

NEW ROOFING AMADOR VALLEY HIGH SCHOOL

1155 SANTA RITA RD, PLEASANTON, CA 94566 PLEASANTON UNION SCHOOL DISTRICT

DSA FILE NUMBER XX-XX DSA APPLICATION NUMBER 01-OPSC TRACKING NUMBER XXXXX-XX

GENERAL NOTES

CONTRACTOR SHALL VISIT THE PROJECT AREA IN ORDER TO BECOME FAMILIAR WITH EXISTING CONDITIONS AND THE REQUIREMENTS OF THE PROJECT. THE CONTRACTOR MAY CONTACT THE ARCHITECT DURING THE BIDDING PHASE REGARDING CLARIFICATIONS AND PROJECT REQUIREMENTS.

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WIL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS

REPLACEMENT, INCLUDING ARCHITECT'S FEES, FOR ANY DAMAGE CAUSED TO STRUCTURES, LANDSCAPE, SITE WORK, OR EXISTING SYSTEMS TO REMAIN, AS

ALL EXISTING CONDITIONS ARE SHOWN BASED ON THE BEST INFORMATION CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND BUILDING DATA AT THE JOB SITE. ANY DISCREPANCIES REQUIRING MODIFICATION TO THE CONSTRUCTION DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. NO MODIFICATIONS SHALL BE MADE BY THE

COORDINATE WITH OWNER'S REPRESENTATIVE FOR APPROVED LOCATION OF JOB SITE ACCESS, PARKING, AND LOCATION OF CONTRACTOR'S EQUIPMENT AND MATERIAL STORAGE AREA. SEE SITE PLAN FOR ADDITIONAL NOTES.

UTILITY SHUT-DOWNS AND CONNECTIONS

ALL REQUIRED UTILITY SHUT DOWNS SHALL HAVE PRIOR APPROVAL FROM THE OWNER'S REPRESENTATIVE. REQUEST SHALL BE SUBMITTED WITH ADEQUATE ADVANCE NOTICE PER PROJECT REQUIREMENTS.

THE OWNER/OPERATOR AND CONTRACTOR SHALL BE AWARE THAT BUILDINGS CONSTRUCTED PRIOR TO 1978 (OR THERE ABOUT) POSSIBILITY CONTAIN ASBESTOS IN SOME EXISTING CONSTRUCTION MATERIALS, AND WILL LIKELY BE ENCOUNTERED DURING ALTERATIONS OR REMODELING.

UNDER CALIFORNIA TITLE 8, THE OWNER AND CONTRACTOR BOTH HAVE RESPONSIBILITIES TO DETERMINE THE EXISTENCE OF ASBESTOS CONTAINING MATERIALS IN AREAS TO BE ALTERED OR REMODELED PRIOR TO COMMENCEMENT OF WORK AND TO TAKE APPROPRIATE MEASURES TO PROTECT PERSONNEL. CAL-OSHA HAS JURISDICTION OVER ASBESTOS RELATED WORK. ASBESTOS RELATED WORK SHALL BE DONE IN ACCORDANCE WITH CALIFORNIA GENERAL INDUSTRIAL SAFETY ORDERS, TITLE 8, SECTION 341.6 THROUGH 341.14. ASBESTOS IN THE WORK ENVIRONMENT IS REGULATED BY TITLE 8, SECTION 5208.

THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT AND DISTRICT REGULATION 11-2-401.3 REQUIRES EVERY RENOVATION INVOLVING THE REMOVAL OF 100 SQ.FT., LN.FT, OR GREATER OF REGULATED ASBESTOS CONTAINING MATERIAL, AND FOR EVERY DEMOLITION (EVEN WHEN NO ASBESTOS IS PRESENT), A NOTIFICATION MUST BE SENT TO THE BAAQMD AT LEAST 10 WORKING DAYS PRIOR TO COMMENCEMENT OF DEMOLITION / RENOVATION.

ALL BUILDING MATERIALS MUST BE ASBESTOS FREE.

THESE DOCUMENTS DO NOT ADDRESS CONTAINMENT FOR EXISTING AREAS OF ASBESTOS WHICH MAY BE DISCOVERED DURING CONSTRUCTION. THE OWNER'S ABATEMENT SUBCONTRACTOR IS SOLELY RESPONSIBLE FOR THE DETECTION, REMOVAL, AND THE DISPOSAL OF ANY EXISTING ASBESTOS MATERIAL. ARCHITECTURAL AND ENGINEERING FEES FOR ADDITIONAL DESIGN EFFORT TO OBTAIN STATE APPROVALS, AS WELL AS THE COST OF ANY REPAIRS, FOR DAMAGE CAUSED OR REPLACEMENT OF EXISTING SYSTEMS TO REMAIN, DUE TO WORK PERFORMED BY THE ASBESTOS ABATEMENT SUBCONTRACTOR, SHALL BE THE RESPONSIBILITY OF SAID SUBCONTRACTOR.

CONSTRUCTION SCHEDULING

CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION OPERATIONS WITH OWNER'S REPRESENTATIVE PRIOR TO SCHEDULING AND START OF THE WORK. CONTRACTOR SHALL PROVIDE PROTECTION TO ALL EXISTING SPACES AND SYSTEMS WHICH ARE IN USE, ADJOINING THE PROJECT, AND NOT PART OF THE PROJECT.

INTERIOR FINISHES INTERIOR FINISHES AND ALL WALL COVERING MATERIAL SHALL

CONFORM TO CCR TITLE 24, PART 2, CHAPTER 8.

