

PROJECT

REROOFING PROJECT AT VARIOUS SCHOOLS - IFB NO. 23-24

ELLIS ELEMENTARY SCHOOL
222 SOUTH CENTRAL AVENUE
ROCKFORD, ILLINOIS 61102

RPS PROJ. 2234 (FOR OWNER REFERENCE)

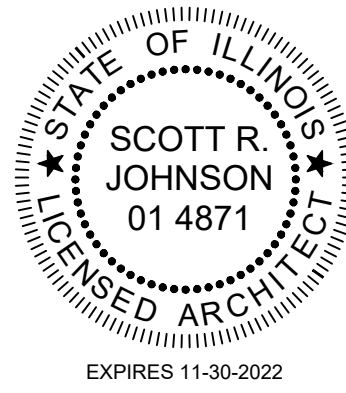
OWNER

ROCKFORD PUBLIC SCHOOL DISTRICT #205

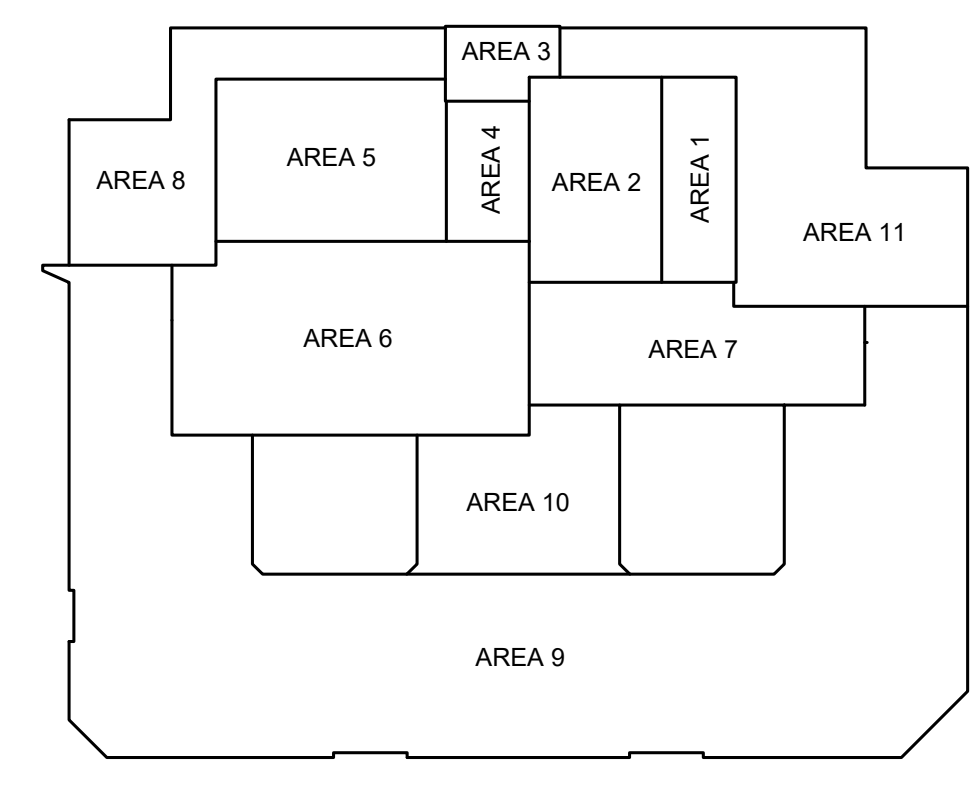
501 7TH STREET
ROCKFORD, ILLINOIS 61104

REROOFING PROJECT AT ELLIS ELEMENTARY SCHOOL
ROCKFORD PUBLIC SCHOOL DISTRICT 205
ROCKFORD, ILLINOIS

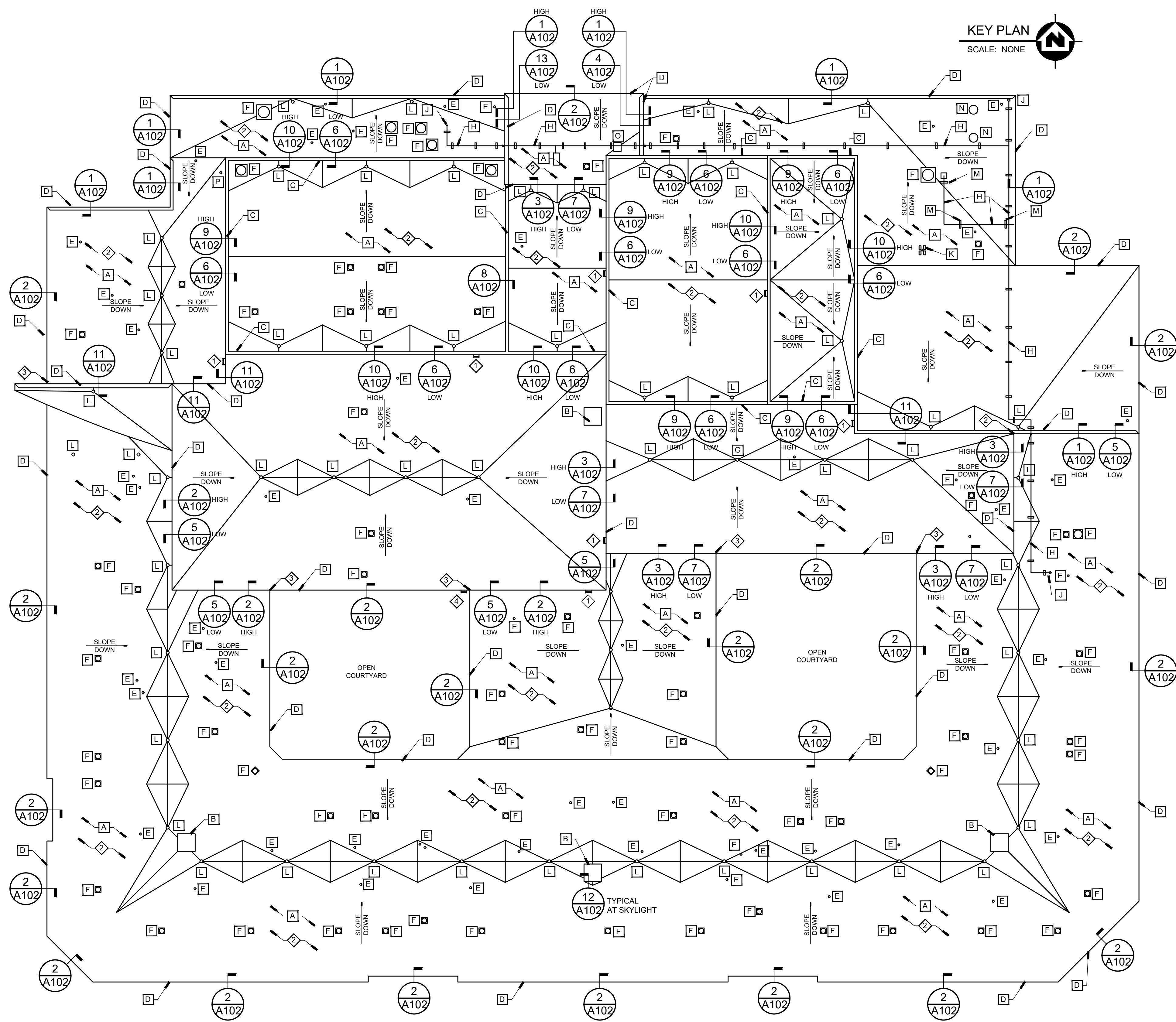
RICHARD L. JOHNSON
ASSOCIATES | ARCHITECTS

ARCHITECT OF RECORD	UNIT PRICE ALLOWANCES
<p>RICHARD L. JOHNSON ASSOCIATES 4703 Charles Street Rockford IL 61108 PHONE: 815/398-1231 FAX 815/398-1280 www.rljarch.com IL Design Firm No. 187-000524</p>  <p><i>Scott R. Johnson</i> 9-2-2022 DATE</p>	<p>ITEMS:</p> <p>CONTRACTOR TO INCLUDE THE COST OF REMOVING 10,000 BD FT OF DETERIORATED, WET OR UNSUITABLE INSULATION AND REPLACING WITH NEW ROOF INSULATION</p> <p>CONTRACTOR TO INCLUDE THE COST OF REMOVING 1,000 BD FT OF EXISTING DETERIORATED WOOD BLOCKING AND REPLACING WITH NEW TREATED WOOD BLOCKING</p> <p>CONTRACTOR TO INCLUDE THE COST OF REMOVING (1) 5'x5' SKYLIGHT AND REPLACING WITH A NEW 5'x5' SKYLIGHT</p> <p>CONTRACTOR TO INCLUDE THE COST OF TUCKPOINTING 300 LF OF MORTAR JOINTS</p>
SHEET INDEX	
<p>TITLE SHEET T101 TITLE SHEET</p> <p>ARCHITECTURAL</p> <p>A101 ELLIS ELEMENTARY SCHOOL - ROOF PLAN A102 ELLIS ELEMENTARY SCHOOL - DETAILS</p>	

