

# 2021

## Cloonan MS Facility Assessment & Analysis Report

**Property:**

Cloonan Middle  
11 West North Street  
Stamford, Connecticut 06902

**Prepared By:**

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## 1.0 Authorized Assessment Account

In June 2021, StudioJAED was sub-contracted by the S/L/A/M Collaborative Inc. on behalf of Stamford Public Schools to conduct a district-wide facility condition assessment and analysis of the Cloonan Middle property located in Stamford, Connecticut. The primary goal of this project was to (1) investigate existing conditions and (2) identify deferred maintenance and long term capital renewal needs. As per industry standard guidelines, StudioJAED surveyed the property, interviewed site personnel, reviewed available construction/maintenance documents, and recorded observations related to the physical site and associated building structure. SLAM teamed with SLR to perform the site assessment and D'Agostino & Associates for technology / security.

This report is for the use of Stamford Public Schools and their assignees. All parties agree by accepting this report that any use of this report shall be limited by the exceptions and qualifications in this report, acknowledge that actual site conditions may change with time, and hidden conditions may exist at the property that were not discovered within the scope of the assessment. Any use of this report by other parties is at the risk of such party.

StudioJAED used a degree of care and skill ordinarily exercised by consultants in the preparation of the report and in assembling the data contained herein. No warranties are provided, either expressed or implied. StudioJAED is not responsible for conclusions, opinions, or recommendations made by others based on this information.

The Facility Assessment and Analysis Report was completed and reviewed by the undersigned team members. Any questions regarding this report should be directed to Pamela Babuca at babucap@studiojaed.com or (401) 648-0884.

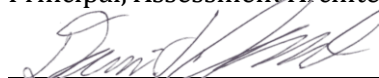
### StudioJAED

Discipline Lead:



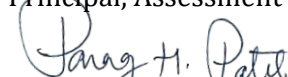
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Discipline Lead:



Parag H. Patel, P.E.  
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Principal



## 2.0 Executive Summary

StudioJAED Architects and Engineers, along with specialty systems sub-consultants SLR and D’Agostino & Associates, performed a facility condition assessment and analysis of the Cloonan Middle property located in Stamford, Connecticut hereinafter referred to as the “Property”. The purpose of the assessment was to perform a visual analysis of the Property’s general condition and identify recommendations for major building systems and equipment maintenance, repair, or replacement over the next (10) ten years. Items identified were considered significant for the facility to continue in its current operation and/or to be restored to a condition consistent with comparable facilities of similar age.

### 2.1 Scope of Work

The primary field survey was conducted from the 11<sup>th</sup> – 12<sup>th</sup> of August, 2021 and the weather, as recorded on Accuweather.com, was foggy with actual high and low temperatures of 89°F/73°F. The assessment team reviewed available documentation and interviewed site personnel regarding knowledge of any known existing conditions or issues. A general list of typical elements surveyed includes the following:

- Site and Grounds – Pavement, Parking, Curbs, Loading Docks, Walks, Landscaping, Irrigation, Site Drainage, Exterior Lighting, Walls, Fencing/Railing, and Exterior Amenities.
- Structural Systems – Readily observable portions of Foundations and Structural Framing of Walls, Columns, Intermediate Floors and Roofs.
- Building Envelope – Roofing Systems, Exterior Finishes, Stairs and Steps, Exterior Doors, and Exterior Windows.
- Interior Building Components – Property-owned Electrical, Heating/Ventilating/Air Conditioning (HVAC), and Plumbing Systems.
- Safety and Code Compliance – Life Safety, Fire Suppression Systems, and General Visual Review of Accessibility to Disabled Persons to include Accessible Exterior and Interior Routes, Doors and Common Toilet Facilities.

### 2.2 Prioritization of Need

Recommended corrective actions to repair and/or replace a building system or component were assigned a priority which, in the opinion of the assessor, classified the urgency of the work to be performed. The 10 year prioritization model utilized for this project was based on an industry standard, 4 tier approach. Definitions for each of the priority classifications are as shown.

#### **PRIORITY CLASSIFICATIONS:**

##### ***Priority 1 - Immediate***

*Work should be performed immediately.  
Potential safety or security risk.*

##### ***Priority 2 - High***

*Work to be performed within next 1-2 years.  
Asset has reached the end of useful life.*

##### ***Priority 3 - Medium***

*Work to be performed within next 3-5 years.  
Asset will reach the end of useful life soon.*

##### ***Priority 4 - Low***

*Work to be performed within next 6-10 years.  
Anticipated need for repair or replacement.*



## 2.3 Findings & Recommendations

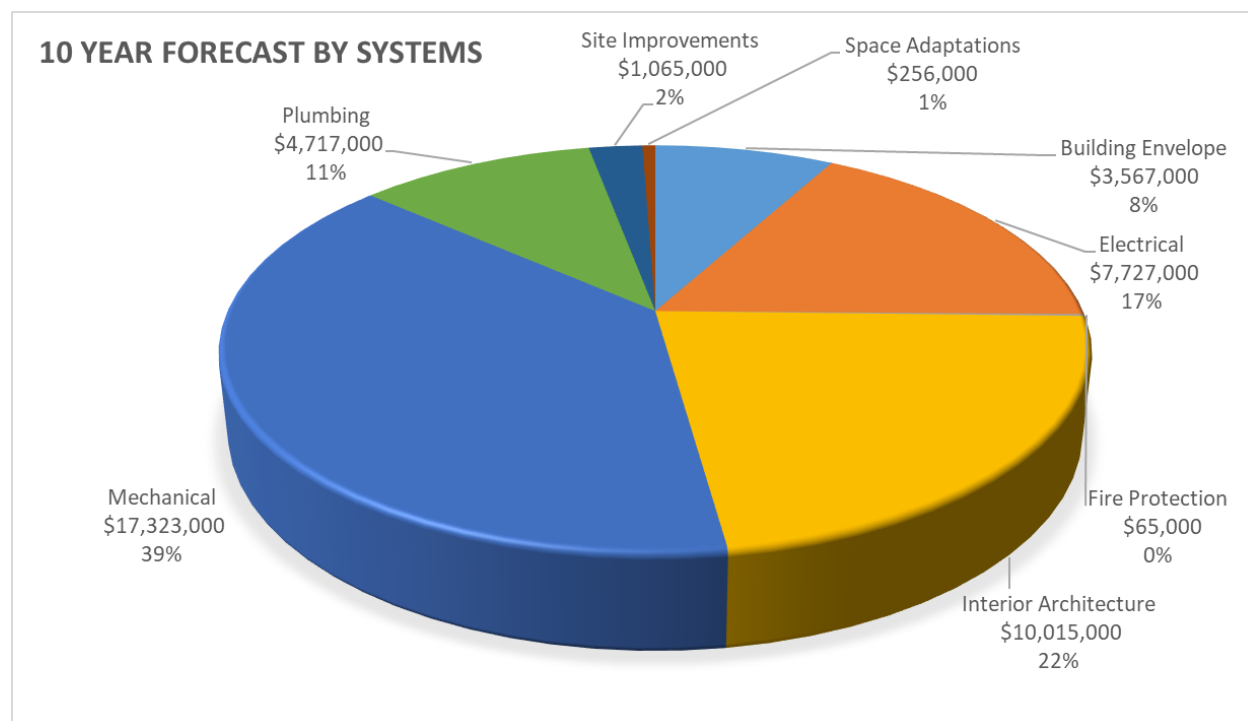
StudioJAED analyzed the recommended corrective actions considered significant for the Property to continue in its current operation and/or to be restored to a condition consistent with comparable facilities of similar age. A summary of the improvement

needs have been quantified from two unique perspectives. The 10 Year Forecast by Priority table provides an understanding of need based on the urgency or timeline for work to be completed. Based on industry standard architectural and engineering best practices, over (58%) fifty-eight percent of the work should be completed within the next 1-2 years.

The 10 Year Forecast by Systems provides an analysis of estimated improvement needs by major systems. The data indicates that the Mechanical (39%), Interior Architecture (22%), and Electrical (17%) systems have the greatest overall investment needs. Refer to Appendix A to review a more detailed description of needs in the Deferred Maintenance & Asset Renewal Report.

10 YEAR FORECAST BY PRIORITY

Priority	Extended Cost	% of Need
Immediate	\$ -	0.0%
High (1 - 2 Years)	\$ 26,135,312	58.4%
Medium (3 - 5 Years)	\$ 12,526,110	28.0%
Low (6 - 10 Years)	\$ 6,073,578	13.6%
	<b>\$ 44,735,000</b>	<b>100%</b>



Based on the review of available documentation, onsite interview, and field observations, it is StudioJAED's opinion that the Main Building is in overall fair condition. Refer to Section 4.0, General Physical Condition Rating, for additional information regarding the condition of major systems from a cost per gross square feet analysis of needs perspective.



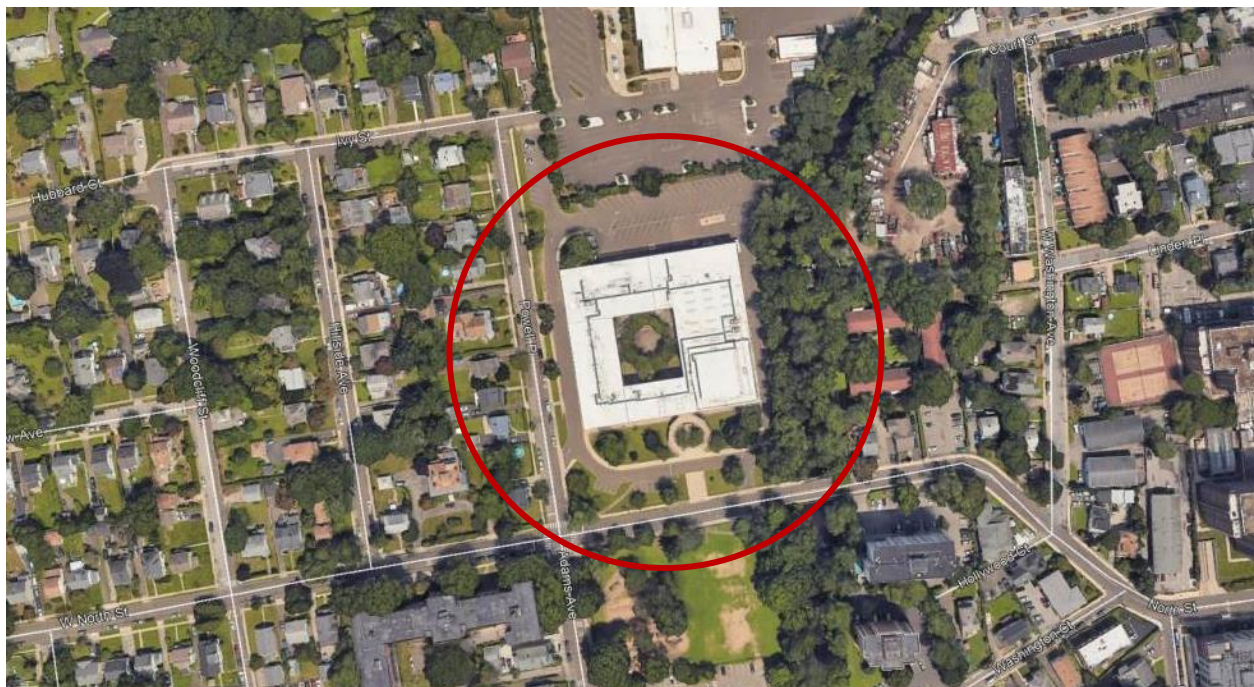
## 3.0 General Property & Building Systems Description

### 3.1 Site / Amenities

The property is located at Cloonan Middle, Stamford, Fairfield County Connecticut on approximately 6.09 acres. The property slopes gently downward from the west side of the property toward the east property line and the landscaping consists of trees, shrubs, and grasses. Flowerbeds are concentrated around the property line and some trees. Play areas are covered with a not applicable surface. Retaining walls are located at the grade changes at the front, rear and west elevations of the building.

Asphalt/Concrete pavement and asphalt/concrete sidewalks serving vehicular and pedestrian traffic and both are in fair condition. The bus drop-off area and parent drop area converge on the west side of the school and cause safety issues for the school. This layout should be addressed. There are approximately 103 spaces in open lots. The paved areas are in fair to good condition with minimal evidence of cracking and pavement section deterioration. All concrete curbing is in poor to fair condition. Concrete paving in the courtyard is in poor condition. Fencing is provided around the generator cooling system at the rear of the building. Site lighting seems sufficient but should have a photometric done to verify. The perimeter fencing is in good condition with isolated sections of damage. Grass play areas/fields, as well as constructed play areas were not on this site. Storm water from the roofs, landscaped areas, and paved areas flows into on site inlets and catch basins with underground piping connected to the municipal storm water management system. Storm water along the east drive flows into the adjacent river.

Sanitary sewer and the storm water sewer are provided by the City of Stamford. Domestic water is supplied by Aquarian, electrical service is supplied by CL&P, and natural gas is provided by Yankee Gas.









## 3.2 Architectural Systems

### Main Building

Cloonan Middle is approximately 164,155 square feet and is a three storey structure. The building is concrete encased steel column frame with concrete-topped metal decks. Steel beams provide support at the second floor and reinforced concrete beams provide support at the first floor. The roof assembly is comprised of flat roofs with single-ply membranes. The exterior wall finish is Brick veneer and pre-cast and cast in place concrete panels. There is no evidence of significant settlement or structural failure.

The exterior building envelope is in fair condition. It is recommended that the deteriorated EPDM roofing be replaced. The exterior façade is in need of repair and cleaning.

Interior floor finishes include resilient tile, polished stone, ceramic tile, carpet, wood, quarry tile and painted concrete slab and are in fair condition. Interior wall finishes include painted drywall, painted concrete, painted CMU, exposed brick, and ceramic tile and are in fair condition. Interior ceiling finishes include exposed structure, suspended acoustic tiles, exposed structure with fireproofing, painted concrete, painted CMU, and painted drywall and are in fair condition. Casework and countertops are in poor condition and in need of replacement. All interior doors are worn and approaching the end of their useful life. Classroom and conference room projection equipment should be replaced.

An ADA wheelchair lift is recommended for the auditorium.

The building is partially non-compliant in terms of ADA restroom accommodations. It is recommended that 6 unisex ADA toilets be installed (2 per floor).









### 3.3 Mechanical Systems

#### Main Building

Cloonan Middle was originally constructed in 1967. Some mechanical systems have been renewed in the years following original construction, the latest of which are approximately noted as:

- (2) Hot Water Boilers, Burners – 2003
- (1) Hot Water Boilers and Burner – 2020
- Heating Water Pumps, Fuel Oil Transfer Pumps – 2003
- Fuel Oil Transfer Pumps – 2020
- Unit vents and Floor Fan Coil Unit – 2000
- Condensing Units – 2003
- Classroom Air Handling Units – 2008
- Gym Air Handling Unit – 2010
- Chiller – 2005
- Centrifugal Roof Exhausters – 2010
- Kitchen Hood, Exhaust Fans, and Makeup Air Fan – 2010

Some mechanical systems primarily date to original construction:

- Hydronic Piping/Insulation
- Pneumatic Control System
- Older Air Handling Units and Return Air Fans
- Ductwork
- Laboratory Fume Hoods
- Transfer Grilles
- Cabinet Heaters, Convectors, Unit Heaters, and Fin Tube Radiation
- Gravity Vents

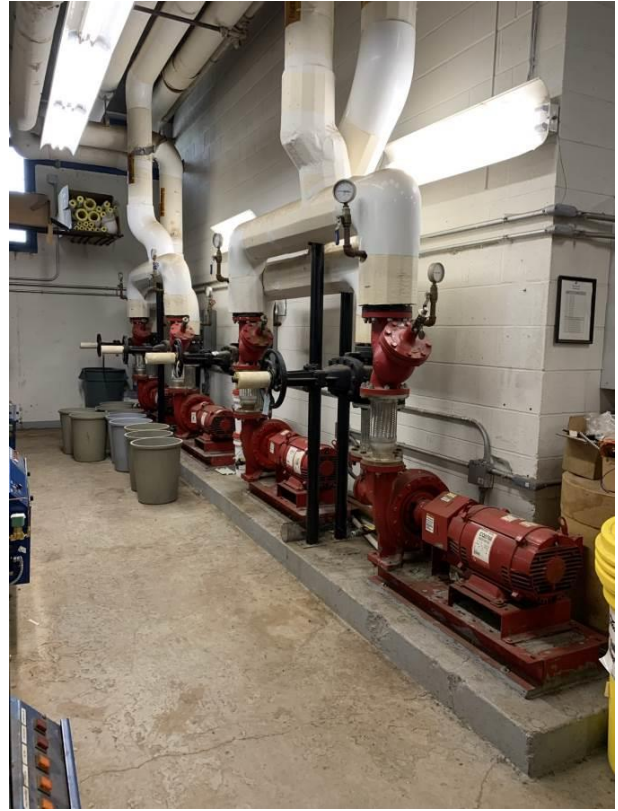
The building is served by Air Handling Units/Condensing Units in the Gym, Auditorium, Cafeteria and other core spaces and some classrooms. Most classrooms are primarily served by heat only Unit Ventilators. The distribution / terminal / package equipment is served by hot water which is provided by dual fuel boilers in the boiler room.

Most mechanical systems will need to be replaced within the 10 year study period, other than the boilers, burners, and pumps that were replaced in 2020.

#### HVAC System Comprehensive Improvement Analysis

The mechanical system at Cloonan MS does not provide adequate ventilation or air conditioning. Based on existing equipment conditions and an initiative to add air condition building-wide, the District-Wide Summary: 10 Year Forecast Cost Analysis contains an allowance for the wholesale system replacement including demolition of the current system including central plant and distribution. This approach takes into consideration only select capital improvement needs in the Deferred Maintenance & Asset Renewal Report not impacted by system replacement.











### 3.4 Plumbing Systems

Some plumbing systems have been renewed in the years following original construction, the latest of which are approximately noted as:

- Domestic Hot Water Boiler, Domestic Water Circulation Pump, and Storage Tank – 2002
- Water Closets, Lavatories, Urinals, and Classroom Sinks – 1990
- Kitchen Sinks – 2008
- Kitchen Gas Piping – 1990

Some Plumbing systems primarily date to original construction:

- Domestic Water Piping System
- Sanitary Piping System
- Laboratory Gas Piping and Fixtures
- Mop and Utility Sinks
- Showers
- Drinking Fountains

All major plumbing systems, including domestic and sanitary piping, should be replaced within the 10 year study period.





### 3.5 Fire & Other Protection Systems

#### Main Building

The sprinkler system in the main building was installed in 2009 and will reach the end of its useful life in 18 years so. It will not need to be replaced within the 10 year study period. However, the Fire Pump that was installed in 2009 will reach the end of its useful life in 3 years and therefore will need to be replaced within the study period.

Main building fire alarm system is old but functional (the fire alarm system was being checked by the school and factory rep during the assessment). All Classrooms and bathrooms have audio/visual devices. There is a separate fire pump for supply and battery backup for the system.





## 3.6 Electrical Systems

### Main Building

The building is powered by utility owned outdoor pad mounted transformer located in the front of school. Secondary service feeder from this transformer to a transformer in a Utility locked vault in the back of the building. Located in the rear ground floor Switch Gear room is a 1600 amp rated disconnect switch with distribution sections. On each floor there are 480V Transformers with 208V 3PH/120v single phase output. Panels located in the building are powered from these transformers. Branch circuits for outlets, lighting and equipment originate from these panels. Most of the wiring in the building is original since the time of construction. Building's Emergency and Exit lights are powered by a 100 kW diesel/gas converted generator set and automatic transfer switch located in lower level Generator Room. Lighting throughout the school is LED. Light fixtures are either recessed or surface mounted. Classroom lights are controlled by wall switches and motion sensors.







## 3.7 Technology & Security Systems

### Technology

The main building has a mix of Category 5, Category 5E, and Category 6 cabling supporting all end devices, which is adequate to support the current technology and security systems. We recommend replacing this cabling to the most recent category rating to accommodate future technology devices. Fiber optic backbone cabling between the MDF and each IDF (7 total) consists of OM1 62.5/125um fiber optic cabling, which is capable of 1 Gbps per fiber pair. We recommend installing and replacing this fiber to OM4, which will support 40Gbps, to support the bandwidth requirements of new technology, especially the increased future use of Wi-Fi.

The Public Address system is an antiquated analog system and beyond its useful life and maintenance. We recommend replacing this system for new. The Master Clock System was upgraded in 2006 and in working order.

Classroom Interactive Boards currently have a mixed age of boards. Most of the boards were installed before 2014 which would make them 7 years old and older. These boards will be coming into their useful life and will need an upgrade in the coming years

Refer to Appendix B to view a floor plan notating the location and name of each technology room.

### Security

The Intrusion Detection Security system was upgraded in 2007 and in working order. The Video Surveillance Systems is undergoing an addition of a new managed system and includes new IP cameras in several areas of the school. There are locations where existing analog cameras are still being used and viewed on this new system. Coverage of the school is fair. We recommend replacing the existing analog cameras with IP cameras and supplementing the coverage with new IP cameras. The main entry door is equipped with an antiquated Aiphone intercom-door-release and a surveillance camera viewing the door. It is recommended to replace the existing Aiphone device with a modern device to include video that will assist with the assessment of a visitor requesting access into the school.

## 4.0 General Physical Condition Rating

The general physical condition ratings identified below are based on StudioJAED's visual inspection and overall impression of the Property's major building systems assessed as defined in the Executive Summary, Section 2.0.

MAIN BUILDING		Condition Rating		
Item	Building / Site System	Good	Fair	Poor
1	Building Envelope		X	
2	Interior Architecture		X	
3	Mechanical Systems		X	X
4	Electrical Systems		X	X
5	Plumbing Systems			X
6	Fire Alarm / Protection Systems	X		
7	Site Improvements		X	

## 5.0 Opinions of Probable Costs

The opinions of probable cost presented in this document are for repair or renewal / replacement projected capital needs identified from a visual inspection of the defined Property site elements and primary building systems anticipated over the subsequent 10 year term. These opinions are based on StudioJAED's knowledge of industry standards and recommended "good" architectural and engineering practice. For the purpose of generating projected investment dollars, needs were calculated based on approximate quantities and estimated unit cost values were defined. Recommended corrective actions recorded do not constitute a warranty that all items, which may require repair or replacement, are included.

As a measure of quality assurance, StudioJAED's cost estimates were developed by our Certified Professional Estimators. All unit "trade" costs were developed using the RSMeans "CostWorks" application which was regionally adjusted to the materials, labor, and equipment cost for Bridgeport, Connecticut. The cost model approach applied to each corrective action was based on Construction Management-at-Risk (CMAR) with an additional (20%) twenty percent allowance to cover design fees and owner contingency.

The opinions of probable costs should be considered a preliminary order of magnitude for budget development. It also assumes that each facility will continue to operate in its current capacity and relative quality of care. Actual costs will vary from StudioJAED's probable costs based on a number of potential factors such as: a finer granularity or understanding of required scope of work, design solution approach, type of construction, quality of materials, equipment or system specifications, field conditions, need for abatement of hazardous materials, decision to comprehensively replace equipment or system versus partial replacement / repair, phased or staged implementation (if required), quality of contractor, overall project management, solicitation of competitive pricing, etc. An expanded budget projection/analysis typically requires the development of schematic design documents and preliminary specifications to obtain contractor bid estimates.

## 6.0 Limitations & Qualifications

The services described within this document were performed by StudioJAED. No warranties are provided, either expressed or implied. While StudioJAED made every reasonable effort to properly evaluate the Property conditions within the contracted scope of work, it is important to recognize that the investigation was limited in several respects including, but not limited to, the following:

StudioJAED's findings and conclusions are based primarily on the visual appearance of the Property at the time of our site visit and comparatively evaluated in contrast to our extensive condition assessment experience. Observations included only areas that were readily accessible to our assessment team members without opening or dismantling any secured components or areas. The scope did not include invasive investigation, component sampling, laboratory analysis, an environmental site assessment, or engineering evaluations of structural, mechanical, electrical, or other systems with related calculations and review of design assumptions.

Some of StudioJAED's conclusions are partially based on information provided by others. For the purposes of this report, we have assumed this information to be complete and correct unless noted otherwise. StudioJAED assumes no responsibility for incorrect information provided by others.

Our opinions of cost represent a preliminary opinion only and are neither a quote nor a warranty or representation as to the actual costs that may be incurred. These estimates are based on typical cost data that may not fully characterize the scope of the Property conditions and are further limited by possible future changes in technology, by regulatory requirements, by Property location, and by contingencies that cannot reasonably be discovered until after commencement of onsite construction activities. StudioJAED shall not be liable to the Client nor any other property for any costs or expenses that may be incurred in excess of these estimates, for any losses that may be incurred as a result of these estimates being different from the actual costs, nor for any damages whatsoever in connection with these estimates.

This report is intended for the use of and may be relied upon only by the entities identified in Section 1.0 – Authorized Assessment Account. The scope of services performed in execution of this investigation may not be appropriate to satisfy the needs of other users, and any use or re-use of this document or its findings, conclusions, or recommendations is at the risk of said user. StudioJAED is not responsible for the conclusions, opinions, or recommendations made by others based on this information.

## Appendices

**Appendix A: Deferred Maintenance & Asset Renewal Report**

**Appendix B: Technology Floor Plans**



# Deferred Maintenance & Asset Renewal Report

Cloonan MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
<b>Cloonan Middle School</b>								
<b>B10 Superstructure</b>								
B1012-01-01C Correct Exterior Steel Ladder Deterioration by Demolition & Replacement	B1012 Exterior Building Access Ladder	Roof		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	12 LNFT	\$5,607
Total Estimated Cost for <b>B10 Superstructure</b>								<b>\$5,607</b>
<b>B20 Exterior Enclosure</b>								
B2010-01-07C Correct Cast in Place Concrete Wall Stained Finish by Cleaning	B2010 Exterior Wall	Building Exterior		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	20,480 SQFT	\$156,991
B2010-02-07C Correct Precast Concrete Wall Stained Finish by Cleaning	B2010 Exterior Wall	Building Exterior		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	10,800 SQFT	\$89,173
B2010-03-07C Correct Brick Masonry Wall Stained Finish by Cleaning	B2010 Exterior Wall	Building Exterior		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	31,550 SQFT	\$247,294
B2010-03-11C Correct Brick Masonry Wall Required by Install New	B2010 Exterior Wall	Roof	Build up parapet walls to accommodate required insulation thickness	Def Maint	P3 / 3-5 Yrs	Function/ Functional	2,800 SQFT	\$249,591
Total Estimated Cost for <b>B20 Exterior Enclosure</b>								<b>\$743,049</b>
<b>B30 Roofing</b>								
B3010-06-03C Correct Metal Roof Panel Finish Deterioration by Prep & Refinish	B3010 Roof Covering	Roof		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	1,875 SQFT	\$8,737

Priority 1 - Work should be performed immediately. Potential Life / Safety Issue.

Priority 3 - Work to be performed within next 3-5 years. Asset will reach useful life soon.

Priority 2 - Work to be performed within next 1-2 years. Asset has reached useful life. Priority 4 - Work to be performed within next 6-10 years or is an arch/eng "good practice".

Estimated Construction Cost is based on 2021 RSMeans data regionalized for Stamford, CT with client defined allowances and soft costs applied.



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# Deferred Maintenance & Asset Renewal Report

Cloonan MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
B3010-11-01C Correct EPDM Roof Deterioration by Demolition & Replacement	B3010 Roof Covering	Roof		Def Maint	P3 / 3-5 Yrs	Useful Life	61,200 SQFT	\$2,408,171
B3020-03-01C Correct Skylight Deterioration by Demolition & Replacement	B3020 Roof Opening	Roof	20 @ 4SF, 17 @ 18 SF, 18 @ 42SF	Def Maint	P3 / 3-5 Yrs	Damage/ Wear	1,142 SQFT	\$234,768
B3020-04-01C Correct Roof Hatch Deterioration by Demolition & Replacement	B3020 Roof Opening	Roof		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	1 EACH	\$2,193
B3020-04-05C Correct Roof Hatch Guardrail Required by Install New	B3020 Roof Opening	Roof		Bldg Imprv	P3 / 3-5 Yrs	Codes - BLDG	1 EACH	\$2,474
B3050-01-02C Correct Metal Roof Coping Cap Deterioration by Demolition & Replacement	B3050 Roof Coping Cap	Roof		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	1,819 LNFT	\$82,162
B3051-01-02C Correct Expansion Joint Cover Deterioration by Demolition & Replacement	B3051 Roof Expansion Joint	Roof		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	223 LNFT	\$9,070
B3054-01-01C Correct Steel Equipment Support Deterioration by Demolition & Replacement	B3054 Roof Equipment Support	Roof		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	86 LNFT	\$18,622
B3054-01-02C Correct Steel Equipment Support Finish Deterioration by Prep & Refinish	B3054 Roof Equipment Support	Roof		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	162 LNFT	\$2,544
B3060-08-01C Correct Roof Protection Pad Deterioration by Demolition & Replacement	B3060 Roof Specialties	Roof		Def Maint	P3 / 3-5 Yrs	Energy/ Automation	500 EACH	\$49,826

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Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
Total Estimated Cost for <b>B30 Roofing</b>								<b>\$2,818,569</b>
<b>C10 Interior Construction</b>								
C1020-01-01C Correct Hollow Metal Door Deterioration by Demolition & Replacement	C1020 Interior Door	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	15 EACH	\$47,243
C1020-02-01C Correct Wood Door Deterioration by Demolition & Replacement	C1020 Interior Door	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	310 EACH	\$659,596
C1030-02-01C Correct Toilet Compartment Deterioration by Demolition & Replacement	C1030 Fittings & Accessories	Locker Room		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	8 EACH	\$14,493
C1030-02-01C Correct Toilet Compartment Deterioration by Demolition & Replacement	C1030 Fittings & Accessories	Restroom		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	51 EACH	\$92,391
C1030-06-04C Correct Interior Signage Panel Signage Required by Install New	C1030 Fittings & Accessories	Building Wide		Bldg Imprv	P2 / 1-2 Yrs	Function/ Functional	165 EACH	\$15,547
C1030-07-01C Correct Locker Deterioration by Demolition & Replacement	C1030 Fittings & Accessories	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	300 EACH	\$204,158
C1030-07-03C Correct Athletic Locker Deterioration by Demolition & Replacement	C1030 Fittings & Accessories	Locker Room		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	80 EACH	\$70,794

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C1030-07-04C Correct Locker Finish Deterioration by Prep & Refinish	C1030 Fittings & Accessories	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	1,200 EACH	\$93,989
C1030-07-09C Correct Athletic Locker (Double Tier) Deterioration by Demolition & Replacement	C1030 Fittings & Accessories	Locker Room		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	68 EACH	\$102,772
C1030-07-10C Correct Athletic Locker (Six Tier) Deterioration by Demolition & Replacement	C1030 Fittings & Accessories	Locker Room		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	253 EACH	\$597,349
Total Estimated Cost for <b>C10 Interior Construction</b>								<b>\$1,898,332</b>
<b>C20 Stairs &amp; Ramps</b>								
C2020-01-02C Correct Concrete / Masonry Stair Tread & Riser Finish Deterioration by Resurfacing	C2020 Interior Stair Finish	Auditorium		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	64 LNFT	\$3,090
C2020-02-04C Correct Terrazzo / Tile Stair Tread & Riser Finish Deterioration by Prep & Refinish	C2020 Interior Stair Finish	Stair Tower		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	1,376 LNFT	\$26,340
C2020-04-04C Correct Wood Stair Tread & Riser Finish Deterioration by Prep & Refinish	C2020 Interior Stair Finish	Auditorium		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	60 LNFT	\$675
C2020-06-02C Correct Carpet Stair Tread & Riser Finish Deterioration by Demolition & Replacement	C2020 Interior Stair Finish	Auditorium		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	330 LNFT	\$10,479

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
C2050-01-01C Correct Handrail Deterioration by Demolition & Replacement	C2050 Interior Handrail & Balustrade	Auditorium		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	104 LNFT	\$8,213
C2050-01-01C Correct Handrail Deterioration by Demolition & Replacement	C2050 Interior Handrail & Balustrade	Stair Tower		Def Maint	P2 / 1-2 Yrs	Codes - BLDG	291 LNFT	\$22,980
C2050-01-05C Correct Handrail Required by Install New	C2050 Interior Handrail & Balustrade	Auditorium		Bldg Imprv	P2 / 1-2 Yrs	Codes - BLDG	48 LNFT	\$3,006
Total Estimated Cost for C20 Stairs & Ramps								\$74,783
<b>C30 Interior Finishes</b>								
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Auditorium		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	6,500 SQFT	\$27,203
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Building Wide		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	41,200 SQFT	\$172,427
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Cafeteria		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	3,030 SQFT	\$12,681
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Classroom		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	59,434 SQFT	\$248,738

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Gymnasium		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	9,000 SQFT	\$37,666
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Kitchen		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	4,100 SQFT	\$17,159
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Library		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	4,725 SQFT	\$19,775
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Locker Room		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	8,400 SQFT	\$35,155
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Restroom		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	750 SQFT	\$3,139
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Science Lab		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	10,787 SQFT	\$45,145
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Stair Tower		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	14,328 SQFT	\$59,964
C3010-02-03C Correct Wood Wall Finish Deterioration by Prep & Refinish	C3010 Wall Finish	Auditorium		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	260 SQFT	\$849

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**Project Name:** 2021 Stamford Facility Assessment

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
C3010-03-01C Correct Ceramic Tile Wall Finish Deterioration by Demolition & Replacement	C3010 Wall Finish	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	150 SQFT	\$4,804
C3010-03-02C Correct Ceramic Tile Wall Finish Deterioration by Regrouting	C3010 Wall Finish	Restroom		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	7,070 SQFT	\$204,379
C3010-03-04C Correct Ceramic Tile Wall Finish Deterioration by Resurfacing	C3010 Wall Finish	Locker Room		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	3,600 SQFT	\$63,166
C3010-06-01C Correct Acoustical Wall Panel Deterioration by Demolition & Replacement	C3010 Wall Finish	Auditorium		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	190 SQFT	\$3,850
C3010-06-01C Correct Acoustical Wall Panel Deterioration by Demolition & Replacement	C3010 Wall Finish	Classroom		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	570 SQFT	\$11,551
C3020-01-04C Correct Concrete Interior Floor Finish Deterioration by Prep & Refinish (101-1000 SF)	C3020 Floor Finish	Gymnasium		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	510 SQFT	\$17,562
C3020-01-04C Correct Concrete Interior Floor Finish Deterioration by Prep & Refinish (101-1000 SF)	C3020 Floor Finish	Kitchen		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	280 SQFT	\$9,642
C3020-01-05C Correct Concrete Interior Floor Finish Deterioration by Prep & Refinish (1001 SF and Above)	C3020 Floor Finish	Auditorium		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	5,095 SQFT	\$143,109

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
C3020-01-05C Correct Concrete Interior Floor Finish Deterioration by Prep & Refinish (1001 SF and Above)	C3020 Floor Finish	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	3,804 SQFT	\$106,847
C3020-01-05C Correct Concrete Interior Floor Finish Deterioration by Prep & Refinish (1001 SF and Above)	C3020 Floor Finish	Locker Room		Def Maint	P2 / 1-2 Yrs	Energy/ Automation	3,500 SQFT	\$98,308
C3020-08-01C Correct Ceramic Tile Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Locker Room		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	2,135 SQFT	\$71,114
C3020-08-01C Correct Ceramic Tile Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Restroom		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	1,893 SQFT	\$63,053
C3020-08-03C Correct Ceramic Tile Floor Finish Deterioration by Regrouting	C3020 Floor Finish	Restroom		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	1,250 SQFT	\$24,398
C3020-09-03C Correct Quarry Tile Floor Finish Deterioration by Regrouting	C3020 Floor Finish	Kitchen		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	2,225 SQFT	\$35,155
C3020-10-02C Correct Terrazzo Floor Finish Deterioration by Prep & Refinish	C3020 Floor Finish	Stair Tower		Def Maint	P4 / 6-10 Yrs	Damage/ Wear	1,620 SQFT	\$15,098
C3020-11-02C Correct Hard Wood Floor Finish Deterioration Prep & Refinish	C3020 Floor Finish	Auditorium		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	2,700 SQFT	\$22,250

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
C3020-11-02C Correct Hard Wood Floor Finish Deterioration Prep & Refinish	C3020 Floor Finish	Gymnasium		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	8,260 SQFT	\$68,070
C3020-11-02C Correct Hard Wood Floor Finish Deterioration Prep & Refinish	C3020 Floor Finish	Locker Room		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	2,470 SQFT	\$20,355
C3020-12-01C Correct Carpet Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Auditorium		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	205 SQYD	\$21,835
C3020-12-01C Correct Carpet Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	45 SQYD	\$4,793
C3020-12-01C Correct Carpet Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Library		Def Maint	P4 / 6-10 Yrs	Useful Life	280 SQYD	\$29,824
C3020-19-03C Correct Stone Floor Finish Deterioration by Prep & Refinish	C3020 Floor Finish	Building Wide		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	2,975 SQFT	\$11,510
C3030-03-02C Correct Drywall Ceiling Finish Deterioration by Prep & Refinish	C3030 Ceiling Finish	Locker Room		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	1,600 SQFT	\$9,435
C3030-03-02C Correct Drywall Ceiling Finish Deterioration by Prep & Refinish	C3030 Ceiling Finish	Restroom		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	1,447 SQFT	\$8,532

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
C3030-04-01C Correct Splined Acoustical Ceiling Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Locker Room		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	1,000 SQFT	\$10,382
C3030-05-02C Correct Suspended Acoustical Ceiling Tile & Grid Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Building Wide		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	28,828 SQFT	\$304,320
C3030-05-02C Correct Suspended Acoustical Ceiling Tile & Grid Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Cafeteria		Def Maint	P4 / 6-10 Yrs	Damage/ Wear	4,750 SQFT	\$50,143
C3030-05-02C Correct Suspended Acoustical Ceiling Tile & Grid Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Classroom		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	13,100 SQFT	\$138,289
C3030-05-02C Correct Suspended Acoustical Ceiling Tile & Grid Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Classroom		Def Maint	P4 / 6-10 Yrs	Damage/ Wear	35,000 SQFT	\$369,474
C3030-05-02C Correct Suspended Acoustical Ceiling Tile & Grid Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Kitchen		Def Maint	P4 / 6-10 Yrs	Damage/ Wear	2,495 SQFT	\$26,338
C3030-05-02C Correct Suspended Acoustical Ceiling Tile & Grid Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Library		Def Maint	P4 / 6-10 Yrs	Useful Life	3,500 SQFT	\$36,947

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
C3030-05-02C Correct Suspended Acoustical Ceiling Tile & Grid Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Locker Room		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	2,526 SQFT	\$26,665
C3030-05-02C Correct Suspended Acoustical Ceiling Tile & Grid Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Restroom		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	1,860 SQFT	\$19,635
C3030-05-02C Correct Suspended Acoustical Ceiling Tile & Grid Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Science Lab		Def Maint	P4 / 6-10 Yrs	Damage/ Wear	10,787 SQFT	\$113,872
C3030-05-02C Correct Suspended Acoustical Ceiling Tile & Grid Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Stair Tower		Def Maint	P4 / 6-10 Yrs	Damage/ Wear	1,200 SQFT	\$12,668
Total Estimated Cost for <b>C30 Interior Finishes</b>								<b>\$2,857,274</b>
<b>D10 Conveying</b>								
D1010-03-11C Correct Vertical Wheelchair Lift (750 Capacity) Required by Install New	D1010 Elevator & Lift	Auditorium		Bldg Imprv	P2 / 1-2 Yrs	Accessibility	1 FLR	\$47,451
Total Estimated Cost for <b>D10 Conveying</b>								<b>\$47,451</b>
<b>D20 Plumbing</b>								
D2010-02-01C Correct Water Closet Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	66 EACH	\$190,012

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D2010-03-05C Correct Lavatory (Countertop Type) Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	76 EACH	\$168,344
D2010-04-01C Correct Urinal Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	26 EACH	\$65,900
D2010-05-01C Correct Shower Enclosure Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Maintenance		Def Maint	P2 / 1-2 Yrs	Useful Life	3 EACH	\$7,019
D2010-07-02C Correct Drinking Fountain Deterioration by Demolition & Replacement with Alternative Product (Electric Water Cooler)	D2010 Plumbing Fixtures	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	12 EACH	\$64,448
D2010-10-01C Correct Utility Sink or Mop Receptor Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	9 EACH	\$35,088
D2010-11-01C Correct Residential Sink Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide	Classroom Sinks	Def Maint	P2 / 1-2 Yrs	Useful Life	22 EACH	\$49,811
D2010-12-01C Correct Lab Sink Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	41 EACH	\$144,832
D2010-16-01C Correct Commercial Kitchen Stainless Steel Sink Single Bowl Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Kitchen		Def Maint	P4 / 6-10 Yrs	Useful Life	3 EACH	\$11,123

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D2010-16-03C Correct Commercial Kitchen Stainless Steel Sink Triple Bowl Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Kitchen		Def Maint	P4 / 6-10 Yrs	Useful Life	1 EACH	\$5,721
D2020-01-01C Correct Domestic Water Piping & Valves & Insulation Deterioration by Demolition & Replacement (Bldg SF)	D2020 Domestic Water Distribution	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	164,155 BLDG SF	\$2,637,091
D2020-06-01C Correct Plumbing Pump Deterioration by Demolition & Replacement	D2020 Domestic Water Distribution	Boiler Room	<i>Circulation Pump - 1/16 HP</i>	Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$15,749
D2020-09-04C Correct Domestic Water Boiler (Electric 2000 MBH) Deterioration by Demolition & Replacement	D2020 Domestic Water Distribution	Boiler Room		Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$404,338
D2020-13-01C Correct Potable Water Storage Tank Deterioration by Demolition & Replacement	D2020 Domestic Water Distribution	Boiler Room	<i>250 Gal</i>	Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$31,830
D2030-01-01C Correct Deteriorated Sanitary Sewer Pipe & Fittings Deterioration by Demolition & Replacement (Bldg SF)	D2030 Sanitary Waste	Building Wide	<i>Select locations as needed.</i>	Def Maint	P2 / 1-2 Yrs	Useful Life	85,000 BLDG SF	\$812,940
D2090-02-01C Correct Laboratory Gas Piping System Fixture Deterioration by Demolition & Replacement	D2090 Other Plumbing Systems	Science Lab		Def Maint	P2 / 1-2 Yrs	Useful Life	20 EACH	\$23,490

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D2090-02-02C Correct Laboratory Gas Piping System Pipe, Valves, & Fittings Deterioration by Demolition & Replacement	D2090 Other Plumbing Systems	Science Lab		Def Maint	P2 / 1-2 Yrs	Useful Life	500 LNFT	\$49,237
Total Estimated Cost for D20 Plumbing								\$4,716,972
<b>D30 HVAC</b>								
D3010-02-01C Correct Oil Fuel Transfer Pump Deterioration by Demolition & Replacement	D3010 Energy Supply	Boiler Room		Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$11,806
D3010-04-03C Correct Gas Fuel Distribution Piping (2") Pipe, Valves & Fittings Deterioration by Demolition & Replacement	D3010 Energy Supply	Kitchen	<i>Kitchen Gas Piping - allowance for equipment replacement</i>	Def Maint	P2 / 1-2 Yrs	Useful Life	100 LNFT	\$9,066
D3020-02-09C Correct Hot Water Boiler Deterioration (4,000 MBH) by Demolition & Replacement	D3020 Heat Generation	Boiler Room		Def Maint	P2 / 1-2 Yrs	Damage/Wear	2 EACH	\$495,596
D3020-05-01C Correct Dual Fuel Burner Deterioration by Demolition & Replacement	D3020 Heat Generation	Boiler Room		Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$32,422
D3020-10-08C Correct Boiler Chemical Feed System (10 Gal) Required by Install New	D3020 Heat Generation	Boiler Room		Bldg Imprv	P2 / 1-2 Yrs	Function/Functional	1 EACH	\$6,764
D3020-18-01C Correct Electric Unit Heater Deterioration by Demolition & Replacement	D3020 Heat Generation	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$3,015

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D3030-01-02C Correct Air Cooled Chiller (50 Tons) Deterioration by Demolition & Replacement	D3030 Refrigeration	Roof		Def Maint	P3 / 3-5 Yrs	Useful Life	1 EACH	\$117,316
D3030-04-02C Correct Condensing Unit (5 Tons) Deterioration by Demolition & Replacement	D3030 Refrigeration	Roof		Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$39,747
D3030-04-03C Correct Condensing Unit (10 Tons) Deterioration by Demolition & Replacement	D3030 Refrigeration	Roof		Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$57,673
D3030-04-06C Correct Condensing Unit (40 Tons) Deterioration by Demolition & Replacement	D3030 Refrigeration	Roof		Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$97,438
D3040-02-03C Correct Air Handling Unit (5 Tons) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Administration Area		Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$63,894
D3040-02-03C Correct Air Handling Unit (5 Tons) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	7 EACH	\$223,628
D3040-02-05C Correct Air Handling Unit (10 Tons) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Administration Area		Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$77,970
D3040-02-07C Correct Air Handling Unit (15 Tons) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Classroom		Def Maint	P4 / 6-10 Yrs	Useful Life	2 EACH	\$145,982

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D3040-02-09C Correct Air Handling Unit (25 Tons) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Cafeteria		Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$206,565
D3040-02-09C Correct Air Handling Unit (25 Tons) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Gymnasium		Def Maint	P4 / 6-10 Yrs	Useful Life	2 EACH	\$206,565
D3040-02-11C Correct Air Handling Unit (37.5 Tons) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Gymnasium		Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$270,916
D3040-05-01C Correct Gas-Fired Makeup Air Unit (500 MBH) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Roof		Def Maint	P4 / 6-10 Yrs	Useful Life	2 EACH	\$99,146
D3040-07-09C Correct Return Air or Inline Fan (20 HP) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Gymnasium		Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$68,377
D3040-09-11C Correct Exhaust or Induction Fan (3 HP) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Roof		Def Maint	P4 / 6-10 Yrs	Useful Life	29 EACH	\$353,948
D3040-09-13C Correct Exhaust or Induction Fan (5 HP) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Roof		Def Maint	P4 / 6-10 Yrs	Useful Life	16 EACH	\$204,602
D3040-09-15C Correct Exhaust or Induction Fan (10 HP) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Roof		Def Maint	P4 / 6-10 Yrs	Useful Life	1 EACH	\$17,180

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D3040-10-01C Correct Roof Mounted Gravity Vent Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Roof		Def Maint	P2 / 1-2 Yrs	Useful Life	13 EACH	\$19,348
D3040-12-01C Correct Kitchen Exhaust Fan Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Roof		Def Maint	P4 / 6-10 Yrs	Useful Life	2 EACH	\$6,268
D3040-13-02C Correct Ductwork & Insulation (Interior) Deterioration by Demolition & Replacement Building Wide (Bldg SF)	D3040 HVAC Distribution	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	164,155 BLDG SF	\$3,588,533
D3040-14-01C Correct Grilles Registers Dampers & Diffusers Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Classroom	Transfer grilles, classrooms to corridors	Def Maint	P2 / 1-2 Yrs	Useful Life	49 EACH	\$37,215
D3040-17-15C Correct HVAC Piping System (2 Pipe) & Insulation Deterioration by Demolition & Replacement (BLDG SF)	D3040 HVAC Distribution	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	164,155 BLDG SF	\$2,488,367
D3040-18-04C Correct Hydronic Distribution Base Mount Pump (10 HP) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Boiler Room	Heating Water Pumps (2- pipe)	Def Maint	P2 / 1-2 Yrs	Useful Life	4 EACH	\$155,874
D3050-07-06C Correct Computer Room (MDF/IDF) Split System Air Conditioning System Required by Install New	D3050 Terminal & Packaged Units	MDF and Each IDF	MDF, and all IDF's require additional room cooling for equipment operation.	Bldg Imprv	P2 / 1-2 Yrs	Function/ Functional	8 EACH	\$86,802

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D3050-10-05C Correct Heating Only Unit Ventilator (5 Ton) Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Classroom		Def Maint	P2 / 1-2 Yrs	Useful Life	51 EACH	\$1,824,176
D3050-18-02C Correct Heating and Cooling Fan Coil Unit (3 Ton) Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Floor		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$16,353
D3050-19-01C Correct Cabinet Heater Deterioration of Cabinet Heater by Demolition & Replacement	D3050 Terminal & Packaged Units	Corridor		Def Maint	P2 / 1-2 Yrs	Useful Life	8 EACH	\$58,139
D3050-20-01C Correct Steam & Hot Water Unit Heater (100 MBH) Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	5 EACH	\$11,369
D3050-26-01C Correct Steam or Hot Water Fin-Tube Radiation Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	605 LNFT	\$178,059
D3050-34-08C Correct Packaged Terminal Air Conditioning Unit (24,000 BTU) Required by Install New	D3050 Terminal & Packaged Units	Building Wide		Bldg Imprv	P2 / 1-2 Yrs	Environ Imprvmt	10 EACH	\$128,068
D3050-35-02C Correct Steam or Hot Water Convactor (48" wide) Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	9 EACH	\$33,972

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D3060-01-05C Correct Pneumatic Control System Deterioration by Demolition & Replacement with Alternate DDC System (Bldg SF)	D3060 HVAC Instrumentation & Controls	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	164,155 BLDG SF	\$2,658,346
D3090-02-01C Correct Laboratory Fume Hood Deterioration by Demolition & Replacement	D3090 Other Special HVAC Systems & Equipment	Science Lab		Def Maint	P2 / 1-2 Yrs	Useful Life	5 EACH	\$216,436
D3090-04-03C Correct Commercial Kitchen Hood (12'- 16') Deterioration by Demolition & Replacement	D3090 Other Special HVAC Systems & Equipment	Kitchen		Def Maint	P4 / 6-10 Yrs	Useful Life	2 EACH	\$104,177
Total Estimated Cost for <b>D30 HVAC</b>								<b>\$14,421,119</b>
<b>D40 Fire Protection</b>								
D4010-03-02C Correct Fire Pump, 60 HP, Deterioration by Demolition & Replacement	D4010 Sprinklers	Boiler Room		Def Maint	P3 / 3-5 Yrs	Useful Life	1 EACH	\$64,591
Total Estimated Cost for <b>D40 Fire Protection</b>								<b>\$64,591</b>
<b>D50 Electrical</b>								
D5010-04-06C Correct Secondary Transformer (30 kVA) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Basement	<i>Located behind caged door in Room 112B</i>	Def Maint	P3 / 3-5 Yrs	Useful Life	2 EACH	\$26,211
D5010-04-07C Correct Secondary Transformer (45 kVA) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	1st Floor	<i>Located inside Room 210</i>	Def Maint	P3 / 3-5 Yrs	Useful Life	1 EACH	\$15,206

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D5010-04-07C Correct Secondary Transformer (45 kVA) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	2nd Floor	<i>Located in storage Room outside of Room 302</i>	Def Maint	P3 / 3-5 Yrs	Useful Life	1 EACH	\$15,206
D5010-04-07C Correct Secondary Transformer (45 kVA) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Basement	<i>Sits high up on a stand in Room 111</i>	Def Maint	P3 / 3-5 Yrs	Useful Life	1 EACH	\$15,206
D5010-04-08C Correct Secondary Transformer (75 kVA) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	2nd Floor	<i>Transformer located next to panel in back of stage</i>	Def Maint	P3 / 3-5 Yrs	Useful Life	1 EACH	\$20,768
D5010-05-05C Correct Main Distribution Panel (1600 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Basement		Def Maint	P3 / 3-5 Yrs	Useful Life	1 EACH	\$70,066
D5010-12-05C Correct Panelboard (225 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	1st Floor	<i>Newer Cutler Hammer in Room 210</i>	Def Maint	P4 / 6-10 Yrs	Useful Life	1 EACH	\$13,534
D5010-12-05C Correct Panelboard (225 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	2nd Floor	<i>Located in back of the stage area</i>	Def Maint	P3 / 3-5 Yrs	Useful Life	1 EACH	\$13,534
D5010-12-05C Correct Panelboard (225 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	2nd Floor	<i>Located in storage Room outside of Room 302</i>	Def Maint	P3 / 3-5 Yrs	Useful Life	3 EACH	\$40,603
D5010-12-05C Correct Panelboard (225 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Basement	<i>Replace each with 4 - #4/0 + 4/0g 2 1/2" EMT</i>	Def Maint	P3 / 3-5 Yrs	Useful Life	21 EACH	\$284,223

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D5010-12-05C Correct Panelboard (225 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Basement	1996 Siemens panels located in Storage Room near Room 113	Def Maint	P4 / 6-10 Yrs	Useful Life	2 EACH	\$27,069
D5010-12-05C Correct Panelboard (225 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Basement	(2) 1996 Cutler Hammer panels located inside Storage Room S-1	Def Maint	P4 / 6-10 Yrs	Useful Life	2 EACH	\$27,069
D5010-12-05C Correct Panelboard (225 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Basement	Newer Cutler Hammer in Library Room 109	Def Maint	P4 / 6-10 Yrs	Useful Life	1 EACH	\$13,534
D5010-12-05C Correct Panelboard (225 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Basement	Located beind caged door in Room 112B	Def Maint	P3 / 3-5 Yrs	Useful Life	1 EACH	\$13,534
D5010-12-05C Correct Panelboard (225 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Basement	Located in Storage Room S-1	Def Maint	P3 / 3-5 Yrs	Useful Life	1 EACH	\$13,534
D5010-12-05C Correct Panelboard (225 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Boiler Room	Newer Cutler Hammer unit	Def Maint	P4 / 6-10 Yrs	Useful Life	3 EACH	\$40,603
D5010-12-05C Correct Panelboard (225 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Boiler Room		Def Maint	P3 / 3-5 Yrs	Useful Life	1 EACH	\$13,534
D5010-12-05C Correct Panelboard (225 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Storage Room	Located in storage Room 196 outisde Main Breaker Room	Def Maint	P3 / 3-5 Yrs	Useful Life	4 EACH	\$54,138

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D5010-12-10C Correct Panelboard (225 AMP) Required by Install New	D5010 Electrical Service & Distribution	Building Wide	Panel boards to support 4 extra receptacles per Room	Bldg Imprv	P2 / 1-2 Yrs	Function/ Functional	5 EACH	\$119,370
D5010-16-01C Correct Bldg Wide Electrical Service & Distr Deterioration by Demolition & Replacement (Bldg SF)	D5010 Electrical Service & Distribution	Building Wide		Def Maint	P3 / 3-5 Yrs	Useful Life	164,155 BLDG SF	\$3,512,989
D5020-02-03C Correct Surface Mounted Fluorescent Fixture Deterioration by Demolition & Replacement with Alternate Fixture Type (LED)	D5020 Lighting & Branch Wiring	1st Floor	Located in hallway ceiling next to wall	Def Maint	P3 / 3-5 Yrs	Useful Life	8 EACH	\$10,344
D5020-02-03C Correct Surface Mounted Fluorescent Fixture Deterioration by Demolition & Replacement with Alternate Fixture Type (LED)	D5020 Lighting & Branch Wiring	2nd Floor	Located in hallway ceiling next to wall	Def Maint	P3 / 3-5 Yrs	Useful Life	8 EACH	\$10,344
D5020-02-03C Correct Surface Mounted Fluorescent Fixture Deterioration by Demolition & Replacement with Alternate Fixture Type (LED)	D5020 Lighting & Branch Wiring	Basement	Located on the ceiling near the walls	Def Maint	P3 / 3-5 Yrs	Useful Life	8 EACH	\$10,344
D5021-01-05C Correct Receptacles Required by Install New	D5021 Branch Wiring	Building Wide	4 added receptacles per Room	Bldg Imprv	P3 / 3-5 Yrs	Function/ Functional	196 EACH	\$187,644
D5021-03-01C Correct Branch Wiring Deterioration by Demolition & Replacement	D5021 Branch Wiring	Basement	4-#4/0 + 4/0g in 2 1/2" EMT	Def Maint	P3 / 3-5 Yrs	Useful Life	4,200 LNFT	\$32,558

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D5021-03-01C Correct Branch Wiring Deterioration by Demolition & Replacement	D5021 Branch Wiring	Building Wide	2- #12 + #12g MC cable	Bldg Imprv	P3 / 3-5 Yrs	Function/ Functional	19,600 LNFT	\$151,937
D5031-03-01C Correct Security System Motion or Glass Break Detector Deterioration by Demolition & Replacement (BLDG SF)	D5031 Security Access & Surveillance	Building Wide	Replace existing detection (intrusion) and alarm (burglar) system	Def Maint	P4 / 6-10 Yrs	Security	164,155 BLDG SF	\$78,794
D5031-07-01C Correct Video Surveillance Indoor Camera Deterioration by Demolition & Replacement	D5031 Security Access & Surveillance	Building Wide	Upgrade analog cameras.	Def Maint	P4 / 6-10 Yrs	Useful Life	3 EACH	\$10,028
D5031-20-01C Correct Security Access Control System (Head End Only) Deterioration by Demolition & Replacement	D5031 Security Access & Surveillance	Main Office		Def Maint	P4 / 6-10 Yrs	Useful Life	1 EACH	\$5,351
D5031-20-03C Correct Security Access Control with Video Intecom Deterioration by Demolition & Replacement	D5031 Security Access & Surveillance	Main Entryways - Front & Rear	Antiquated intercom at main entry. Install new video intercom for added security.	Def Maint	P2 / 1-2 Yrs	Security	2 EACH	\$11,119
D5032-01-05C Correct Master Clock System Deterioration by Demolition & Replacement with Wireless System (Bldg SF)	D5032 Clock & Program Systems	Building Wide	Replace with Wireless System.	Def Maint	P4 / 6-10 Yrs	Useful Life	164,155 BLDG SF	\$436,757
D5033-01-01C Correct Building Wide Intercom System Deterioration by Demolition & Replacement (Bldg SF)	D5033 Intercom Systems	Building Wide	Public address system.	Def Maint	P4 / 6-10 Yrs	Function/ Functional	164,155 BLDG SF	\$590,663

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D5035-04-01C Correct Building-Wide Telephone System Deterioration by Demolition & Replacement (Bldg SF)	D5035 Telephone System	Building Wide	<i>Intermittent problems with the phone cabling. Recommended to upgrade to VoIP.</i>	Def Maint	P2 / 1-2 Yrs	Useful Life	164,155 BLDG SF	<b>\$561,883</b>
D5036-01-03C Correct Technology System Wiring Deterioration by Demolition & Replacement	D5036 Technology System	Building Wide	<i>Cabling should be replaced with most current category rated cabling within 6-10 years. Horizontal wiring</i>	Def Maint	P4 / 6-10 Yrs	Useful Life	300,000 LNFT	<b>\$914,688</b>
D5036-03-06C Correct Data Room Equipment Grounding System Required by Install New	D5036 Technology System	MDF, ALL IDF'S	<i>All equipment and racks should be grounded.</i>	Bldg Imprv	P3 / 3-5 Yrs	Function/ Functional	8 LPSM	<b>\$33,797</b>
D5036-06-01C Correct Fiber Optic Backbone Wiring Deterioration by Demolition & Replacement	D5036 Technology System	MDF to Each IDF	<i>All IDF's currently have OM1 fiber ran from the MDF. Antiquated system should be upgraded to meet the needs of today's technology standards.</i>	Def Maint	P2 / 1-2 Yrs	Function/ Functional	2,500 LNFT	<b>\$11,110</b>
D5090-01-04C Correct Diesel Fuel Emergency Generator (150 kW) Required by Install New	D5090 Other Electrical Systems	MDF, ALL IDF'S	<i>Owner requested all MDF / IDF (8) equipment &amp; associated room cooling be on emer generator. Allowance to add new unit and/or tie into existing with available</i>	Bldg Imprv	P2 / 1-2 Yrs	Function/ Functional	1 EACH	<b>\$149,219</b>

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D5090-04-03C Correct Uninterruptable Power Supply System (5 KVA) Deterioration by Demolition & Replacement	D5090 Other Electrical Systems	MDF		Def Maint	P4 / 6-10 Yrs	Useful Life	1 EACH	\$23,010
D5090-04-04C Correct Uninterruptable Power Supply System (5 KVA) Required by Install New	D5090 Other Electrical Systems	All IDF's		Bldg Imprv	P3 / 3-5 Yrs	Function/Functional	7 EACH	\$147,001
Total Estimated Cost for D50 Electrical								\$7,726,525
<b>E10 Equipment</b>								
E1020-04-02C Correct Stage Curtain Deterioration by Cleaning	E1020 Institutional Equipment	Auditorium		Def Maint	P3 / 3-5 Yrs	Damage/Wear	890 SQYD	\$130,662
E1020-06-02C Correct Projection Equipment Deterioration by Demolition & Replacement with Interactive Flat Panel System	E1020 Institutional Equipment	Building Wide	Classrooms, conference rooms	Def Maint	P4 / 6-10 Yrs	Useful Life	6 EACH	\$163,750
E1020-06-02C Correct Projection Equipment Deterioration by Demolition & Replacement with Interactive Flat Panel System	E1020 Institutional Equipment	Building Wide	Classrooms, conference rooms	Def Maint	P3 / 3-5 Yrs	Useful Life	54 EACH	\$1,473,746
E1040-03-01C Correct Dock Bumper Deterioration by Demolition & Replacement	E1040 Dock Lift & Equipment	Building Exterior		Def Maint	P2 / 1-2 Yrs	Damage/Wear	17 EACH	\$11,915
Total Estimated Cost for E10 Equipment								\$1,780,073

Priority 1 - Work should be performed immediately. Potential Life / Safety Issue.

Priority 3 - Work to be performed within next 3-5 years. Asset will reach useful life soon.

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Estimated Construction Cost is based on 2021 RSMeans data regionalized for Stamford, CT with client defined allowances and soft costs applied.



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# Deferred Maintenance & Asset Renewal Report

Cloonan MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
<b>E20 Furnishings</b>								
E2010-01-01C Correct Wardrobe Deterioration by Demolition & Replacement	E2010 Fixed Furnishings	Classroom		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	40 EACH	\$48,579
E2010-01-01C Correct Wardrobe Deterioration by Demolition & Replacement	E2010 Fixed Furnishings	Science Lab		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	11 EACH	\$13,359
E2010-03-01C Correct Shelving Deterioration by Demolition & Replacement	E2010 Fixed Furnishings	Classroom		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	965 LNFT	\$31,310
E2010-03-01C Correct Shelving Deterioration by Demolition & Replacement	E2010 Fixed Furnishings	Science Lab		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	22 LNFT	\$714
E2010-04-01C Correct Wall Cabinet Deterioration by Demolition & Replacement	E2010 Fixed Furnishings	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	8 LNFT	\$2,776
E2010-04-01C Correct Wall Cabinet Deterioration by Demolition & Replacement	E2010 Fixed Furnishings	Classroom		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	126 LNFT	\$43,725
E2010-04-01C Correct Wall Cabinet Deterioration by Demolition & Replacement	E2010 Fixed Furnishings	Library		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	13 LNFT	\$4,511
E2010-04-03C Correct Base Cabinet with Laminate Counter Deterioration by Demolition & Replacement	E2010 Fixed Furnishings	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	8 LNFT	\$6,647

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Estimated Construction Cost is based on 2021 RSMeans data regionalized for Stamford, CT with client defined allowances and soft costs applied.



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# Deferred Maintenance & Asset Renewal Report

*Cloonan MS*

**Project Name:** 2021 Stamford Facility Assessment

**Building Type:** Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
E2010-04-03C Correct Base Cabinet with Laminate Counter Deterioration by Demolition & Replacement	E2010 Fixed Furnishings	Classroom		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	224 LNFT	\$186,113
E2010-04-03C Correct Base Cabinet with Laminate Counter Deterioration by Demolition & Replacement	E2010 Fixed Furnishings	Library		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	13 LNFT	\$10,801
E2010-05-01C Correct Laboratory Casework Deterioration by Demolition & Replacement	E2010 Fixed Furnishings	Science Lab		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	289 LNFT	\$474,671
E2010-06-01C Correct Library Circulation Desk Deterioration by Demolition & Replacement	E2010 Fixed Furnishings	Library		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	12 LNFT	\$12,927
E2010-06-02C Correct Library Casework Deterioration by Demolition & Replacement	E2010 Fixed Furnishings	Library		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	160 LNFT	\$84,704
E2010-10-01C Correct Fixed Reception Desk with Laminate Surface Deterioration by Demolition & Replacement	E2010 Fixed Furnishings	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	1 LPSM	\$16,663
E2013-01-02C Correct Auditorium Seating Deterioration by Refurbish	E2013 Fixed Seating	Auditorium		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	663 EACH	\$256,022

Total Estimated Cost for **E20 Furnishings**

**\$1,193,522**

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# Deferred Maintenance & Asset Renewal Report

Cloonan MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
<b>F20 Selective Demolition</b>								
F2020-04-02C Correct Asbestos Pipe Fitting Insulation by Abatement	F2020 Hazardous Components Abatement	Building Wide	See AHERA Report. Auditorium Stage, Auditorium Mech Rm, Gym (roof drain), Gym Corner Storage, Main Office Closet.	Def Maint	P2 / 1-2 Yrs	Environ Imprvmt	8 EACH	\$542
F2020-05-01C Correct Asbestos Floor Tile Remediation Required by Abatement & Install Resilient Finish	F2020 Hazardous Components Abatement	Auditorium		Def Maint	P2 / 1-2 Yrs	Environ Imprvmt	750 SQFT	\$17,064
F2020-05-01C Correct Asbestos Floor Tile Remediation Required by Abatement & Install Resilient Finish	F2020 Hazardous Components Abatement	Building Wide	If extensive renovations are performed, 9x9 floor tile will require abatement	Def Maint	P4 / 6-10 Yrs	Environ Imprvmt	21,853 SQFT	\$497,189
F2020-05-01C Correct Asbestos Floor Tile Remediation Required by Abatement & Install Resilient Finish	F2020 Hazardous Components Abatement	Building Wide		Def Maint	P2 / 1-2 Yrs	Environ Imprvmt	3,800 SQFT	\$86,456
F2020-05-01C Correct Asbestos Floor Tile Remediation Required by Abatement & Install Resilient Finish	F2020 Hazardous Components Abatement	Cafeteria		Def Maint	P3 / 3-5 Yrs	Environ Imprvmt	4,750 SQFT	\$108,070
F2020-05-01C Correct Asbestos Floor Tile Remediation Required by Abatement & Install Resilient Finish	F2020 Hazardous Components Abatement	Classroom		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	3,970 SQFT	\$90,324
F2020-05-01C Correct Asbestos Floor Tile Remediation Required by Abatement & Install Resilient Finish	F2020 Hazardous Components Abatement	Classroom	If major renovations are performed, the 9x9 floor tile will require abatement	Def Maint	P4 / 6-10 Yrs	Environ Imprvmt	43,180 SQFT	\$982,411

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# Deferred Maintenance & Asset Renewal Report

Cloonan MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
F2020-05-01C Correct Asbestos Floor Tile Remediation Required by Abatement & Install Resilient Finish	F2020 Hazardous Components Abatement	Science Lab		Def Maint	P2 / 1-2 Yrs	Environ Imprvmt	8,900 SQFT	\$202,489
F2020-05-01C Correct Asbestos Floor Tile Remediation Required by Abatement & Install Resilient Finish	F2020 Hazardous Components Abatement	Stair Tower		Def Maint	P3 / 3-5 Yrs	Environ Imprvmt	165 SQFT	\$3,754
F2020-05-02C Correct Asbestos Floor Tile Remediation Required by Abatement & Install Athletic Floor Finish	F2020 Hazardous Components Abatement	Library		Def Maint	P2 / 1-2 Yrs	Environ Imprvmt	1,614 SQFT	\$55,290
F2020-13-01C Correct Asbestos Wiring Insulation Remediation Required by Abatement	F2020 Hazardous Components Abatement	Auditorium	2-#12 + #12g MC cable	Def Maint	P2 / 1-2 Yrs	Environ Imprvmt	500 LNFT	\$22,334
F2020-15-01C Correct Asbestos Sink Undercoating Remediation Required by Abatement	F2020 Hazardous Components Abatement	Building Wide	See AHERA Report. Rms 110C, 111, 210, 211, 213, 215, 217-220, 323, Dentist, Teachers Lounge, S27 (Break Rm), Nurse, Boys & Girls toilet gnd floor.	Def Maint	P2 / 1-2 Yrs	Environ Imprvmt	17 EACH	\$97,405

Total Estimated Cost for **F20 Selective Demolition**

**\$2,163,326**

## G20 Site Improvements

G2010-01-03C Correct Bituminous Roadway Surface Deterioration by Overlay	G2010 Roadways	Drive Isle Eastern Side of the School		Def Maint	P3 / 3-5 Yrs	Damage/Wear	685 SQYD	\$11,063
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# Deferred Maintenance & Asset Renewal Report

Cloonan MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
G2010-01-03C Correct Bituminous Roadway Surface Deterioration by Overlay	G2010 Roadways	Drive Isle That Wraps the West & Southern Side of the School		Def Maint	P4 / 6-10 Yrs	Useful Life	2,075 SQYD	\$33,513
G2010-04-01C Correct Roadway Curb Deterioration by Demolition & Replacement	G2010 Roadways	Drive Isle That Wraps the West, East & Southern Side of the School		Def Maint	P2 / 1-2 Yrs	Damage/Wear	1,525 LNFT	\$110,268
G2020-01-01C Correct Bituminous Parking Lot Deterioration by Demolition & Replacement	G2020 Parking Lots	Main Parking Lot on the North Side of School		Def Maint	P2 / 1-2 Yrs	Damage/Wear	425 SQYD	\$44,554
G2020-01-03C Correct Bituminous Parking Lot Deterioration by Restoration & Overlayment	G2020 Parking Lots	Main Parking Lot on the North Side of School		Def Maint	P3 / 3-5 Yrs	Damage/Wear	3,475 SQYD	\$57,964
G2020-01-03C Correct Bituminous Parking Lot Deterioration by Restoration & Overlayment	G2020 Parking Lots	Northwest Corner of Site		Def Maint	P4 / 6-10 Yrs	Useful Life	525 SQYD	\$8,757
G2020-01-03C Correct Bituminous Parking Lot Deterioration by Restoration & Overlayment	G2020 Parking Lots	Visitor Parking at Southern Side of School		Def Maint	P4 / 6-10 Yrs	Useful Life	225 SQYD	\$3,753
G2020-05-01C Correct Parking Lot Curb Deterioration by Demolition & Replacement	G2020 Parking Lots	Curbing at All Parking Lots on Site.		Def Maint	P2 / 1-2 Yrs	Damage/Wear	1,275 LNFT	\$92,191

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# Deferred Maintenance & Asset Renewal Report

Cloonan MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
G2030-01-01C Correct Bituminous Sidewalk Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	Southwest Corner of Site		Def Maint	P2 / 1-2 Yrs	Damage/Wear	50 SQYD	\$4,701
G2030-02-01C Correct Concrete Sidewalk Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	Building Exterior		Def Maint	P2 / 1-2 Yrs	Damage/Wear	500 SQFT	\$11,846
G2030-02-01C Correct Concrete Sidewalk Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	Interior Courtyard		Def Maint	P2 / 1-2 Yrs	Damage/Wear	3,840 SQFT	\$90,979
G2030-02-01C Correct Concrete Sidewalk Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	North of Stairs & Between Stair Sets at Southern Property Line		Def Maint	P2 / 1-2 Yrs	Damage/Wear	1,000 SQFT	\$23,692
G2030-02-01C Correct Concrete Sidewalk Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	South Side of the Bus Entrance		Def Maint	P2 / 1-2 Yrs	Damage/Wear	175 SQFT	\$4,146
G2030-02-01C Correct Concrete Sidewalk Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	Top of Stairs at Main Entrance		Def Maint	P3 / 3-5 Yrs	Damage/Wear	550 SQFT	\$13,031
G2030-02-01C Correct Concrete Sidewalk Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	Walk Along East Side of School		Def Maint	P3 / 3-5 Yrs	Damage/Wear	2,500 SQFT	\$59,231
G2030-02-01C Correct Concrete Sidewalk Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	Walk Around the Amphitheater in Courtyard	Tree roots cause of damage	Def Maint	P2 / 1-2 Yrs	Damage/Wear	2,300 SQFT	\$54,493

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# Deferred Maintenance & Asset Renewal Report

Cloonan MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
G2030-02-01C Correct Concrete Sidewalk Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	Walk to the East Side of Main Entrance Stairs Along Drive Isle		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	1,250 SQFT	\$29,616
G2030-02-01C Correct Concrete Sidewalk Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	Walk to the West of Main Entrance Stairs & Along South & West Sides of the School		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	6,750 SQFT	\$159,924
G2030-02-01C Correct Concrete Sidewalk Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	West Side of the Bus Lane		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	1,025 SQFT	\$24,285
G2031-01-01C Correct Concrete Above Grade Stair Deterioration by Demolition & Replacement	G2031 Exterior Stair Construction	East Side of Main Entrance	3" Tread Width	Def Maint	P3 / 3-5 Yrs	Damage/ Wear	11 RISR	\$14,241
G2031-01-01C Correct Concrete Above Grade Stair Deterioration by Demolition & Replacement	G2031 Exterior Stair Construction	East Side of the Bus Lane		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	9 RISR	\$11,652
G2031-01-01C Correct Concrete Above Grade Stair Deterioration by Demolition & Replacement	G2031 Exterior Stair Construction	Rear Entrance at North Side of School		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	5 RISR	\$6,473
G2031-01-01C Correct Concrete Above Grade Stair Deterioration by Demolition & Replacement	G2031 Exterior Stair Construction	Stairs Along Southern Property Line		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	6 RISR	\$7,768

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# Deferred Maintenance & Asset Renewal Report

Cloonan MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
G2031-01-01C Correct Concrete Above Grade Stair Deterioration by Demolition & Replacement	G2031 Exterior Stair Construction	West Side of Main Entrance	3" Tread Width	Def Maint	P3 / 3-5 Yrs	Damage/ Wear	11 RISR	\$14,241
G2031-01-01C Correct Concrete Above Grade Stair Deterioration by Demolition & Replacement	G2031 Exterior Stair Construction	West Side of the Bus Lane		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	9 RISR	\$11,652
G2033-01-01C Correct Handrail Deterioration by Demolition & Replacement	G2033 Exterior Handrail & Guardrail	All Handrails at Stairs on Site		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	275 LNFT	\$23,414
G2033-01-02C Correct Handrail Wall Rail Deterioration by Demolition & Replacement	G2033 Exterior Handrail & Guardrail	Building Exterior		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	150 LNFT	\$12,233
G2033-01-08C Correct Handrail Wall Rail Required by Install New	G2033 Exterior Handrail & Guardrail	Building Exterior		Bldg Imprv	P2 / 1-2 Yrs	Codes - BLDG	130 LNFT	\$8,482
G2040-12-01C Correct Flagpole Deterioration by Demolition & Replacement	G2040 Site Development	Southwest Corner of Site		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	1 EACH	\$14,238
G2050-04-1C Correct Tree Major Deterioration by Demo and Replacement	G2050 Landscapin	Courtyard	Trees need to be replaced in order to repair sidewalk	Def Maint	P3 / 3-5 Yrs	Damage/ Wear	17 EACH	\$56,954
G2050-04-5C Correct Major Landscaping Required by Adding & Trimming Trees, Plants, Ground Cover, and Planting Beds	G2050 Landscaping	Interior Courtyard		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	4,733 SQFT	\$45,760
Total Estimated Cost for G20 Site Improvements								\$1,065,116

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# Deferred Maintenance & Asset Renewal Report

Cloonan MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
<b>H10 Space Requirements</b>								
H1020-05-02C Correct New ADA Compliant Toilet Room Required by Demo and Reconfiguring Existing General Space	H1020 Space Reconfiguration	Restroom	6 Unisex Accessible Toilet rooms (2 Per Floor)	Bldg Imprv	P2 / 1-2 Yrs	Accessibility	450 SQFT	\$256,466
Total Estimated Cost for H10 Space Requirements								\$256,466

Cloonan Middle School Total Estimated Cost: \$41,832,773

Total Estimated "Deferred Maintenance" Cost: \$40,488,744

Total Estimated "Building Improvement" Cost: \$1,344,029

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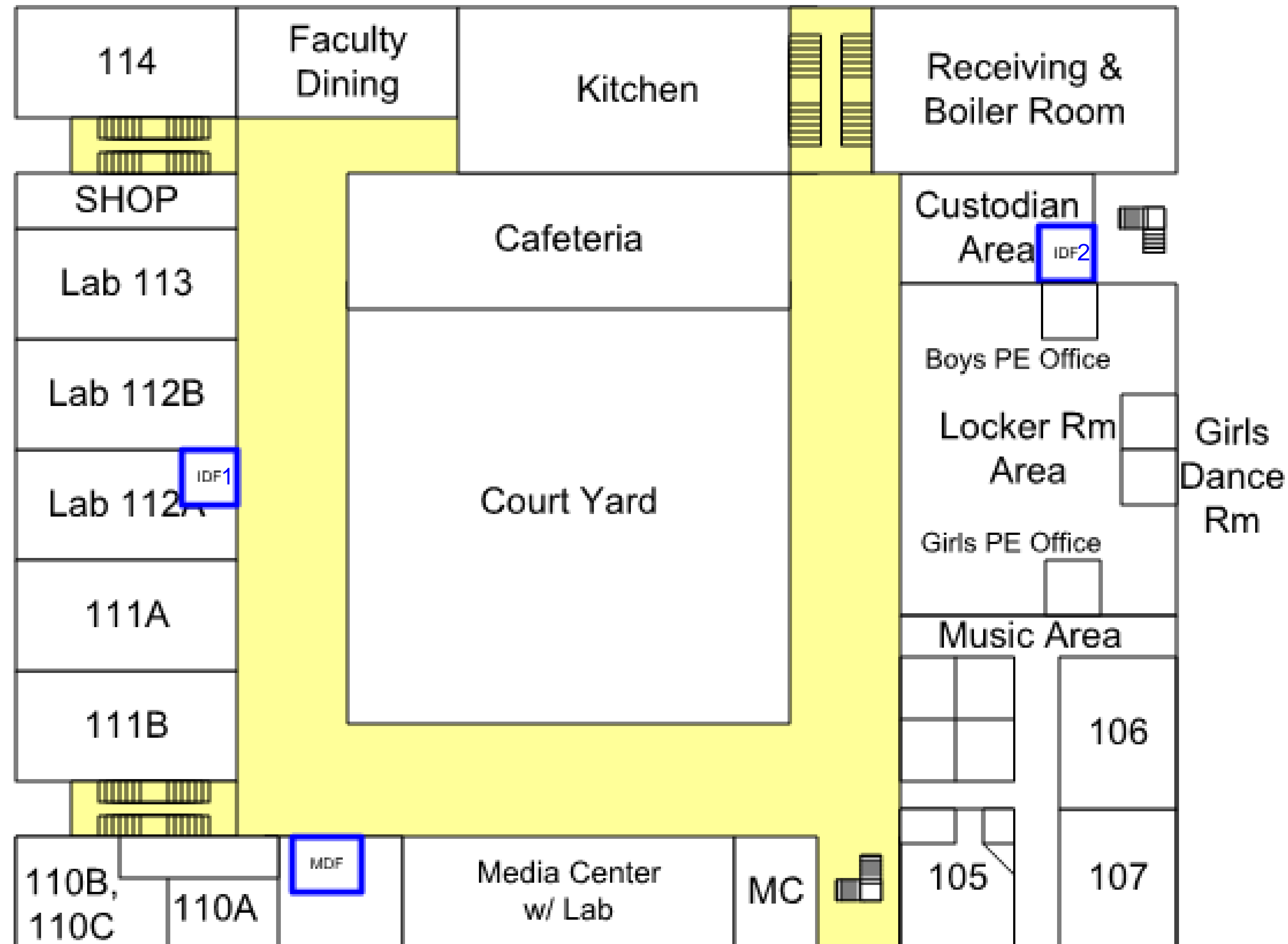


# Cloonan Middle School

03/2021

## LAN Closets Locations

### Ground Floor

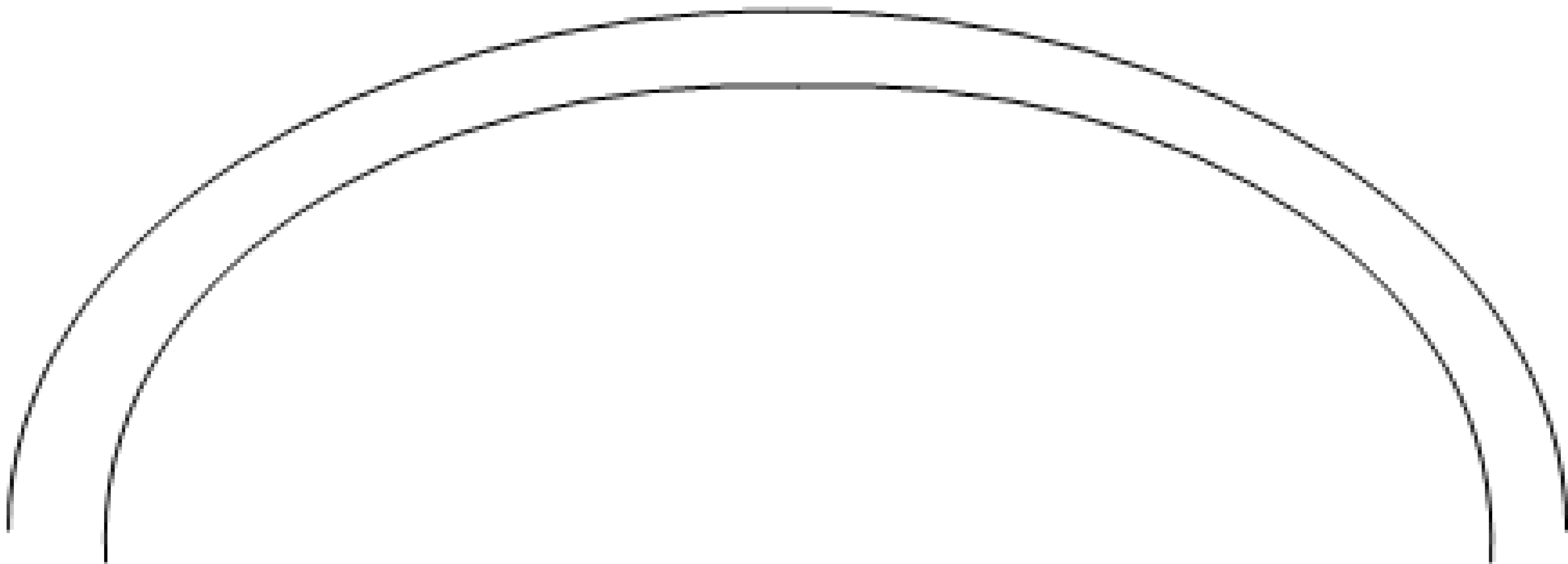
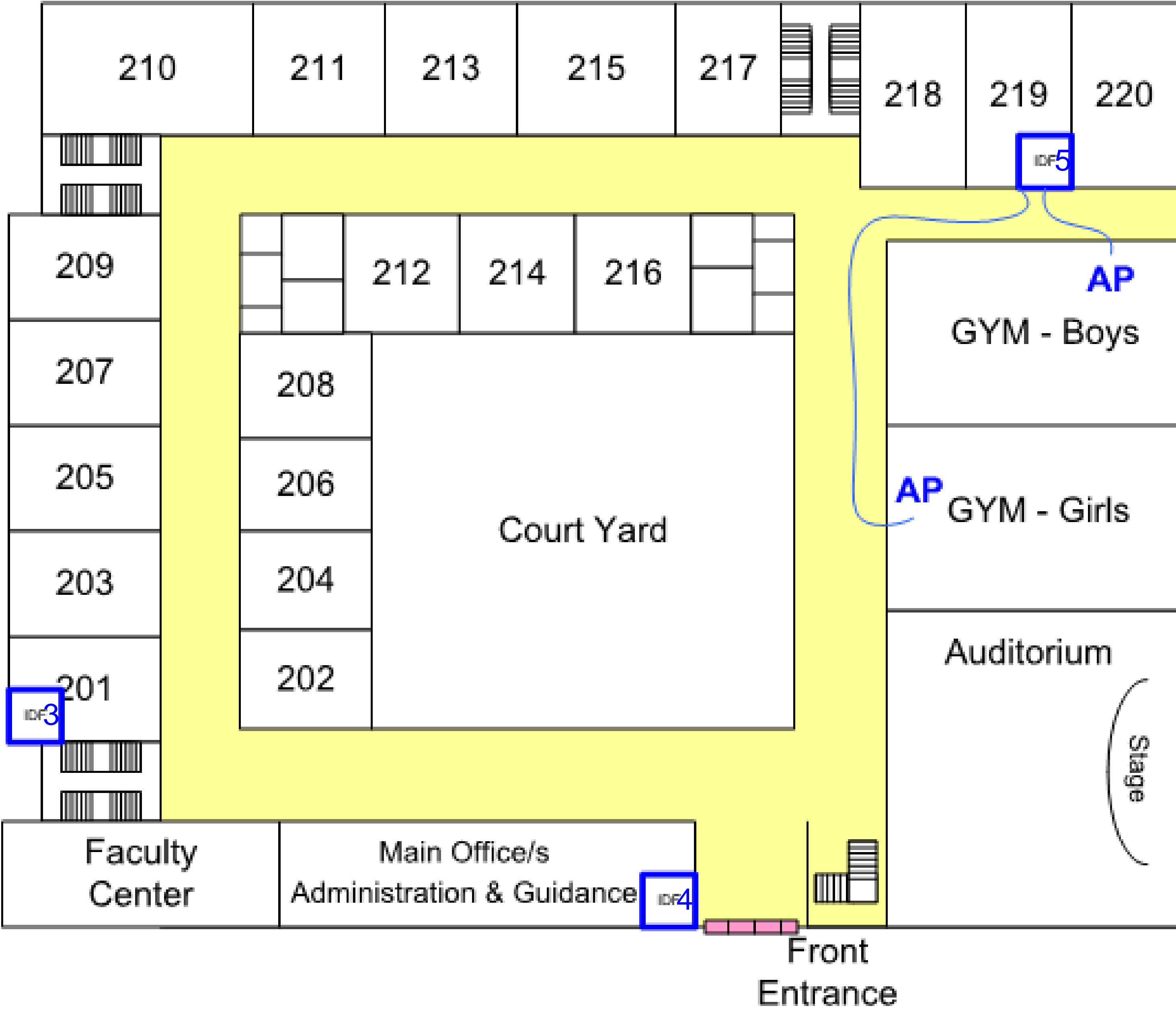


# Cloonan Middle School

03/2021

## LAN Closets Locations

### First Floor



# Cloonan Middle School

03/2021

## LAN Closets Locations

### Second Floor



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# 2021

## Dolan MS Facility Assessment & Analysis Report



### Property:

Dolan Middle  
51 Toms Road  
Stamford, Connecticut 06906

### Prepared By:

StudioJAED  
42 Weybosset Street, Suite 403  
Providence, RI 02903  
401.648.0884

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## 1.0 Authorized Assessment Account

In June 2021, StudioJAED was sub-contracted by the S/L/A/M Collaborative Inc. on behalf of Stamford Public Schools to conduct a district-wide facility condition assessment and analysis of the Dolan Middle property located in Stamford, Connecticut. The primary goal of this project was to (1) investigate existing conditions and (2) identify deferred maintenance and long term capital renewal needs. As per industry standard guidelines, StudioJAED surveyed the property, interviewed site personnel, reviewed available construction/maintenance documents, and recorded observations related to the physical site and associated building structure. SLAM teamed with SLR to perform the site assessment and D'Agostino & Associates for technology / security.

