



STATE OF CONNECTICUT – COUNTY OF TOLLAND
INCORPORATED 1786

TOWN OF ELLINGTON

55 MAIN STREET – PO BOX 187
ELLINGTON, CONNECTICUT 06029-0187
www.ellington-ct.gov

TEL. (860) 870-3120 TOWN PLANNER'S OFFICE FAX (860) 870-3122

PLANNING AND ZONING COMMISSION REGULAR MEETING AGENDA MONDAY, JUNE 27, 2022, 7:00 PM

IN-PERSON ATTENDANCE: TOWN HALL ANNEX, 57 MAIN STREET, ELLINGTON, CT
REMOTE ATTENDANCE: VIA ZOOM MEETING, INSTRUCTIONS PROVIDED BELOW

I. CALL TO ORDER:

II. PUBLIC COMMENTS (On non-agenda items):

III. PUBLIC HEARING(S):

1. Z202203 - Juliano Family One, LLC, owner/Brian Juliano, applicant, request to modify Special Permit and Site Plan Approval to move retention pond approved in phase I, expand pavement for parking and outdoor storage, and associated site improvements at 100 Windermere Avenue, APN 018-021-0000, in the IP (Industrial Park) Zone. (*Opening of hearing tabled May 23, 2022.*)
2. S202201 – Ellington McIntire, LLC, owner/applicant, request for a three lot subdivision (two new lots) for 153 Webster Road, APN 185-001-0000, in a RAR (Rural Agricultural Residential) Zone. (*Notice requirements met, hearing may be opened.*)

IV. OLD BUSINESS: None

V. NEW BUSINESS:

1. Z202209 – Derek and Darla Reutter, owner/applicant, request for Special Permit pursuant to Section 3.1.3 for garages for more than 3 cars per family unit associated with the construction of a detached accessory structure (24'x36') at 297 Jobs Hill Road, APN 159-019-0000, in a RAR (Rural Agricultural Residential) Zone. (*For receipt & scheduling of public hearing.*)

VI. ADMINISTRATIVE BUSINESS:

1. Approval of the May 23, 2022 Regular Meeting Minutes.
2. Correspondence/Discussion:
 - a. Discussion: Potential discontinuation of use of the Community United Methodist Church parking lot as a town-shared parking lot at 280 Sandy Beach Road, APN 128-019-0000.
 - b. Discussion: Existing moratorium for adult-use cannabis facilities and recent legislative amendments removing population thresholds as a measure for limiting adult-use cannabis retail and cultivator facilities.

- c. Notice of Virtual Public Information Meeting (June 28, 2022) from the Department of Transportation for proposed improvements to the intersection of Route 140 and Burbank Road (Project No. 0047-0121).
- d. Discussion: Section 6.3.7.B–Detached Signs, C & I Zones for Electronic Fuel Price Signs.

VII. ADJOURNMENT:

Next Regular Meeting is scheduled for July 25, 2022.

Instructions to attend remotely via Zoom Meeting listed below. The agenda is posted on the Town of Ellington webpage (www.ellington-ct.gov) under Agenda & Minutes, Planning & Zoning Commission.

Join Zoom Meeting via link:

<https://us06web.zoom.us/j/86527040919>

Meeting ID: 865 2704 0919

Passcode: 724229

Join Zoom Meeting by phone:

1-646-558-8656 US (New York)

Meeting ID: 865 2704 0919

Passcode: 724229

Town of Ellington

Planning Department

55 Main Street, PO Box 187, Ellington, CT, 06029/Phone: 860-870-3120/lhoulihan@ellington-ct.gov

DATE: June 21, 2022

TO: Planning and Zoning Commission

FROM: Lisa M. Houlihan, AICP, Town Planner

RE: Z202203 - Juliano Family One, LLC, owner/Brian Juliano, applicant, request to modify Special Permit and Site Plan Approval to move retention pond approved in phase I, expand pavement for parking and outdoor storage, and associated site improvements at 100 Windermere Avenue, APN 018-021-0000, in the IP (Industrial Park) Zone. (Hearing tabled from May 23, 2022.)

The public hearing notice requirements for Z202203 have been met and the hearing is expected to commence at the Planning and Zoning Commission (PZC) meeting on June 27, 2022, however the hearing cannot be closed nor decision rendered until the concurrent application pending before the Inland Wetlands Agency (IWA) is present. The IWA commenced review on June 13, 2022, and will continue review on July 18, 2022.

Enclosed is a copy of the latest comments from the Town Engineer to the IWA (dated June 10, 2022), the IWA meeting minutes (June 13, 2022), latest revised site development plans and narrative pages from the drainage report (May 26, 2022), photometric plan, and a copy of the Special Permit granted for phase I approvals for 100 Windermere Avenue (File Z202113).

Town of Ellington Planning & Zoning Commission Application

Type of Application: <input type="checkbox"/> Zone Change <input type="checkbox"/> Amendment to Regulation <input checked="" type="checkbox"/> Site Plan Approval <input checked="" type="checkbox"/> Special Permit <input checked="" type="checkbox"/> Modification <input type="checkbox"/> CGS 8-24	Application # <div style="background-color: yellow; padding: 2px;">Z202203</div> Date Received <div style="font-size: 1.2em;">3/25/2022</div>
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Notices associated with this application will be sent to the applicant, if different than the owner, unless otherwise requested.

Owner's Information

Name: Juliano Family One LLC

Mailing Address: 321 Talcottville Rd
Vernon, CT 06066

Email: briana@julianospoils.com

WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No

Primary Contact Phone #: 860 729 6869

Secondary Contact Phone #: _____

Signature: Media Upld Date: 3/25/22

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Commission have been submitted. Moreover, by signing above I/we expressly provide written consent to the filing of the application and access to the site by the Commission or its staff.

Notices associated with this application will be sent to the applicant, if different than the owner, unless otherwise requested.

Applicant's Information (if different than owner)

Name: _____

Mailing Address: Same as owner

Email: _____

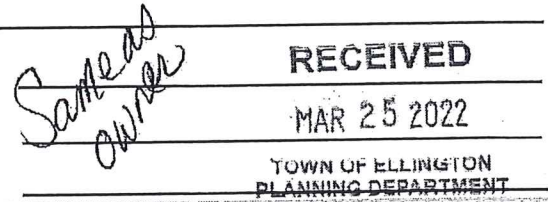
WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No

Primary Contact Phone #: _____

Secondary Contact Phone #: _____

Signature: _____ Date: _____

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Commission have been submitted.



Street Address: 100 Windermere Ave

Assessor's Parcel Number (APN): 018 - 021 - 0000 Existing Zone: IP Proposed Zone: N/A
(If unaware of APN, please ask staff for assistance) (If none, insert "N/A")

Public Water: Yes No Public Sewer: Yes No *If not served by public water and sewer, applicant/owner shall make application to North Central District Health Department (Enfield Office).*

Is parcel within 500' to any municipal boundary? Yes No

Are there any wetlands/watercourses within 100' of construction activity or within 250' of wetlands/watercourses when located in the Shenipsit Lake Drainage Basin? Yes No *If yes, pursuant to state law application must be made to the Inland Wetlands Agency prior to or simultaneously with application to the Planning and Zoning Commission.*

Is the project in a public water supply watershed area? Yes No *If yes, applicant shall notify Connecticut Water Company and Commissioner of Public Health about the proposed project by certified mail return receipt within 7 days of application (§8-3(b)). Copy of application, plans, and supporting documents must accompany notice. Proof of notice and copies of return receipts must be provided to the Planning Department.*

Description of Request (if more space is needed, please attach additional sheets)

Phase 2 of expansion - move retention pond from original proposed location to new proposed location - expand asphalt on upper parking for trailers - expand field area for a milling area for storage + additional trailer parking - plantings in wetland + field for screening

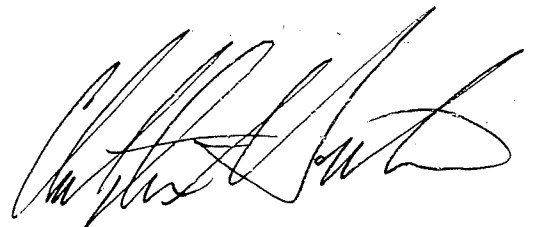
JULIANO ASSOCIATES, LLC
405 MAIN STREET
YALESVILLE, CONNECTICUT 06492
203-265-1489

STORMWATER DRAINAGE REPORT

PROPOSED IMPROVEMENTS

#100 WINDERMERE AVENUE
ELLINGTON, CONNECTICUT
MAY 26, 2022

RECEIVED
MAY 31 2022
TOWN OF ELLINGTON
PLANNING DEPARTMENT

A handwritten signature in black ink, appearing to be "Charles A. Smith", is located at the bottom right of the page.

STORM WATER DRAINAGE SYSTEM REPORT

HYDROLOGY & METHODOLOGY

The principal method of predicting the surface water runoff rates utilized in this report is a computer model based upon the SCS/TR-20 watershed modeling. The model forecasts the rate of surface water runoff and river flow rates based upon several factors. The input data includes information on land use, soil types, vegetation, watershed areas, time of concentrations, rainfall data, storage volumes, and hydraulic capacities of structures. The computer model predicts the amount of runoff as a function of time, including the attenuation effects due to wetlands, floodplains, bodies of water, and man made storage facilities. Runoff rates during specific rainstorms may vary due to different assumptions concerning soil moisture, water levels in ponds, snowmelt, and rainfall patterns.

The input data for rainfall with statistical recurrence frequencies of 2, 5, 10, 25, 50 and 100 years were obtained from the U.S. Weather Bureau Technical Papers. The National Weather Service developed four synthetic storms to simulate rainfall patterns around the country. For analysis within Connecticut, the type III rainfall pattern with a 24-hour distribution is valid. Years 2, 5, 10, 25, 50 and 100 year storms have been provided in the drainage report.

SITE SPECIFIC NARRATIVE

The subject site is a 250,228 Sq. Ft. (5.74 Acre) parcel located at the intersection of Windermere Avenue and Lower Butcher Road in Ellington Connecticut. The property is in the industrial park (IP) Zone. The existing site consists of commercial building with outdoor vehicle and material storage. This property was analyzed from the existing roadways to the existing wetlands. The proposed application is an extension of a previously approved site plan for the property.

The changes from the originally approved site plan include the moving of the proposed detention basin further east into the exiting wetland area. There will also be an addition of millings to the south east of the building which will be installed for outdoor storage. There will also be some minor relocation of existing wetland soils.

The proposed outdoor storage area will be constructed of approximately 17,000 sq ft of millings. This area will be graded to a small swale to the northwest and piped under the milling area. This stormwater will discharge into the proposed detention basin. The proposed detention basin will also capture all previously approved changes to the site. The excavation in the rear of the property will result in a net cut of 24,249 Cubic feet of compensatory storage volume.

The proposed rear area of the property will be graded to predominantly sheet flow into the proposed shallow detention basin. This detention basin will also receive the overflow from the front underground detention system as well as surface runoff from the proposed milling storage area. This detention basin will be predominantly grass lined except for the overflow weir. This weir will be 17.5' wide and will be lined with 10' of stone. The bottom of the basin will be at 222.5, have a top/berm elevation of 224.5 and a weir elevation of 222.75. The sides of the basin will be graded at a 6'H:1'V slope. During the 100 year storm the water elevation reaches 223.24' which will leave over 1' of freeboard on the berm. The test pit revealed soils that would drain quickly, however, a conservative infiltration rate of 1inch/hr was used.

Due to existing site conditions and ground water elevation, there is not a way to achieve 3' of separation distance from the bottom of the detention basin to the ground water elevation. Due to site constraints, we are able to achieve 0.5' of separation distance to groundwater in the rear detention basin. This will be a significant improvement over what is currently on the site as there is no stormwater management. Completing the Water Quality Calculation as per the 2004 DOT Drainage Manual, the required volume for the site is 796.88 Cubic Feet. $WQV = (1'')(R)(A)/12 = (1'')(0.3821)(5.74)/12 = 0.182771$ Acre - Ft = 796.88 Cubic Feet. The proposed detention basin has a volume at the weir of 16,930 Cubic Feet.

Existing Property

<u>Event</u>	<u>Inflow (cfs)</u>
2 - Year	7.24
5 - Year	11.37
10 - Year	15.39
25 - Year	22.29
50 - Year	28.82
100 - Year	36.68

Proposed Property

<u>Event</u>	<u>Inflow (cfs)</u>
2 - Year	<u>3.88</u>
5 - Year	<u>8.37</u>
10 - Year	<u>12.63</u>
25 - Year	<u>19.12</u>
50 - Year	<u>24.90</u>
100 - Year	<u>31.78</u>

Proposed Rear Detention Basin

<u>Event</u>	<u>Inflow (cfs)</u>	<u>Primary (cfs)</u>	<u>Elevation (feet)</u>	<u>Storage (cubic – feet)</u>
2 - Year	8.34	2.74	222.91	,6579
5 – Year	11.18	5.70	223.01	8,214
10 – Year	13.77	8.45	223.08	9,438
25 – Year	17.97	12.47	223.17	10,968
50 – Year	21.78	15.90	223.23	12,096
100 - Year	26.26	19.91	223.30	13,287

In summary,

As indicated within the previous tables, the post construction flows leaving the site will be less than existing conditions flows for all storm events up to and including the 100-year design storm thereby confirming that the project's storm water handling plan meets the Town and State requirements for storm water management.

Juliano Associates, LLC
Christopher S. Juliano, PELS #19725



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COPY

CERTIFICATE OF SPECIAL PERMIT

GRANTED BY THE ELLINGTON PLANNING AND ZONING COMMISSION

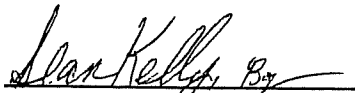
At their meeting on January 24, 2022 the Ellington Planning and Zoning Commission voted to approve the following Special Permit:

1. Application Number: Z202113
2. Owner of Record: Juliano Family One, LLC
321 Talcottville Road
Vernon, CT 06066
3. Applicant(s): Brian Juliano
321 Talcottville Road
Vernon, CT 06066
4. Description of Premises: 100 Windermere Avenue, APN 018-021-0000
5. Special Permit to expand storage yard, expand pavement for parking and outdoor storage, detached signage, landscaping and associated improvements.
6. Conditions of approval:
 1. Approved plans include sheets 1 & 2 dated 5/26/21 and revised 7/21/21, 8/25/21, 9/24/21 and 12/8/21; sheet 3 of 5 dated 6/18/21; sheet 4 of 5 dated 9/23/21; sheet 5 of 5 dated 10/8/21, and lighting plan sheet SL-IC dated 12/7/21.
 2. Sheets 1 of 5 and 2 of 5 shall be corrected to show the wetland boundaries and upland review line as determined by field delineation.
 3. Parking of vehicles, trailers and other construction equipment is strictly limited to inside of the building and spaces shown on the approved site plan (sheet 2 of 5, dated 12/8/21).
 4. Parking spaces shall be laid out on the parking surface with paint as shown on sheet 2 of 5, dated 12/8/21, to provide a permanent delineation between spaces as shown on the approved site plan (sheet 2 of 5, dated 12/08/21) and maintained in perpetuity.
 5. Storage of other equipment shall be limited to inside of the building or bituminous parking area.
 6. Landscaping, including the sodded area near the intersection of Windermere Avenue and Lower Butcher Road, shall be maintained in perpetuity and dead or dying vegetation replaced within the current or next growing season, generally April through October annually.
 7. Landscaping shall be installed as shown on plan sheet 2 of 5, dated 12/08/21.
 8. Lighting proposed on the east side of the building is limited to what is shown on the approved plans. Light fixtures shall be down lit.
 9. Site improvements shown on the approved plans, with the exception of the grass lined detention basin adjacent to wetlands line WL1-WL11, shall be complete as soon as practical, but no later than May 30, 2022. In the event the May 30th deadline cannot be met, the applicant shall apply to the Planning and Zoning Commission for modification of approvals.

10. All vehicles, equipment, supplies, etc. shall be relocated from the 2.3 acres of land acquired to the east of 100 Windermere Avenue, formerly land of Carlson, to inside the buildings or the bituminous paved area no later than April 30, 2022. If phase II approvals are not secured by June 30, 2022, the land shall be restored to its previous natural condition no later than August 30, 2022.
11. If alternative drainage provisions are not approved by June 30, 2022, the grass lined swale approved for Z202113 shall be constructed by July 30, 2022.
12. An as-built drawing for detention facilities is required upon completion and shall be in compliance with approved plans.
13. Detached sign is subject to issuance of a zoning permit and shall be in compliance with Section 6.3.7 Detached Signs Permitted in C, PC, I, and IP zones.
14. Standard daily hours of operation shall be no earlier than 6 o'clock a.m. and later than 10 o'clock p.m., unless to accommodate emergency situations such as, but not limited to, vehicular/equipment breakdowns, inclement weather, or utility failures.
15. Phase II plans shall include buffer plantings south of Lower Butcher Road and along the eastern property line to adequately screen parking and storage east of the existing building. If Phase II approvals are not secured by June 30, 2022, the applicant shall apply to the Planning and Zoning Commission to modify Phase I (Z202113) approvals to include screening provisions.
16. Any work within the town right-of-way requires a permit from the Department of Public Works.

This Special Permit must be filed in the Office of the Town Clerk to become effective per CGS Section 8-3(d) following the 15-day appeal period which started on: January 26, 2022.

ELLINGTON PLANNING AND ZONING COMMISSION


Sean Kelly, Vice-Chairman



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INLAND WETLANDS AGENCY REGULAR MEETING MINUTES MONDAY, JUNE 13, 2022, 7:00 P.M.

IN PERSON ATTENDANCE: TOWN HALL ANNEX, 57 MAIN STREET, ELLINGTON, CT
REMOTE ATTENDANCE: ZOOM MEETING
(ATTENDEES BELOW WERE IN PERSON UNLESS OTHERWISE NOTED)

PRESENT: Chairman Jean Burns, Vice Chairman Katherine Heminway, Regular members Ken Braga, Ron Brown, Art Aube and Hocine Baouche

ABSENT: Regular member Steve Hoffman

STAFF

PRESENT: John Colonese, Assistant Town Planner/Wetland Enforcement Officer and Barbra Galovich, Land Use Assistant/Recording Clerk

I. CALL TO ORDER: Chairman Jean Burns called the Ellington Inland Wetlands Agency meeting to order at 7:00 pm.

II. PUBLIC COMMENTS (on non-agenda items): None

III. PUBLIC HEARINGS:

- 1. IW202110 - Juliano Family One LLC, owner/ Brian Juliano, applicant, request for modification to Wetlands Permit IW202110 to construct a detention basin and outside storage area at 100 Windermere Ave., APN 018-021-0000.**

Time: 7:01 pm

Seated: Burns, Heminway, Braga, Brown, Aube and Baouche

Christopher Juliano (via Zoom), Juliano Associates, LLC, 405 Main Street, Wallingford, CT and Brian Juliano (arrived via Zoom at 7:07 pm), Juliano Pools, 321 Talcottville Road, Vernon, CT were present to represent the application.

Christopher Juliano said his office has been reacting to what Brian Juliano has been doing onsite. He requested the commission continue the public hearing to the next month since George Logan, Soil Scientist, was not able to attend tonight's meeting and it would allow them time to submit outstanding items required for the commission to make a decision. He noted he was in receipt of Dana Steele, Town Engineer, email comments dated June 10,

2022 and added that he made the previously requested changes to the plans. He noted this is a frustrating situation for him as well as the Agency as things onsite keep on changing.

Christopher Juliano said the applicant should be present at the meeting to explain his actions and George Logan is the individual that should also be in attendance to explain to the Agency how the applicant should be remediating and restoring the disturbed wetlands on the site.

Mr. Colonese asked the Agency to review the Town Engineer's comments and recommendations received in an email dated June 10, 2022. He noted he conducted inspections of the property on June 6th & 8th and found piles of material, concrete blocks, gravel storage areas, and storage items within the area delineated as inland wetlands according to the site plan. Wetland flagging was not visible and he does not recommend approval of a permit at this time. He recommends the Agency continue the public hearing to the July 18, 2022 meeting to allow the applicant time to comply with the Town Engineer's comments and recommendations noted in the June 10, 2022 email. Mr. Colonese also said a functional and qualitative analysis, describing the ecological communities and functions of the wetlands, watercourses and upland review areas affected by the proposed regulated activity and the effects of the proposed regulated activities on these communities and wetland functions, is outstanding along with restoration and planting recommendations as noted on the plans.

MOVED (BRAGA) SECONDED (HEMINWAY) AND PASSED UNANIMOUSLY TO MAKE A DETERMINATION OF A SIGNIFICANT ACTIVITY FOR IW202110-REQUEST FOR MODIFICATION.

Commissioner Brown ask if they can ensure no additional activity on the site. Mr. Colonese said there should be activity to restore the site. Commissioner Baouche asked the engineer and applicant to have better communications about steps moving forward to meet all outstanding requirements and to reach out to the Wetlands Agent for assistance.

Brian Juliano stated he has received the Town Engineer's June 10, 2022 comments and noted he is willing to address the comments.

Vice Chairman Heminway inquired about the horses and a cow on the property and asked if they will be there permanently. Brian Juliano said they are not permanent. Mr. Colonese reiterated that activity has extended into the wetlands based on the plans provided.

Brian Juliano stated he met with George Logan onsite and Mr. Logan explained to him step by step how to pull the materials away from the wetlands. He said after he is done, Mr. Logan will inspect the site and re-flag the wetlands.

There were no comments from the public.

MOVED (BRAGA) SECONDED (HEMINWAY) AND PASSED UNANIMOUSLY TO CONTINUE THE PUBLIC HEARING TO THE JULY 18, 2022 REGULAR MEETING FOR IW202110 - Juliano Family One LLC, owner/Brian Juliano, applicant, request for modification to Wetlands Permit IW202110 to construct a detention basin and outside storage area at 100 Windermere Ave., APN 018-021-0000.

TO ALLOW THE APPLICANT TIME TO COMPLY WITH THE FOLLOWING:

- Town Engineer's comments and recommendations in the June 10, 2022 email.
- Submit a functional and qualitative analysis, describing the ecological communities and functions of the wetlands, watercourses and upland review areas affected by the proposed regulated activity and the effects of the proposed regulated activities on these communities and wetland functions.
- Submit restoration and planting recommendations as noted on the plans.

IV. OLD BUSINESS: None

V. NEW BUSINESS:

1. IW202205 - Ellington McIntire, LLC, owner/applicant, request for a permit to conduct regulated activity to construct a single family home and site improvements associated with a 2-lot subdivision at 153 Webster Road, APN 185-001-0000.

Commissioner Aube recused himself from the application.

Mark Peterson, Gardner & Peterson Associates, LLC, 287 Hartford Turnpike, Tolland, CT was present to represent the application.

Mr. Peterson explained the parcel is on the east side of Webster Road, the owner is looking to cut two parcels on the northwest side of the property for two new single family lots. Mr. Peterson reviewed the plan showing the two single family lots to be subdivided from the larger parcel. Lot 1 will consist of 3.54 acres and Lot 2 will consist of 3.05 acres. The owner has received approval from the North Central District Health Department for the two lots. Mr. Peterson stated they can address the Town Engineer's comments from June 10, 2022.

Mr. Colonese recommended possible conditions of approval. First, approval to be granted for activity associated with Lots 1 and 2 only. Second, approval shall comply with the Town Engineer's Wetlands Agency comments dated June 10, 2022. Third, the erosion control measures shall be installed then inspected by the wetlands agent prior to activity, and remain fully operational until the site is stabilized.

MOVED (HEMINWAY) SECONDED (BRAGA) AND PASSED UNANIMOUSLY TO MAKE A DETERMINATION OF A NONSIGNIFICANT ACTIVITY FOR IW202205.

MOVED (BAOUCHE) SECONDED (BRAGA) AND PASSED UNANIMOUSLY TO APPROVE WITH CONDITIONS IW202205 - Ellington McIntire, LLC, owner/applicant, request for a permit to conduct regulated activity to construct a single family home and site improvements associated with a three lot subdivision (two new lots) at 153 Webster Road, APN 185-001-0000.

CONDITIONS:

- 1) Approval granted for activity associated with Lots 1 and 2 only.
- 2) Approval shall comply with the Town Engineer's Wetlands Agency comments dated June 10, 2022.
- 3) Erosion control measures shall be installed then inspected by the wetlands agent prior to activity, and remain fully operational until the site is stabilized.

VI. ADMINISTRATIVE BUSINESS:

1. Approval of the May 9, 2022 Regular Meeting Minutes.

MOVED (HEMINWAY) SECONDED (AUBE) AND PASSED UNANIMOUSLY TO APPROVE THE MAY 9, 2022 REGULAR MEETING MINUTES AS WRITTEN.

2. Correspondence/Discussion:

- a. 18 Meadow Brook Road – Roaring Brook Farm Waste Management Project

Mr. Colonese explained the location of Roaring Brook Farm at 18 Meadow Brook Road. He said the North Central Conservation District has been working with the Aborns, DEEP, and NRCS on a project at Roaring Brook Farm, using 319 Clean Water Act funds, federal EQIP funds, and the farm's funds to build a barn to house and contain the cows, keeping them from accessing the brook. They will also be building a waste facility so the farm can store manure and use it when appropriate. Mr. Colonese showed the commission a site plan. The proposed project will be out of the wetlands and upland review area as the delineated by the NRCS.

VII. ADJOURNMENT:

MOVED (HEMINWAY) SECONDED (AUBE) AND PASSED UNANIMOUSLY TO ADJOURN THE JUNE 13, 2022 REGULAR MEETING OF THE INLAND WETLANDS AGENCY AT 7:26 PM.