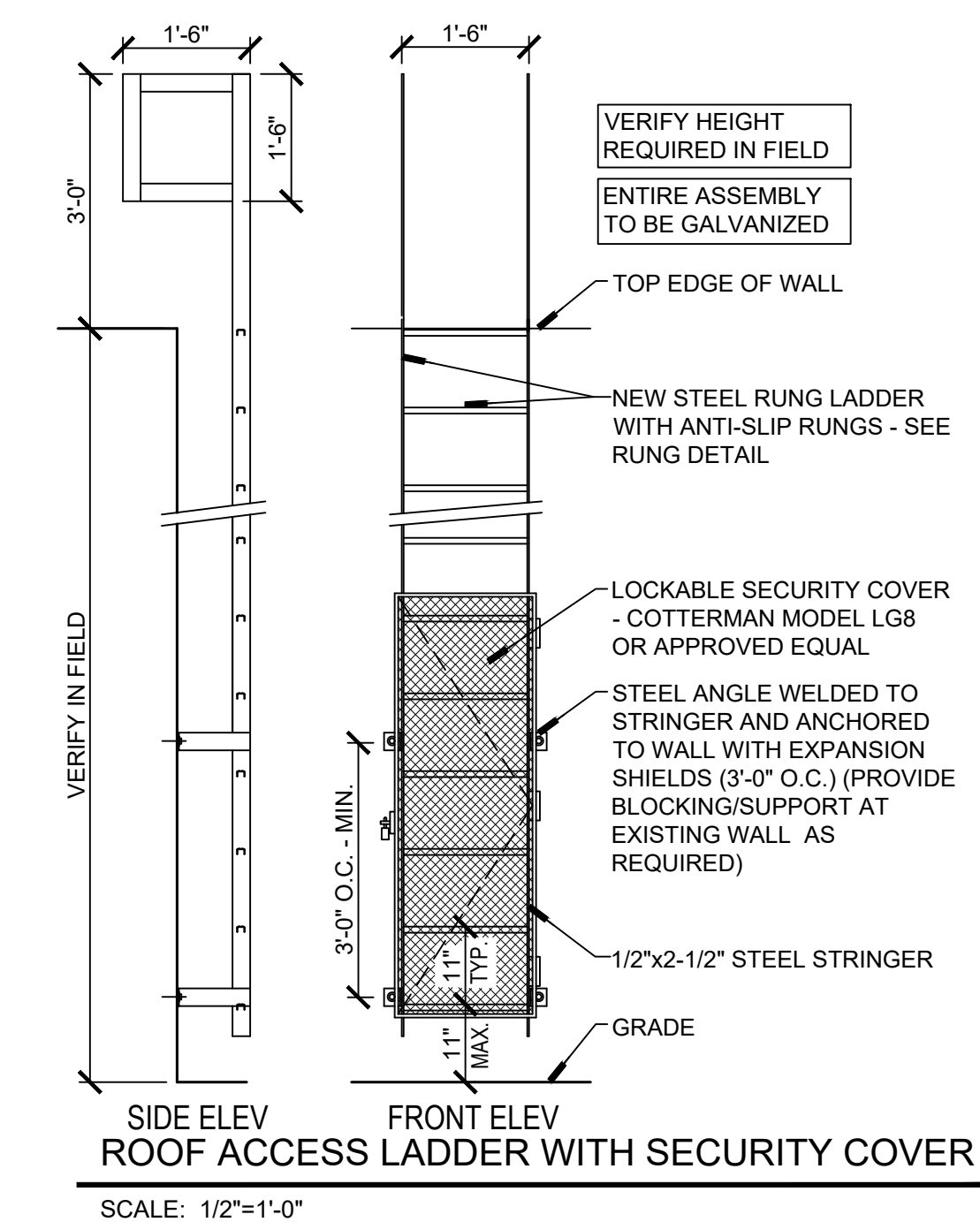
SHEET IDENTIFICATION		TITLE SHEET	
PROJECT INFORMATION	Date	Rev. Date	RLJA Proj
	September 2, 2022		2021-092
SHEET NUMBER		T101	
		OF	
		1	



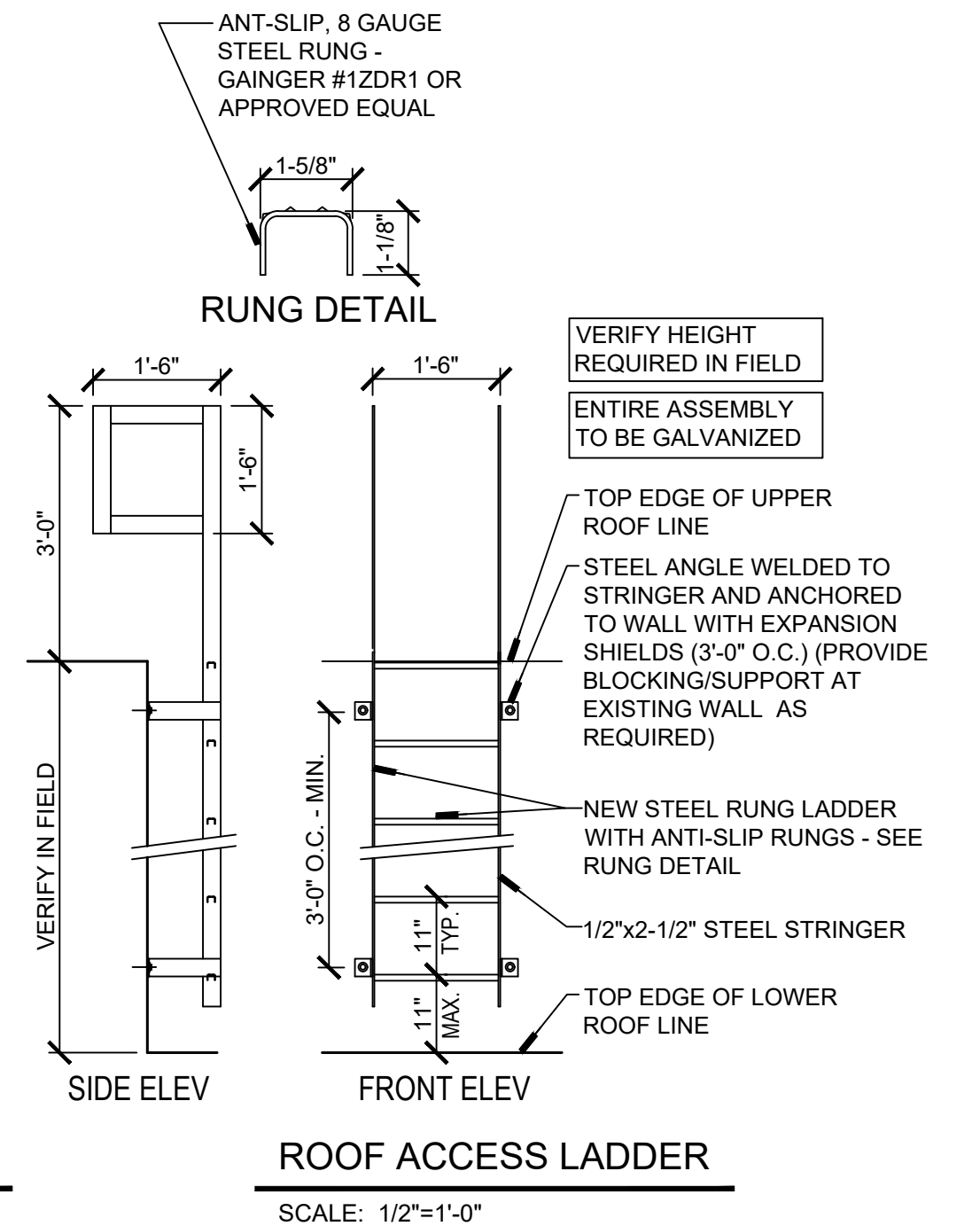
KEY PLAN
 SCALE: NONE



1 ROOF PLAN
 SCALE: 1"=20'-0"



SCALE: 1/2"=1'-0"



SCALE: 1/2"=1'-0"

GENERAL MASONRY REPAIR SCOPE OF WORK

1. REMOVE THE SEALANT AND BACKER ROD FROM ALL THE VERTICAL CONTROL JOINTS IN THE SPLIT-FACE CMU AND PRECAST CONCRETE WALL PANELS INCLUDING JOINTS ABOVE ROOF LINES AND IN COURTYARDS. CLEAN TO VIRGIN SURFACE AND INSTALL BACKER ROD AND SEALANT. CONTRACTOR TO FIELD VERIFY THE LOCATIONS OF ALL CONTROL JOINTS DURING THE BIDDING PHASE.
2. TUCKPOINT 300 LF DEFECTIVE MORTAR JOINTS IN THE SPLIT-FACE CMU IN ONE-STORY PORTIONS OF THE SCHOOL IN LOCATIONS DETERMINED DURING CONSTRUCTION. DEFECTIVE MORTAR JOINTS SHALL BE CUT OUT AS NECESSARY, CLEANED AND TUCKPOINTED WITH NEW MORTAR. MATCH EXISTING COLOR AND TEXTURE.
3. GRIND OUT VERTICAL MORTAR/SEALANT IN ALL BRICK INTERIOR CORNERS. CLEAN TO VIRGIN SURFACE AND INSTALL BACKER ROD AND SEALANT. CONTRACTOR TO VERIFY THE LOCATIONS OF THE INTERIOR BRICK CORNERS DURING THE BIDDING PHASE.
4. REMOVE THE SEALANT AND BACKER ROD FROM AROUND ALL THE EXTERIOR WALL LOUVERS. CLEAN TO VIRGIN SURFACE AND INSTALL BACKER ROD AND SEALANT. CONTRACTOR TO FIELD VERIFY THE LOCATIONS OF ALL CLOUVERS DURING THE BIDDING PHASE.