PIPES, DUCTS AND CONDUIT - SUPPORT AND BRACING

PIPES, DUCTS, AND CONDUITS SHALL BE SUPPORTED AND BRACED PER THE SMACNA "GUIDELINES FOR SEISMIC RESTRAINTS OF MECHANICAL SYSTEMS AND PLUMBING PIPING SYSTEMS", OPM 0052-13 SEISMIC BRACING AND SUPPORT SYSTEMS.

DRILLED-IN EXPANSION ANCHORS

WHEN INSTALLING DRILLED-IN ANCHORS AND/OR POWDER DRIVEN PINS IN EXISTING NON-PRESTRESSED REINFORCED CONCRETE, USE CARE AND CAUTION TO AVOID CUTTING OR DAMAGING THE EXISTING REINFORCING BARS. WHEN INSTALLING THEM INTO EXISTING PRESTRESSED CONCRETE (PRE- OR POST-TENSIONED), LOCATE THE PRESTRESSED TENDONS BY USING A NON-DESTRUCTIVE METHOD PRIOR TO INSTALLATION. EXERCISE EXTREME CARE AND CAUTION TO AVOID CUTTING OR DAMAGING THE TENDONS DURING INSTALLATION. MAINTAIN A MINIMUM CLEARANCE OF ONE INCH BETWEEN THE REINFORCEMENT AND THE DRILLED-IN ANCHOR AND/OR PIN.

TITLE 24 COMPLIANCE

THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE ALTERATION, REHABILITATION OR RECONSTRUCTION IS TO BE IN ACCORDANCE WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS (2019 CBC). SHOULD ANY EXISTING CONDITIONS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, CCR. A CONSTRUCTION CHANGE DOCUMENT OR A SEPARATE SET OF PLANS AND SPECIFICATIONS, DETAILING AND SPECIFYING THE REQUIRED WORK, SHALL BE SUBMITTED TO AND APPROVED BY THE DSA BEFORE PROCEEDING WITH THE WORK.

GYP. BD. GYPSUM BOARD

HEIGHT

HDW.