This report is for the use of Stamford Public Schools and their assignees. All parties agree by accepting this report that any use of this report shall be limited by the exceptions and qualifications in this report, acknowledge that actual site conditions may change with time, and hidden conditions may exist at the property that were not discovered within the scope of the assessment. Any use of this report by other parties is at the risk of such party.

StudioJAED used a degree of care and skill ordinarily exercised by consultants in the preparation of the report and in assembling the data contained herein. No warranties are provided, either expressed or implied. StudioJAED is not responsible for conclusions, opinions, or recommendations made by others based on this information.

The Facility Assessment and Analysis Report was completed and reviewed by the undersigned team members. Any questions regarding this report should be directed to Pamela Babuca at babucap@studiojaed.com or (401) 648-0884.

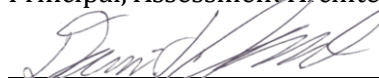
### StudioJAED

Discipline Lead:



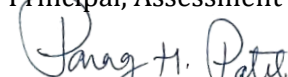
Philip R. Conte, AIA, NCARB  
Principal, Assessment Architect

Discipline Lead:



David T. Spangler, P.E.  
Principal, Assessment Mechanical / Plumbing Engineer

Discipline Lead:



Parag H. Patel, P.E.  
Assessment Electrical Engineer

Report Reviewer:



Pamela J. Babuca, ALEP, ASID, IFMA  
Principal



## 2.0 Executive Summary

StudioJAED Architects and Engineers, along with specialty systems sub-consultants SLR and D’Agostino & Associates, performed a facility condition assessment and analysis of the Dolan Middle property located in Stamford, Connecticut hereinafter referred to as the “Property”. The purpose of the assessment was to perform a visual analysis of the Property’s general condition and identify recommendations for major building systems and equipment maintenance, repair, or replacement over the next (10) ten years. Items identified were considered significant for the facility to continue in its current operation and/or to be restored to a condition consistent with comparable facilities of similar age.

### 2.1 Scope of Work

The primary field survey was conducted on 13, July, 2021 and the weather, as recorded on Accuweather.com, was foggy with actual high and low temperatures of 71°F/68°F. The assessment team reviewed available documentation and interviewed site personnel regarding knowledge of any known existing conditions or issues. A general list of typical elements surveyed includes the following:

- Site and Grounds – Pavement, Parking, Curbs, Loading Docks, Walks, Landscaping, Irrigation, Site Drainage, Exterior Lighting, Walls, Fencing/Railing, and Exterior Amenities.
- Structural Systems – Readily observable portions of Foundations and Structural Framing of Walls, Columns, Intermediate Floors and Roofs.
- Building Envelope – Roofing Systems, Exterior Finishes, Stairs and Steps, Exterior Doors, and Exterior Windows.
- Interior Building Components – Property-owned Electrical, Heating/Ventilating/Air Conditioning (HVAC), and Plumbing Systems.
- Safety and Code Compliance – Life Safety, Fire Suppression Systems, and General Visual Review of Accessibility to Disabled Persons to include Accessible Exterior and Interior Routes, Doors and Common Toilet Facilities.

### 2.2 Prioritization of Need

Recommended corrective actions to repair and/or replace a building system or component were assigned a priority which, in the opinion of the assessor, classified the urgency of the work to be performed. The 10 year prioritization model utilized for this project was based on an industry standard, 4 tier approach. Definitions for each of the priority classifications are as shown.

#### **PRIORITY CLASSIFICATIONS:**

##### ***Priority 1 - Immediate***

*Work should be performed immediately.  
Potential safety or security risk.*

##### ***Priority 2 - High***

*Work to be performed within next 1-2 years.  
Asset has reached the end of useful life.*

##### ***Priority 3 - Medium***

*Work to be performed within next 3-5 years.  
Asset will reach the end of useful life soon.*

##### ***Priority 4 - Low***

*Work to be performed within next 6-10 years.  
Anticipated need for repair or replacement.*



## 2.3 Findings & Recommendations

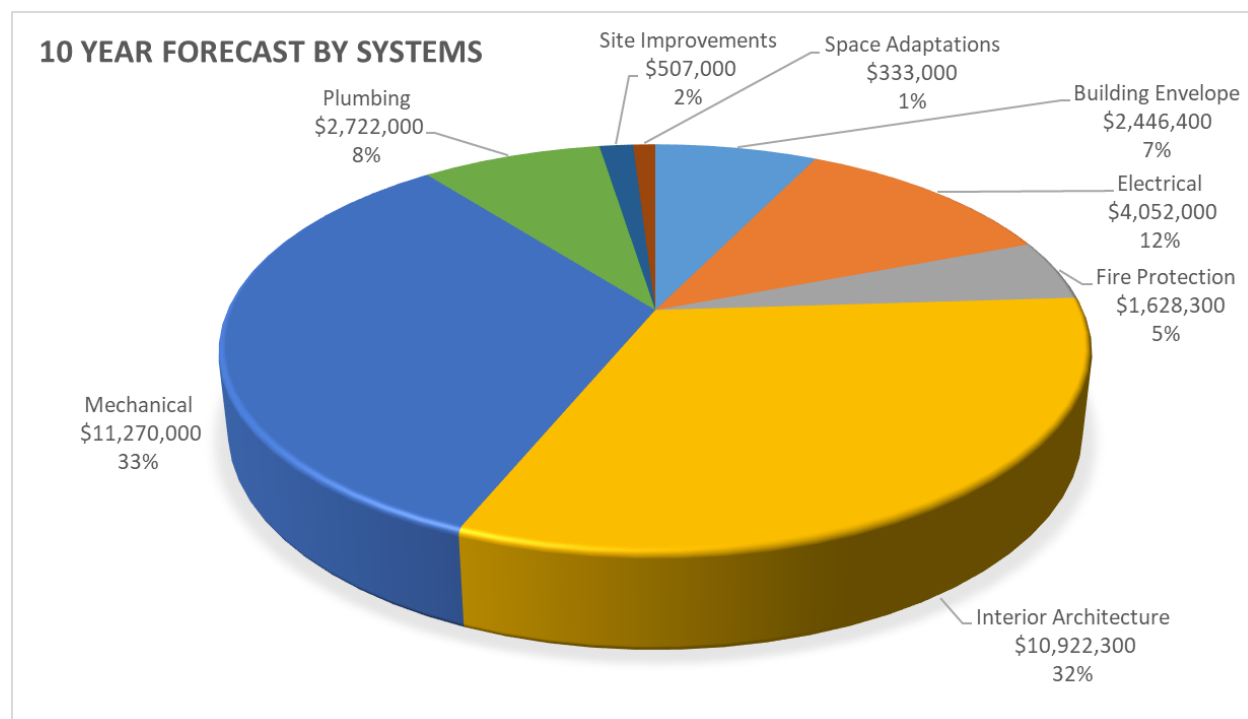
StudioJAED analyzed the recommended corrective actions considered significant for the Property to continue in its current operation and/or to be restored to a condition consistent with comparable facilities of similar age. A summary of the improvement

needs have been quantified from two unique perspectives. The 10 Year Forecast by Priority table provides an understanding of need based on the urgency or timeline for work to be completed. Based on industry standard architectural and engineering best practices, over (66%) sixty-six percent of the work should be completed within the next 1-2 years.

The 10 Year Forecast by Systems provides an analysis of estimated improvement needs by major systems. The data indicates that the Mechanical (33%), Interior Architecture (32%), and Electrical (12%) systems have the greatest overall investment needs. Refer to Appendix A to review a more detailed description of needs in the Deferred Maintenance & Asset Renewal Report.

**10 YEAR FORECAST BY PRIORITY**

Priority	Extended Cost	% of Need
Immediate	\$ -	0.0%
High (1 - 2 Years)	\$ 22,355,632	66.0%
Medium (3 - 5 Years)	\$ 6,882,455	20.3%
Low (6 - 10 Years)	\$ 4,642,913	13.7%
	<b>\$ 33,881,000</b>	<b>100%</b>



Based on the review of available documentation, onsite interview, and field observations, it is StudioJAED's opinion that the Main Building is in overall fair condition. Refer to Section 4.0, General Physical Condition Rating, for additional information regarding the condition of major systems from a cost per gross square feet analysis of needs perspective.



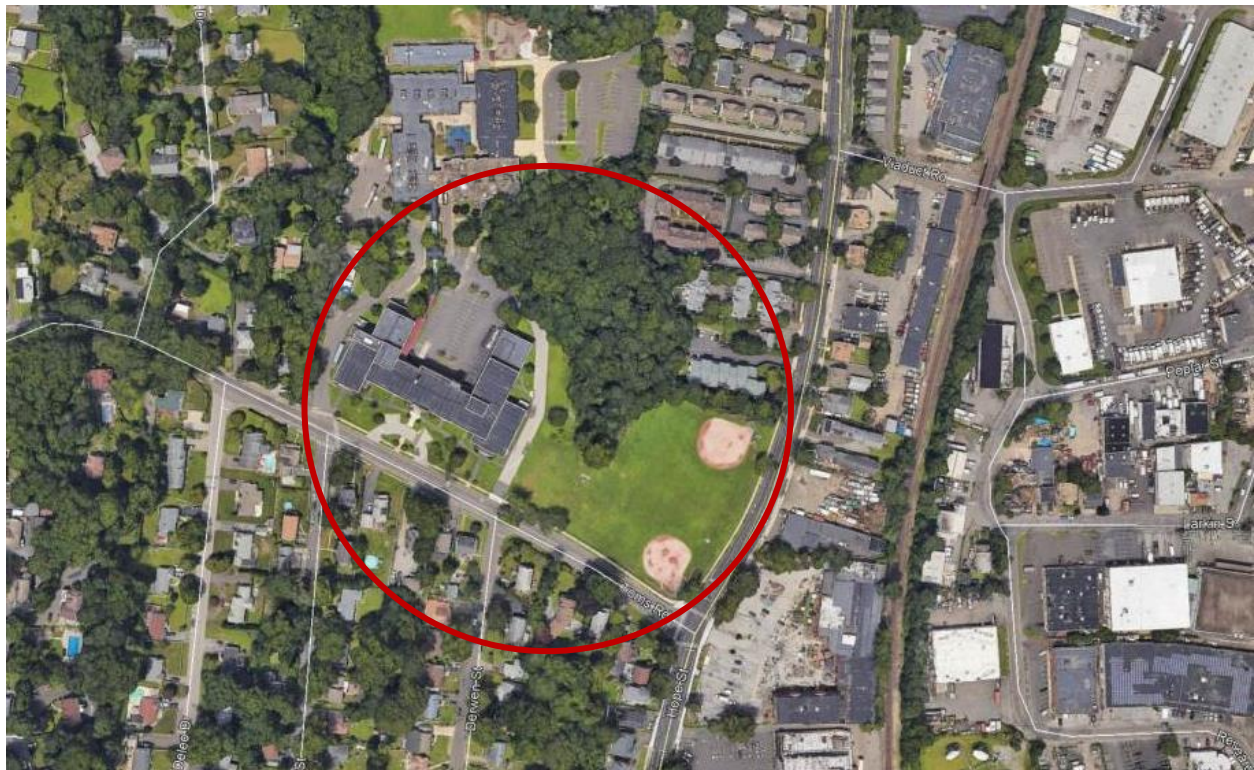
## 3.0 General Property & Building Systems Description

### 3.1 Site / Amenities

The property is located at Walter R. Dolan Middle, Stamford, Fairfield County Connecticut on approximately 16.96 acres. The property slopes gently downward from the northwest side of the property toward the southeast property line and the landscaping consists of trees, shrubs, and grasses. Flowerbeds are located along the front of the building. Play areas are covered with a grass surface. Retaining walls not applicable.

There are approximately 72 spaces in open lots. The paved parking/drive isle areas are in fair to good condition with evidence of cracking and pavement section deterioration. Sidewalk surfaces are in fair to good condition. Fencing is provided along the north, south and east property lines, near the baseball fields. There is minimal lighting in the parking areas which should be addressed. The perimeter fencing is in good condition with isolated sections of damage. Grass play areas/field appear to be in good condition. There are no constructed play areas on site. Storm water from the roofs, landscaped areas, and paved areas flows into on site inlets and catch basins with underground piping connected to the municipal storm water management system. A 48" municipal storm drain is located beneath the southwest corner of the property.

Sanitary sewer and the storm water sewer are provided by the City of Stamford. Domestic water is supplied by Aquarian, electrical service is supplied by CL&P, and natural gas is provided by Yankee Gas.







## 3.2 Architectural Systems

### Main Building

Dolan Middle is approximately 114,000 square feet and is a three storey structure. The building is reinforced concrete slab on grade with a few crawl space tunnels, masonry non-bearing walls and open web steel joist roofs, steel frame with concrete-topped metal decks. Most roofs are flat, fully adhered EPDM systems. The exterior wall finish is unpainted brick veneer, painted wood and metal trim. There is no evidence of significant settlement or structural failure.

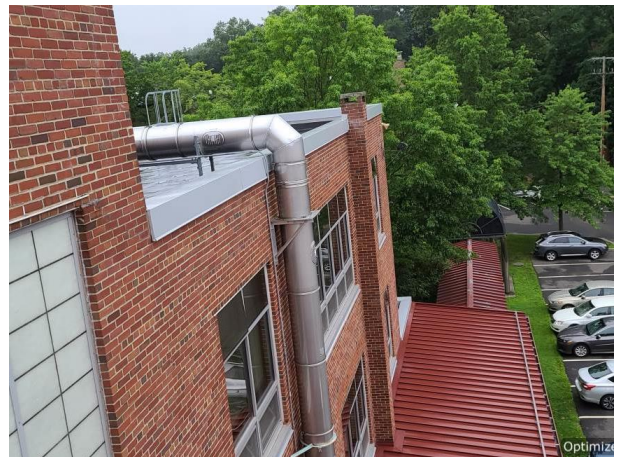
The exterior building envelope is in fair condition. The EPDM roof should be considered for replacement in the next 3-10 years. New protection pads should be installed. The exterior façade should be sealed to prevent moisture infiltration.

Interior floor finishes include resilient tile, ceramic tile, carpet, wood, and painted concrete slab and are in fair condition. Interior wall finishes include painted drywall, painted CMU, painted plaster, painted concrete, brick and ceramic tile and are in fair to poor condition. Interior ceiling finishes include exposed structure, suspended acoustic tiles, painted plaster, painted drywall, and adhered acoustic tiles and are in fair to poor condition. Casework and countertops are in poor condition and in need of replacement. All interior doors are worn and approaching the end of their useful life. Classroom and conference room projection equipment should be replaced.

Installation of 3 new incline wheelchair lifts for ADA access is recommended.

The building is partially non-compliant in terms of ADA restroom accommodations, handrails, and door hardware.











### **3.3 Mechanical Systems**

#### **Main Building**

The mechanical system is largely the original system installed in the building in 1948. There was a mechanical renovation in 2003 where the boiler room equipment was replaced. Most of the boiler room equipment was rebuilt/replaced in 2019 after a flood caused by a main sprinkler valve failure flooded the boiler room. Three steam boilers provide steam for heating via a two-pipe system to the building distribution equipment. All steam piping should be replaced. The building is mostly not air conditioned. Heating throughout the building is served by steam radiators, fin tube radiation and unit heaters. No ventilation provided except by opening the exterior windows. Cooling is provided to some office and classroom areas by individual window air conditioning units, two ductless split systems and one split system air conditioning unit in the Guidance area. Penthouse mounted exhaust fans replaced in 2013 provide exhaust air for building. Controls are original pneumatic with a recently replaced compressor/dryer. All of the distribution systems and components except the exhaust fans should be replaced within the assessment period.

#### **HVAC System Comprehensive Improvement Analysis**

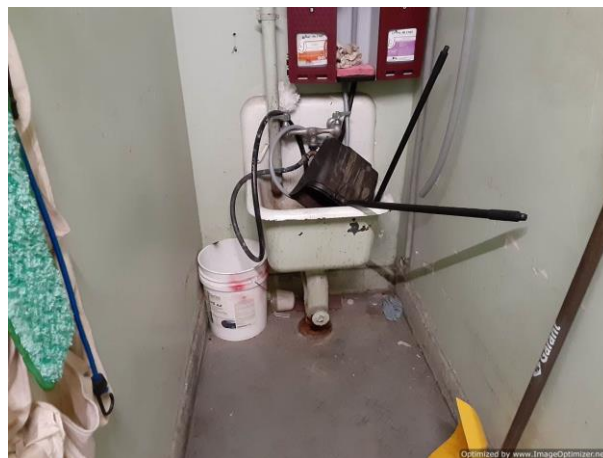
The mechanical system at Dolan MS does not provide adequate ventilation or air conditioning. Based on existing equipment conditions and an initiative to add air condition building-wide, the District-Wide Summary: 10 Year Forecast Cost Analysis contains an allowance for the wholesale system replacement including demolition of the current system including central plant and distribution. This approach takes into consideration only select capital improvement needs in the Deferred Maintenance & Asset Renewal Report not impacted by system replacement.



### 3.4 Plumbing Systems

#### Main Building

The main building plumbing systems appears to largely be original. Hot water is provided by two gas fired hot water heaters and circulators which were replaced in 2019 as part of the boiler room flood repairs. Fixtures appear to have been replaced sporadically throughout the years on an as needed basis. Water coolers are being replaced with bottle fillers building wide by the district. Fixtures, domestic water and sanitary waste piping should be replaced within the assessment period.





### 3.5 Fire & Other Protection Systems

#### Main Building

The building sprinkler system was installed in 1997 and will reach the end of its 30 year useful life in 6 years. The sprinkler system, fire pump, jockey pump and controller should be planned to be replaced within the assessment period.

Fire alarm system (Mfg. - EST) was recently installed with wiring and devices. Fire pump rated for 40 hp provides water force for sprinkler system.



### 3.6 Electrical Systems

#### Main Building

Service to the building is provided by utility company owned transformer bank located in the electrical vault. Secondary service feeders from this bank terminate into a 2000 amp fused disconnect and distribution section with feeder breakers. 208 Y/120 volt power is distributed to panelboards located throughout the building. Branch wiring to lighting and equipment originate from this panelboard. Wiring is old in most of the building except done during recent renovation work. Generator set rated for 200 KW powers emergency/exit lights and a 40 horse power fire pump. Lighting has been converted to LED lamps recently. Classrooms lights are controlled by wall switches and motion sensor.





## 3.7 Technology & Security Systems

### Technology

The main building has a mix of Category 5, Category 5E, and Category 6 cabling supporting all end devices, which is adequate to support the current technology and security systems. We recommend replacing this cabling to the most recent category rating to accommodate future technology devices. Fiber optic backbone cabling between the MDF and each IDF (6 total) consists of OM1 62.5/125um fiber optic cabling, which is capable of 1 Gbps per fiber pair. We recommend installing and replacing this fiber to OM4, which will support 40Gbps, to support the bandwidth requirements of new technology, especially the increased future use of Wi-Fi.

The Public Address system is in working order but is an antiquated analog system and beyond its useful life and maintenance. We recommend replacing this system for new. The Master Clock System is also antiquated and beyond its useful life. We recommend replacing the Master Clock System to provide an accurate time source.

Classroom Interactive Boards currently have a mixed age of boards. Most of the interactive boards were installed before 2014 which would make them 7 years old and older. These boards will be coming into their useful life, and it is recommended to assess their condition in 6 years.

Refer to Appendix B to view a floor plan notating the location and name of each technology room.

### Security

The Intrusion Detection Security system is in working order but is an antiquated system. It is recommended to replace this cabling and devices to accommodate the future security needs of this property. The Video Surveillance Systems is undergoing an addition of a new managed system and includes new IP cameras in several areas of the school. There are locations where existing analog cameras are still being used and viewed on this new system. Coverage of the school is fair. We recommend replacing the existing analog cameras with IP cameras and supplementing the coverage with new IP cameras. The main entry door is equipped with an antiquated Aiphone intercom-door-release and a surveillance camera viewing the door. It is recommended to replace the existing Aiphone device with a modern device to include video that will assist with the assessment of a visitor requesting access into the school.

## 4.0 General Physical Condition Rating

The general physical condition ratings identified below are based on StudioJAED's visual inspection and overall impression of the Property's major building systems assessed as defined in the Executive Summary, Section 2.0.

MAIN BUILDING		Condition Rating		
Item	Building / Site System	Good	Fair	Poor
1	Building Envelope		X	
2	Interior Architecture		X	X
3	Mechanical Systems		X	X
4	Electrical Systems		X	
5	Plumbing Systems		X	
6	Fire Alarm / Protection Systems		X	X
7	Site Improvements	X		

## 5.0 Opinions of Probable Costs

The opinions of probable cost presented in this document are for repair or renewal / replacement projected capital needs identified from a visual inspection of the defined Property site elements and primary building systems anticipated over the subsequent 10 year term. These opinions are based on StudioJAED's knowledge of industry standards and recommended "good" architectural and engineering practice. For the purpose of generating projected investment dollars, needs were calculated based on approximate quantities and estimated unit cost values were defined. Recommended corrective actions recorded do not constitute a warranty that all items, which may require repair or replacement, are included.

As a measure of quality assurance, StudioJAED's cost estimates were developed by our Certified Professional Estimators. All unit "trade" costs were developed using the RSMeans "CostWorks" application which was regionally adjusted to the materials, labor, and equipment cost for Bridgeport, Connecticut. The cost model approach applied to each corrective action was based on Construction Management-at-Risk (CMAR) with an additional (20%) twenty percent allowance to cover design fees and owner contingency.

The opinions of probable costs should be considered a preliminary order of magnitude for budget development. It also assumes that each facility will continue to operate in its current capacity and relative quality of care. Actual costs will vary from StudioJAED's probable costs based on a number of potential factors such as: a finer granularity or understanding of required scope of work, design solution approach, type of construction, quality of materials, equipment or system specifications, field conditions, need for abatement of hazardous materials, decision to comprehensively replace equipment or system versus partial replacement / repair, phased or staged implementation (if required), quality of contractor, overall project management, solicitation of competitive pricing, etc. An expanded budget projection/analysis typically requires the development of schematic design documents and preliminary specifications to obtain contractor bid estimates.

## 6.0 Limitations & Qualifications

The services described within this document were performed by StudioJAED. No warranties are provided, either expressed or implied. While StudioJAED made every reasonable effort to properly evaluate the Property conditions within the contracted scope of work, it is important to recognize that the investigation was limited in several respects including, but not limited to, the following:

StudioJAED's findings and conclusions are based primarily on the visual appearance of the Property at the time of our site visit and comparatively evaluated in contrast to our extensive condition assessment experience. Observations included only areas that were readily accessible to our assessment team members without opening or dismantling any secured components or areas. The scope did not include invasive investigation, component sampling, laboratory analysis, an environmental site assessment, or engineering evaluations of structural, mechanical, electrical, or other systems with related calculations and review of design assumptions.

Some of StudioJAED's conclusions are partially based on information provided by others. For the purposes of this report, we have assumed this information to be complete and correct unless noted otherwise. StudioJAED assumes no responsibility for incorrect information provided by others.

Our opinions of cost represent a preliminary opinion only and are neither a quote nor a warranty or representation as to the actual costs that may be incurred. These estimates are based on typical cost data that may not fully characterize the scope of the Property conditions and are further limited by possible future changes in technology, by regulatory requirements, by Property location, and by contingencies that cannot reasonably be discovered until after commencement of onsite construction activities. StudioJAED shall not be liable to the Client nor any other property for any costs or expenses that may be incurred in excess of these estimates, for any losses that may be incurred as a result of these estimates being different from the actual costs, nor for any damages whatsoever in connection with these estimates.

This report is intended for the use of and may be relied upon only by the entities identified in Section 1.0 – Authorized Assessment Account. The scope of services performed in execution of this investigation may not be appropriate to satisfy the needs of other users, and any use or re-use of this document or its findings, conclusions, or recommendations is at the risk of said user. StudioJAED is not responsible for the conclusions, opinions, or recommendations made by others based on this information.

## Appendices

**Appendix A: Deferred Maintenance & Asset Renewal Report**

**Appendix B: Technology Floor Plans**



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# Deferred Maintenance & Asset Renewal Report

## Dolan MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
<b>Dolan Middle School</b>								
<b>B10 Superstructure</b>								
B1020-05-03C Correct Metal Canopy Finish Deterioration by Prep & Refinish	B1020 Roof Construction	Building Exterior		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	1,700 SQFT	\$7,018
B1020-07-01C Correct Glass Canopy Deterioration by Demolition & Replacement	B1020 Roof Construction	Building Exterior		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	40 SQFT	\$17,205
Total Estimated Cost for <b>B10 Superstructure</b>								<b>\$24,224</b>
<b>B20 Exterior Enclosure</b>								
B2011-06-19C Correct Exterior Concrete Soffit or Fascia Finish Deterioration by Prep & Refinish	B2011 Exterior Wall Specialties	Building Exterior		Def Maint	P2 / 1-2 Yrs	Energy/ Automation	200 SQFT	\$1,861
B2012-01-02C Correct Exterior Wall Moisture Infiltration by Spray Waterproofing Sealer	B2012 Exterior Wall Dampproofing	Building Exterior		Def Maint	P4 / 6-10 Yrs	Function/ Functional	58,520 SQFT	\$573,154
B2030-04-02C Correct Hollow Metal Door & Frame Deterioration by Demolition & Replacement	B2030 Exterior Door	Roof		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	7 EACH	\$33,156
Total Estimated Cost for <b>B20 Exterior Enclosure</b>								<b>\$608,171</b>
<b>B30 Roofing</b>								
B3010-06-03C Correct Metal Roof Panel Finish Deterioration by Prep & Refinish	B3010 Roof Covering	Roof		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	550 SQFT	\$2,563

Priority 1 - Work should be performed immediately. Potential Life / Safety Issue.

Priority 3 - Work to be performed within next 3-5 years. Asset will reach useful life soon.

Priority 2 - Work to be performed within next 1-2 years. Asset has reached useful life. Priority 4 - Work to be performed within next 6-10 years or is an arch/eng "good practice".

Estimated Construction Cost is based on 2021 RSMeans data regionalized for Stamford, CT with client defined allowances and soft costs applied.



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# Deferred Maintenance & Asset Renewal Report

*Dolan MS*

**Project Name:** 2021 Stamford Facility Assessment

**Building Type:** Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
B3010-11-01C Correct EPDM Roof Deterioration by Demolition & Replacement	B3010 Roof Covering	Roof		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	35,349 SQFT	\$1,390,955
B3010-11-01C Correct EPDM Roof Deterioration by Demolition & Replacement	B3010 Roof Covering	Roof		Def Maint	P4 / 6-10 Yrs	Useful Life	9,473 SQFT	\$372,755
B3030-04-02C Correct Scupper Required by Install New	B3030 Roof Drainage	Roof		Bldg Imprv	P2 / 1-2 Yrs	Function/ Functional	14 EACH	\$2,839
B3060-08-01C Correct Roof Protection Pad Deterioration by Demolition & Replacement	B3060 Roof Specialties	Roof		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	450 EACH	\$44,844
Total Estimated Cost for <b>B30 Roofing</b>								<b>\$1,813,956</b>
<b>C10 Interior Construction</b>								
C1010-05-01C Correct Concrete Masonry Unit Glazed Partition & Mortar Joint Deterioration by Demolition & Replacement	C1010 Interior Partition	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	150 SQFT	\$11,354
C1010-05-01C Correct Concrete Masonry Unit Glazed Partition & Mortar Joint Deterioration by Demolition & Replacement	C1010 Interior Partition	Restroom		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	100 SQFT	\$7,569
C1010-05-03C Correct Concrete Masonry Unit Glazed Partition Mortar Joint Deterioration by Repointing	C1010 Interior Partition	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	18,669 SQFT	\$351,359

Priority 1 - Work should be performed immediately. Potential Life / Safety Issue.

Priority 3 - Work to be performed within next 3-5 years. Asset will reach useful life soon.

Priority 2 - Work to be performed within next 1-2 years. Asset has reached useful life. Priority 4 - Work to be performed within next 6-10 years or is an arch/eng "good practice".

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# Deferred Maintenance & Asset Renewal Report

*Dolan MS*

**Project Name:** 2021 Stamford Facility Assessment

**Building Type:** Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
C1010-05-03C Correct Concrete Masonry Unit Glazed Partition Mortar Joint Deterioration by Repointing	C1010 Interior Partition	Restroom		Def Maint	P2 / 1-2 Yrs	Damage/Wear	6,965 SQFT	\$131,084
C1010-05-04C Correct Concrete Masonry Unit Glazed Partition Finish Deterioration by Cleaning	C1010 Interior Partition	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/Wear	18,669 SQFT	\$58,655
C1010-05-04C Correct Concrete Masonry Unit Glazed Partition Finish Deterioration by Cleaning	C1010 Interior Partition	Kitchen		Def Maint	P2 / 1-2 Yrs	Damage/Wear	1,500 SQFT	\$4,713
C1010-05-04C Correct Concrete Masonry Unit Glazed Partition Finish Deterioration by Cleaning	C1010 Interior Partition	Restroom		Def Maint	P2 / 1-2 Yrs	Damage/Wear	6,965 SQFT	\$21,883
C1020-01-01C Correct Hollow Metal Door Deterioration by Demolition & Replacement	C1020 Interior Door	Auditorium		Def Maint	P2 / 1-2 Yrs	Damage/Wear	1 EACH	\$3,150
C1020-01-02C Correct Hollow Metal Door Frame Deterioration by Demolition & Replacement	C1020 Interior Door	Auditorium		Def Maint	P2 / 1-2 Yrs	Damage/Wear	1 EACH	\$982
C1020-01-03C Correct Hollow Metal Door Finish Deterioration by Prep & Refinish	C1020 Interior Door	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/Wear	9 EACH	\$2,679
C1020-02-01C Correct Wood Door Deterioration by Demolition & Replacement	C1020 Interior Door	Auditorium		Def Maint	P2 / 1-2 Yrs	Damage/Wear	12 EACH	\$25,533

Priority 1 - Work should be performed immediately. Potential Life / Safety Issue.

Priority 3 - Work to be performed within next 3-5 years. Asset will reach useful life soon.

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# Deferred Maintenance & Asset Renewal Report

*Dolan MS*

**Project Name:** 2021 Stamford Facility Assessment

**Building Type:** Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
C1020-02-01C Correct Wood Door Deterioration by Demolition & Replacement	C1020 Interior Door	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	150 EACH	\$319,160
C1020-02-01C Correct Wood Door Deterioration by Demolition & Replacement	C1020 Interior Door	Kitchen		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	3 EACH	\$6,383
C1020-02-02C Correct Wood Door Frame Deterioration by Demolition & Replacement	C1020 Interior Door	Auditorium		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	12 EACH	\$9,887
C1020-02-02C Correct Wood Door Frame Deterioration by Demolition & Replacement	C1020 Interior Door	Kitchen		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	3 EACH	\$2,472
C1030-02-01C Correct Toilet Compartment Deterioration by Demolition & Replacement	C1030 Fittings & Accessories	Restroom		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	34 EACH	\$61,594
C1030-06-02C Correct Interior Signage Panel Signage Deterioration by Demolition & Replacement	C1030 Fittings & Accessories	Building Wide		Bldg Imprv	P2 / 1-2 Yrs	Function/ Functional	147 EACH	\$21,232
Total Estimated Cost for <b>C10 Interior Construction</b>								<b>\$1,039,688</b>
<b>C20 Stairs &amp; Ramps</b>								
C2020-01-02C Correct Concrete / Masonry Stair Tread & Riser Finish Deterioration by Resurfacing	C2020 Interior Stair Finish	Auditorium		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	50 LNFT	\$2,414

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# Deferred Maintenance & Asset Renewal Report

Dolan MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
C2050-01-03C Correct Handrail Finish Deterioration by Prep & Refinish	C2050 Interior Handrail & Balustrade	Auditorium	Quantity increased to meet minimum cost.	Def Maint	P2 / 1-2 Yrs	Damage/ Wear	50 LNFT	\$606
Total Estimated Cost for C20 Stairs & Ramps								\$3,020
C30 Interior Finishes								
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Auditorium		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	3,500 SQFT	\$14,648
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	52,200 SQFT	\$218,463
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Gymnasium		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	5,100 SQFT	\$21,344
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Media Center		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	1,860 SQFT	\$7,784
C3010-02-03C Correct Wood Wall Finish Deterioration by Prep & Refinish	C3010 Wall Finish	Auditorium		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	3,500 SQFT	\$11,427
C3010-03-01C Correct Ceramic Tile Wall Finish Deterioration by Demolition & Replacement	C3010 Wall Finish	Restroom		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	1,200 SQFT	\$38,434

Priority 1 - Work should be performed immediately. Potential Life / Safety Issue.

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# Deferred Maintenance & Asset Renewal Report

*Dolan MS*

**Project Name:** 2021 Stamford Facility Assessment

**Building Type:** Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
C3010-12-01C Correct Plaster Wall Finish Deterioration by Demolition & Replacement	C3010 Wall Finish	Stair Tower		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	400 SQFT	\$7,249
C3010-12-02C Correct Plaster Wall Finish Deterioration by Prep & Refinish	C3010 Wall Finish	Auditorium		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	6,400 SQFT	\$34,581
C3010-12-02C Correct Plaster Wall Finish Deterioration by Prep & Refinish	C3010 Wall Finish	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	5,334 SQFT	\$28,821
C3010-12-02C Correct Plaster Wall Finish Deterioration by Prep & Refinish	C3010 Wall Finish	Cafeteria		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	250 SQFT	\$1,351
C3010-12-02C Correct Plaster Wall Finish Deterioration by Prep & Refinish	C3010 Wall Finish	Stair Tower		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	4,800 SQFT	\$25,936
C3020-01-04C Correct Concrete Interior Floor Finish Deterioration by Prep & Refinish (101-1000 SF)	C3020 Floor Finish	Stair Tower		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	250 SQFT	\$8,609
C3020-01-05C Correct Concrete Interior Floor Finish Deterioration by Prep & Refinish (1001 SF and Above)	C3020 Floor Finish	Auditorium		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	2,213 SQFT	\$62,159
C3020-01-05C Correct Concrete Interior Floor Finish Deterioration by Prep & Refinish (1001 SF and Above)	C3020 Floor Finish	Building Wide		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	3,896 SQFT	\$109,431

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
C3020-08-01C Correct Ceramic Tile Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	5,264 SQFT	\$175,337
C3020-09-01C Correct Quarry Tile Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Kitchen		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	967 SQFT	\$38,850
C3020-10-02C Correct Terrazzo Floor Finish Deterioration by Prep & Refinish	C3020 Floor Finish	Building Wide		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	750 SQFT	\$6,990
C3020-11-02C Correct Hard Wood Floor Finish Deterioration Prep & Refinish	C3020 Floor Finish	Auditorium		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	1,154 SQFT	\$9,510
C3020-11-02C Correct Hard Wood Floor Finish Deterioration Prep & Refinish	C3020 Floor Finish	Building Wide		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	2,382 SQFT	\$19,630
C3020-11-02C Correct Hard Wood Floor Finish Deterioration Prep & Refinish	C3020 Floor Finish	Gymnasium		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	6,950 SQFT	\$57,274
C3020-12-01C Correct Carpet Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Auditorium		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	180 SQYD	\$19,172
C3020-12-01C Correct Carpet Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	450 SQYD	\$47,931

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
C3020-12-01C Correct Carpet Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Media Center		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	217 SQYD	\$23,113
C3030-02-01C Correct Plaster Ceiling Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Auditorium		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	100 SQFT	\$1,791
C3030-02-02C Correct Plaster Ceiling Finish Deterioration by Demolition & Replacement with Alternative Material (Susp Acoustical)	C3030 Ceiling Finish	Restroom		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	3,000 SQFT	\$37,019
C3030-02-03C Correct Plaster Ceiling Finish Deterioration by Prep & Refinish	C3030 Ceiling Finish	Auditorium		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	1,000 SQFT	\$11,763
C3030-02-03C Correct Plaster Ceiling Finish Deterioration by Prep & Refinish	C3030 Ceiling Finish	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	10,635 SQFT	\$125,097
C3030-04-01C Correct Splined Acoustical Ceiling Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Auditorium		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	4,000 SQFT	\$41,527
C3030-04-02C Correct Splined Acoustical Ceiling Finish Deterioration by Demolition & Replacement with Alternative Material (Susp Acoustical)	C3030 Ceiling Finish	Gymnasium		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	6,950 SQFT	\$76,793

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
C3030-05-02C Correct Suspended Acoustical Ceiling Tile & Grid Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/Wear	65,150 SQFT	\$687,749
C3030-05-02C Correct Suspended Acoustical Ceiling Tile & Grid Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Cafeteria		Def Maint	P2 / 1-2 Yrs	Damage/Wear	3,500 SQFT	\$36,947
C3030-05-02C Correct Suspended Acoustical Ceiling Tile & Grid Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Kitchen		Def Maint	P2 / 1-2 Yrs	Damage/Wear	967 SQFT	\$10,208
C3030-05-02C Correct Suspended Acoustical Ceiling Tile & Grid Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Media Center		Def Maint	P2 / 1-2 Yrs	Damage/Wear	1,950 SQFT	\$20,585
Total Estimated Cost for <b>C30 Interior Finishes</b>								<b>\$2,037,523</b>
<b>D10 Conveying</b>								
D1010-03-05C Correct Incline Wheelchair Lift (750 Capacity) Required by Install New	D1010 Elevator & Lift	Building Wide	(3) 1 floor accessible lifts required.	Bldg Imprv	P2 / 1-2 Yrs	Accessibility	3 FLR	\$173,728
Total Estimated Cost for <b>D10 Conveying</b>								<b>\$173,728</b>
<b>D20 Plumbing</b>								
D2010-02-01C Correct Water Closet Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide		Def Maint	P4 / 6-10 Yrs	Useful Life	21 EACH	\$60,458

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D2010-02-01C Correct Water Closet Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	21 EACH	\$60,458
D2010-03-11C Correct Lavatory (Commercial Wall Mounted) Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	19 EACH	\$41,507
D2010-03-11C Correct Lavatory (Commercial Wall Mounted) Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide		Def Maint	P4 / 6-10 Yrs	Useful Life	19 EACH	\$41,507
D2010-03-12C Correct Lavatory Full Bradley Not Required by Demolition & Safe Off	D2010 Plumbing Fixtures	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$2,799
D2010-04-07C Correct Floor Urinal Deterioration by Demolition & Replacement with Standard Wall Urinal and Finish Restoration	D2010 Plumbing Fixtures	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	8 EACH	\$52,274
D2010-05-07C Correct Shower Enclosure, Mixing Valve/Faucet and Trim Set Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$9,775
D2010-05-08C Correct Shower Stall Components (Gang Style) Not Required by Demolition & Safe Off	D2010 Plumbing Fixtures	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	23 EACH	\$14,597

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D2010-10-01C Correct Utility Sink or Mop Receptor Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	7 EACH	\$27,290
D2010-11-01C Correct Residential Sink Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	7 EACH	\$15,849
D2010-12-01C Correct Lab Sink Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Science Lab		Def Maint	P2 / 1-2 Yrs	Useful Life	5 EACH	\$17,662
D2010-16-01C Correct Commercial Kitchen Stainless Steel Sink Single Bowl Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Kitchen		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$3,708
D2020-01-01C Correct Domestic Water Piping & Valves & Insulation Deterioration by Demolition & Replacement (Bldg SF)	D2020 Domestic Water Distribution	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	114,000 BLDG SF	\$1,831,369
D2020-06-01C Correct Plumbing Pump Deterioration by Demolition & Replacement	D2020 Domestic Water Distribution	Kitchen		Def Maint	P4 / 6-10 Yrs	Useful Life	1 EACH	\$7,874
D2030-01-01C Correct Deteriorated Sanitary Sewer Pipe & Fittings Deterioration by Demolition & Replacement (Bldg SF)	D2030 Sanitary Waste	Building Wide	<i>Select locations as needed.</i>	Def Maint	P2 / 1-2 Yrs	Useful Life	55,000 BLDG SF	\$526,020
D2030-04-01C Correct Ejection Pump Deterioration by Demolition & Replacement	D2030 Sanitary Waste	Boiler Room		Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$8,967

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
Total Estimated Cost for <b>D20 Plumbing</b>								<b>\$2,722,116</b>
<b>D30 HVAC</b>								
D3020-09-01C Correct Thermal Expansion Tank (25 Gal) Deterioration by Demolition & Replacement	D3020 Heat Generation	Boiler Room		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$3,414
D3020-10-07C Correct Boiler Chemical Feed System (5 Gal) Required by Install New	D3020 Heat Generation	Boiler Room		Bldg Imprv	P2 / 1-2 Yrs	Function/ Functional	1 EACH	\$5,642
D3020-12-03C Correct Steam Condensate Tank (50 Gal) Deterioration by Demolition & Replacement	D3020 Heat Generation	Boiler Room		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$4,820
D3030-04-01C Correct Condensing Unit (3 Tons) Deterioration by Demolition & Replacement	D3030 Refrigeration	Building Exterior		Def Maint	P3 / 3-5 Yrs	Useful Life	1 EACH	\$15,343
D3040-02-19C Correct Air Handling Unit Heating Only (1000 CFM) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Locker Room		Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$47,188
D3040-02-21C Correct Air Handling Unit Heating Only (3000 CFM) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Auditorium		Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$69,203

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D3040-17-15C Correct HVAC Piping System (2 Pipe) & Insulation Deterioration by Demolition & Replacement (BLDG SF)	D3040 HVAC Distribution	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	114,000 BLDG SF	\$1,728,085
D3050-07-06C Correct Computer Room (MDF/IDF) Split System Air Conditioning System Required by Install New	D3050 Terminal & Packaged Units	MDF, ALL IDF'S	<i>MDF, and all IDF's require additional room cooling for equipment operation. 6 Rooms at approx. 100 sf each.</i>	Bldg Imprv	P2 / 1-2 Yrs	Function/ Functional	6 EACH	\$65,102
D3050-08-11C Correct Ductless Split System Air Conditioning System Deterioration (1.5 Ton) by Demolition & Replacement	D3050 Terminal & Packaged Units	Classroom		Def Maint	P3 / 3-5 Yrs	Useful Life	2 EACH	\$12,126
D3050-09-01C Correct Window Air Conditioning Unit Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Office		Def Maint	P3 / 3-5 Yrs	Useful Life	14 EACH	\$12,798
D3050-18-02C Correct Heating and Cooling Fan Coil Unit (3 Ton) Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Office		Def Maint	P3 / 3-5 Yrs	Useful Life	1 EACH	\$16,353
D3050-20-01C Correct Steam & Hot Water Unit Heater (100 MBH) Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	8 EACH	\$18,190
D3050-20-04C Correct Steam & Hot Water Unit Heater (200 MBH) Deterioration by Demo & Replacement	D3050 Terminal & Packaged Units	Gymnasium		Def Maint	P2 / 1-2 Yrs	Useful Life	4 EACH	\$17,760

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D3050-25-01C Correct Cast Iron Radiator Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	150 EACH	\$228,503
D3050-26-01C Correct Steam or Hot Water Fin-Tube Radiation Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Classroom		Def Maint	P4 / 6-10 Yrs	Useful Life	70 LNFT	\$20,602
D3060-01-03C Correct Pneumatic Control System Air Compressor Deterioration by Demolition & Replacement	D3060 HVAC Instrumentation & Controls	Boiler Room		Def Maint	P4 / 6-10 Yrs	Useful Life	1 EACH	\$14,591
D3060-01-05C Correct Pneumatic Control System Deterioration by Demolition & Replacement with Alternate DDC System (Bldg SF)	D3060 HVAC Instrumentation & Controls	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	114,000 BLDG SF	\$1,846,130
Total Estimated Cost for <b>D30 HVAC</b>								<b>\$4,125,850</b>
<b>D40 Fire Protection</b>								
D4010-01-04C Correct Wet Pipe Sprinkler System Deterioration by Demolish & Replace System (Bldg SF)	D4010 Sprinklers	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	114,000 BLDG SF	\$1,538,644
D4010-03-03C Correct Fire Pump, 40 HP, Deterioration by Demolition & Replacement	D4010 Sprinklers	Boiler Room		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$65,161

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D4010-03-04C Correct Fire Pump Jockey Pump Deterioration by Demolition & Replacement	D4010 Sprinklers	Boiler Room		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$9,291
D4010-03-05C Correct Fire Pump Controller Deterioration by Demolition & Replacement	D4010 Sprinklers	Boiler Room		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$15,223
Total Estimated Cost for <b>D40 Fire Protection</b>								<b>\$1,628,319</b>
<b>D50 Electrical</b>								
D5010-08-21C Correct Motor Control Center Variable Frequency Drive (20 HP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Penthouse		Def Maint	P4 / 6-10 Yrs	Useful Life	6 EACH	\$78,424
D5010-12-05C Correct Panelboard (225 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	1st Floor		Def Maint	P3 / 3-5 Yrs	Useful Life	9 EACH	\$121,810
D5010-12-05C Correct Panelboard (225 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	2nd Floor		Def Maint	P3 / 3-5 Yrs	Useful Life	4 EACH	\$54,138
D5010-12-05C Correct Panelboard (225 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	3rd Floor		Def Maint	P3 / 3-5 Yrs	Useful Life	4 EACH	\$54,138
D5010-12-05C Correct Panelboard (225 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Penthouse		Def Maint	P3 / 3-5 Yrs	Useful Life	1 EACH	\$13,534

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D5010-12-10C Correct Panelboard (225 AMP) Required by Install New	D5010 Electrical Service & Distribution	Building Wide	<i>For additional outlets.</i>	Bldg Imprv	P3 / 3-5 Yrs	Function/Functional	6 EACH	\$143,245
D5020-02-03C Correct Surface Mounted Fluorescent Fixture Deterioration by Demolition & Replacement with Alternate Fixture Type (LED)	D5020 Lighting & Branch Wiring	Gymnasium		Def Maint	P3 / 3-5 Yrs	Function/Functional	30 EACH	\$38,790
D5020-11-01C Correct Exit Sign Deterioration by Demolition & Replacement	D5020 Lighting & Branch Wiring	1st Floor		Def Maint	P2 / 1-2 Yrs	Function/Functional	13 EACH	\$4,210
D5020-11-01C Correct Exit Sign Deterioration by Demolition & Replacement	D5020 Lighting & Branch Wiring	2nd Floor		Def Maint	P2 / 1-2 Yrs	Function/Functional	12 EACH	\$3,886
D5020-11-01C Correct Exit Sign Deterioration by Demolition & Replacement	D5020 Lighting & Branch Wiring	3rd Floor		Def Maint	P2 / 1-2 Yrs	Function/Functional	8 EACH	\$2,591
D5020-13-02C Correct Stage Lighting System Deterioration by Demolition & Replacement with Alternate Fixture (LED)	D5020 Lighting & Branch Wiring	Auditorium		Def Maint	P3 / 3-5 Yrs	Useful Life	1 LPSM	\$323,200
D5021-01-05C Correct Receptacles Required by Install New	D5021 Branch Wiring	Building Wide	<i>Additional receptacles.</i>	Bldg Imprv	P3 / 3-5 Yrs	Function/Functional	240 EACH	\$229,768
D5021-03-01C Correct Branch Wiring Deterioration by Demolition & Replacement	D5021 Branch Wiring	Building Wide	<i>New wiring for additional receptacles.</i>	Bldg Imprv	P3 / 3-5 Yrs	Function/Functional	24,000 LNFT	\$186,045

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D5021-03-01C Correct Branch Wiring Deterioration by Demolition & Replacement	D5021 Branch Wiring	Building Wide	2 # 12 +1#12 g -MC cable	Def Maint	P3 / 3-5 Yrs	Useful Life	60,000 LNFT	\$465,113
D5021-03-01C Correct Branch Wiring Deterioration by Demolition & Replacement	D5021 Branch Wiring	Parking Lot	2 #10 +1 # 12 G in existing conduit.	Def Maint	P2 / 1-2 Yrs	Function/ Functional	250 LNFT	\$1,938
D5031-03-01C Correct Security System Motion or Glass Break Detector Deterioration by Demolition & Replacement (BLDG SF)	D5031 Security Access & Surveillance	Building Wide	Antiquated system - problems with nuisance alarms.	Def Maint	P4 / 6-10 Yrs	Useful Life	114,000 BLDG SF	\$54,720
D5031-07-01C Correct Video Surveillance Indoor Camera Deterioration by Demolition & Replacement	D5031 Security Access & Surveillance	Building Wide	Upgrades have been recently installed.	Def Maint	P4 / 6-10 Yrs	Useful Life	6 EACH	\$20,055
D5031-20-01C Correct Security Access Control System (Head End Only) Deterioration by Demolition & Replacement	D5031 Security Access & Surveillance	Building Wide		Def Maint	P4 / 6-10 Yrs	Useful Life	1 EACH	\$5,351
D5031-20-03C Correct Security Access Control with Video Intecom Deterioration by Demolition & Replacement	D5031 Security Access & Surveillance	Main Entryways	Antiquated intercom at main entry. Install new video intercom for added security.	Def Maint	P2 / 1-2 Yrs	Security	2 EACH	\$11,119
D5032-01-05C Correct Master Clock System Deterioration by Demolition & Replacement with Wireless System (Bldg SF)	D5032 Clock & Program Systems	Building Wide	Replace with Wireless System.	Def Maint	P4 / 6-10 Yrs	Useful Life	114,000 BLDG SF	\$303,313

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D5033-01-01C Correct Building Wide Intercom System Deterioration by Demolition & Replacement (Bldg SF)	D5033 Intercom Systems	Main Office	Antiquated system, speakers beyond useful life.	Def Maint	P3 / 3-5 Yrs	Function/ Functional	114,000 BLDG SF	\$410,195
D5035-04-01C Correct Building-Wide Telephone System Deterioration by Demolition & Replacement (Bldg SF)	D5035 Telephone System	Building Wide	Intermittent problems with the phone cabling. Recommended to upgrade to VoIP.	Def Maint	P2 / 1-2 Yrs	Useful Life	114,000 BLDG SF	\$390,208
D5036-01-03C Correct Technology System Wiring Deterioration by Demolition & Replacement	D5036 Technology System	Building Wide	Cabling should be replaced with most current category rated cabling.	Def Maint	P4 / 6-10 Yrs	Useful Life	250,000 LNFT	\$762,240
D5036-03-06C Correct Data Room Equipment Grounding System Required by Install New	D5036 Technology System	Building Wide	All equipment and racks should be grounded.	Bldg Imprv	P3 / 3-5 Yrs	Function/ Functional	6 LPSM	\$25,348
D5036-06-01C Correct Fiber Optic Backbone Wiring Deterioration by Demolition & Replacement	D5036 Technology System	MDF to Each IDF	All IDF's currently have OM1 fiber ran from the MDF. This is an antiquated system and should be upgraded in order to meet the needs of today's technology standards.	Def Maint	P2 / 1-2 Yrs	Function/ Functional	1,500 LNFT	\$6,666
D5090-01-07C Correct Diesel Fuel Emergency Generator (500 kW) Deterioration by Demolition & Replacement	D5090 Other Electrical Systems	Boiler Room	Replace existing 200 kw, oil fuel gen set with remote radiator with larger unit as required for expanded load.	Def Maint	P4 / 6-10 Yrs	Useful Life	1 EACH	\$213,685

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D5090-04-03C Correct Uninterruptable Power Supply System (5 KVA) Deterioration by Demolition & Replacement	D5090 Other Electrical Systems	MDF		Def Maint	P4 / 6-10 Yrs	Useful Life	1 EACH	\$23,010
D5090-04-04C Correct Uninterruptable Power Supply System (5 KVA) Required by Install New	D5090 Other Electrical Systems	Each IDF		Bldg Imprv	P3 / 3-5 Yrs	Function/ Functional	5 EACH	\$105,001
Total Estimated Cost for <b>D50 Electrical</b>								<b>\$4,051,738</b>
<b>E10 Equipment</b>								
E1020-04-01C Correct Stage Curtain Deterioration by Demolition & Replacement	E1020 Institutional Equipment	Auditorium		Def Maint	P4 / 6-10 Yrs	Damage/ Wear	513 SQYD	\$468,213
E1020-06-02C Correct Projection Equipment Deterioration by Demolition & Replacement with Interactive Flat Panel System	E1020 Institutional Equipment	Building Wide	Classrooms, conference rooms	Def Maint	P4 / 6-10 Yrs	Useful Life	7 EACH	\$191,041
E1020-06-02C Correct Projection Equipment Deterioration by Demolition & Replacement with Interactive Flat Panel System	E1020 Institutional Equipment	Building Wide	Classrooms, conference rooms	Def Maint	P3 / 3-5 Yrs	Useful Life	49 EACH	\$1,337,288
Total Estimated Cost for <b>E10 Equipment</b>								<b>\$1,996,542</b>

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
<b>E20 Furnishings</b>								
E2010-04-03C Correct Base Cabinet with Laminate Counter Deterioration by Demolition & Replacement	E2010 Fixed Furnishings	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/Wear	210 LNFT	\$174,481
E2011-02-02C Correct Mini-blind Deterioration by Demolition & Replacement with Manual Shade System (Window SF)	E2011 Window Treatment	Cafeteria		Def Maint	P2 / 1-2 Yrs	Damage/Wear	700 SQFT	\$14,290
Total Estimated Cost for <b>E20 Furnishings</b>								<b>\$188,771</b>
<b>F20 Selective Demolition</b>								
F2020-04-03C Correct Asbestos Pipe Insulation and Pipe Remediation Required by Abatement & Pipe Removal	F2020 Hazardous Components Abatement	Building Wide	Rm 102 in clg cavity (may be present in wall cavities and other hidden areas) Per AHERA Report. Qty Est.	Def Maint	P2 / 1-2 Yrs	Environ Imprvmt	500 LNFT	\$59,851
F2020-05-01C Correct Asbestos Floor Tile Remediation Required by Abatement & Install Resilient Finish	F2020 Hazardous Components Abatement	Building Wide	Existing 9x9 tile. See AHERA Report.	Def Maint	P4 / 6-10 Yrs	Environ Imprvmt	12,985 SQFT	\$295,428
F2020-05-01C Correct Asbestos Floor Tile Remediation Required by Abatement & Install Resilient Finish	F2020 Hazardous Components Abatement	Building Wide	Existing damaged or worn 12x12 tile. See AHERA Report.	Def Maint	P2 / 1-2 Yrs	Environ Imprvmt	46,228 SQFT	\$1,051,757
F2020-05-01C Correct Asbestos Floor Tile Remediation Required by Abatement & Install Resilient Finish	F2020 Hazardous Components Abatement	Cafeteria	Existing damaged or worn 12x12 tile. See AHERA Report.	Def Maint	P2 / 1-2 Yrs	Environ Imprvmt	3,500 SQFT	\$79,630

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
F2020-08-01C Correct Asbestos Equipment Insulation Remediation Required by Abatement	F2020 Hazardous Components Abatement	Building Wide	Reference AHERA Report. Insulation for 150 Radiators. Qty Est.	Def Maint	P2 / 1-2 Yrs	Environ Imprvmt	3,750 SQFT	\$310,004
F2020-10-01C Correct Asbestos Ceiling Tile Remediation Required by Abatement	F2020 Hazardous Components Abatement	Building Wide		Def Maint	P2 / 1-2 Yrs	Environ Imprvmt	65,150 SQFT	\$3,305,661
F2020-10-01C Correct Asbestos Ceiling Tile Remediation Required by Abatement	F2020 Hazardous Components Abatement	Gymnasium		Def Maint	P2 / 1-2 Yrs	Environ Imprvmt	6,950 SQFT	\$352,638
F2020-13-01C Correct Asbestos Wiring Insulation Remediation Required by Abatement	F2020 Hazardous Components Abatement	Auditorium	Refer to AHERA reports	Def Maint	P2 / 1-2 Yrs	Environ Imprvmt	500 LNFT	\$22,334
F2020-15-01C Correct Asbestos Sink Undercoating Remediation Required by Abatement	F2020 Hazardous Components Abatement	Room 111A	Reference AHERA Report	Def Maint	P2 / 1-2 Yrs	Environ Imprvmt	1 EACH	\$5,730
Total Estimated Cost for F20 Selective Demolition								\$5,483,034
<b>G20 Site Improvements</b>								
G2010-01-03C Correct Bituminous Roadway Surface Deterioration by Overlay	G2010 Roadways	Access Drive on East Side of Schhol		Def Maint	P3 / 3-5 Yrs	Damage/Wear	1,025 SQYD	\$16,555
G2010-01-03C Correct Bituminous Roadway Surface Deterioration by Overlay	G2010 Roadways	Parent Drop-Off at Front Entrance		Def Maint	P3 / 3-5 Yrs	Damage/Wear	500 SQYD	\$8,076

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
G2010-04-01C Correct Roadway Curb Deterioration by Demolition & Replacement	G2010 Roadways	Access Drive on East Side of Schhol		Def Maint	P4 / 6-10 Yrs	Useful Life	750 LNFT	\$54,230
G2010-04-01C Correct Roadway Curb Deterioration by Demolition & Replacement	G2010 Roadways	East Side of Bus Loop on West Side of Bldg		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	75 LNFT	\$5,423
G2010-04-01C Correct Roadway Curb Deterioration by Demolition & Replacement	G2010 Roadways	Parent Drop- Off at Front Entrance		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	425 LNFT	\$30,730
G2010-04-01C Correct Roadway Curb Deterioration by Demolition & Replacement	G2010 Roadways	West Side of Bus Loop on West Side of Bldg		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	200 LNFT	\$14,461
G2020-01-03C Correct Bituminous Parking Lot Deterioration by Restoration & Overlayment	G2020 Parking Lots	Northwest Corner of School		Def Maint	P4 / 6-10 Yrs	Useful Life	800 SQYD	\$13,344
G2020-05-01C Correct Parking Lot Curb Deterioration by Demolition & Replacement	G2020 Parking Lots	Parking Lot on North Side of School		Def Maint	P3 / 3-5 Yrs	Useful Life	115 LNFT	\$8,315
G2020-05-01C Correct Parking Lot Curb Deterioration by Demolition & Replacement	G2020 Parking Lots	Parking Lot on North Side of School		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	275 LNFT	\$19,884
G2030-01-01C Correct Bituminous Sidewalk Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	Area Outside of Maint. Shed South Side of School		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	60 SQYD	\$5,642

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
G2030-02-01C Correct Concrete Sidewalk Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	Building Exterior		Def Maint	P3 / 3-5 Yrs	Damage/Wear	1,800 SQFT	\$42,646
G2030-06-02C Correct Stone Paver Deterioration by Resetting Paver	G2030 Pedestrian Paving	Building Exterior		Def Maint	P2 / 1-2 Yrs	Damage/Wear	400 SQFT	\$13,047
G2031-01-01C Correct Concrete Above Grade Stair Deterioration by Demolition & Replacement	G2031 Exterior Stair Construction	Main Entrance at South Side of School		Def Maint	P2 / 1-2 Yrs	Damage/Wear	9 RISR	\$11,652
G2031-05-01C Correct Stone Masonry Above Grade Stair Deterioration by Demolition & Replacement	G2031 Exterior Stair Construction	Building Exterior	<i>Main Stairs 18'-0" Wide</i>	Def Maint	P2 / 1-2 Yrs	Damage/Wear	8 RISR	\$6,909
G2032-01-01C Correct Concrete Ramp Deteriorated by Demolition & Replacement	G2032 Exterior Ramp Construction	Building Exterior Ramp		Def Maint	P2 / 1-2 Yrs	Damage/Wear	500 SQFT	\$115,056
G2033-01-01C Correct Handrail Deterioration by Demolition & Replacement	G2033 Exterior Handrail & Guardrail	Main Entrance at South Side of School		Def Maint	P3 / 3-5 Yrs	Damage/Wear	15 LNFT	\$1,277
G2033-01-04C Correct Handrail Deterioration by Prep & Refinish	G2033 Exterior Handrail & Guardrail	Building Exterior	<i>Quantity increased to meet minimum cost</i>	Def Maint	P2 / 1-2 Yrs	Damage/Wear	50 LNFT	\$798
G2040-02-08C Correct Brick Masonry Non-Retaining Wall Mortar Joint Deterioration by Repointing	G2040 Site Development	Building Exterior		Def Maint	P2 / 1-2 Yrs	Damage/Wear	300 SQFT	\$12,409

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
G2040-04-06C Correct Chain Link Fence & Gates (8' High) Deterioration by Demolition & Replacement	G2040 Site Development	Bleacher Fencing For the Northern Baseball Field	<i>Fence Fabric only will need replacement</i>	Def Maint	P4 / 6-10 Yrs	Useful Life	80 LNFT	\$7,733
G2040-04-06C Correct Chain Link Fence & Gates (8' High) Deterioration by Demolition & Replacement	G2040 Site Development	Fence Coming off Southern Property Line in Baseball Outfield		Def Maint	P3 / 3-5 Yrs	Damage/Wear	115 LNFT	\$11,117
G2040-22-04C Correct Baseball or Softball Field Infield Deterioration by Regrade	G2040 Site Development	Northern Baseball Field	<i>Water beginning to pond</i>	Def Maint	P3 / 3-5 Yrs	Damage/Wear	950 SQYD	\$21,542
G2040-22-04C Correct Baseball or Softball Field Infield Deterioration by Regrade	G2040 Site Development	Southern Baseball Field	<i>Water beginning to pond</i>	Def Maint	P3 / 3-5 Yrs	Damage/Wear	950 SQYD	\$21,542
Total Estimated Cost for <b>G20 Site Improvements</b>								<b>\$442,389</b>
<b>G40 Site Electrical Utilities</b>								
G4020-01-03C Correct Pole Mounted Site Lighting Required by Install New	G4020 Site Lighting	Parking Lot		Bldg Imprv	P2 / 1-2 Yrs	Function/Functional	2 EACH	\$26,009
Total Estimated Cost for <b>G40 Site Electrical Utilities</b>								<b>\$26,009</b>

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
<b>H10 Space Requirements</b>								
H1020-01-2C Correct General Space Entrance not ADA Jamb Clearance Compliant by Demo & Reconfigure Space Entrance	H1020 Space Reconfiguration	Building Wide	Reconfigure entrance at select classrooms to provide access.	Def Maint	P4 / 6-10 Yrs	Codes - BLDG	6 EACH	\$76,917
H1020-05-02C Correct New ADA Compliant Toilet Room Required by Demo and Reconfiguring Existing General Space	H1020 Space Reconfiguration	Building Wide	Provide (6) single user accessible toilets, (2) per floor each at 75 SQFT.	Bldg Imprv	P2 / 1-2 Yrs	Accessibility	450 SQFT	\$256,466
Total Estimated Cost for H10 Space Requirements								\$333,383

Dolan Middle School Total Estimated Cost: \$26,698,459

Total Estimated "Deferred Maintenance" Cost: \$25,458,035

Total Estimated "Building Improvement" Cost: \$1,240,424

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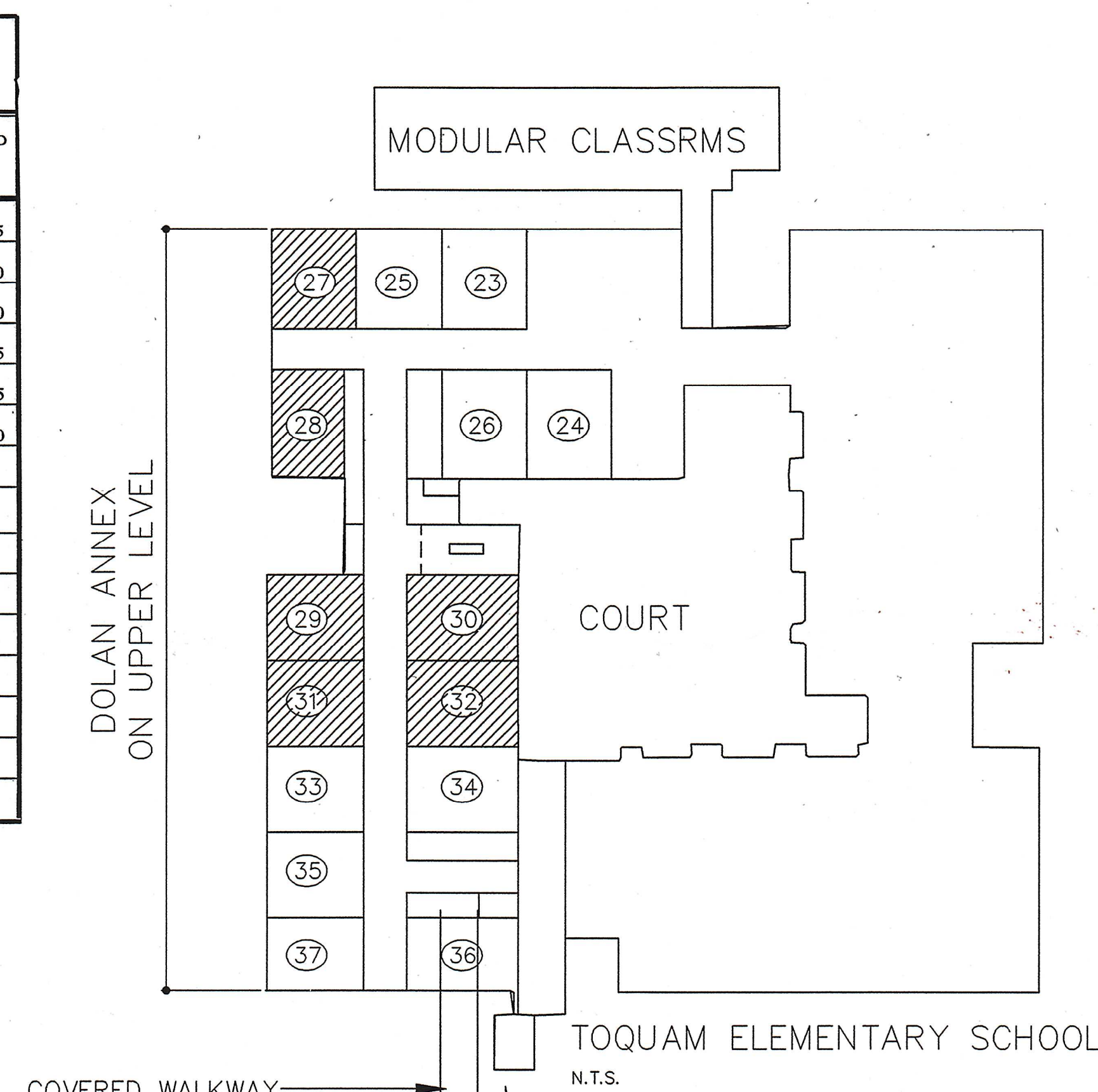
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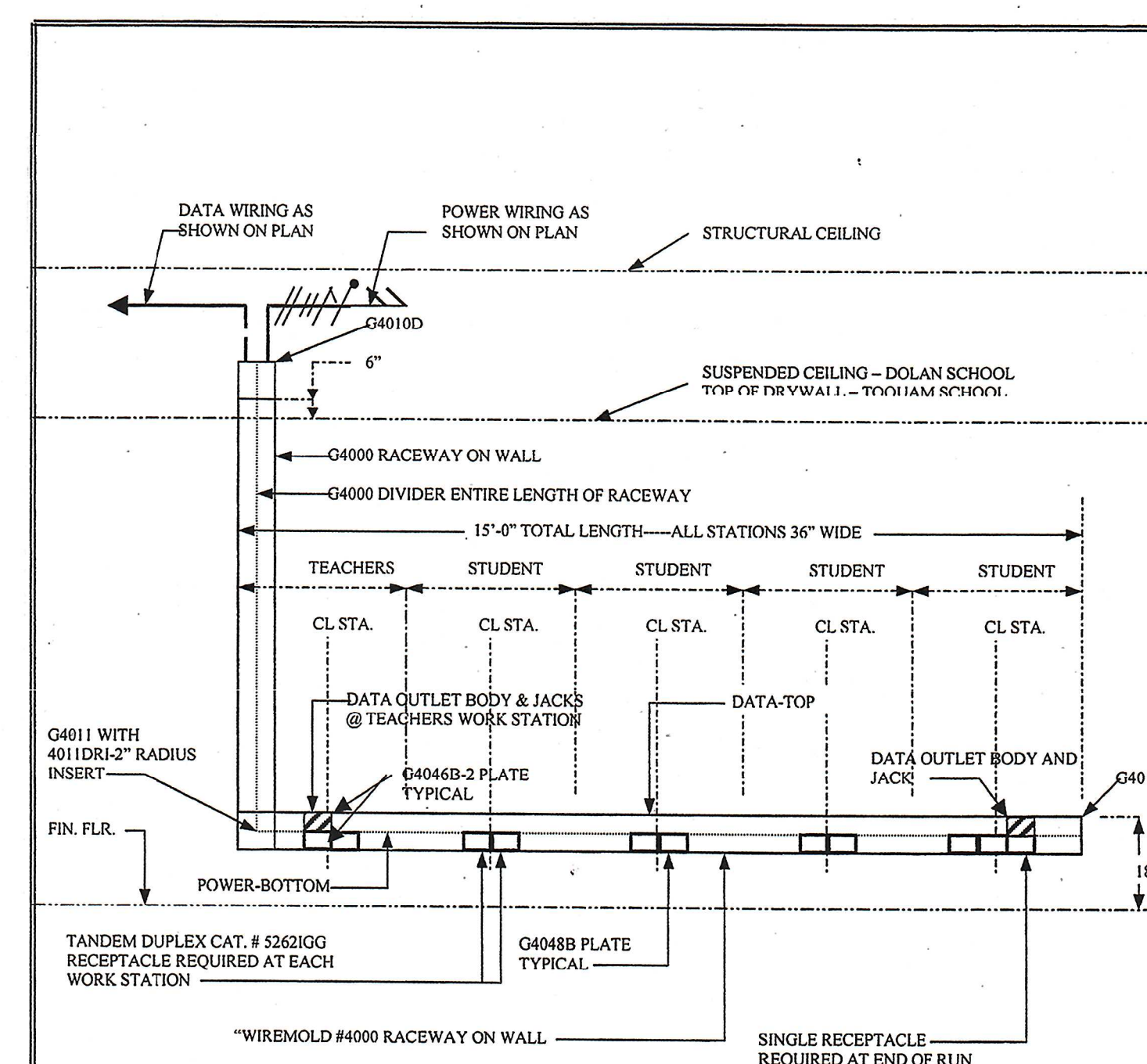


#### REFERENCE NOTES:

- |    |  |   |
|----|--|---|
| 1. | INSTALL 1 SINGLE POLE CIRCUIT BREAKERS IN SECTION 2 OF EXISTING PANEL "4PC". PROVIDE BUS BAR MOUNTING DETAILS AS REQUIRED. THE PANEL IS "SQUARE D" CAT# MKC32SN.   | metal receptacle shall be Leviton Cat. No. 5262 IGG.  |
| 2. | RUN CONDUITS ALONG FLANGE OF EXPOSED BEAM, THROUGH CORRIDOR WALL TO ABOVE CORRIDOR SUSPENDED CEILING.  | 14. Wall mounted surface Dupex receptacles, and/or Quad Outlet Bodies for Data, shall be in "wiremodel" Cat. No V5748 box. Use Cat. V5748-2, when two gang boxes are required.        |
| 3. | INSTALL VERTICAL CAT 4000 WIREMODEL UP WALL TO ABOVE DRY DRY CONSTRUCTION, AND TERMINATE IN CAT. NO.G40410 FITTING. EXTEND EXPOSED CONDUITS, FROM G4010, TO THE SPACE ABOVE THE CORRIDOR SUSPENDED CEILING, AVOIDING THE SKYLIGHT ADJACENT TO EACH CLASSROOM ENTRANCE. | 15. Wall mounted Hush Dupex receptacles, and/or Quad Outlet Bodies for Data, shall be installed in "wiremodel" Cat. No. G40438.   |
| 4. | INSTALL "CP" CAT# cat. no. 40074 150W, 15 1/2" GAW. STEEL SHEET IN EACH CLASSROOM AND IN THE CORRIDOR AREA, WITH AN OUTLET FOR AN "ACCESS POINT" (TRANSMITTER), IS SHOWN.  | 16. Cover plate shall be Leviton Cat. No. #7003 for single gang devices and cat. #7016 for two gang devices.  |
|    |  | 17. Plates for duplex receptacles and data outlet bodies installed on Cat. No. 4000 "wiremodel", "one above the other", shall be "wiremodel" Cat. No. G40463-2.                       |
|    |  | 18. Plates for duplex receptacles or data outlet bodies installed on Cat. No. 4000 "wiremodel", "tandem", with the space above or below vacant, shall be "wiremodel" Cat. No. G40438. |

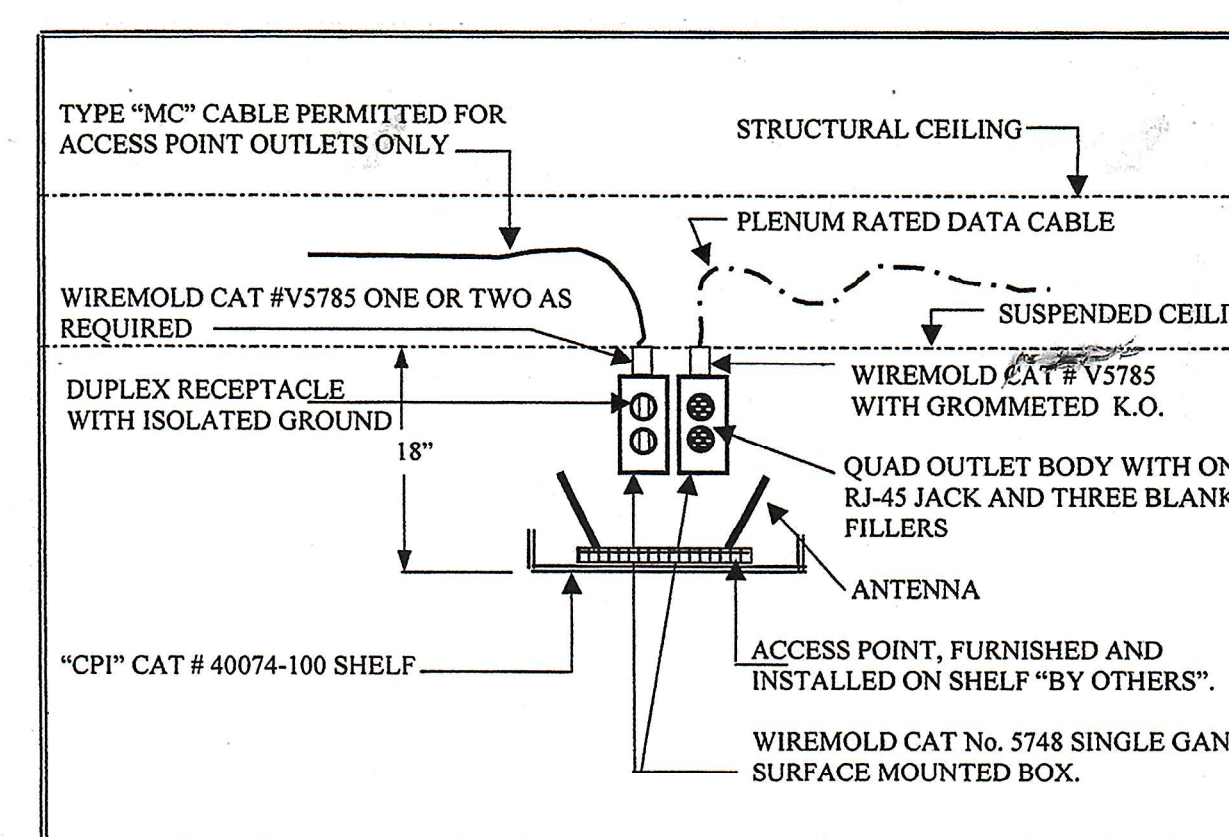
DATA		CABLE			SCHEDULE			
POINT		OF		ORIGIN	EQUIPMENT SERVED			
No.	CABLE	CLINET	RACK	No.	PORT	STATION	No.	OTHER
DAGM-01	MD	RMD-1	PP-DMD-01	1	1	TEACHER	END	RM 306A
DAGM-01				2	TEACHER	END	RM 307	
DAGM-02				3	END	RM	308	
DAGM-03				4	A.P.	RM	309	
DAGM-101				5	RM	311	311	
DAGM-101				6	RM	313	313	
DAGM-01				7	RM	315	315	
DAGM-01				8	RM	317	317	
DAGM-01				9	RM	319	319	
DAGM-01				10	RM	321	321	
DAGM-01				11	RM	323	323	
DAGM-01				12	RM	325	325	
DAGM-01				13	RM	327	327	
DAGM-01				14	RM	329	329	
DAGM-01				15	RM	331	331	
DAGM-01				16	RM	333	333	
DAGM-01				17	RM	335	335	
DAGM-01				18	RM	337	337	
DAGM-01				19	RM	339	339	
DAGM-01				20	RM	341	341	
DAGM-01				21	RM	343	343	
DAGM-01				22	RM	345	345	
DAGM-01				23	RM	347	347	
DAGM-01				24	RM	349	349	
DAGM-01				25	RM	351	351	
DAGM-01				26	RM	353	353	
DAGM-01				27	RM	355	355	
DAGM-01				28	RM	357	357	
DAGM-01				29	RM	359	359	
DAGM-01				30	RM	361	361	
DAGM-01				31	RM	363	363	
DAGM-01				32	RM	365	365	
DAGM-01				33	RM	367	367	
DAGM-01				34	RM	369	369	
DAGM-01				35	TEACHER	END	RM 372	
DAGM-01				36	TEACHER	END	RM 373	

20. Provide all miscellaneous "fireproof" fittings necessary for a complete installation, and as required to avoid existing obstructions. Install on No.700 "Wormed" shafts, or "fly" shafts on No. 4000 "wormed" shaft be they.
21. "Wormed" Cast Iron, 4000 rccy gear shall be divided along its entire length and at every interval into two 4011/16 inch wide, radius corner "V" shaped and "spaced" respectively. Provide Cast Iron, No. 4011/16 inch (two inch) leaded cast iron, at each "wormed" "fly", or "Elbow"
22. Power Poles shall be "wormed" Cast No. 307C-4V, length to suit.
23. All Data Cable shall be furnished and installed by this contractor. Data Cable shall be (4) 1/2 inch dia. A.W.G. #12 unshielded twisted pair, 100 ohm shielded, and shall be installed to data jacks and patch panels, as shown on the drawings. Connections shall conform to the requirements of T568B.
24. Data cable may be installed concealed above removable suspended ceilings (no conduit). Provide 1/2 inch dia. Cast Iron, 4000 rccy gear, 4011/16 inch wide, radius corner "V" shaped, or other section of non-removable ceiling; for longer runs use flexible metallic or non-metallic conduit. Sleeve all vertical runs of these cables in this manner, except, through floor slabs to serve suspended ceiling. Exposed cable shall not be pulled, cut, at the transition required to LAN Cables or equipment racks.
25. Provide all openings in masonry, drywall, and concrete walls and floors for the passage of Data cables. Openings through concrete walls or floors shall be "core-bored".
26. Provide conduit sleeves bonded at both ends, where Data cables pass through hollow, masonry, or concrete walls or floors.
27. Support Data cables from the building structure with attachments approved for the purpose, such as "O" shaped rings, 2" x 1/2" rings, "O" Hooks "The Wrap" attachment will not be permitted. Attachments shall be made to the building structure, of three feet or more, and the cables shall be properly secured to insure a workmanlike installation.
28. Connect all Data cables, to the existing cross connect (patch) panels as shown in the "Data Cable Schedule".
29. Tag all Data Outlets with 1/4" high tags. Tags shall be with engraved white letters on a light blue background. Tags shall be with permanent adhesive back. Tag all data outlets provided as part of the building.
30. Tag all cables with the cable numbers shown in the first column of the Data Cable Schedule.
31. Provide tags for all rooms shown on the drawing with a room number designation. Tag for rooms shall be with 1" high white letters, on medium green background, light type shall be "Arial". Furnish tags with adhesive back. Fasten tag to the concrete block wall, above door jamb at the end of the room.
32. Test all Data cables for "open", "grounds", "shorts", and "split". Test the cables with a "Penta-Sensor", and certify the entire cable installation for Category 5, 100 Mhz. Operation.
33. Prior to the testing cables, inform the "consultant" so that "consultant" may witness the tests at his option.
34. Provide four copies of all of the certified cable test results to the "consultant", after completion of the tests.
35. Contractor shall visit the site prior to bid and shall determine any existing conditions which may affect his work. Failure of the Contractor to determine existing conditions, and allow for the effect in the price bid prior to bid, will not be considered as a basis for subsequent



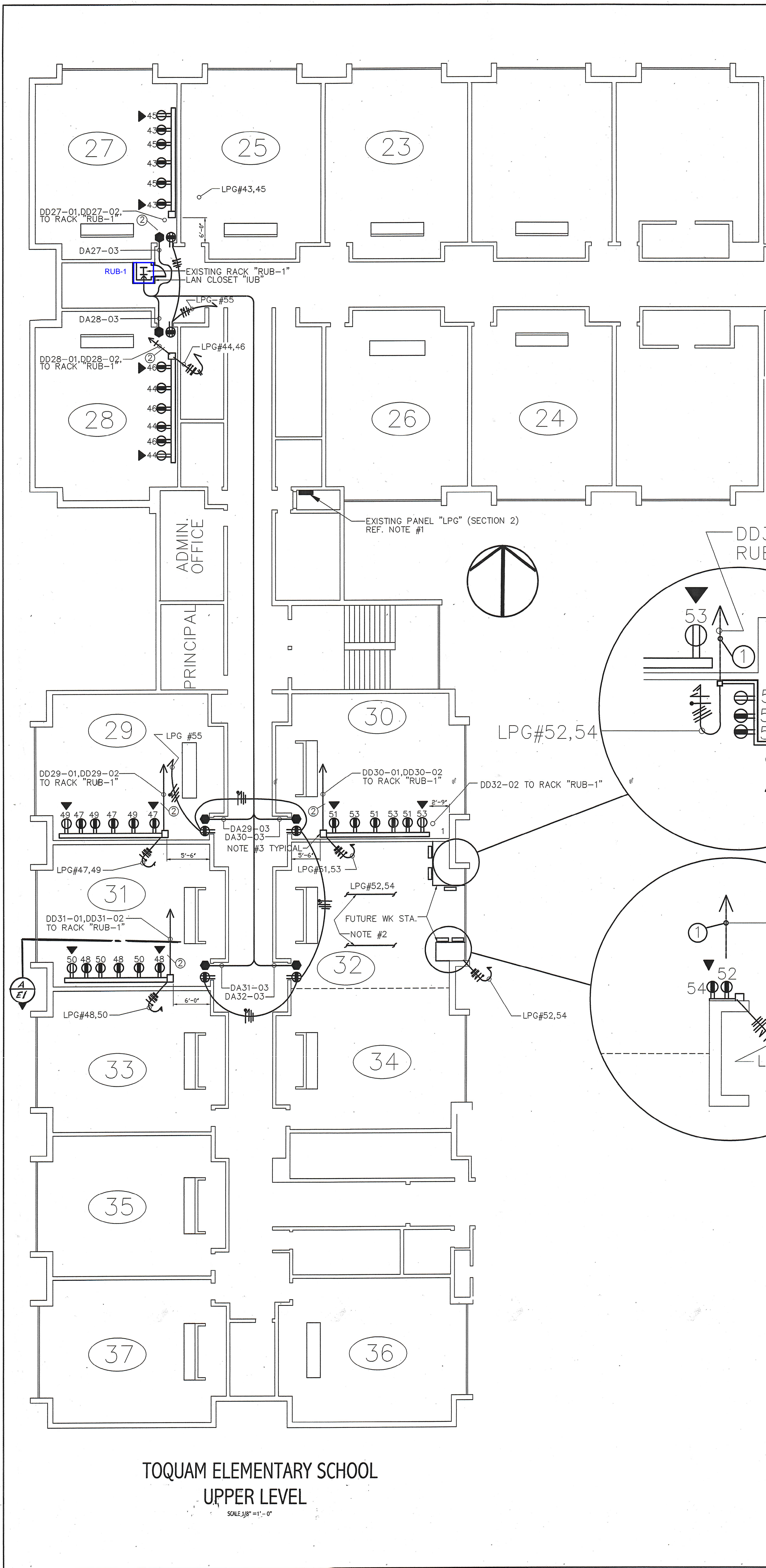
**ELEVATION "A"**

- NOTES:**
1. At the "teachers work station", provide one dual output box in the upper half of the raceway; install one RJ45 data jack. Provide a double duplex receptacle (tandem mounted) in the lower half of the raceway.
  2. At the "student work station" at the end of the raceway (opposite the teachers station ) provide a dual output box, install one RJ45 data jack. Provide a double duplex receptacle (tandem mounted) in the lower half of the raceway at each "student work station".
  3. At the "student work station" located at the end of the raceway opposite the "teachers work station", provide one duplex receptacle for printer, in addition to the (tandem mounted) double duplex receptacle required for the student PC and wireless workstation.