ELLIS ELEMENTARY SCHOOL EXISTING ROOFING CONDITIONS

AREAS 1 THRU 11:
 BALLASTED EPDM ROOFING MEMBRANE OVER (1) LAYER OF 2" RIGID INSULATION OVER METAL DECK.
 *ROOF DECK IS SLOPED.

DEMOLITION - GENERAL NOTES

1. THE ROOFING CONTRACTOR IS TO COORDINATE AND PROVIDE ALL DEMOLITION AND REMOVAL OF DEBRIS NECESSARY TO ACCOMMODATE NEW CONSTRUCTION
2. THE DEMOLITION PLAN IS PROVIDED AS AID IN PLANNING AND DOES NOT RELIEVE THE CONTRACTOR'S RESPONSIBILITY IN FIELD VERIFYING THE EXISTING JOB SITE
3. PROVIDE ALL TEMPORARY SHORING AS REQUIRED TO SUPPORT STRUCTURES AND FINISHES TO REMAIN
4. ALL AREAS, FINISHES AND ITEMS NOT REQUIRING DEMOLITION MUST BE PROTECTED DURING DEMOLITION AND CONSTRUCTION WORK
5. THIS DEMOLITION PLAN IS TO BE USED IN CONJUNCTION WITH THE REST OF THE SHEETS IN THE SET
6. ALL ITEMS TO BE REMOVED SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE

ELLIS ELEMENTARY SCHOOL DEMOLITION BOX NOTES

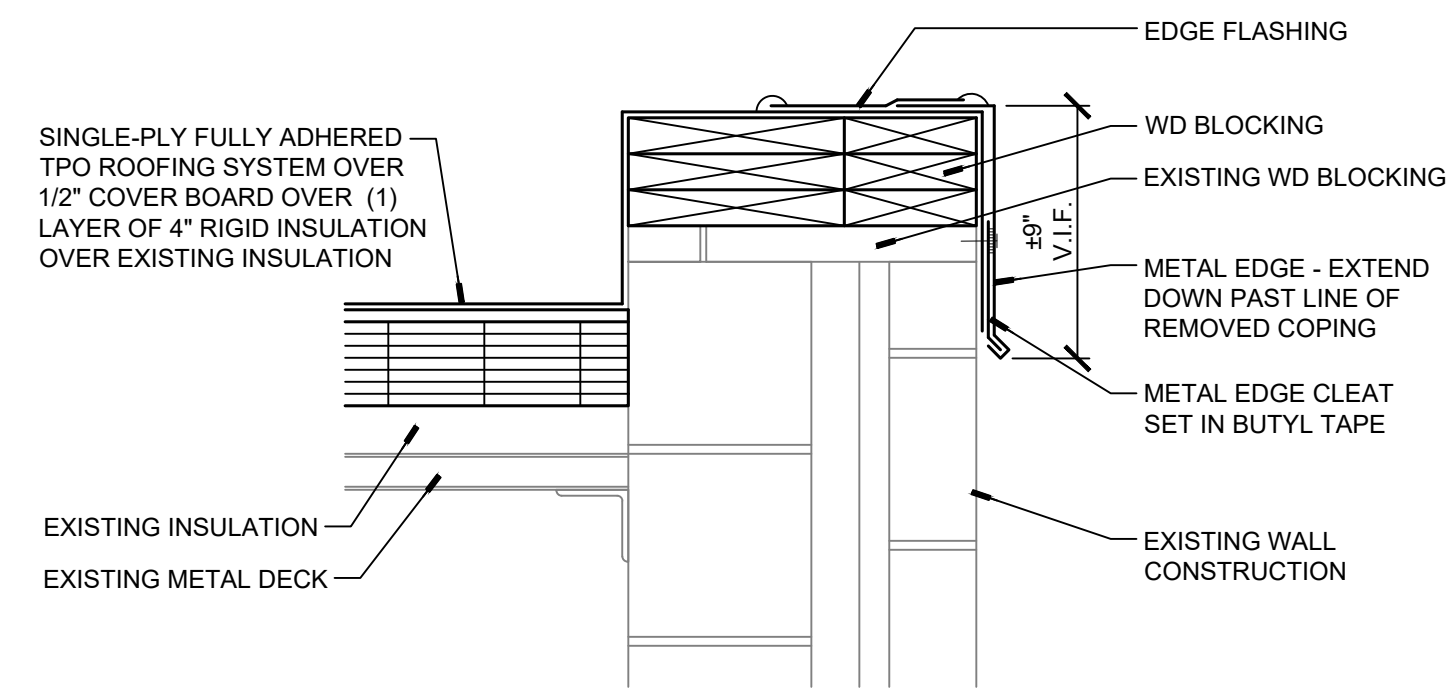
- A** REMOVE BALLAST, LOOSE-LAID EPDM ROOFING MEMBRANE DOWN TO EXISTING INSULATION - REMOVE EXISTING METAL FLASHINGS, METAL COPINGS, METAL ROOF EDGES, AND METAL TERMINATION BARS AROUND PERIMETER OF ROOF LINE AS REQUIRED - ROOFING CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF THE ROOFING MATERIALS OFF SITE.
- B** REMOVE SKYLIGHT, EXTEND CURB AS REQUIRED TO ACHIEVE 8" ABOVE NEW ROOF LINE, FLASH-IN THE CURB AND INSTALL NEW SKYLIGHT.
- C** REMOVE EXISTING METAL COPING.
- D** REMOVE EXISTING EDGE METAL.
- E** EXISTING PLUMBING VENT TO REMAIN.
- F** REMOVE AND RE-INSTALL EXISTING EXHAUST FAN OR MECHANICAL UNIT IN ORDER TO FLASH THE CURB.
- G** EXISTING ROOF DRAIN TO REMAIN. NOTIFY ARCHITECT IF A DRAIN IS DAMAGED OR NEEDS TO BE REPLACED. PROVIDE NEW STRAINER FOR THIS ROOF DRAIN.
- H** EXISTING GAS LINE TO REMAIN. REMOVE EXISTING GAS LINE SUPPORTS, PROVIDE NEW CADDY PYRAMID PSF10C RUBBER GAS LINE SUPPORTS OVER WALK PAD. MODIFY GAS LINE AS REQUIRED TO ACCOMMODATE NEW ROOF HEIGHT.
- J** FLASH GAS PIPE THRU THE ROOF.
- K** EXISTING GUNSHOT SPOTTER AND BASE REMOVED BY OTHERS AND REPLACED BY OTHERS AFTER ROOFING IS COMPLETED.
- L** EXISTING ROOF DRAIN TO REMAIN. NOTIFY ARCHITECT IF A DRAIN IS DAMAGED OR NEEDS TO BE REPLACED.
- M** EXISTING GAS LINE CURBS TO REMAIN. INSTALL SLIP FLASHING AND FLASH.
- N** FLASH BOILER FLUES.
- O** REMOVE ROOF HATCH, EXTEND CURB AS REQUIRED TO ACHIEVE 8" ABOVE NEW ROOF LINE, FLASH-IN THE CURB AND RE-INSTALL THE ROOF HATCH.
- P** FLASH ELECTRICAL CONDUIT THRU THE ROOF.