HARDWARE

HOSE BIBB

INSULATION

JOIST HANGER

KILN DRIED

INTERIOR

INVERT

JOINT

HOLLOW CORE

HOLLOW METAL HORIZONTAL

INSIDE DIAMETER

۸ D D				T	
	REVIATIONS CONSULTANT DRAWINGS FOR		I ABBREVIATIONS)	-9/1	D
.F.F.	ABOVE FINISHED FLOOR	LAM.	LAMINATE		170
.P.	ACCESS PANEL	LAV.	LAVATORY	- 13-	
CT DJ.	ACOUSTIC TILE ADJUSTABLE	M.B.	MACHINE BOLT		
LUM.	ALUMINUM	M.S.	MACHINE SCREW	II .	
.B.	ANCHOR BOLT	M.H. MFG.	MANHOLE MANUFACTURER		
PPROX.	APPROXIMATELY	M.B.	MARKER BOARD		
RCH. C	ARCHITECT ASPHALTIC CONCRETE	MATL.	MATERIAL		
)	AT	MAX. MECH.	MAXIMUM		
.M.	BENCH MARK	MTL.	MECHANICAL METAL		The same of the sa
LKG. D.	BLOCKING BOARD	MIN.	MINIMUM		Daniel Control
.W.	BOTH WAYS	MISC.	MISCELLANEOUS		
OT.	BOTTOM	MTD. (N)	MOUNTED NEW		
LDG. .U.R.	BUILDING BUILT-UP ROOFING	NOM.	NOMINAL		
.B.	CATCH BASIN	N.I.C.	NOT IN CONTRACT		
LG.	CEILING	N.T.S.	NOT TO SCALE		
EM.	CEMENT CENTER TO CENTER	NO. or #	NUMBER	BUIL	DING CODES
.0 01 0.0.	CENTERLINE	OCC. O.C.	OCCUPANT(CY) ON CENTER	A	
	CERAMIC TILE	OPNG.	OPENING	ANL	STANDARDS:
.0.	CLEANOUT	OPP.	OPPOSITE		
.O.T.G. LR.	CLEANOUT TO GRADE CLEAR	O.H.	OPPOSITE HAND		ALIFORNIA ADMINISTRATIVE CODE, PA ALIFORNIA BUILDING CODE (CBC), PAR
.A.H.R.	CLEAR ALL HEART	O.F.O.S. O.H.W.S.	OUTSIDE FACE OF STUD OVAL HEAD WOOD SCREW		2018 INTERNATIONAL BUILDING CODE, 1
	REDWOOD	O.H.W.S. O.D.	OVERFLOW DRAIN and/or		ALIFORNIA AMENDMENTS.)
.W. OL.	COLUMN		OUTSIDE DIAMETER		ALIFORNIA ELECTRIC CODE (CEC), PAF
OL. OM.	COLUMN COMMON	O.F.C.I.	OWNER FURNISHED and		018 NATIONAL ELECTRIC CODE WITH 2 ALIFORNIA MECHANICAL CODE (CMC),
ONC.	CONCRETE	PR.	CONTRACTOR INSTALLED PAIR		2018 UNIFORM MECHANICAL CODE (CMC),
ONST.	CONSTRUCTION	PART.	PARTITION		MENDMENTS).
.H. .J.	CONSTRUCTION HEART CONSTRUCTION JOINT	PL	PLATE		ALIFORNIA PLUMBING CODE (CPC), PA
.J. ONT.	CONTINUOUS	d PLAS.	PENNY (NAILS) PLASTER		018 UNIFORM PLUMBING CODE WITH 2 ALIFORNIA ENERGY CODE (CENC), PAF
ONTR.	CONTRACTOR	PLYWD.	PLYWOOD		ALIFORNIA ENERGY CODE (CENO), PAR ALIFORNIA FIRE CODE (CFC), PART 9, T
TR.	COUNTER	P.V.C.	POLY VINYL CHLORIDE	(2	018 INTERNATIONAL FIRE CODE WITH:
TSK. ET.	COUNTER SUNK DETAIL	P.T.	PRESSURE TREATED		ALIFORNIA GREEN BUILDING STANDAR
L⊺. IA. or Ø	DIAMETER	P.L. R. or RAD.	PROPERTY LINE RADIUS		.C.R. ALIFORNIA REFERENCED STANDARDS.
IM.	DIMENSION	R.W.L.	RAIN WATER LEADER		SME A17.1 (W/A17.1a/CSA B44a-08 ADDI
.A.	DISABLED ACCESS		REDWOOD	El	LEVATORS AND ESCALATORS
R. .S.	DOOR DOWNSPOUT	REINF.	REINFORCING		DA STANDARDS FOR ACCESSIBLE DES
.S. WG.	DRAWING	REQ'D R.A.G.	REQUIRED RETURN AIR GRILLE	(2	8 CFR PART 35 FOR TITLE II ENTITIES)
.F.	DRINKING FOUNTAIN	R.E.	RIM ELEVATION	CCR TITLE	-19, PUBLIC SAFETY, STATE FIRE MARS
	and/or DOUGLAS FIR	R.D.	ROOF DRAIN		
A. .W.	EACH WAY	RM. R.O.	ROOM ROUGH OPENING	NFPA 13	INSTALLATION OF SPRINKLER SYSTE (CA AMENDED)
LEC.	ELECTRIC or ELECTRICAL	RND.	ROUND	NFPA 14	INSTALLATION OF STANDPIPE & HOS
L. or		R.H.M.S.	ROUND HEAD METAL SCREW		(CA AMENDED)
LEV. NCL.	ELEVATION ENCLOSE and/or ENCLOSURE	R.H.W.S.	ROUND HEAD WOOD SCREW	NFPA 17	DRY CHEMICAL EXTINGUISHING SYST
Q.	EQUAL		SEE STRUCTURAL DRAWINGS SELF TAPPING SHEET	NFPA 17A NFPA 20	WET CHEMICAL EXTINGUISHING SYS STATIONARY FIRE PUMPS TO FIRE PF
QUIP.	EQUIPMENT	0.1.0	METAL SCREW	NFPA 22	WATER TANKS FOR PRIVATE FIRE PR
E) X.	EXISTING EXPANSION		SHEATHING	NFPA 24	PRIVATE FIRE SERVICE MAINS
л. .J.	EXPANSION JOINT	S.M. S.M.S.	SHEET METAL COREW	NFPA 25	(CA AMENDED). INSPECTION, TESTING AND MAINTENA
XP.	EXPOSED	S.IVI.S. S.O.V.	SHEET METAL SCREW SHUT OFF VALVE	NFPA 25	WATER BASED FIRE PROTECTION SY
XT.	EXTERIOR	SIM.	SIMILAR		
.O.C. .O.M.	FACE OF CONCRETE FACE OF MASONRY	S.C.	SOLID CORE	NFPA 72	NATIONAL FIRE ALARM CODE
.O.S.	FACE OF STUD	SPEC. SQ.	SPECIFICATION SQUARE	NFPA 80	(CA AMENDED) FIRE DOORS AND OTHER OPENING P
.O.F.	FACE OF FINISH	S.F.	SQUARE FEET	NFPA 92	STANDARD FOR SMOKE CONTROL SY
IN. .F.	FINISH FINISHED FLOOR	STAG.	STAGGERED		EMERGENCY AND STANDBY POWER
.г. .S.	FINISHED FLOOR FINISH SLAB	STD.	STANDARD	NFPA 170	STANDARD FOR FIRE SAFETY AND EN
.E.	FIRE EXTINGUISHER	S.S. STL.	STAINLESS STEEL STEEL	NEPA 253	CRITICAL RADIANT FLUX OF FLOOR C
.E.C.	FIRE EXTINGUISHER CABINET	STOR.	STORAGE		SYSTEMS
.H. .H.M.S.	FIRE HYDRANT FLAT HEAD METAL SCREW			NFPA 2001	CLEAN AGENT FIRE EXTINGUISHING
	FLAT HEAD WOOD SCREW	S.A.G. THRES.	SUPPLY AIR GRILLE THRESHOLD	100 200	STANDARDS FOR BLEACHERS FOLDI
L. or FLR.		T&G	TONGUE & GROOVE	ICC 300	STANDARDS FOR BLEACHERS, FOLDI TELESCOPIC SEATING, AND GRANDS
.D.	FLOOR DRAIN	T.J.	TOOLED JOINT		
TG. ND.	FOOTING FOUNDATION	T.O.B. T.O.C.	TOP OF BEAM TOP OF CURB or CONCRETE	SFM 12-10-	
ALV.	GALVANIZED	T.O.S.	TOP OF CORB OF CONCRETE TOP OF STEEL or SHEATHING	SFM 12-10- SFM 12-10-	
.l.	GALVANIZED IRON	T.O.W.	TOP OF WALK	OI W 12-10	5 EMERGEROT EAT &T ANIOTAN
A. L.	GAUGE GLASS	TYP. U.O.N.	TYPICAL	UL 38	MANUAL OPERATING SIGNAL BOXES
L. LU-LAM	GLUE-LAMINATED	U.O.S.	UNLESS OTHERWISE NOTED UNLESS OTHERWISE SHOWN	UL 268	SMOKE DETECTORS FOR FIRE PROTE SIGNALING SYSTEMS
RD.	GRADE	V.T.R.	VENT THROUGH ROOF	UL 268A	SMOKE DETECTORS DUCT APPLICAT
YP BD	GYPSUM BOARD	VERT	VERTICAL		FIRE TEATING OF FIRE EVEN COUNTY

