, July 6, 2023, July 20, 2023, August 3, 2023, August 17, 2023, September 7, 2023, September 21, 2023, October 5, 2023, October 19, 2023, November 2, 2023, November 16, 2023, December 7, 2023, December 21, 2023, January 4, 2024, January 18, 2024.**

****meeting location subject to change for dates indicated**

PLACE OF MEETINGS: **Council Chambers, 3rd floor of Town Hall OR Zoom Meeting**

TIME OF MEETINGS: **7:30 p.m. (1st and 3rd Thursday of every month)**

Signed: _____
Chairman/Secretary

Date: _____

_____
Telephone # During the Day:

DRAFT

APPLICATION

TOWN OF VERNON PLANNING & ZONING COMMISSION (PZC) APPLICATION

(Revised March 2021)

The PZC may require additional information to be provided by the applicant in the course of reviewing the application and during the monitoring of the project. Provide all the information requested.

APPLICANT (S)

NAME: Gershon Eichorn

COMPANY: Up Realty LLC

ADDRESS: 619 eastern parkway Brooklyn NY 11213

TELEPHONE: 718-207-2168 E-MAIL: gershonny@gmail.com

PROPERTY OWNER (S)

NAME: SUNSET WEST LLC

ADDRESS: 34 CONNECTICUT BLVD EAST HARTFORD, CT 06108

TELEPHONE: 760-534-6057 EMAIL: MPosner@uprealtyny.com

If the applicant is not the property owner, include a letter from the property owner authorizing the applicant to seek approval by the PZC, if no signature accompanies the application. (ZR Section 2.3)

PROPERTY

ADDRESS: 96 West Street, Vernon, CT

ASSESSOR'S ID CODE: MAP # 22 BLOCK # 042 LOT/PARCEL # 000

LAND RECORD REFERENCE TO DEED DESCRIPTION: VOLUME: 24 PAGE 26

DOES THIS SITE CONTAIN A WATERCOURSE AND/OR WETLANDS? (SEE THE INLAND WETLANDS MAP AND REGULATIONS)

X NO __YES

___NO REGULATED ACTIVITY WILL BE DONE

___REGULATED ACTIVITY WILL BE DONE

____IWC APPLICATION HAS BEEN SUBMITTED

ZONING DISTRICT PRD

IS THIS PROPERTY LOCATED WITHIN FIVE HUNDRED (500) FEET OF A MUNICIPAL BOUNDARY?

x NO

____YES: _____

CHECK IF HISTORIC STATUS APPLIES:

____LOCATED IN HISTORIC DISTRICT:_____

____INDIVIDUAL HISTORIC PROPERTY

PROJECT SUMMARY

Describe the project briefly in regard to the purpose of the project and the activities that will occur. Attach to this application a complete and detailed description with maps and documentation as required by the "**Town of Vernon Zoning Regulations"** and **"Town of Vernon Subdivision Regulations"**.

PURPOSE: Adaptive Reuse to Residential Units

GENERAL ACTIVITIES: Demolition of existing interiors, site and facade improvements

and interior fit out to create 6 residential units of one (1) and two (2) bedroom types.

APPROVAL REQUESTED

____**SUBDIVISION OR RESUBDIVISION**

____ SUBDIVISION (SUB. SEC. 4, 5, 6)
____ RESUBDIVISION (SUB. SEC. 4, 5, 6)
____ MINOR MODIFICATION OF SUBDIVISION OR RESUBDIVISION (SUB. SEC. 4.6)
____ AMENDMENT OF SUBDIVISION REGULATIONS (SUB. SEC. II)

SEE SUBDIVISION REGULATIONS SEC. 4 FOR APPLICATION FEE SCHEDULES.

____**SOIL EROSION AND SEDIMENT CONTROL PLAN (ESCP)** (ZR SEC. 2.117; 18) (SUB. 6.14)

____**SITE PLAN OF DEVELOPMENT (POD)** (ZR SEC. 14)

____ POD APPROVAL (ZR SEC. 14.1.1.1; 14.1.2)
____ MODIFICATION OF AN APPROVED POD (ZR SEC. 14.1.1.1)
____ MINOR MODIFICATION OF A SITE POD (ZR SEC. 14.1.1.2)

X ___**SPECIAL PERMIT(S)** (ZR SECTION 17.3) SECTION: 4.7.4.1

____OTHER SPECIAL PERMIT(S). CITE ZR SECTION AND DESCRIBE ACTIVITY:

_____

____**ZONING:**

____ SITE SPECIFIC CHANGE OF ZONING DISTRICT AND MAP (ZR SEC. 1.2; 1.3; 4)
____ AMENDMENT OF ZONING REGULATIONS (SEC. 1.2; 1.3; 4)

CERTIFICATION AND SIGNATURE

The applicant, undersigned, has reviewed the "Town of Vernon Planning and Zoning Regulations" and completed the application with complete and accurate information:

Property Owner, Applicant, or Applicant's Agent:

	Gershon Eichorn	8/29/2022
APPLICANT OR AGENT SIGNATURE	PRINTED NAME	DATE
OWNER'S SIGNATURE, IF DIFFERENT	PRINTED NAME	DATE

96 WEST STREET

UPSCALE CONSTRUCTION INC.

96 WEST STREET
VERNON, CT 06066

LOCATION MAP

PARCEL NUMBER: 22-0042-00008
MAP-BLOCK-LOT: 22-0042-00008
GIS: N 79*22'23" E

0' 250' 500' 1000' 2000'

CIVIL ENGINEER

STRUCTURAL ENGINEER

M.E.P. ENGINEER

P&Z SET / PERMIT SET
08/29/2022

RENDERING PLACEHOLDER ONLY

PERSPECTIVE RENDERING OF PROJECT

NEWMAN

NEWMAN ARCHITECTS, PC

300 York Street, New Haven, CT 06511
203.772.1990 Fax 203.772.1997
www.newmanarchitects.com

THE DRAWINGS, DESIGNS, PLANS, SPECIFICATIONS, AND ALL WORKS AND CONTENT DISPLAYED, CONTAINED, OR REPRESENTED HEREIN ARE THE SOLE AND EXCLUSIVE PROPERTY OF NEWMAN ARCHITECTS, P.C. COPYRIGHT © 2022 NEWMAN ARCHITECTS P.C. ALL RIGHTS RESERVED.

NOT FOR CONSTRUCTION

CLIENT
AVRAHAM MEHL
34 CONNECTICUT BLVD.
EAST HARTFORD, CT 06108
860.222.7131 ext. 120
PRINCIPAL CONTACT

CIVIL ENGINEER
KRATZERT, JONES & ASSOCIATES INC
1755 MERIDEN-WATERBURY TPK,
SOUTHINGTON, CT, 06489
(860) 621-3638

STRUCTURAL ENGINEER
THORNTON TOMASATTI
10 N MAIN STREET, SUIT 307
WEST HARTFORD, CT, 06107
(212) 367-2750

M.E.P + F.P
CONSULTING ENGINEERING SERVICES
811 MIDDLE STREET
MIDDLETOWN, CT, 06457
(860) 632-1682

PHASE:
P&Z SET / PERMIT SET

REVISIONS

NO	DATE	DESCRIPTION

PROJECT NAME:
96 WEST STREET

PROJECT ADDRESS:
96 WEST STREET
VERNON, CT 06066

PROJECT NUMBER:
20210044

DRAWING TITLE:
COVERSHEET

SCALE:

DRAWN BY: **DRW**

DATE: **08/29/2022**

CHECKED BY: **CHK**

DRAWING NUMBER:
CS.00

8/29/2022 4:35:00 PM Autodesk Docs://20210044-96 West St/Arch-96-West-Street-central-R22.rvt

COPY OF LEGAL DESCRIPTION

OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
COMMITMENT FILE NO.: 1804924 - SCHEDULE A:

Those two certain pieces or parcels of land located on the westerly side of West Street in the Town of Vernon, County of Tolland and State of Connecticut more porticularly set forth as follows:

FIRST PIECE: A certain piece or parcel of land, situated in the Town of Vernon, County of Tollond and State of Connecticut, being more particulorly bounded and described as follows:

Beginning at the southeast corner of the land herein described at a stone bound standing at the intersection of the westerly line of fleet Street and the northerly line of the New York, New Haven and Hartford Railroad Company' right of soy, and said stone bound stands 26.05 feet easterly from the southeast corner of a dwelling house standing on the premises herein described; and running thence from the point of beginning in said Railroad Company's right of way line S. 84 29' W., 180.6 feet to a stone bound; thence N. 0 32' E., 29.1 feet to a stone bound; thence N. 89 28' W., 165 feet to o stone bound; thence S. 6 37' W., 33 feet to a stone bound; then N. 89 10' W., 400 feet to a stone bound; thence westerly in a curve of about 920 feet rodius obout 175 feet, (chord bears N. 83 25' W., 174.4 feet to a stone bound on line of land now or formerly of Fronk Kaminski; off of the obove courses are on Railrood Compony's right of way line; thence in line of land now or formerly of said Kaminski, N. 5 15' E., 54.8 feet to o marked fence post; thence N. 22 42' E., 56 feet to a marked fence post; thence N. 28 48' E., 91 feet to a marked fence post; thence N. 17 18' E., 101.7 feet to a morked fence post; these last four courses all being on line of land nor or formerly of said Kaminski; thence S. 87 56' E., 57.6 feet to a stake; thence some course, 379.9 feet to a stake; thence S. 76 36' E., 203—1/2 feet to a stoke; thence S. 78 06' E., 261.3 feet to a stoke standing in the westerly line of West Street and 15 feet notherly from a double elm tree obout 10 inches in diameter; thence in line of said West Street, S. 21 15' W., 185 feet to ploce of beginning.

The obove described land is bounded on the north by land formerly of M.T. Stevens & Sons Compony; eost by West Street; south by the New York, New Hoven ond Hartford Railroad Compony's right of way; and west by land now or formerly of said K aminski; and contains by calculotion, 5—1/2 acres and 2.3 square rods of fond.

Being the same premises conveyed to Joseph L. Bury by Warranty Deed of Frank Parizek Monufacturing Company, Inc. dated April 1, 1949 and recorded in Volume 89, Poge 19 of the Vernon Land Records.

EXCEPTING HOWEVER, from the above described premises, that certain piece of parcel of land described in a Warranty Deed from Joseph L. Bury herein to Edward Amenta dated January 5, 1971 ond recorded in Volume 190, Pogе 544 of the Vernon Land Records.

SECOND PIECE: All that certain piece or parcel of land together with improvements thereon situate, lying and being in the Town of Vernon, County of Tolland ond State of Connecticut, delineated and shown on a certain map entitled: "New York, Now Haven & Hartford Railroad Real Estate & Right of Way Department Land in Rockville, Conn. To be conveyed to Joseph L. Bury Scale 1 in. — 50 Ft. Mar. 1949", and bounded and described as follows:

Beginning at a point in the northerly line of the right of way of Rockville Branch so— called, of the Releasor, said point being distant 20 feet northerly, measured at right angles from station 63 & 52.86 of the monumented center line of said Rockville Branch and 15 feet more or less westerly of the west line of West Street as measured along of said right of way line;

Thence westerly 125.95 feet along remaining railroad land in a line parallel with said monumented center line and distant 20 feet northerly, measured at right angles therefrom to the intersection of said parallel line at station 64 & 78.81 of said monumented center line with a line parallel with and distant 20 feet northerly, measured at right angles from the monumented center line of the Melrose Branch, so — called, of said Releasor;

Thence continuing westerly 216.29 feet along remaining railrood land in a line parallel with said monumented center line of said Melrose Bronch ond distort 20 feet northerly, measured at right angles therefrom to a point at right angles opposite station 378 & 93.25 of said last mentioned center line;

Thence northerly at right angles to the last described line and along remaining railroad land and land now or formerly of the Frank Parizek Manufacturing Company, each in port, 46 feet to a point;

Thence easterly along land now or formerly of said Manufacturing Company, and at right angles to the last described line, 165 feet to a point;

Thence southerly 33 feet along land now or formerly of said Manufacturing Company, and at right angles to the last described line, to a point distort 33 feet northerly, measured at right angles opposite station 380 & 58.25 of said monumented center line of said Melrose Branch;

Thence easterly along land now or formerly of said Manufacturing Compony and at right angles to the last described line, 176.57 feet to the point of beginning;

Containing 9,072 square feet more or less.

* Surveyor's Note: Page 2 of the legol description from the vesting deed is missing from Schedule A.

OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
COMMITMENT FILE NO.: 1804924 - SCHEDULE B - II:
Numbers correspond with survey—related Schedule B exception items contained in the above referenced Title Commitment

6. Lease Agreement between State of Connecticut Department of Transportation and Joseph L. Bury, Jr. dated December 17, 2001 and recorded January 10, 2002 in Volume 1367 Page 288 of the Vernon Lond Records.
(BENEFITS THE SUBJECT PROPERTY - PLOTTED AND SHOWN HEREON)

LIST OF ABBREVITIONS

A/C	AIR CONDITIONING
A/V	AUDIO VISUAL
AB	ANCHOR BOLT
ABGWB	ABUSE RESISTANT GWB
ABV	ABOVE
AC	ACOUSTICAL
ACCS	ACCESS
ACP	ACOUSTICAL CEILING PANEL
ACT	ACOUSTICAL CEILING TILE
AD	AREA DRAIN
ADD	ADDENDUM
ADH	ADHESIVE
ADJ	ADJACENT
ADJUST	ADJUSTABLE
AFF	ABOVE FINISHED FLOOR
AGG	AGGREGATE
AHU	AIR HANDLING UNIT
ALT	ALTERNATE
ALUM	ALUMINUM
ANC	ANCHORAGE
ANOD	ANODIZED
AP	ACCESS PANEL
APPROX	APPROXIMATE
APT	APARTMENT
ARCH	ARCHITECTURAL, ARCHITECT
ASB	ASBESTOS
ASC	ABOVE SUSPENDED CEILING
ASPH	ASPHALT
AT	ASPHALT TILE
AUTO	AUTOMATIC
AWP	ACOUSTICAL WALL PANEL
BBD	BULLETIN BOARD
BBR	BASEBOARD RADIATION
BD	BOARD
BEL	BELOW
BIT	BITUMINOUS
BJT	BED JOINT
BLDG	BUILDING
BLK	BLOCK
BLKG	BLOCKING
BLLD	BOLLARD
BLST	BLUESTONE
BM	BEAM
BMK	BENCHMARK
BOT	BOTTOM
BP	BACK PLASTERED
BPL	BEARING PLATE
BRG	BEARING
BRK	BRICK
BRZ	BRONZE
BS	BOTH SIDES
BSMT	BASEMENT
BTWN	BETWEEN
BUR	BUILT UP ROOF
BVL	BEVELED
BW	BOTH WAYS
CAB	CABINET
CAD	COMPUTER AIDED DRAFTING
CB	CATCH BASIN
CB	COUNTER BORE
CEM	CEMENT
CF	CUBIC FOOT
CFL	COUNTER FLASHING
CG	CORNER GUARD
CH	CHALK
CHAM	CHAMFER
CHR	CHROME
CHRL	CHAIR RAIL
CHT	CEILING HEIGHT
CI	CAST IRON
CIP	CAST IN PLACE
CIR	CIRCLE
CIRC	CIRCUMFERENCE
CJ	CONTROL JOINT
CL	CENTER LINE
CLG	CEILING
CLK(G)	CAULK(ING)
CLL	CONTRACT LIMIT LINE
CLL	CONTRACT LIMIT LINE
CLOS	CLOSET
CLR	CLEAR
CLS	CLOSURE
CM	CONSTRUCTION MANAGER
CMT	CERAMIC MOSAIC TILE
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
COMB	COMBINATION
COMP	COMPRESS(ED), (ION), (IBLE)
COMPO	COMPOSITE, COMPOSITION
COMPT	COMPARTMENT
CONC	CONCRETE
CONST	CONSTRUCTION
CONT	CONTINUOUS
CONTR	CONTRACTOR
COR	CORRUGATED
CORR	CORRIDOR
CPG	COPING
CPR	COPPER
CPT	CARPET
CR	CARD READER
CRG	CROSS GRAIN
CRS	COURSE(S)
CS	COUNTERSINK, COUNTERSUNK
CSMT	CASEMENT
CST	CAST STONE
CT	CERAMIC TILE
CTHK	COAT HOOK
CTR	COUNTER
CUH	CABINET UNIT HEATER
CUST	CUSTODIAL, CUSTODIAN
CX	CONNECTION
CY	CUBIC YARD
D	DRAIN
DA	DOUBLE ACTING
DEMO	DEMOLISH, DEMOLITION
DEP	DEPRESSED
DET	DETAIL
DF	DRINKING FOUNTAIN
DH	DOUBLE HUNG
DIA	DIAMETER
DIAG	DIAGONAL
DIM	DIMENSION
DIV	DIVISION
DL	DEAD LOAD
DMPR	DAMPER
DMT	DEMOUNTABLE
DN	DOWN
DP	DAMPPROFFING
DPL	DISPOSAL
DPR	DISPENSER
DR	DOOR
DRB	DRAINBOARD
DS	DOWNSPOUT
DT	DRAIN TILE
DTA	DOVETAIL ANCHOR
DTS	DOVETAIL ANCHOR SLOT
DW	DISHWASHER
DWG	DRAWING
DWR	DRAWER
DWTR	DUMBWAITER
E	EAST
EA	EACH
EB	EXPANSION BOLT
ECP	ENVIRONMENTAL CEILING PANEL
EF	EXHAUST FAN
EJ	EXPANSION JOINT
EL	ELEVATION
EP	EPOXY PAINT
ER	
ELEC	ELECTRIC(AL)
ELEV	ELEVATOR
EMER	EMERGENCY
ENCL	ENCLOSURE
ENLG	ENLARGED
EPBD	ELECTRIC PANELBOARD
EPX	EPOXY
EQ	EQUAL
EQPT	EQUIPMENT
EST	ESTIMATE
ETR	EXISTING TO REMAIN
EWC	ELECTRIC WATER COOLER
EWP	ENVIRONMENTAL WALL PANEL
EXCA	EXCAVATE
EXG	EXISTING
EXH	EXHAUST
EXMP	EXPANDED METAL PLATE
EXP	EXPOSED
EXS	EXTRA STRONG
EXT	EXTERIOR
FA	FIRE ALARM
FACT	FACTORY
FAI	FRESH AIR INTAKE
FAS	FASTENER
FB	FACE BRICK
FBD	FIBER BOARD
FBO	FURNISHED BY OTHERS
FBPL	FABRIC PANEL
FBRK	FIRE BRICK
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FF	FINISHED FLOOR
FFE	FINISHED FLOOR ELEVATION
FFL	FINISHED FLOOR LINE
FG	FIXED GLASS
FGL	FIBERGLASS
FHMS	FLAT HEAD MACHINE SCREW
FHS	FIRE HOSE STATION
FHWS	FLAT HEAD WOOD SCREW
FIN	FINISH(ED)
FIXT	FIXTURE
FJT	FLUSH JOINT
FLCO	FLOOR CLEANOUT
FLG	FLASHING
FLR	FLOOR
FLUOR	FLUORESCENT

FLX	FLEXIBLE
FN	FENCE
FNDN	FOUNDATION
FOC	FACE OF CONCRETE
FOF	FACE OF FINISH
FOM	FACE OF MASONRY
FOS	FACE OF STUD(S)
FP	FIRE PROTECTION
FPG	FIREPROOFING
FPL	FLOOR PLATE
FR	FRAME(D), (ING)
FRC	FIRE RESISTANT COATING
FRGD	FORGED
FRP	FIBERGLASS REINFORCED PLASTIC
FRPL	FIREPLACE
FRT	FIRE RETARDANT TREATED
FS	FULL SIZE
FTG	FOOTING
FTR	FIN TUBE RADIATION
FURR	FURRED, FURRING
FUT	FUTURE
GA	GAUGE
GALV	GALVANIZED
GB	GRAB BAR
GC	GENERAL CONTRACTOR
GF	GROUND FACE
GFRC	GLASS FIBER REINFORCED CONCRETE
GI	GALVANIZED IRON
GKT	GASKET
GL	GLASS, GLAZING
GLB	GLASS BLOCK
GLF	GLASS FIBER
GP	GALVANIZED PIPE
GPL	GYPSUM LATH
GPPL	GYPSUM PLASTER
GPT	GYPSUM TILE
GRD	GRADE, GRADING
GRN	GRANITE
GSS	GALVANIZED SHEET STEEL
GST	GLAZED STRUCTURAL TILE
GT	GROUT
GVL	GRAVEL
GWB	GYPSUM WALLBOARD
GYP	GYPSUM
H/C	HANDICAP(PED)
HB	HOSE BIBB
HBD	HARDBOARD
HC	HOLLOW CORE
HD	HEAVY DUTY
HDNR	HARDENER
HDR	HEADER
HDWR	HARDWARE
HES	HIGH EARLY STRENGTH
HH	HAND HOLE
HJT	HEAD JOINT
HK(S)	HOOK(S)
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HPT	HIGH POINT
HR	HOUR
HT	HEIGHT
HTG	HEATING
HVAC	HEATING VENTILATING AND AIR CONDITIONING
HWD	HARDWOOD
HX	HEXAGONAL
ID	INSIDE DIAMETER
ILK	INTERLOCK
INCL	INCLUD(ED), (ING)
INS	INSULATE, INSULATION
INSC	INSULATING CONCRETE
INSF	INSULATING FILL
INSTR	INSTRUCTOR
INT	INTERIOR
INTM	INTERMEDIATE
INV	INVERT
JC	JANITOR'S CLOSET
JF	JOINT FILLER
JST	JOIST
JT	JOINT
KD	KNOCK(ED) DOWN
KIT	KITCHEN
KO	KNOCKOUT
KPL	KICKPLATE
L	LENGTH
LAB	LABORATORY
LAD	LADDER
LAM	LAMINATE(D)
LAV	LAVATORY
LB	LAG BOLT
LBL	LABEL
LC	LIGHT CONTROL
LCC	LEAD COATED COPPER
LF	LINEAR FOOT
LH	LEFT HAND
LHRB	LEFT HAND REVERSE BEVEL
LIN	LINOLEUM
LL	LIVE LOAD
LMS	LIMESTONE
LPT	LOW POINT
LT	LIGHT
LTL	LINTEL
LVR	LOUVER
LW	LIGHT WEIGHT
LWC	LIGHT WEIGHT CONCRETE
LWF	LIGHT WEIGHT FILL
M	METER(S)
MAS	MASONRY
MATL	MATERIAL
MAX	MAXIMUM
MB	MACHINE BOLT
MBR	MEMBER
MECH	MECHANICAL
MED	MEDIUM
MEP	MECHANICAL, ELECTRICAL, PLUMBING
MEZZ	MEZZANINE
MFR	MANUFACTURER
MH	MANHOLE
MHO	MAGNETIC HOLD OPEN
MI	MALLEABLE IRON
MIN	MINIMUM
MIR	MIRROR
MISC	MISCELLANEOUS
MLDG	MOULDING
MM	MILLIMETER(S)
MO	MASONRY OPENING
MOD	MODEL
MODU	MODULAR
MOV	MOVABLE
MR	MOISTURE RESISTANT
MT(D)	MOUNT(ED)
MTHR	METAL THRESHOLD
MTL	METAL
MTLPL	METAL PANEL
MULL	MULLION
MWK	MILLWORK
N	NORTH
NA	NOT APPLICABLE
NAT	NATURAL
NC	NOISE COEFFICIENT, NONCOMBUSTIBLE
NGVD	NATIONAL GEOGRAPHICAL VERTICAL DATA
NI	NICKEL
NIC	NOT IN CONTRACT
NL	NAILABLE
NMT	NONMETALLIC
NOM	NOMINAL
NR	NOISE REDUCTION
NRC	NOISE REDUCTION COEFFICIENT
NTS	NOT TO SCALE
OA	OVERALL
OBS	OBSCURE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OH	OVERHEAD, OPPOSITE HAND
OHMS	OVAL HEAD MACHINE SCREW
OHWS	OVAL HEAD WOOD SCREW
OP	OPAQUE
OPNG	OPENING
OPP	OPPOSITE
OPPHD	OPPOSITE HAND
OPS	OPPOSITE SURFACE
OW	OPEN-WEB
OWN	OWNER
PAR	PARALLEL
PB	PANIC BAR
PBD	PARTICLE BOARD
PCF	POUNDS PER CUBIC FOOT
PCC	PRECAST CONCRETE
PE	PORCELAIN ENAMEL
PERF	PERFORATE(D)
PERI	PERIMETER
PEX	CROSS-LINKED POLYETHYLENE
PG	PLATE GLASS
PKG	PARKING
PL	PROPERTY LINE
PLAM	PLASTIC LAMINATE
PLAS	PLASTER
PLF	POUNDS PER LINEAR FOOT
PLT(D)	PLATE(D)
PNL	PANEL
PNT(D)	PAINT(ED)
POLY	POLYETHYLENE
PORC	PORCELAIN
PPT	PRESSURE PRESERVATIVE TREATED
PR	PAIR
PREFAB	PREFABRICATED
PREFIN	PREFINISHED
PRF	PREFORMED
PS	PRESTRESSED
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PT	POST-TENSIONED
PT	PRESSURE TREATED
PT	PAINT