RENOVATION - GENERAL NOTES

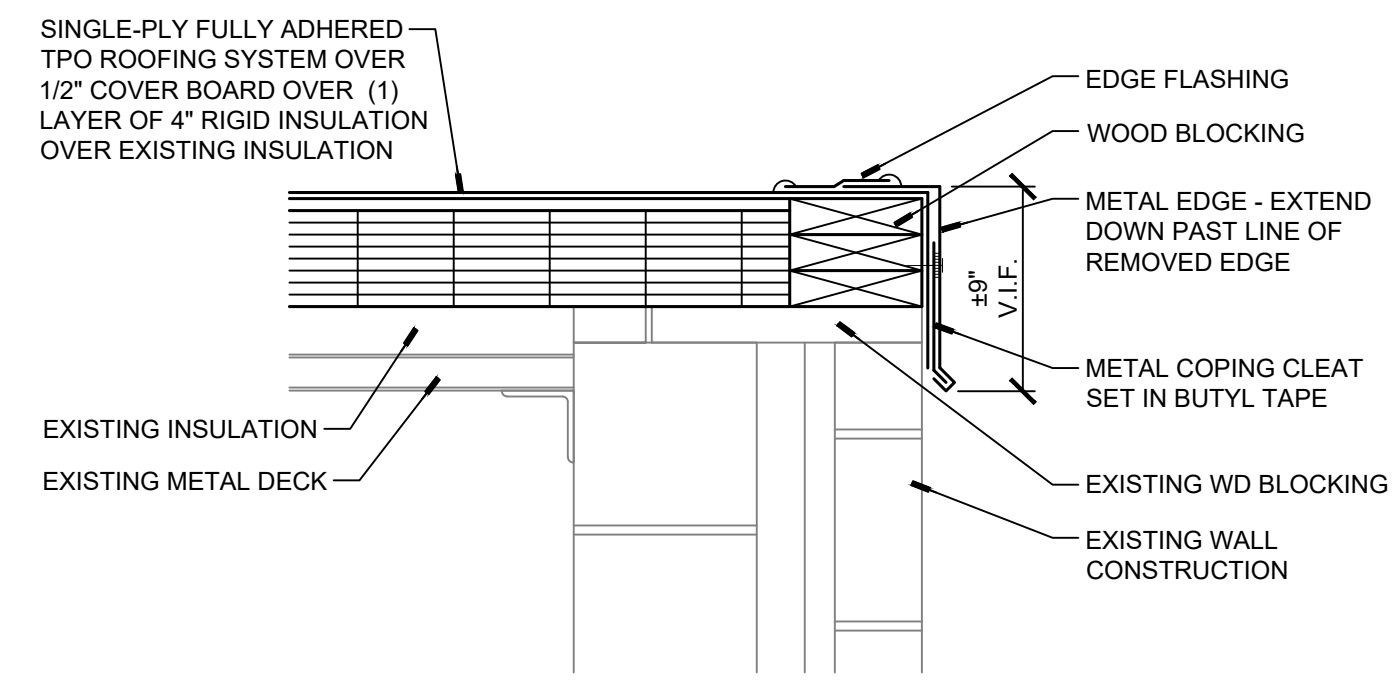
1. ROOFING CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CORE CUTS TO VERIFY THE EXISTING CONDITIONS. NO EXTRAS WILL BE ALLOWED TO COMPENSATE FOR EXISTING CONDITIONS WHICH MAY DIFFER FROM WHAT IS DESCRIBED ON DRAWINGS AND/OR SPECIFICATIONS.
2. ROOFING CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND ACTUAL DIMENSIONS OF THE ROOFS PRIOR TO BIDDING - DO NOT SCALE THESE DRAWINGS
3. ROOFING CONTRACTOR TO FIELD VERIFY LOCATIONS OF ALL EXISTING ROOF TOP MECHANICAL EQUIPMENT UNITS, PIPING, VENTS, ETC. PRIOR TO BIDDING - LOCATION OF MECHANICAL EQUIPMENT SHOWN ON PLANS SHOULD ONLY BE USED AS A GUIDE - CONTRACTOR SHALL FLASH ALL PENETRATIONS PER MANUFACTURER'S WARRANTY STANDARDS
4. ROOFING CONTRACTOR TO EXTEND MECHANICAL CURBS AND ANY MECHANICAL EQUIPMENT SO THEY ARE A MINIMUM OF 8" ABOVE THE TOP OF THE ROOF - EXTEND VENT STACKS SO THEY ARE A MINIMUM OF 12" ABOVE THE TOP OF THE ROOF - EXTEND / MODIFY EXISTING DUCTWORK AND ELECTRICAL COMPONENTS ASSOCIATED WITH MECHANICAL EQUIPMENT
5. ALL DETAILS SHALL BE APPROVED BY THE ROOFING MANUFACTURER IN ORDER TO KEEP THE NEW ROOFING WARRANTY INTACT
6. PROVIDE SADDLES AT ALL MECHANICAL ROOF TOP UNITS AND OTHER ROOF PENETRATIONS
7. FLASH IN ANY EXISTING ROOF PENETRATIONS PER ROOFING MANUFACTURER'S GUIDELINES
8. MAINTAIN CONTINUOUS TEMPORARY PROTECTION AGAINST WATER INTRUSION DURING AND PRIOR TO INSTALLATION OF NEW ROOFING SYSTEM
9. CONTRACTOR WILL BE RESPONSIBLE FOR PICKING UP ALL NAILS, SCREWS, AND SIMILAR DEBRIS AROUND THE PERIMETER OF THE BUILDING WHERE THE CONTRACTOR IS PERFORMING WORK
10. PROVIDE ALL REQUIRED TREATED WOOD BLOCKING WHETHER SHOWN OR NOT
11. CONTRACTOR WILL BE RESPONSIBLE FOR RESTORING GRASS AREAS BACK TO THEIR ORIGINAL CONDITION AFTER THE ROOF WORK IS COMPLETE
12. CONTRACTOR TO VISUALLY REVIEW THE UNDERSIDE OF THE DECK TO LOCATE EXISTING CONDUITS AND WIRING PRIOR TO TEAR OFF. CONTRACTOR WILL REMOVE A FEW CEILING TILES IN EACH ROOM TO ALLOW FOR VISUAL ACCESS. CONTRACTOR SHALL TRANSFER THE LOCATIONS OF THE CONDUIT TO THE ROOF SO THEY DO NOT DAMAGE THEM WHEN INSTALLING THE FASTENERS. CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR OR REPLACE ANY DAMAGED ELECTRICAL CONDUIT, POWER WIRING OR LOW VOLTAGE WIRING IN THE BUILDING THAT GETS DAMAGED FROM ROOF FASTENERS
13. PROVIDE PITCH POCKET(S) FOR PIPING AND CONDUIT THAT GOES THROUGH THE ROOF
14. REMOVE THE SEALANT AND BACKER ROD FROM ALL THE VERTICAL CONTROL JOINTS IN THE PRECAST CONCRETE WALL PANELS. CLEAN TO VIRGIN SURFACE AND INSTALL BACKER ROD AND TEMCO SPECTRUM 2 SILICONE SEALANT.

ELLIS ELEMENTARY SCHOOL RENOVATION KEY NOTES

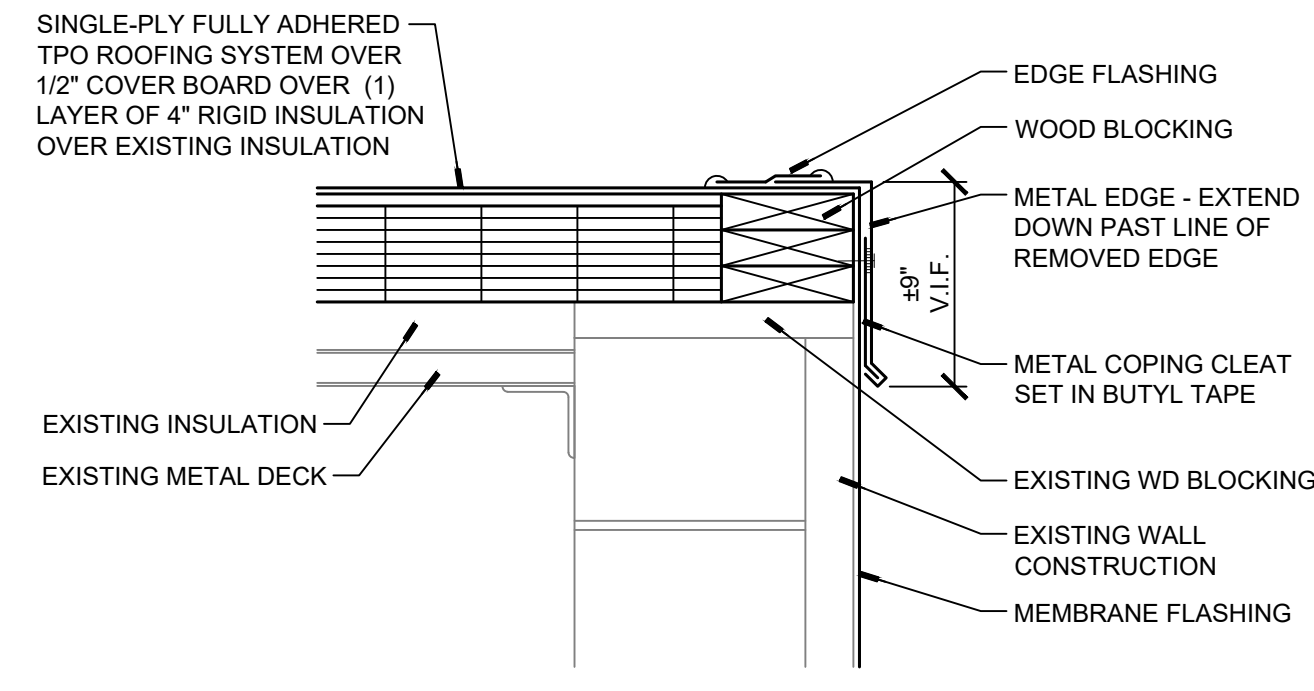
- ◆ NEW ACCESS LADDER. PROVIDE WALK PAD AT THE TOP AND BOTTOM OF THE LADDER. SEE DETAIL.
- ◆ PROVIDE SINGLE-PLY FULLY ADHERED TPO ROOFING SYSTEM OVER (1) LAYER OF 1/2" COVER BOARD ADHERED OVER (1) LAYER OF 4" RIGID INSULATION MECHANICALLY FASTENED THRU THE EXISTING INSULATION INTO THE EXISTING METAL DECK. PROVIDE COPINGS, EDGE METAL, TREATED WOOD BLOCKING AND FLASHINGS AROUND PERIMETER AS DETAILED
- ◆ PROVIDE VERTICAL METAL COUNTERFLASHING OVER TERMINATION BAR.
- ◆ NEW ACCESS LADDER WITH SECURITY COVER. SEE DETAIL.