ACCESS POINT - POWER, DATA, AND SHELF, DETAIL  
NTS

- NOTE:**
1. PROVIDE ONE SHELF FOR EACH ACCESS POINT LOCATION SHOWN ON THE DRAWINGS WITH THE SYMBOL.



TOQUAM ELEMENTARY SCHOOL  
UPPER LEVEL

SCALE 1/8" = 1' - 0"

MCS

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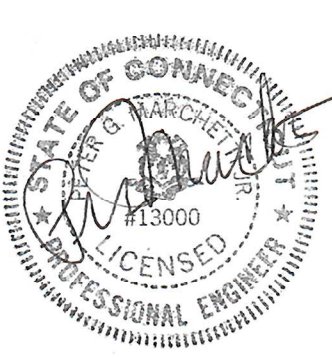
JAN. 15-01	ISSUED FOR CONSTRUCTION		6
DATE	R E V I S I O N		REV. NO.

<p align="center"><b><u>DOLAN MIDDLE SCHOOL</u></b>  <b><u>51 TOMS ROAD                      STAMFORD CT.</u></b></p> <p align="center"><b><u>SIXTH GRADE</u></b></p> <p align="center"><b><u>POWER and COMPUTER WIRING</u></b></p> <p align="center"><b><u>UPPER LEVEL ANNEX FLOOR PLAN</u></b>  <b><u>and</u></b>  <b><u>SCHEDULES</u></b></p>			
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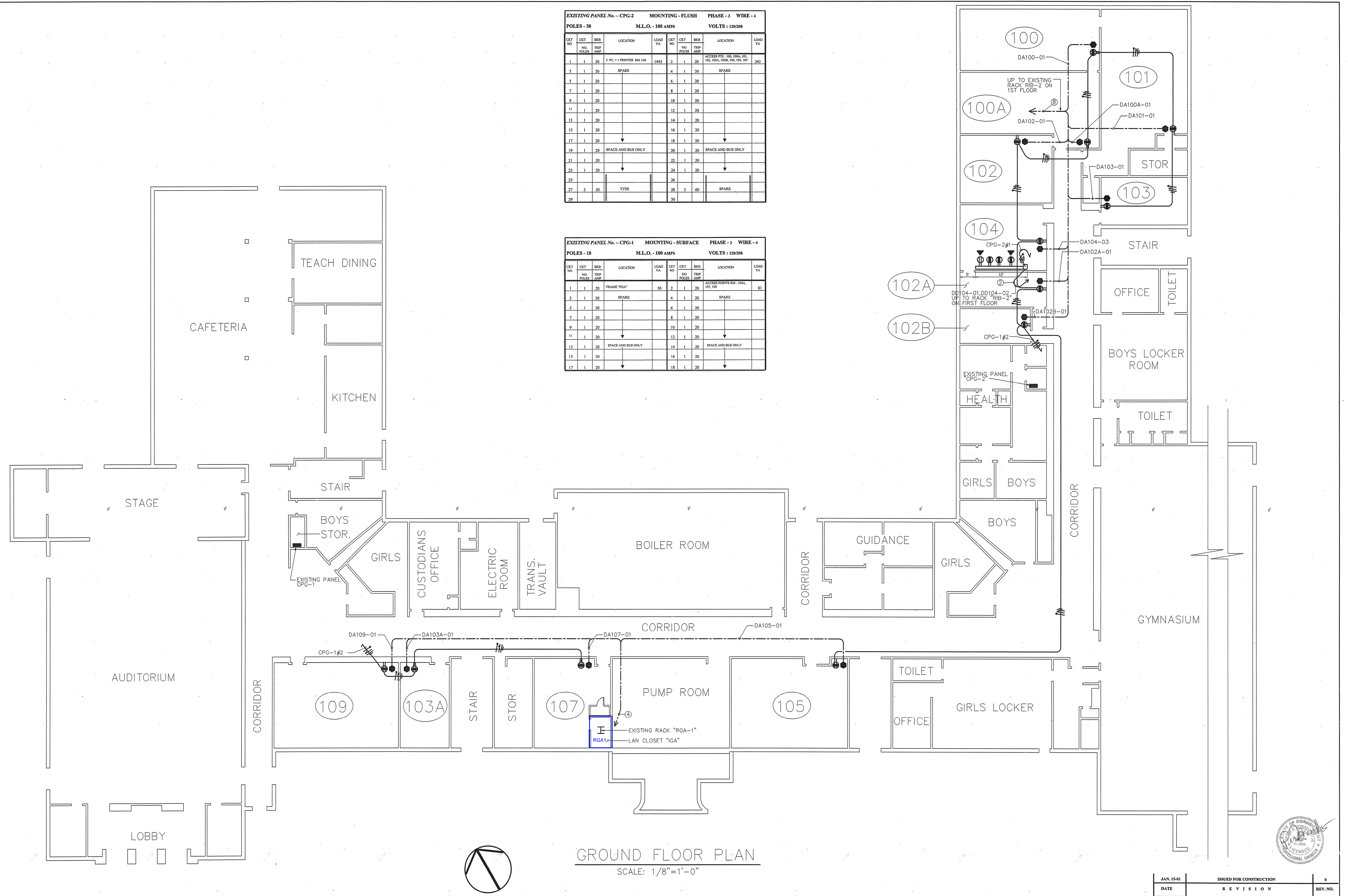
JAN. 15, 2001	C. NOV.	PROJECT: S97	<p align="center"><b><u>E-1</u></b></p>
ISSUE DATE	DRAWN BY	PROJECT NO	
			<b>DRAWING</b>





EXISTING PANEL No. - CPG-2					MOUNTING - FLUSH					PHASE - 3 WIRE - 4				
POLES - 30					M.L.O. - 100 AMPS					VOLTS : 120/208				
CKT NO	CKT NO	BKR	TRIP	LOCATION	LOAD VA	CKT NO	BKR	TRIP	LOCATION	LOAD VA	CKT NO	BKR	TRIP	LOCATION
1	1	20	3 PC - 1 PRINTER RM 104	1445	2	1	20	ACCESS PTS - 100, 100A, 101, 105, 106A, 108B, 105, 10A, 101	243					
3	1	20	SPARE		4	1	20	SPARE						
5	1	20			6	1	20							
7	1	20			8	1	20							
9	1	20			10	1	20							
11	1	20			12	1	20							
13	1	20			14	1	20							
15	1	20			16	1	20							
17	1	20			18	1	20							
19	1	20	SPACE AND BUS ONLY		20	1	20	SPACE AND BUS ONLY						
21	1	20			22	1	20							
23	1	20			24	1	20							
25	1	20			26	1	20							
27	3	30	TVSS		28	3	60	SPARE						
29					30									

EXISTING PANEL No. - CPG-1					MOUNTING - SURFACE					PHASE - 3 WIRE - 4				
POLES - 18					M.L.O. - 100 AMPS					VOLTS : 120/208				
CKT NO	CKT NO	BKR	TRIP	LOCATION	LOAD VA	CKT NO	BKR	TRIP	LOCATION	LOAD VA	CKT NO	BKR	TRIP	LOCATION
1	1	20	FRAME "RGA"	50	2	1	20	ACCESS POINTS RM: 105A, 101, 109	81					
3	1	20	SPARE		4	1	20	SPARE						
5	1	20			6	1	20							
7	1	20			8	1	20							
9	1	20			10	1	20							
11	1	20			12	1	20							
13	1	20	SPACE AND BUS ONLY		14	1	20	SPACE AND BUS ONLY						
15	1	20			16	1	20							
17	1	20			18	1	20							



GROUND FLOOR PLAN  
SCALE: 1/8"=1'-0"

REFERENCE NOTES:  
1. INSTALL "CPG" CAT. No. 4004-100 15"D. x 10"W. GRAY STEEL SHELF IN EACH CLASSROOM AND IN EACH ANCILLARY AREA, WHERE AN OUTLET FOR AN "ACCESS POINT" (TRANSMITTER), IS SHOWN.

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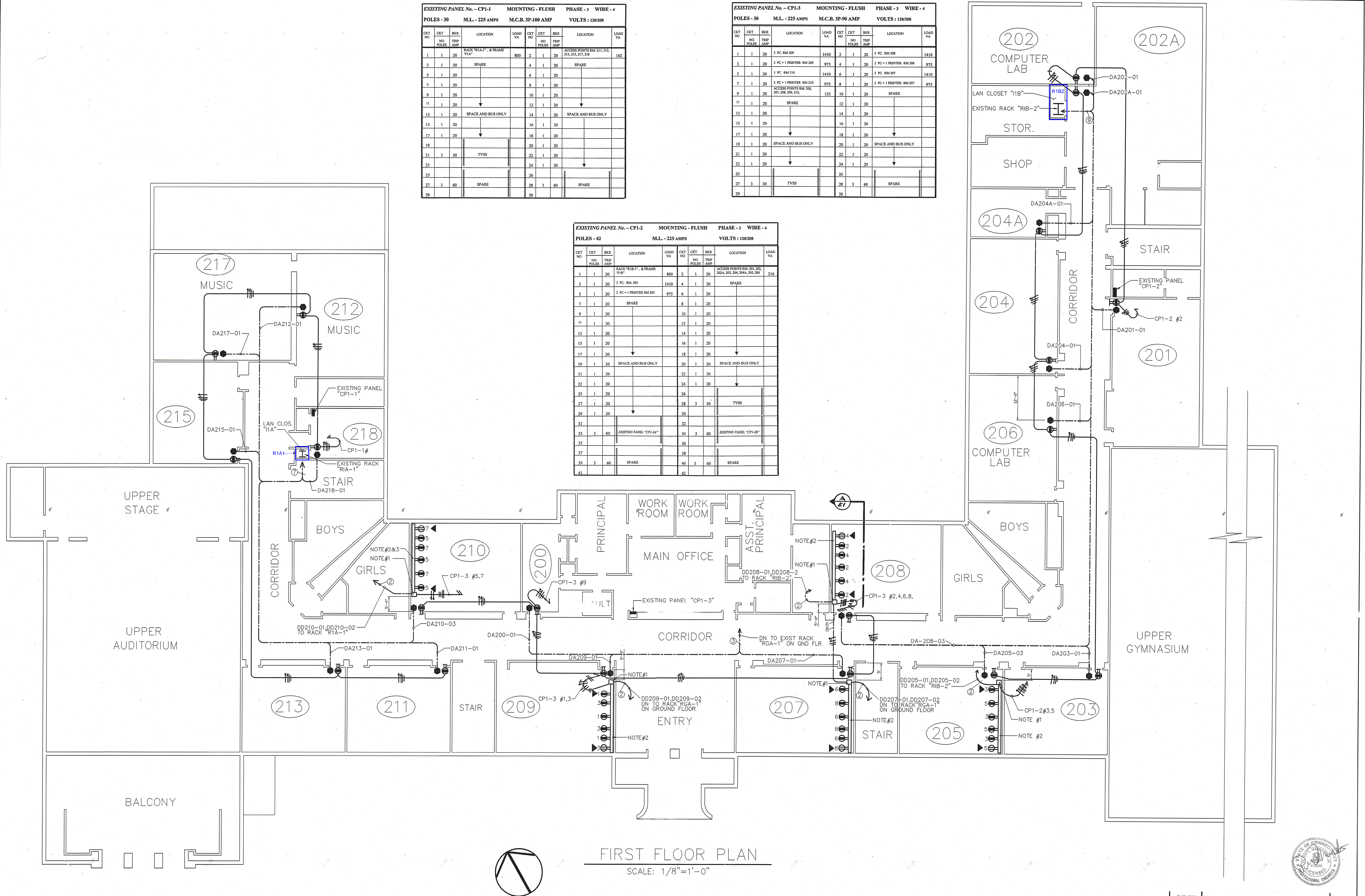
JAN. 15-01	ISSUED FOR CONSTRUCTION	0
DATE	REVISION	REV. NO.
<b>DOLAN MIDDLE SCHOOL</b> <b>51 TOMS ROAD STAMFORD CT.</b> <b>SIXTH GRADE</b> <b>POWER and COMPUTER WIRING</b> <b>GROUND FLOOR PLAN</b>		
JAN 15, 2001 ISSUE DATE	C. NOV. DRAWN BY	PROJECT: 597 PROJECT NO
		<b>E-2</b> DRAWING



EXISTING PANEL No. - CP1-1					MOUNTING - FLUSH					PHASE - 3 WIRE - 4				
POLES - 30					M.L. - 225 AMPS					M.C.B. 3P-100 AMP				
CKT NO.	CKT NO.	TRIP AMP	LOCATION	LOAD VA	CKT NO.	TRIP AMP	LOCATION	LOAD VA	CKT NO.	TRIP AMP	LOCATION	LOAD VA	CKT NO.	TRIP AMP
1	1	20	RACK "R1A-1", & FRAME	800	2	1	20	ACCESS POINTS RAC 211, 212, 213, 215, 217, 218	162					
3	1	20	SPARE		4	1	20	SPARE						
5	1	20			6	1	20							
7	1	20			8	1	20							
9	1	20			10	1	20							
11	1	20			12	1	20							
13	1	20	SPACE AND BUS ONLY		14	1	20	SPACE AND BUS ONLY						
15	1	20			16	1	20							
17	1	20			18	1	20							
19					20	1	20							
21	3	30	TVSS		22	1	20							
23					24	1	20							
25					26									
27	3	60	SPARE		28	3	60	SPARE						
29					30									

EXISTING PANEL No. - CP1-3					MOUNTING - FLUSH					PHASE - 3 WIRE - 4				
POLES - 30					M.L. - 225 AMPS					M.C.B. 3P-90 AMP				
CKT NO.	CKT NO.	TRIP AMP	LOCATION	LOAD VA	CKT NO.	TRIP AMP	LOCATION	LOAD VA	CKT NO.	TRIP AMP	LOCATION	LOAD VA	CKT NO.	TRIP AMP
1	1	20	3 PC RM 209	1410	2	1	20	3 PC RM 308	1410					
3	1	20	2 PC + 1 PRINTER RM 209	975	4	1	20	2 PC + 1 PRINTER RM 308	975					
5	1	20	3 PC RM 310	1410	6	1	20	3 PC RM 207	1410					
7	1	20	2 PC + 1 PRINTER RM 210	975	8	1	20	2 PC + 1 PRINTER RM 207	975					
9	1	20	ACCESS POINTS RAC 205, 207, 208, 209, 210	135	10	1	20	SPARE						
11	1	20	SPARE		12	1	20							
13	1	20			14	1	20							
15	1	20			16	1	20							
17	1	20			18	1	20							
19	1	20	SPACE AND BUS ONLY		20	1	20	SPACE AND BUS ONLY						
21	1	20			22	1	20							
23	1	20			24	1	20							
25					26									
27	3	30	TVSS		28	3	60	SPARE						
29					30									

EXISTING PANEL No. - CP1-2					MOUNTING - FLUSH					PHASE - 3 WIRE - 4				
POLES - 42					M.L. - 225 AMPS					VOLTS : 120/208				
CKT NO.	CKT NO.	TRIP AMP	LOCATION	LOAD VA	CKT NO.	TRIP AMP	LOCATION	LOAD VA	CKT NO.	TRIP AMP	LOCATION	LOAD VA	CKT NO.	TRIP AMP
1	1	20	RACK "R1B-1", & FRAME	800	2	1	20	ACCESS POINTS RAC 201, 202, 203A, 203B, 204A, 204B, 205, 206	216					
3	1	20	3 PC RM 205	1410	4	1	20	SPARE						
5	1	20	2 PC + 1 PRINTER RM 205	975	6	1	20							
7	1	20	SPARE		8	1	20							
9	1	20			10	1	20							
11	1	20			12	1	20							
13	1	20			14	1	20							
15	1	20			16	1	20							
17	1	20			18	1	20							
19	1	20	SPACE AND BUS ONLY		20	1	20	SPACE AND BUS ONLY						
21	1	20			22	1	20							
23	1	20			24	1	20							
25	1	20			26									
27	1	20			28	3	30	TVSS						
29	1	20			30									
31					32									
33	3	60	EXISTING PANEL "CP1-2A"		34	3	60	EXISTING PANEL "CP1-2B"						
35					36									
37					38									
39	3	60	SPARE		40	3	60	SPARE						
41					42									



FIRST FLOOR PLAN  
SCALE: 1/8"=1'-0"

- REFERENCE NOTES:**
- CUT WAINSCOT SILL FOR PASSAGE OF VERTICAL WIREMOLD.
  - SHIM HORIZONTAL WIREMOLD 44000 RACEWAY ON WALL, BETWEEN WAINSCOT MULLIONS.
  - RAISE TWO EXISTING SURFACE MOUNTED RECEPTACLES ON THIS WALL, TO ALLOW NEW WIREMOLD 44000 TO BE INSTALLED AT 18" ABOVE FLOOR.
  - INSTALL "CPI" CAT. NO. 4074-100 15"0. x 15"0. GRAY STEEL SHELF IN EACH CLASSROOM AND IN EACH ANCILLARY AREA, WHERE AN OUTLET FOR AN "ACCESS POINT" (TRANSMITTER), IS SHOWN.

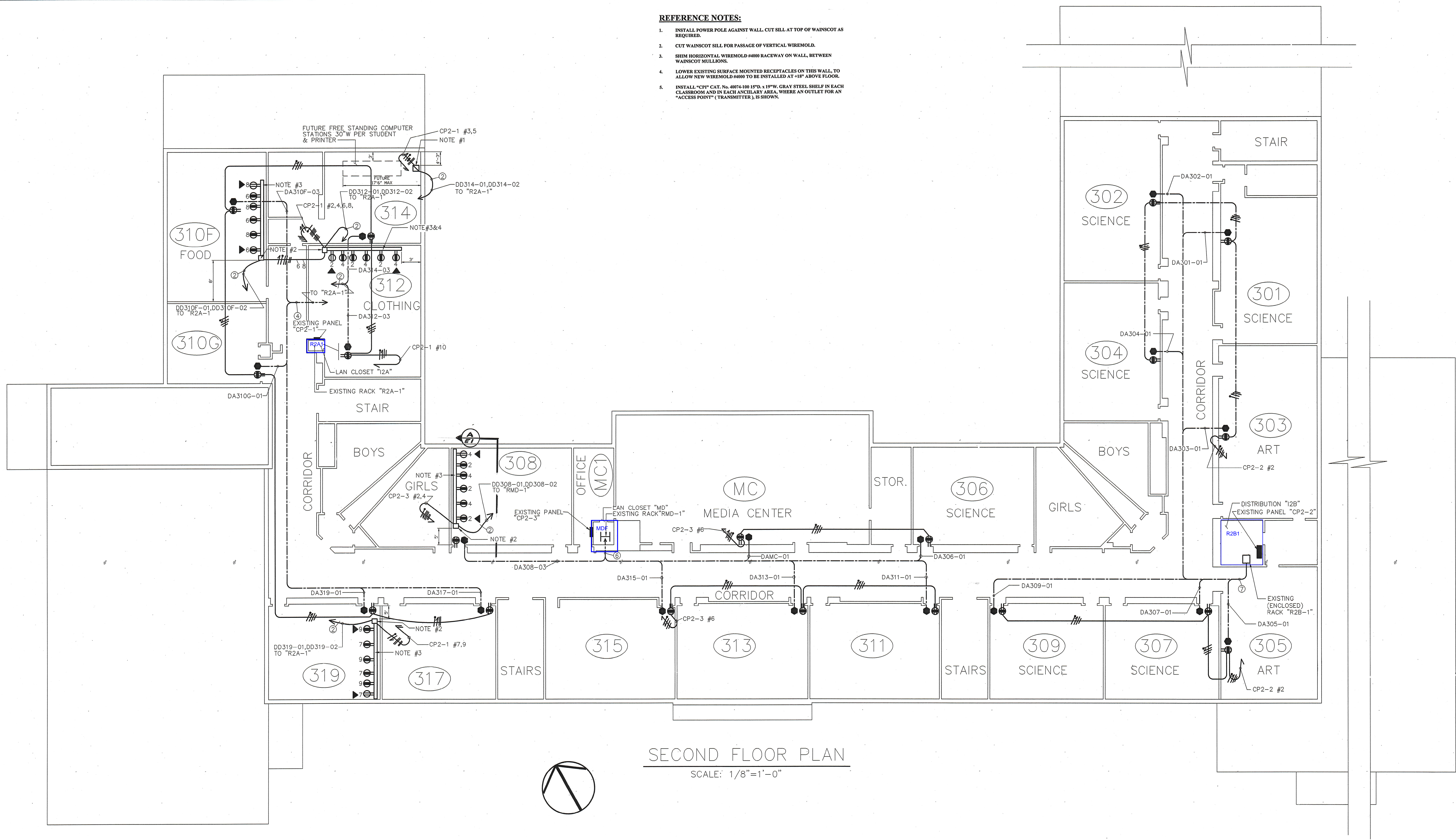
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JAN. 15-01	ISSUED FOR CONSTRUCTION	0
DATE	REVISION	REV. NO.
DOLAN MIDDLE SCHOOL 51 TOMS ROAD STAMFORD CT.		
SIXTH GRADE		
POWER and COMPUTER WIRING		
FIRST FLOOR PLAN		
JAN 15, 2001	C. NOV.	PROJECT: 897
ISSUE DATE	DRAWN BY	PROJECT NO
		<b>E-3</b>
		DRAWING



# REFERENCE NOTES:

1. INSTALL POWER POLE AGAINST WALL. CUT SILL AT TOP OF WAINSCOT AS REQUIRED.
2. CUT WAINSCOT SILL FOR PASSAGE OF VERTICAL WIREMOLD.
3. SHIM HORIZONTAL WIREMOLD #4000 RACEWAY ON WALL, BETWEEN WAINSCOT MULLIONS.
4. LOWER EXISTING SURFACE MOUNTED RECEPTACLES ON THIS WALL TO ALLOW NEW WIREMOLD #4000 TO BE INSTALLED AT 18" ABOVE FLOOR.
5. INSTALL "CPT" CAT. No. 40974-100 15" D. x 10" W. GRAY STEEL SHELF IN EACH CLASSROOM AND IN EACH ANCILARY AREA, WHERE AN OUTLET FOR AN "ACCESS POINT" (TRANSMITTER), IS SHOWN.



SECOND FLOOR PLAN  
SCALE: 1/8"=1'-0"

EXISTING PANEL No. - CP2-1				MOUNTING - FLUSH				PHASE - 3 WIRE - 4			
POLES - 30				M.L. - 225 AMPS				M.C.B. 3P-100 AMP			
CKT NO.	TRIP AMP	BRK.	LOCATION	LOAD VA	CKT NO.	TRIP AMP	BRK.	LOCATION	LOAD VA	CKT NO.	TRIP AMP
1	1	20	RACK "R2A-1", & FRAME	800	2	1	20	3 PC. RM 312	1410		
3	1	20	2 PC + 1 PRINTER RM 314	975	4	1	20	2 PC + 1 PRINTER RM 312	975		
5	1	20	3 PC RM 314	1410	6	1	20	3 PC RM 310	1410		
7	1	20	2 PC + 1 PRINTER RM 317	975	8	1	20	2 PC + 1 PRINTER RM 310F	975		
9	1	20	3 PC RM 317	1410	10	1	20	ACCESS POINTS RM 310F, 310, 312, 314, 317, 319	162		
11	1	20	SPARE		12	1	20				
13	1	20			14	1	20	SPACE AND BUS ONLY			
15	1	20			16	1	20				
17	1	20			18	1	20				
19					20	1	20				
21	3	30	TVSS		22	1	20				
23					24	1	20				
25					26						
27	3	60	SPARE		28	3	60	SPARE			
29					30						

EXISTING PANEL No. - CP2-3				MOUNTING - FLUSH				PHASE - 3 WIRE - 4			
POLES - 36				M.L. - 225 AMPS				M.C.B. 3P-90 AMP			
CKT NO.	TRIP AMP	BRK.	LOCATION	LOAD VA	CKT NO.	TRIP AMP	BRK.	LOCATION	LOAD VA	CKT NO.	TRIP AMP
1	1	20	RACK "R2A-1", & FRAME	800	2	1	20	3 PC. RM 308	1410		
3	1	20	RACK "R2A-1"	750	4	1	20	2 PC + 1 PRINTER RM 308	975		
5	1	20	CORRIDOR ACCESS UNITS	1000	6	1	20	ACCESS POINTS RM 308, 309, 311, 313, 314, MC	162		
7	1	20	SPARE		8	1	20	SPARE			
9	1	20			10	1	20				
11	1	20			12	1	20				
13	1	20			14	1	20				
15	1	20			16	1	20				
17	1	20			18	1	20				
19	1	20			20	1	20				
21	1	20			22	1	20				
23	1	20			24	1	20				
25	1	20	SPACE AND BUS ONLY		26			SPACE AND BUS ONLY			
27	1	20			28	3	60				
29	1	20			30						
31	1	20			32						
33	1	20			34	3	30	TVSS			
35	1	20			36						

EXISTING PANEL No. - CP2-2				MOUNTING - SURFACE				PHASE - 3 WIRE - 4			
POLES - 36				M.L.O. - 225 AMPS				VOLTS : 120/208			
CKT NO.	TRIP AMP	BRK.	LOCATION	LOAD VA	CKT NO.	TRIP AMP	BRK.	LOCATION	LOAD VA	CKT NO.	TRIP AMP
1	1	20	RACK "R2B-1", & FRAME	800	2	1	20	ACCESS POINTS RM 301, 302, 303, 304, 305, 307, 309	182		
3	1	20	SPARE		4	1	20	SPARE			
5	1	20			6	1	20				
7	1	20			8	1	20				
9	1	20			10	1	20				
11	1	20			12	1	20				
13	1	20			14	1	20				
15	1	20			16	1	20				
17	1	20			18	1	20				
19	1	20	SPACE AND BUS ONLY		20	1	20	SPACE AND BUS ONLY			
21	1	20			22	1	20				
23	1	20			24	1	20				
25	1	20			26						
27	1	20			28	3	30	TVSS			
29	1	20			30						
31					32						
33	3	60	SPARE		34	3	60	SPARE			
35					36						

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DATE	REVISION	REV. NO.
<b>DOLAN MIDDLE SCHOOL</b> 51 TOMS ROAD STAMFORD, CT.		
<b>SIXTH GRADE</b> <b>POWER and COMPUTER WIRING</b> <b>SECOND FLOOR PLAN</b>		
JAN 15, 2001	C. NOV.	PROJECT: 897
ISSUE DATE	DRAWN BY	PROJECT NO
		<b>E-4</b> DRAWING



# 2021

## Rippowam MS Facility Assessment & Analysis Report



Optimized by

### Property:

Rippowam Middle  
381 High Ridge Road  
Stamford, Connecticut 06905

### Prepared By:

StudioJAED  
42 Weybosset Street, Suite 403  
Providence, RI 02903  
401.648.0884

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## 1.0 Authorized Assessment Account

In June 2021, StudioJAED was sub-contracted by the S/L/A/M Collaborative Inc. on behalf of Stamford Public Schools to conduct a district-wide facility condition assessment and analysis of the Rippowam Middle property located in Stamford, Connecticut. The primary goal of this project was to (1) investigate existing conditions and (2) identify deferred maintenance and long term capital renewal needs. As per industry standard guidelines, StudioJAED surveyed the property, interviewed site personnel, reviewed available construction/maintenance documents, and recorded observations related to the physical site and associated building structure. SLAM teamed with SLR to perform the site assessment and D'Agostino & Associates for technology / security.

This report is for the use of Stamford Public Schools and their assignees. All parties agree by accepting this report that any use of this report shall be limited by the exceptions and qualifications in this report, acknowledge that actual site conditions may change with time, and hidden conditions may exist at the property that were not discovered within the scope of the assessment. Any use of this report by other parties is at the risk of such party.

StudioJAED used a degree of care and skill ordinarily exercised by consultants in the preparation of the report and in assembling the data contained herein. No warranties are provided, either expressed or implied. StudioJAED is not responsible for conclusions, opinions, or recommendations made by others based on this information.

The Facility Assessment and Analysis Report was completed and reviewed by the undersigned team members. Any questions regarding this report should be directed to Pamela Babuca at babucap@studiojaed.com or (401) 648-0884.

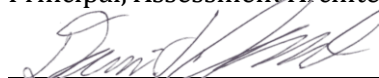
### StudioJAED

Discipline Lead:



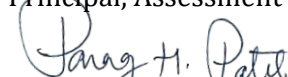
Philip R. Conte, AIA, NCARB  
Principal, Assessment Architect

Discipline Lead:



David T. Spangler, P.E.  
Principal, Assessment Mechanical / Plumbing Engineer

Discipline Lead:



Parag H. Patel, P.E.  
Assessment Electrical Engineer

Report Reviewer:



Pamela J. Babuca, ALEP, ASID, IFMA  
Principal



## 2.0 Executive Summary

StudioJAED Architects and Engineers, along with specialty systems sub-consultants SLR and D’Agostino & Associates, performed a facility condition assessment and analysis of the Rippowam Middle property located in Stamford, Connecticut hereinafter referred to as the “Property”. The purpose of the assessment was to perform a visual analysis of the Property’s general condition and identify recommendations for major building systems and equipment maintenance, repair, or replacement over the next (10) ten years. Items identified were considered significant for the facility to continue in its current operation and/or to be restored to a condition consistent with comparable facilities of similar age.

### 2.1 Scope of Work

The primary field survey was conducted from the 7<sup>th</sup> – 8<sup>th</sup> of July, 2021 and the weather, as recorded on Accuweather.com, was mostly sunny with actual high and low temperatures of 91°F/70°F. The assessment team reviewed available documentation and interviewed site personnel regarding knowledge of any known existing conditions or issues. A general list of typical elements surveyed includes the following:

- Site and Grounds – Pavement, Parking, Curbs, Loading Docks, Walks, Landscaping, Irrigation, Site Drainage, Exterior Lighting, Walls, Fencing/Railing, and Exterior Amenities.
- Structural Systems – Readily observable portions of Foundations and Structural Framing of Walls, Columns, Intermediate Floors and Roofs.
- Building Envelope – Roofing Systems, Exterior Finishes, Stairs and Steps, Exterior Doors, and Exterior Windows.
- Interior Building Components – Property-owned Electrical, Heating/Ventilating/Air Conditioning (HVAC), and Plumbing Systems.
- Safety and Code Compliance – Life Safety, Fire Suppression Systems, and General Visual Review of Accessibility to Disabled Persons to include Accessible Exterior and Interior Routes, Doors and Common Toilet Facilities.

### 2.2 Prioritization of Need

Recommended corrective actions to repair and/or replace a building system or component were assigned a priority which, in the opinion of the assessor, classified the urgency of the work to be performed. The 10 year prioritization model utilized for this project was based on an industry standard, 4 tier approach. Definitions for each of the priority classifications are as shown.

#### **PRIORITY CLASSIFICATIONS:**

##### ***Priority 1 - Immediate***

*Work should be performed immediately.  
Potential safety or security risk.*

##### ***Priority 2 - High***

*Work to be performed within next 1-2 years.  
Asset has reached the end of useful life.*

##### ***Priority 3 - Medium***

*Work to be performed within next 3-5 years.  
Asset will reach the end of useful life soon.*

##### ***Priority 4 - Low***

*Work to be performed within next 6-10 years.  
Anticipated need for repair or replacement.*



## 2.3 Findings & Recommendations

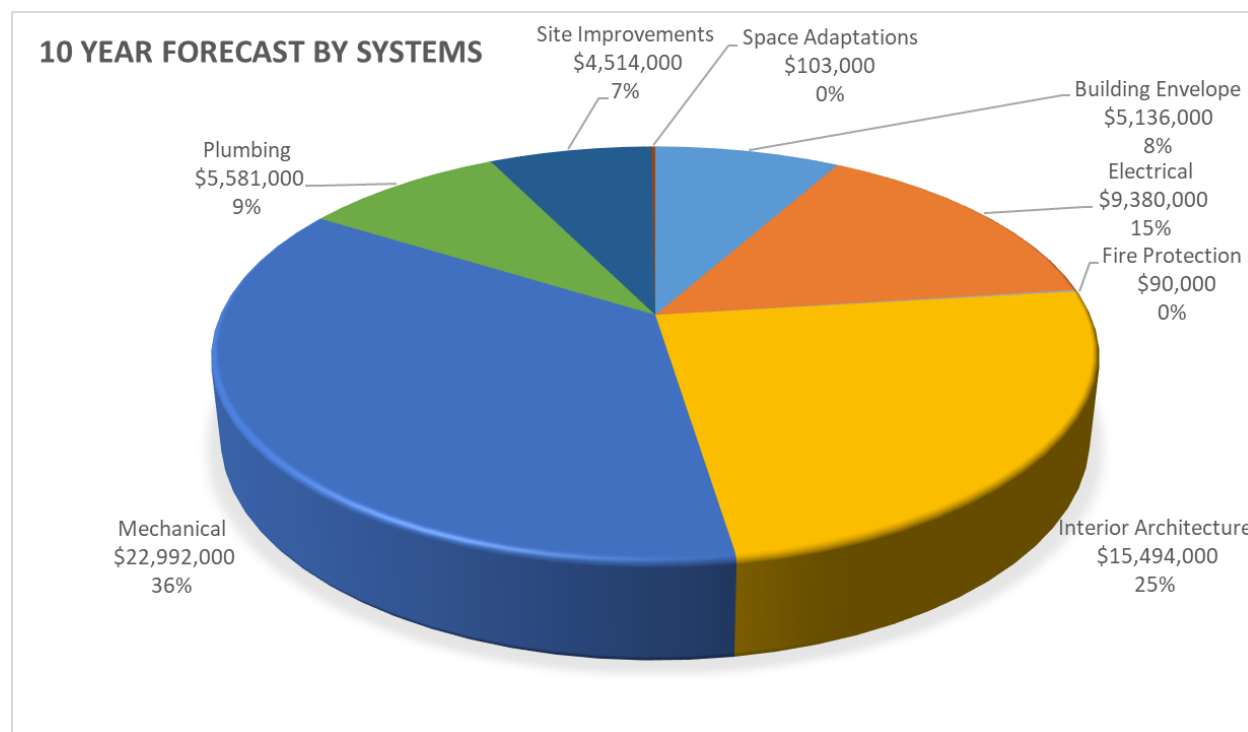
StudioJAED analyzed the recommended corrective actions considered significant for the Property to continue in its current operation and/or to be restored to a condition consistent with comparable facilities of similar age. A summary of the improvement

needs have been quantified from two unique perspectives. The 10 Year Forecast by Priority table provides an understanding of need based on the urgency or timeline for work to be completed. Based on industry standard architectural and engineering best practices, over (50%) fifty percent of the work should be completed within the next 1-2 years.

The 10 Year Forecast by Systems provides an analysis of estimated improvement needs by major systems. The data indicates that the Mechanical (36%), Interior Architecture (25%), and Electrical (15%) systems have the greatest overall investment needs. Refer to Appendix A to review a more detailed description of needs in the Deferred Maintenance & Asset Renewal Report.

10 YEAR FORECAST BY PRIORITY

Priority	Extended Cost	% of Need
Immediate	\$ -	0.0%
High (1 - 2 Years)	\$ 31,990,605	50.5%
Medium (3 - 5 Years)	\$ 17,664,971	27.9%
Low (6 - 10 Years)	\$ 13,634,424	21.5%
	<b>\$ 63,290,000</b>	<b>100%</b>



Based on the review of available documentation, onsite interview, and field observations, it is StudioJAED's opinion that the Main Building is in overall fair condition. Refer to Section 4.0, General Physical Condition Rating, for additional information regarding the condition of major systems from a cost per gross square feet analysis of needs perspective.



## 3.0 General Property & Building Systems Description

### 3.1 Site / Amenities

The property is located at Rippowam Middle, Stamford, Fairfield County Connecticut on approximately 29.87 acres. The property slopes moderately from the north and west perimeter along the building footprint towards the northeast and southeast center soccer and baseball fields. The eastern and southeast perimeters also slope moderately towards the center ball fields and the landscaping consists of trees, shrubs, and grasses. Play areas are covered with a variety of surfaces including wood chips, artificial turf, rubber surface, grass, and asphalt. Retaining walls are in good condition. An isolated area of damaged stone was noted in previous reports at the retaining wall at the front elevation on the southwest corner of the wall.

There are approximately 353 spaces in open lots. The paved parking areas are in good to poor condition. The student parking along the southern edge of the property is in poor condition with evidence of cracking and pavement section deterioration. Sidewalk surfaces are in fair to poor condition. Stairs on site are in fair condition. Site lighting is minimal on site. A photometric study should be done to see where deficiencies exist. Fencing is provided along the south and east property lines and a portion of the north property line. Fencing is also located adjacent to the generator, at the football fields, tennis courts, playgrounds and enclosures for the condensers and gas meter. The perimeter fencing is in good condition with isolated sections of damage. Grass play areas/field appear to be in good condition. Constructed play areas are in good condition. The football field is constructed of artificial turf and is in good condition. The streetlight exiting the site onto High Ridge Road is excessively long which causes traffic issues during drop off and pickup times. Storm water from the roofs, landscaped areas, and paved areas flows into on site inlets and catch basins with underground piping connected to the municipal storm water management system.

Sanitary sewer and the storm water sewer are provided by the City of Stamford Department of Public Works. Domestic water is supplied by City of Stamford Department of Public Works, electrical service is supplied by CL&P, and natural gas is provided by Yankee Gas.







## 3.2 Architectural Systems

### Main Building

Rippowam Middle is approximately 227,700 square feet and is a two storey structure. The building is steel frame with concrete decks, concrete slab ground floor with column pads and footings. The roof assembly is comprised of primary roofs which are flat with built-up membrane and secondary roofs which are sloped roofs with asphalt shingles. The exterior wall finish is Curtain wall, brick, and stone veneer. There is no evidence of significant settlement or structural failure.

The exterior building envelope is in fair condition. The building roof consists of built-up bituminous roofing and EPDM roofing. Both sections will require replacement in the next 3-10 years. Skylights should also be replaced. Aluminum storefront and windows are in fair to poor condition. The exterior façade is in need of repair and a preventive maintenance that includes selective caulking and repointing.

Interior floor finishes include resilient tile, ceramic tile, carpet, flagstone, wood, and painted concrete and are in fair condition. Interior wall finishes include painted drywall, painted CMU, glazed CMU, wood panel, painted plaster, plastic laminated drywall, pre-cast concrete panel, painted concrete, and ceramic tile and are in fair condition. Interior ceiling finishes include exposed structure, suspended acoustic tiles, applied acoustic tiles, painted drywall, and adhered acoustic tiles and are in fair condition. Applied acoustical systems should be replaced with suspended acoustical systems. Casework and countertops are in poor condition and in need of replacement. All interior doors are worn and approaching the end of their useful life. Auditorium seating will need to be replaced within the next 6-10 years.

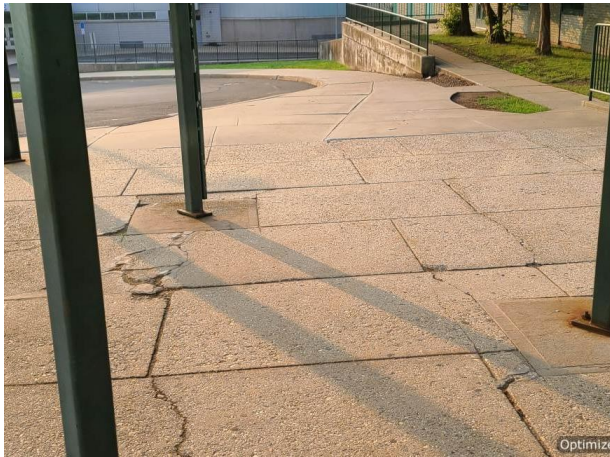
Hydraulic elevator controls are in need of replacement.

The building is partially non-compliant in terms of ADA restroom accommodations, jamb clearances, and handrails.









### 3.3 Mechanical Systems

#### Main Building

The mechanical system is largely the original system installed in the building in 1959. There was a mechanical renovation in 2002 where the boiler room equipment was replaced. A similar project is scheduled for completion this year replacing the boilers, water heaters, pumps, expansion tanks, associated equipment and piping in the boiler room. Four hot water boilers with six circulating pumps for this building and two circulating pumps for the adjacent AITE building provide hot water for heating via a two-pipe system to the building distribution equipment. All hydronic piping should be replaced. The building is mostly not air conditioned. Large spaces and core areas are served by air handling units with hot water coils. Classrooms and corridors are served by fin-tube radiation and fin-tube convectors with minimum ventilation provided. Cooling is provided to the Auditorium by one large air cooled condensing unit. Cooling is also provided to some offices and classrooms by individual window air conditioning units or split system air conditioning units. Roof mounted exhaust fans provide exhaust air for the gymnasiums, locker rooms, bathroom and kitchen areas. Controls are original pneumatic with a recently replaced compressor/dryer. All of the distribution systems and components should be replaced within the assessment period.

#### HVAC System Comprehensive Improvement Analysis

The mechanical system at Rippowam MS does not provide adequate ventilation or air conditioning. Based on existing equipment conditions and an initiative to add air condition building-wide, the District-Wide Summary: 10 Year Forecast Cost Analysis contains an allowance for the wholesale system replacement including demolition of the current system including central plant and distribution. This approach takes into consideration only select capital improvement needs in the Deferred Maintenance & Asset Renewal Report not impacted by system replacement.







### 3.4 Plumbing Systems

#### Main Building

The main building plumbing systems appears to largely be original. Hot water is provided by three hot water heaters and circulators which are being replaced as part of the boiler room project. Fixtures appear to have been replaced sporadically throughout the years on an as needed basis. Water coolers are being replaced with bottle fillers building wide by the district. Fixtures, domestic water and sanitary waste piping should be replaced within the assessment period.



### 3.5 Fire & Other Protection Systems

#### Main Building

The building sprinkler system was installed in 2002 and is in good condition not requiring replacement in the assessment period. The fire pump, jockey pump and controller should be planned to be replaced within the assessment period.

Fire alarm system was installed in 2006 with devices and main console with voice evacuation system for the building. Building is fully sprinklered with mix of wet system and dry system sprinkler systems. A 40 hp fire pump and jockey pump provides water force required for sprinkler system.





## 3.6 Electrical Systems

### Main Building

Main building is powered by utility company owned transformer bank located in the transformer room. Service feeder with 480 Y /277 volt power is terminated in 3000 amp fused switch and distribution sections located in the electrical room. Power to all panels originates from this switchboard thru fused disconnects in distribution sections. Equipment and receptacle requiring 208 Y /120 volt power is provided by drytype transformers located throughout the building. Feeder wiring is mostly in either rigid conduit or EMT conduits. Branch circuit wiring is mostly MC Cable or in EMT conduits. Standby generator set rated for 250 KW powers emergency lights and few equipment in the building. Emergency power to life safety loads and normal loads have dedicated Automatic Transfer Switches. Property has roof top mounted photovoltaic panels rated for 202 KW. Power from photovoltaic panels feed into main switchgear. All lighting fixtures except those in gym and auditorium have been replaced with new LED light fixtures.

Refer to Appendix B to view a floor plan notating the location and name of each technology room.





## 3.7 Technology & Security Systems

### Technology

The main building has a mix of Category 5, Category 5E, and Category 6 cabling supporting all end devices, which is adequate to support the current technology and security systems. We recommend replacing this cabling to the most recent category rating to accommodate future technology devices. Fiber optic backbone cabling between the MDF and each IDF (10 total) consists of OM1 62.5/125um fiber optic cabling, which is capable of 1 Gbps per fiber pair. We recommend installing and replacing this fiber to OM4, which will support 40Gbps, to support the bandwidth requirements of new technology, especially the increased future use of Wi-Fi.

The Public Address system is in working order but is an antiquated analog system and beyond its useful life and maintenance. We recommend replacing this system for new. The Master Clock System was upgraded about 10-15 years ago and in fine working condition. However, the Master Clock System is not in sync with the PA System and should be addressed. It is recommended to sync the Master Clock with the PA system.

Classroom Interactive Boards currently have Promethean boards which have been recently installed and are in good working order.

Refer to Appendix B to view a floor plan notating the location and name of each technology room.

### Security

The Intrusion Detection Security system is in working order but is an antiquated system. It is recommended to replace this cabling and devices to accommodate the future security needs of this property. The Video Surveillance System is undergoing an addition of a new managed system and includes new IP cameras in several areas of the school. There are locations where existing analog cameras are still being used and viewed on this new system. Coverage of the school is fair. We recommend replacing the existing analog cameras with IP cameras and supplementing the coverage with new IP cameras. The main entry door is equipped with an antiquated Aiphone intercom-door-release and a surveillance camera viewing the door. It is recommended to replace the existing Aiphone device with a modern device to include video that will assist with the assessment of a visitor requesting access into the school.





## 4.0 General Physical Condition Rating

The general physical condition ratings identified below are based on StudioJAED's visual inspection and overall impression of the Property's major building systems assessed as defined in the Executive Summary, Section 2.0.

MAIN BUILDING		Condition Rating		
Item	Building / Site System	Good	Fair	Poor
1	Building Envelope		X	
2	Interior Architecture		X	
3	Mechanical Systems		X	X
4	Electrical Systems		X	
5	Plumbing Systems		X	X
6	Fire Alarm / Protection Systems	X		
7	Site Improvements		X	X

## 5.0 Opinions of Probable Costs

The opinions of probable cost presented in this document are for repair or renewal / replacement projected capital needs identified from a visual inspection of the defined Property site elements and primary building systems anticipated over the subsequent 10 year term. These opinions are based on StudioJAED's knowledge of industry standards and recommended "good" architectural and engineering practice. For the purpose of generating projected investment dollars, needs were calculated based on approximate quantities and estimated unit cost values were defined. Recommended corrective actions recorded do not constitute a warranty that all items, which may require repair or replacement, are included.

As a measure of quality assurance, StudioJAED's cost estimates were developed by our Certified Professional Estimators. All unit "trade" costs were developed using the RSMeans "CostWorks" application which was regionally adjusted to the materials, labor, and equipment cost for Bridgeport, Connecticut. The cost model approach applied to each corrective action was based on Construction Management-at-Risk (CMAR) with an additional (20%) twenty percent allowance to cover design fees and owner contingency.

The opinions of probable costs should be considered a preliminary order of magnitude for budget development. It also assumes that each facility will continue to operate in its current capacity and relative quality of care. Actual costs will vary from StudioJAED's probable costs based on a number of potential factors such as: a finer granularity or understanding of required scope of work, design solution approach, type of construction, quality of materials, equipment or system specifications, field conditions, need for abatement of hazardous materials, decision to comprehensively replace equipment or system versus partial replacement / repair, phased or staged implementation (if required), quality of contractor, overall project management, solicitation of competitive pricing, etc. An expanded budget projection/analysis typically requires the development of schematic design documents and preliminary specifications to obtain contractor bid estimates.

## 6.0 Limitations & Qualifications

The services described within this document were performed by StudioJAED. No warranties are provided, either expressed or implied. While StudioJAED made every reasonable effort to properly evaluate the Property conditions within the contracted scope of work, it is important to recognize that the investigation was limited in several respects including, but not limited to, the following:

StudioJAED's findings and conclusions are based primarily on the visual appearance of the Property at the time of our site visit and comparatively evaluated in contrast to our extensive condition assessment experience. Observations included only areas that were readily accessible to our assessment team members without opening or dismantling any secured components or areas. The scope did not include invasive investigation, component sampling, laboratory analysis, an environmental site assessment, or engineering evaluations of structural, mechanical, electrical, or other systems with related calculations and review of design assumptions.

Some of StudioJAED's conclusions are partially based on information provided by others. For the purposes of this report, we have assumed this information to be complete and correct unless noted otherwise. StudioJAED assumes no responsibility for incorrect information provided by others.

Our opinions of cost represent a preliminary opinion only and are neither a quote nor a warranty or representation as to the actual costs that may be incurred. These estimates are based on typical cost data that may not fully characterize the scope of the Property conditions and are further limited by possible future changes in technology, by regulatory requirements, by Property location, and by contingencies that cannot reasonably be discovered until after commencement of onsite construction activities. StudioJAED shall not be liable to the Client nor any other property for any costs or expenses that may be incurred in excess of these estimates, for any losses that may be incurred as a result of these estimates being different from the actual costs, nor for any damages whatsoever in connection with these estimates.

This report is intended for the use of and may be relied upon only by the entities identified in Section 1.0 – Authorized Assessment Account. The scope of services performed in execution of this investigation may not be appropriate to satisfy the needs of other users, and any use or re-use of this document or its findings, conclusions, or recommendations is at the risk of said user. StudioJAED is not responsible for the conclusions, opinions, or recommendations made by others based on this information.

## Appendices

**Appendix A: Deferred Maintenance & Asset Renewal Report**

**Appendix B: Technology Floor Plans**



# Deferred Maintenance & Asset Renewal Report

Rippowam MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

Page 1 of 34

System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
<b>Rippowam Middle School</b>								
<b>A10 Foundations</b>								
A1030-01-08C Correct Concrete Slab on Grade Required by Install New (2" - 4")	A1030 Slab on Grade	Boys Aux Gym	<i>Feather to eliminate step at doorway</i>	Def Maint	P2 / 1-2 Yrs	Function/ Functional	100 SQFT	\$1,392
Total Estimated Cost for <b>A10 Foundations</b>								<b>\$1,392</b>
<b>B10 Superstructure</b>								
B1011-01-01C Correct Concrete Above Grade Stair Deterioration by Demolition & Replacement	B1011 Exterior Above Grade Stair	Boiler Room		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	4 RISR	\$6,283
B1011-02-01C Correct Steel Above Grade Stair Deterioration by Demolition & Replacement	B1011 Exterior Above Grade Stair	Boiler Room		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	15 RISR	\$19,828
B1020-02-02C Correct Structural Steel Roof Framing Finish Deterioration by Prep & Refinish	B1020 Roof Construction	Canopy		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	800 SQFT	\$7,443
Total Estimated Cost for <b>B10 Superstructure</b>								<b>\$33,554</b>
<b>B20 Exterior Enclosure</b>								
B2010-03-09C Correct Brick Masonry Wall Mortar Deterioration by Repointing	B2010 Exterior Wall	Building Exterior		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	4,500 SQFT	\$159,548
B2011-02-01C Correct Column Enclosure Deterioration by Demolition & Replacement	B2011 Exterior Wall Specialties	Auditorium	<i>Metal Column Enclosures at Lobby area of Auditorium</i>	Def Maint	P2 / 1-2 Yrs	Damage/ Wear	60 LNFT	\$11,209

Priority 1 - Work should be performed immediately. Potential Life / Safety Issue.

Priority 3 - Work to be performed within next 3-5 years. Asset will reach useful life soon.

Priority 2 - Work to be performed within next 1-2 years. Asset has reached useful life. Priority 4 - Work to be performed within next 6-10 years or is an arch/eng "good practice".

Estimated Construction Cost is based on 2021 RSMeans data regionalized for Stamford, CT with client defined allowances and soft costs applied.



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# Deferred Maintenance & Asset Renewal Report

Rippowam MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
B2020-02-01C Correct Aluminum Frame Window Deterioration by Demolition & Replacement	B2020 Exterior Window	Roof	At Stairwell to Roof	Def Maint	P2 / 1-2 Yrs	Damage/Wear	12 SQFT	\$945
B2020-05-01C Correct Aluminum Storefront System Deterioration by Demolition & Replacement	B2020 Exterior Window	Roof	Clerestory Windows at Gymnasium	Def Maint	P2 / 1-2 Yrs	Damage/Wear	1,800 SQFT	\$574,472
B2021-01-07C Correct Window General Moisture or Air Infiltration by Recaulking	B2021 Exterior Window General	Building Exterior		Def Maint	P4 / 6-10 Yrs	Damage/Wear	22,000 LNFT	\$257,870
B2030-08-02C Correct Overhead Door & Frame Deterioration by Demolition & Replacement	B2030 Exterior Door	Building Exterior		Def Maint	P2 / 1-2 Yrs	Damage/Wear	210 SQFT	\$28,208
Total Estimated Cost for B20 Exterior Enclosure								\$1,032,253
<b>B30 Roofing</b>								
B3010-01-01C Correct Asphalt / Fiberglass Shingle Deterioration by Demolition & Replacement	B3010 Roof Covering	Canopy		Def Maint	P4 / 6-10 Yrs	Damage/Wear	1,100 SQFT	\$17,998
B3010-07-03C Correct Built-Up Bituminous Roof Deterioration by Demolition & Replacement with Alternative Material (Single-ply)	B3010 Roof Covering	Roof		Def Maint	P3 / 3-5 Yrs	Useful Life	27,592 SQFT	\$1,098,818

Priority 1 - Work should be performed immediately. Potential Life / Safety Issue.

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# Deferred Maintenance & Asset Renewal Report

Rippowam MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
B3010-11-01C Correct EPDM Roof Deterioration by Demolition & Replacement	B3010 Roof Covering	Roof	<i>Include removal and reinstallation of approximately 10,000 sq. ft of Solar Panels. See electrical corrective action.</i>	Def Maint	P4 / 6-10 Yrs	Useful Life	67,184 SQFT	\$2,643,637
B3020-03-01C Correct Skylight Deterioration by Demolition & Replacement	B3020 Roof Opening	Roof		Def Maint	P4 / 6-10 Yrs	Damage/Wear	1,500 SQFT	\$308,364
Total Estimated Cost for <b>B30 Roofing</b>								<b>\$4,068,817</b>
<b>C10 Interior Construction</b>								
C1010-06-01C Correct Framing & Drywall Partition Deterioration by Demolition & Replacement	C1010 Interior Partition	Gymnasium	<i>Steel Beam Enclosure at Clearstory</i>	Def Maint	P2 / 1-2 Yrs	Damage/Wear	500 SQFT	\$11,628
C1020-02-01C Correct Wood Door Deterioration by Demolition & Replacement	C1020 Interior Door	Auditorium		Def Maint	P2 / 1-2 Yrs	Damage/Wear	12 EACH	\$25,533
C1020-02-01C Correct Wood Door Deterioration by Demolition & Replacement	C1020 Interior Door	Building Wide		Def Maint	P4 / 6-10 Yrs	Damage/Wear	90 EACH	\$191,496
C1020-02-01C Correct Wood Door Deterioration by Demolition & Replacement	C1020 Interior Door	Building Wide		Def Maint	P3 / 3-5 Yrs	Damage/Wear	175 EACH	\$372,353
C1020-02-01C Correct Wood Door Deterioration by Demolition & Replacement	C1020 Interior Door	Cafeteria		Def Maint	P2 / 1-2 Yrs	Damage/Wear	15 EACH	\$31,916

Priority 1 - Work should be performed immediately. Potential Life / Safety Issue.

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# Deferred Maintenance & Asset Renewal Report

Rippowam MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
C1030-01-01C Correct Chalkboard, Tackboard or Markerboard Deterioration by Demolition & Replacement	C1030 Fittings & Accessories	Building Wide		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	3,300 SQFT	\$168,692
C1030-02-01C Correct Toilet Compartment Deterioration by Demolition & Replacement	C1030 Fittings & Accessories	Restroom		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	10 EACH	\$18,116
C1030-07-01C Correct Locker Deterioration by Demolition & Replacement	C1030 Fittings & Accessories	Lower Level		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	32 EACH	\$21,777
Total Estimated Cost for <b>C10 Interior Construction</b>								<b>\$841,509</b>
<b>C20 Stairs &amp; Ramps</b>								
C2050-01-05C Correct Handrail Required by Install New	C2050 Interior Handrail & Balustrade	Auditorium		Bldg Imprv	P2 / 1-2 Yrs	Codes - BLDG	36 LNFT	\$2,254
Total Estimated Cost for <b>C20 Stairs &amp; Ramps</b>								<b>\$2,254</b>
<b>C30 Interior Finishes</b>								
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Boys Aux Gym		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	1,750 SQFT	\$7,324
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Building Wide		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	166,500 SQFT	\$696,822

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# Deferred Maintenance & Asset Renewal Report

Rippowam MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Cafeteria		Def Maint	P3 / 3-5 Yrs	Damage/Wear	1,500 SQFT	\$6,278
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Gymnasium		Def Maint	P3 / 3-5 Yrs	Damage/Wear	10,000 SQFT	\$41,851
C3010-02-02C Correct Wood Wall Finish Deterioration by Demolition & Replacement with Alternative Material (Drywall)	C3010 Wall Finish	Building Wide		Def Maint	P3 / 3-5 Yrs	Damage/Wear	7,500 SQFT	\$63,519
C3010-03-01C Correct Ceramic Tile Wall Finish Deterioration by Demolition & Replacement	C3010 Wall Finish	Restroom		Def Maint	P3 / 3-5 Yrs	Damage/Wear	1,200 SQFT	\$38,434
C3010-03-02C Correct Ceramic Tile Wall Finish Deterioration by Regrouting	C3010 Wall Finish	Restroom		Def Maint	P3 / 3-5 Yrs	Damage/Wear	2,000 SQFT	\$57,816
C3010-06-01C Correct Acoustical Wall Panel Deterioration by Demolition & Replacement	C3010 Wall Finish	Band Room		Def Maint	P2 / 1-2 Yrs	Damage/Wear	900 SQFT	\$18,238
C3020-01-04C Correct Concrete Interior Floor Finish Deterioration by Prep & Refinish (101-1000 SF)	C3020 Floor Finish	Band Room		Def Maint	P2 / 1-2 Yrs	Damage/Wear	1,000 SQFT	\$34,435
C3020-01-05C Correct Concrete Interior Floor Finish Deterioration by Prep & Refinish (1001 SF and Above)	C3020 Floor Finish	Auditorium		Def Maint	P2 / 1-2 Yrs	Damage/Wear	2,615 SQFT	\$73,450

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# Deferred Maintenance & Asset Renewal Report

## Rippowam MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
C3020-01-05C Correct Concrete Interior Floor Finish Deterioration by Prep & Refinish (1001 SF and Above)	C3020 Floor Finish	Building Wide		Def Maint	P3 / 3-5 Yrs	Damage/Wear	18,000 SQFT	\$505,585
C3020-08-01C Correct Ceramic Tile Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Building Wide		Def Maint	P3 / 3-5 Yrs	Damage/Wear	1,400 SQFT	\$46,632
C3020-08-03C Correct Ceramic Tile Floor Finish Deterioration by Regrouting	C3020 Floor Finish	Building Wide		Def Maint	P3 / 3-5 Yrs	Damage/Wear	7,100 SQFT	\$138,582
C3020-09-01C Correct Quarry Tile Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Cafeteria Kitchen		Def Maint	P2 / 1-2 Yrs	Damage/Wear	2,412 SQFT	\$96,903
C3020-11-02C Correct Hard Wood Floor Finish Deterioration Prep & Refinish	C3020 Floor Finish	Auditorium		Def Maint	P2 / 1-2 Yrs	Damage/Wear	2,250 SQFT	\$18,542
C3020-11-02C Correct Hard Wood Floor Finish Deterioration Prep & Refinish	C3020 Floor Finish	Gymnasium		Def Maint	P3 / 3-5 Yrs	Damage/Wear	9,607 SQFT	\$79,170
C3020-12-01C Correct Carpet Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Auditorium		Def Maint	P2 / 1-2 Yrs	Damage/Wear	300 SQYD	\$31,954
C3020-12-01C Correct Carpet Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/Wear	90 SQYD	\$9,586

Priority 1 - Work should be performed immediately. Potential Life / Safety Issue.