PTD	PAINTED
PTD	PAPER TOWEL DISPENSER
PTN	PARTITION
PTR	PAPER TOWEL RECEPTOR
PUB	PUBLIC
PVC	POLYVINYL CHLORIDE
PVG	PAVING
PVMT	PAVEMENT
PWD	PLYWOOD
QT	QUARRY TILE
R	RISER
RA	RETURN AIR
RAD	RADIUS
RAG	RETURN AIR GRILLE
RAI	RETURN AIR INTAKE
RB	RUBBER BASE
RBS	RUBBLE STONE
RBT	RABBET
RC	REINFORCED CONCRETE
RD	ROOF DRAIN
RE	REINFORC(E), (ED), (ING)
REF	REFERENCE, REFRIGERATOR
REG	REGISTER
REM	REMOVE
REQD	REQUIRED
REQMT	REQUIREMENT
RES	RESILIENT
RET	RETURN
RETG	RETAINING
REV	REVISION
RFG	ROOFING
RFH	ROOF HATCH
RFL	REFLECT(ED), (IVE), (OR)
RFS	ROOM FINISH SCHEDULE
RH	RIGHT HAND
RHMS	ROUND HEAD MACHINE SCREW
RHRB	RIGHT HAND REVERSE BEVEL
RHWS	ROUND HEAD WOOD SCREW
RL	RAIL(ING)
RM	ROOM
RO	ROUGH OPENING
ROW	RIGHT OF WAY
RT	RUBBER TILE
RTG	RATING
RUB	RUBBER
RV	ROOF VENT
RVS	REVERSE SIDE
RVT	RIVET
RWC	RAINWATER CONDUCTOR
RWL	RAIN WATER LEADER
S	SOUTH
SC	SOLID CORE
SCH	SCHEDULE
SCN	SCREEN
SCT	STRUCTURAL CLAY TILE
SD	STORM DRAIN, SMOKE DETECTOR
SDSL	SOLID SURFACE
SECT	SECTION
SF	SQUARE FOOT
SFGL	SAFETY GLASS
SG	SHEET GLASS
SH	SHEL(F), (VING)
SHO	SHOR(E), (ING)
SHT	SHEET
SHTH	SHEATHING
SIM	SIMILAR
SKLT	SKYLIGHT
SL	SLEEVE
SLNT	SEALANT
SLR	SEALER
SP	SOUNDPROOF
SPC	SPACER
SPEC(S)	SPECIFICATIONS(S)
SPKR	SPEAKER
SPL	SPECIAL
SQ	SQUARE
SSK	SERVICE SINK
SSTL	STAINLESS STEEL
ST	STAIN
ST	STONE
STA	STATION
STD	STANDARD
STG	SEATING
STL	STEEL
STN	STONE
STOR	STORAGE
STR	STRUCTURAL
SUS	SUSPEND(ED)
SVC	SERVICE
SVFC	SHEET VINYL FLOOR COVERING
SYM	SYMMETRICAL
SYS	SYSTEM
T	TREAD
T&B	TOP AND BOTTOM
T&G	TOUNGE AND GROOVE
T.O.	TOP OF
TB	TOWEL BAR
TC	TERRA COTTA
TEL	TELEPHONE
TEMP	TEMPORARY
TG	TEMPERED GLASS
THK	THICK(NESS)
THR	THRESHOLD
TKBD	TACK BOARD
TKS	TACK STRIP
TMPD	TEMPERED
TOC	TOP OF CURB/CONCRETE
TOL	TOLERANCE
TOM	TOP OF MASONRY
TOS	TOP OF STEEL
TOW	TOP OF WALL
TP	TOILET PAPER
TPD	TOILET PAPER DISPENSER
TPL	TOP OF PLATE
TPTN	TOILET PARTITION
TR	TRANSOM
TSL	TOP OF SLAB
TV	TELEVISION
TYP	TYPICAL
TZ	TERRAZZO
UC	UNDERCUT
UGD	UNDERGROUND
UNF	UNFINISHED
UNO	UNLESS NOTED OTHERWISE
UR	URINAL
VAR	VARNISH
VB	VAPOR BARRIER
VCT	VINYL COMPOSITION TILE
VERT	VERTICAL
VF	VINYL FABRIC
VG	VERTICAL GRAIN
VIF	VERIFY IN FIELD
VIN	VINYL
VJ	V-JOINT(ED)
VNB	VINYL BASE
VNR	VENEER
VRM	VERMICULITE
VT	VINYL TILE
VWC	VINYL WALL COVERING
W	WEST
W/	WITH
W/O	WITHOUT
WB	WOOD BASE
WBD	WALLBOARD
WC	WATER CLOSET
WD	WOOD
WFS	WATERPROOF FLOORING SYSTEM
WG	WIRE GLASS
WH	WALL HUNG
WH	WATER HEATER
WHB	WHEEL BUMPER
WI	WROUGHT IRON
WIN	WINDOW
WKMT	WALK-OFF MAT
WM	WIRE MESH
WP	WATERPROOF(ING)
WPT	WORKING POINT
WR	WASTE RECEPTACLE
WRP	WATER REPELLANT
WS	WATER STOP/ WEATHERSTRIP
WSCT	WAINSCOT
WTBD	WHITEBOARD
WTW	WALL TO WALL
WWF	WELDED WIRE FABRIC
WWM	WELDED WIRE MESH

SHEET LIST

SHEET NUMBER	SHEET NAME
0.0-GENERAL	
CS.00	COVERSHEET
G0.00	SHEET INDEX, SYMBOLS & ABBREVIATIONS
0.1-CIVIL	
E-0	LOCATION MAP
E-1	EXISTING CONDITIONS
G-1	SITE PLAN
L-1	LIGHTING PLAN
D-1	DETAL SHEET & SITE NOTES
D-2	DETAL SHEET & SITE NOTES
1.1-ARCHITECTURAL	
A1.01	OVERALL FLOOR PLANS
A2.01	EXTERIOR ELEVATIONS

Grand total: 10

NOTE: REFER TO SHEET G0.00 FOR SYMBOLS & ABBREVIATIONS AND SHEET G0.01 FOR GENERAL NOTES.

MATERIAL SYMBOLS

BRICK
CMU
CONCRETE
GWB
GRASS
DRAINAGE MAT, WEEP HOLES
RIGID INSULATION
WOOD
STEEL
BATT INSULATION
WOOD BLOCKING
WOOD SHIM
PLYWOOD
BACKER ROD & SEALANT

DRAFTING SYMBOLS

XXX / X / XXXX — BUILDING SECTIONS
XXX / X / XXX — WALL SECTIONS
SIM / X / XXXX — DETAILS, ENLARGED PLANS
A1
A4 / A111 / A2 — INTERIOR ELEVATION
A3
A201 / A2 — EXTERIOR ELEVATION
Xx — WINDOW TYPE
XXX — DOOR TYPE
X — WALL TYPE
10'-0" — Name / Elevation — ELEVATION
X — CENTER LINE, COLUMN BUBBLE
DASHED LINE, HIDDEN, ABOVE OR BEHIND
Room name / 101 — ROOM NAME/ ROOM NUMBER
PROPERTY LINE/LIMIT OF CONSTRUCTION
MATCHLINE

NEWMAN

NEWMAN ARCHITECTS, PC

300 York Street, New Haven, CT 06511
203.772.1990 Fax 203.772.1997
www.newmanarchitects.com

THE DRAWINGS, DESIGNS, PLANS, SPECIFICATIONS, AND ALL WORKS AND CONTENT DISPLAYED, CONTAINED, OR REPRESENTED HEREIN ARE THE SOLE AND EXCLUSIVE PROPERTY OF NEWMAN ARCHITECTS, P.C. COPYRIGHT © 2022 NEWMAN ARCHITECTS P.C. ALL RIGHTS RESERVED.

STATE OF CONNECTICUT — ANDREW J. BROOKS — 27 — LICENSED ARCHITECT — NOT FOR CONSTRUCTION

CLIENT
AVRAHAM MEHL
34 CONNECTICUT BLVD.
EAST HARTFORD, CT 06108
860.222.7131 ext. 120
PRINCIPAL CONTACT

CIVIL ENGINEER
KRATZERT, JONES & ASSOCIATES INC
1755 MERIDEN-WATERBURY TPK,
SOUTHINGTON, CT, 06489
(860) 621-3638

STRUCTURAL ENGINEER
THORNTON TOMASATTI
10 N MAIN STREET, SUIT 307
WEST HARTFORD, CT, 06107
(212) 367-2750

M.E.P + F.P
CONSULTING ENGINEERING SERVICES
811 MIDDLE STREET
MIDDLETOWN, CT, 06457
(860) 632-1682

PHASE:
P&Z SET / PERMIT SET

REVISIONS

NO	DATE	DESCRIPTION

PROJECT NAME:
96 WEST STREET

PROJECT ADDRESS:
96 WEST STREET
VERNON, CT 06066

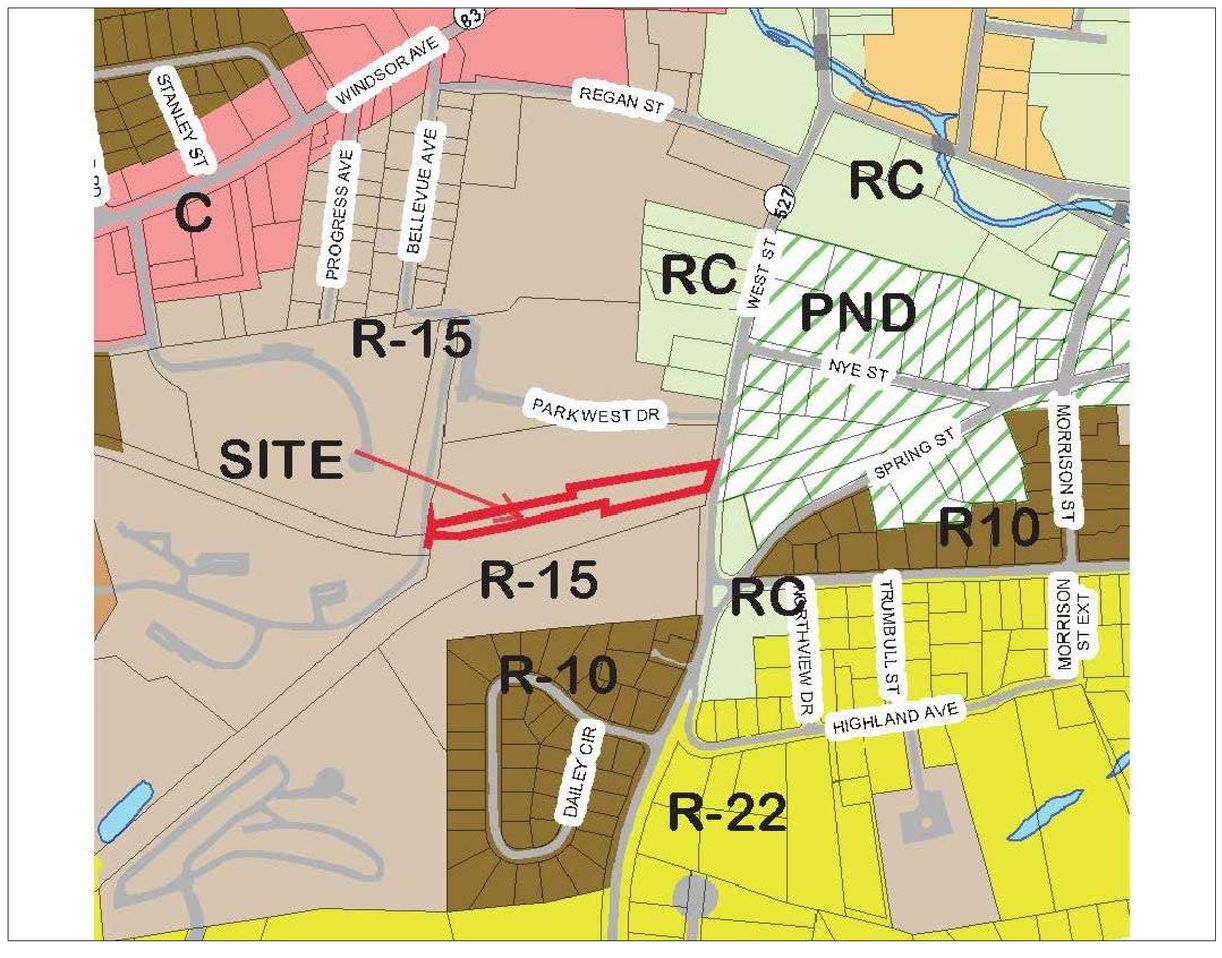
PROJECT NUMBER:
20210044

DRAWING TITLE:
SHEET INDEX, SYMBOLS & ABBREVIATIONS

SCALE:	DRAWN BY:
12" = 1'-0"	Author
DATE: 08/29/2022	CHECKED BY: Checker

DRAWING NUMBER:
G0.00

8/29/2022 4:35:01 PM Autodesk Docs://20210044-96 West St/Arch-96-West-Street-central-R22.rvt



LOCATION MAP

1"=200'

NEWMAN ARCHITECTS, PC

300 York Street, New Haven, CT 06511
203.772.1990 Fax 203.772.1997
www.newmanarchitects.com

THE DRAWINGS, DESIGNS, PLANS, SPECIFICATIONS, AND ALL WORKS AND CONTENT DISPLAYED, CONTAINED, OR REPRESENTED HEREIN ARE THE SOLE AND EXCLUSIVE PROPERTY OF NEWMAN ARCHITECTS, P.C.
2022 NEWMAN ARCHITECTS P.C. ALL RIGHTS RESERVED.

NOT FOR CONSTRUCTION

CLIENT
AVRAHAM MEHL
34 CONNECTICUT BLVD.
EAST HARTFORD, CT 06108
860.222.7131 ext. 120
PRINCIPAL CONTACT

CIVIL ENGINEER
KRATZERT, JONES & ASSOCIATES INC
1755 MERIDEN-WATERBURY TPK,
SOUTHINGTON, CT, 06489
(860) 621-3638
EMAIL: INFO@KRATZERTJONES.COM

STRUCTURAL ENGINEER
THORNTON TOMASATTI
10 N MAIN STREET, SUIT 307
WEST HARTFORD, CT, 06107
(212) 367-2750

M.E.P + F.P
CONSULTING ENGINEERING SERVICES
811 MIDDLE STREET
MIDDLETOWN, CT, 06457
(860) 632-1682

ONE INCH | TWO INCH
INCHES ON ORIGINAL

PHASE:
P&Z SET / PERMIT SET

REVISIONS

NO	DATE	DESCRIPTION

PROJECT NAME:
96 WEST STREET

PROJECT ADDRESS:
96 WEST STREET
VERNON, CT 06066

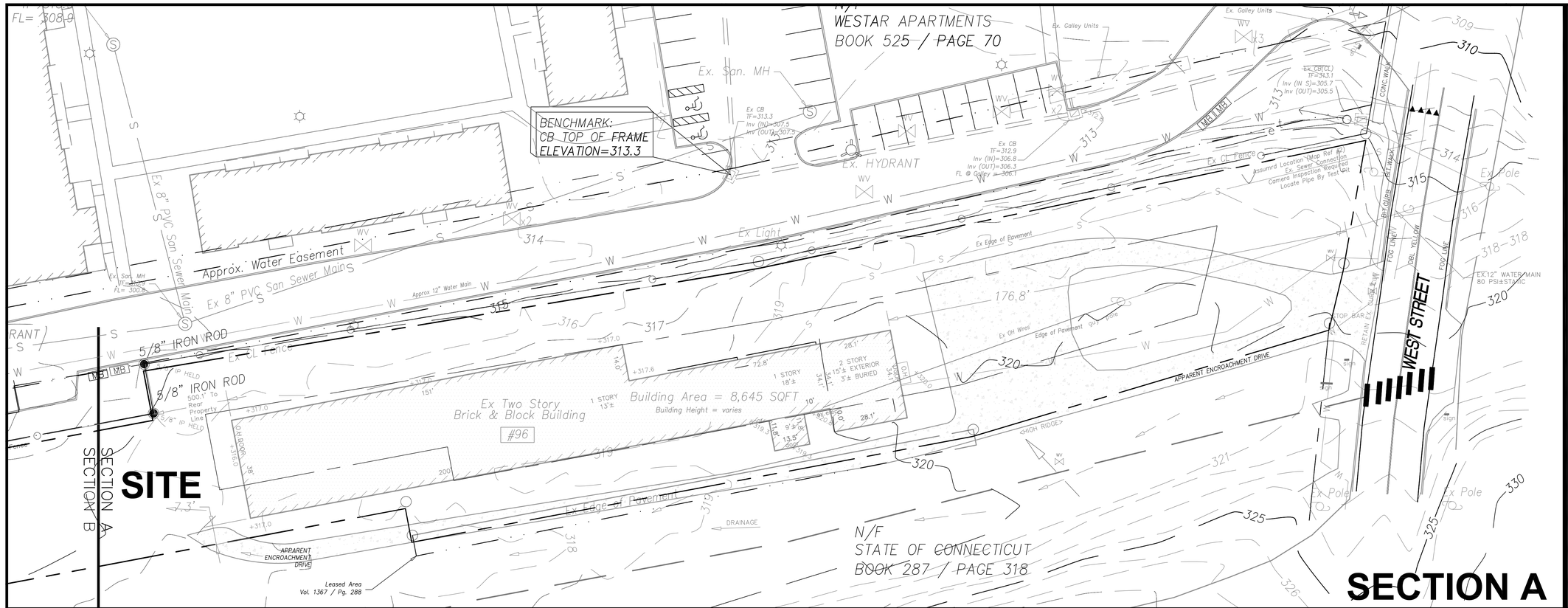
PROJECT NUMBER:
20210044

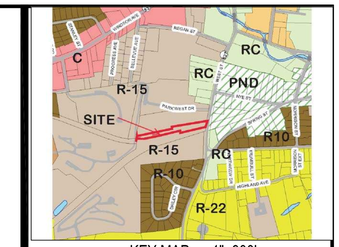
DRAWING TITLE:
LOCATION MAP

SCALE:	DRAWN BY:
SCALE: 1" = 200'	KJA
DATE: 08/29/2022	CHECKED BY: JS

DRAWING NUMBER:
KJA FILE NO. :
222-016 E-0

M:\22\222016 vernon\drwg\96 WEST STREET 12NEW.dwg
LAYOUT: E-0(N) DATE: Aug 29, 2022 - 2:21pm





NEWMAN ARCHITECTS, PC

300 York Street, New Haven, CT 06511
203.772.1990 Fax 203.772.1997
www.newmanarchitects.com

THE DRAWINGS, DESIGNS, PLANS, SPECIFICATIONS, AND ALL WORKS AND CONTENT DISPLAYED, CONTAINED, OR REPRESENTED HEREIN ARE THE SOLE AND EXCLUSIVE PROPERTY OF NEWMAN ARCHITECTS, P.C. 2022 NEWMAN ARCHITECTS P.C. ALL RIGHTS RESERVED.

NOT FOR CONSTRUCTION

SURVEY NOTES:
THIS MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE "MINIMUM STANDARDS OF ACCURACY, CONTENT AND CERTIFICATION FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS REVISED 2018-10-26 FOR USE BY THE REGULATIONS OF CONNECTICUT STATE AGENCIES. (CT SECTIONS 20-300b-1 TO 20-300b-20).

THE TYPE OF SURVEY PERFORMED IS AN:
IMPROVEMENT LOCATION MAP.

BOUNDARY DETERMINATION IS BASED UPON:
A DEPENDENT RESURVEY.

THIS SURVEY CONFORMS TO A:
A-2/T-2/T-3(AERIAL)
CLASS

TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

James N. Sokonchick
CT P.E. & L.S. #11302

CLIENT
AVRAHAM MEHL
34 CONNECTICUT BLVD.
EAST HARTFORD, CT 06108
860.222.7131 ext. 120
PRINCIPAL CONTACT

CIVIL ENGINEER
KRATZERT, JONES & ASSOCIATES INC
1755 MERIDEN-WATERBURY TPK,
SOUTHINGTON, CT, 06489
(860) 621-3638
EMAIL: INFO@KRATZERTJONES.COM

STRUCTURAL ENGINEER
THORNTON TOMASATTI
10 N MAIN STREET, SUIT 307
WEST HARTFORD, CT, 06107
(212) 367-2750

M.E.P + F.P
CONSULTING ENGINEERING SERVICES
811 MIDDLE STREET
MIDDLETOWN, CT, 06457
(860) 632-1682

ONE INCH | TWO INCH
INCHES ON ORIGINAL

PHASE:
P&Z SET / PERMIT SET

REVISIONS

NO	DATE	DESCRIPTION

PROJECT NAME:
96 WEST STREET

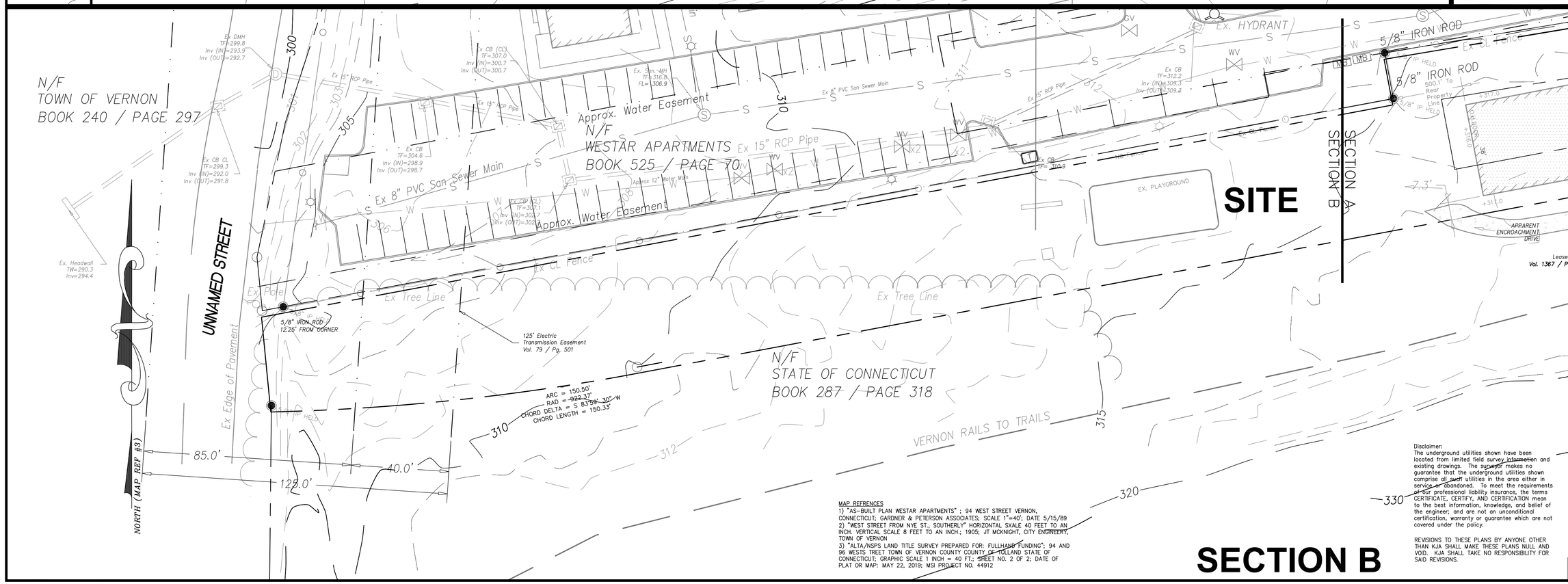
PROJECT ADDRESS:
96 WEST STREET
VERNON, CT 06066

