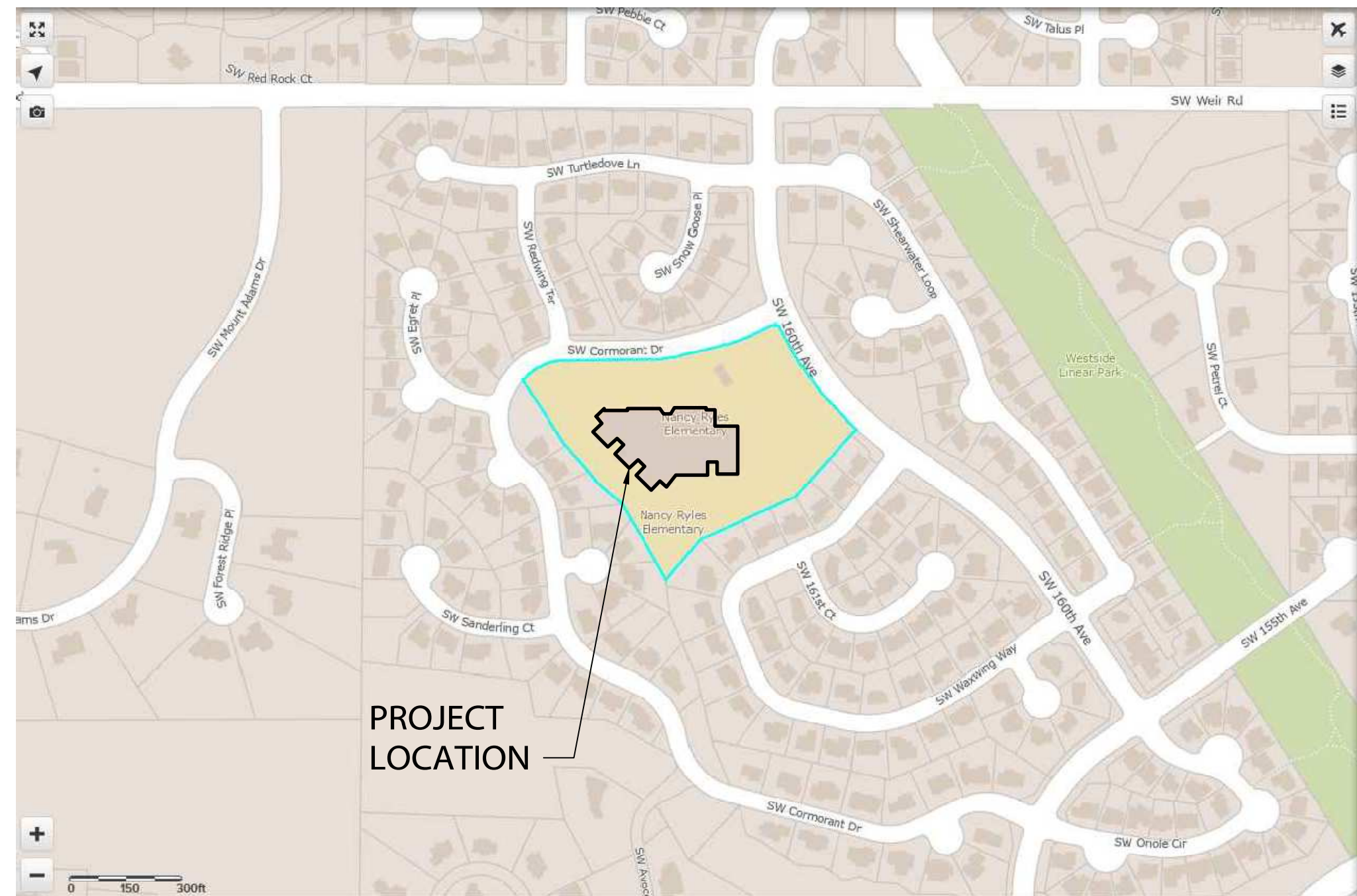


ROOFING REPLACEMENT  
BEAVERTON SCHOOL DISTRICT  
NANCY RYLES ELEMENTARY SCHOOL

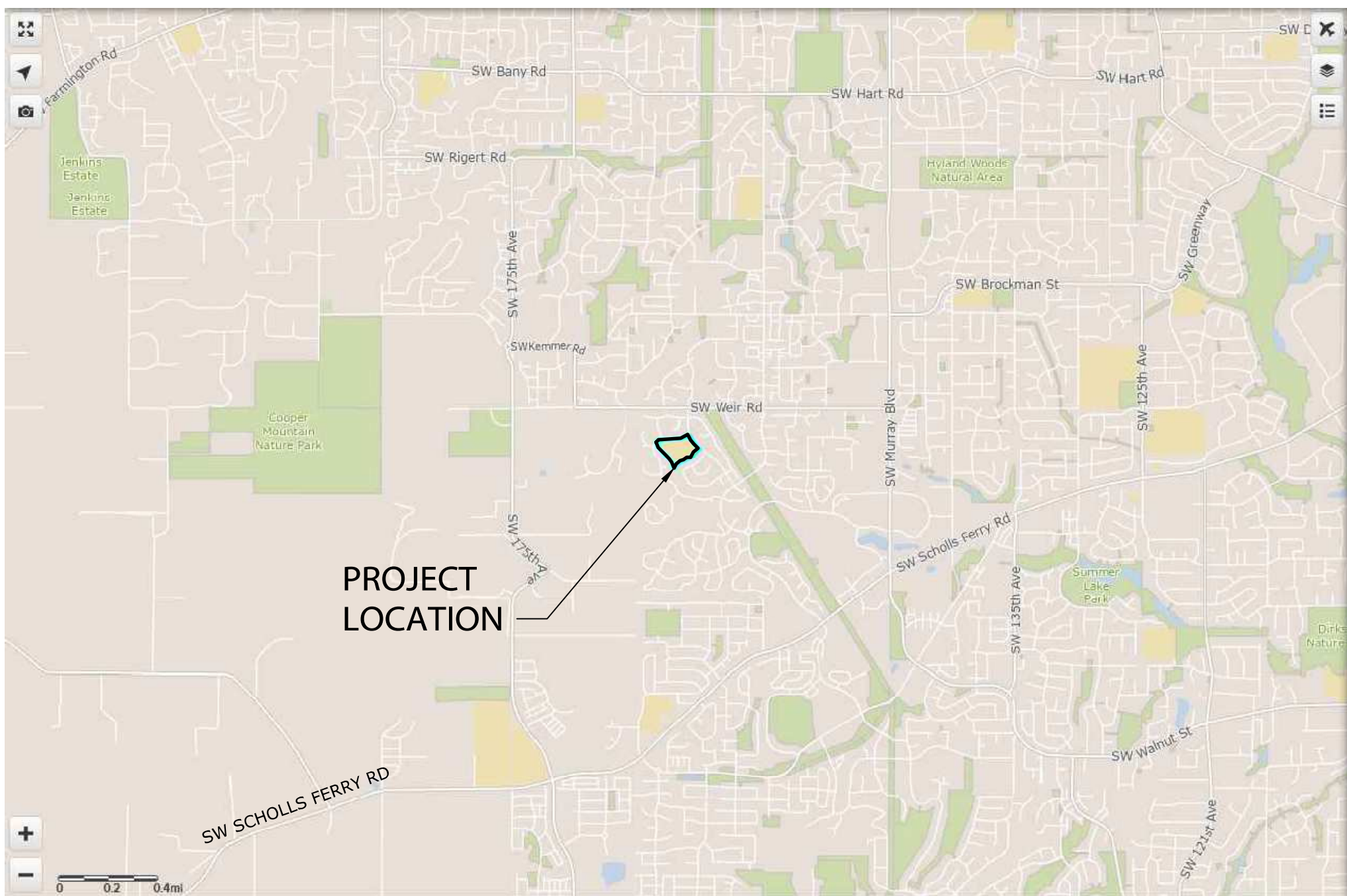
10250 SW CORMORANT DR., BEAVERTON, OR 97007



REPRESENTATIONAL IMAGE. IMAGE SHOWN MAY NOT BE AN EXACT REPRESENTATION OF ACTUAL DESIGN AND CONSTRUCTION.



VICINITY MAP  
SCALE: NTS



PROJECT LOCATION MAP  
SCALE: NTS

PROJECT DESCRIPTION

ARCHITECTURAL SERVICES ASSOCIATED WITH GENERAL BUILDING CONSTRUCTION PROJECTS; RENOVATIONS AND REPAIRS AS ASSIGNED BY THE BEAVERTON SCHOOL DISTRICT IN RESPONSE TO THE VOTER APPROVED BOND MEASURE.

THE PROJECT CONSISTS OF THE ALTERATION OF A PORTION OF AN EXISTING BEAVERTON SCHOOL DISTRICT NANCY RYLES ELEMENTARY SCHOOL. THE WORK WILL INCLUDE THE FOLLOWING: REMOVE AND REPLACE THE EXISTING LOW-SLOPE BUILT UP ROOF ASSEMBLY PER ROOFING ASSESSMENT RECOMMENDATIONS WITH NEW BUILT UP ROOF ASSEMBLY; TO INCLUDE CLEANING OF ROOF AND OVERFLOW DRAIN BODIES, AS WELL AS CLEANING AND RESETTING OF ROOF DRAIN DOWNS ASSEMBLIES. CLEAN THE EXISTING STEEP-SLOPE ASPHALT COMPOSITION SHINGLE ROOF PER ROOFING ASSESSMENT RECOMMENDATIONS. WORK INCLUDES NEW ASSOCIATED FLASHINGS, SCUPPERS, GUTTERS, DOWNSPOUTS, SPLASH BLOCKS, FASCIA'S, COPINGS, CURBS AND COUNTER-FLASHING FOR MECHANICAL EQUIPMENT, ROOF TOP SUPPORTS (CONDUIT, PIPES), NEW ROOF ACCESS LADDERS, AND ROOF HATCH GUARDRAILS. CONTRACTOR TO REPLACE EXISTING ROOF SYSTEMS DAMAGED FROM WATER INTRUSION AS REQUIRED FOR NEW SCOPE OF WORK INCLUDING, BUT NOT LIMITED, TO SHEATHING, INSULATION, CURBS, BLOCKING, ROOF FLASHING, ETC. ADDITIONALLY, THERE WILL BE NEW WALL AND FASCIA PANEL CLADDING.

PROJECT INFORMATION

ADDRESS: 10250 SW CORMORANT DR.  
BEAVERTON, OR 97007

PROPERTY ID: W268581

STATE ID: 1513288 - 05400

COUNTY: WASHINGTON

JURISDICTION: CITY OF BEAVERTON

FIRE DISTRICT: TUALATIN VALLEY FIRE & RESCUE

DESCRIPTION OF USE: ELEMENTARY SCHOOL

OCCUPANCY CLASSIFICATION: EDUCATION (E)

AREA (APPROX.): PROPERTY: 7.02 ACRES (PORTLAND MAPS)  
BUILDING: 86,440 S.F.

YEAR BUILT: 1992, 1997

CONSTRUCTION TYPE: VA & VB

ROOF COVERING CLASSIFICATION: B(VA) & C(VB)

PROJECT TEAM

OWNER: BEAVERTON SCHOOL DISTRICT 48  
16550 SW MERLO ROAD  
BEAVERTON, OR 97003  
PHONE: (503) 356-4500

PROJECT MANAGER: BEAVERTON SCHOOL DISTRICT 48  
FACILITIES DEVELOPMENT  
16550 SW MERLO ROAD  
BEAVERTON, OR 97003  
PHONE: (503) 356-4500  
CONTACT: CHRISTOPHER HANSEN

ARCHITECT: AXIS DESIGN GROUP  
ARCHITECTURE & ENGINEERING, INC.  
11104 S.E. STARK STREET  
PORTLAND, OR 97216  
PHONE: (503) 284-0988  
CONTACT: STEVEN EGGLESTON

ROOFING CONSULTANT: CERTA BUILDING SOLUTIONS, INC.  
1510 SE 44TH AVE, STE 102  
PORTLAND, OR 97215  
PHONE: (206) 941-6953  
CONTACT: DAN RUNDLE

STRUCTURAL ENGINEER: KPFF CONSULTING ENGINEERS  
111 SW FIFTH AVE, STE 2500  
PORTLAND, OR 97204  
PHONE: (503) 227-3251  
CONTACT: JERRY ABDIE

APPLICABLE CODES

WORK TO COMPLY WITH CURRENT FEDERAL, STATE, COUNTY, CITY BUILDING & ADA CODES & REGULATIONS.

OREGON BUILDING CODES:

- 2019 OREGON STRUCTURAL SPECIALTY CODE (OSSC)
- 2021 OREGON ENERGY EFFICIENCY SPECIALTY CODE (OEESC)
- 2019 OREGON FIRE CODE (OFC)
- 2019 OREGON MECHANICAL SPECIALTY CODE (OMSC)
- 2021 OREGON PLUMBING SPECIALTY CODE (OPSC)
- 2021 OREGON ELECTRICAL SPECIALTY CODE (OESC)

SEPARATE PERMITS (DESIGN BUILD) ITEMS

FOR SEPARATE PERMITS PROCEDURE, SEE NO. 20 UNDER GENERAL NOTES ON SHEET G-001.

- NO SEPARATE PERMITS IDENTIFIED.

		ISSUED LOG			
		100% SD	100% DD	80% CD	100% CD
SHEET NO.	SHEET TITLE				
GENERAL					
G-000	SHEET INDEX, PROJECT DESCRIPTION AND PROJECT INFO.	X	X	X	X
G-001	GENERAL NOTES		X	X	X
ARCHITECTURAL					
A-011	ABBREVIATIONS, SYMBOLS & MAT HATCHES		X	X	X
A-161	ROOF PLAN	X	X	X	X
A-161.1	ROOF PLAN - ASSEMBLY AREAS			X	X
A-221	EXTERIOR ELEVATIONS		X	X	X
A-321	PARTIAL WALL SECTIONS		X	X	X
A-511	GENERAL ROOF ASSEMBLIES AND TYPICAL ROOF DETAILS		X	X	X
A-512	TYPICAL ROOF DETAILS		X	X	X
A-513	ROOF DETAILS		X	X	X
A-515	ENLARGED PLAN AND DETAILS				X
LEGEND: X = ISSUED AS PART OF SET Ø = NOT PART OF ISSUED SET * = ISSUED FOR INFORMATION ONLY					

REGISTERED ARCHITECT  
STATE OF OREGON

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APPROVAL OF AXIS DESIGN GROUP.

AXIS

DESIGN GROUP  
ARCHITECTURE & ENGINEERING, INC.

11104 S.E. STARK STREET  
PORTLAND, OR 97216  
T: 503.284.0988 | F: 503.546.9276

ROOFING REPLACEMENT  
BEAVERTON SCHOOL DISTRICT  
NANCY RYLES ELEMENTARY SCHOOL  
10250 SW CORMORANT DR.  
BEAVERTON, OR 97007

B

BEAVERTON  
SCHOOL DISTRICT

REVISIONS

No.	Description	Date

DRAWN BY: SEE

CHECKED BY: SEE

JOB NO: 22-002 BSD NRES

DATE: 07/08/2022

ISSUED FOR: BID | PERMIT

SHEET TITLE

SHEET INDEX,

PROJECT DESCRIPTION AND

PROJECT INFORMATION

SHEET NO.

G-000



## 1. GENERAL

- ## 2. CODES

- ALL WORK TO COMPLY WITH THE LATEST EDITION OF ALL APPLICABLE CODES AS ADOPTED BY LOCAL AUTHORITIES HAVING JURISDICTION FOR THIS PROJECT ARE AS FOLLOWS:**
1. 2019 OREGON STRUCTURAL SPECIALTY CODE (OSSC)
  2. 2021 OREGON ENERGY EFFICIENCY SPECIALTY CODE (OEESC)
  3. 2019 OREGON FIRE CODE (OFC)
  4. ICC A117.1-2009 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
  5. NATIONAL FIRE PROTECTION ASSOCIATION (NFPA)
  6. 2019 OREGON MECHANICAL SPECIALTY CODE (OMSC)
  7. 2021 OREGON PLUMBING SPECIALTY CODE (OPSC)
  8. 2021 OREGON ELECTRICAL SPECIALTY CODE (OESC)

### 3. PERMITS

- A. OTHER THAN THE BUILDING PERMIT, THE GENERAL CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, LICENSES, AND INSPECTIONS REQUIRED FOR THE COMPLETION OF THE WORK.

#### 4. COORDINATION AND VERIFICATION

- A. ALL FIELD DIMENSIONS TAKE PRECEDENCE OVER DIMENSIONS ON DRAWINGS.
- B. THE DRAWINGS ARE DIVIDED INTO SEPARATE SHEETS FOR GENERAL CONVENIENCE ONLY. SHEET DESIGNATION OR NUMBERS ARE TO BE CONSIDERED NO LIMITATIONS OF AREAS OF WORK RESPONSIBILITY OR TRADES. COORDINATE THE WORK SHOWN IN THE DRAWINGS AND IN THE PROJECT MANUAL IN ORDER TO COMPLETE THE PROJECT AS DESIGNED.
- C. LOCATIONS AND SIZES OF EQUIPMENT ARE BASED ON AVAILABLE INFORMATION. PROVIDE AND COORDINATE THE EXACT DIMENSIONS, SIZES AND POSITIONS OF ALL EQUIPMENT, PADS, BASES, MOUNTINGS, ATTACHMENTS AND CONDUIT RELATING TO THE WORK.
- D. PROVIDE AND COORDINATE THE EXACT DIMENSIONS, SIZES AND POSITIONS OF OPENINGS IN SLABS AND WALLS NECESSARY FOR THE INSTALLATION OF THE WORK.
- E. POSITION ALL VALVES, CONTROLS AND TERMINATIONS TO BE POSITIONED FOR SAFE, DIRECT AND EASY ACCESS. ALL PIPING AND DUCTWORK TO BE INSTALLED FOR CONVENIENT FUTURE ACCESS AND REPAIR. PROVIDE ALL NECESSARY SCHEDULED ACCESS PANELS.
- F. QUANTITIES LISTED ON THE DRAWINGS ARE APPROXIMATE. CONTRACTOR TO VERIFY QUANTITIES AND INCLUDE ACCURATE QUANTITIES AS PART OF THE WORK.
- G. SPECIFIC NOTES OR KEYNOTES ON DETAILS APPLY TO SIMILAR CONDITIONS ON OTHER DETAILS ON ALL DRAWINGS UNLESS SPECIFICALLY NOTED OTHERWISE.
- H. CONTRACTOR TO REVIEW ADDITIONAL GENERAL REQUIREMENTS IN SPECIFICATION.
- I. CONTRACTOR TO COORDINATE SCHEDULING OF ALL TENANT RELATED WORK OCCURRING IN ADJACENT SUITES WITH OWNER'S REPRESENTATIVE, SECURITY OFFICE, AND ADJACENT TENANTS WELL IN ADVANCE OF ACTUAL WORK.
- J. CONTRACTOR TO COORDINATE WITH THE TENANT AND/OR VENDOR WHEN INSTALLING ITEMS SUPPLIED BY THAN THE CONTRACTOR.
- K. CONTRACTOR SHALL COORDINATE ALL WORK WITH OWNER AS REQUIRED TO IMPLEMENT SCOPE OF WORK, INCLUDING ANY OWNER PROVIDED CONTRACTORS.

## 5. UTILITIES AND DEMOLITION

- A. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES INCLUDING ELECTRICAL, SEWER, WATER, GAS, TELEPHONE, ETC. IN ADDITION THE CONTRACTOR SHALL CAUTION ALL SUBCONTRACTORS THAT THE SITE CONTAINS UNDERGROUND AND UTILITY LINES. DRAWINGS SHOW GRAPHICALLY BY THE APPROXIMATE LOCATION OF UNDERGROUND UTILITIES WHERE INFORMATION IS AVAILABLE, BUT THE DRAWINGS ARE NOT EXACT AS TO THE QUANTITY, EXTENT OR LOCATION.
- B. THE CONTRACTOR IS REQUIRED TO EXERCISE EXTREME CAUTION DURING ALL PHASES OF THE WORK TO IDENTIFY, IDENTIFY AND PROTECT EXISTING UTILITIES TO BE MODIFIED OR TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AS NECESSARY, AND REPAIR DAMAGE TO EXISTING UTILITIES WHICH ARE ENCOUNTERED AS A RESULT OF WORK UNDER THIS CONTRACT.
- C. IF REQUIRED BY THE PROJECT, THE CONTRACTOR IS REQUIRED TO PROVIDE OUTSIDE GAS SHUT-OFF VALVE CONSPICUOUSLY MARKED PER OWNER REQUIREMENTS.
- D. THE CONTRACTOR TO COORDINATE ALL NEW SERVICE REQUIREMENTS WITH LOCAL UTILITY AGENCIES AND OWNER.
- E. THE CONTRACTOR TO ARRANGE AND PAY FOR TEMPORARY POWER, UTILITIES EXCEPT AS PREARRANGED WITH OWNER.
- F. IN PERFORMING PROFESSIONAL SERVICES FOR THIS PROJECT, CONTRACTOR SHALL PROVIDE SHORING, BRACING, SUPPORT, AND PROTECTION AS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY OF THE PROJECT, ADJACENT PROPERTIES, AND PUBLIC SAFETY.