Respectfully submitted,

Barbra Galovich, Recording Clerk

Barbra Galovich

From: Dana Steele <dsteale@jrrusso.com>
Sent: Friday, June 10, 2022 5:27 PM
To: John Colonese
Cc: Barbra Galovich
Subject: IW202110 - Juliano Family One LLC, 100 Windermere Ave

COPY

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

John,

I have reviewed the revised plans and drainage report by Juliano Associates dated 5/26/22 for 100 Windermere Ave. My comments related to inland wetlands are as follows:

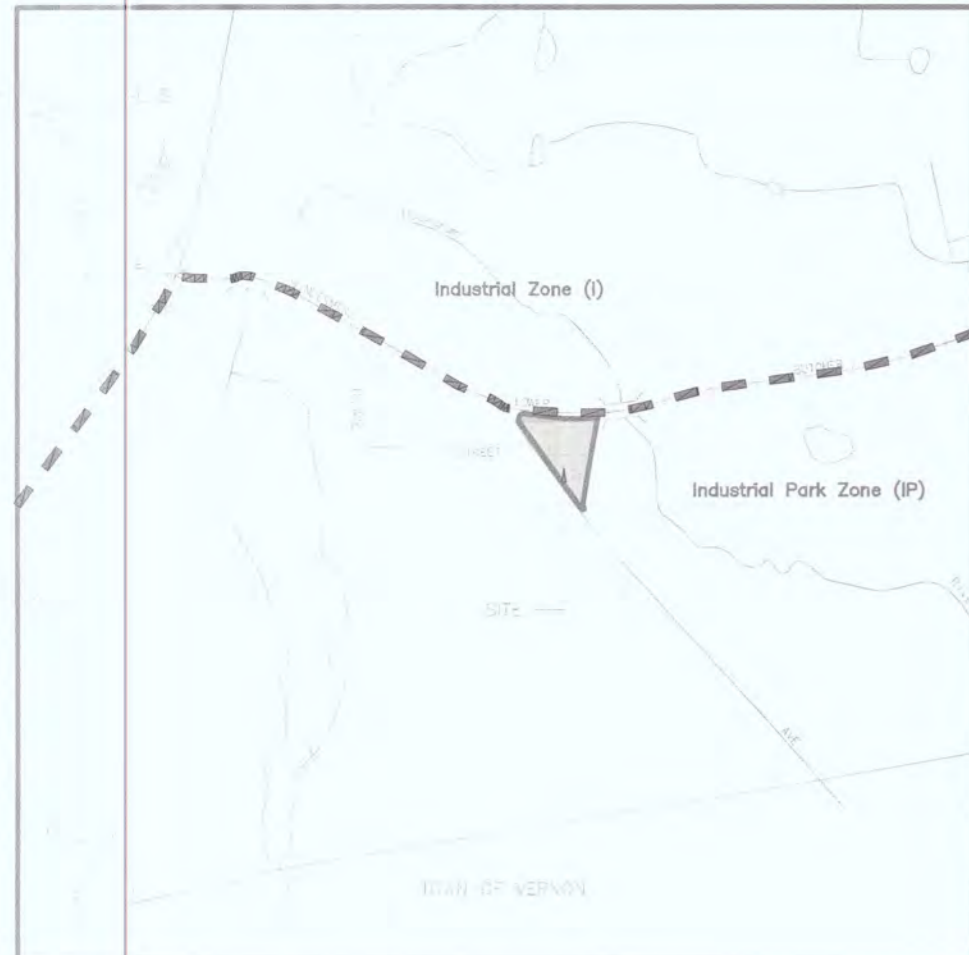
1. The line types on the plan do not clearly delineate the limits of existing and proposed millings, swale and access driveway.
2. The 3 material stockpile areas shown on the plan appear to be temporary and schematic (not to scale). What material is being stored, why and how long? An existing concrete block enclosure for stone storage is shown within the area proposed as wetland enhancement. Will this be moved or the enhancement area modified?
3. The plan shows a dashed line encompassing the 675 s.f. shaded area of wetland disturbance. This appears to be the approximate limits of a large topsoil stockpile and screener which we observed during our site visit on Monday. This stockpile encroaches significantly beyond the proposed limits of disturbance. Plans for removal and restoration of the disturbed wetlands should be provided.
4. A newly installed 12'x16' shed for water truck filling is now shown on the plans along with a riprap plunge pool between the shed and the stormwater pond. It is unclear how this will operate. The applicant should provide a narrative describing the purpose of this plunge pool and the nature of its discharge for the Commission to determine whether this has any impact on water quality.
5. There are sheds, trailers and equipment storage which we observed during our site visit on Monday which are not shown on the survey. All existing and proposed activities, structures and materials within the wetland regulated area should be shown on the plans.
6. During our site visit on Monday we observed that the existing headwall within the right-of-way has been damaged due to vehicles using the curb cut on Windermere Ave. It appears this curb cut needs to be relocated further to the west. Moving the curb cut will promote the protection and performance of this drainage way.
7. The existing HDPE culvert under the Windermere driveway is partially crushed and restricting flow from the town's culvert. The applicant has not demonstrated that their driveway culverts or the 6" deep swale along the western limit of the outside storage area are adequate to convey stormwater from the town's culvert to the Hockanum River. I recommend directing this runoff along the eastern limits of the storage area instead of the western limits. This will eliminate the need for the driveway culvert and eliminate two pipe crossing of the drainage way and allow the drainage to follow in a more natural and direct path to the stormwater pond. By extending the pond excavation closer to Windermere Ave, thy hydraulic function of this drainage path will be maintained or improved.
8. The pond outlet control structure requires greater detail to construct. The concrete curbs should extend below the bottom of the riprap armoring to prevent water passing through the riprap. The top of curb elevation should be specified.
9. Stormwater Management Program on sheet 5 references Catch Basin Insert Filters which are not specified on the plan.

I recommend the Wetland Agency postpone approval of these plans until the wetland encroachments are removed, the survey is updated to demonstrate no encroachments, an acceptable restoration plan is proposed, and an acceptable conveyance system is determined for the town culvert discharge. Let me know if you have any questions.

Dana P. Steele, P.E.
Ellington Town Engineer



J.R. RUSSO & ASSOCIATES, LLC
P.O. Box 938, 1 Shoham Road
East Windsor, CT 06088
(CT) 860.623.0569 (MA) 413.785.1158
dstele@jrusso.com | www.jrusso.com



Site Location Plan
Scale:

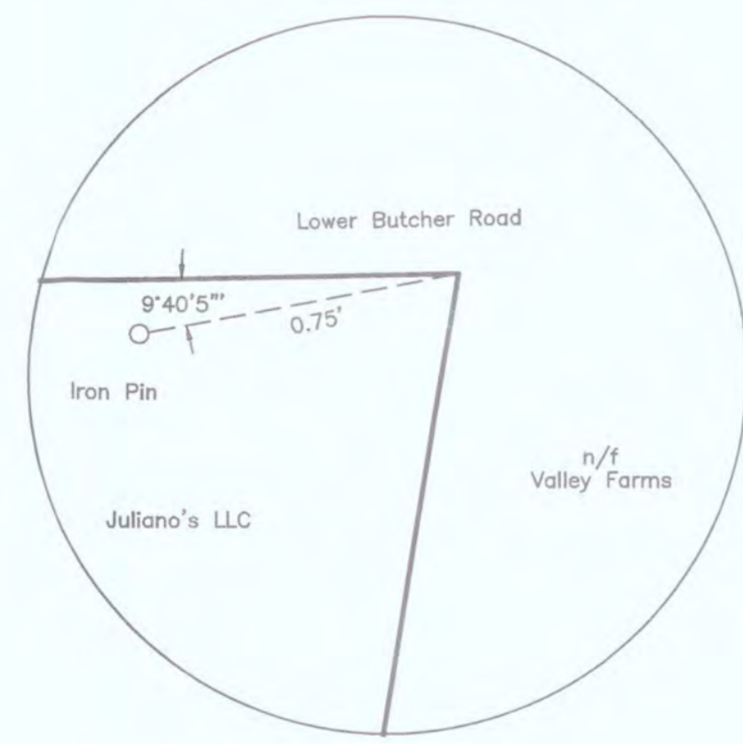


Connecticut Grid System
(NAD 83)

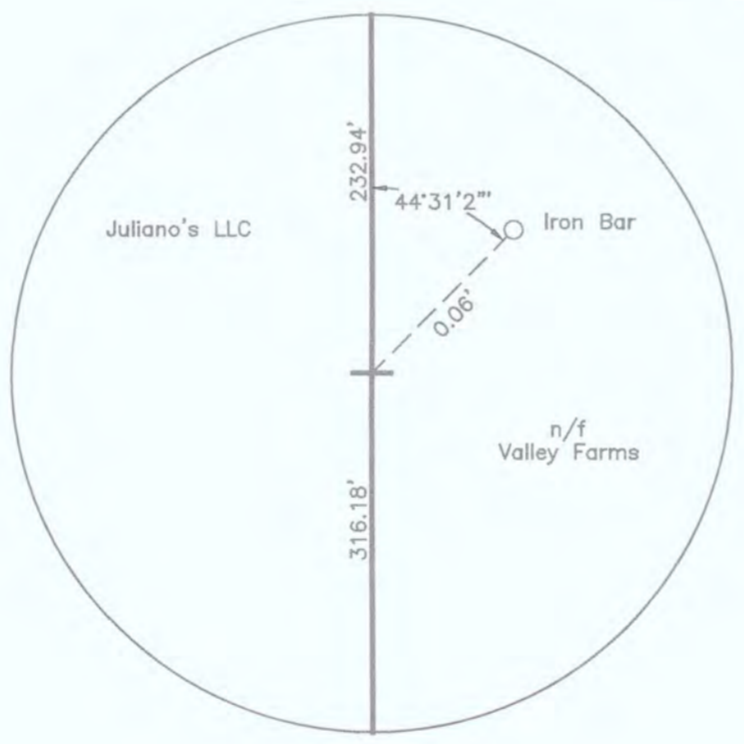


SURVEYOR'S NOTES:

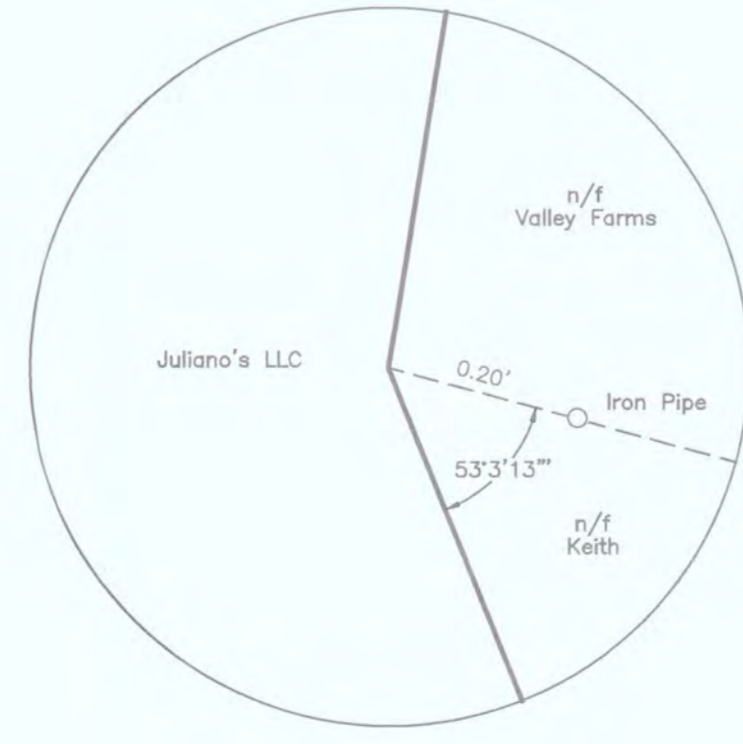
- THIS SURVEY AND MAP HAVE BEEN PREPARED IN CONFORMANCE WITH REGULATIONS AS DEFINED IN THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THRU 20-300b-20, AS AMENDED OCTOBER 26, 2018.
- THE TYPE OF SURVEY PERFORMED IS A PROPERTY SURVEY WHICH IS INTENDED TO DEPICT BOUNDARIES, EASEMENTS, RIGHTS AND PRINCIPAL IMPROVEMENTS (ONLY) ON AND ADJACENT TO THE PROPERTY.
- THE BOUNDARY DETERMINATION CATEGORY IS A RESURVEY.
- THIS SURVEY CONFORMS TO A HORIZONTAL ACCURACY STANDARD OF CLASS A-2 AND A VERTICAL ACCURACY OF CLASS V-2.
- AZIMUTHS AND COORDINATES AS DEPICTED HEREON ARE BASED UPON THE CONNECTICUT GRID SYSTEM NORTH AMERICAN DATUM OF 1983. ELEVATIONS ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
- THE PROPERTY IS LOCATED WITHIN AN INDUSTRIAL PARK (IP) ZONE.
- THE PROPERTY IS DESIGNATED ON THE ELLINGTON ASSESSOR'S RECORDS AS PARCEL 018-01-0000.
- THE PROPERTY AREA IS 250,228± SQUARE FEET (5.74± ACRES).
- REFERENCE IS MADE TO THE FOLLOWING MAPS:
 - PROPERTY & TOPOGRAPHIC SURVEY, LAND OF JULIANO'S LLC, #100 WINDERMERE AVENUE, ELLINGTON, CONNECTICUT. SCALE: 1" = 40'. DATE: 01/03/07, REVISED TO: 03/15/07. MAP PREPARED BY JULIANO ASSOCIATES.
 - RECONFIGURATION SURVEY PREPARED FOR CARLSON & JULIANO, LOWER BUTCHER RD & WINDERMERE AVE ELLINGTON, CONNECTICUT, SCALE 1"=50', DATED 7/30/2021, PREPARED BY LANDMARK SURVEYS, LLC.
- THE PROPERTY IS SUBJECT/PRIVILEGED TO THE FOLLOWING:
 - EFFECT OF AN AGREEMENT WITH THE ROCKVILLE-WILLMANTIC LIGHTING COMPANY RECORDED IN VOLUME 35 AT PAGE 594 OF THE ELLINGTON LAND RECORDS.
 - A REAR YARD VARIANCE TO ACROMOLD PRODUCTS CORP. DATED JULY 11, 1980 AND RECORDED IN VOLUME 115 AT PAGE 548 OF THE ELLINGTON LAND RECORDS.
 - EASEMENT FROM MOSER FARMS DAIRY, INC. RECORDED IN VOLUME 71 AT PAGES 11-12 OF THE ELLINGTON LAND RECORDS.
 - OTHER RIGHTS, RESTRICTIONS, ENCUMBRANCES, COVENANTS, EASEMENTS, ETC. AS THE RECORD MAY APPEAR.
- WINDERMERE AVENUE AND LOWER BUTCHER ROAD ARE CEPTED TOWN HIGHWAYS.
- INLAND WETLANDS WERE FIELD DELINEATED ("FLAGGED") BY GEORGE LOGAN, REMA SOIL SCIENTISTS, INC. ON JANUARY 14, 2022. INLAND WETLANDS WERE FIELD LOCATED AND MAPPED BY JULIANO ASSOCIATES ON JANUARY 16, 2022.
- INLAND WETLAND PERMIT IW200837 GRANTED BY THE ELLINGTON INLAND WETLANDS AGENCY DECEMBER 11, 2006.
- THE PROPERTY IS LOCATED IN THE FOLLOWING FLOOD ZONE(S): ZONE AE & ZONE X AS DEPICTED ON FLOOD INSURANCE RATE MAPS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, COMMUNITY PANEL NUMBER 090158 0015C MAP REVISED FEBRUARY 5, 1997.
- THIS BOUNDARY OPINION WAS MADE AND SURVEY MAP PREPARED FROM INFORMATION CONTAINED IN DEEDS AND MAPS OF RECORD ALONG WITH PHYSICAL EVIDENCE LOCATED DURING THE FIELD SURVEY JULY 25 AND AUGUST 1, 2006. THE PROPERTY WAS RESURVEYED ON MAY 25, 2011. THE CURRENT DEPICTION OF THE PROPERTY REPRESENTS FIELD CONDITIONS AS SURVEYED ON MAY 16 & 17, 2022.



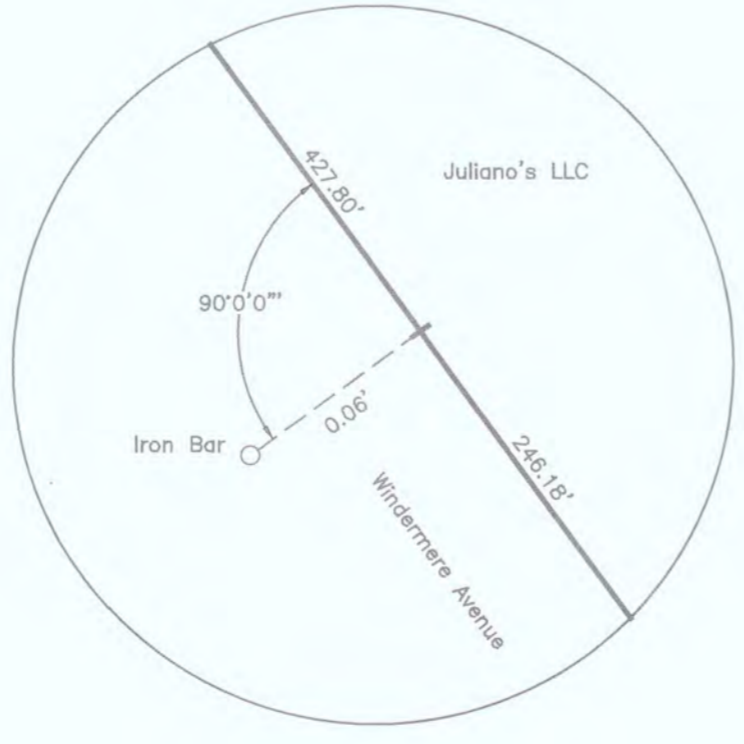
Detail 'A' nts



Detail 'B' nts



Detail 'C' nts



Detail 'D' nts

LEGEND

○ IRON PIN/PIPE RECOVERED	— PROPERTY LINES
□ MONUMENT RECOVERED	— EXISTING PAVEMENT (NO CURB)
⊕ TRAFFIC SIGN	— EXISTING PAVEMENT (CURBED)
⊕ UTILITY POLE	— LIMIT OF LAWN AREA
⊕ DOWNSPOUT	— EXISTING BUILDING
⊕ CATCH BASIN	— EXISTING WOODEN FENCE
⊕ GUY WIRE ANCHOR	— EXISTING OVERHEAD ELECTRIC SERVICE
⊕ MANHOLE	— INLAND WETLANDS
⊕ ELECTRIC METER	— UPLAND REVIEW LINE
⊕ TREE/TREE CLUSTER	— 2' CONTOUR
⊕ EXISTING SPOT GRADE	— 10' CONTOUR
⊕ FLAG POLE	— PAVEMENT MARKINGS
⊕ GROUND LIGHTS	— GAS LINE
	— EXISTING DECK
	— EXISTING SIDEWALK
	— EXISTING STAIRS
	— EXISTING RETAINING WALL
	— STREAM
	— SANITARY SEWER LINE
	— EXISTING SILT FENCE
	— STORM DRAIN LINE
	— EXISTING PAVED DRIVE
	— EXISTING CONCRETE
	— DEBRIS PILE
	— TREE LINE
	— EXISTING ELECTRIC FENCE

Zone Table Data

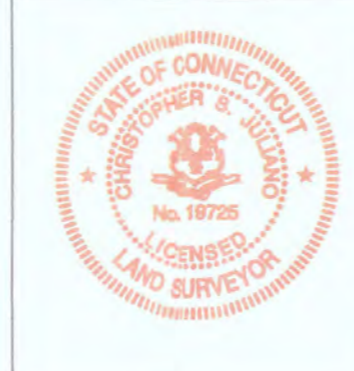
Zone:	Required/Permitted	Existing
Lot Area	4 Acres	5.74 Acres
Width	200 Ft.	> 200 Ft.
Front Setback	100 Ft.	57.6± Ft. **
Side Setback	10 Ft.	n/a
Rear Setback	50 Ft.	192.3± Ft.
Building Height	38 Ft.	< 38 Ft.
Lot Coverage	60%	25.8%±

** 50 feet permitted on local roads

To the best of my knowledge and belief this map is substantially correct as noted hereon.

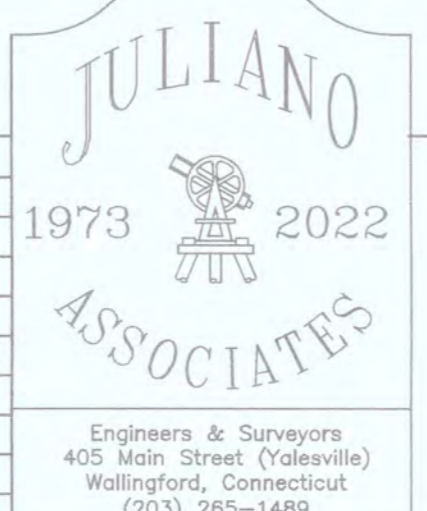
Christopher S. Juliano
Christopher S. Juliano, LS #19725
Date: 05/26/22

This survey is not valid unless it contains the live signature and seal of the above noted professional. Subsequent revisions to this plan other than by the original surveyor effectively void this certification.



REVISIONS

DATE	DESCRIPTION



Juliano Associates, LLC
Engineers & Surveyors
405 Main Street (Yalesville)
Wallingford, Connecticut 06492
Voice (203)265-1489 Fax (203)949-1523
www.JulianoAssociates.com
JulianoAssociatesLLC@gmail.com

Property and Topographic Survey

Land of Juliano Family One LLC
#100 Windermere Avenue
Ellington, Connecticut

Project no.:	21-161	Date:	05/26/22	Scale:	1" = 40'
Work map:	RSWEET	Checked:	CJULIANO	Sheet:	1 of 1
Final map:	RSWEET	Released:	CJULIANO	Revision:	0

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#A SUBMITTED 2021061009-1-0.DWG 5/26/2022 11:53 AM CJ

RECEIVED
MAY 31 2022
TOWN OF ELLINGTON
PLANNING DEPARTMENT

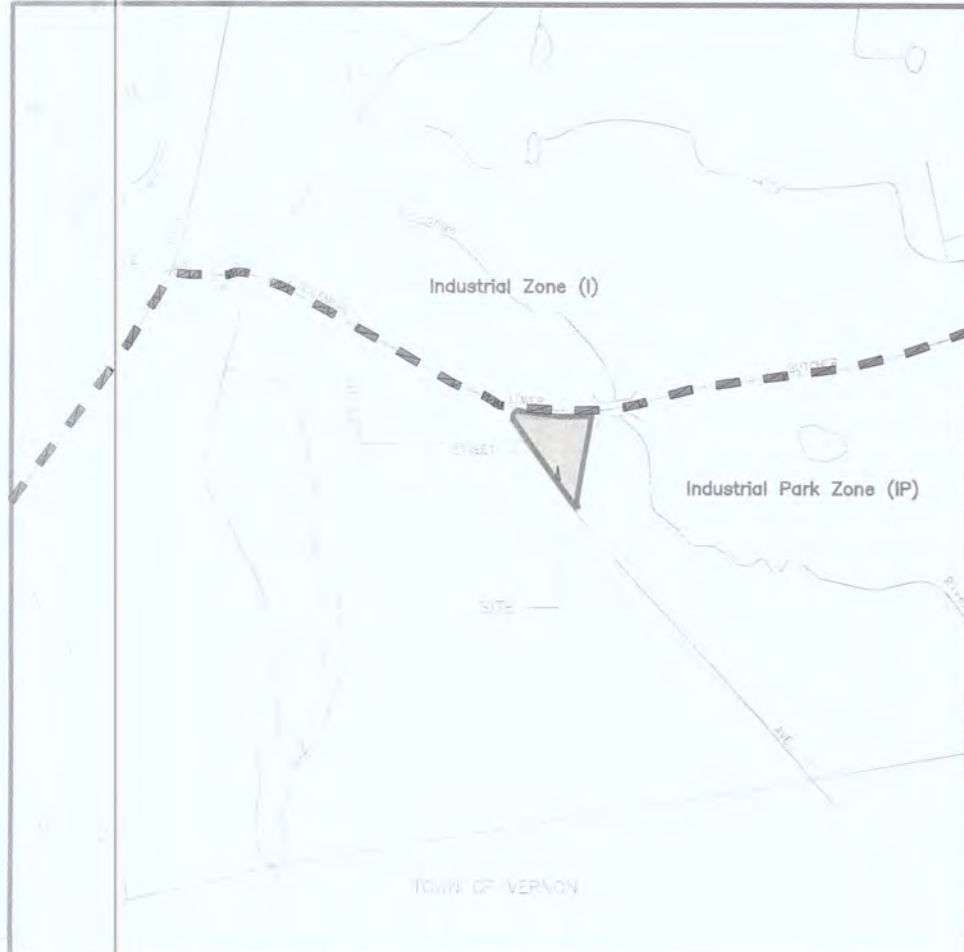
n/f
Judith A. & Walter W. Carlson
Lower Butcher Road
018-20-0001

15" HDPE
Inv (S) = 223.10
Inv (N) = 223.19

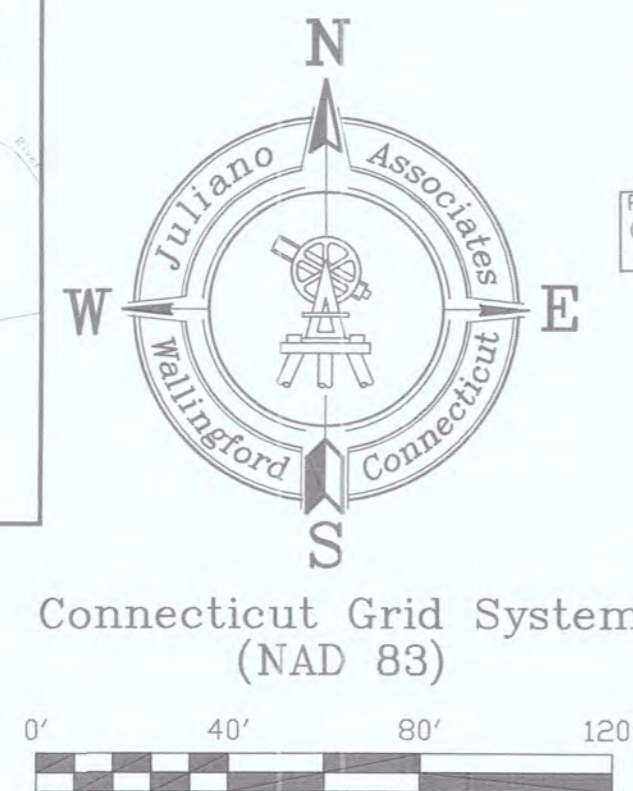
15" HDPE
Inv (S) = 223.64
Inv (N) = 223.64

12" RCP Culvert
Inv (W) = 224.03
Inv. (E) = 224.59

n/f
Christina J. Champeau
& John P. Chionnezz
#84 Windermere Avenue
018-23-0000



Site Location Plan
Scale: 1" = 1000'