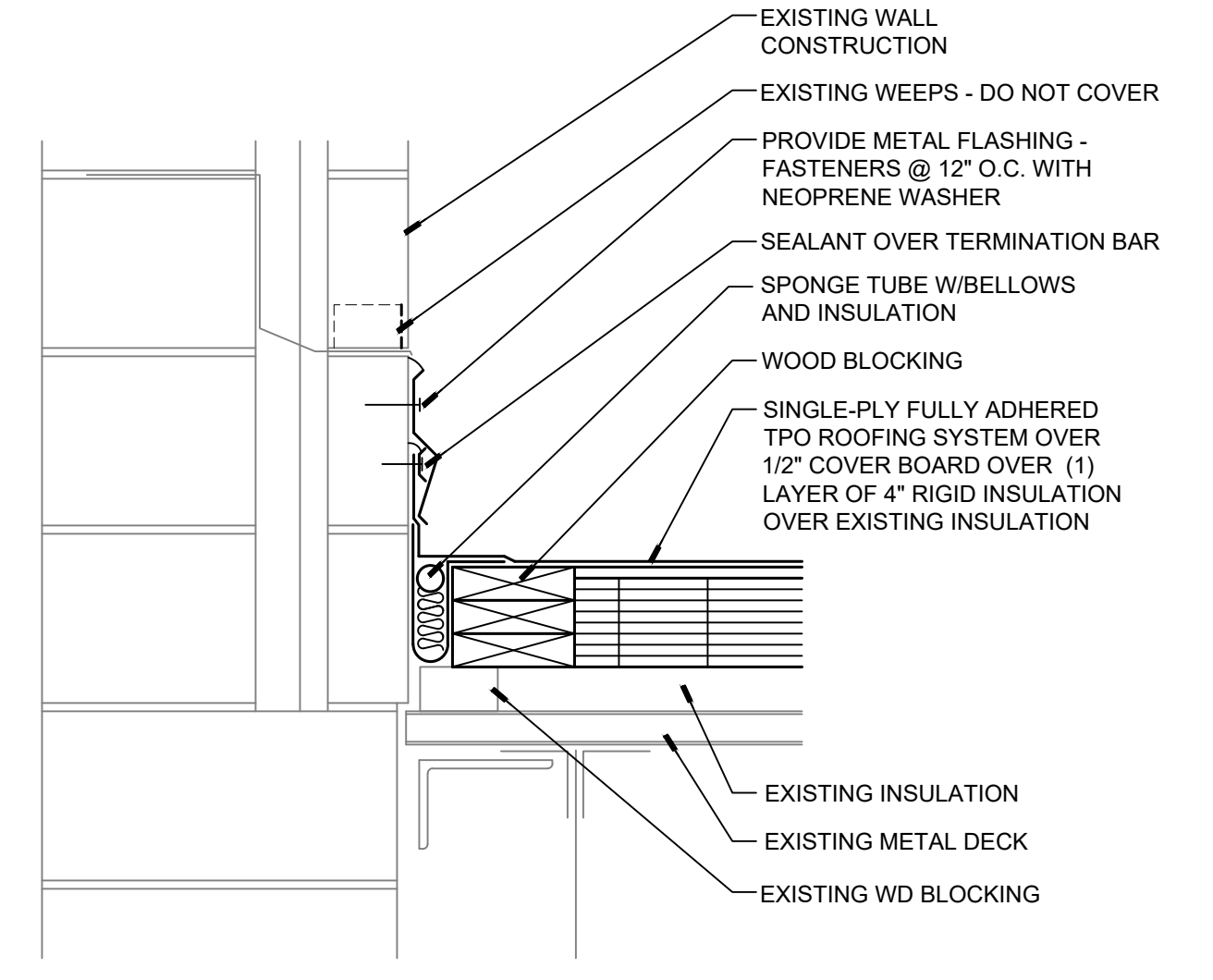
1 DETAIL
SCALE: 1-1/2"=1'-0"



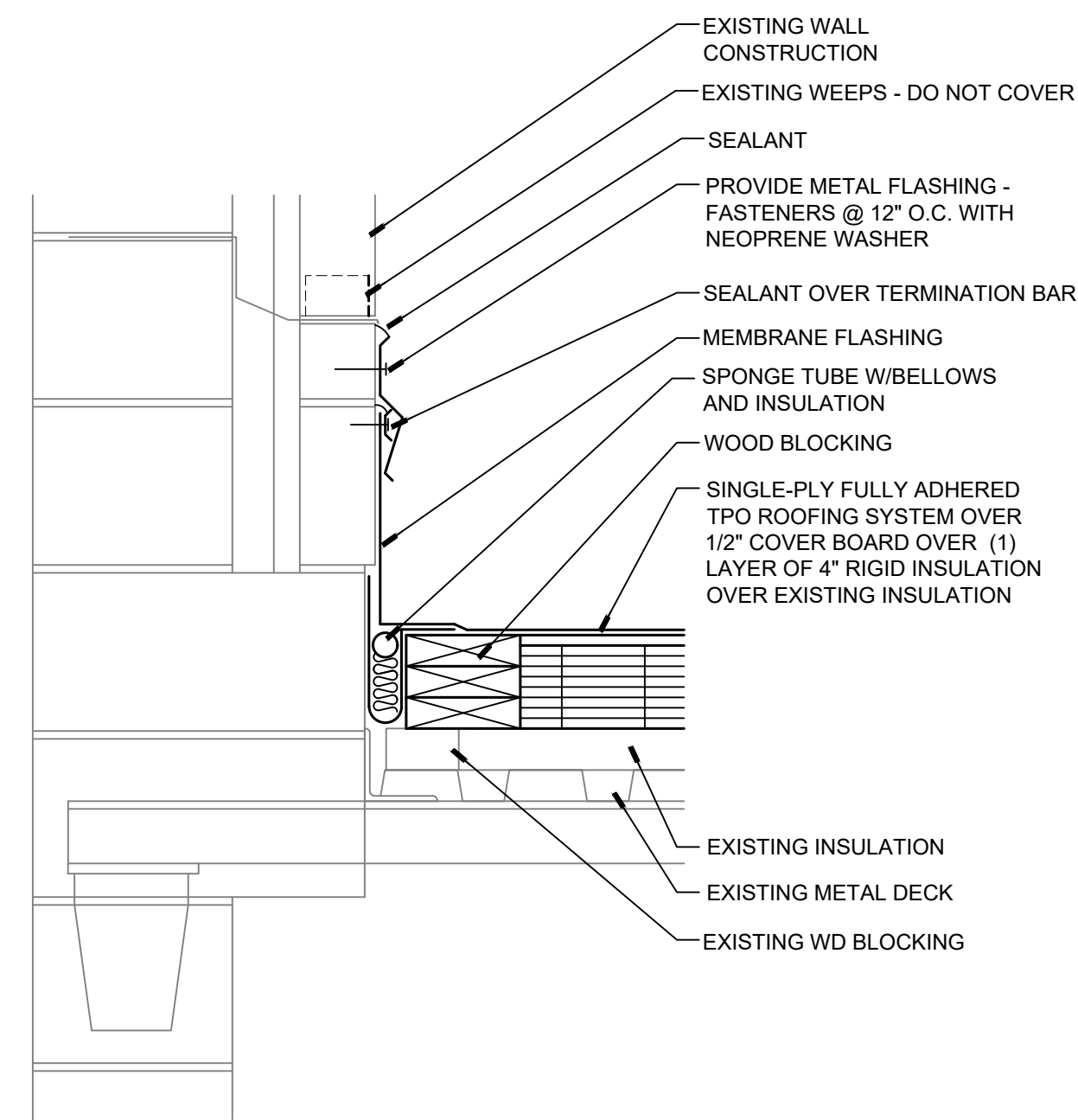
2 DETAIL
SCALE: 1-1/2"=1'-0"