## 6. GENERAL DEMOLITION

- A. DEMOLISHED AS REQUIRED TO ACCOMPLISH WORK INDICATED IN THESE DOCUMENTS. ALL REQUIRED DEMOLITION WORK SHALL BE INCLUDED IN THE BASE BID PACKAGE SUBMITTED BY THE CONTRACTOR.
- B. THE CONTRACTOR MUST TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE PUBLIC AND/OR WORKMEN ON THE SITE TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON, ABOUT OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, CODES AND REGULATIONS PERTAINING TO SAFETY AND THE PREVENTION OF ACCIDENTS.
- C. THE CONTRACTOR MUST MAINTAIN ADEQUATE SUPPORT, INSULATION, WATERPROOFING, EMERGENCY LIGHTING, SECURITY, ALARMS, ETC. FOR ALL OR PART OF ITEMS WHICH ARE TO REMAIN.
- D. INFORMATION RELATING TO THE EXISTING BUILDING IS BASED ON FIELD MEASUREMENTS. ACTUAL CONDITIONS MAY VARY AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR.
- E. VERIFY LIMITS OF DEMOLITION REQUIRED TO COMPLETE WORK PRIOR TO COMMENCEMENT. GRAPHIC REPRESENTATION OF AFFECTED AREAS ON DRAWINGS MAY BE SMALLER OR LARGER THAN INDICATED.
- F. IN THE EVENT OF DAMAGE TO EXISTING CONSTRUCTION, CONTRACTOR SHALL REPAIR AND RESTORE THE DAMAGE TO ITS ORIGINAL CONDITION AT AN ADDITIONAL COST TO THE OWNER.
- G. ONLY MAJOR ITEMS OF DEMOLITION ARE SHOWN. REMOVE MISCELLANEOUS MINOR ITEMS AS APPROPRIATE FOR PROPER COMPLETION OF THE WORK.
- H. THE DEMOLITION NOTES IN THE DRAWINGS REQUIRE THE REMOVAL OF A BUILDING ELEMENT OR SYSTEM OR A COMPLETE COMPONENT COMPRISED OF MULTIPLE ELEMENTS. THE CONTRACTOR SHALL DISASSEMBLE AND REMOVE FORM THE SITE EACH ITEM IN ITS ENTIRETY AS REQUIRED TO ACCOMMODATE THE INSTALLATION OF THE NEW WORK TO FOLLOW.
- I. REMOVE ALL MISCELLANEOUS TRIM, CASEWORK, EQUIPMENT, CONDUIT, BASES, AND OTHER SURFACE MOUNTED ITEMS WHERE SHOWN OR NOT ON PARTITIONS TO BE DEMOLISHED.
- J. REMOVE ALL MISCELLANEOUS PIPE AND DUCT SUPPORTS, PARTITION TRACKS AND CLIPS NO LONGER FUNCTIONAL IN EXISTING CEILING CAVITIES OR ROOMS TO BE DEMOLISHED.
- K. CUT AND PATCH WALL, CEILING AND FLOOR ASSEMBLIES AND REPAIR FINISHES AS NECESSARY AT MECH., PLUMB., AND ELEC. DEMOLITION LOCATIONS; SEE MECH., PLUMB., AND ELEC. DEMOLITION PLANS FOR ADDITIONAL INFORMATION.
- L. THE CONTRACTOR SHALL PATCH AND REPAIR ELEMENTS WHERE ITEMS WERE REMOVED AND IN AREAS DAMAGED DURING DEMOLITION.
- M. THE CONTRACTOR SHALL CLEAN, PLUG, PATCH AND REPAIR ALL MATERIALS AND SURFACES AND PREPARE THEM FOR NEW WORK.
- N. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR LOCATING, IDENTIFYING, OR SPECIFYING THE REMOVAL OF ANY HAZARDOUS MATERIALS. HAZARDOUS MATERIAL TESTING BY OWNER CONTRACTED CONSULTANT.

## 7. DISCREPANCIES

- A. VERIFY ALL DIMENSIONS, ELEVATIONS, AND ALL EXISTING CONDITIONS AT THE SITE BEFORE COMMENCING WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT AND THE OWNER.
- B. IF ANY ERRORS, INCONSISTENCIES, OR OMISSIONS IN THE CONTRACT DOCUMENTS ARE RECOGNIZED BY THE CONTRACTOR OR ANY MEMBER OF HIS ORGANIZATION, THE CONTRACTOR IS REQUIRED TO NOTIFY THE ARCHITECT IN WRITING OF SUCH ERROR, INCONSISTENCY OR OMISSION BEFORE PROCEEDING WITH THE WORK.
- C. SHOULD THE SPECIFICATIONS FAIL TO DESCRIBE THE MATERIAL OR KIND OF GOODS TO BE USED, SUBMIT AN INQUIRY OF THE ARCHITECT FOR CLARIFICATION.
- D. ALL WORK TO CONFORM TO THE CONTRACT DOCUMENTS, NO SUBSTITUTIONS PERMITTED WITHOUT REVIEW AND APPROVAL BY THE ARCHITECT AND OWNER.
- E. IN THE EVENT OF A CONFLICT BETWEEN DRAWINGS AND THE PROJECT MANUAL, THE CONTRACTOR IS TO PRICE THE MORE EXPENSIVE, OR MORE ELABORATE METHOD, MATERIAL, AND EQUIPMENT, AND TO OBTAIN SUCH REVIEW SHOULD THE OWNER, AT THE OWNER'S DISCRETION, APPROVE TO UTILIZE THE LESS EXPENSIVE, OR LESS ELABORATE METHOD, MATERIALS, OR EQUIPMENT, AN APPROPRIATE CREDIT NEGOTIATED BETWEEN THE CONTRACTOR AND OWNER SHALL BE DUE TO THE OWNER.
- F. THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE INDIVIDUAL CONTRACT DOCUMENTS AND REPORT AT ONCE IN WRITING TO THE ARCHITECT ANY DEFICIENCIES MATERIAL TO THE CONTRACT. IF THE CONTRACTOR FINDS A SUBSTANTIAL DEFICIENCY TO LIKEWISE STUDY THE DOCUMENTS AND IMMEDIATELY REPORT ANY DEFICIENCIES.

## 8. MODIFICATIONS

- A. MODIFICATIONS TO DETAILS MAY BE REQUIRED TO SUIT THE JOB DIMENSIONS OR CONDITIONS AND WILL BE MADE PART OF THE WORK.

## 9. ACCESS PANELS

- A. AT ALL WALL AND CEILING LOCATIONS PROVIDE ACCESS PANELS FOR ELECTRICAL, PLUMBING AND AIR CONDITIONING CONTROLS, VALVES, DAMPERS, COUNTER FIRE SHUTTERS OR OTHER DEVICES AS REQUIRED BY THE WORK AND APPLICABLE EVEN IF ACCESS PANEL IS NOT SHOWN ON CONTRACT DOCUMENTS. AT NON-ACCESSIBLE CEILINGS, ACCESS PANELS SHALL BE 24"x24" FLUSH MOUNTED AND FIT WITHIN THE CEILING PATTERN. SUBMIT SHOP DRAWINGS IDENTIFYING THE EXACT LOCATIONS OF ALL ACCESS PANELS. NO INSTALLATION OF ACCESS PANELS TO BE MADE UNTIL THE ARCHITECT HAS APPROVED THE LOCATIONS. ACCESS PANELS TO BE LABELED AS REQUIRED BY OWNER.

## 10. EXITS

- A. EVERY EXIT DOOR TO BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.

## 11. PENETRATION OF RATED ASSEMBLIES

- A. MECHANICAL DUCTS, ETC. PENETRATING FIRE-RATED CEILINGS AND FIRE WALLS TO BE CORRESPONDINGLY RATED OR DAMPERED. CABINETS, ELECTRICAL PANELS, LIGHTS, ETC. RECESSED INTO FIRE-RATED WALLS OR CEILINGS TO BE BACKED WITH CORRESPONDING FIRE-RESISTIVE CONSTRUCTION AS REQUIRED TO MAINTAIN THE INTEGRITY OF THE FIRE PROTECTION.
- B. FIRE RESISTIVE ASSEMBLIES FOR PROTECTION OF OPENINGS TO COMPLY WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.
- C. PENETRATION OF FIRE-RATED ASSEMBLIES WHICH REQUIRE OPENING PROTECTION TO BE FIRE STOPPED. FIRE RATING FOR FIRE STOP SYSTEMS TO BE EQUAL TO THE ASSEMBLY PENETRATED.

## 12. DISSIMILAR METALS

- A. ALL DISSIMILAR METALS TO BE EFFECTIVELY ISOLATED FROM EACH OTHER WITH NEOPRENE ISOLATOR OR SIMILAR MATERIAL TO PREVENT MOLECULAR BREAKDOWN.

### 13. ELECTRICAL BACKBOARDS

- A. REFER TO ELECTRICAL, TELEPHONE/DATA AND SECURITY ELECTRONICS DRAWINGS FOR LOCATION OF AND SPECIFICATIONS FOR THE INSTALLATION OF FIRE RETARDANT TREATED PLYWOOD BACKBOARDS REQUIRED IN ELECTRICAL AND COMMUNICATION ROOMS. THESE REQUIRED PLYWOOD BACKBOARDS HAVE NOT BEEN SHOWN ON THE ARCHITECTURAL DRAWINGS, BUT MUST BE FURNISHED AND INSTALLED AS A PART OF THE OVERALL CONSTRUCTION. BACKBOARDS ARE TO BE PAINTED TO MATCH THE SURFACES WHICH THEY ARE MOUNTED. ALL REQUIRED BLOCKING IN WALLS TO ACCEPT PLYWOOD SHOULD BE VERIFIED AND APPROVED WITH THE ELECTRICAL TEAM REPRESENTATIVE. COORDINATE LOCATIONS WITH OWNER PRIOR TO INSTALLATION.

#### 14. SIGNAGE

- A. FURNISH AND INSTALL SUPPORTS AND OTHER NECESSARY FINISH MATERIALS FOR A COMPLETE CODE REQUIRED SIGNAGE INSTALLATION. REMOVE AND REINSTALL EXISTING SIGNAGE.

## 15. COORDINATION OF DEVICES

- A. EXACT LOCATIONS AND HEIGHTS OF ELECTRICAL, LOW VOLTAGE, MECHANICAL AND PLUMBING DEVICES, INCLUDING BUT NOT LIMITED TO SMOKE DETECTORS, PULL STATIONS, SWITCHES, OUTLETS, PHONE JACKS, ETC. LOCATIONS TO BE COORDINATED BY THE CONTRACTOR FOR ALIGNMENT, COORDINATION WITH EACH OTHER AND OTHER BUILDING FEATURES PRIOR TO INSTALLATION AS APPROVED BY ARCHITECT AND OWNER.
- 16. FIRE ALARM COORDINATION**
- A. PROVIDE ENGINEERING SERVICES, DOCUMENTS, AND PERMIT ACQUISITION TO BE PROVIDED ON A DESIGN-BUILD BASIS WITH THE SELECTED FIRE SYSTEM SUBCONTRACTOR. PROVIDE THE REQUIRED DESIGN WORK AND INSTALLATION BASED ON DIAGRAMS AND PERFORMANCE SPECIFICATIONS PROVIDED BY OWNER AND ANY EXISTING CONDITIONS.
- B. CONTRACTOR TO VERIFY ALL UTILITIES AND COORDINATE EQUIPMENT AND UTILITY REQUIREMENTS AND LOCATIONS WITH FIRE SYSTEM ENGINEER PRIOR TO PROCEEDING AND REVIEW WITH ARCHITECT PRIOR TO FINAL ROUGH-IN.

## 17. ELECTRICAL COORDINATION

- A. ELECTRICAL CONTRACTOR TO EXAMINE EXISTING CONDITIONS, VERIFY ALL UTILITIES, AND COORDINATE POWER REQUIREMENTS WITH BUILDING OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING. REVIEW AND VERIFY LIGHTING CONTROLS, OUTLETS, AND OWNER EQUIPMENT POWER LOCATIONS WITH THE ARCHITECT PRIOR TO APPROVAL AND FINAL ROUGH-IN.
- B. ALL LIGHT FIXTURES SHALL MEET CURRENT CODES AND BE PRE-APPROVED BY THE ARCHITECT AND OWNER.
- C. PROPOSALS AND DOCUMENTS PERTAINING TO THIS WORK TO BE PROVIDED TO THE ARCHITECT FOR REVIEW PRIOR TO PROCEEDING. ALL ELECTRICAL AND FIRE ALARM FIXTURES, COMPONENTS AND ANY OTHER EXPOSED EQUIPMENT, ALONG WITH THEIR LOCATIONS TO BE SUBMITTED FOR REVIEW.
- D. ELECTRICAL AND COMMUNICATIONS SYSTEM RECEPTACLES TO BE MOUNTED AT 15" A.F.F. UNLESS OTHERWISE NOTED.
- E. ELECTRICAL OUTLETS AT OPPOSITE SIDES OF FIRE RATED AND/OR ACOUSTICALLY RATED WALLS ARE TO BE SEPARATED BY A MINIMUM OF 24" MINIMUM HORIZONTAL SPACING AND SEPARATE STUD SPACES OR AS INDICATED IN THE DRAWINGS.

## 18. MECHANICAL COORDINATION

- A. CONTRACTOR TO VERIFY ALL UTILITIES AND COORDINATE EQUIPMENT POWER REQUIREMENTS AND LOCATIONS WITH MECHANICAL SPECIFICATIONS AND MECHANICAL ENGINEER PRIOR TO PROCEEDING AND REVIEW WITH ARCHITECT PRIOR TO FINAL ROUGH-IN.

## 19. PROJECT CLOSEOUT

- A. CONTRACTOR TO WARRANT ALL PARTS, LABOR, EQUIPMENT, AND MATERIAL PROVIDED UNDER THIS CONTRACT, UNLESS OTHERWISE NOTED, FOR A PERIOD OF (1) YEAR, UPON COMPLETION OF CONTRACT.
- B. WHEN REQUESTING THE ARCHITECT'S INSPECTION FOR SUBSTANTIAL COMPLETION:
1. KNOWN EXEMPTIONS MUST BE LISTED IN THE REQUEST.
  2. ALL WARRANTIES AND CERTIFICATES MUST BE SUBMITTED TO THE ARCHITECT.
- C. THE CONTRACTOR'S PUNCH LIST MUST BE SUBMITTED WITH THE REQUEST!
- C. THE ARCHITECT WILL VERIFY THE CONTRACTOR'S PUNCH LIST AND INDICATE ADDITIONAL PUNCH LIST ITEMS AS NEEDED. RESULTS OF THE ARCHITECT COMPLETED INSPECTION WILL FORM THE "PUNCH LIST" FOR FINAL ACCEPTANCE. ONE RE-INSPECTION WILL BE PERFORMED IF THE ARCHITECT TO ESTABLISH CERTIFICATION OF FINAL ACCEPTANCE. FURTHER RE-INSPECTIONS BY THE ARCHITECT TO BE AT THE CONTRACTOR'S EXPENSE.
- D. ALL MAINTENANCE AND OPERATIONS MANUALS FOR ALL EQUIPMENT AND MATERIALS PROVIDED TO BE ORGANIZED AND PREPARED AS INDICATED IN THE PROJECT MANUAL.

## 20. SEPARATE PERMIT (DESIGN BUILD) ITEMS

- A. THIS PROJECT WILL HAVE THE FOLLOWING SEPARATE PERMIT ITEMS WHICH MAY UTILIZE A DESIGN/BUILD APPROACH: THE INFORMATION CONTAINED IN THESE DOCUMENTS ARE PRELIMINARY, PROVIDING A BASIS FOR BIDDING AND PLANNING. ACTUAL ENGINEERING AND INSTALLATION DRAWINGS ARE TO BE PROVIDED UNDER A SEPARATE PERMIT AND REQUIRE THE WILL APPROVAL OF BOTH THE ARCHITECT/ THE ENGINEERS AND THE AUTHORITY HAVING JURISDICTION.
- SEE G-0000 FOR LIST OF SEPARATE PERMIT ITEMS.
- B. THE PROCEDURE FOR "SEPARATE PERMIT APPROVAL DOCUMENTS" TO BE AS FOLLOWS:
1. THE DESIGN/BUILD CONTRACTOR TO PROVIDE (4) SETS OF (PDF) SUBMITTAL DOCUMENTS TO THE ARCHITECT FOR INITIAL REVIEW AND COORDINATION WITH THE DESIGN INTENT OF THE PROJECT.
  2. IF THE SUBMITTAL DOCUMENTS ARE FOUND TO BE ACCEPTABLE THE ARCHITECT WILL ADD A NOTATION INDICATING THAT THE SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING.
  3. FOLLOWING THE ARCHITECT'S APPROVAL, THE DESIGN/BUILD CONTRACTOR IS RESPONSIBLE FOR SUBMITTING, TRACKING, AND OBTAINING APPROVAL FROM THE AUTHORITY HAVING JURISDICTION.
  4. UPON APPROVAL BY THE AUTHORITY HAVING JURISDICTION, THE DESIGN/BUILD CONTRACTOR IS REQUIRED TO PROVIDE A COPY OF THE DRAWINGS TO THE ARCHITECT AND OWNER FOR REFERENCE.