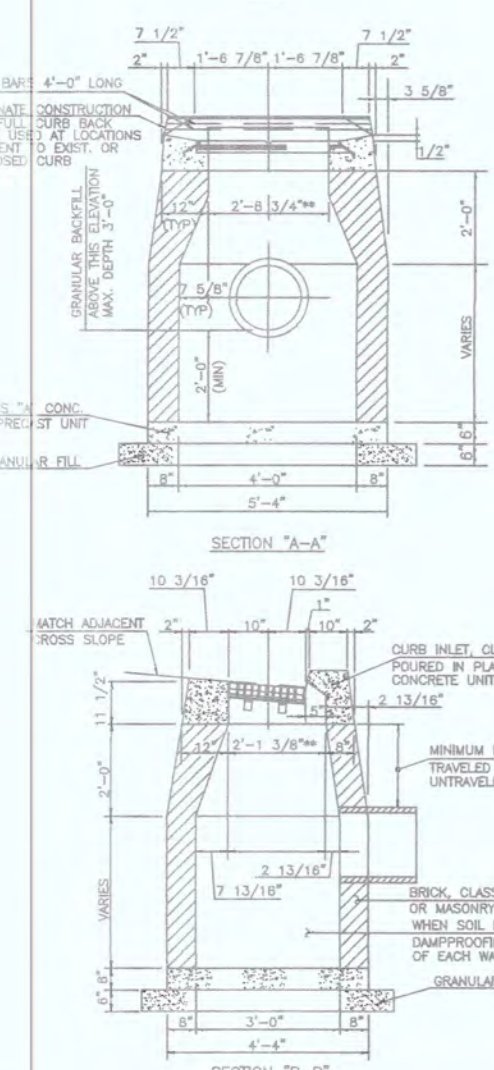
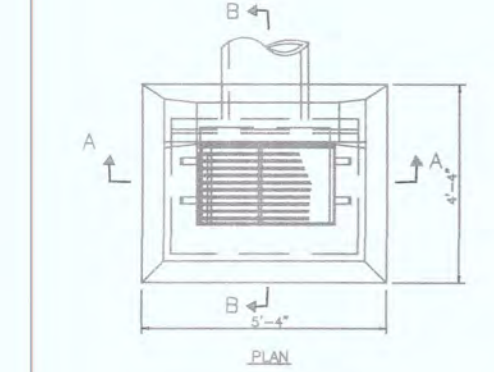
Connecticut Grid System
(NAD 83)

LEGEND

- IRON PIN/PIPE RECOVERED
- MONUMENT RECOVERED
- ▲ TRAFFIC SIGN
- UTILITY POLE
- ▽ DOWNSPOUT
- CATCH BASIN
- GUY WIRE ANCHOR
- SANITARY SEWER MANHOLE
- BUSH
- TREE/TREE CLUSTER
- EXISTING SPOT GRADE
- MATERIAL STOCKPILE
- PROPERTY LINES
- EXISTING PAVEMENT (NO CURB)
- EXISTING PAVEMENT (CURBED)
- LIMIT OF LAWN AREA
- EXISTING BUILDING
- EXISTING CHAIN LINK FENCE
- EXISTING OVERHEAD ELECTRIC SERVICE
- INLAND WETLANDS
- EXISTING WALK/CONCRETE PAD
- PAVEMENT/CURBING TO BE REMOVED
- PROPOSED EDGE OF PAVEMENT (NO CURB)
- PROPOSED CURBING
- PROPOSED PARKING/LINE STRIPING
- PROPOSED STRUCTURE
- PROPOSED SILT FENCE

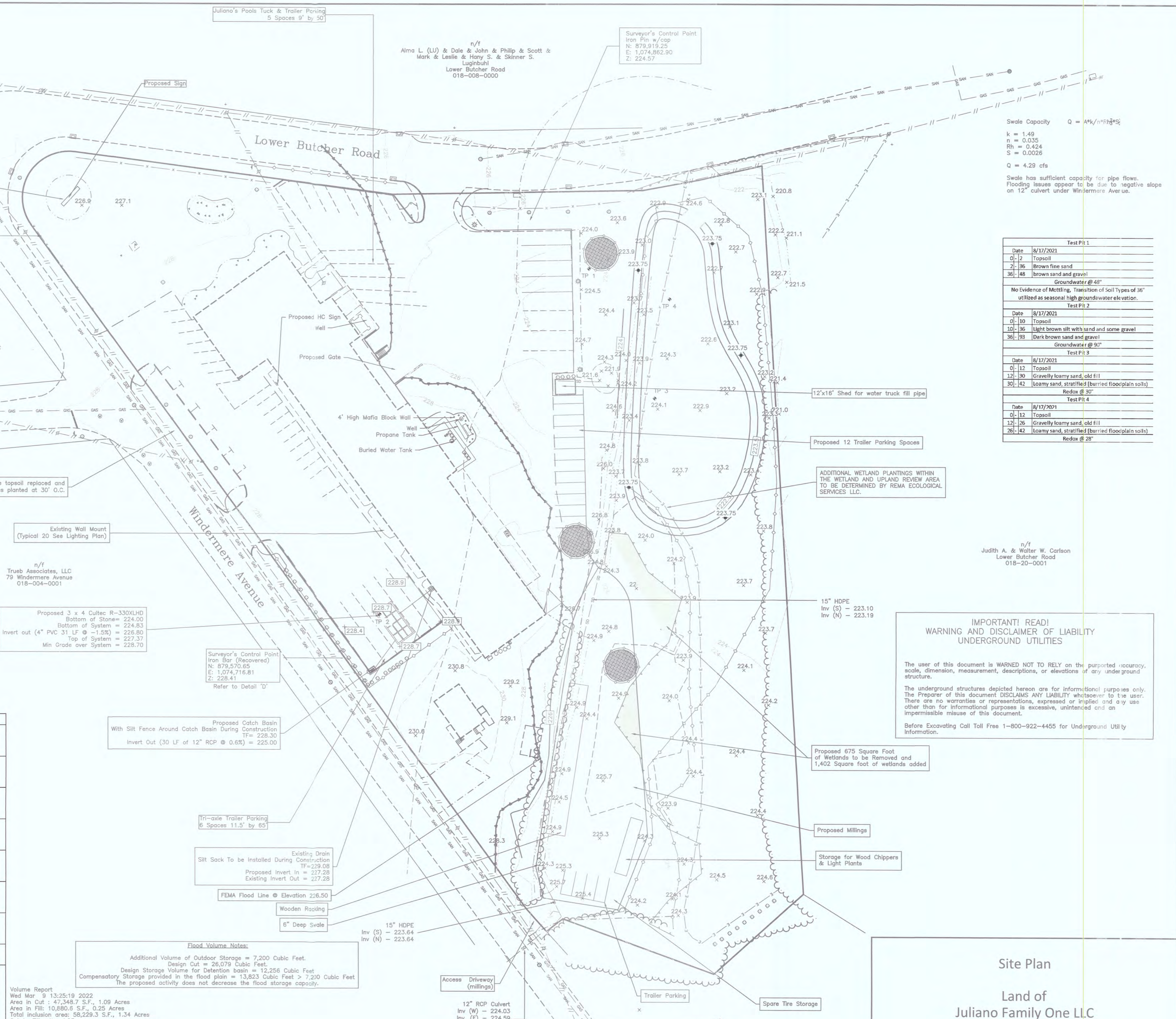
Zoning Table Data			
Zone:IP	Required/Permitted	Existing	Proposed
Lot Area	4 Acres	5.74 Acres	No Change
Width	200 Ft.	>200 Ft.	No Change
Front Setback	100 Ft.	57.6± Ft.**	No Change
Side Setback	10 Ft.	N/A	No Change
Rear Setback	50 Ft.	192.3± Ft.	No Change
Building Height	38 Ft.	<38 Ft.	No Change
Lot Coverage	60%	25.8±%	47.0±%

** 50 Feet permitted on local roads



- NOTES:
- ALL OF ALL CATCH BASINS OVER 10 FT. DEEP SHALL BE INCREASED TO 12" THICKNESS. INSIDE DIMENSIONS SHALL REMAIN THE SAME.
 - WALLS OF 2" THICKNESS REINFORCED IN EACH WALL OF UNREINFORCED WALLS.
 - WALLS, BRICK OR MASONRY CONCRETE UNITS ARE USED, CORRECTIONS SHALL EXTEND INSIDE OF UNITS WORKED BY "X".
 - WHEN CATCH BASIN IS SET IN CONCRETE PAVEMENT, THE 1/2" SLOPE ON THE TOP OF SURFACE SHALL BE CONFORMED TO MATCH ADJACENT PAVEMENT.
 - ALL REINFORCING BARS SHALL BE CONTACT WITH CONCRETE PAVEMENT SHALL BE COVERED WITH A LAYER OF SAND PAPER.
 - PRE-CAST CONCRETE CATCH BASIN UNITS MAY BE USED.
 - WHEN "PRE-CAST CONCRETE" UNITS IS USED FROM THE BOTTOM, THE TOP OF THE UNIT SHALL BE COVERED WITH SAND PAPER.
 - WHEN TYPE "C" CATCH BASIN IS CONSTRUCTED IN PAVEMENT AREA, THE 1/2" SLOPE ON THE TOP OF SURFACE SHALL BE CONFORMED TO MATCH ADJACENT PAVEMENT.
 - ALL EXISTING BARS SHALL HAVE A MINIMUM 2" OF COVER.
 - ALL EXISTING REINFORCING BARS SHALL BE #4 BARS.
 - ALL STRUCTURE SHALL BE #3 BARS @ 6" O.C. TYPICALLY.

SYMBOL	COMMON NAME	QTY	Planting Size
○	Weeping Hemlock	1	2-1/2" Capliper
○	Weeping Tree	1	2-1/2" Capliper
○	Dwarf Blue Spruce	2	2-1/2" Capliper
○	Blue Spruce Hoopsi	2	12' Height
*	Arborvitae	27	6' Height
●	Kwanzan Cherry	3	2-1/2" Capliper
●	October Glory	4	2-1/2" Capliper
●	wheeping norway spruce	2	8' Height
●	Gold Thread Cypress	18	
●	Concolor Fur	2	
●	Sedum	12	
●	dwarf threadleaf False Cypress	8	
○	Dwarf Holly	3	Small Plantings
○	Hosta	2	
○	Hinoki Falso Cypress	6	
○	Upright Holly	2	
○	Hakone Grass	4	



Flood Volume Notes:
Additional Volume of Outdoor Storage = 7,200 Cubic Feet.
Design Cut = 26,079 Cubic Feet.
Design Storage Volume for Detention basin = 12,256 Cubic Feet.
Compensatory Storage provided in the flood plain = 13,823 Cubic Feet > 7,200 Cubic Feet.
The proposed activity does not decrease the flood storage capacity.

Volume Report
Wed Mar 9 13:25:19 2022
Area in Cut : 47,249.7 S.F., 1.09 Acres
Area in Fill : 10,880.6 S.F., 0.25 Acres
Total Inclusion area: 58,229.3 S.F., 1.34 Acres
Cut to Fill ratio: 4.83
Average Cut Depth: 0.69 Average Fill Depth: 0.63
Max Cut Depth: 2.02 Max Fill Depth: 2.05
Cut (C.Y.) / Area (acres): 911.28
Fill (C.Y.) / Area (acres): 188.73
Cut volume: 32,890.2 C.Y., 1,218.16 C.Y.
Fill volume: 6,811.9 C.F., 252.29 C.Y.

THIS DOCUMENT HAS BEEN PREPARED AS PART A MUNICIPAL HEALTH DEPARTMENT/DISTRICT, IWWC, TPZ, OR ZBA) LAND USE APPLICATION PROCESS. THIS DOCUMENT CAN NOT BE CONSIDERED FINAL NOR USED FOR ANY CONSTRUCTION PURPOSES UNTIL ALL NECESSARY LOCAL, STATE, AND FEDERAL APPROVALS HAVE BEEN SECURED.

Christopher S. Juliano PELS #19725



REVISIONS	
DATE	DESCRIPTION



Juliano Associates, LLC
Engineers & Surveyors
405 Main Street (Yalesville)
Wallingford, Connecticut 06492
Voice (203)265-1489 Fax (203)949-1523
www.JulianoAssociates.com
JulianoAssociatesLLC@gmail.com

Project no.:	21-161	Date:	05/26/22	Scale:	1" = 40'
Work map:	RSWEET	Checked:	CJULIANO	Sheet:	2 of 5
Final map:	RSWEET	Released:	CJULIANO	Revision:	0

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MA SUBMITTED: 20210616:08-2-0.DWG 5/26/2022 1:07 PM CJ

Swale Capacity $Q = A^2/n \cdot S^{1.48}$
k = 1.48
n = 0.035
Rh = 0.424
S = 0.0026
Q = 4.29 cfs
Swale has sufficient capacity for pipe flows. Flooding issues appear to be due to negative slope on 12" culvert under Windermere Avenue.

Test Pit 1	
Date	8/17/2021
0-12	Topsoil
12-36	Brown fine sand
36-48	Brown sand and gravel
Groundwater @ 48"	
No Evidence of Mottling, Transition of Soil Types of 36" utilized as seasonal high groundwater elevation.	
Test Pit 2	
Date	8/17/2021
0-10	Topsoil
10-36	Light brown silt with sand and some gravel
36-93	Dark brown sand and gravel
Groundwater @ 93"	
Test Pit 3	
Date	8/17/2021
0-12	Topsoil
12-30	Gravelly loamy sand, old fill
30-142	Loamy sand, stratified (buried floodplain soils)
Redox @ 90"	
Test Pit 4	
Date	8/17/2021
0-12	Topsoil
12-26	Gravelly loamy sand, old fill
26-62	Loamy sand, stratified (buried floodplain soils)
Redox @ 28"	

IMPORTANT! READ!
WARNING AND DISCLAIMER OF LIABILITY UNDERGROUND UTILITIES

The user of this document is WARNED NOT TO RELY on the purported accuracy, scale, dimension, measurement, descriptions, or elevations of any underground structure.

The underground structures depicted hereon are for informational purposes only. The Preparer of this document DISCLAIMS ANY LIABILITY whatsoever to the user. There are no warranties or representations, expressed or implied, and any use other than for informational purposes is excessive, unintended and an impermissible misuse of this document.

Before Excavating Call Toll Free 1-800-922-4455 for Underground Utility Information.

Site Plan
Land of
Juliano Family One LLC
#100 Windermere Avenue
Ellington, Connecticut

Project no.:	21-161	Date:	05/26/22	Scale:	1" = 40'
Work map:	RSWEET	Checked:	CJULIANO	Sheet:	2 of 5
Final map:	RSWEET	Released:	CJULIANO	Revision:	0

SEDIMENT BARRIERS

1. DEFINITION
A temporary barrier installed across or at the toe of a slope.
2. PURPOSE
To intercept and retain small amounts of sediment from disturbed or unprotected areas of limited extent.
3. APPLICABILITY
The sediment barrier is used where:
 - a. Sedimentation can pollute or degrade adjacent wetland and/or watercourses.
 - b. Sedimentation will reduce the capacity of storm drainage systems or adversely affect adjacent areas.
 - c. Contributing drainage area is less than 1 acre and the length of slope above the barrier is less than 150 feet. If the slope length is greater, other measures such as diversions may be necessary to reduce slope length.

4. PLANNING CONSIDERATIONS
Sediment barriers may consist of filter fence, straw, hay bales, stone berms, or other filter materials. Planned lifespan of sediment barriers varies. Straw or hay bales shall only be used as a temporary barrier for no longer than 60 days. Synthetic filter fences can be used for 60 days or longer depending on their stability and manufacturer's recommendations. Stone barriers can be used for longer periods of time.
5. INSTALLATION REQUIREMENTS

- a. Straw/Hay Bales
 - (1) Sheet Flow Applications
 - (a) Bales shall be placed in a single row, lengthwise on the contour, with ends of adjacent bales tightly abutting one another.
 - (b) Bales shall be wire-bound only and shall be installed so that binding does not contact the earth.
 - (c) The barrier shall be entrenched and backfilled. A trench shall be excavated the width of a bale and the length of the proposed barrier to a minimum depth of 4 inches. After the bales are staked and chinked, the excavated soil shall be backfilled against the barrier. Backfilled soil shall conform to the ground level on the downhill side and shall be built up to 4 inches against the uphill side of the barrier. Ideally, bales shall be placed 10 feet away from toe of slope.
 - (d) Each bale shall be securely anchored by at least two stakes driven through the bale. The first stakes in each bale shall be driven toward the previously laid bale to force the bales together. Stakes shall be driven deep enough into the ground to securely anchor the bales.
 - (e) Gaps between bales shall be chinked (filled by wedging) with straw to prevent water from escaping between bales. (Loose straw scattered over the area immediately uphill from a straw bale barrier tends to increase barrier efficiency.)

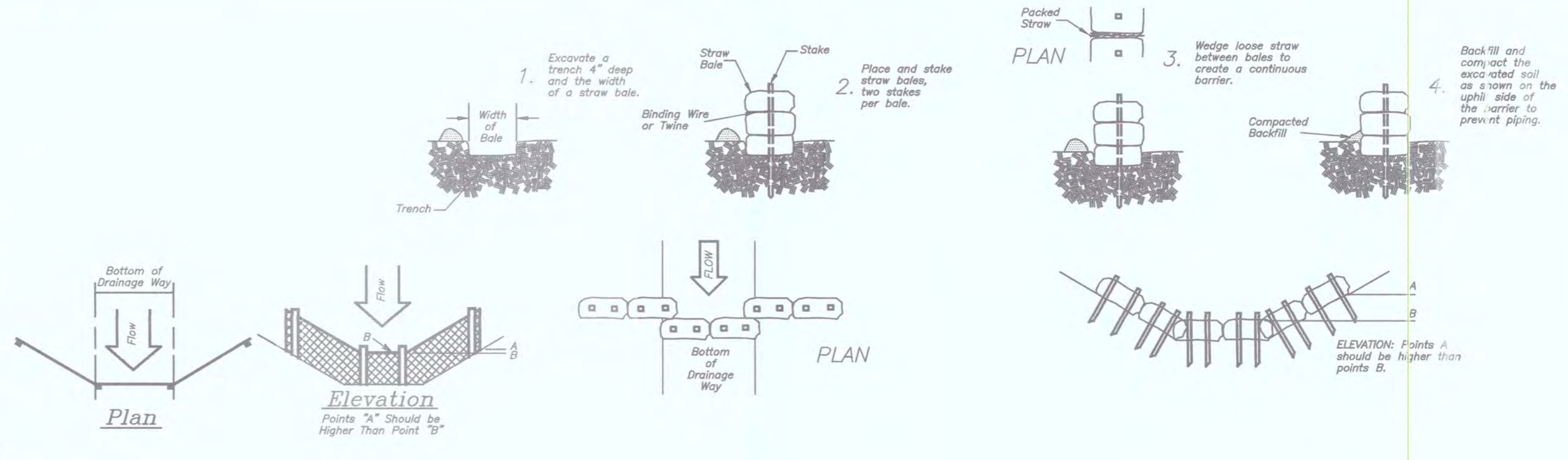
In sloping areas where surface flow follows the bale line, perpendicular bale checks shall be installed at appropriate intervals (100 feet maximum).

 - (f) Inspection, repair and/or replacement shall be made on a continuing basis.
 - (g) Bale barriers shall be removed when they have served their usefulness, but not before construction areas have been permanently stabilized.
- (2) Channel Flow Applications
 - (a) Bales shall be placed in a single row, lengthwise, oriented perpendicular to the channel, with ends of adjacent bales tightly abutting one another.
 - (b) Specifications for installing a bale barrier for sheet flow applications apply here with the following addition:
 - 1) The barrier shall be extended to such a length that the bottoms of the end bales are higher in elevation than the top of the lowest middle bale to assure that sediment laden runoff will flow either through or over the barrier, but not around it.
- (3) Catch Basin Application
 - (a) Bales shall be placed in a square or rectangular shape around depressed catch basin inlets. Catch basins constructed on sloping areas should not be encircled by bales, but shall have downhill side left open.
 - (b) The areas immediately around the catch basin may be excavated slightly to increase ponding of runoff water around catch basin.
 - (c) Remaining specifications for installing a bale barrier for sheet flow applications apply here.

- (4) Maintenance
 - (a) Inspection shall be made weekly and after each storm and repair or replacement shall be made promptly as needed.
 - (b) Cleanout of accumulated sediment behind the bales is necessary if 1/2 of the original height of the bales becomes filled in with sediment.
- b. Filter Fences
 - (1) Materials
 - (a) Synthetic Filter Fabric
Synthetic filter fabric shall be a pervious sheet of propylene, nylon, polyester or ethylene filaments and certified by the manufacturer or supplier as conforming to the following requirements:

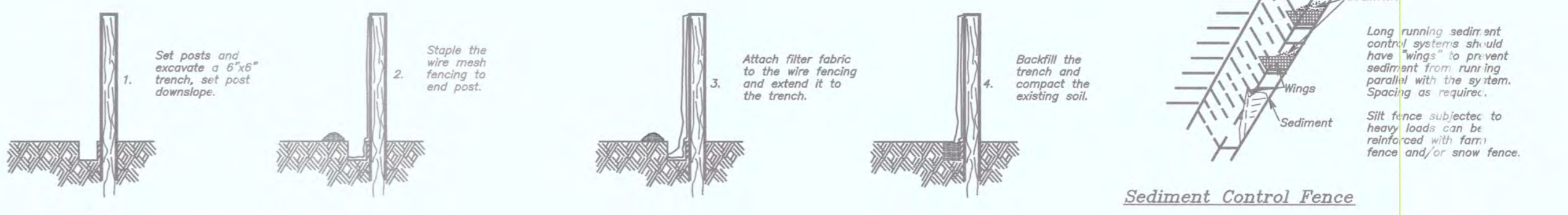
Physical Property	Requirements
Filtering Efficiency	75% (min.)
Tensile Strength at 20% (max.) Elongation	Extra Strength 50 lbs./lin. inch (min.)
	Standard Strength 30 lbs./lin. inch (min.)
Flow Rate	0.3 gal./sq. ft./min (min.)
 - (b) Burlap shall be 10 ounce per square yard fabric.
 - (c) Stakes for filter fences shall be 1" x 2" wood or equivalent metal with a minimum length of 3 feet.
Where additional strength is required, posts for filter fences shall be either 2 x 3 or 2 x 4 inch wooden studs or 0.5 (min.) pounds/linear foot steel with a minimum length of 5 feet. Steel posts shall have projections for fastening wire.
 - (d) Wire fence reinforcement for silt fences using standard strength filter cloth shall be a minimum of 42 inches in height, a minimum of 14 gauge and shall have a maximum mesh spacing of 6 inches.
Some silt fences do not require a wire backing. Consult manufacturer's instructions for proper installation requirements.
 - (2) Installation Requirements
This sediment barrier utilizes burlap, standard or extra strength synthetic filter fabrics. It is designed for situations in which only sheet or overland flows are expected. In special cases burlap may be used in drainageways.
 - (a) The height of the barrier shall not exceed 36 inches. (Higher barriers may impound volumes of water sufficient to cause failure of the structure.) Ideally the filter fence shall be placed 10 feet away from the toe of slope.
 - (b) When joints are necessary, filter cloth shall be spliced together only at a support post, with a minimum 6 inch overlap, and securely sealed. See manufacturer's recommendations.
 - (c) Posts shall be spaced a maximum of 10 feet apart at the barrier location and driven securely into the ground (minimum of 12 inches). When extra strength fabric is used without the wire support fence, space posts as manufacturer recommends.
 - (d) A trench shall be excavated approximately 6 inches wide and 6 inches deep along the line of posts as manufacturer recommends.
 - (e) When standard strength filter fabric is used, a wire mesh support fence shall be fastened securely to the upslope side of the posts using heavy duty wire staples at least 1 inch long, tie wires or hog rings. The wire shall extend into the trench a minimum of 2 inches and shall not extend more than 36 inches above the original ground surface.
 - (f) The standard strength filter fabric shall be stapled, wired or tied to the wire fence, and 8 inches of the fabric shall be extended into the trench. The fabric shall not extend more than 36 inches above the original ground surface. Filter fabric shall not be stapled to existing trees.
 - (g) When extra strength filter fabric or burlap and closer post spacing are used, the wire mesh support fabric is stapled, wired or tied directly to the posts with all specifications of (f) above applying.
 - (h) The trench shall be backfilled and the soil compacted over the filter fabric.
 - (i) Filter barriers shall be removed when they have served their useful purpose, but not before the upslope area has been permanently stabilized.

- (3) Maintenance
 - (a) Filter barriers shall be inspected immediately after each rainfall and at least daily during prolonged rainfall. Any required repairs shall be made immediately.
 - (b) Should the fabric decompose or become ineffective, the fabric shall be replaced promptly.
 - (c) Sediment deposits shall be removed when they reach approximately one-half the height of the barrier.
 - (d) Any sediment deposits remaining in place after the silt fence or filter barrier is no longer required shall be dressed to conform to the existing grade, prepared and seeded.
- c. Stone Barrier
The stone shall meet ASTM C-33 size no. 2 or 3 (3" or 2-1/2").
 - (1) Installation Requirements
 - (a) The stone shall be piled to a natural angle of repose with a height of at least 2 feet.
 - (b) The barrier shall be constructed so water cannot bypass the barrier around the ends.
 - (2) Maintenance
 - (a) Inspection shall be frequent and repair and/or replacement made promptly as needed.
 - (b) The barrier shall be removed when it has served its usefulness so as not to block or impede storm flow or drainage.
- d. Vegetative Filter
Vegetative filters shall be used to filter sediment from overland flow only where concentrations of sediment and rates of runoff are low.
 - (1) Installation Requirements
The minimum width of the filter strip shall be at least 15 feet.
The width of the filter strip shall be increased proportionately for slopes longer than 150 feet or for higher sediment concentrations. When using filter strips at inlets to storm sewers, as large an area as possible shall be provided. Filters shall be placed along the contours whenever possible. No construction shall be allowed within filter strip areas.
Vegetation must be adapted to sediment producing areas. Either existing or established vegetation must be healthy and have a vigorous growth habit. Establishing vegetation by seed or sodding shall be done in accordance with the specifications for Permanent Vegetative Cover or Sodding and shall be established prior to land disturbance.
 - (2) Maintenance
Maintenance of vegetative filter strips is the same as that recommended for any vegetation as specified in Permanent Vegetative Cover. A healthy growth of vegetation can best be maintained by fertilizing, removing sediment when the filter becomes clogged, and by preventing construction traffic from driving upon or across filter strips.