PROJECT NUMBER:
20210044

DRAWING TITLE:
EXISTING CONDITIONS

SCALE: *SCALE: 1" = 20'*
DRAWN BY: **DWG**
DATE: **08/29/2022**
CHECKED BY: **JS**

DRAWING NUMBER:
KJA FILE NO. : *222-016* *E-1*

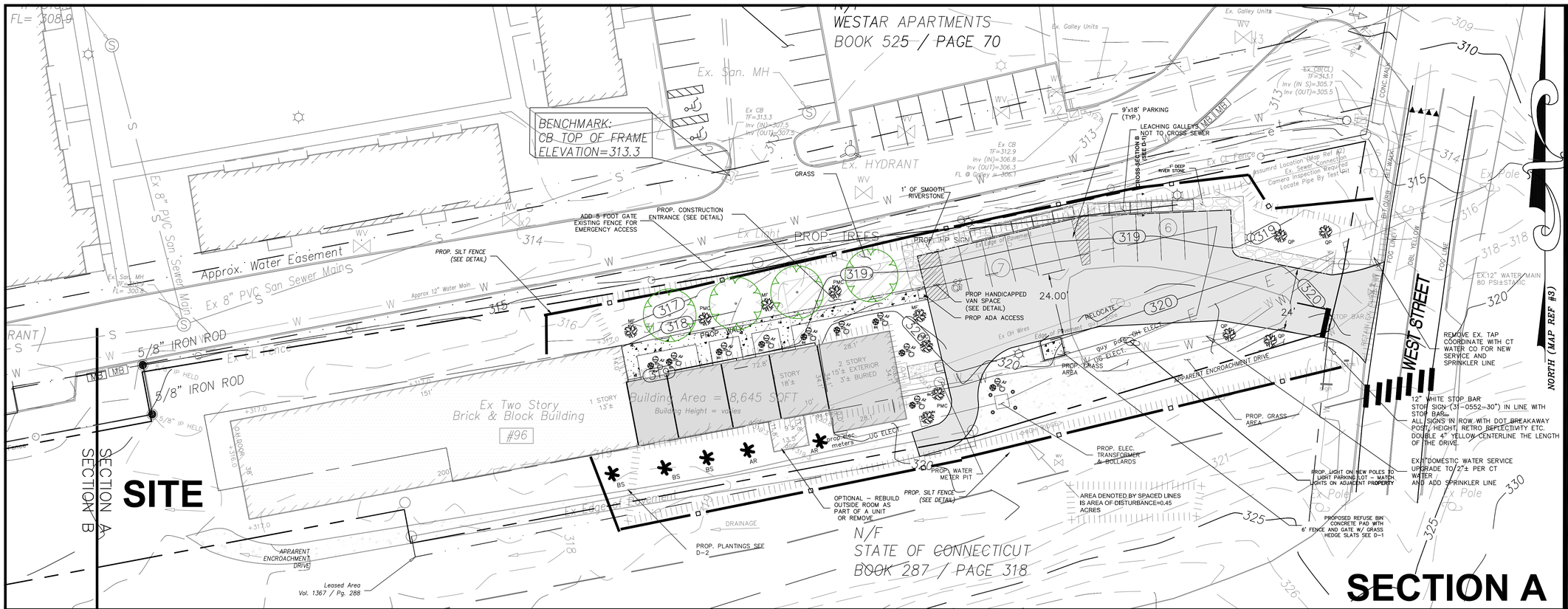


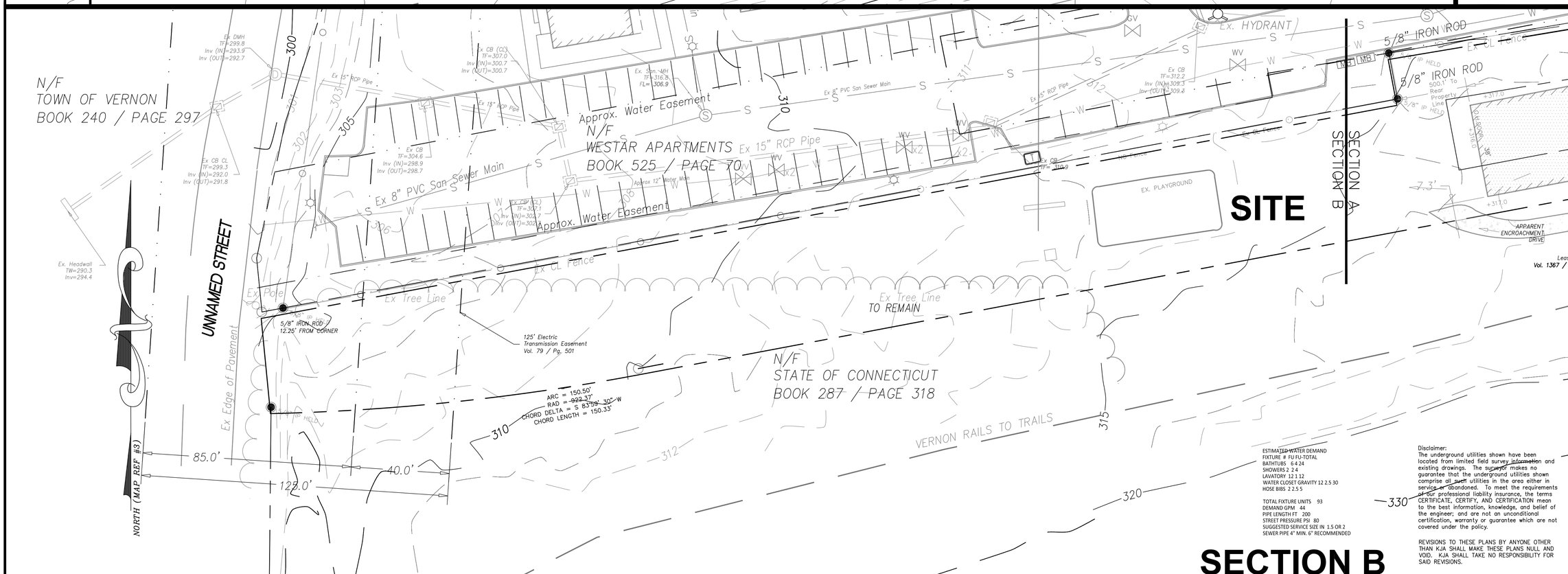
MAP REFRENCES
1) "AS-BUILT PLAN WESTAR APARTMENTS" ; 94 WEST STREET VERNON, CONNECTICUT; GARDNER & PETERSON ASSOCIATES; SCALE 1"=40'; DATE 5/15/89
2) "WEST STREET FROM NYE ST., SOUTHERLY" HORIZONTAL SXALE 40 FEET TO AN INCH. VERTICAL SCALE 8 FEET TO AN INCH.; 1905; JT MCKNIGHT, CITY ENGINEERY, TOWN OF VERNON
3) "ALTA/NSPS LAND TITLE SURVEY PREPARED FOR: FULLHAMP FUNDING"; 94 AND 96 WESTS TREET TOWN OF VERNON COUNTY COUNTY OF TOLLAND STATE OF CONNECTICUT; GRAPHIC SCALE 1 INCH = 40 FT.; SHEET NO. 2 OF 2; DATE OF PLAT OR MAP: MAY 22, 2019; MSI PROJECT NO. 44912

Disclaimer:
The underground utilities shown have been located from limited field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. To meet the requirements of our professional liability insurance, the terms CERTIFICATE, CERTIFY, AND CERTIFICATION mean to the best information, knowledge, and belief of the engineer; and are not an unconditional certification, warranty or guarantee which are not covered under the policy.

REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

M:\22\222016 vernon\dwg\96 WEST STREET (2)E1.dwg
EXISTING - E-1 (1) DATE: Aug 29, 2022 - 1:52pm





ESTIMATED WATER DEMAND

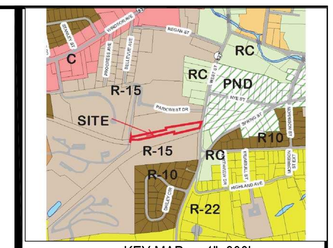
FIXTURE #	FU	FU-TOTAL
BATHTUBS	6	4 24
SHOWERS	2	2 4
LAVATORY	12	1 12
WATER CLOSET GRAVITY	12	2.5 30
HOSE BIBS	2	2.5 5

TOTAL FIXTURE UNITS 93
DEMAND GPM 44
PIPE LENGTH FT 200
STREET PRESSURE PSI 80
SUGGESTED SERVICE SIZE IN 1.5 OR 2
SEWER PIPE 4" MIN. 6" RECOMMENDED

Disclaimer:
The underground utilities shown have been located from limited field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. To meet the requirements of our professional liability insurance, the terms CERTIFICATE, CERTIFY, AND CERTIFICATION mean to the best information, knowledge, and belief of the engineer; and are not an unconditional certification, warranty or guarantee which are not covered under the policy.

REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

SECTION B



NEWMAN ARCHITECTS, PC

300 York Street, New Haven, CT 06511
203.772.1990 Fax 203.772.1997
www.newmanarchitects.com

THE DRAWINGS, DESIGNS, PLANS, SPECIFICATIONS, AND ALL WORKS AND CONTENT DISPLAYED, CONTAINED, OR REPRESENTED HEREIN ARE THE SOLE AND EXCLUSIVE PROPERTY OF NEWMAN ARCHITECTS, P.C.
2022 NEWMAN ARCHITECTS P.C. ALL RIGHTS RESERVED.

NOT FOR CONSTRUCTION

James N. Sokonchick
CT P.E. & L.S. #11302

CLIENT
AVRAHAM MEHL
34 CONNECTICUT BLVD.
EAST HARTFORD, CT 06108
860.222.7131 ext. 120
PRINCIPAL CONTACT

CIVIL ENGINEER
KRATZERT, JONES & ASSOCIATES INC
1755 MERIDEN-WATERBURY TPK,
SOUTHINGTON, CT, 06489
(860) 621-3638
EMAIL: INFO@KRATZERTJONES.COM

STRUCTURAL ENGINEER
THORNTON TOMASATTI
10 N MAIN STREET, SUIT 307
WEST HARTFORD, CT, 06107
(212) 367-2750

M.E.P + F.P
CONSULTING ENGINEERING SERVICES
811 MIDDLE STREET
MIDDLETOWN, CT, 06457
(860) 632-1682

ONE INCH | TWO INCH
INCHES ON ORIGINAL

PHASE:
P&Z SET / PERMIT SET

REVISIONS

NO	DATE	DESCRIPTION

PROJECT NAME:
96 WEST STREET

PROJECT ADDRESS:
96 WEST STREET
VERNON, CT 06066

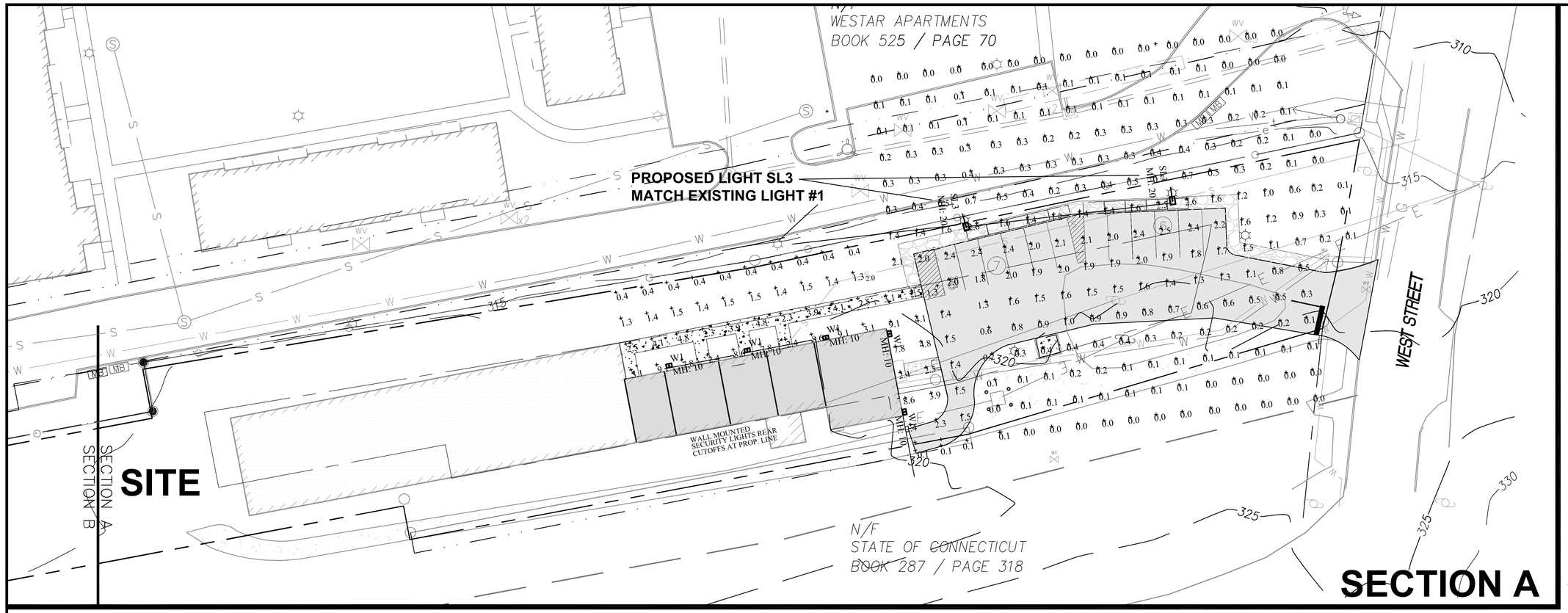
PROJECT NUMBER:
20210044

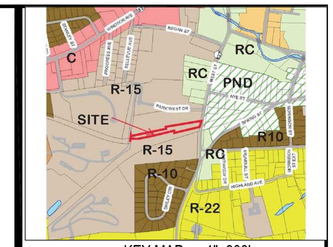
DRAWING TITLE:
SITE PLAN

SCALE:	DRAWN BY:
SCALE: 1" = 20'	KJA
DATE: 08/29/2022	CHECKED BY: JS

DRAWING NUMBER:
KJA FILE NO. : 222-016 G-1

M:\22\222016 vernon\dwg\96 WEST STREET (2B).dwg
AUTHOR: G. LIN DATE: Aug 29, 2022 - 2:02pm





Luminaire Schedule			Luminaire						
Qty	Label	Numbe	Lumens	Watts	LLF	BUG Rating	Height	Description
0	SL-BLC	Single	6000	50	0.950	B1-U0-G2	20±(EX)	Lithonia DSX1 LED P2 40K BLC MVOLT SPA DBLXD - SSS 20 4C DM19AS DBLXD EX. POLE
2	SL3	Single	8640	70	0.950	B2-U0-G2	20	Lithonia DSX1 LED P2 40K T3M MVOLT SPA DBLXD - SSS 20 4C DM19AS DBLXD 20FT POLE
5	W1	Single	3276	25	0.900	B1-U0-G0	10	Lithonia WST LED P2 30K VW MVOLT BBW DBLXD

NEWMAN ARCHITECTS, PC

300 York Street, New Haven, CT 06511
203.772.1990 Fax 203.772.1997
www.newmanarchitects.com

THE DRAWINGS, DESIGNS, PLANS, SPECIFICATIONS, AND ALL WORKS AND CONTENT DISPLAYED, CONTAINED, OR REPRESENTED HEREIN ARE THE SOLE AND EXCLUSIVE PROPERTY OF NEWMAN ARCHITECTS, P.C. 2022 NEWMAN ARCHITECTS P.C. ALL RIGHTS RESERVED.

NOT FOR CONSTRUCTION

CLIENT
AVRAHAM MEHL
34 CONNECTICUT BLVD.
EAST HARTFORD, CT 06108
860.222.7131 ext. 120
PRINCIPAL CONTACT

CIVIL ENGINEER
KRATZERT, JONES & ASSOCIATES INC
1755 MERIDEN-WATERBURY TPK,
SOUTHINGTON, CT, 06489
(860) 621-3638
EMAIL: INFO@KRATZERTJONES.COM

STRUCTURAL ENGINEER
THORNTON TOMASATTI
10 N MAIN STREET, SUIT 307
WEST HARTFORD, CT, 06107
(212) 367-2750

M.E.P + F.P
CONSULTING ENGINEERING SERVICES
811 MIDDLE STREET
MIDDLETOWN, CT, 06457
(860) 632-1682

STATE OF CONNECTICUT No. 31302 PROFESSIONAL ENGINEER

James N. Sakonchick
CT P.E. & L.S. #11302

ONE INCH | TWO INCH
INCHES ON ORIGINAL

PHASE:
P&Z SET / PERMIT SET

REVISIONS

NO	DATE	DESCRIPTION

PROJECT NAME:
96 WEST STREET

PROJECT ADDRESS:
96 WEST STREET
VERNON, CT 06066

PROJECT NUMBER:
20210044

DRAWING TITLE:
LIGHTING PLAN

SCALE: SCALE: 1" = 20'
DRAWN BY: KJA
DATE: 08/29/2022
CHECKED BY: JS

DRAWING NUMBER:
KJA FILE NO. :
222-016 L-1

M:\22\222016 vernon\dwg\96 WEST STREET 12BEIR.dwg
A-2021 L-1 (N) DATE: Aug 29, 2022 2:25pm

D-Series Size 1
LED Wall Luminaire

Catalog Number
Notes
Type

d-series

Specifications
Luminaire
Width: 13-3/4" (34.9 cm) Weight: 12 lbs (5.4 kg)
Depth: 10" (25.4 cm)
Height: 6-3/8" (16.2 cm)

Back Box (BBW, ELCW)
Width: 13-3/4" (34.9 cm) BBW Weight: 5 lbs (2.3 kg)
Depth: 4" (10.2 cm) ELCW Weight: 10 lbs (4.5 kg)
Height: 6-3/8" (16.2 cm)

For 3/4" NPT side entry conduit (BBW only)

Introduction
The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Ordering Information
EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT DDBTXD

DSXW1 LED

Series	LEDs	Drive Current	Color temperature	Distribution	Voltage	Mounting	Control Options
DSXW1 LED	10C 10 LEDs (one engine) 20C 20 LEDs (two engines)	350 350 mA 530 530 mA 700 700 mA 1000 1000 mA (1 A)	30K 3000 K 40K 4000 K 50K 5000 K AMBPC Amber phosphor converted	T2S Type II Short T2M Type II Medium T3S Type III Short T3M Type III Medium T4M Type IV Medium TFTM Forward Throw Medium ASYM Asymmetric diffuse	MVOLT[1] 120[1] 208[1] 240 277[1] 347[1] 480[1]	**Shipped included** (blank) Surface mounting bracket BBW Surface-mounted back box (for conduit entry)[1]	**Shipped installed** PE Photoelectric cell, button type[4] DMG 0-10V dimming, direct dim controls[5] PIR 180° motion/ambient light sensor, <15' mtg ht[4] PIRH 180° motion/ambient light sensor, 15-30' mtg ht[4] PIR1FC3V Motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc[4] PIRH1FC3V Motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc[4] ELCW Emergency battery backup (includes external component enclosure)[4]

Other Options		
Shipped installed	**Shipped separately**[1]	
SF Single fuse (120, 277 or 347V)[1]	BSW Bird-deterrent spikes	
DF Double fuse (208, 240 or 480V)[1]	VG Wire guard	
HS House-side shield[4]	VG Vandal guard	
SPD Separate surge protector[4]	DDL Diffused drop lens	

Finish (required)		
DDBXD Dark bronze	DSXD Sandstone	DWHXD Textured white
DBLXD Black	DDBTXD Textured dark bronze	DSSTXD Textured sandstone
DNAXD Natural aluminum	DBLBXD Textured black	
DWHXD White	DNATXD Textured natural aluminum	

Accessories
Ordered and shipped separately.

DLL127F1.5 Photo sensor/dimmer
DSHORT SBK Short single stem for pole mounting
DWHGXD Wire guard accessory
DVG Vandal guard accessory

NOTES
1 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options), or photocontrol (PE option).
2 Only available with 20C, 700mA or 1000mA. Not available with PIR or PIRH.
3 Back box ships installed on fixture. Cannot be field installed. Cannot be ordered as an accessory.
4 Photocontrol (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIR or PIRH).
5 PIR and PIR1FC3V specifies the Sensor Switch SBL10-10-DCP control; PIRH specifies the Sensor Switch SBL10-40-DCP control; see Motion Sensor Guide for details. Includes ambient light sensor. Not available with "PE" option (button type photocell). Dimming driver standard. Not available with 20 LED/1000 mA configuration (DSXW1 LED 20C 1000).
6 Cold weather (-20C) rated. Not compatible with conduit entry applications. Not available with BBW mounting option. Not available with fusing. Not available with 347 or 480 voltage options. Emergency components located in back box housing. Emergency mode IES files located on product page at lithonia.lighting.com.
7 Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option. Not available with ELCW.
8 Also available as a separate accessory; see Accessories information.
9 See the electrical section on page 3 for more details.

LITHONIA LIGHTING.
One Lithonia Way • Conyers, Georgia 30012 • Phone: 800.279.8041 • www.lithonia.com
©2013-2016 Acuity Brands Lighting, Inc. All rights reserved.
DSXW1-LED
Rev. 6/2016

Performance Data

Lumen Output
Lumen values are from photometric tests performed in accordance with IESNA LM79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

LEDs	Drive Current (mA)	Power (watts)	Color Temp (CCT)	Dist. type	30K				40K				50K				AMBPC			
					Lumens	B	U	G	Lumens	B	U	G	Lumens	B	U	G	Lumens	B	U	G
10C (1W LEDs)	350mA	14W	T2S	2,413	3	0	1	1,920	3	0	1	1,929	3	0	1	1,929	3	0	1	50
			T2M	1,369	3	0	1	1,166	3	0	1	1,171	3	0	1	1,171	3	0	1	50
			T3S	1,459	3	0	1	1,242	3	0	1	1,247	3	0	1	1,247	3	0	1	50
			T3M	1,386	3	0	1	1,180	3	0	1	1,185	3	0	1	1,185	3	0	1	50
			T4M	1,358	3	0	1	1,156	3	0	1	1,161	3	0	1	1,161	3	0	1	50
			TFTM	1,411	3	0	1	1,201	3	0	1	1,206	3	0	1	1,206	3	0	1	50
			ASYM	1,361	3	0	1	1,159	3	0	1	1,164	3	0	1	1,164	3	0	1	50
	530mA	20W	T2S	2,954	3	0	1	2,514	3	0	1	2,527	3	0	1	2,527	3	0	1	50
			T2M	1,675	3	0	1	1,426	3	0	1	1,433	3	0	1	1,433	3	0	1	50
			T3S	1,785	3	0	1	1,520	3	0	1	1,527	3	0	1	1,527	3	0	1	50
			T3M	1,696	3	0	1	1,444	3	0	1	1,451	3	0	1	1,451	3	0	1	50
			T4M	1,661	3	0	1	1,414	3	0	1	1,421	3	0	1	1,421	3	0	1	50
			TFTM	1,727	3	0	1	1,470	3	0	1	1,477	3	0	1	1,477	3	0	1	50
			ASYM	1,665	3	0	1	1,417	3	0	1	1,424	3	0	1	1,424	3	0	1	50
	700mA	27W	T2S	3,904	3	0	1	3,281	3	0	1	3,298	3	0	1	3,298	3	0	1	50
			T2M	2,214	3	0	1	1,861	3	0	1	1,871	3	0	1	1,871	3	0	1	50
			T3S	2,361	3	0	1	1,985	3	0	1	1,995	3	0	1	1,995	3	0	1	50
			T3M	2,243	3	0	1	1,886	3	0	1	1,896	3	0	1	1,896	3	0	1	50
			T4M	2,197	3	0	1	1,847	3	0	1	1,857	3	0	1	1,857	3	0	1	50
			TFTM	2,284	3	0	1	1,920	3	0	1	1,930	3	0	1	1,930	3	0	1	50
			ASYM	2,203	3	0	1	1,852	3	0	1	1,862	3	0	1	1,862	3	0	1	50
	1000mA	40W	T2S	5,197	3	0	1	4,369	3	0	1	4,396	3	0	1	4,396	3	0	1	50
			T2M	2,947	3	0	1	2,478	3	0	1	2,493	3	0	1	2,493	3	0	1	50
			T3S	3,143	3	0	1	2,643	3	0	1	2,658	3	0	1	2,658	3	0	1	50
			T3M	2,987	3	0	1	2,511	3	0	1	2,526	3	0	1	2,526	3	0	1	50
			T4M	2,925	3	0	1	2,459	3	0	1	2,474	3	0	1	2,474	3	0	1	50
			TFTM	3,040	3	0	1	2,556	3	0	1	2,571	3	0	1	2,571	3	0	1	50
			ASYM	2,933	3	0	1	2,466	3	0	1	2,481	3	0	1	2,481	3	0	1	50
20C (2W LEDs)	350mA	28W	T2S	3,921	3	0	1	3,297	3	0	1	3,315	3	0	1	3,315	3	0	1	50
			T2M	2,224	3	0	1	1,870	3	0	1	1,880	3	0	1	1,880	3	0	1	50
			T3S	2,370	3	0	1	1,993	3	0	1	2,004	3	0	1	2,004	3	0	1	50
			T3M	2,252	3	0	1	1,894	3	0	1	1,904	3	0	1	1,904	3	0	1	50
			T4M	2,206	3	0	1	1,855	3	0	1	1,865	3	0	1	1,865	3	0	1	50
			TFTM	2,293	3	0	1	1,928	3	0	1	1,938	3	0	1	1,938	3	0	1	50
			ASYM	2,211	3	0	1	1,859	3	0	1	1,869	3	0	1	1,869	3	0	1	50
	530mA	35W	T2S	5,413	3	0	1	4,550	3	0	1	4,578	3	0	1	4,578	3	0	1	50
			T2M	3,069	3	0	1	2,581	3	0	1	2,597	3	0	1	2,597	3	0	1	50
			T3S	3,275	3	0	1	2,753	3	0	1	2,770	3	0	1	2,770	3	0	1	50
			T3M	3,113	3	0	1	2,617	3	0	1	2,633	3	0	1	2,633	3	0	1	50
			T4M	3,048	3	0	1	2,562	3	0	1	2,578	3	0	1	2,578	3	0	1	50
			TFTM	3,167	3	0	1	2,662	3	0	1	2,678	3	0	1	2,678	3	0	1	50
			ASYM	3,055	3	0	1	2,568	3	0	1	2,584	3	0	1	2,584	3	0	1	50
	700mA	47W	T2S	6,901	3	0	1	5,800	3	0	1	5,835	3	0	1	5,835	3	0	1	50
			T2M	3,911	3	0	1	3,289	3	0	1	3,309	3	0	1	3,309	3	0	1	50
			T3S	4,175	3	0	1	3,510	3	0	1	3,531	3	0	1	3,531	3	0	1	50
			T3M	3,969	3	0	1	3,335	3	0	1	3,355	3	0	1	3,355	3	0	1	50
			T4M	3,886	3	0	1	3,265	3	0	1	3,286	3	0	1	3,286	3	0	1	50
			TFTM	4,037	3	0	1	3,393	3	0	1	3,414	3	0	1	3,414	3	0	1	50
			ASYM	3,895	3	0	1	3,273	3	0	1	3,293	3	0	1	3,293	3	0	1	50
	1000mA	74W	T2S	7,205	3	0	1	6,053	3	0	1	6,090	3	0	1	6,090	3	0	1	50
			T2M	4,806	3	0	1	4,038	3	0	1	4,063	3	0	1	4,063	3	0	1	50
			T3S	5,224	3	0	1	4,390	3	0	1	4,417	3	0	1	4,417	3	0	1	50
			T3M	4,968	3	0	1	4,174	3	0	1	4,199	3	0	1	4,199	3	0	1	50
			T4M	4,864	3	0	1	4,086	3	0	1	4,111	3	0	1	4,111	3	0	1	50
			TFTM	5,053	3	0	1	4,245	3	0	1	4,271	3	0	1	4,271	3	0	1	50
			ASYM	4,875	3	0	1	4,096	3	0	1	4,121	3	0	1	4,121	3	0	1	50

Performance Data

Lumen Ambient Temperature (LAT) Multipliers
Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.02
10°C	50°F	1.01
20°C	68°F	1.00
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.98

Projected LED Lumen Maintenance
Data references the extrapolated performance projections for the **DSXW1 LED 20C 1000** platform in a **25°C ambient**, based on 12,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

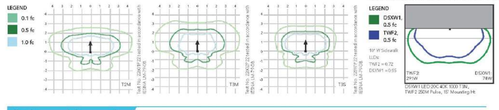
Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.95	0.91	0.88

Electrical Load

LEDs	Drive Current (mA)	System Watts	Current (A)				
			120V	208V	240V	277V	347V	480V
10C	350	14W	0.13	0.07	0.06	0.06	-	-
	530	20W	0.19	0.11	0.09	0.08	-	-
	700	27W	0.25	0.14	0.13	0.11	-	-
	1000	40W	0.37	0.21	0.19	0.16	-	-
20C	350	28W	0.23	0.13	0.12	0.10	-	-
	530	36W	0.33	0.19	0.17	0.14	-	-
	700	47W	0.41	0.25	0.22	0.19	0.15	0.11
	1000	74W	0.69	0.40	0.35	0.30	0.23	0.17

Photometric Diagrams
To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's D-Series Wall Size 1 homepage.