S:\Projects\2023\Project\22-002\_BSD\_Roof Project - RES-MKES-NRES\F2\_Current\CAD\Nancy Ryles\A011\_22-002\_BSD\_NIES\_Abbreviations, Symbols & Mat Hatching.dwg © Plot Date: Jul 11 22 © Time: 1:27 PM

SYMBOLS:

	BUILDING GRID IDENTIFICATION		CEILING HEIGHT TAG (AFF)
	BUILDING SECTION IDENTIFICATION		DATUM TAG
	DRAWING IDENTIFICATION		DOOR NUMBER
	DETAIL IDENTIFICATION		EXTERIOR FINISH MATERIAL/COLORS
	EXTERIOR ELEVATION IDENTIFICATION		EXTERIOR WALL TYPE
	INTERIOR ELEVATION IDENTIFICATION		FURNITURE TAG
	MATCH LINE IDENTIFICATION		INTERIOR FINISH MATERIAL
	NORTH ARROW		KEY NOTES
	REVISION IDENTIFICATION		ROOM NAME AND NUMBER
	WALL SECTION IDENTIFICATION		WINDOW TYPE
			EQUIPMENT NUMBER

MATERIAL HATCHES:

	ACOUSTICAL CEILING TILE		GROUT
	BATT INSULATION		GYPSUM BOARD IN SECTION
	CONCRETE IN SECTION		INTERMITTENT BLOCKING
	CONTINUOUS LUMBER		MASONRY IN SECTION
	EARTH		METAL IN SECTION
	FINISHED LUMBER		PLYWOOD IN SECTION
	GRAVEL		RIGID INSULATION IN SECTION

ABBREVIATIONS:

ACOUS . . . . . ACOUSTICAL	GA . . . . . GAUGE	R . . . . . RISER
ACT. . . . . ACOUSTICAL CEILING TILE	GALV. . . . . GALVANIZED	RAD . . . . . RADIUS
AD . . . . . AREA DRAIN	GB . . . . . GRAB BAR	RAF . . . . . RUBBERIZED ASPHALT FLASHING
AFF. . . . . ABOVE FINISHED FLOOR	GL . . . . . GLASS/GLAZING	RF . . . . . RESINOUS FLOORING
ALT. . . . . ALTERNATE	GWB . . . . . GYPSUM WALL BOARD	REFG. . . . . REFRIGERATOR
ALUM. . . . . ALUMINUM	HB . . . . . HOSE BIB	RB . . . . . RUBBER BASE
ANOD . . . . . ANODIZED	HC . . . . . HOLLOW CORE	RD . . . . . ROOF DRAIN
ARCH. . . . . ARCHITECTURAL	HDWR . . . . . HARDWARE	RD/OD . . . . . ROOF DRAIN/OVERFLOW DRAIN
AWP . . . . . ACOUSTICAL WALL PANEL	HM . . . . . HOLLOW METAL	REF . . . . . REFERENCE
BD . . . . . BOARD	HORIZ . . . . . HORIZONTAL	REINF. . . . . REINFORCE(D)
BETW. . . . . BETWEEN	HSS . . . . . HOLLOW STRUCTURAL STEEL TUBE	REQ'D . . . . . REQUIRED
BLDG. . . . . BUILDING	HT . . . . . HEIGHT	RESIL . . . . . RESILIENT
BLKG . . . . . BLOCKING	ID . . . . . INSIDE DIAMETER	RM . . . . . ROOM
BO . . . . . BOTTOM OF	INSUL. . . . . INSULATION	RO . . . . . ROUGH OPENING
BOT/BTM . . . . . BOTTOM	INT . . . . . INTERIOR	RUBBER TILE . . . . . RUBBER TILE
		RW . . . . . RESINOUS WALL
CFCI . . . . . CONTRACTOR FURNISHED	JAN. . . . . JANITOR	SAM . . . . . SELF-ADHERED MEMBRANE
CG . . . . . CORNER GUARD	JT. . . . . JOINT	SC . . . . . SEALED CONCRETE
CH . . . . . COAT HOOK	KD . . . . . KNOCK DOWN FRAME	SCD . . . . . SEAT COVER DISPENSER
CI . . . . . CONTINUOUS INSULATION		SCHED . . . . . SCHEDULE
CIP . . . . . CAST IN PLACE CONCRETE		SCS . . . . . SHOWER COMPARTMENT SEAT
CJ . . . . . CONTROL JOINT	L . . . . . LINOLEUM	SD . . . . . SOAP DISPENSER
CL . . . . . CENTERLINE	LAM . . . . . LAMINATES	SECT . . . . . SECTION
CLG . . . . . CEILING	LAV . . . . . LAVATORY	SHT . . . . . SHEET
CLR . . . . . CLEAR	LT . . . . . LIGHT	SHTHG . . . . . SHEATHING
CMU . . . . . CONCRETE MASONRY UNIT		SIM . . . . . SIMILAR
CONC. . . . . CONCRETE	M . . . . . MIRROR	SN . . . . . STAIN
COL . . . . . COLUMN	MFR . . . . . MANUFACTURER	SND . . . . . SANITARY NAPKIN DISPENSER
CONT. . . . . CONTINUOUS	MAX . . . . . MAXIMUM	SNR . . . . . SANITARY NAPKIN RECEPTACLE
CPT . . . . . CARPET	MB . . . . . MARKER BOARD	SR . . . . . SHOWER ROD
CT . . . . . CERAMIC TILE	MCM . . . . . METAL COMPOSITE MATERIAL	SQ . . . . . SQUARE
	MCP . . . . . METAL CEILING PANEL	SS . . . . . SOLID SURFACING MATERIAL
D . . . . . DRYER	MDO . . . . . MEDIUM DENSITY OVERLAY	SSG . . . . . STAINLESS STEEL
DBL . . . . . DOUBLE	ME . . . . . MATCH EXISTING	STD . . . . . STANDARD
DBRON . . . . . DARK BRONZE	MFR . . . . . MANUFACTURE	ST . . . . . STONE
DEMO . . . . . DEMOLISHED	MIN . . . . . MINIMUM, MINUTE	STL . . . . . STEEL
DET . . . . . DETAIL	MISC . . . . . MISCELLANEOUS	STOR . . . . . STORAGE
DF . . . . . DRINKING FOUNTAIN	MO . . . . . MASONRY OPENING	STRUC . . . . . STRUCTURAL
DIA . . . . . DIAMETER	MP . . . . . METAL PANEL	SUSP . . . . . SUSPENDED
DIM . . . . . DIMENSION	MR . . . . . MOP RACK	SV . . . . . SHEET VINYL
DIM PT . . . . . DIMENSION POINT	MRP . . . . . METAL ROOF PANEL	SVB . . . . . SHEET VINYL BASE
DIST . . . . . DISTANCE	MTD . . . . . MOUNTED	SYM . . . . . SYMMETRICAL
DN . . . . . DOWN	MTL . . . . . METAL	
DO . . . . . DOOR OPENING	MUL . . . . . MULLION	T . . . . . TREAD
DS . . . . . DOWNSPOUT	MWP . . . . . METAL WALL PANEL	TB . . . . . TACK BOARD
DWG . . . . . DRAWING(S)		TBF . . . . . TACK BOARD FABRIC
		T/G . . . . . TOUNGE AND GROOVE
(E) . . . . . EXIST EXISTING	NTS . . . . . NOT TO SCALE	THK . . . . . THICK
EA . . . . . EACH	(N) . . . . . NEW	THRU . . . . . THROUGH
EJ . . . . . EXPANSION JOINT	NIC . . . . . NOT IN CONTRACT	T.O. . . . . TOP OF
ELECT. . . . . ELECTRICAL	NO./# . . . . . NUMBER	TOB . . . . . TOP OF BEAM/BRICK/BLOCK
ELEV. . . . . ELEVATION	OA . . . . . OVERALL	TOD . . . . . TOP OF CURB
EP . . . . . EPOXY PAINT	OC . . . . . ON CENTER	TOD . . . . . TOP OF DECK
EQ . . . . . EQUAL	OD . . . . . OUTSIDE DIAMETER	TOP . . . . . TOP OF PARAPET
EQUIP . . . . . EQUIPMENT	OFCD . . . . . OWNER FURNISHED CONTRACTOR INSTALLED	TOW . . . . . TOP OF WALL
ES . . . . . EACH SIDE	OFOI . . . . . OWNER FURNISHED OWNER INSTALLED	TPD . . . . . TOILET PAPER DISPENSER
EX . . . . . EXIT	OPNG. . . . . OPENING	TR . . . . . TRANSPARENT FINISH
EXIST . . . . . EXISTING	OPP . . . . . OPPOSITE HAND	TS . . . . . TUBE STEEL
EXP. . . . . EXPANSION		TSC . . . . . TOILET SEAT COVER DISPENSER
EXT. . . . . EXTERIOR		TYP. . . . . TYPICAL
		UON . . . . . UNLESS OTHERWISE NOTED
(F) . . . . . FUTURE	P . . . . . PAINTED	
FAA . . . . . FIRE ALARM ANNUNCIATOR	PAF . . . . . POWER ACTUATED FASTENER	VB . . . . . VINYL BASE
FACP . . . . . FIRE ALARM CONTROL PANEL	PL/PLAM . . . . . PLASTIC LAMINATE	VBX . . . . . VIEW BOX
FAC . . . . . FACTORY FINISH	PLAS . . . . . PLASTIC	VCT . . . . . VINYL COMPOSITE TILE
FD . . . . . FLOOR DRAIN	PNL . . . . . PANEL	VER . . . . . VERIFY
FE . . . . . FIRE EXTINGUISHER	PR . . . . . PAIR	VERT . . . . . VERTICAL
FEC . . . . . FIRE EXTINGUISHER CABINET	PS . . . . . PROJECTOR SCREEN	VIF . . . . . VERIFY IN FIELD
FF . . . . . FINISHED FLOOR	PT. . . . . PRESSURE TREATED	VP . . . . . VENEER PLASTER
FIN . . . . . FINISH	PTD. . . . . PAPER TOWEL DISPENSER	
FLASH . . . . . FLASHING	PTDR . . . . . PAPER TOWEL DISPENSER & RECEPTACLE	W / . . . . . WITH
FLR . . . . . FLOOR	PLYWD . . . . . PLYWOOD	W/O . . . . . WITHOUT
FOB. . . . . FACE OF BRICK/BLOCK		WB . . . . . WEATHER BARRIER
FOC . . . . . FACE OF CONCRETE		WC . . . . . WINDOW COVERING
FOF . . . . . FACE OF FINISH	QT . . . . . QUARRY TILE	WD . . . . . WOOD
FOS. . . . . FACE OF STUDS OR STEEL		WG . . . . . WALL GUARD
FRT . . . . . FIRE RETARDANT TREATED		WM . . . . . WALK-OFF MAT
FT . . . . . FOOT, FEET		WP . . . . . WORK POINT
FTG . . . . . FOOTING		WPRF . . . . . WATERPROOF
FURR . . . . . FURRING		WSV . . . . . WELDED SHEET VINYL
FV . . . . . FIELD VERIFY		WSVB . . . . . WELDED SHEET VINYL BASE
		WWF . . . . . WELDED WIRE FABRIC

REGISTERED ARCHITECT

ARCHITECTURE & ENGINEERING

PORTLAND, OREGON

STATE OF OREGON

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ROOFING REPLACEMENT  
BEAVERTON SCHOOL DISTRICT  
NANCY RYLES ELEMENTARY SCHOOL  
10250 SW CORMORANT DR.  
BEAVERTON, OR 97007

B

BEAVERTON  
SCHOOL DISTRICT

REVISIONS		
No.	Description	Date

DRAWN BY: SEE
CHECKED BY: SEE
JOB NO: 22-002 BSD NRES
DATE: 07/08/2022
ISSUED FOR: BID   PERMIT
SHEET TITLE
ABBREVIATIONS, SYMBOLS &
MATERIAL HATCHES

SHEET NO.

A-011



ROOF PLAN SHEET NOTES

1. ROOF PLAN FOR GENERAL PURPOSE ONLY.
2. INFORMATION RELATING TO THE EXISTING BUILDING IS BASED ON CASUAL OBSERVATION ACTUAL CONDITIONS VERY AND SHELL BE FIELD VERIFIED BY THE CONTRACTOR.
3. GRAPHIC PRESENTATION OF THE AFFECTED AREAS ON DRAWINGS MAY BE SMALLER OR LARGER THAN INDICATED.
4. ONLY MAJOR ELEMENTS ARE SHOWN.
5. ROOF AREA SHOWN ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF AREAS FOR BIDDING AND CONSTRUCTION PURPOSES.
6. MINIMUM ROOF COVERING CLASSIFICATION FOR TYPES OF CONSTRUCTION IS BASED ON TABLE 1501.1 IN CHAPTER 15 ROOF ASSEMBLIES FOR SPECIFIED ROOFTOP STRUCTURES. ROOFING REPLACEMENT ASSEMBLIES ARE CLASS A.
7. CONTRACTOR RESPONSIBLE FOR THE DISCONNECTION AND RECONNECTION OF ALL UTILITY CONNECTIONS AS REQ'D TO COMPLETE WORK. THIS INCLUDES ANY WORK REQ'D TO EXTEND PIPES, WIRES, ETC. TO MEET MIN. CLEARANCES.
8. THE VENT AND PIPE SIZES NOTED ON THE DRAWINGS ARE APPROXIMATE AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY WORK.
9. ROOF CANNOT BE LEFT UNPROTECTED FROM THE ELEMENTS FOR A WEEKEND OR HOLIDAY PERIOD. CONTRACTOR MAY LEAVE ROOF UNPROTECTED OVERNIGHT AND ASSUMES ALL RISK FOR ANY DAMAGE CAUSED.
10. CONTRACTOR TO PROVIDE SITE CLEANUP AT THE END OF EACH WORK DAY. CLEANUP SHALL INCLUDE A MAGNET/METAL DETECTOR FOR ALL HARD SURFACES WITHIN 15 FEET OF BUILDING AND ALL LANDSCAPED AREAS.
11. REMOVE EXISTING ROOFING DOWN TO EXISTING SHEATHING UNLESS OTHERWISE NOTED IN ASSEMBLY A. REMOVE AND DISPOSE OF ROOFING AS REQ'D BY GOVERNING AUTHORITIES.
12. REPLACE EXISTING ROOF SYSTEM DAMAGED FROM WATER INTRUSION AS REQ'D FOR NEW SCOPE OF WORK INCLUDING, BUT NOT LIMITED TO, SHEATHING, CURBS, BLOCKING, FLASHING, ETC.
13. FOR ADDITIONAL GENERAL DEMOLITION INFORMATION SEE NO. 8 UNDER GENERAL NOTES ON SHEET G-001.
14. CONTACT DISTRICT MAINTENANCE BEFORE REMOVING OR RELOCATING ANY ELECTRICAL CONDUIT OR CABLE FROM THE ROOF.

ROOF PLAN LEGEND (NANCY RYLES ES)

- NOT ALL SYMBOLS MAY BE USED. SIZES AND PROPORTIONS OF ELEMENTS MAY VARY FROM WHAT IS ILLUSTRATED IN LEGEND.
- (N) WALKING PAD
- A** (N) LOW-SLOPE ROOF - BUILT-UP ROOF ASSEMBLY
- A.1** ALTERNATE NO. 1 - (N) LOW-SLOPE ROOF - BUILT-UP ROOF ASSEMBLY WITH R-19 (3.28'-±) RIGID INSULATION
- B** (N) LOW-SLOPE ROOF - BUILT-UP ROOF ASSEMBLY OVER (N) TAPERED INSULATION
- ALTERNATE NO. 1 - (N) LOW-SLOPE ROOF - BUILT-UP ROOF ASSEMBLY OVER (N) TAPERED INSULATION WITH R-19 (3.28'-±) RIGID INSULATION
- (E) STEEP-SLOPE ROOF - CLEAN (E) ASPHALT COMPOSITION SHINGLE ROOF SYSTEM
- VA/B** CONSTRUCTION TYPE/FIRE CLASSIFICATION
- VB/C** CONSTRUCTION TYPE/FIRE CLASSIFICATION
- (E) ROOF ACCESS HATCH (3)
- (E) ROOFTOP MECHANICAL UNITS
- (E) MECHANICAL UNITS. FOR ALTERNATE NO. 1 THERE WILL BE AN ESTIMATED CONTINGENCY ALLOWANCE TO PROVIDE (N) WD CURBS OR STRUCT BLOCKING UNDER (E) PREFAB CURBS TO ACCOMMODATE 3" OF ADDED INSUL. INCLUDING THE LIFTING AND RESETTING OF MECH UNITS AND THE DISCONNECTING AND RECONNECTING OF MEP CONNECTIONS
- (E) STACK VENT. FOR ALTERNATE NO. 1 THERE WILL BE AN ESTIMATED CONTINGENCY ALLOWANCE TO PROVIDE EXTENSIONS AND FLASHING TO ACCOMMODATE 3" OF ADDED INSULATION
- (E) ROOF DRAIN (2) TYP.
- (E) OVERFLOW DRAIN (2) TYP.
- (E) COMBINATION MAIN ROOF & OVERFLOW DRAIN (2) TYP.
- (E) GUTTER AND DOWNSPOUT TO REMAIN (7) TYP.
- (N) DS (N) DOWNSPOUT AT (E) GUTTER (7) TYP.
- (N) SB (N) SPLASH BLOCK AT (E) GUTTER & DOWNSPOUT TO REMAIN (7) TYP.
- (N) DS (N) GUTTER WITH DOWNSPOUT. PROVIDE (N) SPLASH BLOCK
- (N) SC (N) SCUPPER
- (N) COPING
- (E) ELECTRICAL. FOR ALTERNATE NO. 1 THERE WILL BE AN ESTIMATED CONTINGENCY ALLOWANCE TO PROVIDE (N) WD CURBS OR STRUCT BLOCKING UNDER (E) PREFAB CURBS TO ACCOMMODATE 3" OF ADDED INSUL. INCLUDING THE LIFTING AND RESETTING OF ELECT ITEMS AND THE DISCONNECTING AND RECONNECTING OF ELECT CONNECTIONS
- (E) ROOF SLOPE DIRECTION
- (E) FINISHED SHT MTL SMALL PANEL - CLEAN, RESEAL AND PAINT (NOT ELEVATED)

ROOF PLAN KEY NOTES

1. INSTALL (N) GALV. OSAA APPROVED LADDER W/ ANCHOR TO CMU. PROVIDE GALV. STEEL SPACER AND WASHERS FOR ANCHOR THROUGH (E) WALL ASSEMBLY; 24 GA. CROSS-BROKE FLASHING OVER 15LB BLDG PAPER ON 1/2" PLYWOOD OVER 1X4 P.T. NAILERS. SEAL ANCHORS AT PENETRATIONS OF WALL ASSEMBLY, TYP.
2. CLEAN ROOF/OVERFLOW DRAIN BODIES AND ROOF DOME ASSEMBLIES. RESET ROOF DOWNS WITH NEW ROOFING ASSEMBLY.
3. PROVIDE AND INSTALL (N) SAFETY GUARDRAIL WITH GATE
4. PROVIDE (N) DOWN SPOUT
5. DEMO (E) ROOF LADDER
6. SALVAGE (E) PORTABLE LADDER TO OWNER
7. CLEAN GUTTER, COLLECTOR BOX AND DOWNSPOUT ASSEMBLIES. RESEAL ALL GUTTER AND COLLECTOR BOX SEAMS, TYPICAL.

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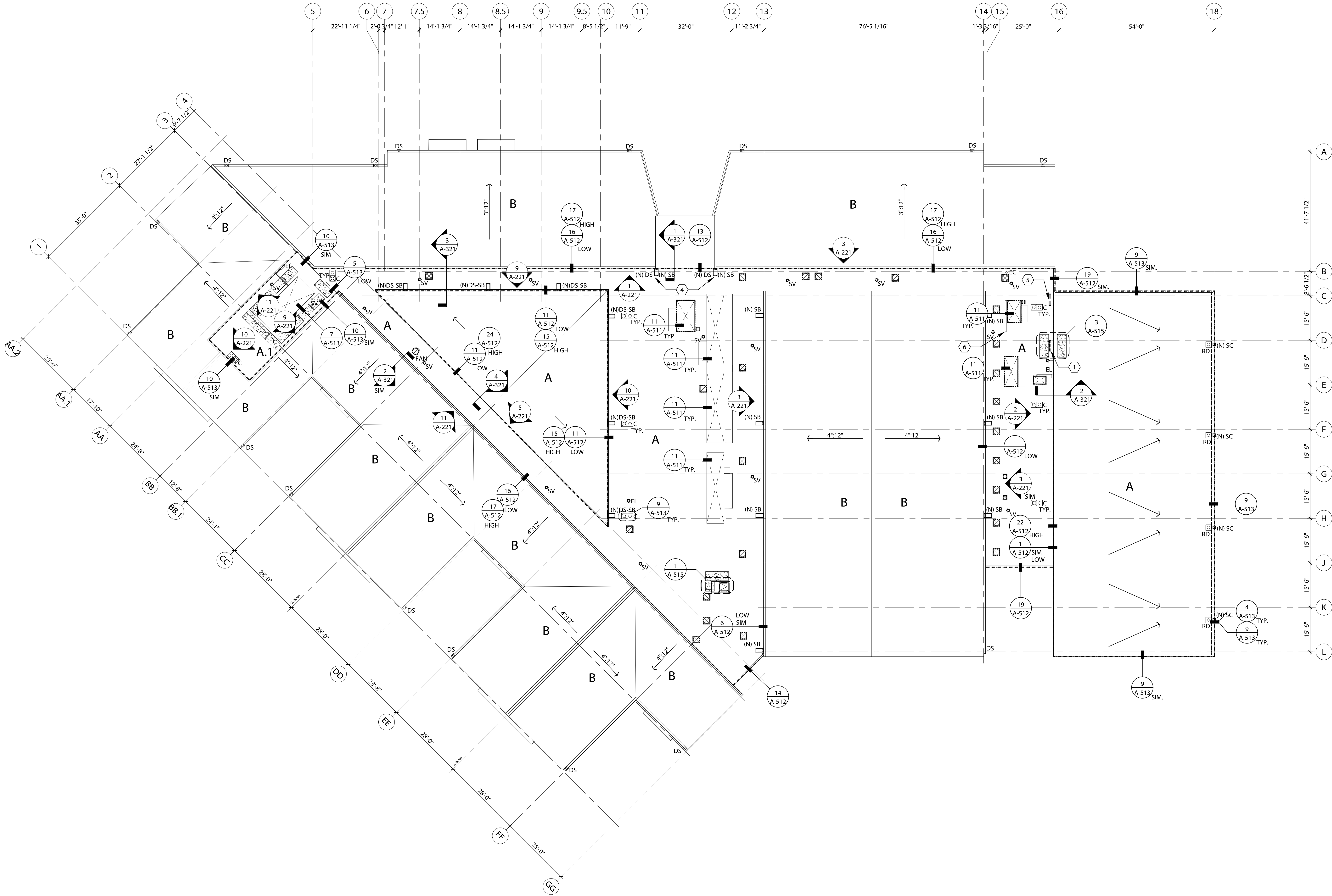
ROOFING REPLACEMENT  
BEAVERTON SCHOOL DISTRICT  
NANCY RYLES ELEMENTARY SCHOOL  
10250 SW CORMORANT DR.  
BEAVERTON, OR 97007



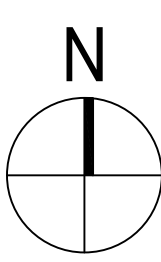
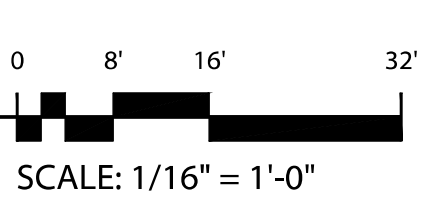
REVISIONS		
No.	Description	Date

DRAWN BY: EVS  
CHECKED BY: SEE  
JOB NO: 22-002 BSD NRES  
DATE: 07/08/2022  
ISSUED FOR: BID | PERMIT  
SHEET TITLE  
ROOF PLAN  
SHEET NO.