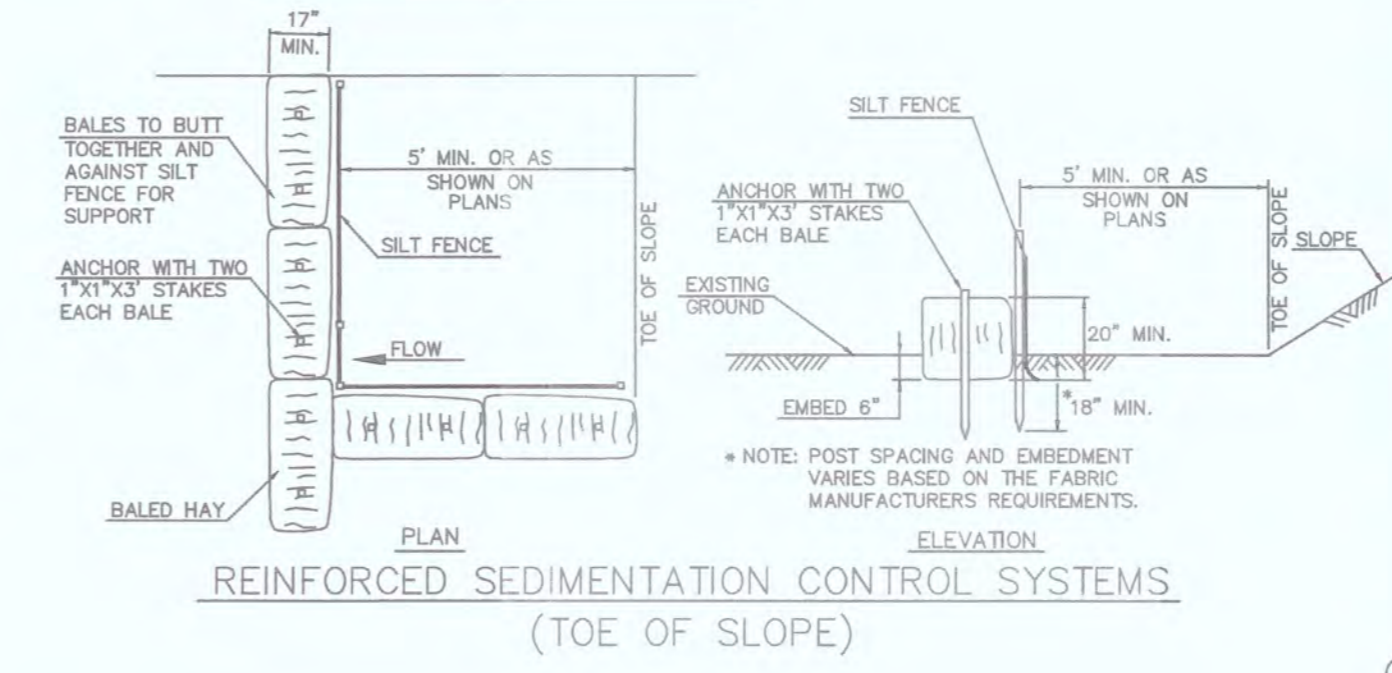


Placement and Construction of a Synthetic Filter Barrier

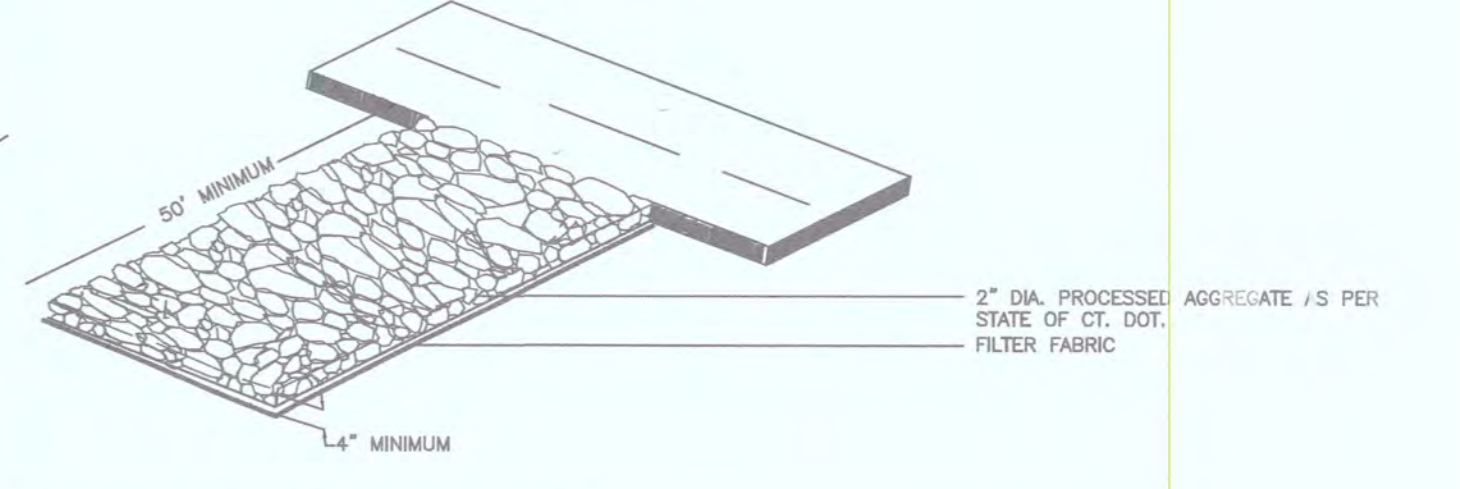
Placement and Construction of a Hay Bale Barrier



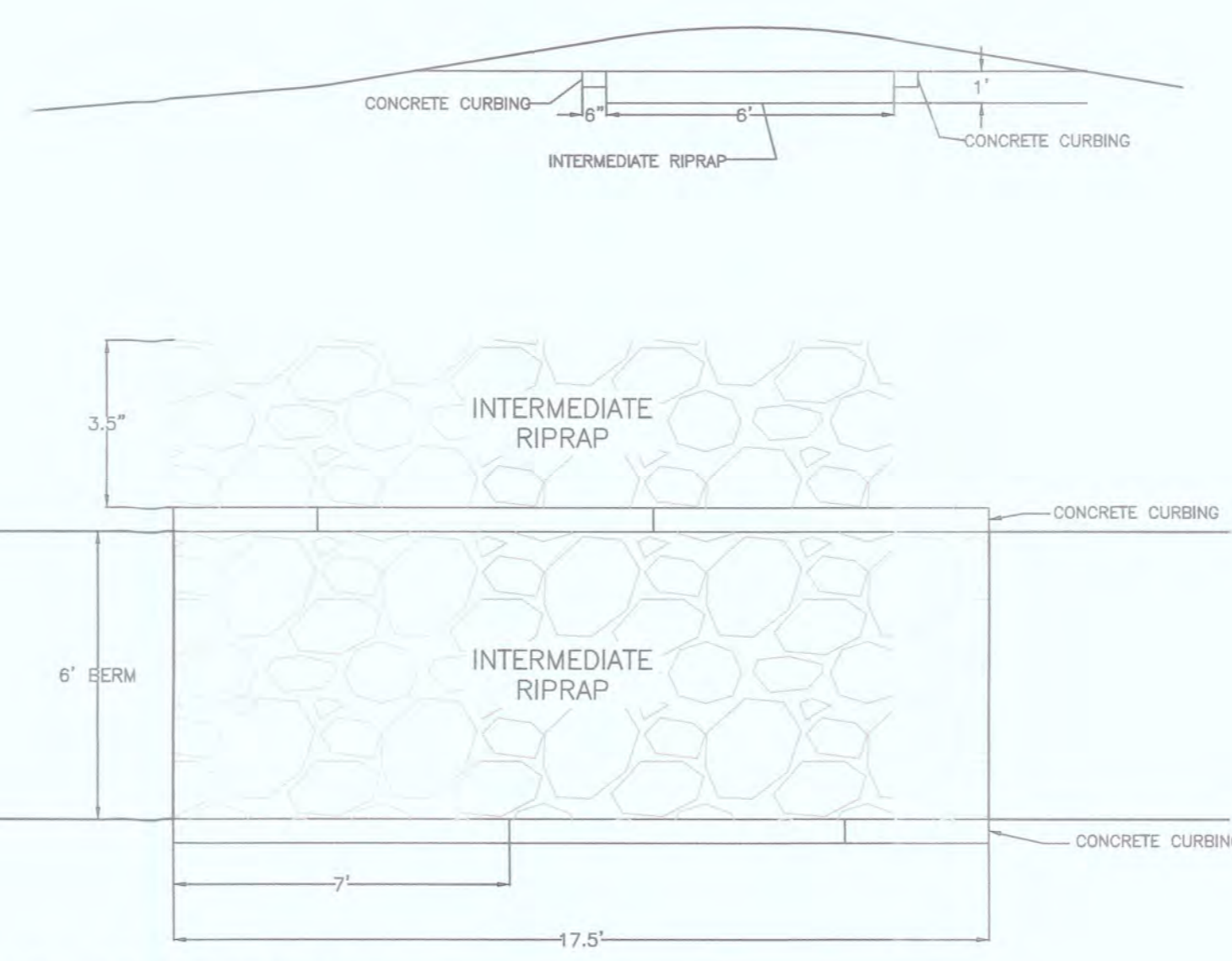
Sediment Control Fence



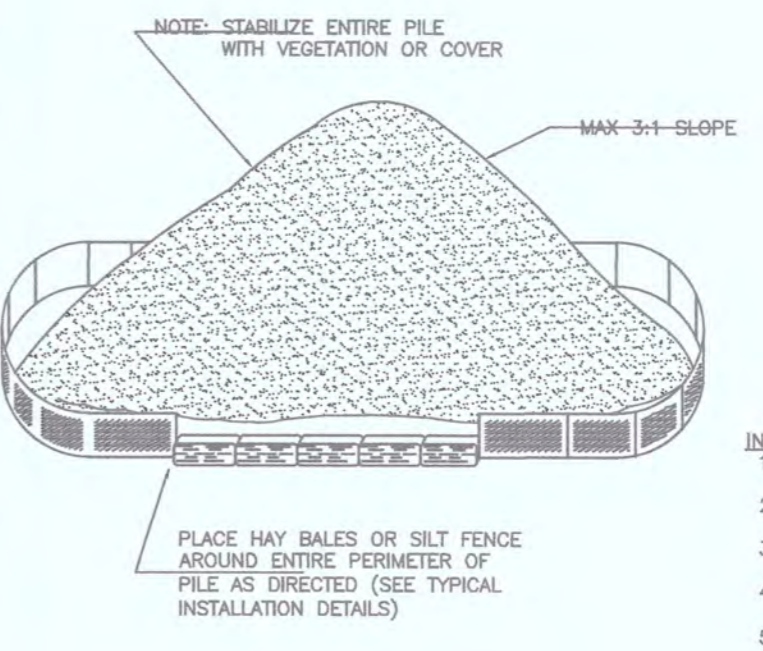
REINFORCED SEDIMENTATION CONTROL SYSTEMS (TOE OF SLOPE)



CONSTRUCTION ENTRANCE



BROAD CRESTED WEIR



TEMPERARY SOIL STOCKPILE

DURING CONSTRUCTION THERE SHALL BE A SUPPLY OF SILT FENCE AND/OR HAY BALES STORED ON SITE FOR EMERGENCY SEDIMENT AND EROSION CONTROL PURPOSES.

THIS DOCUMENT HAS BEEN PREPARED AS PART A MUNICIPAL HEALTH DEPARTMENT/DISTRICT, IW/C, TPZ, OR ZBA LAND USE APPLICATION PROCESS. THIS DOCUMENT CAN NOT BE CONSIDERED FINAL NOR USED FOR ANY CONSTRUCTION PURPOSES UNTIL ALL NECESSARY LOCAL, STATE, AND FEDERAL APPROVALS HAVE BEEN SECURED.
Christopher S. Juliano PELS #19725



REVISIONS	
DATE	DESCRIPTION

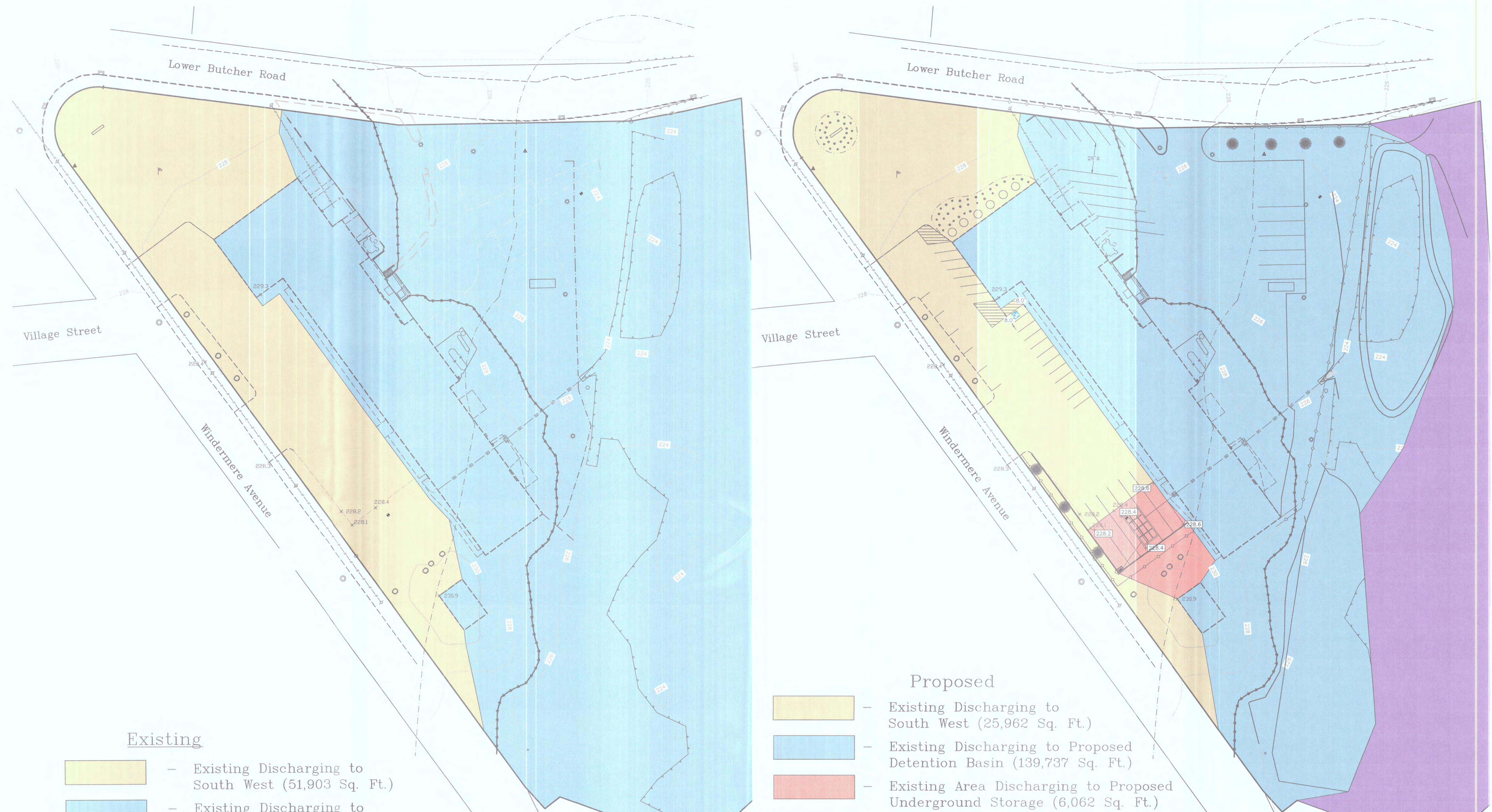


Juliano Associates, LLC
Engineers & Surveyors
405 Main Street (Yalesville)
Wallingford, Connecticut 06492
Voice (203)265-1459 Fax (203)949-1523
www.JulianoAssociates.com
JulianoAssociatesLLC@gmail.com

Erosion Control Specifications and Details
Land of
Juliano Family One LLC
#100 Windermere Avenue
Ellington, Connecticut

Project no.:	21-161	Date:	05/26/22	Scale:	NTS
Work map:	RSWEET	Checked:	CIJULIANO	Sheet:	5 of 5
Final map:	RSWEET	Released:	CIJULIANO	Revision:	0

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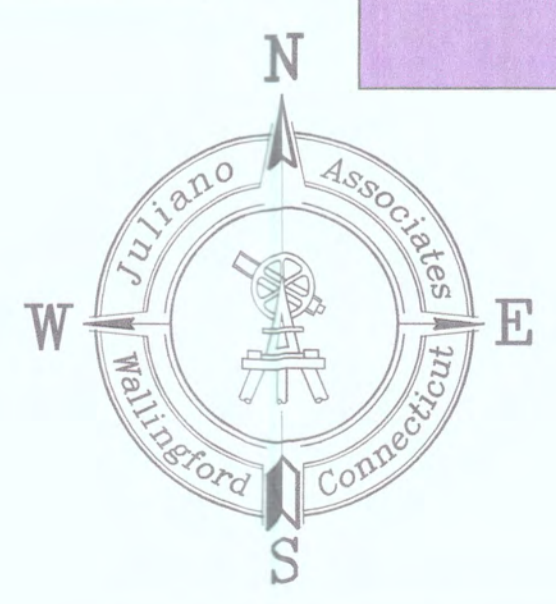


Existing

- Existing Discharging to South West (51,903 Sq. Ft.)
- Existing Discharging to Wetlands (195,754 Sq. Ft.)

Proposed

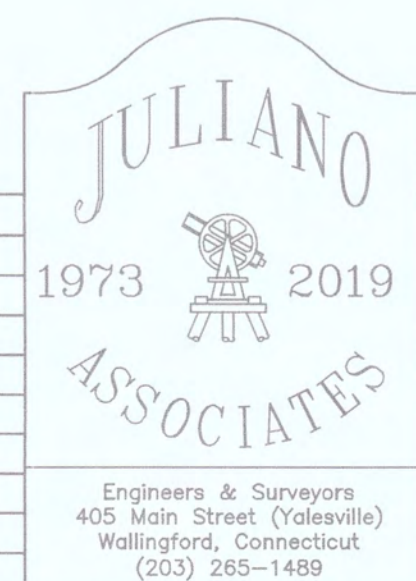
- Existing Discharging to South West (25,962 Sq. Ft.)
- Existing Discharging to Proposed Detention Basin (139,737 Sq. Ft.)
- Existing Area Discharging to Proposed Underground Storage (6,062 Sq. Ft.)
- Existing Area Discharging to Wetlands Not Captured (55,598 Sq. Ft.)



Drainage Area Map
Land of
Juliano Family One LLC
#100 Windermere Avenue
Ellington, Connecticut

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Christopher S. Juliano PELS #19725

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JulianoAssociatesLLC@gmail.com

Project no.:	21-161	Date:	05/26/22	Scale:	1" = 40'
Work map:	RSWEET	Checked:	CJULIANO	Sheet:	4 of 5
Final map:	JDIMEO	Released:	CJULIANO	Revision:	

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The following is a proposed sequence of construction:

Phase II Rear of Property

1. Install erosion controls as depicted on the plans
2. Remove existing topsoil in areas of proposed disturbance and stockpile the material as shown on plans.
3. Construct the proposed detention basin in the rear of the property and stabilize any disturbed areas
4. Make any adjustments to grading, should be minor site grading.
5. Complete any landscaping and tree planting in the area as depicted by REMA Ecological Services.
6. Spread existing, lime, fertilizer, seed and mulch all disturbed areas
7. Install the Milling Storage Area as per the approved plans.
8. Remove accumulated sediment from all silt barriers and sediment control structures.

Project is anticipated to be completed in no longer than 6 months from start date. Equipment to be used are to include excavators for movement of earth and other materials. This project is not proposing to fill any materials other than the proposed millings in the disturbed area. There is no proposal to remove any trees or stumps.

Project Completion - Entire Project

1. Fix any broken curbing and patch pavement binder course as required
2. Install final pavement surface coarse to driveway and parking area
3. Install final pavement markings, line striping, and any remaining signage throughout site
4. Install any remaining landscaping throughout site and inspect existing vegetation to replace any dead or damaged plant material(s)

In addition to the measures listed above, the following work will be performed as required.

- A. Remove accumulated sediment from all sediment and erosion control barriers as necessary and dispose of offsite in a manner consistent with the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control.
- B. Just and wind erosion shall be controlled throughout the duration of the construction of the improvements. Dust control shall include but not be limited to sprinkling of water on exposed surfaces and roads.
- C. If excavation interrupted by heavy rains, additional mulching or gravel work mats may be required on areas of exposed soils. Soils that have become unsuitable for use due to exposure to heavy rains shall be removed from the work area and dried.
- D. Any other reasonable measures or practices which are deemed necessary by the Town Engineer and/or Inland Wetlands Enforcement Officer as a result of construction activities.

Operation and Maintenance

During Construction

- A. Best management practices as outlined by the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control, shall be utilized to control storm water discharges and to prevent erosion and sedimentation and to otherwise prevent pollution of wetlands or watercourses. For information and technical assistance, contact the Inland Wetlands Enforcement Officer. The permittee shall immediately inform the Planning Department of any problems involving wetlands or watercourses which have developed in the course of, or which are caused by, the authorized work.
- B. No equipment or material including but not limited to fill construction materials, or debris, shall be deposited, placed or stored in any wetland or watercourse on or off site.
- C. Timely implementation and maintenance of sediment and erosion control measures are required. All sediment and erosion control measures must be maintained until all disturbed areas are stabilized.
- D. A pre-construction meeting shall be held prior to the commencement of any construction activities on the site with the owner, contractor, and Town Staff.
- E. As contained in the Sedimentation and Erosion Control Specifications, operations and maintenance during construction will consist of periodic replacement and/or cleaning of clogged hay bales, silt fence and construction entrances at no additional cost to the owner. Any temporary sedimentation basins will be cleaned of accumulated sediment when the depth of accumulated sediment exceeds six inches. All drainage structures shall be inspected on a weekly basis and more often as required with the occurrence of storm events and any necessary corrective action taken.

STORMWATER MAINTENANCE PROGRAM

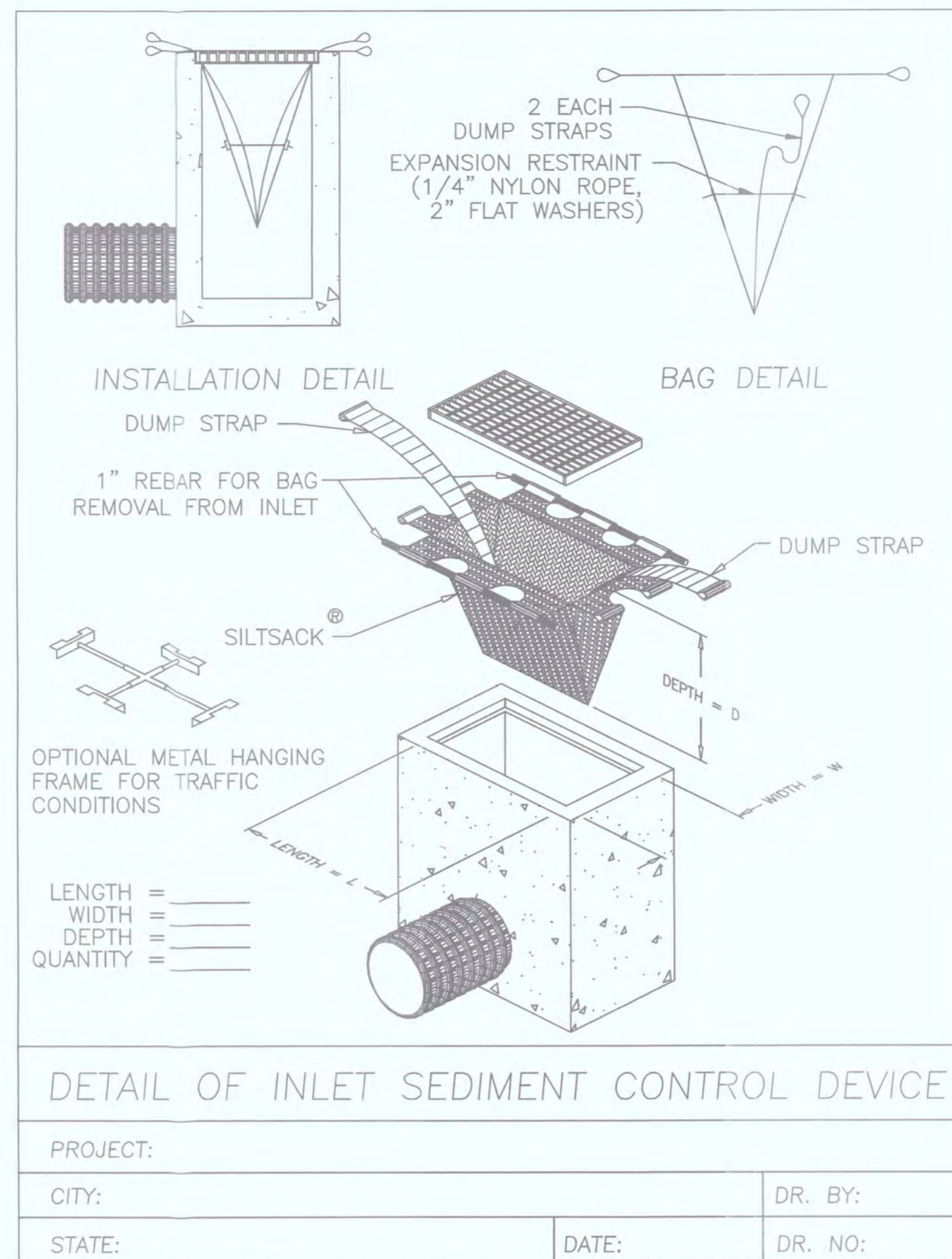
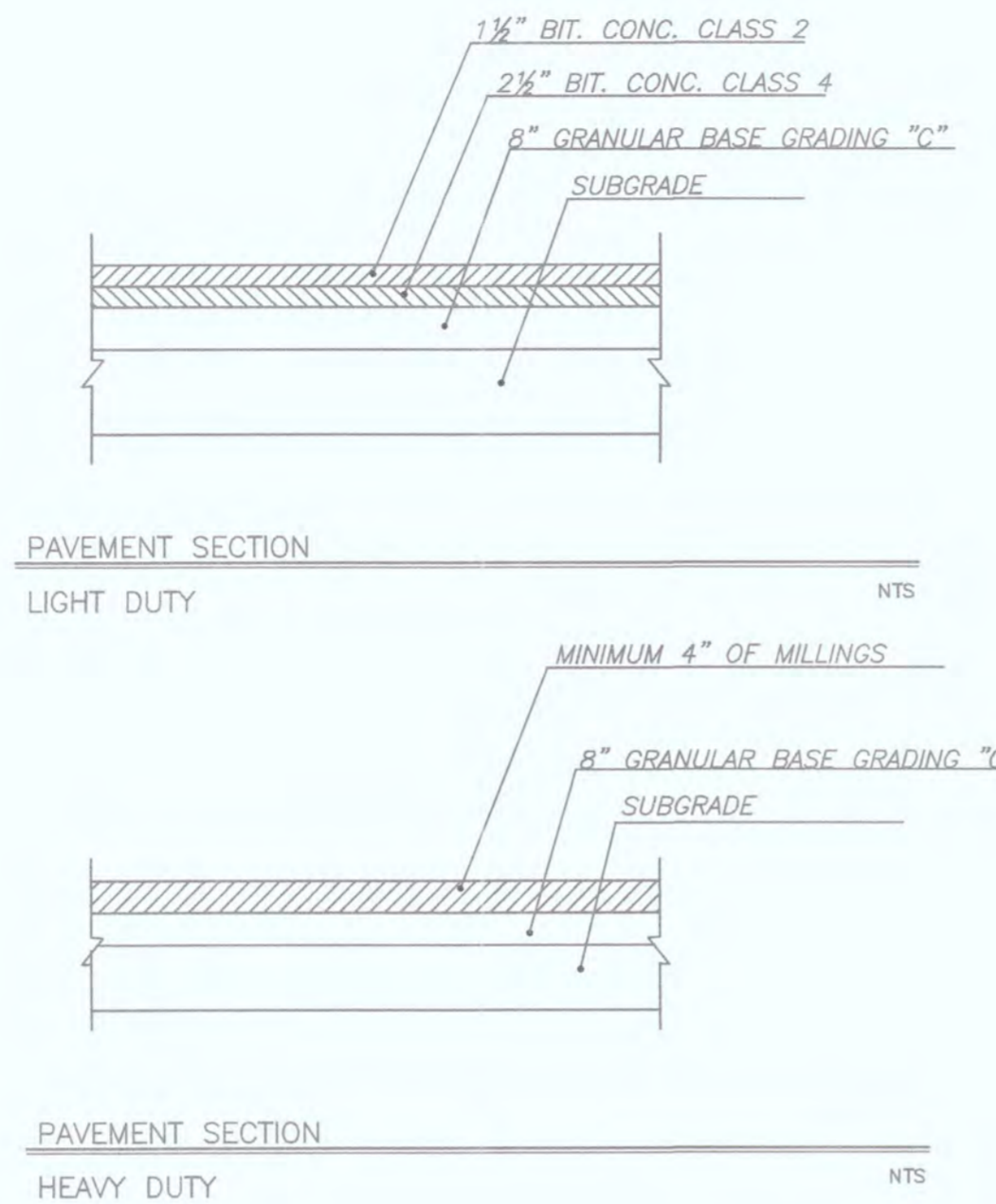
Upon site development, there will be a need to periodically maintain the various elements of the stormwater facilities onsite. The stormwater system consists of two catch basins, catch basin insert filters, and an underground detention/infiltration system along with the associated storm drainage piping.