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# Deferred Maintenance & Asset Renewal Report

## Rippowam MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
C3020-15-01C Correct Athletic Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Gymnasium		Def Maint	P3 / 3-5 Yrs	Damage/Wear	1,650 SQFT	\$69,094
C3020-19-03C Correct Stone Floor Finish Deterioration by Prep & Refinish	C3020 Floor Finish	Building Wide		Def Maint	P3 / 3-5 Yrs	Damage/Wear	13,875 SQFT	\$53,680
C3030-03-02C Correct Drywall Ceiling Finish Deterioration by Prep & Refinish	C3030 Ceiling Finish	Auditorium		Def Maint	P2 / 1-2 Yrs	Damage/Wear	7,400 SQFT	\$43,635
C3030-03-02C Correct Drywall Ceiling Finish Deterioration by Prep & Refinish	C3030 Ceiling Finish	Building Wide		Def Maint	P3 / 3-5 Yrs	Damage/Wear	14,460 SQFT	\$85,266
C3030-04-02C Correct Splined Acoustical Ceiling Finish Deterioration by Demolition & Replacement with Alternative Material (Susp Acoustical)	C3030 Ceiling Finish	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/Wear	49,366 SQFT	\$545,463
C3030-04-02C Correct Splined Acoustical Ceiling Finish Deterioration by Demolition & Replacement with Alternative Material (Susp Acoustical)	C3030 Ceiling Finish	Gymnasium		Def Maint	P2 / 1-2 Yrs	Damage/Wear	1,650 SQFT	\$18,231
C3030-05-02C Correct Suspended Acoustical Ceiling Tile & Grid Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Boys Aux Gym		Def Maint	P3 / 3-5 Yrs	Damage/Wear	1,750 SQFT	\$18,474

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Rippowam MS

Project Name: 2021 Stamford Facility Assessment

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
C3030-05-02C Correct Suspended Acoustical Ceiling Tile & Grid Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/Wear	87,797 SQFT	\$926,820
C3030-05-02C Correct Suspended Acoustical Ceiling Tile & Grid Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Cafeteria		Def Maint	P2 / 1-2 Yrs	Damage/Wear	9,582 SQFT	\$101,151
Total Estimated Cost for <b>C30 Interior Finishes</b>								<b>\$3,826,938</b>
<b>D10 Conveying</b>								
D1010-01-76C Correct Hydraulic Elevator (2500 Capacity) Controls Deterioration by Demolition & Replacement	D1010 Elevator & Lift	Elevator		Def Maint	P4 / 6-10 Yrs	Useful Life	2 FLR	\$63,354
Total Estimated Cost for <b>D10 Conveying</b>								<b>\$63,354</b>
<b>D20 Plumbing</b>								
D2010-02-01C Correct Water Closet Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide		Def Maint	P4 / 6-10 Yrs	Useful Life	49 EACH	\$141,070
D2010-02-01C Correct Water Closet Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	49 EACH	\$141,070
D2010-03-11C Correct Lavatory (Commercial Wall Mounted) Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide		Def Maint	P4 / 6-10 Yrs	Useful Life	45 EACH	\$98,307

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Project Name: 2021 Stamford Facility Assessment

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D2010-03-11C Correct Lavatory (Commercial Wall Mounted) Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	45 EACH	\$98,307
D2010-04-01C Correct Urinal Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide		Def Maint	P4 / 6-10 Yrs	Useful Life	17 EACH	\$43,088
D2010-04-01C Correct Urinal Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	18 EACH	\$45,623
D2010-05-07C Correct Shower Enclosure, Mixing Valve/Faucet and Trim Set Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	6 EACH	\$29,326
D2010-05-08C Correct Shower Stall Components (Gang Style) Not Required by Demolition & Safe Off	D2010 Plumbing Fixtures	Locker Room		Def Maint	P2 / 1-2 Yrs	Useful Life	75 EACH	\$47,599
D2010-10-01C Correct Utility Sink or Mop Receptor Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	14 EACH	\$54,581
D2010-11-01C Correct Residential Sink Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide		Def Maint	P4 / 6-10 Yrs	Useful Life	8 EACH	\$18,113
D2010-11-01C Correct Residential Sink Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	7 EACH	\$15,849

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Rippowam MS

Project Name: 2021 Stamford Facility Assessment

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D2010-12-01C Correct Lab Sink Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Science Lab		Def Maint	P2 / 1-2 Yrs	Useful Life	15 EACH	\$52,987
D2010-16-01C Correct Commercial Kitchen Stainless Steel Sink Single Bowl Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Kitchen		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$3,708
D2020-01-01C Correct Domestic Water Piping & Valves & Insulation Deterioration by Demolition & Replacement (Bldg SF)	D2020 Domestic Water Distribution	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	227,700 BLDG SF	\$3,657,919
D2020-13-01C Correct Potable Water Storage Tank Deterioration by Demolition & Replacement	D2020 Domestic Water Distribution	Mechanical Room		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$15,915
D2030-01-01C Correct Deteriorated Sanitary Sewer Pipe & Fittings Deterioration by Demolition & Replacement (Bldg SF)	D2030 Sanitary Waste	Building Wide	Select locations as needed.	Def Maint	P2 / 1-2 Yrs	Useful Life	115,000 BLDG SF	\$1,099,860
D2030-04-01C Correct Ejection Pump Deterioration by Demolition & Replacement	D2030 Sanitary Waste	Boiler Room		Def Maint	P2 / 1-2 Yrs	Useful Life	4 EACH	\$17,933
Total Estimated Cost for D20 Plumbing								\$5,581,253

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Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
<b>D30 HVAC</b>								
D3010-01-40C Correct Underground Oil Fuel Storage Tank Deterioration (20000 Gal) by Remediation & Replacement	D3010 Energy Supply	Building Exterior		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$279,956
D3010-02-01C Correct Oil Fuel Transfer Pump Deterioration by Demolition & Replacement	D3010 Energy Supply	Boiler Room		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$5,903
D3030-04-01C Correct Condensing Unit (3 Tons) Deterioration by Demolition & Replacement	D3030 Refrigeration	Roof	<i>For Classrooms</i>	Def Maint	P2 / 1-2 Yrs	Useful Life	10 EACH	\$153,430
D3030-04-02C Correct Condensing Unit (5 Tons) Deterioration by Demolition & Replacement	D3030 Refrigeration	Building Exterior	<i>Main Office</i>	Def Maint	P4 / 6-10 Yrs	Useful Life	1 EACH	\$19,873
D3030-04-08C Correct Condensing Unit (60 Tons) Deterioration by Demolition & Replacement	D3030 Refrigeration	Roof	<i>Auditorium</i>	Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$70,612
D3040-02-03C Correct Air Handling Unit (5 Tons) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Office		Def Maint	P4 / 6-10 Yrs	Useful Life	1 EACH	\$31,947
D3040-02-15C Correct Air Handling Unit (75 Tons) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Mechanical Room	<i>Existing AHU is approximately 62.5 tons</i>	Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$207,486

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D3040-02-19C Correct Air Handling Unit Heating Only (1000 CFM) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Storage Room	<i>Admin and Office Areas</i>	Def Maint	P2 / 1-2 Yrs	Useful Life	3 EACH	\$70,783
D3040-02-20C Correct Air Handling Unit Heating Only (2000 CFM) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Storage Room	<i>Auxiliary Gyms</i>	Def Maint	P2 / 1-2 Yrs	Useful Life	3 EACH	\$96,485
D3040-02-21C Correct Air Handling Unit Heating Only (3000 CFM) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Mechanical Room	<i>Locker Room and Stage Classrooms</i>	Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$69,203
D3040-02-21C Correct Air Handling Unit Heating Only (3000 CFM) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Storage Room	<i>Admin and Office Areas</i>	Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$34,601
D3040-02-22C Correct Air Handling Unit Heating Only (4000 CFM) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Mechanical Room	<i>Locker Rooms</i>	Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$85,058
D3040-02-23C Correct Air Handling Unit Heating Only (5000 CFM) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Mechanical Room	<i>Band and Orchestra Rooms</i>	Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$47,279
D3040-02-24C Correct Air Handling Unit Heating Only (6000 CFM) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Mechanical Room	<i>Auditorium Lobby and Cafeteria</i>	Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$117,027

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Project Name: 2021 Stamford Facility Assessment

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D3040-02-25C Correct Air Handling Unit Heating Only (7000 CFM) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Mechanical Room	<i>Cafeteria</i>	Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$82,473
D3040-02-28C Correct Air Handling Unit Heating Only (10,000 CFM) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Mechanical Room	<i>Gyms and Ground Floor</i>	Def Maint	P2 / 1-2 Yrs	Useful Life	3 EACH	\$464,952
D3040-07-03C Correct Return Air or Inline Fan (3 HP) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Mechanical Room		Def Maint	P2 / 1-2 Yrs	Useful Life	3 EACH	\$38,119
D3040-09-03C Correct Exhaust or Induction Fan (1/5 HP) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Boiler Room		Def Maint	P2 / 1-2 Yrs	Useful Life	4 EACH	\$19,571
D3040-09-05C Correct Exhaust or Induction Fan (1/2 HP) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Roof		Def Maint	P3 / 3-5 Yrs	Useful Life	12 EACH	\$68,969
D3040-09-05C Correct Exhaust or Induction Fan (1/2 HP) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Roof		Def Maint	P4 / 6-10 Yrs	Useful Life	12 EACH	\$68,969
D3040-09-11C Correct Exhaust or Induction Fan (3 HP) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Roof		Def Maint	P4 / 6-10 Yrs	Useful Life	11 EACH	\$134,256
D3040-09-11C Correct Exhaust or Induction Fan (3 HP) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Roof		Def Maint	P3 / 3-5 Yrs	Useful Life	11 EACH	\$134,256

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Rippowam MS

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D3040-09-13C Correct Exhaust or Induction Fan (5 HP) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Gymnasium		Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$25,575
D3040-14-01C Correct Grilles Registers Dampers & Diffusers Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Auditorium		Def Maint	P2 / 1-2 Yrs	Useful Life	14 EACH	\$10,633
D3040-17-15C Correct HVAC Piping System (2 Pipe) & Insulation Deterioration by Demolition & Replacement (BLDG SF)	D3040 HVAC Distribution	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	227,700 BLDG SF	\$3,451,622
D3050-07-06C Correct Computer Room (MDF/IDF) Split System Air Conditioning System Required by Install New	D3050 Terminal & Packaged Units	MDF, IDF1, IDF2, IDF3	<i>MDF, and all IDF's require additional room cooling for equipment operation.</i>	Bldg Imprv	P2 / 1-2 Yrs	Function/ Functional	11 EACH	\$119,353
D3050-08-11C Correct Ductless Split System Air Conditioning System Deterioration (1.5 Ton) by Demolition & Replacement	D3050 Terminal & Packaged Units	Building Wide		Def Maint	P4 / 6-10 Yrs	Useful Life	5 EACH	\$30,315
D3050-09-01C Correct Window Air Conditioning Unit Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Building Wide		Def Maint	P3 / 3-5 Yrs	Useful Life	28 EACH	\$25,596
D3050-09-01C Correct Window Air Conditioning Unit Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Building Wide		Def Maint	P4 / 6-10 Yrs	Useful Life	29 EACH	\$26,510

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D3050-17-02C Correct Cooling Only Fan Coil Unit (3 Ton) Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Building Wide	Classrooms	Def Maint	P2 / 1-2 Yrs	Useful Life	10 EACH	\$126,630
D3050-19-01C Correct Cabinet Heater Deterioration of Cabinet Heater by Demolition & Replacement	D3050 Terminal & Packaged Units	Building Wide	Stairs and Classrooms	Def Maint	P2 / 1-2 Yrs	Useful Life	15 EACH	\$109,011
D3050-20-01C Correct Steam & Hot Water Unit Heater (100 MBH) Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Boiler Room		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$2,274
D3050-26-01C Correct Steam or Hot Water Fin-Tube Radiation Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	2,950 LNFT	\$868,224
D3050-35-02C Correct Steam or Hot Water Convactor (48" wide) Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Corridor		Def Maint	P2 / 1-2 Yrs	Useful Life	76 EACH	\$286,874
D3060-01-03C Correct Pneumatic Control System Air Compressor Deterioration by Demolition & Replacement	D3060 HVAC Instrumentation & Controls	Boiler Room		Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$29,181
D3060-01-05C Correct Pneumatic Control System Deterioration by Demolition & Replacement with Alternate DDC System (Bldg SF)	D3060 HVAC Instrumentation & Controls	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	227,700 BLDG SF	\$3,687,401

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D3090-02-03C Correct Laboratory Fume Hood Not Required by Demolition & Safe Off	D3090 Other Special HVAC Systems & Equipment	Classroom		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$1,893
Total Estimated Cost for <b>D30 HVAC</b>								<b>\$11,102,302</b>
<b>D40 Fire Protection</b>								
D4010-03-03C Correct Fire Pump, 40 HP, Deterioration by Demolition & Replacement	D4010 Sprinklers	Mechanical Room		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$65,161
D4010-03-04C Correct Fire Pump Jockey Pump Deterioration by Demolition & Replacement	D4010 Sprinklers	Mechanical Room		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$9,291
D4010-03-05C Correct Fire Pump Controller Deterioration by Demolition & Replacement	D4010 Sprinklers	Mechanical Room		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$15,223
Total Estimated Cost for <b>D40 Fire Protection</b>								<b>\$89,675</b>
<b>D50 Electrical</b>								
D5010-04-03C Correct Secondary Transformer (9 kVA) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Penthouse		Def Maint	P3 / 3-5 Yrs	Useful Life	1 EACH	\$7,053
D5010-04-08C Correct Secondary Transformer (75 kVA) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Storage Room	<i>Storage room first floor</i>	Def Maint	P3 / 3-5 Yrs	Useful Life	1 EACH	\$20,768

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D5010-04-08C Correct Secondary Transformer (75 kVA) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Storage Room		Def Maint	P3 / 3-5 Yrs	Useful Life	1 EACH	\$20,768
D5010-04-10C Correct Secondary Transformer (150 kVA) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Penthouse		Def Maint	P3 / 3-5 Yrs	Useful Life	1 EACH	\$32,224
D5010-04-11C Correct Secondary Transformer (225 kVA) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Building Wide	For new panels	Def Maint	P3 / 3-5 Yrs	Function/ Functional	2 EACH	\$87,686
D5010-04-11C Correct Secondary Transformer (225 kVA) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Electrical Room		Def Maint	P3 / 3-5 Yrs	Useful Life	1 EACH	\$43,843
D5010-04-11C Correct Secondary Transformer (225 kVA) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Penthouse		Def Maint	P3 / 3-5 Yrs	Useful Life	1 EACH	\$43,843
D5010-07-02C Correct Main Switch Gear (3000 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Electrical Room		Def Maint	P3 / 3-5 Yrs	Useful Life	1 EACH	\$117,437
D5010-12-05C Correct Panelboard (225 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	2nd Floor		Def Maint	P3 / 3-5 Yrs	Useful Life	12 EACH	\$162,413
D5010-12-05C Correct Panelboard (225 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Auditorium		Def Maint	P3 / 3-5 Yrs	Useful Life	2 EACH	\$27,069

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# Deferred Maintenance & Asset Renewal Report

Rippowam MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D5010-12-05C Correct Panelboard (225 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Auditorium		Def Maint	P3 / 3-5 Yrs	Useful Life	2 EACH	\$27,069
D5010-12-05C Correct Panelboard (225 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Basement	<i>Basement shop area panels</i>	Def Maint	P3 / 3-5 Yrs	Useful Life	4 EACH	\$54,138
D5010-12-05C Correct Panelboard (225 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Classroom	<i>Home artsroom</i>	Def Maint	P3 / 3-5 Yrs	Useful Life	1 EACH	\$13,534
D5010-12-05C Correct Panelboard (225 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Kitchen		Def Maint	P3 / 3-5 Yrs	Useful Life	4 EACH	\$54,138
D5010-12-05C Correct Panelboard (225 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Storage Room	<i>First floor storage room</i>	Def Maint	P3 / 3-5 Yrs	Useful Life	5 EACH	\$67,672
D5010-12-05C Correct Panelboard (225 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Storage Room	<i>First floor storage room</i>	Def Maint	P3 / 3-5 Yrs	Useful Life	3 EACH	\$40,603
D5010-12-06C Correct Panelboard (400 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Electrical Room		Def Maint	P3 / 3-5 Yrs	Useful Life	1 EACH	\$16,223
D5010-12-07C Correct Panelboard (600 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Penthouse		Def Maint	P3 / 3-5 Yrs	Useful Life	1 EACH	\$24,261

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# Deferred Maintenance & Asset Renewal Report

Rippowam MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D5010-12-07C Correct Panelboard (600 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Penthouse		Def Maint	P3 / 3-5 Yrs	Useful Life	2 EACH	\$48,521
D5010-12-08C Correct Panelboard (1000 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Penthouse		Def Maint	P3 / 3-5 Yrs	Useful Life	1 EACH	\$36,681
D5010-12-10C Correct Panelboard (225 AMP) Required by Install New	D5010 Electrical Service & Distribution	Building Wide	<i>Additional panels for new branch circuits</i>	Bldg Imprv	P3 / 3-5 Yrs	Function/ Functional	8 EACH	\$190,993
D5010-12-11C Correct Panelboard (400 AMP) Required by Install New	D5010 Electrical Service & Distribution	Building Wide	<i>For new HVAC units for classrooms</i>	Bldg Imprv	P3 / 3-5 Yrs	Function/ Functional	4 EACH	\$153,712
D5010-12-13C Correct Panelboard (1000 AMP) Required by Install New	D5010 Electrical Service & Distribution	Building Wide	<i>For new panels</i>	Bldg Imprv	P3 / 3-5 Yrs	Function/ Functional	2 EACH	\$138,385
D5010-14-01C Correct Motor Starter Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Basement		Def Maint	P3 / 3-5 Yrs	Useful Life	3 EACH	\$22,596
D5010-14-01C Correct Motor Starter Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Penthouse		Def Maint	P3 / 3-5 Yrs	Useful Life	10 EACH	\$75,319
D5010-14-01C Correct Motor Starter Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Penthouse		Def Maint	P3 / 3-5 Yrs	Useful Life	3 EACH	\$22,596

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# Deferred Maintenance & Asset Renewal Report

Rippowam MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D5010-15-01C Correct Disconnect Switch Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Roof		Def Maint	P3 / 3-5 Yrs	Function/ Functional	1 EACH	\$2,020
D5010-17-03C Correct Solar Panel Removal Required by Remove & Reinstall	D5010 Electrical Service & Distribution	Roof	<i>To be completed in conjunction with EPDM roof replacement. See roofing corrective action. Note that "useful life" justification is associated to roofing system.</i>	Def Maint	P4 / 6-10 Yrs	Useful Life	590 EACH	\$660,544
D5020-02-03C Correct Surface Mounted Fluorescent Fixture Deterioration by Demolition & Replacement with Alternate Fixture Type (LED)	D5020 Lighting & Branch Wiring	Gymnasium	<i>Girls' auxiliary gym</i>	Def Maint	P3 / 3-5 Yrs	Function/ Functional	12 EACH	\$15,516
D5020-02-03C Correct Surface Mounted Fluorescent Fixture Deterioration by Demolition & Replacement with Alternate Fixture Type (LED)	D5020 Lighting & Branch Wiring	Gymnasium		Def Maint	P3 / 3-5 Yrs	Useful Life	36 EACH	\$46,548
D5020-03-02C Correct Pendant Mounted Fluorescent Fixture Deterioration by Demolition & Replacement with Alternate Fixture Type (LED)	D5020 Lighting & Branch Wiring	Gymnasium	<i>Boys' auxiliary gym</i>	Def Maint	P3 / 3-5 Yrs	Function/ Functional	12 EACH	\$11,778

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# Deferred Maintenance & Asset Renewal Report

Rippowam MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D5020-13-02C Correct Stage Lighting System Deterioration by Demolition & Replacement with Alternate Fixture (LED)	D5020 Lighting & Branch Wiring	Auditorium		Def Maint	P2 / 1-2 Yrs	Useful Life	1 LPSM	\$323,200
D5021-01-05C Correct Receptacles Required by Install New	D5021 Branch Wiring	Building Wide	<i>Additional receptacles for classroom appliances and convenience outlets.</i>	Bldg Imprv	P3 / 3-5 Yrs	Function/Functional	432 EACH	\$413,582
D5021-03-01C Correct Branch Wiring Deterioration by Demolition & Replacement	D5021 Branch Wiring	Building Wide	<i>2 #12+ 1#12 g - MC cable</i>	Def Maint	P3 / 3-5 Yrs	Function/Functional	43,200 LNFT	\$334,881
D5030-03-02C Correct Building Wide Fire Alarm System Deterioration by Demolition & Replacement (Bldg SF)	D5030 Fire Alarm System	Building Wide		Def Maint	P3 / 3-5 Yrs	Useful Life	227,700 BLDG SF	\$2,177,723
D5031-03-01C Correct Security System Motion or Glass Break Detector Deterioration by Demolition & Replacement (BLDG SF)	D5031 Security Access & Surveillance	Building Wide	<i>Antiquated System - problems with nuisance alarms</i>	Def Maint	P3 / 3-5 Yrs	Security	227,000 BLDG SF	<b>\$108,960</b> sec equip
D5031-07-01C Correct Video Surveillance Indoor Camera Deterioration by Demolition & Replacement	D5031 Security Access & Surveillance	Building Wide	<i>Upgrades have been recently installed.</i>	Def Maint	P4 / 6-10 Yrs	Useful Life	10 EACH	<b>\$33,425</b> sec equip
D5031-20-01C Correct Security Access Control System (Head End Only) Deterioration by Demolition & Replacement	D5031 Security Access & Surveillance	Building Wide	<i>Minimal access control on site.</i>	Def Maint	P4 / 6-10 Yrs	Useful Life	1 EACH	<b>\$5,351</b> sec equip

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# Deferred Maintenance & Asset Renewal Report

Rippowam MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D5031-20-03C Correct Security Access Control with Video Intecom Deterioration by Demolition & Replacement	D5031 Security Access & Surveillance	Main Entryway	Antiquated intercom at main entry. Install new video intercom for added security.	Def Maint	P2 / 1-2 Yrs	Security	2 EACH	<b>\$11,119</b> sec equip
D5032-01-05C Correct Master Clock System Deterioration by Demolition & Replacement with Wireless System (Bldg SF)	D5032 Clock & Program Systems	Building Wide	Replace with Wireless System.	Def Maint	P4 / 6-10 Yrs	Useful Life	227,000 BLDG SF	\$603,965
D5033-01-01C Correct Building Wide Intercom System Deterioration by Demolition & Replacement (Bldg SF)	D5033 Intercom Systems	Building Wide	Antiquated system. Gymnasium and Cafeteria does not have a local sound system. Difficulty hearing in some rooms and issues with call button functionality.	Def Maint	P3 / 3-5 Yrs	Function/ Functional	227,000 BLDG SF	\$816,791
D5035-04-01C Correct Building-Wide Telephone System Deterioration by Demolition & Replacement (Bldg SF)	D5035 Telephone System	Building Wide	Intermittent problems with the phone cabling. Recommended to upgrade to VoIP.	Def Maint	P2 / 1-2 Yrs	Useful Life	227,000 BLDG SF	<b>\$776,994</b> tech equip
D5036-01-03C Correct Technology System Wiring Deterioration by Demolition & Replacement	D5036 Technology System	Building Wide	Cabling should be replaced with most current category rated cabling within 6-10 years. Horizontal wiring	Def Maint	P4 / 6-10 Yrs	Useful Life	350,000 LNFT	<b>\$1,067,136</b> tech infra
D5036-03-06C Correct Data Room Equipment Grounding System Required by Install New	D5036 Technology System	MDF, ALL IDF'S	All equipment and racks should be grounded.	Bldg Imprv	P3 / 3-5 Yrs	Function/ Functional	11 LPSM	<b>\$46,471</b> tech infra

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# Deferred Maintenance & Asset Renewal Report

Rippowam MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D5036-06-01C Correct Fiber Optic Backbone Wiring Deterioration by Demolition & Replacement	D5036 Technology System	MDF to Each IDF	All IDF's currently have OM1 fiber ran from the MDF. Antiquated system should be upgraded to meet the needs of today's technology standards.	Def Maint	P2 / 1-2 Yrs	Function/Functional	3,000 LNFT	<b>\$13,332</b> tech infra
D5090-01-04C Correct Diesel Fuel Emergency Generator (150 kW) Required by Install New	D5090 Other Electrical Systems	MDF, ALL IDF'S	Owner requested all MDF / IDF (11) equipment & associated room cooling be on emer generator. Allowance to add new unit and/or tie into existing with available	Bldg Imprv	P2 / 1-2 Yrs	Function/Functional	1 EACH	<b>\$149,219</b> tech infra
D5090-04-03C Correct Uninterruptable Power Supply System (5 KVA) Deterioration by Demolition & Replacement	D5090 Other Electrical Systems	IDF1, IDF2, IDF3	Replace UPS's	Def Maint	P4 / 6-10 Yrs	Useful Life	1 EACH	<b>\$23,010</b> tech infra
D5090-04-04C Correct Uninterruptable Power Supply System (5 KVA) Required by Install New	D5090 Other Electrical Systems	MDF		Bldg Imprv	P3 / 3-5 Yrs	Function/Functional	9 EACH	<b>\$189,001</b> tech infra

Total Estimated Cost for **D50 Electrical**

**\$9,380,111**

## E10 Equipment

E1020-04-01C Correct Stage Curtain Deterioration by Demolition & Replacement	E1020 Institutional Equipment	Auditorium		Def Maint	P3 / 3-5 Yrs	Damage/Wear	250 SQYD	\$228,174
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# Deferred Maintenance & Asset Renewal Report

Rippowam MS

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Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
E1020-06-02C Correct Projection Equipment Deterioration by Demolition & Replacement with Interactive Flat Panel System	E1020 Institutional Equipment	Building Wide	Classrooms, conference rooms	Def Maint	P3 / 3-5 Yrs	Useful Life	59 EACH	<b>\$1,610,204</b> tech equip
E1020-06-02C Correct Projection Equipment Deterioration by Demolition & Replacement with Interactive Flat Panel System	E1020 Institutional Equipment	Building Wide	Classrooms, conference rooms	Def Maint	P4 / 6-10 Yrs	Useful Life	11 EACH	<b>\$300,207</b> tech equip
E1040-03-01C Correct Dock Bumper Deterioration by Demolition & Replacement	E1040 Dock Lift & Equipment	Building Exterior		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	8 EACH	\$5,607
E1040-03-02C Correct Dock Bumper Required by Install New	E1040 Dock Lift & Equipment	Building Exterior		Bldg Imprv	P2 / 1-2 Yrs	Function/ Functional	8 EACH	\$2,462
E1090-14-04C Correct Refrigeration Compressor (3 HP) Deterioration by Demolition & Replacement	E1090 Other Equipment	Building Exterior		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$2,259
Total Estimated Cost for <b>E10 Equipment</b>								<b>\$2,148,913</b>
<b>E20 Furnishings</b>								
E2010-04-03C Correct Base Cabinet with Laminate Counter Deterioration by Demolition & Replacement	E2010 Fixed Furnishings	Building Wide		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	1,650 LNFT	\$1,370,923
E2011-02-02C Correct Mini-blind Deterioration by Demolition & Replacement with Manual Shade System (Window SF)	E2011 Window Treatment	Building Wide		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	3,840 SQFT	\$78,390

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# Deferred Maintenance & Asset Renewal Report

Rippowam MS

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
E2013-01-01C Correct Auditorium Seating Deterioration by Demolition & Replacement	E2013 Fixed Seating	Auditorium		Def Maint	P4 / 6-10 Yrs	Damage/Wear	1,000 EACH	\$886,765
Total Estimated Cost for <b>E20 Furnishings</b>								<b>\$2,336,079</b>
<b>F20 Selective Demolition</b>								
F2020-04-02C Correct Asbestos Pipe Fitting Insulation by Abatement	F2020 Hazardous Components Abatement	Building Wide	Stage, Storage Rm outside Boys Gym and in Dance Studio Storage per AHERA Report. QTY increased to meet minimum cost.	Def Maint	P2 / 1-2 Yrs	Environ Imprvmt	8 EACH	\$542
F2020-04-03C Correct Asbestos Pipe Insulation and Pipe Remediation Required by Abatement & Pipe Removal	F2020 Hazardous Components Abatement	Building Wide	Reference AHERA Report. See Report for locations. Qty Est.	Def Maint	P2 / 1-2 Yrs	Environ Imprvmt	500 LNFT	\$59,851
F2020-05-01C Correct Asbestos Floor Tile Remediation Required by Abatement & Install Resilient Finish	F2020 Hazardous Components Abatement	Building Wide	Existing 9x9 tile. See AHERA Report.	Def Maint	P4 / 6-10 Yrs	Environ Imprvmt	34,177 SQFT	\$777,579
F2020-05-01C Correct Asbestos Floor Tile Remediation Required by Abatement & Install Resilient Finish	F2020 Hazardous Components Abatement	Building Wide	Existing damaged or worn 12x12 tile. See AHERA Report.	Def Maint	P3 / 3-5 Yrs	Environ Imprvmt	28,816 SQFT	\$655,608
F2020-05-01C Correct Asbestos Floor Tile Remediation Required by Abatement & Install Resilient Finish	F2020 Hazardous Components Abatement	Building Wide	Existing damaged or worn 12x12 tile. See AHERA Report.	Def Maint	P2 / 1-2 Yrs	Environ Imprvmt	50,000 SQFT	\$1,137,576

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# Deferred Maintenance & Asset Renewal Report

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
F2020-05-01C Correct Asbestos Floor Tile Remediation Required by Abatement & Install Resilient Finish	F2020 Hazardous Components Abatement	Cafeteria	<i>Existing damaged or worn 12x12 tile. See AHERA Report.</i>	Def Maint	P2 / 1-2 Yrs	Environ Imprvmt	7,170 SQFT	\$163,128
F2020-06-01C Correct Asbestos Tank Insulation Remediation Required by Abatement	F2020 Hazardous Components Abatement	Mechanical Room	<i>Domestic Water Storage Tank</i>	Def Maint	P2 / 1-2 Yrs	Useful Life	340 SQFT	\$28,308
F2020-10-01C Correct Asbestos Ceiling Tile Remediation Required by Abatement	F2020 Hazardous Components Abatement	Building Wide		Def Maint	P2 / 1-2 Yrs	Environ Imprvmt	66,900 SQFT	\$3,394,455
F2020-12-01C Correct Asbestos Vibration Isolation Damper Remediation Required by Abatement	F2020 Hazardous Components Abatement	Mechanical Room	<i>Rm 225C &amp; Mechanical Room Above Per AHERA Report</i>	Def Maint	P2 / 1-2 Yrs	Environ Imprvmt	2 EACH	\$1,560
F2020-13-01C Correct Asbestos Wiring Insulation Remediation Required by Abatement	F2020 Hazardous Components Abatement	Auditorium	<i>Reference AHERA Report</i>	Def Maint	P2 / 1-2 Yrs	Environ Imprvmt	500 LNFT	\$22,334
F2020-15-01C Correct Asbestos Sink Undercoating Remediation Required by Abatement	F2020 Hazardous Components Abatement	Building Wide	<i>In Rooms: 111,122 (2), Health suite, 107A, 93</i>	Def Maint	P2 / 1-2 Yrs	Environ Imprvmt	6 EACH	\$34,378

Total Estimated Cost for **F20 Selective Demolition**

**\$6,275,319**

## G20 Site Improvements

G2010-01-01C Correct Bituminous Roadway Deterioration by Demolition & Replacement	G2010 Roadways	Intersection of Rear Access Drive & Start of AITE Student Parking	<i>Failed base material causing damage to surface.</i>	Def Maint	P2 / 1-2 Yrs	Damage/Wear	150 SQYD	\$26,266
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Rippowam MS

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
G2010-01-01C Correct Bituminous Roadway Deterioration by Demolition & Replacement	G2010 Roadways	Loading Dock Access Pull Off- South Side of School	<i>Failed base material causing damage to surface.</i>	Def Maint	P2 / 1-2 Yrs	Damage/ Wear	250 SQYD	\$43,776
G2010-01-03C Correct Bituminous Roadway Surface Deterioration by Overlay	G2010 Roadways	Access Drive to Student Parking- South Side of School		Def Maint	P4 / 6-10 Yrs	Useful Life	900 SQYD	\$14,536
G2010-01-03C Correct Bituminous Roadway Surface Deterioration by Overlay	G2010 Roadways	Access Drive towards AITE Parent Drop-Off- South Side of School		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	625 SQYD	\$10,094
G2010-01-03C Correct Bituminous Roadway Surface Deterioration by Overlay	G2010 Roadways	Main Parent Drop-Off Lane- West Side of Site		Def Maint	P4 / 6-10 Yrs	Useful Life	2,500 SQYD	\$40,378
G2010-04-01C Correct Roadway Curb Deterioration by Demolition & Replacement	G2010 Roadways	Along Bituminous Walk- South Side of Bldg. Near Util. Meters/Dumpsters		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	150 LNFT	\$10,846
G2010-04-01C Correct Roadway Curb Deterioration by Demolition & Replacement	G2010 Roadways	Along Bus Loop- West Side of School	<i>Sections of plow damage along length of curb</i>	Def Maint	P3 / 3-5 Yrs	Damage/ Wear	50 LNFT	\$3,615

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# Deferred Maintenance & Asset Renewal Report

Rippowam MS

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
G2010-04-01C Correct Roadway Curb Deterioration by Demolition & Replacement	G2010 Roadways	South Side of Access Drive to Student Parking		Def Maint	P4 / 6-10 Yrs	Useful Life	375 LNFT	\$27,115
G2010-04-01C Correct Roadway Curb Deterioration by Demolition & Replacement	G2010 Roadways	West Side of Parent Drop- Off Lane Along Parallel Parking Sots		Def Maint	P4 / 6-10 Yrs	Useful Life	375 LNFT	\$27,115
G2010-06-01C Correct Bus Drop Off Loop Deterioration by Demolition & Replacement	G2010 Roadways	Half of Bus Loop that is Shared with AITE-West Side of School		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	2,200 SQYD	\$524,724
G2020-01-03C Correct Bituminous Parking Lot Deterioration by Restoration & Overlayment	G2020 Parking Lots	Visitor Parking Lot- NW Corner of Site		Def Maint	P4 / 6-10 Yrs	Useful Life	1,500 SQYD	\$25,021
G2020-01-03C Correct Bituminous Parking Lot Deterioration by Restoration & Overlayment	G2020 Parking Lots	Parking & Drop-Off Lot for Apples Education Center		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	800 SQYD	\$13,344
G2020-01-03C Correct Bituminous Parking Lot Deterioration by Restoration & Overlayment	G2020 Parking Lots	Staff Parking- East side of School in the Middle of Bus Loop		Def Maint	P4 / 6-10 Yrs	Useful Life	1,750 SQYD	\$29,191

Priority 1 - Work should be performed immediately. Potential Life / Safety Issue.

Priority 3 - Work to be performed within next 3-5 years. Asset will reach useful life soon.

Priority 2 - Work to be performed within next 1-2 years. Asset has reached useful life.

Priority 4 - Work to be performed within next 6-10 years or is an arch/eng "good practice".

Estimated Construction Cost is based on 2021 RSMeans data regionalized for Stamford, CT with client defined allowances and soft costs applied.



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# Deferred Maintenance & Asset Renewal Report

Rippowam MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
G2030-01-02C Correct Bituminous Sidewalk Deterioration by Demo & Replacement with Alternative Material (Concrete)	G2030 Pedestrian Paving	Plaza Space Leading to Main Entrance Stairs		Def Maint	P2 / 1-2 Yrs	Damage/Wear	450 SQYD	\$63,735
G2030-01-02C Correct Bituminous Sidewalk Deterioration by Demo & Replacement with Alternative Material (Concrete)	G2030 Pedestrian Paving	Walk Leading to North Stairs on the East Side of the School		Def Maint	P2 / 1-2 Yrs	Damage/Wear	100 SQYD	\$14,163
G2030-01-02C Correct Bituminous Sidewalk Deterioration by Demo & Replacement with Alternative Material (Concrete)	G2030 Pedestrian Paving	Walk Leading to South Stairs on the East Side of the School		Def Maint	P2 / 1-2 Yrs	Damage/Wear	50 SQYD	\$7,082
G2030-01-04C Correct Bituminous Sidewalk Deterioration by Overlayment	G2030 Pedestrian Paving	Building Exterior	Quantity increased to meet minimum cost	Def Maint	P2 / 1-2 Yrs	Damage/Wear	40 SQYD	\$612
G2030-02-01C Correct Concrete Sidewalk Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	Auditorium Courtyard		Def Maint	P3 / 3-5 Yrs	Damage/Wear	1,900 SQFT	\$45,016
G2030-02-01C Correct Concrete Sidewalk Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	Building Exterior		Def Maint	P2 / 1-2 Yrs	Damage/Wear	5,000 SQFT	\$118,462
G2030-02-01C Correct Concrete Sidewalk Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	Cafe Courtyard		Def Maint	P2 / 1-2 Yrs	Damage/Wear	3,300 SQFT	\$78,185

Priority 1 - Work should be performed immediately. Potential Life / Safety Issue.

Priority 3 - Work to be performed within next 3-5 years. Asset will reach useful life soon.

Priority 2 - Work to be performed within next 1-2 years. Asset has reached useful life. Priority 4 - Work to be performed within next 6-10 years or is an arch/eng "good practice".

Estimated Construction Cost is based on 2021 RSMeans data regionalized for Stamford, CT with client defined allowances and soft costs applied.



Powered By: CT2000

# Deferred Maintenance & Asset Renewal Report

Rippowam MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

Page 30 of 34

System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
G2030-02-01C Correct Concrete Sidewalk Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	Concrete Area at Bus Loop Where Dumpster is Located		Def Maint	P2 / 1-2 Yrs	Damage/Wear	1,600 SQFT	\$37,908
G2030-02-01C Correct Concrete Sidewalk Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	Lower Walk Along the West Side of the School		Def Maint	P2 / 1-2 Yrs	Damage/Wear	3,850 SQFT	\$91,216
G2030-02-01C Correct Concrete Sidewalk Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	Plaza at Bus Drop Off Entrance-East Side of School		Def Maint	P2 / 1-2 Yrs	Damage/Wear	5,300 SQFT	\$125,570
G2030-02-01C Correct Concrete Sidewalk Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	Upper Walk Along the West Side of the School		Def Maint	P2 / 1-2 Yrs	Damage/Wear	9,750 SQFT	\$231,001
G2030-02-01C Correct Concrete Sidewalk Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	Walk at South Entrance of School. Adjacent to Loading Dock Pull Off		Def Maint	P2 / 1-2 Yrs	Damage/Wear	3,600 SQFT	\$85,293
G2030-02-04C Correct Concrete Sidewalk Finish Deterioration by Prep & Resurface	G2030 Pedestrian Paving	Building Exterior	<i>Sidewalk At Perimeter of Building</i>	Def Maint	P3 / 3-5 Yrs	Damage/Wear	8,500 SQFT	\$104,369

Priority 1 - Work should be performed immediately. Potential Life / Safety Issue.

Priority 3 - Work to be performed within next 3-5 years. Asset will reach useful life soon.

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Estimated Construction Cost is based on 2021 RSMeans data regionalized for Stamford, CT with client defined allowances and soft costs applied.



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# Deferred Maintenance & Asset Renewal Report

Rippowam MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
G2030-02-04C Correct Concrete Sidewalk Finish Deterioration by Prep & Resurface	G2030 Pedestrian Paving	Interior Courtyard		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	4,000 SQFT	\$49,115
G2030-08-01C Correct Concrete Paving Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	Interior Courtyard		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	1,360 SQFT	\$25,905
G2031-01-01C Correct Concrete Above Grade Stair Deterioration by Demolition & Replacement	G2031 Exterior Stair Construction	Building Exterior		Def Maint	P2 / 1-2 Yrs	Energy/ Automation	2 RISR	\$2,589
G2031-01-01C Correct Concrete Above Grade Stair Deterioration by Demolition & Replacement	G2031 Exterior Stair Construction	Main Entrance Stairs on the East Side of School		Def Maint	P4 / 6-10 Yrs	Useful Life	9 RISR	\$11,652
G2031-01-01C Correct Concrete Above Grade Stair Deterioration by Demolition & Replacement	G2031 Exterior Stair Construction	North Stairs on the East Side of the School		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	9 RISR	\$11,652
G2031-01-01C Correct Concrete Above Grade Stair Deterioration by Demolition & Replacement	G2031 Exterior Stair Construction	South Stairs on the East Side of the School		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	9 RISR	\$11,652
G2031-01-01C Correct Concrete Above Grade Stair Deterioration by Demolition & Replacement	G2031 Exterior Stair Construction	Stairs at the Southwest Side of the School		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	9 RISR	\$11,652

Priority 1 - Work should be performed immediately. Potential Life / Safety Issue.

Priority 3 - Work to be performed within next 3-5 years. Asset will reach useful life soon.

Priority 2 - Work to be performed within next 1-2 years. Asset has reached useful life. Priority 4 - Work to be performed within next 6-10 years or is an arch/eng "good practice".

Estimated Construction Cost is based on 2021 RSMeans data regionalized for Stamford, CT with client defined allowances and soft costs applied.



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# Deferred Maintenance & Asset Renewal Report

Rippowam MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
G2031-01-01C Correct Concrete Above Grade Stair Deterioration by Demolition & Replacement	G2031 Exterior Stair Construction	Stairs on West Side of School Going from Apples to Middle School	4" Ht. Treads. Tripping Hazard	Def Maint	P2 / 1-2 Yrs	Damage/ Wear	9 RISR	\$11,652
G2031-01-04C Correct Concrete Above Grade Stair Non Structural Spalling by Topping	G2031 Exterior Stair Construction	Building Exterior		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	800 SQFT	\$31,193
G2033-01-01C Correct Handrail Deterioration by Demolition & Replacement	G2033 Exterior Handrail & Guardrail	Handrails at All Stair Sets on Site		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	225 LNFT	\$19,157
G2033-01-07C Correct Handrail Required by Install New	G2033 Exterior Handrail & Guardrail	Building Exterior		Bldg Imprv	P2 / 1-2 Yrs	Codes - BLDG	10 LNFT	\$652
G2033-03-03C Correct Guardrail Required by Install New	G2033 Exterior Handrail & Guardrail	Building Exterior		Bldg Imprv	P2 / 1-2 Yrs	Codes - BLDG	25 LNFT	\$6,641
G2040-04-02C Correct Chain Link Fence & Gates (4' High) Deterioration by Demolition & Replacement	G2040 Site Development	East Side of Football Field Perimeter		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	25 LNFT	\$675
G2040-04-02C Correct Chain Link Fence & Gates (4' High) Deterioration by Demolition & Replacement	G2040 Site Development	Playground fence	Fence and gates not to current code	Def Maint	P2 / 1-2 Yrs	Codes - BLDG	300 LNFT	\$8,100
G2040-04-06C Correct Chain Link Fence & Gates (8' High) Deterioration by Demolition & Replacement	G2040 Site Development	At Entrance to Football Field/ Track	(2) Double swing gates included	Def Maint	P3 / 3-5 Yrs	Damage/ Wear	100 LNFT	\$9,667

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Estimated Construction Cost is based on 2021 RSMeans data regionalized for Stamford, CT with client defined allowances and soft costs applied.



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# Deferred Maintenance & Asset Renewal Report

Rippowam MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
G2040-04-06C Correct Chain Link Fence & Gates (8' High) Deterioration by Demolition & Replacement	G2040 Site Development	Fence at Baseball Field Benches & Bleachers		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	100 LNFT	\$9,667
G2040-04-10C Correct Chain Link Fence & Gates (12' High) Deterioration by Demolition & Replacement	G2040 Site Development	Tennis Courts	<i>Fence Fabric only will need replacement</i>	Def Maint	P3 / 3-5 Yrs	Damage/ Wear	550 LNFT	\$86,733
G2040-18-03C Correct Tennis Court Surface Finish Deterioration by Prep & Resurface	G2040 Site Development	Tennis Courts		Def Maint	P4 / 6-10 Yrs	Useful Life	1,975 SQYD	\$127,698
G2040-21-05C Correct Football Field (Turf) Deterioration by Demolition & Replacement	G2040 Site Development	Football Field		Def Maint	P4 / 6-10 Yrs	Useful Life	82,000 SQFT	\$1,712,376
G2040-22-04C Correct Baseball or Softball Field Infield Deterioration by Regrade	G2040 Site Development	Baseball Field		Def Maint	P4 / 6-10 Yrs	Useful Life	60 SQYD	\$1,361
G2041-01-01C Correct Baseball or Softball Field Backstop Deterioration by Demolition & Replacement	G2041 Athletic & Recreational Equipment	Baseball Field	<i>Fence Fabric only will need replacement</i>	Def Maint	P3 / 3-5 Yrs	Damage/ Wear	1 EACH	\$18,363
G2041-03-03C Correct Football Field "Y" Goal Post (High School) Deterioration by Demolition & Replacement	G2041 Athletic & Recreational Equipment	Football Field		Def Maint	P4 / 6-10 Yrs	Useful Life	2 EACH	\$19,027
G2050-03-1C Correct Deteriorated Lawn Surface by Restoration, Reseeding & Mulching	G2050 Landscaping	Soccer Fields/Baseball Outfield		Def Maint	P4 / 6-10 Yrs	Useful Life	26,500 SQYD	\$481,850

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# Deferred Maintenance & Asset Renewal Report

Rippowam MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

Page 34 of 34

System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
Total Estimated Cost for <b>G20 Site Improvements</b>								<b>\$4,467,663</b>
<b>G30 Site Civil Mech Utilities</b>								
G3060-02-1C Correct Site Oil Distribution Piping Major Deterioration by Demo and Replacement	G3060 Fuel Distribution	Building Exterior		Def Maint	P2 / 1-2 Yrs	Useful Life	200 LNFT	\$46,221
Total Estimated Cost for <b>G30 Site Civil Mech Utilities</b>								<b>\$46,221</b>
<b>H10 Space Requirements</b>								
H1020-01-2C Correct General Space Entrance not ADA Jamb Clearance Compliant by Demo & Reconfigure Space Entrance	H1020 Space Reconfiguration	Building Wide	<i>Reconfigure entrance at select classrooms to provide access.</i>	Def Maint	P4 / 6-10 Yrs	Codes - BLDG	8 EACH	\$102,556
Total Estimated Cost for <b>H10 Space Requirements</b>								<b>\$102,556</b>

**Rippowam Middle School Total Estimated Cost: \$51,400,162**

Total Estimated "Deferred Maintenance" Cost: **\$49,987,435**

Total Estimated "Building Improvement" Cost: **\$1,412,726**

Priority 1 - Work should be performed immediately. Potential Life / Safety Issue.

Priority 3 - Work to be performed within next 3-5 years. Asset will reach useful life soon.

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Estimated Construction Cost is based on 2021 RSMeans data regionalized for Stamford, CT with client defined allowances and soft costs applied.

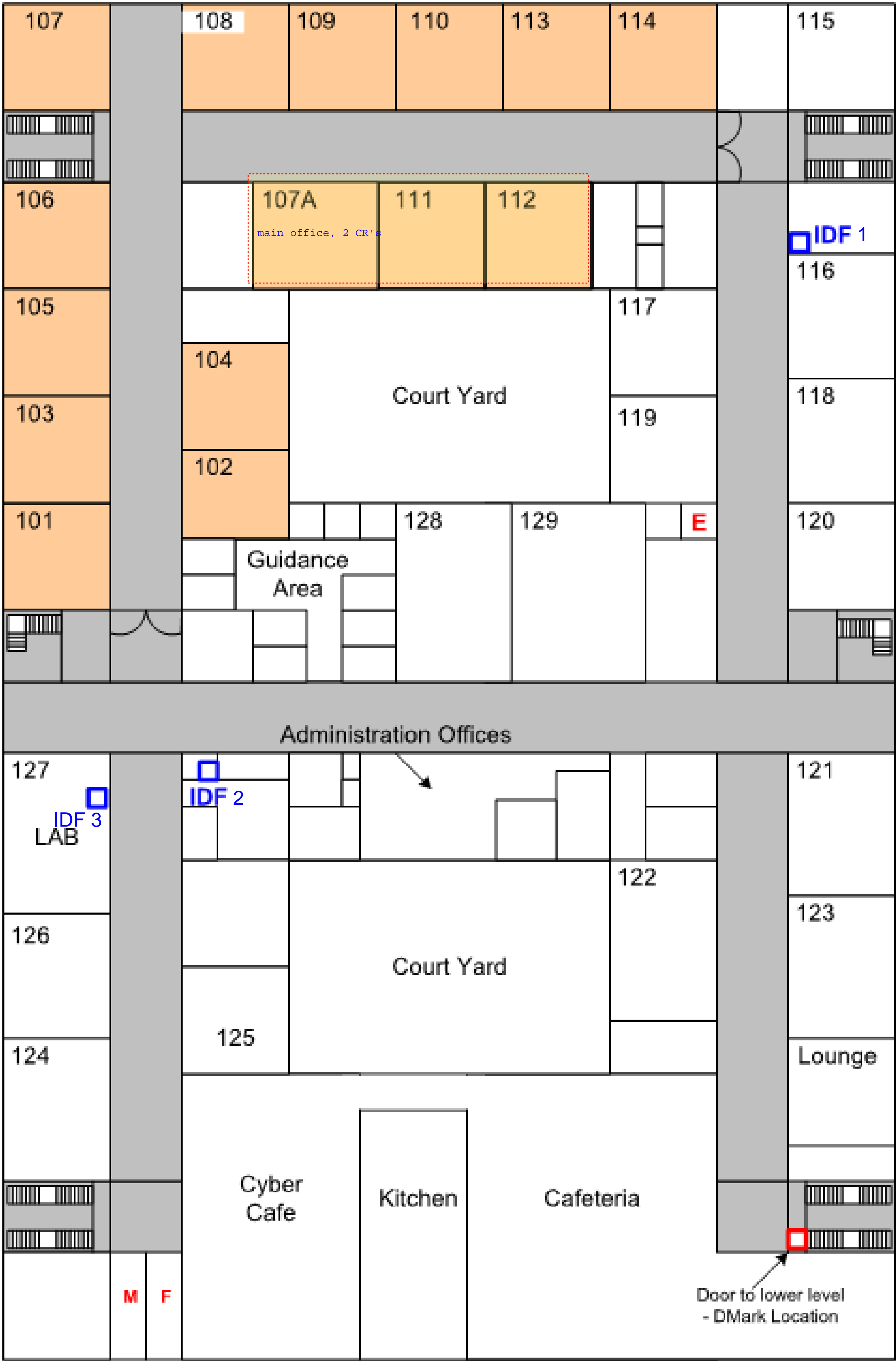


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LAN Closet Locations

☐ = LAN Closet

Rip Apples Pre-K-K Wing



Rear of Building

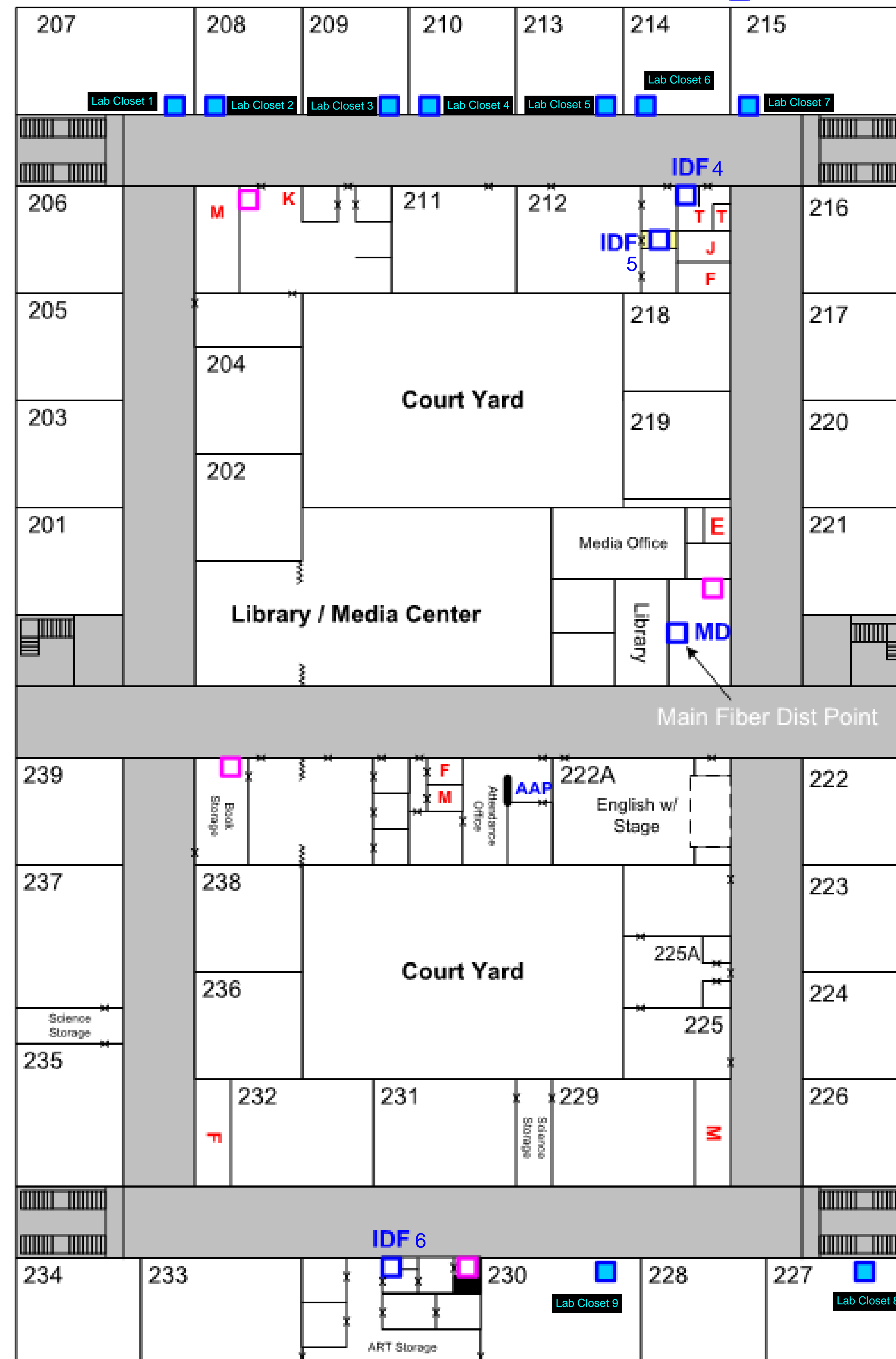
# Rippowam Middle School

2nd Floor

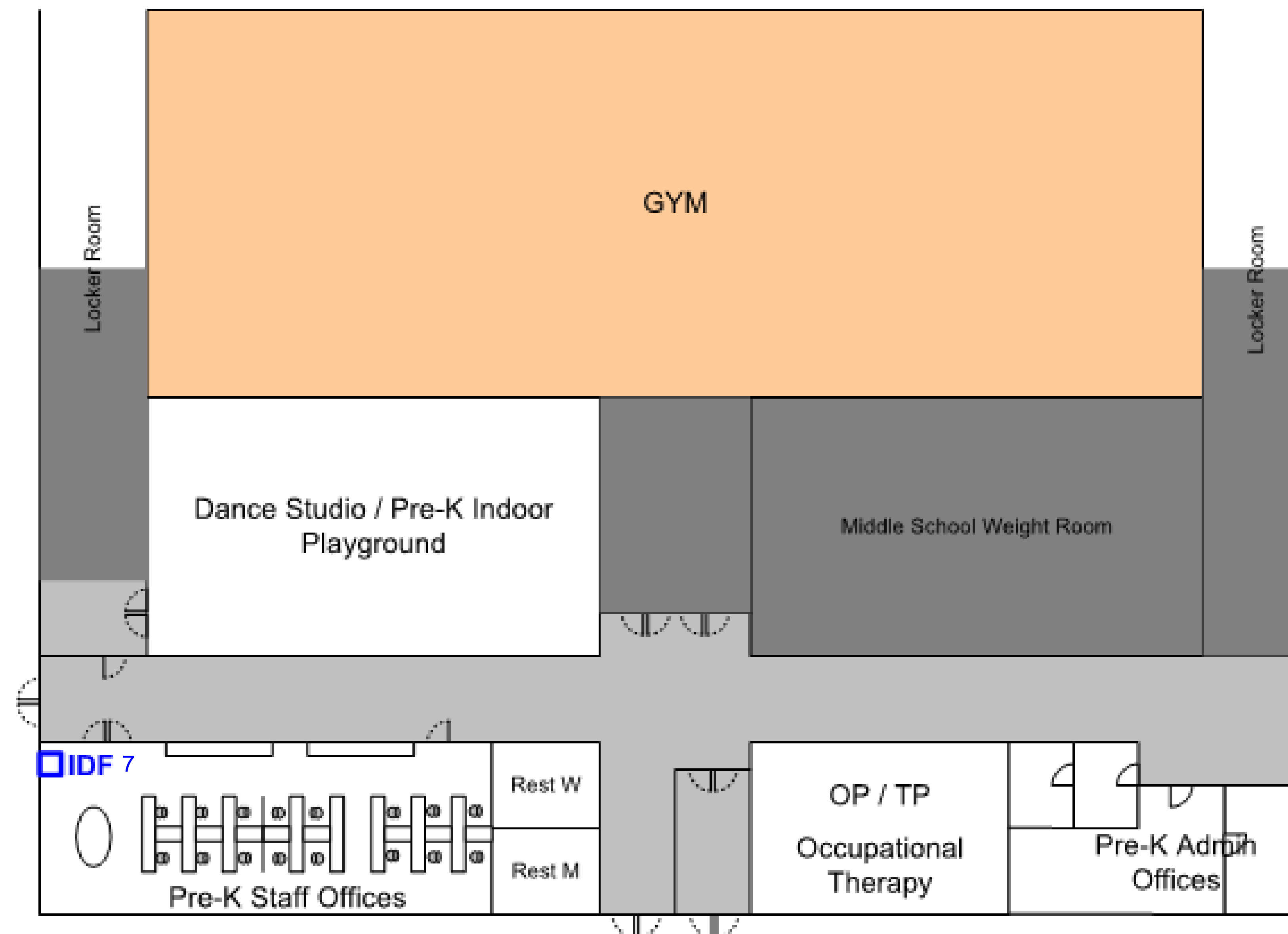
07/2021

## LAN Closet Locations

- Transformer
- LAN Closet
- Lab Closet



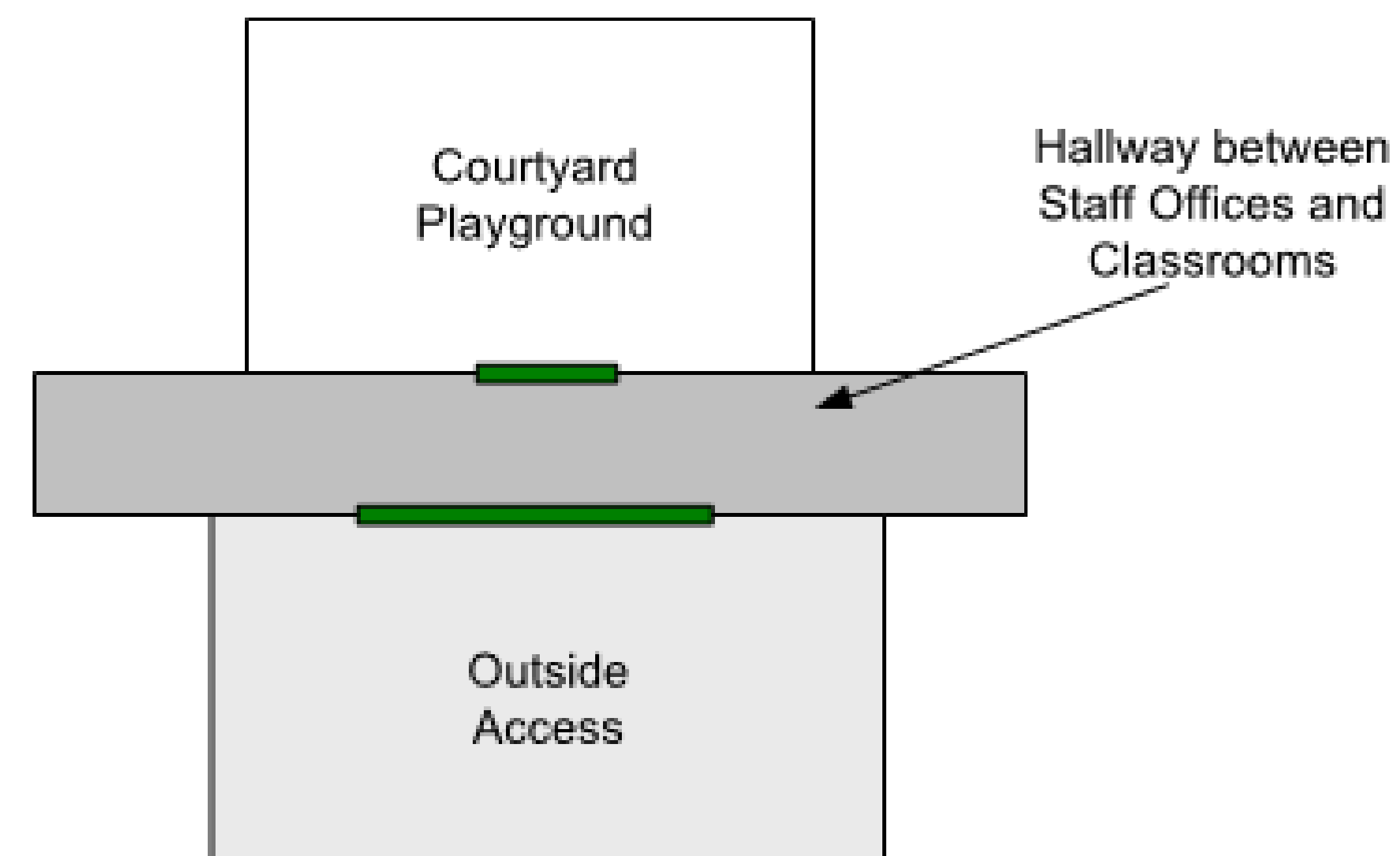




### Rip Apples Pre-K Wing

### LAN Closet Locations

07/2021

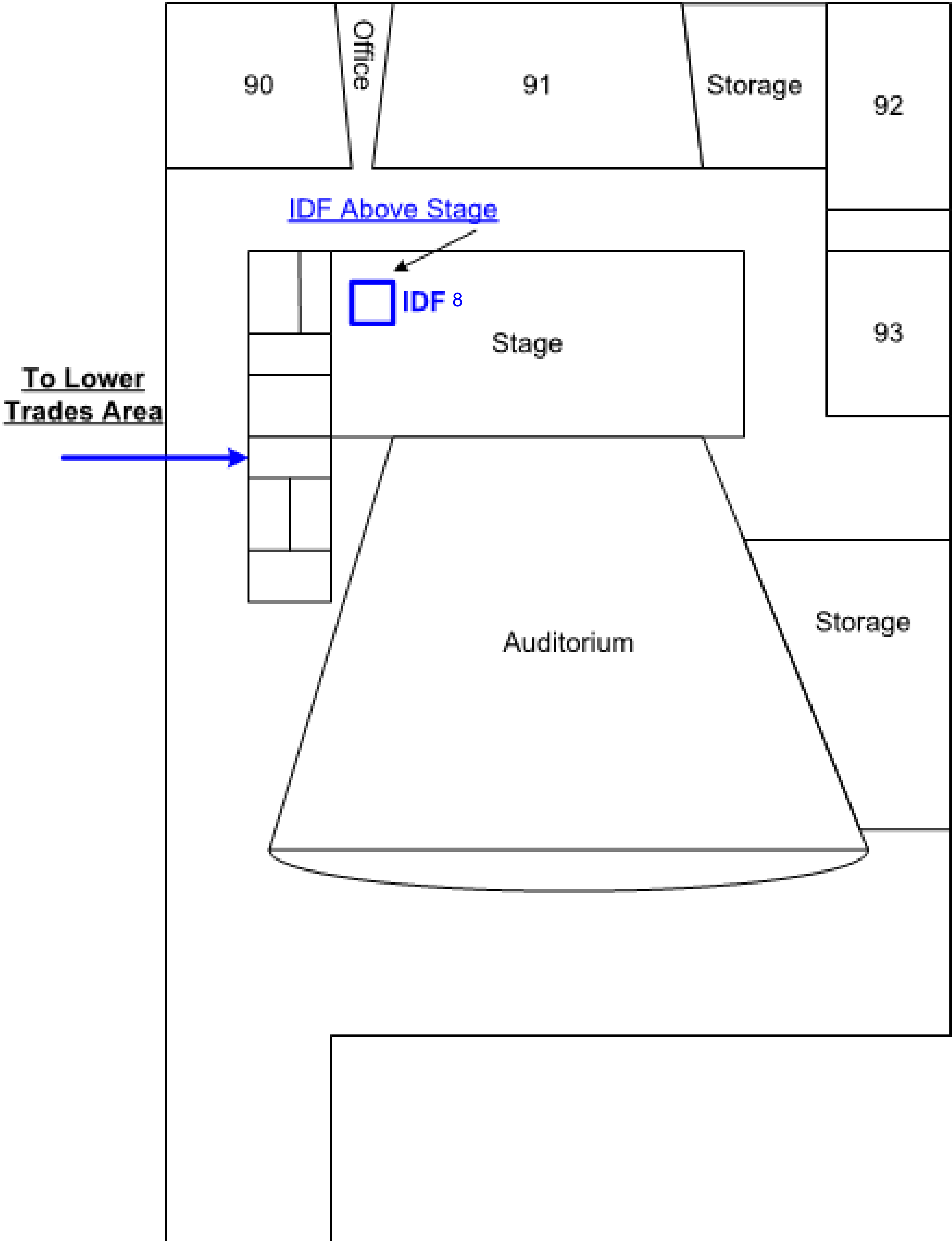


**Rippowam Middle School**

Auditorium Area

**LAN Closet Locations**

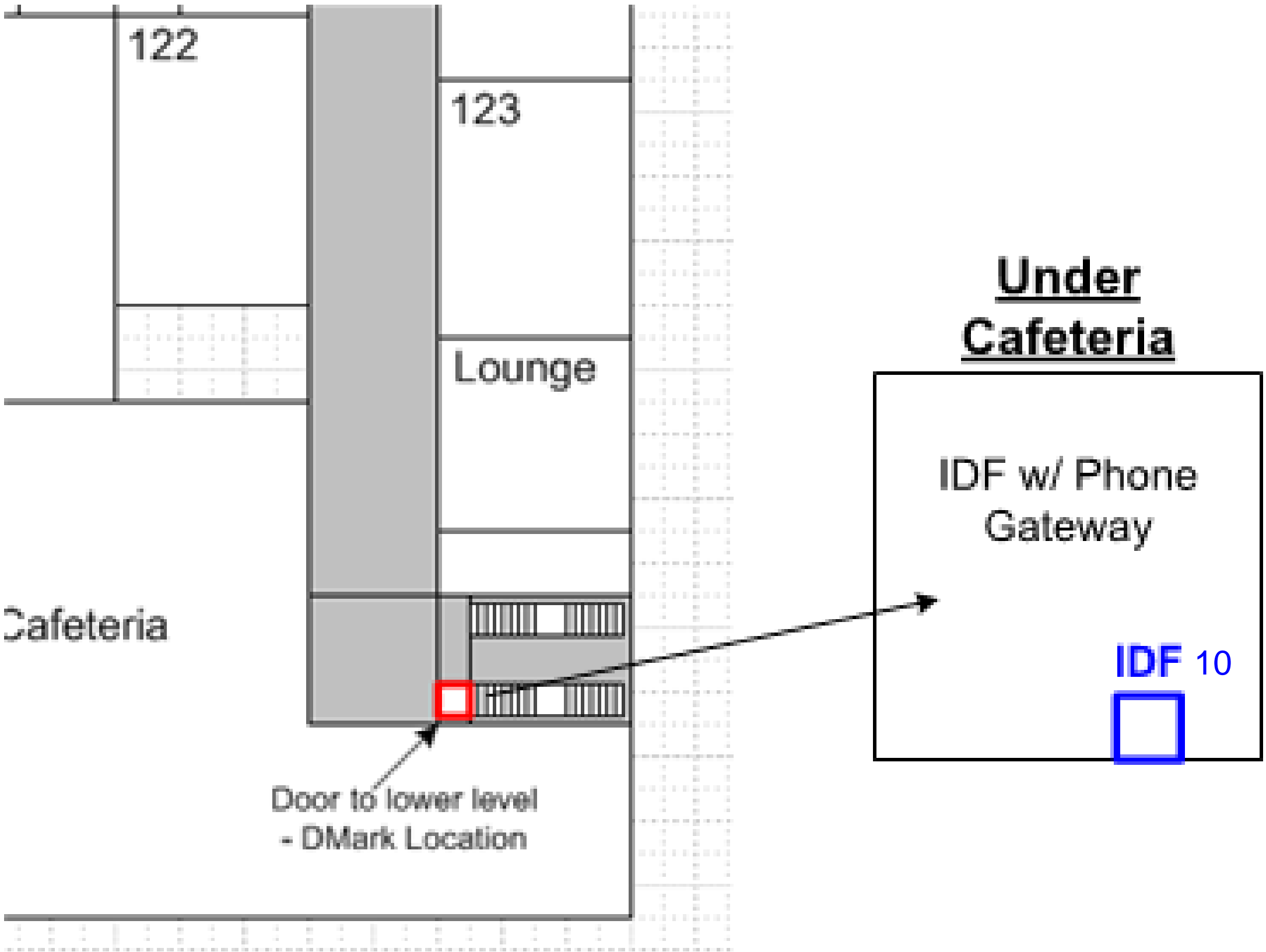
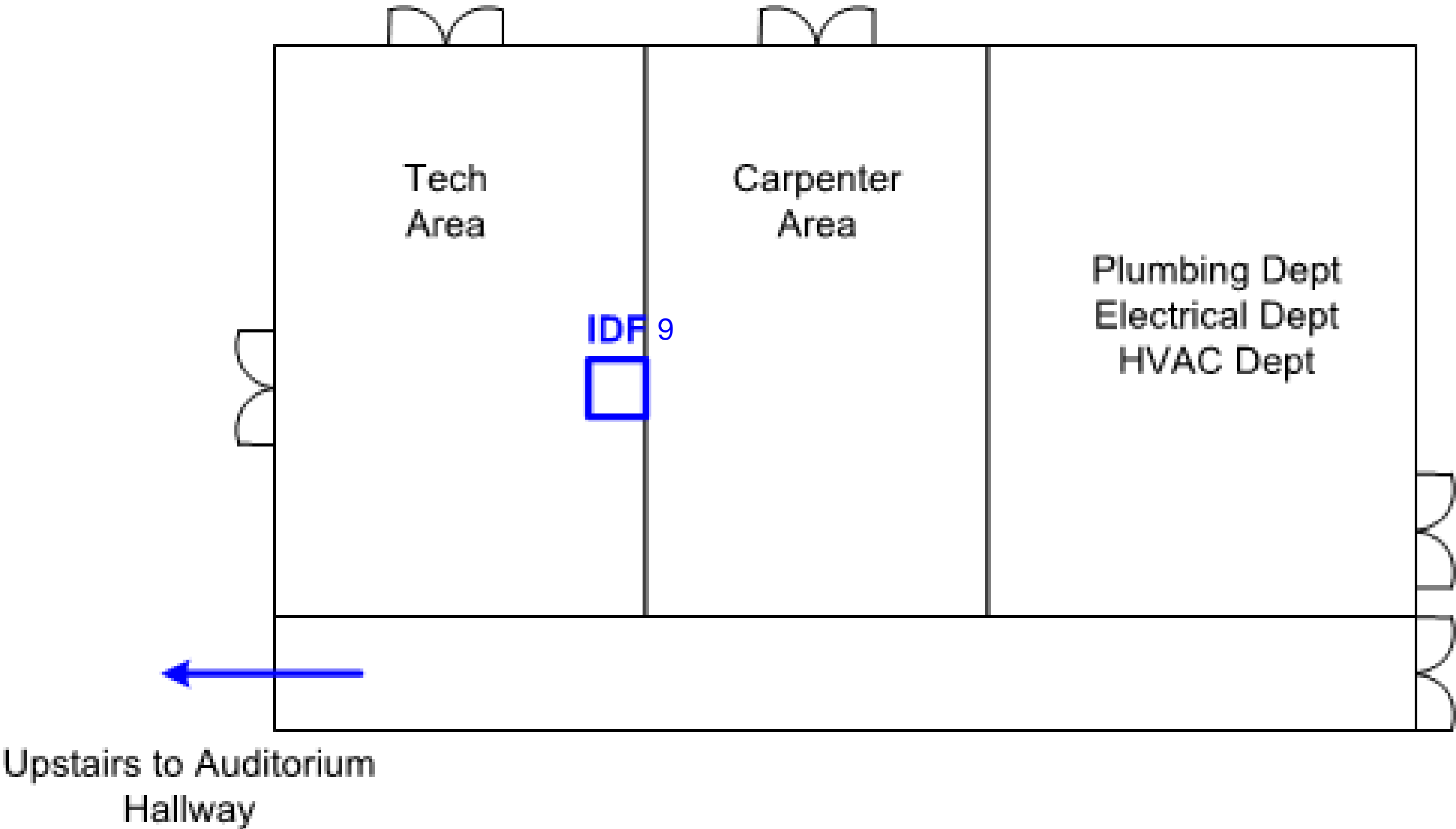
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**Rippowam Middle School**  
**Lower Level (Back of School)**

**LAN Closet Locations**

07/2021





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# 2021

## Scofield Magnet MS Facility Assessment & Analysis Report



Optimized by

### Property:

Scofield Magnet Middle  
641 Scofieldtown Road  
Stamford, Connecticut 06903

### Prepared By:

StudioJAED  
42 Weybosset Street, Suite 403  
Providence, RI 02903  
401.648.0884

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## 1.0 Authorized Assessment Account

In June 2021, StudioJAED was sub-contracted by the S/L/A/M Collaborative Inc. on behalf of Stamford Public Schools to conduct a district-wide facility condition assessment and analysis of the Scofield Magnet Middle property located in Stamford, Connecticut. The primary goal of this project was to (1) investigate existing conditions and (2) identify deferred maintenance and long term capital renewal needs. As per industry standard guidelines, StudioJAED surveyed the property, interviewed site personnel, reviewed available construction/maintenance documents, and recorded observations related to the physical site and associated building structure. SLAM teamed with SLR to perform the site assessment and D'Agostino & Associates for technology / security.

This report is for the use of Stamford Public Schools and their assignees. All parties agree by accepting this report that any use of this report shall be limited by the exceptions and qualifications in this report, acknowledge that actual site conditions may change with time, and hidden conditions may exist at the property that were not discovered within the scope of the assessment. Any use of this report by other parties is at the risk of such party.

StudioJAED used a degree of care and skill ordinarily exercised by consultants in the preparation of the report and in assembling the data contained herein. No warranties are provided, either expressed or implied. StudioJAED is not responsible for conclusions, opinions, or recommendations made by others based on this information.

The Facility Assessment and Analysis Report was completed and reviewed by the undersigned team members. Any questions regarding this report should be directed to Pamela Babuca at babucap@studiojaed.com or (401) 648-0884.

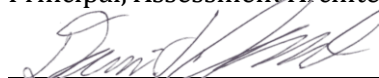
### StudioJAED

Discipline Lead:



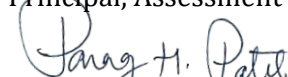
Philip R. Conte, AIA, NCARB  
Principal, Assessment Architect

Discipline Lead:



David T. Spangler, P.E.  
Principal, Assessment Mechanical / Plumbing Engineer

Discipline Lead:



Parag H. Patel, P.E.  
Assessment Electrical Engineer

Report Reviewer:



Pamela J. Babuca, ALEP, ASID, IFMA  
Principal



## 2.0 Executive Summary

StudioJAED Architects and Engineers, along with specialty systems sub-consultants SLR and D’Agostino & Associates, performed a facility condition assessment and analysis of the Scofield Magnet Middle property located in Stamford, Connecticut hereinafter referred to as the “Property”. The purpose of the assessment was to perform a visual analysis of the Property’s general condition and identify recommendations for major building systems and equipment maintenance, repair, or replacement over the next (10) ten years. Items identified were considered significant for the facility to continue in its current operation and/or to be restored to a condition consistent with comparable facilities of similar age.

### 2.1 Scope of Work

The primary field survey was conducted on 7, September, 2021 and the weather, as recorded on Accuweather.com, was partly cloudy with actual high and low temperatures of 82°F/68°F. The assessment team reviewed available documentation and interviewed site personnel regarding knowledge of any known existing conditions or issues. A general list of typical elements surveyed includes the following:

- Site and Grounds – Pavement, Parking, Curbs, Loading Docks, Walks, Landscaping, Irrigation, Site Drainage, Exterior Lighting, Walls, Fencing/Railing, and Exterior Amenities.
- Structural Systems – Readily observable portions of Foundations and Structural Framing of Walls, Columns, Intermediate Floors and Roofs.
- Building Envelope – Roofing Systems, Exterior Finishes, Stairs and Steps, Exterior Doors, and Exterior Windows.
- Interior Building Components – Property-owned Electrical, Heating/Ventilating/Air Conditioning (HVAC), and Plumbing Systems.
- Safety and Code Compliance – Life Safety, Fire Suppression Systems, and General Visual Review of Accessibility to Disabled Persons to include Accessible Exterior and Interior Routes, Doors and Common Toilet Facilities.

### 2.2 Prioritization of Need

Recommended corrective actions to repair and/or replace a building system or component were assigned a priority which, in the opinion of the assessor, classified the urgency of the work to be performed. The 10 year prioritization model utilized for this project was based on an industry standard, 4 tier approach. Definitions for each of the priority classifications are as shown.

#### **PRIORITY CLASSIFICATIONS:**

##### ***Priority 1 - Immediate***

*Work should be performed immediately.  
Potential safety or security risk.*

##### ***Priority 2 - High***

*Work to be performed within next 1-2 years.  
Asset has reached the end of useful life.*

##### ***Priority 3 - Medium***

*Work to be performed within next 3-5 years.  
Asset will reach the end of useful life soon.*

##### ***Priority 4 - Low***

*Work to be performed within next 6-10 years.  
Anticipated need for repair or replacement.*



## 2.3 Findings & Recommendations

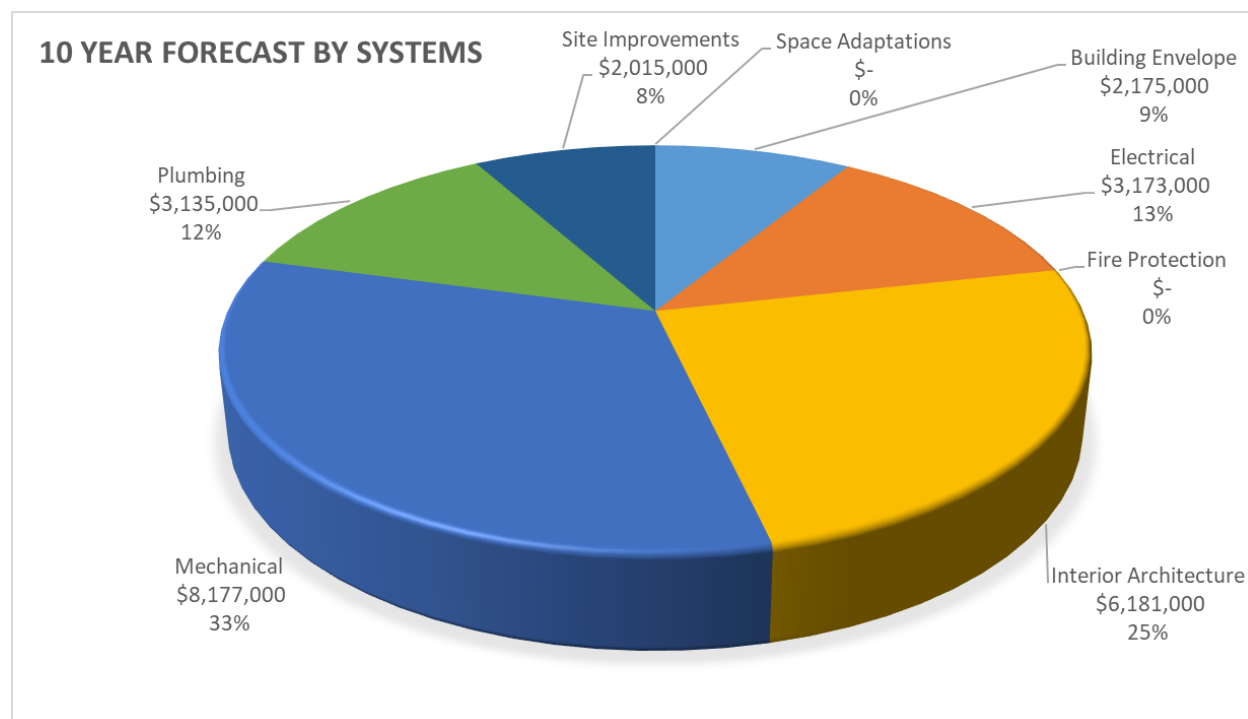
StudioJAED analyzed the recommended corrective actions considered significant for the Property to continue in its current operation and/or to be restored to a condition consistent with comparable facilities of similar age. A summary of the improvement

needs have been quantified from two unique perspectives. The 10 Year Forecast by Priority table provides an understanding of need based on the urgency or timeline for work to be completed. Based on industry standard architectural and engineering best practices, approximately (43%) forty-three percent of the work should be completed within the next 1-2 years.

The 10 Year Forecast by Systems provides an analysis of estimated improvement needs by major systems. The data indicates that the Mechanical (33%), Interior Architecture (25%), and Electrical (13%) systems have the greatest overall investment needs. Refer to Appendix A to review a more detailed description of needs in the Deferred Maintenance & Asset Renewal Report.

**10 YEAR FORECAST BY PRIORITY**

Priority	Extended Cost	% of Need
Immediate	\$ -	0.0%
High (1 - 2 Years)	\$ 10,637,186	42.8%
Medium (3 - 5 Years)	\$ 6,336,960	25.5%
Low (6 - 10 Years)	\$ 7,881,854	31.7%
	<b>\$ 24,856,000</b>	<b>100%</b>



Based on the review of available documentation, onsite interview, and field observations, it is StudioJAED's opinion that the Main Building is in overall good condition. Refer to Section 4.0, General Physical Condition Rating, for additional information regarding the condition of major systems from a cost per gross square feet analysis of needs perspective.





## 3.0 General Property & Building Systems Description

### 3.1 Site / Amenities

The property is located at Scofield Magnet Middle, Stamford, Fairfield County Connecticut on approximately 45.46 acres. The property slopes gently downward from the west side of the property toward the east property line and the landscaping consists of trees, shrubs, and grasses. Play areas are covered with a grass surface. Retaining walls are located at the grade changes near the dumpsters and the cafeteria entrance at the east side of the building.

There are approximately 251 spaces in two open lots. The paved parking areas are in poor condition with evidence of cracking and pavement section deterioration. Paved drive isles are in poor condition. The drop off isle is in good condition and new. Curbing on site is fair condition. Sidewalk surfaces are in fair to poor condition. Site lighting is minimal, and a photometric study should be done to determine deficiencies that exist. Fencing is provided along the retaining walls, around the condensing units at the east side of the property, and around the gas meter at the west side of the property. The perimeter fencing is in good condition with isolated sections of damage. Grass play areas/field appear to be in good condition. There is no ADA access to the baseball field. Constructed play areas are not located on site. Storm water from the roofs, landscaped areas, and paved areas flows into on site inlets and catch basins. There is underground piping, which outfalls to a wetlands area located on the property.

Sanitary sewer and the storm water sewer are provided by the Septic System. Domestic water is supplied by Aquarian, electrical service by CL&P, and natural gas is provided by Yankee Gas.









## 3.2 Architectural Systems

### Main Building

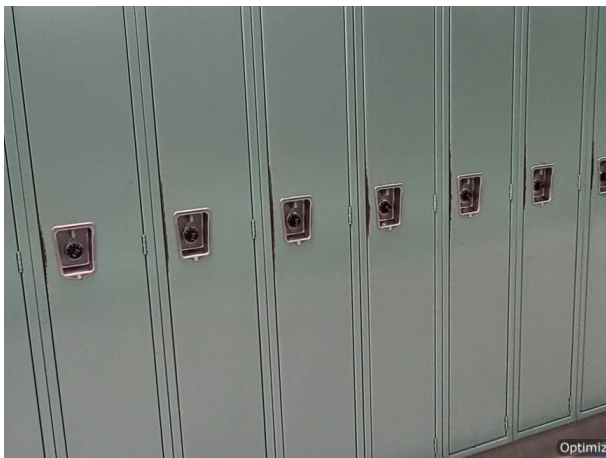
Scofield Magnet Middle is approximately 149,188 square feet and is a two storey structure. The building is reinforced concrete slab on grade, masonry non-bearing walls and open web steel joist roofs, steel frame with concrete-topped metal decks. The roof assembly is comprised of a flat roof, fully adhered white EPDM systems, along with a shallow barrel vaulted area and adhered EPDM at gymnasium. The exterior wall finish is brick veneer, cast stone ornamentation and anodized aluminum trim. There is no evidence of significant settlement or structural failure.

The exterior building envelope is in fair condition. EPDM roofing is recommended to be replaced. Exterior windows are recommended to be recaulked to prevent moisture infiltration. Portions of the exterior façade are in need of repair.

Interior floor finishes include resilient tile, ceramic tile, carpet, wood plank, and painted concrete slab and are in fair condition. Interior wall finishes include painted drywall, painted concrete, painted CMU, painted plaster, and ceramic tile and are in fair condition. Interior ceiling finishes include exposed structure, suspended acoustic tiles, and painted drywall and are in fair condition. All interior doors are worn and approaching the end of their useful life. Classroom and conference room projection equipment should be replaced.







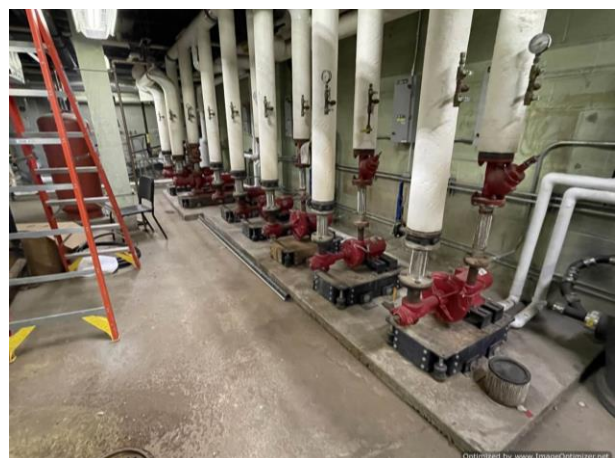
### 3.3 Mechanical Systems

#### Main Building

The school is heated by two dual fuel hot water boilers circa 2011. The boilers are predominately run on natural gas. Heating is also provided by 11 packaged Roof Top Unit furnaces (RTUs) installed circa 2001. Hot water is distributed to Variable Air Volume (VAVs) units and other select terminal units as well as fin tube radiation throughout the building all installed circa 2001. Cooling in the main building is primarily provided by the above mentioned packaged RTUs. The school has a two pipe distribution system for hot water distribution. The cafeteria and adjacent spaces are heated and cooled via a split system with VAVs and a hot water coil installed circa 2001.

#### HVAC System Comprehensive Improvement Analysis

The existing mechanical system at Scofield Magnet MS provides adequate heating, ventilation, and air conditioning building-wide. Therefore, the District-Wide Summary: 10 Year Forecast Cost Analysis only includes the capital improvement needs identified in the Deferred Maintenance & Asset Renewal Report.







### 3.4 Plumbing Systems

#### Main Building

The building plumbing systems are provided by domestic hot water from 2 domestic water boilers, a domestic water storage tank, and hot water re-circulators located in the boiler room. These appear to be circa 2010. The building's plumbing fixtures and piping, etc. appear to be circa 2001.



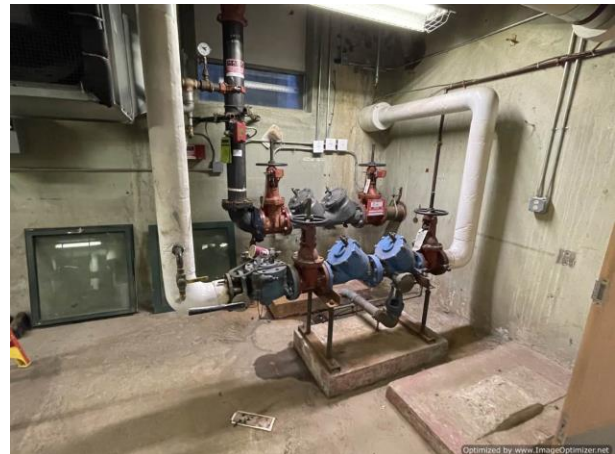
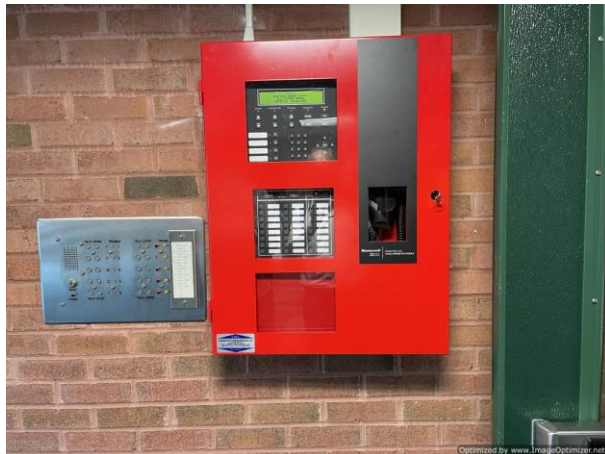


### 3.5 Fire & Other Protection Systems

#### Main Building

A wet pipe sprinkler system serves the entire building. It was installed circa 2001.

Fire protection and life safety in the building is provided by fire alarm system and sprinkler system. Sprinkler system is comprised of sprinkler heads installed building-wide. There is no fire pump in the building. At the present time, the fire alarm system is being replaced in the school with all devices, wiring, power supplies and the main control panel.



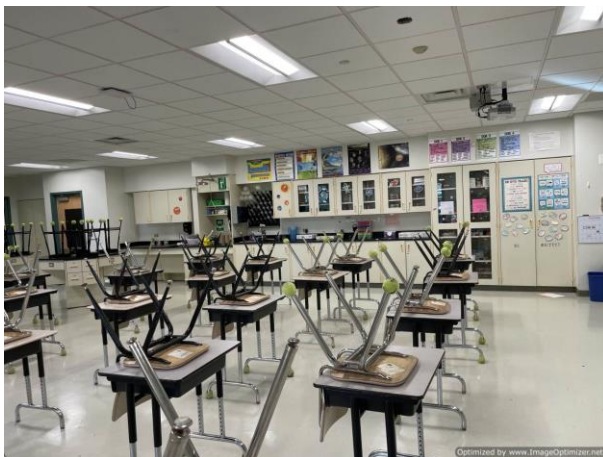
### 3.6 Electrical Systems

#### Main Building

The electric service to the main building is supplied by Utility Company owned pad mounted transformer. Secondary service feeders from this transformer terminate in a 5000 amp, 480 y /277 volt, 3ph, 4 wire switchboard with main circuit breaker and distribution sections. HVAC equipment and lighting are powered form 480/ 277 volt panelboard located throughout the building. Step down power for outlets and miscellaneous equipment are provided by dry type transformers and panelboards. Wiring in the building is mixture of recessed and EMT conduit. Recessed wiring concealed in either wall or ceiling space. Equipment wiring is in EMT conduit. Emergency power to building is provided by on-site 600 kW, diesel fired generator set and 4 automatic transfer switches. Wiring and electrical equipment are in good shape with no known deficiencies. Lighting in the building is LED controlled by motion sensors.