A-161



1 ROOF PLAN  
SCALE: 1/16" = 1'-0"



S:\Projects\2023 Projects\22-002\_BSD\_Roof Projects\_FES\MRES-NRES\F2\_Current\CAD\Nancy Ryles\A-161.0\_22-002\_BSD\_Roof Plan\_Overall.dwg © Plot Date: Jul 11 22 © Time: 1:27 PM



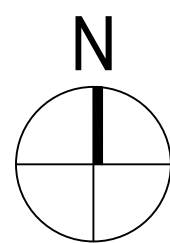
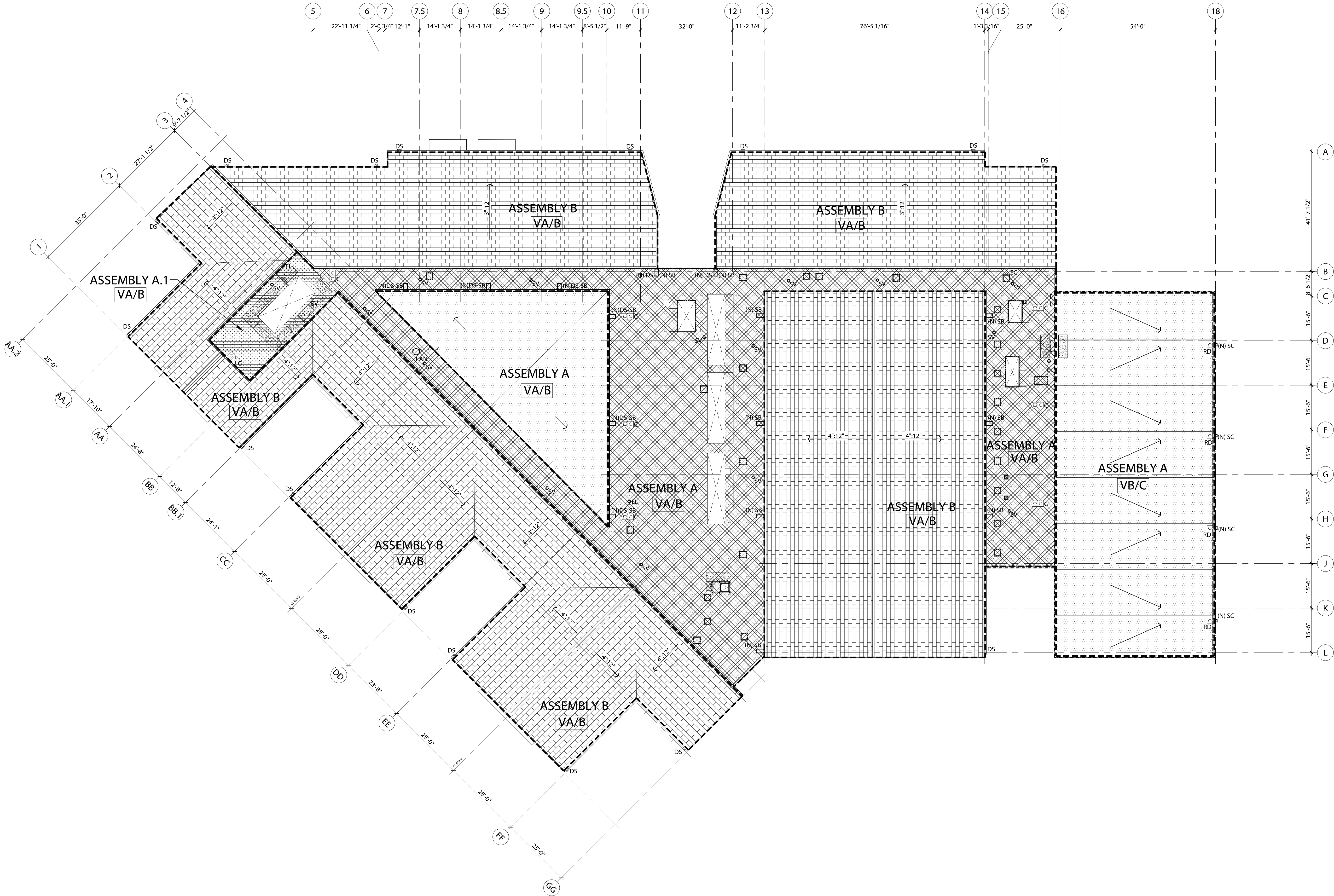
ROOF PLAN SHEET NOTES

1. ROOF PLAN FOR GENERAL PURPOSE ONLY.
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4. ONLY MAJOR ELEMENTS ARE SHOWN.
5. ROOF AREA SHOWN ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF AREAS FOR BIDDING AND CONSTRUCTION PURPOSES.
6. MINIMUM ROOF COVERING CLASSIFICATION FOR TYPES OF CONSTRUCTION IS BASED ON TABLE 1501.1 IN CHAPTER 15 ROOF ASSEMBLIES FOR SPECIFIED ROOFTOP STRUCTURES. ROOFING REPLACEMENT ASSEMBLIES ARE CLASS A.

ROOF PLAN LEGEND (NANCY RYLES ES)

- NOT ALL SYMBOLS MAY BE USED. SIZES AND PROPORTIONS OF ELEMENTS MAY VARY FROM WHAT IS ILLUSTRATED IN LEGEND.
- (N) WALKING PAD
  - (N) LOW-SLOPE ROOF - BUILT-UP ROOF ASSEMBLY
  - ALTERNATE NO. 1 - (N) LOW-SLOPE ROOF - BUILT-UP ROOF ASSEMBLY WITH R-19 (3.28") RIGID INSULATION
  - (N) LOW-SLOPE ROOF - BUILT-UP ROOF ASSEMBLY OVER (N) TAPERED INSULATION
  - ALTERNATE NO. 1 - (N) LOW-SLOPE ROOF - BUILT-UP ROOF ASSEMBLY OVER (N) TAPERED INSULATION WITH R-19 (3.28") RIGID INSULATION
  - (E) STEEP-SLOPE ROOF - CLEAN (E) ASPHALT COMPOSITION SHINGLE ROOF SYSTEM
  - VA/B CONSTRUCTION TYPE/FIRE CLASSIFICATION
  - VB/C CONSTRUCTION TYPE/FIRE CLASSIFICATION

- (E) ROOF ACCESS HATCH (3)
- (E) ROOFTOP MECHANICAL UNITS
- (E) MECHANICAL UNITS. FOR ALTERNATE NO. 1 THERE WILL BE AN ESTIMATED CONTINGENCY ALLOWANCE TO PROVIDE (N) WID CURBS OR STRUCT BLOCKING UNDER (E) PREFAB CURBS TO ACCOMMODATE 3" OF ADDED INSUL INCLUDING THE LIFTING AND RESETTNG OF MECH UNITS AND THE DISCONNECTING AND RECONNECTING OF MEP CONNECTIONS
- (E) STACK VENT. FOR ALTERNATE NO. 1 THERE WILL BE AN ESTIMATED CONTINGENCY ALLOWANCE TO PROVIDE EXTENSIONS AND FLASHING TO ACCOMMODATE 3" OF ADDED INSULATION
- (E) ROOF DRAIN (2) TYP.
- (E) OVERFLOW DRAIN (2) TYP.
- (E) COMBINATION MAIN ROOF & OVERFLOW DRAIN (2) TYP.
- (E) GUTTER AND DOWNSPOUT TO REMAIN (7) TYP.
- (N) DS (N) DOWNSPOUT AT (E) GUTTER (7) TYP.
- (N) SB (N) SPLASH BLOCK AT (E) GUTTER & DOWNSPOUT TO REMAIN (7) TYP.
- (N) DS (N) GUTTER WITH DOWNSPOUT. PROVIDE (N) SPLASH BLOCK
- (N) SC (N) SCUPPER
- (N) COPING
- (E) ELECTRICAL. FOR ALTERNATE NO. 1 THERE WILL BE AN ESTIMATED CONTINGENCY ALLOWANCE TO PROVIDE (N) WID CURBS OR STRUCT BLOCKING UNDER (E) PREFAB CURBS TO ACCOMMODATE 3" OF ADDED INSUL INCLUDING THE LIFTING AND RESETTNG OF ELECT ITEMS AND THE DISCONNECTING AND RECONNECTING OF ELECT CONNECTIONS
- (E) ROOF SLOPE DIRECTION
- (E) FINISHED SHT MTL SMALL PANEL - CLEAN, RESEAL AND PAINT (NOT ELEVATED)



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DRAWN BY: EVS  
CHECKED BY: SEE  
JOB NO: 22-002 BSD NRES  
DATE: 07/08/2022  
ISSUED FOR: BID | PERMIT  
SHEET TITLE  
ROOF PLAN -  
ASSEMBLY AND ALTERNATE AREAS  
SHEET NO.



1. ELEVATIONS ARE FOR GENERAL PURPOSE ONLY.
2. INFORMATION RELATING TO THE EXISTING BUILDING IS BASED ON CASUAL OBSERVATION. ACTUAL CONDITIONS VARY AND SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
3. GRAPHIC PRESENTATION OF THE AFFECTED AREAS ON DRAWINGS MAY BE SMALLER OR LARGER THAN INDICATED.
4. ONLY MAJOR ELEMENTS ARE SHOWN.
5. DEMO (E) MD WALL PANEL AND FASCIA CLADDING DOWN TO SHEATHING. REMOVE REGLET COUNTER FLASHING AND INCOMPATIBLE SEALANTS.

(E) WINDOW

(E) CEMENT PLASTER

(E) STEEP SLOPE - ASPHALT - COMPOSITION SHINGLE ROOF SYSTEM

(E) SHEET METAL CROSS BROKE PANEL

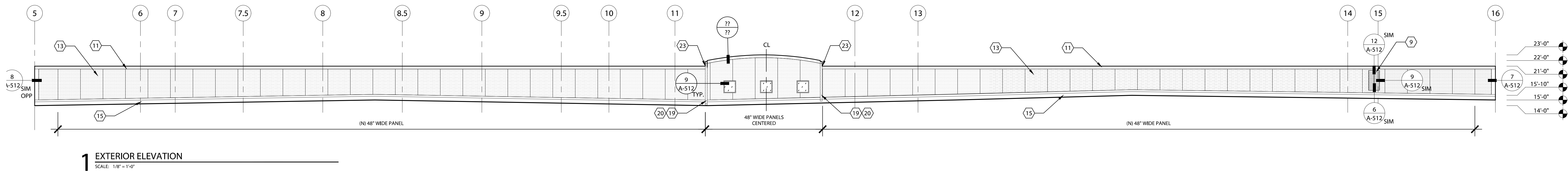
(N) FIBER CEMENT CLADDING

(E) SHEET METAL PANEL

(E) METAL PANEL

- (1) (E) BRICK
- (2) (E) BRICK VENEER
- (3) (E) METAL PANEL
- (4) (E) 5" STEEL COLUMN
- (5) (E) CONCRETE FOOTING
- (6) (E) CEMENT PLASTER
- (7) (E) SHEET METAL CROSS-BROKE PANEL - CLEAN, RESEAL AND PAINT
- (8) (E) SHEET METAL PANEL - CLEAN, RESEAL AND PAINT
- (9) (E) LOUVERS - CLEAN, RESEAL AND PAINT
- (10) (N) PRIMED PARAPET COPING - CLEAN, RESEAL AND PAINT
- (11) (N) PRIMED SHEET METAL FLASHING - PAINT TO MATCH EXISTING
- (12) DEMO (E) ROOF LADDER, PATCH, REPAIR AND PAINT (E) ANCHOR POINT LOCATIONS TO MATCH EXISTING.
- (13) (N) FIBER CEMENT WALL PANEL CLADDING, PAINT TO MATCH (E) ADJACENT
- (14) (N) FIBER CEMENT FASCIA CLADDING, PAINT TO MATCH (E) ADJACENT
- (15) (N) ROOF BASE FLASHING
- (16) (N) GALV. OSHA APPROVED ROOF LADDER
- (17) (N) PRIMED SHEET METAL GUTTER WITH LEAF GUARD - PAINT TO MATCH EXISTING
- (18) (E) SHEET METAL DOWNSPOUT
- (19) (N) PRIMED SHEET METAL DOWNSPOUT - PAINT TO MATCH EXISTING
- (20) (N) SPLASH BLOCK
- (21) (E) FORMED METAL LOUVER ASSEMBLY WITH COPING - CLEAN, RESEAL AND PAINT
- (22) (E) ELECTRICAL PANEL W/ OUTLETS

PROVIDE 20 GA. PRE-FIN. GALV. FULLY FORMED SADDLE FLASHING TRIM AT CORNERS OF (N) COPING & (E) ASPHALT SHINGLE ROOF OVER FULLY FORMED SAM SADDLE



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CHECKED BY: SEE  
JOB NO: 22-002 BSD NRES  
DATE: 07/08/2022  
ISSUED FOR: BID | PERMIT  
SHEET TITLE  
EXTERIOR ELEVATIONS  
SHEET NO.