In order to ensure optimal pollution prevention to receiving waters, the following stormwater maintenance program has been established. The applicant or their designated property management company shall be the entity responsible for the implementation of this program.

- A. **Driveway & Parking Area Sweeping**
All parking areas and sidewalks shall be swept clean of sand and litter at least twice per year, once between November 15 and December 15 (after leaf fall) and once during the month of April (after snow melt) and at other times as may be necessary.
- B. **Catch Basins**
Catch basins contain sumps that will require periodic maintenance. Each catch basin on the property shall be inspected quarterly for the first two years, and the frequency of such monitoring in subsequent years shall be adjusted based on observation in the first two years. Sediment and debris shall be removed at least once a year, during the month of April and more frequently, if needed.
- C. **Catch Basin Insert Filter**
The recommended maintenance specification for the FlowGuard +Plus Catch Basin Insert is attached.
- D. **Underground Galleys System**
These facilities provide storage for runoff during storms as a result of development. Detention is the collection and temporary storage of surface water at a controlled rate of outflow, infiltration is the collection and immediate conveyance of surface water. It is imperative that these facilities be monitored and maintained to ensure that they are functioning properly.
- E. **Underground system** is to be installed with a minimum of two (2) access/inspection ports as denoted on the plans. The system is to be inspected a minimum of two (2) times per year during the months of April and October. During the inspections the amount of sediment and/or debris shall be measured and recorded in a maintenance log. If sediment is noted at inspection ports, the galleys system shall be cleaned with the use of a vacuum truck.

1. **Inspection Schedule**
 - a. Visual inspections shall be conducted weekly, particularly after heavy rain event, to ensure proper functioning of the storm water detention basin, and outlet structure (i.e. no pooling or blockages)
 - b. Detailed inspections shall be conducted at least monthly.
Detailed inspections are meant to identify erosion, damage to vegetation, grass or plant height, debris, litter, areas of sediment accumulation and pools/standing water.
2. **Maintenance Activities**
 - a. Routine or preventative maintenance is intended to ensure the storm water detention area and outlet structure are in proper working order. This includes debris removal, silt and sediment removal, and clearing of vegetation around flow control devices to prevent clogging. Also included is maintenance of a healthy vegetative cover.

- i. **Erosion:** Areas of erosion and slope failure shall be repaired and replanted as soon as possible. Eroded areas near the inlet or outlet may also need to be lined with riprap, which will be determined on a case basis.
- ii. **Damage to Vegetation:** If the storm water detention area develops ruts or holes, it shall be repaired utilizing a suitable soil that is properly tamped and seeded. The grass or plant cover should be thick; if not, it shall be replanted with in-kind plants, as necessary.
- iii. **Grass or Plant Height:** The storm water detention area shall be mowed twice annually. Cuttings will be removed and properly disposed/composted.
- iv. **Debris/Litter:** Remove all litter or debris within the storm water detention area and outlet structure and prior to mowing and as inspections warrant.
- v. **Areas of sediment accumulation:** Remove sediment by hand with a flat-bottomed shovel whenever sediment covers vegetation or begins to reduce the capacity of the storm water detention area and outlet structure. Sediment accumulating near inlets and in channels should be removed when it builds up to 3 inches at any spot, or covers vegetation. Keep all level spreaders even and free of debris.
- vi. **Pools and standing water:** Observe soil at the bottom of the storm water detention area for uniform percolation throughout. If portions of the storm water detention area do not drain within 5 days after the end of a storm, the soil shall be tilled, regraded and replanted with a seed mix similar to those originally planted in the swale.
- vii. **Pesticides and Fertilizers:** Application of pesticides and fertilizers shall be minimal. Only organic pesticides and fertilizers shall be used.



PROJECT: _____

CITY: _____ DR. BY: _____

STATE: _____ DATE: _____ DR. NO: _____

SILTSACK® SPECIFICATIONS

NOTE: THE SILTSACK® WILL BE MANUFACTURED FROM A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS.

REGULAR FLOW SILTSACK®
(FOR AREAS OF LOW TO MODERATE PRECIPITATION AND RUN-OFF)

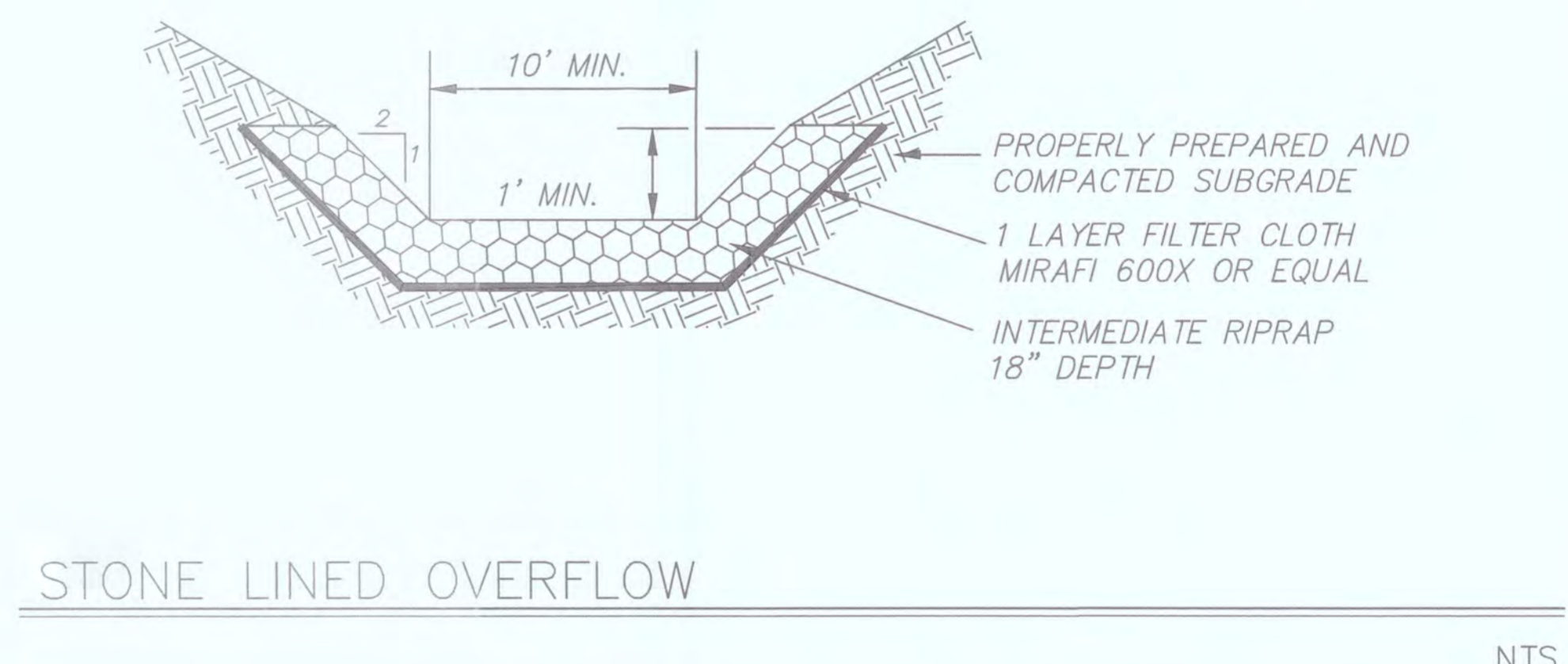
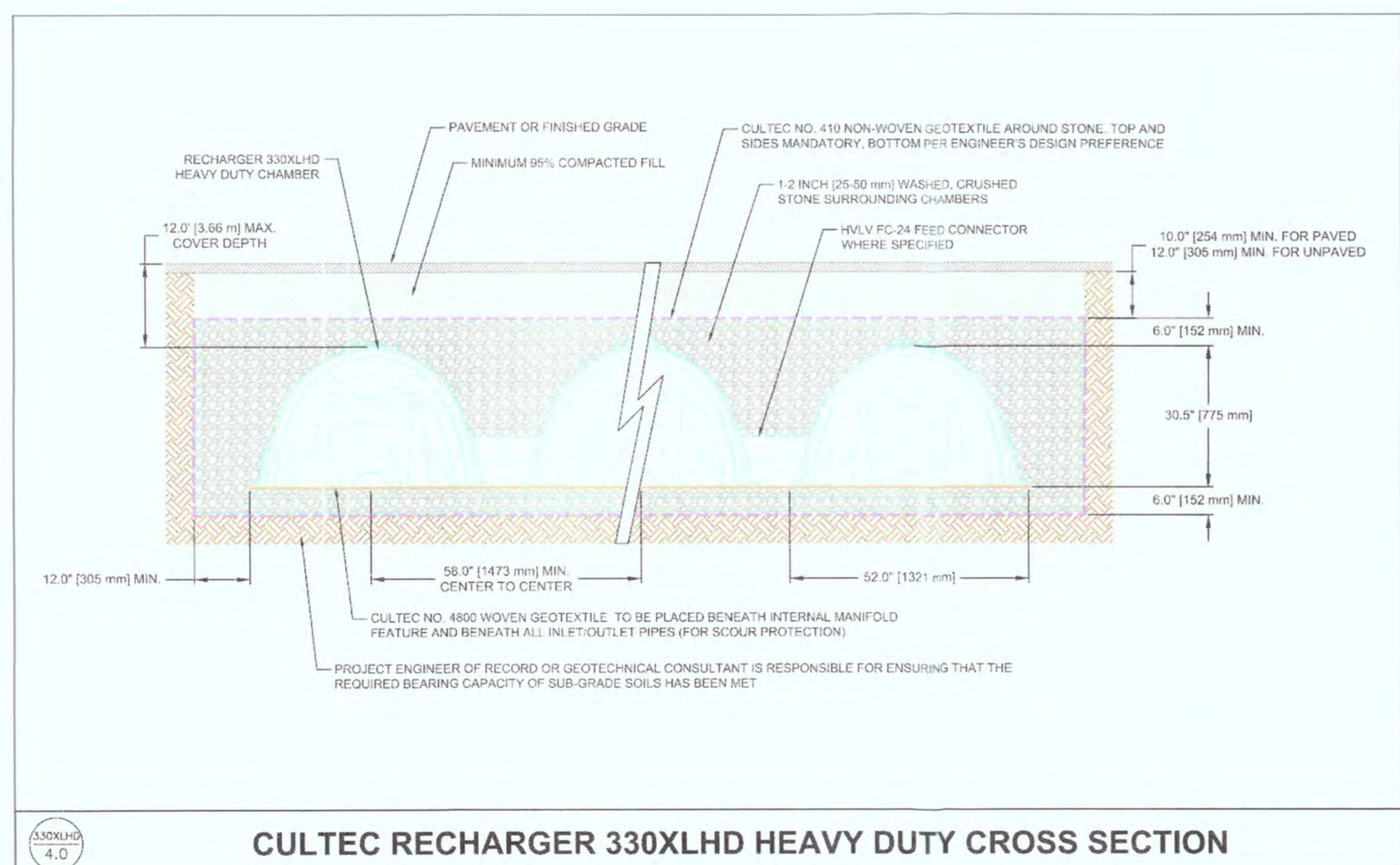
PROPERTIES	TEST METHOD	UNITS	
GRAB TENSILE STRENGTH	ASTM D-4632		300 LBS
GRAB TENSILE ELONGATION	ASTM D-4632		20 %
PUNCTURE	ASTM D-4833		120 LBS
MULLEN BURST	ASTM D-3786		800 PSI
TRAPEZOID TEAR	ASTM D-4533		120 LBS
UV RESISTANCE	ASTM D-4355		80 %
APPARENT OPENING SIZE	ASTM D-4751		40 US SIEVE
FLOW RATE	ASTM D-4491		40 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491		0.55 SEC -1

HI-FLOW SILTSACK®
(FOR AREAS OF MODERATE TO HEAVY PRECIPITATION AND RUN-OFF)

PROPERTIES	TEST METHOD	UNITS	
GRAB TENSILE STRENGTH	ASTM D-4632		265 LBS
GRAB TENSILE ELONGATION	ASTM D-4632		20 %
PUNCTURE	ASTM D-4833		135 LBS
MULLEN BURST	ASTM D-3786		420 PSI
TRAPEZOID TEAR	ASTM D-4533		45 LBS
UV RESISTANCE	ASTM D-4355		90 %
APPARENT OPENING SIZE	ASTM D-4751		20 US SIEVE
FLOW RATE	ASTM D-4491		200 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491		1.5 SEC -1

OIL-ABSORBANT SILTSACK®
(FOR AREAS WHERE THERE IS A CONCERN FOR OIL RUN-OFF OR SPILLS)

DEPENDING ON YOUR PARTICULAR APPLICATION, THE SILTSACK® CAN BE MADE FROM EITHER ONE OF THE ABOVE FABRICS WITH AN OIL-ABSORBANT PILLDOW INSERT OR, MADE COMPLETELY FROM AN OIL-ABSORBANT SILTSACK®, WITH A WOVEN PILLDOW INSERT.



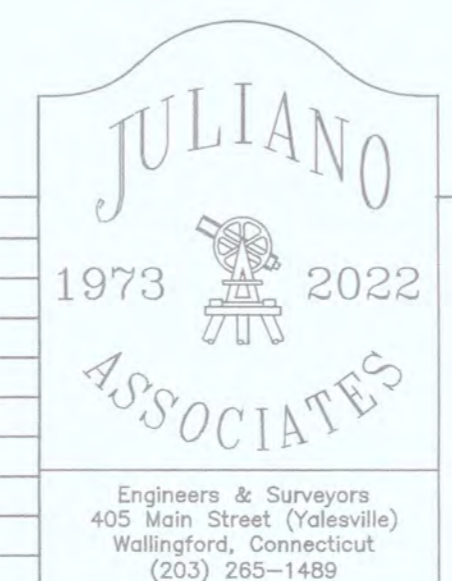
DURING CONSTRUCTION THERE SHALL BE A SUPPLY OF SILT FENCE AND/OR HAY BALES STORED ON SITE FOR EMERGENCY SEDIMENT AND EROSION CONTROL PURPOSES.

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Christopher S. Juliano PELS #19725



REVISIONS	
DATE	DESCRIPTION



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Wallingford, Connecticut 06492
Voice (203)265-1489 Fax (203)949-1523
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JulianoAssociatesLLC@gmail.com

Construction Sequence, Storm Water Maintenance Program and Details

Land of
Juliano Family One LLC
#100 Windermere Avenue
Ellington, Connecticut

Project no.:	21-161	Date:	05/26/22	Scale:	NTS
Work map:	RSWEET	Checked:	CJULIANO	Sheet:	5 of 5
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Town of Ellington Planning & Zoning Commission Subdivision Application

SUBDIVISION NAME: <u>Ellington McIntire, LLC</u> LOCATION: <u>153 Webster Road</u> ASSESSOR'S PARCEL NUMBER (APN): <u>185 - 001 - 0000</u> (If unaware of APN, ask staff for assistance)	Application # <div style="background-color: yellow; padding: 2px;">S202201</div> Date Received <u>4/22/2022</u>
---	--

Application: Subdivision Re-subdivision Modification **Approval Requested:** Final Conditional

Notices associated with this application will be sent to the applicant, if different than the owner, unless otherwise requested.

Owner's Information

Name: Ellington McIntire, LLC
Mailing Address: 140 Webster Road
Ellington, CT 06029
Email: _____
WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No
Primary Contact Phone #: _____
Secondary Contact Phone #: _____
Signature: **Date:** 4/12/22

Notices associated with this application will be sent to the applicant, if different than the owner, unless otherwise requested.

Applicant's Information (if different than owner)

Name: Same
Mailing Address: _____
TOWN OF ELLINGTON
PLANNING DEPARTMENT
Email: _____
WHEN NOT REQUIRED BY LAW TO MAIL NOTICE BY USPS, MAY NOTICES BE EMAILED TO YOU? Yes No
Primary Contact Phone #: _____
Secondary Contact Phone #: _____
Signature: _____ **Date:** _____

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Commission have been submitted. Moreover, by signing above I/we expressly provide written consent to the filing of the application and access to the site by the Commission or its staff.

By signing below I certify that all information submitted with this application is true and accurate to the best of my knowledge, that I am aware of and understand the application requirements and regulations, and acknowledge that the application is to be considered complete only when all information and documents required by the Commission have been submitted.

Total Acreage of Property: 55.77 **Zone of Property:** RAR **Required Density Factor** (R/LR =.6, RAR =.5): 0.5

Open Space Proposal (check one): 10% Land Set-Aside Fee in Lieu of Land Combination

Amount (square feet & acres): >25% **Slopes:** 6 acres **Wetlands & Watercourses:** 6.05 **100-Year Floodplain:** 0

Developable Land: 43.77 **Lot Yield:** 22 lots **Remaining Land:** 46.18 **Area to be subdivided:** 9.59

of Proposed Development Lots: 2 new lots open space contribution (12.05 acres) has been satisfied Conveyed to state V-464, P1098
Public Water: Yes No **Public Sewer:** Yes No *If not served by public water and sewer, applicant/owner shall make application to North Central District Health Department (Enfield Office). If within a public sewer area, application for division must include conceptual approval from the Ellington Water Pollution Control Authority.*

Is parcel located within 500' to any municipal boundary? Yes No

Are there any wetlands/watercourses within 100' of construction activity or within 250' of wetlands/watercourses when located in the Shenipsit Lake Drainage Basin? Yes No *If yes, pursuant to state law application must be made to the Inland Wetlands Agency prior to or simultaneously with application to the Planning and Zoning Commission.*

Are there any wetlands/watercourses on the property proposed for development but not within 100' of construction activity or 250' of construction activity when located in the Shenipsit Lake Drainage Basin? *If yes, state law requires notice be made to the Inland Wetlands Agency prior to or simultaneously with application to the Planning and Zoning Commission.*

Is the project in a public water supply watershed area? Yes No *If yes, applicant shall notify Connecticut Water Company and Commissioner of Public Health about the proposed project by certified mail return receipt w/in 7 days of application (§8-3i(b)). Copy of application, plans, and support documents must accompany notice. Proof of notice and copies of return receipts must be provided to the Planning Department.*

Mail notices to: Gardner & Peterson Associates, LLC
 178 Hartford Tpke., Tolland, CT 06084

GARDNER & PETERSON ASSOCIATES, LLC

PROFESSIONAL ENGINEERS • LAND SURVEYORS

178 HARTFORD TURNPIKE
TOLLAND, CONNECTICUT 06084

KENNETH R. PETERSON, L.S.
ERIC R. PETERSON, P.E., L.S.
MARK A. PETERSON, P.E.

TELEPHONE: (860) 871-0808
www.GardnerPeterson.com
info@GardnerPeterson.com

April 7, 2022

Mr. Dana Steele, Town Engineer
Town of Ellington
J.R. Russo & Associates
1 Shoham Road
East Windsor, Connecticut 06088

Re: McIntire Subdivision
153 Webster Road, Ellington

Dear Dana,

The following is a pre & post development drainage analysis of a 50-year storm frequency for the two proposed lots on the east side of Webster Road on property owned by Ellington McIntire, LLC. I have designed stormwater management basin and outlet structure to connect to the existing 15" RCP culvert under Webster Road. The attached report includes the peak flow rates for the 50-year storm which demonstrate a minor reduction in peak flows, from 4.9cfs to 4.5cfs, to the existing drainage system.

Please contact me with any questions.

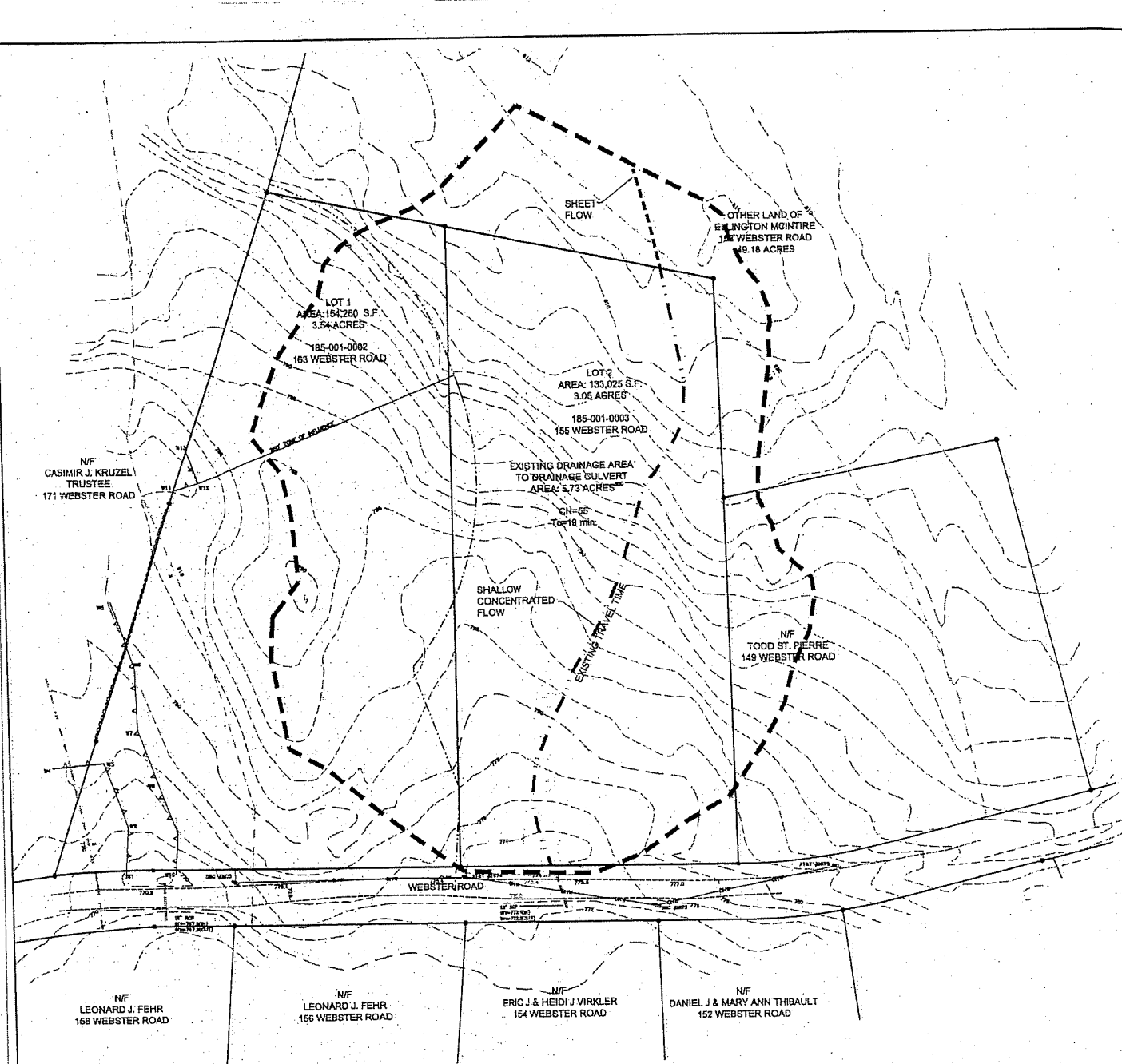


Mark A. Peterson P.E.