Isofootcandle plots for the DSXW1 LED 20C 1000 40K. Distances are in units of mounting height (15').



Options and Accessories

FEATURES & SPECIFICATIONS

INTENDED USE
The average savings, long life and easy-to-install design of the D-Series Wall Size 1 make it the smart choice for building-mounted doorway and pathway illumination for nearly any facility.

CONSTRUCTION
Two-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conduction and convection cooling. Modular design allows for easy disassembly. The LED driver is mounted to the door to thermally isolate it from the light engines for low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65).

FINISH
Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 2 mil thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in textured and non-textured finishes.

OPTICS
Precision-molded proprietary acrylic lenses provide multiple photometric distributions tailored specifically to building-mounted applications. Light engines are available in 3000 K (70 min. CRI), 4000 K (70 min. CRI) or 5000 K (70 min. CRI) configurations.

ELECTRICAL
Light engine(s) consist of 10 high-efficacy LEDs mounted to a metal-core circuit board to maximize heat dissipation and prolong long life (L88/100,000 hrs at 25°C). Class 1 electronic drivers have a power factor (> 90%, THD <20%), and a minimum 2.5kV surge rating. When ordering the SPD option, a separate surge protection device is installed within the luminaire which meets a minimum Category C Low (per ANSI/IEEE C62.41.2).

INSTALLATION
Included universal mounting bracket attaches securely to any 4" round or square outlet box for quick and easy installation. Luminaire has a slotted gasket wireway and attaches to the mounting bracket via corrosion-resistant screws.

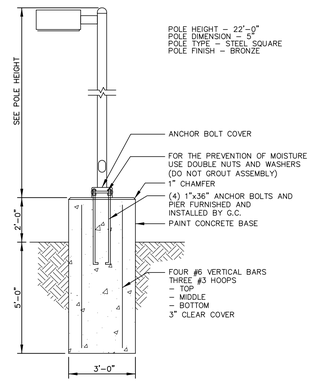
LISTINGS
CSA certified to U.S. and Canadian standards. Rated for -40°C minimum ambient.

Designlights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org to confirm which versions are qualified.

WARRANTY
Five year limited warranty. Complete warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

LITHONIA LIGHTING.
One Lithonia Way • Conyers, Georgia 30012 • Phone: 800.279.8041 • www.lithonia.com
©2013-2016 Acuity Brands Lighting, Inc. All rights reserved.
DSXW1-LED
Rev. 6/2016



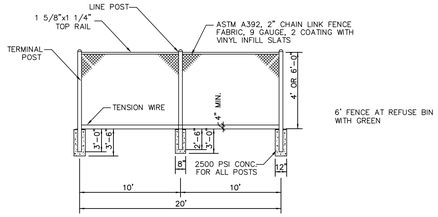
FULL CUT OFF LIGHT POLE DETAIL
POLE LOCATION AT ENTRANCE SEE S-1

ONE VENDOR -Greg Loda (OTHERS OK)
Lighting Affiliates
1208 Cromwell Ave
Rocky Hill, CT 06067

website: www.lightingaffiliates.com
Voice Number : 860-721-1171 x 219
Email Address : gloda@lightingaffiliates.com

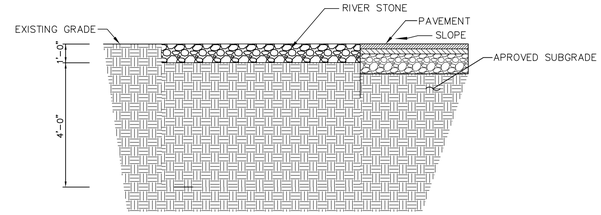
Disclaimer:
The underground utilities shown have been located from limited field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. To meet the requirements of our professional liability insurance, the terms CERTIFICATE, CERTIFY, AND CERTIFICATION mean to the best information, knowledge, and belief of the engineer, and are not an unconditional certification, warranty or guarantee which are not covered under the policy.

REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

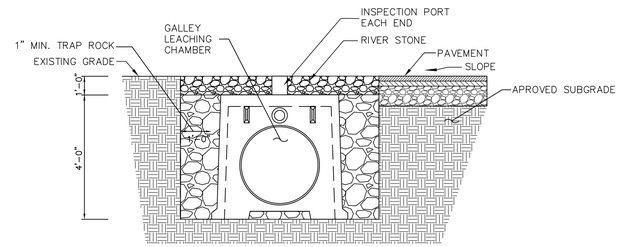


NOTES:
1. BOTTOM TENSION WIRE SHALL BE 7 GAUGE ATTACHED WITH 12 1/2" GAUGE HOG RINGS, 12" O.C.
2. TOP RAIL COUPLINGS TO BE SPACED EVERY 20'. EXPANSION COUPLINGS TO BE AT 100' INTERVALS.
3. TOP RAIL WIRE TIES SHALL BE SPACED 24" MAX.
4. FENCE SHALL CONFORM WITH CT D.O.T. STANDARDS, INCLUDING LATEST REVISIONS.
5. PROVIDE CHAINLINK SWING GATES AND MANDOORS AS SHOWN ON SITE PLAN.

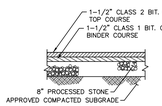
CHAIN LINK FENCE
N.T.S.



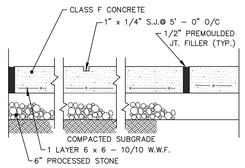
CROSS SECTION AT STONES
N.T.S.



CROSS SECTION A
N.T.S.



MINIMUM PAVEMENT SECTION–STANDARD
N.T.S.
(SEE D.O.T. FORM 816 AS AMENDED)



CONCRETE WALK/DUMPSTER PAD DETAIL
N.T.S.
(SEE D.O.T. FORM 816 AS AMENDED)

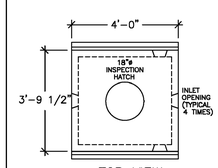
VERNON ZONING REGULATION: 4.7

ZONE: PRD (PLANNED RESIDENTIAL DEVELOPMENT)

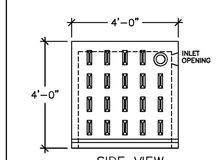
* DENOTES EXISTING NON–CONFORMING ITEM
** DENOTES VARIENCE REQUIRED FROM THE ZBA

		REQUIRED	PROPOSED
4.7.1	AREA AND YARD REQUIREMENTS:		
	MINIMUM LOT AREA:	1 ACRE	1.32± ACRE
	MINIMUM LOT WIDTH:	150 FEET	73.30 FEET *
	MINIMUM FRONT YARD:	50 FEET	176.8 FEET
	MINIMUM SIDE YARD:	20 FEET	7.3 FEET
	MINIMUM REAR YARD:	50 FEET	500.1 FEET
	MINIMUM FLOOR AREA:	3,925 SQFT SEE [10.1]	11,342.2 SQFT
4.7.2	PERMITTED USES: THERE ARE NO PERMITTED USES IN THIS ZONE		
4.7.3	SPECIAL EXCEPTIONS: THERE ARE NO SPECIAL EXCEPTIONS IN THE PRD DISTRICT.		
4.7.4	SPECIAL PERMITS: MULTI–FAMILY DWELLINGS		
4.7.5	SCHEDULE FOR MULTI–FAMILY DWELLING UNIT/AREA RATIO: 2 BEDROOMS / UNIT = 3,500 SQFT; 1 BEDROOMS / UNIT = 5,500 SQFT	31,000 SQFT REQUIRED	57,708.9± SQFT
4.7.6	LIVABILITY SPACE REQUIREMENTS: 2.0 TIMES THE GROSS RESIDENTIAL FLOOR AREA	2 X 5,671.1 SQFT 11,342.2 SQFT REQUIRED	41,984 SQFT ± PROPOSED
4.7.7	MINIMUM PROTECTIVE PROVISIONS: ALL MULTI–FAMILY STRUCTURES SHALL BE ENTIRELY SERVICED BY PUBLIC SEWERS.	EXISTING SEWER LINE TO BE USED	ALTERNATE CONNECTION PROPOSED AS BACKUP
	ALL MULTI–FAMILY STRUCTURES SHALL BE ENTIRELY SERVICED BY A PUBLIC WATER SUPPLY.		PROPOSED WATER CONNECTION
10.1	MINIMUM FLOOR AREA: FIRST BEDROOM 550 SQFT PER UNIT; EACH ADDITIONAL BEDROOM 125 SQFT PER UNIT	3,925 SQFT REQUIRED	11,342.2 PROPOSED

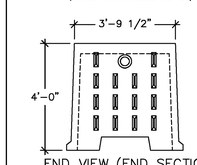
4' X 4' X8' OR 4'x4'x4' GALLEY REGULAR LEACHING CHAMBER



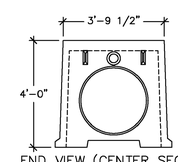
TOP VIEW
(ROOF SLAB THICKNESS IS 5")



SIDE VIEW
(WALL THICKNESS IS 3")



END VIEW (END SECTION)
(WALL THICKNESS IS 3")



END VIEW (CENTER SECTION)
(WALL THICKNESS IS 3")

GALLEY DESIGN SPECIFICATIONS CONFORMS TO LATEST: ASTM DESIGNATION C913

NOTES:
1. PIPE INLET LOCATIONS HAVE 4" DIAMETER KNOCKOUTS, TYPICAL. CUSTOM KNOCKOUTS CAN BE CAST ON REQUEST.
2. REINFORCING STEEL DEFORMED BARS CONFORM TO LATEST ASTM SPECIFICATION A615.
3. CONCRETE COMPRESSIVE STRENGTH– 4000 PSI AT 28 DAYS.
4. METHOD OF MANUFACTURE: WET CAST.
5. SECTION IS MONOLITHIC.

WEIGHT CHART

PRODUCT	APPROX WEIGHT
4'x4'x4' GALLEY	2200 LBS.

LEACHING DATA

FLOW LINE (INCHES)	LEACHING (Gal/LF)	LEACHING (FT^2/UNIT)	INSIDE CAPACITY (GALLONS)
38	9.2	36.8	330

UNITED CONCRETE PRODUCTS INC.
173 CHURCH STREET YALESVILLE, CT 06492 TEL. 800 234–3119 (203) 269–3119 FAX. (203) 265–4941

Disclaimer:
The underground utilities shown have been located from limited field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. To meet the requirements of our professional liability insurance, the terms CERTIFICATE, CERTIFY, AND CERTIFICATION mean to the best information, knowledge, and belief of the engineer; and are not an unconditional certification, warranty or guarantee which are not covered under the policy.

REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

James N. Sakonchick
CT P.E. & L.S. #11302

NOT ALL DETAILS APPLY

MAP REFRENCES
1) "AS–BUILT PLAN WESTAR APARTMENTS" ; 94 WEST STREET VERNON, CONNECTICUT; GARDNER & PETERSON ASSOCIATES; SCALE 1"=40'; DATE 5/15/89
2) "WEST STREET FROM NYE ST., SOUTHERLY" HORIZONTAL SXALE 40 FEET TO AN INCH, VERTICAL SCALE 8 FEET TO AN INCH.; 1905; JT MCKNIGHT, CITY ENGINEERY, TOWN OF VERNON
3) "ALTA/NSPS LAND TITLE SURVEY PREPARED FOR: FULLHAND FUNDING"; 94 AND 96 WESTS TREET TOWN OF VERNON COUNTY COUNTY OF TOLLAND STATE OF CONNECTICUT; GRAPHIC SCALE 1 INCH = 40 FT.; SHEET NO. 2 OF 2; DATE OF PLAT OR MAP: MAY 22, 2019; MSI PROJECT NO. 44912

EROSION AND SEDIMENTATION CONTROL NOTES:

1. LAND DISTURBANCE SHALL BE KEPT TO A MINIMUM. AREAS THAT ARE CLEARED AND/OR GRADED SHOULD HAVE PERMANENT SOIL STABILIZATION MEASURES APPLIED WITHIN 7 DAYS OF ESTABLISHING THE FINAL GRADE. IF GRADING IS DELAYED MORE THAN 30 DAYS AFTER SOILS ARE DISTURBED, TEMPORARY SOIL STABILIZATION MEASURES (e.g. TEMPORARY SEEDING OR A NON–VEGETATED COVER) SHOULD BE APPLIED WITHIN 7 DAYS OF SUSPENDING WORK.
2. SLOPES SHALL BE RESTRICTED TO 2' HORIZONTAL/1' VERTICAL MAXIMUM OR FLATTER THROUGH GRADING AND/OR RETAINING WALLS.
3. DISTURBED AREAS, EXCEPT PAVED AREAS, SHALL BE LOAMED (4"MIN.) AND SEEDED OR MULCHED.
4. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, THIER APPLICATIONS, AND SPECIFIC DETAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CT COUNCIL ON SOIL AND WATER CONSERVATION MANUAL ENTITLED "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL", AS AMENDED TO DATE.
5. ALL E&S CONTROL MEASURES SHALL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. ANY E&S CONTROL MEASURES NOT WILL BE SUBJECT TO A CITATION.
6. ADDITIONAL CONTROL MEASURES SHALL BE INSTALLED DURING THE CONSTRUCTION PERIOD IF DEEMED NECESSARY BY THE MUNICIPALITY.
7. SEDIMENTATION BARRIERS TO BE FIBRETEX 150 GRADE, APPROVED EQUAL, OR STAKED HAYBALES.
8. SEDIMENTATION BARRIER TO BE INSTALLED AS SHOWN ON THIS PLAN PRIOR TO ANY CONSTRUCTION.
9. BRING ANY UNFORSEEN CONDITIONS TO THE ATTENTION OF THE MUNICIPALITY.
10. ALL CONSTRUCTION SHALL CONFORM TO THE STANDARDS OF THE MUNICIPALITY.
11. AVRAHAM MEHL, OR DULY AUTHORIZED AGENT (860) 222–7131 IS RESPONSIBLE FOR NOTIFYING THE MUNICIPALITIES PLANNING AND ENGINEERING DEPARTMENTS AT LEAST 24 HOURS IN ADVANCE OF START OF ANY CONSTRUCTION ACTIVITY.
12. AVRAHAM MEHL, OR DULY AUTHORIZED AGENT (860) 222–7131 IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENTATION CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, NOTIFYING THE PLANNING AND ZONING OFFICE OF ANY TRANSFER OF THIS RESPONSIBILITY, AND FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE OF THE LAND IS TRANSFERRED.
13. SEDIMENT CONTROL: TEMPORARY PERVOUS BARRIERS, USING HAY BALES OR SILT FENCE, HELD IN PLACE WITH WOODEN STAKES SHALL BE USED AT ALL AREAS WHERE STORM WATER CONTAINING SUSPENDED SEDIMENT COULD DRAIN OFF SITE.
14. SILT FENCE AND/OR HAY BALES TO BE INSTALLED PRIOR TO COMMENCMENT OF CONSTRUCTION OPERATIONS. ANY DAMAGED BARRIERS SHALL BE REPLACED AND/OR RESET IMMEDIATELY FOLLOWING DAMAGE. PERPENDICULAR WINGS SHOULD BE USED TO BREAK THE VELOCITY OF WATER FLOWING ALONG THE GEOTEXTILE SILT FENCE WHERE IT DOES NOT FOLLOW THE CONTOUR AT THE TOE OF SLOPE. FOR SLOPES OF 5:1 OR FLATTER, WINGS SHALL BE PLACED EVERY 100 FEET; FOR 3:1 TO 5:1 EVERY 75 FEET; AND FOR 2:1 TO 3:1 SLOPES, EVERY 50 FEET.
15. PURSUANT TO THE REGULATIONS; A LAYER OF TOPSOIL SHALL BE SPREAD OVER THE EXCAVATED AREA, LOAMED & SEEDED, 4 INCHES MINIMUM IN DEPTH IN ACCORDANCE WITH THE APPROVED CONTOUR PLAN.
16. CATCH BASIN MAINTENANCE SCHEDULE: SEDIMENT TO BE EXTRACTED FROM SUMP(S) BI–YEARLY IN THE SPRING AND FALL AND DISPOSED OF IN AN ENVIRONMENTALLY ACCEPTABLE MANNER.
17. MATERIAL FROM THE TEMPORARY STOCKPILE WHICH IS NOT USED DURING CONSTRUCTION SHALL HAULED OFF–SITE.
18. IF OVER 5 ACRES ARE TO BE DISTURBED, THE SITE CONTRACTOR SHALL OBTAIN A NPDES STORMWATER PERMIT.
19. INSPECTION OF ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONDUCTED ONCE A WEEK AND WITHIN 24–HOURS AFTER EVERY RAINFALL

SITE PLAN CONSTRUCTION SEQUENCE:

1. PURSUANT TO THE EROSION SEDIMENTATION CONTROL PLAN, NOTIFY THE MUNICIPALITIES PLANNING AND ENGINEERING DEPARTMENTS OF ENSUING CONSTRUCTION ACTIVITY AND OBTAIN GRADING PERMIT PRIOR TO BEGINNING SITE CLEARING OPERATIONS.
2. ESTABLISH EROSION AND SEDIMENTATION CONTROL MEASURES, AS SHOWN ON PLAN PRIOR TO INITIATING ANY CONSTRUCTION ACTIVITY.
3. CALL BEFORE YOU DIG 1–800–922–4455.
4. CLEAR AND GRUB SITE, TREES AND STUMPS SHALL BE DISPOSED OF IN AN APPROVED MANNER. DEVELOP CONSTRUCTION ENTRANCE.
5. STRIP AND STOCKPILE TOPSOIL; ANCHOR WITH STRAW MULCH AND SILT FENCE. IF STOCKPILES ARE TO BE LEFT IN PLACE FOR MORE THAN 30 DAYS, THEY SHOULD BE SEEDED WITH ANNUAL RYEGRASS AT A RATE OF 40 LBS/ACRE.
6. START MASS EARTH MOVEMENT AND SITE REDEVELOPMENT.
7. AS THE SHAPE OF THE SITE CONTINUES, START BUILDING EXCAVATION AND PLACE FOUNDATION, SLAB AND BUILDING.
8. CONSTRUCT SITE UTILITIES; PROTECT CATCH BASINS WITH STAKED HAY BALES, TRAP ANY SEDIMENT THAT ACCUMULATES DURING CONSTRUCTION.
9. PLACE AND GRADE BANKS; PROVIDE SLOPE STABILIZATION AT MAX. 2:1 BANKS.
10. FINISH GRADE AND PLACE GRAVEL BASE FOR PAVED AREAS.
11. CONSTRUCT CONCRETE WALKS AND PLACE BITUMINOUS CONCRETE.
12. FINISH GRADE SITE; SPREAD TOPSOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION; STABILIZE ALL SLOPES.

SUGGESTED SEED MIXTURE	LBS/AC	LBS/1000 SF
KENTUCKY BLUEGRASS	20	0.45
CREEPING RED FESCUE	20	0.45
PERENNIAL RYEGRASS	5	0.10
	45	1.00

13. REMOVE SEDIMENT AND DISPOSE OF OFFSITE IN AN ENVIRONMENTALLY ACCEPTABLE MANNER.
14. REMOVE ANTI–TRACKING PAD, REPAIR ANY DAMAGE TO CURBING.
15. AFTER DISTURBED AREAS HAVE HAD VEGETATION RE–ESTABLISHED ON THEM, SILTATION BARRIERS SHALL BE REMOVED.

LANDSCAPE NOTES

1. ALL PLANTS SHALL BE OF FIRST CLASS QUALITY AND SHALL MEET THE REQUIREMENTS OF THE PLANT LIST. PLANTS SHALL BE SUBJECT TO INSPECTION AND REJECTION BY THE OWNER AND/OR LANDSCAPE ARCHITECT. NO SUBSTITUTIONS SHALL BE ALLOWED UNLESS APPROVED.
2. SHRUBS SHALL BE SET IN BEDS WITH TOPSOIL 12" BELOW AND AROUND EACH SHRUB. SET SHRUBS UPRIGHT IN CENTER OF EACH PIT AND AT A DEPTH SO THAT THE FINISHED GRADE IS LEVEL AT THE PLANT. AFTER SETTLEMENT THE GRADE WILL BE THE SAME AS THE GENERAL LEVEL OF THE PLANT BED AND AT THE HEIGHT AS WHEN GROWING. WATER, BACKFILL, puddle AND TAMP IN THE ACCEPTED APPROVED MANNER TO COMPLETE PLANTING. SHAPE AND PRUNE OUT ALL DEAD TWIGS.
3. INSTALL SHREDDED BARK MULCH AND STONE MULCH TO DEPTH OF 3". STONE MULCH TO BE USED IN ALL ISLANDS. MULCH TO BE APPROVED BEFORE INSTALLATION.
4. BARE AND DISTURBED AREAS SHALL BE SEEDED, IF NOT NOTED FOR TURF. PREPARE, SCARIFY AND APPLY SEED IN APPROVED MANNOR.

NEWMAN ARCHITECTS, PC
300 York Street, New Haven, CT 06511
203.772.1990 Fax 203.772.1997
www.newmanarchitects.com

THE DRAWINGS, DESIGNS, PLANS, SPECIFICATIONS, AND ALL WORKS AND CONTENT DISPLAYED, CONTAINED, OR REPRESENTED HEREIN ARE THE SOLE AND EXCLUSIVE PROPERTY OF NEWMAN ARCHITECTS, P.C.
2022 NEWMAN ARCHITECTS P.C. ALL RIGHTS RESERVED.

NOT FOR CONSTRUCTION

CLIENT
AVRAHAM MEHL
34 CONNECTICUT BLVD.
EAST HARTFORD, CT 06108
860.222.7131 ext. 120
PRINCIPAL CONTACT

CIVIL ENGINEER
KRATZERT, JONES & ASSOCIATES INC
1755 MERIDEN-WATERBURY TPK,
SOUTHINGTON, CT, 06489
(860) 621-3638
EMAIL: INFO@KRATZERTJONES.COM

STRUCTURAL ENGINEER
THORNTON TOMASATTI
10 N MAIN STREET, SUIT 307
WEST HARTFORD, CT, 06107
(212) 367-2750

M.E.P + F.P
CONSULTING ENGINEERING SERVICES
811 MIDDLE STREET
MIDDLETOWN, CT, 06457
(860) 632-1682

ONE INCH | TWO INCH
INCHES ON ORIGINAL

PHASE:
P&Z SET / PERMIT SET

REVISIONS

NO	DATE	DESCRIPTION

PROJECT NAME:
96 WEST STREET

PROJECT ADDRESS:
96 WEST STREET
VERNON, CT 06066

PROJECT NUMBER:
20210044

DRAWING TITLE:
DETAIL SHEET & SITE NOTES

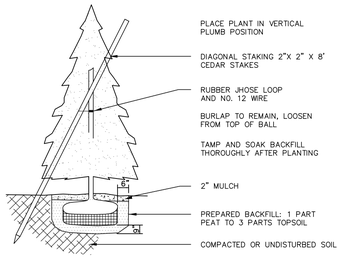
SCALE: *SCALE: 1" = 20'*
DRAWN BY: **KJA**
DATE: **08/29/2022**
CHECKED BY: **JS**

DRAWING NUMBER:
KJA FILE NO. : *222-016* *D-1*

M:\22\222016 avraham\dwg\96 WEST STREET 12&CB.dwg
A-0001 D-1.1 NO DATE: Aug 29, 2022 - 2:03pm

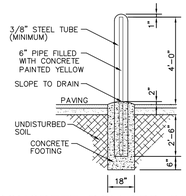
NOT ALL DETAILS APPLY

CONIFEROUS TREE PLANTING
N.T.S.

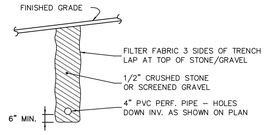


PLANTING LIST SYMBOL	QUAN.	NAME	SIZE
AR	2	ARBOR VITAE	5'-6'
BS	3	BLUE SPRUCE	5'-6'

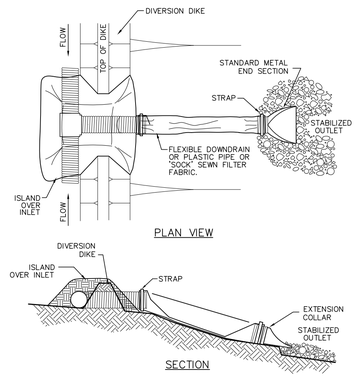
CONCRETE BOLLARD DETAIL
N.T.S.



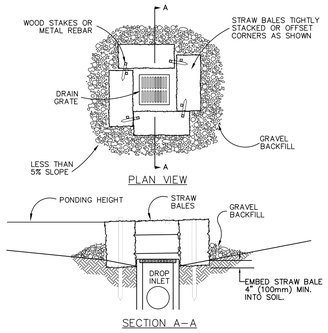
CURTAIN DRAIN DETAIL
N.T.S.



SLOPE DRAIN
N.T.S

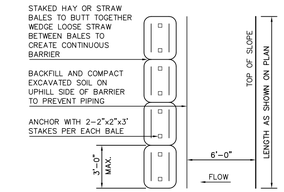


STRAW BALE/GRAVEL DROP INLET SEDIMENT BARRIER
N.T.S.

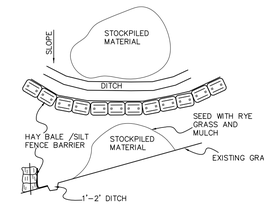


NOTES:
1. DROP INLET SEDIMENT BARRIERS ARE TO BE USED FOR SMALL, NEARLY LEVEL DRAINAGE AREAS. (LESS THAN 5%)
2. EMBED THE BALES 4" (100mm) INTO THE SOIL AND OFFSET CORNERS OR PLACE BALES WITH ENDS TIGHTLY ABUTING. GRAVEL BACKFILL WILL PREVENT EROSION OR FLOW AROUND THE BALES.
3. THE TOP OF THE STRUCTURE (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BYPASSING THE INLET. EXCAVATION OF A BASIN ADJACENT TO THE DROP INLET OR A TEMPORARY DIKE ON THE DOWNSLOPE OF THE STRUCTURE MAY BE NECESSARY.