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PORTLAND, OR 97216  
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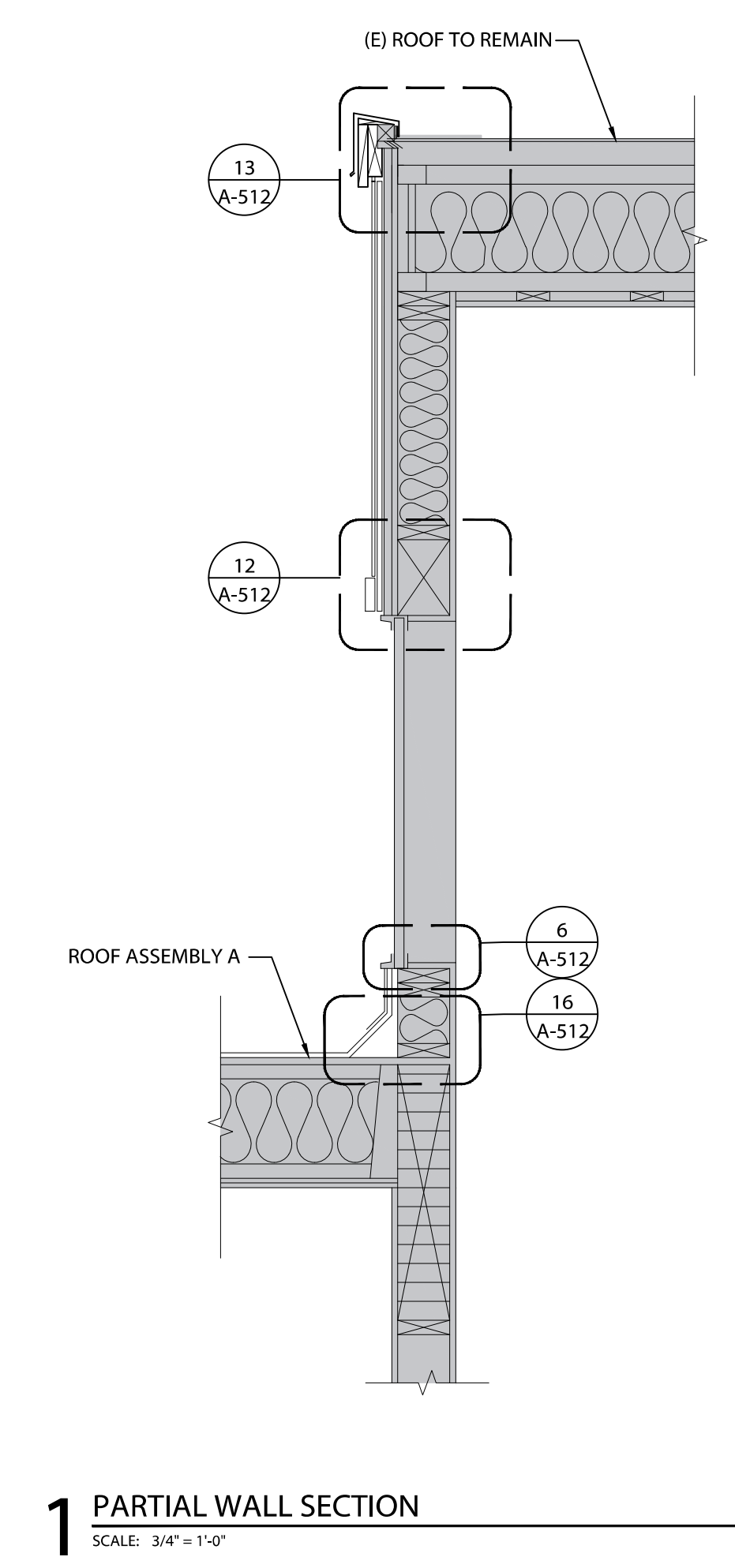
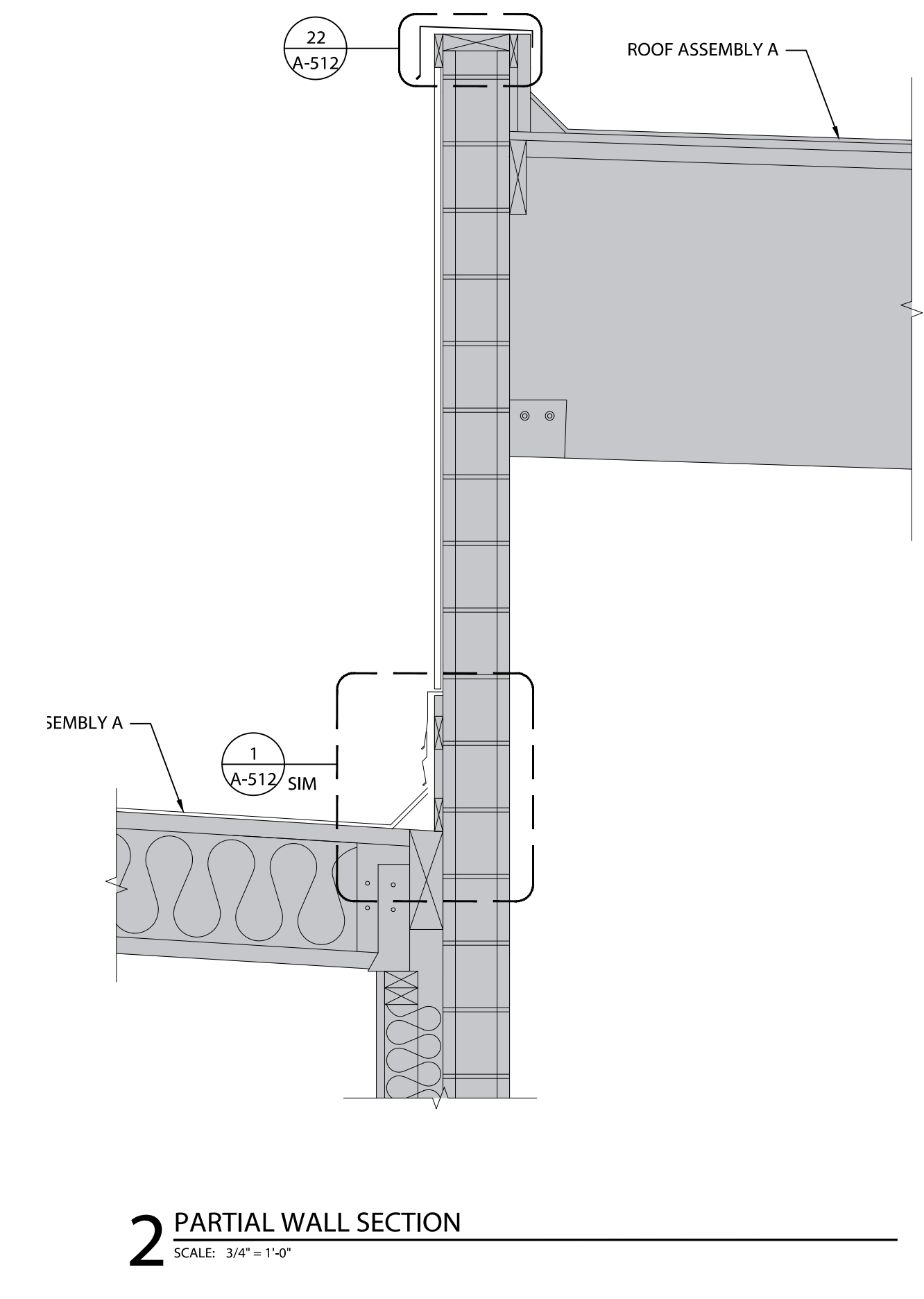
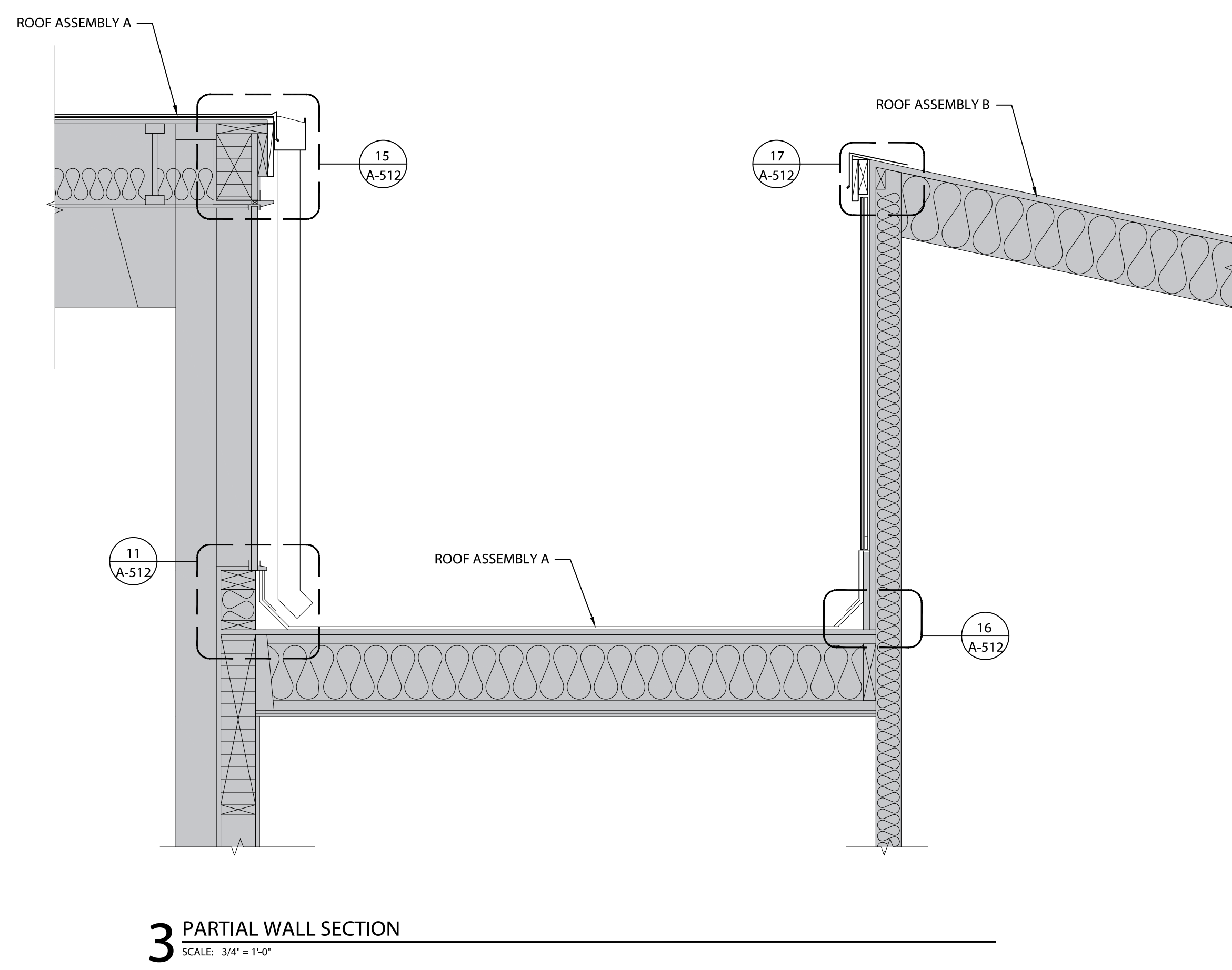
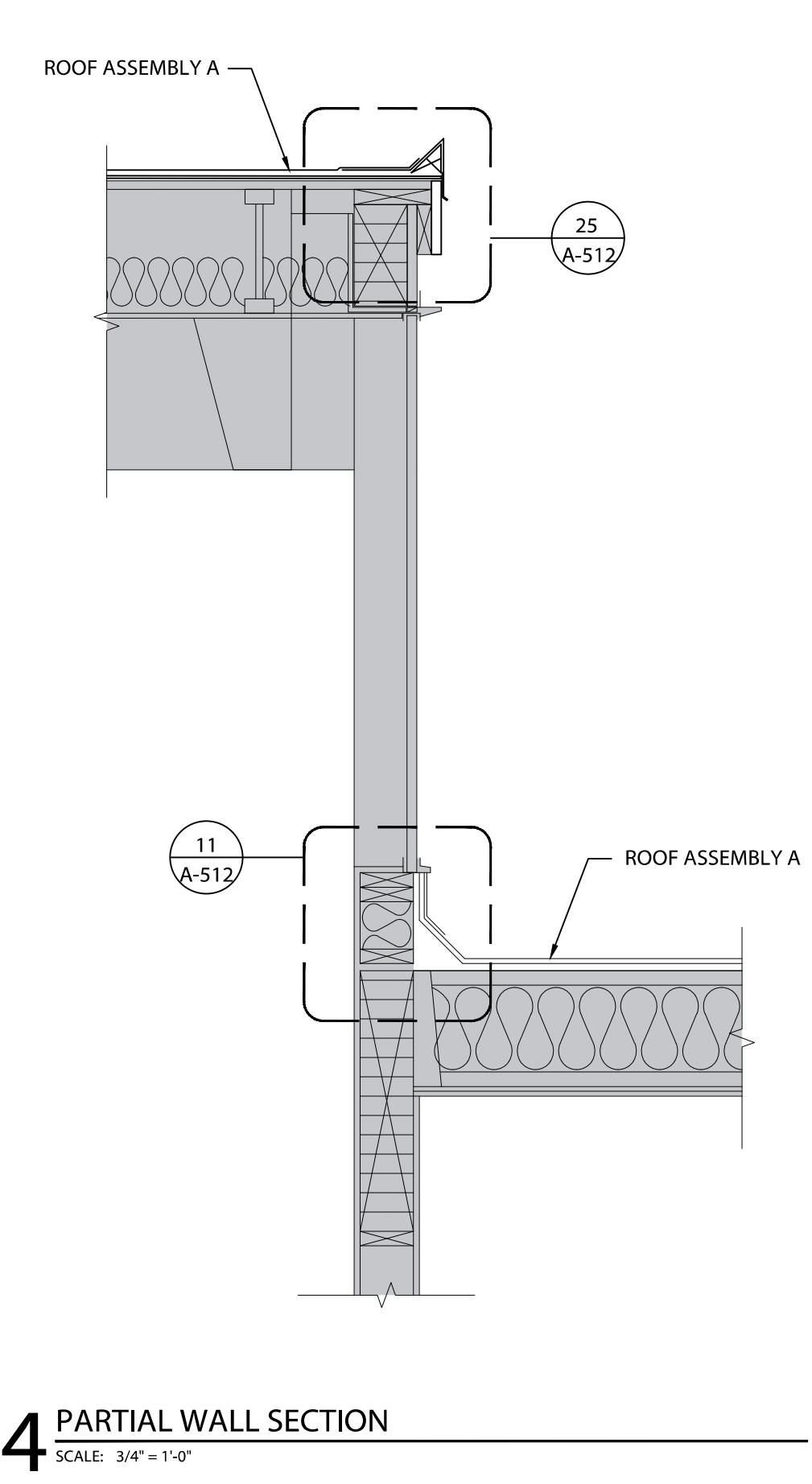
ROOFING REPLACEMENT  
BEAVERTON SCHOOL DISTRICT  
NANCY RYLES ELEMENTARY SCHOOL  
10250 SW CORMORANT DR.  
BEAVERTON, OR 97007



REVISIONS		
No.	Description	Date

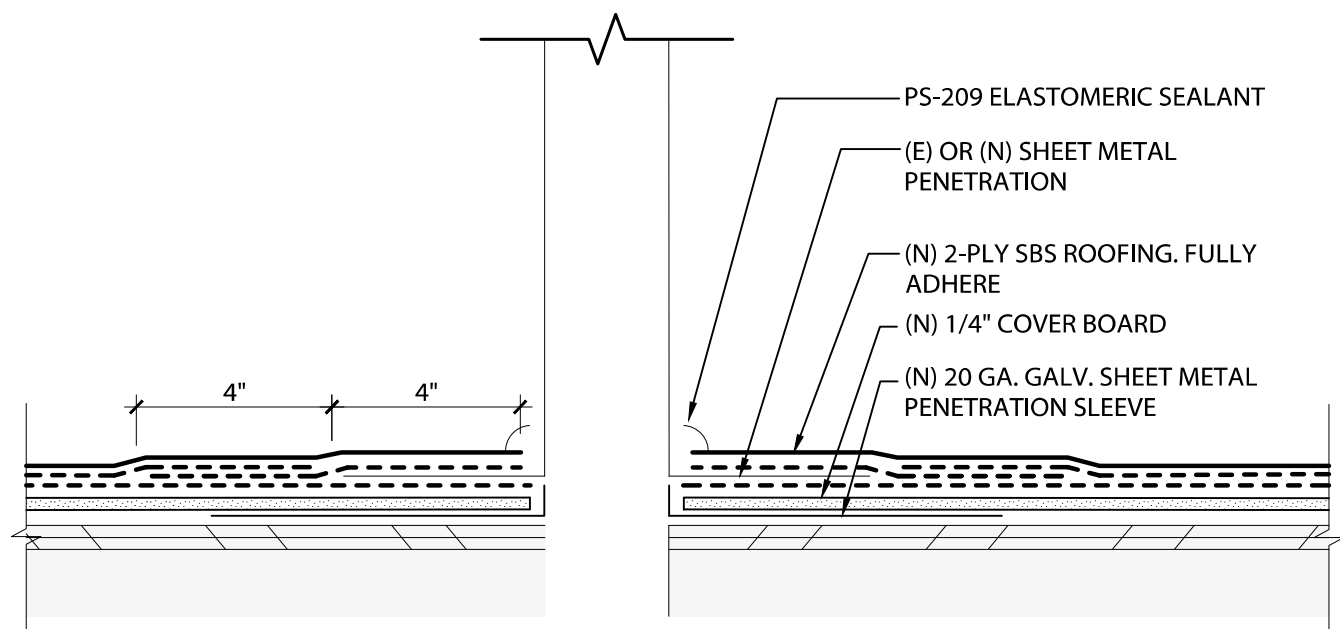
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CHECKED BY: SEE  
JOB NO: 22-002 BSD NRES  
DATE: 07/08/2022  
ISSUED FOR: BID | PERMIT  
SHEET TITLE  
PARTIAL WALL SECTIONS  
SHEET NO.

A-321

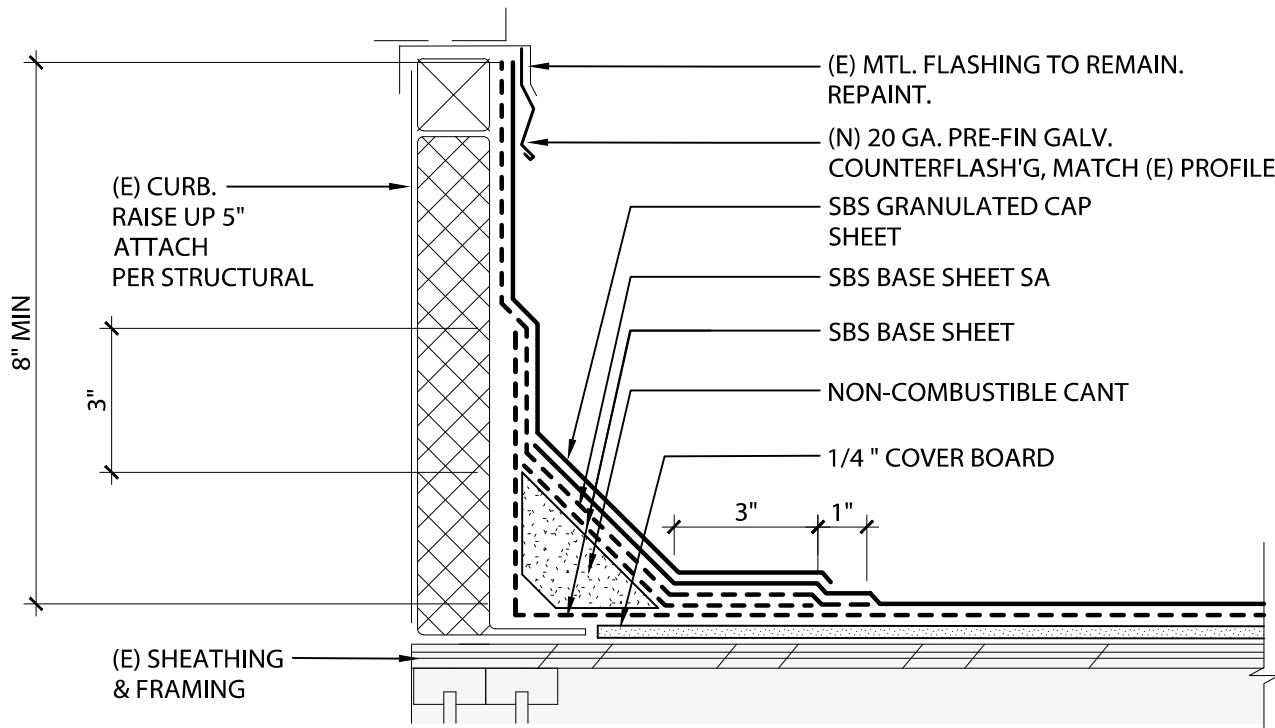




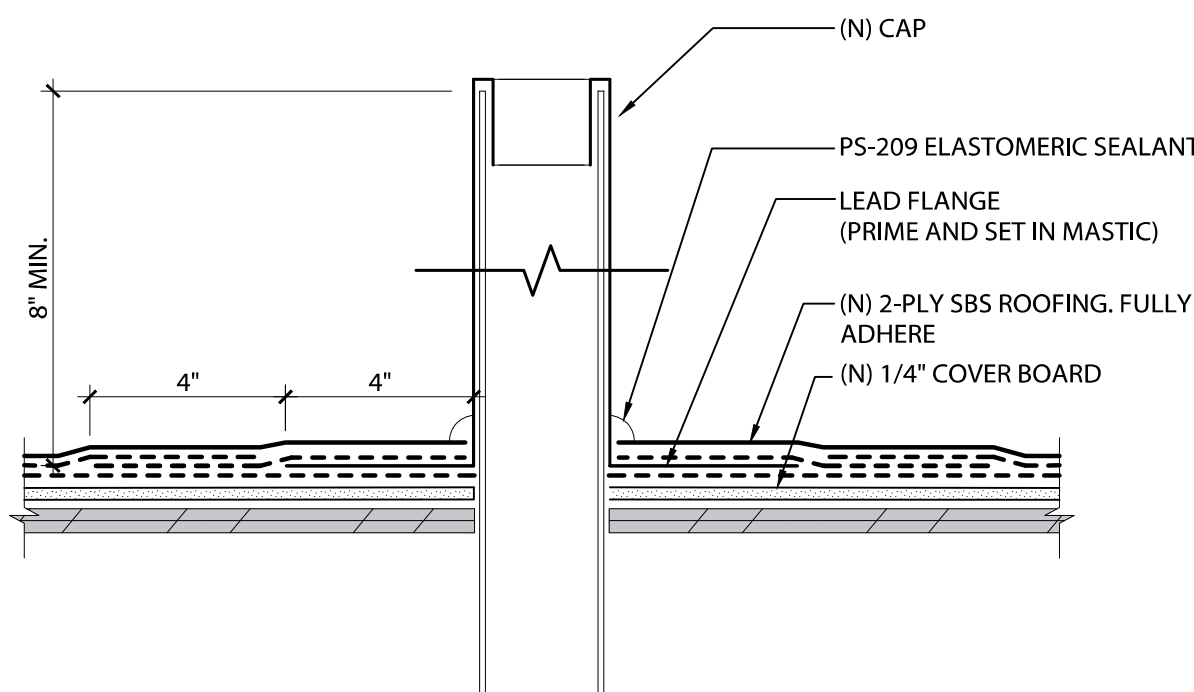
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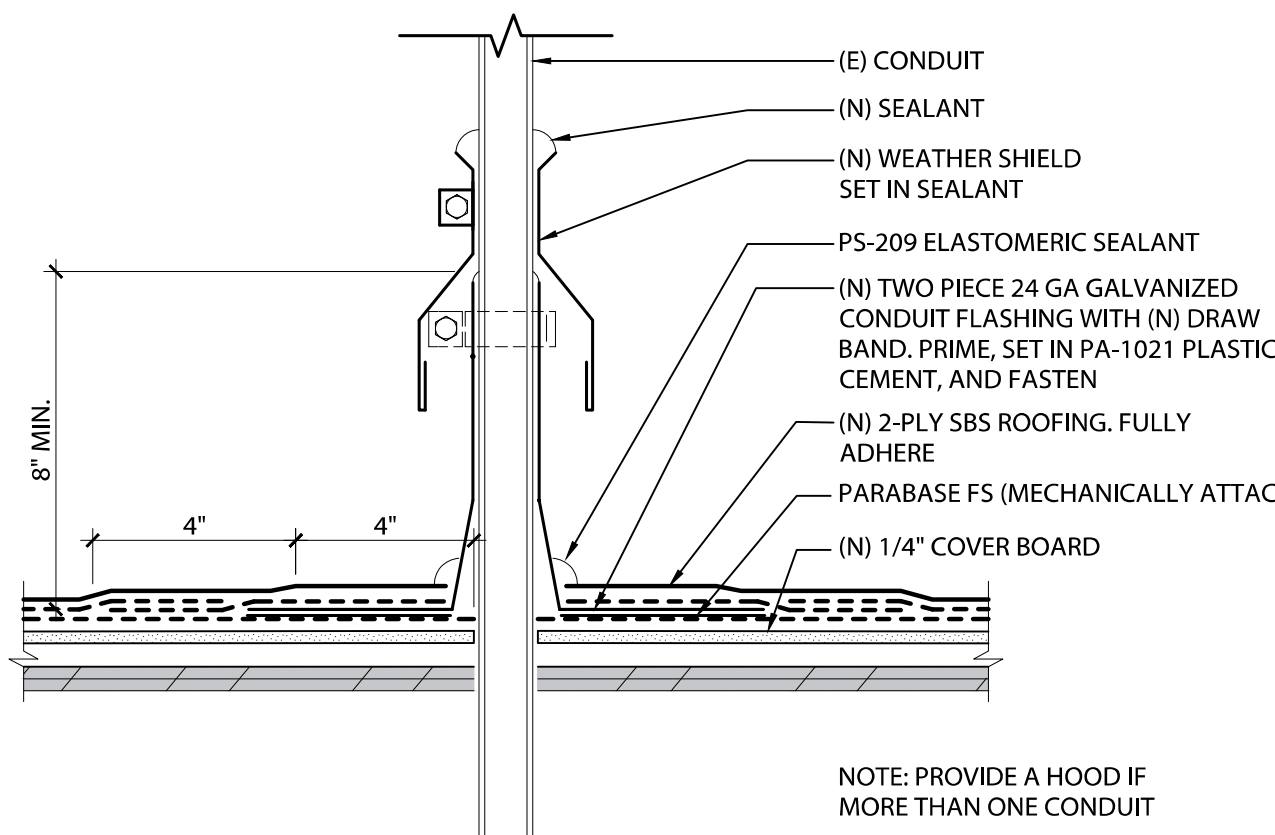
15 TYPICAL SHEET METAL PENETRATION  
SCALE: 3" = 1'-0"