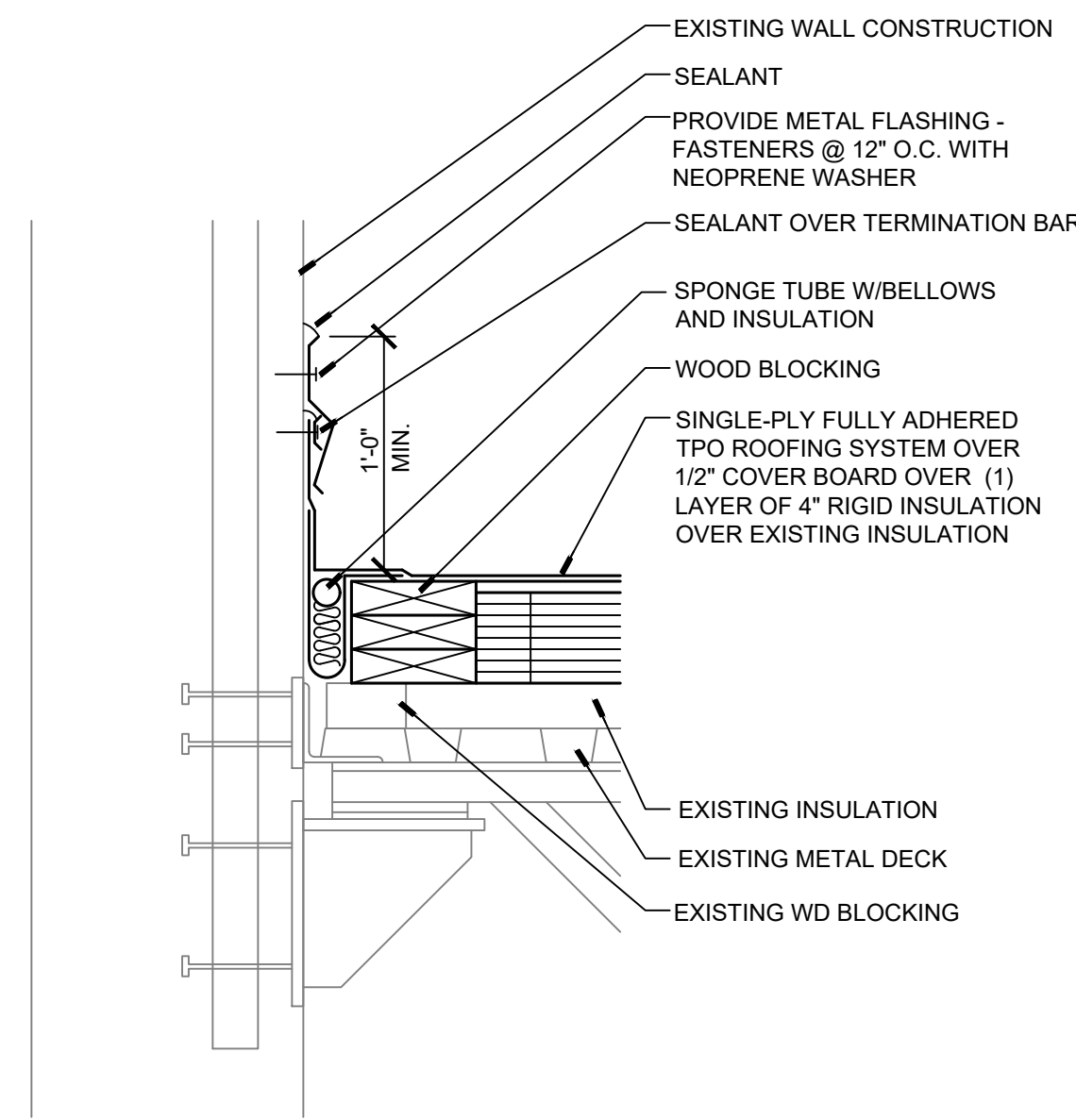
3 DETAIL
SCALE: 1-1/2"=1'-0"



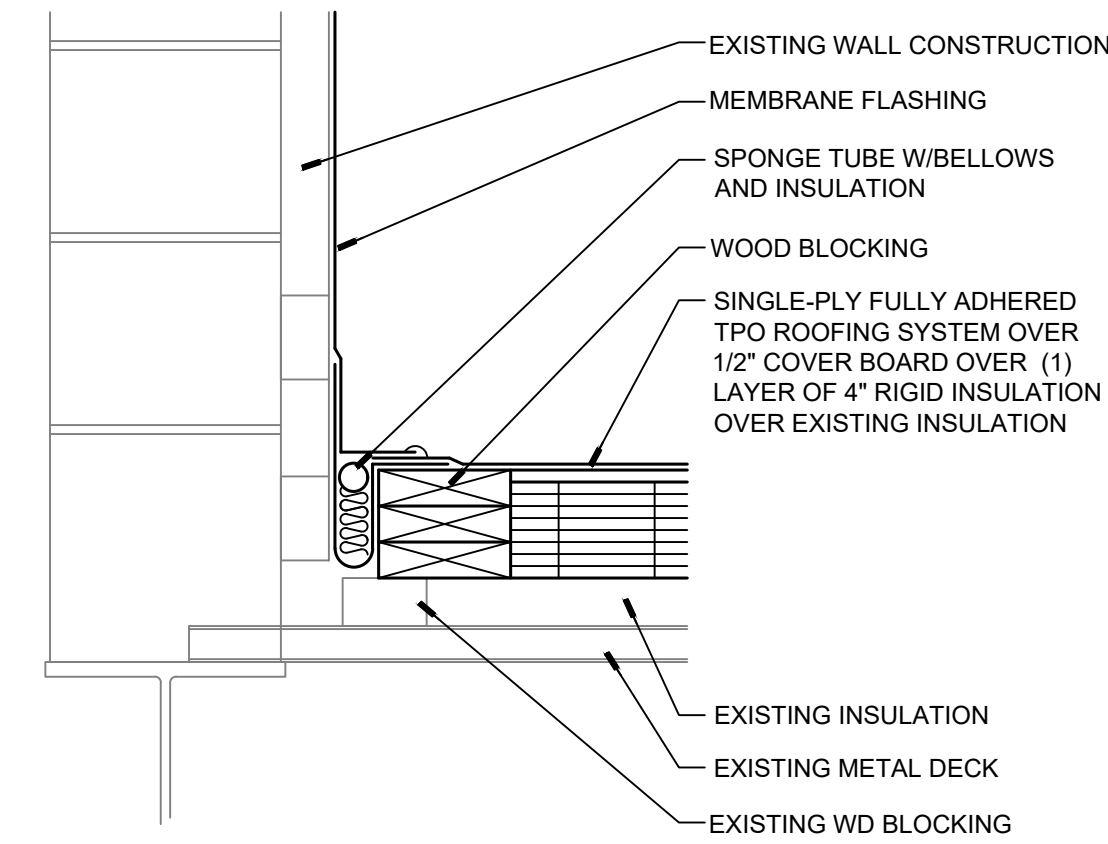
4 DETAIL
SCALE: 1-1/2"=1'-0"



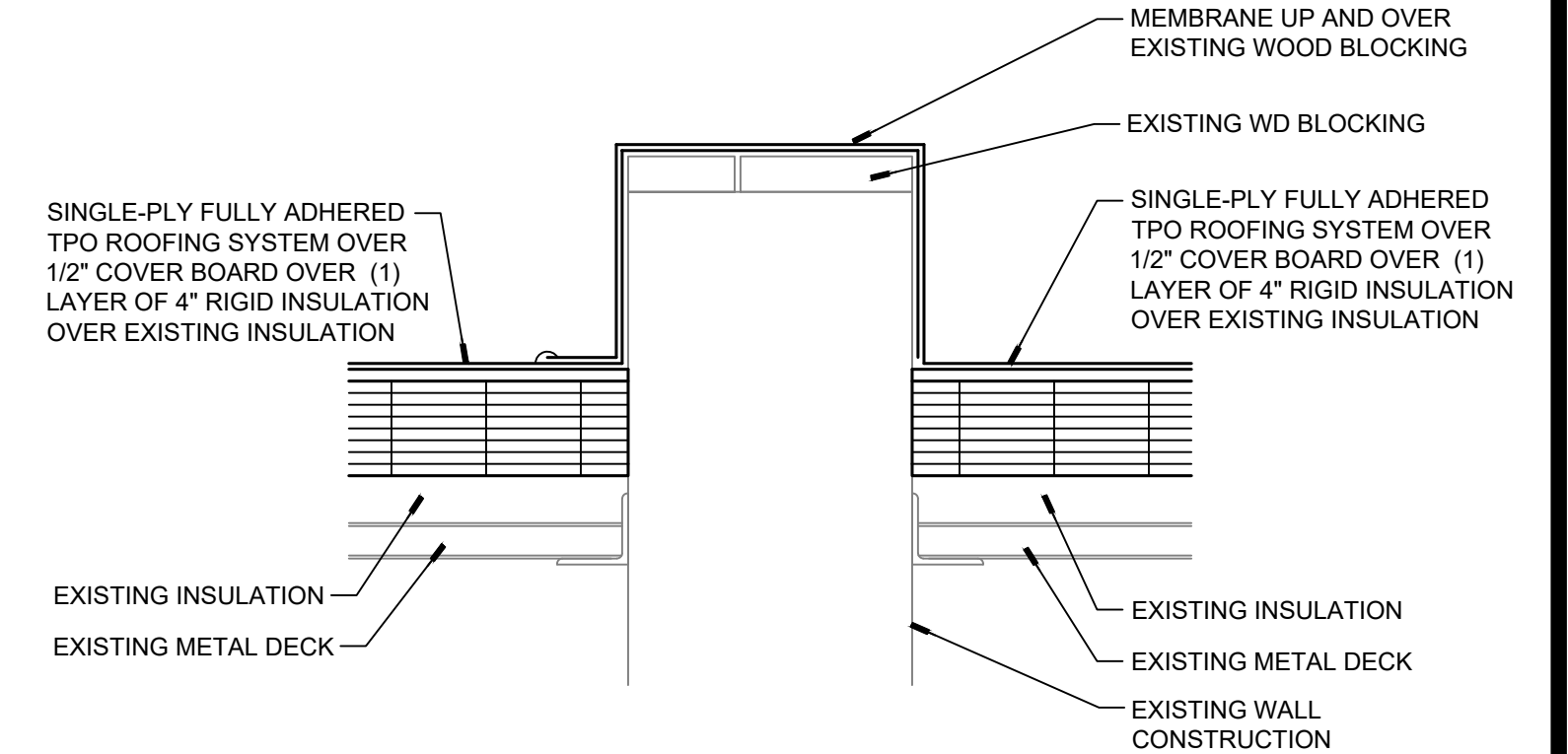
5 DETAIL
SCALE: 1-1/2"=1'-0"