VERTICAL

VERTICAL GRAIN

VERIFY IN FIELD

WATER CLOSET

WATER HEATER

WATER RESISTANT

WELDED WIRE MESH

WINDOW DIMENSION

WATERPROOF

WITH

WITHOUT

WOOD

W/O

VINYL COMPOSITION TILE

VOICE OVER INTERNET PROTOCOL

VINYL WALL COVERING

AND STANDARDS: 2019 CALIFORNIA ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R. 2019 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24, C.C.R. (2018 INTERNATIONAL BUILDING CODE, VOLUMES 1 AND 2, WITH 2019

CALIFORNIA AMENDMENTS.) 2019 CALIFORNIA ELECTRIC CODE (CEC), PART 3, TITLE 24, C.C.R. (2018 NATIONAL ELECTRIC CODE WITH 2019 CALIFORNIA AMENDMENTS). 2019 CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24, C.C.R. (2018 UNIFORM MECHANICAL CODE WITH 2019 CALIFORNIA AMENDMENTS).

2019 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24, C.C.R. (2018 UNIFORM PLUMBING CODE WITH 2019 CALIFORNIA AMENDMENTS). CALIFORNIA ENERGY CODE (CENC), PART 6, TITLE 24, C.C.R. 2019 CALIFORNIA FIRE CODE (CFC), PART 9, TITLE 24, C.C.R. (2018 INTERNATIONAL FIRE CODE WITH 2019 CALIFORNIA AMENDMENTS). CALIFORNIA GREEN BUILDING STANDARDS CODE, PART 11, TITLE 24,

2019 CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24, C.C.R. 2016 ASME A17.1 (W/A17.1a/CSA B44a-08 ADDENDA) SAFETY CODE FOR ELEVATORS AND ESCALATORS 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

(28 CFR PART 35 FOR TITLE II ENTITIES) CCR TITLE-19, PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS.

NFPA 13	INSTALLATION OF SPRINKLER SYSTEMS (CA AMENDED)	2016 EDITION
NFPA 14	INSTALLATION OF STANDPIPE & HOSE SYSTEMS (CA AMENDED)	2016 EDITION
NFPA 17	DRY CHEMICAL EXTINGUISHING SYSTEMS	2017 EDITION
NFPA 17A	WET CHEMICAL EXTINGUISHING SYSTEM	2017 EDITION
NFPA 20	STATIONARY FIRE PUMPS TO FIRE PROTECTION	2016 EDITION
NFPA 22	WATER TANKS FOR PRIVATE FIRE PROTECTION	2013 EDITION
NFPA 24	PRIVATE FIRE SERVICE MAINS	2016 EDITION
	(CA AMENDED).	
NFPA 25	INSPECTION, TESTING AND MAINTENANCE OF	2013
	WATER BASED FIRE PROTECTION SYSTEMS	CALIFORNIA
		EDITION
NFPA 72	NATIONAL FIRE ALARM CODE	2016 EDITION
	(CA AMENDED)	
NFPA 80	FIRE DOORS AND OTHER OPENING PROTECTIVES	2016 EDITION
NFPA 92	STANDARD FOR SMOKE CONTROL SYSTEMS	2015 EDITION
NFPA 110	EMERGENCY AND STANDBY POWER SYSTEMS	2016 EDITION
NFPA 170	STANDARD FOR FIRE SAFETY AND EMERGENCY SYMBOLS	2018 EDITION
NFPA 253	CRITICAL RADIANT FLUX OF FLOOR COVERING	2015 EDITION
NFPA 200	SYSTEMS	2013 EDITION
NEDA 2001	CLEAN AGENT FIRE EXTINGUISHING SYSTEMS	2015 EDITION
141 1 A 2001	OLLAN AGENT TIME EXTINGUIGHING STOTEMS	ZUIU LDITION
ICC 300	STANDARDS FOR BLEACHERS, FOLDING AND	2017 EDITION
	2223	

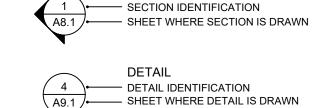
	TELESCOPIC SEATING, AND GRANDSTANDS	
SFM 12-10- SFM 12-10-	-2 SINGLE POINT LATCHING OR LOCKING	
SFM 12-10-	-3 EMERGENCY EXIT & PANIC HARDWARI	=
UL 38	MANUAL OPERATING SIGNAL BOXES	1999/2005
111 260	SMOKE DETECTODS EOD EIDE DOUTECTIVE	2000 EDIT

UL 268	SMOKE DETECTORS FOR FIRE PROTECTIVE	2009 EDITION
	SIGNALING SYSTEMS	
UL 268A	SMOKE DETECTORS DUCT APPLICATIONS	1998/2003 EDIT
UL 300	FIRE TESTING OF FIRE EXTINGUISHING SYSTEMS	2005 (R2010)
	FOR PROTECTION OF COMMERCIAL COOKING	
	EQUIPMENT	
UL 305	PANIC HARDWARE	2012 EDITION
UL 464	AUDIBLE SIGNALING DEVICES FOR FIRE ALARM	
	AND SIGNALING SYSTEMS, AND ACCESSORIES	2003 EDITION
UL 521	HEAT DETECTORS FOR FIRE PROTECTIVE	1999 EDITION
	SIGNALING SYSTEMS	
UL 864	CONTROL UNITS FOR FIRE PROTECTIVE	2003 EDITION

(W/ REVISIONS THROUGH DEC. 2014) UL 1971 SIGNALING DEVICES FOR THE HEARING IMPAIRED 2002 EDITION COMPLIANCE WITH CFC CHAPTER 33, FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION AND CBC CHAPTER 33, SAFETY DURING CONSTRUCTION WILL BE ENFORCED.