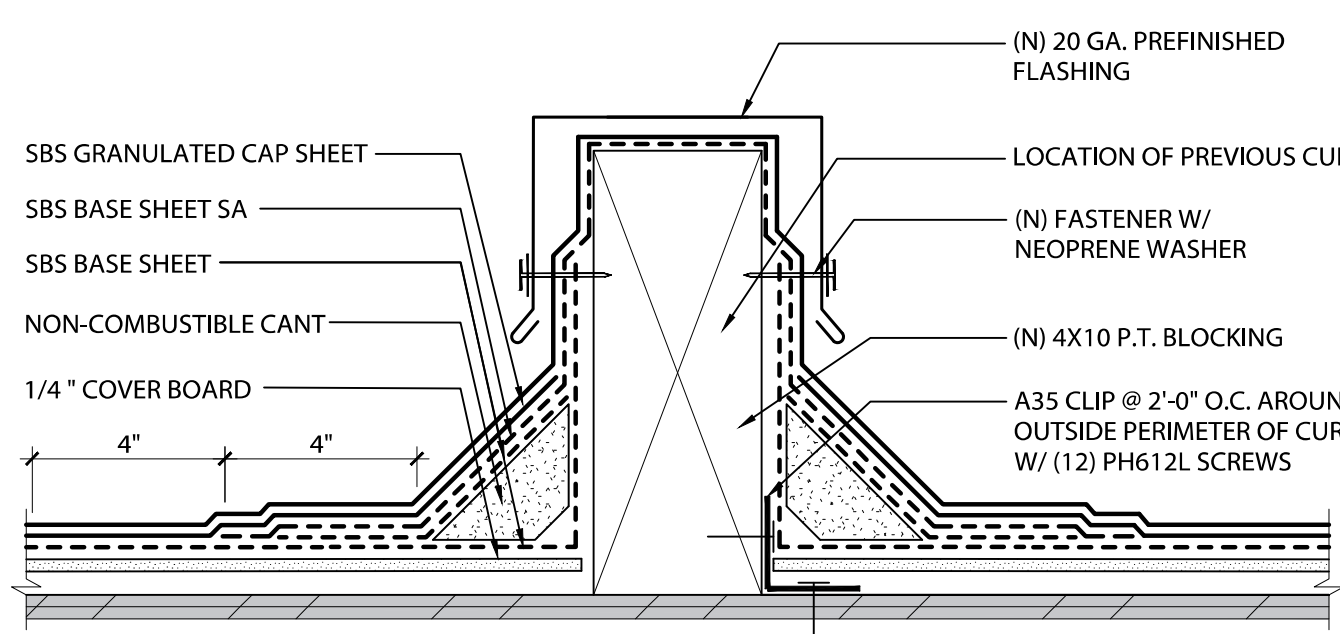
14 TYPICAL RAISED CURB  
SCALE: 3" = 1'-0"



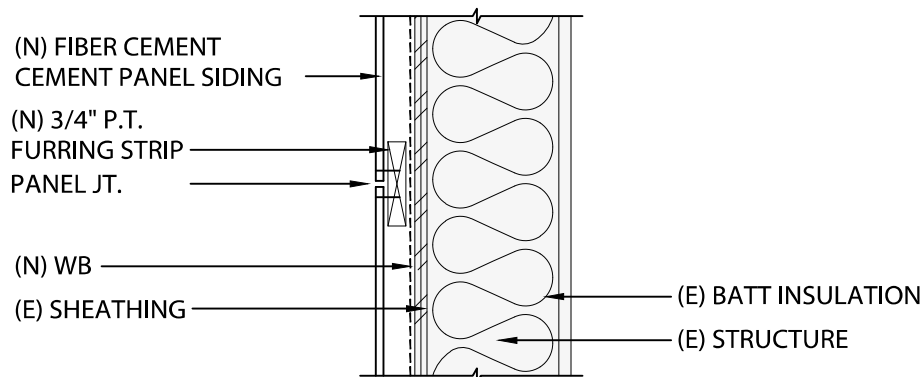
13 VENT FLASHING  
SCALE: 3" = 1'-0"



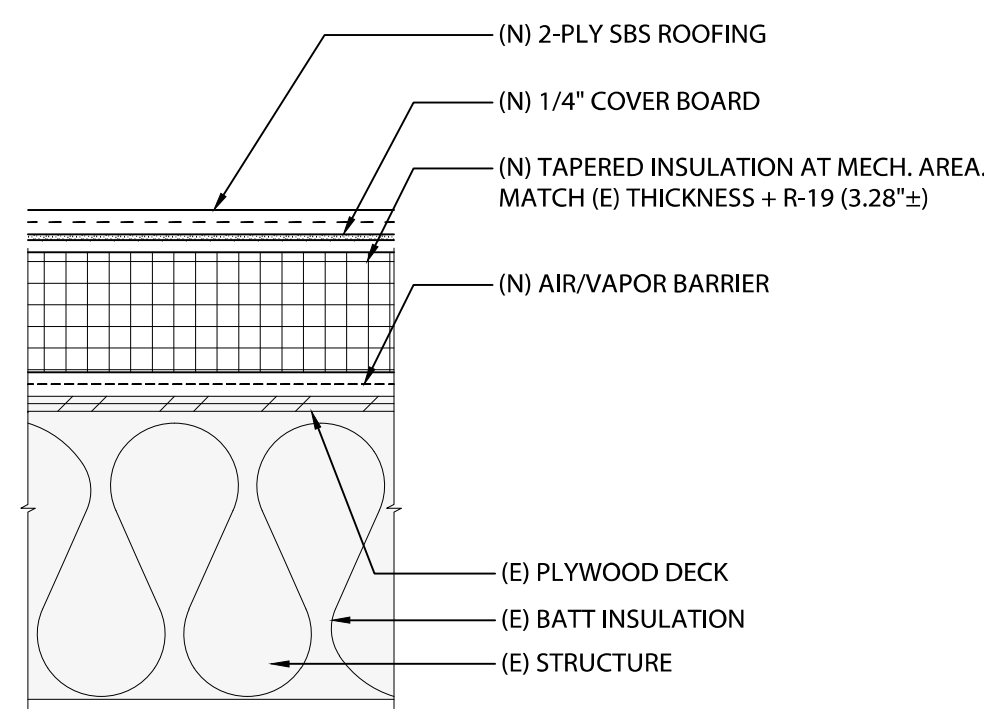
12 ELECTRICAL CONDUIT  
SCALE: 3" = 1'-0"



11 EQUIPMENT CURB  
SCALE: 3" = 1'-0"

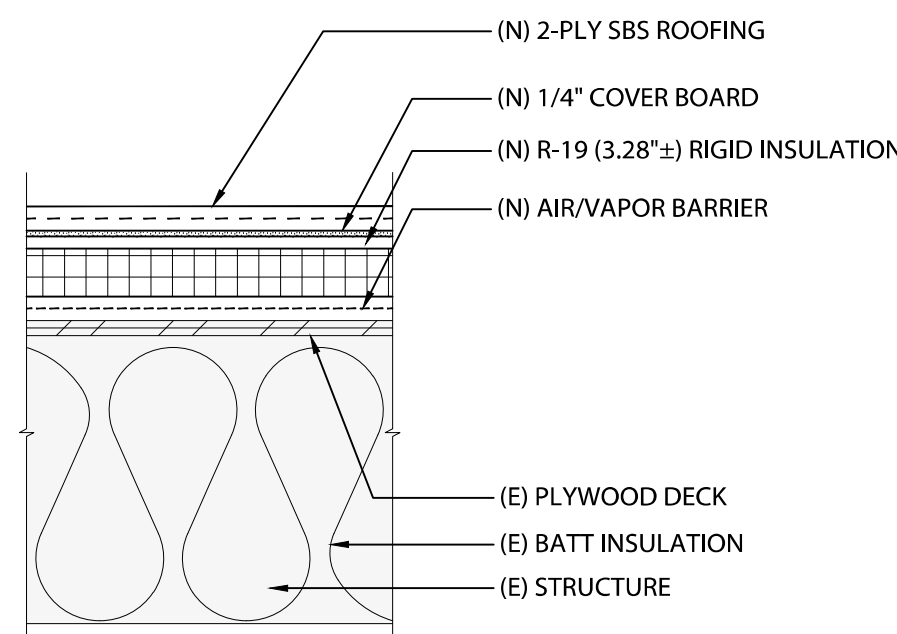


7 WALL ASSEMBLY C  
SCALE: 1 1/2" = 1'-0"



6 ROOF ASSEMBLY A.1 LOW SLOPE - ALTERNATE NO. 1  
SCALE: 1 1/2" = 1'-0"

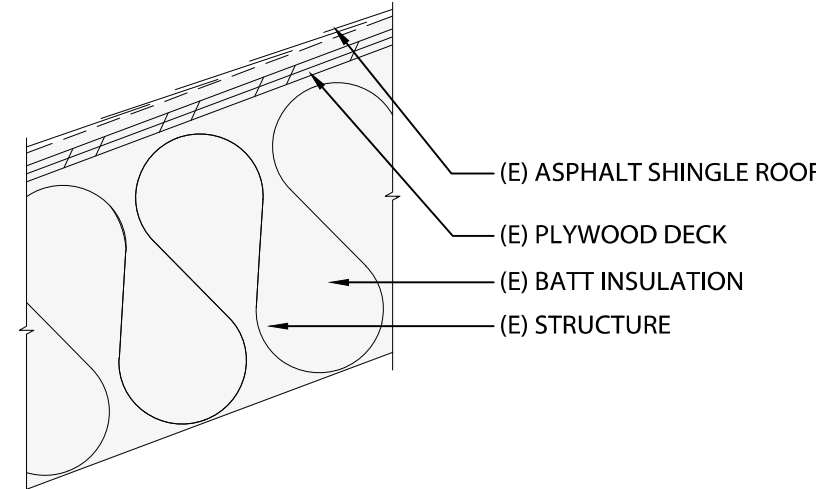
- ROOFING DETAIL SHEET NOTES
1. INFORMATION RELATING TO THE EXISTING BUILDING IS BASED ON CASUAL OBSERVATION ACTUAL CONDITIONS VERY AND SHELL BE FIELD VERIFIED BY THE CONTRACTOR.
  2. GRAPHIC PRESENTATION OF THE AFFECTED AREAS ON DRAWINGS MAY BE SMALLER OR LARGER THAN INDICATED.
  3. ONLY MAJOR ELEMENTS ARE SHOWN.
  4. CONTRACTOR RESPONSIBLE FOR THE DISCONNECTION AND RECONNECTION OF ALL UTILITY CONNECTIONS AS REQ'D TO COMPLETE WORK. THIS INCLUDES ANY WORK REQ'D TO EXTEND PIPES, WIRES, ETC. TO MEET MIN. CLEARANCES.
  5. ROOF CANNOT BE LEFT UNPROTECTED FROM THE ELEMENTS FOR A WEEKEND OR HOLIDAY PERIOD. CONTRACTOR MAY LEAVE ROOF UNPROTECTED OVERNIGHT AND ASSUMES ALL RISK FOR ANY DAMAGE CAUSED.
  6. CONTRACTOR TO PROVIDE SITE CLEANUP AT THE END OF EACH WORK DAY. CLEANUP SHALL INCLUDE A MAGNET/METAL DETECTOR FOR ALL HARD SURFACES WITHIN 15 FEET OF BUILDING AND ALL LANDSCAPED AREAS.
  7. REMOVE EXISTING ROOFING DOWN TO EXISTING SHEATHING. REMOVE AND DISPOSE OF ROOFING AS REQ'D. BY GOVERNING AUTHORITIES.
  8. REPLACE EXISTING ROOF SYSTEM DAMAGED FROM WATER INTRUSION AS REQ'D FOR NEW SCOPE OF WORK INCLUDING, BUT NOT LIMITED TO, SHEATHING, CURBS, BLOCKING, FLASHING, ETC.
  9. FOR ADDITIONAL GENERAL DEMOLITION INFORMATION SEE NO. 6 UNDER GENERAL NOTES ON SHEET G-001.
  10. NEW SHEET METAL PROFILES ( COPINGS, EDGE METAL, ETC.) SHALL CLOSELY MATCH EXISTING TO BE REPLACED. CONTRACTOR TO FIELD-MEASURE EXISTING FABRICATION PRIOR TO DISPOSAL.
  11. TYPICAL ROOF DETAIL SHEET NOTES APPLY TO ALL ROOFING DETAIL SHEETS.



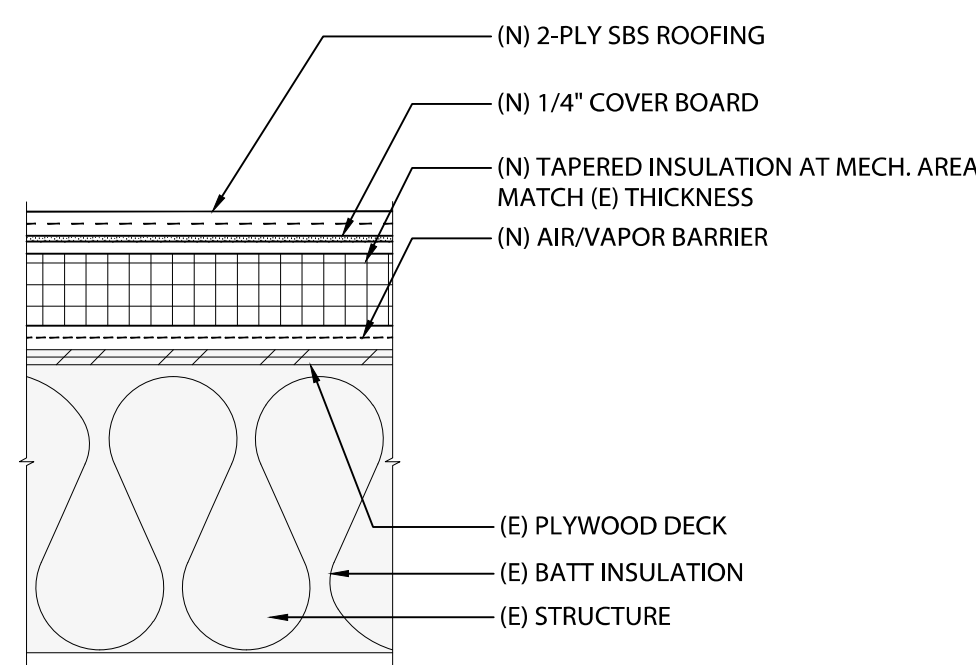
NOTE: THERE WILL BE AN ESTIMATED CONTINGENCY ALLOWANCE FOR ADDITIONAL MEP WORK ASSOCIATED WITH ALTERNATE NO. 1

4 ROOF ASSEMBLY A- LOW SLOPE - ALTERNATE NO. 1  
SCALE: 1 1/2" = 1'-0"

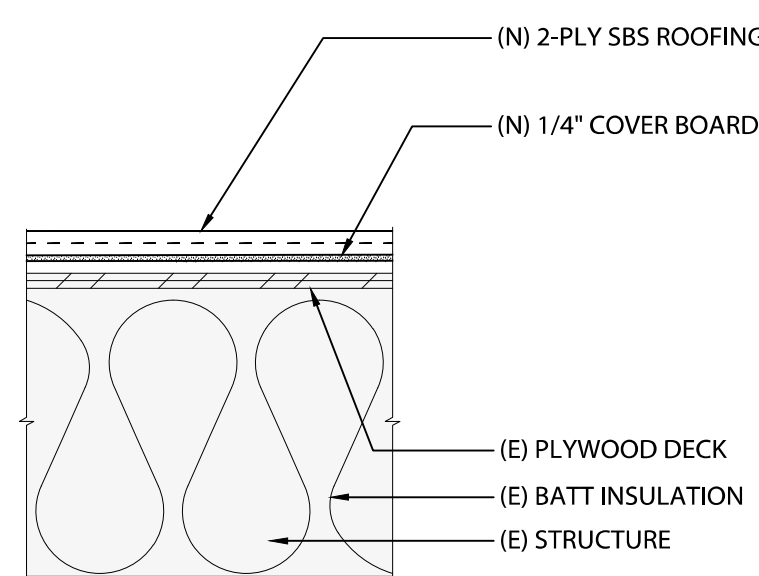
- (E) ASPHALT SHINGLE ROOF TO REMAIN
- a. BLOW OR SWEEP AWAY LOOSE DEBRIS FROM THE SURFACE OF THE ROOF. DO NOT ALLOW DEBRIS TO COLLECT IN GUTTERS.
  - b. TO COLLECT IN GUTTERS.
  - c. 50:50 RATIO OF CHLORINE BLEACH AND WATER. APPLY WITH A SPRAYER AND ALLOW FULL SATURATION (MIN. 15 MINUTES)
  - d. SATURATION (MIN. 15 MINUTES)
  - e. SCRUB ROOF WITH A SOFT BRISTLE BRUSH, RINSING AWAY MOSS AND ALGAE WITH A GARDEN HOSE (NOT A POWER WASHER).
  - f. HOSE (NOT A POWER WASHER).
  - g. CLEAN GUTTERS OF DEBRIS AS A RESULT OF MOSS REMOVAL.



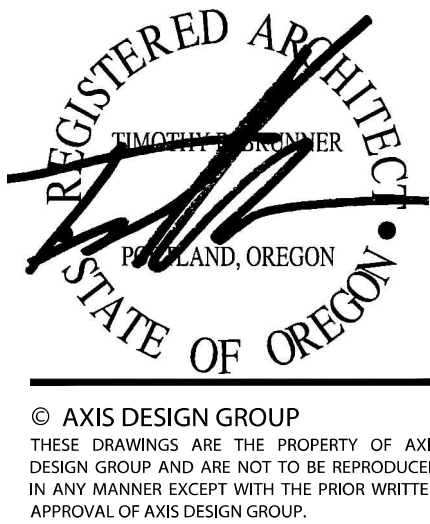
3 ROOF ASSEMBLY B - STEEP SLOPE  
SCALE: 1 1/2" = 1'-0"



2 ROOF ASSEMBLY A.1 - LOW SLOPE  
SCALE: 1 1/2" = 1'-0"



1 ROOF ASSEMBLY A - LOW SLOPE  
SCALE: 1 1/2" = 1'-0"



ROOFING REPLACEMENT  
BEAVERTON SCHOOL DISTRICT  
NANCY RYLES ELEMENTARY SCHOOL  
10250 SW CORMORANT DR.  
BEAVERTON, OR 97007



REVISIONS		
No.	Description	Date

DRAWN BY: AAE  
CHECKED BY: SEE  
JOB NO: 22-002 BSD NRES  
DATE: 07/08/2022  
ISSUED FOR: BID | PERMIT  
SHEET TITLE  
GENERAL ROOF ASSEMBLIES  
AND TYPICAL ROOF DETAILS  
SHEET NO.