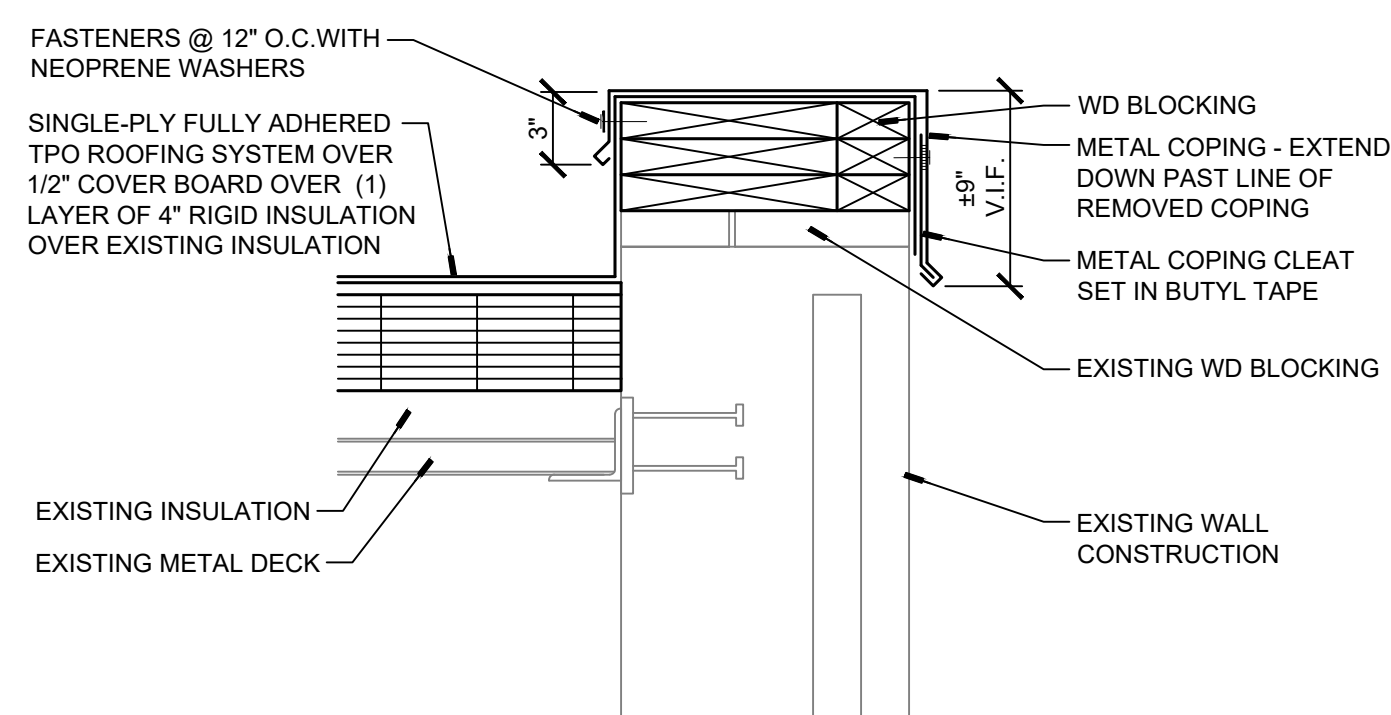
6 DETAIL
SCALE: 1-1/2"=1'-0"



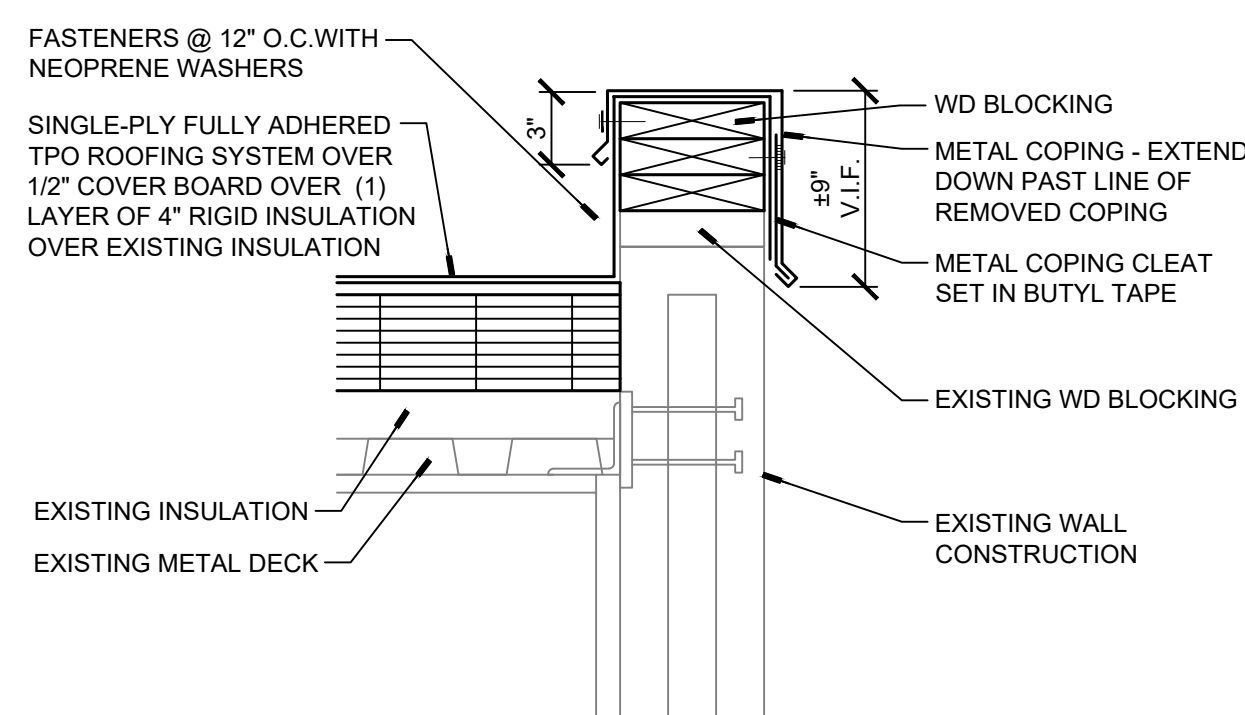
7 DETAIL
SCALE: 1-1/2"=1'-0"



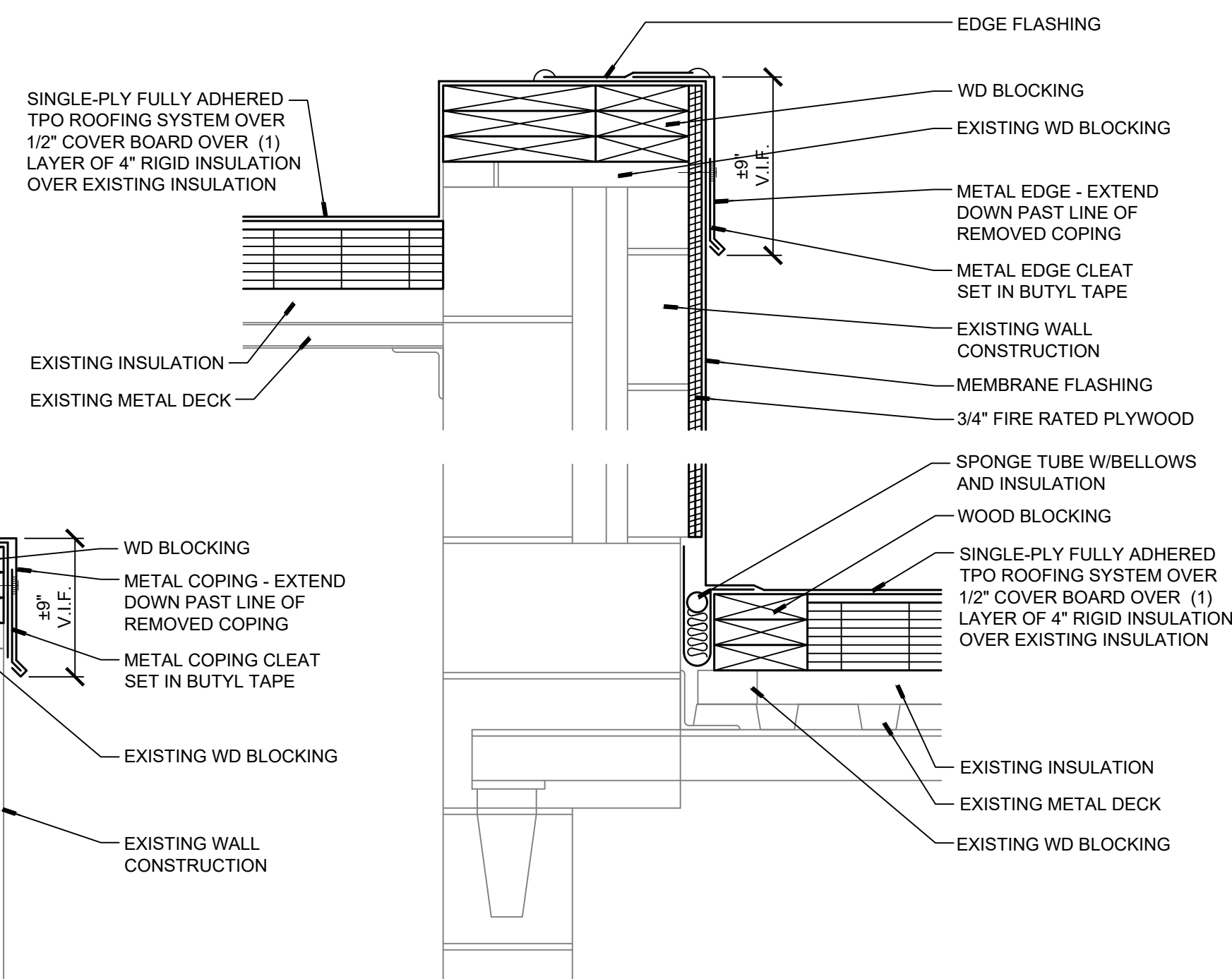
8 DETAIL
SCALE: 1-1/2"=1'-0"