SIGNALING SYSTEMS

SYMBOLS LEGEND



SECTION / EXTERIOR ELEVATION

INTERIOR ELEVATION - INDICATES ELEVATION SHOWN — SHEET WHERE ELEVATION IS DRAWN

ROOM IDENTIFICATION CLASSROOM— ROOM NAME 102 ROOM NUMBER

SPECIFIC NOTE DOOR DESIGNATION

WINDOW DESIGNATION

ADDENDUM REVISION

CLOUD AROUND REVISION

FINISH NUMBER SEE SPECS AND I.E. DWGS. EQUIPMENT LETTER SEE EQUIPMENT SCHEDULE

CEILING HEIGHT WALL TYPE

MATCH LINE CENTER OF

/— FACE OF

PROJECT SUMMARY

THE DEMOLITION OF EXISTING ROOFING AND THE INSTALLATION OF NEW BUILD UP ROOFING ON BUILDING P.

A0.2 SITE PLAN A4.2 NEW ROOF PLAN

SHEET TOTAL = 5

THERE ARE NO DEFERRED SUBMITTALS FOR THIS PROJECT.

DESIGN TEAM

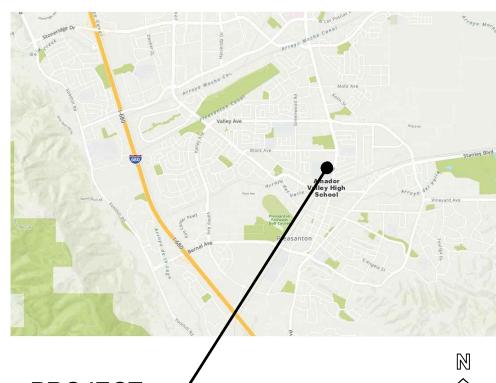
ARCHITECT SUGIMURA FINNEY ARCHITECTS 2155 SOUTH BASCOM AVENUE SUITE 200 CAMPBELL, CALIFORNIA 95008 (408) 879-0600 (408) 377-6066 FAX