Refer to Appendix B to view a floor plan notating the location and name of each technology room.





## 3.7 Technology & Security Systems

### Technology

The main building has a mix of Category 5E and Category 6 cabling supporting all end devices, which is adequate to support the current technology and security systems. We recommend replacing this cabling to the most recent category rating to accommodate future technology devices. Fiber optic backbone cabling between the MDF and each IDF (6 total) consists of OM1 62.5/125um fiber optic cabling, which is capable of 1 Gbps per fiber pair. We recommend installing and replacing this fiber to OM4, which will support 40Gbps, to support the bandwidth requirements of new technology, especially the increased future use of Wi-Fi.

The Public Address system is an antiquated analog system and beyond its useful life and maintenance. We recommend replacing this system for new. The Master Clock System is also antiquated and beyond its useful life. We recommend upgrading the Master Clock System to provide an accurate time source.

Classroom Interactive Boards currently have a mixed age of boards. Most of the boards were installed before 2014 which would make them 7 years old and older. These boards will be coming into their useful life and will need an upgrade in the coming years.

Refer to Appendix B to view a floor plan notating the location and name of each technology room.

### Security

The Intrusion Detection Security system is antiquated and recommended to be upgraded. The Video Surveillance System has been upgraded with new IP cameras in several areas of the school. There are locations where existing analog cameras are still being used and viewed on this new system. Coverage of the school is fair. We recommend replacing the existing analog cameras with IP cameras and supplementing the coverage with new IP cameras. The main entry door is equipped with an antiquated Aiphone intercom-door-release and a surveillance camera viewing the door. It is recommended to replace the existing Aiphone device with a modern device to include video that will assist with the assessment of a visitor requesting access into the school.



## 4.0 General Physical Condition Rating

The general physical condition ratings identified below are based on StudioJAED's visual inspection and overall impression of the Property's major building systems assessed as defined in the Executive Summary, Section 2.0.

MAIN BUILDING		Condition Rating		
Item	Building / Site System	Good	Fair	Poor
1	Building Envelope		X	
2	Interior Architecture		X	
3	Mechanical Systems		X	
4	Electrical Systems	X		
5	Plumbing Systems		X	
6	Fire Alarm / Protection Systems	X		
7	Site Improvements		X	X

## 5.0 Opinions of Probable Costs

The opinions of probable cost presented in this document are for repair or renewal / replacement projected capital needs identified from a visual inspection of the defined Property site elements and primary building systems anticipated over the subsequent 10 year term. These opinions are based on StudioJAED's knowledge of industry standards and recommended "good" architectural and engineering practice. For the purpose of generating projected investment dollars, needs were calculated based on approximate quantities and estimated unit cost values were defined. Recommended corrective actions recorded do not constitute a warranty that all items, which may require repair or replacement, are included.

As a measure of quality assurance, StudioJAED's cost estimates were developed by our Certified Professional Estimators. All unit "trade" costs were developed using the RSMeans "CostWorks" application which was regionally adjusted to the materials, labor, and equipment cost for Bridgeport, Connecticut. The cost model approach applied to each corrective action was based on Construction Management-at-Risk (CMAR) with an additional (20%) twenty percent allowance to cover design fees and owner contingency.

The opinions of probable costs should be considered a preliminary order of magnitude for budget development. It also assumes that each facility will continue to operate in its current capacity and relative quality of care. Actual costs will vary from StudioJAED's probable costs based on a number of potential factors such as: a finer granularity or understanding of required scope of work, design solution approach, type of construction, quality of materials, equipment or system specifications, field conditions, need for abatement of hazardous materials, decision to comprehensively replace equipment or system versus partial replacement / repair, phased or staged implementation (if required), quality of contractor, overall project management, solicitation of competitive pricing, etc. An expanded budget projection/analysis typically requires the development of schematic design documents and preliminary specifications to obtain contractor bid estimates.

## 6.0 Limitations & Qualifications

The services described within this document were performed by StudioJAED. No warranties are provided, either expressed or implied. While StudioJAED made every reasonable effort to properly evaluate the Property conditions within the contracted scope of work, it is important to recognize that the investigation was limited in several respects including, but not limited to, the following:

StudioJAED's findings and conclusions are based primarily on the visual appearance of the Property at the time of our site visit and comparatively evaluated in contrast to our extensive condition assessment experience. Observations included only areas that were readily accessible to our assessment team members without opening or dismantling any secured components or areas. The scope did not include invasive investigation, component sampling, laboratory analysis, an environmental site assessment, or engineering evaluations of structural, mechanical, electrical, or other systems with related calculations and review of design assumptions.

Some of StudioJAED's conclusions are partially based on information provided by others. For the purposes of this report, we have assumed this information to be complete and correct unless noted otherwise. StudioJAED assumes no responsibility for incorrect information provided by others.

Our opinions of cost represent a preliminary opinion only and are neither a quote nor a warranty or representation as to the actual costs that may be incurred. These estimates are based on typical cost data that may not fully characterize the scope of the Property conditions and are further limited by possible future changes in technology, by regulatory requirements, by Property location, and by contingencies that cannot reasonably be discovered until after commencement of onsite construction activities. StudioJAED shall not be liable to the Client nor any other property for any costs or expenses that may be incurred in excess of these estimates, for any losses that may be incurred as a result of these estimates being different from the actual costs, nor for any damages whatsoever in connection with these estimates.

This report is intended for the use of and may be relied upon only by the entities identified in Section 1.0 – Authorized Assessment Account. The scope of services performed in execution of this investigation may not be appropriate to satisfy the needs of other users, and any use or re-use of this document or its findings, conclusions, or recommendations is at the risk of said user. StudioJAED is not responsible for the conclusions, opinions, or recommendations made by others based on this information.

## Appendices

**Appendix A: Deferred Maintenance & Asset Renewal Report**

**Appendix B: Technology Floor Plans**



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# Deferred Maintenance & Asset Renewal Report

## Scofield Magnet MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
<b>Scofield Magnet Middle School</b>								
<b>B20 Exterior Enclosure</b>								
B2010-02-07C Correct Precast Concrete Wall Stained Finish by Cleaning	B2010 Exterior Wall	Exterior		Def Maint	P2 / 1-2 Yrs	Damage/Wear	1,500 SQFT	\$12,385
B2010-03-01C Correct Brick Masonry Wall Deterioration by Demolition & Replacement	B2010 Exterior Wall	Exterior		Def Maint	P2 / 1-2 Yrs	Damage/Wear	2,500 SQFT	\$216,890
B2011-01-01C Correct Louvers, Grilles & Screens Areaway Grating Deterioration Demolition & Replacement	B2011 Exterior Wall Specialties	Building Exterior		Def Maint	P2 / 1-2 Yrs	Damage/Wear	50 SQFT	\$4,822
B2011-06-02C Correct Exterior Fiber Cement Panel Soffit or Fascia Deterioration by Demolition & Replacement	B2011 Exterior Wall Specialties	Building Exterior		Def Maint	P2 / 1-2 Yrs	Damage/Wear	115 SQFT	\$3,005
B2021-01-07C Correct Window General Moisture or Air Infiltration by Recaulking	B2021 Exterior Window General	Exterior		Def Maint	P3 / 3-5 Yrs	Damage/Wear	6,800 LNFT	\$79,705
B2030-07-02C Correct Fiberglass Door & Frame Deterioration by Demolition & Replacement	B2030 Exterior Door	Exterior		Def Maint	P2 / 1-2 Yrs	Damage/Wear	38 EACH	\$170,893
B2030-08-02C Correct Overhead Door & Frame Deterioration by Demolition & Replacement	B2030 Exterior Door	Exterior		Def Maint	P2 / 1-2 Yrs	Damage/Wear	100 SQFT	\$13,432
Total Estimated Cost for <b>B20 Exterior Enclosure</b>								<b>\$501,133</b>

Priority 1 - Work should be performed immediately. Potential Life / Safety Issue.

Priority 3 - Work to be performed within next 3-5 years. Asset will reach useful life soon.

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# Deferred Maintenance & Asset Renewal Report

## Scofield Magnet MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
<b>B30 Roofing</b>								
B3010-11-01C Correct EPDM Roof Deterioration by Demolition & Replacement	B3010 Roof Covering	Gymnasium Roof		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	11,850 SQFT	\$466,288
B3010-11-01C Correct EPDM Roof Deterioration by Demolition & Replacement	B3010 Roof Covering	Roof		Def Maint	P2 / 1-2 Yrs	Useful Life	29,000 SQFT	\$1,141,127
B3020-03-01C Correct Skylight Deterioration by Demolition & Replacement	B3020 Roof Opening	Roof	6 @ 24 sqft each	Def Maint	P2 / 1-2 Yrs	Damage/ Wear	144 SQFT	\$29,603
B3020-04-01C Correct Roof Hatch Deterioration by Demolition & Replacement	B3020 Roof Opening	Roof		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	1 EACH	\$2,193
B3020-04-05C Correct Roof Hatch Guardrail Required by Install New	B3020 Roof Opening	Roof		Bldg Imprv	P2 / 1-2 Yrs	Codes - BLDG	1 EACH	\$2,474
B3060-08-01C Correct Roof Protection Pad Deterioration by Demolition & Replacement	B3060 Roof Specialties	Roof		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	270 EACH	\$26,906
B3060-09-01C Correct Roof Access Ladder Deterioration by Demolition & Replacement	B3060 Roof Specialties	Roof		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	12 LNFT	\$5,086
Total Estimated Cost for <b>B30 Roofing</b>								<b>\$1,673,677</b>

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# Deferred Maintenance & Asset Renewal Report

## Scofield Magnet MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
<b>C10 Interior Construction</b>								
C1020-01-02C Correct Hollow Metal Door Frame Deterioration by Demolition & Replacement	C1020 Interior Door	Building Wide		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	4 EACH	\$3,929
C1020-02-01C Correct Wood Door Deterioration by Demolition & Replacement	C1020 Interior Door	Building Wide		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	200 EACH	\$425,546
C1030-07-04C Correct Locker Finish Deterioration by Prep & Refinish	C1030 Fittings & Accessories	Building Wide		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	644 EACH	\$50,441
Total Estimated Cost for <b>C10 Interior Construction</b>								<b>\$479,916</b>
<b>C20 Stairs &amp; Ramps</b>								
C2020-05-02C Correct Resilient / Rubber Stair Tread & Riser Finish Deterioration by Demolition & Replacement	C2020 Interior Stair Finish	Stair Tower		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	475 LNFT	\$36,869
Total Estimated Cost for <b>C20 Stairs &amp; Ramps</b>								<b>\$36,869</b>
<b>C30 Interior Finishes</b>								
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Building Wide		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	58,293 SQFT	\$243,963
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Cafeteria		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	4,100 SQFT	\$17,159

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# Deferred Maintenance & Asset Renewal Report

## Scofield Magnet MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Classroom		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	37,908 SQFT	\$158,650
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Gymnasium		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	12,150 SQFT	\$50,849
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Kitchen		Def Maint	P3 / 3-5 Yrs	Useful Life	810 SQFT	\$3,390
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Locker Room		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	6,120 SQFT	\$25,613
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Media Center		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	5,670 SQFT	\$23,730
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Restroom		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	2,908 SQFT	\$12,170
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Stair Tower		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	12,000 SQFT	\$50,221
C3010-03-02C Correct Ceramic Tile Wall Finish Deterioration by Regrouting	C3010 Wall Finish	Kitchen		Def Maint	P4 / 6-10 Yrs	Damage/ Wear	1,488 SQFT	\$43,015

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# Deferred Maintenance & Asset Renewal Report

## Scofield Magnet MS

**Project Name:** 2021 Stamford Facility Assessment

**Building Type:** Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
C3010-03-02C Correct Ceramic Tile Wall Finish Deterioration by Regrouting	C3010 Wall Finish	Locker Room		Def Maint	P4 / 6-10 Yrs	Damage/ Wear	1,620 SQFT	\$46,831
C3010-03-02C Correct Ceramic Tile Wall Finish Deterioration by Regrouting	C3010 Wall Finish	Restroom		Def Maint	P4 / 6-10 Yrs	Damage/ Wear	11,599 SQFT	\$335,303
C3020-01-04C Correct Concrete Interior Floor Finish Deterioration by Prep & Refinish (101-1000 SF)	C3020 Floor Finish	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	650 SQFT	\$22,383
C3020-01-05C Correct Concrete Interior Floor Finish Deterioration by Prep & Refinish (1001 SF and Above)	C3020 Floor Finish	Boiler Room		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	4,033 SQFT	\$113,279
C3020-02-01C Correct Resilient Tile Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	12,750 SQFT	\$125,425
C3020-02-01C Correct Resilient Tile Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Building Wide		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	22,150 SQFT	\$217,895
C3020-02-01C Correct Resilient Tile Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Cafeteria		Def Maint	P2 / 1-2 Yrs	Useful Life	5,455 SQFT	\$53,662
C3020-02-01C Correct Resilient Tile Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Classroom		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	26,000 SQFT	\$255,768

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# Deferred Maintenance & Asset Renewal Report

*Scofield Magnet MS*

**Project Name:** 2021 Stamford Facility Assessment

**Building Type:** Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
C3020-02-01C Correct Resilient Tile Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Classroom		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	20,755 SQFT	\$204,172
C3020-02-01C Correct Resilient Tile Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Kitchen		Def Maint	P4 / 6-10 Yrs	Damage/ Wear	197 SQFT	\$1,938
C3020-02-01C Correct Resilient Tile Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Locker Room		Def Maint	P4 / 6-10 Yrs	Useful Life	3,475 SQFT	\$34,184
C3020-02-01C Correct Resilient Tile Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Media Center		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	824 SQFT	\$8,106
C3020-05-01C Correct Non Slip Rubber Floor Deterioration by Demolition & Replacement	C3020 Floor Finish	Stair Tower		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	2,446 SQFT	\$76,372
C3020-08-03C Correct Ceramic Tile Floor Finish Deterioration by Regrouting	C3020 Floor Finish	Locker Room		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	450 SQFT	\$8,783
C3020-08-03C Correct Ceramic Tile Floor Finish Deterioration by Regrouting	C3020 Floor Finish	Restroom		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	2,250 SQFT	\$43,917
C3020-09-03C Correct Quarry Tile Floor Finish Deterioration by Regrouting	C3020 Floor Finish	Kitchen		Def Maint	P4 / 6-10 Yrs	Damage/ Wear	1,210 SQFT	\$19,118

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# Deferred Maintenance & Asset Renewal Report

## Scofield Magnet MS

**Project Name:** 2021 Stamford Facility Assessment

**Building Type:** Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
C3020-11-02C Correct Hard Wood Floor Finish Deterioration Prep & Refinish	C3020 Floor Finish	Gymnasium		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	10,217 SQFT	\$84,197
C3020-12-01C Correct Carpet Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Building Wide		Def Maint	P3 / 3-5 Yrs	Useful Life	155 SQYD	\$16,510
C3020-12-01C Correct Carpet Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Classroom		Def Maint	P3 / 3-5 Yrs	Useful Life	344 SQYD	\$36,640
C3020-12-01C Correct Carpet Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Media Center		Def Maint	P4 / 6-10 Yrs	Useful Life	493 SQYD	\$52,511
C3020-16-01C Correct Recessed Entrance Floor Mat Deterioration by Demolition & Replacement	C3020 Floor Finish	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	250 SQFT	\$33,854
C3020-16-01C Correct Recessed Entrance Floor Mat Deterioration by Demolition & Replacement	C3020 Floor Finish	Stair Tower		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	50 SQFT	\$6,771
C3030-03-02C Correct Drywall Ceiling Finish Deterioration by Prep & Refinish	C3030 Ceiling Finish	Building Wide		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	1,000 SQFT	\$5,897
C3030-03-02C Correct Drywall Ceiling Finish Deterioration by Prep & Refinish	C3030 Ceiling Finish	Locker Room		Def Maint	P4 / 6-10 Yrs	Damage/ Wear	450 SQFT	\$2,654

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# Deferred Maintenance & Asset Renewal Report

## Scofield Magnet MS

**Project Name:** 2021 Stamford Facility Assessment

**Building Type:** Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
C3030-03-02C Correct Drywall Ceiling Finish Deterioration by Prep & Refinish	C3030 Ceiling Finish	Media Center		Def Maint	P3 / 3-5 Yrs	Damage/Wear	128 SQFT	\$755
C3030-03-02C Correct Drywall Ceiling Finish Deterioration by Prep & Refinish	C3030 Ceiling Finish	Restroom		Def Maint	P3 / 3-5 Yrs	Damage/Wear	4,200 SQFT	\$24,766
C3030-05-02C Correct Suspended Acoustical Ceiling Tile & Grid Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Building Wide		Def Maint	P4 / 6-10 Yrs	Damage/Wear	36,295 SQFT	\$383,145
C3030-05-02C Correct Suspended Acoustical Ceiling Tile & Grid Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Cafeteria		Def Maint	P3 / 3-5 Yrs	Useful Life	5,455 SQFT	\$57,585
C3030-05-02C Correct Suspended Acoustical Ceiling Tile & Grid Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Classroom		Def Maint	P4 / 6-10 Yrs	Useful Life	49,853 SQFT	\$526,268
C3030-05-02C Correct Suspended Acoustical Ceiling Tile & Grid Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Kitchen		Def Maint	P3 / 3-5 Yrs	Useful Life	1,408 SQFT	\$14,863
C3030-05-02C Correct Suspended Acoustical Ceiling Tile & Grid Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Locker Room		Def Maint	P4 / 6-10 Yrs	Damage/Wear	3,475 SQFT	\$36,683

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## Scofield Magnet MS

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
C3030-05-02C Correct Suspended Acoustical Ceiling Tile & Grid Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Media Center		Def Maint	P4 / 6-10 Yrs	Useful Life	5,260 SQFT	\$55,527
C3030-05-02C Correct Suspended Acoustical Ceiling Tile & Grid Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Restroom		Def Maint	P4 / 6-10 Yrs	Damage/Wear	690 SQFT	\$7,284
C3030-05-02C Correct Suspended Acoustical Ceiling Tile & Grid Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Stair Tower		Def Maint	P4 / 6-10 Yrs	Damage/Wear	1,704 SQFT	\$17,988
Total Estimated Cost for <b>C30 Interior Finishes</b>								<b>\$3,559,793</b>
<b>D20 Plumbing</b>								
D2010-01-01C Correct Building Wide Plumbing Fixtures & Trim Deterioration by Demolition & Replacement (Bldg SF)	D2010 Plumbing Fixtures	Building Wide		Def Maint	P3 / 3-5 Yrs	Useful Life	149,188 BLDG SF	\$622,239
D2020-01-01C Correct Domestic Water Piping & Valves & Insulation Deterioration by Demolition & Replacement (Bldg SF)	D2020 Domestic Water Distribution	Building Wide		Def Maint	P4 / 6-10 Yrs	Useful Life	149,188 BLDG SF	\$2,396,652
D2020-06-01C Correct Plumbing Pump Deterioration by Demolition & Replacement	D2020 Domestic Water Distribution	Boiler Room		Def Maint	P4 / 6-10 Yrs	Useful Life	3 EACH	\$23,623

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D2020-09-06C Correct Domestic Water Boiler (Gas Fired 500 MBH) Deterioration by Demolition & Replacement	D2020 Domestic Water Distribution	Boiler Room		Def Maint	P3 / 3-5 Yrs	Useful Life	2 EACH	\$92,158
Total Estimated Cost for <b>D20 Plumbing</b>								<b>\$3,134,672</b>
<b>D30 HVAC</b>								
D3010-02-01C Correct Oil Fuel Transfer Pump Deterioration by Demolition & Replacement	D3010 Energy Supply	Boiler Room		Def Maint	P3 / 3-5 Yrs	Useful Life	2 EACH	\$11,806
D3010-05-02C Correct Natural Gas Distribution Piping Pipe Surface Deterioration by Prep & Refinish	D3010 Energy Supply	Exterior		Def Maint	P3 / 3-5 Yrs	Damage/Wear	50 LNFT	\$640
D3040-04-03C Correct VAV Terminal Unit with HW Reheat Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	100 EACH	\$623,155
D3040-05-01C Correct Gas-Fired Makeup Air Unit (500 MBH) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Roof		Def Maint	P2 / 1-2 Yrs	Damage/Wear	1 EACH	\$49,573
D3040-09-03C Correct Exhaust or Induction Fan (1/5 HP) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Maintenance Storage Room		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$4,893
D3040-09-03C Correct Exhaust or Induction Fan (1/5 HP) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Roof		Def Maint	P2 / 1-2 Yrs	Useful Life	5 EACH	\$24,464

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D3040-09-05C Correct Exhaust or Induction Fan (1/2 HP) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Roof		Def Maint	P2 / 1-2 Yrs	Useful Life	5 EACH	\$28,737
D3040-09-09C Correct Exhaust or Induction Fan (1 HP) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Roof		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$7,706
D3040-09-11C Correct Exhaust or Induction Fan (3 HP) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Transformer Vault Room	1.5 HP	Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$12,205
D3040-09-13C Correct Exhaust or Induction Fan (5 HP) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Roof		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$12,788
D3040-17-15C Correct HVAC Piping System (2 Pipe) & Insulation Deterioration by Demolition & Replacement (BLDG SF)	D3040 HVAC Distribution	Building Wide		Def Maint	P4 / 6-10 Yrs	Useful Life	149,188 BLDG SF	\$2,261,487
D3040-18-01C Correct Hydronic Distribution Base Mount Pump (1.5 HP) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Boiler Room		Def Maint	P3 / 3-5 Yrs	Useful Life	1 EACH	\$19,924
D3040-18-02C Correct Hydronic Distribution Base Mount Pump (3 HP) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Boiler Room		Def Maint	P3 / 3-5 Yrs	Useful Life	4 EACH	\$108,012

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D3040-18-03C Correct Hydronic Distribution Base Mount Pump (5 HP) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Boiler Room		Def Maint	P3 / 3-5 Yrs	Useful Life	2 EACH	\$65,731
D3050-01-08C Correct Packaged Rooftop Air Conditioning & Heating Unit (30 Ton) Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Roof	AC-6, AC-2A, & AC-2B	Def Maint	P2 / 1-2 Yrs	Useful Life	3 EACH	\$445,678
D3050-01-09C Correct Packaged Rooftop Air Conditioning & Heating Unit (40 Ton) Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Roof	AC-5A & AC-5B	Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$353,185
D3050-01-10C Correct Packaged Rooftop Air Conditioning & Heating Unit (50 Ton) Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Roof	AC-1A, AC-1B, AC-3A, AC-3B, AC-4A, & AC-4B	Def Maint	P2 / 1-2 Yrs	Useful Life	6 EACH	\$1,298,285
D3050-07-06C Correct Computer Room (MDF/IDF) Split System Air Conditioning System Required by Install New	D3050 Terminal & Packaged Units	MDF, ALL IDF'S	MDF, and all IDF's require additional room cooling for equipment operation. 6 Rooms at approx. 100 sf each.	Bldg Imprv	P2 / 1-2 Yrs	Function/Functional	6 EACH	\$65,102
D3050-08-11C Correct Ductless Split System Air Conditioning System Deterioration (1.5 Ton) by Demolition & Replacement	D3050 Terminal & Packaged Units	Roof	Carrier 3/4 Ton	Def Maint	P4 / 6-10 Yrs	Useful Life	1 EACH	\$6,063

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D3050-08-15C Correct Split System Air Conditioning System Deterioration (50 Ton) by Demolition & Replacement	D3050 Terminal & Packaged Units	Cafeteria		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$158,741
D3050-19-01C Correct Cabinet Heater Deterioration of Cabinet Heater by Demolition & Replacement	D3050 Terminal & Packaged Units	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	13 EACH	\$94,476
D3050-20-04C Correct Steam & Hot Water Unit Heater (200 MBH) Deterioration by Demo & Replacement	D3050 Terminal & Packaged Units	Maint Storage		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$4,440
D3050-26-01C Correct Steam or Hot Water Fin-Tube Radiation Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	700 LNFT	\$206,019
D3060-02-03C Correct Electronic Control (DDC) System Deterioration by Demolition & Replacement (Bldg SF)	D3060 HVAC Instrumentation & Controls	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	149,188 BLDG SF	\$2,314,157
Total Estimated Cost for <b>D30 HVAC</b>								<b>\$8,177,265</b>
<b>D50 Electrical</b>								
D5010-12-10C Correct Panelboard (225 AMP) Required by Install New	D5010 Electrical Service & Distribution	Building Wide	<i>For additional outlets</i>	Bldg Imprv	P3 / 3-5 Yrs	Function/Functional	5 EACH	\$119,370

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D5010-15-02C Correct Disconnect Switch Required by Install New	D5010 Electrical Service & Distribution	Electrical Room	<i>Circuit breakers for additional panels/outlets</i>	Bldg Imprv	P3 / 3-5 Yrs	Function/Functional	5 EACH	\$12,220
D5010-17-03C Correct Solar Panel Removal Required by Remove & Reinstall	D5010 Electrical Service & Distribution	Roof	<i>Complete work in tandem with roof renovation. Est. 900 SF</i>	Def Maint	P2 / 1-2 Yrs	Damage/Wear	18 EACH	\$20,152
D5021-01-05C Correct Receptacles Required by Install New	D5021 Branch Wiring	Building Wide	<i>Additional outlets per classroom</i>	Bldg Imprv	P3 / 3-5 Yrs	Function/Functional	200 EACH	\$191,473
D5021-03-01C Correct Branch Wiring Deterioration by Demolition & Replacement	D5021 Branch Wiring	Building Wide	<i>Additional wiring required for new outlets</i>	Bldg Imprv	P3 / 3-5 Yrs	Function/Functional	20,000 LNFT	\$155,038
D5031-03-01C Correct Security System Motion or Glass Break Detector Deterioration by Demolition & Replacement (BLDG SF)	D5031 Security Access & Surveillance	Building Wide		Def Maint	P4 / 6-10 Yrs	Security	149,188 BLDG SF	<b>\$71,610</b> sec equip
D5031-07-01C Correct Video Surveillance Indoor Camera Deterioration by Demolition & Replacement	D5031 Security Access & Surveillance	Building Wide	<i>Upgrade analog cameras</i>	Def Maint	P3 / 3-5 Yrs	Useful Life	3 EACH	<b>\$10,028</b> sec equip
D5031-20-01C Correct Security Access Control System (Head End Only) Deterioration by Demolition & Replacement	D5031 Security Access & Surveillance	Building Wide		Def Maint	P4 / 6-10 Yrs	Useful Life	1 EACH	<b>\$5,351</b> sec equip
D5031-20-04C Correct Security Access Control with Video Intercom Required by Install New	D5031 Security Access & Surveillance	Main entryways - front and rear		Bldg Imprv	P2 / 1-2 Yrs	Security	3 EACH	\$0

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D5032-01-05C Correct Master Clock System Deterioration by Demolition & Replacement with Wireless System (Bldg SF)	D5032 Clock & Program Systems	Building Wide	<i>Replace with Wireless System.</i>	Def Maint	P4 / 6-10 Yrs	Useful Life	149,188 BLDG SF	\$396,936
D5033-01-01C Correct Building Wide Intercom System Deterioration by Demolition & Replacement (Bldg SF)	D5033 Intercom Systems	Building Wide	<i>Public Address</i>	Def Maint	P3 / 3-5 Yrs	Function/ Functional	149,188 BLDG SF	\$536,808
D5035-04-01C Correct Building-Wide Telephone System Deterioration by Demolition & Replacement (Bldg SF)	D5035 Telephone System	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	149,188 BLDG SF	<b>\$510,653</b> tech equip
D5036-01-03C Correct Technology System Wiring Deterioration by Demolition & Replacement	D5036 Technology System	Building Wide		Def Maint	P4 / 6-10 Yrs	Useful Life	275,000 LNFT	<b>\$838,464</b> tech infra
D5036-06-01C Correct Fiber Optic Backbone Wiring Deterioration by Demolition & Replacement	D5036 Technology System	MDF to Each IDF	<i>All IDF's currently have OM1 fiber ran from the MDF. This is an antiquated system and should be upgraded in order to meet the needs of today's technology standards.</i>	Def Maint	P2 / 1-2 Yrs	Function/ Functional	1,500 LNFT	<b>\$6,666</b> tech infra
D5090-01-04C Correct Diesel Fuel Emergency Generator (150 kW) Required by Install New	D5090 Other Electrical Systems	MDF and Each IDF		Bldg Imprv	P3 / 3-5 Yrs	Function/ Functional	1 EACH	<b>\$149,219</b> tech infra

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D5090-04-03C Correct Uninterruptable Power Supply System (5 KVA) Deterioration by Demolition & Replacement	D5090 Other Electrical Systems	MDF		Def Maint	P4 / 6-10 Yrs	Useful Life	1 EACH	<b>\$23,010</b> tech infra
D5090-04-04C Correct Uninterruptable Power Supply System (5 KVA) Required by Install New	D5090 Other Electrical Systems	All IDF's		Bldg Imprv	P3 / 3-5 Yrs	Function/ Functional	6 EACH	<b>\$126,001</b> tech infra
Total Estimated Cost for <b>D50 Electrical</b>								<b>\$3,172,999</b>
<b>E10 Equipment</b>								
E1020-06-02C Correct Projection Equipment Deterioration by Demolition & Replacement with Interactive Flat Panel System	E1020 Institutional Equipment	Building Wide	<i>Classrooms, conference rooms</i>	Def Maint	P3 / 3-5 Yrs	Useful Life	49 EACH	<b>\$1,337,288</b> tech equip
E1020-06-02C Correct Projection Equipment Deterioration by Demolition & Replacement with Interactive Flat Panel System	E1020 Institutional Equipment	Building Wide	<i>Classrooms, conference rooms</i>	Def Maint	P4 / 6-10 Yrs	Useful Life	10 EACH	<b>\$272,916</b> tech equip
E1090-05-02C Correct Gym Wall Padding Deterioration by Demolition & Replacement	E1090 Other Equipment	Gymnasium		Def Maint	P4 / 6-10 Yrs	Useful Life	1,200 SQFT	\$23,247
Total Estimated Cost for <b>E10 Equipment</b>								<b>\$1,633,451</b>
<b>E20 Furnishings</b>								
E2010-04-01C Correct Wall Cabinet Deterioration by Demolition & Replacement	E2010 Fixed Furnishings	Cafeteria		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	12 LNFT	\$4,164

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
E2010-04-03C Correct Base Cabinet with Laminate Counter Deterioration by Demolition & Replacement	E2010 Fixed Furnishings	Cafeteria		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	12 LNFT	\$9,970
E2010-04-03C Correct Base Cabinet with Laminate Counter Deterioration by Demolition & Replacement	E2010 Fixed Furnishings	Classroom		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	90 LNFT	\$74,778
E2010-04-03C Correct Base Cabinet with Laminate Counter Deterioration by Demolition & Replacement	E2010 Fixed Furnishings	Media Center		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	20 LNFT	\$16,617
E2010-04-11C Correct Laminate Countertop Only Deterioration by Demolition & Replacement	E2010 Fixed Furnishings	Classroom		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	65 SQFT	\$3,903
E2011-03-01C Correct Roller Shade Deterioration by Demolition & Replacement with Manual Shade System (Window SF)	E2011 Window Treatment	Building Wide		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	10,400 SQFT	\$247,991
Total Estimated Cost for <b>E20 Furnishings</b>								<b>\$357,424</b>

## F20 Selective Demolition

F2020-13-01C Correct Asbestos Wiring Insulation Remediation Required by Abatement	F2020 Hazardous Components Abatement	Auditorium	<i>Refer to AHERA report</i>	Def Maint	P2 / 1-2 Yrs	Environ Imprvmt	500 LNFT	\$22,334
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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
F2020-15-01C Correct Asbestos Sink Undercoating Remediation Required by Abatement	F2020 Hazardous Components Abatement	Building Wide	From AHERA Report	Def Maint	P2 / 1-2 Yrs	Environ Imprvmt	16 EACH	\$91,675
Total Estimated Cost for <b>F20 Selective Demolition</b>								<b>\$114,009</b>
<b>G20 Site Improvements</b>								
G2010-01-01C Correct Bituminous Roadway Deterioration by Demolition & Replacement	G2010 Roadways	Entrance Drive to Parking Lot on Southern Side of School		Def Maint	P2 / 1-2 Yrs	Damage/Wear	730 SQYD	\$127,827
G2010-01-01C Correct Bituminous Roadway Deterioration by Demolition & Replacement	G2010 Roadways	Maintenance Drive- East Side of School		Def Maint	P2 / 1-2 Yrs	Damage/Wear	1,350 SQYD	\$236,393
G2010-04-01C Correct Roadway Curb Deterioration by Demolition & Replacement	G2010 Roadways	Bus Drop-Off Drive Isle- North Side of School		Def Maint	P3 / 3-5 Yrs	Damage/Wear	975 LNFT	\$70,499
G2010-04-01C Correct Roadway Curb Deterioration by Demolition & Replacement	G2010 Roadways	Entrance Drive to Parking Lot on Southern Side of School		Def Maint	P3 / 3-5 Yrs	Damage/Wear	450 LNFT	\$32,538
G2010-04-01C Correct Roadway Curb Deterioration by Demolition & Replacement	G2010 Roadways	Maintenance Drive- East Side of School		Def Maint	P3 / 3-5 Yrs	Damage/Wear	950 LNFT	\$68,691

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
G2010-06-01C Correct Bus Drop Off Loop Deterioration by Demolition & Replacement	G2010 Roadways	Bus Drop-Off Drive Isle- North Side of School		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	3,100 SQYD	\$739,384
G2020-01-03C Correct Bituminous Parking Lot Deterioration by Restoration & Overlayment	G2020 Parking Lots	Parking Lot on Northern Side of School		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	2,925 SQYD	\$48,790
G2020-01-03C Correct Bituminous Parking Lot Deterioration by Restoration & Overlayment	G2020 Parking Lots	Parking Lot on Southern Side of School		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	6,425 SQYD	\$107,171
G2020-05-01C Correct Parking Lot Curb Deterioration by Demolition & Replacement	G2020 Parking Lots	Boarder Curbs of the Parking Lot on Northern Side of School		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	380 LNFT	\$27,477
G2020-05-01C Correct Parking Lot Curb Deterioration by Demolition & Replacement	G2020 Parking Lots	Boarder Curbs of the Parking Lot on Southern Side of School		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	800 LNFT	\$57,845
G2020-05-01C Correct Parking Lot Curb Deterioration by Demolition & Replacement	G2020 Parking Lots	Islands in Parking Lot on Northern Side of School		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	875 LNFT	\$63,268
G2020-05-01C Correct Parking Lot Curb Deterioration by Demolition & Replacement	G2020 Parking Lots	Islands in Parking Lot on Southern Side of School		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	850 LNFT	\$61,461

Priority 1 - Work should be performed immediately. Potential Life / Safety Issue.

Priority 3 - Work to be performed within next 3-5 years. Asset will reach useful life soon.

Priority 2 - Work to be performed within next 1-2 years. Asset has reached useful life. Priority 4 - Work to be performed within next 6-10 years or is an arch/eng "good practice".

Estimated Construction Cost is based on 2021 RSMeans data regionalized for Stamford, CT with client defined allowances and soft costs applied.



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# Deferred Maintenance & Asset Renewal Report

## Scofield Magnet MS

**Project Name:** 2021 Stamford Facility Assessment

**Building Type:** Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
G2030-01-01C Correct Bituminous Sidewalk Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	South of Maintenance Drive- East Side of School		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	25 SQYD	\$2,351
G2030-01-01C Correct Bituminous Sidewalk Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	West Side of Athletic Fields		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	215 SQYD	\$20,216
G2030-01-01C Correct Bituminous Sidewalk Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	West Side of Baseball Field		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	250 SQYD	\$23,507
G2030-02-01C Correct Concrete Sidewalk Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	Building Exterior		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	2,172 SQFT	\$51,460
G2030-02-01C Correct Concrete Sidewalk Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	Exterior		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	100 SQFT	\$2,369
G2030-02-03C Correct Concrete Sidewalk Not Required by Demolition & Restoration	G2030 Pedestrian Paving	Bus Drop-Off Sidewalk- North Side of School	Several areas of heaving and trip hazards	Def Maint	P2 / 1-2 Yrs	Damage/ Wear	4,000 SQFT	\$33,481
G2030-02-03C Correct Concrete Sidewalk Not Required by Demolition & Restoration	G2030 Pedestrian Paving	Courtyard		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	8,000 SQFT	\$66,963
G2030-02-03C Correct Concrete Sidewalk Not Required by Demolition & Restoration	G2030 Pedestrian Paving	Northeast Corner of School		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	700 SQFT	\$5,859

Priority 1 - Work should be performed immediately. Potential Life / Safety Issue.

Priority 3 - Work to be performed within next 3-5 years. Asset will reach useful life soon.

Priority 2 - Work to be performed within next 1-2 years. Asset has reached useful life. Priority 4 - Work to be performed within next 6-10 years or is an arch/eng "good practice".

Estimated Construction Cost is based on 2021 RSMeans data regionalized for Stamford, CT with client defined allowances and soft costs applied.



Powered By: CT2000

# Deferred Maintenance & Asset Renewal Report

## Scofield Magnet MS

**Project Name:** 2021 Stamford Facility Assessment

**Building Type:** Middle School

Page 21 of 21

System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
G2030-02-04C Correct Concrete Sidewalk Finish Deterioration by Prep & Resurface	G2030 Pedestrian Paving	Interior Courtyard		Def Maint	P2 / 1-2 Yrs	Damage/Wear	7,816 SQFT	\$95,971
G2031-01-01C Correct Concrete Above Grade Stair Deterioration by Demolition & Replacement	G2031 Exterior Stair Construction	Exterior		Def Maint	P2 / 1-2 Yrs	Damage/Wear	12 RISR	\$15,536
G2033-01-01C Correct Handrail Deterioration by Demolition & Replacement	G2033 Exterior Handrail & Guardrail	Building Exterior		Def Maint	P2 / 1-2 Yrs	Damage/Wear	80 LNFT	\$6,811
G2033-01-01C Correct Handrail Deterioration by Demolition & Replacement	G2033 Exterior Handrail & Guardrail	Bus Drop-Off Sidewalk-North Side of School	Handrail inbedded into cap of ramp wall has loosened the cap	Def Maint	P2 / 1-2 Yrs	Damage/Wear	20 LNFT	\$1,703
G2040-02-05C Correct Brick Masonry Non-Retaining Wall Deterioration by Demolition & Replacement	G2040 Site Development	Exterior	At exterior stair	Def Maint	P2 / 1-2 Yrs	Damage/Wear	200 SQFT	\$28,707
G2041-01-01C Correct Baseball or Softball Field Backstop Deterioration by Demolition & Replacement	G2041 Athletic & Recreational Equipment	Baseball Field		Def Maint	P3 / 3-5 Yrs	Damage/Wear	1 EACH	\$18,363

Total Estimated Cost for **G20 Site Improvements** **\$2,014,642**

**Scofield Magnet Middle School Total Estimated Cost: \$24,855,850**

Total Estimated "Deferred Maintenance" Cost: **\$24,034,952**

Total Estimated "Building Improvement" Cost: **\$820,897**

Priority 1 - Work should be performed immediately. Potential Life / Safety Issue.

Priority 3 - Work to be performed within next 3-5 years. Asset will reach useful life soon.

Priority 2 - Work to be performed within next 1-2 years. Asset has reached useful life. Priority 4 - Work to be performed within next 6-10 years or is an arch/eng "good practice".

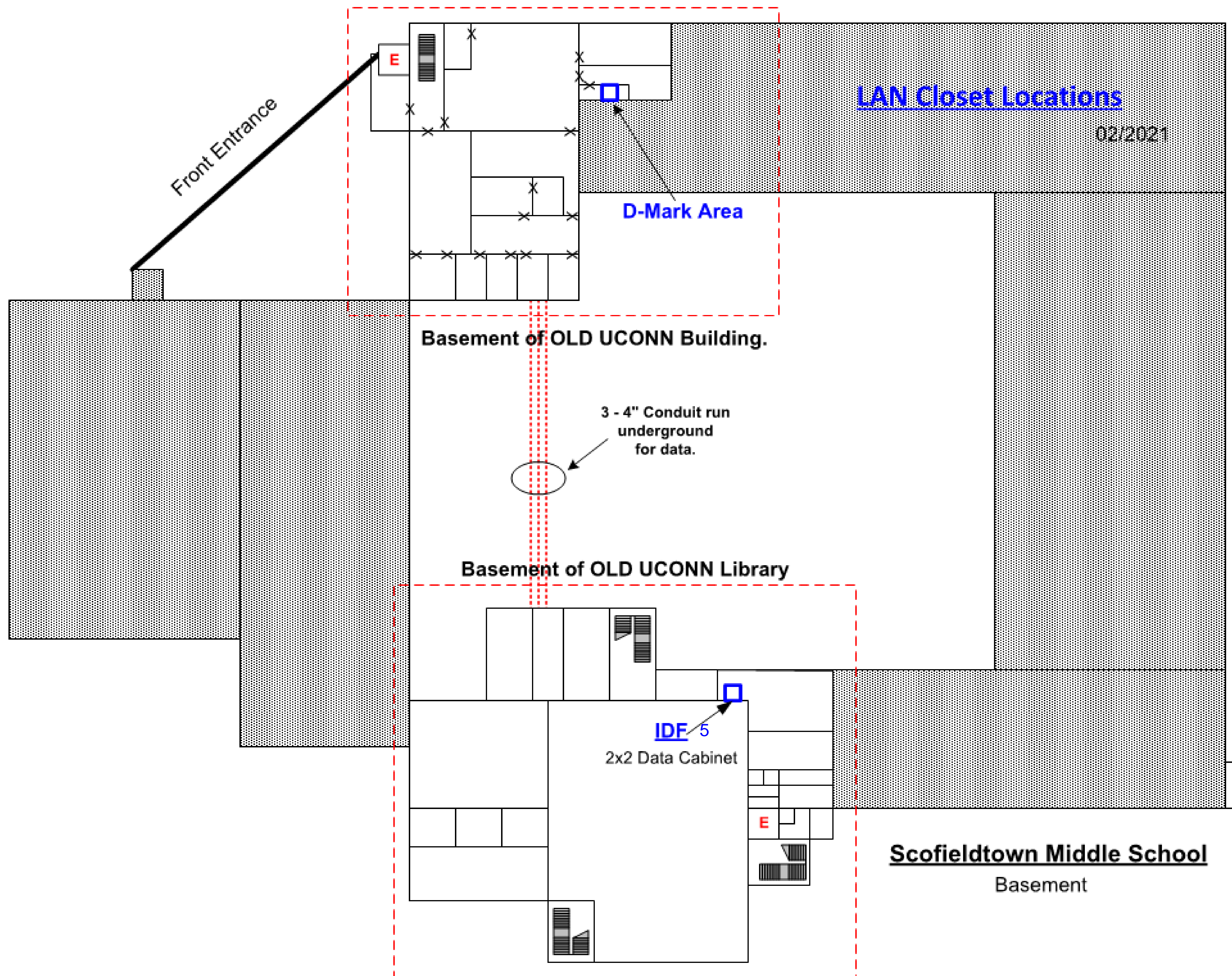
Estimated Construction Cost is based on 2021 RSMeans data regionalized for Stamford, CT with client defined allowances and soft costs applied.

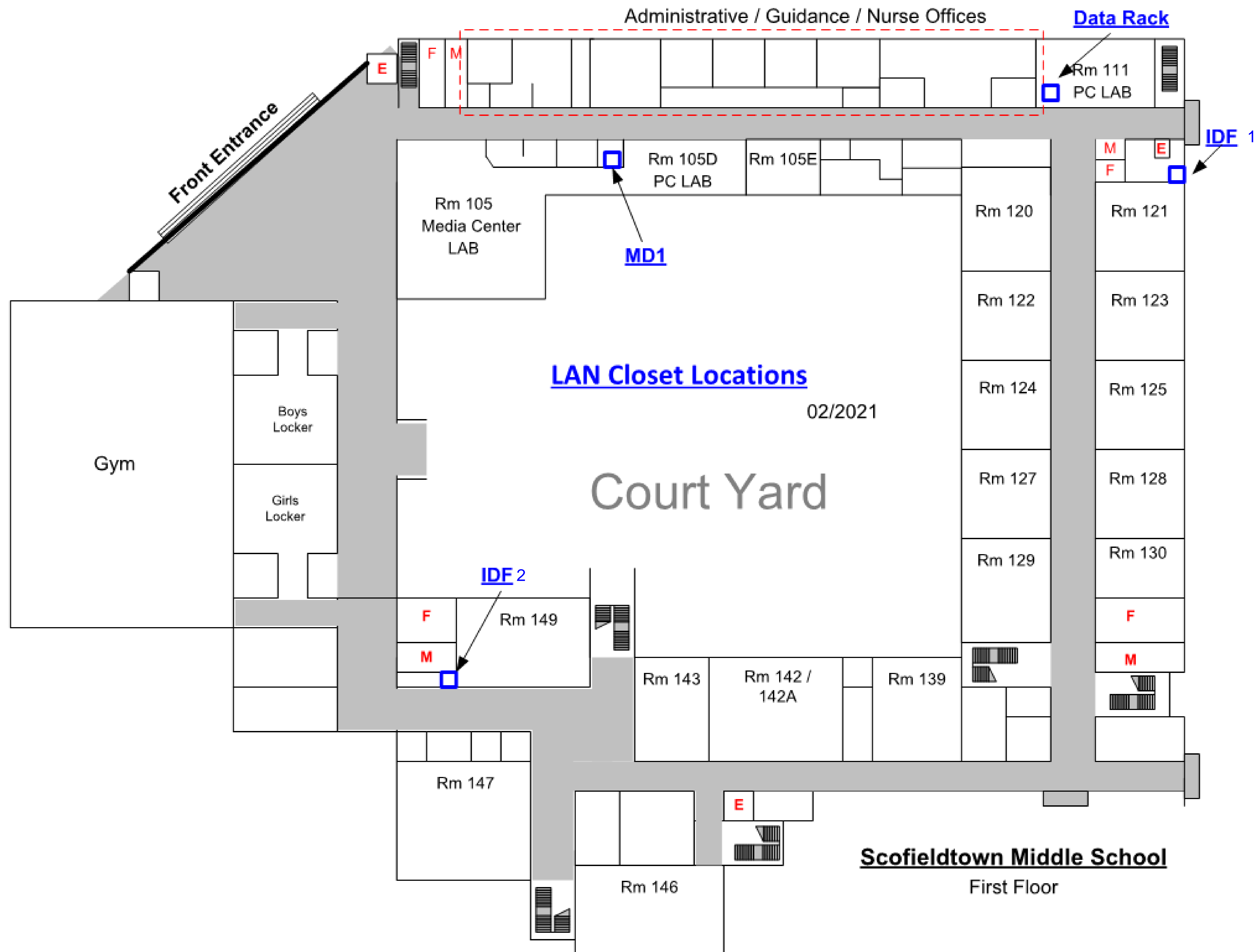


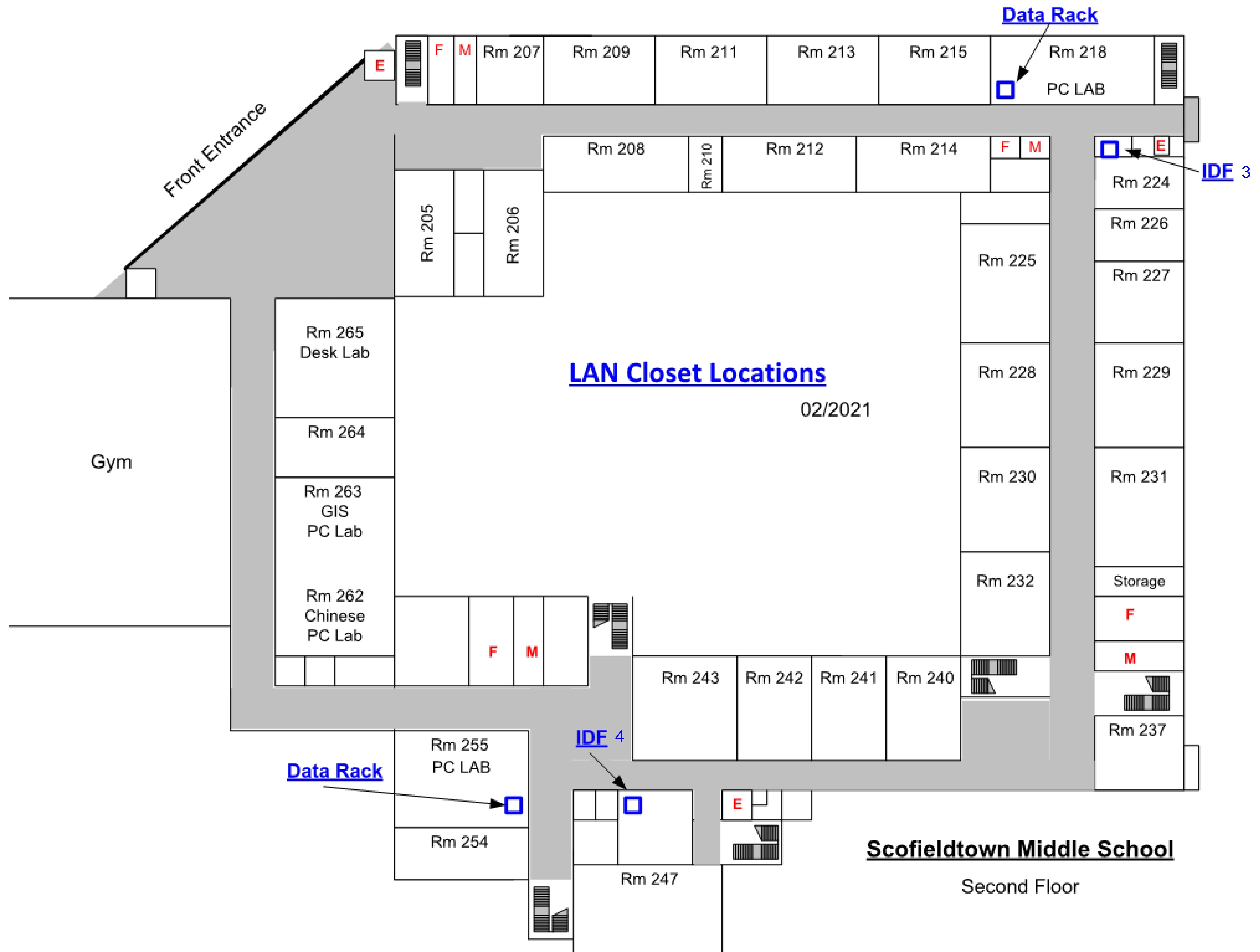
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# 2021

## Turn of River Middle Facility Assessment & Analysis Report

**Property:**

Turn of River Middle  
117 Vine Road  
Stamford, Connecticut 06905

**Prepared By:**

StudioJAED  
42 Weybosset Street, Suite 403  
Providence, RI 02903  
401.648.0884

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## 1.0 Authorized Assessment Account

In June 2021, StudioJAED was sub-contracted by the S/L/A/M Collaborative Inc. on behalf of Stamford Public Schools to conduct a district-wide facility condition assessment and analysis of the Turn of River Middle property located in Stamford, Connecticut. The primary goal of this project was to (1) investigate existing conditions and (2) identify deferred maintenance and long term capital renewal needs. As per industry standard guidelines, StudioJAED surveyed the property, interviewed site personnel, reviewed available construction/maintenance documents, and recorded observations related to the physical site and associated building structure. SLAM teamed with SLR to perform the site assessment and D'Agostino & Associates for technology / security.

This report is for the use of Stamford Public Schools and their assignees. All parties agree by accepting this report that any use of this report shall be limited by the exceptions and qualifications in this report, acknowledge that actual site conditions may change with time, and hidden conditions may exist at the property that were not discovered within the scope of the assessment. Any use of this report by other parties is at the risk of such party.

StudioJAED used a degree of care and skill ordinarily exercised by consultants in the preparation of the report and in assembling the data contained herein. No warranties are provided, either expressed or implied. StudioJAED is not responsible for conclusions, opinions, or recommendations made by others based on this information.

The Facility Assessment and Analysis Report was completed and reviewed by the undersigned team members. Any questions regarding this report should be directed to Pamela Babuca at babucap@studiojaed.com or (401) 648-0884.

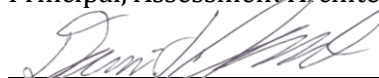
### StudioJAED

Discipline Lead:



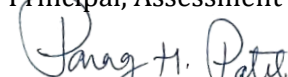
Philip R. Conte, AIA, NCARB  
Principal, Assessment Architect

Discipline Lead:



David T. Spangler, P.E.  
Principal, Assessment Mechanical / Plumbing Engineer

Discipline Lead:



Parag H. Patel, P.E.  
Assessment Electrical Engineer

Report Reviewer:



Pamela J. Babuca, ALEP, ASID, IFMA  
Principal





## 2.0 Executive Summary

StudioJAED Architects and Engineers, along with specialty systems sub-consultants SLR and D’Agostino & Associates, performed a facility condition assessment and analysis of the Turn of River Middle property located in Stamford, Connecticut hereinafter referred to as the “Property”. The purpose of the assessment was to perform a visual analysis of the Property’s general condition and identify recommendations for major building systems and equipment maintenance, repair, or replacement over the next (10) ten years. Items identified were considered significant for the facility to continue in its current operation and/or to be restored to a condition consistent with comparable facilities of similar age.

### 2.1 Scope of Work

The primary field survey was conducted on 21, July, 2021 and the weather, as recorded on Accuweather.com, was scattered thunderstorms with actual high and low temperatures of 81°F/63°F. The assessment team reviewed available documentation and interviewed site personnel regarding knowledge of any known existing conditions or issues. A general list of typical elements surveyed includes the following:

- Site and Grounds – Pavement, Parking, Curbs, Loading Docks, Walks, Landscaping, Irrigation, Site Drainage, Exterior Lighting, Walls, Fencing/Railing, and Exterior Amenities.
- Structural Systems – Readily observable portions of Foundations and Structural Framing of Walls, Columns, Intermediate Floors and Roofs.
- Building Envelope – Roofing Systems, Exterior Finishes, Stairs and Steps, Exterior Doors, and Exterior Windows.
- Interior Building Components – Property-owned Electrical, Heating/Ventilating/Air Conditioning (HVAC), and Plumbing Systems.
- Safety and Code Compliance – Life Safety, Fire Suppression Systems, and General Visual Review of Accessibility to Disabled Persons to include Accessible Exterior and Interior Routes, Doors and Common Toilet Facilities.

### 2.2 Prioritization of Need

Recommended corrective actions to repair and/or replace a building system or component were assigned a priority which, in the opinion of the assessor, classified the urgency of the work to be performed. The 10 year prioritization model utilized for this project was based on an industry standard, 4 tier approach. Definitions for each of the priority classifications are as shown.

#### **PRIORITY CLASSIFICATIONS:**

##### ***Priority 1 - Immediate***

*Work should be performed immediately.  
Potential safety or security risk.*

##### ***Priority 2 - High***

*Work to be performed within next 1-2 years.  
Asset has reached the end of useful life.*

##### ***Priority 3 - Medium***

*Work to be performed within next 3-5 years.  
Asset will reach the end of useful life soon.*

##### ***Priority 4 - Low***

*Work to be performed within next 6-10 years.  
Anticipated need for repair or replacement.*



## 2.3 Findings & Recommendations

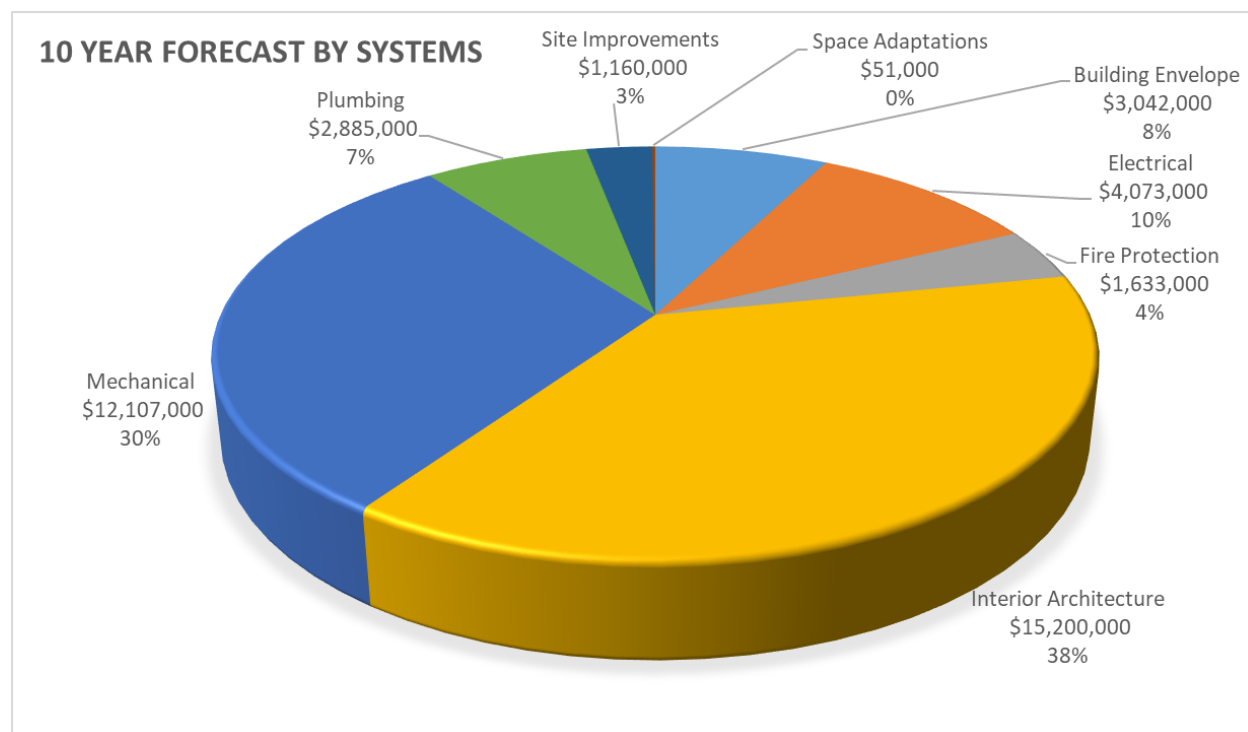
StudioJAED analyzed the recommended corrective actions considered significant for the Property to continue in its current operation and/or to be restored to a condition consistent with comparable facilities of similar age. A summary of the improvement

needs have been quantified from two unique perspectives. The 10 Year Forecast by Priority table provides an understanding of need based on the urgency or timeline for work to be completed. Based on industry standard architectural and engineering best practices, over (62%) sixty-two percent of the work should be completed within the next 1-2 years.

The 10 Year Forecast by Systems provides an analysis of estimated improvement needs by major systems. The data indicates that the Interior Architecture (38%), Mechanical (30%), and Electrical (10%) systems have the greatest overall investment needs. Refer to Appendix A to review a more detailed description of needs in the Deferred Maintenance & Asset Renewal Report.

**10 YEAR FORECAST BY PRIORITY**

Priority	Extended Cost	% of Need
Immediate	\$ -	0.0%
High (1 - 2 Years)	\$ 24,937,187	62.1%
Medium (3 - 5 Years)	\$ 7,985,814	19.9%
Low (6 - 10 Years)	\$ 7,228,000	18.0%
	<b>\$ 40,151,000</b>	<b>100%</b>



Based on the review of available documentation, onsite interview, and field observations, it is StudioJAED's opinion that the Main Building is in overall poor condition. Refer to Section 4.0, General Physical Condition Rating, for additional information regarding the condition of major systems from a cost per gross square feet analysis of needs perspective.

## 3.0 General Property & Building Systems Description

### 3.1 Site / Amenities

The property is located at Turn of River Middle, Stamford, Fairfield County Connecticut on approximately 28.54 acres. The property slopes gently downward from the east side of the property toward the west property line and the landscaping consists of trees, shrubs, and grasses. Play areas are covered with a grass surface. Retaining walls are located at the front, side and rear elevations of the building.

There are approximately 109 spaces in open lots. The paved parking areas are in good to fair condition with evidence of cracking and pavement section deterioration. The drive isle pavement along the northern property line is in poor condition. The bus loop pavement is in fair condition. Curbing on site is in fair to poor condition. Sidewalk surfaces are in fair to good condition. Fencing is provided along portions of the south and southeast property lines and around the kitchen refrigeration units at the rear of the building. The perimeter fencing is in good condition with isolated sections of damage. Grass play areas/field appear to be in good condition. Constructed play areas are not on site. Storm water from the roofs, landscaped areas, and paved areas flows into on site inlets and catch basins with underground piping connected to the municipal storm water management system.

Sanitary sewer and the storm water sewer are provided by the City of Stamford. Domestic water is supplied by Aquarian, electrical service by CL&P, and natural gas is provided by Yankee Gas.









## 3.2 Architectural Systems

### Main Building

Turn of River Middle is approximately 121,005 square feet and is a one to two storey structure. The building is concrete encased steel column frame with concrete-topped metal decks. The roof assembly is comprised of flat roofs with built-up bitumen membrane on majority and single ply membrane on modular addition. The exterior wall finish is brick veneer with painted concrete encasement of steel structure. There is no evidence of significant settlement or structural failure.

The exterior building envelope is in fair condition. Staining on the veneer should be removed. It is recommended that the modified bitumen roof areas should be replaced with a single ply membrane roof system. Windows should be recaulked to reduce moisture infiltration.

Interior floor finishes include resilient tile, ceramic tile, carpet, polished stone pavers, quarry tile, exposed concrete, wood, and painted concrete slab and are in poor condition. Interior wall finishes include painted drywall, painted CMU, painted plaster, exposed brick, and ceramic tile and are in poor condition. Interior ceiling finishes include exposed structure, suspended acoustic tiles, painted drywall, painted plaster, and coated suspended acoustic tile and are in fair to poor condition. All casework and countertops are in poor condition and in need of replacement. Classroom and conference room projection equipment should be replaced.

It is recommended that new hydraulic elevator(s) be installed to provide ADA access to both upper and basement level classrooms. An ADA wheelchair lift is recommended for the stage.

The building is partially non-compliant in terms of ADA accommodations including access to upper and lower floors and jamb clearances.

### Modular Building

Turn of River Middle's gross square footage is inclusive of a modular building addition that totals approximately 4,350 square feet which includes a connector hallway to the main building. The modular addition is one level elevated above grade with a secondary access/exit by wood steps and ramps. The steps and ramps are in fair condition and in need of select repair.

The exterior roof assembly is single ply membrane and is approaching the end of its useful life. The condition of the exterior wood siding is fair and in need of repair and/or replacement.

This type of construction has a life expectancy of 15 to 20 years. Overall, the modular addition is in fair to poor condition and recommended for replacement with a permanent structure.







### 3.3 Mechanical Systems

#### Main Building

Turn of River Middle was originally constructed in 1968. Some mechanical systems have been renewed in the years following original construction, the latest of which are noted as:

- Main Boilers and Burners– 2014
- Hydronic Pumps and other Boiler Room appurtenances – 2013-2014
- Unit vents, Electric Unit Heaters, Cabinet Heaters, Convectors, and Fin Tube Radiation – 2013
- Split Systems and Rooftop Units – 2000
- Centrifugal Roof Exhausters – 2017
- Kitchen Hood Exhaust System – 2020
- PTAC Units – 2010

Some mechanical systems primarily date to original construction:

- HVAC Piping System and Ductwork
- Water Treatment for Hydronic System
- Air Handling Units and Supply Air Fans
- Hot Water Unit Heaters
- Pneumatic Control System

The main building is served by boilers and parts are air conditioned with Package Rooftop A/C & Heat Units. Other major core spaces are heated only and served by Air Handling Units and Supply Air Fans. Classrooms are served by Unit Vents.

#### Modular Building

Modular buildings are served by 5 tons (average) rooftop units which have been replaced within the lifecycle of the building. All units would require replacement within the study period. Based on existing conditions, it is the recommendation of this study that the modulares be replaced with a permanent structure, therefore replacement of these HVAC units is not in the report.

#### HVAC System Comprehensive Improvement Analysis

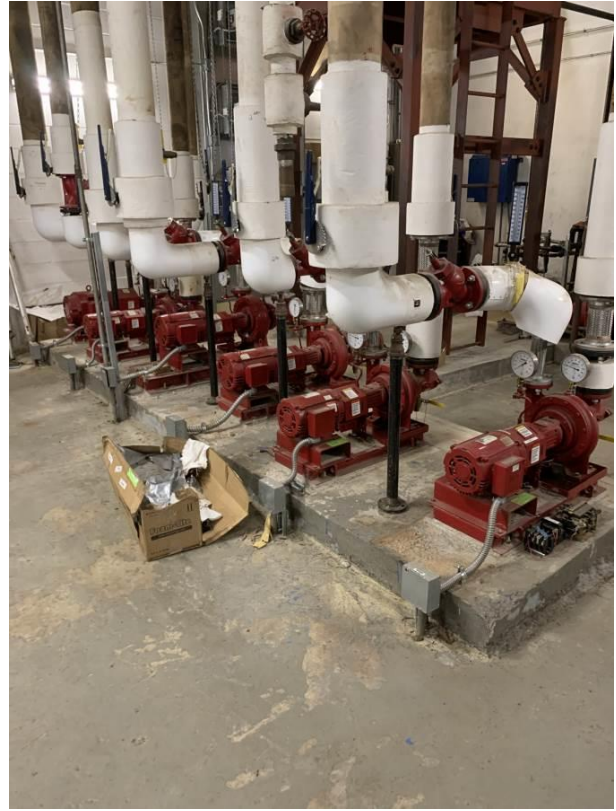
The mechanical system at Turn of River MS does not provide adequate ventilation or air conditioning. Based on existing equipment conditions and an initiative to add air condition building-wide, the District-Wide Summary: 10 Year Forecast Cost Analysis contains an allowance for the wholesale system replacement including demolition of the current system including central plant and distribution. This approach takes into consideration only select capital improvement needs in the Deferred Maintenance & Asset Renewal Report not impacted by system replacement.













### 3.4 Plumbing Systems

#### Main Building

Some plumbing systems have been renewed in the years following original construction, the latest of which are approximately noted as:

- Sewage Ejector Pump – 2010
- Domestic Water Booster Pump – 2005
- Domestic Water Heater and Circulation Pump – 2014
- Older Plumbing Fixtures – 1990
- Newer Plumbing Fixtures – 2015
- Classroom Sinks – 1995
- Electric Water Cooler/Bottle Filler – 2008

Some Plumbing systems primarily date to original construction:

- Domestic Water Piping
- Sanitary Piping
- Mop Sinks/Receptors and Utility Sinks
- Kitchen Sinks
- Kitchen Gas Piping
- Science Lab Sinks



All major plumbing systems other than the newer plumbing fixtures and Domestic Water Heater will need to be replaced within the 10 year study period

### **Modular Building**

There are minimal plumbing systems in the modular classroom buildings. All plumbing within the modular structure would require replacement within the study period. Based on existing conditions, it is the recommendation of this study that the modulares be replaced with a permanent structure, therefore replacement of these HVAC units is not in the report.





### 3.5 Fire & Other Protection Systems

#### Main Building

The sprinkler system was installed in 1995 and will reach the end of its 30 year useful life in 4 years. The system should be planned to be replaced along with comprehensive renovations of the building.

Main building fire alarm system is old but functional. All classrooms have audio/visual devices.

#### Modular Building

The sprinklers in the modular buildings are connected to the main building sprinkler system. The sprinkler system in the modular would require replacement within the study period. Based on existing conditions, it is the recommendation of this study that the modulares be replaced with a permanent structure, therefore replacement of this system is not in the report.

Modular fire alarm devices are connected to main building fire alarm system with new wiring. Devices in Modular classrooms are functional.



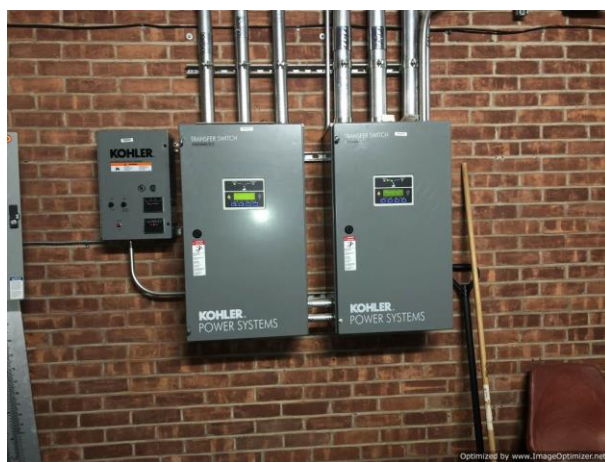
## 3.6 Electrical Systems

### Main Building

Service is fed from the utility into a 2000A 3 phase 4 wire 208/120 Main. This switchgear is in the Electrical room in lower rear level. Panels located in the building are powered from this switchgear. Branch circuits for outlets, lighting and equipment originate from these panels. Most of the wiring in the building is original since the time of construction except the wiring in Modular classrooms. Building's Emergency and Exit lights are powered by a 125 KW outside mounted diesel generator set and automatic transfer switches located inside the loading dock. Lighting throughout the school is LED. Light fixtures are either recessed or surface mounted. Classroom lights are controlled by wall switches and motion sensors.

### Modular Building

Modular classrooms are powered by Load Centers powered from the main switchgear. Wiring and LED lighting in Modular Classrooms are new with no known deficiency.



## 3.7 Technology & Security Systems

### Technology

The main building has a mix of Category 5, Category 5E, and Category 6 cabling supporting all end devices, which is adequate to support the current technology and security systems. We recommend replacing this cabling to the most recent category rating to accommodate future technology devices. Fiber optic backbone cabling between the MDF and each IDF (5 total) consists of OM1 62.5/125um fiber optic cabling, which is capable of 1 Gbps per fiber pair. We recommend installing and replacing this fiber to OM4, which will support 40Gbps, to support the bandwidth requirements of new technology, especially the increased future use of Wi-Fi.

The Public Address system is in poor condition and beyond its useful life and maintenance. We recommend replacing this system for new. The Master Clock System was upgraded about 8 years ago and in fine working condition. However, it has been recorded that as the Wireless Clock batteries expire, recommended to replace batteries every 3-5 years, that the Clocks are being replaced with Quarts unsynchronized wall clocks. It is recommended to install wireless wall clocks that will be in sync with the Master Clock System.

Classroom Interactive Boards currently have Promethean boards which have been recently installed and are in good working order.

Refer to Appendix B to view a floor plan notating the location and name of each technology room.

### Security

The Intrusion Detection Security system reports nuisance alarms often and is an antiquated system. It is recommended to replace this cabling and devices to accommodate the future security needs of this property. The Video Surveillance Systems is undergoing an addition of a new managed system and includes new IP cameras in several areas of the school. There are locations where existing analog cameras are still being used and viewed on this new system. Coverage of the school is fair. We recommend replacing the existing analog cameras with IP cameras and supplementing the coverage with new IP cameras. The main entry door is equipped with an antiquated Aiphone intercom-door-release and a surveillance camera viewing the door. It is recommended to replace the existing Aiphone device with a modern device to include video that will assist with the assessment of a visitor requesting access into the school.

## 4.0 General Physical Condition Rating

The general physical condition ratings identified below are based on StudioJAED's visual inspection and overall impression of the Property's major building systems assessed as defined in the Executive Summary, Section 2.0.

MAIN BUILDING		Condition Rating		
Item	Building / Site System	Good	Fair	Poor
1	Building Envelope		X	
2	Interior Architecture			X
3	Mechanical Systems		X	X
4	Electrical Systems		X	
5	Plumbing Systems		X	
6	Fire Alarm / Protection Systems		X	X
7	Site Improvements		X	



## 5.0 Opinions of Probable Costs

The opinions of probable cost presented in this document are for repair or renewal / replacement projected capital needs identified from a visual inspection of the defined Property site elements and primary building systems anticipated over the subsequent 10 year term. These opinions are based on StudioJAED's knowledge of industry standards and recommended "good" architectural and engineering practice. For the purpose of generating projected investment dollars, needs were calculated based on approximate quantities and estimated unit cost values were defined. Recommended corrective actions recorded do not constitute a warranty that all items, which may require repair or replacement, are included.

As a measure of quality assurance, StudioJAED's cost estimates were developed by our Certified Professional Estimators. All unit "trade" costs were developed using the RSMeans "CostWorks" application which was regionally adjusted to the materials, labor, and equipment cost for Bridgeport, Connecticut. The cost model approach applied to each corrective action was based on Construction Management-at-Risk (CMAR) with an additional (20%) twenty percent allowance to cover design fees and owner contingency.

The opinions of probable costs should be considered a preliminary order of magnitude for budget development. It also assumes that each facility will continue to operate in its current capacity and relative quality of care. Actual costs will vary from StudioJAED's probable costs based on a number of potential factors such as: a finer granularity or understanding of required scope of work, design solution approach, type of construction, quality of materials, equipment or system specifications, field conditions, need for abatement of hazardous materials, decision to comprehensively replace equipment or system versus partial replacement / repair, phased or staged implementation (if required), quality of contractor, overall project management, solicitation of competitive pricing, etc. An expanded budget projection/analysis typically requires the development of schematic design documents and preliminary specifications to obtain contractor bid estimates.

## 6.0 Limitations & Qualifications

The services described within this document were performed by StudioJAED. No warranties are provided, either expressed or implied. While StudioJAED made every reasonable effort to properly evaluate the Property conditions within the contracted scope of work, it is important to recognize that the investigation was limited in several respects including, but not limited to, the following:

StudioJAED's findings and conclusions are based primarily on the visual appearance of the Property at the time of our site visit and comparatively evaluated in contrast to our extensive condition assessment experience. Observations included only areas that were readily accessible to our assessment team members without opening or dismantling any secured components or areas. The scope did not include invasive investigation, component sampling, laboratory analysis, an environmental site assessment, or engineering evaluations of structural, mechanical, electrical, or other systems with related calculations and review of design assumptions.

Some of StudioJAED's conclusions are partially based on information provided by others. For the purposes of this report, we have assumed this information to be complete and correct unless noted otherwise. StudioJAED assumes no responsibility for incorrect information provided by others.

Our opinions of cost represent a preliminary opinion only and are neither a quote nor a warranty or representation as to the actual costs that may be incurred. These estimates are based on typical cost data that may not fully characterize the scope of the Property conditions and are further limited by possible future changes in technology, by regulatory requirements, by Property location, and by contingencies that cannot reasonably be discovered until after commencement of onsite construction activities. StudioJAED shall not be liable to the Client nor any other property for any costs or expenses that may be incurred in excess of these estimates, for any losses that may be incurred as a result of these estimates being different from the actual costs, nor for any damages whatsoever in connection with these estimates.

This report is intended for the use of and may be relied upon only by the entities identified in Section 1.0 – Authorized Assessment Account. The scope of services performed in execution of this investigation may not be appropriate to satisfy the needs of other users, and any use or re-use of this document or its findings, conclusions, or recommendations is at the risk of said user. StudioJAED is not responsible for the conclusions, opinions, or recommendations made by others based on this information.