EROSION CONTROL CHECK –PLAN VIEW
N.T.S.



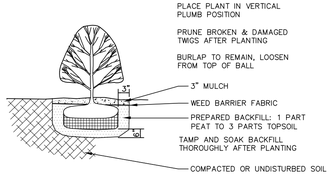
EROSION CONTROL FOR STOCKPILED MATERIAL
N.T.S.



James N. Sakonchick
CT P.E. & L.S. #11302

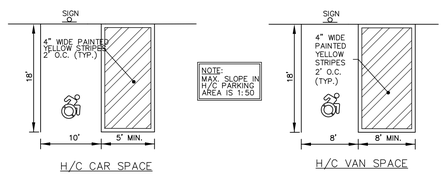
REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

SHRUB PLANTINGS
N.T.S.



PLANTING LIST SYMBOL	QUAN.	NAME	SIZE
Az	10	Az WHITE GUMPO AZALEA *Azalea 'Gumpo Rose'* 4" full height spread at 10 yr maturity –full sun /shade	12"–15"
Rh	10	Rh RHODODENDRON GRANDIFLORUM *Rhododendron catawbiense* 6' full height spread at 10 yr maturity–full sun /shade	15"–18"
BX	10	GREEN GEM BOXWOOD *BUXUS X 'GREEN GEM'* 4" full height spread at 10 yr maturity– full sun /shade	3"–4'

HANDICAPPED PARKING DETAIL
N.T.S.



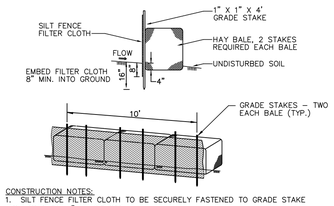
SIGN – PER STATE LAW

12"X24" BLUE ON WHITE

	REGULATORY
NO ARROW	31–0629(P)
→	31–0629(R)
↔	31–0629(D)
←	31–0629(L)

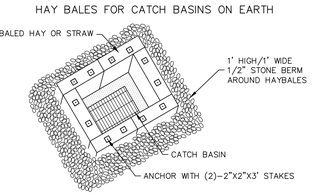
http: //www.ct.gov/dot/lib/dot/documents/dtrafficdesign/Catalog_of_Signs.pdf

HAYBALE–SILT FENCE EROSION PROTECTION
N.T.S.

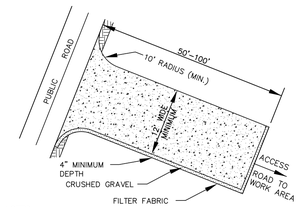


CONSTRUCTION NOTES:
1. SILT FENCE FILTER CLOTH TO BE SECURELY FASTENED TO GRADE STAKE WITH STAPLES, 6" ON CENTER.
2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN ONE ANOTHER THEY SHALL OVERLAP BY 6" AND BE FOLDED.
3. BALES SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.

STONE HAYBALE SEDIMENTATION BARRIER
N.T.S.

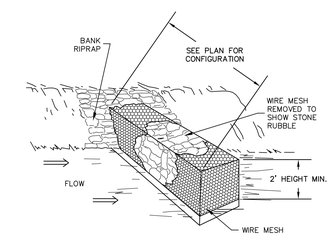


CONSTRUCTION ENTRANCE DETAIL
N.T.S.

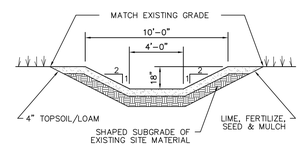


NOTES:
– STRIP GROUND, REMOVE TOP SOIL AND ORGANICS PRIOR TO STONE PLACEMENT
– CRUSHED GRAVEL GRADATION SHALL BE DOT NO.3 OR ASTM C–33 NO. 3

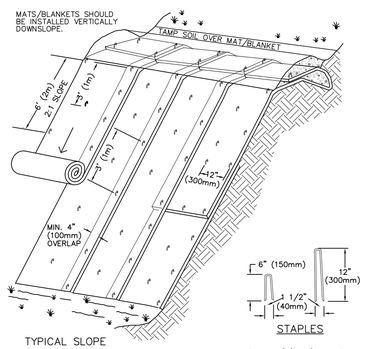
GABION–RIP RAP FILLED
N.T.S.



GRASSED SWALE DETAIL
N.T.S.



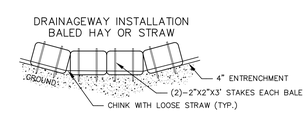
TYPICAL SLOPE SOIL STABLIZATION

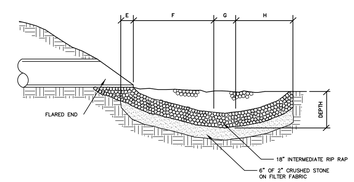


NOTES:
1. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS/ BLANKETS SHALL HAVE GOOD SOIL CONTACT.
2. APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
3. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.

EROSION BLANKETS & TURF REINFORCEMENT MATS SLOPE INSTALLATION
N.T.S.

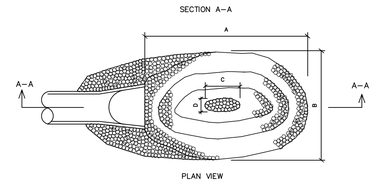
HAY BALE INSTALLATION SEDIMENTATION BARRIER INSTALLATION
N.T.S.



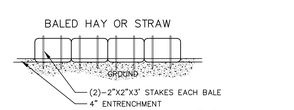


SECTION A–A

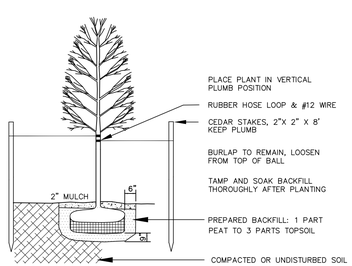
RIP–RAP PLUNGE POOL DETAIL
N.T.S.



HAY BALE INSTALLATION GENERAL INSTALLATION SEDIMENTATION BARRIER INSTALLATION
N.T.S.



DECIDUOUS TREE PLANTINGS
N.T.S.

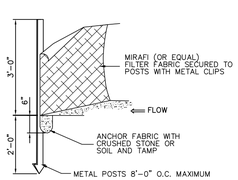


PLANTING LIST SYMBOL	QUAN.	NAME	SIZE
AR	4	ACER RUBRUM (RED MAPLE) BAGGED AND BURLAP	2.5" CALIPER
MF	3	MALUS JAPANESE FLOWERING CRABAPPLE	8' HEIGHT
PCN	4	PRUNUS CERASIFERA NEWPORT PLUM	8 FT HEIGHT
QP	4	QUERCUS PALUSTRIS PIN OAK	2.5" CALIPER

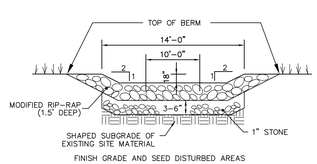
LANDSCAPE NOTES

1. ALL PLANTS SHALL BE OF FIRST CLASS QUALITY AND SHALL MEET THE REQUIREMENTS OF THE PLANT LIST. PLANTS SHALL BE SUBJECT TO INSPECTION AND REJECTION BY THE OWNER AND/OR LANDSCAPE ARCHITECT. NO SUBSTITUTIONS SHALL BE ALLOWED UNLESS APPROVED.
2. SHRUBS SHALL BE SET IN BEDS WITH TOPSOIL 12" BELOW AND AROUND EACH SHRUB. SET SHRUBS UPRIGHT IN CENTER OF EACH PIT AND AT A DEPTH SO THAT THE FINISHED GRADE IS LEVEL AT THE PLANT. AFTER SETTLEMENT THE GRADE WILL BE THE SAME AS THE GENERAL LEVEL OF THE PLANT BED AND AT THE HEIGHT AS WHEN GROWING. WATER, BACKFILL, PUDDLE AND TAMP IN THE ACCEPTED APPROVED MANNER TO COMPLETE PLANTING. SHAPE AND PRUNE OUT ALL DEAD TWIGS.
3. INSTALL SHREDDED BARK MULCH AND STONE MULCH TO DEPTH OF 3". STONE MULCH TO BE USED IN ALL ISLANDS. MULCH TO BE APPROVED BEFORE INSTALLATION.
4. BARE AND DISTURBED AREAS SHALL BE SEEDED, IF NOT NOTED FOR TURF. PREPARE, SCARIFY AND APPLY SEED IN APPROVED MANNOR.

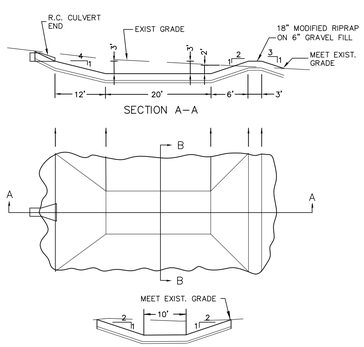
SILT FENCE DETAIL
N.T.S.



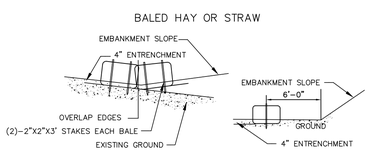
RIP–RAP SPILLWAY DETAIL
N.T.S.



SEDIMENT TRAP DETAIL
N.T.S.



HAY BALE INSTALLATION SEDIMENTATION BARRIER INSTALLATION
N.T.S.



PIPE SIZE	A	B	C	D	E	F	G	H	WT. RIP RAP (TONS)	DEPTH
15"	10'	7'	1.5'	1'	1'	4.5'	1.5'	3'	6	1'–0"
18"	12'	8'	2'	1'	1'	5'	2'	4'	8	1'–4"
21"	15'	9'	2.5'	1.5'	1'	7'	2.5'	4.5'	12	1'–6"
24"	17'	10'	2.5'	1.5'	1'	8'	2.5'	5.5'	15	1'–10"
27" & 30"	20'	13'	3'	2'	2'	9'	3'	6'	22	2'–0"
36"	24'	16'	3.5'	2'	2'	9.5'	3.5'	7'	33	2'–4"

NEWMAN ARCHITECTS, PC
300 York Street, New Haven, CT 06511
203.772.1990 Fax 203.772.1997
www.newmanarchitects.com

THE DRAWINGS, DESIGNS, PLANS, SPECIFICATIONS, AND ALL WORKS AND CONTENT DISPLAYED, CONTAINED, OR REPRESENTED HEREIN ARE THE SOLE AND EXCLUSIVE PROPERTY OF NEWMAN ARCHITECTS, P.C. 2022 NEWMAN ARCHITECTS P.C. ALL RIGHTS RESERVED.

NOT FOR CONSTRUCTION

CLIENT
AVRAHAM MEHL
34 CONNECTICUT BLVD.
EAST HARTFORD, CT 06108
860.222.7131 ext. 120
PRINCIPAL CONTACT

CIVIL ENGINEER
KRATZERT, JONES & ASSOCIATES INC
1755 MERIDEN-WATERBURY TPK,
SOUTHINGTON, CT, 06489
(860) 621-3638
EMAIL: INFO@KRATZERTJONES.COM

STRUCTURAL ENGINEER
THORNTON TOMASATTI
10 N MAIN STREET, SUIT 307
WEST HARTFORD, CT, 06107
(212) 367-2750

M.E.P + F.P
CONSULTING ENGINEERING SERVICES
811 MIDDLE STREET
MIDDLETOWN, CT, 06457
(860) 632-1682

ONE INCH | TWO INCH
INCHES ON ORIGINAL

PHASE:
P&Z SET / PERMIT SET

REVISIONS

NO	DATE	DESCRIPTION

PROJECT NAME:
96 WEST STREET

PROJECT ADDRESS:
96 WEST STREET
VERNON, CT 06066

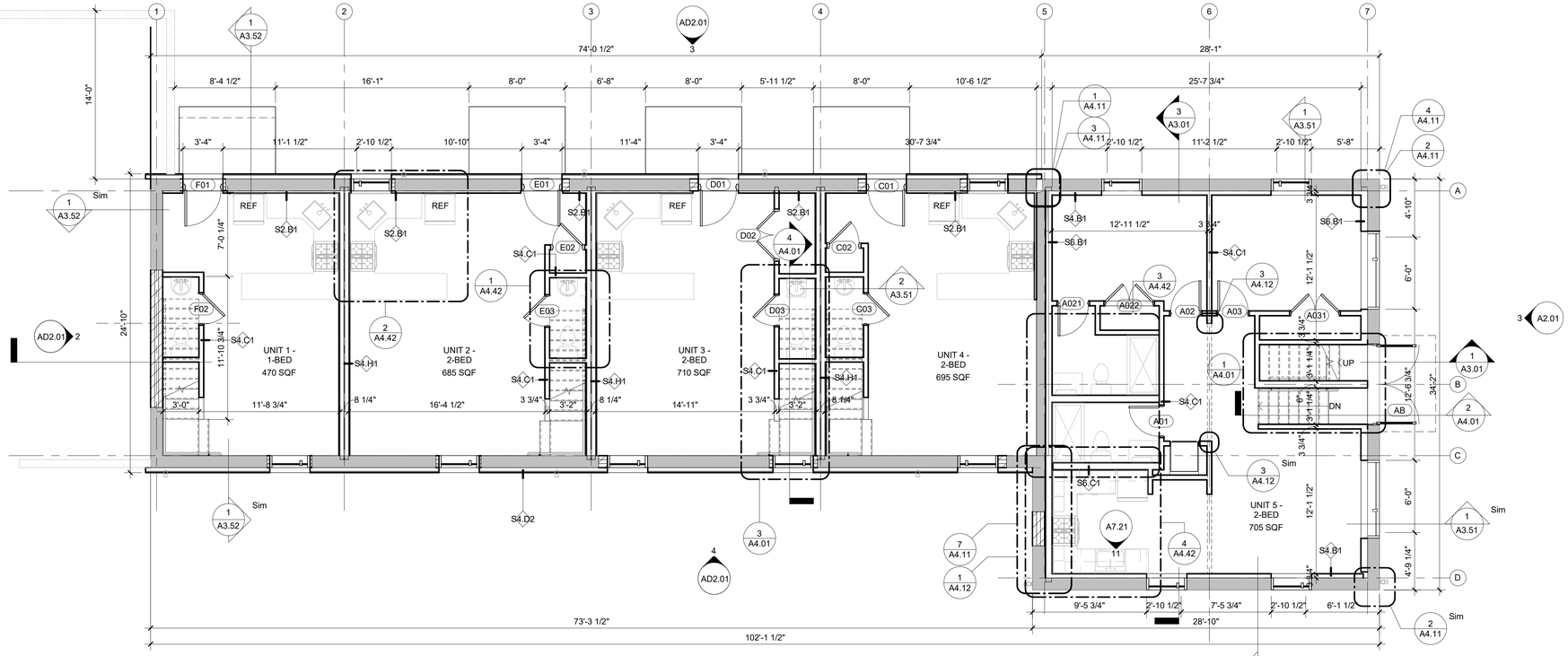
PROJECT NUMBER:
20210044

DRAWING TITLE:
EXISTING CONDITIONS

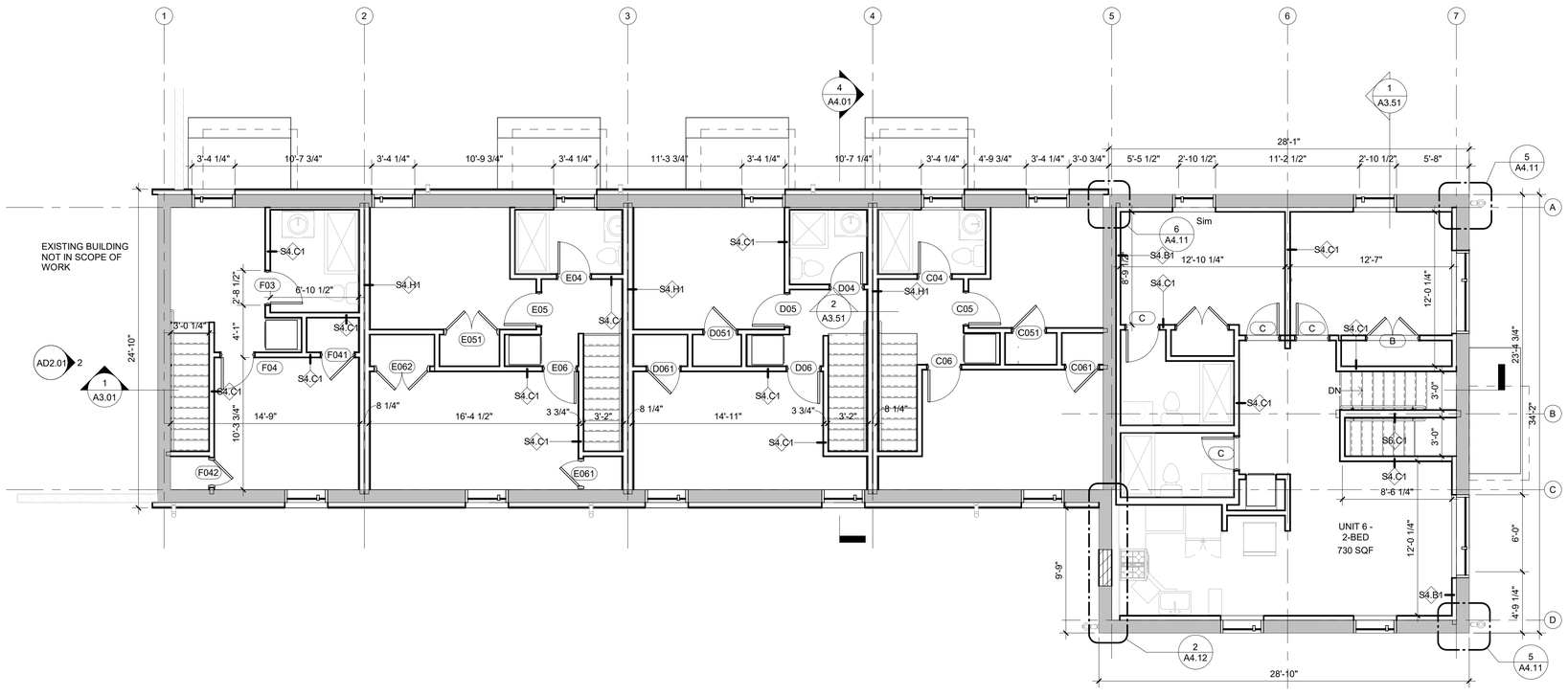
SCALE: *SCALE: 1" = 20'*
DRAWN BY: **KJA**
DATE: **08/29/2022**
CHECKED BY: **JS**

DRAWING NUMBER:
KJA FILE NO. :
222-016 *E-1*

M:\22\222016_vernon\dwg\96 WEST STREET (2)EXIST.dwg
LAYOUT: E-1 (N) DATE: Aug 29, 2022 - 3:00pm



1 A1.01 FIRST FLOOR OVERALL PLAN
3/16" = 1'-0"



2 A1.01 SECOND FLOOR OVERALL PLAN
3/16" = 1'-0"

NOTE: REFER TO SHEET G0.00 FOR SYMBOLS & ABBREVIATIONS AND SHEET G0.01 FOR GENERAL NOTES.

FLOOR PLAN & INTERIOR ELEVATION LEGEND

Room name 101	ROOM NUMBER
101	DOOR NUMBER (SEE DOOR SCHEDULE ON A6.00)
1	WINDOW TYPE (SEE A6.13)
E1	EXISTING WINDOW TYPE
SF1	STOREFRONT TYPE (SEE A6.13)
C1	CURTAIN WALL TYPE (SEE A6.12)
HM1	INTERIOR FRAME TYPE (SEE A6.01)
L1	LOUVER TYPE (SEE A6.13)
M01	MILLWORK TYPE (SEE A8.21)
EQ1	EQUIPMENT TYPE (SEE A4.41)
S1.B1	WALL TYPE (SEE G2.00)
	EXISTING WALL TO REMAIN
	EXISTING DOOR TO REMAIN
	NEW WALL CONSTRUCTION
	NEW DOOR (SEE DOOR SCHEDULE ON A6.00)
FEC	FIRE EXTINGUISHER CABINET

PLAN NOTES

#	Description
01	PROVIDE 2 LAYERS 5/8" GYP. WHERE INDICATED

KEYPLAN

N

NEWMAN

NEWMAN ARCHITECTS, PC
300 York Street, New Haven, CT 06511
203.772.1990 Fax 203.772.1997
www.newmanarchitects.com

THE DRAWINGS, DESIGNS, PLANS, SPECIFICATIONS, AND ALL WORKS AND CONTENT DISPLAYED, CONTAINED, OR REPRESENTED HEREIN ARE THE SOLE AND EXCLUSIVE PROPERTY OF NEWMAN ARCHITECTS, P.C. COPYRIGHT © 2022 NEWMAN ARCHITECTS P.C. ALL RIGHTS RESERVED.

STATE OF CONNECTICUT · BROOKS J. TRASK · LICENSED ARCHITECT
NOT FOR CONSTRUCTION

CLIENT
AVRAHAM MEHL
34 CONNECTICUT BLVD.
EAST HARTFORD, CT 06108
860.222.7131 ext. 120
PRINCIPAL CONTACT

CIVIL ENGINEER
KRATZERT, JONES & ASSOCIATES INC
1755 MERIDEN-WATERBURY TPK,
SOUTHINGTON, CT, 06489
(860) 621-3638

STRUCTURAL ENGINEER
THORNTON TOMASATTI
10 N MAIN STREET, SUIT 307
WEST HARTFORD, CT, 06107
(212) 367-2750

M.E.P + F.P
CONSULTING ENGINEERING SERVICES
811 MIDDLE STREET
MIDDLETOWN, CT, 06457
(860) 632-1682

PHASE:
P&Z SET / PERMIT SET

REVISIONS

NO	DATE	DESCRIPTION

PROJECT NAME:
96 WEST STREET

PROJECT ADDRESS:
96 WEST STREET
VERNON, CT 06066

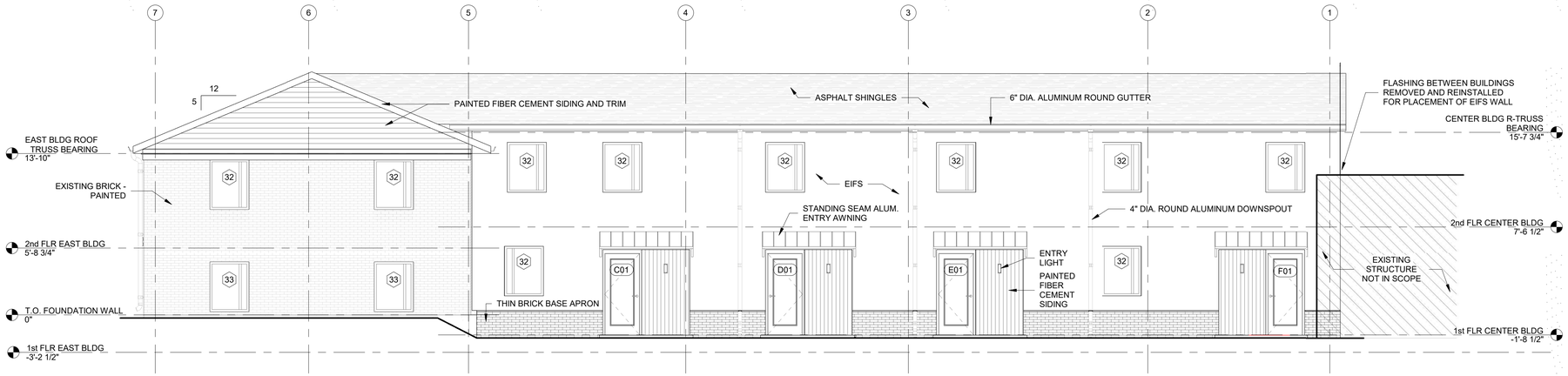
PROJECT NUMBER:
20210044

DRAWING TITLE:
OVERALL FLOOR PLANS

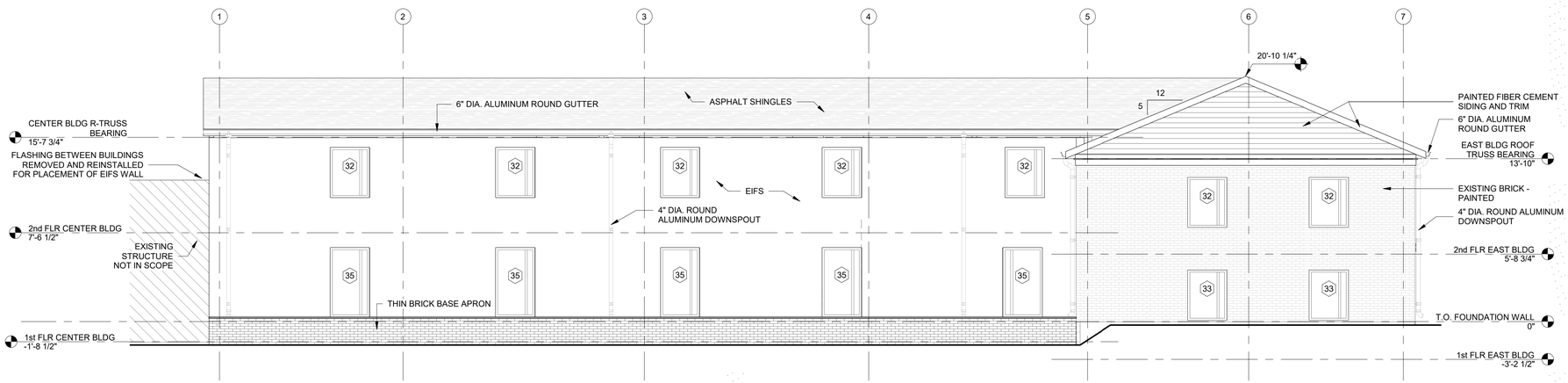
SCALE:	DRAWN BY:
As indicated	DWG
DATE: 08/29/2022	CHECKED BY: CHK

DRAWING NUMBER:
A1.01

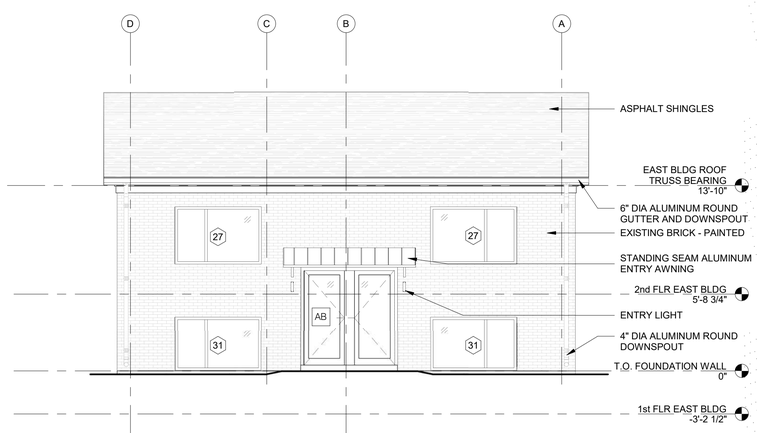
Autodesk Docs://20210044-96 West St/Arch-96-West-Street-central-R22.rvt
8/29/2022 4:34:55 PM



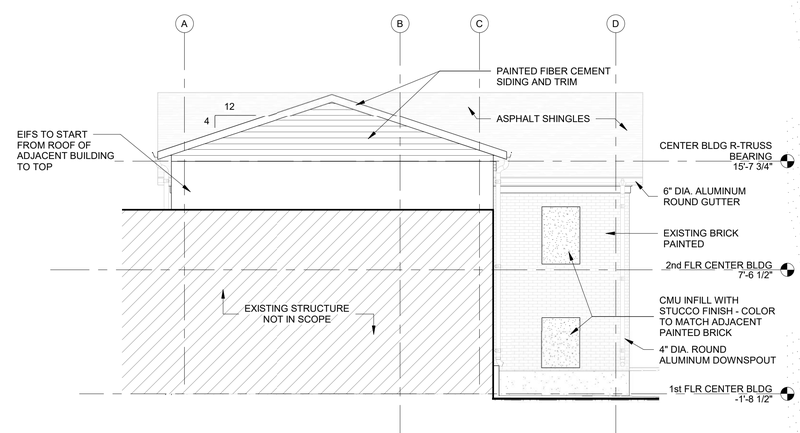
1 A2.01 NORTH ELEVATION
3/16" = 1'-0"



2 A2.01 SOUTH ELEVATION
3/16" = 1'-0"



3 A2.01 EAST ELEVATION
3/16" = 1'-0"



4 A2.01 WEST ELEVATION
3/16" = 1'-0"

NOTE: REFER TO SHEET G0.00 FOR SYMBOLS & ABBREVIATIONS AND SHEET G0.01 FOR GENERAL NOTES.