ATTN: MARK FINNEY MARK@SUGIMURA.COM

DRAWING INDEX

ARCHITECTURAL A4.1 DEMOLITION ROOF PLAN A9.1 TYPICAL DETAILS

VICINITY MAP

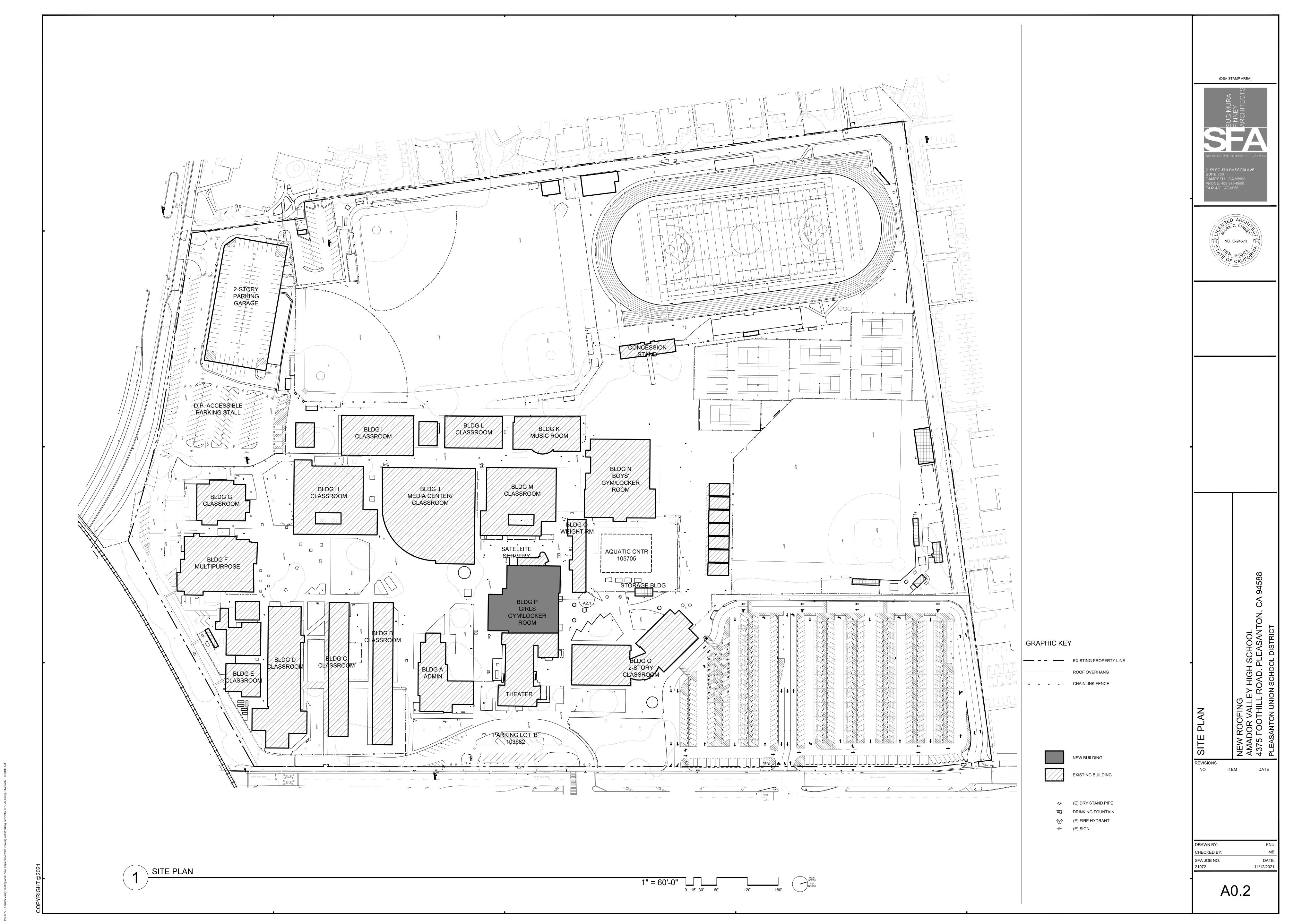


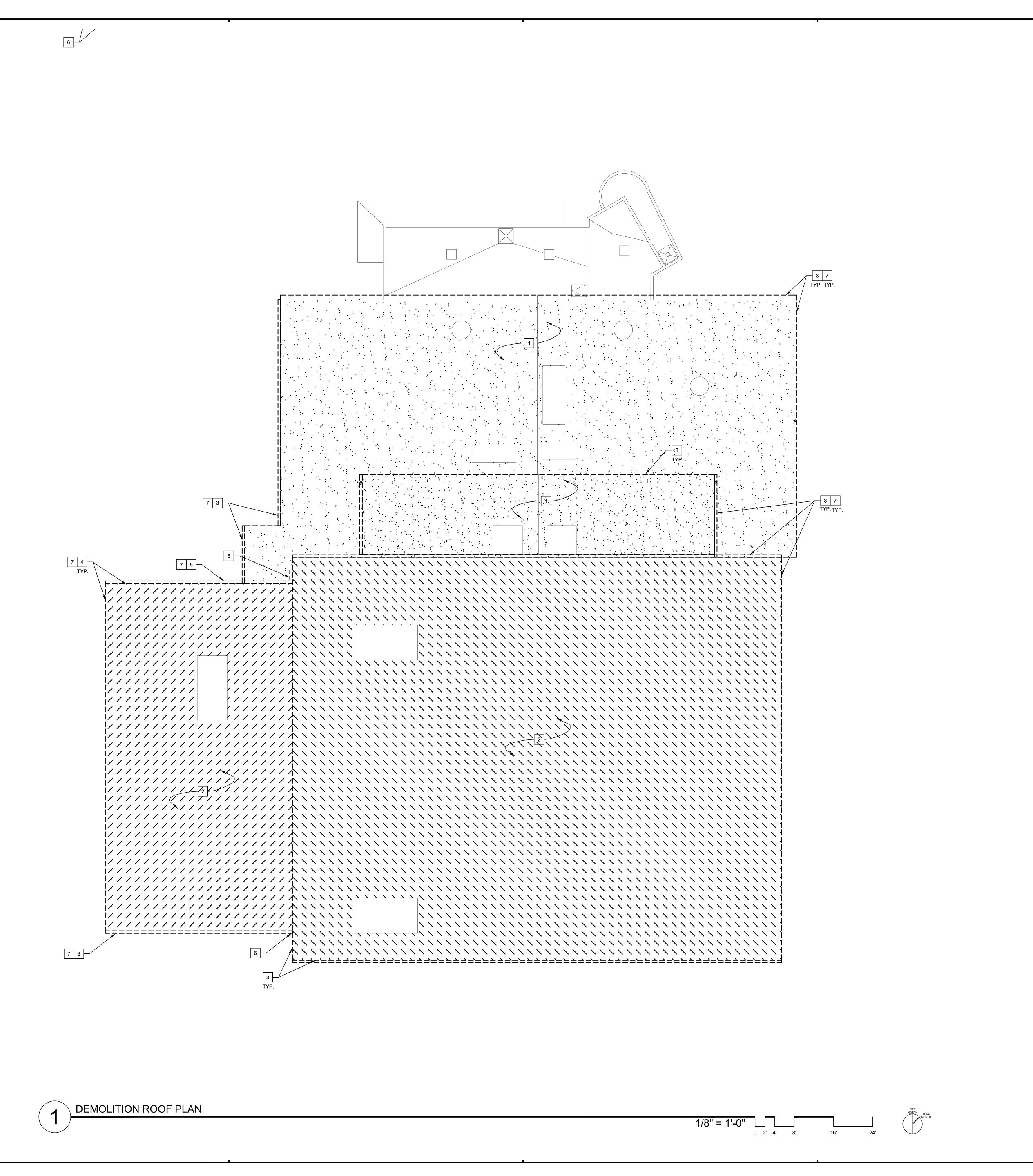


PROJECT

LOCATION

CHECKED BY SFA JOB NO:





GENERAL NOTES

- NOT ALL ROOF APPURTENANCES ARE SHOWN ON DRAWINGS. CONTRACTOR TO FIELD VERIFY QUANTITIES AND LOCATIONS OF ALL DEVICES AND EQUIPMENT. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
- CONTRACTOR TO REMOVE ALL EXISTING MECHANICAL UNITS, DUCTWORK AND ALL OTHER ROOF TOP APPURTENANCES AS INDICATED ON MECHANICAL
- CONTRACTOR TO REINSTALL AND RECONNECT ALL DEVICES THAT ARE TO REMAIN AND RETURN THEM TO WORKING ORDER. CONTRACTOR TO NOTIFY DISTRICT AND ARCHITECT OF ANY DEVICES NOT FUNCTIONING PRIOR TO
- ALL EXISTING ROOF SYSTEMS, TAPERED INSULATION, FLASHING, ETC. ARE TO BE REMOVED AND PREPARED FOR INSTALLATION OF NEW ROOFING AND FLASHING SYSTEMS
- PATCH AND REPAIR BUILT-UP ROOFING WHERE REQUIRED IN ADJACENT AREAS AS A RESULT OF NEW WORK.
- COORDINATE SLEEPER LOCATIONS WITH MECHANICAL, PLUMBING, AND/OR
- ELECTRICAL AS REQUIRED. SEE DETAILS 5 AND 6/A9.1. FOR PIPES OR CONDUITS THROUGH ROOF, SEE DETAIL 4/A9.1.
- CONTRACTOR TO ASSUME 10% OF EXISTING ROOF DECKING, FASCIA AND RIM JOIST IS DAMAGED AND WILL NEED REPLACEMENT. REPLACEMENT IS TO BE IN KIND, IN LOCATION.