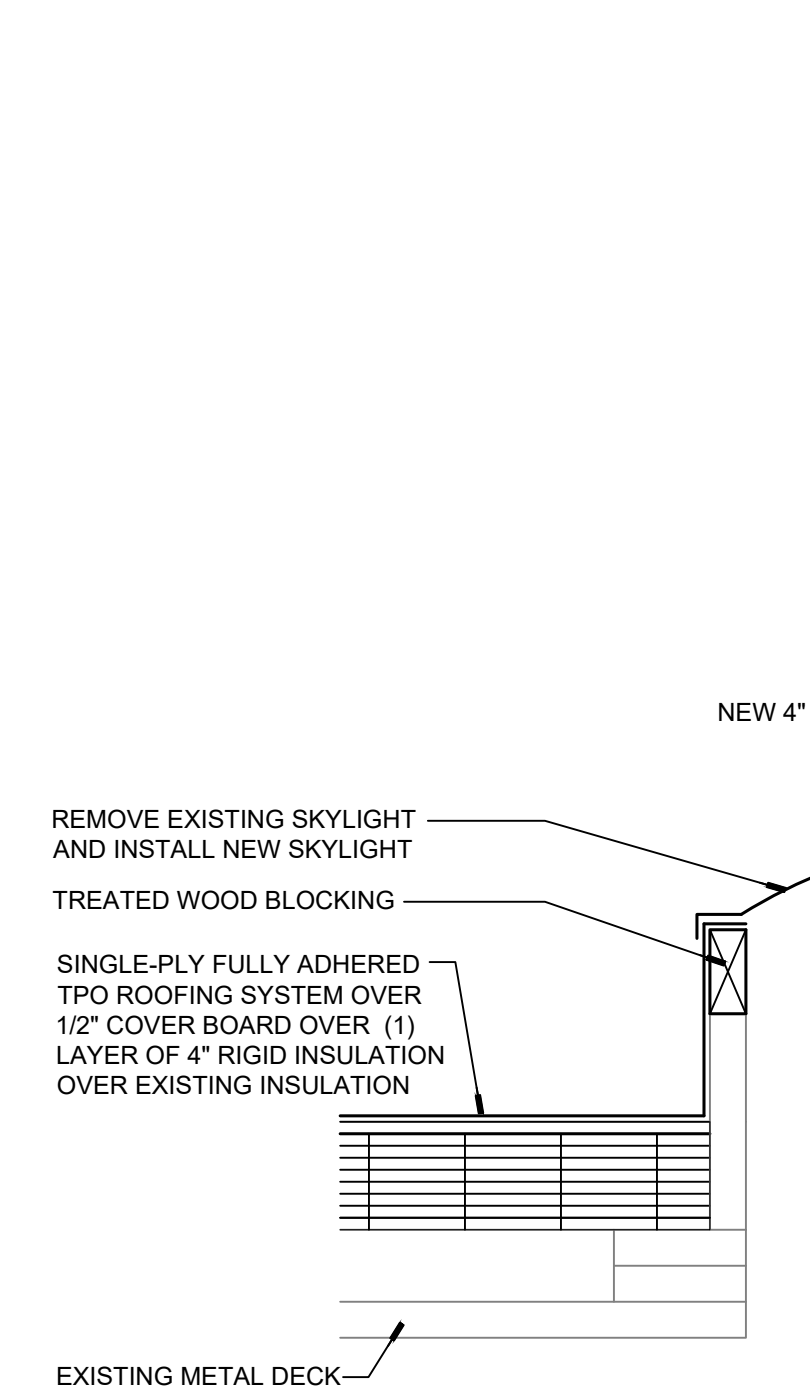
9 DETAIL
SCALE: 1-1/2"=1'-0"



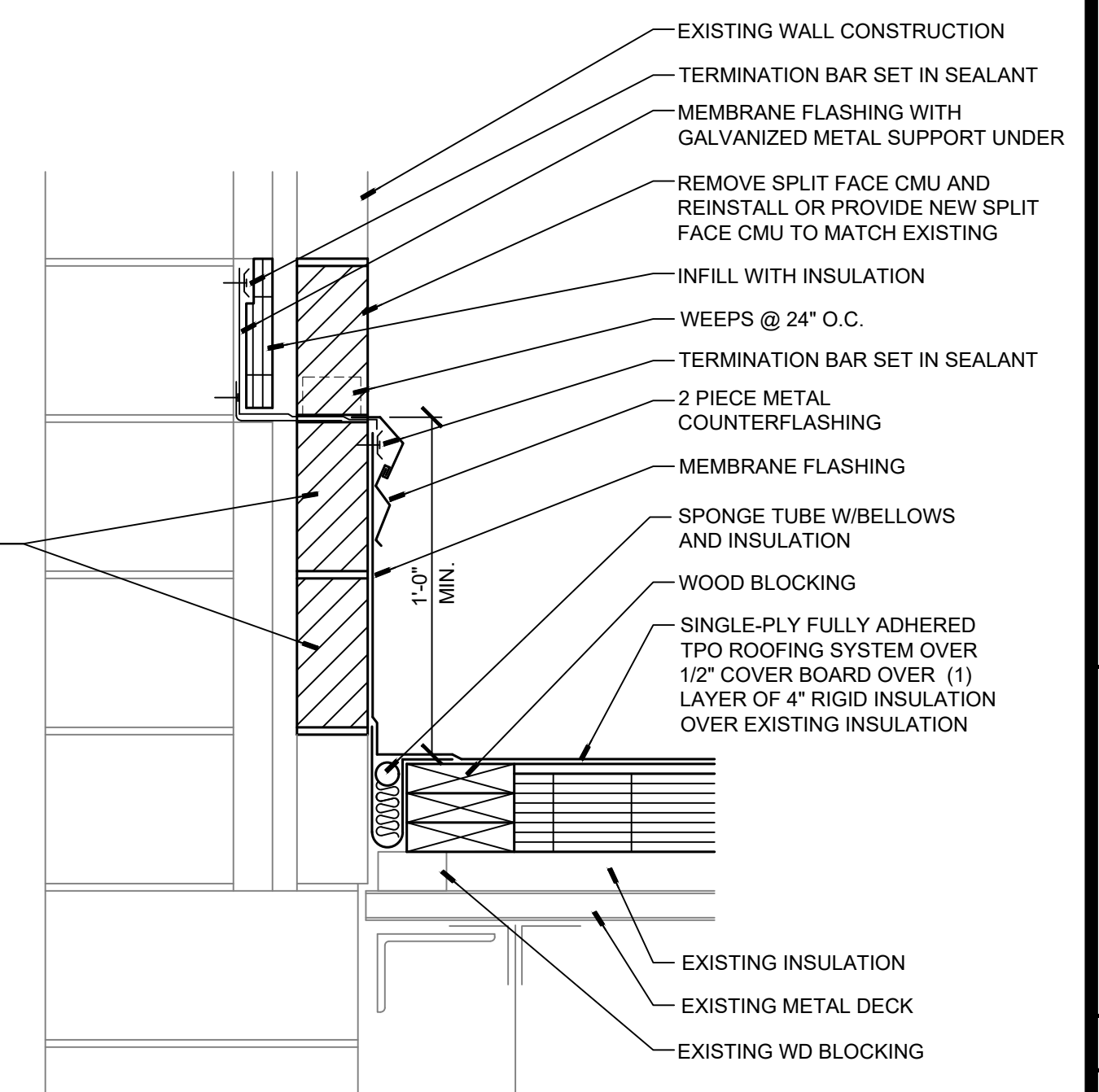
10 DETAIL
SCALE: 1-1/2"=1'-0"



11 DETAIL
SCALE: 1-1/2"=1'-0"



12 DETAIL
SCALE: 1-1/2"=1'-0"



13 DETAIL
SCALE: 1-1/2"=1'-0"

SHEET IDENTIFICATION			
ELLIS ELEMENTARY SCHOOL DETAILS			
PROJECT INFORMATION	Date	Rev. Date	RLJA Proj
	September 2, 2022		2021-092
SHEET NUMBER			A102
			OF
			2