## Appendices

**Appendix A: Deferred Maintenance & Asset Renewal Report**

**Appendix B: Technology Floor Plans**



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# Deferred Maintenance & Asset Renewal Report

## Turn of River MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
<b>Turn of River Middle School</b>								
<b>B10 Superstructure</b>								
B1010-02-02C Correct Cast in Place Slab on Elevated Deck Non-Structural Spalling by Topping	B1010 Floor Construction	Building Exterior	Exterior Balcony	Def Maint	P2 / 1-2 Yrs	Damage/ Wear	1,218 SQFT	\$14,956
B1012-01-01C Correct Exterior Steel Ladder Deterioration by Demolition & Replacement	B1012 Exterior Building Access Ladder	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	14 LNFT	\$6,541
B1015-01-07C Correct Handrail Required by Install New	B1015 Exterior Handrail or Guardrail	Building Exterior Stairs		Bldg Imprv	P2 / 1-2 Yrs	Codes - BLDG	195 LNFT	\$12,724
Total Estimated Cost for <b>B10 Superstructure</b>								<b>\$34,221</b>
<b>B20 Exterior Enclosure</b>								
B2010-01-07C Correct Cast in Place Concrete Wall Stained Finish by Cleaning	B2010 Exterior Wall	Building Exterior	Guard Wall at Exterior Balcony	Def Maint	P2 / 1-2 Yrs	Damage/ Wear	1,120 SQFT	\$8,585
B2010-03-07C Correct Brick Masonry Wall Stained Finish by Cleaning	B2010 Exterior Wall	Building Exterior		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	44,370 SQFT	\$347,779
B2011-01-01C Correct Louvers, Grilles & Screens Areaway Grating Deterioration Demolition & Replacement	B2011 Exterior Wall Specialties	Roof	At Chimney	Def Maint	P2 / 1-2 Yrs	Damage/ Wear	12 SQFT	\$1,157

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# Deferred Maintenance & Asset Renewal Report

## Turn of River MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
B2021-01-07C Correct Window General Moisture or Air Infiltration by Recaulking	B2021 Exterior Window General	Building Exterior		Def Maint	P4 / 6-10 Yrs	Damage/ Wear	2,250 LNFT	\$26,373
Total Estimated Cost for <b>B20 Exterior Enclosure</b>								<b>\$383,895</b>
<b>B30 Roofing</b>								
B3010-08-03C Correct Modified Bituminous Roof Deterioration by Demolition & Replacement with Alternative Material (Single-ply)	B3010 Roof Covering	Roof		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	65,029 SQFT	\$2,600,923
B3020-03-01C Correct Skylight Deterioration by Demolition & Replacement	B3020 Roof Opening	Roof		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	64 SQFT	\$13,157
B3020-04-01C Correct Roof Hatch Deterioration by Demolition & Replacement	B3020 Roof Opening	Roof		Def Maint	P2 / 1-2 Yrs	Energy/ Automation	2 EACH	\$4,386
B3020-04-05C Correct Roof Hatch Guardrail Required by Install New	B3020 Roof Opening	Roof		Bldg Imprv	P2 / 1-2 Yrs	Codes - BLDG	2 EACH	\$4,949
Total Estimated Cost for <b>B30 Roofing</b>								<b>\$2,623,415</b>
<b>C10 Interior Construction</b>								
C1020-02-01C Correct Wood Door Deterioration by Demolition & Replacement	C1020 Interior Door	Kitchen		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	1 EACH	\$2,128

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# Deferred Maintenance & Asset Renewal Report

## Turn of River MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
C1020-02-05C Correct Wood Door Finish Deterioration by Prep & Refinish	C1020 Interior Door	Building Wide		Def Maint	P3 / 3-5 Yrs	Damage/Wear	50 EACH	\$16,255
C1022-01-04C Correct Door Hardware Panic Bar Set Deterioration by Demolition & Replacement	C1022 Interior Door Hardware	Lobby		Def Maint	P2 / 1-2 Yrs	Damage/Wear	4 EACH	\$6,790
C1030-02-01C Correct Toilet Compartment Deterioration by Demolition & Replacement	C1030 Fittings & Accessories	Locker Room		Def Maint	P2 / 1-2 Yrs	Damage/Wear	6 EACH	\$10,870
C1030-06-02C Correct Interior Signage Panel Signage Deterioration by Demolition & Replacement	C1030 Fittings & Accessories	Building Wide		Bldg Imprv	P2 / 1-2 Yrs	Function/Functional	132 EACH	\$19,066
C1030-07-01C Correct Locker Deterioration by Demolition & Replacement	C1030 Fittings & Accessories	Kitchen		Def Maint	P3 / 3-5 Yrs	Damage/Wear	7 EACH	\$4,764
Total Estimated Cost for <b>C10 Interior Construction</b>								<b>\$59,871</b>
<b>C20 Stairs &amp; Ramps</b>								
C2020-05-02C Correct Resilient / Rubber Stair Tread & Riser Finish Deterioration by Demolition & Replacement	C2020 Interior Stair Finish	Stair Tower		Def Maint	P2 / 1-2 Yrs	Damage/Wear	800 LNFT	\$62,095
C2050-01-01C Correct Handrail Deterioration by Demolition & Replacement	C2050 Interior Handrail & Balustrade	Auditorium		Def Maint	P2 / 1-2 Yrs	Damage/Wear	120 LNFT	\$9,476

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# Deferred Maintenance & Asset Renewal Report

Turn of River MS

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C2050-01-01C Correct Handrail Deterioration by Demolition & Replacement	C2050 Interior Handrail & Balustrade	Interior Stairs	Replace existing handrails to meet current standards.	Bldg Imprv	P2 / 1-2 Yrs	Codes - BLDG	96 LNFT	\$7,581
Total Estimated Cost for <b>C20 Stairs &amp; Ramps</b>								<b>\$79,153</b>
<b>C30 Interior Finishes</b>								
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Auditorium		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	7,500 SQFT	\$31,388
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Building Wide		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	72,120 SQFT	\$301,831
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Cafeteria		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	2,500 SQFT	\$10,463
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Gymnasium		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	11,160 SQFT	\$46,706
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Kitchen		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	2,680 SQFT	\$11,216
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Locker Room		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	7,920 SQFT	\$33,146

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# Deferred Maintenance & Asset Renewal Report

*Turn of River MS*

**Project Name:** 2021 Stamford Facility Assessment

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
C3010-03-01C Correct Ceramic Tile Wall Finish Deterioration by Demolition & Replacement	C3010 Wall Finish	Locker Room		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	2,700 SQFT	\$86,478
C3010-03-04C Correct Ceramic Tile Wall Finish Deterioration by Resurfacing	C3010 Wall Finish	Cafeteria		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	900 SQFT	\$15,791
C3010-15-01C Correct Felt Wall Panel or Covering Finish Deterioration by Demolition & Replacement	C3010 Wall Finish	Building Wide		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	17,550 SQFT	\$443,978
C3020-01-05C Correct Concrete Interior Floor Finish Deterioration by Prep & Refinish (1001 SF and Above)	C3020 Floor Finish	Auditorium		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	2,835 SQFT	\$79,630
C3020-01-05C Correct Concrete Interior Floor Finish Deterioration by Prep & Refinish (1001 SF and Above)	C3020 Floor Finish	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	1,343 SQFT	\$37,722
C3020-01-05C Correct Concrete Interior Floor Finish Deterioration by Prep & Refinish (1001 SF and Above)	C3020 Floor Finish	Locker Room		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	2,604 SQFT	\$73,141
C3020-08-01C Correct Ceramic Tile Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Building Wide		Def Maint	P2 / 1-2 Yrs	Codes - HVAC	500 SQFT	\$16,654
C3020-08-01C Correct Ceramic Tile Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Kitchen		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	135 SQFT	\$4,497

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# Deferred Maintenance & Asset Renewal Report

## Turn of River MS

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**Building Type:** Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
C3020-08-01C Correct Ceramic Tile Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Locker Room		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	1,030 SQFT	\$34,308
C3020-08-03C Correct Ceramic Tile Floor Finish Deterioration by Regrouting	C3020 Floor Finish	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	500 SQFT	\$9,759
C3020-09-03C Correct Quarry Tile Floor Finish Deterioration by Regrouting	C3020 Floor Finish	Kitchen		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	2,075 SQFT	\$32,785
C3020-11-02C Correct Hard Wood Floor Finish Deterioration Prep & Refinish	C3020 Floor Finish	Auditorium		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	3,019 SQFT	\$24,879
C3020-11-02C Correct Hard Wood Floor Finish Deterioration Prep & Refinish	C3020 Floor Finish	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	534 SQFT	\$4,401
C3020-11-02C Correct Hard Wood Floor Finish Deterioration Prep & Refinish	C3020 Floor Finish	Gymnasium		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	8,550 SQFT	\$70,460
C3020-11-02C Correct Hard Wood Floor Finish Deterioration Prep & Refinish	C3020 Floor Finish	Locker Room		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	2,604 SQFT	\$21,459
C3020-12-01C Correct Carpet Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Auditorium		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	235 SQYD	\$25,031

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# Deferred Maintenance & Asset Renewal Report

## Turn of River MS

**Project Name:** 2021 Stamford Facility Assessment

**Building Type:** Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
C3020-12-01C Correct Carpet Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/Wear	760 SQYD	\$80,950
C3020-12-01C Correct Carpet Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Library		Def Maint	P3 / 3-5 Yrs	Damage/Wear	275 SQYD	\$29,291
C3020-16-01C Correct Recessed Entrance Floor Mat Deterioration by Demolition & Replacement	C3020 Floor Finish	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/Wear	275 SQFT	\$37,239
C3020-16-01C Correct Recessed Entrance Floor Mat Deterioration by Demolition & Replacement	C3020 Floor Finish	Vestibule		Def Maint	P2 / 1-2 Yrs	Damage/Wear	100 SQFT	\$13,542
C3030-02-01C Correct Plaster Ceiling Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/Wear	120 SQFT	\$2,149
C3030-02-01C Correct Plaster Ceiling Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Library		Def Maint	P2 / 1-2 Yrs	Damage/Wear	30 SQFT	\$537
C3030-02-03C Correct Plaster Ceiling Finish Deterioration by Prep & Refinish	C3030 Ceiling Finish	Auditorium		Def Maint	P3 / 3-5 Yrs	Damage/Wear	4,950 SQFT	\$58,226
C3030-02-03C Correct Plaster Ceiling Finish Deterioration by Prep & Refinish	C3030 Ceiling Finish	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/Wear	4,548 SQFT	\$53,497

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*Turn of River MS*

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
C3030-02-03C Correct Plaster Ceiling Finish Deterioration by Prep & Refinish	C3030 Ceiling Finish	Kitchen		Def Maint	P2 / 1-2 Yrs	Damage/Wear	135 SQFT	\$1,588
C3030-02-03C Correct Plaster Ceiling Finish Deterioration by Prep & Refinish	C3030 Ceiling Finish	Locker Room		Def Maint	P2 / 1-2 Yrs	Damage/Wear	6,216 SQFT	\$73,117
C3030-04-02C Correct Splined Acoustical Ceiling Finish Deterioration by Demolition & Replacement with Alternative Material (Susp Acoustical)	C3030 Ceiling Finish	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/Wear	13,341 SQFT	\$147,410
C3030-05-01C Correct Suspended Acoustical Ceiling Tile Only Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Library		Def Maint	P4 / 6-10 Yrs	Damage/Wear	2,400 SQFT	\$13,041
C3030-05-02C Correct Suspended Acoustical Ceiling Tile & Grid Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/Wear	61,363 SQFT	\$647,772
C3030-05-02C Correct Suspended Acoustical Ceiling Tile & Grid Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Cafeteria		Def Maint	P2 / 1-2 Yrs	Damage/Wear	4,200 SQFT	\$44,337
C3030-05-03C Correct Suspended Acoustical Ceiling Finish Deterioration by Demolition & Replacement with Alternative Material (Drywall)	C3030 Ceiling Finish	Kitchen		Def Maint	P2 / 1-2 Yrs	Damage/Wear	2,075 SQFT	\$31,156

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Turn of River MS

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
Total Estimated Cost for <b>C30 Interior Finishes</b>								<b>\$2,649,575</b>
<b>D10 Conveying</b>								
D1010-01-92C Correct Hydraulic Elevator (2500 Capacity) Required by Install New	D1010 Elevator & Lift	1st Floor to Upper Level	<i>Provides access to upper level classrooms.</i>	Bldg Imprv	P2 / 1-2 Yrs	Accessibility	1 FLR	\$172,119
D1010-01-92C Correct Hydraulic Elevator (2500 Capacity) Required by Install New	D1010 Elevator & Lift	First Floor to Basement Level	<i>Provides access to basement level classrooms.</i>	Bldg Imprv	P3 / 3-5 Yrs	Accessibility	1 FLR	\$172,119
D1010-03-05C Correct Incline Wheelchair Lift (750 Capacity) Required by Install New	D1010 Elevator & Lift	Stage		Bldg Imprv	P2 / 1-2 Yrs	Accessibility	1 FLR	\$57,909
Total Estimated Cost for <b>D10 Conveying</b>								<b>\$402,147</b>
<b>D20 Plumbing</b>								
D2010-02-01C Correct Water Closet Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide	<i>Older Fixtures</i>	Def Maint	P2 / 1-2 Yrs	Useful Life	20 EACH	\$57,579
D2010-03-01C Correct Lavatory Faucet Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide	<i>Older Fixtures</i>	Def Maint	P2 / 1-2 Yrs	Useful Life	16 EACH	\$17,377
D2010-04-01C Correct Urinal Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide	<i>Older Fixtures</i>	Def Maint	P4 / 6-10 Yrs	Useful Life	8 EACH	\$20,277

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# Deferred Maintenance & Asset Renewal Report

## Turn of River MS

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D2010-05-07C Correct Shower Enclosure, Mixing Valve/Faucet and Trim Set Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide	Older Fixtures	Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$9,775
D2010-08-02C Correct Electric Water Cooler (Hi-Low) Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	13 EACH	\$58,388
D2010-10-01C Correct Utility Sink or Mop Receptor Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	7 EACH	\$27,290
D2010-11-01C Correct Residential Sink Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide	Classroom and Misc Space Sinks	Def Maint	P2 / 1-2 Yrs	Useful Life	9 EACH	\$20,377
D2010-12-01C Correct Lab Sink Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Science Lab		Def Maint	P2 / 1-2 Yrs	Useful Life	9 EACH	\$31,792
D2010-16-01C Correct Commercial Kitchen Stainless Steel Sink Single Bowl Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Kitchen		Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$7,415
D2010-16-02C Correct Commercial Kitchen Stainless Steel Sink Double Bowl Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Shop		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$4,902

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# Deferred Maintenance & Asset Renewal Report

Turn of River MS

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D2010-16-03C Correct Commercial Kitchen Stainless Steel Sink Triple Bowl Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Kitchen		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$5,721
D2020-01-01C Correct Domestic Water Piping & Valves & Insulation Deterioration by Demolition & Replacement (Bldg SF)	D2020 Domestic Water Distribution	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	121,005 BLDG SF	\$1,943,902
D2020-06-01C Correct Plumbing Pump Deterioration by Demolition & Replacement	D2020 Domestic Water Distribution	Mezzanine Above Kitchen		Def Maint	P4 / 6-10 Yrs	Useful Life	2 EACH	\$15,749
D2020-07-01C Correct Pressure Pump Deterioration by Demolition & Replacement	D2020 Domestic Water Distribution	Boiler Room		Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$38,806
D2030-01-01C Correct Deteriorated Sanitary Sewer Pipe & Fittings Deterioration by Demolition & Replacement (Bldg SF)	D2030 Sanitary Waste	Building Wide	Select locations as needed.	Def Maint	P2 / 1-2 Yrs	Useful Life	65,000 BLDG SF	\$621,660
D2030-04-01C Correct Ejection Pump Deterioration by Demolition & Replacement	D2030 Sanitary Waste	Basement		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$4,483

Total Estimated Cost for **D20 Plumbing**

**\$2,885,495**

## D30 HVAC

D3010-02-01C Correct Oil Fuel Transfer Pump Deterioration by Demolition & Replacement	D3010 Energy Supply	Boiler Room	Pump set	Def Maint	P4 / 6-10 Yrs	Useful Life	2 EACH	\$11,806
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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D3020-02-11C Correct Hot Water Boiler Deterioration (6,000 MBH) by Demolition & Replacement	D3020 Heat Generation	Boiler Room		Def Maint	P4 / 6-10 Yrs	Damage/Wear	3 EACH	\$988,324
D3020-04-01C Correct Gas Burner Deterioration by Demolition & Replacement	D3020 Heat Generation	Boiler Room		Def Maint	P4 / 6-10 Yrs	Damage/Wear	3 EACH	\$46,933
D3020-10-08C Correct Boiler Chemical Feed System (10 Gal) Required by Install New	D3020 Heat Generation	Building Wide		Bldg Imprv	P2 / 1-2 Yrs	Function/Functional	1 EACH	\$6,764
D3020-18-01C Correct Electric Unit Heater Deterioration by Demolition & Replacement	D3020 Heat Generation	Building Wide		Def Maint	P4 / 6-10 Yrs	Security	3 EACH	\$9,046
D3040-02-03C Correct Air Handling Unit (5 Tons) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Shop		Def Maint	P2 / 1-2 Yrs	Useful Life	3 EACH	\$95,841
D3040-02-05C Correct Air Handling Unit (10 Tons) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Art Room	Heat only	Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$38,985
D3040-02-05C Correct Air Handling Unit (10 Tons) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Gymnasium		Def Maint	P2 / 1-2 Yrs	Useful Life	4 EACH	\$155,940
D3040-02-09C Correct Air Handling Unit (25 Tons) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Cafeteria	Heat only	Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$103,283

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D3040-02-11C Correct Air Handling Unit (37.5 Tons) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Auditorium		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$135,458
D3040-09-07C Correct Exhaust or Induction Fan (3/4 HP) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Roof		Def Maint	P4 / 6-10 Yrs	Useful Life	22 EACH	\$150,250
D3040-13-01C Correct Ductwork & Insulation (Interior) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Building Wide		Def Maint	P4 / 6-10 Yrs	Useful Life	60,000 SQFT	\$2,752,027
D3040-17-15C Correct HVAC Piping System (2 Pipe) & Insulation Deterioration by Demolition & Replacement (BLDG SF)	D3040 HVAC Distribution	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/Wear	121,005 BLDG SF	\$1,834,271
D3040-18-05C Correct Hydronic Distribution Base Mount Pump (15 HP) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Boiler Room		Def Maint	P4 / 6-10 Yrs	Useful Life	6 EACH	\$292,313
D3050-01-02C Correct Packaged Rooftop Air Conditioning & Heating Unit (5 Ton) Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Roof		Def Maint	P2 / 1-2 Yrs	Useful Life	3 EACH	\$96,561
D3050-01-04C Correct Packaged Rooftop Air Conditioning & Heating Unit (10 Ton) Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Roof		Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$93,063

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D3050-07-06C Correct Computer Room (MDF/IDF) Split System Air Conditioning System Required by Install New	D3050 Terminal & Packaged Units	MDF, IDF1, IDF2, IDF3	<i>MDF, and all IDF's require additional room cooling for equipment operation.</i>	Bldg Imprv	P2 / 1-2 Yrs	Function/Functional	5 EACH	\$54,251
D3050-08-03C Correct Split System Air Conditioning System Deterioration (5 Ton) by Demolition & Replacement	D3050 Terminal & Packaged Units	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	17 EACH	\$493,408
D3050-10-05C Correct Heating Only Unit Ventilator (5 Ton) Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Classrooms & Misc	<i>With Bookshelves</i>	Def Maint	P4 / 6-10 Yrs	Useful Life	38 EACH	\$1,359,190
D3050-20-01C Correct Steam & Hot Water Unit Heater (100 MBH) Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	4 EACH	\$9,095
D3050-34-05C Correct Packaged Terminal Air Conditioning Unit (48,000 BTU) Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Roof		Def Maint	P2 / 1-2 Yrs	Useful Life	4 EACH	\$50,091
D3060-01-05C Correct Pneumatic Control System Deterioration by Demolition & Replacement with Alternate DDC System (Bldg SF)	D3060 HVAC Instrumentation & Controls	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	121,005 BLDG SF	\$1,959,569
Total Estimated Cost for <b>D30 HVAC</b>								<b>\$10,736,468</b>

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
<b>D40 Fire Protection</b>								
D4010-01-04C Correct Wet Pipe Sprinkler System Deterioration by Demolish & Replace System (Bldg SF)	D4010 Sprinklers	Boiler Room		Def Maint	P3 / 3-5 Yrs	Useful Life	121,005 BLDG SF	\$1,633,190
Total Estimated Cost for <b>D40 Fire Protection</b>								<b>\$1,633,190</b>
<b>D50 Electrical</b>								
D5010-05-06C Correct Main Distribution Panel (2000 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Electrical Room	<i>Federal Pacific. 53 years old.</i>	Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$82,613
D5010-12-04C Correct Panelboard (100 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	1st Floor	<i>Located in small room off girls gymnasium with large framed panel and motor starters.</i>	Def Maint	P3 / 3-5 Yrs	Useful Life	1 EACH	\$8,586
D5010-12-04C Correct Panelboard (100 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	1st Floor	<i>Located in small closet next to classroom 110.</i>	Def Maint	P3 / 3-5 Yrs	Useful Life	1 EACH	\$8,586
D5010-12-04C Correct Panelboard (100 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	1st Floor	<i>Located in small room in front of classroom 106.</i>	Def Maint	P3 / 3-5 Yrs	Useful Life	1 EACH	\$8,586
D5010-12-05C Correct Panelboard (225 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	1st Floor	<i>Panel is located in small closet next to boys and girls room across the hall from the auditorium.</i>	Def Maint	P3 / 3-5 Yrs	Useful Life	1 EACH	\$13,534

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D5010-12-05C Correct Panelboard (225 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	1st Floor	<i>Located in storage room adjacent to library room 204.</i>	Def Maint	P3 / 3-5 Yrs	Useful Life	1 EACH	\$13,534
D5010-12-05C Correct Panelboard (225 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	1st Floor	<i>Located in closet at top of stair No. 2.</i>	Def Maint	P3 / 3-5 Yrs	Useful Life	1 EACH	\$13,534
D5010-12-05C Correct Panelboard (225 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	1st Floor	<i>Located in science lecture room 215.</i>	Def Maint	P3 / 3-5 Yrs	Useful Life	1 EACH	\$13,534
D5010-12-05C Correct Panelboard (225 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Boiler Room	<i>Federal Pacific. 53 years old.</i>	Def Maint	P3 / 3-5 Yrs	Useful Life	1 EACH	\$13,534
D5010-12-05C Correct Panelboard (225 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Kitchen	<i>Located on wall in kitchen, next to larger panel.</i>	Def Maint	P3 / 3-5 Yrs	Useful Life	1 EACH	\$13,534
D5010-12-06C Correct Panelboard (400 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	1st Floor	<i>Located in closet at top of stair No. 2. Provides power to roof RTU.</i>	Def Maint	P3 / 3-5 Yrs	Useful Life	1 EACH	\$16,223
D5010-12-06C Correct Panelboard (400 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Boiler Room		Def Maint	P3 / 3-5 Yrs	Useful Life	1 EACH	\$16,223
D5010-12-06C Correct Panelboard (400 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Kitchen	<i>Located on wall in kitchen.</i>	Def Maint	P3 / 3-5 Yrs	Useful Life	1 EACH	\$16,223

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D5010-12-10C Correct Panelboard (225 AMP) Required by Install New	D5010 Electrical Service & Distribution	1st Floor	<i>Located in small room next to classroom 106.</i>	Def Maint	P3 / 3-5 Yrs	Function/ Functional	1 EACH	\$23,874
D5010-12-10C Correct Panelboard (225 AMP) Required by Install New	D5010 Electrical Service & Distribution	Building Wide	<i>Each panel with 4 #4/0 + #4 g 2 1/2 inch EMT conduit.</i>	Def Maint	P3 / 3-5 Yrs	Function/ Functional	18 EACH	\$429,734
D5010-12-10C Correct Panelboard (225 AMP) Required by Install New	D5010 Electrical Service & Distribution	Building Wide	<i>Panels to support additional receptacles in each classroom.</i>	Bldg Imprv	P3 / 3-5 Yrs	Function/ Functional	4 EACH	\$95,496
D5010-14-01C Correct Motor Starter Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	1st Floor	<i>Starter is over 50 years old. Located in room off boys gymnasium.</i>	Def Maint	P3 / 3-5 Yrs	Useful Life	1 EACH	\$7,532
D5010-15-01C Correct Disconnect Switch Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Electrical Room	<i>Square D switches that feed upstairs 100A, 150A, 125A, 200A from basement Electrical room.</i>	Def Maint	P3 / 3-5 Yrs	Useful Life	4 EACH	\$8,081
D5020-01-03C Correct Recessed Fluorescent Fixture Deterioration by Demolition & Replacement with Alternate Fixture Type (LED)	D5020 Lighting & Branch Wiring	Gymnasium	<i>Boys and girls gymnasium lights.</i>	Def Maint	P3 / 3-5 Yrs	Useful Life	20 EACH	\$11,461
D5020-01-03C Correct Recessed Fluorescent Fixture Deterioration by Demolition & Replacement with Alternate Fixture Type (LED)	D5020 Lighting & Branch Wiring	Office		Def Maint	P3 / 3-5 Yrs	Useful Life	1 EACH	\$573

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D5020-01-03C Correct Recessed Fluorescent Fixture Deterioration by Demolition & Replacement with Alternate Fixture Type (LED)	D5020 Lighting & Branch Wiring	Office		Def Maint	P3 / 3-5 Yrs	Security	1 EACH	\$573
D5021-01-05C Correct Receptacles Required by Install New	D5021 Branch Wiring	Building Wide	(4) new receptacles for each classroom.	Bldg Imprv	P3 / 3-5 Yrs	Function/Functional	184 EACH	\$176,155
D5021-03-01C Correct Branch Wiring Deterioration by Demolition & Replacement	D5021 Branch Wiring	Building Wide	2 #12 + 1 #12g MC cable.	Def Maint	P3 / 3-5 Yrs	Useful Life	75,600 LNFT	\$586,042
D5021-03-01C Correct Branch Wiring Deterioration by Demolition & Replacement	D5021 Branch Wiring	Building Wide	2 #12 + 1 #12 g MC cable for additional receptacles in each classroom.	Bldg Imprv	P3 / 3-5 Yrs	Function/Functional	18,400 LNFT	\$142,635
D5021-03-01C Correct Branch Wiring Deterioration by Demolition & Replacement	D5021 Branch Wiring	Building Wide	4 #4/0 + #4 g 2 1/2" EMT Conduit.	Def Maint	P3 / 3-5 Yrs	Useful Life	3,600 LNFT	\$27,907
D5031-03-01C Correct Security System Motion or Glass Break Detector Deterioration by Demolition & Replacement (BLDG SF)	D5031 Security Access & Surveillance	Building Wide	Problems with nuisance alarms.	Def Maint	P2 / 1-2 Yrs	Security	121,005 BLDG SF	\$58,082 sec equip
D5031-07-01C Correct Video Surveillance Indoor Camera Deterioration by Demolition & Replacement	D5031 Security Access & Surveillance	Building Wide	Upgrades have been recently installed.	Def Maint	P4 / 6-10 Yrs	Useful Life	2 EACH	\$6,685 sec equip

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D5031-20-01C Correct Security Access Control System (Head End Only) Deterioration by Demolition & Replacement	D5031 Security Access & Surveillance	Building Wide	Minimal access control on site.	Def Maint	P4 / 6-10 Yrs	Useful Life	1 EACH	<b>\$5,351</b> sec equip
D5031-20-03C Correct Security Access Control with Video Intecom Deterioration by Demolition & Replacement	D5031 Security Access & Surveillance	Main Entrance	Antiquated intercom at main entry. Install new video intercom for added security.	Def Maint	P2 / 1-2 Yrs	Security	2 EACH	<b>\$11,119</b> sec equip
D5032-01-05C Correct Master Clock System Deterioration by Demolition & Replacement with Wireless System (Bldg SF)	D5032 Clock & Program Systems	Building Wide	Install synchronized wall clocks in rooms that have an unsynchronized clock.	Def Maint	P4 / 6-10 Yrs	Function/ Functional	121,005 BLDG SF	\$321,951
D5033-01-01C Correct Building Wide Intercom System Deterioration by Demolition & Replacement (Bldg SF)	D5033 Intercom Systems	Building Wide	Antiquated system. Cafeteria speakers are no longer in working order. Gymnasium speakers are too loud.	Def Maint	P3 / 3-5 Yrs	Function/ Functional	121,005 BLDG SF	\$435,400
D5035-04-01C Correct Building-Wide Telephone System Deterioration by Demolition & Replacement (Bldg SF)	D5035 Telephone System	Building Wide	Recommended to upgrade to VoIP.	Def Maint	P2 / 1-2 Yrs	Useful Life	121,005 BLDG SF	<b>\$414,186</b> tech equip
D5036-01-03C Correct Technology System Wiring Deterioration by Demolition & Replacement	D5036 Technology System	Building Wide	Cabling should be replaced with most current category rated cabling within 6-10 years. Horizontal wiring	Def Maint	P4 / 6-10 Yrs	Useful Life	250,000 LNFT	<b>\$762,240</b> tech infra

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D5036-03-06C Correct Data Room Equipment Grounding System Required by Install New	D5036 Technology System	MDF, ALL IDF'S	All equipment and racks should be grounded.	Bldg Imprv	P3 / 3-5 Yrs	Function/ Functional	6 LPSM	<b>\$25,348</b> tech infra
D5036-06-01C Correct Fiber Optic Backbone Wiring Deterioration by Demolition & Replacement	D5036 Technology System	MDF to IDF 1MDF to IDF 2MDF to IDF 3	All IDF's currently have OM1 fiber ran from the MDF. Antiquated system should be upgraded to meet the needs of today's technology standards.	Def Maint	P2 / 1-2 Yrs	Function/ Functional	1,500 LNFT	<b>\$6,666</b> tech infra
D5090-01-04C Correct Diesel Fuel Emergency Generator (150 kW) Required by Install New	D5090 Other Electrical Systems	MDF, ALL IDF'S	Owner requested all MDF / IDF (6) equipment & associated room cooling be on emer generator. Allowance to add new unit and/or tie into existing with available	Bldg Imprv	P2 / 1-2 Yrs	Function/ Functional	1 EACH	<b>\$149,219</b> tech equip
D5090-04-03C Correct Uninterruptable Power Supply System (5 KVA) Deterioration by Demolition & Replacement	D5090 Other Electrical Systems	MDF		Def Maint	P4 / 6-10 Yrs	Useful Life	1 EACH	<b>\$23,010</b> tech equip
D5090-04-04C Correct Uninterruptable Power Supply System (5 KVA) Required by Install New	D5090 Other Electrical Systems	IDF1, IDF2, IDF3, IDF 4, IDF 5	Install UPS's	Bldg Imprv	P3 / 3-5 Yrs	Function/ Functional	5 EACH	<b>\$105,001</b> tech equip
Total Estimated Cost for <b>D50 Electrical</b>								<b>\$4,072,568</b>

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
<b>E10 Equipment</b>								
E1020-04-01C Correct Stage Curtain Deterioration by Demolition & Replacement	E1020 Institutional Equipment	Auditorium		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	733 SQYD	\$669,006
E1020-06-02C Correct Projection Equipment Deterioration by Demolition & Replacement with Interactive Flat Panel System	E1020 Institutional Equipment	Building Wide	Classrooms, conference rooms	Def Maint	P4 / 6-10 Yrs	Useful Life	3 EACH	<b>\$81,875</b> tech equip
E1020-06-02C Correct Projection Equipment Deterioration by Demolition & Replacement with Interactive Flat Panel System	E1020 Institutional Equipment	Building Wide	Classrooms, conference rooms	Def Maint	P3 / 3-5 Yrs	Useful Life	56 EACH	<b>\$1,528,329</b> tech equip
E1040-03-02C Correct Dock Bumper Required by Install New	E1040 Dock Lift & Equipment	Building Exterior		Bldg Imprv	P2 / 1-2 Yrs	Function/ Functional	15 EACH	\$4,616
Total Estimated Cost for <b>E10 Equipment</b>								<b>\$2,283,825</b>
<b>E20 Furnishings</b>								
E2010-01-01C Correct Wardrobe Deterioration by Demolition & Replacement	E2010 Fixed Furnishings	Building Wide		Def Maint	P2 / 1-2 Yrs	Codes - HVAC	16 EACH	\$19,431
E2010-03-01C Correct Shelving Deterioration by Demolition & Replacement	E2010 Fixed Furnishings	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	203 LNFT	\$6,587
E2010-04-01C Correct Wall Cabinet Deterioration by Demolition & Replacement	E2010 Fixed Furnishings	Building Wide		Def Maint	P2 / 1-2 Yrs	Codes - HVAC	194 LNFT	\$67,323

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Estimated Construction Cost is based on 2021 RSMeans data regionalized for Stamford, CT with client defined allowances and soft costs applied.



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# Deferred Maintenance & Asset Renewal Report

Turn of River MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
E2010-04-03C Correct Base Cabinet with Laminate Counter Deterioration by Demolition & Replacement	E2010 Fixed Furnishings	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/Wear	344 LNFT	\$285,817
E2010-05-05C Correct Laboratory Table with Storage Deterioration by Demolition & Replacement	E2010 Fixed Furnishings	Science Lab		Def Maint	P2 / 1-2 Yrs	Damage/Wear	96 SQFT	\$17,726
E2010-07-01C Correct Display Case Deterioration by Demolition & Replacement	E2010 Fixed Furnishings	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/Wear	110 SQFT	\$312,539
E2011-02-02C Correct Mini-blind Deterioration by Demolition & Replacement with Manual Shade System (Window SF)	E2011 Window Treatment	Building Wide		Def Maint	P3 / 3-5 Yrs	Damage/Wear	7,200 SQFT	\$146,982
E2013-02-01C Correct Wood Bench Deterioration by Demolition & Replacement	E2013 Fixed Seating	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/Wear	60 LNFT	\$24,382

Total Estimated Cost for **E20 Furnishings**

**\$880,786**

## F10 Special Construction

F1010-13-01C Correct Modular Classroom Deterioration by Demolition & Replacement with Permanent Structure	F1010 Special Structures	Modular Classroom Building	<i>Demo existing modular classroom and construct new building addition.</i>	Def Maint	P2 / 1-2 Yrs	Useful Life	4,350 SQFT	\$2,217,312
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Total Estimated Cost for **F10 Special Construction**

**\$2,217,312**

Priority 1 - Work should be performed immediately. Potential Life / Safety Issue.

Priority 3 - Work to be performed within next 3-5 years. Asset will reach useful life soon.

Priority 2 - Work to be performed within next 1-2 years. Asset has reached useful life. Priority 4 - Work to be performed within next 6-10 years or is an arch/eng "good practice".

Estimated Construction Cost is based on 2021 RSMeans data regionalized for Stamford, CT with client defined allowances and soft costs applied.



Powered By: CT2000

# Deferred Maintenance & Asset Renewal Report

Turn of River MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

Page 23 of 28

System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
<b>F20 Selective Demolition</b>								
F2020-04-02C Correct Asbestos Pipe Fitting Insulation by Abatement	F2020 Hazardous Components Abatement	Building Wide		Def Maint	P2 / 1-2 Yrs	Codes - BLDG	320 EACH	\$21,696
F2020-04-03C Correct Asbestos Pipe Insulation and Pipe Remediation Required by Abatement & Pipe Removal	F2020 Hazardous Components Abatement	Building Wide	Reference AHERA Report for locations. Qty. Est.	Def Maint	P2 / 1-2 Yrs	Environ Imprvmt	700 LNFT	\$83,791
F2020-05-01C Correct Asbestos Floor Tile Remediation Required by Abatement & Install Resilient Finish	F2020 Hazardous Components Abatement	Building Wide	Existing 9x9 tile. See AHERA Report.	Def Maint	P2 / 1-2 Yrs	Environ Imprvmt	790 SQFT	\$17,974
F2020-05-01C Correct Asbestos Floor Tile Remediation Required by Abatement & Install Resilient Finish	F2020 Hazardous Components Abatement	Cafeteria	Existing damaged or worn 12x12 tile. See AHERA Report.	Def Maint	P2 / 1-2 Yrs	Environ Imprvmt	4,200 SQFT	\$95,556
F2020-05-03C Correct Asbestos Floor Tile with Carpet Overlay Remediation Required by Abatement & Install Resilient Finish	F2020 Hazardous Components Abatement	Building Wide	Existing floor is resilient floor (VCT) over asbestos VCT.	Def Maint	P2 / 1-2 Yrs	Environ Imprvmt	69,500 SQFT	\$2,544,851
F2020-07-01C Correct Asbestos Transite Panel Board Remediation Required by Abatement	F2020 Hazardous Components Abatement	Blower Room		Def Maint	P2 / 1-2 Yrs	Codes - BLDG	400 SQFT	\$2,137
F2020-10-01C Correct Asbestos Ceiling Tile Remediation Required by Abatement	F2020 Hazardous Components Abatement	Building Wide		Def Maint	P2 / 1-2 Yrs	Environ Imprvmt	74,704 SQFT	\$3,790,424

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# Deferred Maintenance & Asset Renewal Report

Turn of River MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
F2020-13-01C Correct Asbestos Wiring Insulation Remediation Required by Abatement	F2020 Hazardous Components Abatement	Auditorium	Refer to AHERA reports.	Def Maint	P2 / 1-2 Yrs	Environ Imprvmt	500 LNFT	\$22,334
F2020-15-01C Correct Asbestos Sink Undercoating Remediation Required by Abatement	F2020 Hazardous Components Abatement	Building Wide		Def Maint	P2 / 1-2 Yrs	Codes - BLDG	8 EACH	\$45,838
F2020-35-01C Correct Asbestos Transite Laboratory Hood Remediation Required by Abatement	F2020 Hazardous Components Abatement	Science Lab		Def Maint	P2 / 1-2 Yrs	Codes - BLDG	50 SQFT	\$2,441
Total Estimated Cost for F20 Selective Demolition								\$6,627,041
<b>G20 Site Improvements</b>								
G2010-01-03C Correct Bituminous Roadway Surface Deterioration by Overlay	G2010 Roadways	Access Drive to Rear Maintenance Area- North Side of School		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	2,100 SQYD	\$33,917
G2010-04-01C Correct Roadway Curb Deterioration by Demolition & Replacement	G2010 Roadways	Bus Loop Curb Both Sides- West Side of School		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	1,350 LNFT	\$97,614
G2010-06-01C Correct Bus Drop Off Loop Deterioration by Demolition & Replacement	G2010 Roadways	West Side of School		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	2,075 SQYD	\$494,910

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# Deferred Maintenance & Asset Renewal Report

Turn of River MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
G2020-01-01C Correct Bituminous Parking Lot Deterioration by Demolition & Replacement	G2020 Parking Lots	East Side of Main Parking Lot- South Side of School	<i>Failed base material causing damage to surface.</i>	Def Maint	P2 / 1-2 Yrs	Damage/ Wear	635 SQYD	\$66,568
G2020-01-03C Correct Bituminous Parking Lot Deterioration by Restoration & Overlayment	G2020 Parking Lots	Main Parking Lot- South Side of School		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	1,750 SQYD	\$29,191
G2020-01-03C Correct Bituminous Parking Lot Deterioration by Restoration & Overlayment	G2020 Parking Lots	Parking Along Bus Loop		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	340 SQYD	\$5,671
G2020-01-03C Correct Bituminous Parking Lot Deterioration by Restoration & Overlayment	G2020 Parking Lots	Parking At Maintenance Area- North Side of School		Def Maint	P4 / 6-10 Yrs	Useful Life	1,085 SQYD	\$18,098
G2020-05-01C Correct Parking Lot Curb Deterioration by Demolition & Replacement	G2020 Parking Lots	North Curb of Main Parking Lot- South Side of School		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	225 LNFT	\$16,269
G2020-05-01C Correct Parking Lot Curb Deterioration by Demolition & Replacement	G2020 Parking Lots	Parking Along Bus Loop		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	215 LNFT	\$15,546
G2030-01-01C Correct Bituminous Sidewalk Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	East Side of Bus Loop, Adjacent to Main Entrance Stairs		Def Maint	P4 / 6-10 Yrs	Useful Life	160 SQYD	\$15,044

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# Deferred Maintenance & Asset Renewal Report

## Turn of River MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
G2030-01-01C Correct Bituminous Sidewalk Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	Off Northwest Corner of School		Def Maint	P2 / 1-2 Yrs	Damage/Wear	105 SQYD	\$9,873
G2030-01-01C Correct Bituminous Sidewalk Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	Walk Along Bus Loop, North of Bus Loop Parking		Def Maint	P2 / 1-2 Yrs	Damage/Wear	215 SQYD	\$20,216
G2030-01-01C Correct Bituminous Sidewalk Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	Walk Leading to Little League Field		Def Maint	P3 / 3-5 Yrs	Damage/Wear	260 SQYD	\$24,447
G2030-01-01C Correct Bituminous Sidewalk Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	Walks Surrounding Northeast Corner of School		Def Maint	P2 / 1-2 Yrs	Damage/Wear	315 SQYD	\$29,618
G2030-01-01C Correct Bituminous Sidewalk Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	Western Edge of Property Along Road		Def Maint	P2 / 1-2 Yrs	Damage/Wear	150 SQYD	\$14,104
G2030-02-01C Correct Concrete Sidewalk Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	Walk Along South of Access Drive to Rear Maintenance Area		Def Maint	P3 / 3-5 Yrs	Damage/Wear	1,500 SQFT	\$35,539
G2030-08-01C Correct Concrete Paving Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	Interior Courtyard		Def Maint	P2 / 1-2 Yrs	Damage/Wear	5,600 SQFT	\$106,669

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# Deferred Maintenance & Asset Renewal Report

## Turn of River MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
G2031-01-01C Correct Concrete Above Grade Stair Deterioration by Demolition & Replacement	G2031 Exterior Stair Construction	Stairs at Main Entrance		Def Maint	P4 / 6-10 Yrs	Useful Life	8 RISR	\$10,357
G2032-01-01C Correct Concrete Ramp Deteriorated by Demolition & Replacement	G2032 Exterior Ramp Construction	Building Exterior		Def Maint	P3 / 3-5 Yrs	Accessibility	400 SQFT	\$92,045
G2040-04-02C Correct Chain Link Fence & Gates (4' High) Deterioration by Demolition & Replacement	G2040 Site Development	Baseball Field		Def Maint	P2 / 1-2 Yrs	Damage/Wear	160 LNFT	\$4,320
G2040-04-06C Correct Chain Link Fence & Gates (8' High) Deterioration by Demolition & Replacement	G2040 Site Development	Dugout Fencing at Baseball Field		Def Maint	P2 / 1-2 Yrs	Damage/Wear	130 LNFT	\$12,567
G2050-04-4C Correct Deteriorated Trees and Stumps by Removal	G2050 Landscaping	Roof		Def Maint	P2 / 1-2 Yrs	Damage/Wear	3 EACH	\$7,315
Total Estimated Cost for <b>G20 Site Improvements</b>								<b>\$1,159,898</b>

### H10 Space Requirements

H1020-01-2C Correct General Space Entrance not ADA Jamb Clearance Compliant by Demo & Reconfigure Space Entrance	H1020 Space Reconfiguration	Select Classroom Locations	<i>Reconfigure entrance at select classrooms to provide access.</i>	Def Maint	P4 / 6-10 Yrs	Codes - BLDG	4 EACH	\$51,278
Total Estimated Cost for <b>H10 Space Requirements</b>								<b>\$51,278</b>

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# Deferred Maintenance & Asset Renewal Report

Turn of River MS

Project Name: 2021 Stamford Facility Assessment

Building Type: Middle School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
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Turn of River Middle School Total Estimated Cost: \$38,780,140

Total Estimated "Deferred Maintenance" Cost: \$37,574,188

Total Estimated "Building Improvement" Cost: \$1,205,951

Priority 1 - Work should be performed immediately. Potential Life / Safety Issue.      Priority 3 - Work to be performed within next 3-5 years. Asset will reach useful life soon.  
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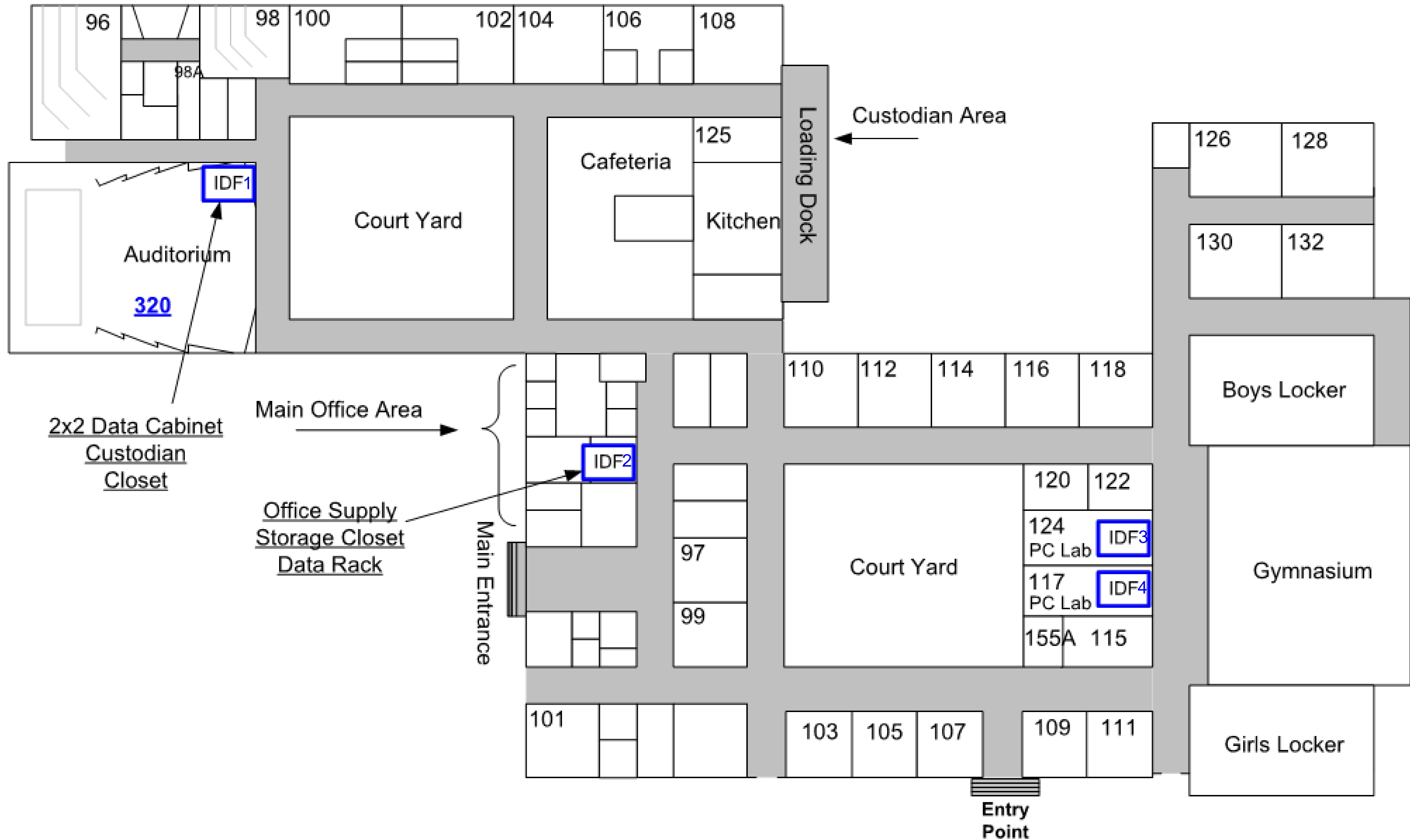


# Turn Of River MS

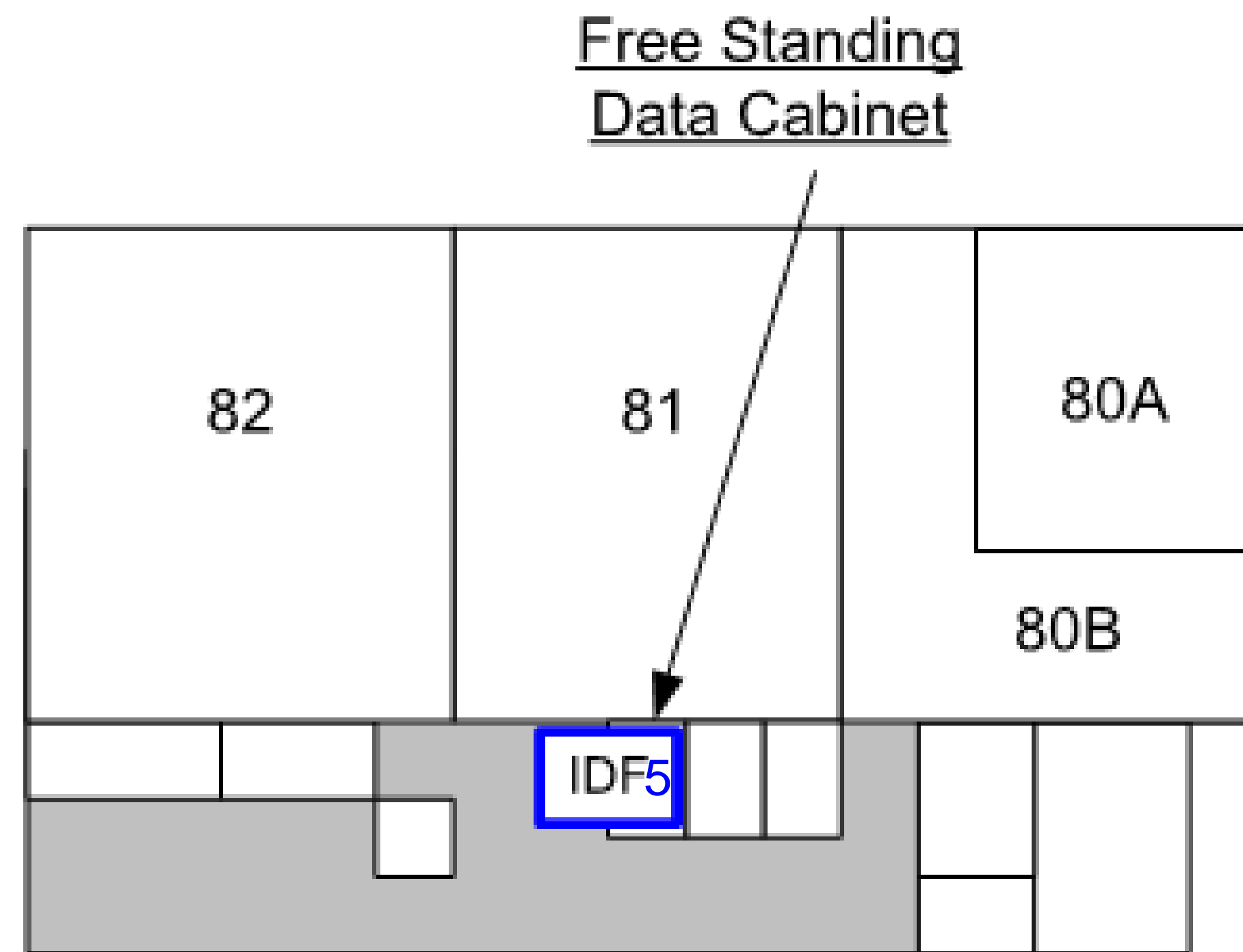
1<sup>st</sup> Floor

## LAN Closet Locations

02/2021







Turn Of River MS  
Basement Level  
LAN Closet Locations

Teacher Lounge Closet  
Dual Data Racks

Turn Of River MS  
2<sup>nd</sup> Floor  
LAN Closet Locations

02/2021





# VOLUME 2 OF 2

## APPENDICES

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SECTION A1: DEMOGRAPHICS AND ENROLLMENT PROJECTION REPORT

SECTION A2: FACILITY CONDITION ASSESSMENT & ANALYSIS REPORTS;  
DEFERRED MAINTENANCE & ASSET RENEWAL REPORTS;  
AND MDF/IDF ROOM LOCATION PLANS

A2.1: ELEMENTARY SCHOOLS (K-5 AND K-8)

A2.2: MIDDLE SCHOOLS

**A2.3: HIGH SCHOOLS**

A2.4: OTHER FACILITIES

A2.5: STANDARDS & DEFINITIONS DOCUMENT

SECTION A3: SITE AERIAL IMAGES - SCALED

A3.1: ELEMENTARY SCHOOLS (K-5 AND K-8)

A3.2: MIDDLE SCHOOLS

A3.3: HIGH SCHOOLS

A3.4: OTHER FACILITIES

SECTION A4: COMMUNITY SURVEY RESULTS

SECTION A5: BUILDING ASSESSMENT REPORT FOR WESTHILL HIGH SCHOOL  
(PREPARED BY ANOTHER CONSULTANT IN MARCH 2021)



# 2021

## AIT&E HS Facility Assessment & Analysis Report



### Property:

AIT&E High  
411 High Ridge Road  
Stamford, Connecticut 06905

### Prepared By:

StudioJAED  
42 Weybosset Street, Suite 403  
Providence, RI 02903  
401.648.0884



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## 1.0 Authorized Assessment Account

In June 2021, StudioJAED was sub-contracted by the S/L/A/M Collaborative Inc. on behalf of Stamford Public Schools to conduct a district-wide facility condition assessment and analysis of the AIT&E High property located in Stamford, Connecticut. The primary goal of this project was to (1) investigate existing conditions and (2) identify deferred maintenance and long term capital renewal needs. As per industry standard guidelines, StudioJAED surveyed the property, interviewed site personnel, reviewed available construction/maintenance documents, and recorded observations related to the physical site and associated building structure. SLAM teamed with SLR to perform the site assessment and D'Agostino & Associates for technology / security.

This report is for the use of Stamford Public Schools and their assignees. All parties agree by accepting this report that any use of this report shall be limited by the exceptions and qualifications in this report, acknowledge that actual site conditions may change with time, and hidden conditions may exist at the property that were not discovered within the scope of the assessment. Any use of this report by other parties is at the risk of such party.

StudioJAED used a degree of care and skill ordinarily exercised by consultants in the preparation of the report and in assembling the data contained herein. No warranties are provided, either expressed or implied. StudioJAED is not responsible for conclusions, opinions, or recommendations made by others based on this information.

The Facility Assessment and Analysis Report was completed and reviewed by the undersigned team members. Any questions regarding this report should be directed to Pamela Babuca at babucap@studiojaed.com or (401) 648-0884.

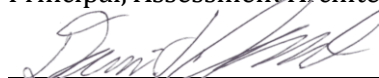
### StudioJAED

Discipline Lead:



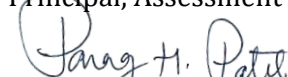
Philip R. Conte, AIA, NCARB  
Principal, Assessment Architect

Discipline Lead:



David T. Spangler, P.E.  
Principal, Assessment Mechanical / Plumbing Engineer

Discipline Lead:



Parag H. Patel, P.E.  
Assessment Electrical Engineer

Report Reviewer:



Pamela J. Babuca, ALEP, ASID, IFMA  
Principal



## 2.0 Executive Summary

StudioJAED Architects and Engineers, along with specialty systems sub-consultants SLR and D’Agostino & Associates, performed a facility condition assessment and analysis of the AIT&E High property located in Stamford, Connecticut hereinafter referred to as the “Property”. The purpose of the assessment was to perform a visual analysis of the Property’s general condition and identify recommendations for major building systems and equipment maintenance, repair, or replacement over the next (10) ten years. Items identified were considered significant for the facility to continue in its current operation and/or to be restored to a condition consistent with comparable facilities of similar age.

### 2.1 Scope of Work

The primary field survey was conducted on 20, July, 2021 and the weather, as recorded on Accuweather.com, was mostly sunny with actual high and low temperatures of 86°F/68°F. The assessment team reviewed available documentation and interviewed site personnel regarding knowledge of any known existing conditions or issues. A general list of typical elements surveyed includes the following:

- Site and Grounds – Pavement, Parking, Curbs, Loading Docks, Walks, Landscaping, Irrigation, Site Drainage, Exterior Lighting, Walls, Fencing/Railing, and Exterior Amenities.
- Structural Systems – Readily observable portions of Foundations and Structural Framing of Walls, Columns, Intermediate Floors and Roofs.
- Building Envelope – Roofing Systems, Exterior Finishes, Stairs and Steps, Exterior Doors, and Exterior Windows.
- Interior Building Components – Property-owned Electrical, Heating/Ventilating/Air Conditioning (HVAC), and Plumbing Systems.
- Safety and Code Compliance – Life Safety, Fire Suppression Systems, and General Visual Review of Accessibility to Disabled Persons to include Accessible Exterior and Interior Routes, Doors and Common Toilet Facilities.

### 2.2 Prioritization of Need

Recommended corrective actions to repair and/or replace a building system or component were assigned a priority which, in the opinion of the assessor, classified the urgency of the work to be performed. The 10 year prioritization model utilized for this project was based on an industry standard, 4 tier approach. Definitions for each of the priority classifications are as shown.

#### **PRIORITY CLASSIFICATIONS:**

##### ***Priority 1 - Immediate***

*Work should be performed immediately.  
Potential safety or security risk.*

##### ***Priority 2 - High***

*Work to be performed within next 1-2 years.  
Asset has reached the end of useful life.*

##### ***Priority 3 - Medium***

*Work to be performed within next 3-5 years.  
Asset will reach the end of useful life soon.*

##### ***Priority 4 - Low***

*Work to be performed within next 6-10 years.  
Anticipated need for repair or replacement.*



## 2.3 Findings & Recommendations

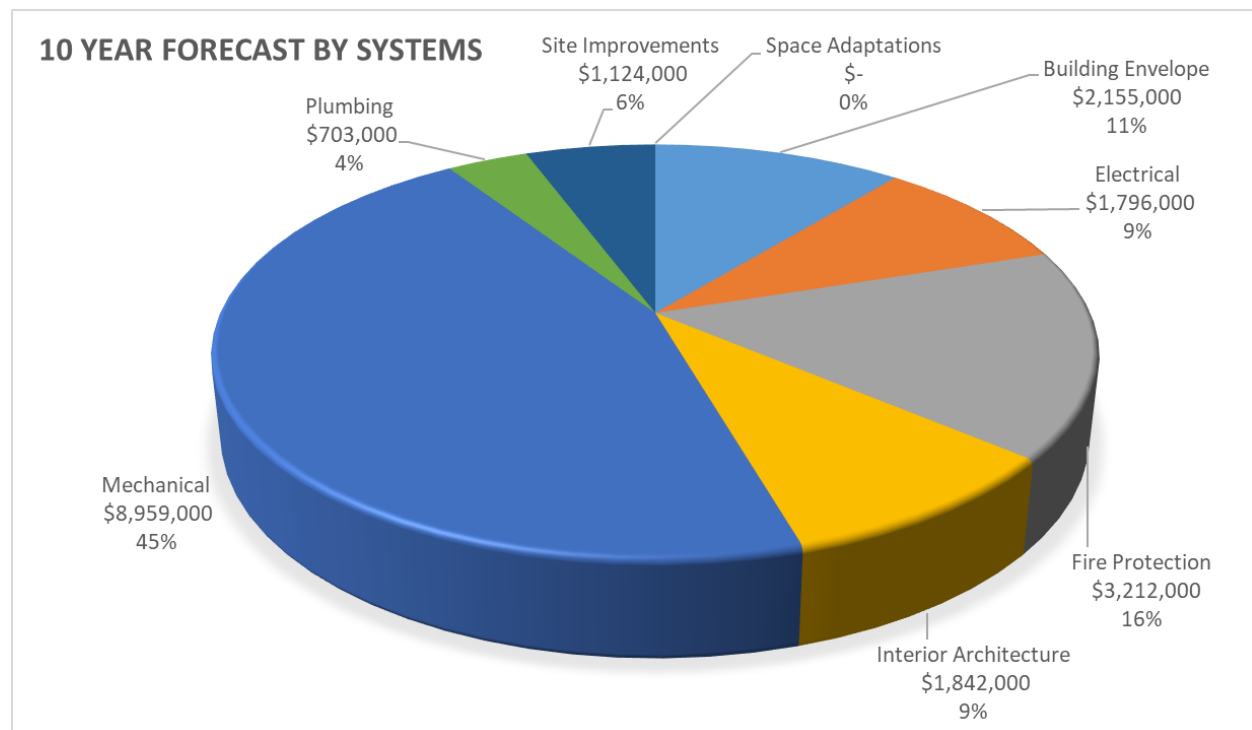
StudioJAED analyzed the recommended corrective actions considered significant for the Property to continue in its current operation and/or to be restored to a condition consistent with comparable facilities of similar age. A summary of the improvement

needs have been quantified from two unique perspectives. The 10 Year Forecast by Priority table provides an understanding of need based on the urgency or timeline for work to be completed. Based on industry standard architectural and engineering best practices, over (33%) thirty-three percent of the work should be completed within the next 1-2 years.

The 10 Year Forecast by Systems provides an analysis of estimated improvement needs by major systems. The data indicates that the Mechanical (45%), Fire Protection (16%), and Building Envelope (11%) systems have the greatest overall investment needs. Refer to Appendix A to review a more detailed description of needs in the Deferred Maintenance & Asset Renewal Report.

**10 YEAR FORECAST BY PRIORITY**

Priority	Extended Cost	% of Need
Immediate	\$ -	0.0%
High (1 - 2 Years)	\$ 6,589,582	33.3%
Medium (3 - 5 Years)	\$ 3,126,792	15.8%
Low (6 - 10 Years)	\$ 10,074,626	50.9%
	<b>\$ 19,791,000</b>	<b>100%</b>



Based on the review of available documentation, onsite interview, and field observations, it is StudioJAED's opinion that the Main Building is in overall good condition. Refer to Section 4.0, General Physical Condition Rating, for additional information regarding the condition of major systems from a cost per gross square feet analysis of needs perspective.



## 3.0 General Property & Building Systems Description

### 3.1 Site / Amenities

The property is located at Academy of Information, Technology & Engineering (AIT&E), Stamford, Fairfield County Connecticut on approximately 29.87 acres. The property slopes moderately from the north and west perimeter along the building footprint towards the northeast and southeast center soccer and baseball fields. The eastern and southeast perimeters also slope moderately towards the center ball fields and the landscaping consists of trees, shrubs, and grasses.

There are approximately 153 spaces in open lots. The paved parking areas are in good condition. Sidewalk surfaces are in fair to good condition. Stairs on site are in good condition. Site lighting is minimal on site. A photometric study should be done to see where deficiencies exist. The perimeter fencing is in good condition with isolated sections of damage. Grass play areas/field appear to be in good condition. Constructed play areas are in good condition. The football field is constructed of artificial turf and is in good condition. The streetlight exiting the site onto High Ridge Road is excessively long which causes traffic issues during drop off and pickup times. Storm water from the roofs, landscaped areas, and paved areas flows into on site inlets and catch basins with underground piping connected to the municipal storm water management system.

Sanitary sewer and the storm water sewer are provided by the City of Stamford Department of Public Works. Domestic water is supplied by City of Stamford Department of Public Works, electrical service is supplied by CL&P, and natural gas is provided by Yankee Gas.







## 3.2 Architectural Systems

### Main Building

The Academy of Information, Technology & Engineering (AIT&E) is approximately 110,560 square feet and is a three storey structure. The building is conventional steel frame structure on concrete slab. The roof assembly comprises both EPDM and standing seam metal roofing. The exterior wall finish is masonry, curtain wall, metal panels, and translucent panel walls. Windows are in fair condition.

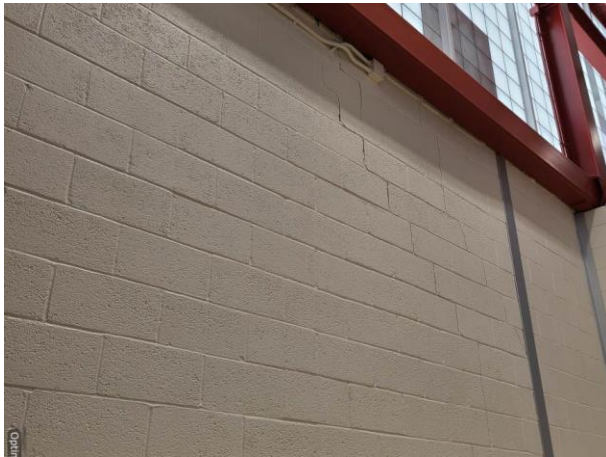
The exterior building envelope is in fair condition. The elastomeric roofing requires replacement. Select translucent panels require remediation and/or replacement. The exterior façade requires sealant to correct moisture infiltration.

Interior floor finishes include resilient tile, ceramic tile, carpet, wood, and concrete slab and are in good condition. Interior wall finishes include painted drywall, painted CMU, painted plaster, decorative panels, formed concrete, and ceramic tile and are in good condition. Interior ceiling finishes include exposed structure, suspended acoustic tiles, drywall, and painted plaster and are in good condition. Casework and countertops are good condition. Classroom and conference room projection equipment should be replaced.









### **3.3 Mechanical Systems**

#### **Main Building**

AIT&E was originally constructed in 2007. The mechanical systems primarily date to original construction, including:

- Rooftop Units
- Cabinet and Unit Heaters
- Air Handling Units, Exhaust Fans, and Rooftop Units
- Radiant Ceiling Panels and Fin Tube Radiation
- Chillers
- Cooling Towers
- Ice Storage System
- Chilled Water Chemical Feed System
- Hydronic Pumps and other Boiler Room appurtenances
- DDC Control System
- HVAC Piping System and Ductwork

The main building is primarily served by hot water from Rippowam Middle, and is air conditioned by heating and cooling rooftop units. Other major core spaces are served by air handling and makeup air heating units. Classrooms are served by the rooftop units and corridors are served by cabinet heaters.

All major mechanical systems and components will require replacement during the 10 year study period.

#### **HVAC System Comprehensive Improvement Analysis**

The existing mechanical system at AIT&E provides adequate heating, ventilation, and air conditioning building-wide. Therefore, the District-Wide Summary: 10 Year Forecast Cost per SF by Building System analysis only includes the capital improvement needs identified in the Deferred Maintenance & Asset Renewal Report.









### 3.4 Plumbing Systems

#### Main Building

Some plumbing systems have been renewed in the years following original construction, the latest of which are approximately noted as:

- Domestic Water Heater and Booster Pump – 2019

Most Plumbing systems primarily date to original construction:

- Domestic Water Piping
- Sanitary Piping
- Boiler Room Sump Pumps
- Plumbing Fixtures and Drinking Fountains

The major plumbing systems, including domestic and sanitary piping will not need to be replaced in the 10 year study period. However, most plumbing fixtures will need to be replaced.







### 3.5 Fire & Other Protection Systems

#### Main Building

The sprinkler system was installed with the original construction of the building in 2007 and will reach the end of its 30 year useful life in 16 years.

Main building fire alarm system old but functional. Classrooms have audio/visual devices. There is a 480V 400A Water Pump part of the Fire safety system.



## 3.6 Electrical Systems

### Main Building

The building is powered by 480V 3 phase Delta, which enters in a room that also houses the Liebert system computer back up for the City of Stamford computers. Secondary service feeds from 4 transformers 75KVA 480V Delta to 208 3 ph Y/120v . This switchgear is in an Electrical room in lower level and an electrical room on the second floor. Panels located in the building are powered from this switchgear. Branch circuits for outlets, lighting and equipment originate from these panels. Most of the wiring in the building is original since the time of construction. Emergency and Exit lights are powered by a 500KW Cummins diesel generator, converted to gas, and automatic transfer switch located in lower-level Electrical Room. Lighting throughout the school is LED. Light fixtures are either recessed or surface mounted. Classroom lights are controlled by wall switches and motion sensors.







## 3.7 Technology & Security Systems

### Technology

The main building has Category 6 cabling supporting all end devices, which is adequate to support the current technology and security systems. We recommend replacing the wireless access point cabling to the most recent category rating to accommodate future technology connectivity. Fiber optic backbone cabling between the MDF and each IDF (5 total) consists of OM1 62.5/125um fiber optic cabling, which is capable of 1 Gbps per fiber pair. We recommend installing and replacing this fiber to OM4, which will support 40Gbps, to support the bandwidth requirements of new technology, especially the increased future use of Wi-Fi.

AIT&E underwent renovations in 2007 where a new Public Address system and wireless Master Clock System were installed. Both systems are in fine working condition today. However, these systems will be beyond their useful life and recommended to be upgraded.

Classroom Interactive Boards currently have Promethean boards which have been recently installed and are in good working order.

Refer to Appendix B to view a floor plan notating the location and name of each technology room.

### Security

The Intrusion Detection Security System and Access Control System are in working order. It is recommended to replace the devices to accommodate the future security needs of this property. However, the Access Control System is not being utilized to its full capacity. It is recommended to train personnel on the Access Control System and provide HID cards to staff. Due to more recent renovations to AIT&E, the Video Surveillance System has good coverage of IP and analog cameras. There are locations where analog cameras are still being used and viewed on this new system. We recommend replacing the existing analog cameras with IP cameras and supplementing the coverage with new IP cameras.

## 4.0 General Physical Condition Rating

The general physical condition ratings identified below are based on StudioJAED's visual inspection and overall impression of the Property's major building systems assessed as defined in the Executive Summary, Section 2.0.

MAIN BUILDING		Condition Rating		
Item	Building / Site System	Good	Fair	Poor
1	Building Envelope		X	
2	Interior Architecture	X		
3	Mechanical Systems		X	X
4	Electrical Systems	X		
5	Plumbing Systems	X		
6	Fire Alarm / Protection Systems			X
7	Site Improvements		X	

## 5.0 Opinions of Probable Costs

The opinions of probable cost presented in this document are for repair or renewal / replacement projected capital needs identified from a visual inspection of the defined Property site elements and primary building systems anticipated over the subsequent 10 year term. These opinions are based on StudioJAED's knowledge of industry standards and recommended "good" architectural and engineering practice. For the purpose of generating projected investment dollars, needs were calculated based on approximate quantities and estimated unit cost values were defined. Recommended corrective actions recorded do not constitute a warranty that all items, which may require repair or replacement, are included.

As a measure of quality assurance, StudioJAED's cost estimates were developed by our Certified Professional Estimators. All unit "trade" costs were developed using the RSMeans "CostWorks" application which was regionally adjusted to the materials, labor, and equipment cost for Bridgeport, Connecticut. The cost model approach applied to each corrective action was based on Construction Management-at-Risk (CMAR) with an additional (20%) twenty percent allowance to cover design fees and owner contingency.

The opinions of probable costs should be considered a preliminary order of magnitude for budget development. It also assumes that each facility will continue to operate in its current capacity and relative quality of care. Actual costs will vary from StudioJAED's probable costs based on a number of potential factors such as: a finer granularity or understanding of required scope of work, design solution approach, type of construction, quality of materials, equipment or system specifications, field conditions, need for abatement of hazardous materials, decision to comprehensively replace equipment or system versus partial replacement / repair, phased or staged implementation (if required), quality of contractor, overall project management, solicitation of competitive pricing, etc. An expanded budget projection/analysis typically requires the development of schematic design documents and preliminary specifications to obtain contractor bid estimates.



## 6.0 Limitations & Qualifications

The services described within this document were performed by StudioJAED. No warranties are provided, either expressed or implied. While StudioJAED made every reasonable effort to properly evaluate the Property conditions within the contracted scope of work, it is important to recognize that the investigation was limited in several respects including, but not limited to, the following:

StudioJAED's findings and conclusions are based primarily on the visual appearance of the Property at the time of our site visit and comparatively evaluated in contrast to our extensive condition assessment experience. Observations included only areas that were readily accessible to our assessment team members without opening or dismantling any secured components or areas. The scope did not include invasive investigation, component sampling, laboratory analysis, an environmental site assessment, or engineering evaluations of structural, mechanical, electrical, or other systems with related calculations and review of design assumptions.

Some of StudioJAED's conclusions are partially based on information provided by others. For the purposes of this report, we have assumed this information to be complete and correct unless noted otherwise. StudioJAED assumes no responsibility for incorrect information provided by others.

Our opinions of cost represent a preliminary opinion only and are neither a quote nor a warranty or representation as to the actual costs that may be incurred. These estimates are based on typical cost data that may not fully characterize the scope of the Property conditions and are further limited by possible future changes in technology, by regulatory requirements, by Property location, and by contingencies that cannot reasonably be discovered until after commencement of onsite construction activities. StudioJAED shall not be liable to the Client nor any other property for any costs or expenses that may be incurred in excess of these estimates, for any losses that may be incurred as a result of these estimates being different from the actual costs, nor for any damages whatsoever in connection with these estimates.

This report is intended for the use of and may be relied upon only by the entities identified in Section 1.0 – Authorized Assessment Account. The scope of services performed in execution of this investigation may not be appropriate to satisfy the needs of other users, and any use or re-use of this document or its findings, conclusions, or recommendations is at the risk of said user. StudioJAED is not responsible for the conclusions, opinions, or recommendations made by others based on this information.

## Appendices

**Appendix A: Deferred Maintenance & Asset Renewal Report**

**Appendix B: Technology Floor Plans**



# Deferred Maintenance & Asset Renewal Report

AIT&E HS

Project Name: 2021 Stamford Facility Assessment

Building Type: High School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
<b>Academy of Information, Technology, &amp; Engineering</b>								
<b>B10 Superstructure</b>								
B1010-02-07C Correct Cast in Place Slab on Elevated Deck Floor Expansion Joint Deterioration by Demolition & Replacement	B1010 Floor Construction	1st Floor	<i>New joint recommended. Perform prior to tile replacement noted.</i>	Bldg Imprv	P3 / 3-5 Yrs	Damage/ Wear	750 LNFT	\$108,449
B1011-01-02C Correct Concrete Above Grade Stair Nosing Deterioration by Demolition & Replacement	B1011 Exterior Above Grade Stair	Building Exterior		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	10 LNFT	\$727
B1015-01-04C Correct Handrail Deterioration by Prep & Refinish	B1015 Exterior Handrail or Guardrail	Building Exterior		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	150 LNFT	\$2,393
B1015-01-07C Correct Handrail Required by Install New	B1015 Exterior Handrail or Guardrail	Building Exterior		Bldg Imprv	P3 / 3-5 Yrs	Codes - BLDG	275 LNFT	\$17,944
B1015-03-01C Correct Guardrail Deterioration by Demolition & Replacement	B1015 Exterior Handrail or Guardrail	Loading Dock		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	10 LNFT	\$3,307
B1015-03-02C Correct Guardrail Deterioration by Prep & Refinish	B1015 Exterior Handrail or Guardrail	Building Exterior		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	50 LNFT	\$3,166
Total Estimated Cost for <b>B10 Superstructure</b>								<b>\$135,985</b>

Priority 1 - Work should be performed immediately. Potential Life / Safety Issue.

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Priority 2 - Work to be performed within next 1-2 years. Asset has reached useful life. Priority 4 - Work to be performed within next 6-10 years or is an arch/eng "good practice".