(DSA STAMP AREA)

DEMOLITION ROOF PLAN NOTES

- REMOVE (E) FLAT TAR AND GRAVEL ROOF SYSTEM TO EXPOSED DECKING. REMOVE (E) B.U.R. SYSTEM TO EXPOSED DECKING. CONTRACTOR RESPONSIBLE FOR COVERING GYM FLOOR DURING DEMOLITION TO PROTECT FROM DEBRIS AND PREVENT ANY DAMAGE TO GYM FLOOR.
- REMOVE (E) WOOD FASCIA, GUTTER AND METAL EDGE COPING. EXISTING ROOF AND SUPPORT TO BE CUT BACK FOR NEW OUTSIDE MOUNT GUTTER, SEE DETAILS 10 & 11/A9.1 @ LOCKER ROOM BUILDING.
- REMOVE (E) WOOD FASCIA, GUTTER AND METAL EDGE COPING. EXISTING ROOF AND SUPPORT TO BE CUT BACK FOR NEW OUTSIDE MOUNT GUTTER, SEE DETAIL 8 & 9/A9.1 @ EXERCISE ROOM BUILDING. 5. REMOVE (E) ROOF LADDER.
- 6. DAMAGED CEMENT PLASTER, REMOVE LOOSE DEBRIS OF DAMAGED CEMENT PLASTER AND PREP FOR NEW CEMENT PLASTER REPAIR/PATCH UNDER EAVES OF OVERHANGS AROUND GYM AND LOCKER PORTION OF
- BUILDING. REMOVE AREAS OF DAMAGED SOFFIT UNDER OVERHANG, PREP FOR NEW.