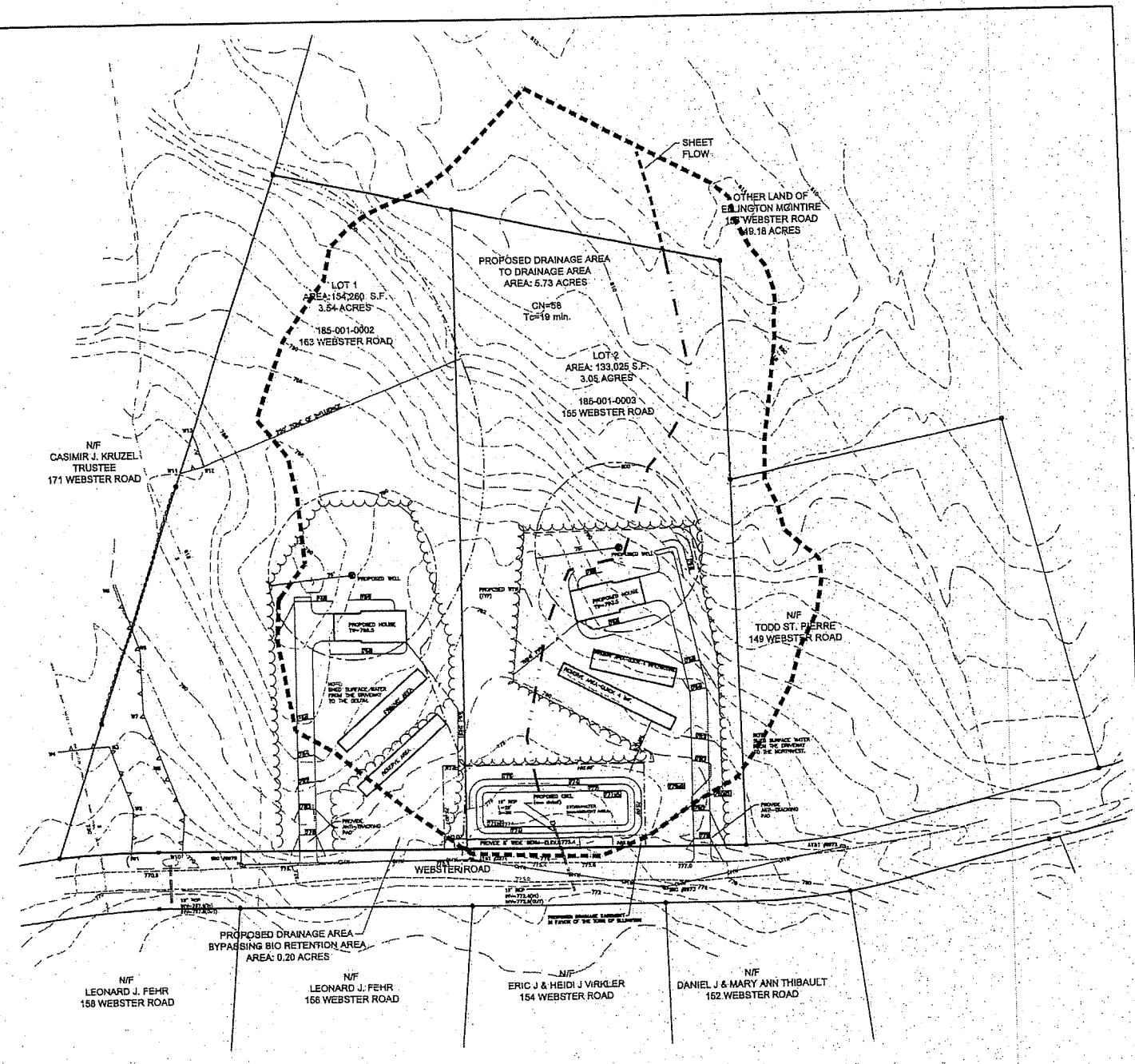
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TOWN OF ELLINGTON
PLANNING DEPARTMENT

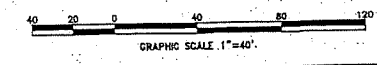


EXISTING CONDITIONS



PROPOSED CONDITIONS

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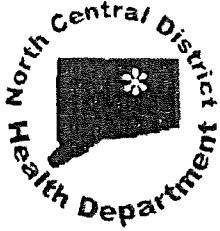


LEGEND	
	PROPERTY LINE
	ZONING SETBACK
	ABUTTING PARCEL
	EXISTING IRON PIN
	EXISTING MONUMENT
	SOL LINE-WEB SOL SURVEY
	EDGE OF ROAD
	STONEWALL
	I.P. TO BE SET
	EXISTING SPOT ELEVATION
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED FOOTING DRAIN
	PROPOSED TREELINE

RECEIVED
APR 22 2022

5202201

REVISIONS	DRAINAGE AREA MAP PREPARED FOR CONRAD MCINTIRE ELLINGTON MCINTIRE, LLC MAP ID: 185/001/0000 153 WEBSTER ROAD ELLINGTON, CONNECTICUT GARDNER & PETERSON ASSOCIATES, LLC 178 HARTFORD TURNPIKE TOLLAND, CONNECTICUT PROFESSIONAL ENGINEERS LAND SURVEYORS			
	BY	SCALE	DATE	SHEET NO.
M.A.P.	1"=40'	04-01-2022	1 OF 1	MAP NO. 11024 D



North Central District Health Department

- Enfield—31 North Main Street, Enfield, CT 06082 * (860) 745-0383 Fax (860) 745-3188
- Vernon—375 Hartford Turnpike, Room 120, Vernon, CT 06066 * (860) 872-1501 Fax (860) 872 1531
- Windham—Town Hall, 979 Main Street, Willimantic, CT 06226 * (860) 465-3033 Fax (860) 465-3034
- Stafford—Town Hall, 1 Main Street, Stafford Springs, CT 06076 * (860) 684-5609 Fax (860) 684-1768

Patrice A. Sulik, MPH, R.S.
Director of Health

Conrad McIntire
140 Webster Road
Ellington, Ct. 06029

May 10, 2022

Subject: Two lot Subdivision level plan Approval Entitled “Subdivision Plan Prepared for Conrad McIntire, LLC map id: 185 /001 / 0000, 153 Webster Road Ellington, Connecticut. Prepared by Gardner & Peterson Associates LLC. Dated 4/01/2022 sheets 1-4. This Plan has been reviewed in accordance with the CT. Public Health Code Sections 19-13-B103a thru f, On-site Sewage Disposal Regulations and the pursuant Technical Standards for Subsurface Sewage Disposal Systems.

Upon review of the plan for the above referenced subdivision, the North Central District Health Department concurs with the feasibility of this parcel for future development. Approval to construct a sub-surface sewage disposal system and well for the individual lots may be granted upon the demonstration of compliance with the Public Health Code, the technical standards and other appropriate Town and State regulations. This demonstration of compliance shall be done through a site-specific Engineers plot plan showing the proposed house, well and septic system details. Regarding the septic systems, all of the lots demonstrated areas of suitable soils for the construction of subsurface sewage systems, however some of the areas tested have shallow ledge rock.

Lot 1, 163 Webster Rd. - Lot approval for a maximum of a 4 bedroom home served by a private well and proposed onsite septic system consisting of a minimum of 582 square feet of effective leaching area and a minimum of 65 linear feet of leaching system hydraulic width.

Lot 2, 155 Webster Rd. – Lot approval for a maximum of a 4 bedroom home served by a private well and onsite septic system consisting of a minimum of 820 square feet of effective leaching area and a minimum of 75 linear feet of leaching system hydraulic width.

Further investigation may be required as a result of site alteration or lot re-configuration. Care must be taken to protect the septic area from sedimentation, compaction or any disturbance that could compromise the quality of the area. Final approval of the subdivision shall be granted by the appropriate Commissions, Boards, Agencies or Departments within the Town of Ellington Connecticut.

Respectfully,

Westford Lirot B.S. R.S
Registered Sanitarian

CC: Gardner & Peterson Assoc. LLC
Ellington P&Z



STATE OF CONNECTICUT • COUNTY OF TOLLAND
INCORPORATED 1786

TOWN OF ELLINGTON

55 MAIN STREET • P.O. BOX 187
ELLINGTON, CONNECTICUT 06029-0187

www.ellington-ct.gov

(860) 870-3120

TOWN PLANNER'S OFFICE

(860) 870-3122

October 6, 2014

Landmark Surveys, LLC
c/o Rachel Dearborn
62 Lower Butcher Road
Ellington, CT 06029

Sent Cert. Mail R/R: 7013-0600-0001-2476-7503
US Postal Service

Re: S201402 (2014) – Ellington McIntire, LLC, owner; 3 Lot Sub.; 153 Webster Rd, Ellington, CT
Re-Approved 9/22/14; Legal Notice Published 9/26/14; Initial Filing Deadline 12/26/14

Dear Ms. Dearborn:

The initial filing deadline for the above subdivision is December 26, 2014 (90 days from the effective date of approval - 9/27/14). State law allows two 90-day extensions. If post approval obligations have not been met and an extension is needed, a written request must be submitted to the Ellington Planning Department for action by the Planning and Zoning Commission (PZC) at a regular meeting which precedes the filing deadline.

On September 22, 2014, PZC reapproved the subdivision with the following conditions:

1. Wetland Report dated December 30, 2013, is applicable;
2. Plans shall be revised to reflect street and parcel numbers prior to being recorded;
3. Driveway apron permits shall be approved by Public Works prior to zoning permit;
4. Per Section 4.19(B) of the Subdivision Regulations, street trees shall be provided;
5. Formal drainage easements are required;
6. Per Section 4.02(i) of the Subdivision Regulations, if not already deeded to the Town the title to all land between the center of the road and the front property lines shall be conveyed;
7. Lot boundaries shall be permanently staked prior to zoning sign-off;
8. The boundary line dispute with the State associated with the land proposed for open space shall be resolved and proof of resolution provided to the Planning Department prior to dedication;
9. Approval is granted with an open space dedication of land equal to or greater than 10% of the McIntire land (APNs 185-001-0000 & 185-003-0000). Land to be dedicated shall be contiguous to State land and subject to the State taking ownership. In the event the State declines ownership, a revised open space plan shall be submitted for approval by the PZC in compliance with the Subdivision Regulations.
10. Preliminary Certificate of Title shall be submitted;

Please submit two paper check prints of the subdivision plans updated in compliance with any condition(s) of approval and a letter detailing which sheets are to be filed. The check prints and letter will be forwarded to the Town Engineer for review. If the plans are authorized for recording, two sets of mylar plans are required for signing by the PZC. If additional revisions are needed, instruction will be provided to you upon receipt of details from the Town Engineer.

Land Acquisition Division
Department of Energy and Environmental Protection
79 Elm Street - 6th Floor
Hartford, CT 06106-5127

WARRANTY DEED

TO ALL PEOPLE TO WHOM THESE PRESENTS SHALL COME,
GREETING:

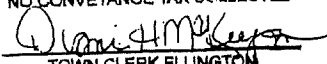
KNOW YE, THAT ELLINGTON MCINTIRE, L.L.C., a Connecticut Limited Liability Company, with an office and place of business at 140 Webster Road in the Town of Ellington, County of Tolland, and State of Connecticut, hereinafter Grantor, for no consideration, received to its full satisfaction of the STATE OF CONNECTICUT, hereinafter Grantee, does give, grant, convey and confirm unto the said State of Connecticut, its successors and assigns forever, with WARRANTY COVENANTS, all of its right, title, and interest in that certain piece or parcel of land situated in the Town of Ellington, County of Tolland, and State of Connecticut (hereinafter "Premises"). Said Premises are more particularly bounded and described as set forth in Schedule A attached hereto.

SAID PREMISES are conveyed together with any buildings and improvements thereon and all the estate and rights of the Grantor in and to said property.

SAID PREMISES are conveyed free and clear of all encumbrances except the following:

1. Taxes to the Town of Ellington on the List of October 1, 2013.
2. Drainage easement dated 6/7/2010 and recorded 6/14/2010 in Volume 414 at Page 157 of the Ellington Land Records.

TO HAVE AND TO HOLD the above granted Premises, with the appurtenances thereof, unto it, the said Grantee, its successors and assigns forever, to its and their own proper use and behoof.

NO CONVEYANCE TAX COLLECTED

TOWN CLERK ELLINGTON

IN WITNESS WHEREOF, Conrad G. McIntire, Jr., Managing Member of ELLINGTON MCINTIRE, L.L.C. hereunto sets his hand this 13th day of January, 2015

Signed in the presence of:

Witness Signature: Donnie L. Armstrong
Printed Name: Donnie L. Armstrong

ELLINGTON MCINTIRE, L.L.C.

By: Conrad G. McIntire, Jr.
Conrad G. McIntire, Jr.
Its: Managing Member

Witness Signature: Donna G. Hosey
Printed Name: Donna G. Hosey

STATE OF CONNECTICUT)
) ss
COUNTY OF)

The foregoing instrument was acknowledged before me this 13th day of January, 2015 by Conrad G. McIntire, Jr., Managing Member, on behalf of Ellington McIntire, L.L.C., a member managed Connecticut limited liability company, on behalf of the company.

Donna G. Hosey
Commissioner of the Superior Court
Notary Public/Justice of the Peace
My Commission Expires DONNA G. HOSEY
NOTARY PUBLIC OF CONNECTICUT
My Commission Expires 7/31/2019

STATUTORY AUTHORITY
Connecticut General Statutes Section 23-75.

APPROVED AS TO FORM:
George Jepsen
Attorney General

Joseph Rubin
By: Joseph Rubin
Associate Attorney General

3/10/15
Date

SCHEDULE A

PROPERTY DESCRIPTION

That certain parcel of land located in The Town of Ellington, County of Tolland and the State of Connecticut, located westerly of Webster Road, said tract or parcel being shown as "LAND OF ELLINGTON McINTIRE LLC TO BE CONVEYED TO STATE OF CONNECTICUT SHENIPSIT STATE FOREST CONTAINS 525,108 S.F. OR 12.05 ACRES" and delineated on a plan titled "PROPERTY SURVEY LAND OF ELLINGTON McINTIRE LLC SHOWING OPEN SPACE REQUIREMENTS WEST SIDE OF WEBSTER ROAD ELLINGTON, CONNECTICUT LANDMARK SURVEYS LLC SCALE 1"=100' DATE 7/14/2014" and is further bounded and described as follows;

Beginning at an iron pipe C.S.F. #57 in the northeast corner of the property herein being conveyed and the southwest corner of property at 150 Webster Road;

Thence S 22°03'13" E along other land of Ellington McIntire LLC a distance of 576.78' to a ReBar set in stone bound;

Thence S 09°55'46" W along along land of Ellington McIntire LLC a distance of 578.50' to a Drill hole in a stone bound C.S.F.#61;

Thence N 82°32'13" W along land of John E. Wraight, Jr. & Gloria P. Wraight a distance of 497.62' to an iron pin in stone bound C.S.F.#62;

Thence N 08°59'31" E along land of State of Connecticut a distance of 603.77' to a ReBar;

Thence N 08°59'31" E along land of State of Connecticut a distance of 153.90' to a ReBar;

Thence N 82°13'44" W along land of State of Connecticut a distance of 166.63' to a ReBar;

Thence N 08°59'41" E along land of State of Connecticut a distance of 328.44' to a ReBar;

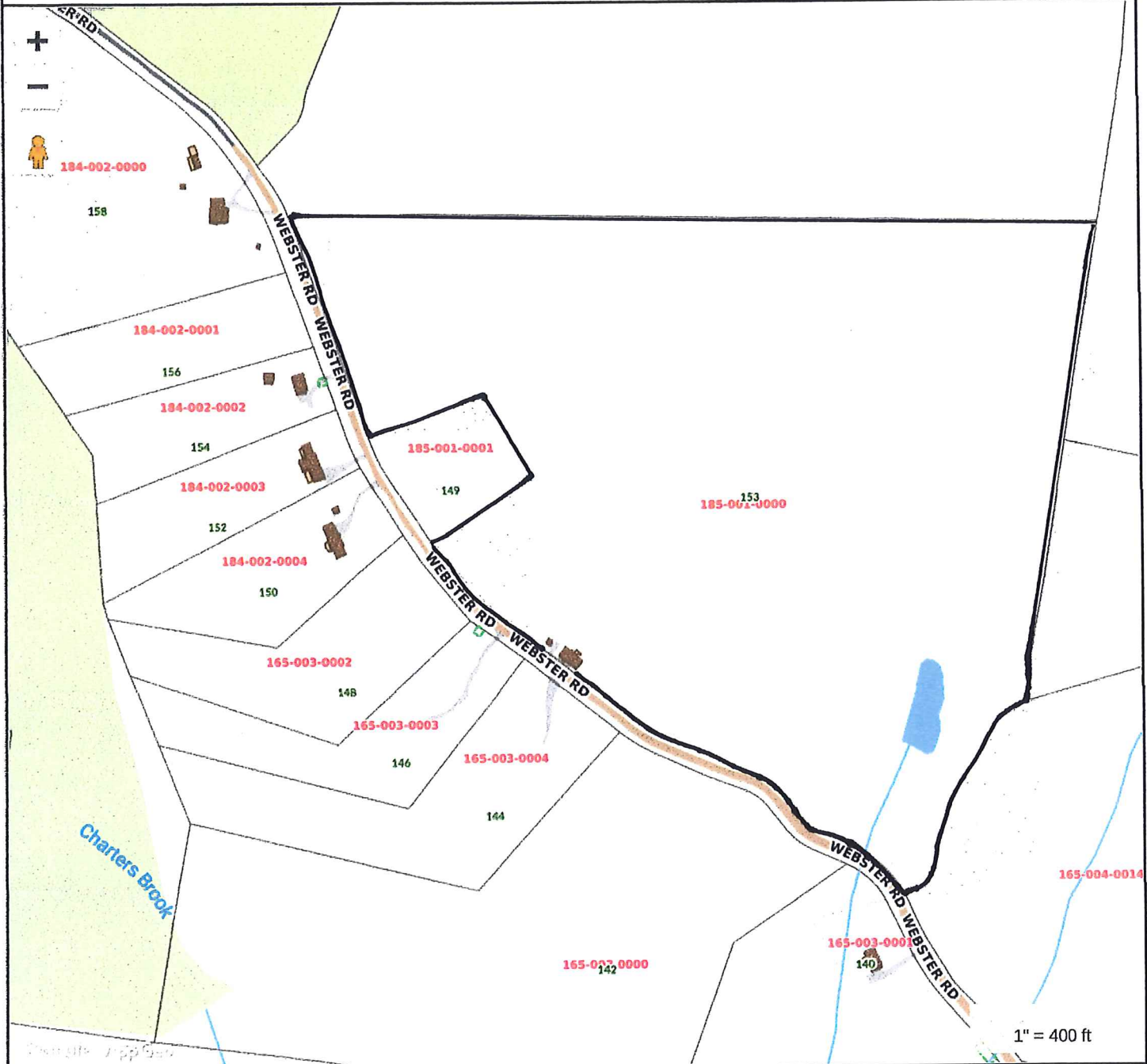
Thence S 81°30'39" E along land of State of Connecticut a distance of 376.03' to an iron pipe C.S.F.#57 which is the point and place of beginning.

Said parcel contains 525,108 S.F. or 12.05 Acres

Received for Record at Town of Ellington, CT
On 03/16/2015 At 2:34:00 pm

Carole M. Keegan

153 Webster Road



**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

Town of Ellington, CT makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 11/11/2021
Data updated daily

Print map scale is approximate. Critical layout or measurement activities should not be done using this resource.



Town of Ellington Planning Department

MEMO

DATE: June 15, 2022

TO: Planning & Zoning Commission
cc. PZC File S202201

FROM: Barbra Galovich, CZET, Land Use Assistant on behalf of the Inland Wetlands Agency *BG*

SUBJECT: **153 Webster Road – proposed three lot subdivision (two new lots)
Inland Wetlands Agency Report on IW202205**

On June 13, 2022, the Inland Wetlands Agency approved with conditions permit IW202205 at 153 Webster Road with the following motion:

MOVED (BAUCHE) SECONDED (BRAGA) AND PASSED UNANIMOUSLY TO APPROVE WITH CONDITIONS IW202205 - Ellington McIntire, LLC, owner/applicant, request for a permit to conduct regulated activity to construct a single family home and site improvements associated with a three lot subdivision (two new lots) at 153 Webster Road, APN 185-001-0000.

CONDITIONS:

- 1) Approval granted for activity associated with Lots 1 and 2 only.
- 2) Approval shall comply with the Town Engineer's Wetlands Agency comments dated June 10, 2022.
- 3) Erosion control measures shall be installed then inspected by the wetlands agent prior to activity, and remain fully operational until the site is stabilized.

Please give the above report reflecting the final decision on permit IW202205 due consideration in accordance with Conn. Gen. Stat. 8-3(g).

On behalf of the Inland Wetlands Agency, thank you.

Barbra Galovich

Subject: FW: S202201 - McIntire 2-Lot Subdivision, 153 Webster Rd
Attachments: 11024 06-14-2022.pdf; HydraflowHydrographsExtension 6-13-2022.pdf

From Mark Peterson:

I have updated the attached plans and stormwater calculations per Dana's comments and have a response to each comment below.

Mark Peterson, P.E.
Gardner & Peterson Associates, LLC
178 Hartford Turnpike
Tolland, Connecticut 06084
(860) 871-0808

From: Dana Steele [<mailto:dsteELE@jrrusso.com>]
Sent: Friday, June 10, 2022 4:23 PM
To: Lisa Houlihan <LHoulihan@ELLINGTON-CT.GOV>
Cc: John Colonese <jcolonese@ELLINGTON-CT.GOV>; Barbra Galovich <bgalovich@ELLINGTON-CT.GOV>
Subject: S202201 - McIntire 2-Lot Subdivision, 153 Webster Rd

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Lisa,

I've reviewed the plans revised 4/20/22 and calculations dated 4/22/22 by Gardner & Peterson for the 2-Lot Subdivision at 153 Webster Road. I submitted the following 5 comments to the Wetland Agency:

1. I recommend re-grading the road shoulder along the east side of Webster Road from the driveway for lot 1 to the 770 contour to the north (near wetland flag W10) to prevent runoff from the driveway crossing Webster Road. Provide stone check dam or sediment barrier within the right-of-way to protect the wetlands. **I have added a swale along the shoulder to collect driveway runoff from lot #1. Check dams and siltfence have are proposed in the swale. Swale and check dam details have been added to the detail sheet.**
2. Provide calculations demonstrating reduction in 2-year storm peak flow rates to mitigate scour in downstream watercourses. **The calculations have been updated with the 2-year storm peak flow.**
3. Provide a maintenance schedule for the stormwater basin on the plans. **Maintenance for the basin has been added to the detail sheet.**
4. Provide a construction sequence narrative on the plans. **Construction sequence has been added to the detail sheet.**
5. Provide areas for topsoil stockpile on each lot with erosion controls. **Stockpile areas have been added to the plan view and detail sheet.**

I offer the following additional comments related to the subdivision application:

6. Note the existing width of Webster Road right-of-way on the subdivision plan. **The R.O.W. width has been added as note 17 on page 1 and shown on sheet 2.**

Pg 1 of 2

7. Lower the TF elevation of the catch basin in the stormwater pond to 775 so that it is below the road elevation. The TF elevation has been lowered as much as possible to elevation 775.2 as shown on the detail sheet.
8. The plans should note that the town will not be responsible for maintenance of the stormwater basin. The proposed drainage easement should encompass the outlet structure and culvert only so the town can access and maintain their culvert within the right-of-way. Note 18 on sheet 1 indicated maintenance responsibility. The drainage easements have been revised as shown on pages 2&3.
9. Reset or replace the culvert within the right-of-way to provide a minimum positive drainage slope of 0.5% The proposed drainage system will function properly with the existing culvert per the stormwater calculations and provide no increase in the rate of stormwater runoff. I do not believe the applicant is responsible for off-site drainage and road improvements. No improvements are proposed.
10. Lower the berm elevation along Webster Road to 775 to allow the roadway shoulder to drain back to the pond rather than across the road. The berm has been revised with spot elevations to allow the road shoulder to drain into the basin..
11. Extend the 788 contour across the driveway of lot 2. Proposed 788 contour has been added.
12. Provide proposed garage floor elevations on both conceptual house locations. Garage floor elevations have been added.

I will drop off a hard copy of the plans and calculations in the next couple days and can provide additional copies for the 6/27 PZC meeting.

11/20/2

Barbra Galovich

From: Barbra Galovich
Sent: Monday, June 20, 2022 10:50 AM
To: Mark Peterson
Cc: Lisa Houlihan
Subject: FW: Staff Reviews: 153 Webster Road

Mark,

Hope you had a great Father's Day. Please see the below comments from Ken Radziwon, Director of Public Works.

Thank you,
Barbra

Barbra Galovich, CZET
Land Use Assistant
Town of Ellington
55 Main Street
Ellington, CT 06029
(860) 870-3120

From: Ken Radziwon

Sent: Monday, June 20, 2022 10:01 AM
To: Barbra Galovich <bgalovich@ELLINGTON-CT.GOV>
Cc: Lisa Houlihan <LHoulihan@ELLINGTON-CT.GOV>; Timothy Webb <twebb@ELLINGTON-CT.GOV>
Subject: Staff Reviews: 153 Webster Road

Barb – Being out of the sewer district, the WPCA has no comments. Moreover, we have no ROW concerns at this time. Should a future driveway be installed or work be conducted within the Town's ROW, appropriate ROW permits shall be completed.

Thanks,
Ken
Ken Radziwon, PE
Director of Public Works
Town of Ellington
21 Main St. Ellington, CT 06029
Office: 860-870-3140 | x3014



STATE OF CONNECTICUT – COUNTY OF TOLLAND
INCORPORATED 1786

TOWN OF ELLINGTON

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ELLINGTON, CONNECTICUT 06029-0187

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PLANNING AND ZONING COMMISSION

REGULAR MEETING MINUTES

MONDAY, MAY 23, 2022, 7:00 PM

IN PERSON ATTENDANCE: TOWN HALL ANNEX, 57 MAIN STREET, ELLINGTON, CT

REMOTE ATTENDANCE: ZOOM VIDEO CONFERENCING

(ATTENDEES BELOW WERE IN PERSON UNLESS OTHERWISE NOTED)

MEMBERS PRESENT: CHAIRMAN ARLO HOFFMAN, VICE CHAIRMAN SEAN KELLY, SECRETARY ROBERT SANDBERG, JR., REGULAR MEMBERS WILLIAM HOGAN, F. MICHAEL FRANCIS, MICHAEL SWANSON AND JON MOSER, AND ALTERNATES RACHEL DEARBORN AND KEN RADZIOW (ARRIVED AT 7:48 PM.)

MEMBERS ABSENT: NONE

STAFF PRESENT: LISA HOULIHAN, TOWN PLANNER AND BARBRA GALOVICH, RECORDING CLERK

I. **CALL TO ORDER:** Chairman Hoffman called the meeting to order at 7:00 pm.

II. **PUBLIC COMMENTS** (On non-agenda items): None

III. PUBLIC HEARING(S):

1. Z202203 - Juliano Family One, LLC, owner/Brian Juliano, applicant, request to modify Special Permit and Site Plan Approval to move retention pond approved in phase I, expand pavement for parking and outdoor storage, and associated site improvements at 100 Windermere Avenue, APN 018-021-0000, in the IP (Industrial Park) Zone.

Chairman Hoffman stated this application is not ready to be heard and asked to table it until the next regularly scheduled meeting on June 27, 2022.

MOVED (FRANCIS) SECONDED (SWANSON) AND PASSED UNANIMOUSLY TO TABLE OPENING OF PUBLIC HEARING TO THE NEXT MEETING ON MONDAY, JUNE 27, 2022, 7:00 PM, 57 MAIN STREET, ELLINGTON, CT, AND ZOOM VIDEO CONFERENCING FOR Z202203 - Juliano Family One, LLC, owner/Brian Juliano, applicant, request to modify Special Permit and Site Plan Approval to move retention pond approved in phase I, expand pavement for parking and outdoor storage, and associated site improvements at 100 Windermere Avenue, APN 018-021-0000, in the IP (Industrial Park) Zone.

CHAIRMAN HOFFMAN RECUSED HIMSELF FOR APPLICATION Z202205, VICE CHAIRMAN KELLY WAS SEATED AS ACTING CHAIRMAN.

2. Z202205 – Apostolic Christian Church of Ellington, owner/applicant, request for Special Permit pursuant to 3.1.4 - Community/Institutional Uses and Site Plan Modification to construct a fellowship hall, patio/gathering areas, drives, parking, utilities and associated improvements at 34 Middle Butcher Road, APN 028-023-0000, in a R (Residential) Zone.

Time: 7:01 pm

Seated: Kelly, Sandberg, Hogan, Francis, Swanson, Moser and Dearborn

PLANS REVIEWED:

Cover Page prepared for Apostolic Christian Church, 34 Middle Butcher Road, Ellington, Connecticut, prepared by: Alfred Benesch & Company, 120 Hebron Avenue, 2nd Floor, Glastonbury, CT 06033; Scale: NTS; Sheet: 1 of 23; Date: April 8, 2022.

Limited Boundary & Topographic Survey prepared for Apostolic Christian Church of Ellington, Connecticut, Inc. Middle Butcher Road, Ellington, Connecticut, prepared by: Alfred Benesch & Company, 120 Hebron Avenue, 2nd Floor, Glastonbury, CT 06033; Scale: 1"=30'; Sheet: 2 of 23; SV.01; Date: Jan 2022.