EXTERIOR ELEVATIONS LEGEND

101	DOOR NUMBER (SEE DOOR SCHEDULE ON A 6.00)
1	WINDOW TYPE (SEE A6.13)
E1	EXISTING WINDOW TYPE
SF1	STOREFRONT TYPE (SEE A6.13)
C1	CURTAIN WALL TYPE (SEE A6.12)
L1	LOUVER TYPE (SEE A6.13)
CJ	CONTROL JOINT
EJ	EXPANSION JOINT

ELEVATION NOTES

#	Description

NEWMAN

NEWMAN ARCHITECTS, PC

300 York Street, New Haven, CT 06511
203.772.1990 Fax 203.772.1997
www.newmanarchitects.com

THE DRAWINGS, DESIGNS, PLANS, SPECIFICATIONS, AND ALL WORKS AND CONTENT DISPLAYED, CONTAINED, OR REPRESENTED HEREIN ARE THE SOLE AND EXCLUSIVE PROPERTY OF NEWMAN ARCHITECTS, P.C. COPYRIGHT © 2022 NEWMAN ARCHITECTS P.C. ALL RIGHTS RESERVED.

STATE OF CONNECTICUT · AVRAHAM BROOKS MEHL · 17638 · LICENSED ARCHITECT

NOT FOR CONSTRUCTION

CLIENT
AVRAHAM MEHL
34 CONNECTICUT BLVD.
EAST HARTFORD, CT 06108
860.222.7131 ext. 120
PRINCIPAL CONTACT

CIVIL ENGINEER
KRATZERT, JONES & ASSOCIATES INC
1755 MERIDEN-WATERBURY TPK,
SOUTHINGTON, CT, 06489
(860) 621-3638

STRUCTURAL ENGINEER
THORNTON TOMASATTI
10 N MAIN STREET, SUIT 307
WEST HARTFORD, CT, 06107
(212) 367-2750

M.E.P + F.P
CONSULTING ENGINEERING SERVICES
811 MIDDLE STREET
MIDDLETOWN, CT, 06457
(860) 632-1682

PHASE:
P&Z SET / PERMIT SET

REVISIONS

NO	DATE	DESCRIPTION

PROJECT NAME:
96 WEST STREET

PROJECT ADDRESS:
96 WEST STREET
VERNON, CT 06066

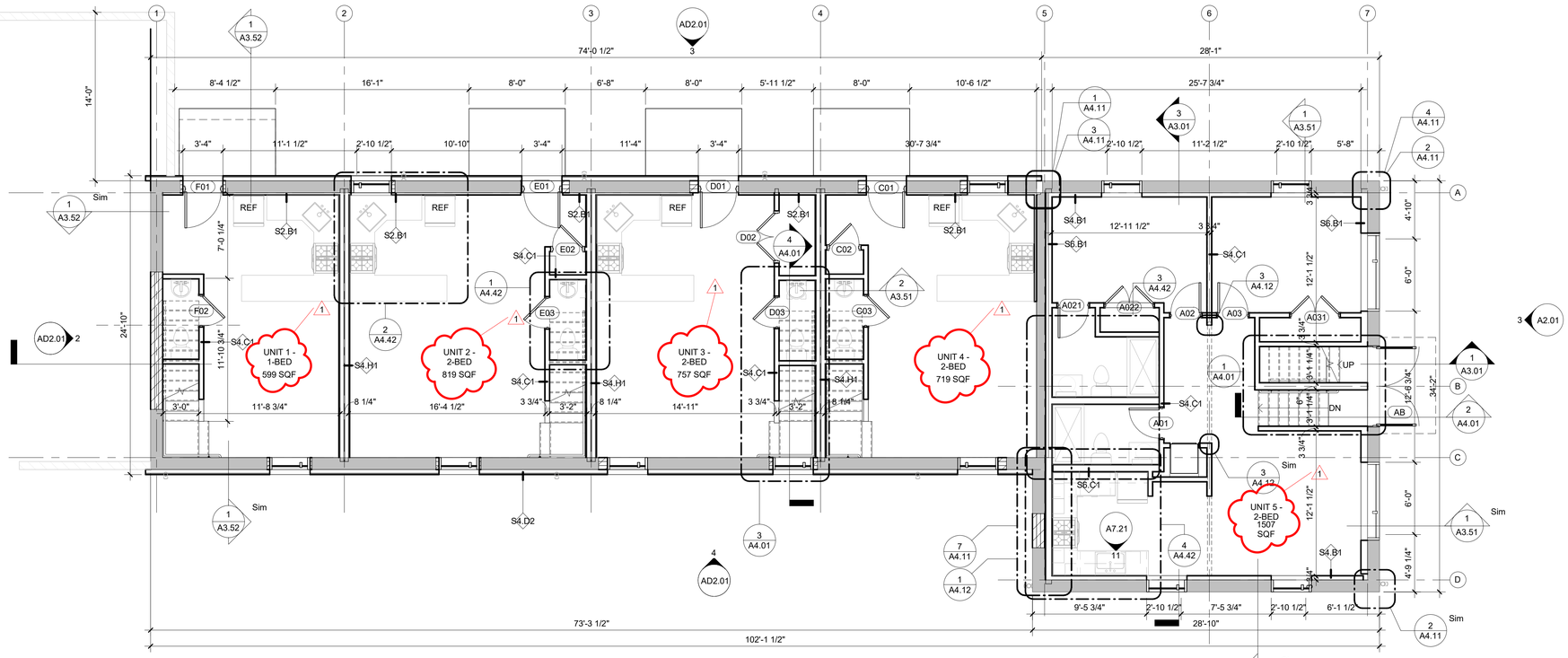
PROJECT NUMBER:
20210044

DRAWING TITLE:
EXTERIOR ELEVATIONS

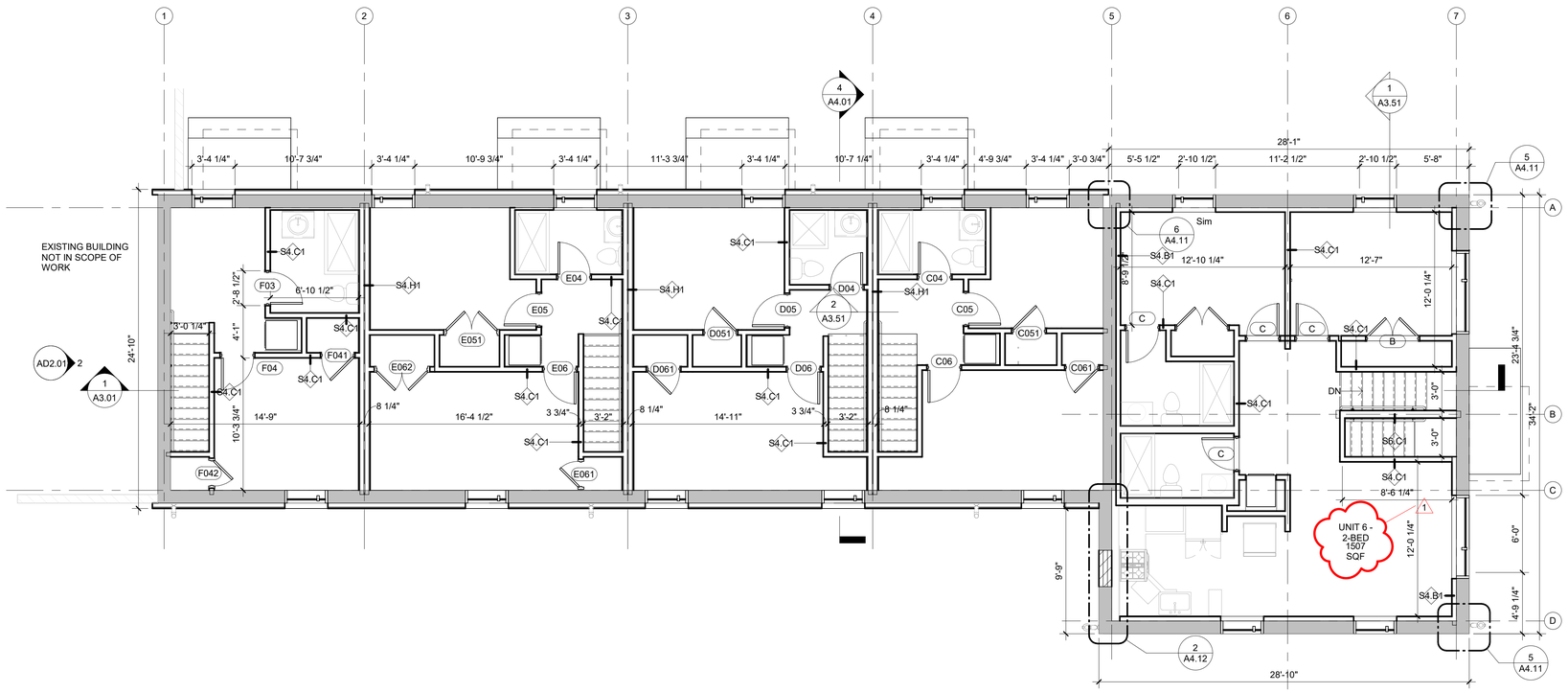
SCALE:	DRAWN BY:
As indicated	DWG
DATE: 08/29/2022	CHECKED BY: CHK

DRAWING NUMBER:
A2.01

Autodesk Docs://20210044-96 West St/Arch-96-West-Street-central-R22.rvt
8/29/2022 4:34:59 PM



1 A1.01 FIRST FLOOR OVERALL PLAN
3/16" = 1'-0"



2 A1.01 SECOND FLOOR OVERALL PLAN
3/16" = 1'-0"

NOTE: REFER TO SHEET G0.00 FOR SYMBOLS & ABBREVIATIONS AND SHEET G0.01 FOR GENERAL NOTES.

FLOOR PLAN & INTERIOR ELEVATION LEGEND

Room name 101	ROOM NUMBER
101	DOOR NUMBER (SEE DOOR SCHEDULE ON A6.00)
1	WINDOW TYPE (SEE A6.13)
E1	EXISTING WINDOW TYPE
SF1	STOREFRONT TYPE (SEE A6.13)
C1	CURTAIN WALL TYPE (SEE A6.12)
HM1	INTERIOR FRAME TYPE (SEE A6.01)
L1	LOUVER TYPE (SEE A6.13)
M01	MILLWORK TYPE (SEE A8.21)
EQ1	EQUIPMENT TYPE (SEE A4.41)
S1.B1	WALL TYPE (SEE G2.00)
	EXISTING WALL TO REMAIN
	EXISTING DOOR TO REMAIN
	NEW WALL CONSTRUCTION
	NEW DOOR (SEE DOOR SCHEDULE ON A6.00)
FEC	FIRE EXTINGUISHER CABINET

PLAN NOTES

#	Description
01	PROVIDE 2 LAYERS 5/8" GYP. WHERE INDICATED

KEYPLAN

N

NEWMAN

NEWMAN ARCHITECTS, PC
300 York Street, New Haven, CT 06511
203.772.1990 Fax 203.772.1997
www.newmanarchitects.com

THE DRAWINGS, DESIGNS, PLANS, SPECIFICATIONS, AND ALL WORKS AND CONTENT DISPLAYED, CONTAINED, OR REPRESENTED HEREIN ARE THE SOLE AND EXCLUSIVE PROPERTY OF NEWMAN ARCHITECTS, P.C. COPYRIGHT © 2022 NEWMAN ARCHITECTS P.C. ALL RIGHTS RESERVED.

STATE OF CONNECTICUT · ALAN BROOKS · 13 · LICENSED ARCHITECT
NOT FOR CONSTRUCTION

CLIENT
AVRAHAM MEHL
34 CONNECTICUT BLVD.
EAST HARTFORD, CT 06108
860.222.7131 ext. 120
PRINCIPAL CONTACT

CIVIL ENGINEER
KRATZERT, JONES & ASSOCIATES INC
1755 MERIDEN-WATERBURY TPK,
SOUTHINGTON, CT, 06489
(860) 621-3638

STRUCTURAL ENGINEER
THORNTON TOMASATTI
10 N MAIN STREET, SUIT 307
WEST HARTFORD, CT, 06107
(212) 367-2750

M.E.P + F.P
CONSULTING ENGINEERING SERVICES
811 MIDDLE STREET
MIDDLETOWN, CT, 06457
(860) 632-1682

PHASE:
P&Z SET / PERMIT SET

REVISIONS

NO	DATE	DESCRIPTION
1	2022-8-30	UNIT SQFT UPDATE

PROJECT NAME:
96 WEST STREET

PROJECT ADDRESS:
96 WEST STREET
VERNON, CT 06066

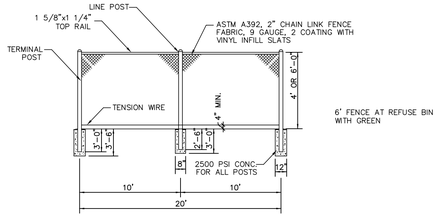
PROJECT NUMBER:
20210044

DRAWING TITLE:
OVERALL FLOOR PLANS

SCALE: **As indicated**
DRAWN BY: **DWG**
DATE: **08/29/2022**
CHECKED BY: **CHK**

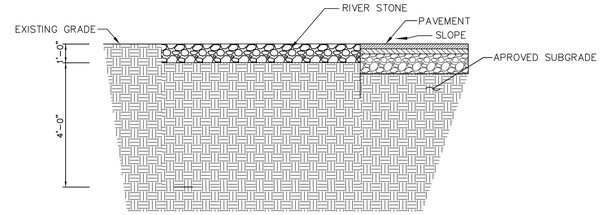
DRAWING NUMBER:
A1.01

8/30/2022 4:11:27 PM Autodesk Docs://20210044-96 West St/Arch-96-West-Street-central-R22.rvt

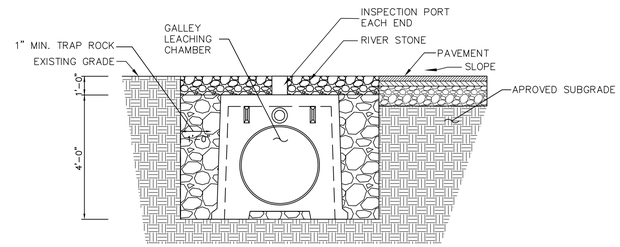


NOTES:
1. BOTTOM TENSION WIRE SHALL BE 7 GAUGE ATTACHED WITH 12 1/2" GAUGE HOG RINGS, 12' O.C.
2. TOP RAIL COUPLINGS TO BE SPACED EVERY 20'. EXPANSION COUPLINGS TO BE AT 100' INTERVALS.
3. TOP RAIL WIRE TIES SHALL BE SPACED 24" MAX.
4. FENCE SHALL CONFORM WITH CT D.O.T. STANDARDS, INCLUDING LATEST REVISIONS.
5. PROVIDE CHAINLINK SWING GATES AND MANDOORS AS SHOWN ON SITE PLAN.

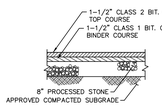
CHAIN LINK FENCE
N.T.S.



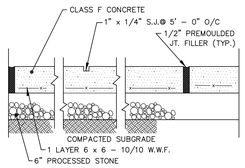
CROSS SECTION AT STONES
N.T.S.



CROSS SECTION A
N.T.S.



MINIMUM PAVEMENT SECTION–STANDARD
N.T.S.
(SEE D.O.T. FORM 816 AS AMENDED)



CONCRETE WALK/DUMPSTER PAD DETAIL
N.T.S.
(SEE D.O.T. FORM 816 AS AMENDED)

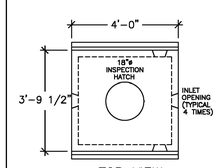
VERNON ZONING REGULATION: 4.7

ZONE: PRD (PLANNED RESIDENTIAL DEVELOPMENT)

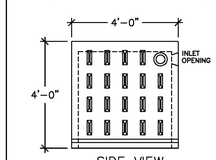
* DENOTES EXISTING NON–CONFORMING ITEM
** DENOTES VARIENCE REQUIRED FROM THE ZBA

	REQUIRED	PROPOSED
4.7.1 AREA AND YARD REQUIREMENTS:		
MINIMUM LOT AREA:	1 ACRE	1.32± ACRE
MINIMUM LOT WIDTH:	150 FEET	73.30 FEET *
MINIMUM FRONT YARD:	50 FEET	176.8 FEET
MINIMUM SIDE YARD:	20 FEET	7.3 FEET
MINIMUM REAR YARD:	50 FEET	500.1 FEET
MINIMUM FLOOR AREA:	3,925 SQFT SEE [10.1]	11,342.2 SQFT
4.7.2 PERMITTED USES: THERE ARE NO PERMITTED USES IN THIS ZONE		
4.7.3 SPECIAL EXCEPTIONS: THERE ARE NO SPECIAL EXCEPTIONS IN THE PRD DISTRICT.		
4.7.4 SPECIAL PERMITS: MULTI–FAMILY DWELLINGS		
4.7.5 SCHEDULE FOR MULTI–FAMILY DWELLING UNIT/AREA RATIO: 2 BEDROOMS / UNIT = 5,500 SQFT; 1 BEDROOMS / UNIT = 3,500 SQFT	(1*3500)+(5*5500)= 31,000 SQFT REQUIRED	57,708.9± SQFT
4.7.6 LIVABILITY SPACE REQUIREMENTS: 2.0 TIMES THE GROSS RESIDENTIAL FLOOR AREA	2 X 5,671.1 SQFT 11,342.2 SQFT REQUIRED	41,984 SQFT ± PROPOSED
4.7.7 MINIMUM PROTECTIVE PROVISIONS: ALL MULTI–FAMILY STRUCTURES SHALL BE ENTIRELY SERVICED BY PUBLIC SEWERS.	PUBLIC SEWER	PUBLIC SEWER
ALL MULTI–FAMILY STRUCTURES SHALL BE ENTIRELY SERVICED BY A PUBLIC WATER SUPPLY.	PUBLIC WATER	– PUBLIC WATER CONNECTION
10.1 MINIMUM FLOOR AREA: FIRST BEDROOM 550 SQFT PER UNIT; EACH ADDITIONAL BEDROOM 125 SQFT PER UNIT	3,925 SQFT REQUIRED	11,342.2 PROPOSED; 5,408 SF AT APARTMENTS

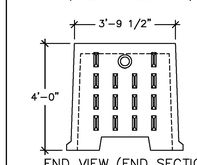
4' X 4' X8' OR 4'x4'x4' GALLEY REGULAR LEACHING CHAMBER



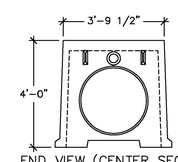
TOP VIEW
(ROOF SLAB THICKNESS IS 5")



SIDE VIEW
(WALL THICKNESS IS 3")



END VIEW (END SECTION)
(WALL THICKNESS IS 3")



END VIEW (CENTER SECTION)
(WALL THICKNESS IS 3")

GALLEY DESIGN SPECIFICATIONS CONFORMS TO LATEST: ASTM DESIGNATION C913

NOTES:
1. PIPE INLET LOCATIONS HAVE 4" DIAMETER KNOCKOUTS, TYPICAL. CUSTOM KNOCKOUTS CAN BE CAST ON REQUEST.
2. REINFORCING STEEL DEFORMED BARS CONFORM TO LATEST ASTM SPECIFICATION A615.
3. CONCRETE COMPRESSIVE STRENGTH– 4000 PSI AT 28 DAYS.
4. METHOD OF MANUFACTURE: WET CAST.
5. SECTION IS MONOLITHIC.

WEIGHT CHART

PRODUCT	APPROX WEIGHT
4'x4'x4' GALLEY	2200 LBS.

LEACHING DATA

FLOW LINE (INCHES)	LEACHING (Gal/LF)	LEACHING (FT^2/UNIT)	INSIDE CAPACITY (GALLONS)
38	9.2	36.8	330

UNITED CONCRETE PRODUCTS INC.
173 CHURCH STREET YALESVILLE, CT 06492 TEL. 800 234–3119 (203) 269–3119 FAX. (203) 265–4941

Disclaimer:
The underground utilities shown have been located from limited field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. To meet the requirements of our professional liability insurance, the terms CERTIFICATE, CERTIFY, AND CERTIFICATION mean to the best information, knowledge, and belief of the engineer; and are not an unconditional certification, warranty or guarantee which are not covered under the policy.

REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

James N. Sakonchick
CT P.E. & L.S. #11302

NOT ALL DETAILS APPLY

MAP REFRENCES
1) "AS–BUILT PLAN WESTAR APARTMENTS" ; 94 WEST STREET VERNON, CONNECTICUT; GARDNER & PETERSON ASSOCIATES; SCALE 1"=40'; DATE 5/15/89
2) "WEST STREET FROM NYE ST., SOUTHERLY" HORIZONTAL SXALE 40 FEET TO AN INCH, VERTICAL SCALE 8 FEET TO AN INCH.; 1905; JT MCKNIGHT, CITY ENGINEERY, TOWN OF VERNON
3) "ALTA/NSPS LAND TITLE SURVEY PREPARED FOR: FULLHAND FUNDING"; 94 AND 96 WESTS TREET TOWN OF VERNON COUNTY COUNTY OF TOLLAND STATE OF CONNECTICUT; GRAPHIC SCALE 1 INCH = 40 FT.; SHEET NO. 2 OF 2; DATE OF PLAT OR MAP: MAY 22, 2019; MSI PROJECT NO. 44912

EROSION AND SEDIMENTATION CONTROL NOTES:

1. LAND DISTURBANCE SHALL BE KEPT TO A MINIMUM. AREAS THAT ARE CLEARED AND/OR GRADED SHOULD HAVE PERMANENT SOIL STABILIZATION MEASURES APPLIED WITHIN 7 DAYS OF ESTABLISHING THE FINAL GRADE. IF GRADING IS DELAYED MORE THAN 30 DAYS AFTER SOILS ARE DISTURBED, TEMPORARY SOIL STABILIZATION MEASURES (e.g. TEMPORARY SEEDING OR A NON–VEGETATED COVER) SHOULD BE APPLIED WITHIN 7 DAYS OF SUSPENDING WORK.
2. SLOPES SHALL BE RESTRICTED TO 2' HORIZONTAL/1' VERTICAL MAXIMUM OR FLATTER THROUGH GRADING AND/OR RETAINING WALLS.
3. DISTURBED AREAS, EXCEPT PAVED AREAS, SHALL BE LOAMED (4"MIN.) AND SEEDED OR MULCHED.
4. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, THIER APPLICATIONS, AND SPECIFIC DETAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CT COUNCIL ON SOIL AND WATER CONSERVATION MANUAL ENTITLED "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL", AS AMENDED TO DATE.
5. ALL E&S CONTROL MEASURES SHALL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. ANY E&S CONTROL MEASURES NOT WILL BE SUBJECT TO A CITATION.
6. ADDITIONAL CONTROL MEASURES SHALL BE INSTALLED DURING THE CONSTRUCTION PERIOD IF DEEMED NECESSARY BY THE MUNICIPALITY.
7. SEDIMENTATION BARRIERS TO BE FIBRETEX 150 GRADE, APPROVED EQUAL, OR STAKED HAYBALES.
8. SEDIMENTATION BARRIER TO BE INSTALLED AS SHOWN ON THIS PLAN PRIOR TO ANY CONSTRUCTION.
9. BRING ANY UNFORSEEN CONDITIONS TO THE ATTENTION OF THE MUNICIPALITY.
10. ALL CONSTRUCTION SHALL CONFORM TO THE STANDARDS OF THE MUNICIPALITY.
11. AVRAHAM MEHL, OR DULY AUTHORIZED AGENT (860) 222–7131 IS RESPONSIBLE FOR NOTIFYING THE MUNICIPALITIES PLANNING AND ENGINEERING DEPARTMENTS AT LEAST 24 HOURS IN ADVANCE OF START OF ANY CONSTRUCTION ACTIVITY.
12. AVRAHAM MEHL, OR DULY AUTHORIZED AGENT (860) 222–7131 IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENTATION CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, NOTIFYING THE PLANNING AND ZONING OFFICE OF ANY TRANSFER OF THIS RESPONSIBILITY, AND FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE OF THE LAND IS TRANSFERRED.
13. SEDIMENT CONTROL: TEMPORARY PERVIOUS BARRIERS, USING HAY BALES OR SILT FENCE, HELD IN PLACE WITH WOODEN STAKES SHALL BE USED AT ALL AREAS WHERE STORM WATER CONTAINING SUSPENDED SEDIMENT COULD DRAIN OFF SITE.
14. SILT FENCE AND/OR HAY BALES TO BE INSTALLED PRIOR TO COMMENCMENT OF CONSTRUCTION OPERATIONS. ANY DAMAGED BARRIERS SHALL BE REPLACED AND/OR RESET IMMEDIATELY FOLLOWING DAMAGE. PERPENDICULAR WINGS SHOULD BE USED TO BREAK THE VELOCITY OF WATER FLOWING ALONG THE GEOTEXTILE SILT FENCE WHERE IT DOES NOT FOLLOW THE CONTOUR AT THE TOE OF SLOPE. FOR SLOPES OF 5:1 OR FLATTER, WINGS SHALL BE PLACED EVERY 100 FEET; FOR 3:1 TO 5:1 EVERY 75 FEET; AND FOR 2:1 TO 3:1 SLOPES, EVERY 50 FEET.
15. PURSUANT TO THE REGULATIONS; A LAYER OF TOPSOIL SHALL BE SPREAD OVER THE EXCAVATED AREA, LOAMED & SEEDED, 4 INCHES MINIMUM IN DEPTH IN ACCORDANCE WITH THE APPROVED CONTOUR PLAN.
16. CATCH BASIN MAINTENANCE SCHEDULE: SEDIMENT TO BE EXTRACTED FROM SUMP(S) BI–YEARLY IN THE SPRING AND FALL AND DISPOSED OF IN AN ENVIRONMENTALLY ACCEPTABLE MANNER.
17. MATERIAL FROM THE TEMPORARY STOCKPILE WHICH IS NOT USED DURING CONSTRUCTION SHALL HAULED OFF–SITE.
18. IF OVER 5 ACRES ARE TO BE DISTURBED, THE SITE CONTRACTOR SHALL OBTAIN A NPDES STORMWATER PERMIT.
19. INSPECTION OF ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONDUCTED ONCE A WEEK AND WITHIN 24–HOURS AFTER EVERY RAINFALL

SITE PLAN CONSTRUCTION SEQUENCE:

1. PURSUANT TO THE EROSION SEDIMENTATION CONTROL PLAN, NOTIFY THE MUNICIPALITIES PLANNING AND ENGINEERING DEPARTMENTS OF ENSUING CONSTRUCTION ACTIVITY AND OBTAIN GRADING PERMIT PRIOR TO BEGINNING SITE CLEARING OPERATIONS.
2. ESTABLISH EROSION AND SEDIMENTATION CONTROL MEASURES, AS SHOWN ON PLAN PRIOR TO INITIATING ANY CONSTRUCTION ACTIVITY.
3. CALL BEFORE YOU DIG 1–800–922–4455.
4. CLEAR AND GRUB SITE, TREES AND STUMPS SHALL BE DISPOSED OF IN AN APPROVED MANNER. DEVELOP CONSTRUCTION ENTRANCE.
5. STRIP AND STOCKPILE TOPSOIL; ANCHOR WITH STRAW MULCH AND SILT FENCE. IF STOCKPILES ARE TO BE LEFT IN PLACE FOR MORE THAN 30 DAYS, THEY SHOULD BE SEEDED WITH ANNUAL RYEGRASS AT A RATE OF 40 LBS/ACRE.
6. START MASS EARTH MOVEMENT AND SITE REDEVELOPMENT.
7. AS THE SHAPE OF THE SITE CONTINUES, START BUILDING EXCAVATION AND PLACE FOUNDATION, SLAB AND BUILDING.
8. CONSTRUCT SITE UTILITIES; PROTECT CATCH BASINS WITH STAKED HAY BALES, TRAP ANY SEDIMENT THAT ACCUMULATES DURING CONSTRUCTION.
9. PLACE AND GRADE BANKS; PROVIDE SLOPE STABILIZATION AT MAX. 2:1 BANKS.
10. FINISH GRADE AND PLACE GRAVEL BASE FOR PAVED AREAS.
11. CONSTRUCT CONCRETE WALKS AND PLACE BITUMINOUS CONCRETE.
12. FINISH GRADE SITE; SPREAD TOPSOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION; STABILIZE ALL SLOPES.

SUGGESTED SEED MIXTURE	LBS/AC	LBS/1000 SF
KENTUCKY BLUEGRASS	20	0.45
CREEPING RED FESCUE	20	0.45
PERENNIAL RYEGRASS	5	0.10
	45	1.00

13. REMOVE SEDIMENT AND DISPOSE OF OFFSITE IN AN ENVIRONMENTALLY ACCEPTABLE MANNER.
14. REMOVE ANTI–TRACKING PAD, REPAIR ANY DAMAGE TO CURBING.
15. AFTER DISTURBED AREAS HAVE HAD VEGETATION RE–ESTABLISHED ON THEM, SILTATION BARRIERS SHALL BE REMOVED.

LANDSCAPE NOTES

1. ALL PLANTS SHALL BE OF FIRST CLASS QUALITY AND SHALL MEET THE REQUIREMENTS OF THE PLANT LIST. PLANTS SHALL BE SUBJECT TO INSPECTION AND REJECTION BY THE OWNER AND/OR LANDSCAPE ARCHITECT. NO SUBSTITUTIONS SHALL BE ALLOWED UNLESS APPROVED.
2. SHRUBS SHALL BE SET IN BEDS WITH TOPSOIL 12" BELOW AND AROUND EACH SHRUB. SET SHRUBS UPRIGHT IN CENTER OF EACH PIT AND AT A DEPTH SO THAT THE FINISHED GRADE IS LEVEL AT THE PLANT. AFTER SETTLEMENT THE GRADE WILL BE THE SAME AS THE GENERAL LEVEL OF THE PLANT BED AND AT THE HEIGHT AS WHEN GROWING. WATER, BACKFILL, puddle AND TAMP IN THE ACCEPTED APPROVED MANNER TO COMPLETE PLANTING. SHAPE AND PRUNE OUT ALL DEAD TWIGS.
3. INSTALL SHREDDED BARK MULCH AND STONE MULCH TO DEPTH OF 3". STONE MULCH TO BE USED IN ALL ISLANDS. MULCH TO BE APPROVED BEFORE INSTALLATION.
4. BARE AND DISTURBED AREAS SHALL BE SEEDED, IF NOT NOTED FOR TURF. PREPARE, SCARIFY AND APPLY SEED IN APPROVED MANNOR.

NEWMAN ARCHITECTS, PC
300 York Street, New Haven, CT 06511
203.772.1990 Fax 203.772.1997
www.newmanarchitects.com

THE DRAWINGS, DESIGNS, PLANS, SPECIFICATIONS, AND ALL WORKS AND CONTENT DISPLAYED, CONTAINED, OR REPRESENTED HEREIN ARE THE SOLE AND EXCLUSIVE PROPERTY OF NEWMAN ARCHITECTS, P.C.
2022 NEWMAN ARCHITECTS P.C. ALL RIGHTS RESERVED.

NOT FOR CONSTRUCTION

CLIENT
AVRAHAM MEHL
34 CONNECTICUT BLVD.
EAST HARTFORD, CT 06108
860.222.7131 ext. 120
PRINCIPAL CONTACT

CIVIL ENGINEER
KRATZERT, JONES & ASSOCIATES INC
1755 MERIDEN-WATERBURY TPK,
SOUTHINGTON, CT, 06489
(860) 621-3638
EMAIL: INFO@KRATZERTJONES.COM

STRUCTURAL ENGINEER
THORNTON TOMASATTI
10 N MAIN STREET, SUIT 307
WEST HARTFORD, CT, 06107
(212) 367-2750

M.E.P + F.P
CONSULTING ENGINEERING SERVICES
811 MIDDLE STREET
MIDDLETOWN, CT, 06457
(860) 632-1682

ONE INCH | TWO INCH
INCHES ON ORIGINAL

PHASE:
P&Z SET / PERMIT SET

REVISIONS

NO	DATE	DESCRIPTION

PROJECT NAME:
96 WEST STREET

PROJECT ADDRESS:
96 WEST STREET
VERNON, CT 06066

PROJECT NUMBER:
20210044

DRAWING TITLE:
DETAIL SHEET & SITE NOTES

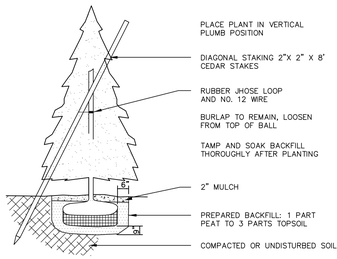
SCALE: *SCALE: 1" = 20'*
DRAWN BY: **KJA**
DATE: **08/29/2022**
CHECKED BY: **JS**

DRAWING NUMBER:
KJA FILE NO. : *222-016* *D-1*

M:\22\222016 vernon\dwg\96 WEST STREET 12&CB.dwg
A-0001 D-1 (1)
DATE: Aug 30, 2022 - 11:32am

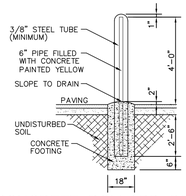
NOT ALL DETAILS APPLY

CONIFEROUS TREE PLANTING
N.T.S.

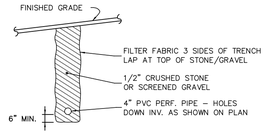


PLANTING LIST SYMBOL	QUAN.	NAME	SIZE
AR	2	ARBOR VITAE	5'-6'
BS	3	BLUE SPRUCE	5'-6'

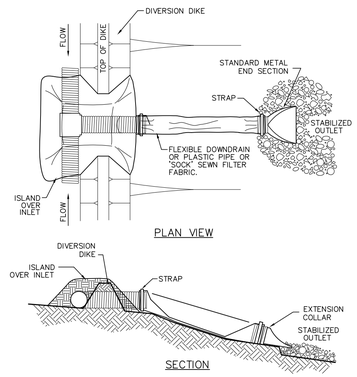
CONCRETE BOLLARD DETAIL
N.T.S.



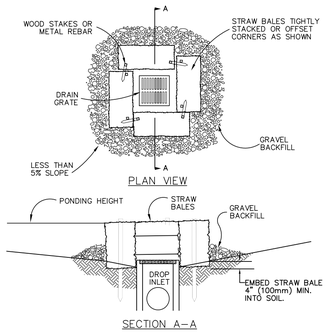
CURTAIN DRAIN DETAIL
N.T.S.



SLOPE DRAIN
N.T.S

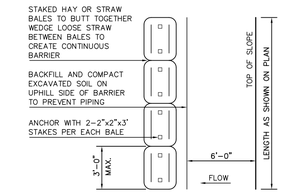


STRAW BALE/GRAVEL DROP INLET SEDIMENT BARRIER
N.T.S.

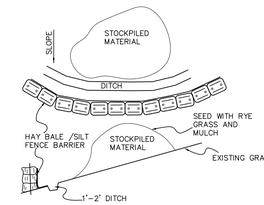


NOTES:
1. DROP INLET SEDIMENT BARRIERS ARE TO BE USED FOR SMALL, NEARLY LEVEL DRAINAGE AREAS. (LESS THAN 5%)
2. EMBED THE BALES 4" (100mm) INTO THE SOIL AND OFFSET CORNERS OR PLACE BALES WITH ENDS TIGHTLY ABUTING. GRAVEL BACKFILL WILL PREVENT EROSION OR FLOW AROUND THE BALES.
3. THE TOP OF THE STRUCTURE (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BYPASSING THE INLET. EXCAVATION OF A BASIN ADJACENT TO THE DROP INLET OR A TEMPORARY DIKE ON THE DOWNSLOPE OF THE STRUCTURE MAY BE NECESSARY.

EROSION CONTROL CHECK –PLAN VIEW
N.T.S.



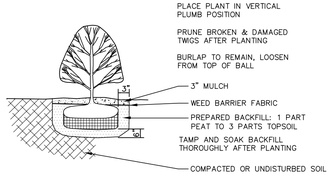
EROSION CONTROL FOR STOCKPILED MATERIAL
N.T.S.



James N. Sakonchick
CT P.E. & L.S. #11302

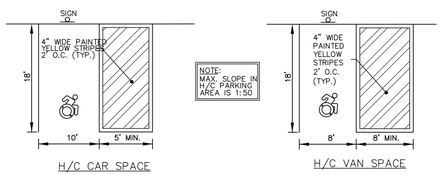
REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

SHRUB PLANTINGS
N.T.S.



PLANTING LIST SYMBOL	QUAN.	NAME	SIZE
Az	10	Az WHITE GUMPO AZALEA *Azalea 'Gumpo Rose'* 4" full height spread at 10 yr maturity –full sun /shade	12"–15"
Rh	10	Rh RHODODENDRON GRANDIFLORUM *Rhododendron catawbiense* 6' full height spread at 10 yr maturity–full sun /shade	15"–18"
BX	10	GREEN GEM BOXWOOD *BUXUS X 'GREEN GEM'* 4" full height spread at 10 yr maturity– full sun /shade	3"–4'

HANDICAPPED PARKING DETAIL
N.T.S.



H/C CAR SPACE

H/C VAN SPACE

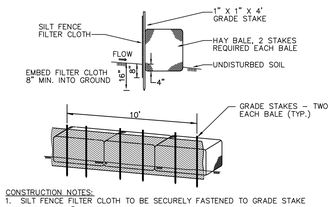
SIGN – PER STATE LAW

12"X24" BLUE ON WHITE — RESERVED PARKING PERMIT REQUIRED

	REGULATORY
NO ARROW	31–0629(P)
→	31–0629(R)
↔	31–0629(D)
←	31–0629(L)

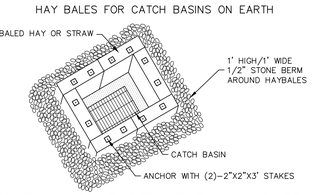
http://www.ct.gov/dot/lib/dot/documents/dtrafficdesign/Catalog_of_Signs.pdf

HAYBALE–SILT FENCE EROSION PROTECTION
N.T.S.

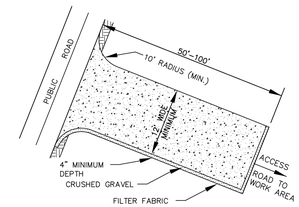


CONSTRUCTION NOTES:
1. SILT FENCE FILTER CLOTH TO BE SECURELY FASTENED TO GRADE STAKE WITH STAPLES, 6" ON CENTER.
2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN ONE ANOTHER THEY SHALL OVERLAP BY 6" AND BE FOLDED.
3. BALES SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.

STONE HAYBALE SEDIMENTATION BARRIER
N.T.S.

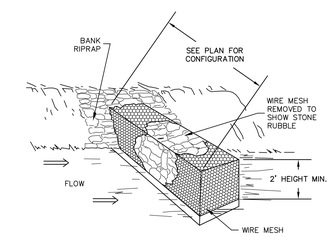


CONSTRUCTION ENTRANCE DETAIL
N.T.S.

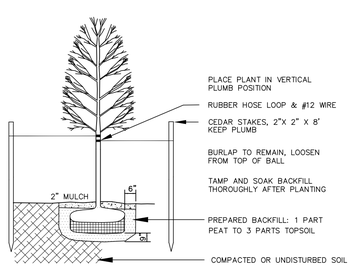


NOTES:
– STRIP GROUND, REMOVE TOP SOIL AND ORGANICS PRIOR TO STONE PLACEMENT
– CRUSHED GRAVEL GRADATION SHALL BE DOT NO.3 OR ASTM C–33 NO. 3

GABION–RIP RAP FILLED
N.T.S.



DECIDUOUS TREE PLANTINGS
N.T.S.

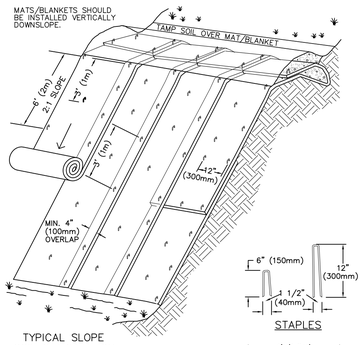


PLANTING LIST SYMBOL	QUAN.	NAME	SIZE
AR	4	ACER RUBRUM (RED MAPLE) BAGGED AND BURLAP	2.5" CALIPER
MF	3	MALUS JAPANESE FLOWERING CRABAPPLE	8' HEIGHT
PCN	4	PRUNUS CERASIFERA NEWPORT PLUM	8 FT HEIGHT
QP	4	QUERCUS PALUSTRIS PIN OAK	2.5" CALIPER

LANDSCAPE NOTES

1. ALL PLANTS SHALL BE OF FIRST CLASS QUALITY AND SHALL MEET THE REQUIREMENTS OF THE PLANT LIST. PLANTS SHALL BE SUBJECT TO INSPECTION AND REJECTION BY THE OWNER AND/OR LANDSCAPE ARCHITECT. NO SUBSTITUTIONS SHALL BE ALLOWED UNLESS APPROVED.
2. SHRUBS SHALL BE SET IN BEDS WITH TOPSOIL 12" BELOW AND AROUND EACH SHRUB. SET SHRUBS UPRIGHT IN CENTER OF EACH PIT AND AT A DEPTH SO THAT THE FINISHED GRADE IS LEVEL AT THE PLANT. AFTER SETTLEMENT THE GRADE WILL BE THE SAME AS THE GENERAL LEVEL OF THE PLANT BED AND AT THE HEIGHT AS WHEN GROWING. WATER, BACKFILL, PUDDLE AND TAMP IN THE ACCEPTED APPROVED MANNER TO COMPLETE PLANTING. SHAPE AND PRUNE OUT ALL DEAD TWIGS.
3. INSTALL SHREDDED BARK MULCH AND STONE MULCH TO DEPTH OF 3". STONE MULCH TO BE USED IN ALL ISLANDS. MULCH TO BE APPROVED BEFORE INSTALLATION.
4. BARE AND DISTURBED AREAS SHALL BE SEEDED, IF NOT NOTED FOR TURF. PREPARE, SCARIFY AND APPLY SEED IN APPROVED MANNOR.

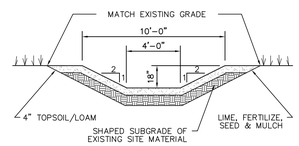
EROSION BLANKETS & TURF REINFORCEMENT MATS SLOPE INSTALLATION
N.T.S.



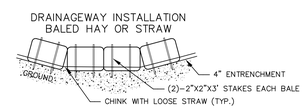
TYPICAL SLOPE SOIL STABLIZATION

NOTES:
1. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS/ BLANKETS SHALL HAVE GOOD SOIL CONTACT.
2. APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
3. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.

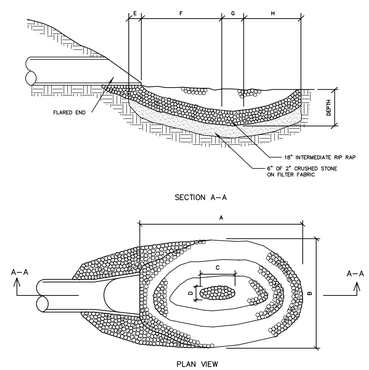
GRASSED SWALE DETAIL
N.T.S.



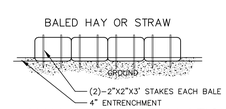
HAY BALE INSTALLATION SEDIMENTATION BARRIER INSTALLATION
N.T.S.



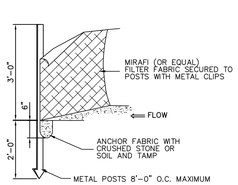
RIP–RAP PLUNGE POOL DETAIL
N.T.S.



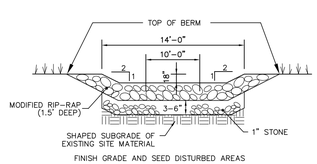
HAY BALE INSTALLATION GENERAL INSTALLATION SEDIMENTATION BARRIER INSTALLATION
N.T.S.



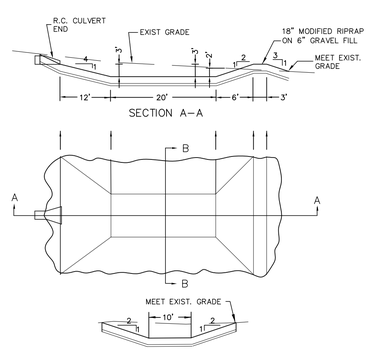
SILT FENCE DETAIL
N.T.S.



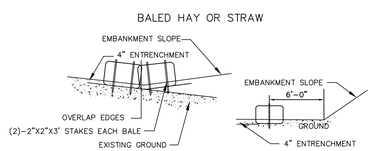
RIP–RAP SPILLWAY DETAIL
N.T.S.



SEDIMENT TRAP DETAIL
N.T.S.



HAY BALE INSTALLATION SEDIMENTATION BARRIER INSTALLATION
N.T.S.



PIPE SIZE	A	B	C	D	E	F	G	H	WT. RIP RAP (TONS)	DEPTH
15"	10'	7'	1.5'	1'	1'	4.5'	1.5'	3'	6	1'–0"
18"	12'	8'	2'	1'	1'	5'	2'	4'	8	1'–4"
21"	15'	9'	2.5'	1.5'	1'	7'	2.5'	4.5'	12	1'–6"
24"	17'	10'	2.5'	1.5'	1'	8'	2.5'	5.5'	15	1'–10"
27" & 30"	20'	13'	3'	2'	2'	9'	3'	6'	22	2'–0"
36"	24'	16'	3.5'	2'	2'	9.5'	3.5'	7'	33	2'–4"

NEWMAN ARCHITECTS, PC
300 York Street, New Haven, CT 06511
203.772.1990 Fax 203.772.1997
www.newmanarchitects.com

THE DRAWINGS, DESIGNS, PLANS, SPECIFICATIONS, AND ALL WORKS AND CONTENT DISPLAYED, CONTAINED, OR REPRESENTED HEREIN ARE THE SOLE AND EXCLUSIVE PROPERTY OF NEWMAN ARCHITECTS, P.C. 2022 NEWMAN ARCHITECTS P.C. ALL RIGHTS RESERVED.

NOT FOR CONSTRUCTION

CLIENT
AVRAHAM MEHL
34 CONNECTICUT BLVD.
EAST HARTFORD, CT 06108
860.222.7131 ext. 120
PRINCIPAL CONTACT

CIVIL ENGINEER
KRATZERT, JONES & ASSOCIATES INC
1755 MERIDEN-WATERBURY TPK,
SOUTHINGTON, CT, 06489
(860) 621-3638
EMAIL: INFO@KRATZERTJONES.COM

STRUCTURAL ENGINEER
THORNTON TOMASATTI
10 N MAIN STREET, SUIT 307
WEST HARTFORD, CT, 06107
(212) 367-2750

M.E.P + F.P
CONSULTING ENGINEERING SERVICES
811 MIDDLE STREET
MIDDLETOWN, CT, 06457
(860) 632-1682

ONE INCH | TWO INCH
INCHES ON ORIGINAL

PHASE:
P&Z SET / PERMIT SET

REVISIONS

NO	DATE	DESCRIPTION

PROJECT NAME:
96 WEST STREET

PROJECT ADDRESS:
96 WEST STREET
VERNON, CT 06066

PROJECT NUMBER:
20210044

DRAWING TITLE:
DETAIL SHEET 2

SCALE: *SCALE: 1" = 20'*
DRAWN BY: **KJA**
DATE: **08/29/2022**
CHECKED BY: **JS**

DRAWING NUMBER:
KJA FILE NO. :
222-016 D-2

M:\22\222016_vernon\dwg\96 WEST STREET (2)(R).dwg
LAYOUT: D-2 (N) DATE: Aug 30, 2022 - 12:53pm

LID CHECKLIST

Applicants must complete and submit the following checklist with the application.

Date: 042 **Project:** 96 WEST STREET APARTMENT CONVERSION

Conformance with the following criteria shall be initialed in the spaces provided below by a Connecticut Registered Professional Engineer, Land Surveyor, or Certified Soils Scientist as appropriate. If conditions cannot be met comments addressing each item should be provided by the applicant in the space provided below. Comments will be reviewed with Town Staff at the scheduled Development Staff Meeting and documented.