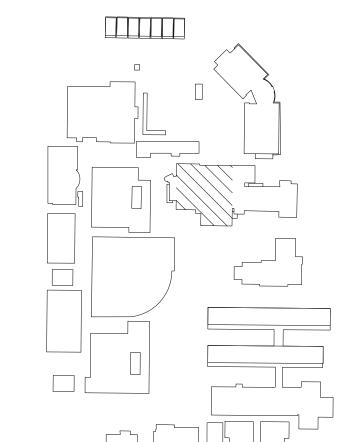


EXISTING ROOFING TO BE REMOVED

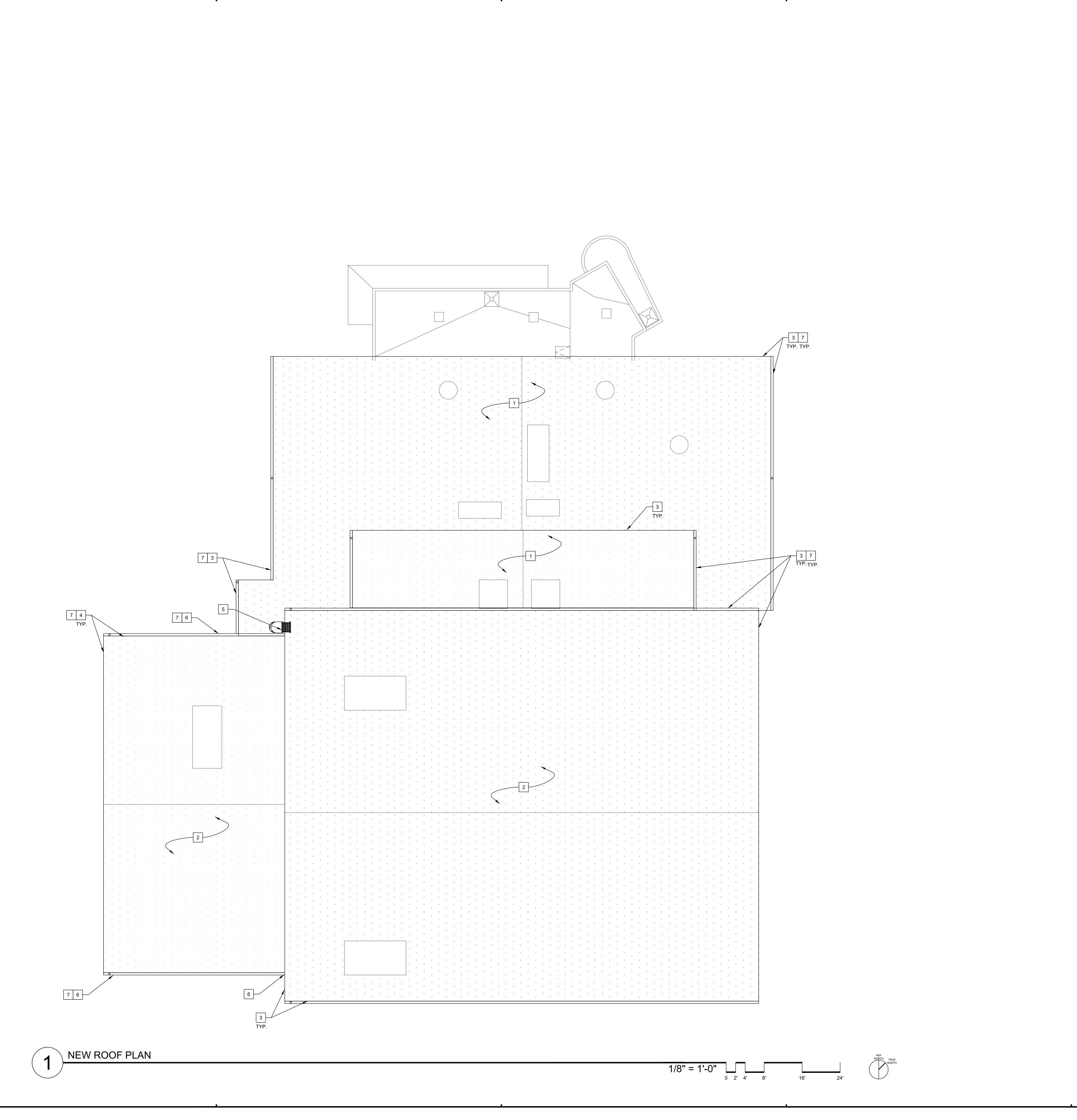
---- EXISTING TO BE DEMOLISHED

EXISTING GRAVEL ROOFING TO BE REMOVED

BUILDING KEY



CHECKED BY: SFA JOB NO:



GENERAL NOTES

- NOT ALL ROOF APPURTENANCES ARE SHOWN ON DRAWINGS. CONTRACTOR TO FIELD VERIFY QUANTITIES AND LOCATIONS OF ALL DEVICES AND EQUIPMENT. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL SCOPE OF WORK.
- CONTRACTOR TO REMOVE ALL EXISTING MECHANICAL UNITS, DUCTWORK AND ALL OTHER ROOF TOP APPURTENANCES AS INDICATED ON MECHANICAL
- CONTRACTOR TO REINSTALL AND RECONNECT ALL DEVICES THAT ARE TO REMAIN AND RETURN THEM TO WORKING ORDER. CONTRACTOR TO NOTIFY DISTRICT AND ARCHITECT OF ANY DEVICES NOT FUNCTIONING PRIOR TO
- ALL EXISTING ROOF SYSTEMS, TAPERED INSULATION, FLASHING, ETC. ARE TO BE REMOVED AND PREPARED FOR INSTALLATION OF NEW ROOFING AND
- FLASHING SYSTEMS PATCH AND REPAIR BUILT-UP ROOFING WHERE REQUIRED IN ADJACENT
- AREAS AS A RESULT OF NEW WORK. COORDINATE SLEEPER LOCATIONS WITH MECHANICAL, PLUMBING, AND/OR ELECTRICAL AS REQUIRED. SEE DETAILS 5 AND 6/A9.1.
- FOR PIPES OR CONDUITS THROUGH ROOF, SEE DETAIL 4/A9.1. CONTRACTOR TO ASSUME 10% OF EXISTING ROOF DECKING, FASCIA AND RIM
- JOIST IS DAMAGED AND WILL NEED REPLACEMENT. REPLACEMENT IS TO BE IN KIND, IN LOCATION.

(DSA STAMP AREA)

- DEMOLITION ROOF PLAN NOTES
- 1. (N) B.U.R. SYSTEM. 2. (N) B.U.R. SYSTEM
- 3. (N) GUTTERS.
- 4. (N) WOOD FASCIA AND METAL EDGE COPING.
- (N) ROOF LADDER.
- 6. (N) CEMENT PLASTER PATCH REPAIR, PAINT TO MATCH EXISITNG SURFACE.
- 7. NEW SOFFIT, MATCH IN KIND.

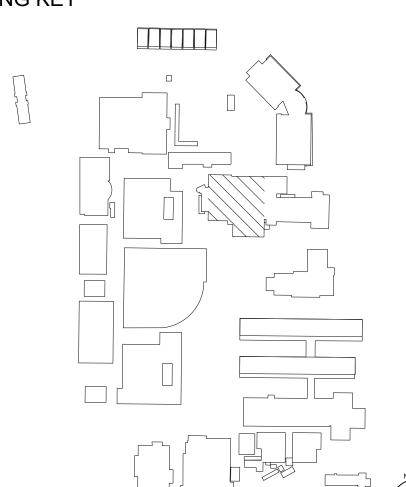
DEMOLITION ROOF PLAN NOTES

- 1. REMOVE (E) FLAT TAR AND GRAVEL ROOF SYSTEM TO EXPOSED DECKING. 2. REMOVE (E) B.U.R. SYSTEM TO EXPOSED DECKING. CONTRACTOR
- RESPONSIBLE FOR COVERING GYM FLOOR DURING DEMOLITION TO PROTECT FROM DEBRIS AND PREVENT ANY DAMAGE TO GYM FLOOR.
- REMOVE (E) WOOD FASCIA, GUTTER AND METAL EDGE COPING. EXISTING ROOF AND SUPPORT TO BE CUT BACK FOR NEW OUTSIDE MOUNT GUTTER, SEE DETAIL 10 & 11/A9.1 @ LOCKER ROOM BUILDING.
- 4. REMOVE (E) WOOD FASCIA, GUTTER AND METAL EDGE COPING. EXISTING ROOF AND SUPPORT TO BE CUT BACK FOR NEW OUTSIDE MOUNT GUTTER, SEE DETAIL 8 & 9/A9.1 @ EXERCISE ROOM BUILDING. 5. REMOVE (E) ROOF LADDER, SEE DETAIL 14/A9.1
- 6. DAMAGED CEMENT PLASTER, REMOVE LOOSE DEBRIS OF DAMAGED CEMENT PLASTER AND PREP FOR NEW CEMENT PLASTER REPAIR/PATCH UNDER EAVES OF OVERHANGS AROUND GYM AND LOCKER PORTION OF
- BUILDING. REMOVE AREAS OF DAMAGED SOFFIT UNDER OVERHANG, PREP FOR NEW.

GRAPHIC KEY

NEW ROOFING SYSTEM.

BUILDING KEY



SFA JOB NO:

A4.2