General Information prepared for Ellington Apostolic Christian Church Fellowship Center, 34 Middle Butcher Road, Ellington, Connecticut, prepared by: Alfred Benesch & Company, 120 Hebron Avenue, 2nd Floor, Glastonbury, CT 06033; Scale: NTS; Sheet: 3 of 23; GI0.1; Date: April 8, 2022.

General Information prepared for Ellington Apostolic Christian Church Fellowship Center, 34 Middle Butcher Road, Ellington, Connecticut, prepared by: Alfred Benesch & Company, 120 Hebron Avenue, 2nd Floor, Glastonbury, CT 06033; Scale: NTS; Sheet: 4 of 23; GI0.2; Date: April 8, 2022.

Demolition & Preparation & Erosion and Sediment Control Plan prepared for Ellington Apostolic Christian Church Fellowship Center, 34 Middle Butcher Road, Ellington, Connecticut, prepared by: Alfred Benesch & Company, 120 Hebron Avenue, 2nd Floor, Glastonbury, CT 06033; Scale: 1"=30'; Sheet: 5 of 23; C1.0; Date: April 8, 2022.

Demolition & Preparation & Erosion and Sediment Control Plan prepared for Ellington Apostolic Christian Church Fellowship Center, 34 Middle Butcher Road, Ellington, Connecticut, prepared by: Alfred Benesch & Company, 120 Hebron Avenue, 2nd Floor, Glastonbury, CT 06033; Scale: 1"=30'; Sheet: 6 of 23; C1.1; Date: April 8, 2022.

Materials Plan prepared for Ellington Apostolic Christian Church Fellowship Center, 34 Middle Butcher Road, Ellington, Connecticut, prepared by: Alfred Benesch & Company, 120 Hebron Avenue, 2nd Floor, Glastonbury, CT 06033; Scale: 1"=20'; Sheet: 7 of 23; C2.0; Date: April 8, 2022.

Layout and Parking Plan prepared for Ellington Apostolic Christian Church Fellowship Center, 34 Middle Butcher Road, Ellington, Connecticut, prepared by: Alfred Benesch & Company, 120 Hebron Avenue, 2nd Floor, Glastonbury, CT 06033; Scale: 1"=30'; Sheet: 8 of 23; C3.0; Date: April 8, 2022.

Grading & Drainage Plan prepared for Ellington Apostolic Christian Church Fellowship Center, 34 Middle Butcher Road, Ellington, Connecticut, prepared by: Alfred Benesch & Company, 120 Hebron Avenue, 2nd Floor, Glastonbury, CT 06033; Scale: 1"=20'; Sheet: 9 of 23; C4.0; Date: April 8, 2022.

Utility Plan prepared for Ellington Apostolic Christian Church Fellowship Center, 34 Middle Butcher Road, Ellington, Connecticut, prepared by: Alfred Benesch & Company, 120 Hebron Avenue, 2nd Floor, Glastonbury, CT 06033; Scale: 1"=30'; Sheet: 10 of 23; C5.0; Date: April 8, 2022.

Planting Plan prepared for Ellington Apostolic Christian Church Fellowship Center, 34 Middle Butcher Road, Ellington, Connecticut, prepared by: Alfred Benesch & Company, 120 Hebron Avenue, 2nd Floor, Glastonbury, CT 06033; Scale: 1"=20'; Sheet: 11 of 23; C6.0; Date: April 8, 2022.

Planting Plan & Planting Schedule prepared for Ellington Apostolic Christian Church Fellowship Center, 34 Middle Butcher Road, Ellington, Connecticut, prepared by: Alfred Benesch & Company, 120 Hebron Avenue, 2nd Floor, Glastonbury, CT 06033; Scale: As Indicated; Sheet: 12 of 23; C6.1; Date: April 8, 2022.

Materials Details prepared for Ellington Apostolic Christian Church Fellowship Center, 34 Middle Butcher Road, Ellington, Connecticut, prepared by: Alfred Benesch & Company, 120 Hebron Avenue, 2nd Floor, Glastonbury, CT 06033; Scale: NTS; Sheet: 13 of 23; C7.0; Date: April 8, 2022.

Materials Details prepared for Ellington Apostolic Christian Church Fellowship Center, 34 Middle Butcher Road, Ellington, Connecticut, prepared by: Alfred Benesch & Company, 120 Hebron Avenue, 2nd Floor, Glastonbury, CT 06033; Scale: NTS; Sheet: 14 of 23; C7.1; Date: April 8, 2022.

Drainage & Utility Details prepared for Ellington Apostolic Christian Church Fellowship Center, 34 Middle Butcher Road, Ellington, Connecticut, prepared by: Alfred Benesch & Company, 120 Hebron Avenue, 2nd Floor, Glastonbury, CT 06033; Scale: NTS; Sheet: 15 of 23; C8.0; Date: April 8, 2022.

Drainage & Utility Details prepared for Ellington Apostolic Christian Church Fellowship Center, 34 Middle Butcher Road, Ellington, Connecticut, prepared by: Alfred Benesch & Company, 120 Hebron Avenue, 2nd Floor, Glastonbury, CT 06033; Scale: NTS; Sheet: 16 of 23; C8.1; Date: April 8, 2022.

Existing Photometric Site Plan prepared for Ellington Apostolic Christian Church Fellowship Center, 34 Middle Butcher Road, Ellington, Connecticut, prepared by: Silver, Petrucelli & Associates, 3190 Whitney Avenue, Hamden, CT 06518; Scale: 1"=20'-0"; Sheet: 17 of 23; E500; Date: April 8, 2022.

Proposed Photometric Site Plan prepared for Ellington Apostolic Christian Church Fellowship Center, 34 Middle Butcher Road, Ellington, Connecticut, prepared by: Silver, Petrucelli & Associates, 3190 Whitney Avenue, Hamden, CT 06518; Scale: 1"=20'-0"; Sheet: 18 of 23; E501; Date: April 8, 2022.

Basement Level Plan prepared for Ellington Apostolic Christian Church Fellowship Center, 34 Middle Butcher Road, Ellington, Connecticut, prepared by: Silver, Petrucelli & Associates, 3190 Whitney Avenue, Hamden, CT 06518; Scale: 1/8" = 1'-0"; Sheet: 19 of 23; A110.; Date: April 8, 2022.

Main Level Plan prepared for Ellington Apostolic Christian Church Fellowship Center, 34 Middle Butcher Road, Ellington, Connecticut, prepared by: Silver, Petrucelli & Associates, 3190 Whitney Avenue, Hamden, CT 06518; Scale: 1/8" = 1'-0"; Sheet: 20 of 23; A111.; Date: April 8, 2022.

Attic Floor Plan prepared for Ellington Apostolic Christian Church Fellowship Center, 34 Middle Butcher Road, Ellington, Connecticut, prepared by: Silver, Petrucelli & Associates, 3190 Whitney Avenue, Hamden, CT 06518; Scale: 1/8" = 1'-0"; Sheet: 21 of 23; A112.; Date: April 8, 2022.

Exterior Elevations prepared for Ellington Apostolic Christian Church Fellowship Center, 34 Middle Butcher Road, Ellington, Connecticut, prepared by: Silver, Petrucelli & Associates, 3190 Whitney Avenue, Hamden, CT 06518; Scale: As Indicated; Sheet: 22 of 23; A300.; Date: April 8, 2022.

Attic Floor Plan prepared for Ellington Apostolic Christian Church Fellowship Center, 34 Middle Butcher Road, Ellington, Connecticut, prepared by: Silver, Petrucelli & Associates, 3190 Whitney Avenue, Hamden, CT 06518; Scale: As Indicated; Sheet: 23 of 23; A301.; Date: April 8, 2022.

Tom Gerber, 3 Viewside Drive, and Tom Swale, Architect, Alfred Bensch & Company, 120 Hebron Avenue, 2nd Floor, Glastonbury, CT were present to represent the application.

Mr. Gerber is a member of the Apostolic Church and they have been working on the project since 2000. He noted the previous demolished building was used for housing for retirees and was underutilized. They are proposing a new fellowship hall to draw more people together, such as weddings and other ceremonies, and to expand community outreach programs such as clothing distribution, meals on wheels, etc. They are looking to expand the ability for members to congregate and have fellowship gatherings after church. One of the rooms will have the capacity for 75-100 people and another room can hold up to 300 people with kitchen accessibility.

Mr. Gerber explained the church and existing surrounding parking will not be under any construction. They are looking to construct a new 16,000 sf building with associated patio, gathering areas, drives, additional parking, utilities and other amenities. Mr. Gerber explained there will be down lit lighting and the hall will share parking with the church. The church and abutting middle school share parking for larger functions that occur once in a while.

Vice Chairman Kelly asked if the fellowship hall is only for church members or if anyone can use it with approval. Mr. Gerber said others can use the proposed fellowship hall with church approval.

Secretary Sandberg said great work on the plans and great project for the community. Commissioner Swanson asked if the new building will have a basement, Mr. Gerber stated there will be a half basement with a walkout due to the elevations. Commissioner Moser supports the application and described it as very well put together. Alternate Dearborn asked about the flow of traffic around the pastor carport and parking spaces to the west of it. Mr. Swale explained the traffic flow and one-way isle, and stated the width of the isle coincides with requirements. Alternate Dearborn is concerned the wider width of the carport lane will encourage two-way traffic and suggested adding directional signage. Commissioner Francis noted the comments from the Town Engineer. Mr. Swale said Will Walter, Civil Engineer, discussed comments with the Town Engineer and agreed the nature of them can be addressed as conditions of approval.

Ms. Houlihan noted the Inland Wetland Agency granted approval and Design Review Board rendered a positive referral. She noted zoning standards are met, the application materials are thorough, and is ready for decision.

No one from the public spoke regarding the application.

MOVED (SANDBERG) SECONDED (SWANSON) AND PASSED UNANIMOUSLY TO CLOSE THE PUBLIC HEARING FOR Z202205 – Apostolic Christian Church of Ellington, owner/applicant, request for Special Permit pursuant to 3.1.4 - Community/Institutional Uses and Site Plan Modification to construct a fellowship hall, patio/gathering areas, drives, parking, utilities and associated improvements at 34 Middle Butcher Road, APN 028-023-0000, in a R (Residential) Zone.

MOVED (SANDBERG) SECONDED (HOGAN) AND PASSED UNANIMOUSLY TO APPROVE W/CONDITIONS FOR Z202205 – Apostolic Christian Church of Ellington, owner/applicant, request for Special Permit pursuant to 3.1.4 - Community/Institutional Uses and Site Plan Modification to construct a fellowship hall, patio/gathering areas, drives, parking, utilities and associated improvements at 34 Middle Butcher Road, APN 028-023-0000, in a R (Residential) Zone.

CONDITION(S):

- **SUBJECT TO PLAN REVIEW COMMENTS FROM THE TOWN ENGINEER DATED MAY 9, 2022 (SEE ATTACHED).**

- SUBJECT TO PLAN REVIEW COMMENTS FROM THE TOWN FIRE MARSHAL DATED MAY 9, 2022 (SEE ATTACHED).

CHAIRMAN HOFFMAN WAS RESEATED.

3. Z202206 – Jeff McKnight, owner/ Ryan Orszulak (Double M Yard Supply), applicant, request for Special Permit pursuant to 7.5 - Earth Excavation to import, stockpile and export farm soils for home farming and gardening use and Site Plan Approval for associated improvements at 103 Sadds Mill Road, APN 088-021-0000, in a RAR (Rural Agricultural Residential) Zone.

Time: 7:16 pm

Seated: Hoffman, Kelly, Sandberg, Hogan, Francis, Swanson and Moser

Ryan Orszulak, 34 Bridge Street, was present to represent the application. Mr. Orszulak said he spoke with the commission informally a couple months ago and is present to seek official approval. He is looking to demolish the old house and barn and utilize the barn area for stockpiling of materials along the existing retaining wall near Muddy Brook Road. Mr. Orszulak stated the Zoning Board of Appeals (ZBA) granted a variance to reduce the setback for stockpiling of materials. The front property line on Muddy Brook Road and all side property lines from 100ft to 15ft, and reduce the setback for stockpiling of materials to the front property line on Sadds Mill Road from 100ft to 35ft. He said the parking and loading area will be near where the house is currently located. He noted the existing garage will remain on the site and he will maintain the Muddy Brook Road access. He proposes to install plantings along Sadds Mill Road and Muddy Brook Road and remove the boulders located at the corner near the intersection.

Ms. Houlihan noted the plan shows two temporary 2x3 signs at least 20' from the roadway. She asked the applicant if he has plans for a permanent detached sign. Mr. Orszulak replied not now, but in the future would like to construct a sign similar to Holden Trucking down the street. Ms. Houlihan advised him that he will only be allowed 115 days for two temporary signs and noted detached signs require a Special Permit. Ms. Houlihan said if the commission grants the permit, to delegate authority for review of a permanent detached sign to staff via zoning permit application. The application states typical hours are 2 to 3 days a week between 8a.m. - 5p.m. for offsite deliveries and one other day for on-site pick-up and no Sundays. Ms. Houlihan said Section 7.5.2, requires applicants to submit an engineering report documenting current as-built condition by November 1st each year, but since this proposal does not include on-site excavation that it be exempt from the annual requirement.

Vice Chairman Kelly asked if the operation will be similar to the Route 83 site. Mr. Orszulak stated it will be the same with plantings along each roadway. Secretary Sandberg reviewed the documentation pertaining to Section 7.5.2. Commissioner Hogan asked if the Planning Department received any comments from the Town Engineer. No comments have been received. The only staff comment is from the Public Works Department noting if any work will be done within the right of way a permit would be required. Commissioner Hogan asked for erosion and sedimentation control measures to be added to the plan, and requested more specific details for landscape plantings (e.g. types, size, location) be added to the plan. Mr. Orszulak offered to add a mulch berm on the south side of the property to maintain runoff on site.

Ms. Houlihan stated in accordance with Section 6.1 (c), all new plantings shall have a minimum of 6' in height after planted and pruned. Mr. Orszulak agreed to comply with the buffer requirement and will update the plans.

Commissioner Swanson inquired about how many cubic yards will be on site at any given time. Mr. Orszulak noted the business is seasonal and the spring months are the busiest. It's hard to measure the materials in cubic yards, since the operation is import and export of materials. He estimates on average there being 700 cubic yards on site. Stockpiles will be maintained with minimal run-off. Mr. Orszulak stated there is a paved tracking area and more of a paved driveway

on the proposed site versus the existing West Road site.

Ms. Houlihan stated the site is small and will limit the size of stockpiles. Commissioner Swanson inquired about the truck traffic on Muddy Brook Road, and signage requesting trucks to find alternate routes. He expressed concern for tracking dirt onto the roads. Mr. Orszulak said he will monitor any dirt being tracked off site and will clean it up if needed.

Commissioner Moser said the applicant will want to fill trucks preferable in a dry location on site to avoid materials being wasted by tracking onto the roadway and patron vehicles getting stuck in muddy areas on site after a storm.

Mr. Orszulak agreed to address the commission's concerns and create a mulch berm to the south side for erosion and sedimentation control measures.

Alternate Dearborn likes the idea of planting trees along the property. She stated since the applicant is in the business of selling dirt, it's in the best interest to preserve as much dirt on site rather than tracking onto the street.

No one from the public spoke regarding the application.

MOVED (KELLY) SECONDED (SANDBERG) AND PASSED UNANIMOUSLY TO CLOSE THE PUBLIC HEARING FOR Z202206 – Jeff McKnight, owner/ Ryan Orszulak (Double M Yard Supply), applicant, request for Special Permit pursuant to 7.5 - Earth Excavation to import, stockpile and export farm soils for home farming and gardening use and Site Plan Approval for associated improvements at 103 Sadds Mill Road, APN 088-021-0000, in a RAR (Rural Agricultural Residential) Zone.

MOVED (HOGAN) SECONDED (SANDBERG) AND PASSED UNANIMOUSLY TO APPROVE W/CONDITION(S) FOR Z202206 – Jeff McKnight, owner/ Ryan Orszulak (Double M Yard Supply), applicant, request for Special Permit pursuant to 7.5 - Earth Excavation to import, stockpile and export farm soils for home farming and gardening use and Site Plan Approval for associated improvements at 103 Sadds Mill Road, APN 088-021-0000, in a RAR (Rural Agricultural Residential) Zone.

CONDITION(S):

- **APPROVED HOURS OF OPERATION ARE MONDAY-FRIDAY 7AM TO 5PM AND SATURDAY 7AM TO 1PM.**
 - **SPECIAL PERMIT Z202206 IS EXEMPT FROM ELLINGTON ZONING REGULATION SECTION 7.5.2 - EXPIRATION OF PERMIT.**
 - **PERMANENT DETACHED SIGN MAY BE APPROVED BY STAFF VIA REQUEST FOR ZONING PERMIT AND SHALL BE IN COMPLIANCE WITH ELLINGTON ZONING REGULATION TABLE 6.3.4 - PERMITTED SIGNS IN RESIDENTIAL ZONES.**
 - **EROSION & SEDIMENTATION CONTROL PLAN SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE TOWN ENGINEER.**
 - **LANDSCAPING PLAN SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY TOWN STAFF.**
 - **APPLICANT SHALL KEEP MUDDY BROOK ROAD CLEAR OF DEBRIS.**
4. Z202207 – Neil Casey, owner/ applicant, request for Special Permit pursuant to Section 3.1.3 for garages for more than 3 cars per family unit associated with the construction of a detached accessory structure (28'x40') at 10 Grassy Hill Road, APN 127-014-0016, in a RAR (Rural Agricultural Residential) Zone.

Time: 7:57 pm

Seated: Hoffman, Kelly, Sandberg, Hogan, Francis, Swanson and Moser

Neil Casey, 10 Grassy Hill Road, was present via Zoom to represent the application.

Mr. Casey said he is looking to build a cold storage pole barn to store some trailer equipment and miscellaneous items. Ms. Houlihan noted the Fire Marshal has no concerns unless the accessory structure will be used for business purposes. Chairman Hoffman asked the applicant if there is any intention to run a business out of the structure. Mr. Casey replied no, it's just for personal items. Vice Chairman Kelly asked about installation of any utilities, Mr. Casey stated no water and no electric will be connected to the structure. Commissioner Hogan is concerned about how the structure looks from adjoining properties because the property is a rear lot and the structure is proposed close to the side property line. Mr. Casey explained there are mature trees along the property lines. Alternate Dearborn clarified the barn needs to be at least 10' from side yards including the eaves.

No one from the public spoke regarding the application.

MOVED (SANDBERG) SECONDED (KELLY) AND PASSED UNANIMOUSLY TO CLOSE THE PUBLIC HEARING FOR Z202207 – Neil Casey, owner/ applicant, request for Special Permit pursuant to Section 3.1.3 for garages for more than 3 cars per family unit associated with the construction of a detached accessory structure (28'x40') at 10 Grassy Hill Road, APN 127-014-0016, in a RAR (Rural Agricultural Residential) Zone.

MOVED (SANDBERG) SECONDED (SWANSON) AND PASSED UNANIMOUSLY TO APPROVE W/CONDITION(S) FOR Z202207 – Neil Casey, owner/ applicant, request for Special Permit pursuant to Section 3.1.3 for garages for more than 3 cars per family unit associated with the construction of a detached accessory structure (28'x40') at 10 Grassy Hill Road, APN 127-014-0016, in a RAR (Rural Agricultural Residential) Zone.

CONDITION(S):

- **DETACHED STRUCTURE SHALL NOT BE USED FOR BUSINESS PURPOSES.**

5. Z202208 – SJM Properties LLC, owner/ Seth Carson, applicant, request to modify Special Permit and Site Plan previously approved August 27, 2012 and expired August 27, 2017, to construct a self-storage facility, fencing and gates, landscaping and related improvements at 162 Maple Street, APN 072-028-0000, in a Planned Commercial (PC) Zone.

Time: 8:04 pm

Seated: Hoffman, Kelly, Sandberg, Hogan, Francis, Swanson and Moser

Plans reviewed:

Plan prepared for SJM Properties, 162 Maple Street, Ellington, CT, prepared by: Bushnell Associates, LLC, 563 Woodbridge Street, Manchester, CT 06042; Scale: 1"=30'; Sheet: 1 of 1; Date: 1/20/2022, last revised date 5/5/2022. Cultec Stormwater Chamber prepared for 162 Maple Street, Ellington, CT, prepared by: Cultec, Inc., 878 Federal Road, Brookfield, CT Scale: N.T.S.; Sheet: 1 of 1; Date: 2019

Seth Carlson, SJM Properties, 162 Maple Street, was present to represent the application.

Mr. Carlson stated they are revisiting the site plan that was previously approved with some modifications. They are proposing to have three storage buildings, each being 20' x100' to equal up to 60 units. All unit will be 10'x10', there will be no outside storage or vehicle storage. There will be a 6' chain link green coated fence surrounding the area with an automatic sliding gate for access to the storage facility. They will plant 6' arborvitae, 6 feet on center around three sides of the facility.

Ms. Houlihan noted the application materials and plans were circulated to other departments for review and comments received back from the Town Engineer and Department of Public Works. The comments were forwarded to the applicant. Department of Public Works stated a permit is

required if working within the town's right of way. Town Engineer's comments can be addressed as conditions of approval. Mr. Carlson acknowledged the comments received are already being incorporated into the plans. Ms. Houlihan said the applicant presented to the Design Review Board on May 12th. The Board rendered a positive referral and suggested 6' arborvitae (to meet Section 6.1.C), a green vinyl coated chain link fence, and suggested a traffic study be provided. The applicant agreed to the suggestions and provided a traffic report dated May 18, 2022. The proposed hours of operation will be from 7:30AM to 8:00PM, seven days a week, and the facility is for a personal (residential) storage. During the DRB meeting, the applicant stated there will be no outside storage, existing refuse bins behind the machine shop will be shared between both facilities, and the proposal includes one non-illuminated attached sign.

Chairman Hoffman stated the existing building on the site is the only building in town that has no landscaping. He referred to his recollection that during site plan application the owner represented he'd install landscaping, but landscaping was never planted. He asked Mr. Carlson to add some landscaping around the existing building on the site. Mr. Carlson agreed to work with town staff on the landscaping. Commissioner Francis said landscaping should be considered since the parcel is the gateway into the center of town. Mr. Carlson said the fencing will be inside of the arborvitae. Secretary Sandberg is ok with the plan as long as providing additional landscaping is made a condition of approval. Vice Chairman Kelly asked for the storage buildings to be similar in color to the existing building. Commissioner Swanson, Commissioner Moser and Alternate Dearborn said they are ok with the proposed plan along with adding more landscaping to the property.

Shawn Brady, 144 Maple Street, and Hillary Brady, 12 Berr Avenue, asked about lighting and hours of operation. Mr. Carlson indicated lights will be mounted on the buildings and will be down lit. Commissioner Francis asked if any lighting will be mounted to the back of the buildings. Mr. Carlson stated no lights will be installed on the back (south) side of the buildings. He noted hours will be limited and access only allowed during the hours of operation.

Mr. Carlson agreed to work with staff on landscaping.

MOVED (KELLY) SECONDED (SWANSON) AND PASSED UNANIMOUSLY TO CLOSE THE PUBLIC HEARING FOR Z202208 – SJM Properties LLC, owner/ Seth Carson, applicant, request to modify Special Permit and Site Plan previously approved August 27, 2012 and expired August 27, 2017, to construct a self-storage facility, fencing and gates, landscaping and related improvements at 162 Maple Street, APN 072-028-0000, in a Planned Commercial (PC) Zone.

MOVED (KELLY) SECONDED (FRANCIS) AND PASSED UNANIMOUSLY TO APPROVE W/CONDITION(S) FOR Z202208 – SJM Properties LLC, owner/ Seth Carson, applicant, request to modify Special Permit and Site Plan previously approved August 27, 2012 and expired August 27, 2017, to construct a self-storage facility, fencing and gates, landscaping and related improvements at 162 Maple Street, APN 072-028-0000, in a Planned Commercial (PC) Zone.

CONDITION(S):

- **SUBJECT TO PLAN REVIEW COMMENTS FROM THE TOWN ENGINEER DATED MAY 17, 2022 (SEE ATTACHED);**
- **PROPOSED EVERGREEN BUFFER TO CONSIST OF 6' ARBORVITAE AFTER PLANTED AND PRUNED AND SHALL BE PLANTED EVERY 6' ON CENTER;**
- **APPROVED FENCE IS 6' IN HEIGHT AND SHALL BE A GREEN VINYL COATED CHAIN LINK FENCE;**
- **THERE SHALL BE NO OUTSIDE STORAGE;**
- **HOURS OF OPERATION ARE 7:30AM TO 8:00PM, SEVEN DAYS A WEEK, FOR PERSONAL (RESIDENTIAL) STORAGE;**

- LIGHTING SHALL BE DARK SKY COMPLIANT AND DIRECTED DOWNWARD AND AWAY FROM ADJOINING PREMISES;
- LANDSCAPE PLAN FOR THE ENTIRE PARCEL SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY TOWN STAFF.

IV. OLD BUSINESS: None

V. NEW BUSINESS: None

VI. ADMINISTRATIVE BUSINESS:

1. Approval of Planning and Zoning Commission April 25, 2022 Regular Meeting Minutes.
MOVED (SWANSON) SECONDED (KELLY) AND PASSED UNANIMOUSLY TO APPROVE THE APRIL 25, 2022 REGULAR MEETING MINUTES AS WRITTEN.

BY CONSENSUS, DISCUSSED CORRESPONDENCE ITEM C AND FUTURE ZOOM MEETINGS BEFORE ITEMS A AND B.

2. Correspondence/Discussion:

- a. Discussion: Section 6.3.7.B – Detached Signs Permitted in C, PC, I, and IP zones for Electronic Fuel Price Signs.
BY CONSENSUS, TABLED DISCUSSION TO THE NEXT REGULAR MEETING ON JUNE 27, 2022, 7:00 PM, TOWN HALL ANNEX, 57 MAIN ST, ELLINGTON, CT, AND ZOOM.
- b. Discussion: Section 6.3 - Directional Signs.
BY CONSENSUS, ITEM WILL BE REMOVED FROM FUTURE AGENDAS.
- c. CEDAS Best Practices in Economic Development & Land Use Planning Certificate.
Ms. Houlihan shared the award Ellington will receive as a silver certified community from the Connecticut Economic Development Association (CEDAS). Commissioners congratulated Lisa on her efforts.
- d. Discussion: Continuation of future hybrid meetings.
Ms. Houlihan said at the last meeting someone asked about the current requirements for hybrid meetings. She checked with the Town Attorney and confirmed the commissions is not compelled to hold hybrid or online meetings. The Commissioners discussed the subject matter and agreed to strongly recommend an applicant to come in person to present the application and continue to provide Zoom access to the meetings.

BY CONSENSUS, CONTINUE HYBRID MEETINGS AND RECOMMEND APPLICANTS AND APPLICANT REPRESENTATIVES ATTEND AND PRESENT IN PERSON.