A-511



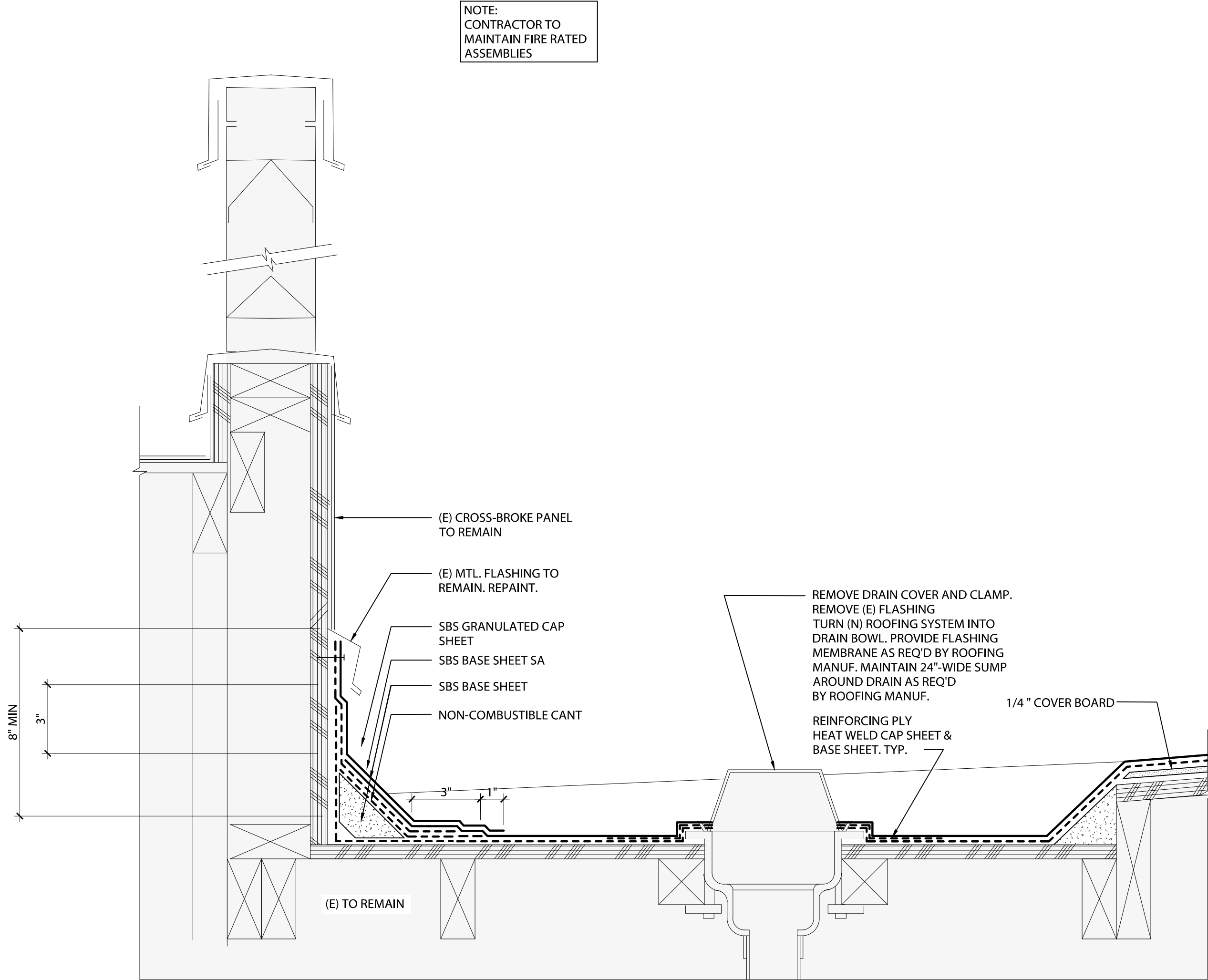




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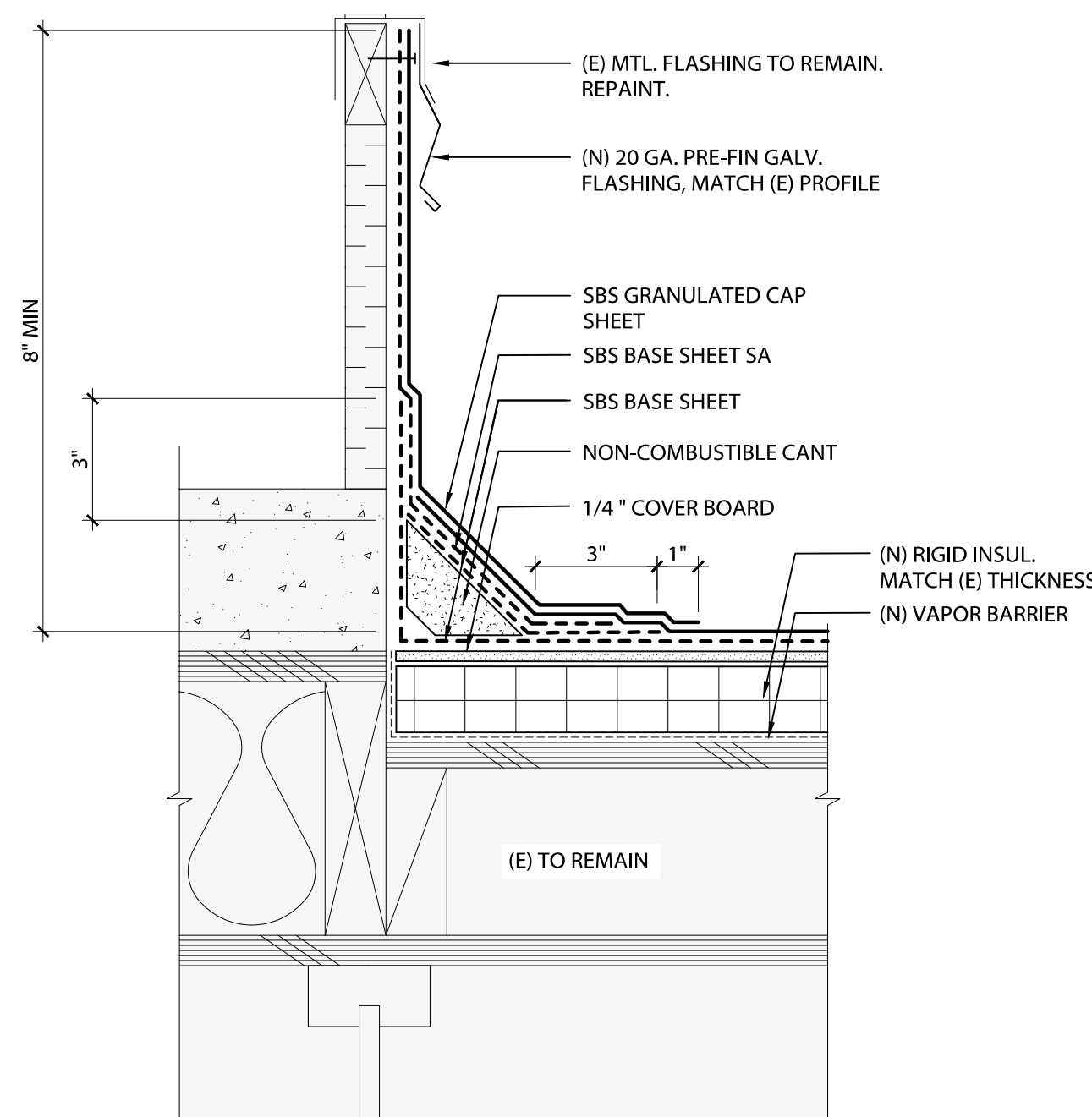
10 EXISTING ROOF DRAIN AND PARAPET

SCALE: 3"=1'-0"



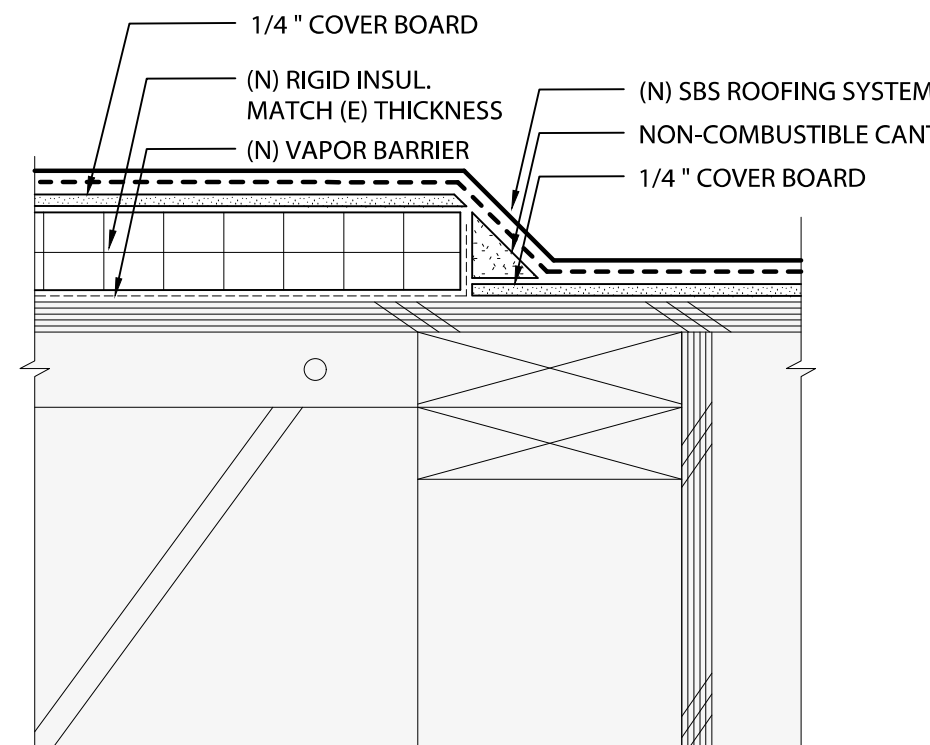
7 EXISTING MECH. CURB

SCALE: none



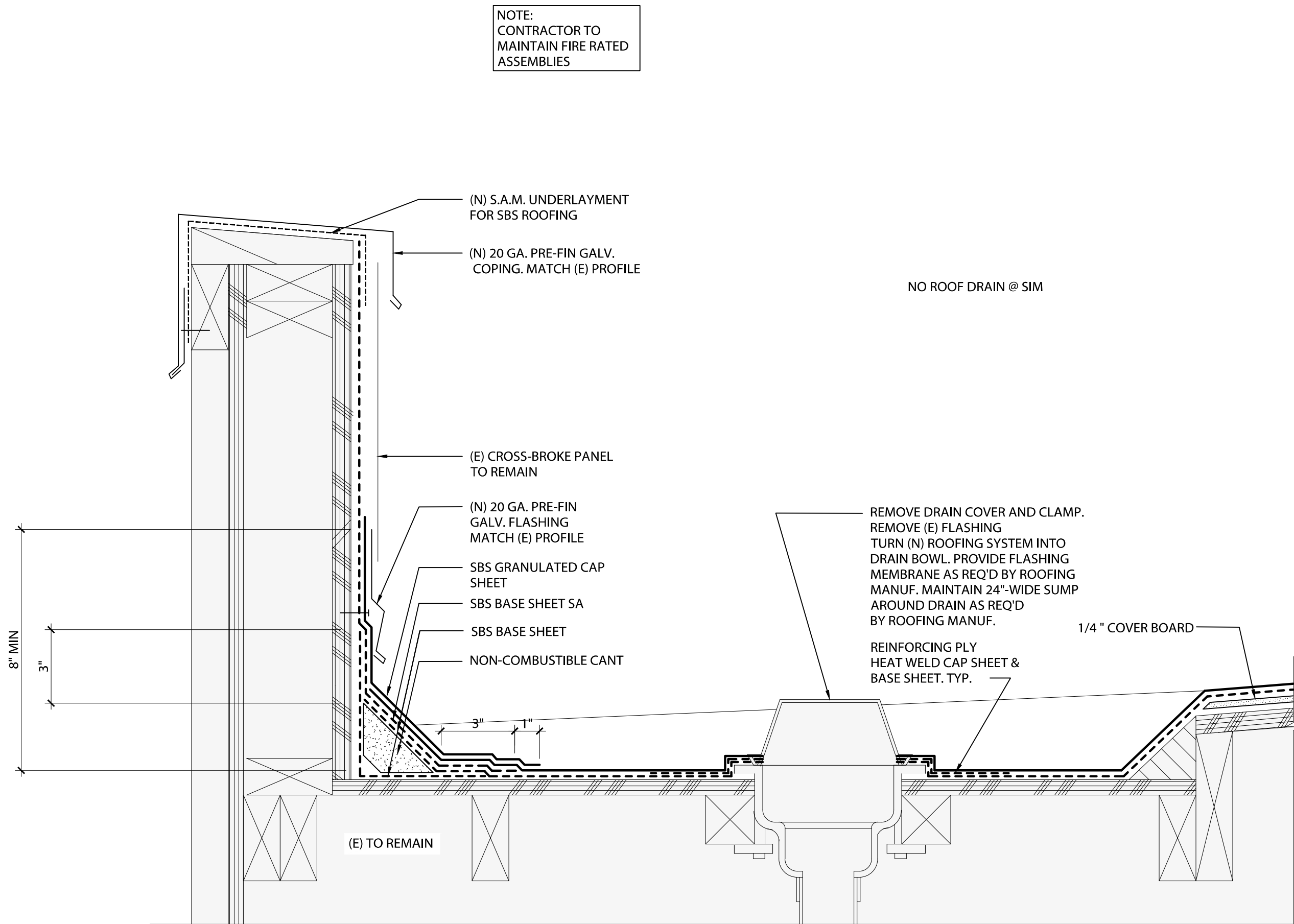
5 EXISTING ROOF

SCALE: none



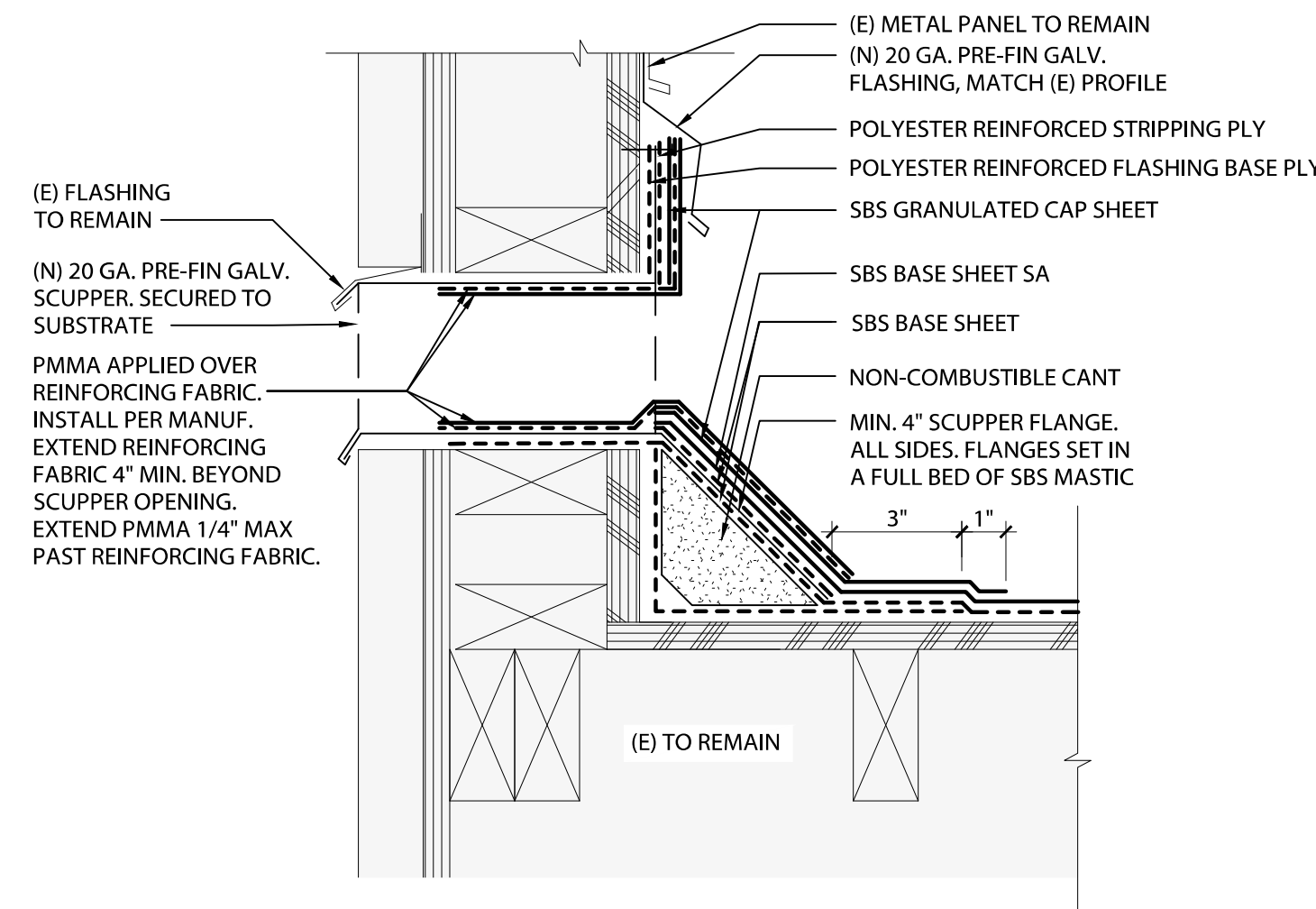
9 EXISTING ROOF DRAIN AND PARAPET

SCALE: 3"=1'-0"



1 EXISTING SCUPPER

SCALE: 3"=1'-0"



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NANCY RYLES ELEMENTARY SCHOOL  
10250 SW CORMORANT DR.  
BEAVERTON, OR 97007



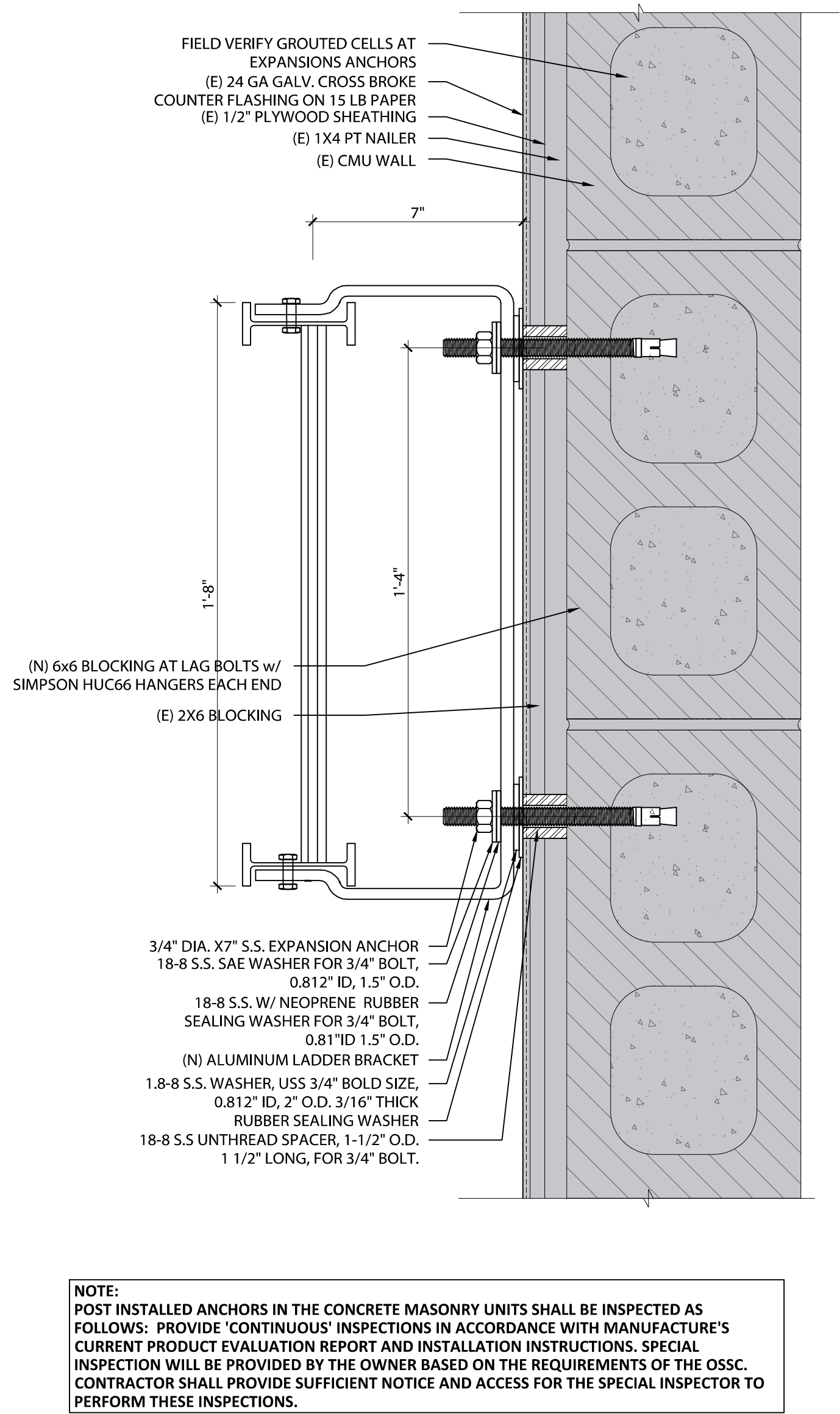
REVISIONS		
No.	Description	Date

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CHECKED BY: SEE  
JOB NO: 22-002 BSD NRES  
DATE: 07/08/2022  
ISSUED FOR: BID | PERMIT  
SHEET TITLE  
ROOF DETAILS  
SHEET NO.