Item	Description	Verified	Comments
1	An Existing Conditions Plan is provided documenting sensitive natural resources including but not limited to existing wetlands (as designated by a Certified Soils Scientist in Connecticut), streams, ponds, vernal pools, flood zones, stream channel encroachment lines, soil types and infiltration rates, wells, tree lines, property boundaries, and other items that may be requested by the Town.	YES	00008
2	Utilizing the Existing Conditions Plan as a guide, development has been located to maximize preservation of contiguous natural sensitive areas.	YES	2467
3	Proposed site developments for residential or two family dwellings on more than one individual parcel, all commercial, industrial, and retail developments have been guided by the applicable requirements of the Town's Low Impact Development Stormwater Quality Manual and the Connecticut Storm Water Quality Manual.	YES	265
4	Bioretention Basins or Rain Gardens have been incorporated within yards, median strips, cul-de-sacs islands, and parking lot islands.	YES	X

Date: 8-29-2022 **Project:** 96 WEST STREET APARTMENT CONVERSION

Conformance with the following criteria shall be initialed in the spaces provided below by a Connecticut Registered Professional Engineer, Land Surveyor, or Certified Soils Scientist as appropriate. If conditions cannot be met comments addressing each item should be provided below. Comments will be reviewed with Town Staff at the scheduled development staff meeting and documented.

Item	Description	Verified	Comments
5	Dry Wells have been incorporated into the design to control roof and pavement runoff.	YES	
6	Permeable (Porous) Pavement has been incorporated into areas of low traffic, parking lots, residential and light commercial use driveways, walkways, bike paths, etc.	YES	
7	Natural areas including woodlands, regulated wetland areas, naturally vegetated areas have been preserved/ and or replicated to the maximum extent practical.	YES	
8	Post Development stormwater runoff is at or less than the predevelopment runoff.	YES	PRD
9	Stormwater infiltration has been provided by the use of underground storage units, devices, and/or infiltration swales/trenches.	YES	
10	Level spreaders/vegetation have been provided at storm drainage outfalls to enhance water quality and mitigate erosion.	YES	BY STONE STRIP

Date: 8-29-2022 **Project:** 96 WEST STREET APARTMENT CONVERSION

Conformance with the following criteria shall be initialed in the spaces provided below by a Connecticut Registered Professional Engineer, Land Surveyor, or Certified Soils Scientist as appropriate. If conditions cannot be met comments addressing each item should be provided below. Comments will be reviewed with Town Staff at the scheduled development staff meeting and documented.

Item	Description	Verified	Comments
11	On-Site retention/detention facilities have been provided to address water quality and storm water runoff.	YES	BY STONE STRIP AND GALLEYS AT EDGE PARKING LOT
12	Rain Barrels, cisterns, and/or other rainwater harvesting techniques to reuse rainwater for irrigation and other non-potable uses are incorporated into the design.	NO	NOT USEFUL FOR APARTMENTS
13	An Erosion and Sedimentation Control Plan conforming to the Standards of the Connecticut Guidelines for Soil Erosion and Sediment Control is included in the design.	YES	PER PLAN
14	A yearly maintenance plan of all components of best management practices associated with storm water management has been provided.	YES	
15	Impervious area percentages for pre and post development have been provided.	YES	ATTEMPTED BALANCE EX/PROP IMPERVOUS BY AREA&INFIL
16	When conflicts exist between the Town's Low Impact Development Stormwater Quality Manual and the Connecticut Storm Water Quality Manual the State Manual shall govern.	OK	

POST CONSTRUCTION STORMWATER MAINTENANCE

Thursday, April 07, 2022

Stormwater System
Operations and Maintenance Plan
For the Proposed:
Apartment Development
Located at:
96 West St.
Vernon, Connecticut
Prepared for Submission to:
City of Vernon, Connecticut

PREPARED BY JAMES SAKONCHICK PE 11302
KRATZERT, JONES & ASSOC. INC.
MILLDALE CT 06467-0337
SAKONCHICK@KRATZERTJONES.COM
KJA JOB 222016

James Sakonchick

Site Improvements

The proposed site improvements will include a reuse of the existing building for an partial apartment conversion. The site will have these buildings, updated paved parking areas, landscaped areas, site utilities and lighting, and a stormwater infiltration stone and galley area. Reference is made to the plans for the site development. The full size versions of these plans are available at Kratzert, Jones & Associates KJA who will be happy to supply replacement copies if the on site copies are misplaced.

The proposed stormwater management system is designed to be in compliance with the Town of Vernon Low Impact Design requirements, the 2002 State of Connecticut Guidelines for Soil Erosion and Sediment Control, and the 2004 State of Connecticut Stormwater Quality Manual. The design will function to mitigate peak flows from the site.

Required Stormwater Maintenance.

The following Operations and Maintenance Plan was prepared specifically for this proposed development in the City of Vernon, Connecticut. The Plan was developed to satisfy the requirements of the Connecticut Department of Energy and Environmental Protection's 2002 Connecticut Guidelines for Soil Erosion and Sediment Control.

The Property Owner will be responsible for implementing the Plan on the property. Maintenance inspections shall be performed by qualified persons. KJA can provide training if desired.

Maintenance Logs and Checklists
The property owner will keep a record of all maintenance procedures performed, date of inspection/ cleanings, etc. Copies of inspection reports and maintenance records shall be kept on-site.
The following record will be developed for annual maintenance. Copies of the records will be kept on-site or with the management company as part of the Storm Water Management Plan.

• Annual record of maintenance which may be invoices or bills paid.

Spill Control
In addition to the good housekeeping and material management practices discussed in the previous sections of this plan, the following practices will be followed for spill prevention and

clean-up:
• Manufacturer's recommended methods for spill clean-up will be clearly posted and site personnel will be made aware of the procedures and the location of the information and clean-up supplies.
• Materials and equipment necessary for spill clean-up will be kept in the material storage area on-site. Equipment and materials will include but not be limited to: absorbent booms or mats, brooms, dust pans, mops, rags, gloves, goggles, sand, and plastic and metal trash containers specifically for this purpose.
• All spills will be cleaned immediately after discovery.
• The spill area will be kept well-ventilated and personnel will wear appropriate protective clothing to prevent injury from contact with hazardous substance.
• Spills of toxic or hazardous material, regardless of size, will be reported to the appropriate State or local government agency.
• If a spill occurs, this plan will be adjusted to include measures to prevent this type of spill from reoccurring and how to clean the spill if there is another one. A description of the spill, the cause, and the remediation measures will also be included.

A spill report shall be prepared by the property owner following each occurrence. The spill report shall present a description of the release, including quantity and type of material, date of spill, circumstances leading to the release, location of spill, response actions and personnel, documentation of notifications and corrective measures implemented to prevent reoccurrence.

The property owner shall identify an appropriately qualified and trained site employee involved with day-to-day site operations to be the spill prevention and clean-up coordinator. The name(s) of responsible spill personnel shall be posted on-site. Each employee shall be instructed that all spills are to be reported to the spill prevention and clean-up coordinator.

SUGGESTED KIT TO KEEP ON SITE IN OFFICE: (OTHER INEXPENSIVE KITS AVAILABLE ALSO)

Screen clipping taken: 4/7/2022, 5:02 PM

Roll over image to zoom in

SpillTech SPKU-10 Universal 10-Gallon Spill Kit

Visit the SpillTech Store

$118.75

- Package dimensions:18.542 cms(L) x33.782 cms(W) x44.45 cms(H)
- Package quantity: 1
- Product Type: JANITORIAL SUPPLY
- Country Of origin: United States

Specifications for this item

Brand Name	SpillTech
Color	Yellow
Ean	0818502025205 , 0818502020187
Item Weight	11.10 pounds
Material	HAWA
Model Number	SPKU-10
Number of Items	1
Part Number	SPKU-10

Screen clipping taken: 4/7/2022, 5:00 PM

ALTERNATIVES:

SpillTech Universal Overpack Salvage Drum Spill Kit, 20 Gallon, 43 Pieces (SPKU-20)
21
$144.75
FREE delivery: **April 12 - 15**

Stardust Quick Response II Spill Kit 2-Pack. Each Pack Includes: Yellow Duffle, 15 ...
94
$87.90
FREE delivery: **April 12 - 15**

AWF PRO Portable Sorbent Universal Spill Kit, 32 Pieces: Perfect for Truckers, Rest...
36
$78.79 prime
FREE delivery: **Monday, April 11**

SpillTech Refill for Universal 50-Gallon Spill Kit, 127 Pieces (RSPKU-50)
$144.75
FREE delivery: **April 12 - 15**

Storm Water Management
System Components
PARKING LOT SHEET RUNOFF ONTO 6 FT STONE BED WITH 10 -8 FOOT GALLEYS FOR INFILTRATION.
The property owner is responsible for cleaning the surface stones and to visually inspect the galleys on the property. If galleys are clogged, a Connecticut Licensed hauler shall clean the galleys, and dispose of removed sand legally. The road sand may be reused for winter sanding, but may not be stored on-site. As part of the hauling contract, the hauler shall notify the property owner in writing where the material is being disposed. **Note - be careful not to blow grass clippings on stone bed but blow debris off of bed.** The Galleys shall be inspected during the month of April. Any debris occurring shall be removed by Vacuum "Vactor" type of maintenance equipment.

Parking Lots
Parking lots and sidewalks shall be swept as necessary by the property owner, or at least once per year, to clean sediment, trash, and other debris. The property owner will sweep parking lots on the property in the spring to remove winter accumulations of road sand.

Landscaping
The management company retained by the property owner will maintain landscaped areas. Normally the landscaping maintenance will consist of pruning, mulching, planting, mowing lawns, raking leaves, etc. Note - be careful not to blow grass clippings on stone bed but blow debris off of bed. Use of fertilizers and pesticides will be controlled and limited to minimal amounts necessary for healthy landscape maintenance.

The lawn areas, once established, will be maintained at a typical height of 3". This will allow the grass to be maintained with minimal impact from weeds and/or pests. The low maintenance areas will be maintained as a meadow or allowed to revert back to natural conditions.

Outdoor Storage
There will be no outdoor storage of hazardous chemicals, de-icing agents, fertilizer, pesticides, or herbicides anywhere around the buildings.
Deicing and Snow Removal & Storage
The use of clean sand may be used to aid traction in conjunction with salt and/or chemicals for deicing, snow melting and other related winter weather management. Snow shall be shoveled and plowed from sidewalk and parking areas as soon as practical during and after winter storms. Sand accumulation shall be removed from the site at the end of the winter season or appropriate time when seasonal snow has melted.

Kratzert, Jones & Associates, Inc.
1755 Meriden-Waterbury Road - P.O. Box #337
Milldale, CT 06467-0337
860-621-3638 621-9609FAX sakonchick@kratzertjones.com

8/29/2022

TRAFFIC IMPACT STATEMENT
CONVERSION OF PORTION OF EXISTING BUILDING TO 6 APARTMENTS
96 WEST STREET
VERNON, CT

EXISTING EXPECTED TRAFFIC

THE PRESENT 8,645 BUILDING WOULD GENERATE EXITING TRAFFIC.
CERTAIN HISTORIC USES OF THIS BUILDING WOULD GENERATE TRAFFIC SIMILAR TO THE AMOUNT GENERATED BY CONVERSION OF PART OF BUILDING TO APARTMENTS.

EXPECTED TRAFFIC GENERATION BY APARTMENTS.

AT RUSH HOUR APARTMENTS GENERATE ABOUT ONE VEHICLE TRIP PER HOUR.
SIX APARTMENTS WOULD GENERATE 6 TRIPS.
THIS IS LESS THAN THE AVERAGE VARIATION IN TRAFFIC ON WEST STREET DURING RUSH HOUR.

CONSEQUENTLY, THIS CONVERSION TO APARTMENTS WOULD HAVE NO IMPACT.

James Sakonchick

JAMES SAKONCHICK PE #11302

22-0042-0008B	SUNSET WEST LLC	C/O DAYSHA JAMES	34 CONNECTICUT BLVD	EAST HARTFORD	CT	6108
22-0042-0001C	NEW PARK WEST LIMITED PARTNERSHIP		95 BERKELEY ST STE 500	BOSTON	MA	2116
22-0043-00005	100 WEST LLC		619 EASTERN PKWY	BROOKLYN	NY	11213
22-0042-00008	SUNSET WEST LLC		34 CONNECTICUT BLVD	EAST HARTFORD	CT	6108
22-0038-00044	NEW PARK WEST LIMITED PARTNERSHIP		95 BERKELEY ST STE 500	BOSTON	MA	2116
22-0049-00005	PARVEZ SHAFIQ		93 WEST ST 1ST FLOOR	VERNON	CT	6066
22-0048-00001	101 WEST ST LLC		101 WEST ST	VERNON	CT	6066
22-0048-00002	PATEL PRATIK & MEMA GRAMOZ		35 FELDSPAR	GLASTONBURY	CT	6033
22-0049-00007	VERNON TOWN OF		14 PARK PLACE	VERNON	CT	06066-3291
11-RROW-00000	CONNECTICUT STATE OF	C/O PROPERTY MANAGEMENT	24 WOLCOTT HILL RD	WETHERSFIELD	CT	06109-1152
07-0024-0012A	VERNON TOWN OF	ABANDONED R R	14 PARK PLACE	VERNON	CT	6066
null	null	null	null	null	null	null

STAFF COMMENTS

North Central District Health Department

- Enfield—31 North Main Street, Enfield, CT 06082 * (860) 745-0383 Fax (860) 745-3188
- Vernon—375 Hartford Turnpike, Room 120, Vernon, CT 06066 * (860) 872-1501 Fax (860) 872 1531
- Windham—Town Hall, 979 Main Street, Willimantic, CT 06226 * (860) 465-3033 Fax (860) 465-3034
- Stafford—Town Hall, 1 Main Street, Stafford Springs, CT 06076 * (860) 684-5609 Fax (860) 684-1768

Patrice A. Sulik, MPH, R.S.
Director of Health

September 7, 2022

Ms. Ashley Stephens
Vernon Town Planner
55 West Main Street
Vernon, Connecticut 06066

Re: Planning & Zoning Commission Application – Up Realty LLC
96 West Street
Vernon, Connecticut

Dear Ashley:

I am writing regarding the Planning & Zoning Commission Application at the above referenced address.

North Central District Health Department (NCDHD) has the following comments regarding the proposed site plans:

- Public Water and Public Sewer are available for this property. Any building(s) with plumbing shall connect to these utilities.
    - In the case that public sewers will not be available for this property for whatever reason(s), the NCDHD must be contacted.
- Asbestos may be present in materials such as thermal systems insulation, flooring, plaster, wallboard, siding, roofing, and other materials. Residential structures with 5 or more units must be inspected by an asbestos consultant **before** renovation or demolition is started, to determine if asbestos is present.
    - If a facility is structurally sound, all asbestos-containing material must be abated prior to demolition;
    - Asbestos abatement involving more than 3 linear feet or more than 3 square feet must be performed by a Connecticut licensed asbestos contractor;
    - A notification must be submitted to the Connecticut Department of Public Health (CT DPH) whenever more than 10 linear or 25 square feet of asbestos will be disturbed;
    - A demolition notification be submitted to the CT DPH for **any** structure that is demolished.
    - Asbestos is regulated as a "special waste," and cannot be disposed of with

regular trash.

- Due to the age of the existing structures on the property, there is a chance that lead-based paint may be present. When lead-based paint is disturbed during renovation, repair or painting activities, dangerous amounts of lead dust can be created which poses a health risk for children under the age of 6.
    - EPA's Lead Renovation, Repair and Painting (RRP) Rule requires that firms performing renovation, repair and painting projects that disturb lead-based paint in homes built before 1978 be certified by EPA (or an EPA-authorized state), use certified renovators who are trained by EPA-approved training providers and follow lead-safe work practices.
- Sandblasting creates large amounts of dust that may present a safety hazard both to the workers performing the sandblasting, and to any occupants of the structure and neighboring properties. This is particularly a concern if lead-based paint or asbestos is present.
    - Dust emissions must be controlled (e.g., with water misting) if any sandblasting is to be done to ensure that any lead dust and/or asbestos do not cross any property lines and affect neighboring apartment complexes.
- Any dumpsters shall reside on a concrete surface or a similar surface.

Should anyone have any additional questions regarding this matter, I am reachable via email at bbielawiec@ncdhd.org. You can also call me at the NCDHD office at 860-745-0383, extension 114.

Sincerely,

Brian Bielawiec
Registered Sanitarian

TOWN OF VERNON

55 West Main St., VERNON, CT 06066-3291
(860) 870-3640
Astephens@vernon-ct.gov

OFFICE OF THE
TOWN PLANNER

MEMORANDUM

TO: Planning & Zoning Commission

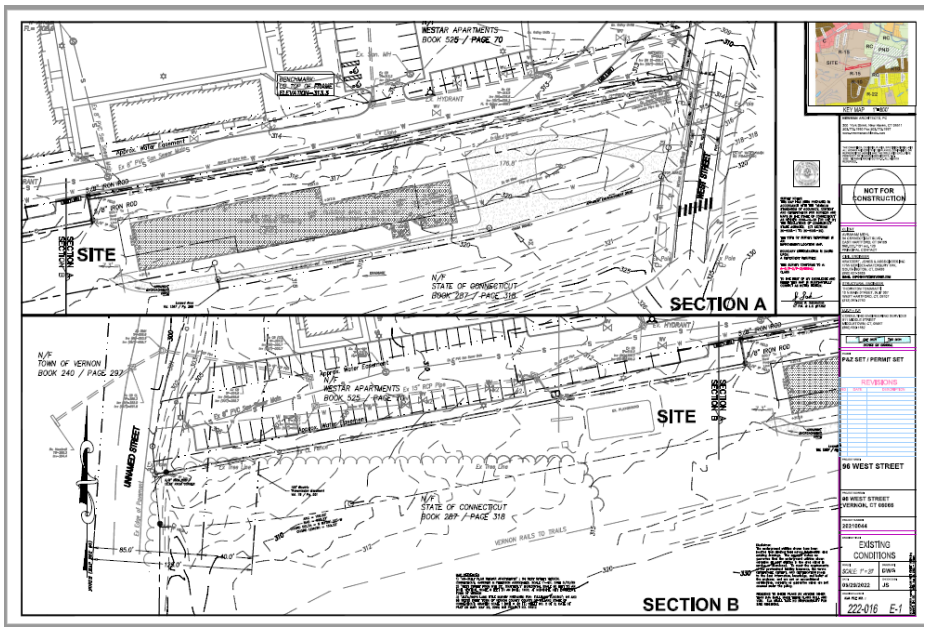
FROM: Ashley Stephens, Town Planner

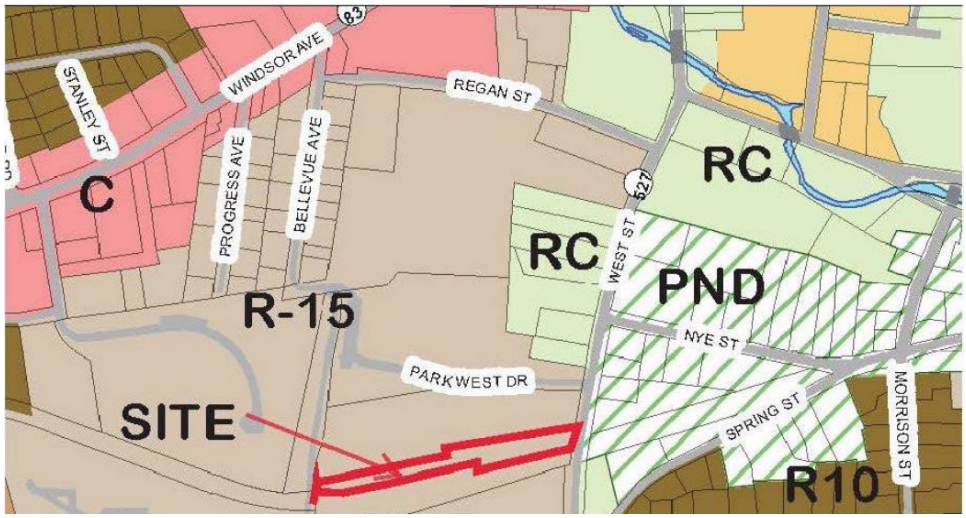
SUBJECT: PZ 2022-14- 96 West St

DATE: September 15, 2022

REQUEST

PZ-2022-14, 96 West Street. An application of Gershon Eichorn (Up Realty, LLC.) for a Site Plan and Special Permit to conduct adaptive reuse creating six (6) residential units at 96 West Street. (Tax Map 22, Block 42, Parcels 08). The Special Permit request includes Section 4.7.4.8 (Multi-family dwellings). The property is zoned Planned Residential Development.





Site Location

SUMMARY

The applicant proposes to reuse this building to create 6 residential units. This will involve demoing the existing interiors, and make site and façade improvements. Access to the site will be provided via the existing curb cut off of West St. The property will provide 13 parking spaces for employees and customers. The applicant submitted an application with a site plan set, drainage plan, LID Checklist, traffic statement, photometric calculation and architectural elevations, all included in the agenda packet.

STAFF REVIEWS:
Traffic Authority: This application is not proposing to create new curb cuts so it did not need to go before the commission.

Design Review Commission: The Design Review Committee ---meeting on 9/7

Conservation: Not needed.

Town Engineer: The engineer has several concerns with the plans being difficult to follow.

Building Official: Plans needs to show the proposed use of the rear half of the building that will be mixed with the proposed residential use.

Fire Marshal: Has concerns about the drawing marked North Elevation. It lists an Existing structure which does not say what it is used for and its fire separation from the building.

Wetlands Commission: There are no wetlands on the property.

Zoning Enforcement: Plans needs to show the proposed use of the rear half of the building that will be mixed with the proposed residential use.

Health Department: The North Central District Health Department (NCDHD) has reviewed the application and provided the following comments:

- There may be asbestos present and the structure will need to be inspected before renovations or demolition is started.

- There is a chance lead-based paint is present, if there is, EPA protocols need to be followed.
- Dust from sandblasting will need to be controls.

Town Planner Summary:

We are waiting for further clarification with the use for the rear of the building. We have been in contact with the applicant who is working with the owner to decide on what use would make the most sense for the project. I will provide a final review either before or at the meeting.

Crown Castle
3 Corporate Park Drive, Suite 101
Clifton Park, NY 12065

September 22, 2022

Melanie A. Bachman
Executive Director
Connecticut Siting Council
10 Franklin Square
New Britain, CT 06051

RE: **Notice of Exempt Modification for T-Mobile: CT11711A**
Crown Site#806377
197 South Street, Vernon, CT 06066
Latitude: 41° 51′ 12.51″ / Longitude: -72° 27′ 7.52″

Dear Ms. Bachman:

T-Mobile currently maintains nine (9) antennas at the 84' level of the 132' self-support tower located at 197 South Street, Vernon, CT. T-Mobile to remove all their equipment at the 84' level of the tower. T-Mobile to remove Sprint antenna equipment at the 130' level of the tower and replace with nine (9) new antennas and ancillary equipment. The property and tower are owned by Crown Castle. This modification/proposal includes hardware that is both 4G (LTE) and 5G capable through remote software configuration and either or both services may be turned on or off at various times.

Panned Modification:

Tower:

Installed @130'-0"

(3) Ericsson – AIR6419 B41 Antennas
(3) RFS APXVAALL24_43-U-NA20 Antennas
(3) Commscope – W-65B-R1 Antennas
(3) Ericsson-Radio 4480_B71+B85 RRH
(3) Ericsson- 4460 B25+B66 RRH
(3) Hybrid Cable (1-5/8")
(3) Valmont Antenna Mounts

Remove: @130'-0"

(3) RFS-APXVSPP18-C-A20 Antenna
(3) RFS- APXVTM14-C-120 Antennas
(3) Alcatel Lucent -TD-RRH8x20-25 RRH
(3) Alcatel Lucent -1900 MHZ RRH
(3) Alcatel Lucent -800MHZ RRH
(3) Antenna Mounts

Remove all T-Mobile Equipment at the 84'-0" level

(3) RFS APXVAALL24_43-U-NA20 Antennas
(3) Ericsson Air32 KRD901146-1_B66A_B2A
(3) Ericsson Air21 KRC118023-1_B2A_B4P
(3) Ericsson-Radio 4449_B71+B85 RRH
(3) Generic Twin Style 1B – AWS TMAs
(10) Coxial Cables 7/8"
(3) Hybrid Cables
(3) Sector Antenna Mounts

Ground:

Install New:

(1) 6160 Cabinet
(1.) B160 Battery Cabinet
(1) RP 6651
(2) PSU 4813 vR2A
(1) CRS IXRc V2
(1.) AAV Cabinet

Remove:

(1) S12000 ODE Cabinet
(2.) DUW30
(6) RU22

[illegible]

Please accept this letter as notification pursuant to Regulations of Connecticut State Agencies §16-50j-73, for construction that constitutes an exempt modification pursuant to R.C.S.A. § 16-50j-72(b)(2). In accordance with R.C.S.A. § 16-50j-73, a copy of this letter is being sent Daniel Champagne, Mayor, Town of Vernon and Ashley Stephens, Town Planner, Town of Vernon. Crown Castle is the property and tower owner.

1. The proposed modifications will not result in an increase in the height of the existing tower.

2. The proposed modifications will not require the extension of the site boundary.

3. The proposed modification will not increase noise levels at the facility by six decibels or more, or to levels that exceed state and local criteria.

4. The operation of the replacement antennas will not increase radio frequency emissions at the facility to a level at or above the Federal Communication Commission safety standard.

5. The proposed modifications will not cause a change or alteration in the physical or environmental characteristics of the site.

6. The existing structure and its foundation can support the proposed loading.

For the foregoing reasons, T-Mobile respectfully submits that the proposed modifications to the above-reference telecommunications facility constitutes an exempt modification under R.C.S.A. § 16-50j-72(b)(2). Please send approval/rejection letter to Attn: Jeffrey Barbadora.

Sincerely,

Jeffrey Barbadora
Site Acquisition Specialist
1800 W. Park Drive, STE 250
Westborough, MA 01581
(781) 970-0053
Jeff.Barbadora@crowncastle.com

Attachments
cc:

Daniel Champagne, Mayor
Town of Vernon
14 Park Place
Vernon, CT 06066
860-870-3670

Ashley Stephens, Town Planner
Town of Vernon
55 West Main Street, 2nd Floor
Vernon, CT 06066
860-870-3640

Crown Castle, Property & Tower Owner