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# Deferred Maintenance & Asset Renewal Report

AIT&E HS

Project Name: 2021 Stamford Facility Assessment

Building Type: High School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
<b>B20 Exterior Enclosure</b>								
B2010-05-01C Correct Concrete Block Wall (Decorative) Deterioration by Demolition & Replacement	B2010 Exterior Wall	Building Exterior		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	250 SQFT	\$17,169
B2010-05-08C Correct Concrete Block Wall (Decorative) Finish Deterioration by Prep & Refinish	B2010 Exterior Wall	Elevator Penthouse		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	500 SQFT	\$6,716
B2010-05-09C Correct Concrete Block Wall (Decorative) Mortar Deterioration by Repointing	B2010 Exterior Wall	Building Exterior		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	2,500 SQFT	\$54,076
B2010-05-14C Correct Concrete Block Wall (Decorative) Joint Deterioration by Caulking	B2010 Exterior Wall	Building Exterior		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	750 LNFT	\$15,026
B2010-05-14C Correct Concrete Block Wall (Decorative) Joint Deterioration by Caulking	B2010 Exterior Wall	Building Exterior	<i>Perimter of building at base of wall</i>	Def Maint	P3 / 3-5 Yrs	Damage/ Wear	750 LNFT	\$15,026
B2010-13-01C Correct Translucent Panel Wall Deterioration by Demolition & Replacement	B2010 Exterior Wall	Building Exterior	<i>Chronic expansion and contraction issue causing water infiltration</i>	Def Maint	P4 / 6-10 Yrs	Function/ Functional	4,000 SQFT	\$250,477
B2010-19-04C Correct Preformed Metal Siding Wall Joint Deterioration by Caulking	B2010 Exterior Wall	Building Exterior		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	250 LNFT	\$4,049
B2011-01-08C Correct Louvers, Grilles & Screens Architectural Louver Finish Deterioration by Prep & Refinish	B2011 Exterior Wall Specialties	Building Exterior	<i>Louvers used as screen wall at generator</i>	Def Maint	P3 / 3-5 Yrs	Damage/ Wear	350 SQFT	\$5,603

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# Deferred Maintenance & Asset Renewal Report

AIT&E HS

Project Name: 2021 Stamford Facility Assessment

Building Type: High School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
B2011-06-17C Correct Exterior Aluminum Soffit or Fascia Finish Deterioration by Prep & Refinish	B2011 Exterior Wall Specialties	Building Exterior		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	3,000 SQFT	\$17,690
B2012-01-02C Correct Exterior Wall Moisture Infiltration by Spray Waterproofing Sealer	B2012 Exterior Wall Dampproofing	Building Exterior		Def Maint	P3 / 3-5 Yrs	Useful Life	25,000 SQFT	\$244,854
B2030-04-02C Correct Hollow Metal Door & Frame Deterioration by Demolition & Replacement	B2030 Exterior Door	Building Exterior		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	12 EACH	\$56,839
B2030-08-02C Correct Overhead Door & Frame Deterioration by Demolition & Replacement	B2030 Exterior Door	Building Exterior		Def Maint	P4 / 6-10 Yrs	Damage/ Wear	150 SQFT	\$20,148
Total Estimated Cost for <b>B20 Exterior Enclosure</b>								<b>\$707,671</b>
<b>B30 Roofing</b>								
B3010-06-01C Correct Metal Roof Panel Deterioration by Demolition & Replacement	B3010 Roof Covering	Roof	<i>Loading dock</i>	Def Maint	P3 / 3-5 Yrs	Damage/ Wear	250 SQFT	\$5,263
B3010-11-01C Correct EPDM Roof Deterioration by Demolition & Replacement	B3010 Roof Covering	Roof		Def Maint	P4 / 6-10 Yrs	Useful Life	27,000 SQFT	\$1,062,428
B3010-11-01C Correct EPDM Roof Deterioration by Demolition & Replacement	B3010 Roof Covering	Roof		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	3,000 SQFT	\$118,048
B3010-11-04C Correct EPDM Roof Deterioration by Coating	B3010 Roof Covering	Roof		Def Maint	P3 / 3-5 Yrs	Function/ Functional	8,000 SQFT	\$41,995

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# Deferred Maintenance & Asset Renewal Report

AIT&E HS

Project Name: 2021 Stamford Facility Assessment

Building Type: High School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
B3020-03-03C Correct Skylight Finish or Sealant Deterioration by Refinish & Recaulk	B3020 Roof Opening	Roof		Def Maint	P4 / 6-10 Yrs	Useful Life	2,500 SQFT	\$70,083
B3060-06-03C Correct Equipment Screen Finish Deterioration by Prep & Refinish	B3060 Roof Specialties	Roof	1,000 lineal feet of roof equipment screen framing to be painted	Def Maint	P3 / 3-5 Yrs	Damage/Wear	7,000 SQFT	\$13,188
Total Estimated Cost for B30 Roofing								\$1,311,005
C20 Stairs & Ramps								
C2050-01-04C Correct Guardrail Finish Deterioration by Prep & Refinish	C2050 Interior Handrail & Balustrade	Building Wide		Def Maint	P3 / 3-5 Yrs	Damage/Wear	1,000 LNFT	\$52,545
Total Estimated Cost for C20 Stairs & Ramps								\$52,545
C30 Interior Finishes								
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Building Wide		Def Maint	P3 / 3-5 Yrs	Damage/Wear	15,000 SQFT	\$62,777
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Building Wide		Def Maint	P4 / 6-10 Yrs	Damage/Wear	28,000 SQFT	\$117,183
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/Wear	12,000 SQFT	\$50,221

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# Deferred Maintenance & Asset Renewal Report

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Project Name: 2021 Stamford Facility Assessment

Building Type: High School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
C3020-01-05C Correct Concrete Interior Floor Finish Deterioration by Prep & Refinish (1001 SF and Above)	C3020 Floor Finish	1st Floor		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	500 SQFT	\$14,044
C3020-02-01C Correct Resilient Tile Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	1st Floor	Associated with new expansion joint at exterior perimeter	Def Maint	P3 / 3-5 Yrs	Damage/ Wear	2,000 SQFT	\$19,674
C3020-02-01C Correct Resilient Tile Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Building Wide		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	5,000 SQFT	\$49,186
C3020-08-01C Correct Ceramic Tile Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	1st Floor	Floor tile in vestibule and bathroom	Def Maint	P3 / 3-5 Yrs	Damage/ Wear	1,000 SQFT	\$33,309
C3020-11-02C Correct Hard Wood Floor Finish Deterioration Prep & Refinish	C3020 Floor Finish	Gymnasium		Def Maint	P4 / 6-10 Yrs	Damage/ Wear	8,000 SQFT	\$65,927
C3020-12-01C Correct Carpet Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Building Wide		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	500 SQYD	\$53,257
C3030-03-02C Correct Drywall Ceiling Finish Deterioration by Prep & Refinish	C3030 Ceiling Finish	Building Wide		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	1,000 SQFT	\$5,897
C3030-05-01C Correct Suspended Acoustical Ceiling Tile Only Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	1,500 SQFT	\$8,151
Total Estimated Cost for C30 Interior Finishes								\$479,626

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Building Type: High School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
<b>D20 Plumbing</b>								
D2010-02-01C Correct Water Closet Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide		Def Maint	P4 / 6-10 Yrs	Useful Life	60 EACH	\$172,738
D2010-03-01C Correct Lavatory Faucet Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide		Def Maint	P4 / 6-10 Yrs	Useful Life	60 EACH	\$65,164
D2010-03-05C Correct Lavatory (Countertop Type) Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Kitchen		Def Maint	P4 / 6-10 Yrs	Useful Life	2 EACH	\$4,430
D2010-04-01C Correct Urinal Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide		Def Maint	P4 / 6-10 Yrs	Useful Life	20 EACH	\$50,692
D2010-08-02C Correct Electric Water Cooler (Hi-Low) Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	15 EACH	\$67,371
D2010-10-01C Correct Utility Sink or Mop Receptor Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide		Def Maint	P4 / 6-10 Yrs	Useful Life	5 EACH	\$19,493
D2010-11-01C Correct Residential Sink Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide		Def Maint	P4 / 6-10 Yrs	Useful Life	11 EACH	\$24,905
D2010-12-01C Correct Lab Sink Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Science Lab		Def Maint	P4 / 6-10 Yrs	Useful Life	58 EACH	\$204,884

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# Deferred Maintenance & Asset Renewal Report

AIT&E HS

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Building Type: High School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D2010-13-01C Correct Eye Wash Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide		Def Maint	P4 / 6-10 Yrs	Useful Life	8 EACH	\$14,519
D2010-16-01C Correct Commercial Kitchen Stainless Steel Sink Single Bowl Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Kitchen		Def Maint	P4 / 6-10 Yrs	Useful Life	2 EACH	\$7,415
D2010-16-02C Correct Commercial Kitchen Stainless Steel Sink Double Bowl Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Kitchen		Def Maint	P4 / 6-10 Yrs	Useful Life	1 EACH	\$4,902
D2010-16-03C Correct Commercial Kitchen Stainless Steel Sink Triple Bowl Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Kitchen		Def Maint	P4 / 6-10 Yrs	Useful Life	1 EACH	\$5,721
D2020-06-01C Correct Plumbing Pump Deterioration by Demolition & Replacement	D2020 Domestic Water Distribution	Mezzanine above kitchen		Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$15,749
D2090-01-01C Correct Compressed Air Piping System Compressor Deterioration by Demolition & Replacement	D2090 Other Plumbing Systems	Boiler Room		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$45,462
Total Estimated Cost for <b>D20 Plumbing</b>								<b>\$703,446</b>

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# Deferred Maintenance & Asset Renewal Report

AIT&E HS

Project Name: 2021 Stamford Facility Assessment

Building Type: High School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
<b>D30 HVAC</b>								
D3030-01-16C Correct Water Cooled Chiller (100 Tons) Deterioration by Demolition & Replacement	D3030 Refrigeration	Chiller Room		Def Maint	P4 / 6-10 Yrs	Damage/Wear	2 EACH	\$403,534
D3030-02-03C Correct Cooling Tower (200 Ton) Deterioration by Demolition & Replacement	D3030 Refrigeration	Boiler Room		Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$175,080
D3030-03-01C Correct Chilled Water Chemical Feed System Deterioration by Demolition & Replacement	D3030 Refrigeration	Boiler Room	<i>Glycol System</i>	Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$3,956
D3030-08-01C Correct Fluid Cooler (50 Ton) Deterioration by Demolition & Replacement	D3030 Refrigeration	Roof	<i>Dry Cooling (Liebert) Computer Room A/C System</i>	Def Maint	P4 / 6-10 Yrs	Useful Life	1 EACH	\$93,283
D3040-02-11C Correct Air Handling Unit (37.5 Tons) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Cafeteria/Mezzanine		Def Maint	P4 / 6-10 Yrs	Useful Life	1 EACH	\$135,458
D3040-04-01C Correct VAV Terminal Unit Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	88 EACH	\$399,796
D3040-05-01C Correct Gas-Fired Makeup Air Unit (500 MBH) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Kitchen/Mezzanine		Def Maint	P4 / 6-10 Yrs	Useful Life	1 EACH	\$49,573

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# Deferred Maintenance & Asset Renewal Report

AIT&E HS

Project Name: 2021 Stamford Facility Assessment

Building Type: High School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D3040-09-05C Correct Exhaust or Induction Fan (1/2 HP) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Building Wide		Def Maint	P4 / 6-10 Yrs	Useful Life	2 EACH	\$11,495
D3040-09-05C Correct Exhaust or Induction Fan (1/2 HP) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Gymnasium		Def Maint	P4 / 6-10 Yrs	Useful Life	5 EACH	\$28,737
D3040-09-05C Correct Exhaust or Induction Fan (1/2 HP) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Roof/Building-wide		Def Maint	P4 / 6-10 Yrs	Useful Life	13 EACH	\$74,716
D3040-09-07C Correct Exhaust or Induction Fan (3/4 HP) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Roof/Building-Wide		Def Maint	P4 / 6-10 Yrs	Useful Life	5 EACH	\$34,148
D3040-11-01C Correct Ceiling Exhauster Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Building Wide		Def Maint	P4 / 6-10 Yrs	Useful Life	6 EACH	\$6,795
D3040-12-01C Correct Kitchen Exhaust Fan Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Kitchen		Def Maint	P4 / 6-10 Yrs	Useful Life	1 EACH	\$3,134
D3040-13-01C Correct Ductwork & Insulation (Interior) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Gymnasium		Def Maint	P2 / 1-2 Yrs	Damage/Wear	6,000 SQFT	\$275,203
D3040-13-04C Correct Ductwork & Insulation Deterioration by Duct Cleaning Building Wide (Bldg SF)	D3040 HVAC Distribution	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/Wear	110,560 BLDG SF	\$258,817

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# Deferred Maintenance & Asset Renewal Report

AIT&E HS

Project Name: 2021 Stamford Facility Assessment

Building Type: High School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D3040-17-15C Correct HVAC Piping System (2 Pipe) & Insulation Deterioration by Demolition & Replacement (BLDG SF)	D3040 HVAC Distribution	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	33,168 BLDG SF	\$502,782
D3040-17-18C Correct HVAC Piping System Isolation Valve Required by Install New	D3040 HVAC Distribution	AITE/Rippowam	Hot water system	Bldg Imprv	P2 / 1-2 Yrs	Function/ Functional	4 EACH	\$4,018
D3040-17-18C Correct HVAC Piping System Isolation Valve Required by Install New	D3040 HVAC Distribution	Boiler Room	Chilled water system	Bldg Imprv	P2 / 1-2 Yrs	Function/ Functional	14 EACH	\$14,063
D3040-18-02C Correct Hydronic Distribution Base Mount Pump (3 HP) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Roof		Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$54,006
D3040-18-04C Correct Hydronic Distribution Base Mount Pump (10 HP) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Boiler Room		Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$77,937
D3040-18-04C Correct Hydronic Distribution Base Mount Pump (10 HP) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Rippowam MS		Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$77,937
D3040-18-05C Correct Hydronic Distribution Base Mount Pump (15 HP) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Boiler Room		Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$97,438

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# Deferred Maintenance & Asset Renewal Report

AIT&E HS

Project Name: 2021 Stamford Facility Assessment

Building Type: High School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D3040-18-05C Correct Hydronic Distribution Base Mount Pump (15 HP) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Boiler Room		Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$97,438
D3050-01-08C Correct Packaged Rooftop Air Conditioning & Heating Unit (30 Ton) Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Roof		Def Maint	P2 / 1-2 Yrs	Useful Life	5 EACH	\$742,796
D3050-01-09C Correct Packaged Rooftop Air Conditioning & Heating Unit (40 Ton) Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Roof		Def Maint	P2 / 1-2 Yrs	Useful Life	3 EACH	\$529,777
D3050-01-09C Correct Packaged Rooftop Air Conditioning & Heating Unit (40 Ton) Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Roof/Gym	Current unit is heat only.	Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$176,592
D3050-01-10C Correct Packaged Rooftop Air Conditioning & Heating Unit (50 Ton) Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Roof		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$216,381
D3050-06-05C Correct Computer Room Air Conditioning System (20 Ton) Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Server Room		Def Maint	P4 / 6-10 Yrs	Useful Life	2 EACH	\$308,346
D3050-16-02C Correct Heating Only Fan Coil Unit (3 Ton) Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Ceiling		Def Maint	P4 / 6-10 Yrs	Useful Life	1 EACH	\$15,233

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# Deferred Maintenance & Asset Renewal Report

AIT&E HS

Project Name: 2021 Stamford Facility Assessment

Building Type: High School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D3050-19-01C Correct Cabinet Heater Deterioration of Cabinet Heater by Demolition & Replacement	D3050 Terminal & Packaged Units	Corridors		Def Maint	P4 / 6-10 Yrs	Useful Life	18 EACH	\$130,813
D3050-20-01C Correct Steam & Hot Water Unit Heater (100 MBH) Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	8 EACH	\$18,190
D3050-26-01C Correct Steam or Hot Water Fin-Tube Radiation Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Restroom		Def Maint	P4 / 6-10 Yrs	Useful Life	100 LNFT	\$29,431
D3050-28-03C Correct Radiant Ceiling Panel Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Above Windows		Def Maint	P4 / 6-10 Yrs	Useful Life	600 EACH	\$1,929,023
D3050-34-04C Correct Packaged Terminal Air Conditioning Unit (36,000 BTU) Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Roof/Electrical Room		Def Maint	P2 / 1-2 Yrs	Useful Life	5 EACH	\$52,516
D3060-02-03C Correct Electronic Control (DDC) System Deterioration by Demolition & Replacement (Bldg SF)	D3060 HVAC Instrumentation & Controls	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	110,560 BLDG SF	\$1,714,971
D3090-02-01C Correct Laboratory Fume Hood Deterioration by Demolition & Replacement	D3090 Other Special HVAC Systems & Equipment	Roof		Def Maint	P2 / 1-2 Yrs	Useful Life	3 EACH	\$129,862

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# Deferred Maintenance & Asset Renewal Report

AIT&E HS

Project Name: 2021 Stamford Facility Assessment

Building Type: High School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D3090-09-03C Correct Thermal Ice Storage Unit (162 Tons) Deterioration by Demolition & Replacement	D3090 Other Special HVAC Systems & Equipment	Level 0		Def Maint	P4 / 6-10 Yrs	Useful Life	2 EACH	\$85,673
Total Estimated Cost for <b>D30 HVAC</b>								<b>\$8,958,949</b>
<b>D40 Fire Protection</b>								
D4090-04-01C Correct Smoke Control System (Atrium) Deterioration by Demolition & Replacement	D4090 Other Fire Protection Systems	Level 0		Def Maint	P4 / 6-10 Yrs	Useful Life	8,000 SQFT	\$3,211,788
Total Estimated Cost for <b>D40 Fire Protection</b>								<b>\$3,211,788</b>
<b>D50 Electrical</b>								
D5010-12-10C Correct Panelboard (225 AMP) Required by Install New	D5010 Electrical Service & Distribution	Building Wide	<i>Panels to support additional receptacles for each classroom</i>	Bldg Imprv	P3 / 3-5 Yrs	Function/ Functional	4 EACH	\$95,496
D5021-01-05C Correct Receptacles Required by Install New	D5021 Branch Wiring	Building Wide	<i>Additional receptacles in each classroom</i>	Bldg Imprv	P3 / 3-5 Yrs	Function/ Functional	144 EACH	\$137,861
D5021-03-01C Correct Branch Wiring Deterioration by Demolition & Replacement	D5021 Branch Wiring	Building Wide	<i>2 #12 +1#12g MC cable</i>	Bldg Imprv	P3 / 3-5 Yrs	Function/ Functional	14,400 LNFT	\$111,627
D5031-03-01C Correct Security System Motion or Glass Break Detector Deterioration by Demolition & Replacement (BLDG SF)	D5031 Security Access & Surveillance	Building Wide		Def Maint	P4 / 6-10 Yrs	Security	110,560 BLDG SF	<b>\$53,069</b> sec equip

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# Deferred Maintenance & Asset Renewal Report

AIT&E HS

Project Name: 2021 Stamford Facility Assessment

Building Type: High School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D5031-07-01C Correct Video Surveillance Indoor Camera Deterioration by Demolition & Replacement	D5031 Security Access & Surveillance	Building Wide	<i>Upgrades have been recently installed.</i>	Def Maint	P4 / 6-10 Yrs	Useful Life	80 EACH	<b>\$267,400</b> sec equip
D5031-20-01C Correct Security Access Control System (Head End Only) Deterioration by Demolition & Replacement	D5031 Security Access & Surveillance	Building Wide		Def Maint	P4 / 6-10 Yrs	Useful Life	1 EACH	<b>\$5,351</b> sec equip
D5032-01-05C Correct Master Clock System Deterioration by Demolition & Replacement with Wireless System (Bldg SF)	D5032 Clock & Program Systems	Building Wide	<i>Replace with Wireless System.</i>	Def Maint	P4 / 6-10 Yrs	Useful Life	110,560 BLDG SF	\$294,160
D5033-01-01C Correct Building Wide Intercom System Deterioration by Demolition & Replacement (Bldg SF)	D5033 Intercom Systems	Building Wide		Def Maint	P4 / 6-10 Yrs	Function/ Functional	110,560 BLDG SF	\$397,817
D5035-04-01C Correct Building-Wide Telephone System Deterioration by Demolition & Replacement (Bldg SF)	D5035 Telephone System	Building Wide	<i>Recommended to upgrade to VoIP.</i>	Def Maint	P2 / 1-2 Yrs	Useful Life	110,560 BLDG SF	<b>\$378,434</b> tech equip
D5036-01-03C Correct Technology System Wiring Deterioration by Demolition & Replacement	D5036 Technology System	WAP Locations	<i>Wireless Access Point Cabling should be replaced with most current category rated cabling.</i>	Def Maint	P4 / 6-10 Yrs	Useful Life	15,000 LNFT	<b>\$45,734</b> tech infra

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# Deferred Maintenance & Asset Renewal Report

AIT&E HS

Project Name: 2021 Stamford Facility Assessment

Building Type: High School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D5036-06-01C Correct Fiber Optic Backbone Wiring Deterioration by Demolition & Replacement	D5036 Technology System	MDF to Each IDF	All IDF's currently have OM1 fiber ran from the MDF. Antiquated system should be upgraded to meet the needs of today's technology standards.	Def Maint	P2 / 1-2 Yrs	Function/ Functional	2,000 LNFT	<b>\$8,888</b> tech infra
Total Estimated Cost for <b>D50 Electrical</b>								<b>\$1,795,838</b>
<b>E10 Equipment</b>								
E1020-06-02C Correct Projection Equipment Deterioration by Demolition & Replacement with Interactive Flat Panel System	E1020 Institutional Equipment	Building Wide	Classrooms, conference rooms	Def Maint	P4 / 6-10 Yrs	Useful Life	3 EACH	<b>\$81,875</b> tech equip
E1020-06-02C Correct Projection Equipment Deterioration by Demolition & Replacement with Interactive Flat Panel System	E1020 Institutional Equipment	Building Wide	Classrooms, conference rooms	Def Maint	P3 / 3-5 Yrs	Useful Life	45 EACH	<b>\$1,228,121</b> tech equip
Total Estimated Cost for <b>E10 Equipment</b>								<b>\$1,309,996</b>
<b>G20 Site Improvements</b>								
G2010-01-03C Correct Bituminous Roadway Surface Deterioration by Overlay	G2010 Roadways	Blocked Rear Entrance to Student Parking		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	250 SQYD	\$4,038
G2010-01-03C Correct Bituminous Roadway Surface Deterioration by Overlay	G2010 Roadways	Drop-Off Circle and Access road		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	2,050 SQYD	\$33,110

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# Deferred Maintenance & Asset Renewal Report

AIT&E HS

Project Name: 2021 Stamford Facility Assessment

Building Type: High School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
G2010-01-03C Correct Bituminous Roadway Surface Deterioration by Overlay	G2010 Roadways	Entrance to Visitor/Staff Parking		Def Maint	P4 / 6-10 Yrs	Useful Life	225 SQYD	\$3,634
G2010-04-01C Correct Roadway Curb Deterioration by Demolition & Replacement	G2010 Roadways	Drop-Off Circle and Access road		Def Maint	P4 / 6-10 Yrs	Useful Life	1,150 LNFT	\$83,153
G2010-06-01C Correct Bus Drop Off Loop Deterioration by Demolition & Replacement	G2010 Roadways	Half of Bus Loop Shared w/Wippowam	<i>Half of Bus Loop Shared w/Wippowam - East Side of School</i>	Def Maint	P3 / 3-5 Yrs	Damage/Wear	1,500 SQYD	\$357,767
G2020-01-01C Correct Bituminous Parking Lot Deterioration by Demolition & Replacement	G2020 Parking Lots	Student Parking to the West of Tennis Courts	<i>Failed base material causing damage to surface</i>	Def Maint	P2 / 1-2 Yrs	Useful Life	1,625 SQYD	\$170,352
G2020-01-03C Correct Bituminous Parking Lot Deterioration by Restoration & Overlayment	G2020 Parking Lots	Student Parking Along Southern Edge of Site		Def Maint	P3 / 3-5 Yrs	Damage/Wear	6,025 SQYD	\$100,499
G2020-01-03C Correct Bituminous Parking Lot Deterioration by Restoration & Overlayment	G2020 Parking Lots	Visitor and Staff Parking on N & E of School		Def Maint	P4 / 6-10 Yrs	Useful Life	3,550 SQYD	\$59,215
G2020-05-01C Correct Parking Lot Curb Deterioration by Demolition & Replacement	G2020 Parking Lots	Student Parking Along Southern Edge of Site		Def Maint	P3 / 3-5 Yrs	Damage/Wear	1,500 LNFT	\$108,460

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# Deferred Maintenance & Asset Renewal Report

AIT&E HS

Project Name: 2021 Stamford Facility Assessment

Building Type: High School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
G2020-05-01C Correct Parking Lot Curb Deterioration by Demolition & Replacement	G2020 Parking Lots	Student Parking to the West of Tennis Courts		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	550 LNFT	\$39,769
G2020-05-01C Correct Parking Lot Curb Deterioration by Demolition & Replacement	G2020 Parking Lots	SW Edge of Student Parking		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	400 LNFT	\$28,923
G2030-01-01C Correct Bituminous Sidewalk Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	Sidewalk Leading from Student Parking to Track/Football Field		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	150 SQYD	\$14,104
G2030-02-01C Correct Concrete Sidewalk Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	Entrance Plaza		Def Maint	P4 / 6-10 Yrs	Damage/ Wear	3,000 SQFT	\$71,077
G2030-02-01C Correct Concrete Sidewalk Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	Walks Connecting the Rear Plaza Stairs to Soccer Fields		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	700 SQFT	\$16,585
G2030-02-04C Correct Concrete Sidewalk Finish Deterioration by Prep & Resurface	G2030 Pedestrian Paving	Courtyard		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	2,750 SQFT	\$33,767

Total Estimated Cost for **G20 Site Improvements**

**\$1,124,452**

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# Deferred Maintenance & Asset Renewal Report

AIT&E HS

Project Name: 2021 Stamford Facility Assessment

Building Type: High School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
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Academy of Information, Technology, & Engineering Total Estimated Cost: \$19,791,302

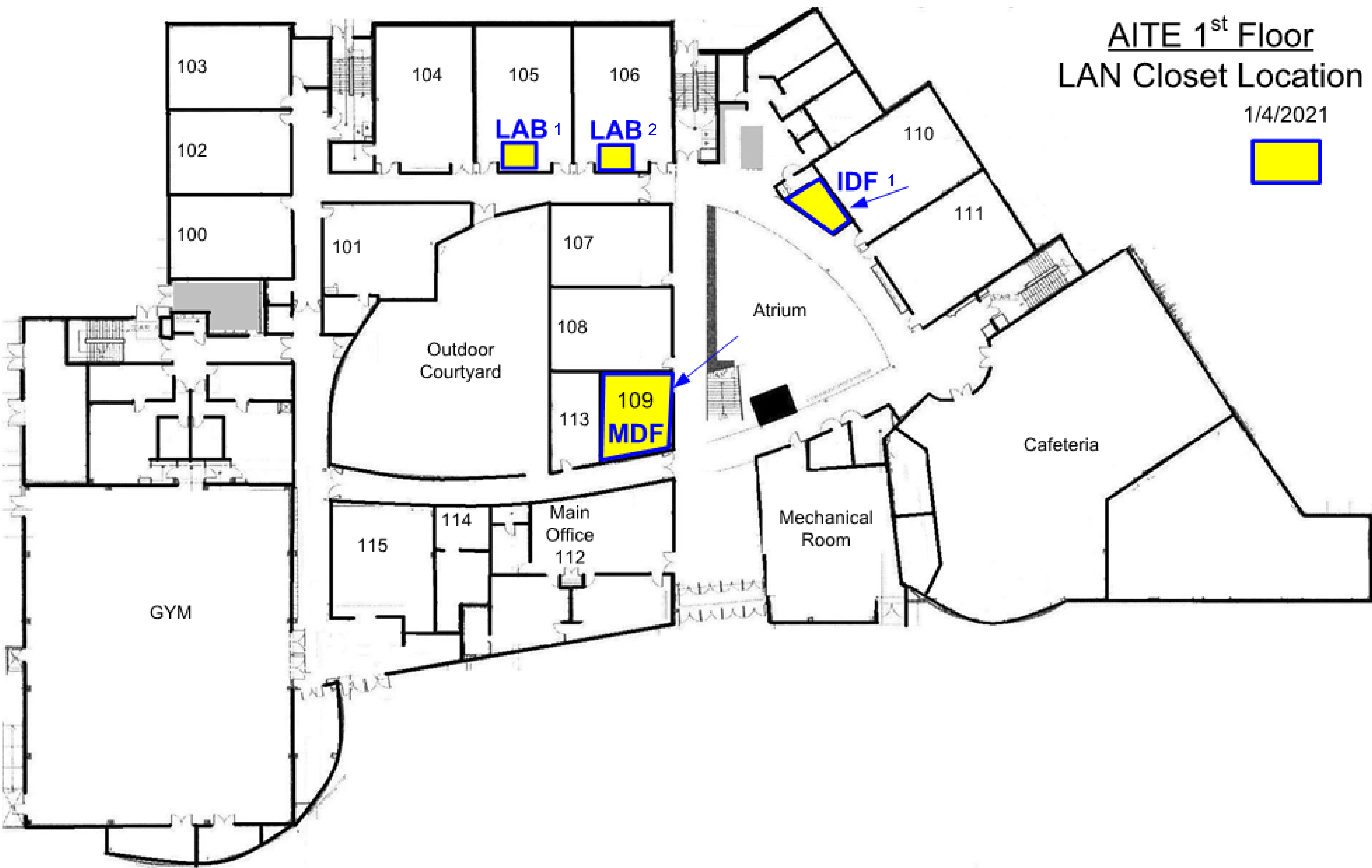
Total Estimated "Deferred Maintenance" Cost: \$19,301,845

Total Estimated "Building Improvement" Cost: \$489,457

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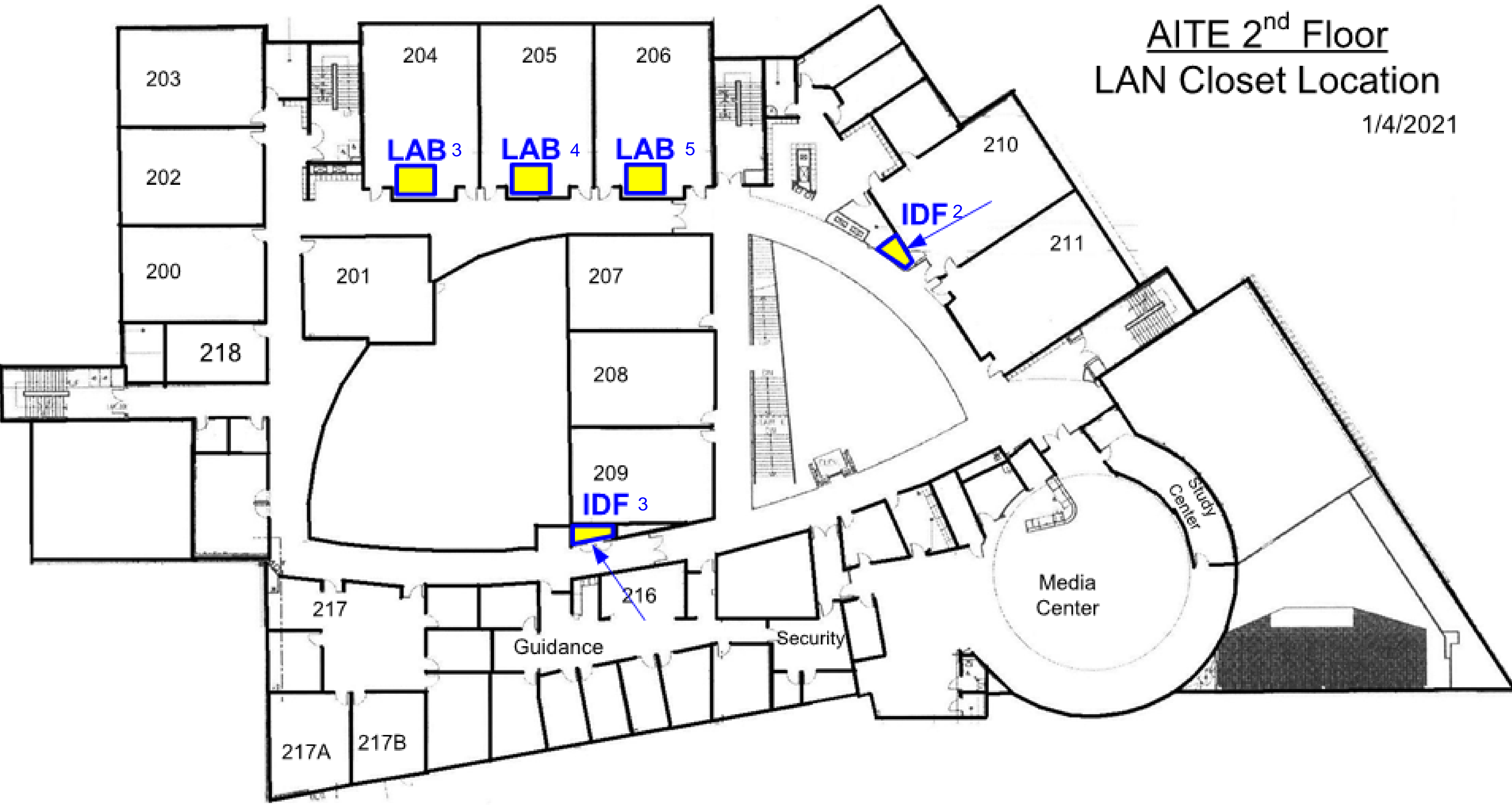
AITE 1<sup>st</sup> Floor  
LAN Closet Location  
1/4/2021





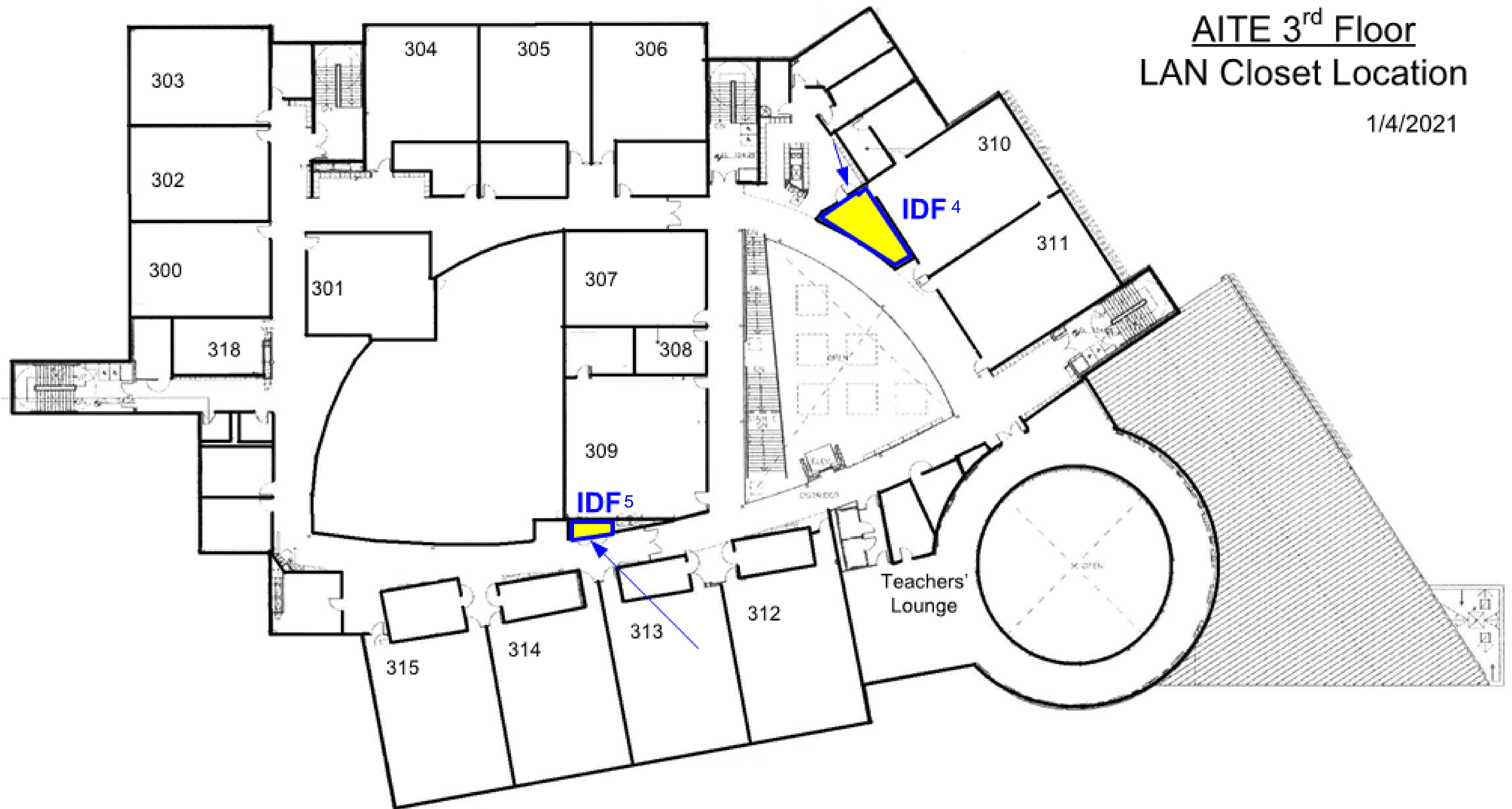
AITE 2<sup>nd</sup> Floor  
LAN Closet Location

1/4/2021



AITE 3<sup>rd</sup> Floor  
LAN Closet Location

1/4/2021



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# 2021

## Stamford HS Facility Assessment & Analysis Report



Optimized by

### Property:

Stamford High  
55 Strawberry Hill Avenue  
Stamford, Connecticut 06902

### Prepared By:

StudioJAED  
42 Weybosset Street, Suite 403  
Providence, RI 02903  
401.648.0884



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## 1.0 Authorized Assessment Account

In June 2021, StudioJAED was sub-contracted by the S/L/A/M Collaborative Inc. on behalf of Stamford Public Schools to conduct a district-wide facility condition assessment and analysis of the Stamford High property located in Stamford, Connecticut. The primary goal of this project was to (1) investigate existing conditions and (2) identify deferred maintenance and long term capital renewal needs. As per industry standard guidelines, StudioJAED surveyed the property, interviewed site personnel, reviewed available construction/maintenance documents, and recorded observations related to the physical site and associated building structure. SLAM teamed with SLR to perform the site assessment and D'Agostino & Associates for technology / security.

This report is for the use of Stamford Public Schools and their assignees. All parties agree by accepting this report that any use of this report shall be limited by the exceptions and qualifications in this report, acknowledge that actual site conditions may change with time, and hidden conditions may exist at the property that were not discovered within the scope of the assessment. Any use of this report by other parties is at the risk of such party.

StudioJAED used a degree of care and skill ordinarily exercised by consultants in the preparation of the report and in assembling the data contained herein. No warranties are provided, either expressed or implied. StudioJAED is not responsible for conclusions, opinions, or recommendations made by others based on this information.

The Facility Assessment and Analysis Report was completed and reviewed by the undersigned team members. Any questions regarding this report should be directed to Pamela Babuca at babucap@studiojaed.com or (401) 648-0884.

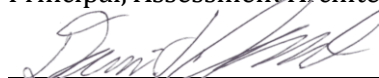
### StudioJAED

Discipline Lead:



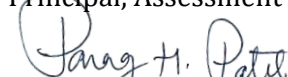
Philip R. Conte, AIA, NCARB  
Principal, Assessment Architect

Discipline Lead:



David T. Spangler, P.E.  
Principal, Assessment Mechanical / Plumbing Engineer

Discipline Lead:



Parag H. Patel, P.E.  
Assessment Electrical Engineer

Report Reviewer:



Pamela J. Babuca, ALEP, ASID, IFMA  
Principal



## 2.0 Executive Summary

StudioJAED Architects and Engineers, along with specialty systems sub-consultants SLR and D’Agostino & Associates, performed a facility condition assessment and analysis of the Stamford High property located in Stamford, Connecticut hereinafter referred to as the “Property”. The purpose of the assessment was to perform a visual analysis of the Property’s general condition and identify recommendations for major building systems and equipment maintenance, repair, or replacement over the next (10) ten years. Items identified were considered significant for the facility to continue in its current operation and/or to be restored to a condition consistent with comparable facilities of similar age.

### 2.1 Scope of Work

The primary field survey was conducted from the 17<sup>th</sup> – 19<sup>th</sup> of August, 2021 and the weather, as recorded on Accuweather.com, was cloudy with actual high and low temperatures of 81°F/71°F. The assessment team reviewed available documentation and interviewed site personnel regarding knowledge of any known existing conditions or issues. A general list of typical elements surveyed includes the following:

- Site and Grounds – Pavement, Parking, Curbs, Loading Docks, Walks, Landscaping, Irrigation, Site Drainage, Exterior Lighting, Walls, Fencing/Railing, and Exterior Amenities.
- Structural Systems – Readily observable portions of Foundations and Structural Framing of Walls, Columns, Intermediate Floors and Roofs.
- Building Envelope – Roofing Systems, Exterior Finishes, Stairs and Steps, Exterior Doors, and Exterior Windows.
- Interior Building Components – Property-owned Electrical, Heating/Ventilating/Air Conditioning (HVAC), and Plumbing Systems.
- Safety and Code Compliance – Life Safety, Fire Suppression Systems, and General Visual Review of Accessibility to Disabled Persons to include Accessible Exterior and Interior Routes, Doors and Common Toilet Facilities.

### 2.2 Prioritization of Need

Recommended corrective actions to repair and/or replace a building system or component were assigned a priority which, in the opinion of the assessor, classified the urgency of the work to be performed. The 10 year prioritization model utilized for this project was based on an industry standard, 4 tier approach. Definitions for each of the priority classifications are as shown.

#### **PRIORITY CLASSIFICATIONS:**

##### ***Priority 1 - Immediate***

*Work should be performed immediately.  
Potential safety or security risk.*

##### ***Priority 2 - High***

*Work to be performed within next 1-2 years.  
Asset has reached the end of useful life.*

##### ***Priority 3 - Medium***

*Work to be performed within next 3-5 years.  
Asset will reach the end of useful life soon.*

##### ***Priority 4 - Low***

*Work to be performed within next 6-10 years.  
Anticipated need for repair or replacement.*



## 2.3 Findings & Recommendations

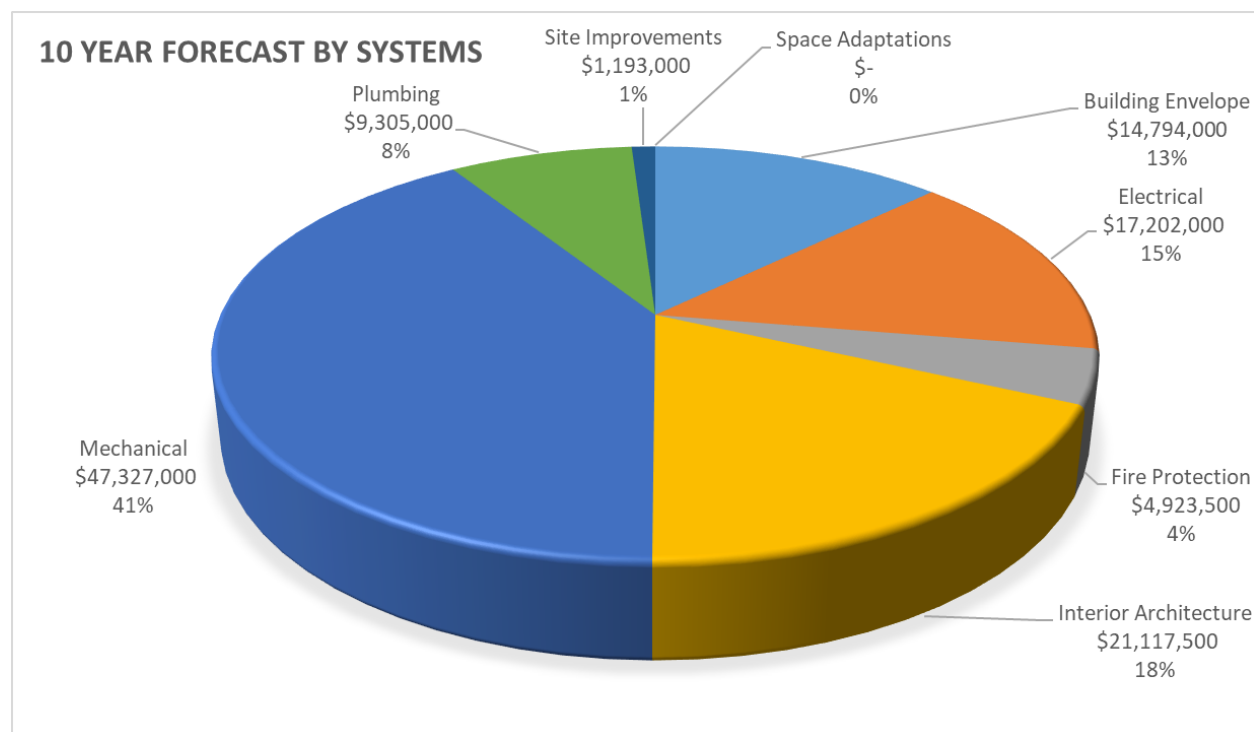
StudioJAED analyzed the recommended corrective actions considered significant for the Property to continue in its current operation and/or to be restored to a condition consistent with comparable facilities of similar age. A summary of the improvement

needs have been quantified from two unique perspectives. The 10 Year Forecast by Priority table provides an understanding of need based on the urgency or timeline for work to be completed. Based on industry standard architectural and engineering best practices, approximately (48%) forty-eight percent of the work should be completed within the next 1-2 years.

The 10 Year Forecast by Systems provides an analysis of estimated improvement needs by major systems. The data indicates that the Mechanical (41%), Interior Architecture (18%), and Electrical (15%) systems have the greatest overall investment needs. Refer to Appendix A to review a more detailed description of needs in the Deferred Maintenance & Asset Renewal Report.

**10 YEAR FORECAST BY PRIORITY**

Priority	Extended Cost	% of Need
Immediate	\$ 2,324	0.0%
High (1 - 2 Years)	\$ 55,383,528	47.8%
Medium (3 - 5 Years)	\$ 21,089,303	18.2%
Low (6 - 10 Years)	\$ 39,386,846	34.0%
	<b>\$ 115,862,000</b>	<b>100%</b>



Based on the review of available documentation, onsite interview, and field observations, it is StudioJAED's opinion that the Main Building is in overall poor condition. Refer to Section 4.0, General Physical Condition Rating, for additional information regarding the condition of major systems from a cost per gross square feet analysis of needs perspective.



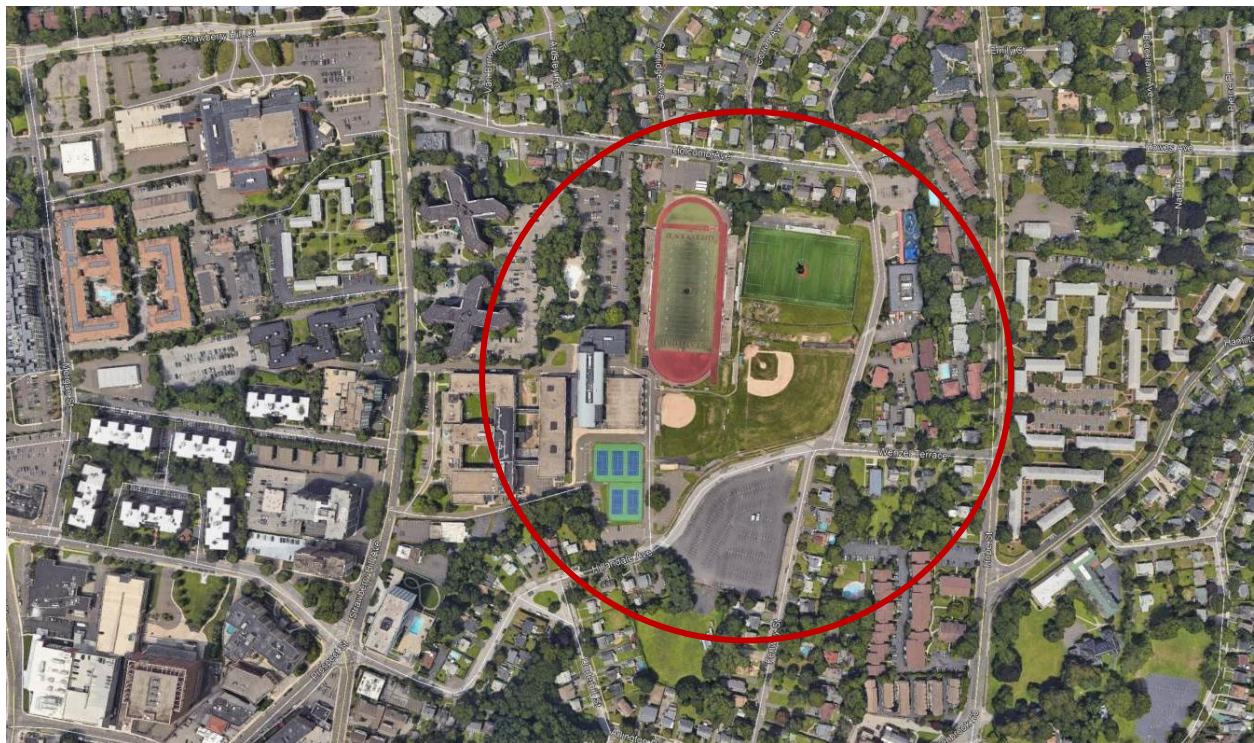
## 3.0 General Property & Building Systems Description

### 3.1 Site / Amenities

The property is located at Stamford High, Stamford, Fairfield County Connecticut on approximately 14.99 acres. The property slopes moderately downward from the west side of the property toward the east property line and the landscaping consists of trees, shrubs, and grasses. Flowerbeds are located throughout the site. Play areas are covered with a grass / artificial turf / asphalt surface. Retaining walls are located at the grade changes along the north property line and at the south side of the school near the main property entrance and in the courtyard between the original building and the addition.

There are approximately 350 spaces in five open lots, one carport under the 9th grade annex. The paved areas are in fair to good condition with evidence of cracking and pavement section deterioration. The paved drive isles are in fair to poor condition. Sidewalk surfaces are in fair condition. Site lighting is minimal and a photometric plan should be done to see where deficiencies exist. Fencing is provided along the north, south, and east property lines and around the tennis courts, baseball fields, soccer field, and east parking lots. The perimeter fencing is in good condition with isolated sections of damage. Grass baseball and softball fields appear to be in good condition. The football field and soccer field are constructed of artificial turf in good condition. Storm water from the roofs, landscaped areas, and paved areas flows into on site inlets and catch basins with underground piping connected to the municipal storm water management system.

Sanitary sewer and the storm water sewer are provided by the Septic System. Domestic water is supplied by Aquarian, electrical service by CL&P, and natural gas is provided by Yankee Gas.







## 3.2 Architectural Systems

### Main Building

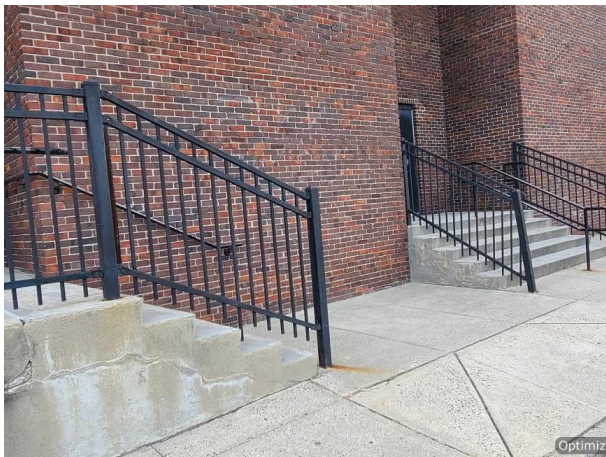
Stamford High is approximately 360,000 square feet and is a three storey structure. The building's foundations for the original 1927 building and 1971 addition consist of reinforced concrete slab on grade with integral perimeter footings, piers or piles supporting the interior columns. The gymnasium portion of the 1971 building foundation is cast in place. The roof assembly is comprised of hipped roofs with slate shingles above the 1927 building entrance elevation, barrel roof above east section of the 1927 building, and flat roofs with built-up membrane or single ply membrane for the remaining roof area. The exterior wall finish is brick and limestone veneer for the original building and brick veneer for the 1971 building. The additions to these buildings have either pre-cast panels, curtain wall, store front, stone, or brick veneer finishes. There is no evidence of significant settlement or structural failure.

The exterior building envelope is in fair to poor condition with varying roof assemblies and systems. Both the built-up and elastomeric roofing require replacement. Both the aluminum and wood frame windows require remediation and/or replacement. The exterior façade is in need of repair with repointing necessary in the masonry wall areas and the removal of staining.

Interior floor finishes include resilient tile, ceramic tile, carpet, wood, and painted concrete slab and are in good to fair condition. Interior wall finishes include painted drywall, painted CMU, painted plaster, brick veneer, wood panel, painted concrete, brick, acoustical panels, and ceramic tile and are in good to fair condition. Interior ceiling finishes include exposed structure, suspended acoustic tiles, painted and unpainted drywall, and painted plaster and are in good to fair condition. Casework and countertops are in fair to poor condition and in need of replacement. All interior doors are worn and approaching the end of their useful life. Classroom and conference room projection equipment should be replaced.

It is recommended that both hydraulic passenger elevators be refurbished.









### 3.3 Mechanical Systems

#### Main Building

Stamford High was originally constructed in 1927. All mechanical systems have been renewed in the years following original construction, the latest of which are approximately noted as:

- Boilers and Hot Water Pumps – 2020
- Hydronic Piping, DDC Control System, Unit Vents, Air Handling Units, Return Air Fans, Condensing Units, and Makeup Air Units – 2000
- PTAC Units, Package Rooftop A/C / Heat Units, Fan Coil Units, Ductwork, Lab Exhaust Hoods, and Exhausters – 2000
- Cabinet Heaters, Unit Heaters, Fin Tube Radiation, Electric Baseboard Heat, Radiant Ceiling Panels, and Kitchen Hood and Exhaust Fan – 2000
- Air Handling Unit – 2003
- Split Systems, Package Rooftop A/C / Heat Unit, 2006 Addition Ductwork, Lab Hood Exhaust Hoods, and Exhausters – 2006
- Cabinet Heaters and Fin Tube Radiation

The building is primarily served by 4 gas-fired, condensing boilers located in the main boiler room. The classrooms are mainly served by Unit Ventilators, and packaged rooftop A/C / Heat units. The gymnasium, auditorium, kitchen and locker areas are served by air handling units with HW and DX coils. Corridors are heated by cabinet heaters and convectors, and other spaces are heated with unit heaters, fin tube radiation, and electric baseboard heat.

All major mechanical systems and components except for the boilers and hot water pumps will require replacement during the 10 year study period.

#### HVAC System Comprehensive Improvement Analysis

The mechanical system at Stamford HS does not provide adequate ventilation or air conditioning. Based on existing equipment conditions and an initiative to add air condition building-wide, the District-Wide Summary: 10 Year Forecast Cost Analysis contains an allowance for the wholesale system replacement including demolition of the current system including central plant and distribution of the original building. This approach takes into consideration only select capital improvement needs in the Deferred Maintenance & Asset Renewal Report not impacted by system replacement. Alternatively, the 1970's addition which is approximately 60,000 gross square feet will only require the capital improvement needs identified in the Deferred Maintenance & Asset Renewal Report.











### 3.4 Plumbing Systems

#### Main Building

All plumbing systems have been renewed in the years following original construction, the latest of which are approximately noted as:

- Domestic hot water boiler and storage tank – 2020
- Domestic hot water heater – 2017
- Domestic water piping system and sanitary piping system – 1975
- Sewage ejector pump, sump pump, lab sinks, lab gas piping and fixtures, eyewash stations, water closets, lavatories, urinals, classroom sinks, locker room showers, electric water coolers, kitchen sinks, mop sinks and utility sinks – 2000
- 2006 addition wing lab sinks, lab gas piping and fixtures, eyewash stations, water closets, lavatories, urinals, classroom sinks, showers, mop sinks and utility sinks – 2006

Most major plumbing systems including domestic and sanitary piping should be replaced in the 10 year study period. The domestic hot water boiler, heater and storage tank and the new laboratory gas piping and fixtures will not need to be replaced within the study period.





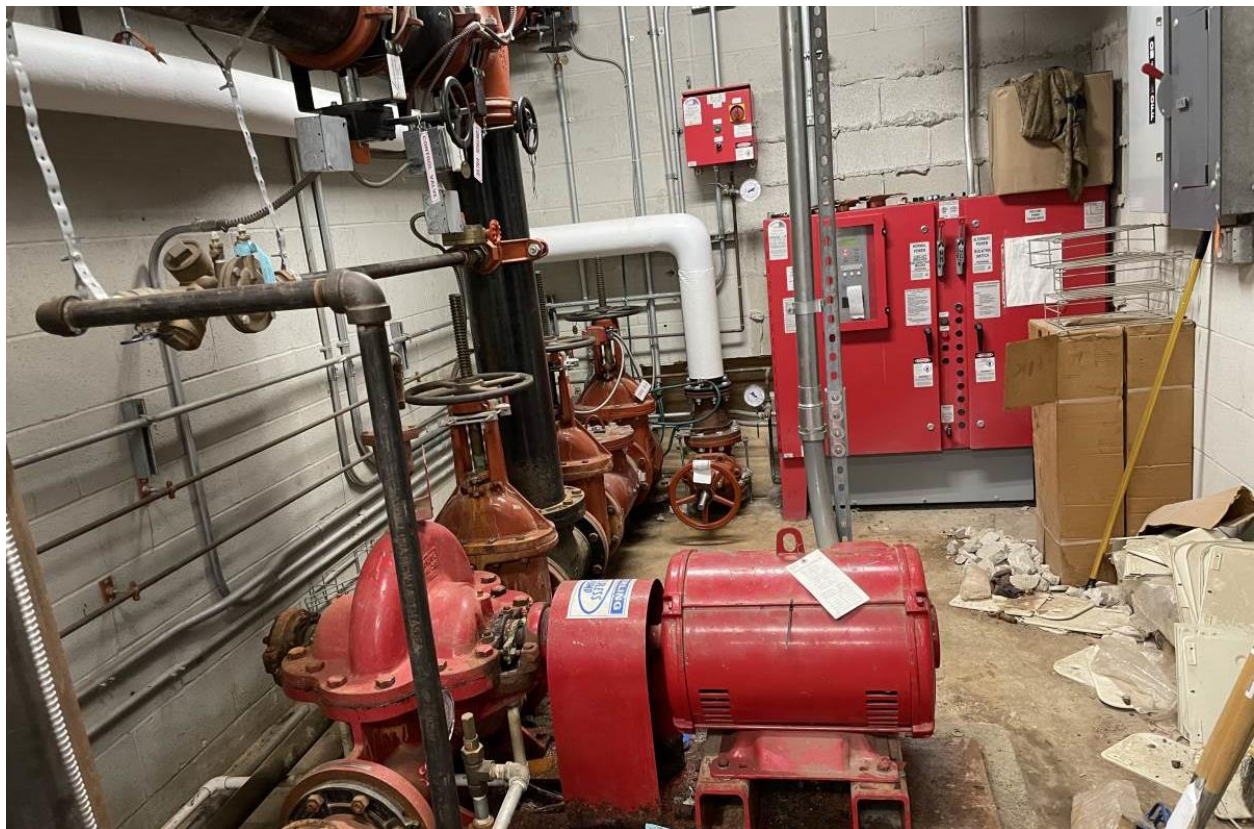


### 3.5 Fire & Other Protection Systems

#### Main Building

The sprinkler system was installed in 2000 and will reach the end of its 30 year useful life in 9 years. The fire pump was also installed in 2000 and reached the end of its life period 6 years ago. These should be planned to be replaced along with comprehensive renovations of the building.

Life safety and Fire alarm systems consists of main fire alarm console with devices and power supplies located throughout the building. Fire alarm system and components are in working order with no known defects. Fire suppression is provided by 60 HP fire pump and sprinklers in the building. This fire pump is connected to onsite generator set.





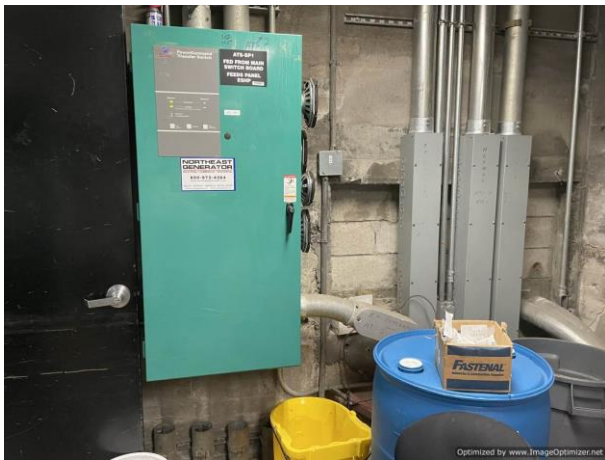
## 3.6 Electrical Systems

### Main Building

The building is powered by utility company owned pad mounted transformer located in the backside. Service feeders from this transformer terminate into 1600 amp main breaker and switchboard that contains feeder breakers. Service to the building is rated for 1600 amp, 480Y / 277 volts, 3 phase, 4 wire. Distribution panels located throughout are powered from this switchboard. Power for outlets and loads requiring 120 volt are provide by dry type transformers and panelboards located in the electrical closets in the building. Power to HVAC equipment and boiler equipment are provided from 480 volt panelboards. Boiler room pumps have VFD controls and direct across line starters.

The building's emergency loads are powered from onsite 500 KW generator and automatic transfer switches located in Electrical room. This emergency generator also powers 60 hp fire pump and Jockey pump. Most of branch circuit wiring is MC cable recessed in either wall or above ceiling. Wiring to HVAC equipment and boiler equipment are in EMT conduit. Condition of wiring varies depending upon the year of construction. Older wiring has gone beyond useful life and it needs replacement.

Lighting in the building is LED; mixture of recessed 2x4, suspended up and down and surface mounted. Lights in classrooms, gym, and media rooms are controlled by motion sensors and wall switches. Outdoor wall mounted perimeter lights are LED controlled by photocell and time clocks.



## 3.7 Technology & Security Systems

### Technology

Stamford High constructed an addition to the 9th grade wing in 2006. The main building has a mix of Category 5, Category 5E, and Category 6 cabling supporting all end devices, which is adequate to support the current technology and security systems. The 9th grade wing is comprised of category 5e cabling. We recommend replacing this cabling to the most recent category rating to accommodate future technology devices. Fiber optic backbone cabling between the MDF (2 total) and each IDF (12 total) consists of OM1 62.5/125um fiber optic cabling, which is capable of 1 Gbps per fiber pair. We recommend installing and replacing this fiber to OM4, which will support 40Gbps, to support the bandwidth requirements of new technology, especially the increased future use of Wi-Fi.

The Public Address system is in working order but is an antiquated analog system and the performance is subpar. The freshman wing 15 years old and will be beyond its useful life. We recommend replacing this system for new. The Master Clock System is antiquated except for the 2006 addition to the 9th grade wing. It is recommended to upgrade the Master Clock headend and secondary wall clocks throughout the building.

There are interactive boards in all classrooms and conference rooms. Most of the boards were installed before 2014 which would make them 7 years old and older. These boards will be coming into their useful life and will need an upgrade in the coming years.

Refer to Appendix B to view a floor plan notating the location and name of each technology room.

### Security

The Intrusion Detection Security system experiences many false alarms and is an antiquated system. It is recommended to replace this cabling and devices to accommodate the future security needs of this property. The Video Surveillance Systems is subpar with the image quality imperceptible. The system is comprised of analog and digital IP cameras. Coverage of the school is fair. We recommend replacing the existing analog cameras with IP cameras and supplementing the coverage with new IP cameras. At the main entryway there is a security checkpoint in the vestibule. The Access Control system is minimal with most of the doors accessed via lock and key. It is recommended to add electrified managed doors to the main means of entrance.

## 4.0 General Physical Condition Rating

The general physical condition ratings identified below are based on StudioJAED's visual inspection and overall impression of the Property's major building systems assessed as defined in the Executive Summary, Section 2.0.

MAIN BUILDING		Condition Rating		
Item	Building / Site System	Good	Fair	Poor
1	Building Envelope		X	X
2	Interior Architecture	X		
3	Mechanical Systems			X
4	Electrical Systems		X	X
5	Plumbing Systems		X	X
6	Fire Alarm / Protection Systems		X	X
7	Site Improvements	X		



## 5.0 Opinions of Probable Costs

The opinions of probable cost presented in this document are for repair or renewal / replacement projected capital needs identified from a visual inspection of the defined Property site elements and primary building systems anticipated over the subsequent 10 year term. These opinions are based on StudioJAED's knowledge of industry standards and recommended "good" architectural and engineering practice. For the purpose of generating projected investment dollars, needs were calculated based on approximate quantities and estimated unit cost values were defined. Recommended corrective actions recorded do not constitute a warranty that all items, which may require repair or replacement, are included.

As a measure of quality assurance, StudioJAED's cost estimates were developed by our Certified Professional Estimators. All unit "trade" costs were developed using the RSMeans "CostWorks" application which was regionally adjusted to the materials, labor, and equipment cost for Bridgeport, Connecticut. The cost model approach applied to each corrective action was based on Construction Management-at-Risk (CMAR) with an additional (20%) twenty percent allowance to cover design fees and owner contingency.

The opinions of probable costs should be considered a preliminary order of magnitude for budget development. It also assumes that each facility will continue to operate in its current capacity and relative quality of care. Actual costs will vary from StudioJAED's probable costs based on a number of potential factors such as: a finer granularity or understanding of required scope of work, design solution approach, type of construction, quality of materials, equipment or system specifications, field conditions, need for abatement of hazardous materials, decision to comprehensively replace equipment or system versus partial replacement / repair, phased or staged implementation (if required), quality of contractor, overall project management, solicitation of competitive pricing, etc. An expanded budget projection/analysis typically requires the development of schematic design documents and preliminary specifications to obtain contractor bid estimates.

## 6.0 Limitations & Qualifications

The services described within this document were performed by StudioJAED. No warranties are provided, either expressed or implied. While StudioJAED made every reasonable effort to properly evaluate the Property conditions within the contracted scope of work, it is important to recognize that the investigation was limited in several respects including, but not limited to, the following:

StudioJAED's findings and conclusions are based primarily on the visual appearance of the Property at the time of our site visit and comparatively evaluated in contrast to our extensive condition assessment experience. Observations included only areas that were readily accessible to our assessment team members without opening or dismantling any secured components or areas. The scope did not include invasive investigation, component sampling, laboratory analysis, an environmental site assessment, or engineering evaluations of structural, mechanical, electrical, or other systems with related calculations and review of design assumptions.

Some of StudioJAED's conclusions are partially based on information provided by others. For the purposes of this report, we have assumed this information to be complete and correct unless noted otherwise. StudioJAED assumes no responsibility for incorrect information provided by others.

Our opinions of cost represent a preliminary opinion only and are neither a quote nor a warranty or representation as to the actual costs that may be incurred. These estimates are based on typical cost data that may not fully characterize the scope of the Property conditions and are further limited by possible future changes in technology, by regulatory requirements, by Property location, and by contingencies that cannot reasonably be discovered until after commencement of onsite construction activities. StudioJAED shall not be liable to the Client nor any other property for any costs or expenses that may be incurred in excess of these estimates, for any losses that may be incurred as a result of these estimates being different from the actual costs, nor for any damages whatsoever in connection with these estimates.

This report is intended for the use of and may be relied upon only by the entities identified in Section 1.0 – Authorized Assessment Account. The scope of services performed in execution of this investigation may not be appropriate to satisfy the needs of other users, and any use or re-use of this document or its findings, conclusions, or recommendations is at the risk of said user. StudioJAED is not responsible for the conclusions, opinions, or recommendations made by others based on this information.

## Appendices

**Appendix A: Deferred Maintenance & Asset Renewal Report**

**Appendix B: Technology Floor Plans**

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# Deferred Maintenance & Asset Renewal Report

## Stamford High

Project Name: 2021 Stamford Facility Assessment

Building Type: High School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
<b>Stamford High School</b>								
<b>A10 Foundations</b>								
A1010-01-09C Correct Foundation Wall Moisture Infiltration by Install Exterior Waterproofing & Drainage	A1010 Standard Foundation	Courtyards	<i>Includes installation of a foundation drain</i>	Def Maint	P2 / 1-2 Yrs	Damage/ Wear	730 LNFT	\$99,773
Total Estimated Cost for <b>A10 Foundations</b>								<b>\$99,773</b>
<b>B20 Exterior Enclosure</b>								
B2010-02-17C Correct Precast Concrete Wall Structural Cracking by Epoxy Injection	B2010 Exterior Wall	Building Exterior		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	30 LNFT	\$557
B2010-03-07C Correct Brick Masonry Wall Stained Finish by Cleaning	B2010 Exterior Wall	Building Exterior	<i>Perform in conjunction with repointing</i>	Def Maint	P2 / 1-2 Yrs	Damage/ Wear	106,000 SQFT	\$830,845
B2010-03-07C Correct Brick Masonry Wall Stained Finish by Cleaning	B2010 Exterior Wall	Building Exterior		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	104,960 SQFT	\$822,693
B2010-03-09C Correct Brick Masonry Wall Mortar Deterioration by Repointing	B2010 Exterior Wall	Building Exterior	<i>Suggest cleaning be completed prior to repointing</i>	Def Maint	P2 / 1-2 Yrs	Damage/ Wear	106,000 SQFT	\$3,758,251
B2010-03-09C Correct Brick Masonry Wall Mortar Deterioration by Repointing	B2010 Exterior Wall	Building Exterior		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	45,000 SQFT	\$1,595,484
B2010-06-09C Correct Cut Stone Wall Mortar Deterioration by Repointing	B2010 Exterior Wall	Building Exterior		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	550 SQFT	\$15,986

Priority 1 - Work should be performed immediately. Potential Life / Safety Issue.

Priority 3 - Work to be performed within next 3-5 years. Asset will reach useful life soon.

Priority 2 - Work to be performed within next 1-2 years. Asset has reached useful life. Priority 4 - Work to be performed within next 6-10 years or is an arch/eng "good practice".

Estimated Construction Cost is based on 2021 RSMeans data regionalized for Stamford, CT with client defined allowances and soft costs applied.



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# Deferred Maintenance & Asset Renewal Report

## Stamford High

**Project Name:** 2021 Stamford Facility Assessment

**Building Type:** High School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
B2011-01-02C Correct Louvers, Grilles & Screens Architectural Louver Deterioration by Demolition & Replacement	B2011 Exterior Wall Specialties	Roof		Def Maint	P2 / 1-2 Yrs	Damage/Wear	675 SQFT	\$143,358
B2011-06-02C Correct Exterior Fiber Cement Panel Soffit or Fascia Deterioration by Demolition & Replacement	B2011 Exterior Wall Specialties	Building Exterior		Def Maint	P2 / 1-2 Yrs	Damage/Wear	1,950 SQFT	\$50,957
B2011-07-01C Correct Exterior Wall Trim Deterioration by Demolition & Replacement	B2011 Exterior Wall Specialties	Roof	<i>Located near door. Quantity increased to meet minimum cost.</i>	Def Maint	P2 / 1-2 Yrs	Damage/Wear	35 LNFT	\$584
B2020-02-01C Correct Aluminum Frame Window Deterioration by Demolition & Replacement	B2020 Exterior Window	Building Exterior		Def Maint	P2 / 1-2 Yrs	Damage/Wear	3,394 SQFT	\$267,406
B2020-03-01C Correct Wood Frame Window Deterioration by Demolition & Replacement	B2020 Exterior Window	Building Exterior		Def Maint	P2 / 1-2 Yrs	Damage/Wear	19,242 SQFT	\$2,276,173
B2030-04-02C Correct Hollow Metal Door & Frame Deterioration by Demolition & Replacement	B2030 Exterior Door	Building Exterior		Def Maint	P2 / 1-2 Yrs	Damage/Wear	47 EACH	\$222,618
B2030-04-02C Correct Hollow Metal Door & Frame Deterioration by Demolition & Replacement	B2030 Exterior Door	Roof		Def Maint	P2 / 1-2 Yrs	Damage/Wear	1 EACH	\$4,737
B2030-08-02C Correct Overhead Door & Frame Deterioration by Demolition & Replacement	B2030 Exterior Door	Building Exterior		Def Maint	P2 / 1-2 Yrs	Damage/Wear	100 SQFT	\$13,432

Priority 1 - Work should be performed immediately. Potential Life / Safety Issue.

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Estimated Construction Cost is based on 2021 RSMeans data regionalized for Stamford, CT with client defined allowances and soft costs applied.



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# Deferred Maintenance & Asset Renewal Report

Stamford High

Project Name: 2021 Stamford Facility Assessment

Building Type: High School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
Total Estimated Cost for <b>B20 Exterior Enclosure</b>								<b>\$10,003,082</b>
<b>B30 Roofing</b>								
B3010-07-01C Correct Built-Up Bituminous Roof Deterioration by Demolition & Replacement	B3010 Roof Covering	Roof		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	73,931 SQFT	\$3,254,688
B3010-09-01C Correct Elastomeric Roof Deterioration by Demolition Replacement	B3010 Roof Covering	Roof		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	31,501 SQFT	\$1,358,235
B3020-03-01C Correct Skylight Deterioration by Demolition & Replacement	B3020 Roof Opening	Roof	(6) units at 36 SF each	Def Maint	P2 / 1-2 Yrs	Damage/ Wear	216 SQFT	\$44,404
B3020-04-01C Correct Roof Hatch Deterioration by Demolition & Replacement	B3020 Roof Opening	Roof		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	2 EACH	\$4,386
B3020-04-05C Correct Roof Hatch Guardrail Required by Install New	B3020 Roof Opening	Roof		Bldg Imprv	P2 / 1-2 Yrs	Codes - BLDG	2 EACH	\$4,949
B3060-08-01C Correct Roof Protection Pad Deterioration by Demolition & Replacement	B3060 Roof Specialties	Roof		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	200 EACH	\$19,931
B3060-09-02C Correct Roof Access Ladder Required by Install New	B3060 Roof Specialties	Roof	(2) ladders at 7 LNFT each	Bldg Imprv	P2 / 1-2 Yrs	Function/ Functional	14 LNFT	\$4,777
Total Estimated Cost for <b>B30 Roofing</b>								<b>\$4,691,370</b>

Priority 1 - Work should be performed immediately. Potential Life / Safety Issue.

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# Deferred Maintenance & Asset Renewal Report

## Stamford High

**Project Name:** 2021 Stamford Facility Assessment

**Building Type:** High School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
<b>C10 Interior Construction</b>								
C1020-01-01C Correct Hollow Metal Door Deterioration by Demolition & Replacement	C1020 Interior Door	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/Wear	70 EACH	\$220,469
C1020-02-01C Correct Wood Door Deterioration by Demolition & Replacement	C1020 Interior Door	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/Wear	564 EACH	\$1,200,040
C1030-01-01C Correct Chalkboard, Tackboard or Markerboard Deterioration by Demolition & Replacement	C1030 Fittings & Accessories	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/Wear	875 SQFT	\$44,729
C1030-02-01C Correct Toilet Compartment Deterioration by Demolition & Replacement	C1030 Fittings & Accessories	Bathrooms Building Wide		Def Maint	P3 / 3-5 Yrs	Damage/Wear	4 EACH	\$7,246
Total Estimated Cost for <b>C10 Interior Construction</b>								<b>\$1,472,484</b>
<b>C20 Stairs &amp; Ramps</b>								
C2020-04-04C Correct Wood Stair Tread & Riser Finish Deterioration by Prep & Refinish	C2020 Interior Stair Finish	Auditorium		Def Maint	P2 / 1-2 Yrs	Damage/Wear	52 LNFT	\$585
C2020-05-01C Correct Resilient / Rubber Stair Tread & Nosing Finish Deterioration by Demolition & Replacement	C2020 Interior Stair Finish	Stair Towers		Def Maint	P3 / 3-5 Yrs	Damage/Wear	4,200 LNFT	\$239,141

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# Deferred Maintenance & Asset Renewal Report

Stamford High

Project Name: 2021 Stamford Facility Assessment

Building Type: High School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
C2050-01-05C Correct Handrail Required by Install New	C2050 Interior Handrail & Balustrade	Media Center	Handrail required at ramp	Bldg Imprv	P2 / 1-2 Yrs	Codes - BLDG	10 LNFT	\$626
Total Estimated Cost for C20 Stairs & Ramps								\$240,352
<b>C30 Interior Finishes</b>								
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	60,300 SQFT	\$252,363
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Building Wide		Def Maint	P4 / 6-10 Yrs	Damage/ Wear	29,800 SQFT	\$124,717
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Cafeteria		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	12,480 SQFT	\$52,230
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Classrooms		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	58,000 SQFT	\$242,737
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Classrooms		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	138,000 SQFT	\$577,547
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Gymnasium		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	16,200 SQFT	\$67,799

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*Stamford High*

**Project Name:** 2021 Stamford Facility Assessment

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Gymnasium		Def Maint	P4 / 6-10 Yrs	Damage/ Wear	9,800 SQFT	\$41,014
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Locker Room		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	8,460 SQFT	\$35,406
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Media Center		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	2,000 SQFT	\$8,370
C3010-01-01C Correct Painted Wall Finish Deterioration by Prep & Repaint (SQFT)	C3010 Wall Finish	Stair Towers		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	28,800 SQFT	\$120,531
C3010-03-02C Correct Ceramic Tile Wall Finish Deterioration by Regrouting	C3010 Wall Finish	Bathrooms Building Wide		Def Maint	P4 / 6-10 Yrs	Damage/ Wear	22,950 SQFT	\$663,436
C3010-03-02C Correct Ceramic Tile Wall Finish Deterioration by Regrouting	C3010 Wall Finish	Building Wide		Def Maint	P4 / 6-10 Yrs	Damage/ Wear	12,500 SQFT	\$361,349
C3010-03-02C Correct Ceramic Tile Wall Finish Deterioration by Regrouting	C3010 Wall Finish	Building Wide		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	14,100 SQFT	\$407,601
C3010-03-02C Correct Ceramic Tile Wall Finish Deterioration by Regrouting	C3010 Wall Finish	Cafeteria		Def Maint	P4 / 6-10 Yrs	Damage/ Wear	1,080 SQFT	\$31,221

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## Stamford High

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
C3010-03-02C Correct Ceramic Tile Wall Finish Deterioration by Regrouting	C3010 Wall Finish	Kitchen		Def Maint	P4 / 6-10 Yrs	Damage/Wear	1,830 SQFT	\$52,901
C3010-03-02C Correct Ceramic Tile Wall Finish Deterioration by Regrouting	C3010 Wall Finish	Locker Room		Bldg Imprv	P4 / 6-10 Yrs	Damage/Wear	5,400 SQFT	\$156,103
C3010-12-01C Correct Plaster Wall Finish Deterioration by Demolition & Replacement	C3010 Wall Finish	Media Center		Def Maint	P2 / 1-2 Yrs	Damage/Wear	100 SQFT	\$1,812
C3010-12-02C Correct Plaster Wall Finish Deterioration by Prep & Refinish	C3010 Wall Finish	Auditorium		Def Maint	P3 / 3-5 Yrs	Damage/Wear	6,700 SQFT	\$36,202
C3010-12-02C Correct Plaster Wall Finish Deterioration by Prep & Refinish	C3010 Wall Finish	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/Wear	40,371 SQFT	\$218,134
C3010-12-02C Correct Plaster Wall Finish Deterioration by Prep & Refinish	C3010 Wall Finish	Media Center		Def Maint	P3 / 3-5 Yrs	Damage/Wear	2,544 SQFT	\$13,746
C3010-18-04C Correct Concrete Block Decorative Wall Finish Deterioration by Regrouting	C3010 Wall Finish	Gymnasium		Def Maint	P2 / 1-2 Yrs	Damage/Wear	500 SQFT	\$9,410
C3020-01-04C Correct Concrete Interior Floor Finish Deterioration by Prep & Refinish (101-1000 SF)	C3020 Floor Finish	Stair Towers		Def Maint	P4 / 6-10 Yrs	Damage/Wear	500 SQFT	\$17,217

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# Deferred Maintenance & Asset Renewal Report

*Stamford High*

**Project Name:** 2021 Stamford Facility Assessment

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
C3020-01-05C Correct Concrete Interior Floor Finish Deterioration by Prep & Refinish (1001 SF and Above)	C3020 Floor Finish	Auditorium		Def Maint	P3 / 3-5 Yrs	Damage/Wear	5,100 SQFT	\$143,249
C3020-01-05C Correct Concrete Interior Floor Finish Deterioration by Prep & Refinish (1001 SF and Above)	C3020 Floor Finish	Building Wide		Def Maint	P3 / 3-5 Yrs	Damage/Wear	5,010 SQFT	\$140,721
C3020-01-05C Correct Concrete Interior Floor Finish Deterioration by Prep & Refinish (1001 SF and Above)	C3020 Floor Finish	Locker Room		Def Maint	P4 / 6-10 Yrs	Damage/Wear	6,530 SQFT	\$183,415
C3020-02-01C Correct Resilient Tile Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Building Wide		Def Maint	P4 / 6-10 Yrs	Damage/Wear	21,000 SQFT	\$206,582
C3020-02-01C Correct Resilient Tile Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/Wear	31,485 SQFT	\$309,726
C3020-02-01C Correct Resilient Tile Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Cafeteria		Def Maint	P2 / 1-2 Yrs	Damage/Wear	11,650 SQFT	\$114,604
C3020-02-01C Correct Resilient Tile Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Classrooms		Def Maint	P4 / 6-10 Yrs	Damage/Wear	80,000 SQFT	\$786,979
C3020-02-01C Correct Resilient Tile Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Classrooms		Def Maint	P2 / 1-2 Yrs	Damage/Wear	94,585 SQFT	\$930,455

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## Stamford High

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
C3020-02-01C Correct Resilient Tile Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Locker Room		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	1,310 SQFT	\$12,887
C3020-02-01C Correct Resilient Tile Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Media Center		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	936 SQFT	\$9,208
C3020-03-01C Correct Resilient Sheet Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Stair Towers		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	3,840 SQFT	\$57,292
C3020-05-01C Correct Non Slip Rubber Floor Deterioration by Demolition & Replacement	C3020 Floor Finish	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	1,450 SQFT	\$45,274
C3020-05-01C Correct Non Slip Rubber Floor Deterioration by Demolition & Replacement	C3020 Floor Finish	ClassroomsCl assrooms		Def Maint	P4 / 6-10 Yrs	Damage/ Wear	1,454 SQFT	\$45,399
C3020-05-01C Correct Non Slip Rubber Floor Deterioration by Demolition & Replacement	C3020 Floor Finish	Gymnasium		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	1,000 SQFT	\$31,223
C3020-08-03C Correct Ceramic Tile Floor Finish Deterioration by Regrouting	C3020 Floor Finish	Bathrooms Building Wide		Def Maint	P4 / 6-10 Yrs	Damage/ Wear	8,415 SQFT	\$164,249
C3020-08-03C Correct Ceramic Tile Floor Finish Deterioration by Regrouting	C3020 Floor Finish	Locker Room		Def Maint	P4 / 6-10 Yrs	Damage/ Wear	2,466 SQFT	\$48,133

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## Stamford High

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
C3020-09-03C Correct Quarry Tile Floor Finish Deterioration by Regrouting	C3020 Floor Finish	Classrooms		Def Maint	P4 / 6-10 Yrs	Damage/ Wear	1,483 SQFT	\$23,431
C3020-09-03C Correct Quarry Tile Floor Finish Deterioration by Regrouting	C3020 Floor Finish	Kitchen		Def Maint	P4 / 6-10 Yrs	Damage/ Wear	1,100 SQFT	\$17,380
C3020-11-02C Correct Hard Wood Floor Finish Deterioration Prep & Refinish	C3020 Floor Finish	Auditorium		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	3,000 SQFT	\$24,723
C3020-11-02C Correct Hard Wood Floor Finish Deterioration Prep & Refinish	C3020 Floor Finish	Classrooms		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	3,928 SQFT	\$32,370
C3020-11-02C Correct Hard Wood Floor Finish Deterioration Prep & Refinish	C3020 Floor Finish	Gymnasium		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	16,350 SQFT	\$134,738
C3020-11-02C Correct Hard Wood Floor Finish Deterioration Prep & Refinish	C3020 Floor Finish	Gymnasium		Def Maint	P4 / 6-10 Yrs	Damage/ Wear	6,600 SQFT	\$54,390
C3020-11-02C Correct Hard Wood Floor Finish Deterioration Prep & Refinish	C3020 Floor Finish	Media Center		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	750 SQFT	\$6,181
C3020-12-01C Correct Carpet Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Auditorium		Def Maint	P3 / 3-5 Yrs	Useful Life	370 SQYD	\$39,410

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Project Name: 2021 Stamford Facility Assessment

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
C3020-12-01C Correct Carpet Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Building Wide		Def Maint	P3 / 3-5 Yrs	Useful Life	1,290 SQYD	\$137,402
C3020-12-01C Correct Carpet Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Classrooms		Def Maint	P3 / 3-5 Yrs	Useful Life	625 SQYD	\$66,571
C3020-12-01C Correct Carpet Floor Finish Deterioration by Demolition & Replacement	C3020 Floor Finish	Media Center		Def Maint	P3 / 3-5 Yrs	Useful Life	634 SQYD	\$67,529
C3020-16-01C Correct Recessed Entrance Floor Mat Deterioration by Demolition & Replacement	C3020 Floor Finish	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	110 SQFT	\$14,896
C3020-19-03C Correct Stone Floor Finish Deterioration by Prep & Refinish	C3020 Floor Finish	Building Wide		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	1,670 SQFT	\$6,461
C3030-02-01C Correct Plaster Ceiling Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Building Wide	<i>Required to maintain floor fire rating</i>	Def Maint	P2 / 1-2 Yrs	Codes - BLDG	1,000 SQFT	\$17,910
C3030-02-03C Correct Plaster Ceiling Finish Deterioration by Prep & Refinish	C3030 Ceiling Finish	Auditorium		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	6,640 SQFT	\$78,105
C3030-02-03C Correct Plaster Ceiling Finish Deterioration by Prep & Refinish	C3030 Ceiling Finish	Bathrooms Building Wide		Def Maint	P4 / 6-10 Yrs	Damage/ Wear	7,000 SQFT	\$82,339

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*Stamford High*

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
C3030-02-03C Correct Plaster Ceiling Finish Deterioration by Prep & Refinish	C3030 Ceiling Finish	Building Wide		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	1,500 SQFT	\$17,644
C3030-03-01C Correct Drywall Ceiling Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Bathrooms Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	1,015 SQFT	\$9,397
C3030-03-02C Correct Drywall Ceiling Finish Deterioration by Prep & Refinish	C3030 Ceiling Finish	Building Wide		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	1,200 SQFT	\$7,076
C3030-03-02C Correct Drywall Ceiling Finish Deterioration by Prep & Refinish	C3030 Ceiling Finish	Cafeteria		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	300 SQFT	\$1,769
C3030-03-02C Correct Drywall Ceiling Finish Deterioration by Prep & Refinish	C3030 Ceiling Finish	Classrooms		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	1,200 SQFT	\$7,076
C3030-03-02C Correct Drywall Ceiling Finish Deterioration by Prep & Refinish	C3030 Ceiling Finish	Locker Room		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	2,500 SQFT	\$14,742
C3030-03-02C Correct Drywall Ceiling Finish Deterioration by Prep & Refinish	C3030 Ceiling Finish	Stair Towers		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	2,750 SQFT	\$16,216
C3030-04-01C Correct Splined Acoustical Ceiling Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Auditorium		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	2,000 SQFT	\$20,763

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## Stamford High

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
C3030-05-02C Correct Suspended Acoustical Ceiling Tile & Grid Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Bathrooms Building Wide		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	400 SQFT	\$4,223
C3030-05-02C Correct Suspended Acoustical Ceiling Tile & Grid Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	41,500 SQFT	\$438,091
C3030-05-02C Correct Suspended Acoustical Ceiling Tile & Grid Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Building Wide		Def Maint	P4 / 6-10 Yrs	Damage/ Wear	20,310 SQFT	\$214,400
C3030-05-02C Correct Suspended Acoustical Ceiling Tile & Grid Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Cafeteria		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	11,650 SQFT	\$122,982
C3030-05-02C Correct Suspended Acoustical Ceiling Tile & Grid Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Classrooms		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	110,000 SQFT	\$1,161,204
C3030-05-02C Correct Suspended Acoustical Ceiling Tile & Grid Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Classrooms		Def Maint	P4 / 6-10 Yrs	Damage/ Wear	71,378 SQFT	\$753,495
C3030-05-02C Correct Suspended Acoustical Ceiling Tile & Grid Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Kitchen		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	1,100 SQFT	\$11,612

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
C3030-05-02C Correct Suspended Acoustical Ceiling Tile & Grid Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Locker Room		Def Maint	P4 / 6-10 Yrs	Damage/Wear	2,000 SQFT	\$21,113
C3030-05-02C Correct Suspended Acoustical Ceiling Tile & Grid Finish Deterioration by Demolition & Replacement	C3030 Ceiling Finish	Media Center		Def Maint	P3 / 3-5 Yrs	Damage/Wear	7,345 SQFT	\$77,537
Total Estimated Cost for <b>C30 Interior Finishes</b>								<b>\$10,424,415</b>
<b>D10 Conveying</b>								
D1010-01-39C Correct Hydraulic Passenger Elevator (2500 Capacity) Deterioration by Refurbishment	D1010 Elevator & Lift	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/Wear	5 FLR	\$322,873
D1010-01-39C Correct Hydraulic Passenger Elevator (2500 Capacity) Deterioration by Refurbishment	D1010 Elevator & Lift	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/Wear	4 FLR	\$258,299
Total Estimated Cost for <b>D10 Conveying</b>								<b>\$581,172</b>
<b>D20 Plumbing</b>								
D2010-02-01C Correct Water Closet Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide - 2006 Wing		Def Maint	P3 / 3-5 Yrs	Useful Life	38 EACH	\$109,401
D2010-02-01C Correct Water Closet Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide - 70's Wing		Def Maint	P2 / 1-2 Yrs	Useful Life	33 EACH	\$95,006

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# Deferred Maintenance & Asset Renewal Report

Stamford High

Project Name: 2021 Stamford Facility Assessment

Building Type: High School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D2010-02-01C Correct Water Closet Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide - Original Wing		Def Maint	P2 / 1-2 Yrs	Useful Life	64 EACH	\$184,254
D2010-03-05C Correct Lavatory (Countertop Type) Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide - 2006 Wing		Def Maint	P3 / 3-5 Yrs	Useful Life	46 EACH	\$101,893
D2010-03-05C Correct Lavatory (Countertop Type) Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide - 70's Wing		Def Maint	P2 / 1-2 Yrs	Useful Life	50 EACH	\$110,753
D2010-03-05C Correct Lavatory (Countertop Type) Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide - Original Wing		Def Maint	P2 / 1-2 Yrs	Useful Life	82 EACH	\$181,635
D2010-04-01C Correct Urinal Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide - 2006 Wing		Def Maint	P3 / 3-5 Yrs	Useful Life	8 EACH	\$20,277
D2010-04-01C Correct Urinal Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide - 70's Wing		Def Maint	P2 / 1-2 Yrs	Useful Life	10 EACH	\$25,346
D2010-04-01C Correct Urinal Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide - Original Wing		Def Maint	P2 / 1-2 Yrs	Useful Life	22 EACH	\$55,761
D2010-05-07C Correct Shower Enclosure, Mixing Valve/Faucet and Trim Set Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide	Stall Type	Def Maint	P3 / 3-5 Yrs	Useful Life	4 EACH	\$19,551