A-513

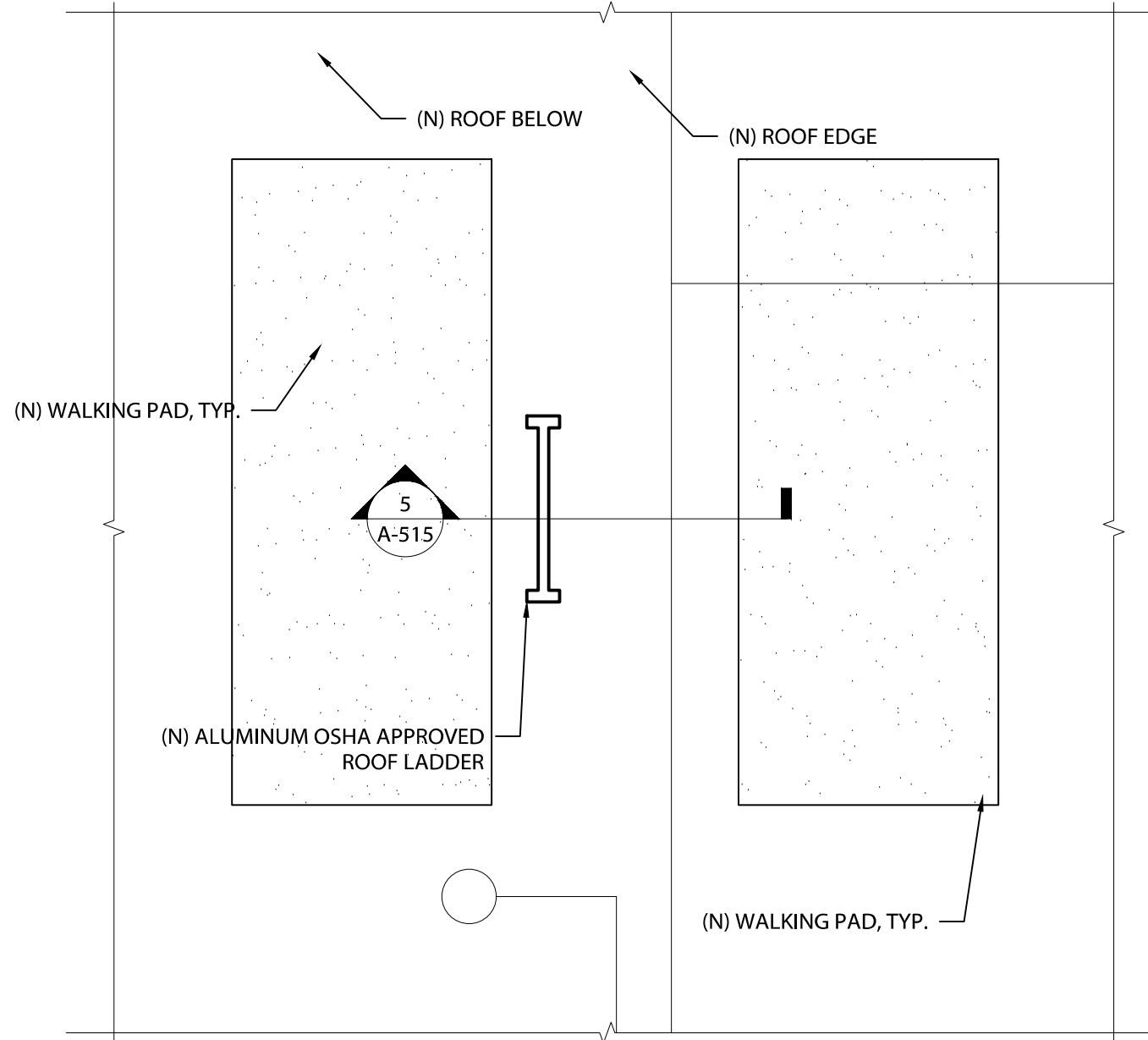


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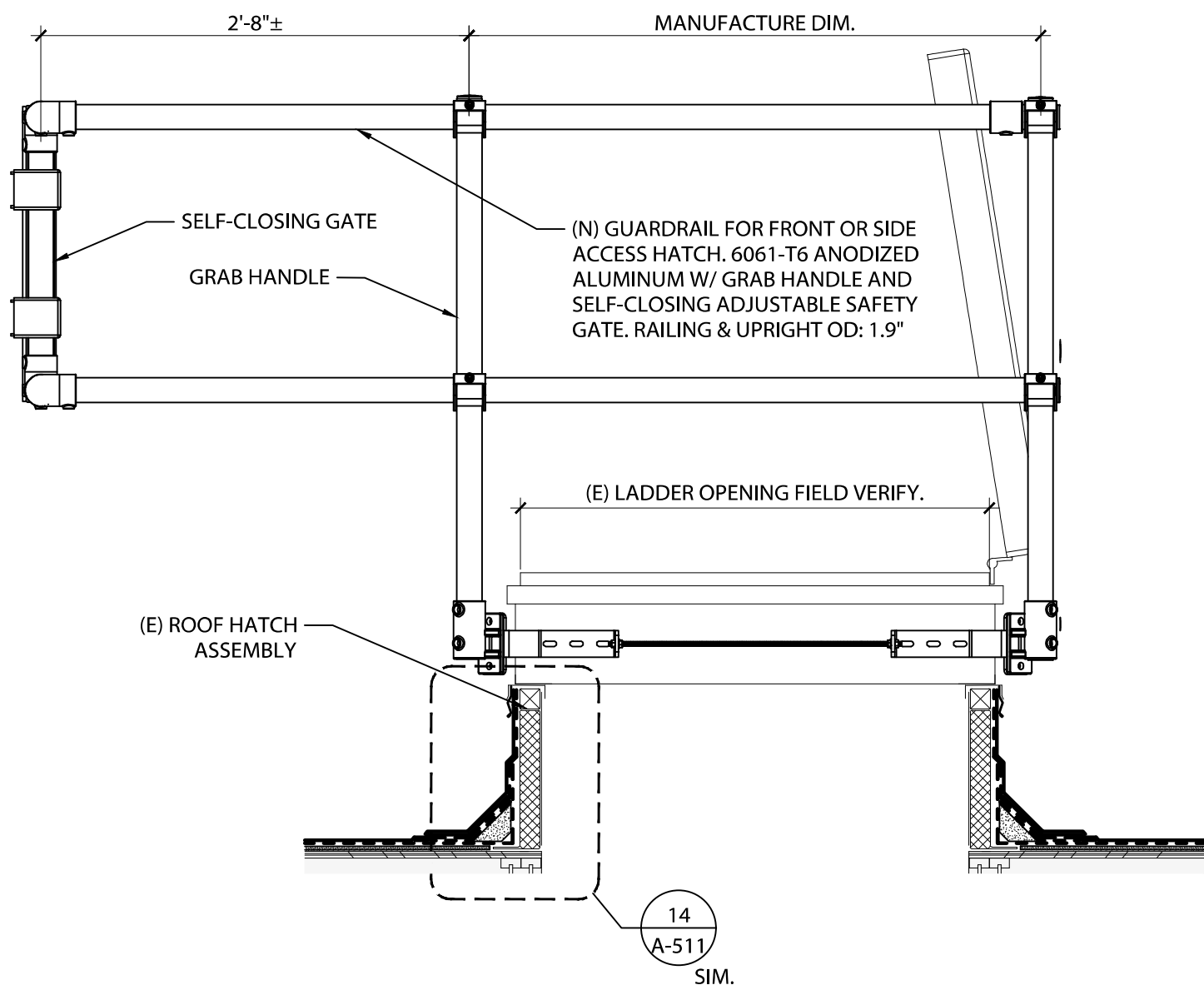
7 LADDER DETAIL

SCALE: 3" = 1'-0"



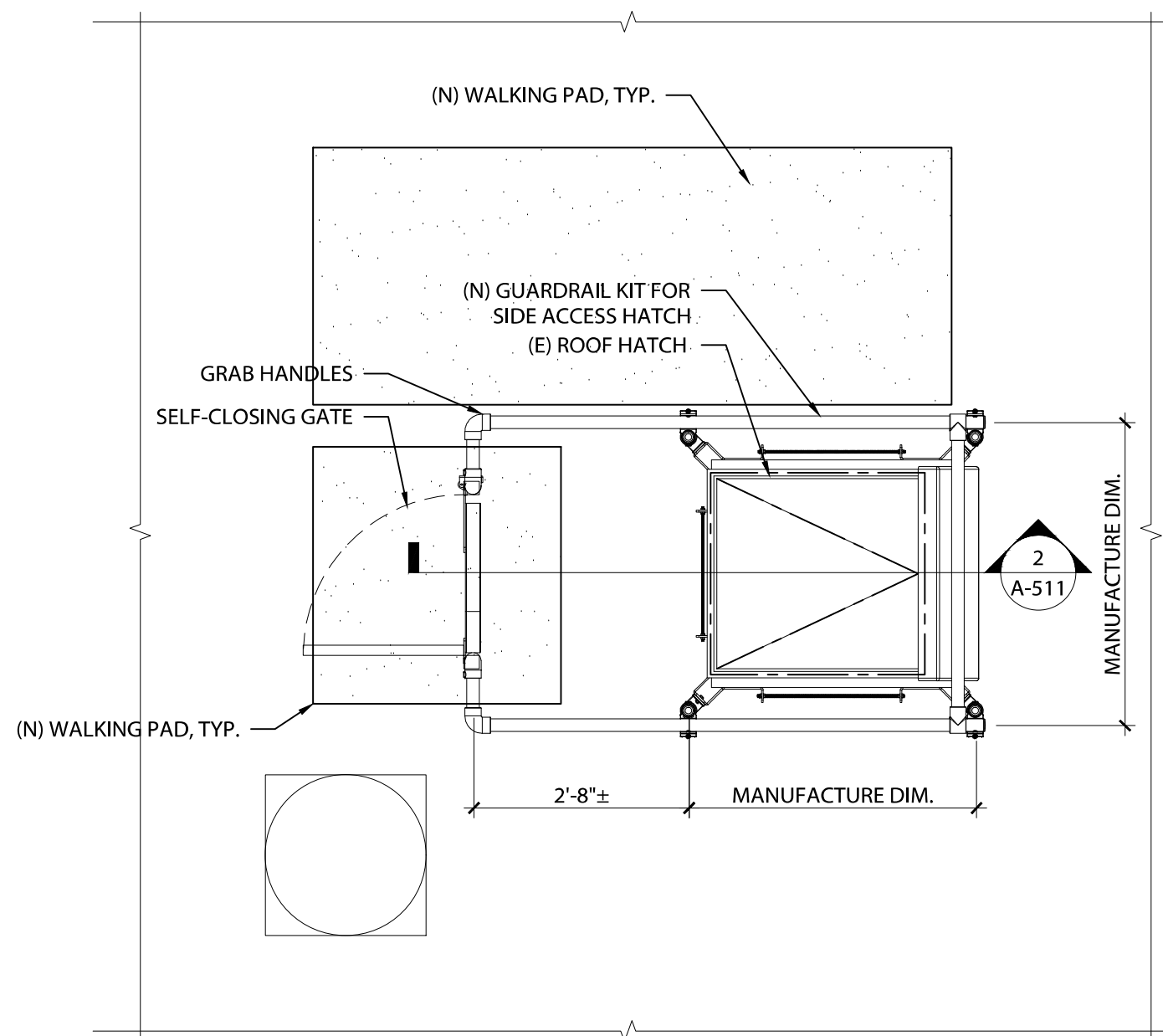
3 ENLARGED PLAN AT ROOF HATCH

SCALE: 1/2" = 1'-0"



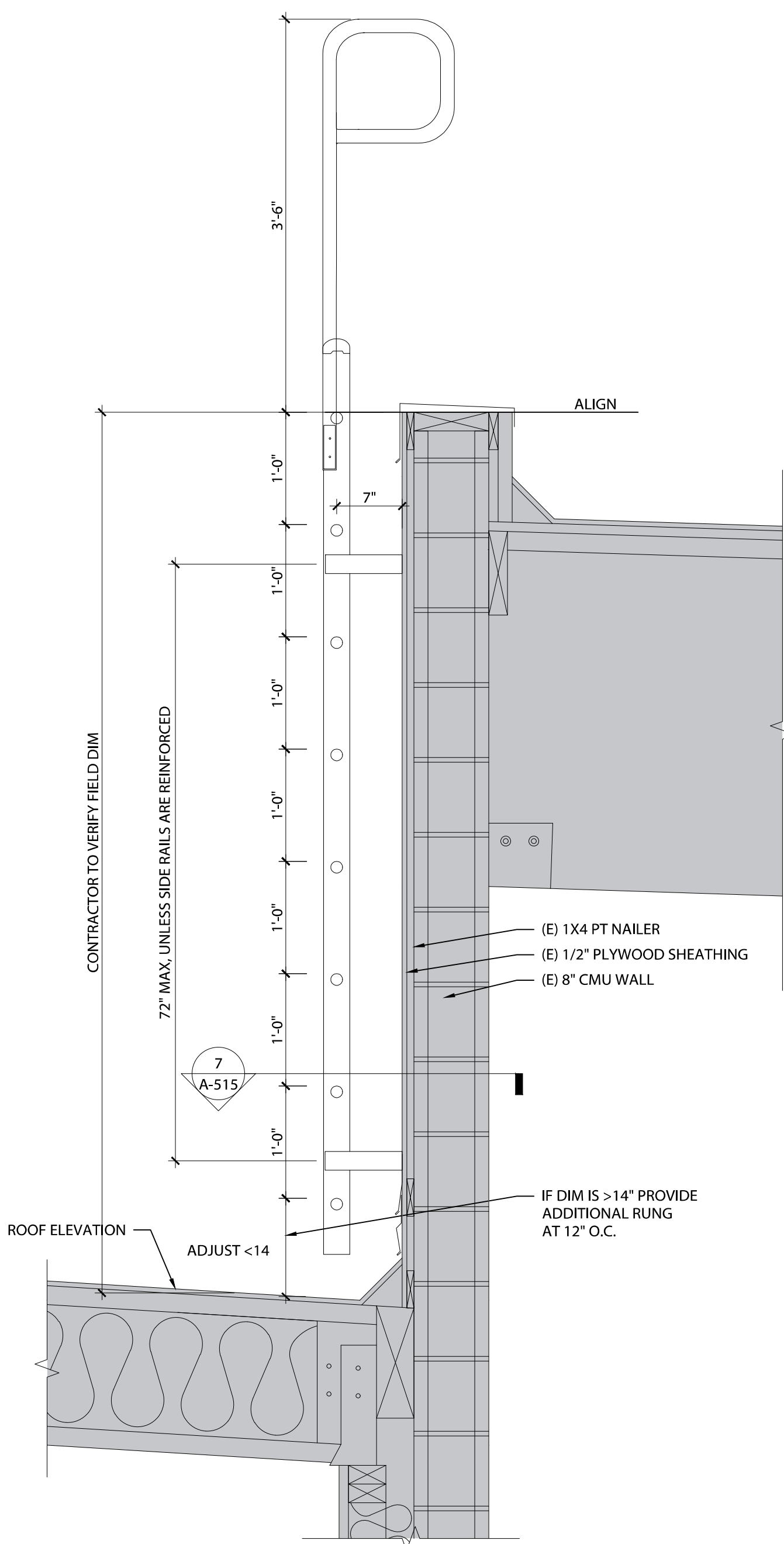
2 ROOF HATCH SIDE ELEVATION

SCALE: 1/2" = 1'-0"



1 ENLARGED PLAN AT ROOF HATCH

SCALE: 1/2" = 1'-0"



5 LADDER SECTION

SCALE: 1" = 1'-0"



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PORTLAND, OR 97216  
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ROOFING REPLACEMENT  
BEAVERTON SCHOOL DISTRICT  
NANCY RYLES ELEMENTARY SCHOOL  
10250 SW CORMORANT DR.  
BEAVERTON, OR 97007



REVISIONS		
No.	Description	Date

DRAWN BY: EVS  
CHECKED BY: SEE  
JOB NO: 22-002 BSD NRES  
DATE: 07/08/2022  
ISSUED FOR: BID | PERMIT  
SHEET TITLE  
ENLARGED PLANS  
SHEET NO.

A-515



## PLAN CHECK COMMENT REVISIONS NO. 1 – Nancy Ryles Elementary

Date: **September 9, 2022**  
 To: Beaverton School District #48J  
 16550 SW Merlo Road  
 Beaverton, OR 97003  
 Attn: Christopher Hansen–Project Manager  
 From: Steven Eggleston  
 Project: 2022 Roof projects Architectural / Engineering Consultant Services: Findley Elementary (FIES)  
 McKinley Elementary (MKES) Nancy Ryles (NRES) – Seismic Upgrade  
 Project location(s): Nancy Ryles Elementary (NRES); Beaverton, Oregon

The Plan Check Comment Revisions forms a part of the Contract Documents and modifies the original documents for the Roofing Replacement Beaverton School District Nancy Ryles Elementary School – Bid/Permit Documents, dated 7/8/22 as noted below.

It is essential that prospective bidders note the contents of the Plan Check Comment Revisions and that the Beaverton School District and AXIS Design Group be made aware that the document has been received. Therefore, acknowledge receipt by inserting the number of this document in the space provided on in the Acknowledgement of the bid form.

### CHANGES TO GENERAL INFORMATION

<b>P1.0</b>	<b>REFER TO:</b>	<b>Bid Date/Time or Other General Info</b>
	ADD:	Instructions
	CHANGE/DELETE:	Instructions
	CLARIFICATIONS:	Instructions

### CHANGES TO PROCUREMENT AND CONTRACTING REQUIREMENTS PROJECT MANUAL

<b>P1.1</b>	<b>REFER TO:</b>	<b>Section #; Name – Description</b>
	CHANGE/DELETE:	01 40 00; Quality Requirements
<b>P1.2</b>	<b>REFER TO:</b>	<b>Section #; Name – Description</b>
	CHANGE/DELETE:	07 72 00; Roof Accessories

### CHANGES TO DISCIPLINE DRAWINGS

<b>P1.3</b>	<b>REFER TO:</b>	<b>Sheet #; Name – Description</b>
	CLARIFICATIONS:	Sheet G-000; Sheet Index, Project Description And Project Information
		<ul style="list-style-type: none"> <li>Clarification to Separate Permits (Design Build) Items</li> </ul>



**P1.4**      **REFER TO:**                      **Sheet #; Name - Description**  
 CLARIFICATIONS:                      Sheet A-511; General Roof Assemblies and Typical Roof Details

- Clarification Note to Detail 14 Typical Raised Curb.

CLARIFICATIONS:                      Sheet A-515; Enlarged Plans and Details

- Clarification to Detail 2 Roof Hatch Side Elevation.
- Clarification to Detail 7 Ladder Detail.

#### SUBSTITUTIONS

**Item #1**      **REQUEST: No 1**                      **Section #; Name - Description**  
 DETERMINATION:                      Section #; Name - Description  
 Rejected/Approved: See attached Submittal Review

#### QUESTION/RESPONSE

**Item #1**      **QUESTION:**                      **RFI #0.0; Name - Description**  
**RESPONSE:**                      See attached RFI.

#### ATTACHMENTS:

REFERENCE NO.	DATED	DESCRIPTION
P1.1	September 2, 2022	01 40 00; Quality Requirements
P1.2	September 2, 2022	07 72 00; Roof Accessories
P1.3	September 2, 2022	Sheet G-000; Sheet Index, Project Description And Project Information
P1.4	September 2, 2022	Sheet A-511; General Roof Assemblies and Typical Roof Details
		Sheet A-515; Enlarged Plans and Details

#### DISTRIBUTION:

TO	COMPANY	EMAIL
Christopher Hansen	Beaverton School District	christopher_hansen@beaverton.k12.or.us
Design Team	Varies	Varies