VII. ADJOURNMENT:

MOVED (FRANCIS) SECONDED (SWANSON) AND PASSED UNANIMOUSLY TO ADJOURN THE PLANNING & ZONING COMMISSION REGULAR MEETING AT 8:36 PM.

Respectfully submitted,

Barbra Galovich, Recording Clerk

Barbra Galovich

Subject: FW: Z202205, Apostolic Christian Church, 34 Middle Butcher Rd

From: Dana Steele [mailto:dstele@jrusso.com]

Sent: Monday, May 09, 2022 12:23 PM

To: Lisa Houlihan <LHoulihan@ELLINGTON-CT.GOV>

Cc: John Colonese <jcolonese@ELLINGTON-CT.GOV>; Barbra Galovich <bgalovich@ELLINGTON-CT.GOV>

Subject: Z202205, Apostolic Christian Church, 34 Middle Butcher Rd

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Lisa,

I've reviewed the plans and Stormwater Management Report for the Apostolic Christian Church fellowship hall prepared by Alfred Benesch & Company dated 4/8/22. I offered the following comments related to the Inland Wetland application which should also be incorporated into the PZC approvals:

1. Provide a construction detail of the proposed drywells.
2. Consider maintaining the existing drywell near drywell #2 rather than replacing.
3. Provide a pre-treatment BMP for runoff from paved vehicle areas before discharging to a drywell.
4. Consider larger stone size for riprap aprons along the stream bank to resist shearing stress in Turkey Brook.

In addition to these wetland related comments I offer the following additional comments for your consideration:

5. Correct the flowline elevation of the sewer manhole on the west side of the church building.
6. Correct the top of frame elevation of the sewer manhole north of the existing parking lot.
7. Show the approximate location of the 4" ductile iron water service on the west side of the property at the proposed connection point.
8. Verify with WPCA that a 1% sewer lateral slope is acceptable.
9. Provide species designations on the Planting Plan (C6.0) to correspond with the plant list on C6.1.
10. Correct the cap cod curb detail on C7.0 to provide legible dimensions.
11. Provide cut-sheets or details of the proposed light fixtures specified on the Photometric Plan (E501)

I discussed these comments also with the design engineer and we agree they can be incorporated as conditions of approval. Let me know if you have any questions.

Dana P. Steele, P.E.
Ellington Town Engineer



J.R. RUSSO & ASSOCIATES, LLC

P.O. Box 938, 1 Shoham Road

East Windsor, CT 06088

(CT) 860.623.0569 (MA) 413.785.1158

dstele@jrusso.com | www.jrusso.com

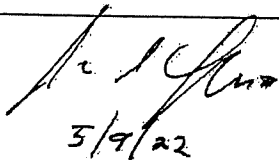
ELLINGTON PLANNING DEPARTMENT
STAFF REVIEW SHEET

PLANNING & ZONING COMMISSION

Z202205 - Apostolic Christian Church of Ellington, owner/applicant, request for Special Permit pursuant to 3.1.4 - Community/Institutional Uses and Site Plan Modification to construct a fellowship hall, patio/gathering areas, drives, parking, utilities and associated improvements at 34 Middle Butcher Road, APN 028-023-0000, in a R (Residential) Zone.

PUBLIC HEARING DATE: May 23, 2022

STAFF REVIEW RETURN DATE: May 17, 2022

DEPARTMENT	COMMENTS AND/OR REQUIREMENTS
Town Engineer	<p>A fire hydrant will need to be installed at a location on the property acceptable to the Fire Marshal. The proposed new building will be required to have an automatic fire sprinkler system. The ability to augment the system must be provided. Currently, public fire hydrants are located at a distance too great for routine fire department response to this new building. The hydrant will have to be sized and capable of flowing water that is above the needed fire flow of the sprinkler system. The proposed 6" fire protection main (as shown on C5.0) may or may not be adequate.</p>
Building Official	
North Central District Health Dept	
Fire Marshal  5/9/22	
Public Works Director/WPCA	
Assessor	
Traffic Authority	

Barbra Galovich

Subject:

FW: Staff Review - Z202208 - 162 Maple Street

From: Dana Steele

Sent: Tuesday, May 17, 2022 5:09 PM

To: 'Lisa Houlihan' <LHoulihan@ELLINGTON-CT.GOV>

Cc: Barbra Galovich <bgalovich@ELLINGTON-CT.GOV>

Subject: RE: Staff Review - Z202208 - 162 Maple Street

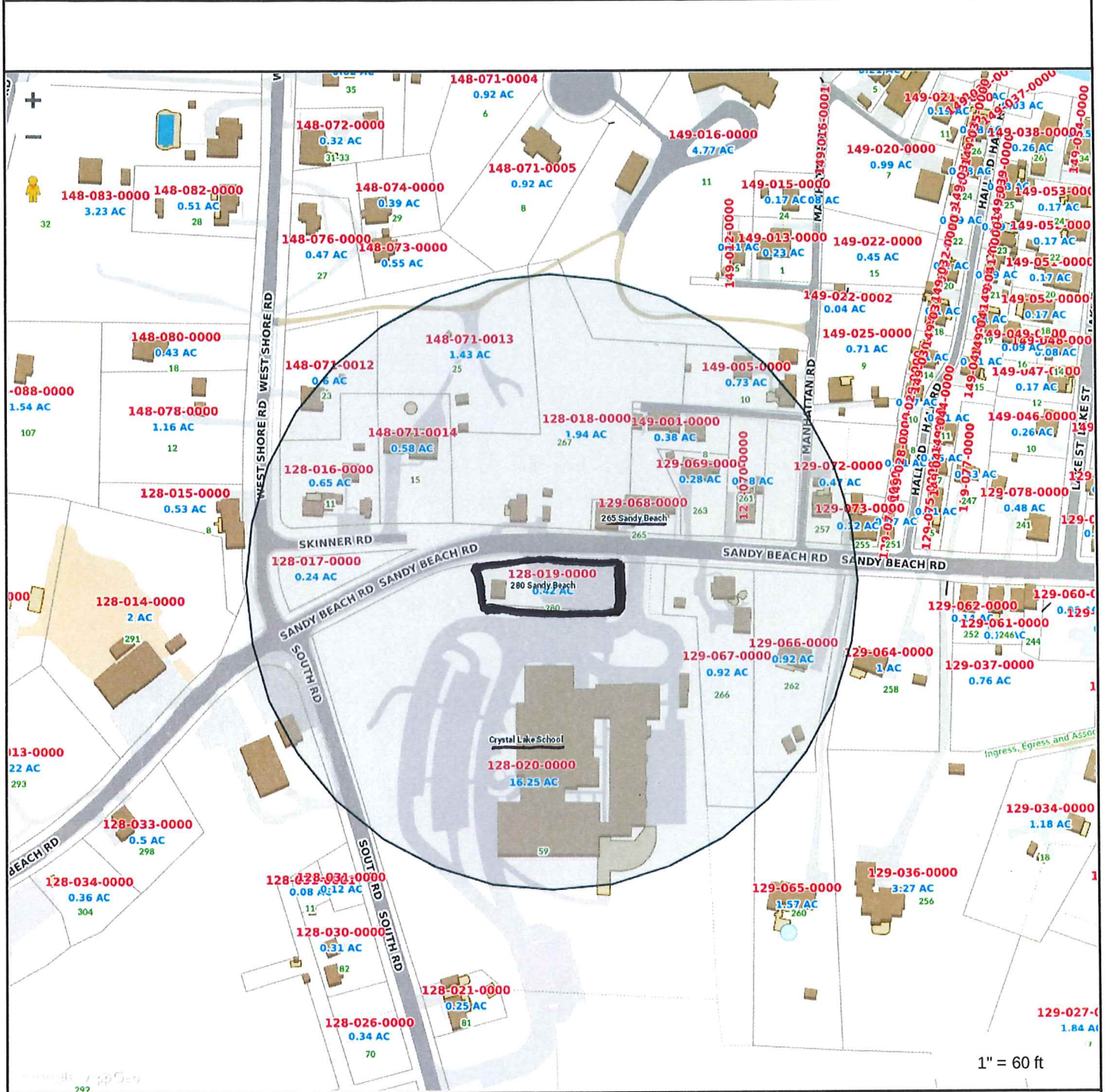
Lisa,

I've reviewed the plans and stormwater management report prepared by Bushnell Associates, LLC dated 5/5/22 for the self-storage facility at 162 Maple Street. My comments are as follows:

1. Note location of silt fence and anti-tracking pad on the plans (details are provided but not locations). If tracking pad is on north side of development, provide a water bar to prevent runoff from traveling down the tracking pad and bypassing the silt fencing.
2. Show location of proposed electric service to the new buildings. Confirm no other utility services are required for this use.
3. It is not clear from the soil test data provided whether the proposed Cultec recharge system will have sufficient separation from the water table. Consider raising or relocating the system or providing additional testing at time of construction to demonstrate 3' separation where feasible.
4. The soil sample for the permeability testing was not taken from the soils at the depth of the Cultec system installation. Again, consider raising the system or providing further evaluation at the design depth to confirm consistency with sampled soil prior to installation.
5. Provide water quality pre-treatment for the infiltration system. This could include a particle separator, sediment chamber, isolator row or other structural or non-structural BMP.
6. Provide a post-construction stormwater maintenance schedule on the plans. Schedule should include frequency of inspections, sweeping and cleaning of the stormwater system.
7. Provide schematic diagram for fence gate configuration and keycard showing dimension and locations to demonstrate adequate traffic circulation when accessing the site.
8. Clarify height of chain link fence along north (gated) side of development (x symbol). The other sides designated by a square symbol are identified as 8' height. I assume the different symbol implies an different height or configuration. Include line types in the legend or provide additional notations. The Commission may also want to request fence details, photos or cut sheets to assist staff in confirming plan compliance.
9. Provide plant species, size and planting detail for evergreen buffer plantings.
10. The 2:1 cut slope around the development will be difficult to mow. Consider stone or groundcover plantings as a lower maintenance alternative.
11. Confirm with Health Department that cut slopes on west and south side of development are sufficient distance from the abutters' septic leaching fields.

These comments could be included as conditions of approval. Where I use the term "consider" it implies there are multiple options to address my concern. I suggest the applicant resolve these items or plan for contingencies prior to ordering materials as the design could change. Let me know if you have any questions.

Dana P. Steele, P.E.
Ellington Town Engineer



**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

Town of Ellington, CT makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 11/11/2021
Data updated daily

Print map scale is approximate. Critical layout or measurement activities should not be done using this resource.

Town of Ellington

Planning Department

55 Main Street, PO Box 187, Ellington, CT, 06029/Phone: 860-870-3120/lhoulihan@ellington-ct.gov

DATE: June 22, 2022

TO: Planning and Zoning Commission

FROM: Lisa M. Houlihan, AICP, Town Planner 

RE: Existing moratorium for adult-use cannabis facilities and recent legislative amendments removing population thresholds as a measure for limiting adult-use cannabis retail and cultivator facilities.

During the recent legislative session, portions of adult-use cannabis statutes were amended eliminating the number of cannabis retailers and cultivators allowed per municipality based on population (e.g. one cultivator and one retailer per 25,000). The legislative changes became effective April 27, 2022, and the existing moratorium disallowing adult-use cannabis facilities in Ellington ends October 31, 2022. If a regulation amendment is not approved and effective prior to the expiration of the existing moratorium, the commission will be required to consider applications for adult-use cannabis cultivators and retail facilities in accordance with similar uses in existing regulations. Article 4 - Commercial & Industrial Zones of the Ellington Zoning Regulations, contemplates allowing licensed medical marijuana production facilities by special permit in industrial zones or licensed medical marijuana dispensaries by special permit in commercial zones. Article 4, as currently effective, will be applicable to applications for adult-use cannabis facilities in Ellington received on or after November 1, 2022, if not amended.

Enclosed is a copy of the text amendment establishing the existing moratorium for adult-use cannabis establishments in Ellington, and a copy of pertinent sections of the amended statute removing per capita limits for controlling the number of adult-use cannabis facilities.

ELLINGTON ZONING REGULATION
SECTION 7.16 - MORATORIUM THROUGH OCTOBER 31, 2022
APPROVED FEBRUARY 28, 2022
EFFECTIVE MARCH 3, 2022

Section 7.16 Cannabis Establishment Moratorium - Pursuant to Public Act 21-1 An Act Concerning Responsible and Equitable Regulation of Adult-Use Cannabis, the Planning and Zoning Commission hereby extends the moratorium effective October 1, 2021, set to expire March 31, 2022, through October 31, 2022, for cannabis establishments and shall not permit them in any zone until the Planning and Zoning Commission has had time to carefully consider such facilities and what regulations should govern them.



House of Representatives

File No. 672

General Assembly

February Session, 2022

(Reprint of File No. 202)

Substitute House Bill No. 5329
As Amended by House Amendment
Schedule "A"

Approved by the Legislative Commissioner
April 27, 2022

AN ACT CONCERNING CANNABIS.

Be it enacted by the Senate and House of Representatives in General Assembly convened:

1 Section 1. Section 21a-420 of the 2022 supplement to the general
2 statutes is repealed and the following is substituted in lieu thereof
3 (*Effective from passage*):

4 As used in RERACA, unless the context otherwise requires:

5 (1) "Responsible and Equitable Regulation of Adult-Use Cannabis
6 Act" or "RERACA" means this section, sections 2-56j, 7-294kk, 7-294ll,
7 12-330ll to 12-330nn, inclusive, 14-227p, 21a-278b, 21a-278c, 21a-279c,
8 21a-279d, 21a-420a to 21a-420i, inclusive, 21a-420l to 21a-421r, inclusive,
9 21a-421aa to 21a-421ff, inclusive, 21a-421aaa to 21a-421ggg, inclusive,
10 21a-422 to 21a-422c, inclusive, 21a-422e to 21a-422g, inclusive, 21a-422j
11 to 21a-422s, inclusive, 22-61n, 23-4b, 47a-9a, 53-247a, 53a-213a, 53a-213b,
12 54-33p, 54-56q, 54-56r, 54-125k and 54-142u, sections 23, 60, 63 to 65,
13 inclusive, 124, 144 and 165 of public act 21-1 of the June special session

678 the cannabis plant or any part of the cannabis plant, including, but not
679 limited to, the leaf of the cannabis plant;

680 (3) Is comprised of not more than three colors; and

681 (4) Is located:

682 (A) On the cannabis establishment's premises, regardless of whether
683 such cannabis establishment leases or owns such premises; or

684 (B) On any commercial property occupied by multiple tenants
685 including such cannabis establishment.

686 [(c)] (e) The department shall not register, and may require revision
687 of, any submitted or registered cannabis brand name that:

688 (1) Is identical to, or confusingly similar to, the name of an existing
689 non-cannabis product;

690 (2) Is identical to, or confusingly similar to, the name of an unlawful
691 product or substance;

692 (3) Is confusingly similar to the name of a previously approved
693 cannabis brand name;

694 (4) Is obscene or indecent; and

695 (5) Is customarily associated with persons under the age of twenty-
696 one.

697 [(d)] (f) A violation of the provisions of [subsection (a) or (b)]
698 subsections (a) to (c), inclusive, of this section shall be deemed to be an
699 unfair or deceptive trade practice under subsection (a) of section 42-
700 110b.

701 Sec. 9. Section 21a-422f of the 2022 supplement to the general statutes
702 is repealed and the following is substituted in lieu thereof (*Effective from*

703 *passage*): *Approved April 27, 2022.*

704 (a) As used in this section, "municipality" means any town, city or
705 borough, consolidated town and city or consolidated town and
706 borough, and a district establishing a zoning commission under section
707 7-326.

708 (b) Any municipality may, by amendment to such municipality's
709 zoning regulations or by local ordinance, (1) prohibit the establishment
710 of a cannabis establishment, (2) establish reasonable restrictions
711 regarding the hours and signage within the limits of such municipality,
712 or (3) establish restrictions on the proximity of cannabis establishments
713 to any of the establishments listed in subdivision (1) of subsection (a) of
714 section 30-46. The chief zoning official of a municipality shall report, in
715 writing, any zoning changes adopted by the municipality regarding
716 cannabis establishments pursuant to this subsection to the Secretary of
717 the Office of Policy and Management and to the department not later
718 than fourteen days after the adoption of such changes.

719 (c) Unless otherwise provided for by a municipality through its
720 zoning regulations or ordinances, a cannabis establishment shall be
721 zoned as if for any other similar use, other than a cannabis
722 establishment, would be zoned.

723 (d) Any restriction regarding hours, zoning and signage of a cannabis
724 establishment adopted by a municipality shall not apply to an existing
725 cannabis establishment located in such municipality if such cannabis
726 establishment does not convert to a different license type, for a period
727 of five years after the adoption of such prohibition or restriction.

728 [(e) Until June 30, 2024, no municipality shall grant zoning approval
729 for more retailers or micro-cultivators than a number that would allow
730 for one retailer and one micro-cultivator for every twenty-five thousand
731 residents of such municipality, as determined by the most recent
732 decennial census.]

733 (f) On and after July 1, 2024, the Commissioner of Consumer
734 Protection may, in the discretion of the commissioner, post on the
735 Department of Consumer Protection's Internet web site a specific

704 (a) As used in this section, "municipality" means any town, city or
705 borough, consolidated town and city or consolidated town and
706 borough, and a district establishing a zoning commission under section
707 7-326.

708 (b) Any municipality may, by amendment to such municipality's
709 zoning regulations or by local ordinance, (1) prohibit the establishment
710 of a cannabis establishment, (2) establish reasonable restrictions
711 regarding the hours and signage within the limits of such municipality,
712 or (3) establish restrictions on the proximity of cannabis establishments
713 to any of the establishments listed in subdivision (1) of subsection (a) of
714 section 30-46. The chief zoning official of a municipality shall report, in
715 writing, any zoning changes adopted by the municipality regarding
716 cannabis establishments pursuant to this subsection to the Secretary of
717 the Office of Policy and Management and to the department not later
718 than fourteen days after the adoption of such changes.

719 (c) Unless otherwise provided for by a municipality through its
720 zoning regulations or ordinances, a cannabis establishment shall be
721 zoned as if for any other similar use, other than a cannabis
722 establishment, would be zoned.

723 (d) Any restriction regarding hours, zoning and signage of a cannabis
724 establishment adopted by a municipality shall not apply to an existing
725 cannabis establishment located in such municipality if such cannabis
726 establishment does not convert to a different license type, for a period
727 of five years after the adoption of such prohibition or restriction.

728 [(e) Until June 30, 2024, no municipality shall grant zoning approval
729 for more retailers or micro-cultivators than a number that would allow
730 for one retailer and one micro-cultivator for every twenty-five thousand
731 residents of such municipality, as determined by the most recent
732 decennial census.

733 (f) On and after July 1, 2024, the Commissioner of Consumer
734 Protection may, in the discretion of the commissioner, post on the
735 Department of Consumer Protection's Internet web site a specific

736 number of residents such that no municipality shall grant zoning
737 approval for more retailers or micro-cultivators than would result in one
738 retailer and one micro-cultivator for every such specific number of
739 residents, as determined by the commissioner. Any such determination
740 shall be made to ensure reasonable access to cannabis by consumers.]

741 [(g)] (e) For purposes of ensuring compliance with this section, a
742 special permit or other affirmative approval shall be required for any
743 retailer or micro-cultivator seeking to be located within a municipality.
744 [A municipality shall not grant such special permit or approval for any
745 retailer or micro-cultivator applying for such special permit or approval
746 if that would result in an amount that (1) until June 30, 2024, exceeds the
747 density cap of one retailer and one micro-cultivator for every twenty-
748 five thousand residents, and (2) on and after July 1, 2024, exceeds any
749 density cap determined by the commissioner under subsection (f) of this
750 section.] When awarding final licenses for a retailer or micro-cultivator,
751 the Department of Consumer Protection may assume that, if an
752 applicant for such final license has obtained zoning approval, the
753 approval of a final license for such applicant shall not result in a
754 violation of this section or any [other] municipal restrictions on the
755 number or density of cannabis establishments.

756 Sec. 10. (*Effective from passage*) (a) The chairpersons of the joint
757 standing committee of the General Assembly having cognizance of
758 matters pertaining to general law shall convene a working group to
759 study hemp, hemp products and hemp producers. Such study shall
760 include, but need not be limited to, an examination of (1) the regulation
761 of hemp, hemp products and hemp producers licensed in this state and
762 neighboring states, (2) the manner in which neighboring states have
763 integrated hemp, hemp products and hemp producers into their
764 recreational cannabis programs, statutes and regulations, and (3)
765 possible legislation that would integrate hemp, hemp products and
766 hemp producers licensed in this state into this state's recreational
767 cannabis statutes by, among other things, allowing (A) such licensees to
768 convert their licenses to licenses issued under this state's recreational
769 cannabis statutes, and (B) hemp products, including, but not limited to,

PUBLIC MEETING NOTICE

The Department of Transportation (Department) will conduct a Virtual Public Information Meeting concerning the proposed Route 140 Intersection Improvements at Burbank Road on Tuesday, June 28, 2022 at 7:00 p.m. The meeting will be live streamed via Microsoft Teams Live Event and YouTube Live. A Question and Answer session will immediately follow the presentation. The presentation will be recorded. Instructions on how to access the meeting and on how to provide comments or ask questions can be found at the project webpage:

<https://portal.ct.gov/DOTEllington47-121>

The live stream of the formal presentation will begin at 7:00 p.m.

The project is identified as State Project No. 0047-0121.

The purpose of this project is to increase the sight distances on Route 140 (Crystal Lake Road) for the Burbank Road intersection. The project needs to improve the existing roadway geometry along Route 140 to improve sightlines.

The proposed improvements will modify the vertical profile of Route 140 in the vicinity of Newell Road and Burbank Road to improve the intersection sight lines. Route 140 will be widened to provide adequate shoulder width throughout the limits. The proposed improvement will also realign Newell Hill Road to create a traditional "T" type intersection.

Modifications to the existing drainage and utility relocations will be included in the project to accommodate the proposed changes. Additionally, roadside trees and brush will be cleared to remove clear zone hazards and aid in improving the sightlines.

There are right-of-way impacts associated with the proposed improvements that include a partial acquisition for the realignment of Newell Hill Road, several easements to slope for the safety and support of the highway, and a sightline easement to increase the intersection sight distance for vehicles turning onto Route 140 from Burbank Road. Property acquisition will be performed in accordance with the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970.

Construction is anticipated to begin in spring 2024 based on the availability of funding, acquisition of rights of way and approval of permit(s). The estimated construction cost for this project is approximately Four Million Dollars (\$4,000,000). This project is anticipated to be undertaken with eighty percent (80%) Federal funds and twenty percent (20%) State funds.

The public informational meeting is being held to provide the public and local community the opportunity to offer comments or ask questions regarding the proposed project. Persons with limited internet access may request that project information be mailed to them by contacting Salvatore Aresco by e-mail at salvatore.aresco@ct.gov or by phone at (860) 594-3239. (Allow one week for processing and delivery.)

Individuals with limited internet access can listen to the meeting by calling 1-(888) 566-5916 and entering the Participant Code when prompted: 9977843. Persons with hearing and/or speech disabilities may dial 711 for Telecommunications Relay Services (TRS). The MS Teams Live Event offers closed-captioning for the hearing impaired and non-English translation options. A recording of the formal presentation will be posted to YouTube following the event and closed-captioning (including non-English translation options) will be available at that time. The recording

will also be available in the list of DOT virtual public meetings here:
<https://portal.ct.gov/dot/general/CTDOT-VPIM-Library>

Visit the project webpage for options for Apple users. During the Q&A session and the 14-day comment period that follows the meeting, individuals may leave a question or comment via e-mail (preferred) at DOTProject47-121@ct.gov. Individuals may also leave a voicemail question or comment by calling (860) 944-1111. Please reference the project in your voicemail.

Language assistance may be requested by contacting the Department's Language Assistance Call Line (860) 594-2109. Requests should be made at least 5 business days prior to the meeting. Language assistance is provided at no cost to the public and efforts will be made to respond to timely requests for assistance.

STATE PROJECT NO. 0047-0121
ROUTE 140 INTERSECTION IMPROVEMENTS
AT BURBANK ROAD
TOWN OF ELLINGTON
PRELIMINARY DESIGN



- LEGEND**
- FILL DEPTH RECONSTRUCTION
 - BITUMINOUS CONCRETE DRIVEWAY
 - CUT SLOPE
 - FILL SLOPE
 - MILL AND OVERLAY
 - INLAND WETLAND

Town of Ellington

Planning Department

55 Main Street, PO Box 187, Ellington, CT, 06029/Phone: 860-870-3120 / Email: lhoulihan@ellington-ct.gov

DATE: April 26, 2022

TO: Planning and Zoning Commission

FROM: Lisa M. Houlihan, AICP, Town Planner

RE: Discussion: Potential Zoning Text Amendment to Section 6.3.7.B - Detached Signs Permitted in C, PC, I, and IP Zones for Electronic Fuel Price Signs

REVISED DRAFT TEXT AMENDMENT

Initial ADDITIONS appear as black bolded underlined text, New ADDITIONS appear as red bolded underlined text, Deletions are ~~strike through~~, Otherwise as adopted

6.3.7 Detached Signs Permitted in C, PC, I, and IP Zones

- B. In the case of a fuel filling station, one detached sign may be allowed by the commission ~~with-including~~ changeable electronic fuel price information as follows:
1. Only the fuel price copy may be electronic and changeable.
 2. The digital portion of the detached sign shall not exceed ~~50~~ **35%** of the total allowed sign area **as defined by Section 6.3.7.A.3.**
 3. **The measurement of the digital portion of the detached sign shall be the ~~smallest~~ area that encompasses all of the electronic fuel price copy.**
 4. The sign shall incorporate photocell/light sensors with automatic dimming technology that appropriately adjusts to ambient light conditions.
 5. The sign shall not operate at brightness levels of more than ~~0.2~~ **0.15** foot-candles above ambient light, as measured using a foot-candle meter at a pre-set distance. The pre-set distance to measure the foot-candles is calculated using the following formula:
 - a. Measurement distance equals the square root of the ~~smallest rectangular~~ area **that encompass only the electronic fuel price portion** of the sign times 100.
 6. The owner/operator of a fuel filling station with a detached electronic fuel price sign shall provide written certification in compliance with this section when requested by the commission or the Planning Department.
 7. The detached electronic fuel price sign shall be shut off at any time the fuel filling station is not open for business **which shall be accomplished by means of an interlock within the gas pumps.**
 8. The color of the **electronic fuel** price digits shall be **red or green** accompanied with a black background.
 9. **The numbers of the electronic fuel price sign shall be no larger than 8" high and 4" wide by 5/8" thick.**
 10. **The electronic fuel price copy shall only have two columns and one row.**
 11. **The detached electronic fuel price sign shall have a stone base that shall measure a minimum of a 18" in height from natural grade and extend at least 2' beyond the overall dimensions of the sign.**
 12. **Conversion from a non-electronic fuel price sign to changeable electronic fuel price sign shall require the replacement of the entire sign in compliance with Section 6.3 - Signs.**