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# Deferred Maintenance & Asset Renewal Report

Stamford High

Project Name: 2021 Stamford Facility Assessment

Building Type: High School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D2010-05-07C Correct Shower Enclosure, Mixing Valve/Faucet and Trim Set Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Locker Room	Multi-user Style	Def Maint	P2 / 1-2 Yrs	Useful Life	10 EACH	\$48,877
D2010-05-07C Correct Shower Enclosure, Mixing Valve/Faucet and Trim Set Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Locker Room	Stall Type	Def Maint	P2 / 1-2 Yrs	Useful Life	19 EACH	\$92,866
D2010-08-01C Correct Electric Water Cooler (Single) Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide	Replace with EWC/Bottle Filler	Def Maint	P2 / 1-2 Yrs	Useful Life	22 EACH	\$94,358
D2010-10-01C Correct Utility Sink or Mop Receptor Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide - 2006 Wing		Def Maint	P3 / 3-5 Yrs	Useful Life	3 EACH	\$11,696
D2010-10-01C Correct Utility Sink or Mop Receptor Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide - 70's Wing		Def Maint	P2 / 1-2 Yrs	Useful Life	3 EACH	\$11,696
D2010-10-01C Correct Utility Sink or Mop Receptor Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide - Original Wing		Def Maint	P2 / 1-2 Yrs	Useful Life	12 EACH	\$46,783
D2010-11-01C Correct Residential Sink Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide - 2006 Wing		Def Maint	P2 / 1-2 Yrs	Useful Life	11 EACH	\$24,905
D2010-11-01C Correct Residential Sink Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide - 70's Wing		Def Maint	P2 / 1-2 Yrs	Useful Life	23 EACH	\$52,075

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# Deferred Maintenance & Asset Renewal Report

*Stamford High*

**Project Name:** 2021 Stamford Facility Assessment

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D2010-11-01C Correct Residential Sink Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide - Original Wing		Def Maint	P2 / 1-2 Yrs	Useful Life	24 EACH	\$54,339
D2010-12-01C Correct Lab Sink Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide - 2006 Wing		Def Maint	P2 / 1-2 Yrs	Useful Life	115 EACH	\$406,235
D2010-12-01C Correct Lab Sink Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide - 70s Wing		Def Maint	P2 / 1-2 Yrs	Useful Life	138 EACH	\$487,482
D2010-12-01C Correct Lab Sink Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide - Original Wing		Def Maint	P2 / 1-2 Yrs	Useful Life	10 EACH	\$35,325
D2010-13-01C Correct Eye Wash Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide - 2006 Wing		Def Maint	P3 / 3-5 Yrs	Useful Life	7 EACH	\$12,704
D2010-13-01C Correct Eye Wash Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Building Wide - 70s Wing		Def Maint	P2 / 1-2 Yrs	Useful Life	14 EACH	\$25,408
D2010-16-01C Correct Commercial Kitchen Stainless Steel Sink Single Bowl Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Kitchen		Def Maint	P2 / 1-2 Yrs	Useful Life	3 EACH	\$11,123
D2010-16-02C Correct Commercial Kitchen Stainless Steel Sink Double Bowl Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Culinary Lab		Def Maint	P2 / 1-2 Yrs	Useful Life	3 EACH	\$14,705

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# Deferred Maintenance & Asset Renewal Report

Stamford High

Project Name: 2021 Stamford Facility Assessment

Building Type: High School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D2010-16-02C Correct Commercial Kitchen Stainless Steel Sink Double Bowl Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Kitchen		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$4,902
D2010-16-03C Correct Commercial Kitchen Stainless Steel Sink Triple Bowl Deterioration by Demolition & Replacement	D2010 Plumbing Fixtures	Kitchen		Def Maint	P2 / 1-2 Yrs	Useful Life	3 EACH	\$17,164
D2020-01-01C Correct Domestic Water Piping & Valves & Insulation Deterioration by Demolition & Replacement (Bldg SF)	D2020 Domestic Water Distribution	Building Wide		Def Maint	P4 / 6-10 Yrs	Useful Life	300,000 BLDG SF	\$4,819,392
D2020-06-01C Correct Plumbing Pump Deterioration by Demolition & Replacement	D2020 Domestic Water Distribution	Boiler Room		Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$15,749
D2020-08-14C Correct Domestic Water Heater (120 Gal Electric) Deterioration by Demolition & Replacement	D2020 Domestic Water Distribution	Boiler Room		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$25,588
D2030-01-01C Correct Deteriorated Sanitary Sewer Pipe & Fittings Deterioration by Demolition & Replacement (Bldg SF)	D2030 Sanitary Waste	Building Wide	Select locations as needed.	Def Maint	P2 / 1-2 Yrs	Useful Life	150,000 BLDG SF	\$1,434,600
D2030-04-01C Correct Ejection Pump Deterioration by Demolition & Replacement	D2030 Sanitary Waste	Lower Level		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$4,483

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# Deferred Maintenance & Asset Renewal Report

## Stamford High

Project Name: 2021 Stamford Facility Assessment

Building Type: High School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D2030-05-01C Correct Sump Pump Deterioration by Demolition & Replacement	D2030 Sanitary Waste	Exterior Stairwell		Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$3,087
D2090-02-01C Correct Laboratory Gas Piping System Fixture Deterioration by Demolition & Replacement	D2090 Other Plumbing Systems	Building Wide - 70s Wing		Def Maint	P4 / 6-10 Yrs	Useful Life	320 EACH	\$375,842
D2090-02-01C Correct Laboratory Gas Piping System Fixture Deterioration by Demolition & Replacement	D2090 Other Plumbing Systems	Building Wide - Original Wing		Def Maint	P4 / 6-10 Yrs	Useful Life	20 EACH	\$23,490
D2090-02-02C Correct Laboratory Gas Piping System Pipe, Valves, & Fittings Deterioration by Demolition & Replacement	D2090 Other Plumbing Systems	Building Wide - 70s Wing		Def Maint	P4 / 6-10 Yrs	Useful Life	2,000 LNFT	\$196,947
D2090-02-02C Correct Laboratory Gas Piping System Pipe, Valves, & Fittings Deterioration by Demolition & Replacement	D2090 Other Plumbing Systems	Building Wide - Original Wing		Def Maint	P4 / 6-10 Yrs	Useful Life	500 LNFT	\$49,237
Total Estimated Cost for <b>D20 Plumbing</b>								<b>\$9,304,934</b>
<b>D30 HVAC</b>								
D3010-04-03C Correct Gas Fuel Distribution Piping (2") Pipe, Valves & Fittings Deterioration by Demolition & Replacement	D3010 Energy Supply	Kitchen		Def Maint	P4 / 6-10 Yrs	Useful Life	100 LNFT	\$9,066

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Stamford High

Project Name: 2021 Stamford Facility Assessment

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D3020-10-03C Correct Boiler Chemical Feed System (10 Gal) Deterioration by Demolition & Replacement	D3020 Heat Generation	Boliler Room		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$5,115
D3020-18-01C Correct Electric Unit Heater Deterioration by Demolition & Replacement	D3020 Heat Generation	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$3,015
D3030-04-04C Correct Condensing Unit (20 Tons) Deterioration by Demolition & Replacement	D3030 Refrigeration	Roof		Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$86,618
D3030-04-07C Correct Condensing Unit (50 Tons) Deterioration by Demolition & Replacement	D3030 Refrigeration	Roof		Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$122,137
D3040-02-03C Correct Air Handling Unit (5 Tons) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Auditorium Balcony		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$31,947
D3040-02-05C Correct Air Handling Unit (10 Tons) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Grounds Shop		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$38,985
D3040-02-07C Correct Air Handling Unit (15 Tons) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Auditorium		Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$145,982
D3040-02-07C Correct Air Handling Unit (15 Tons) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Auto Shop		Def Maint	P2 / 1-2 Yrs	Useful Life	11 EACH	\$802,900

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# Deferred Maintenance & Asset Renewal Report

Stamford High

Project Name: 2021 Stamford Facility Assessment

Building Type: High School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D3040-02-07C Correct Air Handling Unit (15 Tons) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Kitchen Area		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$72,991
D3040-02-07C Correct Air Handling Unit (15 Tons) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Lockers - 70's Wing		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$72,991
D3040-02-09C Correct Air Handling Unit (25 Tons) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Auto Shop		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$103,283
D3040-02-09C Correct Air Handling Unit (25 Tons) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Lockers - 70's Wing		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$103,283
D3040-02-13C Correct Air Handling Unit (50 Tons) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Gymnasium		Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$340,993
D3040-02-13C Correct Air Handling Unit (50 Tons) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Lockers - 70's Wing		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$170,496
D3040-02-13C Correct Air Handling Unit (50 Tons) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Roof		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$170,496
D3040-06-01C Correct Steam or Hot Water Makeup Air Unit (500 MBH) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Cafeteria		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$53,379

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# Deferred Maintenance & Asset Renewal Report

*Stamford High*

**Project Name:** 2021 Stamford Facility Assessment

**Building Type:** High School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D3040-07-03C Correct Return Air or Inline Fan (3 HP) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Lockers - 70's Wing		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$12,706
D3040-07-05C Correct Return Air or Inline Fan (10 HP) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Lockers - 70's Wing		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$15,027
D3040-07-09C Correct Return Air or Inline Fan (20 HP) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Gymnasium		Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$68,377
D3040-09-09C Correct Exhaust or Induction Fan (1 HP) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Roof	<i>18" diameter centrifugal</i>	Def Maint	P3 / 3-5 Yrs	Useful Life	5 EACH	\$38,528
D3040-09-11C Correct Exhaust or Induction Fan (3 HP) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Building Wide (Walls)	<i>Wall Exhauster</i>	Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$12,205
D3040-09-11C Correct Exhaust or Induction Fan (3 HP) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Roof	<i>24" diameter centrifugal</i>	Def Maint	P3 / 3-5 Yrs	Useful Life	1 EACH	\$12,205
D3040-09-11C Correct Exhaust or Induction Fan (3 HP) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Roof	<i>Rectangular</i>	Def Maint	P2 / 1-2 Yrs	Useful Life	25 EACH	\$305,127
D3040-09-11C Correct Exhaust or Induction Fan (3 HP) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Roof	<i>Intake</i>	Def Maint	P2 / 1-2 Yrs	Useful Life	3 EACH	\$36,615

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# Deferred Maintenance & Asset Renewal Report

*Stamford High*

**Project Name:** 2021 Stamford Facility Assessment

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D3040-09-11C Correct Exhaust or Induction Fan (3 HP) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Roof	<i>General</i>	Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$12,205
D3040-09-11C Correct Exhaust or Induction Fan (3 HP) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Roof	<i>18" Upblast</i>	Def Maint	P2 / 1-2 Yrs	Useful Life	3 EACH	\$36,615
D3040-09-11C Correct Exhaust or Induction Fan (3 HP) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Roof	<i>Penthouse</i>	Def Maint	P2 / 1-2 Yrs	Useful Life	12 EACH	\$146,461
D3040-09-18C Correct Exhaust Fan (Laboratory) Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Roof		Def Maint	P3 / 3-5 Yrs	Useful Life	8 EACH	\$177,119
D3040-10-01C Correct Roof Mounted Gravity Vent Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Roof		Def Maint	P4 / 6-10 Yrs	Useful Life	6 EACH	\$8,930
D3040-12-01C Correct Kitchen Exhaust Fan Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Roof		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$3,134
D3040-13-02C Correct Ductwork & Insulation (Interior) Deterioration by Demolition & Replacement Building Wide (Bldg SF)	D3040 HVAC Distribution	Building Wide		Def Maint	P4 / 6-10 Yrs	Useful Life	300,000 BLDG SF	\$6,558,192
D3040-13-04C Correct Ductwork & Insulation Deterioration by Duct Cleaning Building Wide (Bldg SF)	D3040 HVAC Distribution	2006 Addition		Def Maint	P4 / 6-10 Yrs	Damage/Wear	60,000 BLDG SF	\$140,458

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## Stamford High

**Project Name:** 2021 Stamford Facility Assessment

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D3040-16-01C Correct Wall Louver Deterioration by Demolition & Replacement	D3040 HVAC Distribution	Walls		Def Maint	P4 / 6-10 Yrs	Useful Life	650 SQFT	\$108,521
D3040-17-15C Correct HVAC Piping System (2 Pipe) & Insulation Deterioration by Demolition & Replacement (BLDG SF)	D3040 HVAC Distribution	Building Wide		Def Maint	P4 / 6-10 Yrs	Useful Life	300,000 BLDG SF	\$4,547,592
D3040-30-02C Correct Unheated Makeup Air Unit (3 HP) Required by Install New	D3040 HVAC Distribution	Roof		Bldg Imprv	P2 / 1-2 Yrs	Function/ Functional	1 EACH	\$34,266
D3050-01-04C Correct Packaged Rooftop Air Conditioning & Heating Unit (10 Ton) Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Roof		Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$93,063
D3050-01-06C Correct Packaged Rooftop Air Conditioning & Heating Unit (15 Ton) Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Roof		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$57,909
D3050-01-13C Correct Packaged Rooftop Air Conditioning & Heating Unit (80 Ton) Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Roof		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$325,136
D3050-01-13C Correct Packaged Rooftop Air Conditioning & Heating Unit (80 Ton) Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Roof		Def Maint	P2 / 1-2 Yrs	Useful Life	3 EACH	\$975,409

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Stamford High

Project Name: 2021 Stamford Facility Assessment

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D3050-07-06C Correct Computer Room (MDF/IDF) Split System Air Conditioning System Required by Install New	D3050 Terminal & Packaged Units	MDF-A, IDF 1-9	<i>MDF, and all IDF's require additional room cooling for equipment operation.</i>	Bldg Imprv	P2 / 1-2 Yrs	Function/Functional	10 EACH	\$108,503
D3050-08-03C Correct Split System Air Conditioning System Deterioration (5 Ton) by Demolition & Replacement	D3050 Terminal & Packaged Units	Roof		Def Maint	P3 / 3-5 Yrs	Useful Life	3 EACH	\$87,072
D3050-08-03C Correct Split System Air Conditioning System Deterioration (5 Ton) by Demolition & Replacement	D3050 Terminal & Packaged Units	Roof/Ground		Def Maint	P2 / 1-2 Yrs	Useful Life	9 EACH	\$261,216
D3050-12-03C Correct Horizontal Heating and Cooling Unit Ventilator (5 Ton) Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Building Wide - 70's Wing		Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$62,635
D3050-12-03C Correct Horizontal Heating and Cooling Unit Ventilator (5 Ton) Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Building Wide - 70's Wing	<i>Unit Vents with Integral Bookshelves. Does not include additional LNFT of like shelving.</i>	Def Maint	P2 / 1-2 Yrs	Useful Life	27 EACH	\$845,570
D3050-12-03C Correct Horizontal Heating and Cooling Unit Ventilator (5 Ton) Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Building Wide - Original Wing		Def Maint	P2 / 1-2 Yrs	Useful Life	10 EACH	\$313,174
D3050-12-03C Correct Horizontal Heating and Cooling Unit Ventilator (5 Ton) Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Building Wide - Original Wing	<i>Unit Vents with Integral Bookshelves. Does not include additional LNFT of like shelving.</i>	Def Maint	P2 / 1-2 Yrs	Useful Life	71 EACH	\$2,223,536

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Stamford High

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D3050-18-02C Correct Heating and Cooling Fan Coil Unit (3 Ton) Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Building Wide	Floor Mounted	Def Maint	P2 / 1-2 Yrs	Useful Life	10 EACH	\$163,534
D3050-18-02C Correct Heating and Cooling Fan Coil Unit (3 Ton) Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Building Wide	Above Ceiling	Def Maint	P2 / 1-2 Yrs	Useful Life	13 EACH	\$212,594
D3050-19-01C Correct Cabinet Heater Deterioration of Cabinet Heater by Demolition & Replacement	D3050 Terminal & Packaged Units	Corridor - 2006 Wing		Def Maint	P2 / 1-2 Yrs	Useful Life	5 EACH	\$36,337
D3050-19-01C Correct Cabinet Heater Deterioration of Cabinet Heater by Demolition & Replacement	D3050 Terminal & Packaged Units	Corridor - 70's Wing		Def Maint	P2 / 1-2 Yrs	Useful Life	11 EACH	\$79,942
D3050-19-01C Correct Cabinet Heater Deterioration of Cabinet Heater by Demolition & Replacement	D3050 Terminal & Packaged Units	Corridor - Original Wing		Def Maint	P2 / 1-2 Yrs	Useful Life	20 EACH	\$145,348
D3050-20-01C Correct Steam & Hot Water Unit Heater (100 MBH) Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	9 EACH	\$20,464
D3050-25-01C Correct Cast Iron Radiator Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Auditorium		Def Maint	P2 / 1-2 Yrs	Useful Life	3 EACH	\$4,570

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D3050-26-01C Correct Steam or Hot Water Fin-Tube Radiation Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Building Wide - 2006 Wing		Def Maint	P3 / 3-5 Yrs	Useful Life	1,240 LNFT	\$364,948
D3050-26-01C Correct Steam or Hot Water Fin-Tube Radiation Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Building Wide - 70's Wing		Def Maint	P2 / 1-2 Yrs	Useful Life	740 LNFT	\$217,792
D3050-26-01C Correct Steam or Hot Water Fin-Tube Radiation Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Building Wide - Original Wing		Def Maint	P2 / 1-2 Yrs	Useful Life	1,300 LNFT	\$382,607
D3050-27-01C Correct Electric Baseboard Heat Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Building Wide - 70's Wing		Def Maint	P2 / 1-2 Yrs	Useful Life	15 LNFT	\$1,581
D3050-28-03C Correct Radiant Ceiling Panel Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Building Wide - Original Wing		Def Maint	P2 / 1-2 Yrs	Useful Life	10 EACH	\$32,150
D3050-34-06C Correct Packaged Terminal Air Conditioning Unit (60,000 BTU) Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	2 EACH	\$29,161
D3050-34-09C Correct Packaged Terminal Air Conditioning Unit (36,000 BTU) Required by Install New	D3050 Terminal & Packaged Units	Building Wide		Bldg Imprv	P2 / 1-2 Yrs	Environ Imprvmt	10 EACH	\$140,960

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D3050-35-02C Correct Steam or Hot Water Convactor (48" wide) Deterioration by Demolition & Replacement	D3050 Terminal & Packaged Units	Corridor - Original Wing		Def Maint	P2 / 1-2 Yrs	Useful Life	6 EACH	\$22,648
D3060-02-03C Correct Electronic Control (DDC) System Deterioration by Demolition & Replacement (Bldg SF)	D3060 HVAC Instrumentation & Controls	Building Wide		Def Maint	P2 / 1-2 Yrs	Useful Life	360,000 BLDG SF	\$5,584,205
D3090-02-01C Correct Laboratory Fume Hood Deterioration by Demolition & Replacement	D3090 Other Special HVAC Systems & Equipment	Science Lab		Def Maint	P2 / 1-2 Yrs	Useful Life	13 EACH	\$562,734
D3090-02-01C Correct Laboratory Fume Hood Deterioration by Demolition & Replacement	D3090 Other Special HVAC Systems & Equipment	Science Lab		Def Maint	P2 / 1-2 Yrs	Useful Life	7 EACH	\$303,011
D3090-04-03C Correct Commercial Kitchen Hood (12'- 16") Deterioration by Demolition & Replacement	D3090 Other Special HVAC Systems & Equipment	Kitchen		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$52,088

Total Estimated Cost for **D30 HVAC**

**\$28,317,860**

## D40 Fire Protection

D4010-01-04C Correct Wet Pipe Sprinkler System Deterioration by Demolish & Replace System (Bldg SF)	D4010 Sprinklers	Boiler Room		Def Maint	P4 / 6-10 Yrs	Useful Life	360,000 BLDG SF	\$4,858,877
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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D4010-03-02C Correct Fire Pump, 60 HP, Deterioration by Demolition & Replacement	D4010 Sprinklers	Boiler Room		Def Maint	P2 / 1-2 Yrs	Useful Life	1 EACH	\$64,591
Total Estimated Cost for <b>D40 Fire Protection</b>								<b>\$4,923,468</b>
<b>D50 Electrical</b>								
D5010-03-12C Correct Secondary Underground Electrical Service (2000 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Electrical Room	8 sets of 4 # 500 kcmil + ! # 4/0 gnd in - (8) 4 inch pvc sch 40 conduits.	Def Maint	P4 / 6-10 Yrs	Function/ Functional	100 LNFT	\$130,383
D5010-05-15C Correct Main Distribution Panel (3000 AMP) Improperly Sized by Demolition & Replacement	D5010 Electrical Service & Distribution	Electrical Room		Def Maint	P3 / 3-5 Yrs	Function/ Functional	1 EACH	\$118,711
D5010-06-15C Correct Main Disconnect Switch (3000 AMP) Improperly Sized by Demolition & Replacement	D5010 Electrical Service & Distribution	Electrical Room		Def Maint	P3 / 3-5 Yrs	Function/ Functional	1 EACH	\$99,838
D5010-08-21C Correct Motor Control Center Variable Frequency Drive (20 HP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Mechanical Room	Level B Mech Room	Def Maint	P4 / 6-10 Yrs	Useful Life	1 EACH	\$13,071
D5010-09-20C Correct Automatic Transfer Switch (400 AMP) Improperly Sized by Demolition & Replacement	D5010 Electrical Service & Distribution	Electrical Room		Def Maint	P2 / 1-2 Yrs	Useful Life	4 EACH	\$28,677

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*Stamford High*

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D5010-12-05C Correct Panelboard (225 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	2nd Floor	<i>Level F area</i>	Def Maint	P3 / 3-5 Yrs	Useful Life	7 EACH	\$94,741
D5010-12-05C Correct Panelboard (225 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Boiler Room	<i>Boiler Room area -Level E</i>	Def Maint	P3 / 3-5 Yrs	Useful Life	4 EACH	\$54,138
D5010-12-05C Correct Panelboard (225 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Corridor	<i>Corridor Level D</i>	Def Maint	P4 / 6-10 Yrs	Useful Life	3 EACH	\$40,603
D5010-12-05C Correct Panelboard (225 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Corridor	<i>Corridor Level D</i>	Def Maint	P4 / 6-10 Yrs	Useful Life	1 EACH	\$13,534
D5010-12-05C Correct Panelboard (225 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Corridor	<i>Corridor Level C</i>	Def Maint	P4 / 6-10 Yrs	Useful Life	1 EACH	\$13,534
D5010-12-05C Correct Panelboard (225 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Corridor	<i>Corridor - Level E</i>	Def Maint	P3 / 3-5 Yrs	Useful Life	1 EACH	\$13,534
D5010-12-05C Correct Panelboard (225 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Gymnasium	<i>Gym area electrical closet</i>	Def Maint	P3 / 3-5 Yrs	Useful Life	2 EACH	\$27,069
D5010-12-05C Correct Panelboard (225 AMP) Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Shop	<i>Panels in Metal Shop</i>	Def Maint	P3 / 3-5 Yrs	Useful Life	3 EACH	\$40,603

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D5010-14-01C Correct Motor Starter Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Mechanical Room	<i>Level B Mech Rooms</i>	Def Maint	P3 / 3-5 Yrs	Useful Life	7 EACH	\$52,724
D5010-14-01C Correct Motor Starter Deterioration by Demolition & Replacement	D5010 Electrical Service & Distribution	Storage Room	<i>Duplex pump controller</i>	Def Maint	P3 / 3-5 Yrs	Useful Life	1 EACH	\$7,532
D5010-16-01C Correct Bldg Wide Electrical Service & Distr Deterioration by Demolition & Replacement (Bldg SF)	D5010 Electrical Service & Distribution	Building Wide	<i>Original bldg built in 1927</i>	Def Maint	P3 / 3-5 Yrs	Useful Life	212,036 BLDG SF	\$4,537,664
D5010-16-01C Correct Bldg Wide Electrical Service & Distr Deterioration by Demolition & Replacement (Bldg SF)	D5010 Electrical Service & Distribution	Building Wide	<i>Old section including Gym</i>	Def Maint	P3 / 3-5 Yrs	Useful Life	98,847 BLDG SF	\$2,115,369
D5020-02-01C Correct Surface Mounted Fluorescent Fixture Deterioration by Demolition & Replacement	D5020 Lighting & Branch Wiring	Roof		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	2 EACH	\$867
D5020-11-01C Correct Exit Sign Deterioration by Demolition & Replacement	D5020 Lighting & Branch Wiring	Gymnasium	<i>Exit lights to be replaced with illuminated type</i>	Def Maint	P1 / Immed	Codes - BLDG	6 EACH	\$1,943
D5020-13-02C Correct Stage Lighting System Deterioration by Demolition & Replacement with Alternate Fixture (LED)	D5020 Lighting & Branch Wiring	Auditorium		Def Maint	P3 / 3-5 Yrs	Useful Life	1 LPSM	\$323,200

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*Stamford High*

**Project Name:** 2021 Stamford Facility Assessment

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D5020-14-01C Correct Theater House Lighting System Deterioration by Demolition & Replacement	D5020 Lighting & Branch Wiring	Auditorium		Def Maint	P3 / 3-5 Yrs	Useful Life	1 LPSM	\$112,083
D5020-18-01C Correct Track Lighting Deterioration by Demolition & Replacement	D5020 Lighting & Branch Wiring	Corridor	<i>Level A Hallway</i>	Def Maint	P3 / 3-5 Yrs	Useful Life	50 LNFT	\$16,063
D5020-20-02C Correct Commercial Dimming System (1K - 5K SF) Deterioration by Demolition & Replacement	D5020 Lighting & Branch Wiring	Classroom		Def Maint	P3 / 3-5 Yrs	Useful Life	2,400 SQFT	\$20,428
D5020-21-01C Correct TV Studio Lighting System Deterioration by Demolition & Replacement with Alternate Fixture (LED)	D5020 Lighting & Branch Wiring	Classroom	<i>Level A Art Room lights</i>	Def Maint	P3 / 3-5 Yrs	Useful Life	2,400 SQFT	\$24,093
D5021-01-03C Correct Receptacles Deterioration by Demolition & Replacement with GFCI Receptacles	D5021 Branch Wiring	Classroom	<i>All outlets in Home Ec area and Level A Boys Room to be GFCI</i>	Def Maint	P2 / 1-2 Yrs	Codes - BLDG	18 EACH	\$3,065
D5021-01-04C Correct Receptacles Deterioration by Demolition & Replacement with Weatherproof GFCI Receptacles	D5021 Branch Wiring	Roof		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	5 EACH	\$1,198
D5030-03-02C Correct Building Wide Fire Alarm System Deterioration by Demolition & Replacement (Bldg SF)	D5030 Fire Alarm System	Building Wide		Def Maint	P4 / 6-10 Yrs	Useful Life	360,000 BLDG SF	\$3,443,040

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D5031-03-01C Correct Security System Motion or Glass Break Detector Deterioration by Demolition & Replacement (BLDG SF)	D5031 Security Access & Surveillance	Building Wide		Def Maint	P3 / 3-5 Yrs	Security	360,000 BLDG SF	<b>\$172,800</b> sec equip
D5031-07-01C Correct Video Surveillance Indoor Camera Deterioration by Demolition & Replacement	D5031 Security Access & Surveillance	Building Wide	<i>Image quality is inadequate / subpar.</i>	Def Maint	P4 / 6-10 Yrs	Useful Life	130 EACH	<b>\$434,526</b> sec equip
D5031-20-01C Correct Security Access Control System (Head End Only) Deterioration by Demolition & Replacement	D5031 Security Access & Surveillance	Building Wide	<i>Minimal access control on site.</i>	Def Maint	P4 / 6-10 Yrs	Useful Life	1 EACH	<b>\$5,351</b> sec equip
D5031-20-03C Correct Security Access Control with Video Intecom Deterioration by Demolition & Replacement	D5031 Security Access & Surveillance	Main Entryway	<i>Antiquated intercom at main entry. Install new video intercom for added security.</i>	Def Maint	P2 / 1-2 Yrs	Security	2 EACH	<b>\$11,119</b> sec equip
D5032-01-05C Correct Master Clock System Deterioration by Demolition & Replacement with Wireless System (Bldg SF)	D5032 Clock & Program Systems	Building Wide	<i>Replace with Wireless System.</i>	Def Maint	P4 / 6-10 Yrs	Useful Life	360,000 BLDG SF	\$957,830
D5033-01-01C Correct Building Wide Intercom System Deterioration by Demolition & Replacement (Bldg SF)	D5033 Intercom Systems	Building Wide		Def Maint	P3 / 3-5 Yrs	Function/ Functional	360,000 BLDG SF	\$1,295,352
D5035-04-01C Correct Building-Wide Telephone System Deterioration by Demolition & Replacement (Bldg SF)	D5035 Telephone System	Building Wide	<i>Intermittent problems with the phone cabling. Recommended to upgrade to VoIP.</i>	Def Maint	P2 / 1-2 Yrs	Useful Life	360,000 BLDG SF	<b>\$1,232,237</b> tech equip

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D5036-01-03C Correct Technology System Wiring Deterioration by Demolition & Replacement	D5036 Technology System	Building Wide	<i>Cabling should be replaced with most current category rated cabling within 6-10 years. Horizontal wiring</i>	Def Maint	P4 / 6-10 Yrs	Useful Life	400,000 LNFT	<b>\$1,219,584</b> tech infra
D5036-03-06C Correct Data Room Equipment Grounding System Required by Install New	D5036 Technology System	MDF-A, IDF 1-9	<i>All equipment and racks should be grounded.</i>	Bldg Imprv	P3 / 3-5 Yrs	Function/Functional	10 LPSM	<b>\$42,246</b> tech infra
D5036-06-01C Correct Fiber Optic Backbone Wiring Deterioration by Demolition & Replacement	D5036 Technology System	MDF to Each IDF	<i>All IDF's currently have OM1 fiber ran from the MDF. Antiquated system should be upgraded to meet the needs of today's technology standards.</i>	Def Maint	P2 / 1-2 Yrs	Function/Functional	8,000 LNFT	<b>\$35,553</b> tech infra
D5090-01-04C Correct Diesel Fuel Emergency Generator (150 kW) Required by Install New	D5090 Other Electrical Systems	MDF, ALL IDF'S	<i>Owner requested all MDF / IDF (10) equipment &amp; associated room cooling be on emer generator. Allowance to add new unit and/or tie into existing with available</i>	Bldg Imprv	P2 / 1-2 Yrs	Function/Functional	1 EACH	<b>\$149,219</b> tech equip
D5090-04-03C Correct Uninterruptable Power Supply System (5 KVA) Deterioration by Demolition & Replacement	D5090 Other Electrical Systems	Each MDF		Def Maint	P4 / 6-10 Yrs	Useful Life	2 EACH	<b>\$46,019</b> tech equip

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
D5090-04-04C Correct Uninterruptable Power Supply System (5 KVA) Required by Install New	D5090 Other Electrical Systems	All IDF's		Bldg Imprv	P3 / 3-5 Yrs	Function/Functional	12 EACH	<b>\$252,002</b> tech equip
Total Estimated Cost for <b>D50 Electrical</b>								<b>\$17,201,541</b>
<b>E10 Equipment</b>								
E1020-04-01C Correct Stage Curtain Deterioration by Demolition & Replacement	E1020 Institutional Equipment	Auditorium		Def Maint	P3 / 3-5 Yrs	Damage/Wear	660 SQYD	\$602,379
E1020-06-02C Correct Projection Equipment Deterioration by Demolition & Replacement with Interactive Flat Panel System	E1020 Institutional Equipment	Building Wide	<i>Classrooms, conference rooms</i>	Def Maint	P4 / 6-10 Yrs	Useful Life	30 EACH	<b>\$818,748</b> tech equip
E1020-06-02C Correct Projection Equipment Deterioration by Demolition & Replacement with Interactive Flat Panel System	E1020 Institutional Equipment	Building Wide	<i>Classrooms, conference rooms</i>	Def Maint	P3 / 3-5 Yrs	Useful Life	108 EACH	<b>\$2,947,491</b> tech equip
Total Estimated Cost for <b>E10 Equipment</b>								<b>\$4,368,618</b>
<b>E20 Furnishings</b>								
E2010-02-05C Correct Multi-Compartment Storage Unit Deterioration by Demolition & Replacement	E2010 Fixed Furnishings	Classrooms		Def Maint	P2 / 1-2 Yrs	Damage/Wear	1,424 SQFT	\$151,081
E2010-03-01C Correct Shelving Deterioration by Demolition & Replacement	E2010 Fixed Furnishings	Classrooms		Def Maint	P2 / 1-2 Yrs	Damage/Wear	1,400 LNFT	\$45,424

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Stamford High

Project Name: 2021 Stamford Facility Assessment

Building Type: High School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
E2010-04-01C Correct Wall Cabinet Deterioration by Demolition & Replacement	E2010 Fixed Furnishings	Classrooms		Def Maint	P2 / 1-2 Yrs	Damage/Wear	250 LNFT	\$86,756
E2010-04-03C Correct Base Cabinet with Laminate Counter Deterioration by Demolition & Replacement	E2010 Fixed Furnishings	Classrooms		Def Maint	P2 / 1-2 Yrs	Damage/Wear	558 LNFT	\$463,621
E2010-08-01C Correct Instrument Storage Cabinet Deterioration by Demolition & Replacement	E2010 Fixed Furnishings	Classroom Labs		Def Maint	P2 / 1-2 Yrs	Damage/Wear	1,760 LNFT	\$2,482,531
E2011-03-01C Correct Roller Shade Deterioration by Demolition & Replacement with Manual Shade System (Window SF)	E2011 Window Treatment	Building Wide		Def Maint	P2 / 1-2 Yrs	Damage/Wear	22,636 SQFT	\$539,763

Total Estimated Cost for **E20 Furnishings**

**\$3,769,176**

## F20 Selective Demolition

F2020-04-02C Correct Asbestos Pipe Fitting Insulation by Abatement	F2020 Hazardous Components Abatement	Building Wide	See AHERA Report. Qty estimated. Items located in Rm 407 (Band), 521 (1 Elbow suspect). Additional asbestos insulation assumed to be present in ceilings and in wall cavities.	Def Maint	P2 / 1-2 Yrs	Environ Imprvmt	8 EACH	\$542
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# Deferred Maintenance & Asset Renewal Report

## Stamford High

Project Name: 2021 Stamford Facility Assessment

Building Type: High School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
F2020-05-01C Correct Asbestos Floor Tile Remediation Required by Abatement & Install Resilient Finish	F2020 Hazardous Components Abatement	Classrooms		Def Maint	P2 / 1-2 Yrs	Environ Imprvmt	3,928 SQFT	\$89,368
F2020-13-01C Correct Asbestos Wiring Insulation Remediation Required by Abatement	F2020 Hazardous Components Abatement	Auditorium	Refer to AHERA Report	Def Maint	P2 / 1-2 Yrs	Environ Imprvmt	500 LNFT	\$22,334
F2020-15-01C Correct Asbestos Sink Undercoating Remediation Required by Abatement	F2020 Hazardous Components Abatement	Building Wide	Undercoating for several sinks throughout the building. See AHERA report for locations.	Def Maint	P2 / 1-2 Yrs	Environ Imprvmt	26 EACH	\$148,972
Total Estimated Cost for F20 Selective Demolition								\$261,217
<b>G20 Site Improvements</b>								
G2010-01-03C Correct Bituminous Roadway Surface Deterioration by Overlay	G2010 Roadways	Access Drive to Loading Area Along South of Property Line		Def Maint	P3 / 3-5 Yrs	Damage/Wear	950 SQYD	\$15,343
G2010-01-03C Correct Bituminous Roadway Surface Deterioration by Overlay	G2010 Roadways	Acess Drive West of Softball Field & East of Tennis Courts		Def Maint	P3 / 3-5 Yrs	Damage/Wear	1,650 SQYD	\$26,649
G2010-01-03C Correct Bituminous Roadway Surface Deterioration by Overlay	G2010 Roadways	Bus Loop That Wraps Tennis Courts		Def Maint	P3 / 3-5 Yrs	Damage/Wear	1,550 SQYD	\$25,034

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# Deferred Maintenance & Asset Renewal Report

## Stamford High

**Project Name:** 2021 Stamford Facility Assessment

**Building Type:** High School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
G2010-01-03C Correct Bituminous Roadway Surface Deterioration by Overlay	G2010 Roadways	Parent Drop-Off- West Side of School		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	1,000 SQYD	\$16,151
G2010-04-01C Correct Roadway Curb Deterioration by Demolition & Replacement	G2010 Roadways	Acess Drive West of Softball Field & East of Tennis Courts		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	1,150 LNFT	\$83,153
G2010-04-01C Correct Roadway Curb Deterioration by Demolition & Replacement	G2010 Roadways	Bus Loop That Wraps Tennis Courts		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	1,050 LNFT	\$75,922
G2010-04-01C Correct Roadway Curb Deterioration by Demolition & Replacement	G2010 Roadways	East Side of Drop Off Loop Along North Property Line- West Side of School		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	115 LNFT	\$8,315
G2010-04-01C Correct Roadway Curb Deterioration by Demolition & Replacement	G2010 Roadways	North Side of Drop Off Isle Along North Property Line		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	275 LNFT	\$19,884
G2010-04-01C Correct Roadway Curb Deterioration by Demolition & Replacement	G2010 Roadways	Parent Drop-Off- West Side of School		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	700 LNFT	\$50,615
G2020-01-01C Correct Bituminous Parking Lot Deterioration by Demolition & Replacement	G2020 Parking Lots	East of Tennis Courts And South of Softball Field	<i>Failed base material causing damage to surface.</i>	Def Maint	P2 / 1-2 Yrs	Damage/ Wear	1,200 SQYD	\$125,798

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# Deferred Maintenance & Asset Renewal Report

## Stamford High

**Project Name:** 2021 Stamford Facility Assessment

**Building Type:** High School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
G2020-01-03C Correct Bituminous Parking Lot Deterioration by Restoration & Overlayment	G2020 Parking Lots	Northeast Corner of School		Def Maint	P3 / 3-5 Yrs	Damage/Wear	1,600 SQYD	\$26,689
G2020-01-03C Correct Bituminous Parking Lot Deterioration by Restoration & Overlayment	G2020 Parking Lots	Northwest Corner of Soccer Field		Def Maint	P2 / 1-2 Yrs	Damage/Wear	415 SQYD	\$6,922
G2020-01-03C Correct Bituminous Parking Lot Deterioration by Restoration & Overlayment	G2020 Parking Lots	Northwest Corner of Soccer Field		Def Maint	P4 / 6-10 Yrs	Damage/Wear	1,150 SQYD	\$19,182
G2020-01-03C Correct Bituminous Parking Lot Deterioration by Restoration & Overlayment	G2020 Parking Lots	Parking on East Side of Bus Loop		Def Maint	P3 / 3-5 Yrs	Damage/Wear	175 SQYD	\$2,919
G2020-01-03C Correct Bituminous Parking Lot Deterioration by Restoration & Overlayment	G2020 Parking Lots	Parking on West Side of Parent Drop-Off- West Side of School		Def Maint	P2 / 1-2 Yrs	Damage/Wear	425 SQYD	\$7,089
G2020-01-03C Correct Bituminous Parking Lot Deterioration by Restoration & Overlayment	G2020 Parking Lots	South Of Tennis Courts		Def Maint	P3 / 3-5 Yrs	Damage/Wear	800 SQYD	\$13,344
G2020-01-03C Correct Bituminous Parking Lot Deterioration by Restoration & Overlayment	G2020 Parking Lots	Staff Parking at Maintenance Area- Southeast Corner of School		Def Maint	P2 / 1-2 Yrs	Damage/Wear	1,200 SQYD	\$20,016

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# Deferred Maintenance & Asset Renewal Report

## Stamford High

**Project Name:** 2021 Stamford Facility Assessment

**Building Type:** High School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
G2020-05-01C Correct Parking Lot Curb Deterioration by Demolition & Replacement	G2020 Parking Lots	East of Tennis Courts And South of Softball Field		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	525 LNFT	\$37,961
G2020-05-01C Correct Parking Lot Curb Deterioration by Demolition & Replacement	G2020 Parking Lots	Northeast Corner of School		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	390 LNFT	\$28,200
G2020-05-01C Correct Parking Lot Curb Deterioration by Demolition & Replacement	G2020 Parking Lots	Parking on East Side of Bus Loop		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	125 LNFT	\$9,038
G2020-05-01C Correct Parking Lot Curb Deterioration by Demolition & Replacement	G2020 Parking Lots	Parking on West Side of Parent Drop-Off- West Side of School		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	275 LNFT	\$19,884
G2020-05-01C Correct Parking Lot Curb Deterioration by Demolition & Replacement	G2020 Parking Lots	South Of Tennis Courts		Def Maint	P4 / 6-10 Yrs	Useful Life	325 LNFT	\$23,500
G2030-01-01C Correct Bituminous Sidewalk Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	Courtyard		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	85 SQYD	\$7,992
G2030-01-01C Correct Bituminous Sidewalk Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	East of Parking Lot that is South of Tennis Courts		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	60 SQYD	\$5,642

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# Deferred Maintenance & Asset Renewal Report

## Stamford High

**Project Name:** 2021 Stamford Facility Assessment

**Building Type:** High School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
G2030-01-01C Correct Bituminous Sidewalk Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	East Side of Track. Heading to Soccer Field		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	50 SQYD	\$4,701
G2030-01-01C Correct Bituminous Sidewalk Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	West of Tennis Court		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	105 SQYD	\$9,873
G2030-01-01C Correct Bituminous Sidewalk Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	Wraps Southeast Corner of Track		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	360 SQYD	\$33,849
G2030-02-03C Correct Concrete Sidewalk Not Required by Demolition & Restoration	G2030 Pedestrian Paving	Courtyard		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	350 SQFT	\$2,930
G2030-02-03C Correct Concrete Sidewalk Not Required by Demolition & Restoration	G2030 Pedestrian Paving	Courtyard		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	230 SQFT	\$1,925
G2030-02-03C Correct Concrete Sidewalk Not Required by Demolition & Restoration	G2030 Pedestrian Paving	Main Entrance at Bus Loop		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	8,550 SQFT	\$71,567
G2030-02-03C Correct Concrete Sidewalk Not Required by Demolition & Restoration	G2030 Pedestrian Paving	West Side Parent Drop-Off		Def Maint	P3 / 3-5 Yrs	Damage/ Wear	900 SQFT	\$7,533
G2030-04-02C Correct Brick Paving Deterioration by Resetting Paver	G2030 Pedestrian Paving	Building Exterior		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	952 SQFT	\$33,190

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# Deferred Maintenance & Asset Renewal Report

## Stamford High

**Project Name:** 2021 Stamford Facility Assessment

**Building Type:** High School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
G2030-06-02C Correct Stone Paver Deterioration by Resetting Paver	G2030 Pedestrian Paving	Building Exterior		Def Maint	P2 / 1-2 Yrs	Damage/Wear	1,100 SQFT	\$35,880
G2030-08-01C Correct Concrete Paving Deterioration by Demolition & Replacement	G2030 Pedestrian Paving	Dumpster Pad- South of School		Def Maint	P3 / 3-5 Yrs	Damage/Wear	1,250 SQFT	\$23,810
G2031-01-01C Correct Concrete Above Grade Stair Deterioration by Demolition & Replacement	G2031 Exterior Stair Construction	East Side of Track. Heading to Soccer Field		Def Maint	P2 / 1-2 Yrs	Damage/Wear	5 RISR	\$6,473
G2031-01-01C Correct Concrete Above Grade Stair Deterioration by Demolition & Replacement	G2031 Exterior Stair Construction	East Side of Track. Heading to Soccer Field		Def Maint	P2 / 1-2 Yrs	Damage/Wear	7 RISR	\$9,063
G2032-01-03C Correct Concrete Ramp Finish Deterioration by Prep & Refinish	G2032 Exterior Ramp Construction	Building Exterior		Def Maint	P2 / 1-2 Yrs	Damage/Wear	300 SQFT	\$3,684
G2033-01-02C Correct Handrail Wall Rail Deterioration by Demolition & Replacement	G2033 Exterior Handrail & Guardrail	Building Exterior		Def Maint	P2 / 1-2 Yrs	Damage/Wear	20 LNFT	\$1,631
G2033-01-04C Correct Handrail Deterioration by Prep & Refinish	G2033 Exterior Handrail & Guardrail	Building Exterior		Def Maint	P2 / 1-2 Yrs	Damage/Wear	20 LNFT	\$319
G2033-01-05C Correct Handrail Wall Rail Deterioration by Prep & Refinish	G2033 Exterior Handrail & Guardrail	Building Exterior		Def Maint	P2 / 1-2 Yrs	Damage/Wear	68 LNFT	\$1,085

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# Deferred Maintenance & Asset Renewal Report

*Stamford High*

**Project Name:** 2021 Stamford Facility Assessment

**Building Type:** High School

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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
G2033-03-01C Correct Guardrail Deterioration by Demolition & Replacement	G2033 Exterior Handrail & Guardrail	Building Exterior		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	15 LNFT	\$4,781
G2033-03-01C Correct Guardrail Deterioration by Demolition & Replacement	G2033 Exterior Handrail & Guardrail	West of Tennis Courts Along Parking	<i>Timber Guardrail</i>	Def Maint	P2 / 1-2 Yrs	Damage/ Wear	80 LNFT	\$25,499
G2033-03-02C Correct Guardrail Deterioration by Prep & Refinish	G2033 Exterior Handrail & Guardrail	Building Exterior		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	221 LNFT	\$13,098
G2040-03-01C Correct Bollard Deterioration by Demolition & Replacement	G2040 Site Development	North Side of Drop Off Isle Along North Property Line		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	3 EACH	\$4,058
G2040-04-02C Correct Chain Link Fence & Gates (4' High) Deterioration by Demolition & Replacement	G2040 Site Development	North of Soccer Field	<i>Fence Fabric only will need replacement</i>	Def Maint	P3 / 3-5 Yrs	Damage/ Wear	350 LNFT	\$9,450
G2040-04-06C Correct Chain Link Fence & Gates (8' High) Deterioration by Demolition & Replacement	G2040 Site Development	West Side of Soccer Field	<i>Fence Fabric only will need replacement</i>	Def Maint	P3 / 3-5 Yrs	Damage/ Wear	60 LNFT	\$5,800
G2040-04-10C Correct Chain Link Fence & Gates (12' High) Deterioration by Demolition & Replacement	G2040 Site Development	Perimeter Tennis Court Fencing	<i>Actual height of fence is 10'. Fence Fabric only will need replacement</i>	Def Maint	P3 / 3-5 Yrs	Damage/ Wear	1,000 LNFT	\$157,697
G2041-08-01C Correct Scoreboard Major Deterioration by Demolition & Replacement in Kind	G2041 Athletic & Recreational Equipment	West Side of Soccer Field		Def Maint	P2 / 1-2 Yrs	Damage/ Wear	1 EACH	\$50,113

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# Deferred Maintenance & Asset Renewal Report

## Stamford High

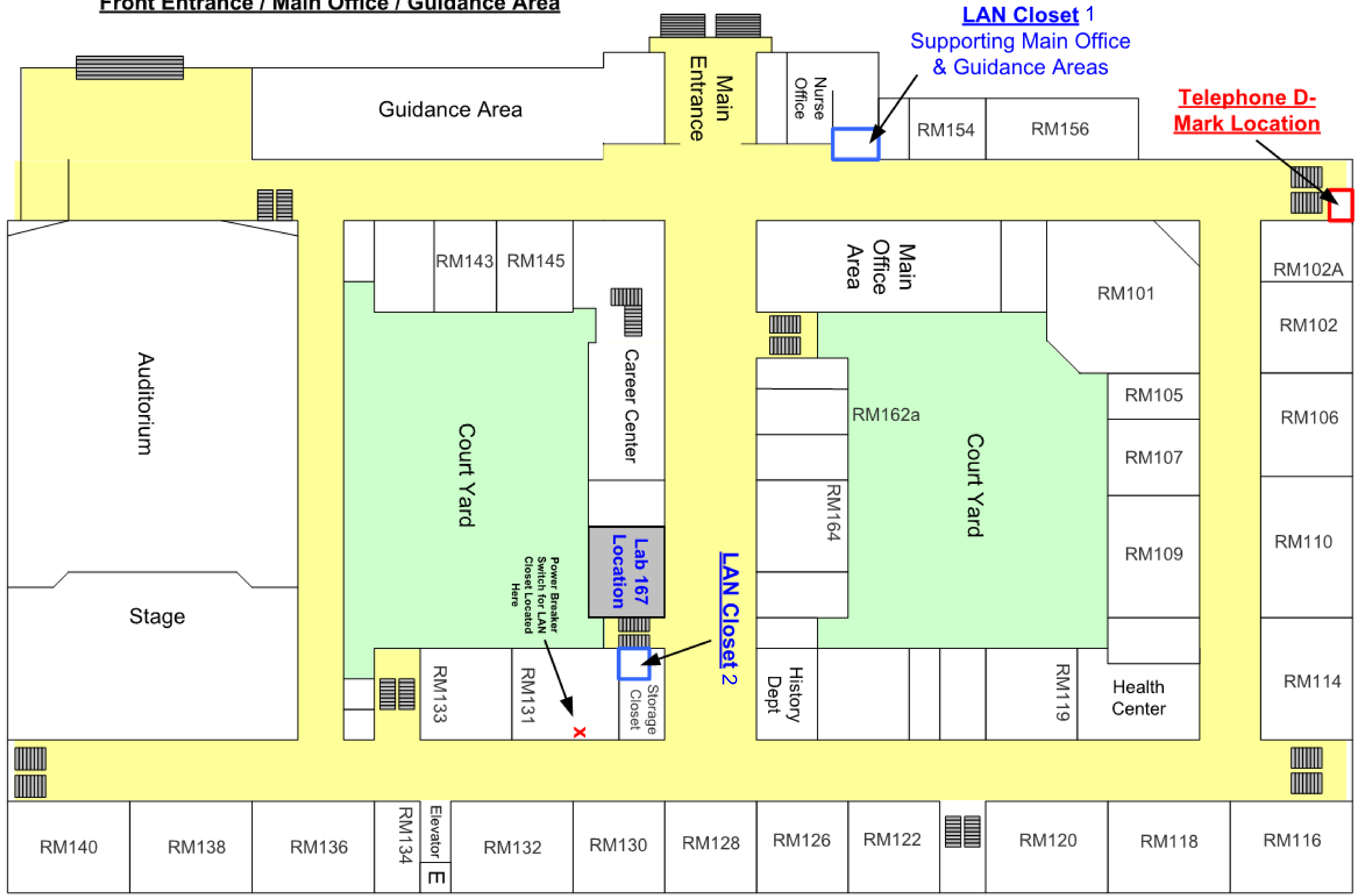
**Project Name:** 2021 Stamford Facility Assessment  
**Building Type:** High School  
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System Name / Corrective Action	Subsystem Name	Location Description	Correction Notes	Project Type	Priority (Years)	Justification	Quantity UOM	Estimated Assessment Cost
Total Estimated Cost for <b>G20 Site Improvements</b>								<b>\$1,193,254</b>
<b>Stamford High School Total Estimated Cost:</b>								<b>\$96,852,715</b>
Total Estimated "Deferred Maintenance" Cost:								<b>\$95,959,064</b>
Total Estimated "Building Improvement" Cost:								<b>\$893,651</b>

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# SHS Wireless AP Locations - Level C

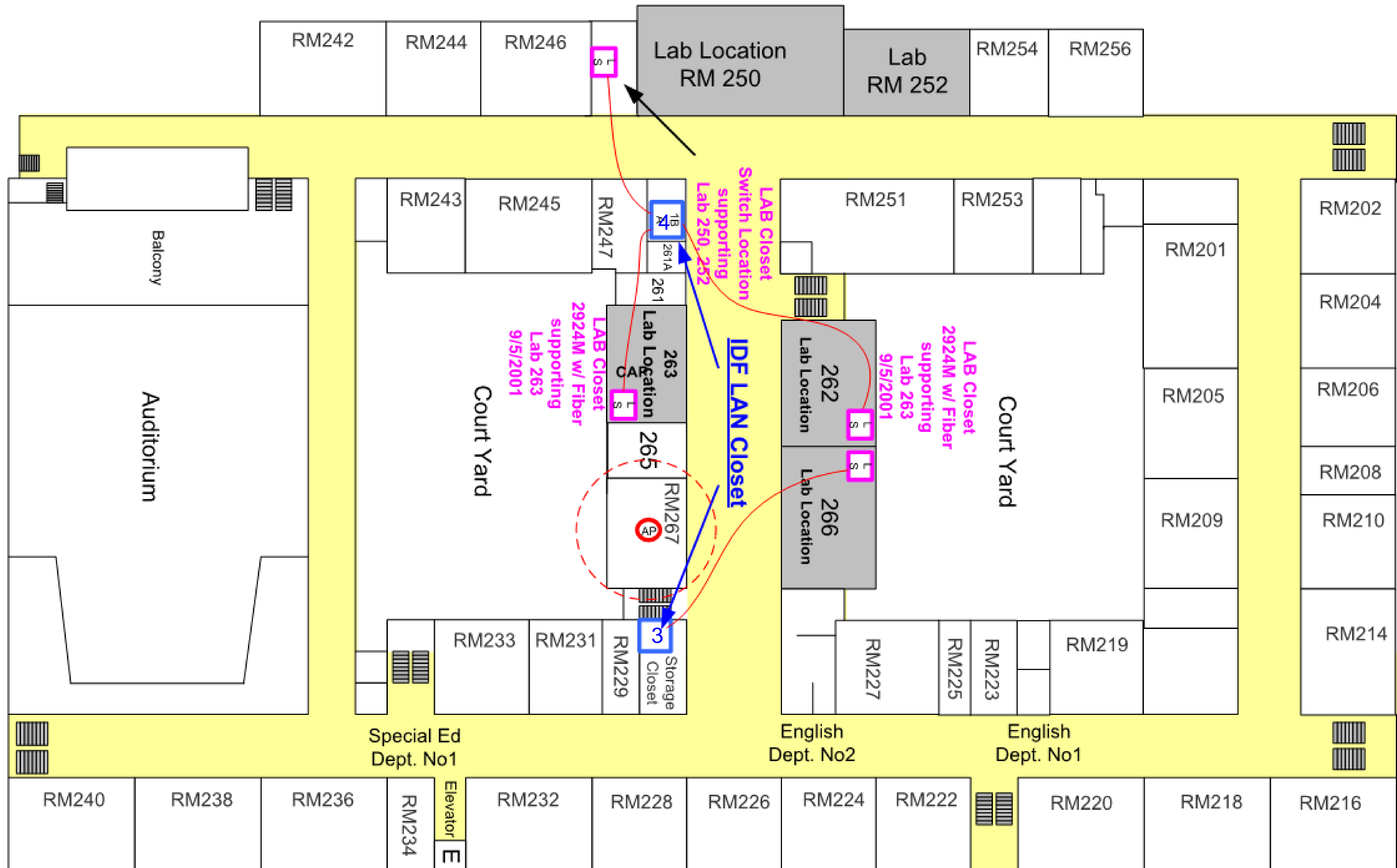
Front Entrance / Main Office / Guidance Area





**Stamford High - Level B, (Above Main Office)**

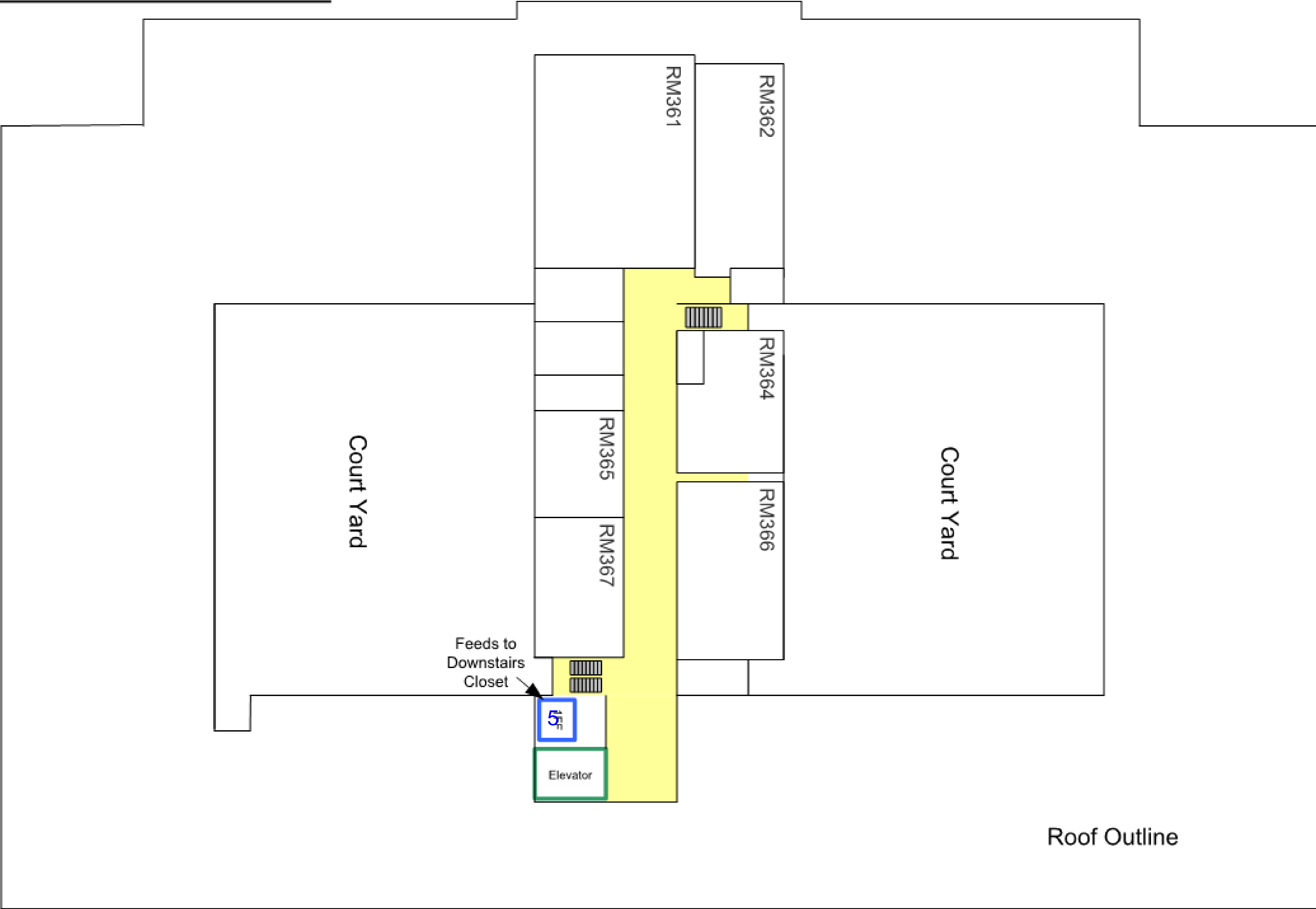
01/08/2021



**Stamford High - Level A (3rd Floor) ART**

01/08/2021

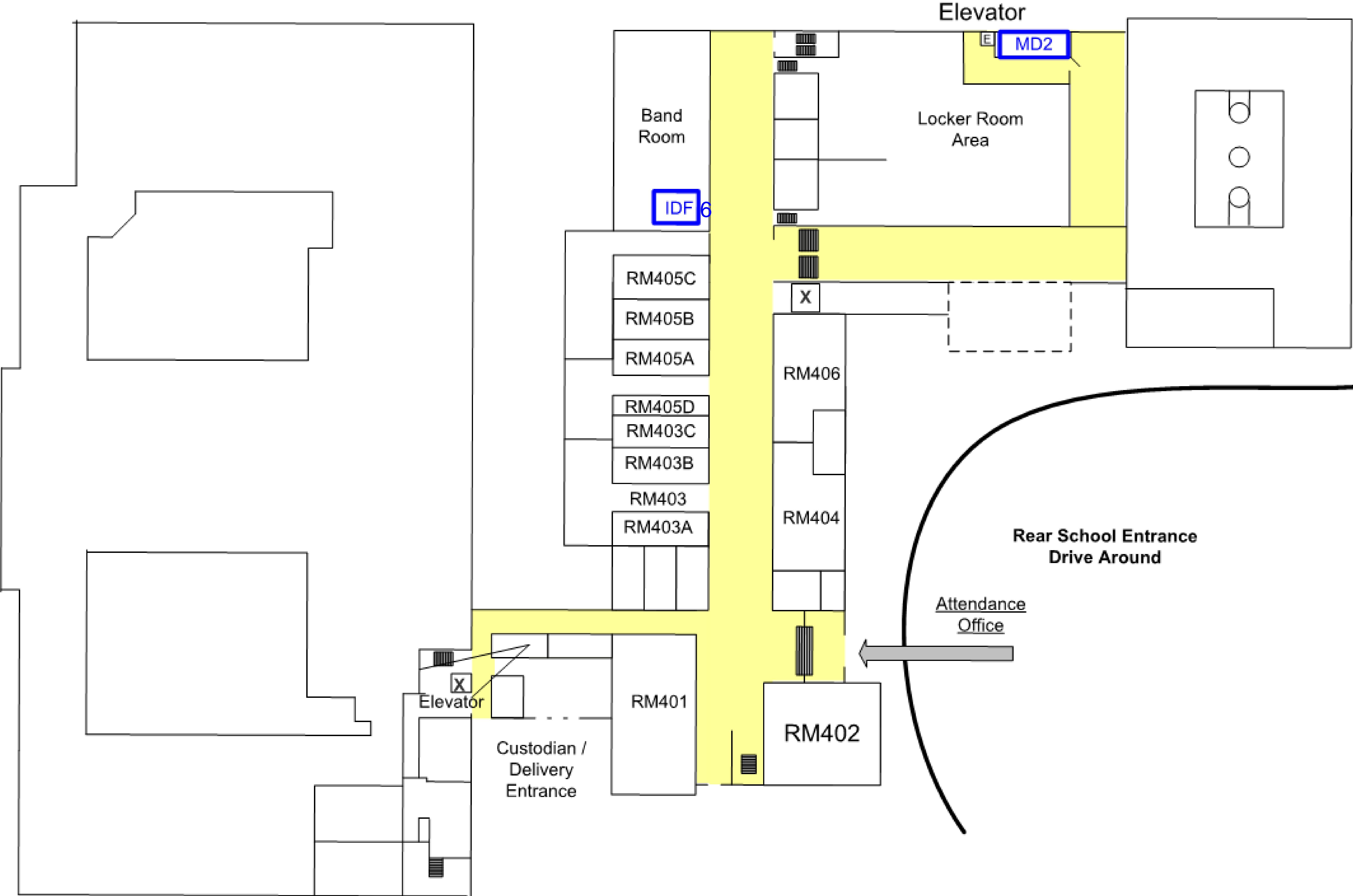
Two Floors Above Main Office



**Stamford High – Level F (4th Floor)**

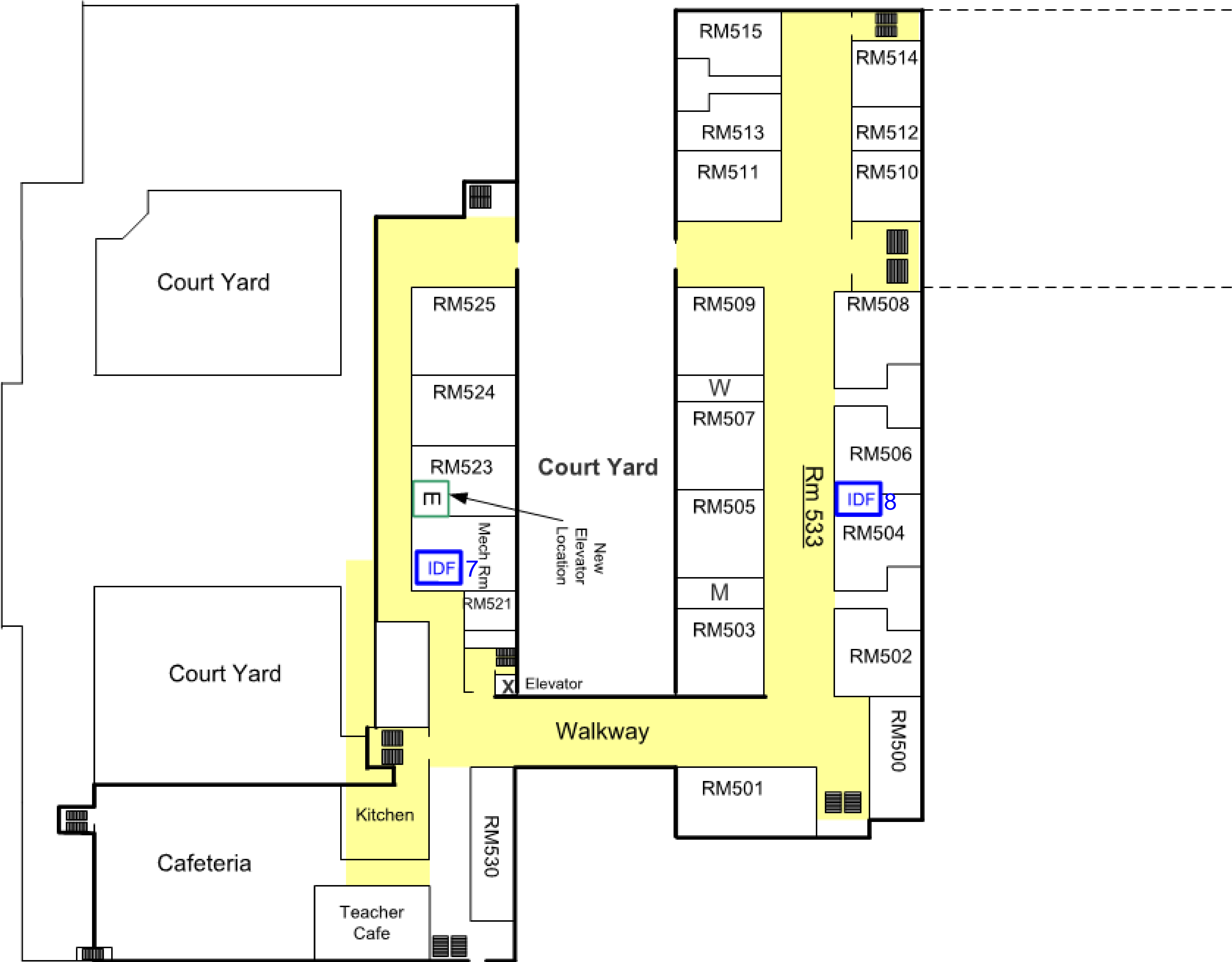
01/08/2021

**Custodian / Attendance Office Area**



Stamford High - Level E (5th Floor) Cafeteria

01/08/2021

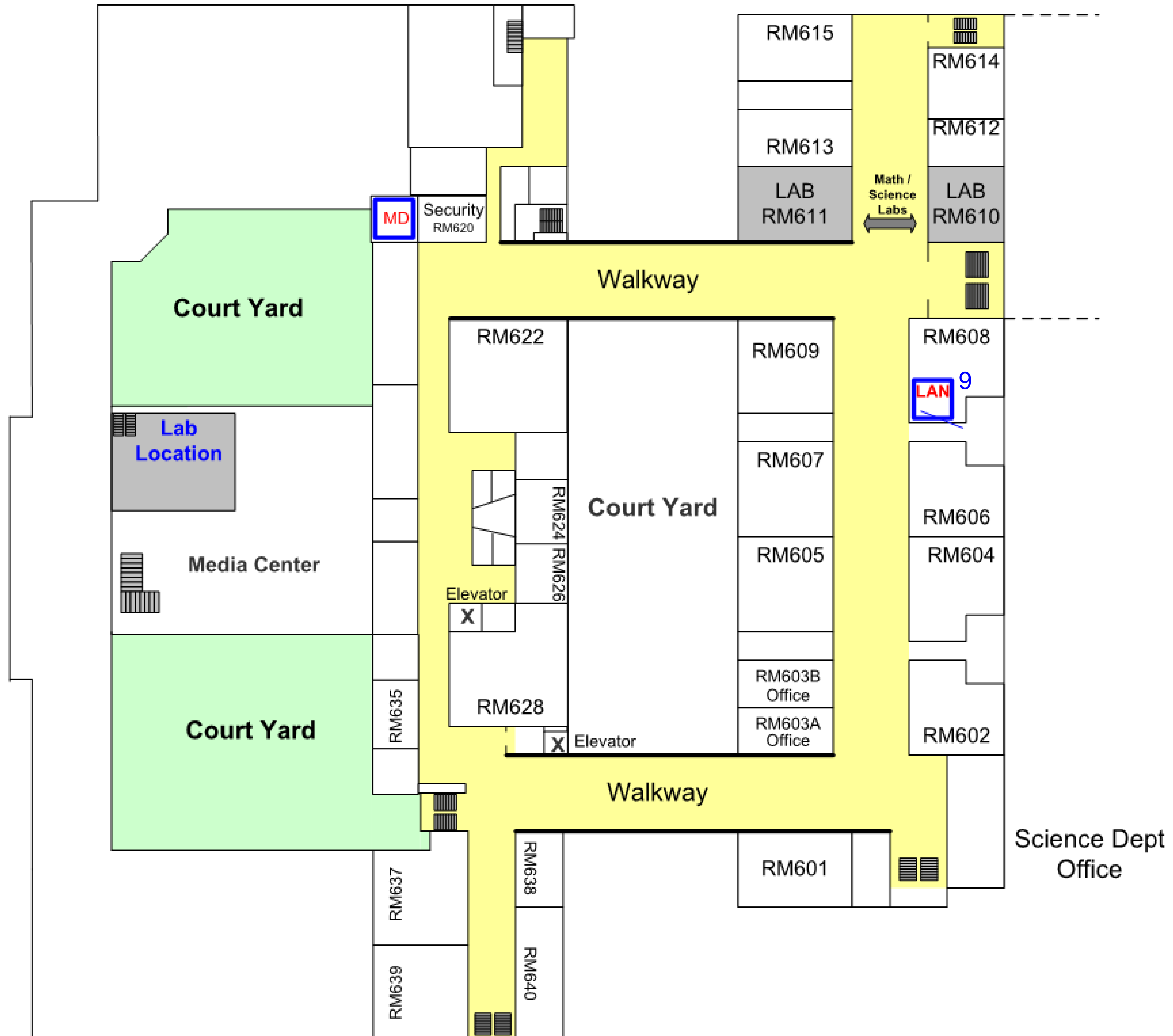




# Stamford High - Level D (6th Floor)

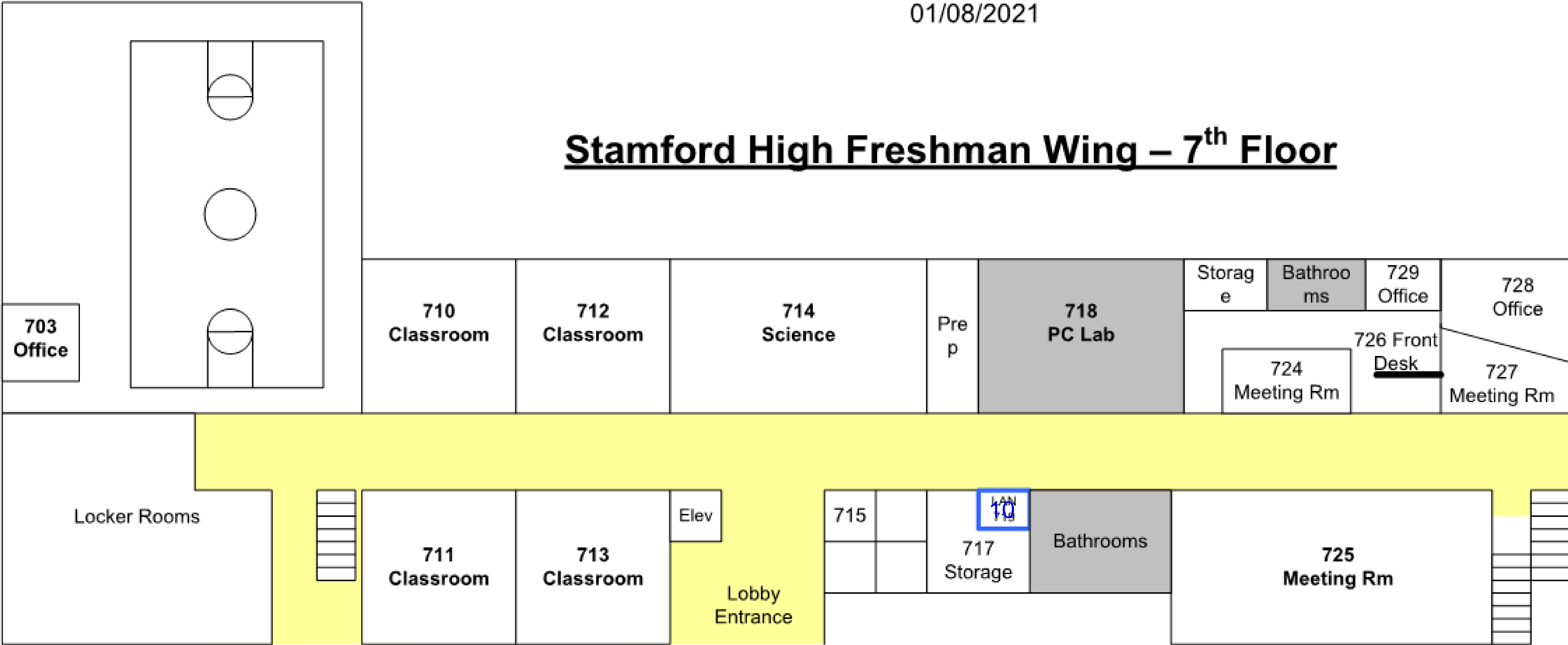
(Below Main Office)

01/08/2021



01/08/2021

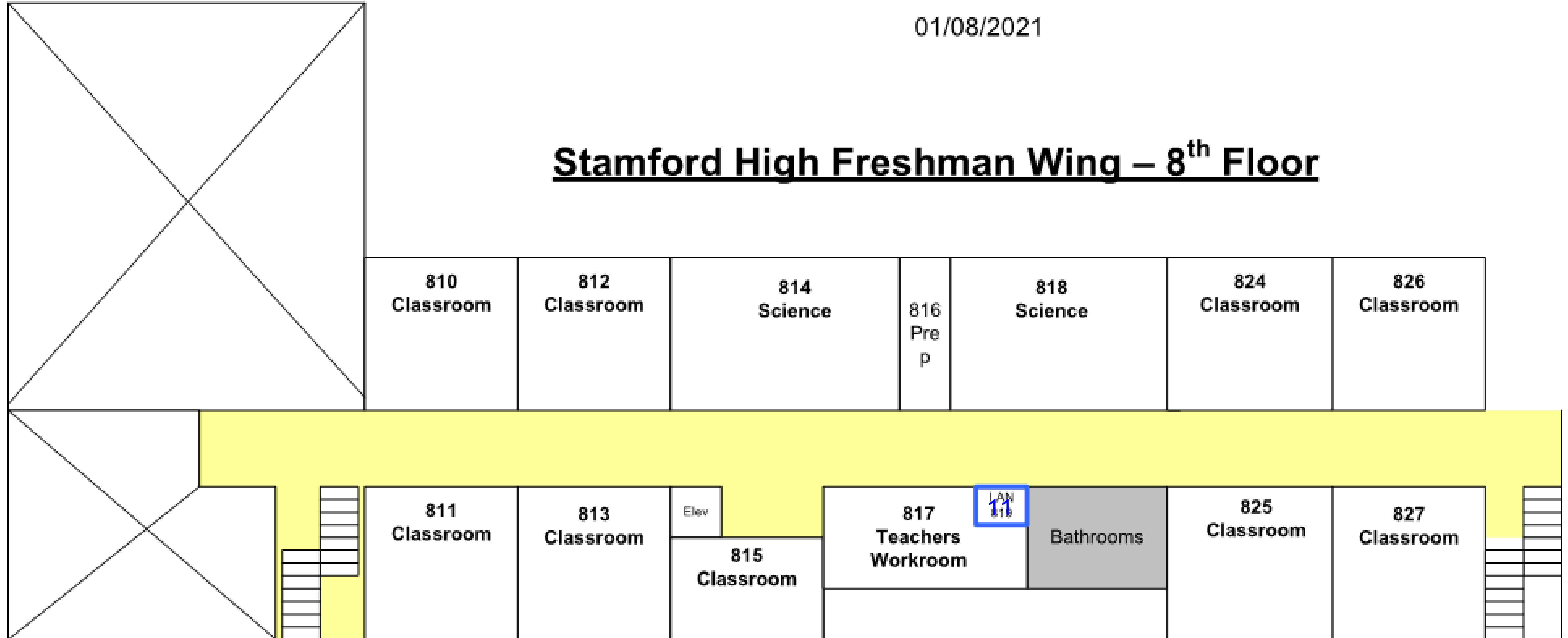
**Stamford High Freshman Wing – 7<sup>th</sup> Floor**



Student Drop Off

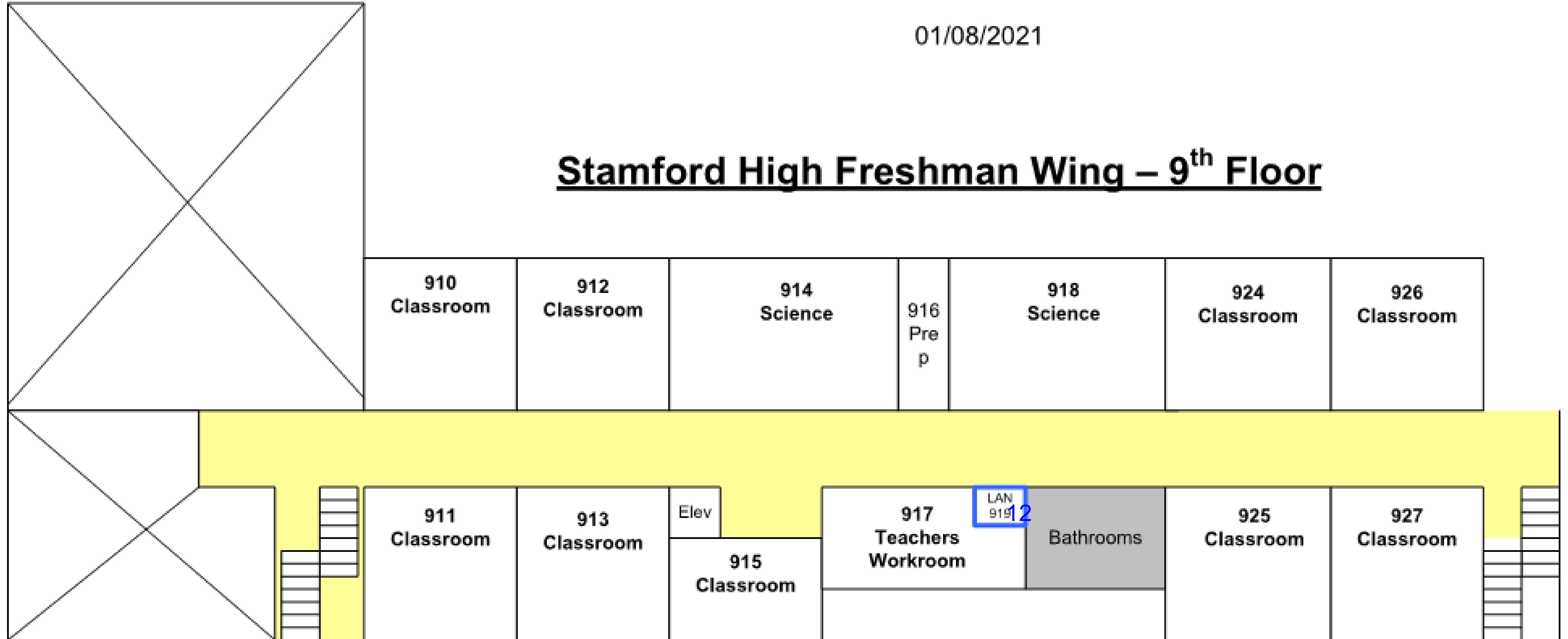
01/08/2021

## Stamford High Freshman Wing – 8<sup>th</sup> Floor



01/08/2021

## Stamford High Freshman Wing – 9<sup>th</sup> Floor





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